



THE CITY OF SAN DIEGO

## REPORT TO THE PLANNING COMMISSION

**DATE ISSUED:** September 17, 2015 **REPORT NO.** PC-15-102

**ATTENTION:** Planning Commission, Agenda of September 24, 2015

**SUBJECT:** T-Mobile – Silver Wing Tree  
PROJECT NO. 384275. PROCESS FOUR.

**OWNER/  
APPLICANT:** CITY OF SAN DIEGO/  
T-MOBILE

### SUMMARY

**Issue:** Should the Planning Commission approve a Wireless Communication Facility (WCF) at 3735-3737 Arey Drive, within the Otay Mesa-Nestor community plan area?

**Staff Recommendation:** APPROVE Neighborhood Development Permit (NDP) No. 1359157, Conditional Use Permit (CUP) No. 1359158, and Planned Development Permit (PDP) No. 1359159.

**Community Planning Group Recommendation:** The Otay Mesa-Nestor Community Planning Group voted unanimously to recommend approval of this project at their March 11, 2015 meeting. In addition, the Otay Mesa Recreation Council reviewed this project and recommended approval of the project. (Attachment 12)

**Environmental Review:** This project was evaluated pursuant to the California Environmental Quality Act (CEQA) and determined to be categorically exempt from CEQA, per State Guidelines, Section 15303 (New Construction or Conversion of Small Structures). The environmental exemption determination was made on July 16, 2015 and the opportunity to appeal this determination ended July 30, 2015 (Attachment 7).

**Fiscal Impact Statement:** T-Mobile is the Financially Responsible Party responsible for costs associated with the processing of this application.

**Code Enforcement Impact:** Not applicable.

**Housing Impact Statement:** Not applicable.

## **BACKGROUND**

“T-Mobile – Silver Wing Tree” is an application for a Neighborhood Development Permit (NDP), Conditional Use Permit (CUP), and Planned Development Permit (PDP), for a Wireless Communication Facility (WCF). The project is located at 3735-3737 Arey Drive, in Silver Wing Park, in the AR-1-1 zone of the Otay Mesa-Nestor Community Plan. The project is surrounded by schools to the north and west and residential uses (surrounding the park) to the south and east. (Attachments 1, 2, 3, and 4)

WCF are permitted in agricultural zones, with a non-residential use, with the processing of a CUP when the antennas are located less than 100-feet from the property line of a day care, elementary school, middle school, or residential use. In this case, the antennas are located less than 100-feet from the property line of Montgomery Middle School, and a CUP is required. In addition to the CUP, an NDP is required to permit above-ground equipment in a park and a PDP is required to permit two deviations to the AR-1-1 zone development regulations. The CUP, NDP, and PDP approval is a Process Four decision.

## **DISCUSSION**

### **Project Description:**

This project consists of the installation of sixteen (16) panel antennas, mounted to a new 48-foot tall monoecalyptus tree. Equipment associated with the antennas will be located in a 245 square-foot equipment enclosure. Both the monoecalyptus and the equipment enclosure are located between the property line with Montgomery Middle School and a park comfort station (restroom). In order to develop a design that would not detract from the park’s use, T-Mobile representatives met with the Park & Recreation Department to determine an appropriate location in the park for the WCF. The proposed location situates the WCF in an unused portion of the park and aligns with existing and proposed live eucalyptus trees.

The WCF Regulations and Council Policy 600-43 encourage wireless providers to locate WCFs away from residential and other sensitive uses by providing lower permit process levels in commercial and industrial zones. WCFs located in commercial and industrial zones are permitted with Process One (Staff-level) approvals, whereas WCFs located in a residential zone with a residential use are permitted with a Process Four (Planning Commission) approval. This particular WCF is located in an agricultural zone with a non-residential use, where the antennas are located less than 100 feet from the property line of a middle school. This project could be processed as a CUP, Process Three, but due to the deviations requested and the corresponding PDP, a Process Four decision is required. Wireless carriers must provide coverage throughout their license area. While the proposed WCF is not located in the *most* preferable location (a property zoned commercial or industrial), the project has been designed in a way that is respectful of the park use and the neighborhood context and is able to provide coverage to the surrounding neighborhood in a way that is not intrusive.

WCFs are required to “use all reasonable means to conceal or minimize the visual impact of the WCF through integration...” Integration with existing structures or among existing uses shall be

accomplished through the use of architecture, landscape, and siting solutions. With this project, the antennas are proposed on a faux tree, a “monoecalyptus,” which is designed to camouflage the antennas with the surrounding existing and proposed live eucalyptus trees. Equipment associated with the antennas is proposed in an enclosure, situated behind a park comfort station. The project utilizes design techniques to blend the WCF in with the park setting and is respectful of the neighborhood park context (Attachment 8).

### **Deviations:**

Two deviations to the AR-1-1 zone development regulations are requested as part of this project:

1. **Height:** The proposed monoecalyptus, at a total of 48-feet tall, exceeds the AR-1-1 zone height limit of 30-feet by 18-feet. The height deviation allows T-Mobile to meet the proposed coverage objectives for this site and includes 5-feet at the top of the monoecalyptus to allow for a more natural appearance. If the height was reduced, the monoecalyptus may appear less realistic and T-Mobile’s coverage and capacity capabilities would be reduced. Additional sites in less preferable (more sensitive) areas of the community might be required to provide the coverage and capacity that the site, as currently designed offers, based on the requested height.
2. **Setback:** Portions of the monoecalyptus and the equipment enclosure encroach into the AR-1-1 zone 20-foot side setback. T-Mobile coordinated with the Park & Recreation Department to locate the equipment and monoecalyptus in an area of the park that would not disrupt or displace park uses. The WCF is located behind an existing park comfort station and is aligned with existing and proposed live eucalyptus trees. If the setback deviation was not granted, the monoecalyptus and equipment would have to be located further into the interior of the park, with a less desirable location that could adversely impact the park’s design and use.

### **Community Plan Analysis:**

While the Otay Mesa-Nestor Community Plan does not specifically address WCFs, the City’s General Plan addresses WCFs in UD-A.15 as follows:

Minimize the visual impact of wireless facilities.

- a) Conceal wireless facilities in existing structures when possible, otherwise use camouflage and screening techniques to hide or blend them into the surrounding area.
- b) Design facilities to be aesthetically pleasing and respectful of the neighborhood context.
- c) Conceal mechanical equipment and devices associated with wireless facilities in underground vaults or unobtrusive structures.

The antennas associated with this WCF will be located on new 48-foot tall monoecalyptus tree,

which is capable of camouflaging antennas, in conjunction with the proposed and existing live eucalyptus trees. Equipment associated with the antennas will not be readily visible, as the enclosure is proposed behind an existing park comfort station. This WCF has been designed to be consistent with the City's General Plan. The antennas are designed to be minimally visible by utilizing a faux tree to camouflage the antennas. This design allows the WCF to blend in with the surrounding uses, which results in the provision of wireless service in a way that is respectful of the neighborhood context.

## CONCLUSION

This project complies with the applicable regulations of the Land Development Code and the City's General Plan and draft findings (Attachment 5) have been made in the affirmative. Therefore, staff recommends approval of NDP No. 1359157, CUP No. 1359158, and PDP No. 1359159.

## ALTERNATIVES

1. Approve NDP No. 1359157, CUP No. 1359158, and PDP No. 1359159, with modifications.
2. Deny NDP No. 1359157, CUP No. 1359158, and PDP No. 1359159, if the Planning Commission makes written findings based on substantial evidence that the approval is not authorized by state or local zoning law.

Respectfully submitted,



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Mike Westlake  
Assistant Deputy Director  
Development Services Department



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Alex Hempton, AICP  
Development Project Manager  
Development Services Department

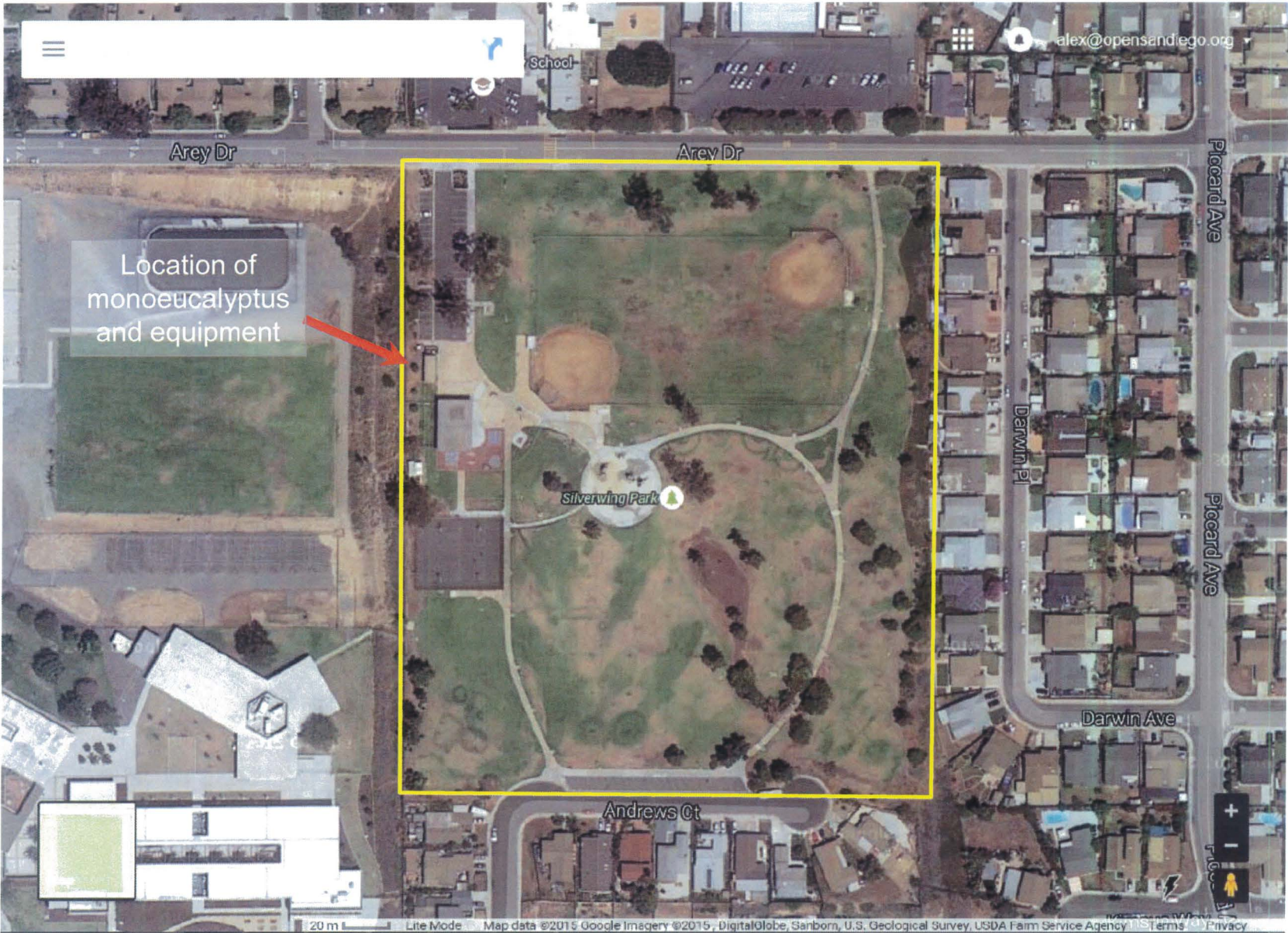
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Attachments:

1. Aerial Photo
2. Community Plan Land Use Map
3. Project Location Map
4. Project Data Sheet
5. Draft Permit Resolution with Findings
6. Draft Permit with Conditions
7. Notice of (Environmental) Exemption
8. Photo Simulations
9. Site Justification and Coverage Maps
10. Photographic Survey
11. Project Plans
12. Community Planning Group Recommendation



13. Ownership Disclosure Statement
14. Project Chronology
15. Notice of Planning Commission Hearing



## Aerial Photo

T-Mobile – Silver Wing Tree – Project Number 384275

3735 Arey Drive





Identified as Park

- Residential**
  - Very Low Density (5-10 du/acre)
  - Low-Medium Density (10-15 du/acre)
  - Medium Density (15-30 du/acre)
  - High Density (30+ du/acre)
- Commercial**
  - Community
  - Neighborhood
  - Visitor
  - Mixed Use
- Industrial**
  - School
  - Park
  - Open Space
  - Utility
  - Government
  - Trolley Station
  - Cemetery
  - Ball Works
  - Low Density Residential or Open Space
- Historical / Institutional**
  - Fire Station
  - Police Station
  - Library
  - Post Office
  - Special Study Area

**Commercial Land Use Designations**

Designation	Functions	Typical Uses
Community Commercial	Provides a wide variety of community-serving necessity and retail goods, professional, financial and repair services, and recreational facilities, in strip-commercial or shopping center environments.	Those included in the neighborhood commercial and visitor commercial designations, apparel, furniture and appliance stores, furniture and home supply, medical offices, automotive related services, sports bowling, building materials, golf and amusement centers.
Neighborhood Commercial	Provides a range of necessity goods and professional and repair services for the convenience of the immediately adjacent residential neighborhood, concentrated in individual sites or small shopping centers.	Supermarkets, grocery stores and pharmacies, limited professional offices, banks and finance services, barber/beauty stores, cleaners and laundromats, and automobile service stations.
Visitor Commercial	Provides opportunities for visitor and locally oriented recreation, entertainment and shopping activities, usually adjacent to freeways or major streets.	Hotels/motels, restaurants and dining establishments, specialty shops, parking, bicycle shops, and automobile service stations.
Mixed-Use Commercial	Provides a mixture of necessity goods, retail office, service and residential commercial uses and encourages mixed residential uses in a neighborhood-oriented environment.	Those included in the neighborhood commercial and visitor commercial designations, including automobile service stations, motels and other automobile-oriented uses, public markets and civic buildings, and music or specialty mini-carts and cafes.

**Residential Densities**

Very Low-Density (5-10 DU/acre)	This density occurs in the fringes of the city always bordering the community and is distinguished by its large lots ranging from 10,000 square feet to one acre and lot-to-lot sites.
Low-Density (10-15 DU/acre)	This density characterizes almost two-thirds of the community, predominantly in the fringe area. Low-Density is typified by conventional single-family detached units on one-half to one-acre lots.
Low-Medium Density (15-30 DU/acre)	This density is implemented by zoning permitting one unit per acre on 1,000 square feet of lot area. This density is characterized by lower intensity multi-family housing, such as duplexes, as well as mobile home parks.
High Density (30+ DU/acre)	This is the highest density within the community, and it occurs in a zoning permitting one unit per acre on 1,000 square feet of lot area.

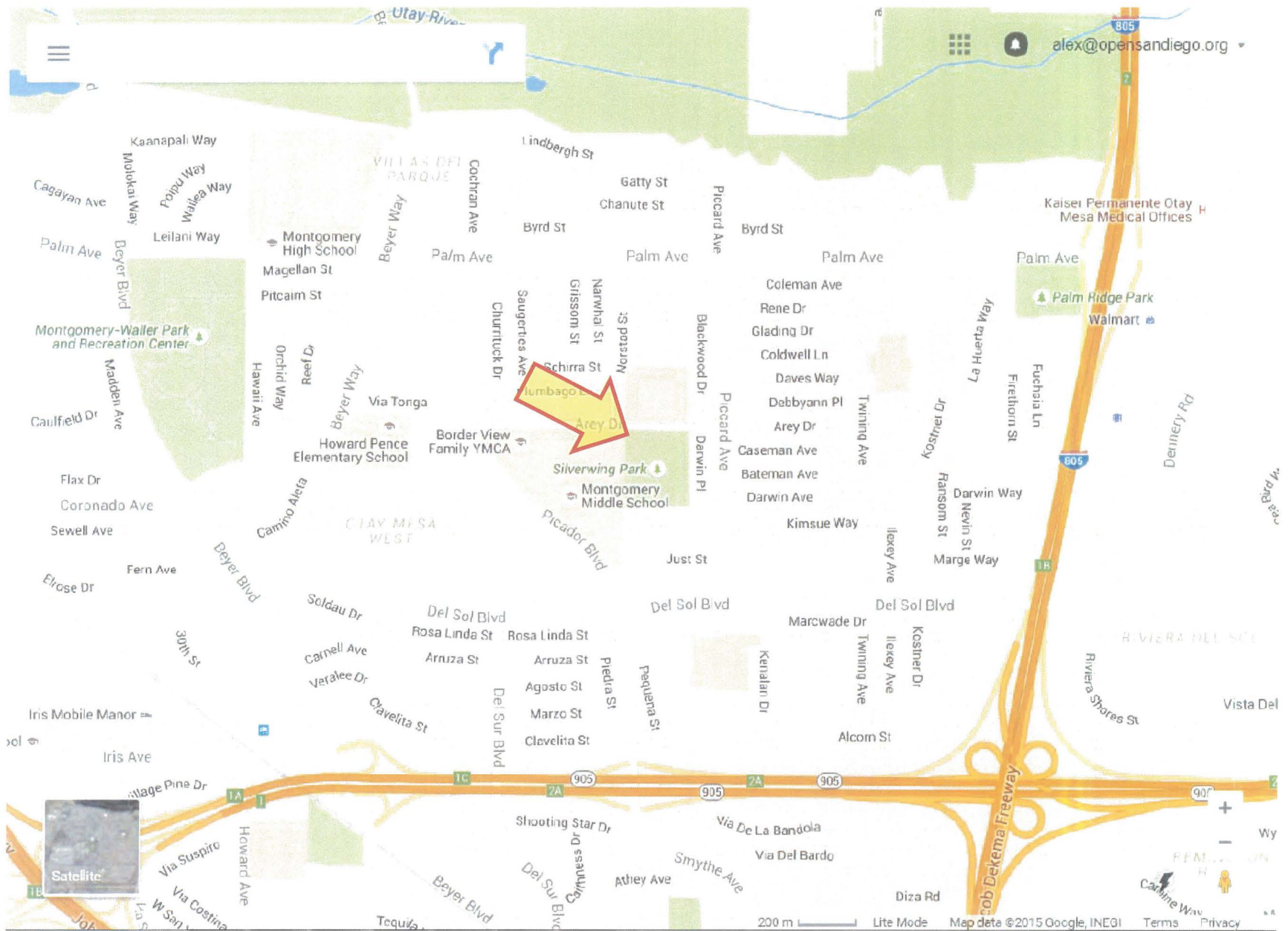


# Community Plan Land Use Designation

T-Mobile – Silver Wing Tree – Project Number 384275

3735 Arey Drive

ATTACHMENT 2



# Project Location Map

T-Mobile – Silver Wing Tree – Project Number 384275

3735 Arey Drive





<b>PROJECT DATA SHEET</b>		
<b>PROJECT NAME:</b>	T-Mobile – Silver Wing Tree	
<b>PROJECT DESCRIPTION:</b>	A Wireless Communication Facility (WCF) consisting of a 48-foot tall monoecalyptus tree supporting 16 panel antennas and a 245 square-foot equipment enclosure.	
<b>COMMUNITY PLAN AREA:</b>	Otay Mesa Nestor	
<b>DISCRETIONARY ACTIONS:</b>	CUP, PDP, NDP – Process Four	
<b>COMMUNITY PLAN LAND USE DESIGNATION:</b>	Park	
<b><u>ZONING INFORMATION:</u></b>		
<b>ZONE:</b> AR-1-1 <b>HEIGHT LIMIT:</b> 30' <b>FRONT SETBACK:</b> 25' <b>SIDE SETBACK:</b> 20' <b>REAR SETBACK:</b> 25'		
<b><u>ADJACENT PROPERTIES:</u></b>	<b>LAND USE DESIGNATION &amp; ZONE</b>	<b>EXISTING LAND USE</b>
<b>NORTH:</b>	School, AR-1-1	School
<b>SOUTH:</b>	Park, AR-1-1	Park
<b>EAST:</b>	Park, AR-1-1	Park
<b>WEST:</b>	School, AR-1-1	School
<b>DEVIATIONS OR VARIANCES REQUESTED:</b>	Deviation to the AR-1-1 zone height limit and setback requirements.	
<b>COMMUNITY PLANNING GROUP RECOMMENDATION:</b>	<p>The Otay Mesa Nestor Community Planning Group voted unanimously to recommend approval of this project at their March 11, 2015 meeting.</p> <p>The Otay Mesa Recreation Council also reviewed this project and recommended approval of the project.</p>	



**PLANNING COMMISSION  
RESOLUTION NO. PC-XXXX  
NEIGHBORHOOD DEVELOPMENT PERMIT NO. 1359157  
CONDITIONAL USE PERMIT NO. 1359158  
PLANNED DEVELOPMENT PERMIT NO. 1359159  
T-MOBILE – SILVER WING TREE  
PROJECT NUMBER 384275**

WHEREAS, THE CITY OF SAN DIEGO, Owner, and T-MOBILE, Permittee, filed an application with the City of San Diego for a permit to construct, operate, and maintain a Wireless Communication Facility (WCF) (as described in and by reference to the approved Exhibits “A” and corresponding conditions of approval for the associated Permit Nos. 1359157, 1359158, and 1359159);

WHEREAS, the site is located at 3735-3737 Arey Drive in the AR-1-1 zone of the Otay Mesa-Nestor Community Plan Area;

WHEREAS, the project site is legally described as: PARCEL 1: The South 10 Acres of the West Half of the East Half of the Northeast Quarter of Section 26, Township 18 South, Range 2 West, San Bernardino Meridian, in the City of San Diego, County of San Diego, State of California, according to United States Government Survey approved February 25, 1870; and, PARCEL 2: That portion of the West Half of the East Half of the Northeast Quarter of Section 26, Township 18 South, Range 2 West, San Bernardino Meridian, in the City of San Diego, County of San Diego, State of California, according to the official plat thereof, described as follows: Beginning at a point on the Easterly line of said West Half, distant thereon South 00°06' 50" West 1813.31 feet from the Northeast corner of said West Half; thence North 89°53'10" West 682.48 feet to the Westerly line of said West Half; thence South 00°03'33" East 218.67 feet to the Northerly line of the South 10 Acres of said West Half; thence South 89°40'20" East along said Northerly line 681.82 feet to said Easterly line; thence North 00°06' 50" East 221.21 feet along said Easterly line to the Point of Beginning;

WHEREAS, on July 16, 2015, the City of San Diego, as Lead Agency, through the Development Services Department, made and issued an Environmental Determination that the project is exempt from the California Environmental Quality Act (CEQA) (Public Resources Code section 21000 et. seq.) under CEQA Guideline Section 15303-(New Construction or Conversion of Small Structures) and there was no appeal of the Environmental Determination filed within the time period provided by San Diego Municipal Code Section 112.0520;

WHEREAS, on September 24, 2015, the Planning Commission of the City of San Diego considered Neighborhood Development Permit No. 1359157, Conditional Use Permit No. 1359158, and Planned Development Permit No. 1359159 pursuant to the Land Development Code of the City of San Diego;

NOW, THEREFORE, BE IT RESOLVED by the Planning Commission of the City of San Diego as follows:

That the Planning Commission adopts the following written Findings, dated September 24, 2015:

FINDINGS:

**Neighborhood Development Permit - §126.0404**

**1. The proposed development will not adversely affect the applicable land use plan;**

While the Otay Mesa-Nestor Community Plan does not specifically address WCFs, the City of San Diego's General Plan (UD-15) requires that the visual impact of wireless facilities be minimized by concealing wireless facilities in existing structures or using screening techniques to hide or blend them into the surrounding area. The plan also calls for these facilities to be designed to be aesthetically pleasing and respectful of the neighborhood context. Furthermore, the plan states that equipment associated with wireless facilities be concealed from view.

The antennas associated with this WCF are proposed to be mounted to a new 48-foot tall monoecalyptus tree. Existing and proposed live eucalyptus trees will be planted adjacent to the monoecalyptus tree in order to integrate the faux tree with the surrounding park and overall neighborhood. The top five feet of the monoecalyptus will not contain antennas, but will allow for a more natural branch pattern which will improve the appearance of the faux tree. Equipment associated with the antennas is proposed in a 245-square foot enclosure located behind a park comfort station. The placement of the monoecalyptus and equipment enclosure has been designed, in consultation with the Park & Recreation Department, to not remove usable park space or impact use of the park. The proposed design will allow the provision of wireless service to the surrounding area in a way that is compatible with the surrounding uses and development.

The proposed WCF complies with the City's Land Development Code, Section 141.0420, Wireless Communication Facilities, as well as the requirements of the City's General Plan. The proposed WCF does not adversely affect the applicable land use plan.

**2. The proposed development will not be detrimental to the public health, safety, and welfare; and**

This project consists of sixteen (16) panel antennas mounted on a new 48-foot tall monoecalyptus tree. Equipment associated with the antennas will be located in an equipment enclosure located behind a park comfort station. The project is located at 3735-3737 Arey Drive in the AR-1-1 zone of the Otay Mesa-Nestor community plan area.

The project was determined to be exempt from the California Environmental Quality Act (CEQA) pursuant to section 15303 (New Construction or Conversion of Small Structures). The conditions of approval for the project will require compliance with several operational constraints and development controls intended to assure the continued public health, safety and welfare. All proposed improvement plans associated with the project will be reviewed prior to issuance of construction permits and inspected during construction to assure the project will meet or exceed all relevant and applicable building, electrical, mechanical, plumbing and fire codes.

Additionally, the Telecommunication Act of 1996 preempts local governments from regulating the "placement, construction and modification of wireless communication facilities on the basis of the environmental effects of Radio Frequency (RF) emission to the extent that such facilities comply with the Federal Communication Commission's (FCC) standards for such emissions." The applicant has provided a Radio Frequency Electromagnetic Fields

Exposure Report to demonstrate that the proposed project will be consistent with the FCC's regulations for wireless facilities. Therefore, the project would not result in any significant health or safety risks to the surrounding area within matters of the City's jurisdiction.

In conclusion, the proposed project will not be detrimental to the public health, safety and welfare.

**3. The proposed development will comply with the applicable regulations of the Land Development Code, including any allowable deviations pursuant to the Land Development Code.**

WCFs are permitted in agricultural zones with a non-residential use, with a Conditional Use Permit, Process Three, when the antennas are located less than 100 feet from the property line of a residential use, day care, elementary school, or middle school. In this case the antennas are located less than 100 feet from the property line of a middle school, requiring a CUP, Process Three. An above-ground equipment enclosure is also proposed in a City Park, which requires a Neighborhood Development Permit. Above-ground equipment enclosures are permitted in parks when it has been determined that the equipment does not remove usable park space or preclude park uses from occurring. T-Mobile representatives evaluated the park site with the Park & Recreation Department in order to determine an appropriate location which would allow T-Mobile to meet their coverage objective, while at the same time respecting the existing park's design and use. The Park & Recreation Department determined that the proposed location of the WCF, including the above-ground equipment, is compatible with the park and does not remove usable park space.

In addition to the NDP and CUP, a PDP is also required for two deviations requested by the project:

1. Height: The proposed monoecalyptus, at a total of 48-feet tall, exceeds the AR-1-1 zone height limit of 30-feet by 18-feet. The height deviation allows T-Mobile to meet the proposed coverage objectives for this site and includes 5-feet at the top of the monoecalyptus to allow for a more natural appearance. If the height was reduced, the monoecalyptus may appear less realistic and T-Mobile's coverage and capacity capabilities would be reduced. Additional sites in less preferable (more sensitive) areas of the community might be required to provide the coverage and capacity that the site, as currently designed offers, based on the requested height.
2. Setback: Portions of the monoecalyptus and the equipment enclosure encroach into the AR-1-1 zone 20-foot side setback. T-Mobile coordinated with the Park & Recreation Department to locate the equipment and monoecalyptus in an area of the park that would not disrupt or displace park uses. The WCF is located behind an existing park comfort station and is aligned with existing and proposed live eucalyptus trees. If the setback deviation was not granted, the monoecalyptus and equipment would have to be located further into the interior of the park, with a less desirable location that could adversely impact the park's design and use.

Based on the reasons listed above, the project results in a more desirable project *with* the deviations than if the project complied with the strict application of the AR-1-1 zone development regulations.

The City's Land Development Code (LDC) permits the use of faux landscape, such as the proposed monoecalyptus tree, when existing or proposed live trees of a similar size and species are provided. In this case, the monoecalyptus has been sited along an existing space adjacent to the property line with trees. To supplement the existing trees, additional trees are proposed along this area to assist in integrating the faux tree, in compliance with the LDC requirements.

Based on this analysis, the camouflaged design, and permits required, this project complies with the applicable regulations of the Land Development Code, including the deviations permitted with the PDP.

### **Conditional Use Permit - Section §126.0305**

**1. The proposed development will not adversely affect the applicable land use plan;**

While the Otay Mesa-Nestor Community Plan does not specifically address WCFs, the City of San Diego's General Plan (UD-15) requires that the visual impact of wireless facilities be minimized by concealing wireless facilities in existing structures or using screening techniques to hide or blend them into the surrounding area. The plan also calls for these facilities to be designed to be aesthetically pleasing and respectful of the neighborhood context. Furthermore, the plan states that equipment associated with wireless facilities be concealed from view.

The antennas associated with this WCF are proposed to be mounted to a new 48-foot tall monoecalyptus tree. Existing and proposed live eucalyptus trees will be planted adjacent to the monoecalyptus tree in order to integrate the faux tree with the surrounding park and overall neighborhood. The top five feet of the monoecalyptus will not contain antennas, but will allow for a more natural branch pattern which will improve the appearance of the faux tree. Equipment associated with the antennas is proposed in a 245-square foot enclosure located behind a park comfort station. The placement of the monoecalyptus and equipment enclosure has been designed, in consultation with the Park & Recreation Department, to not remove usable park space or impact use of the park. The proposed design will allow the provision of wireless service to the surrounding area in a way that is compatible with the surrounding uses and development.

The proposed WCF complies with the City's Land Development Code, Section 141.0420, Wireless Communication Facilities, as well as the requirements of the City's General Plan. The proposed WCF does not adversely affect the applicable land use plan.

**2. The proposed development will not be detrimental to the public health, safety, and welfare;**

This project consists of sixteen (16) panel antennas mounted on a new 48-foot tall monoecalyptus tree. Equipment associated with the antennas will be located in an equipment

enclosure located behind a park comfort station. The project is located at 3735-3737 Arey Drive in the AR-1-1 zone of the Otay Mesa-Nestor community plan area.

The project was determined to be exempt from the California Environmental Quality Act (CEQA) pursuant to section 15303 (New Construction or Conversion of Small Structures). The conditions of approval for the project will require compliance with several operational constraints and development controls intended to assure the continued public health, safety and welfare. All proposed improvement plans associated with the project will be reviewed prior to issuance of construction permits and inspected during construction to assure the project will meet or exceed all relevant and applicable building, electrical, mechanical, plumbing and fire codes.

Additionally, the Telecommunication Act of 1996 preempts local governments from regulating the “placement, construction and modification of wireless communication facilities on the basis of the environmental effects of Radio Frequency (RF) emission to the extent that such facilities comply with the Federal Communication Commission's (FCC) standards for such emissions.” The applicant has provided a Radio Frequency Electromagnetic Fields Exposure Report to demonstrate that the proposed project will be consistent with the FCC’s regulations for wireless facilities. Therefore, the project would not result in any significant health or safety risks to the surrounding area within matters of the City's jurisdiction.

In conclusion, the proposed project will not be detrimental to the public health, safety and welfare.

**3. The proposed development will comply with the regulations of the Land Development Code including any allowable deviations pursuant to the Land Development Code; and**

WCFs are permitted in agricultural zones with a non-residential use, with a Conditional Use Permit, Process Three, when the antennas are located less than 100 feet from the property line of a residential use, day care, elementary school, or middle school. In this case the antennas are located less than 100 feet from the property line of a middle school, requiring a CUP, Process Three. An above-ground equipment enclosure is also proposed in a City Park, which requires a Neighborhood Development Permit. Above-ground equipment enclosures are permitted in parks when it has been determined that the equipment does not remove usable park space or preclude park uses from occurring. T-Mobile representatives evaluated the park site with the Park & Recreation Department in order to determine an appropriate location which would allow T-Mobile to meet their coverage objective, while at the same time respecting the existing park’s design and use. The Park & Recreation Department determined that the proposed location of the WCF, including the above-ground equipment, is compatible with the park and does not remove usable park space.

In addition to the NDP and CUP, a PDP is also required for two deviations requested by the project:

1. Height: The proposed monoecalyptus, at a total of 48-feet tall, exceeds the AR-1-1 zone height limit of 30-feet by 18-feet. The height deviation allows T-Mobile to meet the proposed coverage objectives for this site and includes 5-feet at the top of the monoecalyptus to allow for a more natural appearance. If the height was reduced, the



monoecalyptus may appear less realistic and T-Mobile's coverage and capacity capabilities would be reduced. Additional sites in less preferable (more sensitive) areas of the community might be required to provide the coverage and capacity that the site, as currently designed offers, based on the requested height.

2. Setback: Portions of the monoecalyptus and the equipment enclosure encroach into the AR-1-1 zone 20-foot side setback. T-Mobile coordinated with the Park & Recreation Department to locate the equipment and monoecalyptus in an area of the park that would not disrupt or displace park uses. The WCF is located behind an existing park comfort station and is aligned with existing and proposed live eucalyptus trees. If the setback deviation was not granted, the monoecalyptus and equipment would have to be located further into the interior of the park, with a less desirable location that could adversely impact the park's design and use.

Based on the reasons listed above, the project results in a more desirable project *with* the deviations than if the project complied with the strict application of the AR-1-1 zone development regulations.

The City's Land Development Code (LDC) permits the use of faux landscape, such as the proposed monoecalyptus tree, when existing or proposed live trees of a similar size and species are provided. In this case, the monoecalyptus has been sited along an existing space adjacent to the property line with trees. To supplement the existing trees, additional trees are proposed along this area to assist in integrating the faux tree, in compliance with the LDC requirements.

Based on this analysis, the camouflaged design, and permits required, this project complies with the applicable regulations of the Land Development Code, including the deviations permitted with the PDP.

**4. The proposed use is appropriate at the proposed location.**

The WCF Regulations and Council Policy 600-43 encourage wireless providers to locate WCFs away from residential and other sensitive uses by providing lower permit process levels in commercial and industrial zones. WCFs located in commercial and industrial zones are permitted with Process One (Staff-level) approvals, whereas WCFs located in a residential zone with a residential use are permitted with a Process Four (Planning Commission) approval. This particular WCF is located in an agricultural zone with a non-residential use, where the antennas are located less than 100 feet from the property line of a middle school. This project could be processed as a CUP, Process Three, but due to the deviations requested and the corresponding PDP, a Process Four decision is required. Wireless carriers must provide coverage throughout their license area. While the proposed WCF is not located in the *most* preferable area (a property zoned commercial or industrial), the project has been designed in a way that is respectful of the park use and the neighborhood context and is able to provide coverage to the surrounding neighborhood in a way that is not intrusive. Therefore, the proposed use is appropriate at the proposed location.

**Planned Development Permit - §126.0604**

1. **The proposed development will not adversely affect the applicable land use plan;**

While the Otay Mesa-Nestor Community Plan does not specifically address WCFs, the City of San Diego's General Plan (UD-15) requires that the visual impact of wireless facilities be minimized by concealing wireless facilities in existing structures or using screening techniques to hide or blend them into the surrounding area. The plan also calls for these facilities to be designed to be aesthetically pleasing and respectful of the neighborhood context. Furthermore, the plan states that equipment associated with wireless facilities be concealed from view.

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The proposed WCF complies with the City's Land Development Code, Section 141.0420, Wireless Communication Facilities, as well as the requirements of the City's General Plan. The proposed WCF does not adversely affect the applicable land use plan.

**2. The proposed development will not be detrimental to the public health, safety, and welfare;**

This project consists of sixteen (16) panel antennas mounted on a new 48-foot tall monoecalyptus tree. Equipment associated with the antennas will be located in an equipment enclosure located behind a park comfort station. The project is located at 3735-3737 Arey Drive in the AR-1-1 zone of the Otay Mesa-Nestor community plan area.

The project was determined to be exempt from the California Environmental Quality Act (CEQA) pursuant to section 15303 (New Construction or Conversion of Small Structures). The conditions of approval for the project will require compliance with several operational constraints and development controls intended to assure the continued public health, safety and welfare. All proposed improvement plans associated with the project will be reviewed prior to issuance of construction permits and inspected during construction to assure the project will meet or exceed all relevant and applicable building, electrical, mechanical, plumbing and fire codes.

Additionally, the Telecommunication Act of 1996 preempts local governments from regulating the "placement, construction and modification of wireless communication facilities on the basis of the environmental effects of Radio Frequency (RF) emission to the extent that such facilities comply with the Federal Communication Commission's (FCC) standards for such emissions." The applicant has provided a Radio Frequency Electromagnetic Fields Exposure Report to demonstrate that the proposed project will be consistent with the FCC's

regulations for wireless facilities. Therefore, the project would not result in any significant health or safety risks to the surrounding area within matters of the City's jurisdiction.

In conclusion, the proposed project will not be detrimental to the public health, safety and welfare.

3. **The proposed development will comply with the regulations of the Land Development Code including any proposed deviations pursuant to Section 126.0602(b)(1) that are appropriate for this location and will result in a more desirable project than would be achieved if designed in strict conformance with the development regulations of the applicable zone; and any allowable deviations that are otherwise authorized pursuant to the Land Development Code.**

WCFs are permitted in agricultural zones with a non-residential use, with a Conditional Use Permit, Process Three, when the antennas are located less than 100 feet from the property line of a residential use, day care, elementary school, or middle school. In this case the antennas are located less than 100 feet from the property line of a middle school, requiring a CUP, Process Three. An above-ground equipment enclosure is also proposed in a City Park, which requires a Neighborhood Development Permit. Above-ground equipment enclosures are permitted in parks when it has been determined that the equipment does not remove usable park space or preclude park uses from occurring. T-Mobile representatives evaluated the park site with the Park & Recreation Department in order to determine an appropriate location which would allow T-Mobile to meet their coverage objective, while at the same time respecting the existing park's design and use. The Park & Recreation Department determined that the proposed location of the WCF, including the above-ground equipment, is compatible with the park and does not remove usable park space.

In addition to the NDP and CUP, a PDP is also required for two deviations requested by the project:

1. Height: The proposed monoecalyptus, at a total of 48-feet tall, exceeds the AR-1-1 zone height limit of 30-feet by 18-feet. The height deviation allows T-Mobile to meet the proposed coverage objectives for this site and includes 5-feet at the top of the monoecalyptus to allow for a more natural appearance. If the height was reduced, the monoecalyptus may appear less realistic and T-Mobile's coverage and capacity capabilities would be reduced. Additional sites in less preferable (more sensitive) areas of the community might be required to provide the coverage and capacity that the site, as currently designed offers, based on the requested height.
2. Setback: Portions of the monoecalyptus and the equipment enclosure encroach into the AR-1-1 zone 20-foot side setback. T-Mobile coordinated with the Park & Recreation Department to locate the equipment and monoecalyptus in an area of the park that would not disrupt or displace park uses. The WCF is located behind an existing park comfort station and is aligned with existing and proposed live eucalyptus trees. If the setback deviation was not granted, the monoecalyptus and equipment would have to be located further into the interior of the park, with a less desirable location that could adversely impact the park's design and use.

Based on the reasons listed above, the project results in a more desirable project *with* the deviations than if the project complied with the strict application of the AR-1-1 zone development regulations.

The City's Land Development Code (LDC) permits the use of faux landscape, such as the proposed monoecalyptus tree, when existing or proposed live trees of a similar size and species are provided. In this case, the monoecalyptus has been sited along an existing space adjacent to the property line with trees. To supplement the existing trees, additional trees are proposed along this area to assist in integrating the faux tree, in compliance with the LDC requirements.

Based on this analysis, the camouflaged design, and permits required, this project complies with the applicable regulations of the Land Development Code, including the deviations permitted with the PDP, which results in a more desirable project than if the project complied with the strict application of the AR-1-1 zone development regulations.

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the Planning Commission, NEIGHBORHOOD DEVELOPMENT PERMIT NO. 1359157, CONDITIONAL USE PERMIT NO. 1359158, and PLANNED DEVELOPMENT PERMIT NO. 1359159 are hereby GRANTED by the Planning Commission to the referenced Owner/Permittee, in the form, exhibits, terms and conditions as set forth in Permit Nos. 1359157, 1359158, and 1359159, a copy of which is attached hereto and made a part hereof.

---

Alexander Hempton, AICP  
Development Project Manager  
Development Services

Adopted on: September 24, 2015

Internal Order No. 24005006

**RECORDING REQUESTED BY**  
CITY OF SAN DIEGO  
DEVELOPMENT SERVICES  
PERMIT INTAKE, MAIL STATION 501

**WHEN RECORDED MAIL TO**  
**CITY CLERK**

**PROJECT MANAGEMENT**  
**PERMIT CLERK**  
**MAIL STATION 501**

SPACE ABOVE THIS LINE FOR RECORDER'S USE

INTERNAL ORDER NUMBER: 24005006

**NEIGHBORHOOD DEVELOPMENT PERMIT NO. 1359157**  
**CONDITIONAL USE PERMIT NO. 1359158**  
**PLANNED DEVELOPMENT PERMIT NO. 1359159**  
**T-MOBILE – SILVER WING TREE, PROJECT NO. 384275**  
**PLANNING COMMISSION**

This NEIGHBORHOOD DEVELOPMENT PERMIT NO. 1359157, CONDITIONAL USE PERMIT NO. 1359158, and PLANNED DEVELOPMENT PERMIT NO. 1359159 is granted by the PLANNING COMMISSION of the City of San Diego to THE CITY OF SAN DIEGO, Owner, and T-MOBILE, Permittee, pursuant to San Diego Municipal Code [SDMC] sections 141.0420, 126.0604, 126.0305, and 126.0404. The site is located at 3735-3737 Arey Drive in the AR-1-1 zone of the Otay Mesa-Nestor Community Plan Area. The project site is legally described as: PARCEL 1: The South 10 Acres of the West Half of the East Half of the Northeast Quarter of Section 26, Township 18 South, Range 2 West, San Bernardino Meridian, in the City of San Diego, County of San Diego, State of California, according to United States Government Survey approved February 25, 1870; and, PARCEL 2: That portion of the West Half of the East Half of the Northeast Quarter of Section 26, Township 18 South, Range 2 West, San Bernardino Meridian, in the City of San Diego, County of San Diego, State of California, according to the official plat thereof, described as follows: Beginning at a point on the Easterly line of said West Half, distant thereon South 00°06' 50" West 1813.31 feet from the Northeast corner of said West Half; thence North 89°53'10" West 682.48 feet to the Westerly line of said West Half; thence South 00°03'33" East 218.67 feet to the Northerly line of the South 10 Acres of said West Half; thence South 89°40'20" East along said Northerly line 681.82 feet to said Easterly line; thence North 00°06' 50" East 221.21 feet along said Easterly line to the Point of Beginning.

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner/Permittee to construct, operate, and maintain a Wireless Communication Facility (WCF) described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated September 24, 2015, on file in the Development Services Department.



The project shall include:

- a. A 48-foot tall faux eucalyptus tree (monoecalyptus) supporting sixteen (16) panel antennas (with the following dimensions: 96.0" by 11.8" by 6.0") with associated equipment located within a 245 square-foot enclosure;
- b. Two deviations are permitted with the approval of this PDP: 1) The monoecalyptus at 48-feet tall exceeds the AR-1-1 zone 30-foot height limit by 18-feet; and, 2) The equipment enclosure and monoecalyptus are located within the AR-1-1 zone 20-foot side setback;
- c. Landscaping (planting, irrigation and landscape related improvements);
- d. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act [CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

**STANDARD REQUIREMENTS:**

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36 month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. **This permit must be utilized by October 8, 2018.**
2. This Conditional Use Permit [CUP] and corresponding use of this site shall **expire on October 8, 2025**. Upon expiration of this Permit, the facilities and improvements described herein shall be removed from this site and the property shall be restored to its original condition preceding approval of this Permit.
3. No later than ninety (90) days prior to the expiration of this permit, the Owner/Permittee may submit a new application to the City Manager for consideration with review and a decision by the appropriate decision maker at that time. Failure to submit prior to the deadline will be cause for enforcement for noncompliance, which may include penalties and fines.
4. Under no circumstances, does approval of this permit authorize the Owner/Permittee to utilize this site for wireless communication purposes beyond the permit expiration date. Use of this permit beyond the expiration date of this permit is prohibited.
5. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:

- a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
  - b. The Permit is recorded in the Office of the San Diego County Recorder.
6. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.
7. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.
8. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
9. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).
10. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.
11. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.
12. All of the conditions contained in this Permit have been considered and were determined-necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

13. The Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Permittee.

#### **ENGINEERING REQUIREMENTS:**

14. This project proposes to export 58 cubic yards of material from the project site. All export material shall be discharged into a legal disposal site. The approval of this project does not allow the onsite processing and sale of the export material unless the underlying zone allows a construction and demolition debris recycling facility with an approved Neighborhood Use Permit or Conditional Use Permit per LDC Section 141.0620(i).

15. Prior to the issuance of any construction permit, the Permittee shall enter into a Maintenance Agreement for the ongoing permanent BMP maintenance, satisfactory to the City Engineer.

16. Prior to the issuance of any construction permit, the Permittee shall incorporate any construction Best Management Practices necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the San Diego Municipal Code, into the construction plans or specifications.

17. Prior to the issuance of any construction permit the Permittee shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be prepared in accordance with the guidelines in Appendix E of the City's Storm Water Standards.

#### **PARK & RECREATION REQUIREMENTS:**

18. Prior to construction permit issuance, complete Landscape Construction Documents shall be submitted for review and approval by the Park & Recreation Department and Development Services Department. Construction documents shall be in substantial conformance to the approved Exhibit "A" on file with the Development Services Department.

19. Prior to activation of this WCF and completion of the building permit an inspection sign-off from the Park & Recreation Department shall be obtained. Any landscape materials, including hardscape, damaged during construction shall be repaired or replaced by the Permittee, within 30 days, to the satisfaction of the Park & Recreation Department.

**GEOLOGY REQUIREMENTS:**

20. The Owner/Permittee shall submit a geotechnical investigation report or update letter that specifically addresses the proposed construction plans. The geotechnical investigation report or update letter shall be reviewed for adequacy by the Geology Section of Development Services prior to the issuance of any construction permit.

**PLANNING/DESIGN REQUIREMENTS:**

21. A topographical survey conforming to the provisions of the SDMC may be required if it is determined, during construction, that there may be a conflict between the building(s) under construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Owner/Permittee.

22. All proposed hand-holes shall be covered with bark material to match the monoecalyptus trunk to the satisfaction of the Development Services Department.

23. All coaxial conduits shall be routed up through the caisson and into the tree to the satisfaction of the Development Services Department. Cable enclosures (referred to as "doghouses") are not permitted.

24. Branches shall extend a minimum of 24-inches beyond the face of the proposed antennas to the satisfaction of the Development Services Department.

25. Starting branch height shall be no higher than 15-feet, as illustrated on the stamped, approved Exhibit "A."

26. All exposed cables, brackets and supports shall be painted to match the faux tree foliage to the satisfaction of the Development Services Department.

27. Radio-frequency transparent "socks" fully covering the front and back of the antennas (and any other components) shall be installed.

28. The applicant is required to provide color samples of the faux tree prior to Building Permit issuance. This is to ensure that the proposed faux tree integrates with the surrounding landscape. Staff will pre-approve the color sample prior to Building Permit issuance. The exact faux tree color exhibit will be used during the FINAL INSPECTION. The color approved by Planning Staff must be identical to the as-built faux tree.

29. All private outdoor lighting shall be shaded and adjusted to fall on the same premises where such lights are located and in accordance with the applicable regulations in the SDMC.

30. All facilities and related equipment shall be: maintained in good working order; free from trash, debris, graffiti; and designed to discourage vandalism. Any damaged equipment shall be repaired or replaced within thirty (30) calendar days of notification by the City of San Diego.
31. The Owner/Permittee shall notify the City within 30 days of the sale or transfer of this site to any other provider or if the site is no longer operational requiring the removal and the restoration of this site to its original condition.
32. The photosimulation(s) for the proposed project shall be printed (not stapled) on the building plans. This is to ensure the construction team building the project is in compliance with approved the Exhibit "A."
33. No overhead cabling is allowed for this project.
34. Exposed mounting apparatus shall be removed and shall not remain on the monoecalyptus absent antennas.
35. The Owner/Permittee shall not cause or allow the antennas located on the building to be different sizes (length, width, or height) than as shown on the stamped approved plans.
36. The WCF shall conform to Exhibit "A" (consisting of the stamped approved plans and approved photosimulations) prior to receiving final inspection approval.
37. Prior to the issuance of a construction permit, the telecommunication provider shall provide a certified cumulative radio frequency model study demonstrating compliance with the Federal Communications Commission's Radio Frequency Guidelines. All significant contributors to the ambient RF environment should be considered in the radio frequency model study.
38. All equipment, including transformers, emergency generators and air conditioners belonging to the Permittee shall be designed and operated consistent with the City noise ordinance. Ventilation openings shall be baffled and directed away from residential areas. Vibration resonance of operating equipment in the equipment enclosures shall be eliminated.
39. The Permittee shall place appropriate signage on the WCF as required by CAL-OSHA/FCC to the satisfaction of the Development Services Department.

**INFORMATION ONLY:**

- The issuance of this discretionary use permit alone does not allow the immediate commencement or continued operation of the proposed use on site. The operation allowed by this discretionary use permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.



- A “Telecom Planning Inspection” will be required prior to Final Clearance from the City's Building Inspector to ensure compliance with the approved plans, exhibits, and associated conditions. Prior to calling for your Final Inspection from your building inspection official, please contact the Project Manager listed below at 619-446-5349 to schedule an inspection of the completed WCF. Please request the telecom inspection at least five working days ahead of the requested Final inspection.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Planning Commission of the City of San Diego on September 24, 2015 and [Approved Resolution Number].

Permit Type/PTS Approval No.: NDP No. 1359157/CUP No. 1359158/PDP No. 1359159  
Date of Approval: 9/24/2015

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES  
DEPARTMENT

\_\_\_\_\_  
Alex Hempton, AICP  
Development Project Manager

**NOTE: Notary acknowledgment  
must be attached per Civil Code  
section 1189 et seq.**

\_\_\_\_\_  
The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of  
this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

**THE CITY OF SAN DIEGO**  
Owner

By \_\_\_\_\_  
CYBELE THOMPSON  
DIRECTOR, REAL ESTATE ASSETS

**T-MOBILE**  
Permittee

By \_\_\_\_\_  
NAME  
TITLE

**NOTE: Notary acknowledgments  
must be attached per Civil Code  
section 1189 et seq.**



THE CITY OF SAN DIEGO

Date of Notice: July 16, 2015

# NOTICE OF RIGHT TO APPEAL ENVIRONMENTAL DETERMINATION

DEVELOPMENT SERVICES DEPARTMENT

SAP No. 24005006

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**PROJECT NAME/NUMBER:** T-Mobile Silver Wing Tree/384275

**COMMUNITY PLAN AREA:** Otay Mesa-Nestor

**COUNCIL DISTRICT:** 8

**LOCATION:** 3737 Arey Drive, San Diego, California 92154

**PROJECT DESCRIPTION:** A CONDITIONAL USE PERMIT(CUP), NEIGHBORHOOD DEVELOPMENT PERMIT(NDP) and PLANNED DEVELOPMENT PERMIT(PDP) to allow for a Wireless Communication Facility (WCF) consisting of a 48' high monoecalyptus tree supporting 16 panel antennas, and associated equipment cabinets located inside a new 12'-0" by 20'-0" aboveground enclosure at Silver Wing Park (City owned land).

**ENTITY CONSIDERING PROJECT APPROVAL:** City of San Diego Planning Commission

**ENVIRONMENTAL DETERMINATION:** CEQA Exemption Section 15303-(New Construction or Conversion of Small Structures)

**ENTITY MAKING ENVIRONMENTAL DETERMINATION:** City of San Diego

**STATEMENT SUPPORTING REASON FOR ENVIRONMENTAL DETERMINATION:** The City of San Diego conducted an environmental review that determined the project would not have the potential for causing a significant effect on the environment. The project, a CUP, NDP and PDP for a WCF consisting of 16 panel antennas mounted to a 48'-0" high monoecalyptus tree, and associated equipment enclosure, meets the criteria set forth in CEQA Section 15303 which addresses the construction and location of limited numbers of new, small facilities or structures. Additionally, none of the exceptions described in CEQA Guidelines Section 15300.2 apply.

**DEVELOPMENT PROJECT MANAGER:** Alexander Hempton  
**MAILING ADDRESS:** 1222 First Avenue, MS 501  
San Diego, CA 92101  
**PHONE NUMBER:** (619) 446-5349

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On July 16, 2015, the City of San Diego made the above-referenced environmental determination

## ATTACHMENT 7

pursuant to the California Environmental Quality Act (CEQA). This determination is appealable to the City Council. If you have any questions about this determination, contact the City Development Project Manager listed above.

Applications to appeal CEQA determination made by staff (including the City Manager) to the City Council must be filed in the office of the City Clerk within 10 business days from the date of the posting of this Notice (July 30, 2015). The appeal application can be obtained from the City Clerk, 202 'C' Street, Second Floor, San Diego, CA 92101.

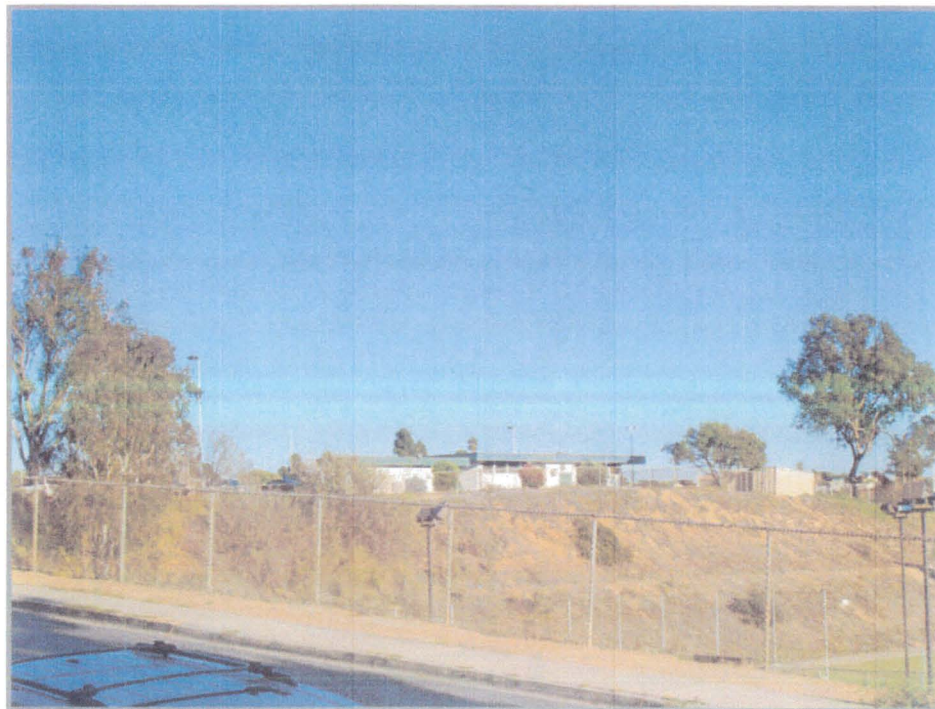
This information will be made available in alternative formats upon request.



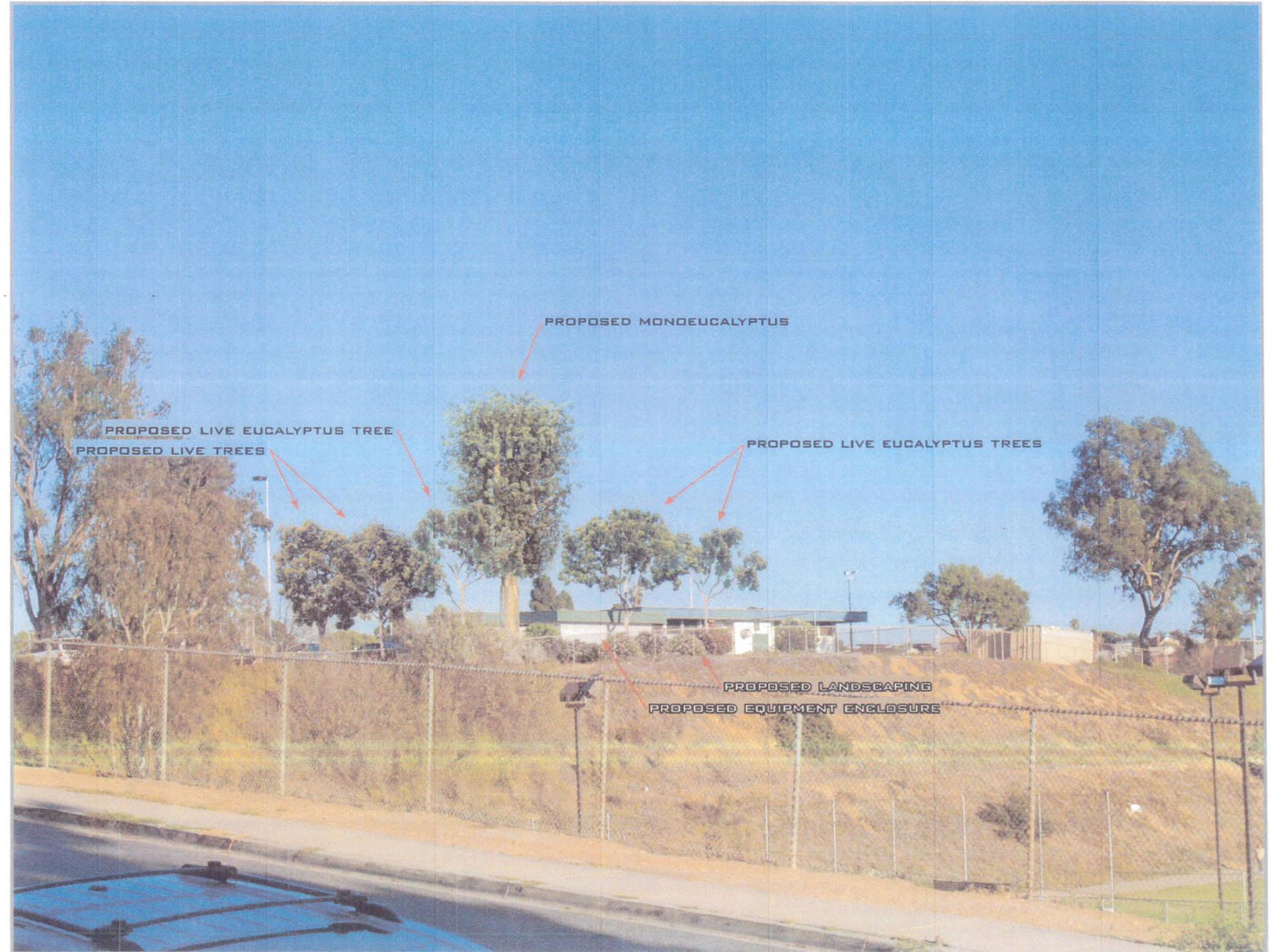


LOCATION

©2014 Google Maps



EXISTING



PROPOSED

LOOKING SOUTHEAST FROM AREY DRIVE





PROPOSED LOOKING SOUTHWEST FROM PARK



**SD06183 – Silver Wing Tree  
3737 Arey Drive  
TELECOM SITE JUSTIFICATION REPORT**

1. **Description of the location, type, capacity, field strength or power density, and calculated geographic service area of the proposed antenna or antenna array.**

**LOCATION AND TYPE**

T-Mobile proposes the operation of a wireless communications facility at 3737 Arey Drive. The proposed project consists of sixteen (16) panel antennas (3 arrays of 4 antennas each) mounted to a proposed 45' faux mono-eucalyptus tree. All of the proposed equipment is located in a 245 sq. ft. equipment enclosure. This proposed facility is unmanned, operating 24 hours a day. The only visits to the site will consist of any emergency calls as well as regular maintenance visits once every four to six weeks.

**FREQUENCY AND POWER SPECIFICATIONS**

The transmitting frequency for the T-Mobile system is 1950-1965 Megahertz. The receiving frequency is 1870-1885 Megahertz.

**COVERAGE AND CAPACITY**

The objective of this proposed site is to provide coverage and capacity within the residential area to the north, east, south and west of Arey Drive, the surrounding community and also to connect the coverage gaps to the surrounding sites. Please refer to the existing coverage map that illustrates the existing coverage gap. The site will provide coverage in a current gap and provide additional capacity, allowing more users to use the system simultaneously and will provide "off-load" capacity for adjacent sites currently operating within a 1-mile radius from this proposed site (see attached map).

2. **Location of all existing, proposed and anticipated wireless communications facilities in the Applicant/Permittee's network located within a 1 mile radius from proposed site.**

Please see refer to justification map and to coverage maps.

3. **A description of how the proposed facility fits into, and is a necessary part of, the Applicant/Permittee's network.**

The objective of this proposed site is to provide coverage and capacity within the residential area to the north, east, south and west of Arey Drive, the surrounding community and also to connect the coverage gaps to the surrounding sites. Please refer to the existing coverage map that illustrates the existing coverage gap. The site will provide coverage in a current gap and provide additional capacity, allowing more users to use the system simultaneously and will provide

## , Site Justification

"off-load" capacity for adjacent sites currently operating within a 1-mile radius from this proposed site (see attached map).

4. **If the proposal does not include co-location, written documentation of all efforts made to co-locate at another site, and a justification for the decision not to co-locate.**

There are no other carriers at this site or to meet the coverage objective therefore no additional selection process was completed.

5. **Discuss Alternative Sites and why they were not selected.**

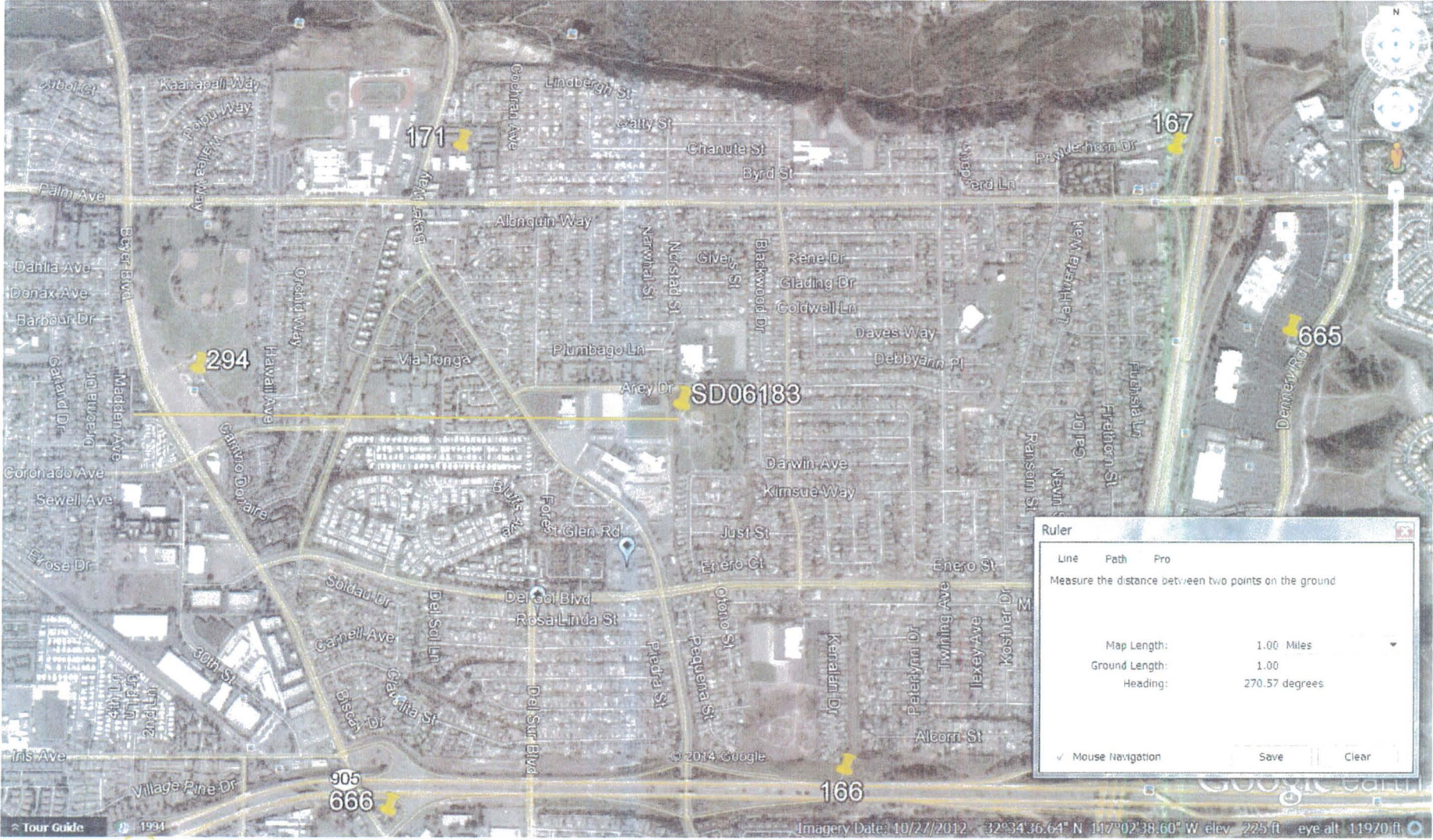
This site is located on residential use surrounded by single and multi-family residential zones. The search ring is primarily residential. The proposed site was selected because of its height above the coverage area and ability to fill the coverage gap and connect to surrounding sites. Please refer to aerial and coverage maps provided. There were no other non-residential alternatives reviewed.

6. **Noise Information for sites located near residential**

The proposed equipment will be located in a CMU block enclosure element just south of the restrooms. The closest residence is roughly 350' to the north, 650' to the east, 550' to the south with an elementary school to the west. Therefore, no noise disturbance will be generated for residential neighbors.

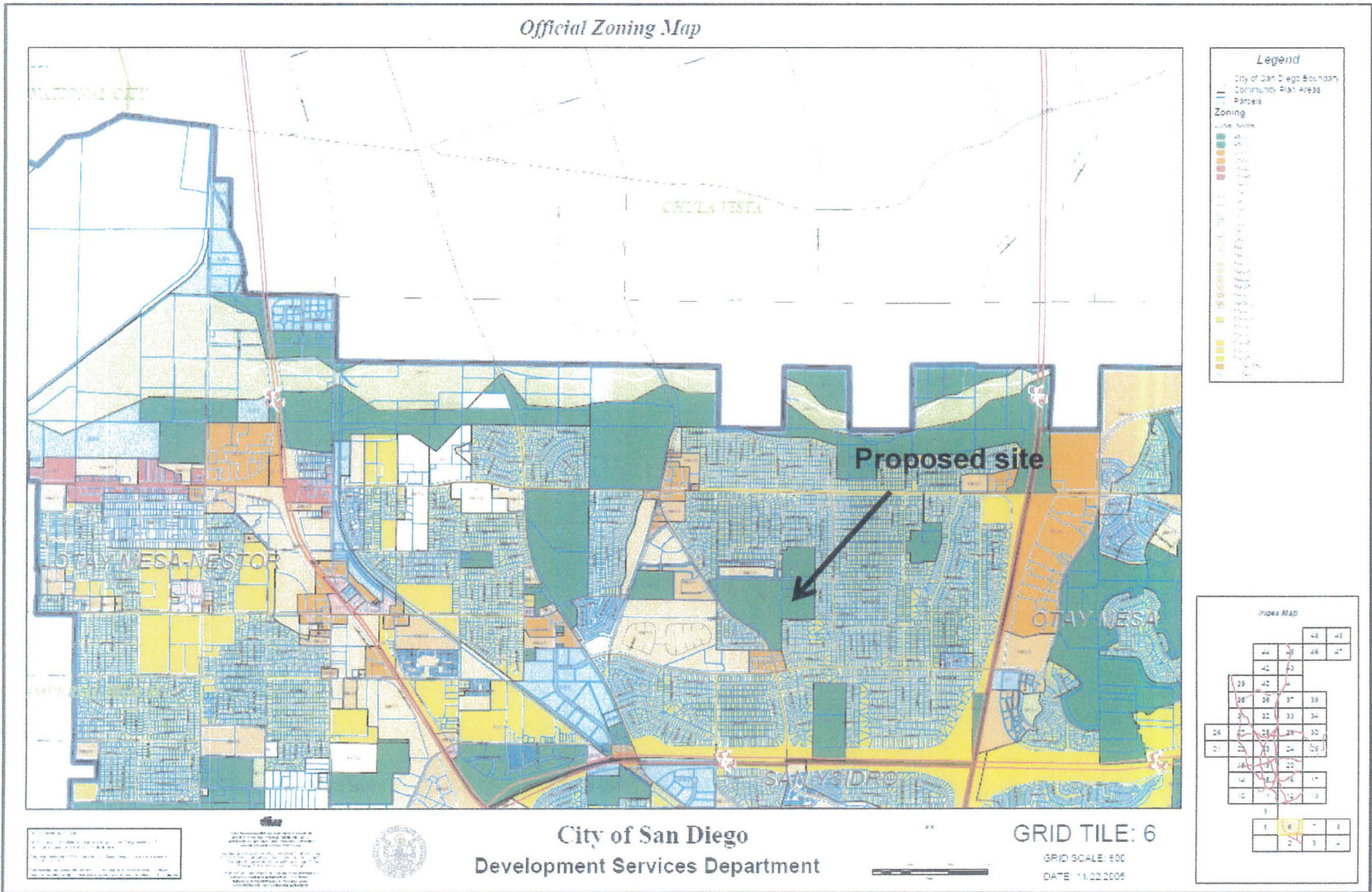


# Silver Wing Tree (SD06183) Justification Maps

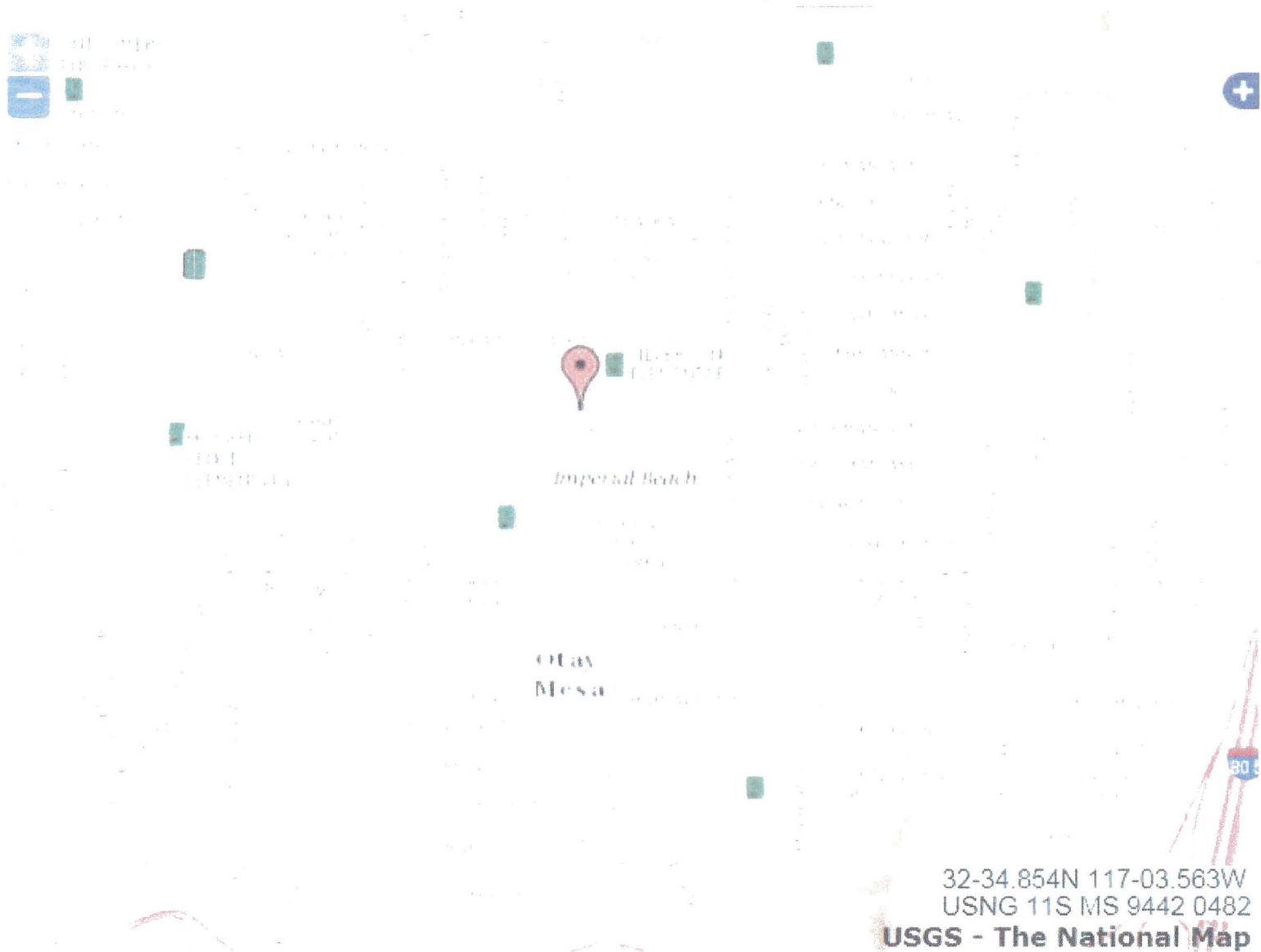




# Silver Wing Tree (SD06183) Justification Maps



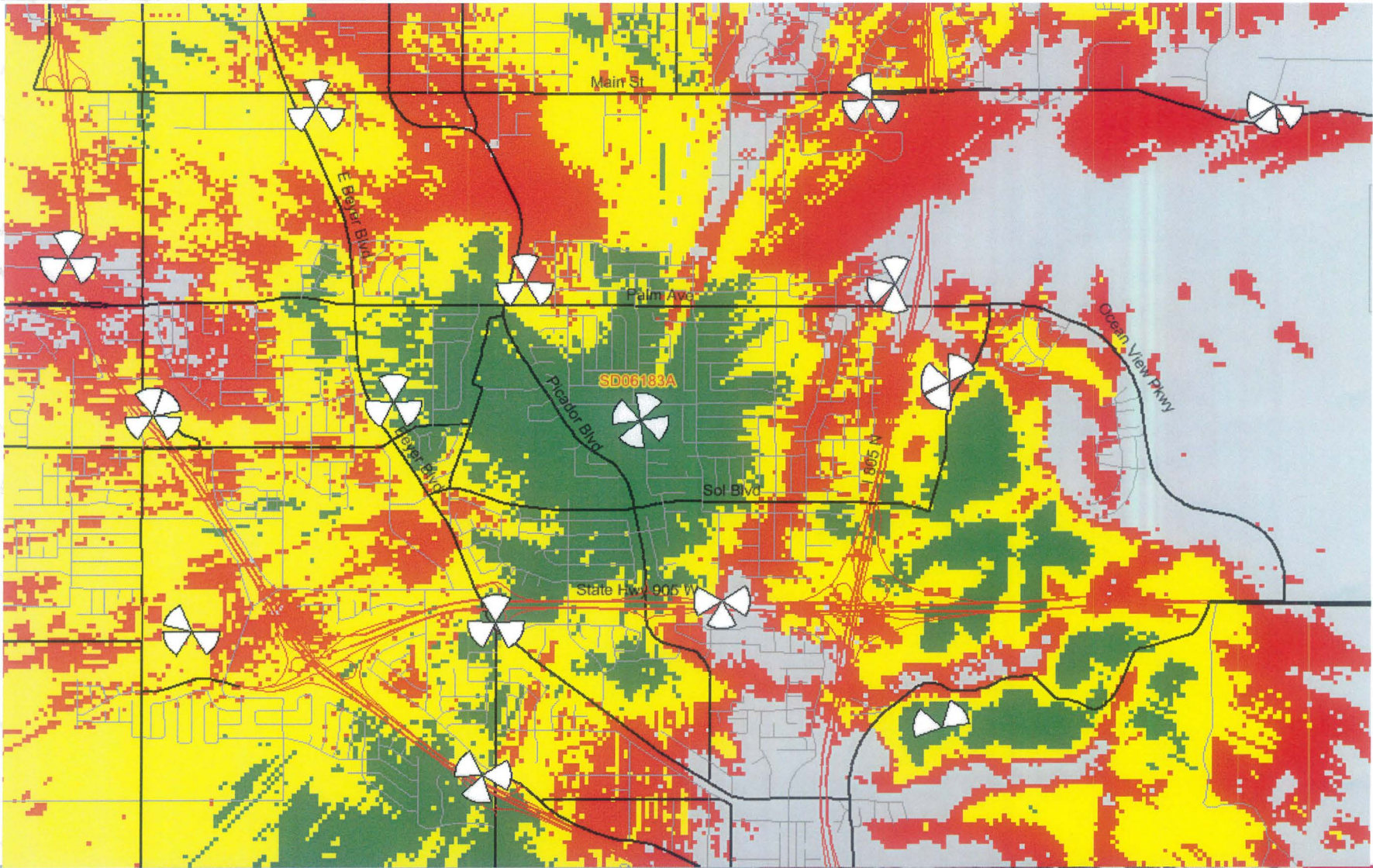
# Silver Wing Tree (SD06183) Justification Maps







SD06183A Coverage



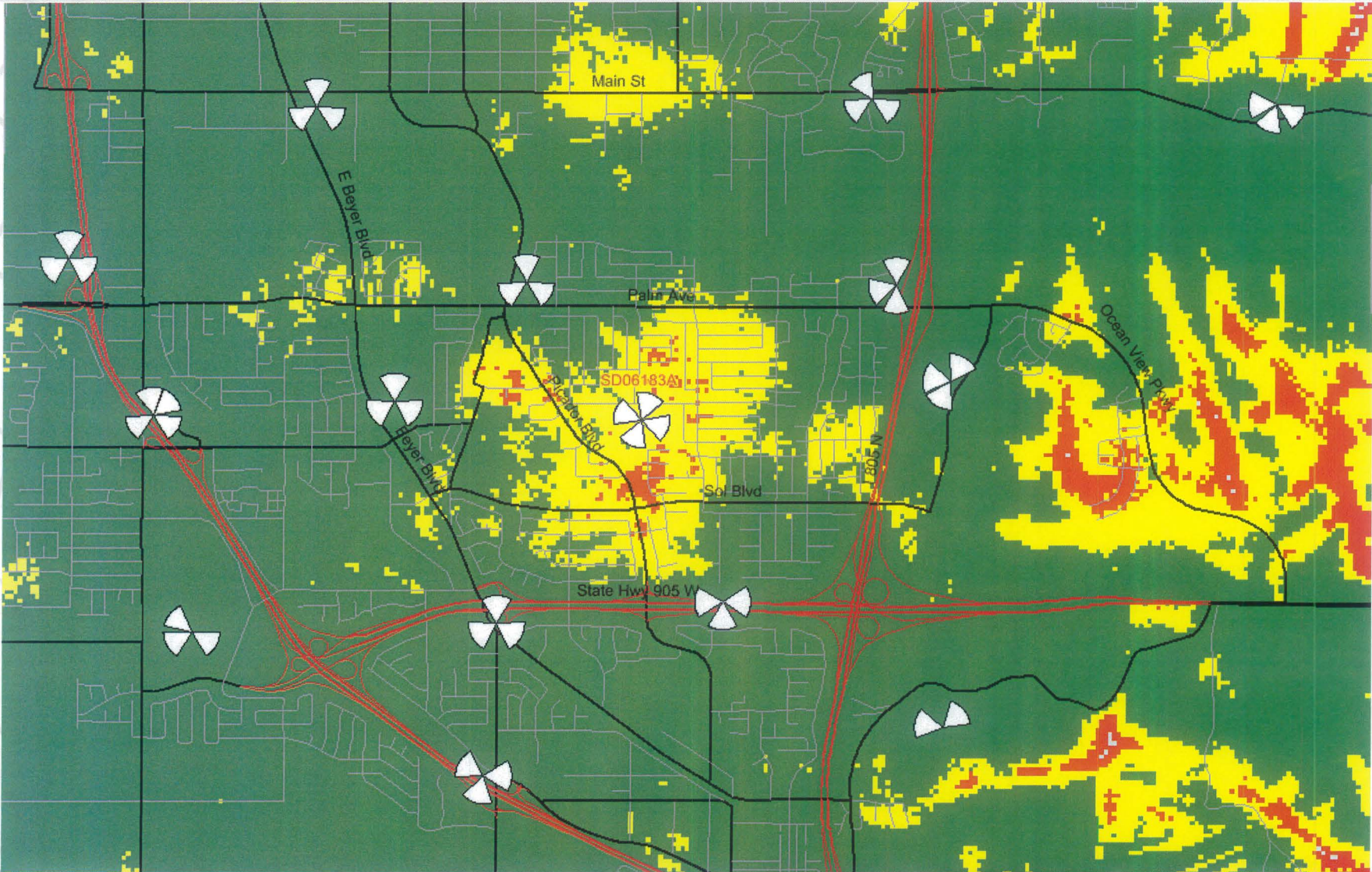
- Excellent
- Good
- Poor
- No coverage







Existing On-Air sites coverage without SD06183A



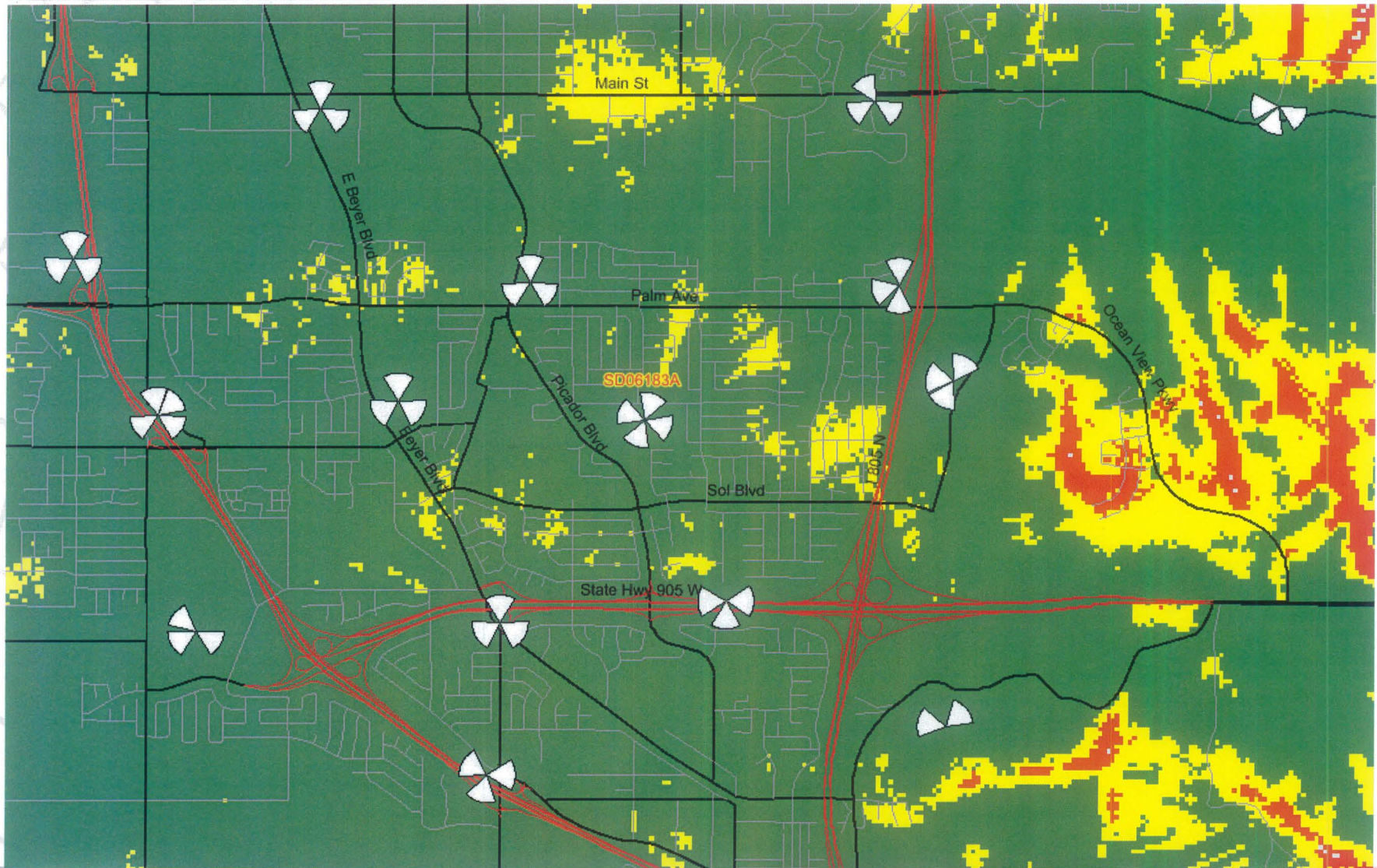
- Excellent
- Good
- Poor
- No coverage







Existing On-Air sites coverage with SD06183A



- Excellent
- Good
- Poor
- No coverage





# T-Mobile Photo Survey SD06183A Silver Wing Tree







1. View of North Elevation of site.
2. View of South Elevation of site.







- 3. View of East Elevation of site.
- 4. View of West Elevation of site.





5. View looking North from site.

6. View looking East from site.







7. View looking South from site.

8. View looking West from site.





DEVELOPMENT SUMMARY

PROJECT DESCRIPTION:

ZONING FOR T-MOBILE UNMANNED TELECOMMUNICATION FACILITY:

SCOPE OF WORK:

- 1- INSTALLATION OF 7'-4" SLUMP STONE ENCLOSURE
- 2- INSTALLATION OF (4) EQUIPMENT CABINETS INSIDE SLUMP STONE ENCLOSURE
- 3- INSTALLATION OF (1) 48'-0" H MONO-EUCALYPTUS
- 4- INSTALLATION OF (16) PANEL ANTENNAS MOUNTING ON MONO-EUCALYPTUS
- 5- INSTALLATION OF (16) RRU AND (3) SURGE SUPPRESSORS AT ANTENNA LEVEL
- 6- INSTALLATION OF POWER AND TELCO LINES

THE PROPOSED PROJECT CONSISTS OF THE INSTALLATION & OPERATION OF A NEW T-MOBILE TELECOM FACILITY WITH ANTENNAS & ASSOCIATED EQUIPMENT CABINETS ON A PROPOSED 48'-0" H MONO-EUCALYPTUS TREE AT CITY OF SD PARK & REC.  
NOTE: NO EXISTING CARRIERS ON SITE

*Steelhead will manufacture tree and sci will manufacture limbs.*

PERMIT REQUIRED:

- 1) CUP - PROCESS 4 - WCF LOCATED IN DEDICATED PARKLAND, LESS THAN 100FT. FROM THE PROPERTY LINE OF A MIDDLE SCHOOL
- 2) PDP - PROCESS 4 - WCF LOCATED IN THE SETBACK AND EXCEEDING THE 30' ZONE HEIGHT LIMIT
- 3) NDP - WCF WITH ABOVE GROUND EQUIPMENT ENCLOSURE IN A PARK

LIST THE REQUESTED DEVIATIONS:

- 1) MONO-EUCALYPTUS ENCLOSES TO 20FT SIDE YARD SETBACK
- 2) MONO-EUCALYPTUS HEIGHT OF 45' IS GREATER THAN ALLOWABLE (30')

PROPERTY INFORMATION:

LEGAL DESCRIPTION:  
PENDING TITLE REPORT

ASSESSOR PARCEL NUMBER: 630-330-09  
LEASE AREA: 245 SQ.FT.

UTILITY SURVEYORS:

**POWER:**  
COMPANY: SDG&E  
CONTACT: TEL: FAX: E-MAIL:

**TELCO:**  
COMPANY: AT&T  
CONTACT: TEL: FAX: E-MAIL:

APPLICANT:

T-MOBILE WIRELESS  
10509 VISTA SORRENTO PARKWAY, SUITE 206,  
SAN DIEGO, CA 92121  
CM: KIRT BABCOCK PHONE: (858) 334-6139  
PM: JOE GUYER, ESQ. PHONE: (858) 334-6153

(SEE AGENT FOR APPLICANT'S REPRESENTATIVE)

PROPERTY OWNER:

OWNER: CITY OF SAN DIEGO  
ADDRESS: 1200 THIRD AVENUE, SUITE 1700  
SAN DIEGO, CA 92101  
CONTACT: ENZA CHARLES  
PHONE: (619) 236-6052

APPLICANT'S AGENT:

DEPRATTI INC.  
13948 CALLE BUENO GANAR  
JAMUL, CA 91935  
SAC: ANNE REGAN PHONE: (858) 602-6522  
LUP: DEBRA D GARDNER PHONE: (619) 726-8110  
CM: MATT SAIA PHONE: (858) 349-9390

ARCHITECT:

DCI PACIFIC  
32 EXECUTIVE PARK, SUITE 110  
IRVINE, CA 92614  
CONTACT: D.K. DO E-MAIL: DK@DCIPACIFIC.COM  
PHONE: (949) 475-1000 FAX: (949) 475-1001

BUILDING CODE INFORMATION:

EXISTING BUILDING/STRUCTURE: OCCUPANCY = . OCCUPANCY = S2 (TELECOMMUNICATION)  
CONSTRUCTION TYPE = . CONSTRUCTION TYPE = V-A  
SPRINKLER SYSTEM = . SPRINKLER SYSTEM = NONE

ZONING INFORMATION:

JURISDICTION: CITY OF SAN DIEGO  
ZONING DESIGNATION: AGRICULTURAL  
LATITUDE: 32° 34' 38.98" N (APPROX.)  
LONGITUDE: 117° 03' 13.02" W (APPROX.)  
TOP OF (N) MONO-EUCALYPTUS : . AGL  
BASE OF (N) MONO-EUCALYPTUS : . AGL

APPROVALS:

R.F. ENGINEER: \_\_\_\_\_  
ZONING: \_\_\_\_\_  
CONSTRUCTION: \_\_\_\_\_  
SITE ACQUISITION: \_\_\_\_\_  
OWNER / LANDLORD: \_\_\_\_\_  
SIGNATURE DATE

# T-Mobile

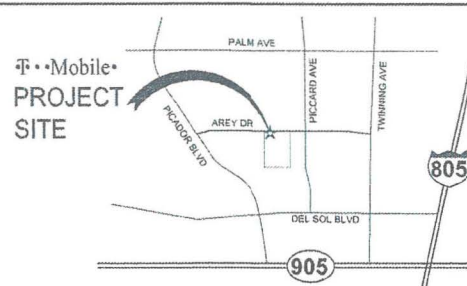
stick together

SD06183A - SILVER WING TREE

3737 AREY DRIVE  
SAN DIEGO, CA 92154

THIS DOCUMENT IS THE CREATION, DESIGN, PROPERTY AND COPYRIGHTED WORK OF T-MOBILE.  
ANY DUPLICATION OR USE WITHOUT EXPRESS WRITTEN CONSENT IS STRICTLY PROHIBITED.

VICINITY MAP



THOMAS GUIDE MAP REF:  
(COUNTY: SAN DIEGO)

ACCESSIBILITY NOTE

THIS PROJECT IS AN UNMANNED WIRELESS PCS TELECOMMUNICATIONS FACILITY AND, ACCORDING TO WRITTEN INTERPRETATION FROM THE CALIFORNIA DEPARTMENT OF THE STATE ARCHITECT, IS EXEMPT FROM DISABLED ACCESS REQUIREMENTS.

ADA COMPLIANCE:  
N/A (UNMANNED COMMUNICATIONS FACILITY)

SHEET INDEX

SHEET	DESCRIPTION
T1	TITLE SHEET
A1	SITE PLAN
A2	ENLARGED SITE PLAN
A3	EQUIPMENT AND ANTENNA LAYOUT PLANS
A4	ELEVATIONS
A5	ANTENNA SPECIFICATIONS
A6	ANTENNA SPECIFICATIONS
L1	IRRIGATION PLAN
L2	WATER CALCULATIONS
L3	PLANTING PLAN
LS1	SITE SURVEY GENERAL INFORMATION
LS2	SITE SURVEY GENERAL INFORMATION

APPLICABLE CODES

ALL WORK AND MATERIALS SHALL BE PERFORMED AND INSTALLED IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE FOLLOWING CODES AS ADOPTED BY THE LOCAL GOVERNING AUTHORITIES. NOTHING IN THESE PLANS IS TO BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THESE CODES.

- 2013 CALIFORNIA ADMINISTRATIVE CODE (CAC)
- 2013 CALIFORNIA BUILDING CODE (CBC), VOLUMES 1, AND 2 (2012 EDITION INTERNATIONAL BUILDING CODE WITH 2013 CALIFORNIA AMENDMENTS)
- 2013 CALIFORNIA ELECTRICAL CODE (2011 EDITION NATIONAL ELECTRICAL CODE WITH 2013 CALIFORNIA AMENDMENTS)
- 2013 CALIFORNIA MECHANICAL CODE (2012 EDITION INTERNATIONAL MECHANICAL CODE WITH 2013 CALIFORNIA AMENDMENTS)
- 2013 CALIFORNIA ENERGY CODE (2008 EDITION CALIFORNIA ENERGY COMMISSION BUILDING ENERGY EFFICIENCY STANDARDS)
- 2013 CALIFORNIA FIRE CODE (2012 EDITION OF INTERNATIONAL FIRE CODE WITH 2010 CALIFORNIA AMENDMENTS)
- 2013 CALIFORNIA GREEN CODE
- 2013 CALIFORNIA REFERENCES STANDARDS CODE
- APPLICABLE LOCAL CODES

SYMBOLS

	NEW ANTENNA		SECTION REFERENCE
	EXISTING ANTENNA		CENTERLINE
	GROUND ROD		PROPERTY/LEASE LINE
	GROUND BUS BAR		MATCH LINE
	MECHANICAL GRND. CONN.		WORK POINT
	CADWELD		GROUND CONDUCTOR
	GROUND ACCESS WELL		TELEPHONE CONDUIT
	ELECTRIC BOX		ELECTRICAL CONDUIT
	TELEPHONE BOX		COAXIAL CABLE
	SPOT ELEVATION		ELEC. & TEL. CONDUITS
	REVISION		CHAIN LINK FENCING
	GRID REFERENCE		OVERHEAD SERVICE CONDUCTORS
	DETAIL REFERENCE		KEYNOTE
	ELEVATION REFERENCE		

ABBREVIATIONS

A.B.	ANCHOR BOLT	GRND.	GROUND	DIAG.	DIAGONAL	REINF.	REINFORCEMENT(ING)
ABV.	ABOVE	HDR.	HEADER	DIM.	DIMENSION	REQ'D.	REQUIRED
ADD'L	ADDITIONAL	HGR.	HANGER	DWG.	DRAWING(S)	RGS.	RIGID GALVANIZED STEEL
A.F.F.	ABOVE FINISHED FLOOR	HT.	HEIGHT	DWL.	DOWEL(S)	SCH.	SCHEDULE
A.F.G.	ABOVE FINISHED GRADE	ICGB.	ISOLATED COPPER GROUND BUS	EA.	EACH	SHT.	SHEET
ALUM.	ALUMINUM	IN.(")	INCH(ES)	EL.	ELEVATION	SIM.	SIMILAR
ALT.	ALTERNATE	INT.	INTERIOR	ELEC.	ELECTRICAL	SPEC.	SPECIFICATION(S)
ANT.	ANTENNA	LB.(#)	POUND(S)	ELEV.	ELEVATOR	SQ.	SQUARE
APPRX.	APPROXIMATE(LY)	L.B.	LAG BOLTS	EMT.	ELECTRICAL METALUC TUBING	STD.	STANDARD
ARCH.	ARCHITECT(URAL)	L.F.	LINEAR FEET (FOOT)	E.N.	EDGE NAIL	STL.	STEEL
AWG.	AMERICAN WIRE GAUGE	L.	LONG(TUDINAL)	ENG.	ENGINEER	STRUC.	STRUCTURAL
BLDG.	BUILDING	MAS.	MASONRY	EQ.	EQUAL	TEMP.	TEMPORARY
BLK.	BLOCK	MAX.	MAXIMUM	EXP.	EXPANSION	THK.	THICK(NESS)
BLKG.	BLOCKING	M.B.	MACHINE BOLT	EXST.(E)	EXISTING	T.N.	TOE NAIL
BM.	BEAM	MECH.	MECHANICAL	EXT.	EXTERIOR	T.O.A.	TOP OF ANTENNA
B.N.	BOUNDARY NAILING	MFR.	MANUFACTURER	FAB.	FABRICATION(OR)	T.O.C.	TOP OF CURB
BTCW.	BARE TINNED COPPER WIRE	MIN.	MINIMUM	F.F.	FINISH FLOOR	T.O.F.	TOP OF FOUNDATION
B.O.F.	BOTTOM OF FOOTING	MISC.	MISCELLANEOUS	F.G.	FINISH GRADE	T.O.P.	TOP OF PLATE (PARAPET)
B/U	BACK-UP CABINET	MTL.	METAL	FIN.	FINISH(ED)	T.O.S.	TOP OF STEEL
CAB.	CABINET	N	NEW	FLR.	FLOOR	T.O.W.	TOP OF WALL
CANT.	CANTILEVER(ED)	NO.(#)	NUMBER	FDN.	FOUNDATION	TYP.	TYPICAL
C.I.P.	CAST IN PLACE	N.T.S.	NOT TO SCALE	F.O.C.	FACE OF CONCRETE	U.G.	UNDER GROUND
CLG.	CEILING	O.C.	ON CENTER	F.O.M.	FACE OF MASONRY	U.L.	UNDERWRITERS LABORATORY
CLR.	CLEAR	OPNG.	OPENING	F.O.S.	FACE OF STUD	U.N.O.	UNLESS NOTED OTHERWISE
COL.	COLUMN	P/C	PRECAST CONCRETE	F.O.W.	FACE OF WALL	V.I.F.	VERIFY IN FIELD
CONC.	CONCRETE	PLY.	PLYWOOD	F.S.	FINISH SURFACE	W	WIDE(WIDTH)
CONN.	CONNECTION(OR)	PBW.	PACIFIC BELL WIRELESS	FT.(")	FOOT(FEET)	W/	WITH
CONST.	CONSTRUCTION	P.S.F.	POUNDS PER SQUARE FOOT	FTG.	FOOTING	WD.	WOOD
CONT.	CONTINUOUS	P.S.I.	POUNDS PER SQUARE INCH	GA.	GROWTH (CABINET)	W.P.	WEATHERPROOF
CNT.	COUNT	P.T.	PRESSURE TREATED	GA.	GAUGE	WT.	WEIGHT
DBL.	DOUBLE	PWR.	POWER (CABINET)	GI.	GALVANIZE(D)	W.	W/
DEPT.	DEPARTMENT	QTY.	QUANTITY	GLB.(GLU-LAM)	GLUE LAMINATED BEAM	W.	W/
D.F.	DOUGLAS FIR	RAD.(R)	RADIUS			W.	W/
DIA.	DIAMETER	REF.	REFERENCE			W.	W/

PROPRIETARY INFORMATION

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DATE:	04/29/15	
ARCHITECT:	DKD	
DRAWN BY:	HH	
CHECKED BY:	BOK	
ISSUE STATUS:		
Δ DATE:	DESCRIPTION:	BY:
- 07/16/14	90% 2D	HH
- 08/01/14	100% 2D	HH
- 10/16/14	CITY COMMENTS	HH
- 01/15/15	EQUIPMENT RELD	HH
- 04/29/15	EQUIPMENT RELD	HH

APPLICANT  
T-Mobile  
stick together  
10509 VISTA SORRENTO PARKWAY,  
SUITE 206,  
SAN DIEGO, CA 92121

DePratti Inc.

PLANS PREPARED BY:

DCI PACIFIC  
AJEJC WORKS

ARCHITECTURE | ENGINEERING | CONSULTING  
32 EXECUTIVE PARK | SUITE 110  
IRVINE | CA 92614

LICENSE:

PROJECT NAME:

SILVER WING TREE

PROJECT NUMBER:

SD06183A

PROJECT ADDRESS:

3737 AREY DRIVE  
SAN DIEGO, CA 92154

SHEET TITLE:

TITLE SHEET

SHEET NUMBER:

T1

12 SHEETS TOTAL ISSUED FOR: ZONING

NOTE:  
SCALES SHOWN ON SET OF DRAWINGS ARE REPRESENTATIVE OF FULL SIZE 24"x36" DRAWINGS. IF THIS SET OF DRAWINGS IS LESS THAN 24"x36", IT IS A REDUCED SET.



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-	04/29/15	EQUIPMENT RELO	HH

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 stick together  
 10509 VISTA SORRENTO PARKWAY,  
 SUITE 206,  
 SAN DIEGO, CA 92121



PLANS PREPARED BY:  
**DCI PACIFIC**  
 A|E|C WORKS  
 ARCHITECTURE | ENGINEERING | CONSULTING  
 32 EXECUTIVE PARK | SUITE 110  
 IRVINE | CA 92614

LICENSURE:

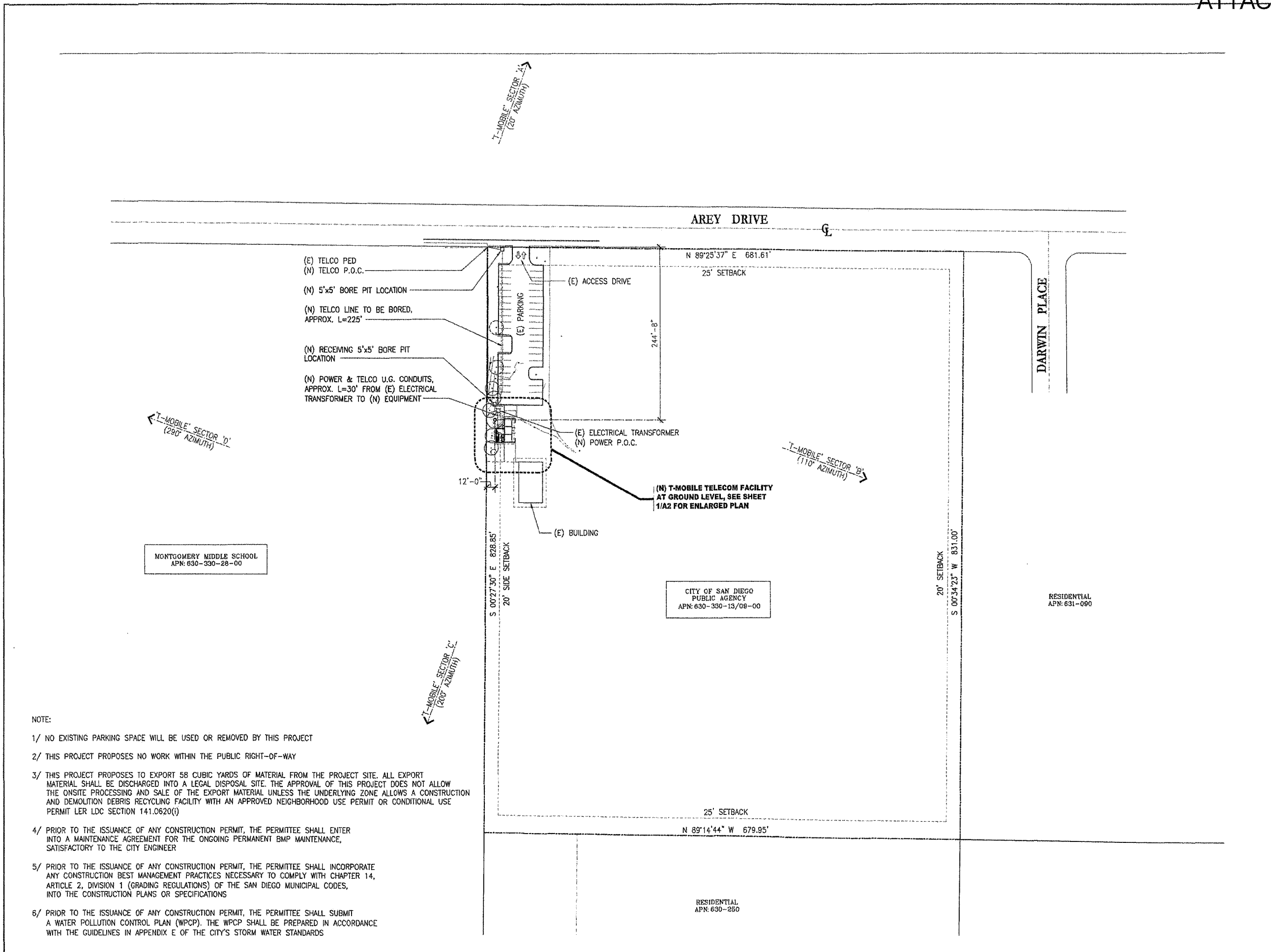
PROJECT NAME:  
 SILVER WING TREE

PROJECT NUMBER:  
 SD06183A

PROJECT ADDRESS:  
 3737 AREY DRIVE  
 SAN DIEGO, CA 92154

SHEET TITLE:  
 SITE PLAN

SHEET NUMBER:  
**A1**



- NOTE:
- 1/ NO EXISTING PARKING SPACE WILL BE USED OR REMOVED BY THIS PROJECT
  - 2/ THIS PROJECT PROPOSES NO WORK WITHIN THE PUBLIC RIGHT-OF-WAY
  - 3/ THIS PROJECT PROPOSES TO EXPORT 58 CUBIC YARDS OF MATERIAL FROM THE PROJECT SITE. ALL EXPORT MATERIAL SHALL BE DISCHARGED INTO A LEGAL DISPOSAL SITE. THE APPROVAL OF THIS PROJECT DOES NOT ALLOW THE ONSITE PROCESSING AND SALE OF THE EXPORT MATERIAL UNLESS THE UNDERLYING ZONE ALLOWS A CONSTRUCTION AND DEMOLITION DEBRIS RECYCLING FACILITY WITH AN APPROVED NEIGHBORHOOD USE PERMIT OR CONDITIONAL USE PERMIT LER LDC SECTION 141.0620(i)
  - 4/ PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE PERMITEE SHALL ENTER INTO A MAINTENANCE AGREEMENT FOR THE ONGOING PERMANENT BMP MAINTENANCE, SATISFACTORY TO THE CITY ENGINEER
  - 5/ PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE PERMITEE SHALL INCORPORATE ANY CONSTRUCTION BEST MANAGEMENT PRACTICES NECESSARY TO COMPLY WITH CHAPTER 14, ARTICLE 2, DIVISION 1 (GRADING REGULATIONS) OF THE SAN DIEGO MUNICIPAL CODES, INTO THE CONSTRUCTION PLANS OR SPECIFICATIONS
  - 6/ PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE PERMITEE SHALL SUBMIT A WATER POLLUTION CONTROL PLAN (WPCP). THE WPCP SHALL BE PREPARED IN ACCORDANCE WITH THE GUIDELINES IN APPENDIX E OF THE CITY'S STORM WATER STANDARDS

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ARCHITECT: DKD

DRAWN BY: HH

CHECKED BY: BOK

ISSUE STATUS:

Δ	DATE:	DESCRIPTION:	BY:
-	07/16/14	90% 2D	HH
-	08/01/14	100% 2D	HH
-	10/16/14	CITY COMMENTS	HH
-	01/15/15	EQUIPMENT RELO	HH
-	04/28/15	EQUIPMENT RELO	HH

APPLICANT  
**T-Mobile**  
 stick together  
 10509 VISTA SORRENTO PARKWAY,  
 SUITE 206,  
 SAN DIEGO, CA 92121



PLANS PREPARED BY:

**DCI PACIFIC**  
 A|E|C WORKS

ARCHITECTURE | ENGINEERING | CONSULTING  
 32 EXECUTIVE PARK | SUITE 110  
 IRVINE | CA 92614

LIENSURE:

PROJECT NAME:

SILVER WING TREE

PROJECT NUMBER:

SD06183A

PROJECT ADDRESS:

3737 AREY DRIVE  
 SAN DIEGO, CA 92154

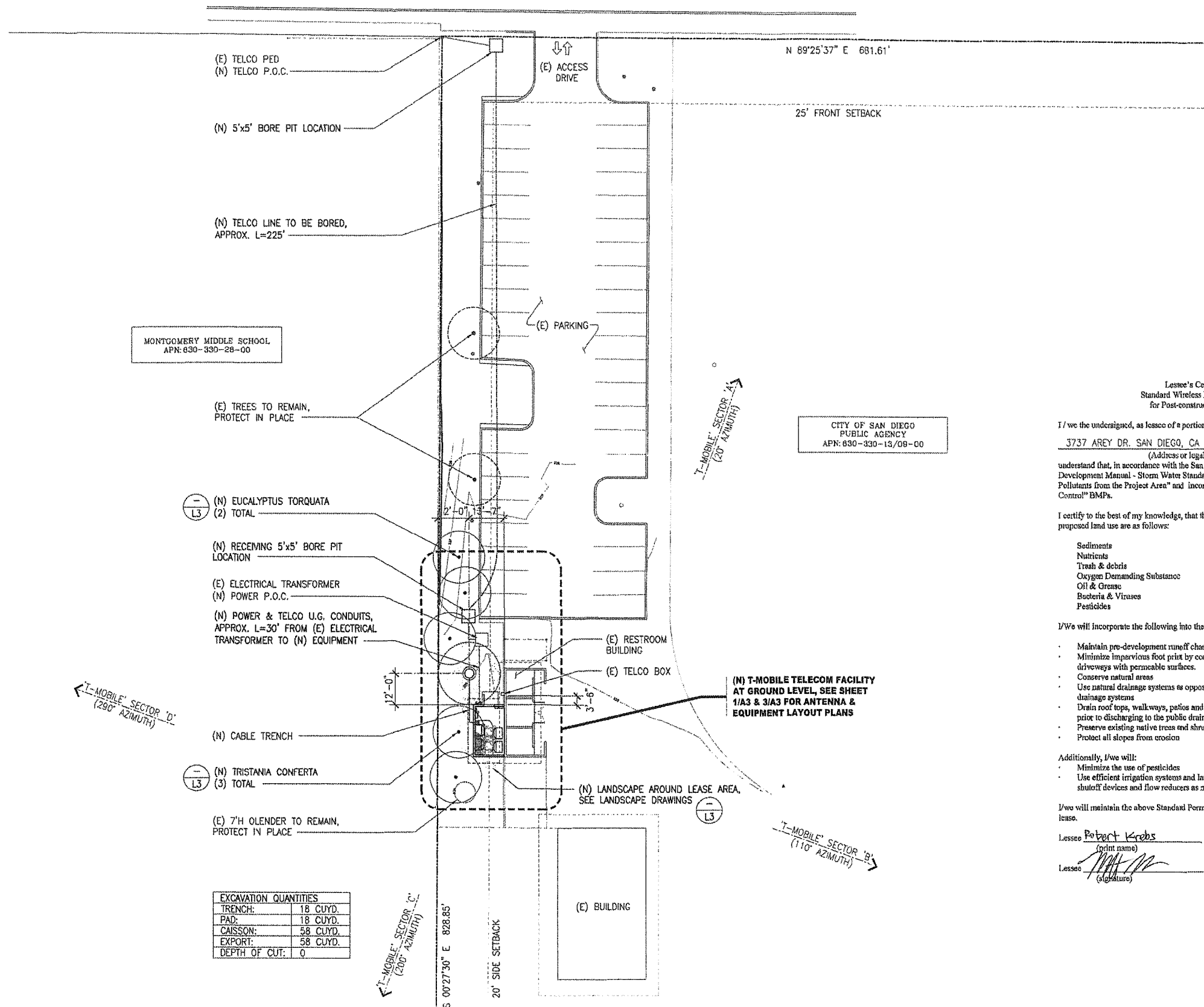
SHEET TITLE:

ENLARGED SITE PLAN

SHEET NUMBER:

**A2**

AREY DRIVE



MONTGOMERY MIDDLE SCHOOL  
 APN: 830-330-28-00

CITY OF SAN DIEGO  
 PUBLIC AGENCY  
 APN: 830-330-13/09-00

Lessee's Certificate  
 Standard Wireless Facility Project  
 for Post-construction BMP's  
 I/ we the undersigned, as lessee of a portion of the property described as  
 3737 AREY DR. SAN DIEGO, CA 92154  
 (Address or legal description)

understand that, in accordance with the San Diego Municipal Code, Land Development Manual - Storm Water Standards, this project is required to "Identify Pollutants from the Project Area" and incorporate "Site Design" and "Source Control" BMP's.

I certify to the best of my knowledge, that the pollutants anticipated by the proposed land use are as follows:

- Sediments
- Nutrients
- Trash & debris
- Oxygen Demanding Substance
- Oil & Grease
- Bacteria & Viruses
- Pesticides

I/We will incorporate the following into the site design:

- Maintain pre-development runoff characteristics
- Minimize impervious foot print by constructing walkways, patios and driveways with permeable surfaces.
- Conserve natural areas
- Use natural drainage systems as opposed to lined swales or underground drainage systems
- Drain roof tops, walkways, patios and driveways into adjacent landscaping prior to discharging to the public drainage system.
- Preserve existing native trees and shrubs
- Protect all slopes from erosion

Additionally, I/we will:

- Minimize the use of pesticides
- Use efficient irrigation systems and landscape design, incorporating rain shutoff devices and flow reducers as needed.

I/we will maintain the above Standard Permanent BMP's for the duration of the lease.

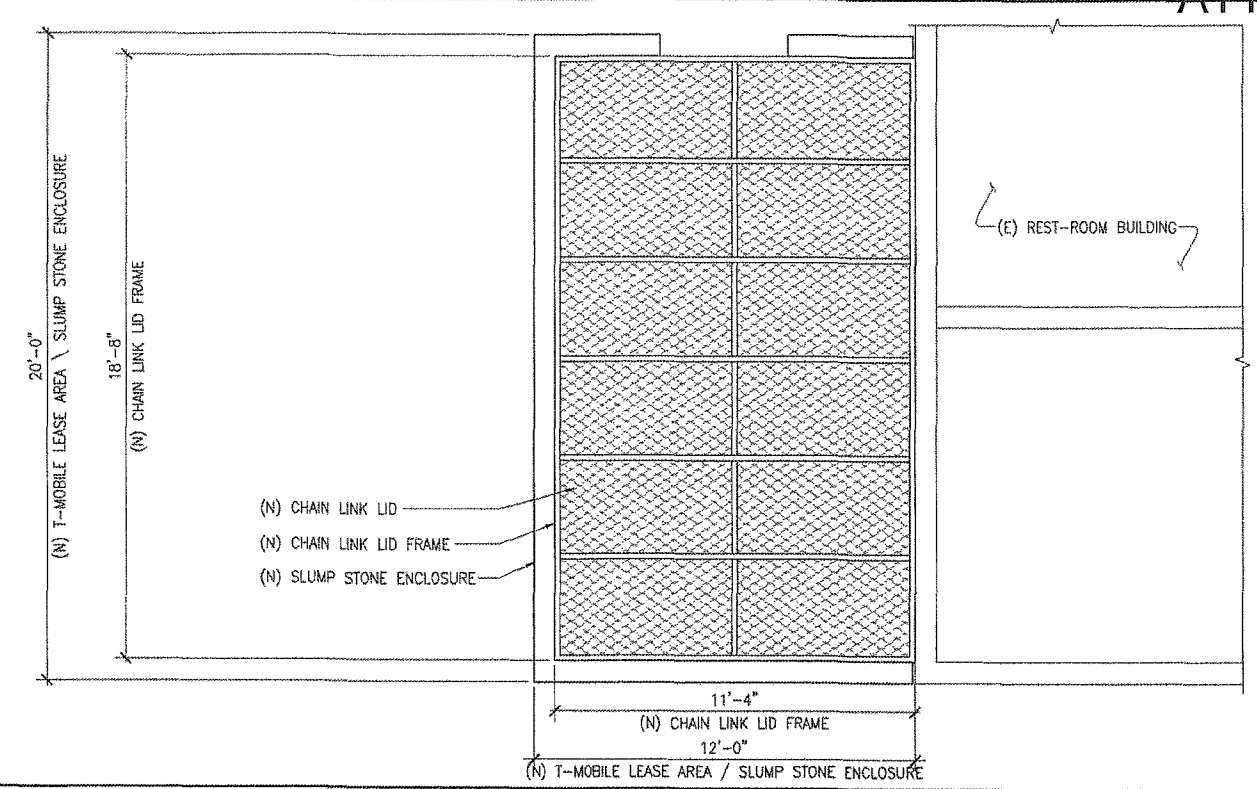
Lessee Robert Krebs Company Name T-Mobile

Lessee [Signature] Date 8/24/10

EXCAVATION QUANTITIES	
TRENCH:	18 CUYD.
PAD:	18 CUYD.
CAISSON:	58 CUYD.
EXPORT:	58 CUYD.
DEPTH OF CUT:	0

ANTENNA & CABLE SCHEDULE									
SECTOR	AZIMUTH	CENTERLINE	# OF ANTENNA	ANTENNA MODEL	# OF COAX LINE	COAX TYPE	COAX LENGTH	# OF HYBRID CABLE	HYBRID CABLE LENGTH
A	20	39	1	AIR21 B2A/B4P	2	NEW	75'	-	-
			1	AIR21 B4A/B2P	2				
			1	KATHREIN 80010766V01	2				
			1	KATHREIN 80010766V01	2				
B	110	39	1	AIR21 B2A/B4P	2	NEW	75'	-	-
			1	AIR21 B4A/B2P	2				
			1	KATHREIN 80010766V01	2				
			1	KATHREIN 80010766V01	2				
C	200	39	1	AIR21 B2A/B4P	2	NEW	75'	-	-
			1	AIR21 B4A/B2P	2				
			1	KATHREIN 80010766V01	2				
			1	KATHREIN 80010766V01	2				
D	290	39	1	AIR21 B2A/B4P	2	NEW	75'	-	-
			1	AIR21 B4A/B2P	2				
			1	KATHREIN 80010766V01	2				
			1	KATHREIN 80010766V01	2				

NOTE: COAX CABLE LENGTH IS APPROXIMATE, CONTRACTOR TO FIELD VERIFY CABLE LENGTHS PRIOR TO ORDERING, FABRICATION, OR INSTALLATION OF CABLES.



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DATE: 04/29/15

ARCHITECT: DKD

DRAWN BY: HH

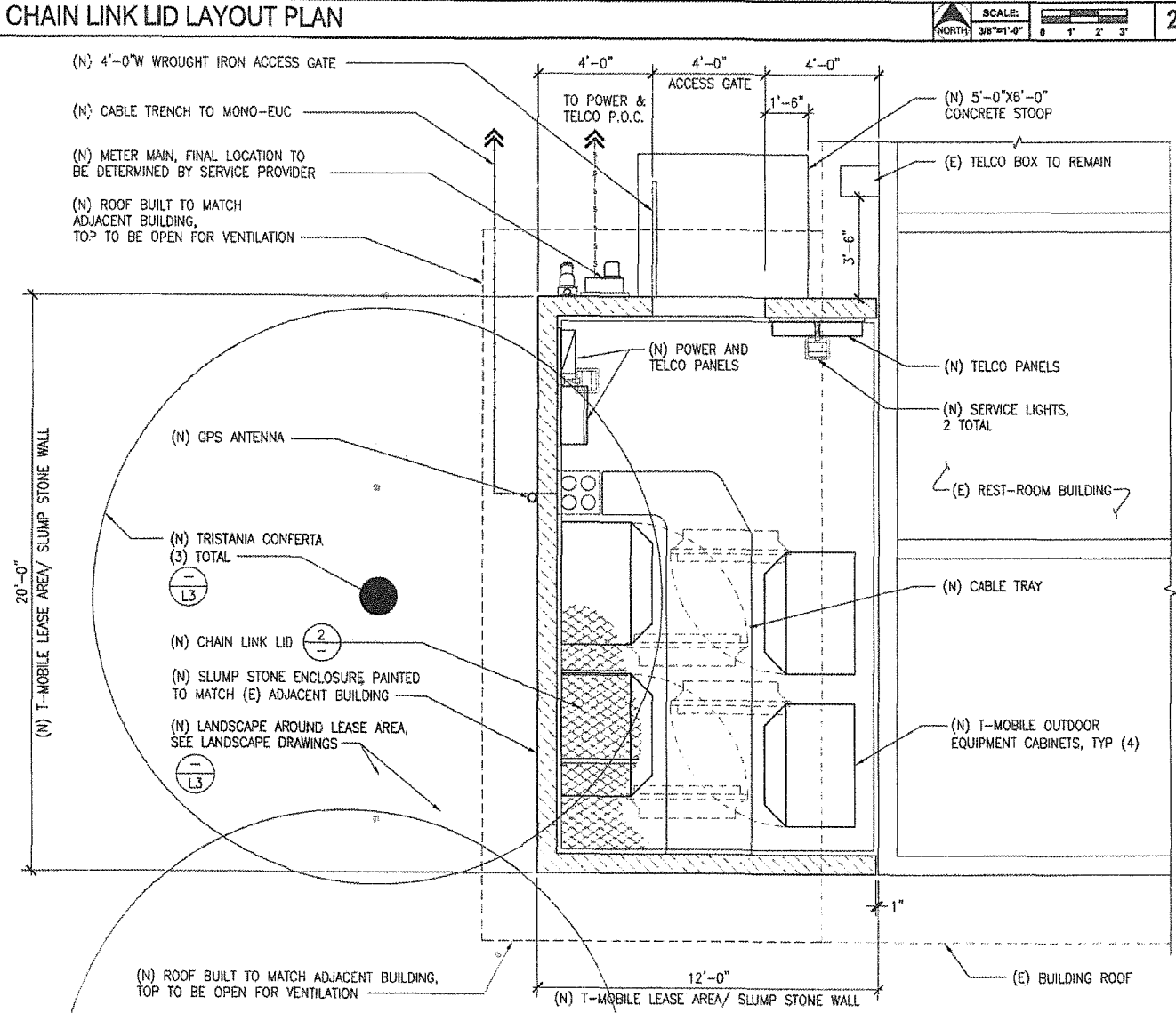
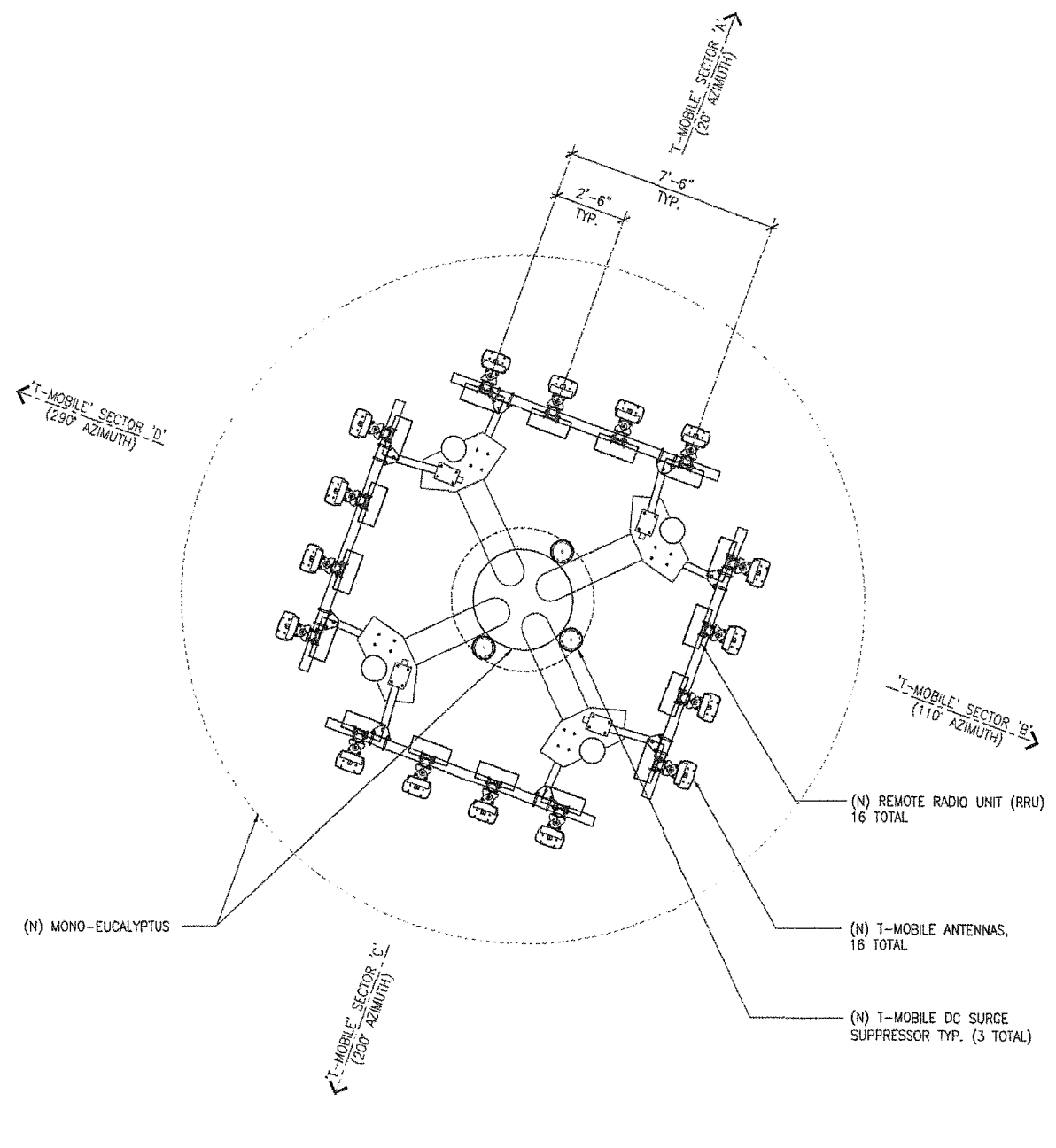
CHECKED BY: BOK

ISSUE STATUS:

Δ DATE	DESCRIPTION	BY:
- 07/16/14	60% 2D	HH
- 08/01/14	100% 2D	HH
- 10/16/14	CITY COMMENTS	HH
- 01/15/15	EQUIPMENT RELO	HH
- 04/29/15	EQUIPMENT RELO	HH

APPLICANT: T-Mobile stick together

10509 VISTA SORRENTO PARKWAY, SUITE 206, SAN DIEGO, CA 92121



SCALE: 3/8"=1'-0" 0 1' 2' 3'

SCALE: 3/8"=1'-0" 0 1' 2' 3'

DePratti Inc.

PLANS PREPARED BY: DCI PACIFIC A/E/C WORKS

ARCHITECTURE | ENGINEERING | CONSULTING  
32 EXECUTIVE PARK | SUITE 110  
IRVINE | CA 92614

LICENSE:

PROJECT NAME: SILVER WING TREE

PROJECT NUMBER: SD06183A

PROJECT ADDRESS: 3737 AREY DRIVE, SAN DIEGO, CA 92154

SHEET TITLE: EQUIPMENT AND ANTENNA LAYOUT PLANS

SHEET NUMBER:

A3

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APPLICANT  
**T-Mobile**  
 stick together  
 10509 VISTA SORRENTO PARKWAY,  
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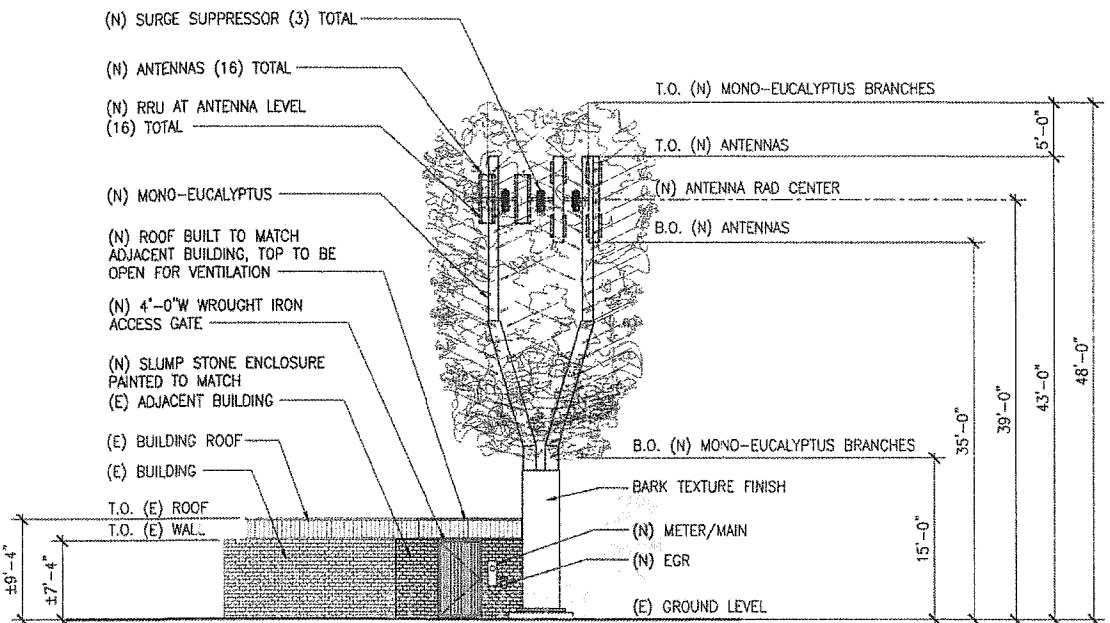
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 A|E|C WORKS  
 ARCHITECTURE | ENGINEERING | CONSULTING  
 32 EXECUTIVE PARK | SUITE 110  
 IRVINE | CA 92614

LICENSURE:  
 PROJECT NAME:  
**SILVER WING TREE**

PROJECT NUMBER:  
**SD06183A**  
 PROJECT ADDRESS:  
**3737 AREY DRIVE  
 SAN DIEGO, CA 92154**

SHEET TITLE:  
**ELEVATIONS**  
 SHEET NUMBER:

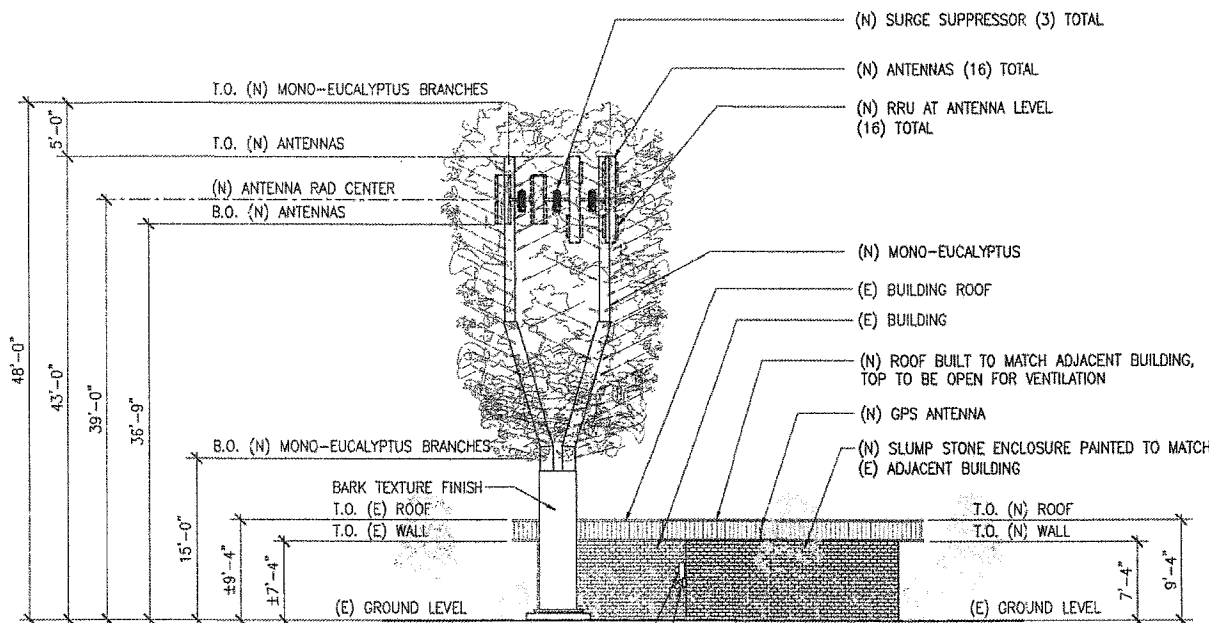
**A4**



NORTH ELEVATION

SCALE  
 1/8" = 1'  
 0 2' 4' 8'

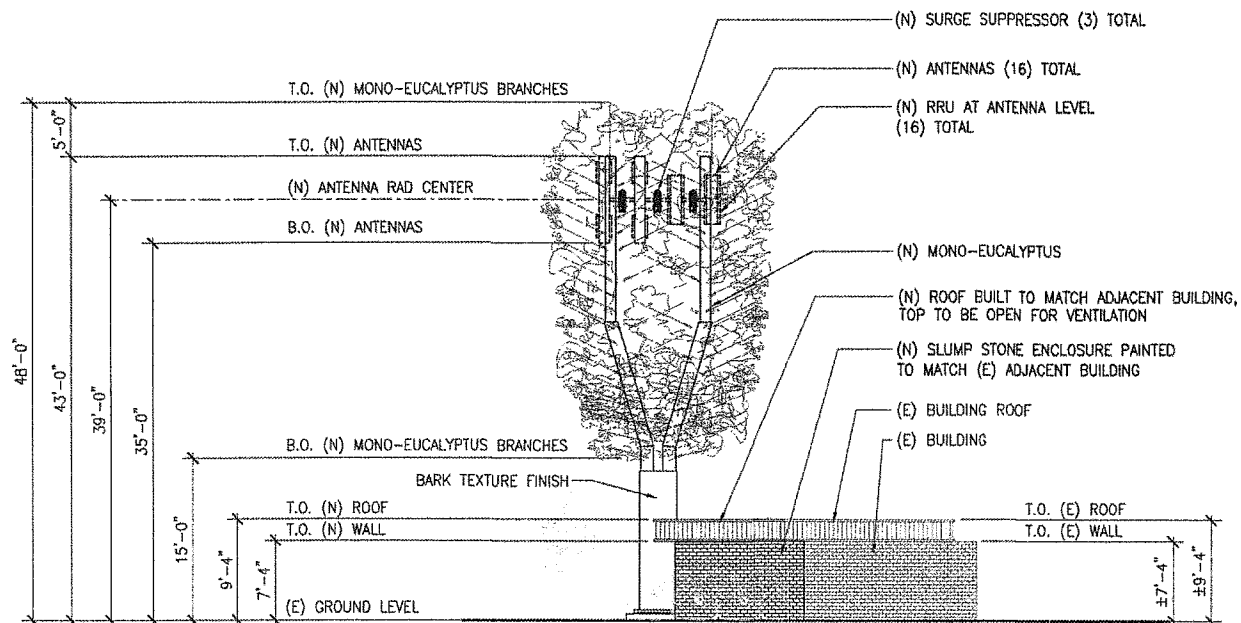
3



WEST ELEVATION

SCALE  
 1/8" = 1'  
 0 2' 4' 8'

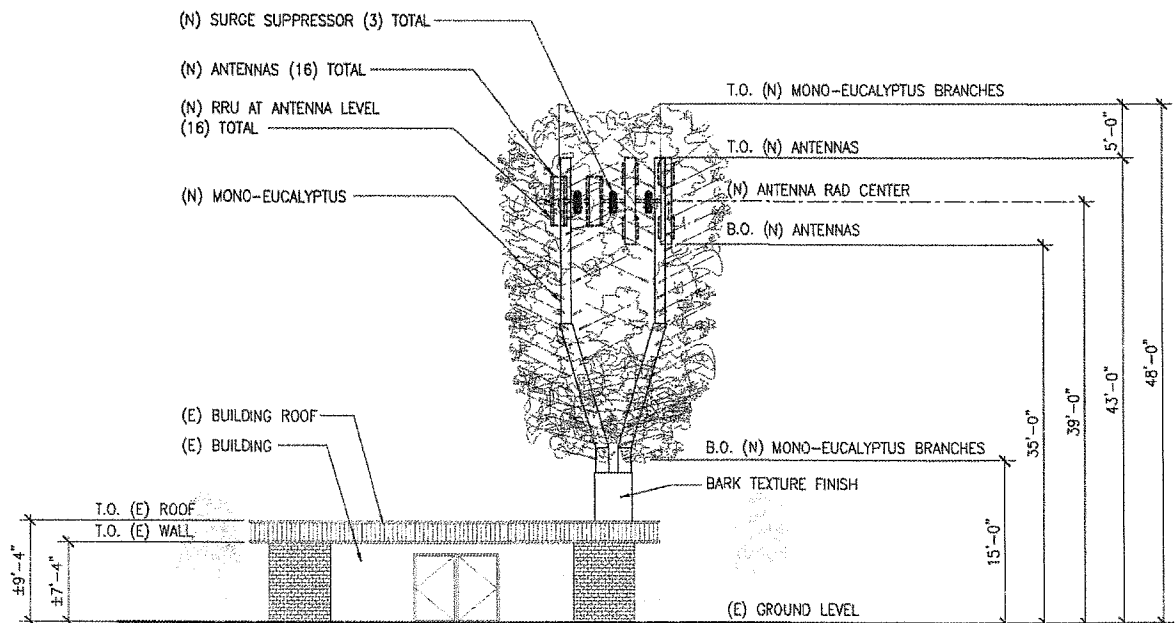
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SOUTH ELEVATION

SCALE  
 1/8" = 1'  
 0 2' 4' 8'

3



EAST ELEVATION

SCALE  
 1/8" = 1'  
 0 2' 4' 8'

1



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DRAWN BY: HH

CHECKED BY: BOK

ISSUE STATUS:

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-	08/01/14	100% 2D	HH
-	10/16/14	CITY COMMENTS	HH
-	01/15/15	EQUIPMENT RELO	HH
-	04/29/15	EQUIPMENT RELO	HH



800 10766V01  
700 MHz Dual Band 8', 65 Degree Antenna  
RET

- X-polarized (+45° and -45°).
- UV resistant fiberglass radomes
- Wideband vector dipole technology
- DC Grounded metallic parts for impulse suppression.
- RET motor housed inside the radome and field replaceable.

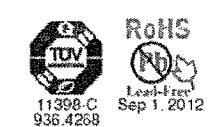
**General specifications:**

Frequency range 698-894 MHz // 1710-2170 MHz  
 Impedance 50 ohms  
 VSWR <1.5:1  
 Intermodulation (2x20w) IM3: <-150 dBc  
 Polarization ±45° and -45°  
 Connector 4 x 7-16 DIN female (long neck)  
 Isolation intrasystem >30 dB // intersystem >35 dB  
 See reverse for order information.

**IRT specifications:**

Logical interface ex factory: 3GPP/AISG 2.0  
 Protocols AISG 1.1 and 3GPP/AISG 2.0 compliant  
 Hardware interface 2 x 8pin connector acc. IEC 60130-9:  
 - RCUin (male): Control / Daisy chain in according to AISG;  
 - RCUout (female): Daisy chain out  
 Power supply 10-30 V  
 Power Consumption <1 W (standby); <8.5 W (motor activated)  
 Adjustment time (full range) 40 seconds  
 Adjustment cycles >50,000  
 Certification FCC 15.107 Class B Computing Devices

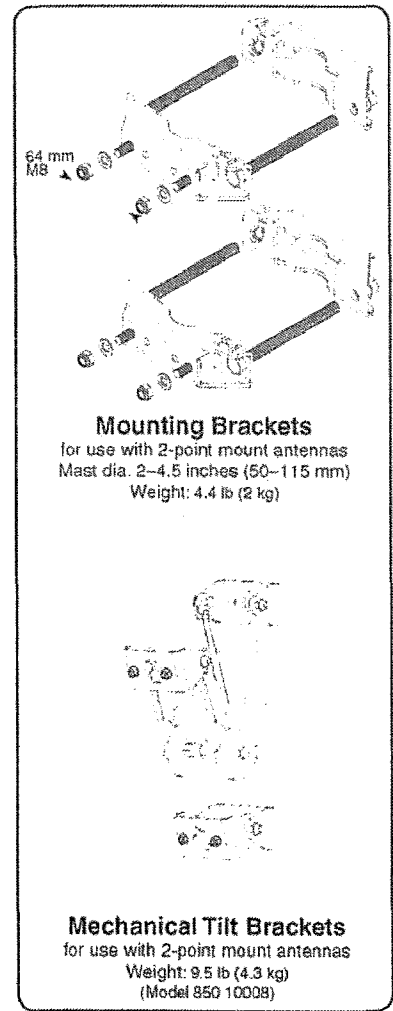
Specifications:	698-894 MHz	824-894 MHz	1710-1755 MHz	1850-1990 MHz	2110-2170 MHz
Gain	16.4 dBi	16.8 dBi	18 dBi	18.5 dBi	18 dBi
Front-to-back ratio	>30 dB (co-polar) 34 dB (average)	>30 dB (co-polar) 34 dB (average)	>27 dB (co-polar) 34 dB (average)	>27 dB (co-polar) 34 dB (average)	>27 dB (co-polar) 34 dB (average)
Maximum input power per input	500 watts (at 50°C)	500 watts (at 50°C)	300 watts (at 50°C)	300 watts (at 50°C)	300 watts (at 50°C)
-45° and -45° polarization horizontal beamwidth	68° (half-power)	65° (half-power)	63° (half-power)	62° (half-power)	63° (half-power)
-45° and -45° polarization vertical beamwidth	9.5° (half-power)	8.7° (half-power)	5.8° (half-power)	5.8° (half-power)	5.8° (half-power)
Electrical downtilt continuously adjustable	0°-10°	0°-10°	0°-10°	0°-10°	0°-10°
Min sidelobe suppression for first sidelobe above main beam average	0° 5' 10" T 18 18 18 dB 18 20 18 dB	0° 5' 10" T 18 18 18 dB 20 20 20 dB	0° 5' 10" T 18 18 18 dB 20 22 20 dB	0° 5' 10" T 18 18 18 dB 20 22 20 dB	0° 5' 10" T 18 18 18 dB 20 22 20 dB
Cross polar ratio					
Main direction	25 dB (typical)	20 dB (typical)	25 dB (typical)	30 dB (typical)	25 dB (typical)
Sector	>10 dB, 15 dB (avg)	>10 dB, 12 dB (avg)	>8 dB, 15 dB (avg)	>10 dB, 15 dB (avg)	>8 dB, 15 dB (avg)
Tracking, avg.	1 dB	1 dB	1.5 dB	1.5 dB	1.5 dB
Squint	±2.5°	±2.5°	±3°	±3°	±3°



Kathrein Inc., Scala Division Post Office Box 4580 Medford, OR 97501 (USA) Phone: (541) 779-6500 Fax: (541) 779-3991  
 Email: communications@kathrein.com Internet: www.kathrein-scala.com

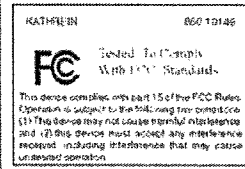
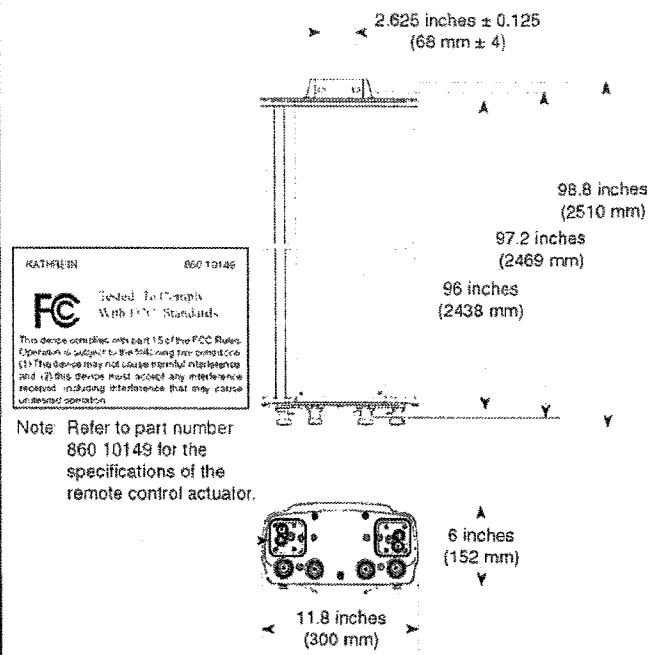


800 10766V01  
700 MHz Dual Band 8', 65 Degree Antenna  
RET



**Mechanical specifications:**

Weight 58.4 lb (26.5 kg) 62.8 lb (28.5 kg) clamps included  
 Dimensions 96 x 11.8 x 6 inches (2438 x 300 x 152 mm)  
 Wind load at 93 mph (150kph) 286 lbf / 106 lbf / 297 lbf (1270 N) / (470 N) / (1320 N)  
 Mounting category H (Heavy)  
 Wind survival rating 150 mph (240 kph)  
 Shipping dimensions 104.6 x 12.6 x 7.5 inches (2656 x 320 x 190 mm)  
 Shipping weight 71.6 lb (32.5 kg)  
 Mounting Mounting hardware included for 2 to 4.6 inch (50 to 115 mm) OD masts.



Note: Refer to part number 860 10149 for the specifications of the remote control actuator.

**Order Information:**

Model	Description
800 10766V01	Dualband antenna with mounting bracket 0°-10° // 0°-10° electrical downtilt
800 10766V01 K	Dualband antenna with mounting bracket and mechanical tilt bracket 0°-10° // 0°-10° electrical downtilt

\* Mechanical design is based on environmental conditions as stipulated in TIA-222-G-2 (December 2009) and/or ETS 300 019-1-4 which include the static mechanical load imposed on an antenna by wind at maximum velocity. See the Engineering Section of the catalog for further details.

All specifications are subject to change without notice. The latest specifications are available at [www.kathrein-scala.com](http://www.kathrein-scala.com).  
 Kathrein Inc., Scala Division Post Office Box 4580 Medford, OR 97501 (USA) Phone: (541) 779-6500 Fax: (541) 779-3991  
 Email: communications@kathrein.com Internet: www.kathrein-scala.com

APPLICANT: T-Mobile  
 stick together  
 10509 VISTA SORRENTO PARKWAY,  
 SUITE 206,  
 SAN DIEGO, CA 92121



PLANS PREPARED BY:  
**DCI PACIFIC**  
 A/E/C WORKS  
 ARCHITECTURE | ENGINEERING | CONSULTING  
 32 EXECUTIVE PARK | SUITE 110  
 IRVINE | CA 92614

PROJECT NAME:  
**SILVER WING TREE**

PROJECT NUMBER:  
**SD06183A**

PROJECT ADDRESS:  
 3737 AREY DRIVE  
 SAN DIEGO, CA 92154

SHEET TITLE:  
**800 10766V01 ANTENNA SPECIFICATIONS**

SHEET NUMBER:  
**A5**

PROPRIETARY INFORMATION

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DATE: 04/29/15

ARCHITECT: DKD

DRAWN BY: HH

CHECKED BY: BOK

ISSUE STATUS:

Δ	DATE:	DESCRIPTION:	BY:
-	07/16/14	80% 2D	HH
-	08/01/14	100% 2D	HH
-	10/16/14	CITY COMMENTS	HH
-	01/15/15	EQUIPMENT RELO	HH
-	04/29/15	EQUIPMENT RELO	HH

APPLICANT  
**T-Mobile**  
 stick together  
 10500 VISTA SORRENTO PARKWAY,  
 SUITE 200,  
 SAN DIEGO, CA 92121



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**DCI PACIFIC**  
 A|E|C WORKS  
 ARCHITECTURE | ENGINEERING | CONSULTING  
 32 EXECUTIVE PARK | SUITE 110  
 IRVINE | CA 92614

LICENSEURE:

PROJECT NAME:

SILVER WING TREE

PROJECT NUMBER:

SD06183A

PROJECT ADDRESS:

3737 AREY DRIVE  
 SAN DIEGO, CA 92154

SHEET TITLE:

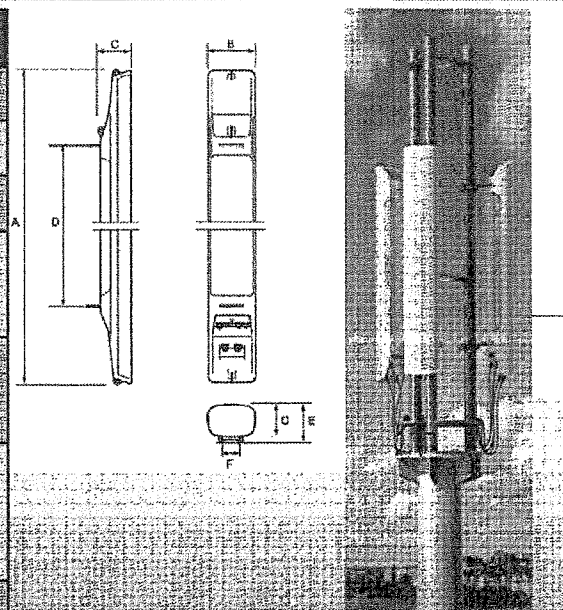
AIR2 ANTENNA  
 SPECIFICATIONS

SHEET NUMBER:

A6

### Ericsson AIR21 specifications

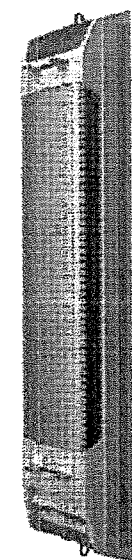
Property	Value
Height (A)	54.33 in (1380 mm)
Width (B)	12.09 in (307 mm)
Depth (C)	7.87 in (200 mm)
Distance between mounting brackets (D)	40 in (1016 mm)
Depth including mounting brackets (E)	9.39 in (238.5 mm)
Distance between stud holes on mounting brackets (F)	4.33 in (110 mm)
Weight	79.37 lb (36 kg)



Wind load 550 N  
 • 7.87 in (200 mm) of free space is needed between AIR units installed side by side  
 • The available pole clamp diameters are 2-4.53 in (51 - 115 mm) and 4.33-8.66 in (110 - 220 mm)  
 • To ensure adequate airflow between the units, allow a minimum of 400 mm free space above each AIR unit.

### Ericsson AIR21 specifications

- > Radio:
  - Frequency bands: 1900 MHz (B2) and 1700/2100 MHz (B4)
  - One active antenna/radio, supporting e.g. 2x2 MIMO, 2 Tx + 4 Rx
  - 8 Carriers (4 carriers per radio)
  - IBW = 20 MHz per radio
- > Antenna
  - One best in class 65° passive antenna : 17,2 to 17.8 dBi gain
  - Two integrated RETs, one per frequency band, 2° - 12° tilt
  - Vertical beam width : 6.5° - 7.1°
  - Dual column for UL beam-forming / 4-way RX Diversity
- > Interfaces
  - Two optical fiber ports (CPRI) for active antenna/radio
  - One power connector, -48 V DC
  - Two 7/16 female connectors for passive antenna, with RET support
  - Two QMA connectors for LMU (RX sharing ports) on 1900 MHz variant
- > Physical Characteristics:
  - H x W x D = 1404 x 307 x 200 mm (55" x 12" x 7.9")
  - 38 kg (83 lbs)
  - <750 N Wind load (worst direction, static @ 150 km/h)



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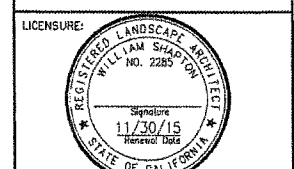
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Δ	DATE:	DESCRIPTION:	BY:
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-	10/16/14	CITY COMMENTS	HH
-	01/15/15	EQUIPMENT RELO	HH
-	04/29/15	EQUIPMENT RELO	HH

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 SUITE 206,  
 SAN DIEGO, CA 92121



PLANS PREPARED BY:  
**DCI PACIFIC**  
 A/E/C WORKS  
 ARCHITECTURE | ENGINEERING | CONSULTING  
 32 EXECUTIVE PARK | SUITE 110  
 IRVINE | CA 92614



PROJECT NAME:  
**SILVER WING TREE**

PROJECT NUMBER:  
**SD06183A**

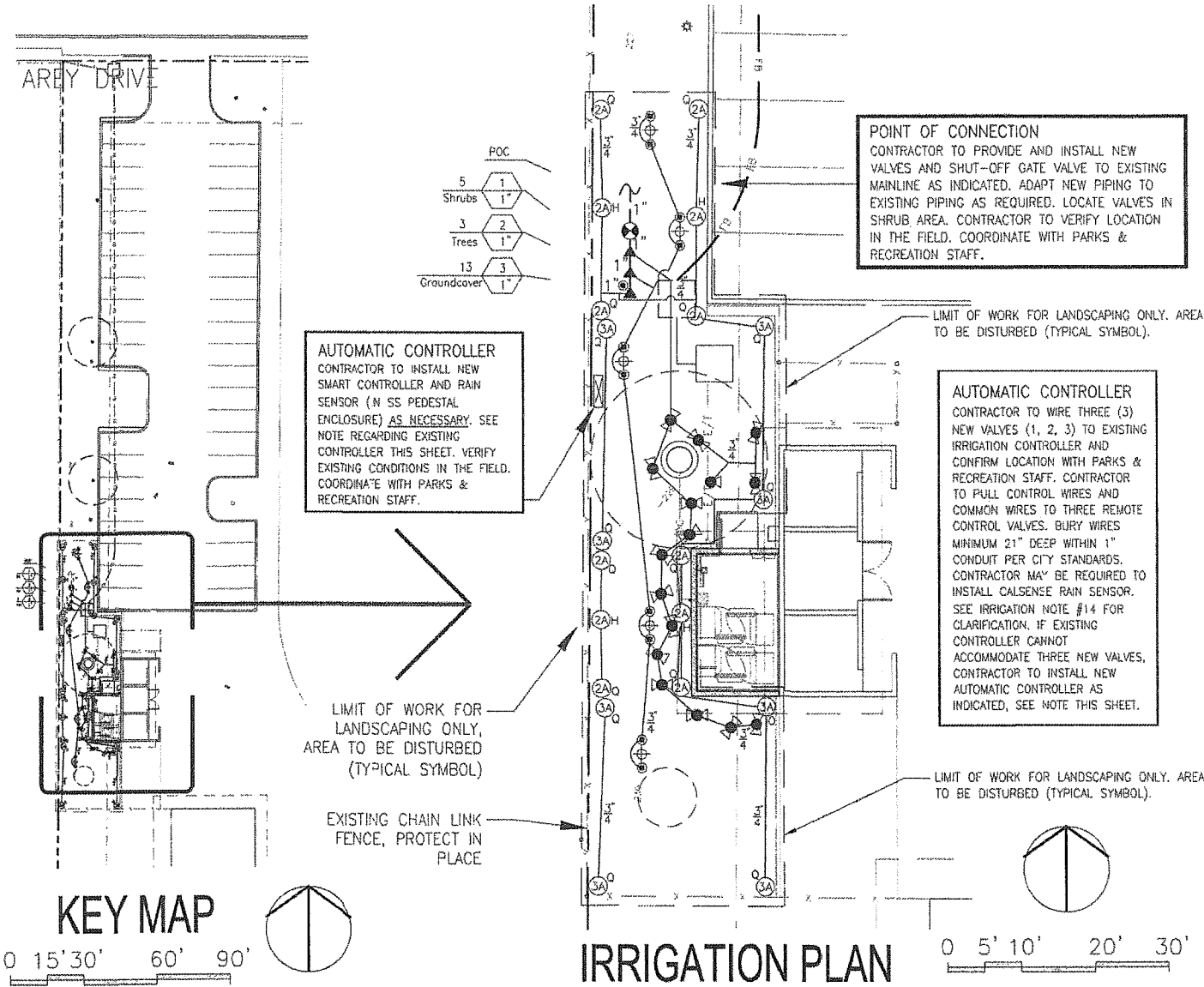
PROJECT ADDRESS:  
**3737 AREY DRIVE  
 SAN DIEGO, CA 92154**

SHEET TITLE:  
**IRRIGATION PLAN**

SHEET NUMBER:

IRRIGATION NOTES

- THE DESIGN IS DIAGRAMMATIC. ALL EQUIPMENT SHOWN IN PAVED AREAS IS FOR DESIGN CLARIFICATION ONLY AND IS TO BE INSTALLED WITHIN PLANTING AREAS AS NECESSARY.
- DO NOT WILLFULLY INSTALL ANY EQUIPMENT AS SHOWN ON PLANS WHEN IT IS OBVIOUS IN THE FIELD THAT UNKNOWN CONDITIONS EXIST THAT WERE NOT EVIDENT AT THE TIME THESE PLANS WERE PREPARED. ANY SUCH CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE OWNERS REPRESENTATIVES PRIOR TO ANY WORK OR THE IRRIGATION CONTRACTOR SHALL ASSUME ALL RESPONSIBILITY FOR ANY FIELD CHANGES DEEMED NECESSARY BY THE OWNER.
- INSTALL ALL EQUIPMENT AS SHOWN IN THE DETAILS AND SPECIFICATIONS. CONTRACTOR SHALL BE RESPONSIBLE TO COMPLY WITH ALL LOCAL CITY AND COUNTY REQUIREMENTS FOR BOTH EQUIPMENT AND INSTALLATION.
- THE SYSTEM IS DESIGNED FOR A MINIMUM OPERATING PRESSURE OF 8.5 PSI. THE MAXIMUM DEMAND OF GALLONS PER MINUTE IS 13. THE IRRIGATION CONTRACTOR SHALL VERIFY THE AVAILABLE WATER PRESSURE ON THE SITE PRIOR TO THE START OF INSTALLATION.
- CONTRACTOR TO COORDINATE WITH PARKS & RECREATION STAFF TO ASSIGN CONTROL WIRES FOR NEW IRRIGATION VALVES TO EXISTING CONTROLLERS, SEE NOTE ON PLAN.
- ALL VALVES SHALL BE INSTALLED BELOW GRADE IN CONCRETE BOXES WITH CAST IRON LOCKING LIDS. SEE LEGEND. POSITION PARALLEL TO EACH OTHER AND LOCATE IN SHRUB AREA ADJACENT TO WALKWAY AS INDICATED.
- CONTRACTOR SHALL PAINT THE IDENTIFICATION NUMBER (CONTROLLER LETTER AND VALVE NUMBER) OF THE VALVE BOX ON THE COVER; CONTROL WIRE PULL BOXES SHALL BE MARKED "PB"; LARGER ISOLATION VALVES IN VALVE BOXES SHALL BE MARKED "GV". THE PAINT SHALL BE WHITE OR YELLOW 100% ACRYLIC EPOXY WATERPROOF PAINT.
- CONTRACTOR TO INSTALL AN APPROVED ANTI-DRAINAGE DEVICES FOR ALL LOW HEADS TO PREVENT LOW HEAD DRAINAGE AND POSSIBLE SOIL EROSION.
- ALL SPRAY HEADS ARE TO BE INSTALLED AS POP-UPS AS SPECIFIED IN THE LEGEND, UNLESS OTHERWISE NOTED.
- INSTALL ALL SPRAY HEADS WITH NOZZLES OF THE APPROPRIATE DEGREE OF RADIUS FOR THE AREA TO BE COVERED. ADJUST ALL NOZZLES TO ELIMINATE SPRAYING WATER ON BUILDINGS AND HARDSCAPE. ADJUST ALL VALVES FLOW CONTROLS TO PROVIDE OPTIMUM PERFORMANCE.
- THE IRRIGATION CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF POSSIBLE ON-SITE INSPECTIONS WITH PARK AND RECREATION DEPARTMENT TO BE SCHEDULED AT THE FOLLOWING STAGE OF INSTALLATION:
  - PRESSURE TEST OF IRRIGATION MAINLINE PRIOR TO BACKFILL OF TRENCHES.
  - COVERAGE TEST OF SPRINKLER SYSTEM PRIOR TO PLANT INSTALLATION.
  - FINAL WALK-THROUGH OF THE PROJECT WITH ALL PARTIES CONCERNED FOR THE VERIFICATION OF JOB COMPLETION AND EXECUTION OF WORK PER THE PLANS AND SPECIFICATIONS.
- THE IRRIGATION SYSTEM SHALL BE FULLY GUARANTEED FOR A PERIOD OF (1) YEAR. ANY DEFECTIVE EQUIPMENT, MATERIALS OR POOR WORKMANSHIP SHALL BE REPLACED OR CORRECTED BY THE IRRIGATION CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
- PLACE 1 POP-UP FLOOD BUBBLER AND 1 TREE BUBBLER TUBE AT EACH TREE PER CITY STANDARDS. SEE LEGEND.
- IF EXISTING CALSENSE CONTROLLERS HAVE FACTORY-INSTALLED RAIN SENSOR INTERFACE, CONTRACTOR TO ADD CALSENSE TIPPING RAIN BUCKET AS INDICATED ON PLAN PER MANUFACTURER'S RECOMMENDATIONS. IF NOT, CONTRACTOR TO COORDINATE WITH CITY TO PROVIDE RAIN SENSOR INTERFACE FOR EXISTING CONTROLLERS.
- CONTRACTOR TO FIELD VERIFY LOCATION OF MAINLINE. ONCE LOCATED, SHOW ON IRRIGATION AS-BUILTS TO BE PROVIDED TO OWNER'S REP AND/OR CITY PARKS AND RECREATION UPON THE COMPLETION OF THE JOB, WHICH WILL BE VERIFIED FOR ACCURACY AT THE TIME OF THE FINAL JOB WALK-THROUGH.



**POINT OF CONNECTION**  
 CONTRACTOR TO PROVIDE AND INSTALL NEW VALVES AND SHUT-OFF GATE VALVE TO EXISTING MAINLINE AS INDICATED. ADAPT NEW PIPING TO EXISTING PIPING AS REQUIRED. LOCATE VALVES IN SHRUB AREA. CONTRACTOR TO VERIFY LOCATION IN THE FIELD. COORDINATE WITH PARKS & RECREATION STAFF.

**AUTOMATIC CONTROLLER**  
 CONTRACTOR TO INSTALL NEW SMART CONTROLLER AND RAIN SENSOR (IN SS PEDESTAL ENCLOSURE) AS NECESSARY. SEE NOTE REGARDING EXISTING CONTROLLER THIS SHEET. VERIFY EXISTING CONDITIONS IN THE FIELD. COORDINATE WITH PARKS & RECREATION STAFF.

**AUTOMATIC CONTROLLER**  
 CONTRACTOR TO WIRE THREE (3) NEW VALVES (1, 2, 3) TO EXISTING IRRIGATION CONTROLLER AND CONFIRM LOCATION WITH PARKS & RECREATION STAFF. CONTRACTOR TO PULL CONTROL WIRES AND COMMON WIRES TO THREE REMOTE CONTROL VALVES. BURY WIRES MINIMUM 21" DEEP WITHIN 1" CONDUIT PER CITY STANDARDS. CONTRACTOR MAY BE REQUIRED TO INSTALL CALSENSE RAIN SENSOR. SEE IRRIGATION NOTE #14 FOR CLARIFICATION. IF EXISTING CONTROLLER CANNOT ACCOMMODATE THREE NEW VALVES, CONTRACTOR TO INSTALL NEW AUTOMATIC CONTROLLER AS INDICATED, SEE NOTE THIS SHEET.



IRRIGATION LEGEND

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	PSI	RAD.	GPM	STD. DWG.
	SEE CHART ON SHEET L2 FOR WATER CALCS	-	-	-	-
⊙	RAINBIRD/44 LRC/1" QUICK COUPLING VALVE WITH #44K (KEY)				SDI-105
▲	GRISWOLD DW-PRS SERIES, SIZE AS NOTED.				SDI-114, SDI-126
⊗	NIBCO/T-235Y/ISOLATION GLOBE VALVE, SIZED ON PLAN				SDI-106
NOT SHOWN	UF DIRECT BURIAL CONTROL WIRE SOLID COPPER, COLOR CODED # 12 GACOMMON/# 14 GA. PILOT INSTALL WITHIN 1" SCHED 40 PVC.				SDI-115, SDI-119
---	PVC MAINLINE CLASS 315 FOR 2" AND LARGER WITH SCH. 80 FITTINGS SOLVENT WELD. SCH. 40 FOR 1-1/2" 21" DEPTH				SDI-110
---	PVC LATERAL LINE-SCH 40, 3/4" MIN. SIZE, 15" DEPTH, SIZE NOTED.				SDI-110
---	PVC SCH 40 SLEEVES, 2X DIAMETER OF PIPE OR WIRE BUNDLE TO BE SLEEVED, MINIMUM 2" SIZE				SDI-110
⊙	REMOTE CONTROL VALVE CALLOUT				-
NOT SHOWN	BROOKS/3HL/CONCRETE VALVE BOXES AND ELECTRICAL PULL BOXES WITH CAST IRON LOCKING LIDS				SDI-115
⊗	RAINBIRD/ESP-MC-12/12-STATION SMART CONTROLLER WITH RAIN SENSOR IN STAINLESS STEEL STRONG BOX ENCLOSURE #				SDI-117

NOTE: SEE SHEET L02 FOR ROTORS, BUBBLERS AND NOZZLES

ROTORS, NOZZLES AND BUBBLERS

SYMBOL	MFG.	MODEL	DESCRIPTION	NOZZLE	PSI	RAD.	GPM	STD. DWG.
⊙	HUNTER	PROS-6-CV	6" POP UP ROTOR WITH BUILT-IN CHECK VALVE	MP2000-90	40	13'-21'	0.4	SDI-103
⊙	HUNTER	PROS-6-CV	6" POP UP ROTOR WITH BUILT-IN CHECK VALVE	MP2000-90	40	13'-21'	0.74	SDI-103
⊙	HUNTER	PROS-6-CV	6" POP UP ROTOR WITH BUILT-IN CHECK VALVE	MP3000-90	40	22'-30'	0.86	SDI-103
⊙	RAINBIRD	1804-SAM	STREAM BUBBLER 5 CST-B	5 CST-B	30	6' *	0.30	SDI-103
⊙	RAINBIRD	1804-SAM	STREAM BUBBLER 5 CST-B	5 CST-B	30	6' **	0.25	SDI-103
⊙	RAINBIRD	1802-SAM	2" POP-UP FLOOD BUBBLER WITH BUILT-IN CHECK VALVE	HUNTER PCN-25	30	-	0.5	SDI-103, SDI-104
⊙	RAINBIRD	RWS-M-B-C-1401 RWS-SOCK	ROOT WATERING SYSTEM (TREE BUBBLER TUBE)	-	30	-	0.5	SDI-103, SDI-104

NOTE: SEE SHEET L01 FOR ADDITIONAL IRRIGATION EQUIPMENT.

\* NOTE: INSTALL RB PCS-030 (SILVER) IN LIEU OF CONVENTIONAL SCREEN FOR 5CST-B  
 \*\* NOTE: AT THESE LOCATIONS, INSTALL HUNTER 100PCN-25 NOZZLE IN LIEU OF CONVENTIONAL SCREEN

SEE SHEET L2 FOR WATER CALCS  
 SEE SHEET L3 FOR PLANTING PLAN

Shapton Landscape Architecture  
 714/955-9325  
 billshapton@hotmail.com

L1

PROPRIETARY INFORMATION

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CHECKED BY: BOK

ISSUE STATUS:

Δ	DATE:	DESCRIPTION:	BY:
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-	08/01/14	100% ZD	HH
-	10/16/14	CITY COMMENTS	HH
-	01/15/15	EQUIPMENT RELO	HH
-	04/29/15	EQUIPMENT RELO	HH

APPLICANT  
**T-Mobile**  
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 10509 VISTA SORRENTO PARKWAY,  
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 SAN DIEGO, CA 92121

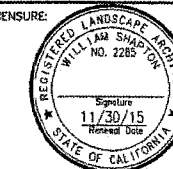


PLANS PREPARED BY:

**DCI PACIFIC**  
 A|E|C WORKS

ARCHITECTURE | ENGINEERING | CONSULTING  
 32 EXECUTIVE PARK | SUITE 110  
 IRVINE | CA 92614

LICENSE:



PROJECT NAME:

SILVER WING TREE

PROJECT NUMBER:

SDD6183A

PROJECT ADDRESS:

3737 AREY DRIVE  
 SAN DIEGO, CA 92154

SHEET TITLE:

WATER CALCULATIONS

SHEET NUMBER:

**L2**

SECTION A: HYDROZONE INFORMATION TABLE

Provide the Square Footage of Landscape Area per Hydrozone

Hydrozone	Zone or Valve	Irrigation Method	Area (s.f.)	% of Landscape Area
MW	1, 2	B	47	2
VLW	3	S	1,945	98
			1,992	100

SECTION B: WATER BUDGET CALCULATIONS

SECTION B1: MAXIMUM APPLIED WATER ALLOWANCE (MAWA)

The project's Maximum Applied Water Allowance shall be calculated using this equation:

$$MAWA = ET_0 (0.62) [(0.7 \times LA) + (0.3 \times SLA)]$$

$$MAWA = 46.5 (0.62) [(0.7 \times 1,992) + (0.3 \times 0)]$$

$$MAWA = (28.83) (1,394)$$

$$MAWA = 40,189 \text{ GALLONS PER YEAR}$$

SECTION B2: ESTIMATED TOTAL WATER USE (ETWU)

The project's Estimated Total Water Use is calculated using the following formula:

$$ETWU = ET_0 (0.62) \left( \frac{PF \times HA}{IE} + SLA \right)$$

$$ETWU = 46.5 (0.62) \left( \frac{0.6 \times 47}{0.71} + 0 \right)$$

$$ETWU = (28.83) (39.72)$$

$$ETWU = 1,145 \text{ GALLONS PER YEAR FOR HYDROZONE 1}$$

$$ETWU = ET_0 (0.62) \left( \frac{PF \times HA}{IE} + SLA \right)$$

$$ETWU = 46.5 (0.62) \left( \frac{0.2 \times 1,945}{0.71} + 0 \right)$$

$$ETWU = (28.83) (547.89)$$

$$ETWU = 15,793 \text{ GALLONS PER YEAR FOR HYDROZONE 2}$$

$$ETWU = 16,938 \text{ GALLONS PER YEAR FOR HYDROZONES 1 \& 2}$$

A | WATER CALCULATIONS

SEE SHEET L1 FOR IRRIGATION PLAN  
 SEE SHEET L3 FOR PLANTING PLAN

Shapton Landscape Architecture  
 714/955-9325  
 billshapton@hotmail.com

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PROJECT NUMBER:

**SD06183A**

PROJECT ADDRESS:

**3737 AREY DRIVE  
SAN DIEGO, CA 92154**

SHEET TITLE:

**PLANTING PLAN**

SHEET NUMBER:

**L3**

COORDINATION WITH PARK & RECREATION

1. PARK & RECREATION DEPARTMENT SHALL REVIEW AND APPROVE ALL CONSTRUCTION DOCUMENTS PRIOR TO BUILDING PERMIT ISSUANCE.
2. PLACEMENT OF TREES AND SHRUBS SHALL BE APPROVED BY PARK & RECREATION DEPARTMENT PRIOR TO INSTALLATION.
3. REPRESENTATIVES OF THE PARK & RECREATION DEPARTMENT SHALL BE PRESENT DURING INSTALLATION OF THE BOXED TREES.

LANDSCAPE MAINTENANCE

ALL REQUIRED LANDSCAPE AREAS SHALL BE MAINTAINED BY T-MOBILE. LANDSCAPE AND IRRIGATION AREAS IN ADJACENT PARK SHALL BE MAINTAINED BY CITY. THE LANDSCAPE AREAS SHALL BE MAINTAINED FREE OF DEBRIS AND LITTER AND ALL PLANT MATERIAL SHALL BE SATISFACTORILY TREATED OR REPLACED PER THE CONDITIONS OF THE CITY.

LANDSCAPE IRRIGATION

PROPOSED LANDSCAPING WILL BE TIED INTO THE EXISTING PARK & RECREATION IRRIGATION SYSTEM. SEE SHEETS L1 AND L2.

PLANTING NOTES

1. ALL SOIL PREP SHALL BE AS PER STANDARD SPECIFICATIONS SECTION 308-2.3.
2. PRIOR TO ANY SOIL PREPARATION, THE CONTRACTOR SHALL FURNISH SOIL TESTS OF THE SITE FOR AGRICULTURAL FERTILITY AND TO DETERMINE PROPER SOIL AMENDMENTS. TESTS ARE TO BE PERFORMED BY A MEMBER OF THE CALIFORNIA ASSOCIATION OF AGRICULTURAL LABORATORIES WITH COPIES SENT TO THE SAN DIEGO PARK & RECREATION DEPARTMENT. SEE PLAN FOR TEST LOCATIONS

THE FOLLOWING IS PROVIDED FOR BID PURPOSES ONLY AND SHALL BE MODIFIED AS NECESSARY GIVEN THE RESULTS OF THE SOILS TEST. THE CONTRACTOR SHALL BE PREPARED TO PROVIDE DELIVERY SLIPS AND EMPTY FERTILIZER BAGS ON SITE FOR VERIFICATION OF MATERIAL.

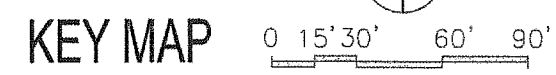
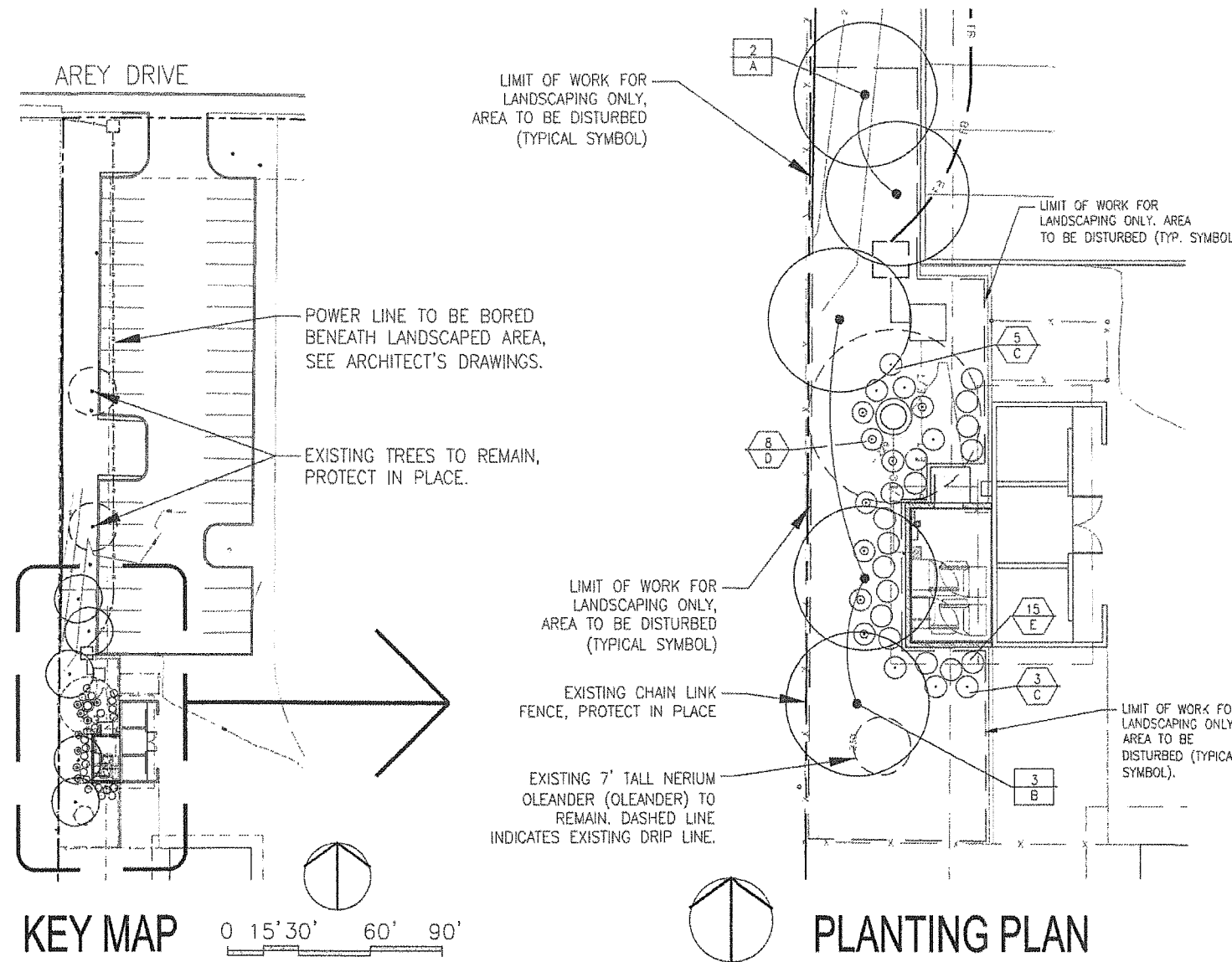
PREPARED SOIL MIX SHALL CONSIST OF TWENTY TO FORTY PERCENT (20%-40%) TYPE 1, 2, OR 3 ORGANIC SOIL AMENDMENT, AND THE REMAINDER NATIVE SOIL, DEPENDING ON EXISTING SOIL CONDITIONS AND FINDINGS OF THE HORTICULTURAL SOILS TEST WITH ROCKS OVER 2" REMOVED. ADD "AGRIFORM" 21 GRAM 20-10-5 PLANT TABLETS AT 1/3 DEPTH OF PLANTING PIT IN THE FOLLOWING RATES OF 1 PER 1 GAL, 2 PER 5 GAL, 3 PER 15 GAL AND LARGER (AVOID CONTACT WITH ROOTBALL).

AMEND SOIL IN GROUNDCOVER AREAS FLATTER THAN 3:1 WITH THE FOLLOWING: 3 YARDS LOWEX PER 1,000 SQ FT, 100 LBS GYPSUM PER 1,000 SQ FT, 12 LBS 16-20-0 PER 1,000 SQ FT BEST OR EQUAL.

3. ALL TREES AND SHRUBS ARE TO BE INSTALLED AS PER REGIONAL STANDARD DRAWINGS SDL-101 AND SDL-102.
4. ALL PLANT MATERIAL SHALL CONFORM TO STANDARD SPECIFICATIONS SECTION 212, "LANDSCAPE AND IRRIGATION MATERIALS"
5. THE PLANTINGS SHALL BE INSTALLED IN ACCORDANCE WITH STANDARD SPECIFICATIONS SECTION 308, UNLESS OTHERWISE NOTED IN THESE DRAWINGS.
6. CONTRACTOR SHALL GUARANTEE PLANT LONGEVITY AS FOLLOWS: TREES-1 YEAR, SHRUBS & GROUNDCOVERS-3 MONTHS.
7. ALL SHRUBS AND GROUNDCOVER AREAS SHALL BE TOP DRESSED WITH 2" THICK LAYER OF APPROVED SHREDDED BARK MULCH.

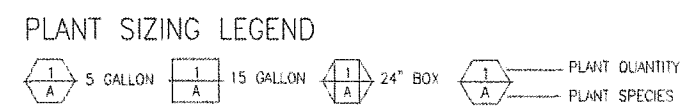
GENERAL NOTES

1. PRIOR TO PLANTING, THE IRRIGATION SYSTEM SHALL BE FULLY OPERATIONAL AND ALL PLANTING AREAS SHALL BE THOROUGHLY SOAKED.
2. THE PLANTING PLAN IS DIAGRAMMATIC AND SHALL BE USED AS A GUIDE FOR PLACING PLANTS.
3. DO NOT DAMAGE ROOTBALL DURING PLANTING. ANY PLANTS WITH DAMAGED ROOTBALLS MUST BE REPLACED.
4. SHRUBS AND TREES SHALL BE UNDER PLANTED WITH GROUNDCOVER AS SHOWN BY ADJACENT SYMBOL.



PLANT MATERIAL LEGEND

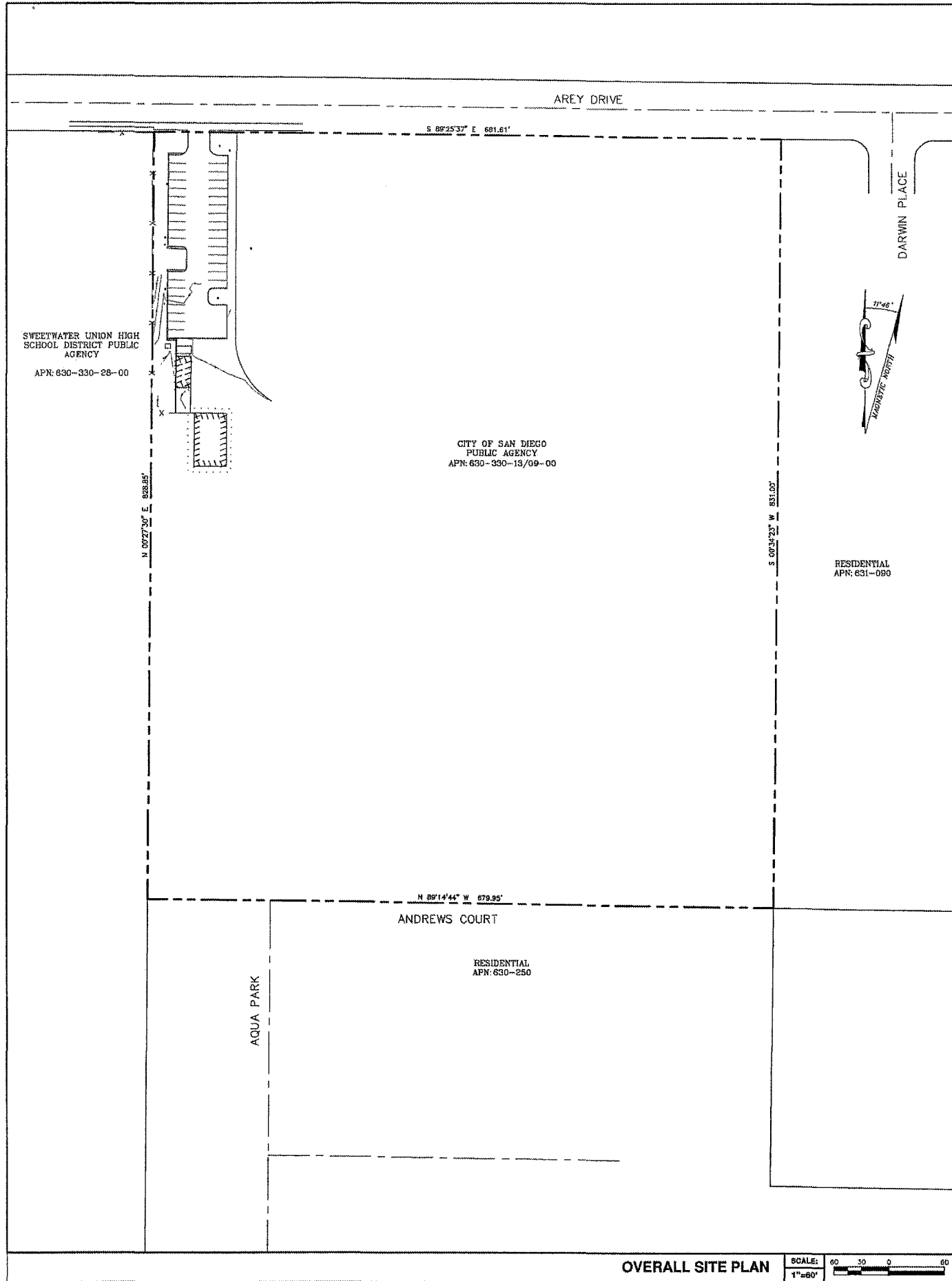
SYMBOL CODE	QTY	BOTANICAL NAME	COMMON NAME	FORM	FUNCTION	% COVER	CONTAINER SIZE	PLANT FACTOR WUCOLS REGION 3	MATURE HEIGHT AND SPREAD	SPACING	REMARKS
<b>TREE</b>											
- -	-	-	-	-	-	-	-	-	-	-	PROTECT IN PLACE
A	2	EUCALYPTUS TORQUATA	CORAL GUM	ROUND CANOPY	COMPLEMENT MONO-EUC	-	15 GAL	L	20'-35' X 20'-35'	AS SHOWN	7'-9' TALL AT TIME OF PLANTING. SEE PLANTING NOTES THIS SHEET AND DOUBLE STAKE STD DWG SDL-101
B	3	TRISTANIA CONFERTA	BRISBANE BOX	UPRIGHT OVAL	COMPLEMENT MONO-EUC	-	24" BOX	M	35'-45' X 25'-35'	AS SHOWN	10'-12' TALL AT TIME OF PLANTING. SEE PLANTING NOTES THIS SHEET AND DOUBLE STAKE STD DWG SDL-101
<b>SHRUBS</b>											
C	8	NERIUM OLEANDER 'PETITE PINK'	PETITE PINK DWARF OLEANDER	SPREADING	SCREEN	-	5 GAL	L	3'-6" X 3'-6"	AS SHOWN	SEE PLANTING NOTES THIS SHEET AND STD DWG SDL-102
D	8	NERIUM OLEANDER 'PETITE SALMON'	PETITE SALMON DWARF OLEANDER	SPREADING	SCREEN	-	5 GAL	L	3'-6" X 3'-6"	AS SHOWN	
E	15	RHAPHIOLEPIS INDICA 'CLARA'	CLARA INDIAN HAWTHORN	SPREADING	SCREEN	-	5 GAL	M	3'-5" X 3'-5"	AS SHOWN	
- -	-	-	-	-	-	-	-	-	-	-	SEE PLAN FOR SPECIES, PROTECT IN PLACE
- -	-	-	-	-	-	-	-	-	-	-	SEE STD DWG SDL-102



SEE SHEET L1 FOR IRRIGATION PLAN  
SEE SHEET L2 FOR WATER CALCULATIONS

Shapton Landscape Architecture  
714/955-9325  
billshapton@hotmail.com





**PROPERTY LEGAL DESCRIPTION**

**PRELIMINARY TITLE NOTES:**

OWNER'S NAME: CITY OF SAN DIEGO  
ASSESSOR'S PARCEL NUMBER(S): 630-330-09-00

**BASIS OF BEARINGS:**  
THE BEARINGS SHOWN HEREON ARE BASED CALIFORNIA STATE PLANE COORDINATE SYSTEM - ZONE 6, AS DETERMINED BY S.P.S. OBSERVATIONS, USING TRIMBLE 5700/5800 RECEIVERS AND TRIMBLE GEODETIC OFFICE 1.60 SOFTWARE.

**BASIS OF ELEVATIONS:** NGVD 1929  
ELEVATIONS ARE BASED ON THE CITY OF SAN DIEGO BENCHMARK NO. 2081 LOCATED AT THE INTERSECTIONS OF AREY DRIVE AND DARWIN PLACE. DESCRIBED AS THE SWBP. ELEVATION = 235.80'.

**SITE DATA**  
FEMA FLOOD ZONE DESIGNATION: National Flood Insurance Program; County: San Diego Effective Date: 5-16-12  
Map/Panel: 06073C2158G  
The Flood Zone Designation for this site is: ZONE: X

**FEMA FLOOD ZONE INFORMATION**

**VICINITY MAP**

**LEGEND**

These standard symbols will be found in the drawing.

BC ODNC EC ELTR FNCP LP NG PS RF RFOH SW TC TRTP  
TELEPHONE PED  
LIGHT POLE  
TREE DECIDUOUS  
BOTTOM OF CURB  
CONCRETE SURFACE  
EDGE OF CONCRETE  
ELECTRICAL TRANSFORMER  
FENCE TOP  
LIGHT POLE TOP  
GROUND SPOT ELEVATION  
PAINT STRIPING  
ROOF FLOOR  
ROOF OVERHANG  
SIDEWALK  
TOP OF CURB  
TREE TOP DECIDUOUS  
BOUNDARY LINE  
CENTERLINE  
MISC. PROPERTY LINE  
MISC. TIE LINE  
RIGHT-OF-WAY LINE  
FENCE LINE

**LEGEND**

1) This is not a boundary survey. This is a specialized topographic map. The property lines and easements shown hereon are from record information as noted hereon. Floyd Surveying translated the topographic survey to record information using the two found monuments shown hereon. No title research was performed by Floyd Surveying.

2) Any changes made to the information on this plan, without the written consent of Floyd Surveying relieves Floyd Surveying of any and all liability.

3) These drawings & specifications are the property & copyright of Floyd Surveying & shall not be used on any other work except by agreement with the Surveyor. Written dimensions shall take preference over scaled & shall be verified on the job site. Any discrepancy shall be brought to the notice of the Surveyor prior to commencement of any work.

4) Field survey completed on JULY 17, 2014.

**PROPRIETARY INFORMATION**  
THE INFORMATION CONTAINED IN THIS SET OF CONSTRUCTION DOCUMENTS IS PROPRIETARY BY NATURE. ANY USE OR DISCLOSURE OTHER THAN THAT WHICH RELATES TO T-MOBILE IS STRICTLY PROHIBITED.

DATE: 7/17/2014  
SURVEYOR: DAF  
DRAWN BY: AGP  
CHECKED BY: DAF

**ISSUE STATUS:**

Δ	DATE:	DESCRIPTION:	BY:
-	7/17/14	SOX 20	DAF
1	10/16/14	CORRECTED COMMENTS	DAF
2	1/30/15	NEW LEASE / SECTORS	DAF

**APPLICANT**  
**T-Mobile**  
stick together  
10600 VISTA SORRENTO PARKWAY,  
SUITE 206,  
SAN DIEGO, CA 92121

**PLANS PREPARED BY:**  
**FLOYD SURVEYING**  
28936 OLD TOWN FRONT ST  
SUITE 203  
TEMECULA, CA 92590  
OFFICE: (951) 694-8847  
EMAIL: fs@floydsurveying.com

**LICENSURE:**  
David A. Floyd  
Exp: 12/31/2014  
No. 7678  
STATE OF CALIFORNIA

**PROJECT NAME:**  
SILVER WING TREE

**PROJECT NUMBER:**  
SD06183A

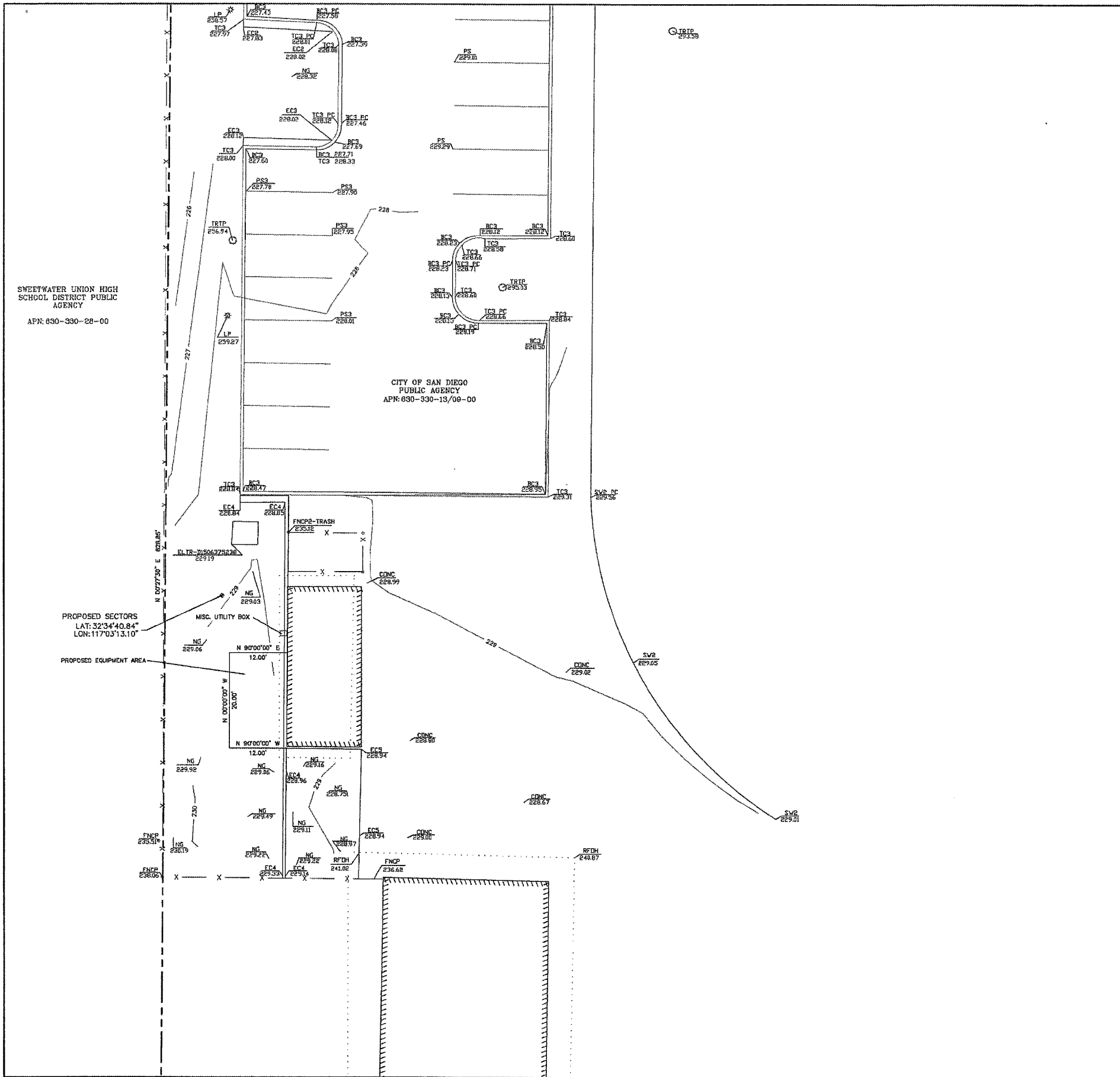
**PROJECT ADDRESS:**  
3737 AREY DRIVE  
SAN DIEGO, CA 92154

**SHEET TITLE:**  
SITE SURVEY  
GENERAL INFORMATION

**SHEET NUMBER:**  
**LS1**

**OVERALL SITE PLAN** SCALE: 1"=80'



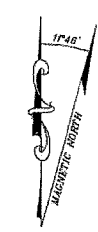


SWEETWATER UNION HIGH SCHOOL DISTRICT PUBLIC AGENCY  
APN: 630-330-28-00

CITY OF SAN DIEGO PUBLIC AGENCY  
APN: 630-330-13/08-00

PROPOSED SECTORS  
LAT: 32°34'40.84"  
LON: 117°03'13.10"

PROPOSED EQUIPMENT AREA



**LEGEND**

These standard symbols will be found in the drawing.

BC	TELEPHONE PED
CONC	LIGHT POLE
EC	TREE DECIDUOUS
ELTR	BOTTOM OF CURB
FNGP	CONCRETE SURFACE
LP	EDGE OF CONCRETE
NG	FENCE TOP
PS	LIGHT POLE TOP
RF	GROUND SPOT ELEVATION
RFOH	PAINT STRIPING
SW	ROOF FLOOR
TC	ROOF OVERHANG
TRTP	SIDEWALK
	TOP OF CURB
	TREE TOP DECIDUOUS
---	BOUNDARY LINE
- - - -	CENTERLINE
- · - · -	MISC. PROPERTY LINE
- · - · -	MISC. TIE LINE
- · - · -	RIGHT-OF-WAY LINE
- X - X -	FENCE LINE

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DATE:	7/17/2014		
SURVEYOR:	DAF		
DRAWN BY:	ACP		
CHECKED BY:	DAF		
<b>ISSUE STATUS:</b>			
Δ	DATE:	DESCRIPTION:	BY:
-	7/17/14	SOR ZD	DAF
1	10/16/14	CORRECTED COMMENTS	DAF
2	1/30/15	NEW LEASE / SECTORS	DAF

APPLICANT

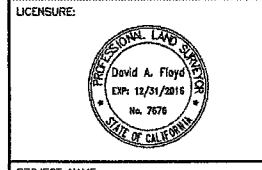
**T-Mobile**  
stick together

10509 VISTA SORRENTO PARKWAY,  
SUITE 206,  
SAN DIEGO, CA 92121



PLANS PREPARED BY:

**FLOYD SURVEYING**  
28936 OLD TOWN FRONT ST  
SUITE 203  
TEMECULA, CA 92590  
OFFICE: (951) 694-8647  
EMAIL: fs@floydsurveying.com



PROJECT NAME:

SILVER WING TREE

PROJECT NUMBER:

SD06183A

PROJECT ADDRESS:

3737 AREY DRIVE  
SAN DIEGO, CA 92154

SHEET TITLE:

SITE SURVEY  
GENERAL INFORMATION

SHEET NUMBER:

**LS2**

DETAIL SITE PLAN

SCALE: 1"=10'

10 5 0 10

GENERAL NOTES

**OTAY MESA-NESTOR COMMUNITY PLANNING GROUP  
MEETING MINUTES  
March 11, 2015**

**Members Present:**

Dist. 1 John Swanson  
Dist. 2 Sam Mendoza  
Dist. 3 Ed Abraham  
Dist. 6 Maria Mendoza  
Dist. 7 Robert Broomfield  
Dist. 8 Edgar Gonzalez  
Dist. 9 Jacki Farrington  
Dist. 10 Bob Mikloski  
Dist. 11 Albert Velasquez  
Dist. 12 Carlos Sanchez  
Dist. 13 Brian McGonagill

Dist. 14 Wayne Dickey

Dist. 15 Walt Zumstein

**Members Absent:**

Dist. 4 Diane Porter  
Dist. 5 Gabriel Uribe  
Dist. 16 Steve Schroeder

**Guests Present:**

*A number of guests were present, see the OMNCPG secretary for a copy of the guest list.*

1. **Call to Order/Introduction of Members:** The meeting was called to order at 6:33 p.m. by Chair Albert Velasquez, at the Otay Mesa Nestor Branch Library. He welcomed all Board members and members of the community to the meeting of the Otay Mesa-Nestor Community Planning Group (OMNCPG).
2. **Approval of minutes** – A Motion was made by Brain McGonagill to approve the minutes of the February, 2015, OMNCPG Meeting. The motion passed unanimously.
3. **Non-Agenda Public Comments:** None.
4. **SDPD Community Relations:** Officer Carlos Lacarra, [clacarra@pd.sandiego.gov](mailto:clacarra@pd.sandiego.gov) (619) 424-0440.
  - a. Officer Lacarra was not in attendance, and SDPD Lieutenant Charlot gave the following report:
    1. He said that there was a recent significant arrest of an area graffiti suspect.
    2. A recent suicide jumper was assisted by citizen Good Samaritans.
5. **Council District 8 Report:** District 8 Representative Gerrlyn Gacao, Council Representative, 619-236-6688 [ggacao@sandiego.gov](mailto:ggacao@sandiego.gov):
  - a. She announced that the Council is reviewing regulation of short term vacation rentals.
  - b. She said that the City of San Diego has 18 street sweepers in the fleet to clean the city streets.
  - c. There will be a ribbon cutting at Pond 20 to celebrate the installation of a new fence along Palm Avenue.
    1. She said the event is scheduled for Thursday, April 2, 2015, at 10:00 am.
  - d. A brief report was provided regarding the Palm Avenue renovation project.

6. **Mayor's Office Report:** Andrea Cardenas, Community Representative, [acardenas@sandiego.gov](mailto:acardenas@sandiego.gov) 619-533-3977. No report.
7. **Assembly, 80th District Report:** Martin Hernandez, Field Representative, [martin.hernandez@asm.ca.gov](mailto:martin.hernandez@asm.ca.gov) 619-338-8090 provided a report:
  - a. He said that AB 717 the "diaper bill" is in committee, which would make diapers "tax free."
  - b. He said that AB 1266 is also under consideration, which would address bonuses to public utilities.
8. **Sub-Committee Reports:**
  - a. The chair announced that the Project Review subcommittee met two weeks ago to review the two action items on the agenda.
  - b. Bob Mikloski was added to the Election Committee.
9. **Informational Item:** Nicole Capretz with Climate Action Campaign, brought a presentation on the City of San Diego's Climate Action Plan (CAP). The CAP sets out goals for the following: (1) energy and water efficient buildings; (2) clean energy; (3) biking, walking and transit; (4) zero waste; (5) climate resiliency. Here is a link to the full plan:

[http://www.sandiego.gov/planning/genplan/cap/pdf/sd\\_working\\_cap\\_020714.pdf](http://www.sandiego.gov/planning/genplan/cap/pdf/sd_working_cap_020714.pdf)

Contact: Nicole Capretz, [nicole@climateactioncampaign.org](mailto:nicole@climateactioncampaign.org)

**Voting result:** The OMNCPG voted 12 – 0 with 1 abstention to table this item due to lack of time to complete item.

10. **Action Item:** Kerrigan Diehl made a presentation of Verizon PTS#354376 - Verizon application for an Neighborhood Development Permit – Process 2 for a new WCF located at 1515 Palm Avenue. The site will consist of 12 panel antennas, 12 remote radio units, and MW dish antennas located behind architecturally integrated rooftop screens. Associated equipment is proposed on the south side of the building within a 279 equipment enclosure, along with a separate 143 s.f. emergency back-up generator enclosure, placed adjacent to the existing trash enclosure. Contact: Kerrigan Diehl, Project Manager PLANCOM INC. 760.587.3003 [kerrigan.diehl@plancominc.com](mailto:kerrigan.diehl@plancominc.com)

**Voting result:** Item approved unanimously.

- |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                        |
|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <ol style="list-style-type: none"><li>11. <b>Action Item:</b> Debra DePratti Gardner made a brief presentation of T-Mobile Silver Wing # SD06183. T-Mobile is proposing to construct a new telecommunications facility in Silver Wing Park. The proposed project includes a 45' "monoecalyptus" with 16 panel antennas and a 160 square foot equipment enclosure. The project is located behind the restroom on the west side of the park. New landscaping will be installed around the faux tree and enclosure, including Eucalyptus trees, Indian Hawthorne and Oleander. Contact Debra DePratti Gardner, DePratti Incorporated, Ph. 619-726-8110 <a href="mailto:ddgardner@deprattiinc.com">ddgardner@deprattiinc.com</a></li></ol> |
|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|

**Voting result:** Item approved unanimously.

**12. Community Planning Group Elections: Introduction of eligible candidates and casting of ballots.**

The OMNCPG held an election, and the following district representatives were reelected for a 4 year term at the March, 2015 meeting of the OMNCPG:

District 9: Jacki Farrington, District 11: Alberto Velasquez, District 12: Carlos Sanchez, District 13: Brian McGonagill, District 14: Wayne Dickey, District 15: Walt Zumstein

District 16: Vacant

**13. Officer Elections: The following officers were elected from the board members for a two-year term:**

**Chair:** Alberto Velasquez  
**Vice-Chair:** Jacki Farrington  
**Secretary:** John Swanson

**14. Chair's Report.**

**15. City Planner Report –Jenny An, City Planner 619-236-8261 [jan@san Diego.gov](mailto:jan@san Diego.gov)**

**16. Adjournment: 8:00 p.m.**

**Respectively submitted by John C. Swanson, Secretary**

**Hempton, Alexander**

---

**From:** MMCVolk Ret . [mmcvolk@gmail.com]  
**Sent:** Friday, April 10, 2015 7:04 PM  
**To:** Caitlyn Kes  
**Cc:** Hempton, Alexander; Debra Gardner; Anne Regan  
**Subject:** Re: [FWD: Re: T-Mobile SD06183 Silver Wing Tree at Otay Mesa Recreation Council April 9th]

This is Michael Volk from the Otay Mesa Recreation council and we recommend the Antenna tree.

**Thank you for your Support,  
Michael Volk  
President  
Otay Mesa Park and Recreation Council  
619-992-8655**

On Fri, Apr 10, 2015 at 2:57 PM, Caitlyn Kes <[ckes@deprattiinc.com](mailto:ckes@deprattiinc.com)> wrote:

Hi Michael,

Nice meeting you yesterday. Do you mind sending the council's recommendation to Alex (City Planner) as soon as you can? He's copied on this email. Thanks!

PTS #384275

Caitlyn Kes  
858-527-9938  
[ckes@deprattiinc.com](mailto:ckes@deprattiinc.com)



----- Original Message -----

Subject: RE: [FWD: Re: T-Mobile SD06183 Silver Wing Tree at Otay Mesa Recreation Council April 9th]  
From: "MMCVolk Ret ." <[mmcvolk@gmail.com](mailto:mmcvolk@gmail.com)>  
Date: Thu, April 09, 2015 6:54 pm  
To: Caitlyn Kes <[ckes@deprattiinc.com](mailto:ckes@deprattiinc.com)>

Great see you then  
Michael Volk  
Otay Mesa Recreational council President.  
[619-992-8655](tel:619-992-8655)

On Apr 9, 2015 6:20 PM, "Caitlyn Kes" <[ckes@deprattiinc.com](mailto:ckes@deprattiinc.com)> wrote:

Hi Michael,

I will be representing in Debra's place tonight. I'll see you at 7pm. Thanks.

Caitlyn Kes  
858-527-9938  
[ckes@deprattiinc.com](mailto:ckes@deprattiinc.com)



----- Original Message -----

Subject: [FWD: Re: T-Mobile SD06183 Silver Wing Tree at Otay Mesa Recreation Council April 9th]  
From: <[ddgardner@deprattiinc.com](mailto:ddgardner@deprattiinc.com)>  
Date: Fri, April 03, 2015 7:01 am  
To: "Caitlyn Kes" <[ckes@deprattiinc.com](mailto:ckes@deprattiinc.com)>

Thank you,

Debra DePratti Gardner  
DePratti Incorporated  
[619-726-8110](tel:619-726-8110)



----- Original Message -----

Subject: Re: T-Mobile SD06183 Silver Wing Tree at Otay Mesa Recreation Council April 9th  
From: "MMCVolk Ret ." <[mmcvolk@gmail.com](mailto:mmcvolk@gmail.com)>  
Date: Fri, April 03, 2015 5:52 am  
To: "[ddgardner@deprattiinc.com](mailto:ddgardner@deprattiinc.com)" <[ddgardner@deprattiinc.com](mailto:ddgardner@deprattiinc.com)>

Debra  
Yes you are confirmed I will send you an agenda.

On Tuesday, March 31, 2015, <[ddgardner@deprattiinc.com](mailto:ddgardner@deprattiinc.com)> wrote:  
Hi Michael- I am following up to confirm that this project is on the April 9th agenda. Can you please confirm and forward an agenda?

Thank you,

Debra DePratti Gardner  
DePratti Incorporated  
[619-726-8110](tel:619-726-8110)





----- Original Message -----

Subject: T-Mobile SD06183 Silver Wing Tree at Otay Mesa Recreation Council April 9th

From: <ddgardner@deprattiinc.com>

Date: Mon, March 16, 2015 11:17 am

To: [mmcvolk@gmail.com](mailto:mmcvolk@gmail.com)

Cc: "Caitlyn Kes" <[ckes@deprattiinc.com](mailto:ckes@deprattiinc.com)>, "Alexander Hempton" <[AHempton@sandiego.gov](mailto:AHempton@sandiego.gov)>

Hi Michael- I am emailing to confirm that the T-Mobile SD06183 Silver Wing Tree will be placed on the agenda for April 9th and the meeting will be at 7pm at 3020 Coronado Ave,

Please let me know what additional information you need from me.

Thank you,

Debra DePratti Gardner  
DePratti Incorporated  
[619-726-8110](tel:619-726-8110)



--

Michael Volk  
Otay Mesa Rec. Council  
President  
[619-992-8655](tel:619-992-8655)

An Ownership Disclosure Statement is not provided as this property is owned by the City of San Diego. A list of T-Mobile executives is provided below.

Management

John J. Legere, President and Chief Executive Officer  
David R. Carey, Executive Vice President, Corporate Services  
J. Braxton Carter, Executive Vice President, Chief Financial Officer  
Peter A. Ewens, Executive Vice President, Corporate Strategy  
Jon A. Freier, Executive Vice President, T-Mobile Retail and Direct Channels  
Thomas C. Keys, President, T-Mobile Indirect Channels  
Gary A. King, Executive Vice President and Chief Information Officer  
David A. Miller, Executive Vice President, General Counsel and Secretary  
Larry L. Myers, Executive Vice President, Human Resources  
Neville R. Ray, Executive Vice President and Chief Technology Officer  
J. Andrew Sherrard, Executive Vice President and Chief Marketing Officer  
G. Michael Sievert, Executive Vice President and Chief Operating Officer

Board of Directors

Timotheus Höttges, Chairman of the Board  
John J. Legere  
W. Michael Barnes  
Thomas Dannenfeldt  
Srikant M. Datar  
Lawrence H. Guffey  
Bruno Jacobfeuerborn  
Raphael Kübler  
Thorsten Langheim  
Teresa A. Taylor  
Kelvin R. Westbrook

## Project Chronology

**T-Mobile – Silver Wing Tree – Project No. 384275**

<b>Date</b>	<b>Action</b>	<b>Description</b>	<b>City Review Time</b>	<b>Applicant Response Time</b>
11/14/2014	First Submittal	Project Deemed Complete		
1/2/2015	First Assessment Letter		49	
2/12/2015	Second Submittal			41
4/3/2015	Second Assessment Letter		50	
6/22/2015	Third Submittal			80
7/16/2015	Environmental Determination		24	
7/21/2015	All issues resolved		5	
9/24/2015	Public Hearing – Planning Commission		65	
TOTAL STAFF TIME			193	
TOTAL APPLICANT TIME				121
TOTAL PROJECT RUNNING TIME		From Deemed Complete to Planning Commission Hearing	314 (in calendar days)	



THE CITY OF SAN DIEGO

DATE OF NOTICE: September 10, 2015

# NOTICE OF PUBLIC HEARING PLANNING COMMISSION

**DATE OF HEARING:** September 24, 2015  
**TIME OF HEARING:** 9:00 A.M.  
**LOCATION OF HEARING:** Council Chambers, 12th Floor, City Administration Building,  
 202 C Street, San Diego, California 92101

**PROJECT TYPE:** NEIGHBORHOOD DEVELOPMENT PERMIT,  
 CONDITIONAL USE PERMIT, and PLANNED  
 DEVELOPMENT PERMIT, PROCESS FOUR

**PROJECT NUMBER:** 384275  
**PROJECT NAME:** T-MOBILE – SILVER WING TREE  
**APPLICANT:** DEBRA DEPRATTI, DEPRATTI, INC., AGENTS  
 REPRESENTING T-MOBILE

**COMMUNITY PLAN AREA:** OTAY MESA-NESTOR  
**COUNCIL DISTRICT:** 8

**CITY PROJECT MANAGER:** Alex Hempton, Development Project Manager  
**PHONE NUMBER/E-MAIL:** (619) 446-5349 / ahempton@sandiego.gov

As a property owner, tenant or person who has requested notice, you should know that the Planning Commission will hold a public hearing to approve, conditionally approve, or deny an application for a Wireless Communication Facility (WCF) consisting of 16 panel antennas mounted on a new 48-foot tall monoecalyptus tree with equipment associated with the antennas located in a 245 square-foot enclosure. The project is located in Silver Wing Park with an address of 3735-3737 Arey Drive.

The decision of the Planning Commission is final unless the project is appealed to the City Council. In order to appeal the decision of the Planning Commission you must be present at the public hearing and file a speaker slip concerning the application or have expressed interest by writing to the Planning Commission before the close of the public hearing. Please do not e-mail appeals as they will not be accepted. See Information Bulletin 505 "Appeal Procedure", available at [www.sandiego.gov/development-services](http://www.sandiego.gov/development-services) or in person at the office of the City Clerk, 202 "C" Street,



Second Floor. The appeal must be made within 10 business days of the Planning Commission decision. If you wish to challenge the City's action on the above proceedings in court, you may be limited to addressing only those issues you or someone else have raised at the public hearing described in this notice, or written in correspondence to the City at or before the public hearing.

This project was determined to be categorically exempt from the California Environmental Quality Act on July 16, 2015 and the opportunity to appeal that determination ended July 30, 2015.

If you have any questions after reviewing this information, you can contact the City Project Manager listed above.

This information will be made available in alternative formats upon request. To request an agenda in alternative format or to request a sign language or oral interpreter for the meeting, call Support Services at (619) 321-3208 at least five business days prior to the meeting to insure availability. Assistive Listening Devices (ALD's) are also available for the meeting upon request.

Internal Order Number: 24005006

Revised 11-17-14