

VILLAGE/MIXED USE ELEMENT

INTRODUCTION

This Element builds upon City Council adopted policies set forth in the City of San Diego General Plan. A series of policies are established in the General Plan that set the framework for growth and new development within existing neighborhoods to be designed with a mixture of land uses that promote increased housing opportunities, walkability, social interaction, and a sense of place. This Element provides guidelines for implementation of the General Plan policies by setting a framework for new village-type infill development in the Southeastern San Diego community.

The integration of commercial and residential uses is emphasized in villages and civic uses are also an important component. Uses such as, and similar to, retail, professional/administrative offices, commercial recreation facilities, and service businesses are allowed in villages. Areas where village-type development is designated within the Southeastern San Diego community enhance and create high quality, interactive urban neighborhoods by allowing for the development of well-planned, suitable, and appropriate mixed-use developments. The village-type developments support transit use, reduce dependence on the automobile, establish a pedestrian-friendly orientation, and offer flexibility for redevelopment opportunities while maintaining community character and providing a range of housing opportunities. Mixed use refers to the combining of compatible commercial, retail, and/or office uses in the same building (vertical mixed use) or on the same site (horizontal mixed use) as residential. This includes higher density residential development to serve many market segments, along with a mix of commercial, retail, civic, and recreational uses to serve the overall community.

The community of Southeastern San Diego has benefited from redevelopment within the area, including the establishment of quality single-family neighborhoods and increased shopping and employment opportunities. However, parts of the community, in particular areas located east of I-805 along Market Street and Imperial Avenue, remain in need of enhancement. These areas currently include commercial and industrial development that is aging and not well sustained by the surrounding community. These major areas identified as being in need of reinvestment and redevelopment are non-contiguous and cover specific sites near Market Street, Imperial Avenue and Euclid Avenue, east of I-805. Thus, the Community Plan Implementation Overlay Zone (CPIOZ) is necessary to accomplish the vision within this portion of the Southeastern San Diego community. This Village/Mixed Use Element defines the vision, the design standards to implement that vision, and the development review process for new development within the Southeastern San Diego (SESD) CPIOZ.

VILLAGE VISION

The Village Vision is for a revitalized community that provides a wide range of housing, shopping, and work opportunities conveniently joined together by the historic major transportation corridors along Euclid Avenue, Imperial Avenue and Market Street.

The vision incorporates the housing and land use policies adopted in the General Plan, bringing together mixed-use residential, commercial, and retail uses, much as they were when this community began in the 1920s, but updated to the 21st Century. There are three ‘villages’, which include the Village Center at Euclid and Market; and, the Imperial Crest and Encantada transit corridors. The Village Center at Euclid and Market will provide a combination of commercial and community facilities along with multi-family housing opportunities, all in close proximity to the San Diego Trolley. The Imperial Crest and Encantada areas are expected to develop as transit corridors with a residential focus and limited commercial development. The Hilltop and Euclid site will provide lower-cost, single-family housing. The vision extends to the east of the Southeastern San Diego Community Plan area into the neighboring community of Skyline-Paradise Hills. Figure V-1 depicts the locations of these areas. These areas are connected by the existing single-family and multi-family neighborhoods, commercial areas, medical offices, public facilities and transit routes, which combine with the proposed new development to complete the overall vision. The Orange Line of the San Diego Trolley, along with major bus routes, public roads, bikeways, and paths tie the community together internally and to downtown San Diego.

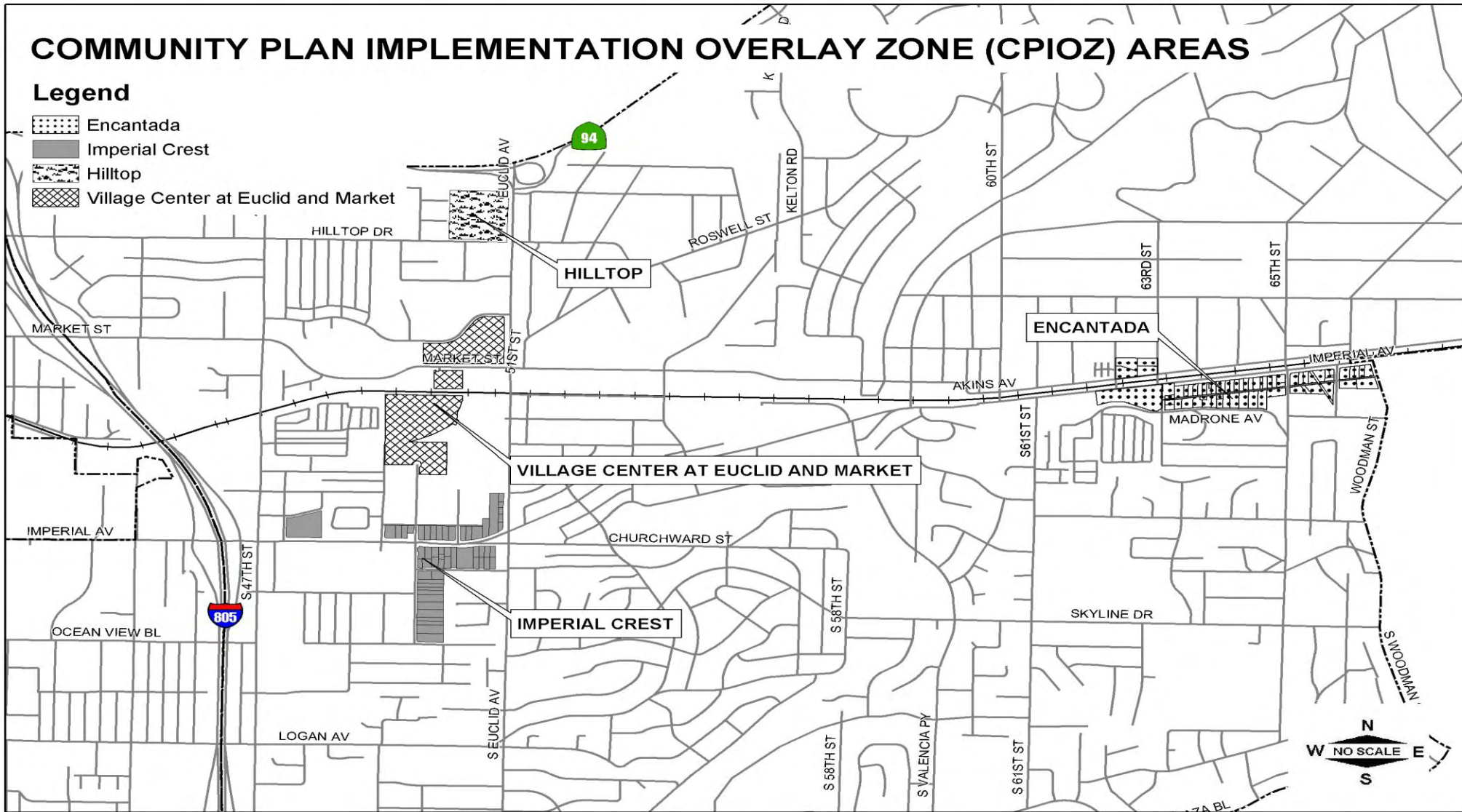
The Villages are anchored and supported by existing civic uses, public infrastructure and amenities such as the rebuilt Lincoln High School, the Orange Line of the San Diego Trolley, the Encanto Branch of South Las Chollas Creek, Marie Widman Memorial Park and Samuel Gompers Park. It builds on current City of San Diego and Southeastern Economic Development Corporation (SEDC) planning documents and regulations including, the City of San Diego General Plan, the Land Development Code, the Southeastern San Diego Planned District Ordinance, the Central Imperial Redevelopment Plan, the Chollas Creek Enhancement Plan, the Imperial Avenue Corridor Master Plan, the City of Villages Strategy, Project First Class, and SEDC’s Multi Family Development Guidelines.

Village Center at Euclid and Market – This project, part of the City’s Pilot Village Program, continues the transformation of approximately 45 acres of previously vacant, untended and underutilized land located along the Market Street and Euclid Avenue corridors, into a vibrant community hub. Located at the intersection of four neighborhoods: Lincoln Park, Valencia Park, Chollas View, and Emerald Hills, this area provides an opportunity for increased use of public transit as it includes the Euclid Avenue Trolley Station, a major bus transit center, along with a park and ride area. The vision for this area is revitalized existing neighborhoods that retain their individual character. Included are approximately 800 residential units, planned as a mix of for-sale and rental homes provided at a range of affordability levels. The area includes plans for youth activities, park space, cultural learning opportunities and art. An outdoor amphitheater, some park space, and a community center already exist at the site. Areas south of Market Street and west of South Las Chollas Creek are designated residential to help support the existing

COMMUNITY PLAN IMPLEMENTATION OVERLAY ZONE (CPIOZ) AREAS

Legend

-  Encantada
-  Imperial Crest
-  Hilltop
-  Village Center at Euclid and Market



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FIGURE V-1

Market Creek Plaza commercial development east of the creek. Areas north of Market Street allow for mixed use.

Proposed residential and mixed-use areas, along with the existing community center are designated as a Neighborhood Village, building on existing and currently permitted development at Market Creek Plaza to create a vibrant community hub. Existing Market Creek Plaza uses include a major super market, restaurants, a bank, amphitheater, creek walk, and the Jacobs Center. The Jacob's Center is a community center and educational center that also provides meeting space and offices. It is located west of Chollas Creek and south of the trolley tracks.

Planned residential densities vary from area to area within the Pilot Village. Overall, residential densities fall within the Neighborhood Village range of 15 to 44 dwelling units per acre. Specific zones are applied within the Pilot Village to achieve the desired residential and commercial density. It is this mix of densities that allows the Pilot Village to provide a mix of for-sale and rental homes at a range of affordability levels.

Transit Corridors

Imperial Crest – This area is located in the Lincoln Park neighborhood. This area includes vacant land, under-utilized commercial properties, and multi-family neighborhoods, intermingled with existing single-family developments. Civic uses in the area include the rebuilt Abraham Lincoln High School and Fire Station #12. The vision creates a family-friendly community with opportunities to live, work and play without leaving the neighborhood. Uses include new mixed-use commercial, retail and medium to high density residential uses. Higher density is planned for the south side of Imperial Avenue, between Euclid Avenue and Lincoln High School. It is not expected that every parcel will include commercial uses because the area is residentially focused. Commercial uses serving as “book-ends” at the corners of the block on the south side of Imperial Avenue between Euclid Avenue and Willie James Jones Avenue should be those that support the neighboring multi-family and single-family developments. Regulations and design guidelines require the integration of pedestrian elements such as building entries, porches and stoops to become the primary features along Imperial Avenue to enhance pedestrian use of the street.

Encantada – This area is located in the eastern section of the Imperial Avenue Corridor Master Plan area, primarily on the south side of Imperial Avenue from 61st Street, east to 69th Street. The portion within the Southeastern San Diego Community Plan area extends from 61st Street to Woodman Street. This area includes vacant land, underutilized commercial properties, and multi-family neighborhoods intermingled with single-family developments. Civic uses include the 62nd Street Trolley Station and Marie Widman Memorial Park. The Encantada vision creates a unique, family-friendly, mixed-use community of transit-oriented retail, commercial and residential uses that blend in the old and the new. Sited at the base of green canyon edges, Encantada promotes a diverse offering of housing types and commercial spaces. Medium to high density residential uses are planned. Mixed-use with ground floor commercial is located on a portion of the current trolley station parking lot and to the south of Imperial Avenue across from the trolley station. Most parcels do not include commercial uses because the area is residentially focused. Commercial uses should be those that support the neighboring multi-family and single-family developments. The Encantada area includes Second Chance, a local and

regional provider of services to the homeless and the unemployed. Retaining Second Chance as a vital community service provider and allowing for a mixed use development on the vacant portion of their parcel is part of the overall vision for Encantada. Creation of pedestrian-oriented street fronts along Imperial Avenue is achieved, by limiting traffic crossing points at sidewalks and encouraging pedestrian entries, porches, outdoor spaces and courtyards to be accessed directly off of Imperial Avenue. Driveways on Imperial Avenue are limited to reduce the amount of traffic crossing points at sidewalks and instead are provided through dedicated driveways set away from pedestrian zones.

Single Family Component

Hilltop and Euclid – This area provides workforce housing opportunities and on-site open space. Housing opportunities include small-lot, single-family housing as well as townhomes. This area connects to the existing bus service along Euclid Avenue and is located within walking and biking distance to the Euclid Avenue Trolley Station and additional shopping opportunities provided by the Village Center at Euclid and Market. The site is also within walking distance to several civic uses including Chollas Elementary School, Gompers Charter Middle School, the Elementary Institute of Science, the Malcolm X Library and Samuel Gompers Park. The site provides residential units at a single family density. Commercial development is not permitted at this site.

Together the Imperial Crest, Encantada, and Hilltop and Euclid areas provide a wide variety of housing opportunities, both for-sale and rental, at a large range of affordability levels. In order to take advantage of the opportunity presented by these areas, a variety of multifamily and two single family residential zones span the density range specified by the proposed land use designations. Zoning densities range from a low of 15 dwelling units per acre (RM-1-1) to a high of 44 dwelling units per acre (RM-3-7).

OBJECTIVES

The principal objective for the Village/Mixed Use Element in SESD is to:

PROMOTE MIXED-USE AND HIGH QUALITY RESIDENTIAL DEVELOPMENTS THAT SUPPORT TRANSIT USE, REDUCE AUTOMOBILE DEPENDENCE, ESTABLISH A PEDESTRIAN-FRIENDLY ORIENTATION, AND OFFER FLEXIBILITY FOR REDEVELOPMENT OPPORTUNITIES WHILE MAINTAINING THE COMMUNITY CHARACTER.

To achieve this principal objective, the following additional objectives are also included:

- Create a range of housing opportunities and choices to provide quality housing for people of all income levels and ages.
- Achieve an overall mix of different housing types to add diversity to communities and to increase housing supply with emphasis on the following:
 - Incorporating a variety of multi-family housing types in multi-family project areas;

- Incorporating a variety of single-family housing types in single-family projects/subdivisions;
 - Building town homes and small lot single-family homes as a transition between higher density homes and lower density single-family neighborhoods with increased drought-tolerant landscaping as part of a transitional buffer; and
 - Identifying sites that are suitable for revitalization and for the development of additional housing.
- Determine the appropriate mix of land uses within Southeastern San Diego and Encanto with attention to:
 - Surrounding neighborhood uses;
 - Uses that are missing from the community;
 - Community preferences; and
 - Availability of public facilities and services
 - Provide opportunities for people to live, work and recreate in the same areas through the integration of mixed residential, commercial and recreational uses.
 - Increase the opportunities within Southeastern San Diego and Encanto for rehabilitation of existing commercial centers and development of new commercial areas in the community through the integration of mixed land uses and compact building design.
 - Focus more intense commercial and residential development in redevelopment areas, including the mixed-use Village Center at the Euclid and Market Pilot Village, and to a lesser extent along transit corridors, (including but not limited to Market Street, Euclid Avenue, and Imperial Avenue) in support of the Strategic Framework Element of the General Plan in a manner that is pedestrian-oriented and preserves the vast majority of single-family neighborhoods.
 - Provide opportunities for a community-specific mix of uses within the community.
 - Increase community vitality and character through incorporation of Smart Growth design principles in new developments including, but not limited to, a mix of land uses, compact building design, walkable neighborhoods, and a provision of a range of housing opportunities and choices.
 - Encourage future development of a built environment that exists in a symbiotic relationship with the cultural environment through incorporation of unique community features and local architectural elements.

VILLAGE RECOMMENDATIONS

- Develop the vacant lot immediately west of Euclid Avenue and north of Hilltop Drive with a mixture of single-family attached and detached homes. Use small lot single-family detached homes to provide a transition between small lot single-family attached homes and existing single-family neighborhoods with lower density. This site should provide a variety of housing opportunities, including for-sale market-rate and affordable housing, in a pedestrian-friendly setting.
- Develop the Village Center at the Euclid and Market Pilot Village with a mixture of multi-family, commercial/retail, and office land uses that are pedestrian-friendly and support transit use. A range of housing opportunities, including for-sale and affordable housing, should be provided on this site. This area can be developed as a hub of the Southeastern San Diego and Encanto communities by providing opportunities for people to live, work and recreate.
- Develop the former Ouchi Nursery (south of Imperial Avenue, between Willie James Jones Avenue and Euclid Avenue) with townhomes. Development on this site should consider compact building design and pedestrian-friendliness. This site should provide a variety of housing opportunities, including for-sale and affordable housing.
- Develop parcels within the Imperial Avenue Corridor Master Plan site with a mixture of zero-lot line single-family homes (townhomes), and multi-family homes. Mixed uses including residential, retail and commercial uses should be provided in close proximity to the 63rd Street Trolley Station and at the southwestern corner of Euclid Avenue and Imperial Avenue, and the Southeastern Corner of Willie James Jones Street and Imperial Avenue consistent with the land use designation and zoning. This corridor should provide a variety of housing opportunities, including for-sale and affordable housing, in a pedestrian-friendly setting.

COMMUNITY PLAN IMPLEMENTATION OVERLAY ZONE (CPIOZ)

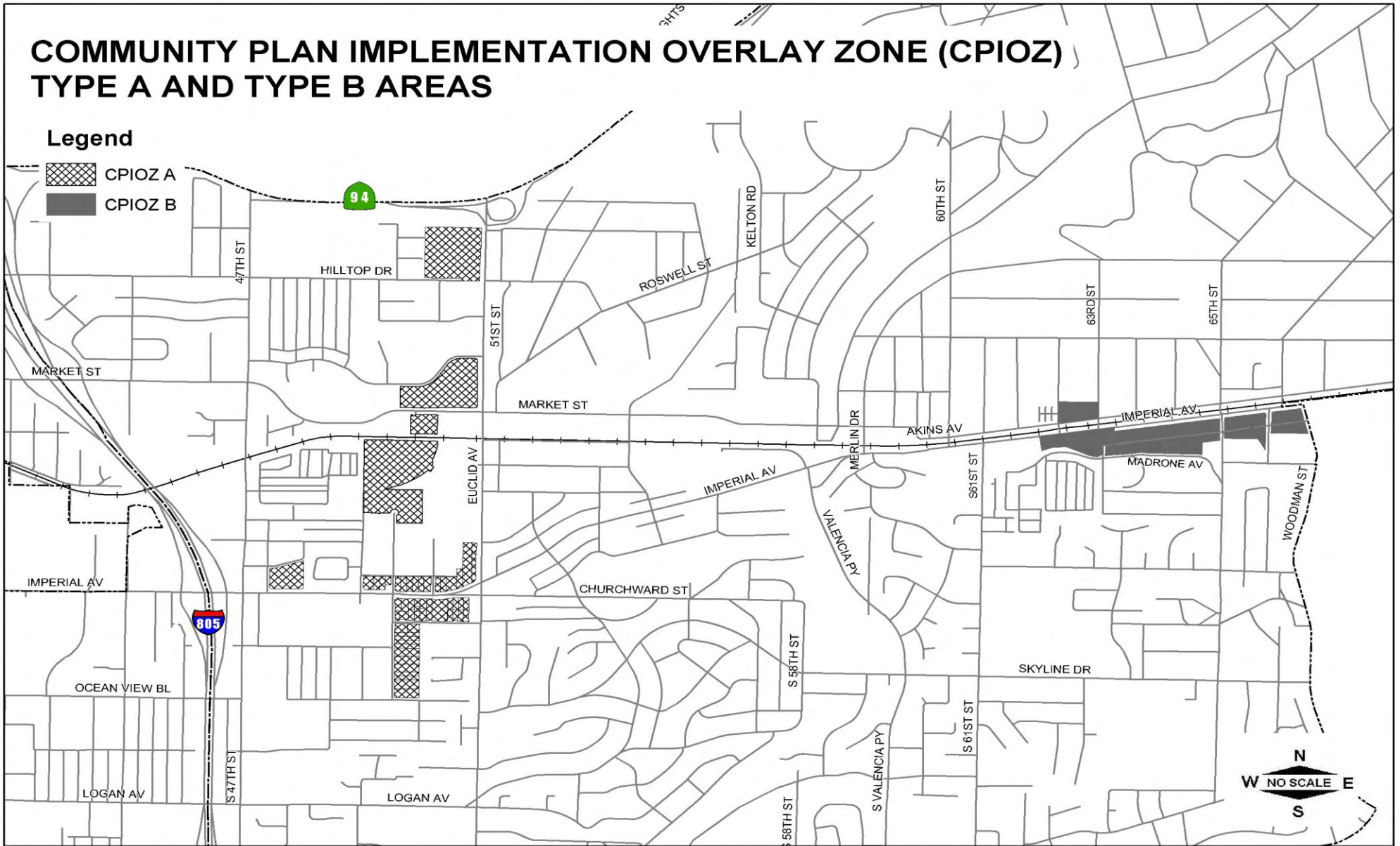
Within the Southeastern San Diego and Encanto Community Plan areas Village development will be implemented through the use of a Community Plan Implementation Overlay Zone (CPIOZ) as provided by Municipal Code Chapter 13, Article 2, Division 14. CPIOZ provide supplemental development regulations and guidelines that are tailored to specific sites within community plan areas of the City. The intent of these regulations is to ensure that *development* proposals are reviewed for consistency with the use and *development* criteria that have been adopted.

Figure V-2 identifies the specific parcels located within the CPIOZ. Some of these parcels are identified as CPIOZ Type A and others are identified as CPIOZ Type B.

COMMUNITY PLAN IMPLEMENTATION OVERLAY ZONE (CPIOZ) TYPE A AND TYPE B AREAS

Legend

-  CPIOZ A
-  CPIOZ B



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FIGURE V-2

CPIOZ Type A

Future development, on properties identified as CPIOZ Type A, that is consistent with the community plan, the base zone regulations, and these supplemental regulations will be processed ministerially in accordance with the procedures of the Community Plan Implementation Overlay Zone (Municipal Code Chapter 13, Article 2, Division 14). Development on parcels designated CPIOZ Type A, that is not consistent with the community plan, base zone regulations, and these supplemental regulations is processed as a CPIOZ Type B, as described below.

CPIOZ Type B

Development proposals on parcels identified as CPIOZ Type B require discretionary review to determine if the development proposal is consistent with the community plan and these supplemental regulations. Development proposals on any parcel identified as CPIOZ Type B shall be required to obtain discretionary approval processed as a Site Development Permit, per Municipal Code Chapter 12, Article 6, Division 5. Applications for development on a CPIOZ Type B parcel shall meet the purpose and intent of these supplemental development regulations. Exceptions from these regulations may be granted by the Planning Director in accordance with the procedures of the Community Plan Implementation Overlay Zone (Municipal Code Article 2, Division 14).

Applications for development on a CPIOZ Type B parcel will require a discretionary review process and should address: 1) the design and compatibility of the project in relation to surrounding development, including conformance with the design guidelines of this Element. Projects may propose design solutions that differ from, but are of equal or higher quality to the design concepts set forth in this Element; and, 2) the ability of the project to support transit use, reduce dependence on the automobile, and establish a pedestrian-friendly orientation.

The CPIOZ does not supersede a project from complying with the permitting requirements found in Chapter 12, Article 6 of the Municipal Code. This includes projects that require a Planned Development Permit (PDP), Site Development Permit (SDP), Conditional Use Permit (CUP), Neighborhood Use Permit, Neighborhood Development Permit, limited uses, variances, or projects involving environmentally sensitive lands (ESL).

Five land use designations are being applied to properties located within the CPIOZ: Neighborhood Village, Residential 5-10 du/ac, Residential 15-30 du/ac, Residential 30-44 du/ac, and Neighborhood Commercial Residential Permitted. The Neighborhood Village designation is applied to the Village Center at the Euclid and Market Pilot Village. The Neighborhood Village designation allows mixed-use development with a residential density of 15 to 44 dwelling units per acre. The Neighborhood Commercial Residential Permitted designation applies to several parcels distributed within the CPIOZ area, and allows mixed-use development with a residential density of 15 to 44 dwelling units per acre. The Residential 5-10 du/ac designation applies to the Hilltop and Euclid site. The Residential 30-44 du/ac designation is applied to two areas, both in the Imperial Crest area. The remainder of the CPIOZ area is designated Residential 15-30 du/ac.

Land Use Designations:

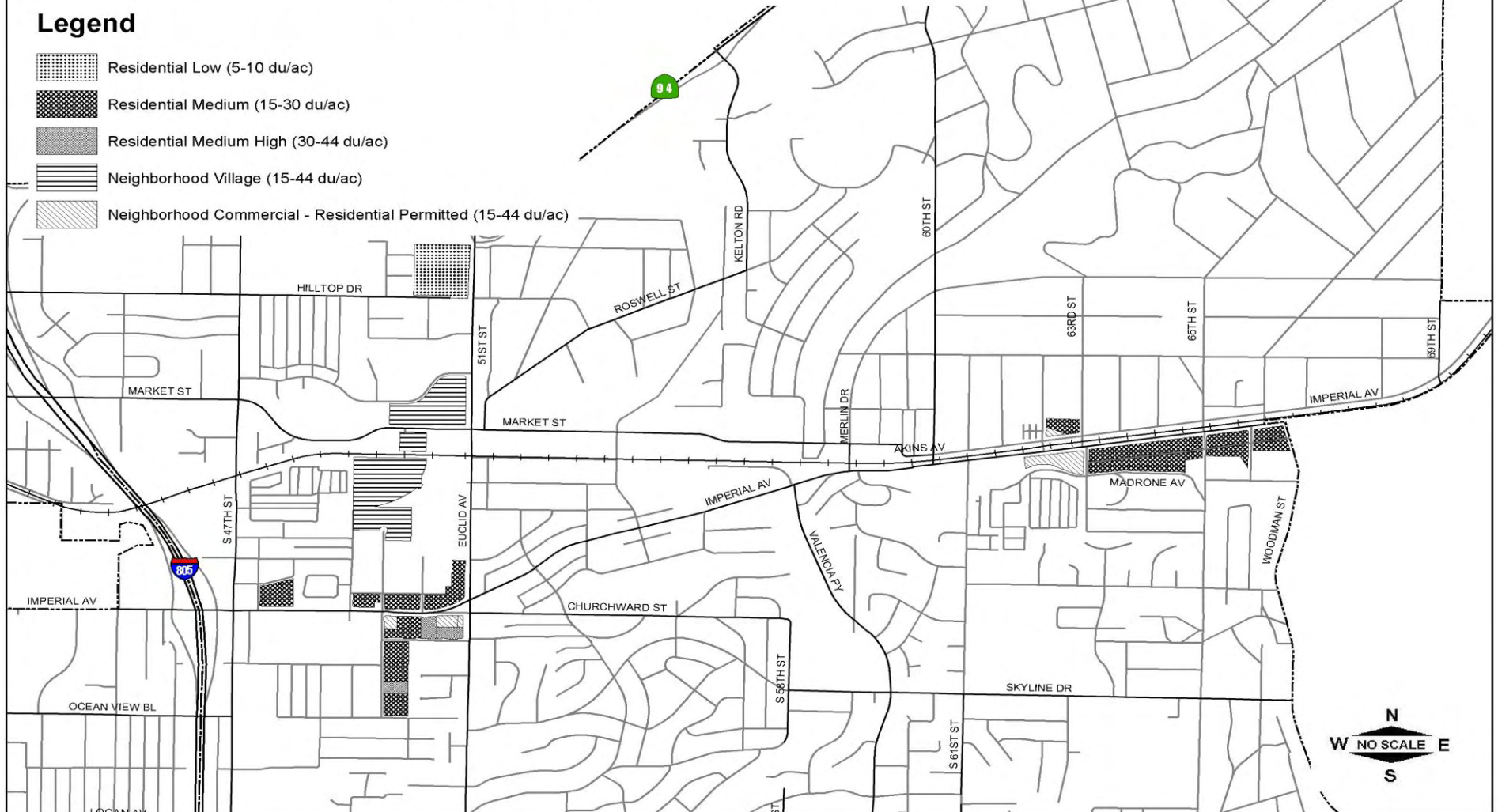
The proposed SESD CPIOZ includes parcels totaling approximately 80 acres of land. These parcels will be developed pursuant to these Supplemental Development Regulations, which allow a greater variety and intensity of uses than base zoning and require pedestrian and transit friendly site design. This will result in reduced automobile dependency, increased pedestrian activity and transit use, and the creation of high quality, interactive neighborhoods. The land use plan for the SESD CPIOZ is shown on Figure V-3.

The density ranges for the Residential 5-10 du/ac, and Residential 15-30 du/ac are from the currently adopted Southeastern San Diego Community Plan. The density associated with the Neighborhood Village, and Residential 30-44 du/ac are from the Land Use Element of the General Plan. The residential density range for Neighborhood Commercial (Residential Permitted) is tailored to meet the specific community needs of Southeastern San Diego and Encanto.

PROPOSED LAND USE DESIGNATIONS COMMUNITY PLAN IMPLEMENTATION OVERLAY ZONE

Legend

-  Residential Low (5-10 du/ac)
-  Residential Medium (15-30 du/ac)
-  Residential Medium High (30-44 du/ac)
-  Neighborhood Village (15-44 du/ac)
-  Neighborhood Commercial - Residential Permitted (15-44 du/ac)



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FIGURE V-3

Neighborhood Village - Provides housing in a mixed-use setting and convenience shopping, civic uses as an important component, and services serving an approximate three-mile radius. This land use designation allows densities ranging from 15-44 dwelling units per acre.

Neighborhood Commercial (Residential Permitted) – Provides local convenience shopping, civic uses, and services serving an approximately three-mile radius. Housing may be allowed only within a mixed-use setting. This land use designation allows densities ranging from 15-44 dwelling units per acre.

Residential 5-10 du/ac – Provides for both traditional single-family and attached rowhouse type housing within a low-density range.

Residential 15-30 du/ac – Provides for both single-family and multifamily housing within a medium-density range.

Residential 30-44 du/ac – Provides for both single-family and multifamily housing within a medium-high-density range.

SUPPLEMENTAL DEVELOPMENT REGULATIONS

The Development Regulations contained in the City of San Diego Land Development Code, including the Southeastern San Diego Planned District Ordinance, apply to development proposals in the SESD CPIOZ except as specifically modified in this section. Where the applicable regulations of the PDO differ from the applicable regulations of other sections of the Land Development Code, the PDO regulations take precedence, except where clearly modified by the CPIOZ. For previously conforming uses within the CPIOZ, Chapter 12, Article 7 of the Land Development Code applies.

Permitted Uses

P = Use or use category is permitted. Regulations pertaining to a specific use may be referenced.
L = Use is permitted with limitations, which may include location limitations or the requirement for a use or development permit. Regulations are located in Chapter 14, Article 1 (Separately Regulated Use Regulations).
N = Neighborhood Use Permit Required. Regulations are located in Chapter 14, Article 1 (Separately Regulated Use Regulations).
C = Conditional Use Permit Required. Regulations are located in Chapter 14, Article 1 (Separately Regulated Use Regulations).
-- = Use not permitted in the specified zone within the SESD CPIOZ.

Permitted uses within the RT-1-4 and RX-1-2 zones of the SESD CPIOZ shall be as permitted in Chapter 13, Article 1, Division 4 of the City of San Diego Municipal Code, except as follows:

Open Air Markets for the Sale of Agriculture-Related Products & Flowers	C
Mobilehome Parks	--
Employee Housing, 6 or Fewer Employees	--
Guest Quarters	N
Live/Work Quarters	L
Botanical Gardens & Arboretums	--
Educational Facilities, Kindergarten through Grade 12, Colleges/Universities	--

Social Service Institutions	C
Bed & Breakfast Establishments, 1-2 Guest Rooms, 3-5 Guest Rooms	--
Large Family Child Care Homes	--
Golf Course, Driving Ranges, and Pitch & Putt Courses	--
Temporary Construction Storage Yards Located off-site	--
Relocation of Sign Area Allowance	N
Theater Marquees	N

Permitted uses within the RM-3-7 zone of the SESD CPIOZ shall be limited to the residential uses permitted in Chapter 13, Article 1, Division 4 of the City of San Diego Municipal Code. Permitted uses within the RM-3-7 and RM-3-9 zones of the Village Center at the Euclid and Market Pilot Village shall be as permitted in Chapter 13, Article 1, Division 4, except as follows:

Open Air Markets for the Sale of Agriculture-Related Products & Flowers	C
Mobilehome Parks	--
Employee Housing, 6 or Fewer Employees	--
Fraternities, Sororities and Student Dormitories	--
Live/Work Quarters	L
Cemeteries, Mausoleums, Crematories	--
Churches & Places of Religious Assembly	C
Educational Facilities, Kindergarten through Grade 12, Colleges/Universities	--
Hospitals, Intermediate Care Facilities & Nursing Facilities	--
Museums	C
Wearing Apparel & Accessories	P
Business Support	P
Eating & Drinking Establishments	P
Financial Institutions	P
Bed & Breakfast Establishments, 1-2 Guest Rooms, 3-5 Guest Rooms, and 6+ Guest Rooms	--
Large Family Child Care Homes	--
Eating and Drinking Establishments Abutting Residentially Zoned Property	L
Golf Course, Driving Ranges, and Pitch & Putt Courses	--
Instructional Studios	C
Massage Establishments, Specialized Practice	C
Permanent Parking Facilities [Per Municipal Code Section 141.0616, with the exception that <u>no</u> surface parking facilities are permitted.]	N
Temporary Parking Facilities	N
Pushcarts on Private Property	L
Pushcarts in public right-of-way	L
Sidewalk Cafes	N
Business & Professional Offices	P
Government Offices	P
Sex Offender Treatment & Counseling	--
Temporary Construction Storage Yards Located off-site	--
Relocation of Sign Area Allowance	N
Theater Marquees	N

Permitted uses within the CC-3-5 zone of the SESD CPIOZ shall be as permitted in Chapter 13, Article 1, Division 5 of the City of San Diego Municipal Code, except as follows:

Community Gardens	N
Open Air Markets for the Sale of Agriculture-Related Products & Flowers	C
Fraternities, Sororities and Student Dormitories	--
Airports	--

Botanical Gardens & Arboretums	--
Cemeteries, Mausoleums, Crematories	--
Correctional Placement Centers	--
Educational Facilities, Kindergarten through Grade 12	--
Educational Facilities, Colleges/Universities	C
Educational Facilities, Vocational/Trade School	P
Exhibit Halls & Convention Facilities	--
Major Transmission, Relay or Communications Switching Stations	--
Alcoholic Beverage Outlets	--
Plant Nurseries	--
Funeral & Mortuary Services	--
Maintenance & Repair	--
Assembly & Entertainment	C
Radio & Television Studios	--
Visitor Accommodations	--
Adult Book Store	--
Adult Cabaret	--
Adult Drive-In Theater	--
Adult Mini-Motion Picture Theater	--
Adult Model Studio	--
Adult Motel	--
Adult Motion Picture Theater	--
Adult Peep Show Theater	--
Adult Theater	--
Body Painting Studio	--
Sexual Encounter Establishment	--
Bed & Breakfast Establishments, 1-2 Guest Rooms, 3-5 Guest Rooms, and 6+ Guest Rooms	--
Boarding Kennels	--
Camping Parks	--
Golf Course, Driving Ranges, and Pitch & Putt Courses	--
Helicopter Landing Facilities	--
Massage Establishments, Specialized Practice	C
Nightclubs & Bars over 5,000 square feet in size	--
Recycling Facilities, Large Collection and Small Collection	--
Recycling Drop-off Facility	--
Reverse Vending Machines	--
Sports Arena & Stadiums	--
Regional & Corporate Headquarters	--
Real Estate Sales Offices & Model Homes	P
Sex Offender Treatment & Counseling	--
Automobile Service Stations	--
Temporary Construction Storage Yards Located off-site	--
Newspaper Publishing Plants	--
Community Identification Signs	N
Revolving Projecting Signs	--
Signs with Automatic Changing Copy	--

Separately Regulated Uses

Eating and Drinking Establishments Abutting Residentially Zoned Property

When allowed within the RM-3-7 and RM-3-9 zones of the SESD CPIOZ, eating and drinking establishments abutting residentially zoned property are permitted as a Limited Use, and subject to the following regulations.

- Eating and drinking establishments abutting residential zones may operate only during the hours between 6:00 a.m. and 12:00 midnight. These hours can be further limited so that neighboring land uses are not disturbed by noise and lights.
- No drive-through services are permitted.
- Off-street parking shall be provided in accordance with Table 142-05F of the Municipal Code. The parking shall be provided at a level sufficient to serve the facility without impacting adjacent or nearby property.
- A litter control plan shall be required to keep the facility and adjacent property free of litter.
- All storage, service, and repair areas shall be located on the site so that they are not visible, or shall be screened so that they are not visible, from adjacent development and public rights-of-way.

Development Regulations

Development within the SESD CPIOZ shall abide by the following regulations:

Development within the RX-1-2 zone of the SESD CPIOZ shall abide by the regulations contained in Chapter 13, Article 1, Division 4 of the City of San Diego Municipal Code, except as follows:

Minimum Lot Area (sq. ft.) [see Section 131.0441 of the Municipal Code]	2,100
Minimum Lot Width (ft) [If a lot abuts an alley, see Section 131.0442(c) of the Municipal Code]	30
Minimum Street frontage (ft) [see Section 131.0442(b) of the Municipal Code; If a lot abuts an alley, see Section 131.0442(c) of the Municipal Code]	30
Minimum Lot Width (corner) (ft) [If a lot abuts an alley, see Section 131.0442(c) of the Municipal Code]	30
Minimum Lot Depth (ft)	70
Minimum Front setback (ft) [see Section 131.0443(b)(1) of the Municipal Code]	5
Minimum Side setback (ft) [see Section 131.0443(b)(2) of the Municipal Code]	
Detached	5/0
Attached	0

Development within the RT-1-4 zone of the SESD CPIOZ shall abide by the regulations contained in Chapter 13, Article 1, Division 4 of the City of San Diego Municipal Code, except as follows:

Minimum Lot Area (sq. ft.) [see Section 131.0441 of the Municipal Code]	1,500
Minimum Lot Depth (ft)	60
Minimum Front setback (ft) [see Section 131.0443(c)(1) of the Municipal Code]	0
Minimum Street side setback (ft)	10

Development within the multifamily zones of the SESD CPIOZ shall abide by the regulations contained in Chapter 13, Article 1, Division 4 of the City of San Diego Municipal Code, except as follows:

	RM-1-1, RM-1-3, RM-2-4, RM-2-5, RM-2-6, RM-3-7, and RM-3-9
Minimum Front setback (ft) [See Section 131.0443(f)(1) of the Municipal Code] (1)	0
Standard Front setback (ft) [See Section 131.0443(f)(1) of the Municipal Code] (1)	0
Minimum Side setback (ft) [See Section 131.0443(f)(2) of the Municipal Code] (2)	0
Standard Side Setback (ft) (2)	0
Maximum Streetside Setback (ft) [see Sections 131.0543(a)(1) and 131.0543(a)(2) of the Municipal Code]	10
Minimum Rear setback (ft)	10
Setback requirements for resubdivided corner lots [see Section 131.0443(i) of the Municipal Code]	--
Rear Setback abutting residential [see Section 131.0543(c) of the Municipal Code]	applies
Pedestrian paths [see Section 131.0550 of the Municipal Code]	applies
Transparency [see Section 131.0552 of the Municipal Code]	applies
Building Articulation [see Section 131.0554 of the Municipal Code]	applies

Notes: (1), See CPIOZ Imperial Crest Setback and Encantada Setback.

(2), See CPIOZ, Setbacks for Compatibility.

The Maximum permitted density for parcels zoned RM-3-9 within the SESD CPIOZ is 60 dwelling units per acre.

Village Center at the Euclid and Market Pilot Village Allowable Density



Within the Pilot Village the following development is allowed by area (Figure V4):

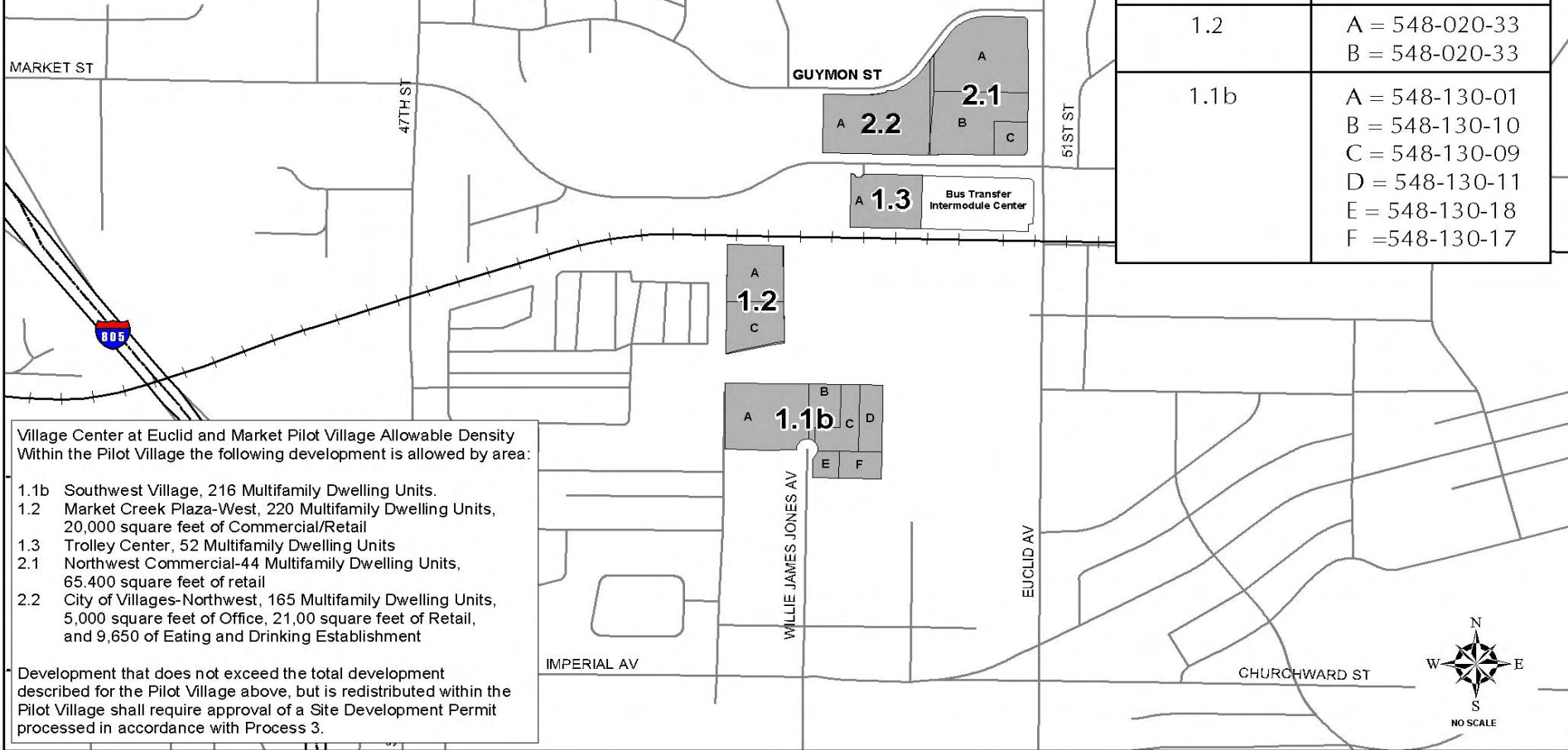
- 1.1b. Southwest Village, 216 Multifamily Dwelling Units.
- 1.2. Market Creek Plaza – West, 220 Multifamily Dwelling Units, 20,000 square feet of Commercial/Retail.
- 1.3. Trolley Center, 52 Multifamily Dwelling Units.
- 2.1. Northwest Commercial – 44 Multifamily Dwelling Units, 65,400 square feet of retail.
- 2.2. City of Villages – Northwest, 165 Multifamily Dwelling Units, 5,000 square feet of Office, 21,500 square feet of Retail, and 9,650 square feet of Eating and Drinking Establishment.

Development that does not exceed the total development described above for the Pilot Village, but is redistributed within the Pilot Village shall require approval of a Site Development Permit processed in accordance with Process 3. The SDP application shall include an analysis demonstrating from what other area the excess density and/or square footage is derived. The application shall also include a complete history of any such redistribution within the Pilot Village, including the authorizing SDP number(s). The allowable density/square footage for the donor parcel would be reduced with approval of the SDP. The CPCI/Planning Director shall maintain a log of how units have been reallocated within the Pilot Village.

VILLAGE CENTER AT EUCLID AND MARKET PILOT VILLAGE ALLOWABLE DENSITY

Legend

-  Pilot Village Areas
-  Parcel Boundary



Village Area	Parcel
2.1	A = 548-010-15 B = 548-020-25 C = 548-020-26
2.2	A = 548-020-30
1.3	A = 548-020-24
1.2	A = 548-020-33 B = 548-020-33
1.1b	A = 548-130-01 B = 548-130-10 C = 548-130-09 D = 548-130-11 E = 548-130-18 F = 548-130-17

Village Center at Euclid and Market Pilot Village Allowable Density
 Within the Pilot Village the following development is allowed by area:

- 1.1b Southwest Village, 216 Multifamily Dwelling Units.
- 1.2 Market Creek Plaza-West, 220 Multifamily Dwelling Units, 20,000 square feet of Commercial/Retail
- 1.3 Trolley Center, 52 Multifamily Dwelling Units
- 2.1 Northwest Commercial-44 Multifamily Dwelling Units, 65,400 square feet of retail
- 2.2 City of Villages-Northwest, 165 Multifamily Dwelling Units, 5,000 square feet of Office, 21,00 square feet of Retail, and 9,650 of Eating and Drinking Establishment

Development that does not exceed the total development described for the Pilot Village above, but is redistributed within the Pilot Village shall require approval of a Site Development Permit processed in accordance with Process 3.



FIGURE V4