
CHAPTER SIX: COMMUNITY FACILITIES

GOAL:

Assure provision of safe and efficient public services concurrent with need.

6.1 IMPLEMENTING PRINCIPLES

- Site schools and neighborhood parks to enhance neighborhood identity and to maximize access by pedestrians and non-motorized transportation modes.
- Ensure that facilities are designed to complement community architecture and landscape.
- Pursue joint use agreements with public utilities to permit use easements.
- Estimate funding costs for school facilities needs based on full buildout of proposed Subarea IV land use designations.
- Base design standards for school facilities on Poway Unified School District state Board Policy.
- Provide for the adoption of the schools financing and phasing plan before accepting any application for the rezoning of property or approve any permit applications to increase density entitlements within the Subarea.
- Provide for execution of mitigation agreements and purchase agreements for designated school and neighborhood park sites by individual applicants before accepting any application for the rezoning of property or approve any permit applications to increase density entitlements for such property.
- Provide turf grass and temporary irrigation as improvements to a portion of the 30-acre community park located in Black Mountain Ranch.
- Provide funding for a Wildlife Care Facility in Black Mountain Open Space Park.

6.2 SCHOOLS

The Poway Unified School District provides elementary, middle and high school facilities for the entire Torrey Highlands Subarea. Torrey Highlands, with 2,600 dwelling units, will generate 1,972 students. Students generated by the project, prior to buildout, will be accommodated by schools in the vicinity of Torrey Highlands.

Table 6-1 lists the population generation factors established by the Poway Unified School District as applied to development occurring within the District.

6.2.1 School Plan

Buildout of Torrey Highlands will create the need for 1.15 elementary schools, 0.30 middle schools and 0.28 high schools (**Table 6-1**), based on student generation rates utilized by the Poway Unified School District. One elementary

school, in addition to the existing Adobe Bluffs Elementary School, will be provided within Torrey Highlands. Mesa Verde Middle School was recently constructed in the southeast portion of Torrey Highlands with an additional middle school designated in the extreme northeast corner of the subarea. A high school has been tentatively located west of Camino Ruiz in the central portion of Torrey Highlands.

The District cannot guarantee that students at any grade level generated from Torrey Highlands will be able to be accommodated in the schools located in the neighboring community of Rancho Peñasquitos. The District reserves the right to bus students to schools where space for portable classroom buildings is available.

**TABLE 6-1
TORREY HIGHLANDS STUDENT GENERATION**

Grade	Single-family 2,122 DUs		Multifamily 478 DUs		Total Students	Capacity of an Individual School	Percent Capacity
	Generation Rate	Students Generated	Generation Rate	Students Generated			
Elementary (K-5)	0.34	721	0.175	84	805	701	1.15
Middle (6-8)	0.18	382	0.07	33	415	1,380	0.30
High (9-12)	0.29	552	0.10	48	600	2,140	0.28
Total					1,820		

Child Care Center

The Plan designates a location for a one-acre child care center to be owned and operated by the Poway Unified School District (PUSD). The center will be located within the elementary school site to be constructed in the Torrey Highlands community. This location will provide easy access to the greatest number of residents and provide for economy of trips for families with children in the adjacent schools. The center will be designed to have separate access, parking and play areas from the elementary school. The child care center will be adjacent to a five-acre neighborhood park. The center will provide before and after school care for school-aged children and also possibly all day care for preschool children. PUSD policies and regulations shall be administered at the center.

Elementary Schools

Adobe Bluffs, located within the Torrey Highlands Subarea, currently has space available for students. However, other neighboring elementary schools in the Peñasquitos area are operating at or above capacity and the District will be undertaking an attendance boundary adjustment to balance enrollments at these

schools. As part of this effort, Adobe Bluffs could be at or over capacity, in which case, children from Torrey Highlands would likely be located in portable classroom facilities at Adobe Bluffs or some other assigned elementary school campus until such time as population thresholds are reached sufficient to generate financing dollars to construct the elementary school located in the central neighborhood of Torrey Highlands.

An elementary school will eventually be located north of the Local Mixed Use Center. The school site will be ten acres in size, with an additional one acre for an associated child care center for the central school. A five-acre neighborhood park will be located between the elementary school and the high school. Locating the school near the higher residential densities of the Local Mixed Use Centers and the low-density residential areas benefits the greatest number of children by minimizing travel distances and street crossings. Additionally, major pedestrian and bicycle corridors will converge on the Local Mixed Use Center, and thereby provide connections between schools and the majority of the community.

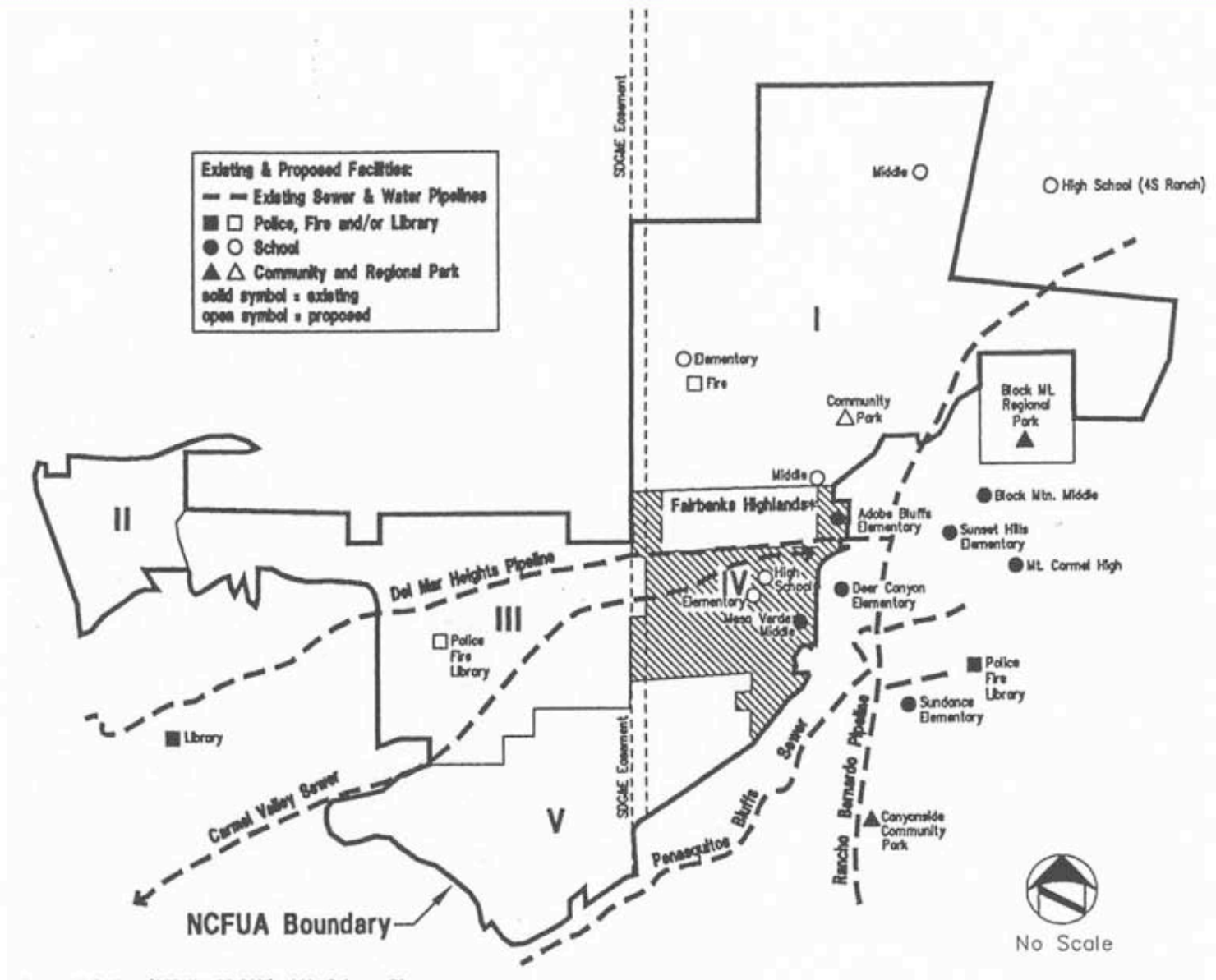
Middle Schools

Although Mesa Verde Middle School was recently constructed in the southeast portion of Torrey Highlands, it is operating above capacity. It is anticipated the Torrey Highlands project, as outlined, will generate a need for more than a quarter of a middle school. It cannot be determined at this time whether the Mesa Verde campus will have space available to add additional portable facilities to house students from this project on an interim basis. Black Mountain Middle School, located at approximately 3.5 miles from Torrey Highlands, in the Peñasquitos community, is more likely to have space for portable classroom additions to serve students on an interim basis until school construction thresholds are met. The District cannot guarantee that students from this project will attend Mesa Verde Middle School.

A second middle school site is located adjacent to, and within, Torrey Highlands. Approximately ten acres of a Middle School site is located within Fairbanks Highlands, approximately 15 acres is located within Subarea I and less than one acre of the middle school site is located in Torrey Highlands.

High School

The proposed future high school, located on the eastern boundary of the Central neighborhood, will be required to accommodate new high school students generated by Torrey Highlands and other areas within the Poway Unified School District. Since all high schools in the District are now operating above capacity, it is anticipated that students from Torrey Highlands will be accommodated on an interim basis in portable facilities at the Mount Carmel campus. High school students from the Torrey Highlands Subarea will eventually be accommodated by a new high school to be located west of Camino Ruiz, within the boundary of



*Approved Project (DEP No. 88-0141) within Subarea IV.

Existing and Proposed Community Facilities 6-1

Torrey Highlands Subarea Plan FIGURE



Torrey Highlands. Approximately 70 acres have been allocated for the high school. If Poway Unified School District determines that a high school site is not needed within Torrey Highlands, the site will be developed as low-density residential development. Development of the school site as low-density residential will require a rezoning of the property to implement that designation.

School Facilities Master Plan and Financing Plan

Development projects within Torrey Highlands will be required to comply with school financing and phasing identified by the District in its School Facilities Master Plan and Financing Plan (the Schools Financing Plan) which is incorporated into this Subarea Plan as **Appendix A**. The Schools Financing Plan is subject to adjustment from time to time to reflect the educational policies adopted by the Board of Education of the District. As provided in the Schools Financing Plan, the District will form a Community Facilities District (CFD) pursuant to the Mello-Roos Community Facilities Act of 1982, as amended, to provide a method of phasing and financing school facilities required to accommodate development of the Subarea Plan.

6.2.2 School Policies

In addition to the policies outline in Section 8.3 of the Framework Plan, the Torrey Highlands Subarea Plan has identified the following as school policies:

- Public elementary schools shall be precisely located in the Subarea Plan based upon site standards established by the School District and the state of California to provide safe and direct pedestrian access for a maximum number of students.
- Pedestrian walkways and bikeways shall be designed to provide safe and direct access to elementary schools and middle schools.
- Public school facilities shall be available for use by adults for educational programs, civic and cultural activities and recreational uses.
- Child care facilities shall be sited in conjunction with elementary schools and be designed to have separate access and parking from the elementary school.

6.3 PARKS AND RECREATION

The General Plan provides guidelines and standards for population-based and resource-based parks and facilities.

6.3.1 Park Plan

Torrey Highlands will provide the following park and recreational facilities for the community:

- Two five-acre neighborhood parks.
- A 270-acre corridor within a larger resource-based preserve.
- Approximately 2.6 miles of unpaved hiking and equestrian trails, 1.7 miles of improved multi-purpose trails and 4.2 miles of paved multi-purpose trails.
- Passive and active open natural open spaces.
- Urban open spaces.
- Turf grass and temporary irrigation will be provided as improvements to a portion of the 30-acre community park located in Black Mountain Ranch as described in the Torrey Highlands Public Facilities Financing Plan.

Neighborhood Parks

Torrey Highlands will provide for two five-acre neighborhood parks: one five-acre park located between the high school and elementary school and a second five-acre park located in the Northern Neighborhood adjacent to the MSCP Preserve. Both neighborhood parks will be sited within easy pedestrian access to residential areas and will be connected to schools, community centers and open space by using sidewalks, trails and bicycle paths.

Community Parks

Torrey Highlands will provide its proportionate share of funding for the construction of a 30-acre community park in the NCFUA based upon the Torrey Highlands Public Facilities Financing Plan (PFFP). Its location will be north of Torrey Highlands, in the Black Mountain Ranch development (Unit 27, Lot 73 in the Black Mountain Ranch Development Agreement). Torrey Highlands will also provide turf grass and temporary irrigation as improvements to a portion of the community park as indicated in the PFFP.

6.4 LIBRARY

Community libraries should serve a resident population of 30,000 and should be established when a service area, which is expected to grow to 30,000 residents within 20 years of library construction, has a minimum population of 18,000 to 20,000. Branches should be located in areas of intense people activity and where trips can be combined with other daily trips.

6.4.1 Library Policy

Torrey Highlands will provide its proportionate share of funding for library facilities in the Pacific Highlands Ranch development based on the Torrey Highlands Public Facilities Financing Plan.

6.5 LAW ENFORCEMENT

Primary law enforcement services will be provided by the City of San Diego Northeastern Division Substation located at 13396 Salmon River Road in Rancho Peñasquitos (**Figure 6-1**). In 1996 the City of San Diego Police Department maintains a citywide ratio of 1.65 sworn officers per 1000 residents, with a citywide average response time of seven minutes for priority 911 calls. Response times for non-priority calls vary according to time of day and unit availability.

6.6 FIRE PROTECTION

The City of San Diego Fire Department will provide Torrey Highlands with fire protection services. **Table 6-2** provides the current response times for fire stations that provide service to Torrey Highlands.

6.6.1 Fire Protection Plan

The City of San Diego Fire Department has determined that no fire station is required within Torrey Highlands. Two new fire stations in Black Mountain Ranch to the north, one station anticipated in Subarea III to the west, and Station 40 in Rancho Peñasquitos, are expected to allow the Fire Department to achieve a six-minute first response time (see **Figure 6.1**). The Torrey Highlands community will be primarily served by the station located in south Black Mountain Ranch.

TABLE 6-2
CITY OF SAN DIEGO FIRE STATIONS

Station	Location	Response Time
24	13077 Hartfield Avenue	7.8 min.
41	4914 Carroll Canyon Road	15.0 min.
35	4285 Eastgate Mall	16.1 min.

* Response times are approximate. Measurements taken from vicinity of the intersection of Black Mountain Road and Clarkview Lane. SOURCE: City of San Diego Fire Department, 1996.

6.6.2 Fire Protection Policies

Torrey Highlands will provide its proportionate share of funding for fire protection facilities in Black Mountain Ranch based on the requirements established for the NCFUA.

6.7 PUBLIC UTILITIES

The San Diego Gas and Electric Company (SDG&E) maintains a 100-foot wide easement. The easement runs in a north/south direction along the western border of Torrey Highlands and contains two alternating current (AC) high-voltage overhead transmission lines identified as TL-13825 and TL-23021. TL13825 is a 138 kV circuit,

supported by wooden poles, and TL-23021 is a 230 kV circuit, supported by steel tower support structures for electric transmission lines along the western border of Torrey Highlands. In addition to the easement, SDG&E owns a 3.67-acre parcel of land in the northwest portion of the community that may be developed as a substation should a future need develop.

6.7.1 Public Utilities Plan

Water Service

Water service within Subarea IV will be provided by the City of San Diego Water Utilities Department. Currently, existing water facilities in the vicinity of Subarea IV have no capacity to serve any new development. Existing water transmission facilities in the vicinity of Subarea IV include the Del Mar Heights Pipeline traversing the northerly portion of the subarea, the Rancho Bernardo Pipeline to the east and the Green Valley Pipeline to the west. The only new transmission facility proposed at this time is the Carmel Mountain Road Pipeline. It may traverse the southeasterly portion of Subarea IV in Carmel Mountain Road and appropriate easements.

A final draft of the North City 610/712 Water Study has been completed (dated December 1997) which identifies needed water transmission and storage facilities to provide adequate capacity to undeveloped portions of Carmel Valley, Sorrento Hills and the entire FUA This study identifies a 16-inch transmission line in Subarea IV in the right-of-way of Camino Ruiz (610 Zone).

Prior to any development within Subarea IV, all applicable water facilities must be constructed. In addition, developers will be required to provide a water study showing the proposed water distribution system for Subarea IV. The proposed water system shall be designed and constructed to the Water Utilities Department's most current standards. If proposed facilities do not meet the required standards, then such facilities shall be private.

Sewer Service

Sewer service will be provided by the City of San Diego Metropolitan Wastewater Department. The existing sewer facility in the vicinity of Subarea IV is the Carmel Valley Trunk Sewer located within McGonigle Canyon. All flows generated from Subarea IV will flow into the Carmel Valley Trunk Sewer which flows into the Metropolitan Sewerage System.

Prior studies indicate capacity is available for sewer service for Subarea IV, However, prior to any development within Subarea IV, the developers will be required to provide a sewer study showing the proposed sewer system for Subarea IV. All public sewer facilities shall be designed and constructed to the Water Utilities Department's most current standards. If proposed facilities do not meet

the required standards, then such facilities shall be private. The cost of operating and maintaining non-regional public sewer pump stations will be borne by the appropriate homeowners' association or other private entity. All septic systems must be approved and permitted by the San Diego County Department of Health Services.

Solid Waste

Solid waste generated within Torrey Highlands will be transported to the Miramar Landfill, which is owned and operated by the City of San Diego. As of 1996 the Miramar Landfill has a total remaining capacity of 14 million cubic yards. In order to reduce the amount of solid waste that is processed at landfills, the City of San Diego has adopted a recycling ordinance and Source Reduction and Recycling Element (SRRE). Torrey Highlands will comply with the recycling measures. In addition, a recycling center will be an allowed use within the Employment Center.

Gas and Electric Service

San Diego Gas and Electric Company (SDG&E) will provide gas and electric service to Torrey Highlands. A 100-foot wide electrical transmission line easement contains both a 138 and 230 kV transmission line. The only existing source of gas and electric service for the project site is from the underground electric and gas feeder system, which extends south along Carmel Mountain Road and terminates at Sundance Avenue.

Telephone Service

Telephone service for Torrey Highlands will be provided by Pacific Bell Telephone Company. Existing telephone service lines are mounted on poles along Black Mountain Road.

6.7.2 Public Utilities Policies

- Based on current state standards, schools shall be sited a minimum of 400 feet from transmission lines; though the health and safety effects of EMF are speculative, residential uses are considered incompatible with the industrial uses of SDG&E facilities; site planning shall be in accordance with **Section 5.6.3**.