CITY OF SAN DIEGO M E M O R A N D U M

DATE:	August 13, 2009
TO:	Historical Resources Board
FROM:	Kelley Saunders, Senior Planner, Historical Resources
SUBJECT:	Item #8, 155 19 th Street

This item was continued from the July 23, 2009 HRB hearing at the request of the Board with direction to provide the approved project plans. Those plans are provided as Attachment 2 of this memo.

In addition, staff received a letter from the applicant's attorney dated July 28, 2009 requesting that staff clarify two issues raised by the Board at the hearing (Attachment 1). The first is the use of non-wood windows on the side elevation. The applicant contends that staff told the applicant that non-wood windows would be acceptable on the side and rear of the house. This is not accurate. The notes on the plans required by staff clearly state that one-over-one wood frame and sash windows are required. The applicant deviated both from the required and approved material and window operation. The second issue is the varnishing of the exterior. The notes do require paint in light earth tones and warm pastels with darker colors used for accent. However, staff has found documentation from staff to the applicant which identifies staining and varnishing of the exterior siding. Regardless, staff feels that the finish of the wood is minor issue compared to the inaccurate reconstruction of the proportions and dimensions of the house and the use of inappropriate window materials and operations.

At this time the staff recommendation to rescind the designation of the property at 155 19th Street, designated as HRB Site #208-003, due to a loss of integrity remains unchanged.

Kelley Saunders Senior Planner

Attachments: 1. Letter from the applicant's attorney dated July 28, 2009 2. Approved plans for the reconstruction of the house.

SHAPIRO & CLAMON

ATTORNEYS AT LAW CHAMBER BUILDING 110 WEST "C" STREET, SUITE 2208 SAN DIEGO, CA 92101-3908 TELEPHONE (619) 239-1511 FACSIMILE (619) 239-1007 shapiroclamon.com shapiroclamon@gmail.com

July 28, 2009

Kelley Saunders, Senior Planner Historical Resources City Planning & Community Investment 202 "C" Street, MS 5A San Diego, CA. 92101

RE: ROGER ROBLEDO 155 19TH STREET

Dear Ms. Saunders:

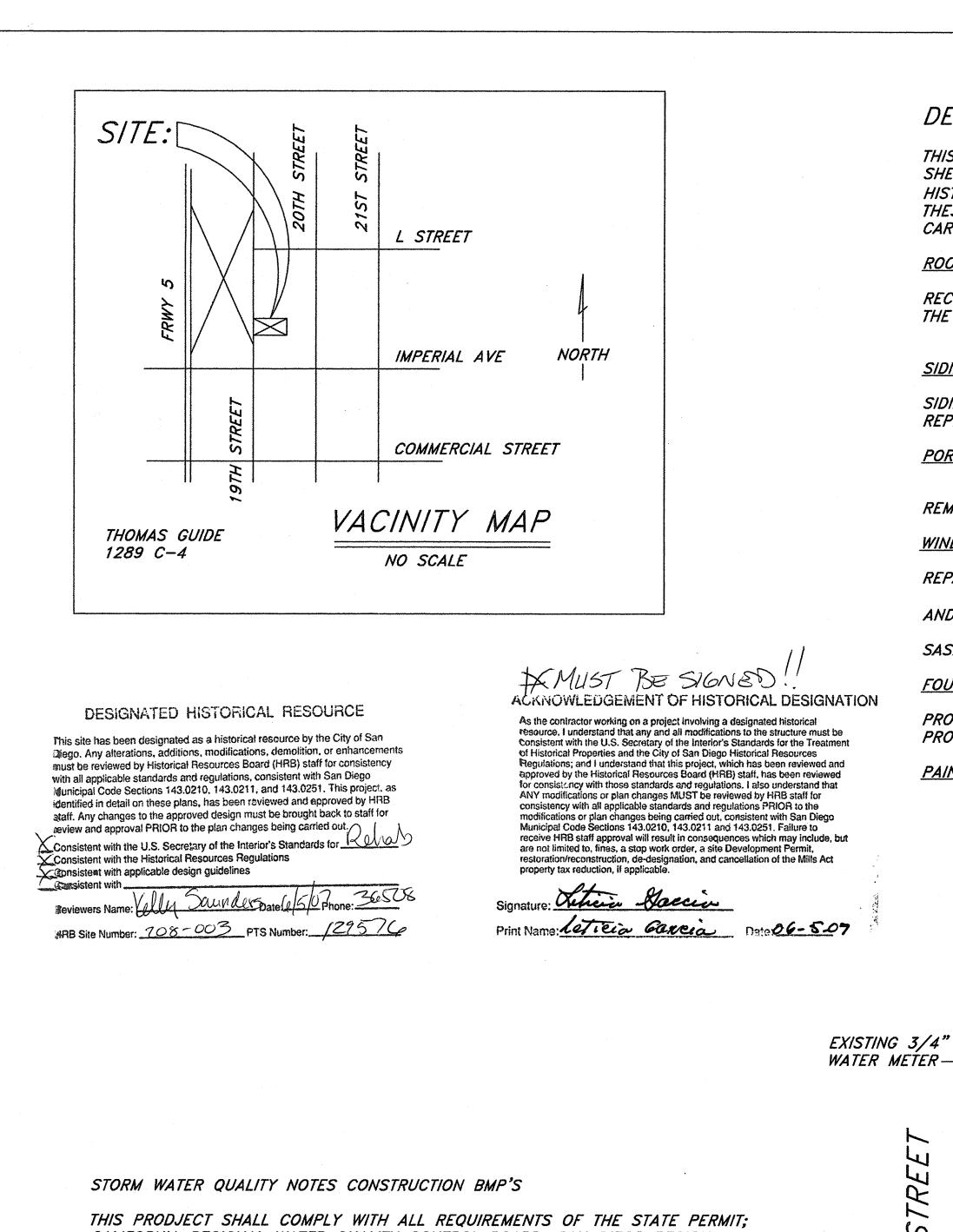
Thank you for setting up our hearing last week. Although Mr. Robledo and I would have preferred they made a decision at the last meeting, we understand that this is a case of "first impression."

There were a couple of issues that were brought up at the hearing that we were not allowed to respond to, as the Board Chair informed me that public discussion was closed. Mention was made of the aluminum windows and we wanted to make sure the Board understood that Mr. Robledo was informed that the front windows had to remain wood, however the side and rear windows could be aluminum.

Secondly, the issue of varnishing the exterior wood was brought up. Mr. Robledo informed me that he requested permission to varnish the wood and was given it by someone in your staff. We appreciate you advising the panel of these points. Should you wish to discuss any of the above matters or other pertinent information, please feel free to call us at any time.

Sincerely,

Philip A. Shapiro, Esq. **SHAPIRO & CLAMON** PAS/ti



CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD, SAN DIEGO REGION, ORDER NO. 2001.01 NPDES NO. CASO10875 (HTTP://WWW.SWRCB.CA.GOV/RWQCB9/PROGRAMS/SD_STORMWATER.HTML.) AND THE CITY OF SAN DIEGO LAND DEVELOPEMENT CODE (HTTP://CLERKDOC.SANNET.GOV/RIGHTSITE/GETCONTENT/LOCAL.PDF? DMV_OBJECTID=090014518008CC43)

NOTES 1-6 BELOW REPRESENT KEY MINIMUM REQUIREMENTS FOR CONSTRUCTION BMP'S.

1. SUFFICIENT BMPS MUST BE INSTALLED TO PREVENT SILT, MUD OR OTHER CONSTRUCTION DEBRIS FROM BEING TRACKED INTO THE ADJACENT STREET(S) OR STORM WATER CONVEYANCE SYSTEMS DUE TO CONSTRUCTION VEHICLES OR ANY OTHER CONSTRUCTION ACTIVITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANING ANY SUCH DEBRIS THAT MAY BE IN THE STREET AT THE END OF EACH WORK DAY OR AFTER A STORM EVENT THAT CAUSES A BREECH IN THE INSTALLED CONSTRUCTION BMPS.

2. ALL STOCK PILES OF UNCOMPACTED SOIL AND/OR BUILDING MATERIALS THAT ARE INTENDED TO BE LEFT UNPROTECTED FOR A PERÍOD GREATER THAN SEVEN CALENDAR DAYS ARE TO BE PROVIDED WITH EROSION AND SEDIMENT CONTROLS. SUCH SOIL MUST BE PROTECTED EACH DAY WHEN THE PROBABILITY OF RAIN IS %40 OR GREATER.

3. A CONCRETE WASHOUT SHALL BE PROVIDED ON ALL PROJECTS WHICH PROPOSE THE CONSTRUCTION OF ANY CONCRETE IMPROVEMENTS THAT ARE TO BE POURED IN PLACE ON THE SITE.

4. ALL EROSION/SEDIMENT CONTROL DEVICES SHALL BE MAINTAINED IN WOKING ORDER AT ALL TIMES.

5. ALL SLOPES THAT ARE CREATED OR DISTURBED BY CONSTRUCTION ACTIVITY MUST BE PROTECTED AGAINST EROSION AND SEDIMENT TRANSPORT AT ALL TIMES.

6. THE STORAGE OF ALL CONSTRUCTION MATERIALS AND EQUIPMENT MUST BE PROTECTED AGAINST ANY POTENTIAL RELEASE OF POLLUTANTS INTO THE ENVIRONMENT.

S TH 9

-10'-0"-

DESIGNATED HISTORICAL RESOURCE

THIS HOUSE IS A DESIGNATED HISTORICAL RESOURCE, LISTED AS HRB SITE #208-003 WITHIN THE SHERMAN HIEGHTS HISTORICAL DISTRICT. THE FOLLOWING PLANS WERE REVIEWED AND APPROVED BY HISTORICAL RESOURCES BOARD (HRB) STAFF. ANY AND ALL MODIFICATIONS TO OR DEVIATIONS FROM THESE PLANS MUST BE REVIEWED AND APPROVED BY HRB STAFF PRIOR TO THOSE CHANGES BEING CARRIED OUT. THE FOLLOWING SCOPE OF WORK HAS BEEN REVIEWED AND APPROVED:

<u>ROOF:</u>

1. THE DOUBLE-GABLE ROOFLINE OF THE HISTORICAL PORTION OF THE HOUSE SHALL BE RECONSTRUCTED WITH THE SAME PITCH, EAVE OVERHANG, AND EXPOSED RAFTER TAILS. THE ROOF OVER THE ADDITIOINS AT THE REAR SHALL BE FLAT. 2. ROOFING MATERIALS SHALL BE DARK BROWN OR GRAY COMPOSITE SHINGLE.

SIDING:

1. THE ORIGINAL HISTORICAL SIDING, EXISTING ON THE HOUSE UNDER 3 LAYERS OF NON-HISTORIC SIDING, WILL BE PRESERVED AND REPAIRED. WHERE REPAIR IS NOT POSSIBLE. THE SIDING WILL BE REPLACED IN-KIND WITH MATERIALS AND SIZE, UNDER THE DIRECTION AND GUIDANCE OF HRB STAFF.

PORCH:

THE PORCH, WHICH IS SEVERELY DETERIORATED, SHALL BE REPLACED IN-KIND. 2. THE SECOND, NON-HISTORIC DOOR WHICH WAS ADDED TO THE RIGHT OF THE PORCH WILL BE REMOVED AND FRAMED IN WITH A 1-OVER-1 WOOD FRAMED WINDOW.

WINDOWS:

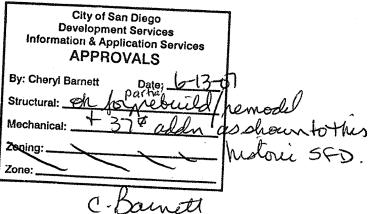
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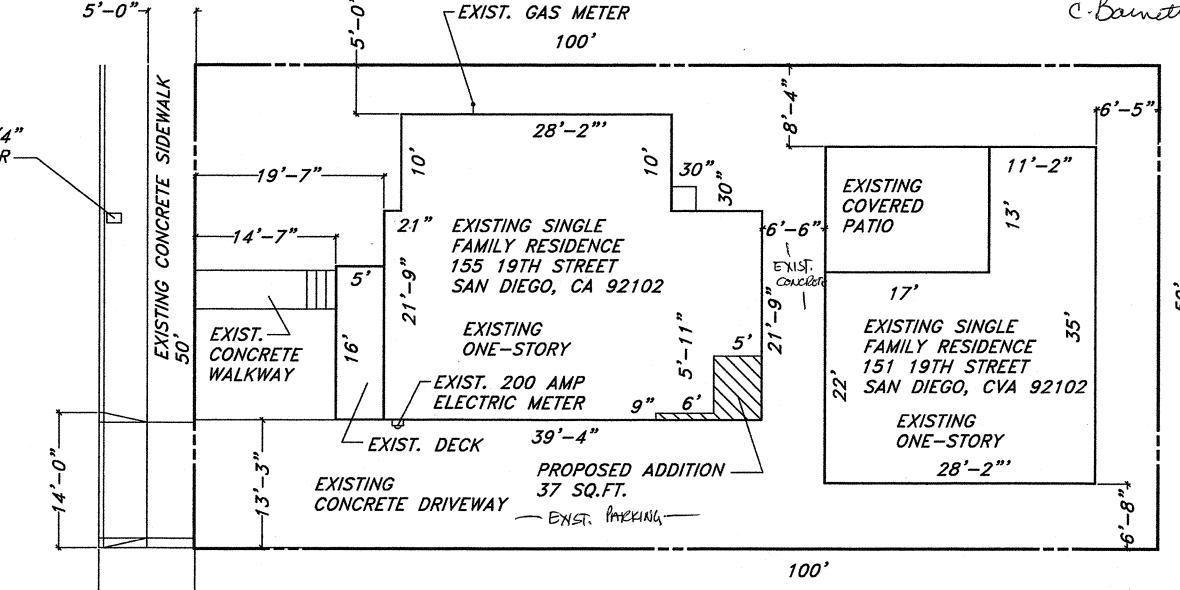
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1. THE FOOTINGS WILL BE REPLACED, WITH SOME GRADING TO OCCURE AT THE REAR OF THE PROPERTY TO CREATE A LEVEL FOUNDATION. THIS GRADING WILL NOT OCCURE AT THE FRONT OF THE PROPERTY, WHICH WILL APPEAR AS IT DID HISTORICALLY.

<u>PAINT:</u> 1. PAINT SHALL BE PASTEL OR EARTH TONES WITH DARK COLORS USED ONLY FOR ACCENTS.



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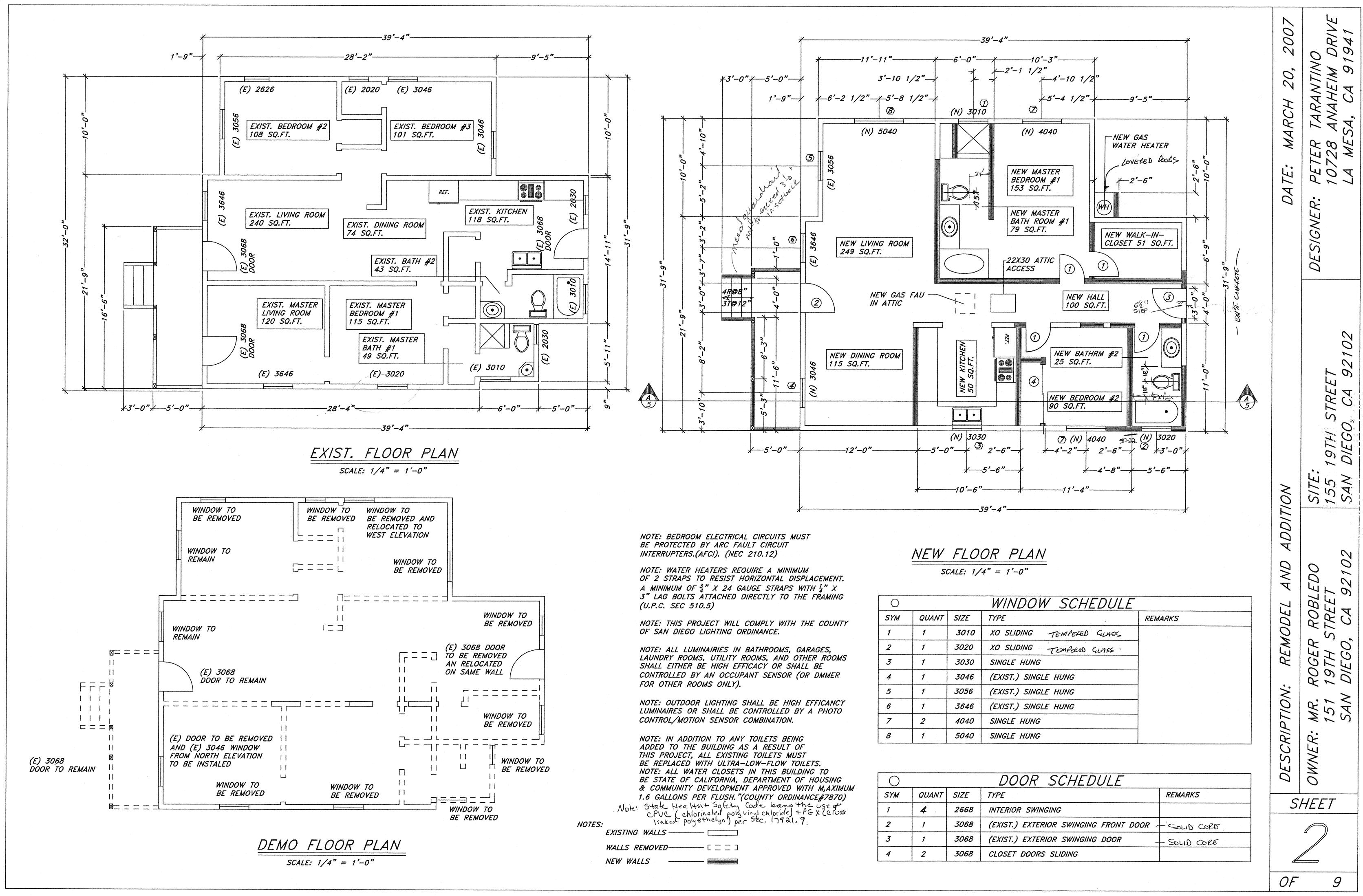


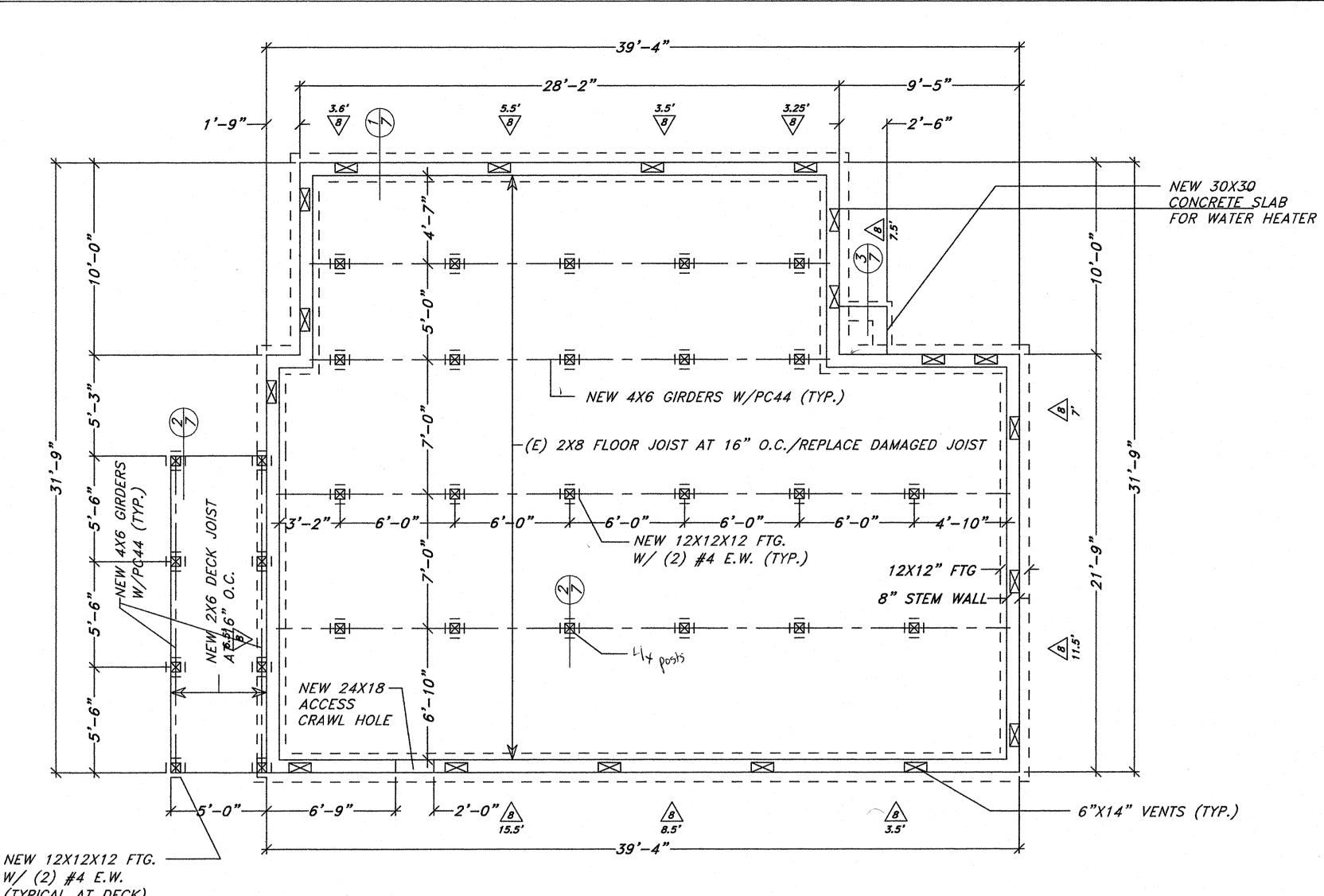
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By <u>Karen Boxey</u> Date <u>5/2028</u> Phone <u>446-53</u> R	Plan File/Work October	129576	ar an a
By Karen Boxey Date 5/2078 Phone 446-5318	Conforms to SESS	DO Contigenton app	Provalos #25
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SITE PLAN

SCALE: 1'' = 10'-0''

N 00 NOTES: 00 0 1. ALL SURFACE WATER TO DRAIN AWAY FROM N ~ \leq BUILDING AND PROPERTY LINE TO ALLEY OR NI 0 STREET. 2. VERIFY ALL UTILITY LOCATIONS (EXISTING OR 0 2 JU J NEW) PRIOR TO START OF CONSTRUCTION. ~ 3. THE HOSE BIBS AND LAWN SPRINKLER'S SYSTEMS SHALL HAVE APPROVED BACK FLOW PRIL J DEVICES. UPC SECTION 1003. ZZ 4. CONTRACTOR TO COMPLY WITH ALL OSHA REQUIREMENTS. 5. THESE PLANS AND ALL WORK SHALL COMPLY ER 28 ME \mathcal{T} WITH THE CALIFORNIA BUILDING STANDARDS CODE FOUND IN STATE OF CALIFORNIA TITLE 24 CCR AS AMENDED AND ADOPTED BY THE TE イロジ COUNTY OF SAN DIEGO. 「ハーレ 6. THE INSPECTOR WILL RECHECK FOR $\mathbf{\nabla}$ EXPANSIVE SOILS Ô AND/OR GRADING REQUIREMENTS AT THE FIRST City of San Diego FOUNDATION INSPECTION. Development Service SIGNE APPROVED . 129576 Plan File No. his set of plans and specifications MUST be kept on the job t all times. It is unlawful to make any changes or alterations a same without written permission from Davelopment rvices. The stamping of these plans and specifications INDEX PAGE | HALL NOT be held to permit nor approve the violation of any City, County, State, or Federal Laws, nor other ilestrictions. SITE PLAN JE C. Baut 6-13-07 EXISTING FLOOR PLAN/DEMO PLAN/NEW 0 FLOOR PLAN THIS IS NOT A BUILDING PERMIT. NEW FOUNDATION PLAN/SHEAR SCHEDULE ELEVATIONS TYPICAL SECTION \sim ROOF FRAMING PLAN/ELECTRICAL PLAN 0 DETAILS - 1 TITTLE 24 GENERAL NOTES/SPEC SHEET ての -4 M A RG S OSCOPE OF WORK: EG EG 1. NO WORK TO BE DONE AT 151 19TH istoric SFD STREET 10 2. WORK TO BE DONE AT 155 19TH STREET: 3 A. REMOVE EXISTING ROOF AND REPLACE WITH NEW ROOF PLAN. B. REMODEL FLOOR PLAN (SEE NEW FLOOR 7.5. SA S1 55 PLAN) C. REMOVE EXISTING FOUNDATIONS AND REPLACE WITH NEW FOUNDATION. (SEE NEW FOUNDATION PLAN) DDITION D. NEW ADDITION OF 37 SQ.FT. AT SOUTH EAST CORNER OF HOUSE. Owner: Léficia Garcia 0 19th Street 155 \mathcal{T} 1 \square 5.D-Ct 92102 \sim AND ミアの BL ROE CA LEGAL DESCRIPTION LOT 2, Block 49 えて SHERMAN'S ADD REFILED MODEL S MAP NO. 856. R 0 DEI TH EGC <u>ASSESSOR PARCEL #:</u> 535-414-03-00 R0 19 RE <u>LOT SIZE:</u> 5,000 SQ.FT. MR. 151 SAN TION: NORTH HOUSE DATA: EXISTING FIRST FLOOR: 1,099 SQ.FT. NEW FIRST FLOOR ADDITION: 37 SQ.FT. SCRIP TOTAL HOUSE: 1,136 SQ.FT. Ŕ WNE EXISTING FRONT PORCH: 80 SQ.FT. DE 0 SHEE1 OF 9





W/ (2) #4 E.W. (TYPICAL AT DECK)

		SHEAR WALL SCHEDU	VLE	
SYM	PLY	ASSEMBLY (3)	NAILING (1)	SYM
Ø	UNBLÖ	/8" STUCCO ON EXPANDED METAL C CKED. W/#11 GAUGE. 1-1/2" LONG OR #16 GAUGE STAPLES, 7/8" LEG.	5. 7/16" HEAD,	V
$\overline{\gamma}$	100(5)	1/2" GYP. BD. UNBLOCKED 5d	COOLER @ 7" O.C.	17
$\sqrt{2}$	125(5)	1/2" GYP. BD. UNBLOCKED 5d	COOLER @ 4" O.C.	2/
3	150(5)	1/2" GYP. BD. BLOCKED 5d	COOLER @ 4" O.C.	3
$\sqrt{4}$	115(5)	5/8" GYP. BD. UNBLOCKED 6d	COOLER @ 7" O.C.	4
5	145(5)	5/8" GYP. BD. UNBLOCKED 6d	COOLER @ 4" O.C.	5
6/	175(5)	5/8" GYP. BD. BLOCKED 6d	COOLER @ 4" O.C.	6
Ť	250(5)	5/8" G.B. BLK'D 6d @ 9" 5/8	8" FACE PLY 8d @ 7"	V7
8	260	3/8" 32/16 APA SHT'G 8d	COMMON @ 6" O.C.	8
3	350	3/8" 32/16 APA SHT'G 8d	COMMON @ 4" O.C.(4)	97
V0	490	3/8" 32/16 APA SHT'G 8d	COMMON @ 3" O.C.(2,4)	201
¥17	310	15/32" 32/16 APA SHT'G 100	I COMMON @ 6" O.C.	VT/
12/	460	15/32" 32/16 APA SHT'G 100	I COMMON @ 4" O.C.(2,4)	12/
3	600	15/32" 32/16 APA SHT'G 100	COMMON @ 3" O.C.(2,4)	¥3/
¥4/	280	3/8" 32/16 APA STRUCT 1 8d	COMMON @ 6" O.C.	14
15	430	3/8" 32/16 APA STRUCT 1 8d	COMMON @ 4" O.C.(2,4)	15
16/	550	3/8" 32/16 APA STRUCT 1 8d	COMMON @ 3" O.C.(2,4)	15
¥7	340	15/32" 32/16 APA STRUCT 1 100	COMMON @ 6" O.C.	17
18/	510	15/32" 32/16 APA STRUCT 1 100	COMMON @ 4" O.C.(2,4)	18
19/	665	15/32" 32/16 APA STRUCT 1 100	COMMON @ 3" O.C.(4,6)	19/
ŽØ	870	15/32" 32/16 APA STRUCT 1 100	COMMON @ 2" O.C.(4,6)	20/
NAILI 2. FI 3X M ANCI STAG 3. AI SHAL EDGE 4. W & NJ DIFFE AND 5. SI	ING, FIE RAMING MEMBERS HOR BO GERED. LL STUL L BE H S BETW HERE F AILS AR ERENT H NAILS HEAR V	TOR APA SHEATHING SHEAR WALL AF LD NAIL WITH SAME SIZE © O.C. RECEIVING EDGE NAILING FROM ABU S. FOUNDATION SILL SHALL BE 3 OR LT SPACING. PLWOOD JOINT & SILL OS SHALL BE 2X4 MIN © 16" O.C. (ORIZONTAL ACROSS FRAMING IF © 2 VEEN STUDS SHALL BE SOLID BLOCKI LYWOOD SHEAR PANEL IS APPLIED T E LESS THAN 6" O.C. PANEL JOINTS RAMING MEMBERS OR STUDS AND SI SHALL BE STAGGERED. ALUES SHALL BE REDUCED 50% FOR EISMIC FORCES.	TTING PANELS SHALL BE 2X MEMBERS PER PLATE NAILING BE OR PANEL FACE GRAIN 74" O.C. (UNO). PANEL ED (UNO) 70 BOTH SIDES OF A WALL 75 SHALL BE OFFSET ON 111 PLATES SHALL BE 3X	SILL F (A) 1 SILL F (B) 5 (C) 5 (

M	A	B	$\langle \mathcal{O} \rangle$	Ø	È	Ð	
7	8	72	72	24	24	8	INCHES O.C.
7	16	72	72	48	48	16	
27	12	72	72	32	48		
57	8	72	72	32	32	8	
7	12	72	72	32	48	12	
/ \$7	8	72	72	32	32	8	
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7	6	60	72	16		6	
7	6	48	60	16	16	6	
7	4	36	48	12	12	4	
7	206	16	32	8	12	NA	
7	4	48	60	16	16	4	
27	206	16	32	8	12	NA	
\$7	204	12	24	8	8	NA	
7	6	48	60	16	16	6	
57	4	16	36	12	12	4	
7	206	12	24	8	8	NA	
7	4	32	48	12	16	4	
37	206	12	32	8	8	NA	
7	204	NA	28	8	8	NA	
7	NA	NA	16	6	6	NA	\downarrow
	TE TO WL COMMON					IG TO TO 35 CONI	OP PLATE

SHEAR WALL SCHEDULE

COMMON NAILS

ATE TO CONCRETE(2) " DIA. ANCHOR BOLTS

2X SILL PLATE

" DIA. ANCHOR BOLTS 3X SILL PLATE

" DIA. SHOT PIN. MIN 1-1/8" PENETRATION. ICBO 1639 O" DIA. SHOT PIN. MIN 1-1/2" PENETRATION. ICBO 1639 WHEREVER EXISTING ANCHOR BOLTS ARE NOT ADEQUATE PER THIS SCHEDULE. USE 5/8" KWIK BOLTS II

MIN 4" EMBEDMENT PER ER 4627. N SEISMIC ZONE 4, (CALIF.) USE ONLY 5/8" ANCHOR BOLTS WITH MIN 7" EMBEDMENT INTO CONC OR MASONRY WITH A 2"X2"X3/16" THICK WASHER.

C A-35F CONNECTOR

(H) 16d COMMON NAILS

PORCH. THE PORCH, WHICH IS SEVERELY DETERIORATED, SHALL BE REPLACED IN-KIND. 2. THE SECOND, NON-HISTORIC DOOR WHICH WAS ADDED TO THE RIGHT OF THE PORCH WILL BE REMOVED AND FRAMED IN WITH A 1-OVER-1 WOOD FRAMED WINDOW.

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UNDER FLOOR VENTILATION CALC'S:

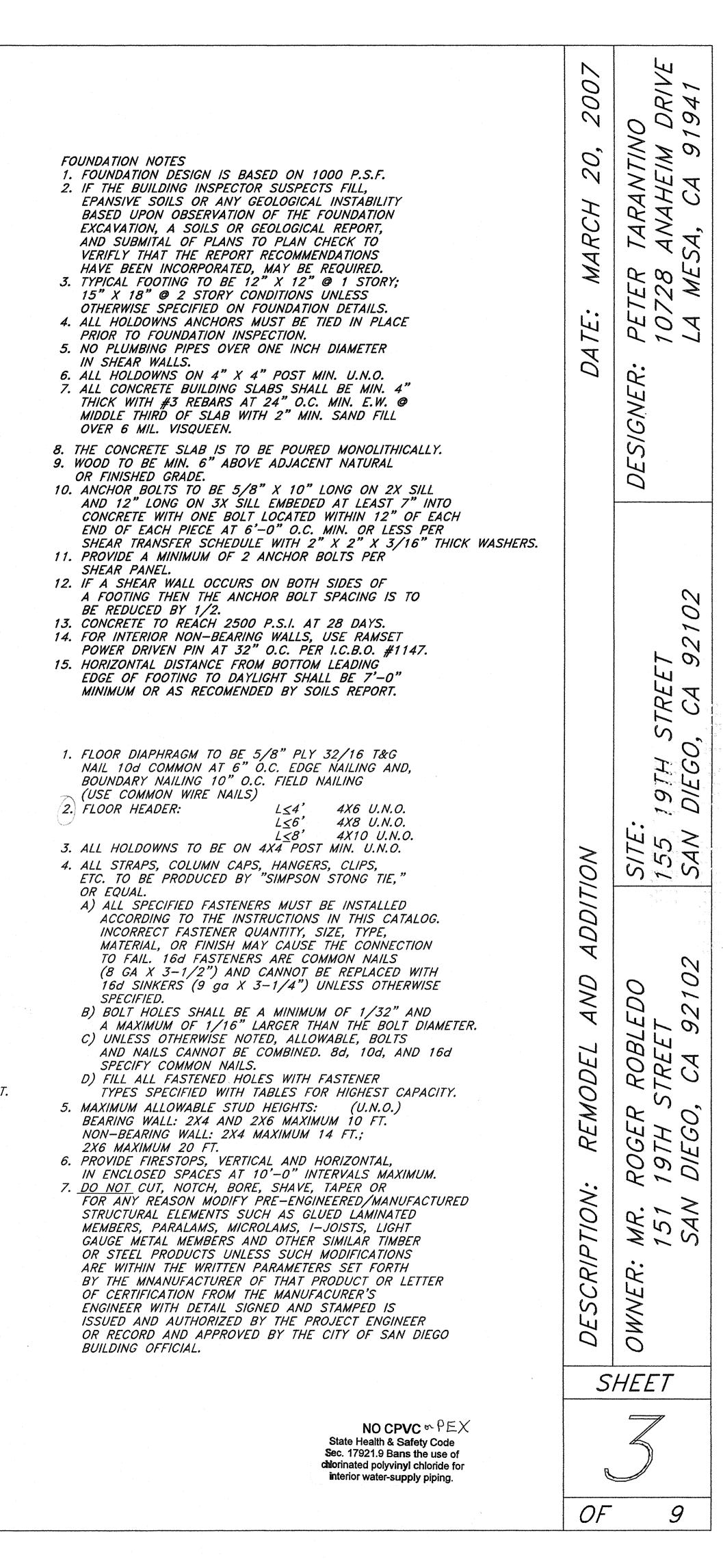
AREA: 1,127 SQ.FT X $\frac{1}{150}$ = 7.57 SQ.FT. REQ. VENTS ARE 5"X14"= .58 SQ.FT. HAVE (19) VENTS X .58 SQ.FT. = 11.02 SQ.FT.

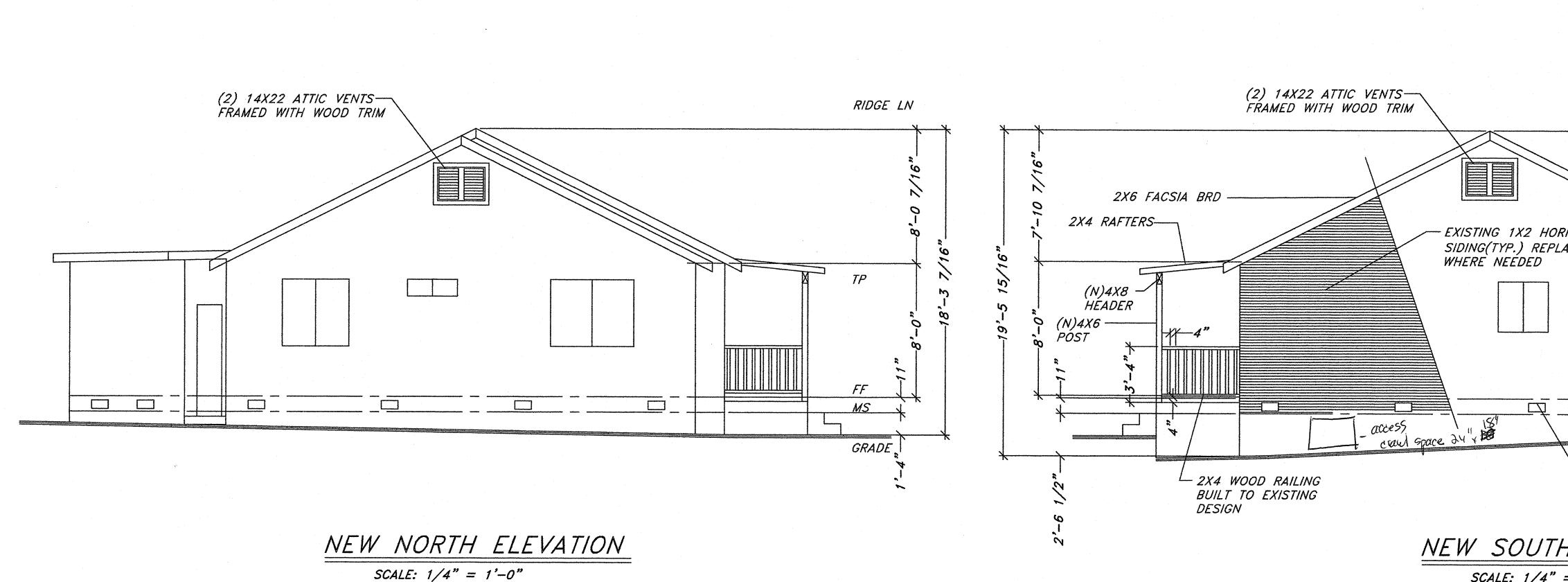
$\boxtimes -6"X14"$ VENTS

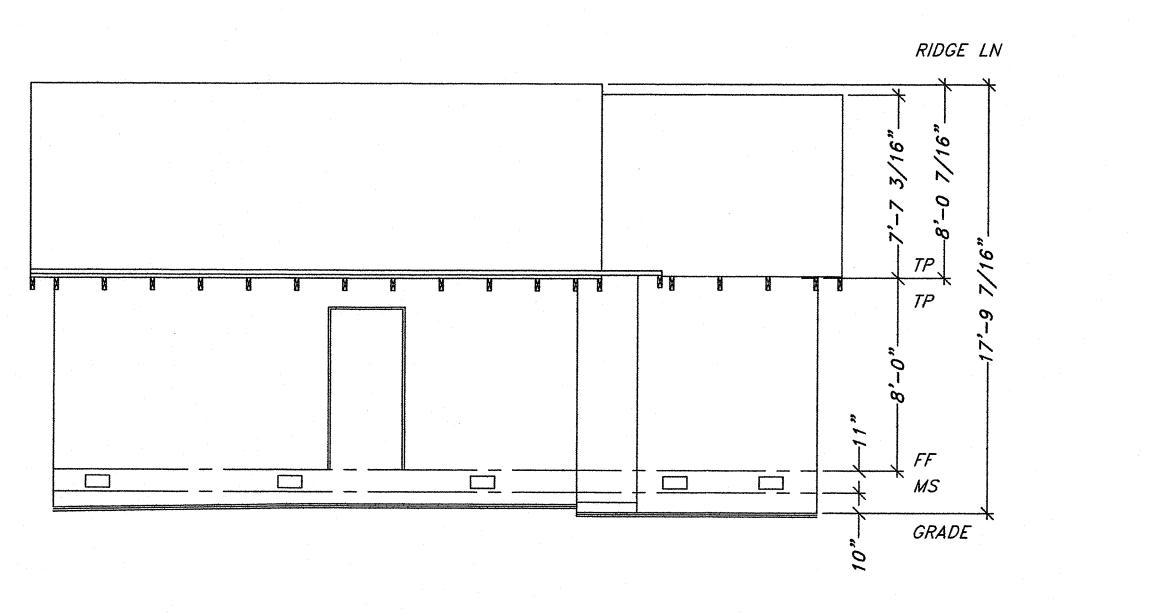
NOTE: ALL VENTS (ROOF, FOUNDATION, COMBUSTION AIR, ETC.) MUST BE LOUVERED AND COVERED WITH $\frac{1}{2}$ INCH NONCOMBUSTIBLE, CORROSION -RESISTANT METAL MESH. TURBINE VENTS SHALL TURN IN ONE DIRECTION ONLY.

NOTE: PAPER FACED INSULATION IS NOT PERMITTED IN ATTIC OR OTHER VENTILATED SPACES.

NEW FOUNDATION PLAN SCALE: 1/4" = 1'-0"







NEW EAST ELEVATION

SCALE: 1/4" = 1'-0"

DESIGNATED HISTORICAL RESOURCE

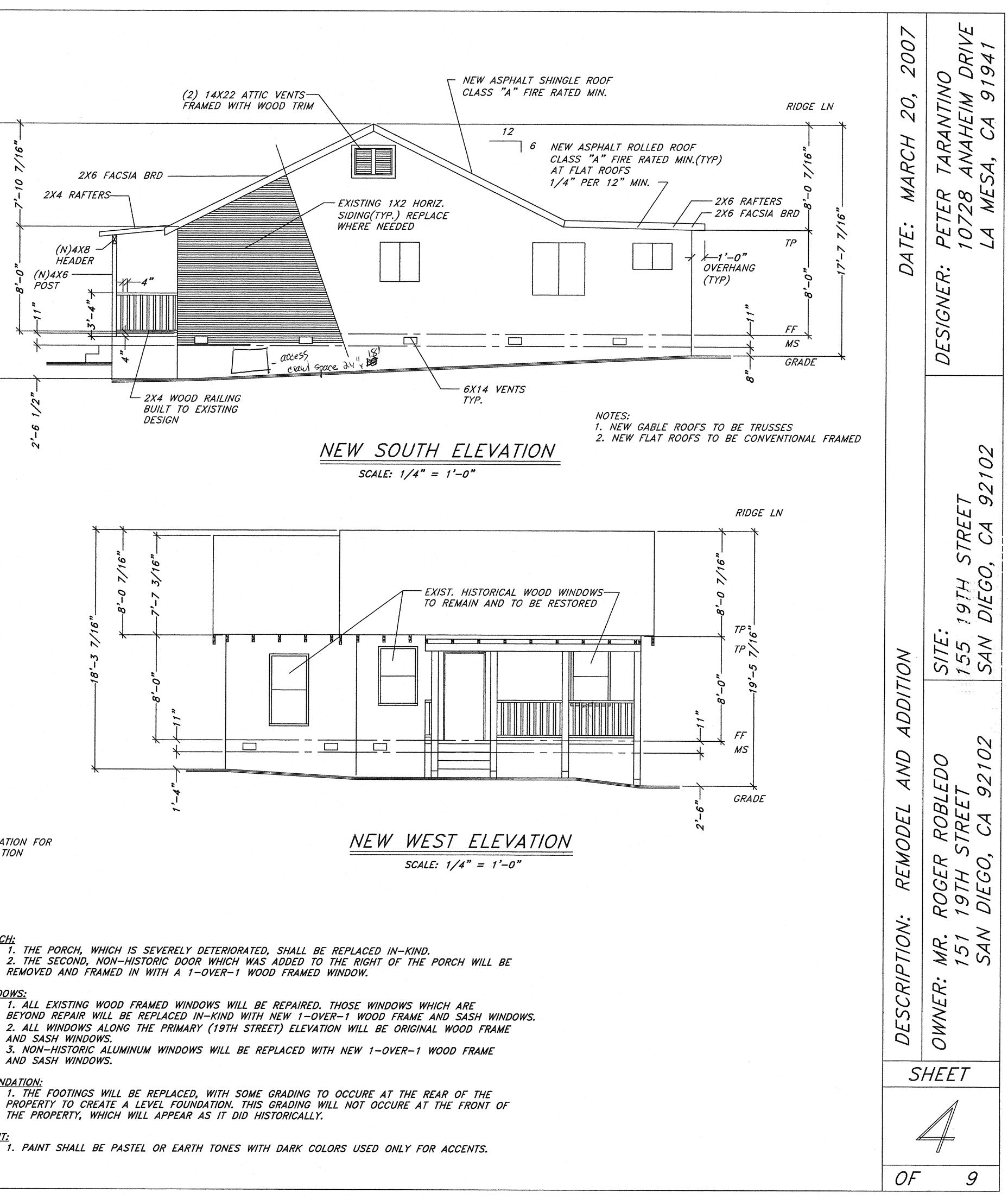
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NOTE: SEE SOUTH ELEVATION FOR ALL ELEVATION INFORMATION

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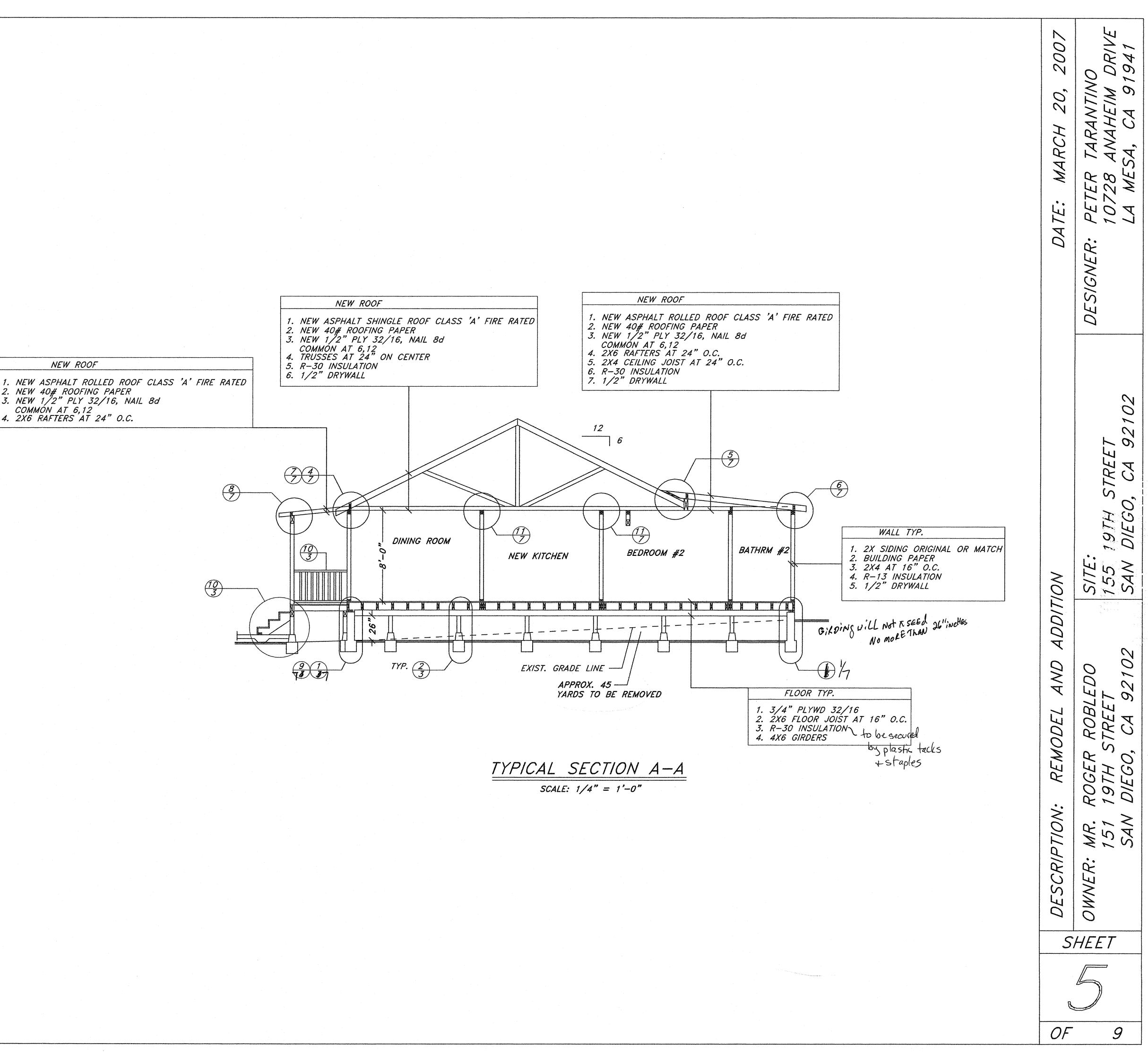
FOUNDATION:

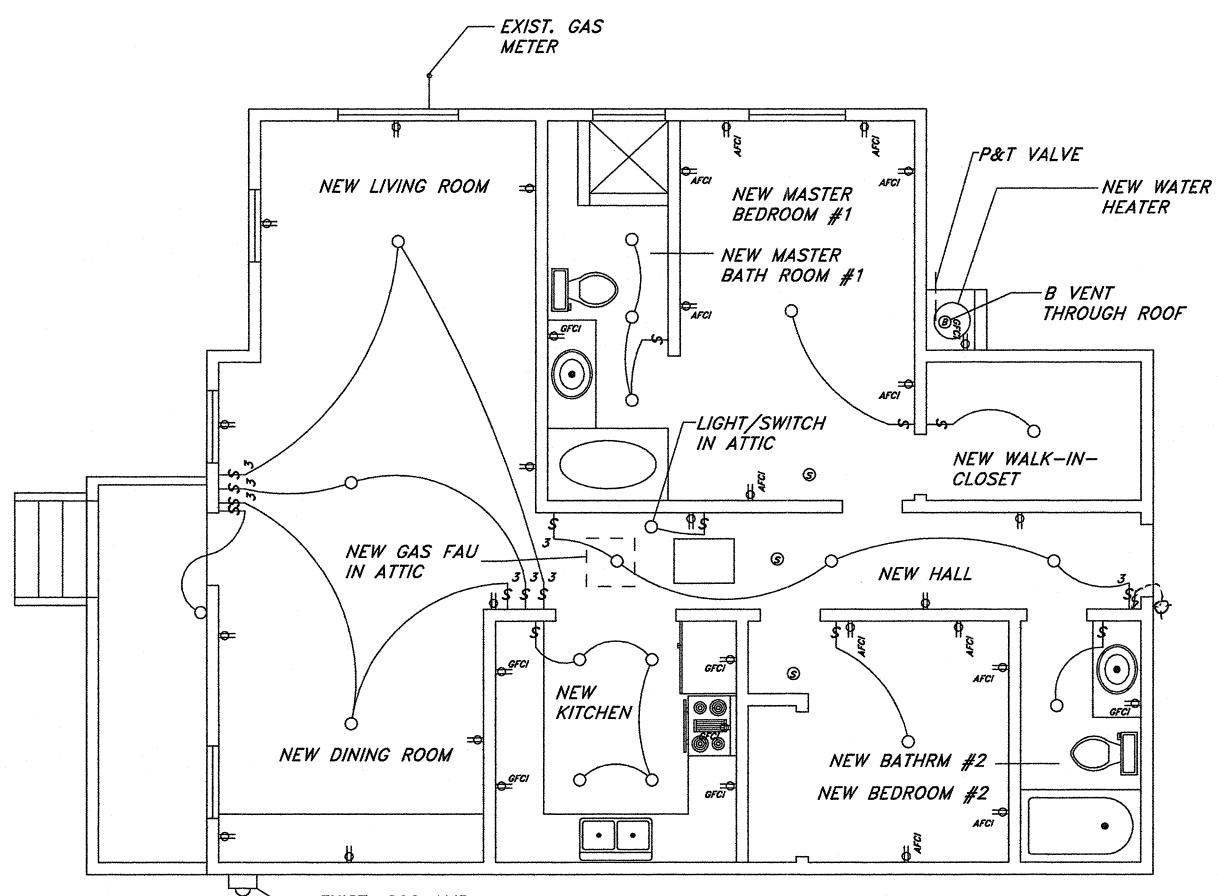
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PAINT:

1. PAINT SHALL BE PASTEL OR EARTH TONES WITH DARK COLORS USED ONLY FOR ACCENTS.

NEW ROOF 2. NEW 40# ROOFING PAPER 3. NEW 1/2" PLY 32/16, NAIL 8d COMMON AT 6,12 4. 2X6 RAFTERS AT 24" O.C.





EXIST. 200 AMP ELECTRICAL METER

NOTE: BEDROOM ELECTRICAL CIRCUITS MUST BE PROTECTED BY ARC FAULT CIRCUIT INTERRUPTERS.(AFCI). (NEC 210.12)

NOTE: WATER HEATERS REQUIRE A MINIMUM OF 2 STRAPS TO RESIST HORIZONTAL DISPLACEMENT. A MINIMUM OF $\frac{3}{4}$ " X 24 GAUGE STRAPS WITH $\frac{1}{4}$ " X 3" LAG BOLTS ATTACHED DIRECTLY TO THE FRAMING (U.P.C. SEC 510.5)

NOTE: THIS PROJECT WILL COMPLY WITH THE COUNTY OF SAN DIEGO LIGHTING ORDINANCE.

NOTE: ALL LUMINAIRIES IN BATHROOMS, GARAGES, LAUNDRY ROOMS, UTILITY ROOMS, AND OTHER ROOMS SHALL EITHER BE HIGH EFFICACY OR SHALL BE CONTROLLED BY AN OCCUPANT SENSOR (OR DMMER FOR OTHER ROOMS ONLY).

NOTE: OUTDOOR LIGHTING SHALL BE HIGH EFFICANCY LUMINAIRES OR SHALL BE CONTROLLED BY A PHOTO CONTROL/MOTION SENSOR COMBINATION.

	ELECTRICAL SYMBOLS
-63-	SINGLE POLE SWITCH
mes-	3-WAY SWITCH
₽	
GFC/	DUPLEX OUTLET W/ GFCI
AFC/	DUPLEX OUTLET Ŵ/ AFCI
0	LIGHT FIXTURE
6	SMOKE DETECTOR PERMANENTLY WIRED
Ø	MECHANICAL FAN

ATTIC HEATING

UNLESS THE LARGEST PIECE OF EQUIPMENT CAN PASS THROUGH A 22"X30' ATTIC ACCESS, THE ATTIC ACCESS IS REQUIRED TO BE 30'X30".

THE ACCESS TO THE UNIT.

A PERMANENT ELECTRICAL OUTLET AND LIGHT FIXTURE CONTROLLED BY A SWITCH AT THE PASSAGEWAY ENTRANCE SHALL BE PROVIDED AT OR NEAR THE FURNACE.

FURNACE UNDER FLOOR INSTALLATION MUST COMPLY WITH SECTIONS 304, 309, 319, AND 320 OF UMC AND CMC SECTIONS 904, 908 AND 909.

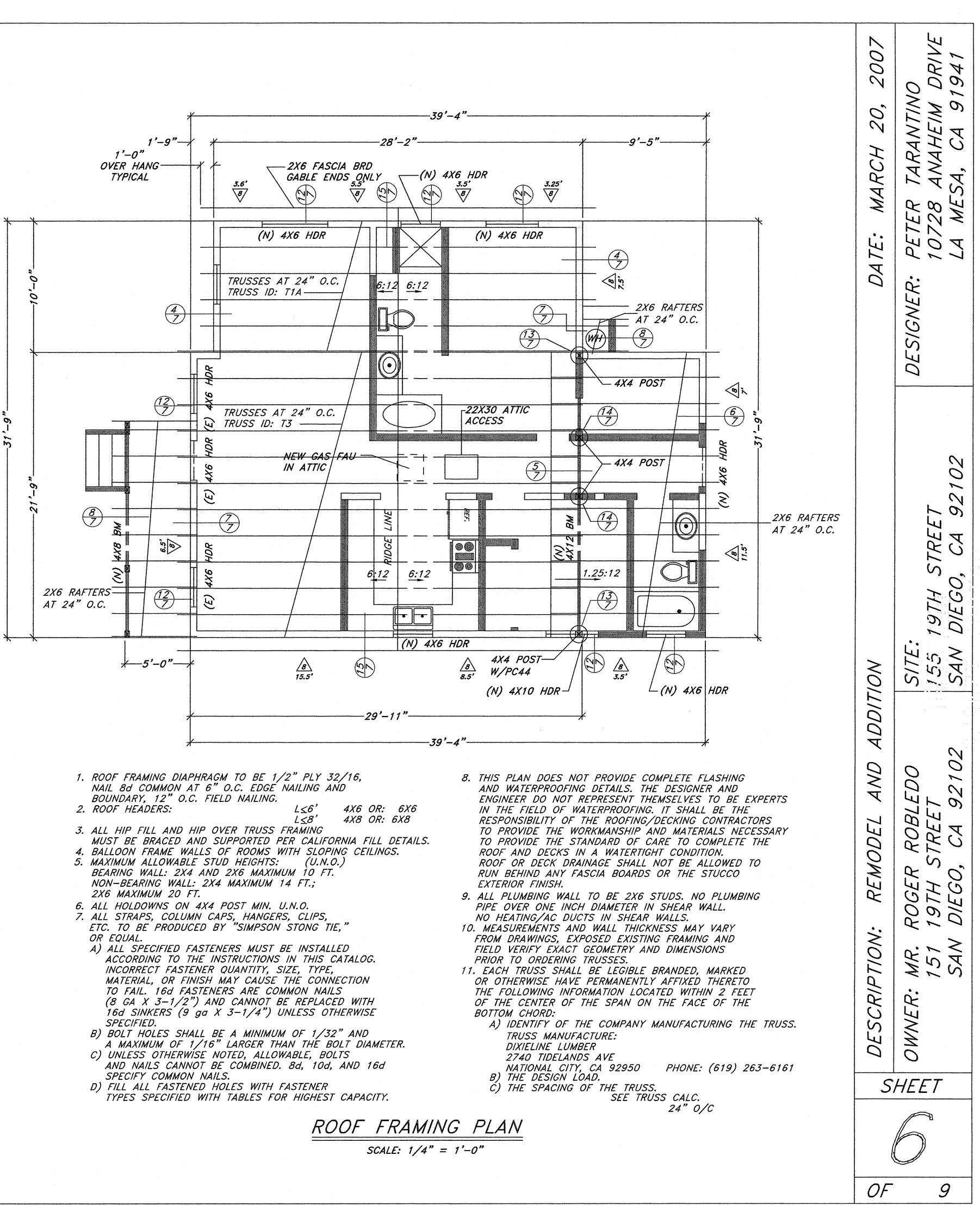
PLATFORM FOR FAU MUST BE SPACED ABOVE BOTTOM CHORD OF TRUSSES TO PROVIDE FULL THICKNESS OF ATTIC INSULATION.

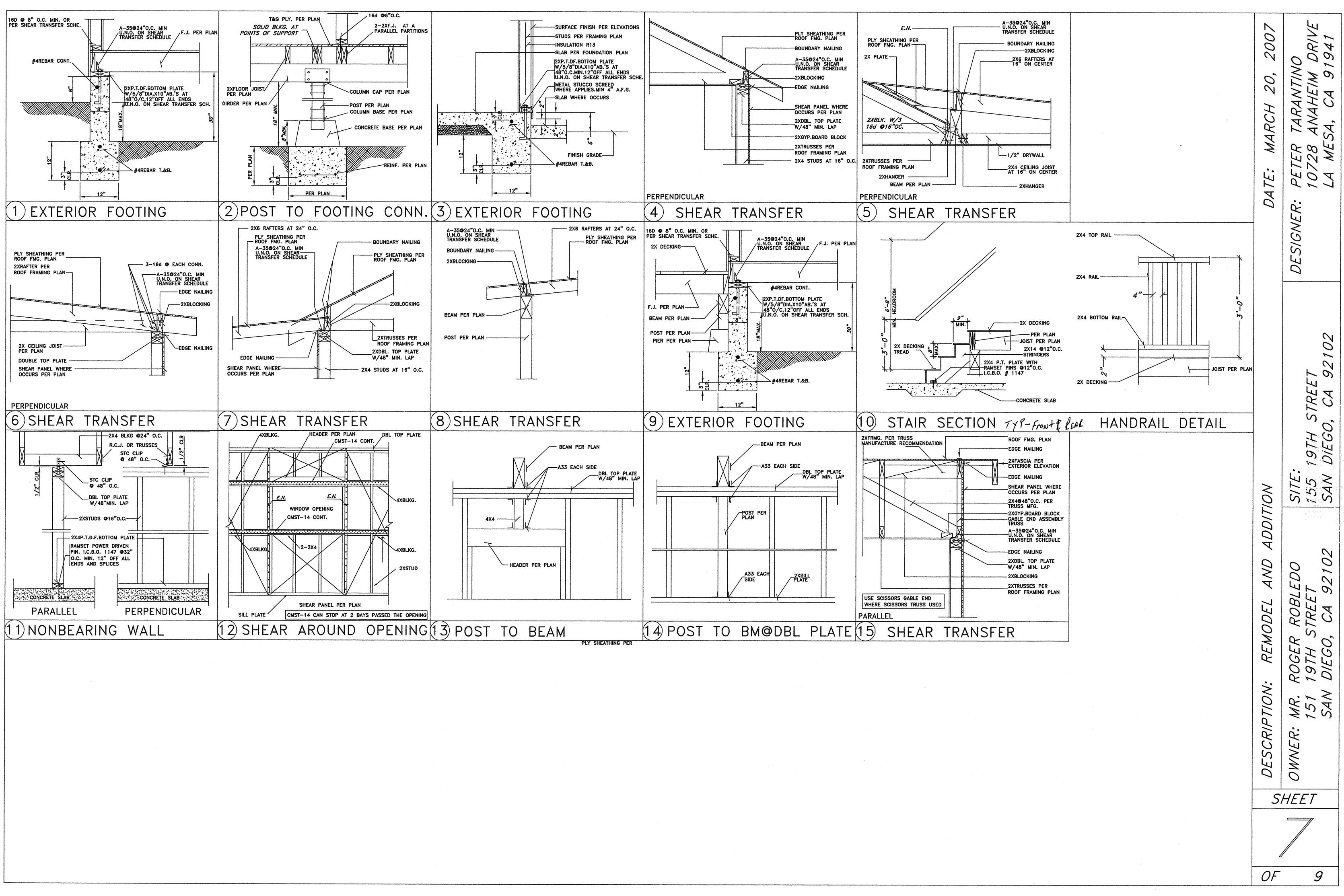
PROVIDE A 30"X30" WORKING PLATFORM IN FRONT OF FAU AND A 24" MIN CATWALK TO ATTIC ACCESS.

ELECTRICAL PLAN SCALE: 1/4" = 1'-0"

THE PASSAGE WAY TO THE HEATER IS TO HAVE CONTINUOS FLOORING OF 24" MIN WIDTH FROM THE OPENING OF THE ACCESS TO THE UNIT.

A WORKING PLATFORM MIN 30" IN BOTH LENGTH AND DEPTH SHALL BE PROVIDED IN FRONT OF





CERTIFICATE OF COMPLIANCE: RESIDENTIAL (Page 1 of 5) CF-1R	CERTIFICATE OF COMPLIANCE: RESIDENTIAL (Page 2 of 5) CF-1R Project Title Date
Project Title RABLEDO RESIDENCE 4/28/07	ROBLEDO RESIDÊNCE 4/28/07
Project Address 1 19TH CTOST	FENESTRATION PRODUCTS - U-FACTOR AND SHGC
SAN PIEGO, CH 92102	FENESTRATION MAXIMUM ALLOWED AREA WORKSHEET WS-4R – must be included for New Construction, Additions, and Alterations.
PETER TARANTINO (69) 440-6929 Relation Parts	Fenestration Exterior
PERESPECTIVE PAGAGE "D" TERROREMANTAL PAGAGE	#/Type/Pos. (Front, Orien- Left, Rear, Right, tation, Area Skylight) N, S, E, W ¹ (ft ²) U-factor ² Source ³ SHGC ⁴ Source ⁵ included
Iternative Component Package Method: (check one) C D D (Alternative) Package C and Package D choices require HERS rater field verification and/or diagnostic testing (see CF-1R page 3) For Package D Alternative see Appendix B Table 151-C Footnotes 8-14 in the Residential Compliance Manual (RCM)	FRONT W 45.75 .99 10 116A .40,74 TB 116-B
	LEFT N 39 .58 TBILLEA .65 TBILLEB
ENERAL INFORMATION tal Conditioned Floor Area (CFA) _ <u>[1] 36</u> ft ²	
erage Ceiling Height:R	1) Skylights are now included in West-facing fenestration area if the skylights are tilted to the west or tilted in any direction when
* Applicable Boxes ilding Type: (check one or more) X Single Family Multifamily X Addition Alteration (If adding fenestration fill-out WS-4R, Fenestration Maximum Allowed Area Worksheet and see Section 8.3.2	 Skylights are now included in West-lacing tenesuation are in the skylights are tined to the west of information and are in the skylights are tined to the west of information and are in the skylights are tined to the west of information and are information and are skylights are tined to the west of information are information and are information and are skylights are tined to the west of information are information
(If adding fenestration fill-out WS-48, Fenestration maximum Anoneo Files From the second state of the sec	3) Indicate source either from NFRC or Table 116-A,
 Maximum Allowed Total Fenestration Area <u>227.2</u> ft² (from WS-4R) 20% Maximum Allowed West Facing Fenestration Area <u>56.8</u> ft² (from WS-4R) 5% 	 Enter values in this column from NFRC or from Standards Default Table 116B or adjusted SHGC from WS-3R. Indicate source either from NFRC, Table 116B or WS-3R
Number of Stories: ONE Number of Dwelling Units: ONE parts	6) Shading Devices are defined in Table 3-3 in the Residential Manual and see WS-3R to calculate Exterior Shading devices.
 Floor Construction Type:	7) See Section 3.2.4 in the Residential Manual.
RADIANT BARRIER (check box if required in climate zones 2, 4, 8-15)	HVAC SYSTEMS
	Heating Equipment Minimum Distribution
PAQUE SURFACES INCLUDING OPAQUE DOORS	Type and Capacity Efficiency Type and Location Duct or Piping Thermostat Configuration (furnice, heat pump, boiler, etc.) (AFUE or HSPF) (ducts, attic, etc.) R-Value Type (split or package)
Component Assembly U- factor (for wood, Joint Raoffitidiant Location (ype (Wall, Frame Device State St	FUENACE 78% DUCK ATTIC 4.2 PACKAGE
Roof, Floor, Type Cavity Commons mean name and Appendix Installed (attic, garage, Slab Edge, (Wood or Insulation Insulation mass IV Installed (attic, garage, typical, etc.)	
Doors) Metal) R-Value R-Value assemblies) Reterence , Adda NV 991009	Cooling Equipment Minimum
WALL WD R-13	Type and Capacity Efficiency Distribution (A/C heat nump, evan (SEER or True and Location Duct or Piping Thermostat Configuration
ROPE WD R-30	(cooling) (cooling) (ducts, antic, etc.) R-Value Type (split or package) M/R M/N (ducts, antic, etc.) (split or package) (split or package)
100 $R - 19$	
ee Joint Appendix IV in Section IV.2, IV.3, and IV.4, which is the basis for the U-factor criterion. U-factors can not exceed	
prescriptive value to show equivalence to R-values. This column is for the Inspector to verify installation of roof radiant barrier.	December 2005
Residential Compliance Forms December 2005	Residential Compliance Forms December 2003
Project Title Roblebo Residence Pare 4/28/07 pecial Remarks	FENESTRATION PRODUCTS - NEW CONSTRUCTION- NEW BUILDINGS Use this table for new building construction to account for total building % of fenestration. A B C D E F G #/Type/Pos. Fenestration, Total Percent of Total Percent of Fenestration ² Rear, Right, Orientation Area (Å ²) CFA (Å ²) (C/E) x 100% Fenestration ² Skytight) Orientation Area (Å ²) CFA (Å ²) (C/E) x 100% (D/E) x 100% + F LEFT North 391 Including West (D/E) x 100% + F (D/E) x 100% + F 1 ExpR East 20 Including West (D/E) x 100% + F (D/E) x 100% + F 1 If west facing area exceeds 5% of CFA in cilluling West facing orientations then performance approach must be used. 10/ /O/E 1) If west facing area exceeds 5% of CFA in cilluling West facing orientations then performance approach must be used. 10/ /O/E 2) If total percent of fenestration exceeds 20% including West facing orientations then performance approach must be used. 10/ /O/E 2) If total percent of fenestration exceeds 20% including West facing orientations then performance approach must be used. 1
License #: License #: License #: (if applicable) (signature) (date) (signature) (date)	 the wall that separates the addition from the existing house. However, the total West facing tenestration can not exceed 5% and Column H can addition's CFA including skylights orientated in any direction and tilled with a pitch of < 1:12. Column G can not exceed 5% and Column H can not exceed 20%. 3) Additions >1,000 ft, must meet Package D requirements. See Table 8-2 and Table 151-C in Appendix B of the RM or use Performance Approach. 4) The 5% west orientation restrictions are only for Climate zones 2, 4, and 7-15; for Climate Zones 2, 4 and 7-15 enter zero (0) in column E. FENESTRATION PRODUCTS: ALTERATIONS Use this table for alterations to an existing building where fenestrations products (windows) are being removed and/or added.
nforcement Agency	A B C Proposed Proposed Total Net Total % of Existing Existing Removed Proposed Installed Fenestration Fenestration
ane:	$\begin{array}{ c c c c c c c c c c c c c c c c c c c$
ngnature / stainp): (Bab) 6 1 5 2 4 7 2 10 10 10 10 10 10 10 10 10 10 10 10 10	 When 50 ft² or more of fenestration area is added to an existing building, then the fenestration must meet the requirements of Package D. The area requirement for the total fenestration area for the whole building, including the added fenestration, must not exceed 20%. Otherwise, the Performance Approach must be used. See Section 8.3.3 in the RM for further details.
esidential Compliance Forms December 2005	Residential Compliance Forms December 2005

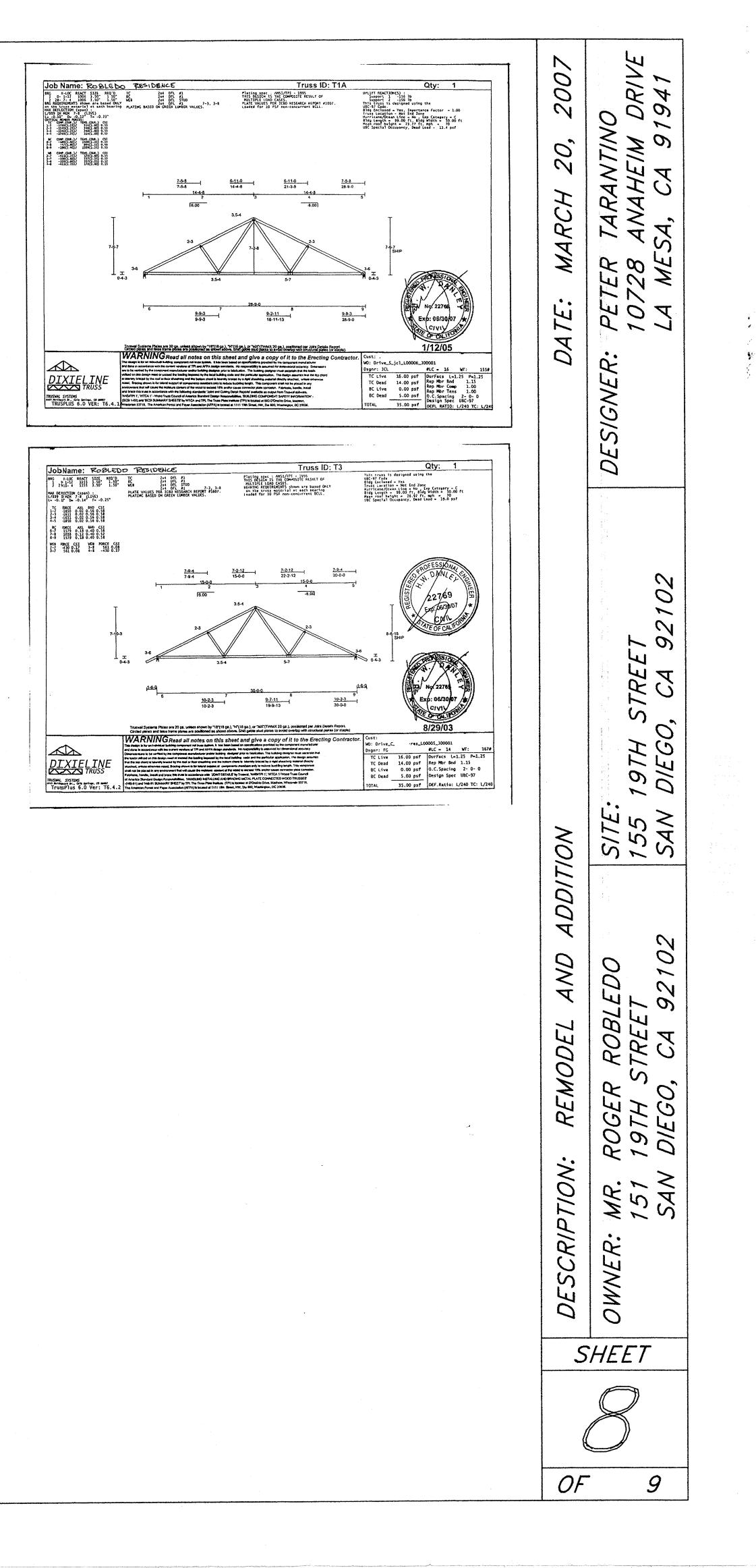
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FIFICATE C					(Page 3 of Date	10)	CF-1R
ROBI	EDO T	Residence	UE			8/07	
DUCTS and TXV: CF-4R Form must be	e for Alternative M	<u>deasures)</u> uilding departme	nt for each h	ome for whic	h the followi	ng are requir	ed.
Sealed Ducts (all cli	imate zones) (Insta	ller testing and c	ertification a	nd HERS rate	er field verifi	cation requir	ed.)
TXVs, readily acces (Installer testing and	sible (climate zone	es 2 and 8-15 onl	у)				
Refrigerant Charge verification required	(climate zones 2 ar	1d 8-15 only) (In:	staller testing	and certifica	tion and HEI	RS Rater fiel	d
Alternative to Sealed	•	erant Charge (T)	Ve (See Par	kape D Alter	native Packa	ee Features f	òr
roject Climate Zon	e in the RM Apper	idix B Table 151	-C, Footnote	s 7-14.		Ro Lealaires I	
lo ducts installed.							
lew ducts from existor additions and all	terations, duct systematics	ems that are not o	documented t	to have been	previously se	aled as confi	rmed
hrough field verification	ation and diagnosti tore than 40 linear	c testing in accor feet in unconditi	rdance with p oned spaces	procedures in shall meet the	the Resident e requirement	ial ACM Ma is of Section	nual. 150(m)
nd duct insulation r	equirements of Pac	ckage D.					
IEATING SYSTE							
heck box if system nit. If the water her	ater is a storage typ	be, 50 gallons is t	the maximum	i capacity and	d recirculation	n system is n	ot allowed
check box when usin	ng Preapproved Al	ternative Water I are required, and	Heating table f the system (, Table 5-4 is complies auto	n Chapter 5 in matically.	n the Resider	itial
Check box if system	does not meet crite	eria of "Standard	" system, and	d does not co	mply with the	e Preapprove be included	d in the
ubmittal							
heck box to verify rving single dwe	that a time control elling units (See R	Is required for a M Table 5-4, Alte	mative Water	Heating System	ms for recircul	ation requirem	nents)
			Rated	Tank	Energy Factor ¹ or		Tank External
ater Heater	Distribution Type	Number in System	Input (kW or Btu/hr)	Capacity (galions)	Thermal Efficiency	Standby ¹ Loss (%)	Insulation R-Value
GAS	*70%		40,000	40gal			
						<u> </u>	
ving multiple dv	velling units (See	Residential Manu	al Section 5.3	.3)	L	۱ <u></u>	l
			Rated Input	Tank	Energy Factor' or		Tank External
iter Heater Type	Distribution Type	Number in System	(kW of Btu/hr)	Capacity (gallons)	Thermal Efficiency	Standby ¹ Loss (%)	Insulation R-Value
-7.1							
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<u></u>	eaters (rated inputs o		Į	l	L		
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Ulation (kitchen in inches or greater in Compliance Forms DATORY M	diameter shall be t	hermally insulate	ed as specific	d by Section	150 (j) 2 A o	r 150 (j) 2 B De	
inches or greater in Compliance Forms DATORY M	diameter shall be t	hermally insulate	ed as specific	d by Section	150 (j) 2 A o AL (Pag	r 150 (j) 2 B De	cember 200 MF-11
inches or greater in Compliance Forms DATORY M tle ROBL v-rise residential buildi gent compliance requi	EASURES	SUMMAR	V: RES	to by Section	AL (Pag Date V s of the compli	r 150 (j) 2 B De e 1 of 2) 2.8 (07 ance spproaci sterisk (*) be	cember 200 MF-11 h used. More low. When the
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December 2005

Residential Compliance Forms



1. THE CONTRACTOR SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR THE JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION. INCLUDING THE SAFETY OF ALL PERSONS AND PROPERTY, AND THIS REQUIREMENT SHALL APPLY CONTINUOUS AND NOT BE LIMITED TO NORMAL WORKING HOURS.

2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MEANS AND METHODS OF CONSTRUCTION INCLUDING, BUT NOT LIMITED TO, SHORING, BRACING, TEMPORARY EXCAVATIONS, AND SHALL BE IN ACCORDANCE WITH ALL STATE AND FEDERAL SAFETY REQUIREMENTS.

3. THE CONTRACTOR SHALL VERIFY ALL DEMENSIONS. ELEVATIONS. AND SITE CONDITIONS BEFORE STARTING WORK AND NOTIFY THE ARCHITECT AND ENGINEER IMMEDIATELY OF ANY DISCREPANCIES.

4. ALL OMISSIONS AND CONFLICTS BETWEEN VARIOUS ELEMENTS OF WORKING DRAWINGS AND/OR SPECIFICATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND ENGINEER BEFORE PROCEEDING WITH ANY INVOLVED WORK.

5. RESOLVE ANY CONFLICTS ON THE DRAWINGS WITH THE ARCHITECT AND ENGINEER BEFORE PROCEEDING WITH CONSTRUCTION.

6. THE CONTRACTOR SHALL DETERMINE THE LOCATION OF UTILITY SERVICES IN THE AREA TO BE EXCAVATED PRIOR TO BEGINNING EXCAVATIONS.

7. NO PIPES, DUCTS, SLEEVES, CHASES, ETC. SHALL BE PLACED IN SLABS, BEAMS OR WALLS UNLESS SPECIFICALLY SHOWEN OR NOTED. NOR SHALL ANY STRUCTURAL MEMBER BE CUT FOR PIPES, DUCTS OR OTHER ITEMS UNLESS OTHERWISE NOTED. CONTRACTOR SHALL OBTAIN PRIOR APPROVAL FOR INSTALLATION OF ANY ADDITIONAL PIPES. DUCTS OR OTHER ITEMS. REFER TO ARCHITECTURAL OR MECHANICAL DRAWINGS FOR LOCATIONS.

8. ALL MATERIAL AND WORKMANSHIP SHALL CONFORM TO REQUIREMENTS OF LATEST EDITION OF THE UNIFORM BUILDING CODE (UBC).

9. SPECIAL INSPECTION PER SEC. 1701 OF THE UBC IS REQUIRED AS FOLLOWS:

- A. ALL STRUCTURAL FIELD WELDING, INCLUDING WELDING OF STRUCTURAL STEEL, REINFORCING STEEL, AND STEEL DECKING. B. INSTALLATION AND TIGHTENING OPERATIONS FOR ALL HIGH
- STRENGTH FRICTION BOLTING (A325F).
- C. INSTALLATION AND TIGHTENING OPERATIONS FOR HIGH STRENGTH ANCHOR BOLTS. D. THE TAKING OF TESTS & SPECIMENTS DURING THE PLACEMENT
- OF ALL REINFORCED CONCRETE, WITH THE EXCEPTION OF FOUNDATION CONCRETE, WHEN THE STRUCTURAL DESIGN STRENGTH IS NO GREATER THAN F'C= 2500 PSI.
- E. PLACEMENT OF ALL MASONRY DOES NOT REQUIRE SPECIAL INSPECTION UNLESS SPECIFICALLY INDICATED.
- F. DURING THE NAILING OF HIGH LOAD DIAPHRAGMS WITH 3/4" PLYWOOD AND STAGGERED NAILING PER ICBO, REPORT NO. 1952.

10. DESIGN BASED ON 1997 EDITION OF UNIFORM BUILDING CODE AND THE 2001 CALIFORNIA BUILDING CODE.

11. SEISMIC BASE SHEAR COEFICIENT PER CALCULATIONS.

12. WIND DESIGN VELOCITY = 70 MPH, EXPOSURE "B" (U.N.O.)

CONCRETE MASONRY:

1. BLOCK MASONRY UNITS SHALL BE TYPE I HOLLOW CORE CONCRETE BLOCK CONFORMING TO ASTM C-90 LATEST REVISION, AND IN ADDITION, SHALL HAVE A MAXIMUM SHRINKAGE OF 0.06% FROM THE SATURATED TO OVER DRY CONDITION. MINIMUM ULTIMATE STRENGTH OF BLOCK SHALL BE 1500 PSI.

2. GROUT SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH 2000 PSI.

3. MORTAR SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 2000 PSI. TYPE S ASTM C-144.

4. MINIMUM LAP OF REINFORCING STEEL SHALL BE 40 BAR DIAMETERS FOR GRADE 40 BARS AND 48 BAR DIAMETERS FOR GRADE 60 BARS. PROVIDE 1" MINIMUM CLEARANCE FROM BLOCK MASONRY CELLS.

5. MAXIMUM HEIGHT OF GROUT POUR SHALL BE 4'-O" UNLESS CLEAN OUT

6. NO COLD JOINTS ARE PERMITTED UNLESS SPECIFICALLY DETAILED.

OPENINGS ARE PROVIDED AT THE BOTTOM OF CELLS TO BE FILLED.

7. ALL BOND BEAM BLOCK SHALL BE "DEEP CUT" UNITS.

B. VERTICAL CELLS TO BE FILLED SHALL HAVE VERTICAL ALIGNMENT: ANY OVERHANGING MORTAR OR OTHER OBSTRUCTION OR DEBRIS SHALL BE REMOVED FROM THE INSIDES OF SUCH CELL WALLS.

9. ALL CONCRETE BLOCK MASONRY WHERE SHOWN ON WALL DETAIL HAVE CONTINUOUS INSPECTION BY A REGISTERED INSPECTOR WHERE CALLED OUT.

10. RESTRAINED (BASEMENT) WALLS SHALL BE PROPERLY SHORED OR THE FLOOR FRAMING SECURED PRIOR TO PLACING FILL.

FOUNDATION:

1. CHARACTER OF FOUNDATION SOILL, SEE SOIL REPORT BY:

2. SPREAD AND CONTINUOUS FOUNDATIONS ARE DESIGNED TO BE FOUNDED ON THE FORMATIONAL SOILS OR FILL SOILS, RECOMPACTED OR COMPACTED TO A MINIMUM RELATIVE DENSITY OF 90 PERCENT. COMPACTED BEARING CAPACITY PER RECOMMENDATIONS IN THE SOIL REPORT.

3. UNLESS OTHERWISE NOTED, NO BACKFILL SHALL BE PLACED AGAINST WALLS UNTILL:

- A. CANTILEVER RETAINING WALLS HAVE CURED FOR A MINIMUM OF 28 DAYS B. WALLS RESTAINED AT TOP, 14 DAYS MINIMUM AFTER FLOOR/ROOF
- SLABS ARE CAST;

5. BACKFILL OF RETAINING WALLS TO BE COMPACTED BY LIGHT-HAND

COMPACTORS ONLY.

6. PRIOR TO THE CONTRACTOR REQUESTING A BUILDING DEPARTMENT FOUNDATION INSPECTION, THE SOILS ENGINEER SHALL ADVICE THE BUILDING OFFICIAL IN WRITING THAT: A. THE BUILDING PAD WAS PREPARED IN ACCORDANCE WITH THE SOILS REPORT;

B. THE UTILITY TRENCHES HAVE BEEN PROPERTY BACKFILLED AND COMPACTED: AND

C. THE FOUNDATION EXCAVATIONS COMPLY WITH THE SOILS REPORT AND APPROVED PLAN.

REINFORCED CONCRETE:

1. CEMENT SHALL CONFORM TO ASTM C-150, TYPE II.

2. AGGREGATE SHALL CONFORM TO ASTM C-33 FOR STRUCTURAL NORMAL-WEIGHT CONCRETE (1" MAX. SIZE) AND ASTM C-330 FOR STRUCTURAL LIGHT-WEIGHT CONCRETE.

6. THE SHOP DRAWINGS DO NOT REPLACE THE 6. USE DUOBLE JOISTS UNDER ALL PARALLEL BEARING PARTITIONS. CONTRACT DOCUMENTS. ITEMS OMITTED OR SHOWN 7. CROSS BRIDGING BETWEEN JOISTS AND RAFTERS MAY BE OMITTED WHERE INCORRECTLY AND NOT FLAGGED BY THE STRUCTURAL THE COMPRESSION EDGE IS CONTINUOUSLY CONNECTED TO THE SHEATING, ENGINEER OR ARCHITECT ARE NOT TO BE CONSIDERED OTHERWISE BRIDGE PER U.B.C. SECTION 2306.7. CHANGES TO CONTRACT DOCUMENTS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAKE SURE ITEMS 8. BOLTS SHALL HAVE 7 DIA. MIN. END DISTANCE AND 4 DIA. MIN. EDGE ARE CONSTRUCTED TO CONTRACT DOCUMENTS. DISTANCE U.O.N. 7. THE ADEQUACY OF ENGINEER'S DESIGN AND LAYOUT 9. ALL BOLTS SHALL BE FITTED WITH WASHERS. HOLES IN WOOD SHALL BE PERFORMED BY OTHERS RESTS WITH THE DESIGNING OR 2500 PSI FOR SLAB FOOTING ON GRADE U.O.N. BORED WITH A BIT 1/32" TO 1/16" LARGER THAN THE BOLT DIAMETER. SUBMITTING AUTHORITIES. 4000 PSI FOR COLUMN BEAMS AND POST-TENSIONED SLAB U.O.N. 10. CONNECTORS SHALL BE MANUFACTURED BY THE SIMPSON COMPANY. 8. REVIEWING IS INTENDED ONLY AS AN AID TO THE 5 1/4 SACK FOR 2500 PSI STRENGTH UNLESS ALTERNATE CONNECTORS HAVE BEEN APPROVED BY THE ENGINEER CONTRACTOR IN OBTAINING CORRECT SHOP DRAWINGS. PRIOR TO CONSTRUCTION. RESPONSIBILITY FOR CORRECTNESS SHALL REST WITH THE 5 1/2 SACK FOR 3000 PSI CONCRETE OR GREATER CONTRACTOR. 11. CUTTING, NOTCHING OR DRILLING OF BEAMS OR JOISTS TO BE PERMITTED ONLY AS DETAILED OR APPROVED BY THE ENGINEER. 12. ALL NAILING SHALL CONFORM TO U.B.C. TABLE 23-11-B-1 (U.O.N.). 13. PROVIDE STRAP TIE (FLUSH HEADERS TO TOP PLATES) ST-22 MIN. 14. SHOT PIN SECURING WOOD SILL PLATE TO CONCRETE AT NON-SHEAR WALL OR INTERIOR NONBEARING WALLS SHALL BE AS SPECIFIED MIN. .146 DIA.. PENETRATE CONCRETE A MIN. OF 1-3/8", INSTALLED THROUGH STEEL WITH SPACING OF 32" O.C. MAX., WITH AT LEAST TWO PINS AT END OF PLATES WASHERS AT 6" & RESPECTIVELY (RAMSET REDHEAD 1524 SDB, 1524 SDC & 1524 SDP) PER ER-1147. FASTENERS SHALL NOT BE INSTALLED UNTIL THE CONCRETE HAS REACHED MIN. STRENGTH OF 2000 P.S.I. GLUE LAMINATED BEAMS: 1. GLUE-LAMINATED BEAMS SHALL BE DOUGLAS FIR/LARCH COMBINATION "24F" U.N.O., MANUFACTURED IN ACCORDANCE WITH A.I.T.C. SPECIFICATION 117-84 AND SHALL BE INDUSTRIAL GRANDE APPEARANCE U.N.O. 2. A CERTIFICATE OF COMPLIANCE FOR GLUE-LAMINATED BEAMS MUST BE SUBMITTED TO THE BUILDING INSPECTION DEPARTMENT PRIOR TO ERECTION. SHOW DRY OR WET SERVICE CONDITION. 3. MINIMUM ALLOWABLE UNITS STRESS FOR GLUE-LAMINATED BEAMS: FB=2400 P.S.I. FV=165 P.S.I. FC-650 P.S.I. E=1.8X10^6 P.S.I. <u>STRUCTURAL I-JOIST & MANUFACTURED LUMBER:</u> 1. MANUFACTURED I-JOIST & LUMBER (MICROLAM [LVL], PARALLEL [PSL], AND TIMBERSTRAND [LSL]) BY TRUSS JOIST CO. EQUIVALENT PRODUCTS BY OTHER MANUFACTURERS ALLOWED WITH PRIOR APPROVAL. 2. DESIGN, FABRICATION AND ERECTION IN ACCORDANCE WITH THE LATEST EDITION ICBO ES ER 4979 NER-119, NER-481 AND ICBO ES ER PFC 4354 NER-200, NER-119. CONNECTION AND BEARING MATERIAL TO BE SHOP CONNECTED TO JOISTS AND DESIGNED AND FURNISHED BY JOIST FABRICATOR. 3. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS WITH DESIGN CALCULATIONS SEALED BY A REGISTERED ENGINEER FOR REVIEW PRIOR TO MANUFACTURE. 4. ADDITIONAL JOIST SHALL BE SUPPLIED AS REQUIRED TO SUPPORT MECHANICAL EQUIPMENT. 1. ALL PLYWOOD SHALL BE MIN. C-D. INTERIOR SHEATING, OR BETTER WITH EXTERIOR GLUE AND SHALL BEAR THE STAMP OF AN APPROVED TESTING AGENCY. 2. LAY UP PLYWOOD WITH FACE GRAIN PERPENDICULAR TO SUPPORT. (ON ROOFS WHERE PLYWOOD IS LAID UP WITH FACE GRAIN PARALLEL TO SUPPORTS, USE A MINIMUM OF 5-PLY PLYWOOD): STAGGER JOINTS; ALL NAILING TO BE COMMON NAILS. 3. WHERE SCREWS ARE INDICATED FOR WOOD TO WOOD ATTACHMENTS. USE WOOD SCREWS. 4. SCREWS AT FLOOR SHEATHING SHALL BE #8 X 2 1/2" LONG FOR SHEATHING LESS THAN 1" THICK. ALL FLOOR SHEATHING SHALL BE GLUED TO JOINTS WITH AN APA AFG-01 QUALIFIED GLUE. 5. ALL PLYWOOD SHALL BE OF THE FOLLOWING NOMINAL THICKNESS, SPAN/INDEX RATIO AND SHALL BE ATTACHED AS FOLLOWS UNLESS NOTED OTHERWISE: USE THICKNESS SPAN/INDEX EDGE INTERMEDIATE RATIO ATTACHMENT ATTACHMENT ROOF 1/2" 32/16 8d 🞯 6" O.C. 8d 🕑 12" O.C. FLOOR 42/20 5/8" 10d 🔮 6" O.C. 10d @ 12" O.C. 6. AMERICAN PLYWOOD ASSOCIATION PERFORMANCE RATED SHEATHING MAY BE USED AS AN ALTERNATE TO PLYWOOD WITH PRIOR APPROVAL OF OWNER, ARCHITECT AND ROOFING CONTRACTOR. WHERE ROOF IS TO BE GUARANTEED, IT MAY NOT BE USED WITHOUT PRIOR APPROVAL FROM BUIL-UP ROOF SYSTEM MANUFACTURER. RATED SHEATHING SHALL COMPLY WITH I.C.B.O. REPORT NO. NER-108, EXPOSURE 1, AND SHALL HAVE A SPAN RATING EQUIVALENT TO OR GREATER THAN THE PLYWOOD IT REPLACES. ATTACHMENT AND THICKNESS (WITHIN 1/32") SHALL BE THE SAME AS THE PLYWOOD IT MACHINE BOLTS SHALL COMPLY WITH A.S.T.M. A307, GRADE "A" UNLESS REPLACES. INSTALL PER MANUFACTURER'S RECOMMENDATIONS. PREFABRICATED WOOD TRUSSES: 1. PREFABRICATED WOOD TRUSSES SHALL BE DESIGNED TO SUPPORT SELF WEIGHT PLUSS LIVE LOAD AND SUPERIMPOSED DEAD LOADS STATED IN STRUCTURAL CALCULATIONS OR AS NOTED ON PLANS. BRIDGING SIZE AND SPACING BY TRUSS MANUFACTURER UNLESS NOTED OTHERWISE. FLAT TRUSS SHALL BE DESIGNED TO ACCOMMODATE A FUTURE MECHANICAL LOAD OF 300 POUNDS AT ANY LOCATION. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS AND DESIGN CALCULATIONS SEALED BY A REGISTERED ENGINEER FOR REVIEW PRIOR TO MANUFACTURE. CALCULATIONS AND SHOP DRAWINGS SHALL SHOW ANY SPECIAL DETAILS REQUIRED AT BEARING POINTS. ALL CONNECTORS SHALL HAVE CURRENT I.C.B.O. APPROVAL. 2. ADDITIONAL TRUSSES SHALL BE SUPPLIED AS REQUIRED TO SUPPORT MECHANICAL EQUIPMENT. 3. MULTIPLE TRUSS MEMBERS SHALL BE FASTENED TOGETHER TO ALLOW TRANSFER OF SHEAR AND TENSION FORCES (MINIMUM 300 PLF) AT PLYWOOD SHEATHING JOINTS AND PREVENT CROSS GRAIN BENDING OF TOP CHORDS. ATTACHMENT SHALL BE A CONTINUOUS 20 GUAGE METAL PLATE OR OTHER APPROVED MEANS. METHOD OF ATTACHMENT SHALL BE INDICATED ON SHOP DRAWINGS FOR REVIEW. SHOP DRAWINGS. # 2 U.O.N. 1. Shop drawings shall be submitted for all structural items in # 2 U.O.N. ADDITION TO ITEMS REQUIRED BY ARCHITECTS SPECIFICATIONS. 2 U.O.N. # 1 U.O.N. 2. THE CONTRACTOR SHALL REVIEW ALL SHOP DRAWINGS PRIOR TO # 2 U.O.N. SUBMITTAL. ITEMS NOT IN ACCORDANCE WITH CONTRACT DOCUMENTS SHALL # 1 U.O.N. BE FLAGGED IN THE REVIEW. UOUGLAS FIR # 2 U.O.N. 3. VERIFY ALL DEMENSIONS WITH ACHITECT. 4. ANY CHANGES SUBSTITUTIONS OR DEVIATIONS FROM CONTRACT DOCUMENTS SHALL BE CLOUDED BY MANUFACTURER OR FABRICATOR. ANY OF AFOREMENTTIONED WHICH ARE NOT CLOUDED OR FLAGGED BY SUBMITTED PARTIES, SHALL NOT BE CONSIDERED APPROVED AFTER ENGINEER'S REVIEW, UNLESS NOTED ACCORDINGLY.

. BAR REINFORCEMENT SHALL CONFORM TO ASTM A615. GRADE 40. FOR UP

1. ALL FRAMING SHALL BE GRADED D.F. OR LARCH MARKED AS FOLLOWS,

REINFORCEMENT STEEL:

6. LAPS AND BAR SPLICES SHALL BE:

WITH ASTM C-94. 4. CONCRETE DESIGN MIXES SHALL BE IN ACCORDANCE WITH CHAP 19 OF UBC AND SHALL BE SIGNED BY A REGISTERED PROFESSIONAL ENGINEER REGISTERED IN THE STATE OF JURISDICTION. 5. ALL CONCRETE SHALL SATISFY BOTH A MINIMUM STRENGTH REQUIREMENT AND MINIMUM CEMENT CONTENT. THE MINIMUM ULTIMATE COMPRESSIVE STRENGTH (F'C) AT 28 DAYS SHALL BE: THE MINIMUM CEMENT CONTENT PER CUBIC YARD OF CONCRETE SHALL BE: 7. ADMIXTURES MAY BE USED WITH APPROVAL OF ENGINEERS. ADMIXTURES USED TO INCREASE THE WORKABILITY OF THE CONCRETE SHALL NOT BE CONSIDERED TO REDUCE THE SPECIFIED MINIMUM CEMENT CONTENT. 8. REFER TO AND VERIFY WITH ARCHITECTURAL DRAWINGS ANY MOLDS. REQUIRED TO BE CAST INTO CONCRETE AND FOR LOCATION AND EXTENT OF DEPRESSIONS, CURBS AND RAMPS. 9. PROJECTING CORNERS OF SLABS, BEAMS, WALLS, COLUMNS, ETC. SHALL BE FORMED WITH A 3/4" CHAMFER UNLESS OTHERWISE NOTED. 10. CONCRETE FORM TOLERANCES SHALL BE WITHIN STANDARDS SET BY AMERICAN CONMCRETE INSTITUTE. 11. ALL REINFORCEMENT STEEL, ANCHOR BOLTS, DOWELS, AND OTHER INSERTS SHALL BE SECURED IN POSITION SND INSPECTED BY THE LOCAL BUILDING DEPARTMENT INSPECTOR PRIOR TO THE PLACEMENT OF ANY CONCRETE. 12. LOCATION OF ALL CONSRUCTION JOINTS NOT SPECIFICALLY INDICATED ON REINFORCING STEEL. TO #5 BARS AND GRADE 60, FOR #6 BARS AND LARGER. 5. REINFORCEMENT DETAILING, BENDINGS AND PLACING SHALL BE IN ACCORDANCE WITH CONCRETE REINFORCING STEEL INSTITUTE "MANUAL OF STANDARD PRACTICE" LATEST EDITION. 40 BAR DIAMETER OR 24" MINIMUM FOR MASONRY UNLESS OTHERWISE NOTED. 7. VERTICAL BARS IN WALL SHALL BE ACCURATELY POSITIONED AT THE CENTER WALL. UNLESS OTHERWISE NOTED ON DETAILS AND SHALL BE TIED IN POSITION AT TOP AND BOTTOM AND AT INTERVALS NOT EXCEEDING 192 DIAMFTERS 8. REINFORCING STEEL SHALL BE PROVIDED WITH THE FOLLOWING AMOUNT OF BEAMS AND GIRDERS-----1 1/2" SLAB (NO. 11 OR SMALLER)-----3/4" WELL SECURED IN POSITION PRIOR TO PLACING CONCRETE OR GROUT. APPROX. 2'-6" ON CENTER ON ALL BEAMS AND FOOTINGS TO SECURE REINFORCING IN PLACE. STRUCTURAL STEEL: 1. STRUCTURAL STEEL SHALL COMPLY WITH A.S.T.M. A36 (FY=36KSI). 2. MATERIALS AND WORKMANSHIP SHALL COMPLY WIT-----^H A.I.S.C. SPECIFICATIONS FOR THE DESIGN, FABRICATION, AND ERECTION OF STRUCTURAL STEEL FOR BUILDINGS. 3. PIPE COLUMNS SHALL COMPLY WITH A.S.T.M., A501 (FY=36KSI). 7. SHEAR STUDS SHALL BE FIELD WELDED. 8. ALL WELDING SHALL BE BY THE SHIELDED ARC PROCESS. USE E-70XX ELECTRODES. 9. ALL WELDING SHALL BE PERFORMED BY CERTIFIED WELDERS AND SHALL CONFORM TO A.W.S. D1.1 STRUCTURAL WELDING CODE. 10. STRUCTURAL FIELD WELDING SHALL HAVE SPECIAL INSPECTIONS AS 11. ALL STRUCTURAL STEEL EXPOSED TO EARTH SHALL HAVE 3" CONCRETE COVER. STRUCTURAL WOOD: OTUDO (10) 2. SILL PLATES ON CONCRETE SHALL BE DOUGLAS FIR, PREASURE TREATED WITH MIN. 5/8" DIA. X 10" ANCHOR BOLTS @ 4'-0" MAX. AND 9" FROM 3. TOP PLATES OT ALL STUD WALLS SHALL BE DOUBLED, SAME SIZE AS STUDS, LAP PLATES 4'-O" MIN. WITH AT LEAST 16-16d NAILS AT 4" MAX.

3. READY MIX CONCRETE SHALL BE MIXED AND DELIVERED IN ACCORDANCE 6. THE MAXIMUM CONCRETE SLUMP SHALL BE 3" + 1" FOR SLAB ON GRADE AND 4" + 1" FOR ALL OTHER WORK. GROOVES, REVEALS AND SCUPPERS, ORNAMENTS, CLIP OR TEXTURE THE DRAWINGS SHALL BE APPROVED BY ENGINEER PRIOR TO PLACING 2. ALL WELDED REBAR TO BE A706. 3. WELDING OF REINFORCING STEEL SHALL CONFORM TO AWS D1.4. 4. WELDED WIRE FABRIC SHALL CONFORM TO ASTM A185. 36 BAR DIAMETER OR 18" MINIMUM FOR CONCRETE; AND CONCRETE COVER. UNLESS OTHERWISE NOTED: CONCRETE SURFACE (FORMED) EXPOSED TO EARTH OR WEATHER-----2" 9. ALL REINFORCING STEEL ANCHOR BOLTS. DOWELS, AND INSERTS SHALL BE 10. UNLESS OTHERWISE NOTED IN DETAILS, FURNISH NO. 3 SPACER TIES AT 4. TUBE COLUMNS SHALL COMPLY A.S.T.M. A500, GRADE "B" (FY=46KSI). OTHERWISE NOTED. 6. ANCHOR BOLTS SHALL COMPLY WITH A.S.T.M. A307 GRADE "A", UNLESS OTHERWISE NOTED. REQUIRED BY THE LOCAL JURISDICTION HAVING PRECEDENCE. 4. BACKFILL SHALL BE IMPORTED SELECT SAND OR APPROVED GRANULAR FILL. UNLESS OTHERWISE NOTED. LIGHT FRAMING- "STANDARD" AND "STUD": END OF BOARD (OR AS SPLICED ON PLANS).

STUDS: (10' & SHORTER)	DOUGLAS FIR #
STUDS: (OVER 10')	DOUGLAS FIR #
JOIST:	DOUGLAS FIR #
POSTS:	DOUGLAS FIR"
4X BEAM:	DOUGLAS FIR
6X & UP BEAM:	DOUGLAS FIR
LEDGERS AND TOP PLATE:	DOUGLAS FIR

O.C. EACH SIDE.

4. SOLID BLOCK AT 10'-O" VERTICAL INTERVALS.

5. PLACE 2X SOLID BLOCKING BETWEEN JOISTS AND RAFTERS AT SUPPORTS AND UNDER ALL PARTITIONS.

5. THE ENGINEER HAS THE RIGHT TO APPROVE OR DISAPPROVE ANY CHANGES TO CONTRACT DOCUMENTS AT ANYTIME BEFORE OR AFTER SHOP REVIEW.

REV. 3/3/2007 REV. 1/20/2007

