



THE CITY OF SAN DIEGO

Report to the Hearing Officer

DATE ISSUED: December 6, 2023 REPORT NO. HO-23-063
HEARING DATE: December 13, 2023
SUBJECT: CT Homes Residence, Process 3
PROJECT NUMBER: [557456](#)
OWNER/APPLICANT: CT Dream Realty, LLC

SUMMARY

Issue: Should the Hearing Officer approve the construction of a 2,677-square-foot, two-story single dwelling unit with an attached garage within the North Park Community Plan Area?

Proposed Actions:

1. ADOPT Mitigated Negative Declaration (MND) No. 557456/SCH No. 2023080754 and the associated Mitigation, Monitoring, and Reporting Program (MMRP);
2. APPROVE Site Development Permit (SDP) PMT-2604391 and Neighborhood Development Permit (NDP) PMT-3259396; and
3. APPROVE the proposed Multi-Habitat Planning Area (MHPA) Boundary Line Adjustment (BLA) No. PMT-3259396-1.

Community Planning Group Recommendation: On December 23, 2020, the North Park Planning Committee voted 12-0-1 to recommend approval of this project without conditions.

Environmental Impact: Mitigated Negative Declaration (MND) [No. 557456/SCH No. 2023080754](#) has been prepared for the project in accordance with the State of California Environmental Quality Act (CEQA) Guidelines, which addresses potential impacts to Biological Resources. A Mitigation, Monitoring, and Reporting Program (MMRP) has been prepared and will be implemented which will reduce any potential impacts to below a level of significance.

BACKGROUND

The 0.12-acre project site is located at 2385 Felton Street (APN 539-132-02) on the east side of the southern end/terminus of Felton Street, east of 33rd Street, west of 34th Street and north of Juniper Street. The project site is located within and adjacent to a City of San Diego owned open space canyon.

The project area which includes the dwelling unit and off-site public improvements includes a total of 0.43-acres. Off-site improvements include 0.135-acres (13,743-square-foot) and on-site improvements include 0.12-acres (5,000-square-foot). The project area is currently undeveloped and contains Environmentally Sensitive Lands (ESL) in the form of Biological Resources.

The site is in the RS-1-1 (Residential Single Dwelling Unit) Zone, the Brush Management, Very High Fire Hazard Severity Zones, the Airport Influence Area (Review Area 2), the Federal Aviation Administration (FAA) Part 77 Notification Area, Environmentally Sensitive Lands (ESL), the Multi-Habitat Planning Area (MHPA) and Multiple Species Conservation Program (MSCP) Subarea of the [North Park Community Plan](#).



DISCUSSION

Actions Required

Site Development Permit (SDP): The project requires a SDP, per SDMC Section [142.0612\(b\)\(2\)](#) for public improvements that are required in associated with private development for which adopted City standards and regulations do not apply. In this case, the construction of the private road in order to maintain consistency with the existing private road/driveway to the north and due to the constrained project site topography.

Neighborhood Development Permit (NDP): The project also requires a NDP as described in SDMC Section [126.0402\(b\)](#) for a single dwelling unit development within a single lot zoned for a single-dwelling that is less than or equal to 15,000-square-feet and contains sensitive biological resources as described in SDMC Section [143.0110](#).

Boundary Line Adjustment (BLA): Approximately 0.164-acre of the proposed project area occurs within the MHPA of the City's MSCP which will necessitate a MHPA Boundary Line Adjustment.

Project Description

The project proposes the construction of a new, two-story single dwelling unit with attached garage and deck for a total of 2,677 square feet. The project also includes a total of 275 linear feet of retaining wall constructed along the north and south sides of the property. Off-site construction includes a 30-foot-wide private driveway, 465 linear feet of 6-foot A.C. public watermain and 321 linear feet of a 4-foot private sewer lateral.

Given the project site's constraints, the project's Brush Management Program includes a Brush Management Zone (BMZ) 1 that has been reduced from 35 feet to 30 feet and BMZ 2 has been reduced from 65-feet to 0-feet in accordance with SDMC Section [142.0412\(C\)\(2\)](#), and the project has been conditioned to provide alternative compliance measures for fire safety.

The proposed project would encroach into the MHPA beyond the allowable development area pursuant to SDMC sections [143.0142](#) and [131.0250\(b\)](#) of the City's Land Development Code, requiring a MHPA boundary line adjustment. As a condition of approval of the BLA, the owner shall make payment into the City's Habitat Acquisition Fund (HAF) at a 4:1 ratio for the loss of 0.164-acre of MHPA land. The project Owner would pay into the City's HAF to preserve 0.656-acres of native habitat thus having a greater than equivalent positive effect on conserved habitat.

An additional payment for the loss of sensitive habitat on the project site is also required. The project proposes an additional 1:1 contribution to the HAF for mitigation for impacts 0.202 acres to Tier I habitat. The only significant impact to biological resources associated with the project is from the loss of 0.202 acres of Southern Maritime Chaparral habitat. Mitigation will require payment into the HAF for purchase of 0.202 acre of Southern Maritime Chaparral habitat. This is in addition to the required payment into the HAF to ensure the preservation of 0.656 acre of native habitat (i.e., Southern Maritime Chaparral) associated with the MHPA BLA. The total HAF contribution for the project would result in 0.858 acres of Habitat Acquisition Fund contribution.

Additionally, the project is conditioned to conform to the City's MHPA Land Use Adjacency Guidelines to ensure indirect impacts, such as drainage, toxics, noise lighting, barriers invasive plants, fugitive dust and brush management from construction and subsequent development of the site to the adjacent MHPA would be less than significant.

Community Plan Analysis

The North Park Community Plan area designates the project site as Residential-Low at a recommended density of 5-9 units per acre, or one unit on this site. The Project proposes one dwelling unit, which is consistent with the North Park Community Plan and the RS-1-1 zone.

Conclusion:

Staff has reviewed the project and all issues identified through the review process have been resolved in conformance with the Land Development Code. Staff has provided draft findings and conditions of approval to support the proposed project. Staff recommends that the Hearing Officer adopt MND No. 557456/SCH No. 2023080754 and the associated MMRP, approve NDP No. PMT-3259396, SDP No. PMT-2604391, MHPA BLA No. PMT-3259396-1 and approve the proposed MHPA Boundary Line Adjustment.

ALTERNATIVES

1. Adopt MND No. 557456/SCH No. 2023080754 and the associated MMRP, approve NDP No. PMT-3259396, SDP No. PMT-2604391, and approve the proposed MHPA Boundary Line Adjustment No. PMT-3259396-1, with modifications.
2. Do not adopt MND No. 557456/SCH No. 2023080754 and the associated MMRP, deny NDP No. PMT-3259396 and SDP No. PMT-2604391, and deny the proposed MHPA Boundary Line Adjustment No. PMT-3259396-1, if the findings required to approve the project cannot be affirmed.

Respectfully submitted,



Chandra Y. Clady
Development Project Manager
Development Services Department

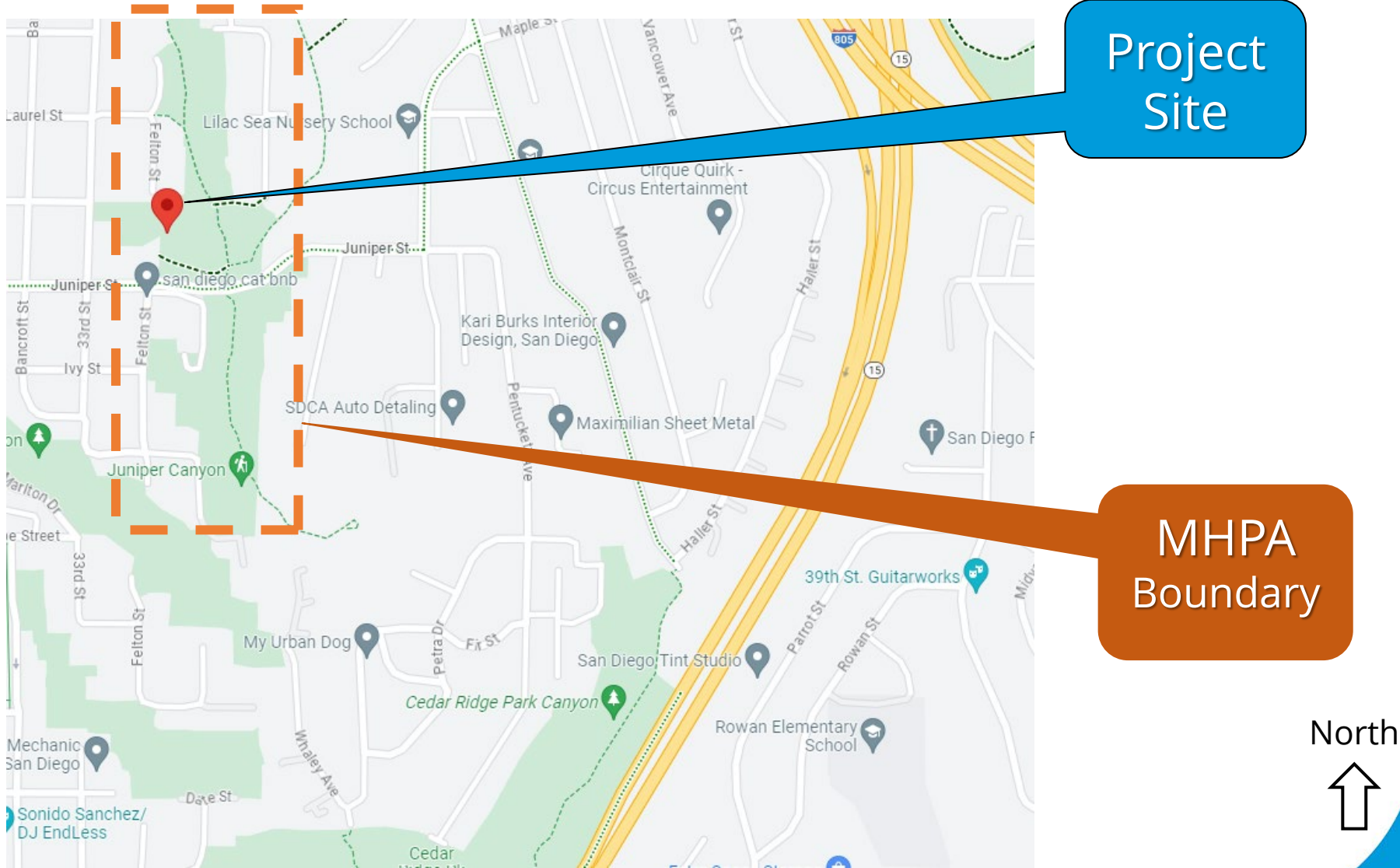
Attachments:

1. Project Location Map
2. Aerial Photo
3. North Park Community Plan Land Use Map
4. Draft Permit Resolution with Findings
5. Draft Permit with Conditions

6. Draft Environmental Resolution and MMRP
7. Community Planning Group Recommendation
8. Ownership Disclosure Statement
9. Development Plans



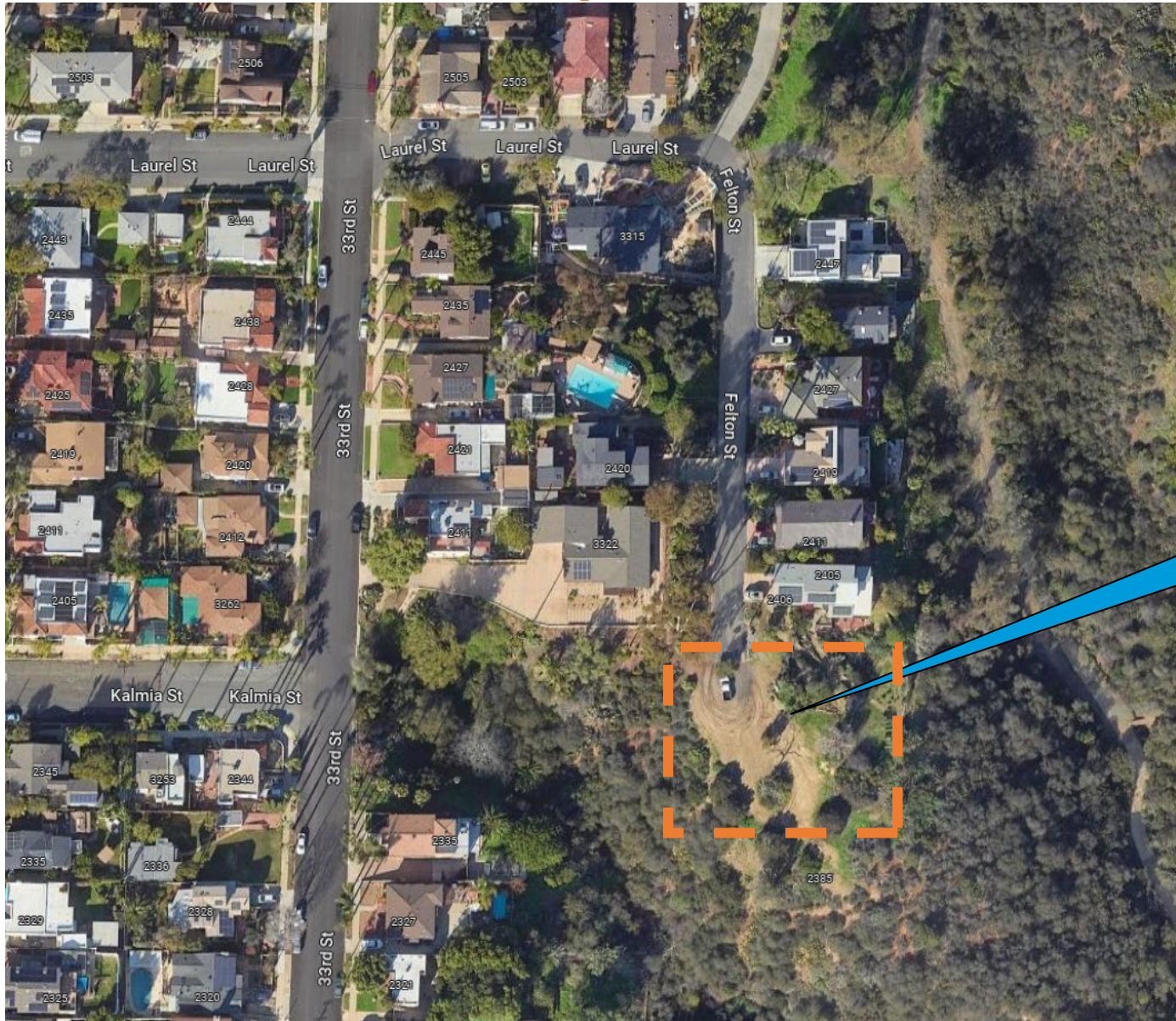
Project Location Map



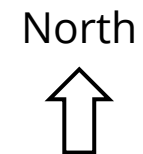
CT Homes Residence - 2385 Felton Street - Project Number 557456



Aerial Photo Map



Project Site



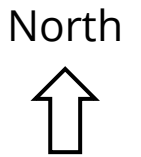
CT Homes Residence - 2385 Felton Street - Project Number 557456



North Park Community Plan Map



Project Site



HEARING OFFICER RESOLUTION NO. _____
SITE DEVELOPMENT PERMIT NO. PMT-2604391
NEIGHBORHOOD DEVELOPMENT PERMIT NO. PMT-3259396
MULTI-HABITAT PLANNING AREA BOUNDARY LINE ADJUSTMENT NO. PMT-3259396-1
CT HOMES RESIDENCE - PROJECT NO. 557456 LOCATED AT 2385 FELTON STREET

WHEREAS, CT Dream Reality, LLC, Owner/Permittee, filed an application with the City of San Diego for a Site Development Permit PMT-2604391 and Neighborhood Development Permit PMT-3259396, and Multi-Habitat Planning Area (MHPA) Boundary Line Adjustment No. PMT-3259396-1 to construct a 2,677-square-foot, two-story single-dwelling with an attached garage on portions of a 0.12-acre property and off-site public improvements which include private driveway, public watermain and private sewer lateral;

WHEREAS, the project site is located at 2385 Felton Street (APN 539-132-02) in the RS-1-1 Zone, the Brush Management, Very High Fire Hazard Severity Zones, the Airport Influence Area (Review Area 2), the Federal Aviation Administration (FAA) Part 77 Notification Area, Environmentally Sensitive Lands (ESL), the MHPA and Multiple Species Conservation Program (MSCP) Subarea of the North Park Community Plan Area;

WHEREAS, the project site is legally described as LOT 5, BLOCK 46 OF EASTERN ADDITION NEW SAN DIEGO IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 295, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY;

WHEREAS, on December 13, 2023, the Hearing Officer of the City of San Diego considered MHPA Boundary Line Adjustment No. PMT-3259396-1 and Site Development Permit No. PMT-2604391 and Neighborhood Development Permit No. PMT-3259396 pursuant to the Land Development Code of the City of San Diego;

BE IT RESOLVED by the Hearing Officer of the City of San Diego, that it adopts the following findings with respect to Site Development Permit No. PMT-2604391, Neighborhood Development Permit No. PMT-3259396 and MHPA Boundary Line Adjustment No. PMT-3259396-1:

A. SITE DEVELOPMENT PERMIT [SDMC Section 126.0505]

1. Findings for all Site Development Permit:

a. The proposed development will not adversely affect the applicable land use plan.

The proposed project is for the construction of a new, two-story single dwelling unit with an attached garage and deck totaling 2,677-square-feet and a total of 205 linear feet of concrete masonry unit (CMU) retaining wall along the north and south side of the vacant lot and off-site public improvements which includes a 30-foot-wide private driveway, 465 linear feet of 6-foot A.C. public watermain and 321 linear feet of a 4-foot private sewer lateral. The project area which includes the dwelling unit and off-site public improvements is a total of 0.43-acres. Off-site improvements include 0.135-acres (13,743-square-feet) and on-site improvements include 0.12-acres (5,000-square-feet). The project area is currently undeveloped and contains Environmentally Sensitive Lands (ESL) in the form of Biological Resources. The dwelling unit is located on the 0.12-acre parcel located on the east side of Felton Street, south of Laurel Street and north of Juniper Street in the RS-1-1 zone within the North Park Community Plan area.

The proposed project is consistent with the land use residential designation for the North Park Community Plan (Community Plan). The Community Plan designates the site as Residential Low for 5-9 dwelling units per acre, or 1-2 units allowed on site. The RS-1-1 Zone allows for the development of a single dwelling unit on site. The project is located in an area of existing single-family dwelling-units and would be a part of an established residential neighborhood.

The project site is located within and adjacent to the City of San Diego owned open space canyon. A total of 0.164-acres of the project area occurs within the Multi-Habitat Planning Area (MHPA) of the City's Multiple Species Conservation Program (MSCP) Subarea Plan. The proposed project will encroach into the MHPA beyond the allowable development area, therefore, the proposed project includes a MHPA boundary line adjustment (BLA) to exclude the project area from the MHPA. As a condition of approval of the BLA, the owner shall make payment into the City's Habitat Acquisition Fund (HAF) at a 4:1 ratio for the loss of 0.164-acre of MHPA land. An additional payment for the loss of sensitive habitat on the project site is also required. The project Owner would pay into the City's Habitat Acquisition Fund (HAF) to preserve 0.656-acres of native habitat thus having a greater than equivalent positive effect on conserved habitat. The project proposes an additional 1:1 contribution to the HAF for mitigation for impacts 0.202 acres to Tier I habitat. The total HAF contribution for the project would result in 0.858 acres of Habitat

Acquisition Fund contribution. The BLA would preclude impacts to the land use regulations and no impacts would occur. Therefore, the proposed development will not adversely affect the applicable land use plan.

b. The proposed development will not be detrimental to the public health, safety, and welfare.

The project permit contains specific requirements to ensure compliance with the regulations of the Land Development Code. The permit controlling the development and use of the proposed project for this site contains specific conditions address compliance with the City's code, policies, regulations, and other regional, state, and federal regulations to prevent detrimental impacts to the health, safety and general welfare of persons residing and/or working in the area. Conditions of approval require the review and approval of all construction plans by staff prior to construction to determine the construction of the project will comply with all regulations. The construction will be inspected by certified building and engineering inspectors to ensure construction will be in accordance with the approved plans and with all regulations.

The project will be required to comply with Brush Management Zone (BMZ) regulations including alternative compliance measures such as a radiant heat wall to be provided at the interface of Brush Management Zones One and Two, openings along the brush side of the habitable structures, plus a 10-ft. perpendicular return along adjacent wall faces in the yard space between the radiant heat wall and the habitable structure. Given the site's constraints, the project is proposing alternative compliance measures and structural upgrades have been incorporated into the project design, such as: 6-foot-tall CMU fire wall at the east property line, fire retardant deck and concrete flat work, fire rated eaves and perimeter wall construction and non-combustible perimeter fencing (vinyl). Therefore, the proposed development will not be detrimental to the public health, safety, and welfare.

c. The proposed development will comply with the regulations of the Land Development Code including any allowable deviations pursuant to the Land Development Code.

The proposed project is for the construction of a new, two-story single dwelling unit with an attached garage and deck totaling 2,677-square-feet and a total of 205 linear feet of concrete masonry unit (CMU) retaining wall along the north and south side of the vacant lot that is located within Environmental Sensitive Lands (ESL). Off-site construction includes a 30-foot-wide private driveway, 465 linear feet of 6-foot A.C. public watermain and 321 linear feet of a 4-foot private sewer lateral. The 0.12-acre site is located on the east side of Felton Street, south of Laure Street and north of Juniper Street in the RS-1-1 zone within the North Park Community Plan area.

The project site is located in a residential area, situated on a relatively flat mesa abutting a portion of an unnamed open space canyon and approximately 150-feet from the terminus of the existing Felton Street private road/driveway. Access to the project site will occur from an extension of the Felton Street private road. Off-site

construction includes a 30-foot-wide private driveway, 465 linear feet of 6-foot A.C. public watermain and 321 linear feet of a 4-foot private sewer lateral.

The project proposes public improvements that are required in associated with private development for which adopted City standards and regulations do not apply. In this case, the construction of the private road in order to maintain consistency with the existing private road/driveway to the north and due to the constrained project site topography.

In addition, the project includes conditions and corresponding exhibits of approval that will enhance the area, including installation of public improvements in order to achieve compliance with the regulations of the SDMC, as described in finding A.1.b above which is incorporated here by reference.

The project is consistent with the recommended land use designation, and development standards in effect for this site as described in finding A.1.a above. Therefore, proposed development will comply with the applicable regulations of the Land Development Code including any allowable deviations pursuant to the Land Development Code.

B. NEIGHBORHOOD DEVELOPMENT PERMIT [SDMC Section 126.0404]

1. Findings for all Neighborhood Development Permit:

a. The proposed development will not adversely affect the applicable land use plan.

See the response to finding A.1.a. above, herein incorporated by reference, which demonstrates that the proposed development will not adversely affect the applicable land use plan.

b. The proposed development will not be detrimental to the public health, safety, and welfare.

See the response to finding A.1.b. above, herein incorporated by reference, which demonstrates that the proposed development will not be detrimental to the public health, safety, and welfare.

c. The proposed development will comply with the applicable regulations of the Land Development Code including any allowable deviations pursuant to the Land Development Code.

See the response to finding A.1.c. above, herein incorporated by reference, which demonstrates that the proposed development will comply with the applicable regulations of the Land Development Code including any allowable deviations pursuant to the Land Development Code.

2. Supplemental Findings – Environmentally Sensitive Lands:

a. The site is physically suitable for the design and siting of the proposed development and the development will result in minimum disturbance to environmentally sensitive lands.

The project site is located in a residential area, situated on a relatively flat mesa abutting a portion of an unnamed open space canyon and approximately 150-feet from the terminus of the existing Felton Street private road/driveway. The project area which includes the dwelling unit and off-site public improvements is a total of 0.43-acres. Off-site improvements include 0.135-acres (13,743-square-feet) and on-site improvements include 0.12-acres (5,000-square-feet). Access to the project site will occur from an extension of the Felton Street private road, the entire surface of the proposed private road/driveway will be constructed of permeable pavers to capture, contain, dissipate to a minimum, and infiltrate any development storm water runoff, therefore, avoiding any erosional impacts and disturbance to the adjacent City-Owned Open Space.

A total of 0.164-acres of the project area occurs within the MHPA of the City's MSCP and 100-percent of the MHPA within the parcel is proposed to be developed by the project. The proposed project will require a Boundary Line Adjustment (BLA) prior to the issuance of any permits. Mitigations of a 4:1 ratio for vegetation community impacts plus an additional 1:1 for impacts to Tier I are proposed as payment into the HAF for preservation of the 0.858-acres of native habitat (Southern Maritime Chaparral, Tier I) this will occur as a condition of the BLA. Project impacts are mitigated and the pad size and proximity to the adjacent MHPA is consistent with the neighboring developments. Disturbance to adjacent sensitive habitat will be prevented through monitoring of construction practices to ensure there is no encroachment into biologically sensitive areas beyond the limits shown on the proposed plans. The proposed developable area has been located in the area of least environmental sensitivity and will preserve the habitat value of the MHPA.

Therefore, the site is physically suitable for the design and siting of the proposed development and the development will result in minimum disturbance to environmentally sensitive lands.

b. The proposed development will minimize the alteration of natural land forms and will not result in undue risk from geologic and erosional forces, flood hazards, or fire hazards.

The proposed project is for the construction of a new, two-story single dwelling unit with an attached garage and deck totaling 2,677-square-feet and a total of 205 linear feet of concrete masonry unit (CMU) retaining wall along the north and south side of the vacant lot that is located within Environmental Sensitive Lands (ESL). The 0.12-acre site is located on the east side of Felton Street, south of Laurel Street and north of Juniper Street. Project also includes the off-site construction of a 30-foot-wide private driveway, 494 linear feet of 8" PVC public water main, 91 linear feet of 2" private sewer force main, 230 linear feet of a 4" private sewer lateral totaling an additional of 0.315-acres of off-site development.

According to the geotechnical investigation report prepared for the project by Applied Consultants, the site is suitable for the proposed development provided the geotechnical recommendations are incorporated into the project design. Also, the geotechnical investigation report has concluded this project site has a low risk to liquefaction, flooding, landslide and earth movement and there are no significant geotechnical or geologic constraints that cannot be mitigated by proper planning, design, and utilization of sound construction practices.

The project site is located in a Brush Management Zone and High Fire Hazard Severity Zone. Given the site's constraints, the project is proposing alternative compliance measures and structural upgrades have been incorporated into the project design, such as: 6-foot-tall CMU fire wall at the east property line, fire retardant deck and concrete flat work, fire rated eaves and perimeter wall construction and non-combustible perimeter fencing (vinyl). Therefore, the proposed development will minimize the alternation of natural landforms and will not result in undue risk from geologic and erosional forces, flood hazards, or fire hazards.

c. The proposed development will be sited and designed to prevent adverse impacts on any adjacent environmentally sensitive lands.

The project site is located in a residential area, situated on a relatively flat mesa abutting a portion of an unnamed open space canyon and approximately 150-feet from the terminus of the existing Felton Street private road/driveway. Access to the project site will occur from an extension of the Felton Street private road, the entire surface of the proposed private road/driveway will be constructed of permeable pavers to capture, contain, dissipate to a minimum, and infiltrate any development storm water runoff, therefore, avoiding any erosional impacts and disturbance to the adjacent City-Owned Open Space.

A total of 0.164-acres of the project area occurs within the MHPA of the City's MSCP and 100-percent of the MHPA within the parcel is proposed to be developed by the project. The proposed project will require a BLA prior to the issuance of any permits. As a condition of approval of the BLA, the owner shall make payment into the City's Habitat Acquisition Fund (HAF) at a 4:1 ratio for the loss of 0.164-acre of MHPA land. An additional payment for the loss of sensitive habitat on the project site is also required. The project Owner would pay into the City's Habitat Acquisition Fund (HAF) to preserve 0.656-acres of native habitat thus having a greater than equivalent positive effect on conserved habitat. The project proposes an additional 1:1 contribution to the HAF for mitigation for impacts 0.202 acres to Tier I habitat. The total HAF contribution for the project would result in 0.858 acres of Habitat Acquisition Fund contribution. The BLA would preclude impacts to the land use regulations and no impacts would occur.

Additionally, the project would be conditioned to conform to the City's MHPA Land Use Adjacency Guidelines to ensure indirect impacts, such as drainage, toxics, noise lighting, barriers invasive plants, fugitive dust and brush management from construction and subsequent development of the site to the adjacent MHPA would

be less than significant. Therefore, the proposed development will be sited and designed to prevent adverse impacts on any adjacent environmentally sensitive lands.

d. The proposed development will be consistent with the City of San Diego's Multiple Species Conservation Program (MSCP) Subarea Plan and Vernal Pool Habitat Conservation Plan (VPHCP).

A total of 0.164-acres of the project area occurs within the MHPA of the City's MSCP and 100-percent of the MHPA within the parcel is proposed to be developed by the project. The proposed project will require a BLA prior to the issuance of any permits. As a condition of approval of the BLA, the owner shall make payment into the City's Habitat Acquisition Fund (HAF) at a 4:1 ratio for the loss of 0.164-acre of MHPA land. An additional payment for the loss of sensitive habitat on the project site is also required. The project Owner would pay into the City's Habitat Acquisition Fund (HAF) to preserve 0.656-acres of native habitat thus having a greater than equivalent positive effect on conserved habitat. The project proposes an additional 1:1 contribution to the HAF for mitigation for impacts 0.202 acres to Tier I habitat. The total HAF contribution for the project would result in 0.858 acres of Habitat Acquisition Fund contribution. The BLA would preclude impacts to the land use regulations and no impacts would occur.

Additionally, the project would be conditioned to conform to the City's MHPA Land Use Adjacency Guidelines to ensure indirect impacts, such as drainage, toxics, noise lighting, barriers invasive plants, fugitive dust and brush management from construction and subsequent development of the site on to the adjacent MHPA would be less than significant. No vernal pools exist on the project site. Therefore, the proposed development will be consistent with the City of San Diego's MSCP Subarea Plan and the VPHCP. Therefore, the proposed development will be consistent with the City of San Diego's Multiple Species Conservation Program (MSCP) Subarea Plan and Vernal Pool Habitat Conservation Plan (VPHCP).

e. The nature and extent of mitigation required as a condition of the permit is reasonably calculated to alleviate negative impacts created by the proposed development.

The project has been evaluated for compliance with the applicable land use plans, regulations of the Land Development Code, and the California Environmental Quality Act (CEQA), and the proposed project is in conformance with all applicable land use policies and the San Diego Municipal Code (SDMC) regulations. A Mitigated Negative Declaration was prepared for the project in accordance with CEQA and identifies the project specific mitigation measures to reduce impact to below a level of significance for Biological Resources. The project as designed to avoid or mitigates the potentially significant environmental effects previously identified, and the preparation of an Environmental Impact Report was not required.

The project site has a total of 0.164-acres within the MHPA of the City's MSCP and 100-percent of the MHPA within the parcel is proposed to be developed by the

ATTACHMENT 4

project. The proposed project will require a Boundary Line Adjustment (BLA) prior to the issuance of any permits. As a condition of approval of the BLA, the owner shall make payment into the City's Habitat Acquisition Fund (HAF) at a 4:1 ratio for the loss of 0.164-acre of MHPA land. An additional 1:1 ratio payment for the loss of 0.202-acre Tier 1 habitat is also required for total payment into the HAF for the purchase of 0.858-acre of land within the MHPA. Therefore, the nature and extent of mitigation required as a condition of the permit is reasonably related to, and calculated to alleviate, negative impacts created by the proposed development.

The above findings are supported by the minutes, maps and exhibits, all of which are incorporated herein by this reference.

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the Hearing Officer, Site Development Permit No. PMT-2604391, Neighborhood Development Permit No. PMT-3259396 and MHPA Boundary Line Adjustment No. No. PMT-3259396-1 is hereby GRANTED by the Hearing Officer to the referenced Owner/Permittee, in the form, exhibits, terms and conditions as set forth in Site Development Permit No. PMT-2604391, Neighborhood Development Permit No. PMT-3259396, MHPA Boundary Line Adjustment No. PMT-3259396-1 a copy of which is attached hereto and made a part hereof.

Chandra Y. Clady
Development Project Manager
Development Services

Adopted on: December 13, 2023

IO#: 24007357

RECORDING REQUESTED BY
CITY OF SAN DIEGO
DEVELOPMENT SERVICES
PERMIT INTAKE, MAIL STATION
501

WHEN RECORDED MAIL TO
PROJECT MANAGEMENT
PERMIT CLERK
MAIL STATION 501

INTERNAL ORDER NUMBER: 24007347

SPACE ABOVE THIS LINE FOR RECORDER'S USE

SITE DEVELOPMENT PERMIT NO. PMT-2604391
NEIGHBORHOOD DEVELOPMENT PERMIT NO. PMT-3259396
MULTI-HABITAT PLANNING AREA BOUNDARY LINE ADJUSTMENT NO. PMT-3259396-1
CT HOMES RESIDENCE - PROJECT NO. 557456
HEARING OFFICER

This Site Development Permit PMT-2604391, Neighborhood Development Permit PMT-3259396 and Multi-Habitat Planning Area Boundary Line Adjustment No. PMT-3259396-1 is granted by the Hearing Officer of the City of San Diego to CT Dream Realty LLC, Owner/Permittee, pursuant to San Diego Municipal Code [SDMC] sections 126.0502, 126.0402. The 0.12-acre site is located at 2385 Felton Street (APN 539-132-02) in the RS-1-1 zone of the North Park Community Plan area. The project site is legally described as: LOT 5, BLOCK 46 OF EASTERN ADDITION NEW SAN DIEGO IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 295, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY.

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner/Permittee to construct a two-story single dwelling with an attached garage, on a vacant 0.12-acre lot described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated December 13, 2023, on file in the Development Services Department.

The project shall include:

- a. Construction of a new 2,677 square-foot two-story single-family dwelling unit and attached garage;
- b. Off-street parking;
- c. Multi-Habitat Planning Area (MHPA) Boundary Line Adjustment;
- d. Landscaping (planting, irrigation, and landscape related improvements) and
- e. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in

accordance with the adopted community plan, the California Environmental Quality Act [CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

STANDARD REQUIREMENTS:

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36-month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by December 30, 2026.
2. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
 - a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
 - b. The Permit is recorded in the Office of the San Diego County Recorder.
3. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.
4. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.
5. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
6. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations, or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).
7. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.
8. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.

9. All of the conditions contained in this Permit have been considered and were determined necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

10. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

ENVIRONMENTAL/MITIGATION REQUIREMENTS:

11. Mitigation requirements in the Mitigation, Monitoring, and Reporting Program [MMRP] shall apply to this Permit. These MMRP conditions are hereby incorporated into this Permit by reference.

12. The mitigation measures specified in the MMRP and outlined in **MITIGATED NEGATIVE DECLARATION NO. 557456**, shall be noted on the construction plans and specifications under the heading **ENVIRONMENTAL MITIGATION REQUIREMENTS**.

The Owner/Permittee shall comply with the MMRP as specified in **MITIGATED NEGATIVE DECLARATION NO. 557456** to the satisfaction of the Development Services Department and the City Engineer. Prior to issuance of any construction permit, all conditions of the MMRP shall be adhered to, to the satisfaction of the City Engineer. All mitigation measures described in the MMRP

shall be implemented for the following issue areas: **Biological Resources**. Payment to the HAF for preservation of 0.858-acre of native habitat (Southern Chaparral, Tier 1) will be a condition of the BLA. The MHPA BLA received City and Wildlife Agency concurrence in August of 2023.

13. In accordance with authorization granted to the City of San Diego from the United States Fish and Wildlife Service [USFWS] pursuant to Section 10(a) of the federal Endangered Species Act [ESA] and by the California Department of Fish and Wildlife [CDFW] pursuant to California Fish and Wildlife Code section 2835 as part of the Multiple Species Conservation Program [MSCP], the City of San Diego through the issuance of this Permit hereby confers upon Owner/Permittee the status of Third Party Beneficiary as provided for in Section 17 of the City of San Diego Implementing Agreement [IA], executed on July 16, 1997, and on file in the Office of the City Clerk as Document No. OO-18394. Third Party Beneficiary status is conferred upon Owner/Permittee by the City: (1) to grant Owner/Permittee the legal standing and legal right to utilize the take authorizations granted to the City pursuant to the MSCP within the context of those limitations imposed under this Permit and the IA, and (2) to assure Owner/Permittee that no existing mitigation obligation imposed by the City of San Diego pursuant to this Permit shall be altered in the future by the City of San Diego, USFWS, or CDFW, except in the limited circumstances described in Sections 9.6 and 9.7 of the IA. If mitigation lands are identified but not yet dedicated or preserved in perpetuity, maintenance and continued recognition of Third Party Beneficiary status by the City is contingent upon Owner/Permittee maintaining the biological values of any and all lands committed for mitigation pursuant to this Permit and of full satisfaction by Owner/Permittee of mitigation obligations required by this Permit, in accordance with Section 17.1D of the IA.

MULTI-HABITAT PLANNING AREA BOUNDARY LINE ADJUSTMENT (MHPA BLA):

14. Prior to Notice to Proceed (NTP) for any construction permits, including but not limited to, the first Grading Permit, Demolition Plans/Permits and Building Plans/Permits, the owner/permittee shall make payment to the City of San Diego Habitat Acquisition Fund (HAF) at a 4 :1 mitigation ratio to mitigate for the loss of 0.164 acre within the Multi-Habitat Planning Area (MHPA) The resulting total required for the MHPA BLA would be payment into the HAF of 0.656 acre at the current purchase price/acre established by the City of San Diego plus a 10 percent administrative fee.

MHPA LAND USE ADJACENCY REQUIREMENTS:

15. Prior to issuance of any construction permits, including but not limited to, the first Grading Permit, Demolition Plans/Permits and Building Plans/Permits, the owner/permittee shall depict the following requirements on the construction documents and plans for Project Site under the heading "Environmental Requirements":

- **Grading/Land Development/MHPA Boundaries** - Within or adjacent to the MHPA, all manufactured slopes associated with site development shall be included within the development footprint.
- **Drainage** - All staging and developed/paved areas must prevent the release of toxins, chemicals, petroleum products, exotic plant materials prior to release by incorporating the use of filtration devices, planted swales and/or planted

detention/desiltation basins, or other approved temporary and permanent methods that are designed to minimize negative impacts, such as excessive water and toxins into the ecosystems of the MHPA.

- **Toxics/Project Staging Areas/Equipment Storage** - Projects that use chemicals or generate by-products such as pesticides, herbicides, and animal waste, and other substances that are potentially toxic or impactful to native habitats/flora/fauna (including water) shall incorporate measures to reduce impacts caused by the application and/or drainage of such materials into the MHPA. No trash, oil, parking, or other construction/development-related material/activities shall be allowed outside any approved construction limits. Provide a note in/on the CD's that states: "All construction related activity that may have potential for leakage or intrusion shall be monitored by the Qualified Biologist/Owners Representative or Resident Engineer to ensure there is no impact to the MHPA."
- **Lighting** -All lighting within or adjacent to the MHPA is directed away/shielded from the MHPA or limited to the immediate area and is in compliance with City Outdoor Lighting Regulations per LDC Section 142.0740.
- **Barriers** -Existing fences/walls; and/or signage along the MHPA boundaries shall remain and or be added to direct public access to appropriate locations, reduce domestic animal predation, protect wildlife in the preserve, and provide adequate noise reduction where needed.
- **Invasives** - No invasive, non-native plant species shall be introduced into areas within or adjacent to the MHPA.
- **Brush Management** -Brush management zones will not be greater in size that is currently required by the City's regulations (this includes use of approved alternative compliance). Within Zone 2 the amount of woody vegetation clearing shall not exceed 50 percent of the vegetation existing when the initial clearing is done. Vegetation clearing shall be done consistent with City standards and shall avoid/minimize impacts to covered species to the maximum extent possible. For all new development, regardless of the ownership, the brush management in the Zone 2 area will be the responsibility of a home-owner's association or other private party.
- **Noise** - Construction noise that exceeds the maximum levels allowed (60 dB or greater at the beginning edge of the habitat) shall be avoided during the breeding seasons for the following: CA gnatcatcher (3/1-8/15). If construction is proposed during the breeding season for the species the following measures are required:

COASTAL CALIFORNIA GNATCATCHER (Federally Threatened)

1. Prior to the issuance of any grading permit, the City Manager (or appointed designee) shall verify that the Multi-Habitat Planning Area (MHPA) boundaries and the following project requirements regarding the coastal California gnatcatcher are shown on the construction plans:

ATTACHMENT 5

NO CLEARING, GRUBBING, GRADING, OR OTHER CONSTRUCTION ACTIVITIES SHALL OCCUR BETWEEN MARCH 1 AND AUGUST 15, THE BREEDING SEASON OF THE COASTAL CALIFORNIA GNATCATCHER, UNTIL THE FOLLOWING REQUIREMENTS HAVE BEEN MET TO THE SATISFACTION OF THE CITY MANAGER:

- A. A QUALIFIED BIOLOGIST (POSSESSING A VALID ENDANGERED SPECIES ACT SECTION 10(a)(1)(A) RECOVERY PERMIT) SHALL SURVEY THOSE HABITAT AREAS WITHIN THE MHPA THAT WOULD BE SUBJECT TO CONSTRUCTION NOISE LEVELS EXCEEDING 60 DECIBELS [dB(A)] HOURLY AVERAGE FOR THE PRESENCE OF THE COASTAL CALIFORNIA GNATCATCHER. SURVEYS FOR THE COASTAL CALIFORNIA GNATCATCHER SHALL BE CONDUCTED PURSUANT TO THE PROTOCOL SURVEY GUIDELINES ESTABLISHED BY THE U.S. FISH AND WILDLIFE SERVICE WITHIN THE BREEDING SEASON PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION. IF GNATCATCHERS ARE PRESENT, THEN THE FOLLOWING CONDITIONS MUST BE MET:
 - I. BETWEEN MARCH 1 AND AUGUST 15, NO CLEARING, GRUBBING, OR GRADING OF OCCUPIED GNATCATCHER HABITAT SHALL BE PERMITTED. AREAS RESTRICTED FROM SUCH ACTIVITIES SHALL BE STAKED OR FENCED UNDER THE SUPERVISION OF A QUALIFIED BIOLOGIST; AND
 - II. BETWEEN MARCH 1 AND AUGUST 15, NO CONSTRUCTION ACTIVITIES SHALL OCCUR WITHIN ANY PORTION OF THE SITE WHERE CONSTRUCTION ACTIVITIES WOULD RESULT IN NOISE LEVELS EXCEEDING 60 dB (A) HOURLY AVERAGE AT THE EDGE OF OCCUPIED GNATCATCHER HABITAT. AN ANALYSIS SHOWING THAT NOISE GENERATED BY CONSTRUCTION ACTIVITIES WOULD NOT EXCEED 60 dB (A) HOURLY AVERAGE AT THE EDGE OF OCCUPIED HABITAT MUST BE COMPLETED BY A QUALIFIED ACOUSTICIAN (POSSESSING CURRENT NOISE ENGINEER LICENSE OR REGISTRATION WITH MONITORING NOISE LEVEL EXPERIENCE WITH LISTED ANIMAL SPECIES) AND APPROVED BY THE CITY MANAGER AT LEAST TWO WEEKS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION ACTIVITIES. PRIOR TO THE COMMENCEMENT OF CONSTRUCTION ACTIVITIES DURING THE BREEDING SEASON, AREAS RESTRICTED FROM SUCH ACTIVITIES SHALL BE STAKED OR FENCED UNDER THE SUPERVISION OF A QUALIFIED BIOLOGIST; OR
 - III. AT LEAST TWO WEEKS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION ACTIVITIES, UNDER THE DIRECTION OF A QUALIFIED ACOUSTICIAN, NOISE ATTENUATION MEASURES (e.g., BERMS, WALLS) SHALL BE IMPLEMENTED TO ENSURE THAT NOISE LEVELS RESULTING FROM CONSTRUCTION ACTIVITIES WILL NOT EXCEED 60 dB(A) HOURLY AVERAGE AT THE EDGE OF HABITAT OCCUPIED BY THE COASTAL CALIFORNIA GNATCATCHER. CONCURRENT WITH THE COMMENCEMENT OF CONSTRUCTION ACTIVITIES AND THE CONSTRUCTION OF NECESSARY NOISE ATTENUATION FACILITIES, NOISE MONITORING* SHALL BE CONDUCTED AT THE EDGE OF THE OCCUPIED HABITAT AREA TO ENSURE THAT NOISE LEVELS DO NOT EXCEED 60 dB (A)

ATTACHMENT 5

HOURLY AVERAGE. IF THE NOISE ATTENUATION TECHNIQUES IMPLEMENTED ARE DETERMINED TO BE INADEQUATE BY THE QUALIFIED ACOUSTICIAN OR BIOLOGIST, THEN THE ASSOCIATED CONSTRUCTION ACTIVITIES SHALL CEASE UNTIL SUCH TIME THAT ADEQUATE NOISE ATTENUATION IS ACHIEVED OR UNTIL THE END OF THE BREEDING SEASON (AUGUST 16).

* Construction noise monitoring shall continue to be monitored at least twice weekly on varying days, or more frequently depending on the construction activity, to verify that noise levels at the edge of occupied habitat are maintained below 60 dB (A) hourly average or to the ambient noise level if it already exceeds 60 dB (A) hourly average. If not, other measures shall be implemented in consultation with the biologist and the City Manager, as necessary, to reduce noise levels to below 60 dB(A) hourly average or to the ambient noise level if it already exceeds 60 dB(A) hourly average. Such measures may include, but are not limited to, limitations on the placement of construction equipment and the simultaneous use of equipment.

- B. IF COASTAL CALIFORNIA GNATCATCHERS ARE NOT DETECTED DURING THE PROTOCOL SURVEY, THE QUALIFIED BIOLOGIST SHALL SUBMIT SUBSTANTIAL EVIDENCE TO THE CITY MANAGER AND APPLICABLE RESOURCE AGENCIES WHICH DEMONSTRATES WHETHER OR NOT MITIGATION MEASURES SUCH AS NOISE WALLS ARE NECESSARY BETWEEN MARCH 1 AND AUGUST 15 AS FOLLOWS:
 - I. IF THIS EVIDENCE INDICATES THE POTENTIAL IS HIGH FOR COASTAL CALIFORNIA GNATCATCHER TO BE PRESENT BASED ON HISTORICAL RECORDS OR SITE CONDITIONS, THEN CONDITION A.III SHALL BE ADHERED TO AS SPECIFIED ABOVE.
 - II. IF THIS EVIDENCE CONCLUDES THAT NO IMPACTS TO THIS SPECIES ARE ANTICIPATED, NO MITIGATION MEASURES WOULD BE NECESSARY.

CLIMATE ACTION PLAN REQUIREMENTS:

16. Owner/Permittee shall comply with the Climate Action Plan (CAP) Consistency Checklist stamped as Exhibit "A." Prior to issuance of any construction permit, all CAP strategies shall be noted within the first three (3) sheets of the construction plans under the heading "Climate Action Plan Requirements" and shall be enforced and implemented to the satisfaction of the Development Services Department.

ENGINEERING REQUIREMENTS:

17. The project proposes to export 443 cubic yards of material from the project site. All excavated material listed to be exported, shall be exported to a legal disposal site in accordance with the Standard Specifications for Public Works Construction (the "Green Book") and Regional Supplement Amendments adopted by Regional Standards Committee.

ATTACHMENT 5

18. The drainage system proposed for this development, as shown on the site plan, is subject to approval by the City Engineer.
19. Prior to the issuance of any building permit the Owner/Permittee shall obtain a bonded grading permit for the grading proposed for this project. All grading shall conform to the requirements of the City of San Diego Municipal Code in a manner satisfactory to the City Engineer.
20. The Owner/Applicant shall obtain a letter of permission from the property owner on the west side for proposed off-site grading.
21. Prior to the issuance of any construction permit, the Owner/Permittee shall incorporate any construction Best Management Practices necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the SDMC, into the construction plans or specifications.
22. Prior to the issuance of any construction permit the Owner/Permittee shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be prepared in accordance with the guidelines in Part 2 of Construction BMP Standards Chapter 4 of the City's Storm Water Standards.
23. Prior to the issuance of any building permit the Owner/Permittee shall assure by permit and bond construction of private drive with curb and permeable pavement on Felton and Kalmia Streets connecting to the existing paved portion of Felton as shown on Exhibit A to satisfaction of the City Engineer.
24. Prior to the issuance of any building permit the Owner/Permittee shall assure by permit and bond construction of a curb on both sides of the proposed private drive as shown on Exhibit A to the satisfaction of the City Engineer.
25. Prior to the issuance of any building permit the Owner/Permittee shall assure by permit and bond construction of a 14-foot-wide driveway on Felton Street to the satisfaction of the City Engineer.
26. Prior to the issuance of any building permit the Owner/Permittee shall obtain an Encroachment Maintenance Removal Agreement, from the City Engineer for proposed non-standard driveway on Felton Street and all private improvements such as private drive, curb and permeable pavement on Felton and Kalmia Street public right-of-way to the satisfaction of the City Engineer.

LANDSCAPE REQUIREMENTS:

27. Prior to issuance of any grading permit, the Owner/Permittee shall submit complete construction documents for the revegetation and hydro-seeding of all disturbed land in accordance with the City of San Diego Landscape Standards, Storm Water Design Manual, and to the satisfaction of the Development Services Department. All plans shall be in substantial conformance to this permit (including Environmental conditions) and Exhibit "A," on file in the Development Services Department.

ATTACHMENT 5

28. Prior to issuance of any public improvement permit, the Owner/Permittee shall submit complete landscape construction documents for right-of-way improvements to the Development Services Department for approval. Improvement plans shall show, label, and dimension a 40-square-foot area around each tree which is unencumbered by utilities. Driveways, utilities, drains, water and sewer laterals shall be designed so as not to prohibit the placement of street trees.

29. Prior to issuance of any building permit (including shell), the Owner/Permittee shall submit complete landscape and irrigation construction documents, which are consistent with the Landscape Standards, to the Development Services Department for approval. The construction documents shall be in substantial conformance with Exhibit "A," Landscape Development Plan, on file in the Development Services Department. Construction plans shall provide a 40-square-foot area around each tree that is unencumbered by hardscape and utilities unless otherwise approved per §142.0403(b)6 (shown as §142.0403(b)5 in conditions).

30. In the event that a foundation-only permit is requested by the Owner/Permittee, a site plan or staking layout plan, shall be submitted to the Development Services Department identifying all landscape areas consistent with Exhibit "A," Landscape Development Plan, on file in the Development Services Department. These landscape areas shall be clearly identified with a distinct symbol, noted with dimensions, and labeled as 'landscaping area.'

31. The Owner/Permittee shall be responsible for the maintenance of all landscape improvements shown on the approved plans, including in the right-of-way, unless long-term maintenance of said landscaping will be the responsibility of another entity approved by the Development Services Department. All required landscape shall be maintained consistent with the Landscape Standards in a disease, weed, and litter free condition at all times. Severe pruning or "topping" of trees is not permitted. The revegetation of wart-stemmed ceanothus planted to satisfy conditions of coverage requirements specified in the City's MSCP Subarea Plan shall be maintained in perpetuity on the driveway slopes located in the 0.03ac southwest corner of the project site.

32. If any required landscape (including existing or new plantings, hardscape, landscape features, etc., indicated on the approved construction documents is damaged or removed, the Owner/Permittee shall repair and/or replace in kind and equivalent size per the approved documents to the satisfaction of the Development Services Department within 30 days of damage or Final Inspection.

BRUSH MANAGEMENT PROGRAM REQUIREMENTS:

33. The Owner/Permittee shall implement the following requirements in accordance with the Brush Management Program shown on Exhibit "A" on file in the Development Services Department.

34. The Brush Management Program shall consist of a modified Zone One of 30-ft. in width with no Zone Two required, extending out from the structure towards the native/naturalized vegetation, consistent with §142.0412.

35. Alternative Compliance: Where Zone One is reduced on Lot, a radiant heat wall shall be provided at the interface of Zones One & Two. In addition, openings along the brush side of the

habitable structures, plus a 10-ft. perpendicular return along adjacent wall faces, shall be maintained in the yard space between the radiant heat wall and the habitable structure.

36. Prior to issuance of any grading permit, landscape construction documents required for the engineering permit shall be submitted showing the brush management zones on the property in substantial conformance with Exhibit "A."

37. Prior to issuance of any Building Permits, a complete Brush Management Program shall be submitted for approval to the Development Services Department and shall be in substantial conformance with Exhibit "A" on file in the Development Services Department. The Brush Management Program shall comply with the City of San Diego's Landscape Regulations and the Landscape Standards.

38. The Brush Management Program shall be maintained at all times in accordance with the City of San Diego's Landscape Standards.

PLANNING/DESIGN REQUIREMENTS:

39. A topographical survey conforming to the provisions of the SDMC may be required if it is determined, during construction, that there may be a conflict between the building(s) under construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Owner/Permittee.

TRANSPORTATION REQUIREMENTS:

40. The automobile parking spaces must be constructed in accordance with the requirements of the SDMC. On-site parking stalls and driveway width shall be in compliance with requirements of the City's Land Development Code and shall not be converted and/or utilized for any other purpose, unless otherwise authorized in writing authorized by the appropriate City decision maker in accordance with the SDMC.

PUBLIC UTILITIES DEPARTMENT REQUIREMENTS:

41. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, the design and construction of new water and sewer service(s) outside of any driveway or drive aisle and the abandonment of any existing unused water and sewer services within the right-of-way adjacent to the project site, in a manner satisfactory to the Public Utilities Director and the City Engineer.

42. Owner/Permittee shall apply for a plumbing permit for the installation of appropriate private back flow prevention device(s), on each water service (domestic, fire and irrigation), in a manner satisfactory to the Public Utilities Director and the City Engineer. BFPDs shall be located above ground on private property, in line with the service and immediately adjacent to the right-of-way.

ATTACHMENT 5

43. All proposed private water and sewer facilities are to be designed to meet the requirements of the California Uniform Plumbing Code and will be reviewed as part of the building permit plan check.
44. The Owner/Permittee shall design and construct all proposed public water and sewer facilities, accordance with established criteria in the current edition of the City of San Diego Water and Sewer Facility Design Guidelines and City regulations, standards, and practices.
45. Prior to final inspection, all public water and sewer facilities shall be complete and operational in a manner satisfactory to the Public Utilities Department and the City Engineer.
46. No trees or shrubs exceeding three feet in height at maturity shall be installed, or allowed to remain, within ten feet of any public sewer facilities or within five feet of any public water facilities.
47. Prior to the issuance of any building permits, the Owner/Permittee shall obtain an Encroachment Maintenance Removal Agreement, from the City Engineer, for the private sewer improvements (private sewer lateral, private cleanouts, private 2" force main, and discharge manhole) encroaching into the Public Right-of-Way.

INFORMATION ONLY:

- The issuance of this discretionary permit alone does not allow the immediate commencement or continued operation of the proposed use on site. Any operation allowed by this discretionary permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Hearing Officer of the City of San Diego on December 13, 2023 and [Resolution Number].

ATTACHMENT 5

Site Development Permit No. PMT-2604391
Neighborhood Development Permit No. PMT-3259396
Multi-Habitat Planning Area Boundary Line Adjustment No. PMT-3259396-1

Date of Approval: December 13, 2023

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES DEPARTMENT

Chandra Y. Clady
Development Project Manager

**NOTE: Notary acknowledgment
must be attached per Civil Code
section 1189 et seq.**

The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of
this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

CT Dream Realty, LLC
Owner/Permittee

By _____
JD Esajian
Owner/Permittee

**NOTE: Notary acknowledgment
must be attached per Civil Code
section 1189 et seq.**

RESOLUTION NUMBER R-_____

ADOPTED ON _____

**A RESOLUTION OF THE HEARING OFFICER OF THE CITY
OF SAN DIEGO ADOPTING MITIGATED NEGATIVE DECLARATION
NO. 557456/SCH NO. 2023080754 AND THE MITIGATION,
MONITORING, AND REPORTING PROGRAM RELATED TO THE
CT HOMES PROJECT LOCATED AT 2385 FELTON STREET**

WHEREAS, on August 8, 2017, CT Dream Reality, LLC, submitted an application to the Development Services Department for a Site Development Permit, Neighborhood Development Permit and MSCP Multi-habitat Planning Area Boundary Line Adjustment for the CT Homes (Project); and

WHEREAS, the matter was set for a public hearing to be conducted by the Hearing Officer of the City of San Diego; and

WHEREAS, the issue was heard by the Hearing Officer on December 13, 2023; and

WHEREAS, under Charter section 280(a)(2) this resolution is not subject to veto by the Mayor because this matter requires the City Council to act as a quasi-judicial body, a public hearing is required by law implicating due process rights of individuals affected by the decision, and the Council is required by law to consider evidence at the hearing and to make legal findings based on the evidence presented; and

WHEREAS, the Hearing Officer considered the issues discussed in Mitigated Negative Declaration No. 557456/ SCH NO. 2023080754 (Declaration) prepared for this Project; NOW
THEREFORE,

BE IT RESOLVED, by the Hearing Officer that it is certified that the Declaration has been completed in compliance with the California Environmental Quality Act of 1970 (CEQA) (Public Resources Code Section 21000 et seq.), as amended, and the State CEQA Guidelines thereto

ATTACHMENT 6

(California Code of Regulations, Title 14, Chapter 3, Section 15000 et seq.), that the Declaration reflects the independent judgment of the City of San Diego as Lead Agency and that the information contained in said Declaration, together with any comments received during the public review process, has been reviewed and considered by the Hearing Officer in connection with the approval of the Project.

BE IT FURTHER RESOLVED, that the Hearing Officer finds on the basis of the entire record that project revisions now mitigate potentially significant effects on the environment previously identified in the Initial Study, that there is no substantial evidence that the Project will have a significant effect on the environment, and therefore, that said Declaration is hereby adopted.

BE IT FURTHER RESOLVED, that pursuant to CEQA Section 21081.6, the Hearing Officer hereby adopts the Mitigation Monitoring and Reporting Program, or alterations to implement the changes to the Project as required by this Hearing Officer in order to mitigate or avoid significant effects on the environment, which is attached hereto as Exhibit A.

BE IT FURTHER RESOLVED, that the Declaration and other documents constituting the record of proceedings upon which the approval is based are available to the public at the office of the Development Services Department, 1222 First Avenue, San Diego, CA, 92101.

BE IT FURTHER RESOLVED, that Development Services Department is directed to file a Notice of Determination with the Clerk of the Board of Supervisors for the County of San Diego regarding the Project.

By: _____
Chandra Y. Clady, Development Project Manager

ATTACHMENT(S): Exhibit A, Mitigation Monitoring and Reporting Program

EXHIBIT A

MITIGATION MONITORING AND REPORTING PROGRAM
SITE DEVELOPMENT PERMIT NO. PMT-2604391
NEIGHBORHOOD DEVELOPMENT PERMIT NO. PMT-3259396
MULTI-HABITAT PLANNING AREA BOUNDARY LINE ADJUSTMENT NO. PMT-3259396-1
PROJECT NO. 557456

This Mitigation Monitoring and Reporting Program is designed to ensure compliance with Public Resources Code Section 21081.6 during implementation of mitigation measures. This program identifies at a minimum: the department responsible for the monitoring, what is to be monitored, how the monitoring shall be accomplished, the monitoring and reporting schedule, and completion requirements. A record of the Mitigation Monitoring and Reporting Program will be maintained at the offices of the Entitlements Division, 1222 First Avenue, Fifth Floor, San Diego, CA, 92101. All mitigation measures contained in the Mitigated Negative Declaration No. 557456/SCH No. 2023080754 shall be made conditions of the Site Development Permit No. PMT-2604391, the Neighborhood Development Permit No. PMT-3259396, and the Multi-habitat Planning Area Boundary Line Adjustment No. PMT-3259396-1 as may be further described below.

A. GENERAL REQUIREMENTS – PART I (Plan Check Phase (Prior to permit issuance))

1. Prior to the issuance of a Notice To Proceed (NTP) for a subdivision, or any construction permits, such as Demolition, Grading or Building, or beginning any construction related activity on-site, the Development Services Department (DSD) Director's Environmental Designee (ED) shall review and approve all Construction Documents (CD), (plans, specification, details, etc.) to ensure the MMRP requirements are incorporated into the design.
2. In addition, the ED shall verify that the MMRP Conditions/Notes that apply ONLY to the construction phases of this project are included VERBATIM, under the heading, "ENVIRONMENTAL/MITIGATION REQUIREMENTS."
3. These notes must be shown within the first three (3) sheets of the construction documents in the format specified for engineering construction document templates as shown on the City website:

<http://www.sandiego.gov/development-services/industry/standtemp.shtml>
4. The **TITLE INDEX SHEET** must also show on which pages the "Environmental/Mitigation Requirements" notes are provided.
5. **SURETY AND COST RECOVERY** – The Development Services Director or City Manager may require appropriate surety instruments or bonds from private Permit Holders to ensure the long-term performance or implementation of required mitigation measures

or programs. The City is authorized to recover its cost to offset the salary, overhead, and expenses for City personnel and programs to monitor qualifying projects.

B. GENERAL REQUIREMENTS – PART II Post Plan Check (After permit issuance/prior to start of construction)

- 1. PRE-CONSTRUCTION MEETING IS REQUIRED TEN (10) WORKING DAYS PRIOR TO BEGINNING ANY WORK ON THIS PROJECT.** The PERMIT HOLDER/OWNER is responsible to arrange and perform this meeting by contacting the CITY RESIDENT ENGINEER (RE) of the Field Engineering Division and City staff from MITIGATION MONITORING COORDINATION (MMC). Attendees must also include the Permit holder's Representative(s), Job Site Superintendent and the following consultants: **QUALIFIED BIOLOGICAL CONSULTANT**

Note: Failure of all responsible Permit Holder's representatives and consultants to attend shall require an additional meeting with all parties present.

CONTACT INFORMATION:

- The PRIMARY POINT OF CONTACT is the **RE** at the **Field Engineering Division – 858-627-3200**
 - For Clarification of ENVIRONMENTAL REQUIREMENTS, it is also required to call **RE and MMC at 858-627-3360**
- 2. MMRP COMPLIANCE:** This Project, Project Tracking System (PTS) # 557456 and /or Environmental Document # 557456, shall conform to the mitigation requirements contained in the associated Environmental Document and implemented to the satisfaction of the DSD's Environmental Designee (MMC) and the City Engineer (RE). The requirements may not be reduced or changed but may be annotated (i.e. to explain when and how compliance is being met and location of verifying proof, etc.). Additional clarifying information may also be added to other relevant plan sheets and/or specifications as appropriate (i.e., specific locations, times of monitoring, methodology, etc.)
Note: Permit Holder's Representatives must alert RE and MMC if there are any discrepancies in the plans or notes, or any changes due to field conditions. All conflicts must be approved by RE and MMC BEFORE the work is performed.
 - 3. OTHER AGENCY REQUIREMENTS:** Evidence of compliance with all other agency requirements or permits shall be submitted to the RE and MMC for review and acceptance prior to the beginning of work or within one week of the Permit Holder obtaining documentation of those permits or requirements. Evidence shall include copies of permits, letters of resolution or other documentation issued by the responsible agency.
 - 4. MONITORING EXHIBITS:** All consultants are required to submit to RE and MMC, a monitoring exhibit on a 11x17 reduction of the appropriate construction plan, such as site plan, grading, landscape, etc., marked to clearly show the specific areas including the **LIMIT OF WORK**, scope

of that discipline’s work, and notes indicating when in the construction schedule that work will be performed. When necessary for clarification, a detailed methodology of how the work will be performed shall be included.

NOTE: Surety and Cost Recovery – When deemed necessary by the Development Services Director or City Manager, additional surety instruments or bonds from the private Permit Holder may be required to ensure the long-term performance or implementation of required mitigation measures or programs. The City is authorized to recover its cost to offset the salary, overhead, and expenses for City personnel and programs to monitor qualifying projects.

- 5. **OTHER SUBMITTALS AND INSPECTIONS:** The Permit Holder/Owner’s representative shall submit all required documentation, verification letters, and requests for all associated inspections to the RE and MMC for approval per the following schedule:

DOCUMENT SUBMITTAL/INSPECTION CHECKLIST		
Issue Area	Document Submittal	Associated Inspection/Approvals/Notes
General	Consultant Qualification Letters	Prior to Preconstruction Meeting
General	Consultant Construction Monitoring Exhibits	Prior to or at Preconstruction Meeting
Biology	Biologist Limit of Work Verification	Limit of Work Inspection
Biology	Construction CSVr's	Construction Biological Monitoring
Bond Release	Request for Bond Release Letter	Final MMRP Inspections Prior to Bond Release Letter

C. SPECIFIC MMRP ISSUE AREA CONDITIONS/REQUIREMENTS

BIO-1: BIOLOGICAL RESOURCES (RESOURCE PROTECTIONS DURING CONSTRUCTION)

I. Prior to Construction

- A. **Biologist Verification:** The owner/permittee shall provide a letter to the City’s Mitigation Monitoring Coordination (MMC) section stating that a Project Biologist (Qualified Biologist) as defined in the City of San Diego’s Biological Guidelines (2012), has been retained to implement the project’s biological monitoring program. The letter shall include the names and contact information of all persons involved in the biological monitoring of the project.
- B. **Preconstruction Meeting:** The Qualified Biologist shall attend the preconstruction meeting, discuss the project’s biological monitoring program, and arrange to perform any follow up mitigation measures and reporting including site-specific monitoring, restoration or revegetation, and additional fauna/flora surveys/salvage.

- C. **Biological Documents:** The Qualified Biologist shall submit all required documentation to MMC verifying that any special mitigation reports including but not limited to, maps, plans, surveys, survey timelines, or buffers are completed or scheduled per City Biology Guidelines, Multiple Species Conservation Program (MSCP), Environmentally Sensitive Lands Ordinance (ESL), project permit conditions; California Environmental Quality Act (CEQA); endangered species acts (ESAs); and/or other local, state or federal requirements.
- D. **BCME:** The Qualified Biologist shall present a Biological Construction Mitigation/Monitoring Exhibit (BCME) which includes the biological documents in C above. In addition, include: restoration/revegetation plans, plant salvage/relocation requirements (e.g., coastal cactus wren plant salvage, burrowing owl exclusions, etc.), avian or other wildlife surveys/survey schedules (including general avian nesting and USFWS protocol), timing of surveys, wetland buffers, avian construction avoidance areas/noise buffers/ barriers, other impact avoidance areas, and any subsequent requirements determined by the Qualified Biologist and the City ADD/MMC. The BCME shall include a site plan, written and graphic depiction of the project's biological mitigation/monitoring program, and a schedule. The BCME shall be approved by MMC and referenced in the construction documents.
- E. **Avian Protection Requirements:** To avoid any direct impacts to Cooper's hawk and Nuttall's woodpecker and any avian species that is listed, candidate, sensitive, or special status in the MSCP, removal of habitat that supports active nests in the proposed area of disturbance should occur outside of the breeding season for these species (February 1 to September 15). If removal of habitat in the proposed area of disturbance must occur during the breeding season, the Qualified Biologist shall conduct a pre-construction survey to determine the presence or absence of nesting birds in the proposed area of disturbance. The pre-construction survey shall be conducted within three (3) calendar days prior to the start of construction activities (including removal of vegetation). The applicant shall submit the results of the pre-construction survey to City DSD for review and approval prior to initiating any construction activities. If nesting birds are detected, a letter report in conformance with the City's Biology Guidelines and applicable State and Federal Law (i.e., appropriate follow up surveys, monitoring schedules, construction and noise barriers/buffers, etc.) shall be prepared and include proposed measures to be implemented to ensure that take of birds or eggs or disturbance of breeding activities is avoided. The report shall be submitted to the City for review and approval and implemented to the satisfaction of the City. The City's MMC Section and Biologist shall verify and approve that all measures identified in the report are in place prior to and/or during construction.

- F. **Resource Delineation:** Prior to construction activities, the Qualified Biologist shall supervise the placement of orange construction fencing or equivalent along the limits of disturbance adjacent to sensitive biological habitats and verify compliance with any other project conditions as shown on the BCME. This phase shall include flagging plant specimens and delimiting buffers to protect sensitive biological resources (e.g., habitats/flora & fauna species, including nesting birds) during construction. Appropriate steps/care should be taken to minimize attraction of nest predators to the site.
- G. **Education:** Prior to commencement of construction activities, the Qualified Biologist shall meet with the owner/permittee or designee and the construction crew and conduct an on-site educational session regarding the need to avoid impacts outside of the approved construction area and to protect sensitive flora and fauna (e.g., explain the avian and wetland buffers, flag system for removal of invasive species or retention of sensitive plants, and clarify acceptable access routes/methods and staging areas, etc.).

II. During Construction

- A. **Monitoring:** All construction (including access/staging areas) shall be restricted to areas previously identified, proposed for development/staging, or previously disturbed as shown on "Exhibit A" and/or the BCME. The Qualified Biologist shall monitor construction activities as needed to ensure that construction activities do not encroach into biologically sensitive areas, or cause other similar damage, and that the work plan has been amended to accommodate any sensitive species located during the pre-construction surveys. In addition, the Qualified Biologist shall document field activity via the Consultant Site Visit Record (CSV). The CSV shall be e-mailed to MMC on the 1st day of monitoring, the 1st week of each month, the last day of monitoring, and immediately in the case of any undocumented condition or discovery.
- B. **Subsequent Resource Identification:** The Qualified Biologist shall note/act to prevent any new disturbances to habitat, flora, and/or fauna onsite (e.g., flag plant specimens for avoidance during access, etc). If active nests or other previously unknown sensitive resources are detected, all project activities that directly impact the resource shall be delayed until species specific local, state or federal regulations have been determined and applied by the Qualified Biologist.

III. Post Construction Measures

- A. In the event that impacts exceed previously allowed amounts, additional impacts shall be mitigated in accordance with City Biology Guidelines, ESL

and MSCP, State CEQA, and other applicable local, state and federal law. The Qualified Biologist shall submit a final BCME/report to the satisfaction of the City ADD/MMC within 30 days of construction completion.

BIO-2: DIRECT IMPACTS TO SENSITIVE BIOLOGICAL RESOURCES

Prior to Notice to Proceed (NTP) for any construction permits, including but not limited to, the first Grading Permit, Demolition Plans/Permits and Building Plans/Permits, the owner/permittee shall make payment to the City of San Diego Habitat Acquisition Fund (HAF) at a 1:1 mitigation ratio to mitigate for the loss of 0.202 acre of Southern Maritime Chaparral (Tier 1) located within the project area but outside of the Multi-Habitat Planning Area (MHPA). This fee is based on mitigation ratios, per the City of San Diego Biology Guidelines, of 1:1 ratio for mitigation that occurs inside the MHPA for impacts to Tier I habitat outside of the MHPA. Therefore, the resulting total mitigation required for direct project impacts to Southern Maritime Chaparral would be payment into the HAF for the purchase of 0.202 acre inside the MHPA at the current purchase price /acre established by the City of San Diego plus a 10 percent administrative fee.

Page 3		City of San Diego · Information Bulletin 620		May 2020
		City of San Diego Development Services		Community Planning Committee Distribution Form
Project Name: NDP -2385 Felton St. (Process 2)			Project Number: 557456	
Community: North Park Planning Committee				
<p>For project scope and contact information (project manager and applicant), log into OpenDSD at https://aca.accela.com/SANDIEGO.</p> <p>Select "Search for Project Status" and input the Project Number to access project information.</p>				
<input checked="" type="checkbox"/> Vote to Approve <input type="checkbox"/> Vote to Approve with Conditions Listed Below <input type="checkbox"/> Vote to Approve with Non-Binding Recommendations Listed Below <input type="checkbox"/> Vote to Deny				
# of Members Yes	# of Members No	# of Members Abstain		
12	0	1		
Conditions or Recommendations:				
Recommend to approve, no other comments				
<input type="checkbox"/> No Action (Please specify, e.g., Need further information, Split vote, Lack of quorum, etc.)				
NAME: Aria Pounaki				
TITLE: Chari, North Park Planning Committee			DATE: 12/23/2020	
<i>Attach additional pages if necessary (maximum 3 attachments).</i>				

Upon request, this information is available in alternative formats for persons with disabilities.

DS-5620 (08-18) ONLINE FORM

Visit our web site at www.sandiego.gov/development-services.

Upon request, this information is available in alternative formats for persons with disabilities.

DS-5620 (08-18) ONLINE FORM

	City of San Diego Development Services 1222 First Ave., MS 302 San Diego, CA 92101 (619) 446-5000	<h1>Ownership Disclosure Statement</h1>	FORM DS-318 October 2017
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Approval Type: Check appropriate box for type of approval(s) requested: Neighborhood Use Permit Coastal Development Permit
 Neighborhood Development Permit Site Development Permit Planned Development Permit Conditional Use Permit Variance
 Tentative Map Vesting Tentative Map Map Waiver Land Use Plan Amendment • Other _____

Project Title: 2385 Felton- Single Family Home **Project No. For City Use Only:** _____

Project Address: 2385 Felton Street
San Diego, CA 92104

Specify Form of Ownership/Legal Status (please check):

Corporation Limited Liability -or- General - What State? _____ Corporate Identification No. _____
 Partnership Individual

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter will be filed with the City of San Diego on the subject property with the intent to record an encumbrance against the property. Please list below the owner(s), applicant(s), and other financially interested persons of the above referenced property. A financially interested party includes any individual, firm, co-partnership, joint venture, association, social club, fraternal organization, corporation, estate, trust, receiver or syndicate with a financial interest in the application. If the applicant includes a corporation or partnership, include the names, titles, addresses of all individuals owning more than 10% of the shares. If a publicly-owned corporation, include the names, titles, and addresses of the corporate officers. (A separate page may be attached if necessary.) If any person is a nonprofit organization or a trust, list the names and addresses of **ANY** person serving as an officer or director of the nonprofit organization or as trustee or beneficiary of the nonprofit organization. A signature is required of at least one of the property owners. Attach additional pages if needed. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

Property Owner

Name of Individual: CT Dream Realty, LLC Owner Tenant/Lessee Successor Agency
 Street Address: 3033 Bunker Hill Street
 City: San Diego State: CA Zip: 92109
 Phone No.: 203-927-1419 Fax No.: _____ Email: jd@cthomesllc.com
 Signature: _____ Date: 11-16-2023
 Additional pages Attached: Yes No

Applicant

Name of Individual: CT Dream Realty, LLC Owner Tenant/Lessee Successor Agency
 Street Address: 3033 Bunker Hill Street
 City: San Diego State: CA Zip: 92109
 Phone No.: 203-927-1419 Fax No.: _____ Email: jd@cthomesllc.com
 Signature: _____ Date: 11-16-2023
 Additional pages Attached: Yes No

Other Financially Interested Persons

Name of Individual: _____ Owner Tenant/Lessee Successor Agency
 Street Address: _____
 City: _____ State: _____ Zip: _____
 Phone No.: _____ Fax No.: _____ Email: _____
 Signature: _____ Date: _____
 Additional pages Attached: Yes No

Printed on recycled paper. Visit our web site at www.sandiego.gov/development-services.
 Upon request, this information is available in alternative formats for persons with disabilities.

CT Dream Realty, LLC members:

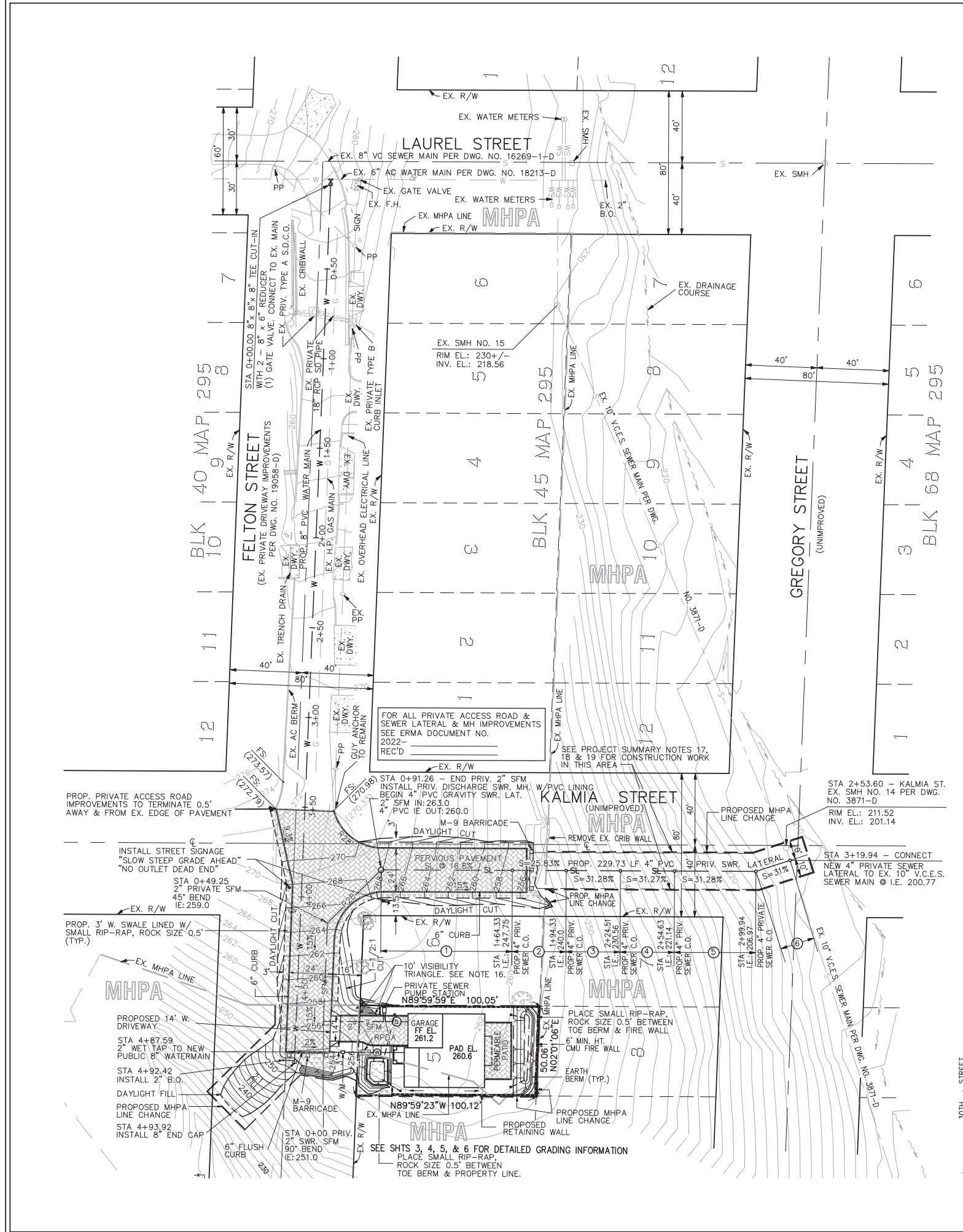
- JD Esajian
- Paul Esajian
- Than Merrill
- Konrad Sopielnikow

UPDATES	BY
09JUL2021	DBP
14SEP2021	DBP
08OCT2021	DBP
11DEC2021	DBP
12APR2022	DBP
14JUL2022	DBP
23AUG2022	DBP
12OCT2022	DBP
26OCT2022	DBP

2385 FELTON STREET
 SINGLE FAMILY RESIDENCE
 CT HOMES, LLC 3033 BUNKER HILL STREET, SAN DIEGO, CA 92109

Project Name: 2385 Felton Street Residence
 Owner: CT HOMES, LLC
 SHEET TITLE: Site Development Plan, Project Summary, BMP's Notes & Vicinity Map

DRAWN DBP
CHECKED
DATE 10-26-2022
SCALE 1" = 30'
JOB NO.
SHEET 1
1 OF 18 SHEETS



SCOPE OF WORK:

THE SCOPE OF THIS WORK SHALL CONSIST OF:
 TO CONSTRUCT A TWO-STORY 2,677 SQ. FT. SINGLE FAMILY RESIDENCE, PERFORM GRADING WITH AN EXPORT OF APPROXIMATELY 443 CY. OF SOIL MATERIAL FOR THE BUILDING PAD AND DRIVEWAY, CONSTRUCT 205 LF. OF ON-SITE CMU BLOCK WALLS, 24" W. PRIVATE PERVIOUS PAVEMENT DRIVEWAY IMPROVEMENTS ON A PORTION OF KALMIA STREET AND FELTON STREET. THE CONSTRUCTION OF 487 LF OF 8" CL 150 PUBLIC WATERMAIN, 115 LF OF 2" PVC PRIVATE SEWER FORCE MAIN LATERAL, AND 230 LF OF 4" PVC PRIVATE GRAVITY SEWER LATERAL.

PROJECT TEAM:
 PROPERTY OWNER: BUILDING DESIGNER, CIVIL & SOILS ENGINEER:
 CT HOMES, LLC APPLIED CONSULTANTS
 3033 BUNKER HILL STREET 1941-A FRIENDSHIP DRIVE
 SAN DIEGO, CA 92109 EL CAJON, CA 92020
 TEL: (619) 880-4651 TEL: (619) 258-9000

IMPERVIOUS-PERVIOUS DISTURBANCE TABLE:

PROJECT DISTURBANCE AREA:	
a) ON-SITE:	5,000.00 SQ. FT.
b) OFF-SITE:	13,743.01 SQ. FT.
TOTAL PROJECT DISTURBANCE AREA:	18,743.01 SQ. FT.
EXISTING AMOUNT OF PERVIOUS AREA:	18,743.01 SQ. FT.
EXISTING AMOUNT OF IMPERVIOUS AREA:	0.00 SQ. FT.
EXISTING AMOUNT OF PERVIOUS AREA:	18,743.01 SQ. FT.
PROPOSED AMOUNT OF IMPERVIOUS AREA:	
a) ON-SITE:	2,275.00 SQ. FT.
b) OFF-SITE:	96.00 SQ. FT.
TOTAL PROPOSED IMPERVIOUS AREA:	2,371.00 SQ. FT.
a) ON-SITE IMPERVIOUS % INCREASE:	45.5%
b) OFF-SITE IMPERVIOUS % INCREASE:	0.7%

TOPOGRAPHIC SOURCE:

THE SOURCE OF TOPOGRAPHY UTILIZED FOR THESE PLANS WAS BASED UPON A FIELD TOPOGRAPHIC SURVEY PERFORMED ON JULY 29, 2020.
 ACCURATE LAND SURVEYS
 2514 ALPINE BOULEVARD, SUITE NO. 4, ALPINE, CALIFORNIA 91901
 TELEPHONE: (619) 445-0110

BENCHMARK:

THE BASIS OF ELEVATION FOR THESE PLANS IS A CITY OF SAN DIEGO VERTICAL CONTROL MONUMENT, A BRASS BULL ON TOP OF CURB LOCATED AT THE NORTHWEST CORNER OF 33RD STREET AND JUNIPER STREET.
 ELEVATION: 281.241 NATIONAL VERTICAL GEODETIC DATUM (NGVD '29)

GRADING DATA TABLE

GRADED AREA	0.2241 [ACRES]	MAX. CUT DEPTH	5 [FT]
CUT QUANTITIES	466 [CYD]	MAX CUT SLOPE RATIO:	SEE SOILS REPORT
FILL QUANTITIES	23 [CYD]	MAX. FILL DEPTH	4 [FT]
IMPORT/EXPORT	443	MAX FILL SLOPE RATIO:	SEE SOILS REPORT
SEWER & WATER EXCAVATION:			
GRADED AREA	0.0639 [ACRES]	MAX. TRENCH DEPTH	10 [FT]
CUT QUANTITIES	504 [CYD]	MAX TRENCH WIDTH	2.5 [FT]
FILL QUANTITIES	504 [CYD]	MAX. FILL DEPTH	10 [FT]

THIS PROJECT PROPOSES TO EXPORT 443 CUBIC YARDS OF MATERIAL FROM THE SITE.

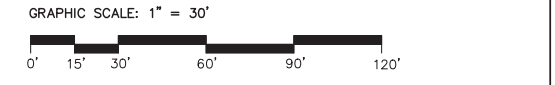
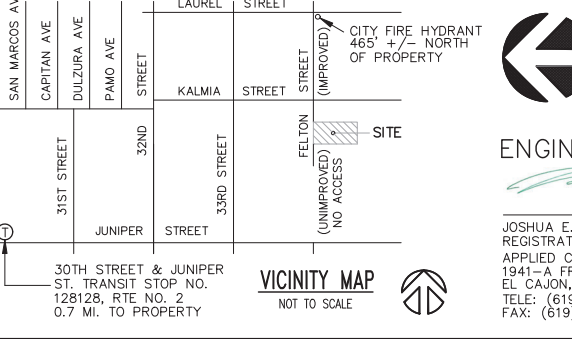
BUILDING AREA TABULATION

BUILDING AREA:	NEW:
HABITABLE	
UPPER LEVEL	1,306.00 SQ. FT.
LOWER LEVEL	1,371.00 SQ. FT.
TOTALS:	2,677.00 SQ. FT.
NON-HABITABLE	
GARAGE	407.00 SQ. FT.
BALCONY	241.00 SQ. FT.
EXTERIOR DECK	481.00 SQ. FT.
TOTALS:	1,129.00 SQ. FT.

KALMIA ST. PRIVATE 4" GRAVITY SEWER HYDRAULIC DATA SUMMARY:

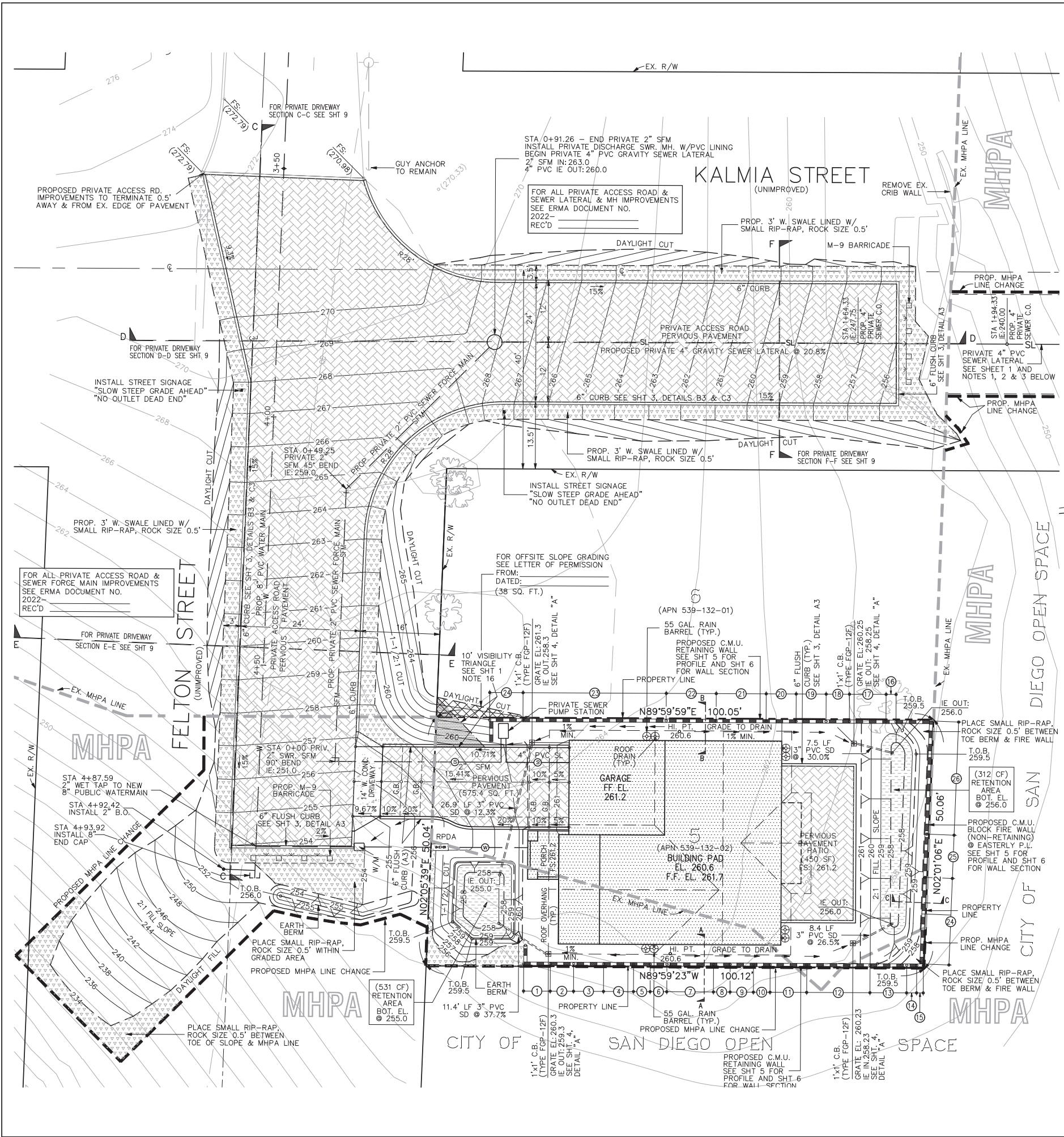
Line (Section)	Station		Population Per D.U.'s	In-Line D.U.'s	Population Served		Sewage Per Capita Per Day (gpd)	Average Dry Weather Flow	Peak Dry Weather Flow (1)	Peak Wet Weather Flow (2)	Wet Weather Flow (mgd)	Peak Wet Weather Flow (cfs)	Line Dia. (in)	Design Slope (%)	dn (ft)	dn/D	Design Velocity (ft/s)	Misc. Remarks		
	From	To			In-Line	Cumulative Total												I.E. Elev. (From)	I.E. Elev. (To)	
1	NEW SMH 0+91.26	1+64.33	3.5	1.0	3.5	3.5	80	280	5.32	1489.60	7924.67	.0095	.015	4.0	16.76	2.0	0.5	2.72	260.00	247.75
2	1+64.33	1+94.33											.015	4.0	25.83	2.0	0.5	3.38	247.75	240.00
3	1+94.33	2+24.51											.015	4.0	31.28	2.0	0.5	3.72	240.00	230.56
4	2+24.51	2+54.63											.015	4.0	31.27	2.0	0.5	3.72	230.56	221.14
5	2+54.63	2+84.36											.015	4.0	31.28	2.0	0.5	3.72	221.14	206.97
6	2+99.94	POC EX. 3+19.94											.015	4.0	31.15	2.0	0.5	3.71	206.97	200.77

NOTE: The proposed private 4" sewer lateral will only serve one (1) single family dwelling.



ENGINEER OF WORK:
 JOSHUA E. DEVERA, RCE 77618
 REGISTRATION EXPIRES 6-30-2023
 APPLIED CONSULTANTS
 1941-A FRIENDSHIP DRIVE
 EL CAJON, CA 92020
 TELE: (619) 258-9000
 FAX: (619) 258-9004





SOUTH RETAINING WALL TABULATED DATA

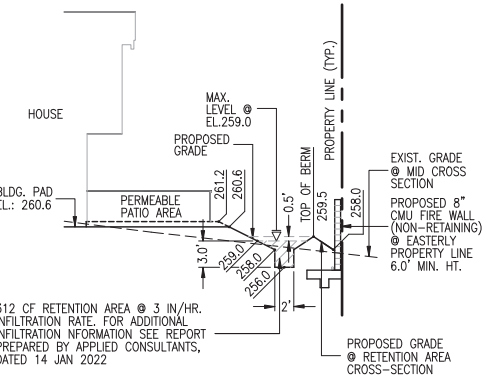
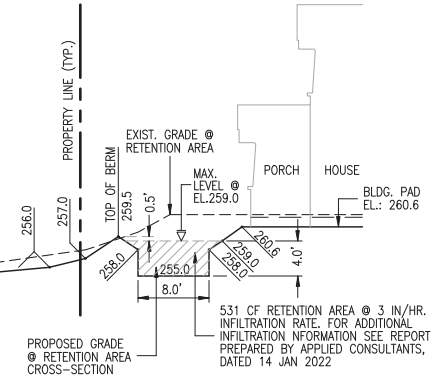
WALL SECTION	WALL LENGTH	TOP OF WALL ELEVATION	BOTTOM OF WALL ELEVATION	WALL HEIGHT
1	5.36'	258.35	255.00	3.35'
2	4.69'	259.02	255.00	4.02'
3	6.03'	259.69	255.00	4.69'
4	6.03'	260.36	255.00	5.36'
5	3.35'	261.03	255.00	6.03'
6	3.35'	261.70	255.00	6.70'
7	9.38'	262.37	255.00	7.37'
8	3.35'	261.70	255.00	6.70'
9	4.69'	261.03	255.00	6.03'
10	3.35'	260.36	255.00	5.36'
11	7.37'	259.69	255.00	4.69'
12	12.73'	259.02	255.00	4.02'
13	7.37'	258.35	255.00	3.35'
14	2.01'	257.68	255.00	2.68'
15	1.34'	257.01	255.00	2.01'

NORTH RETAINING WALL TABULATED DATA

WALL SECTION	WALL LENGTH	TOP OF WALL ELEVATION	BOTTOM OF WALL ELEVATION	WALL HEIGHT
16	2.01'	259.64	257.63	2.01'
17	7.37'	260.31	257.63	2.68'
18	4.69'	260.98	257.63	3.35'
19	6.03'	261.65	259.64	2.01'
20	6.03'	262.32	259.64	2.68'
21	10.05'	262.99	259.64	3.35'
22	10.05'	263.66	259.64	4.02'
23	28.81'	264.33	259.64	4.69'

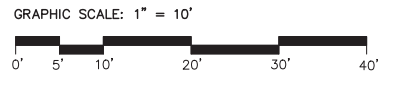
EASTERLY CMU FIRE WALL TABULATED DATA

WALL SECTION	WALL LENGTH	TOP OF WALL ELEVATION	BOTTOM OF WALL ELEVATION	WALL HEIGHT
24	17.42'	263.04	255.00	8.04'
25	8.71'	263.71	255.67	8.04'
26	22.78'	264.38	256.34	8.04'



NOTES:

1. THE MHPA BOUNDARY AND THE LIMITS OF WORK FOR THE ENTIRE PROJECT SHALL BE CLEARLY DELINEATED BY A SURVEY CREW PRIOR TO BRUSHING, CLEARING, OR GRADING. LIMITS SHALL BE DEFINED WITH ORANGE CONSTRUCTION FENCE AND SILTATION FENCE (CAN BE COMBINED) UNDER THE SUPERVISION OF THE QUALIFIED BIOLOGIST/OWNERS (CAN BE COMBINED) UNDER THE SUPERVISION OF THE QUALIFIED BIOLOGIST/OWNERS REPRESENTATIVE WHO SHALL PROVIDE A LETTER OF VERIFICATION TO THE CITY THAT ALL LIMITS WERE MARKED AS REQUIRED. THE FENCE SHALL STAY IN PLACE AND BE PROPERLY MAINTAINED UNTIL PROJECT COMPLETION IN ORDER TO AVOID INADVERTENT IMPACTS TO MHPA AND SENSITIVE BIOLOGICAL RESOURCES DURING CONSTRUCTION.
2. TO MINIMIZE DISTURBANCE OF THE EXISTING STEEP SLOPES AND DENSE VEGETATION, THE PROPOSED 4" SEWER LATERAL WILL BE INSTALLED WITHIN A TRENCH WIDTH NO GREATER THAN 2.5'.
3. THE USE OF LARGE, HEAVY EQUIPMENT WITHIN THE AREA OF THE PROPOSED 4" SEWER LATERAL IS TO BE MINIMIZED AS MUCH AS POSSIBLE.



ENGINEER OF WORK:

JOSHUA E. DEVERA, RCE 77618
 REGISTRATION EXPIRES 6-30-2023
 APPLIED CONSULTANTS
 1941-A FRIENDSHIP DRIVE
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UPDATES

DATE	BY
09JUL2021	DBP
14SEP2021	DBP
08OCT2021	DBP
01DEC2021	DBP
12APR2022	DBP
14JUL2022	DBP
23AUG2022	DBP
12OCT2022	DBP
26OCT2022	DBP

2385 FELTON STREET
 SINGLE FAMILY RESIDENCE
 CT HOMES, LLC 3033 BUNKER HILL STREET, SAN DIEGO, CA 92109

Project Name: 2385 Felton Street Residence
 Owner: CT HOMES, LLC
 SHEET TITLE:
 Site Grading Plan

DRAWN	DBP
CHECKED	
DATE	10-28-2022
SCALE	1" = 10'
JOB NO.	
SHEET	2
2 OF 18	SHEETS

UPDATES	BY
09JUL2021	DBP
14SEP2021	DBP
08OCT2021	DBP
11DEC2021	DBP
12APR2022	DBP
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23AUG2022	DBP
26OCT2022	DBP

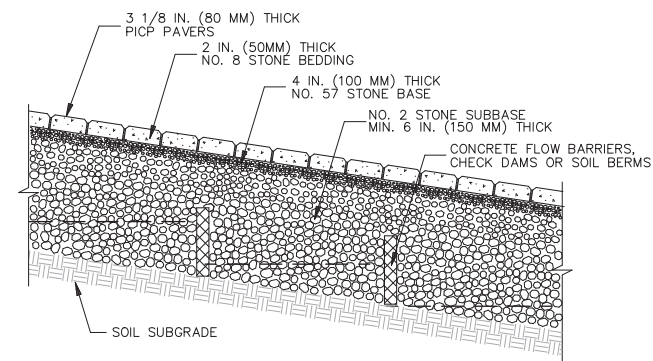
2385 FELTON STREET

SINGLE FAMILY RESIDENCE
CT HOMES, LLC 3033 BUNKER HILL STREET, SAN DIEGO, CA 92109

Project Name: 2385 Felton Street Residence
Owner: CT HOMES, LLC

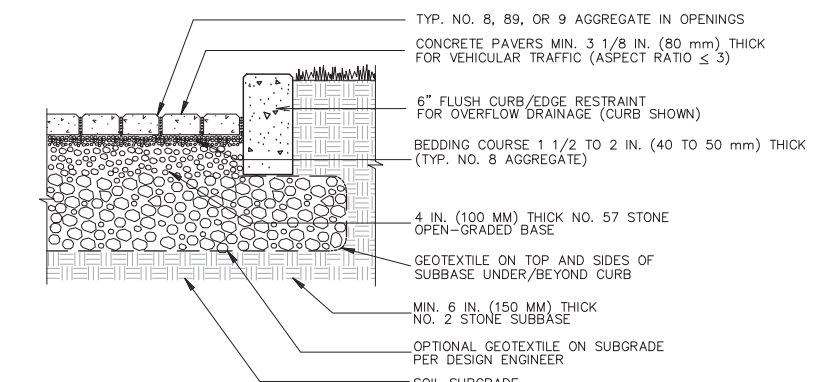
SHEET TITLE:
Site Grading Plan Details - Driveway Profile, Pervious Pavement Cross-Sections

DRAWN DBP
CHECKED
DATE 10-28-2022
SCALE VARIES
JOB NO.
SHEET 3



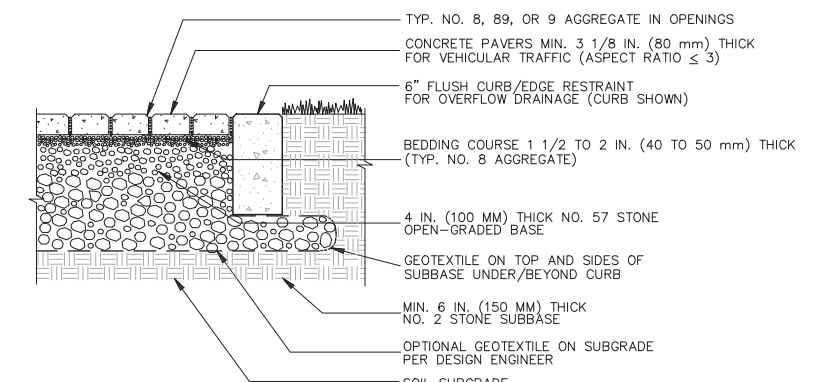
- NOTES:
1. FLOW BARRIERS REQUIRE SLOW FLOWING DRAINAGE TO EACH DOWN SLOPE AREA.
 2. REQUIRED STRUCTURAL THICKNESS IS FROM TOP OF PAVERS TO TOP OF FLOW BARRIERS.

C
3 PERMEABLE PAVEMENT ON SLOPED SUBGRADE
NO SCALE



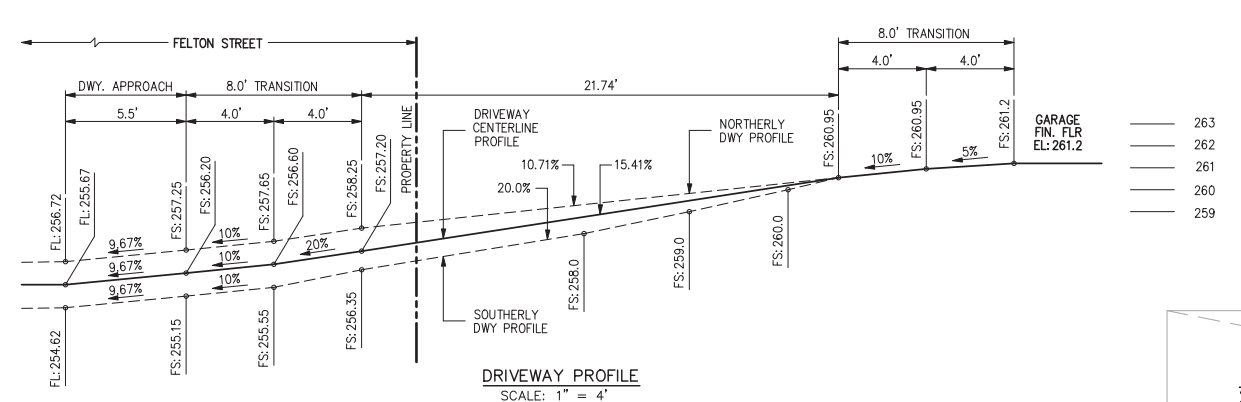
- NOTES:
1. 2 3/8 IN. (60 MM) THICK PAVERS MAY BE USED IN PEDESTRIAN AND RESIDENTIAL APPLICATIONS.
 2. NO. 2 STONE SUBBASE THICKNESS VARIES WITH DESIGN. CONSULT ICPI PERMEABLE INTERLOCKING CONCRETE PAVEMENT MANUAL.
 3. NO. 2 STONE MAY BE SUBSTITUTED WITH NO.3 OR NO.4 STONE.

B
3 PERMEABLE PAVEMENT WITH FULL INFILTRATION TO SOIL SUBGRADE
(OFF-SITE DRIVEWAY FELTON & KALMIA STREET)
NO SCALE

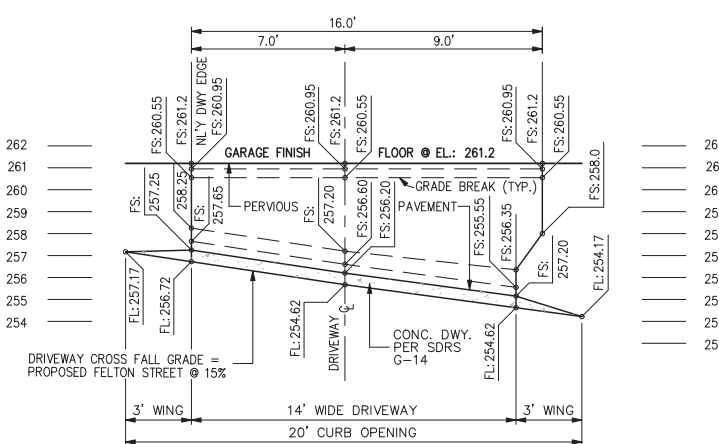


- NOTES:
1. 2 3/8 IN. (60 MM) THICK PAVERS MAY BE USED IN PEDESTRIAN AND RESIDENTIAL APPLICATIONS.
 2. NO. 2 STONE SUBBASE THICKNESS VARIES WITH DESIGN. CONSULT ICPI PERMEABLE INTERLOCKING CONCRETE PAVEMENT MANUAL.
 3. NO. 2 STONE MAY BE SUBSTITUTED WITH NO.3 OR NO.4 STONE.

A
3 PERMEABLE PAVEMENT WITH FULL INFILTRATION TO SOIL SUBGRADE
(ON-SITE DRIVEWAY EDGE)
NO SCALE

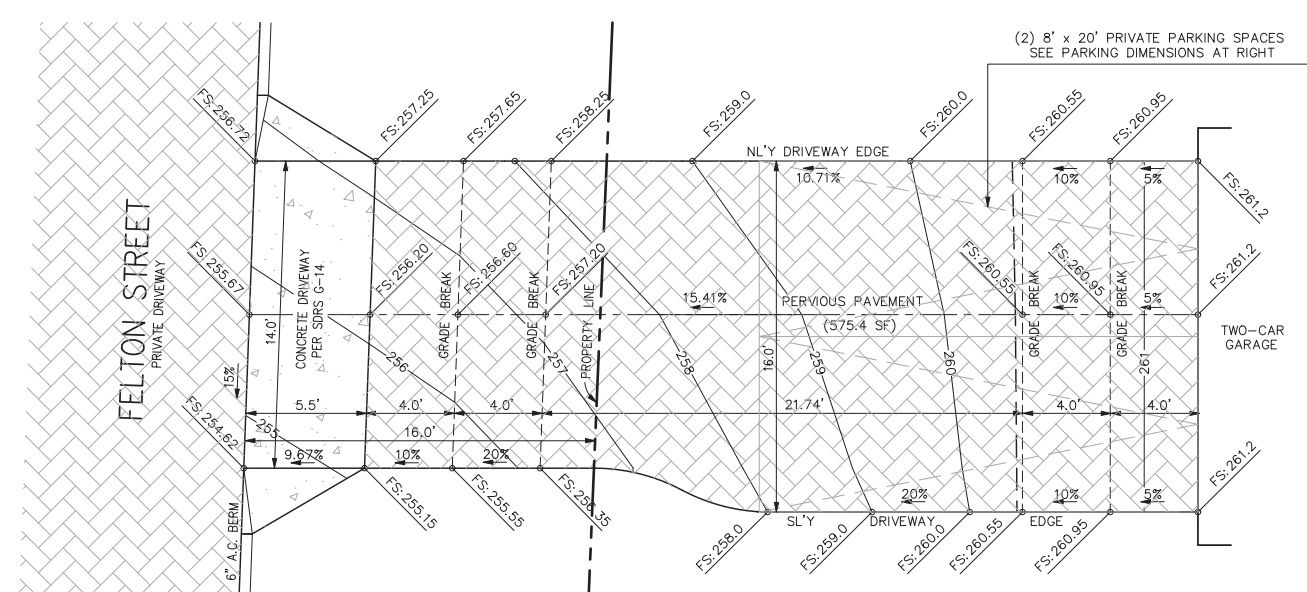


DRIVEWAY PROFILE
SCALE: 1" = 4'

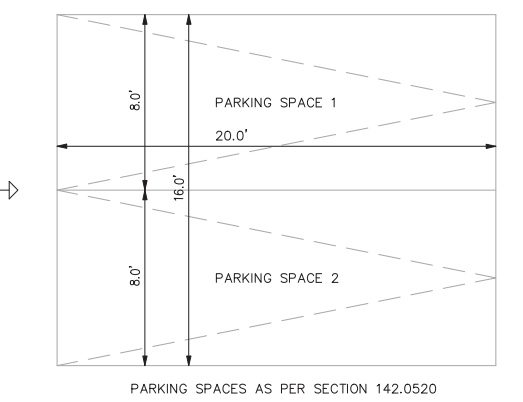


DRIVEWAY CROSS SECTION @ PROPERTY LINE
SCALE: 1" = 4'

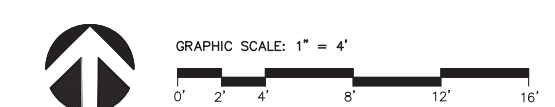
NOTE: FOR PRIVATE ACCESS ROAD CROSS SECTIONS OF FELTON STREET & KALMIA STREET SEE SHEET 9



DRIVEWAY PLAN VIEW
SCALE: 1" = 4'



PARKING SPACES AS PER SECTION 142.0520



ENGINEER OF WORK:

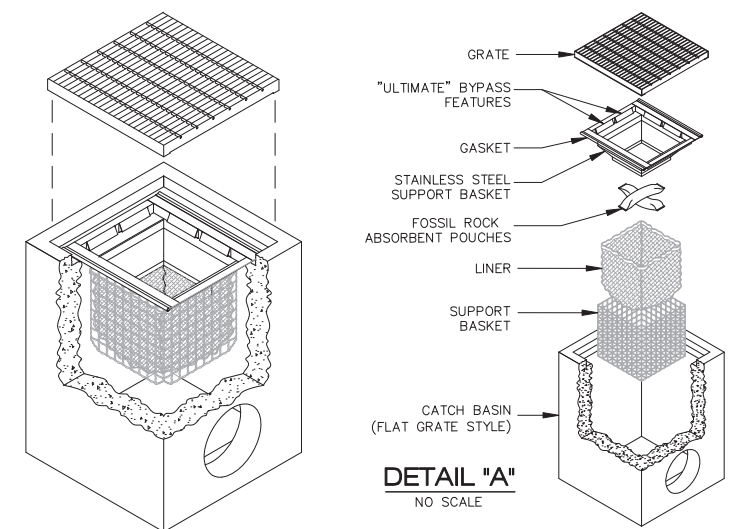
JOSHUA E. DEVERA, RCE 77618
REGISTRATION EXPIRES 6-30-2023
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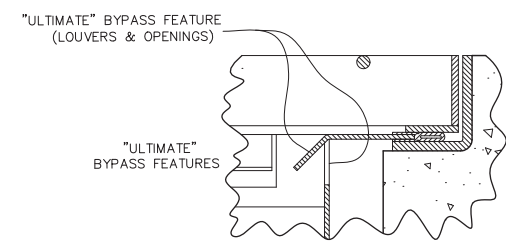
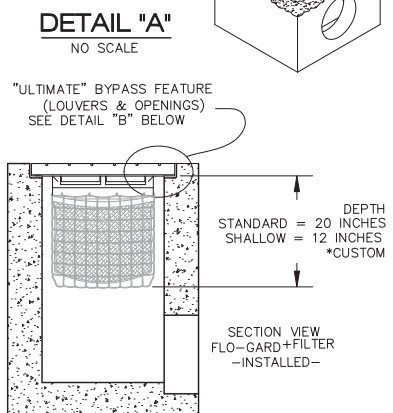
DATE

UPDATES	BY
23AUG2022	DBP
26OCT2022	DBP

MODEL NO.	STANDARD DEPTH		STANDARD DEPTH		
	(Data in these columns are for the STANDARD versions)		-20 inches-		
STANDARD DEPTH	INLET ID Inside Dimension (in. x in.)	GRATE OD Outside Dimension (in. x in.)	TOTAL BYPASS CAPACITY (cu.ft./sec.)	SOLIDS STORAGE CAPACITY (cu. ft.)	FILTERED FLOW (cu.ft./sec.)
FGP-12F	12 X 12	12 X 14	2.8	0.3	0.4



**FLOGARD+PLUS
CATCH BASIN FILTER INSERT (PVT)**
-INSTALLED INTO CATCH BASIN-
(FLAT GRATED INLET STYLE)
U.S. PATENT NO. 6,000,023 & 6,877,029



DETAIL "B"
NO SCALE

- NOTES:
1. FLOGARD +PLUS (FRAME MOUNT) HIGH CAPACITY CATCH BASIN INSERTS ARE AVAILABLE IN MOST SIZES AND STYLES SEE SPECIFIER CHART.
 2. FILTER INSERT SHALL HAVE BOTH AND "INITIAL" FILTERING BYPASS AND "ULTIMATE" HIGH FLOW BYPASS FEATURE.
 3. FILTER SUPPORT FRAME SHALL BE CONSTRUCTED FROM STAINLESS STEEL TYPE 304.
 4. ALLOW A MINIMUM OF 2.0 FEET, OF CLEARANCE BETWEEN THE BOTTOM OF THE GRATE AND TOP OF OUTLET PIPE(S), OR REFER TO THE FLOGARD INSERT FOR "SHALLOW" INSTALLATIONS.
 5. FILTER MEDIUM SHALL BE FOSSIL ROCK INSTALLED AND MAINTAINED IN ACCORDANCE WITH MANUFACTURER SPECIFICATIONS.
 6. STORAGE CAPACITY REFLECTS 80% OF MAXIMUM SOLIDS COLLECTION PRIOR TO IMPEDING FILTERING BYPASS.
 7. FILTERED FLOW RATE INCLUDES A SAFETY FACTOR OF TWO.

Source Control BMP Checklist for Standard Projects		Form I-4A	
All development projects must implement source control BMPs. Refer to Chapter 4 and Appendix E of the BMP Design Manual for information to implement BMPs shown in this checklist. Note: All selected BMPs must be shown on the construction plans.			
Source Control Requirement	Applied ⁽¹⁾		
4.2.1 Prevention of Illicit Discharges into the MS4	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
4.2.2 Storm Drain Stenciling or Signage	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input checked="" type="checkbox"/> N/A
4.2.3 Protect Outdoor Materials Storage Areas from Rainfall, Run-On, Runoff, and Wind Dispersal	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
4.2.4 Protect Materials Stored in Outdoor Work Areas from Rainfall, Run-On, Runoff, and Wind Dispersal	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
4.2.5 Protect Trash Storage Areas from Rainfall, Run-On, Runoff, and Wind Dispersal	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
4.2.6 BMPs based on Potential Sources of Runoff Pollutants			
On site storm drain inlets	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input checked="" type="checkbox"/> N/A
Interior floor drains and elevator shaft sump pumps	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input checked="" type="checkbox"/> N/A
Interior parking garages	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input checked="" type="checkbox"/> N/A
Need for future indoor & structural pest control	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input checked="" type="checkbox"/> N/A
Landscape/Outdoor Pesticide Use	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
Pools, spas, ponds, decorative fountains, and other water features	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input checked="" type="checkbox"/> N/A
Food service	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input checked="" type="checkbox"/> N/A
Refuse areas	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input checked="" type="checkbox"/> N/A
Industrial processes	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input checked="" type="checkbox"/> N/A
Outdoor storage of equipment or materials	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input checked="" type="checkbox"/> N/A
Vehicle/Equipment Repair and Maintenance	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input checked="" type="checkbox"/> N/A
Fuel Dispensing Areas	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input checked="" type="checkbox"/> N/A
Loading Docks	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input checked="" type="checkbox"/> N/A
Fire Sprinkler Test Water	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input checked="" type="checkbox"/> N/A
Miscellaneous Drain or Wash Water	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input checked="" type="checkbox"/> N/A
Plazas, sidewalks, and parking lots	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input checked="" type="checkbox"/> N/A
SC-6A: Large Trash Generating Facilities	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input checked="" type="checkbox"/> N/A
SC-6B: Animal Facilities	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input checked="" type="checkbox"/> N/A
SC-6C: Plant Nurseries and Garden Centers	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input checked="" type="checkbox"/> N/A
SC-6D: Automotive Facilities	<input type="checkbox"/> Yes	<input type="checkbox"/> No	<input checked="" type="checkbox"/> N/A
Discussion / justification for all "No" answers shown above:			

The City of San Diego | Storm Water Standards
Form I-4A | January 2018 Edition



Site Design BMP Checklist for Standard Projects		Form I-5A	
All development projects must implement site design BMPs. Refer to Chapter 4 and Appendix E of the BMP Design Manual for information to implement BMPs shown in this checklist. Note: All selected BMPs must be shown on the construction plans.			
Site Design Requirement	Applied ⁽¹⁾		
4.3.1 Maintain Natural Drainage Pathways and Hydrologic Features	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
4.3.2 Conserve Natural Areas, Soils, and Vegetation	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
4.3.3 Minimize Impervious Area	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
4.3.4 Minimize Soil Compaction	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
4.3.5 Impervious Area Dispersion	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
4.3.6 Runoff Collection	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
4.3.7 Landscaping with Native or Drought Tolerant Species	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
4.3.8 Harvest and Use Precipitation	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	<input type="checkbox"/> N/A
Discussion / justification for all "No" answers shown above:			

- ⁽¹⁾ Answer for each source control and site design category shall be pursuant to the following:
- "Yes" means the project will implement the BMP as described in Chapter 4 and/or Appendix E of the BMP Design Manual. Discussion / justification is not required.
 - "No" means the BMP is applicable to the project but it is not feasible to implement. Discussion / justification must be provided.
 - "N/A" means the BMP is not applicable at the project site because the project does not include the feature that is addressed by the BMP (e.g., the project has no outdoor materials storage areas). Discussion / justification may be provided.

The City of San Diego | Storm Water Standards
Form I-5A | January 2018 Edition



STORM WATER STANDARDS NOTES:

1. THIS IS A STANDARD DEVELOPMENT PROJECT, FOR SOURCE CONTROL BMP CHECKLIST, FORM I-4A AND SITE DESIGN BMP CHECKLIST, FORM I-5A ABOVE.
2. PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITEE SHALL ENTER INTO A MAINTENANCE AGREEMENT FOR THE ONGOING PERMANENT BMP MAINTENANCE, SATISFACTORY THE CITY ENGINEER.
3. PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITEE SHALL INCORPORATE ANY CONSTRUCTION BEST MANAGEMENT PRACTICES NECESSARY TO COMPLY WITH CHAPTER 14, ARTICLE 2, DIVISION 1 (GRADING REGULATIONS) OF THE SAN DIEGO MUNICIPAL CODE, INTO THE CONSTRUCTION PLANS OR SPECIFICATIONS.
4. PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITEE SHALL SUBMIT A WATER POLLUTION CONTROL PLAN (WPCP). THE WPCP SHALL BE PREPARED IN ACCORDANCE WITH THE GUIDELINES IN PART 2 CONSTRUCTION BMP STANDARDS CHAPTER 4 OF THE CITY'S STORM WATER STANDARDS.

2385 FELTON STREET
SINGLE FAMILY RESIDENCE
CT HOMES, LLC 3033 BUNKER HILL STREET, SAN DIEGO, CA 92109

Project Name: 2385 Felton Street Residence
Owner: CT HOMES, LLC
SHEET TITLE :
Site Grading Plan Details - Storm Drain Catch Basin & Standard Project Checklist, Form I-4A & Form I-5A

ENGINEER OF WORK:

JOSHUA E. DEVERA, RCE 77618
REGISTRATION EXPIRES 6-30-2023
APPLIED CONSULTANTS
1941-A FRIENDSHIP DRIVE
EL CAJON, CA 92020
TELE: (619) 258-9000
FAX: (619) 258-9004

DATE



DRAWN DBP CHECKED
DATE 10-28-2022
SCALE NO SCALE
JOB NO.
SHEET 4
3 OF 18 SHEETS

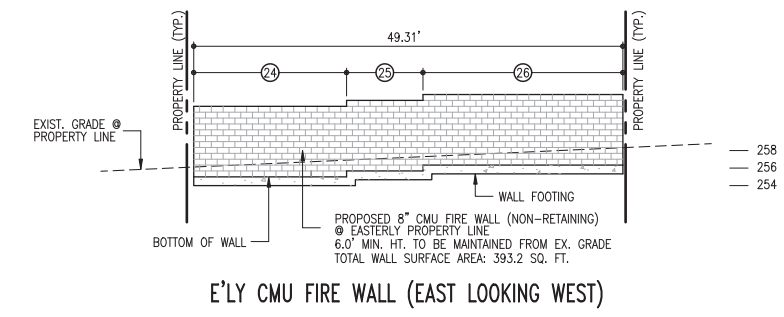
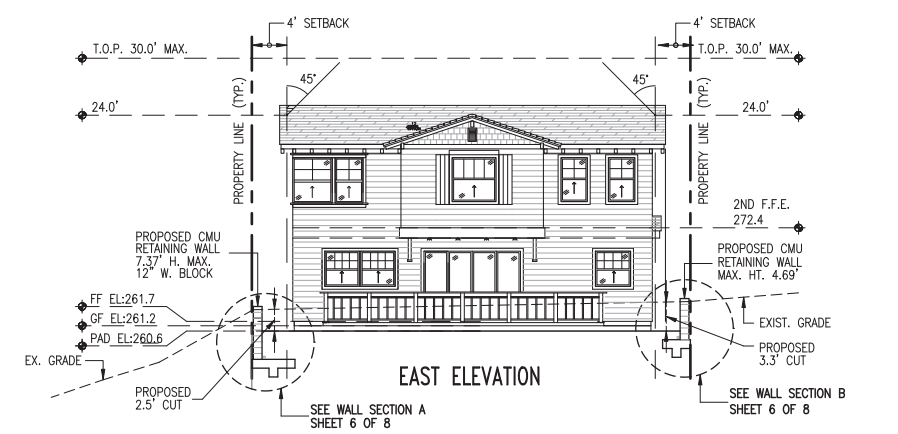
UPDATES	BY
09JUL2021	DBP
11DEC2021	DBP
12APR2022	DBP
14JUL2022	DBP
23AUG2022	DBP
26OCT2022	DBP
11FEB2023	DBP
13FEB2023	DBP

2385 FELTON STREET

SINGLE FAMILY RESIDENCE
CT HOMES, LLC 3033 BUNKER HILL STREET, SAN DIEGO, CA 92109

Project Name: 2385 Felton Street Residence
Owner: CT HOMES, LLC

SHEET TITLE:
Building Elevations & Retaining Wall Profiles



SOUTHERLY RETAINING WALL TABULATED DATA				
WALL SECTION	WALL LENGTH	TOP OF WALL ELEVATION	BOTTOM OF WALL ELEVATION	WALL HEIGHT
1	5.36'	258.35	256.34	3.35'
2	4.69'	259.02	256.34	4.02'
3	6.03'	259.69	256.34	4.69'
4	6.03'	260.36	256.34	5.36'
5	3.35'	261.03	256.34	6.03'
6	3.35'	261.70	256.34	6.70'
7	9.38'	262.37	256.34	7.37'
8	3.35'	261.70	256.34	6.70'
9	4.69'	261.03	256.34	6.03'
10	3.35'	260.36	256.34	5.36'
11	7.37'	259.69	256.34	4.69'
12	12.73'	259.02	255.67	4.02'
13	7.37'	258.35	255.00	3.35'
14	2.01'	257.68	255.00	2.68'
15	1.34'	257.01	255.00	2.01'

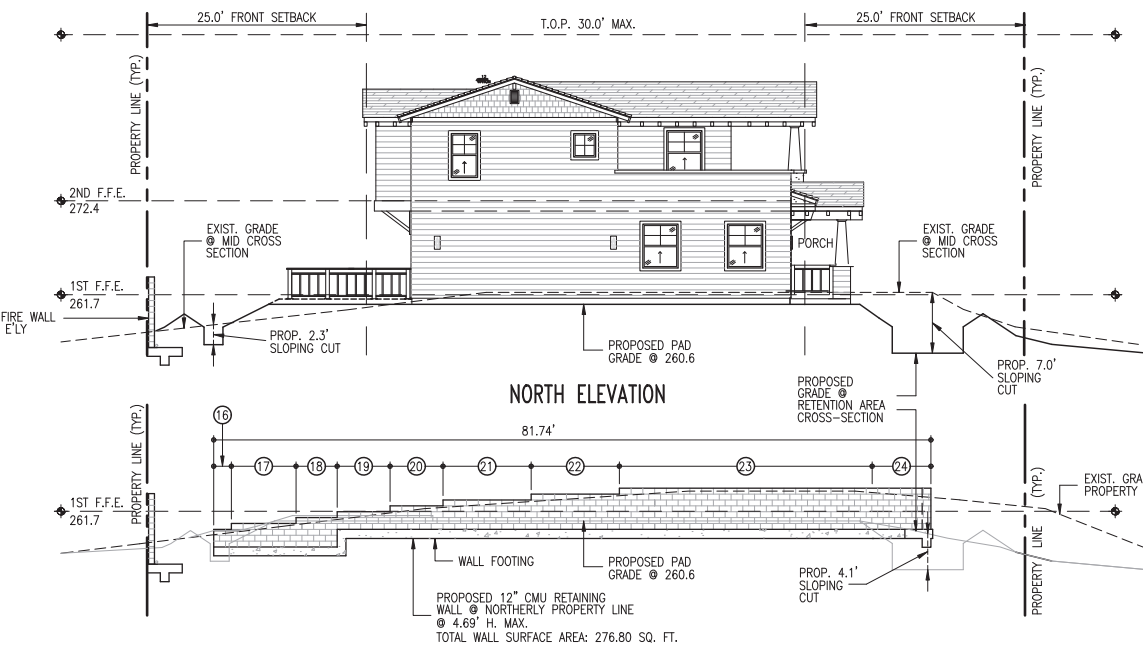
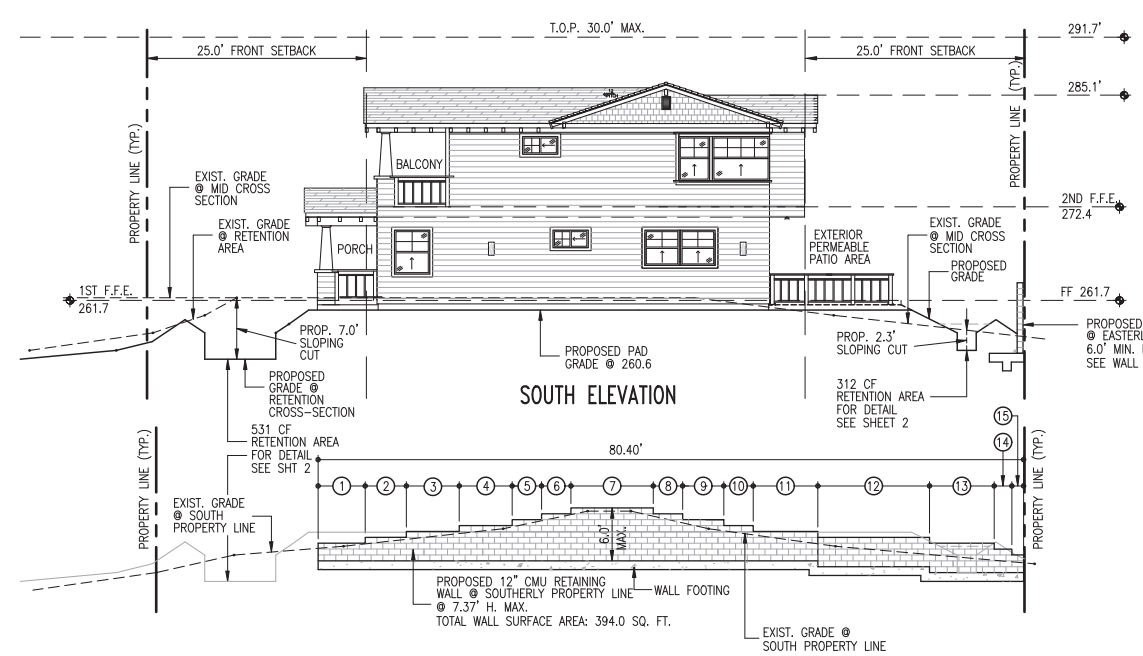
TOTAL WALL LENGTH: 80.40'

NORTHERLY RETAINING WALL TABULATED DATA				
WALL SECTION	WALL LENGTH	TOP OF WALL ELEVATION	BOTTOM OF WALL ELEVATION	WALL HEIGHT
16	2.01'	259.64	257.63	2.01'
17	7.37'	260.31	257.63	2.68'
18	4.69'	260.98	257.63	3.35'
19	6.03'	261.65	259.64	2.01'
20	6.03'	262.32	259.64	2.68'
21	10.05'	262.99	259.64	3.35'
22	10.05'	263.66	259.64	4.02'
23	28.81'	264.33	259.64	4.69'
24	6.70'	264.33	259.64	4.69'

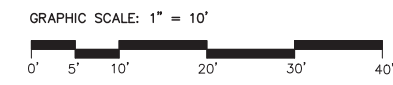
TOTAL WALL LENGTH: 81.74'

EASTERLY CMU FIRE WALL TABULATED DATA				
WALL SECTION	WALL LENGTH	TOP OF WALL ELEVATION	BOTTOM OF WALL ELEVATION	WALL HEIGHT
24	17.42'	263.04	255.00	8.04'
25	8.71'	263.71	255.67	8.04'
26	22.78'	264.38	256.34	8.04'

TOTAL WALL LENGTH: 49.31'



- BUILDING FIRE PREVENTION NOTES:**
- 1) BUILDING DECKS WILL BE FIRE RETARDANT.
 - 2) BUILDING EAVES AND WALLS TO BE FIRE RATED. (E.G.-STUCCO)
 - 3) PERIMETER FENCING IF INSTALLED SHALL BE NON-COMBUSTIBLE. (E.G. - METAL & CABLE RAILING)



ENGINEER OF WORK:

JOSHUA E. DEVERA, RCE 77618
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FAX: (619) 258-9004

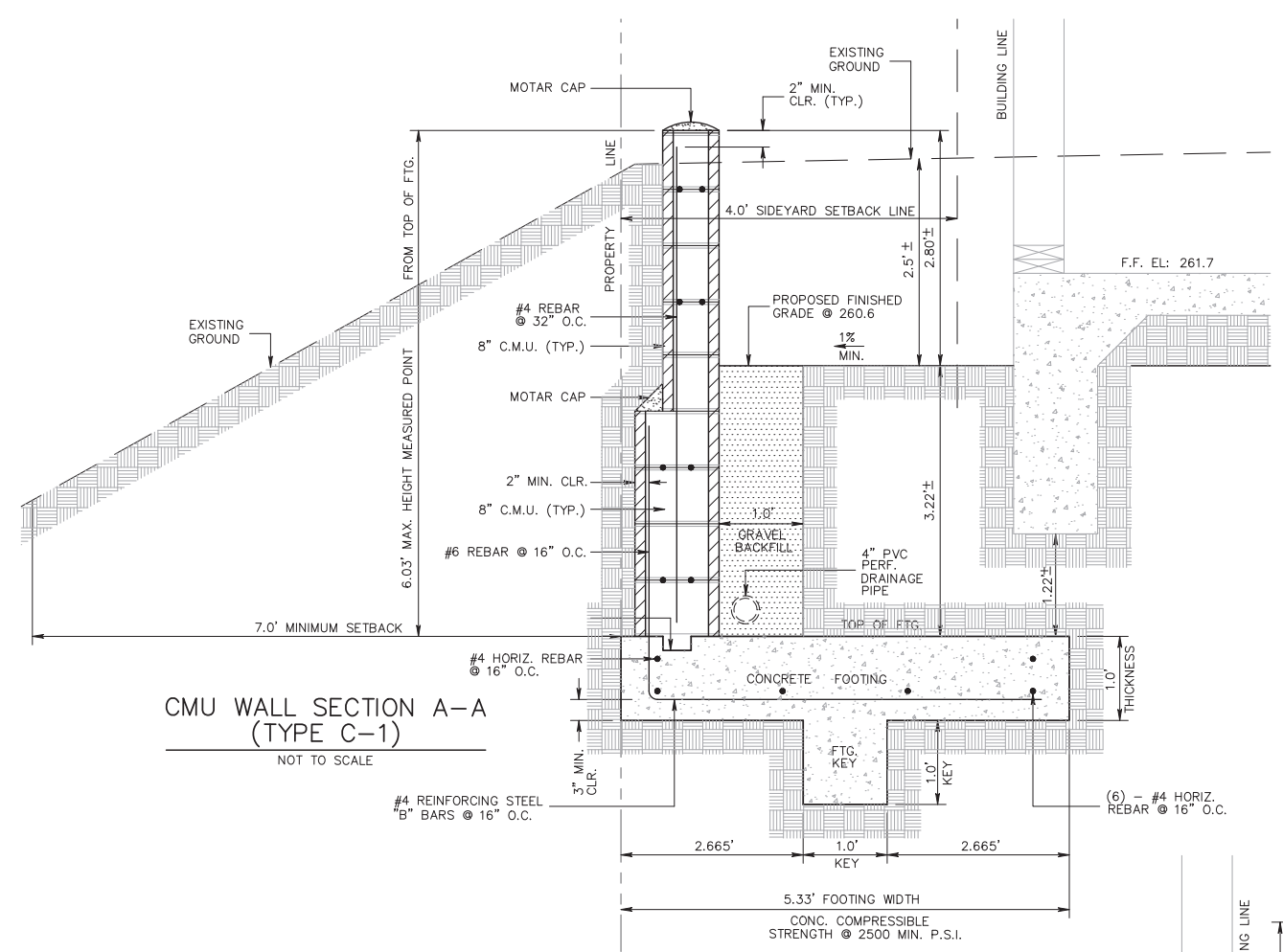
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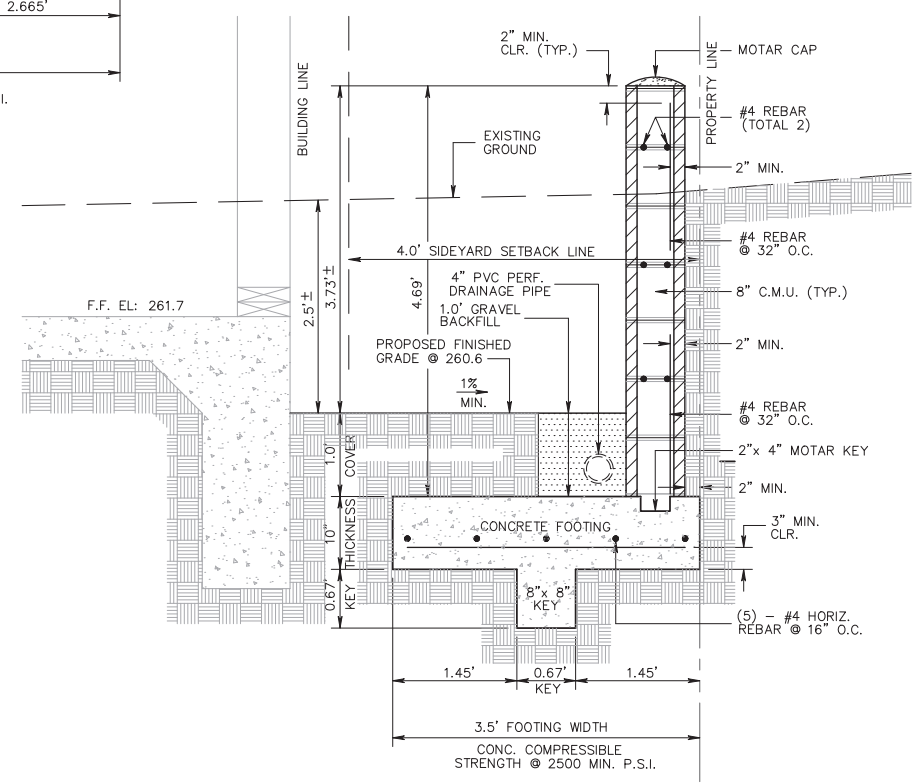
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CHECKED
DATE 02-13-2023
SCALE 1" = 10'
JOB NO.
SHEET 5

5 OF 18 SHEETS

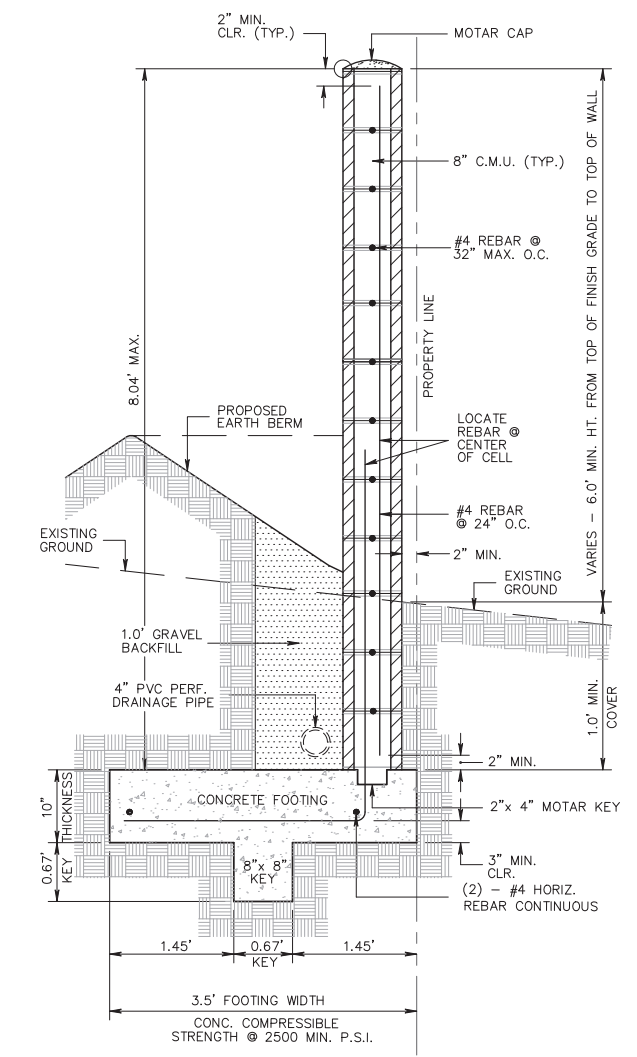
UPDATES	BY
12JUL2022	DBP
26OCT2022	DBP



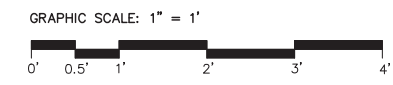
CMU WALL SECTION A-A
(TYPE C-1)
NOT TO SCALE



CMU WALL SECTION B-B
(TYPE C-1)
NOT TO SCALE



CMU FIRE WALL SECTION C-C
FREE-STANDING / NON-RETAINING
NOT TO SCALE



ENGINEER OF WORK:
 JOSHUA E. DEVERA, RCE 77618
 REGISTRATION EXPIRES 6-30-2023
 APPLIED CONSULTANTS
 1941-A FRIENDSHIP DRIVE
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2385 FELTON STREET
 SINGLE FAMILY RESIDENCE
 CT HOMES, LLC 3033 BUNKER HILL STREET, SAN DIEGO, CA 92109

Project Name: 2385 Felton Street Residence
 Owner: CT HOMES, LLC
 SHEET TITLE:
 Retaining Wall Sections "A" & "B"

DRAWN DBP
CHECKED
DATE 10-28-2022
SCALE NO SCALE
JOB NO.
SHEET 6
6 OF 18 SHEETS

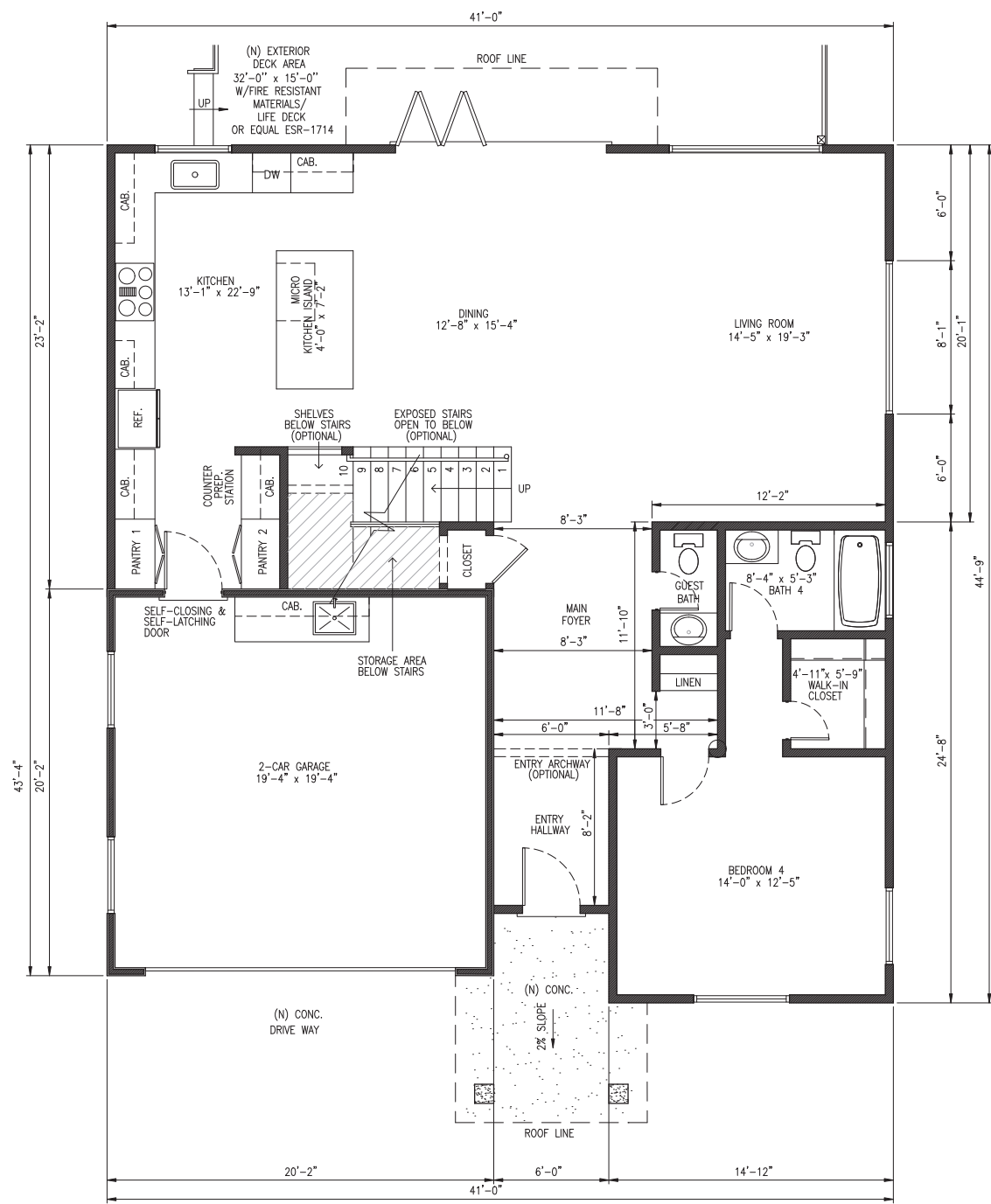
ATTACHMENT 9

UPDATES	BY
09JUL2021	DBP
11DEC2021	DBP
26OCT2022	DBP
13FEB2023	DBP

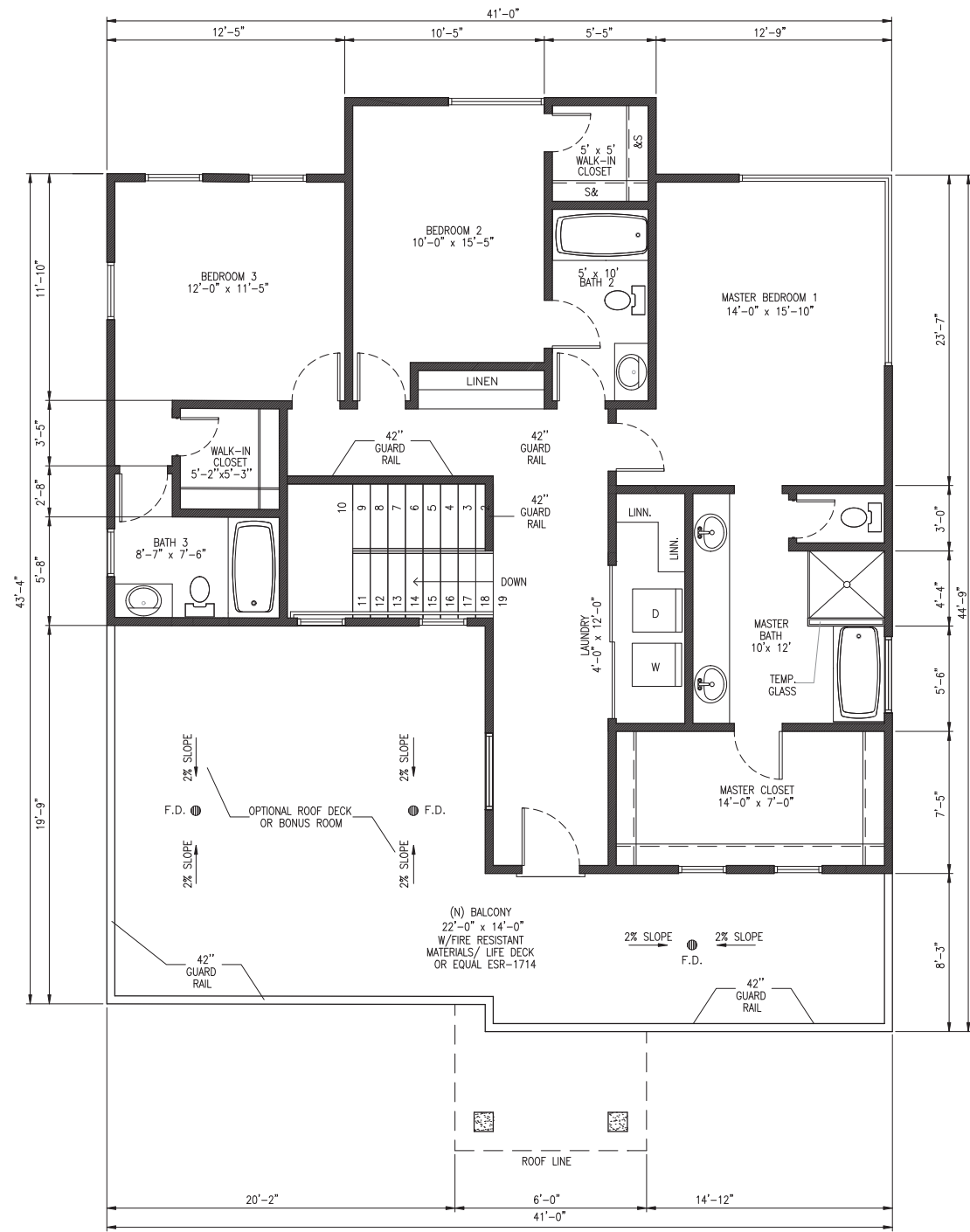
2385 FELTON STREET
 SINGLE FAMILY RESIDENCE
 CT HOMES, LLC 3033 BUNKER HILL STREET, SAN DIEGO, CA 92109

Project Name: 2385 Felton Street Residence
 Owner: CT HOMES, LLC
 SHEET TITLE:
 Building Floor Plans

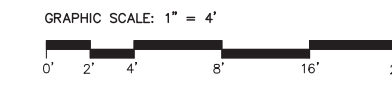
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CHECKED
DATE 02-13-2023
SCALE 1" = 4'
JOB NO.
SHEET 7
7 OF 18 SHEETS



1ST LEVEL FLOOR PLAN



2ND LEVEL FLOOR PLAN



ENGINEER OF WORK:

JOSHUA E. DEVERA, RCE 77618
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 APPLIED CONSULTANTS
 1941-A FRIENDSHIP DRIVE
 EL CAJON, CA 92020
 TELE: (619) 258-9000
 FAX: (619) 258-9004

DATE _____



UPDATES	BY
09JUL2021	DBP
29NOV2021	DBP
11DEC2021	DBP
12APR2022	DBP
26OCT2022	DBP

2385 FELTON STREET
 SINGLE FAMILY RESIDENCE
 CT HOMES, LLC 3033 BUNKER HILL STREET, SAN DIEGO, CA 92109

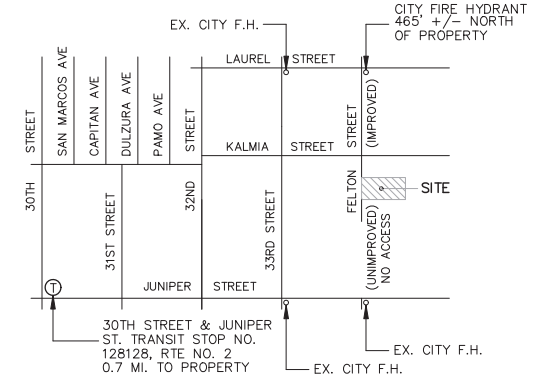
Project Name: 2385 Felton Street Residence
 Owner: CT HOMES, LLC
 SHEET TITLE:
 Fire Access Plan & Existing Fire Hydrant Locations

DRAWN DBP
CHECKED
DATE 10-26-2022
SCALE 1" = 60'
JOB NO.
SHEET 8
8 OF 18 SHEETS

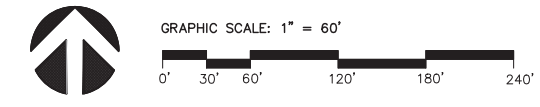
FIRE ACCESS PLAN NOTES:

- ALL EXISTING AND/OR PROPOSED FIRE HYDRANTS WITHIN 600' OF THE PROJECT SITE AND A 300' RADIUS OVERLAY SHALL BE SHOWN TO ENCOMPASS ALL PORTIONS OF ALL STRUCTURES AS PART OF SUBMITTED PROJECT. SD ORDINANCE 17927.
- ALL REQUIRE HOSE PULLS ARE SHOWN TO REACH ALL PORTIONS OF THE EXTERIOR OF THE EXTERIOR OF THE BUILDING(S) PER POLICY A-14-1/ HOSE PULL IS MEASURED FROM THE FIRE APPARATUS (ENGINE) WHEN THE FIRE ENGINE IS IN A FIRE ACCESS ROAD/LANE. HOSE PULL CAN BE MEASURED FROM MULTIPLE LOCATIONS WITHIN THE ACCESS ROAD/LANE. THE HOSE PULLS MUST CONNECT OR OVERLAP TO SHOW COMPLETE COVERAGE. FOR A SPRINKLERED BUILDING(S); THE MAXIMUM HOSE PULL IS 200'. FOR NON-SPRINKLERED BUILDING(S); THE MAXIMUM HOSE PULL IS 150'. CHARGE IN VERTICAL ELEVATION MUST ALSO BE ACCOUNTED FOR.
- THERE ARE (4) EXISTING FIRE HYDRANTS LOCATED WITHIN 600' FROM THE PROJECT SITE. THERE LOCATIONS ARE AS FOLLOWS:
 - SE CORNER OF THE LAUREL STREET & 33RD STREET INTERSECTION
 - SE CORNER OF THE LAUREL STREET & FELTON STREET INTERSECTION
 - SE CORNER OF THE JUNIPER STREET & 33RD STREET INTERSECTION
 - SE CORNER OF THE JUNIPER STREET & FELTON STREET INTERSECTION
- THE MEASURED HOSE-PULLS FROM THE FIRE APPARATUS (ENGINE) TO THE REAR OF THE PROPOSED STRUCTURE IS AS FOLLOWS:
 - NORTH HOSE-PULL LENGTH @ 113'
 - SOUTH HOSE-PULL LENGTH @ 145'
- THE NEAREST EXISTING FIRE HYDRANT IS LOCATED APPROXIMATELY 465' NORTH OF THE PROJECT SITE ALONG FELTON STREET.
- ANY HAMMERHEAD / TURNAROUND / CUL-DE-SAC SHALL BE PROVIDED IN ACCORDANCE WITH APPENDIX "D" CFC, FIGURE D103.1

VICINITY MAP
NOT TO SCALE

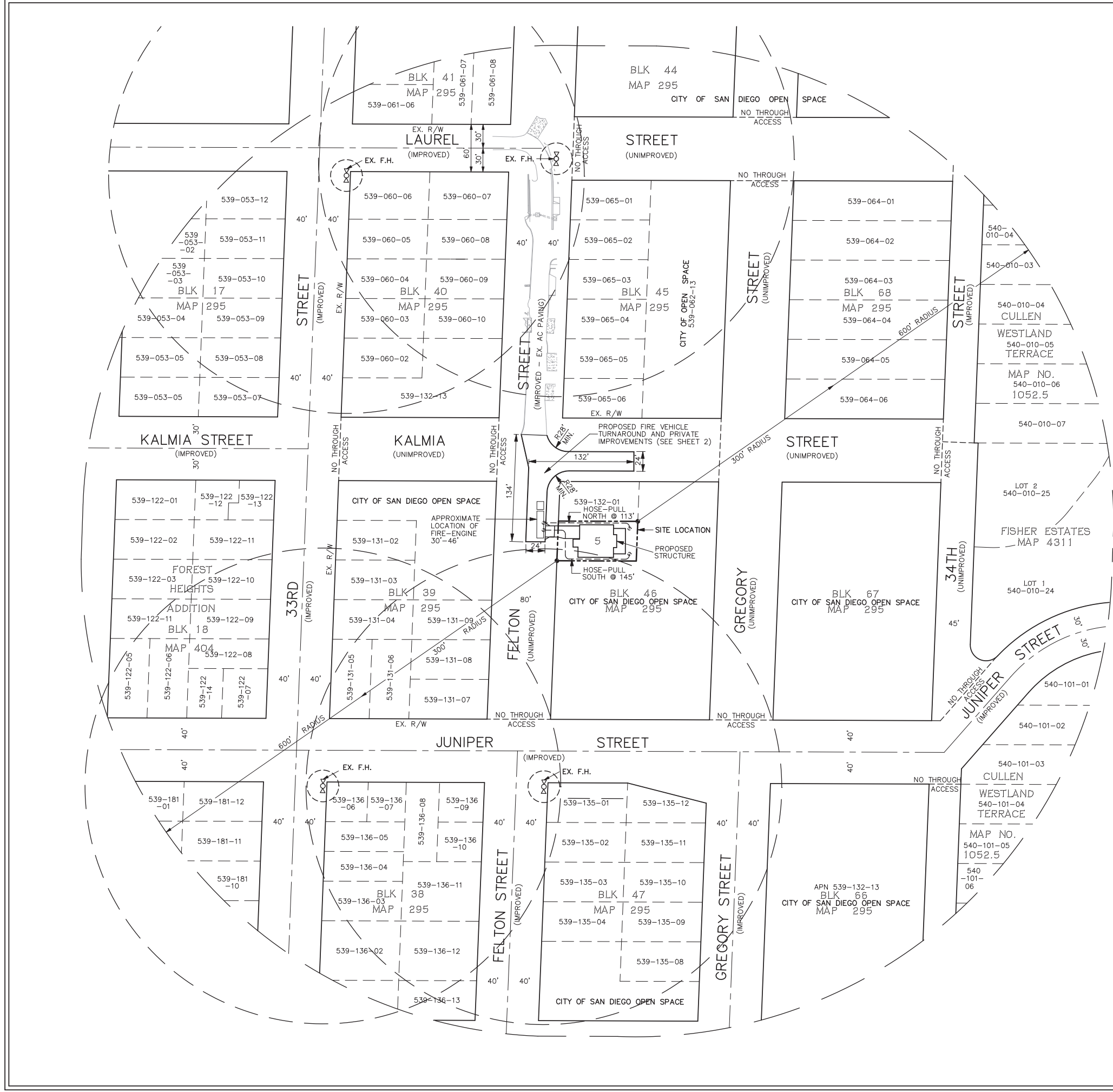


FIRE ACCESS PLAN

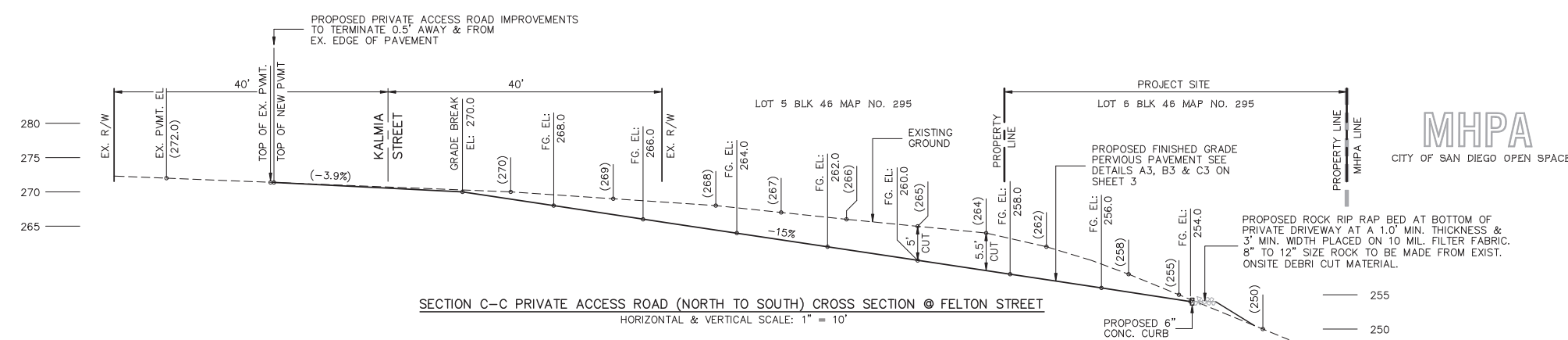


ENGINEER OF WORK:

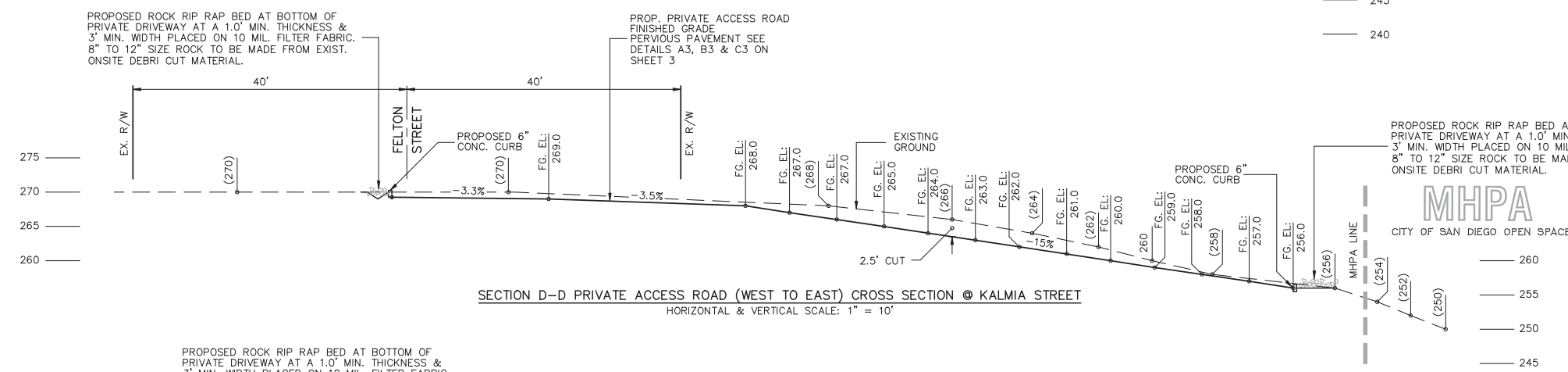
JOSHUA E. DEVERA, RCE 77618
 REGISTRATION EXPIRES 6-30-2023
 APPLIED CONSULTANTS
 1941-A FRIENDSHIP DRIVE
 EL CAJON, CA 92020
 TELE: (619) 258-9000
 FAX: (619) 258-9004



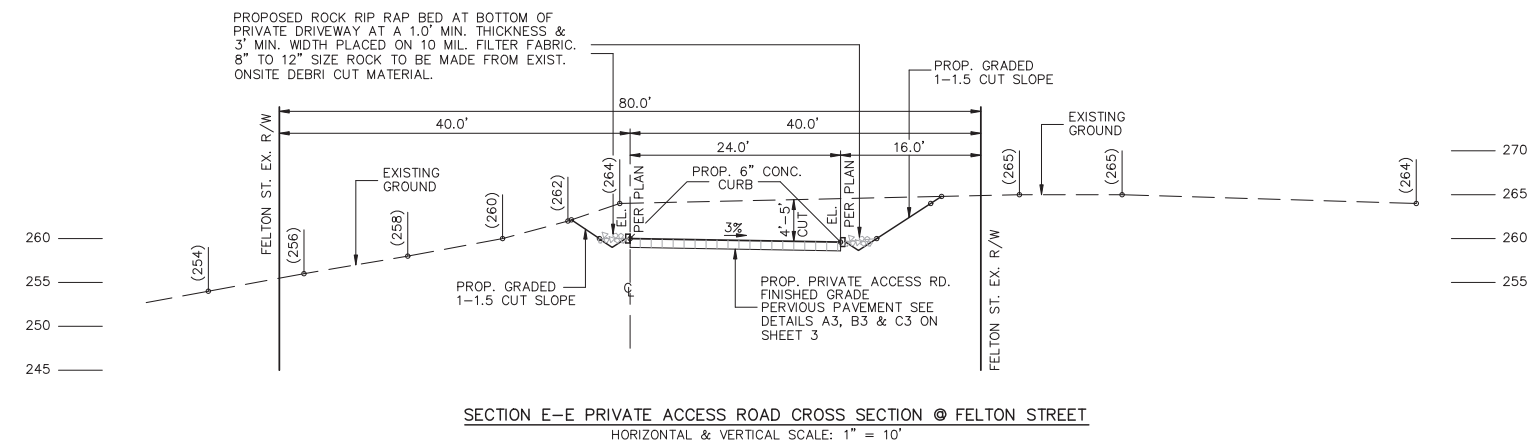
UPDATES	BY
12JUL2022	DBP
23AUG2022	DBP
26OCT2022	DBP



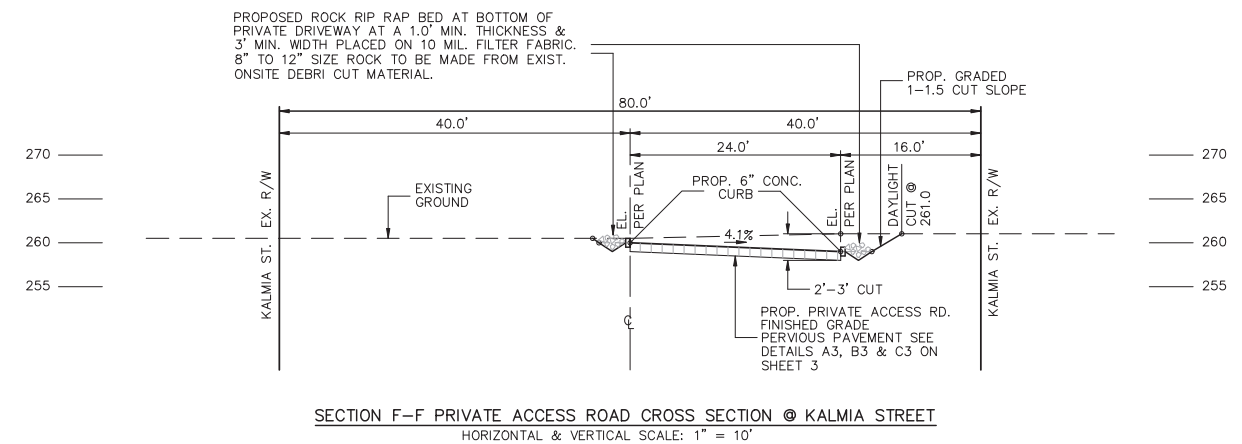
SECTION C-C PRIVATE ACCESS ROAD (NORTH TO SOUTH) CROSS SECTION @ FELTON STREET
HORIZONTAL & VERTICAL SCALE: 1" = 10'



SECTION D-D PRIVATE ACCESS ROAD (WEST TO EAST) CROSS SECTION @ KALMIA STREET
HORIZONTAL & VERTICAL SCALE: 1" = 10'



SECTION E-E PRIVATE ACCESS ROAD CROSS SECTION @ FELTON STREET
HORIZONTAL & VERTICAL SCALE: 1" = 10'



SECTION F-F PRIVATE ACCESS ROAD CROSS SECTION @ KALMIA STREET
HORIZONTAL & VERTICAL SCALE: 1" = 10'

ENGINEER OF WORK:

JOSHUA E. DEVERA, RCE 77618
REGISTRATION EXPIRES 6-30-2023
APPLIED CONSULTANTS
1941-A FRIENDSHIP DRIVE
EL CAJON, CA 92020
TELE: (619) 258-9000
FAX: (619) 258-9004

DATE



2385 FELTON STREET
SINGLE FAMILY RESIDENCE
CT HOMES, LLC 3033 BUNKER HILL STREET, SAN DIEGO, CA 92109

Project Name: 2385 Felton Street Residence
Owner: CT HOMES, LLC

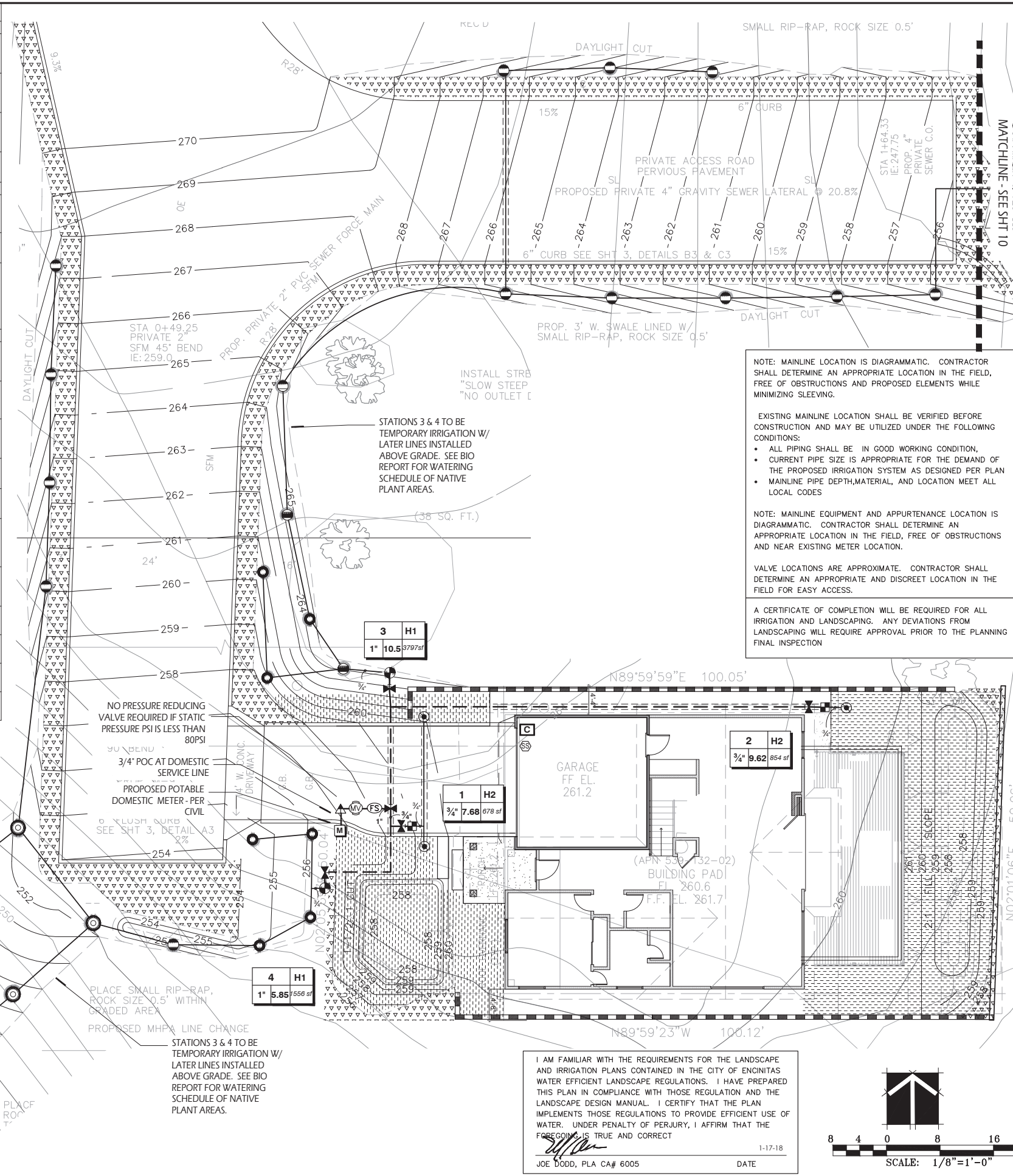
SHEET TITLE:
Private Driveway Cross-Sections

DRAWN
DBP
CHECKED

DATE
10-28-2022
SCALE
1" = 10'
JOB NO.

SHEET
9
9 OF 18 SHEETS

IRRIGATION SCHEDULE		
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	PSI
	Hunter MP Strip PROS-00-PRS40 Shrub Rotator, fixed-riser, pressure regulated to 40 psi (2.76 bar), MP Rotator nozzle. LST=Ivory left strip, SST=Brown side strip, RST=Copper right strip on PRS40 body.	40
	Hunter MP1000 PROS-00-PRS40 Shrub Rotator, fixed-riser, pressure regulated to 40 psi, MP Rotator nozzle. M=Maroon adj arc 90 to 210, L=Light Blue 210 to 270 arc, O=Olive 360 arc on PRS40 body.	40
	Hunter MP2000 PROS-00-PRS40 Shrub Rotator, fixed-riser, pressure regulated to 40 psi, MP Rotator nozzle. K=Black adj arc 90-210, G=Green adj arc 210-270, R=Red 360 arc on PRS40 body.	40
	Hunter MP800SR PROS-00-PRS40 Shrub Rotator, fixed-riser, pressure regulated to 40 psi, MP Rotator nozzle on PRS40 body. OR = Orange adj arc 90 to 210.	40
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	
	Hunter ACZ-075-25 Drip control kit featuring a 3/4" PGV-ASV valve, with 3/4" HY075 filter system, and 25psi pressure regulated. Flow range: 0.5 GPM to 15 GPM. With 150 mesh stainless steel screen.	
	Pipe Transition Point above grade Pipe transition point from PVC lateral to drip tubing with riser to above grade installation.	
	Area to Receive Dripline Hunter HDL-09-12-CV HDL-09-12-CV: Hunter Dripline w/ 0.9 GPH emitters at 12" O.C. Check valve, dark brown tubing w/ black striping. Dripline laterals spaced at 16" apart, with emitters offset for triangular pattern. Install with Hunter PLD barbed or PLD-LOC fittings. For use on slopes with Moderate/Sandy soils.	
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	
	Hunter PGV-101G 1" Plastic Electric Remote Control Valve, for Residential/Light Commercial Use. Female NPT Inlet/Outlet. Globe Configuration. With Flow Control.	
	Nibco T-113-K Class 125 bronze gate shut off valve with cross handle, same size as mainline pipe diameter at valve location. Size Range - 1/4" - 3"	
	Hunter ICV-G-FS 1 1", 1-1/2", 2", and 3" Plastic Electric Master Valve, Globe Configuration, with NPT Threaded Inlet/Outlet, for Commercial/Municipal Use. With Filter Sentry. Size per Mainline	
	Pressure Reducing Valve WILKINS - 500-HR series pressure reducing valve with 10-125 PSI spring range, size and pressure setting as noted.	
	Hunter PC-XX00 Light Commercial & Residential Controller, XX-station base module controller, 120 VAC, indoor model	
	Hunter WSS Wireless Solar, rain freeze sensor with outdoor interface, connects to Hunter PCC, Pro-C, and I-Core Controllers, install as noted. Includes 10 year lithium battery and rubber module cover, and gutter mount bracket.	
	Hunter FLOW-CLIK Flow Sensor SOV with Interface Panel, Schedule 40 Sensor Body, 24 VAC, 2 amp, install Interface Panel as required. SIZE: 1" for max 2-17gpm, 1.5" for max 18-35gpm	
	Water Meter 3/4" TBD	
	Irrigation Lateral Line: PVC Class 200 SDR 21	
	Irrigation Mainline: PVC Schedule 40	
	Pipe Sleeve: PVC Class 200 SDR 21	



GENERAL IRRIGATION NOTES

- ALL LOCAL MUNICIPAL AND STATE LAWS, RULES AND REGULATIONS GOVERNING OR RELATING TO ANY PORTION OF THIS WORK ARE HEREBY INCORPORATED INTO AND MADE A PART OF THESE SPECIFICATIONS AND THEIR PROVISIONS SHALL BE CARRIED OUT BY THE CONTRACTOR. IN CASE OF CONFLICT BETWEEN THE SPECIFICATIONS, DRAWINGS, AND/OR CODE, THE MORE STRINGENT REQUIREMENT SHALL PREVAIL.
- THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL EXISTING UTILITIES, STRUCTURES AND SERVICES BEFORE COMMENCING WORK. THE LOCATIONS OF UTILITIES, STRUCTURES AND SERVICES SHOWN IN THESE PLANS ARE APPROXIMATE ONLY. ANY DISCREPANCIES BETWEEN THESE PLANS AND ACTUAL FIELD CONDITIONS SHALL BE REPORTED TO THE OWNER'S REPRESENTATIVE.
- THE CONTRACTOR SHALL OBTAIN THE PERTINENT ENGINEERING OR ARCHITECTURAL PLANS BEFORE BEGINNING WORK.
- THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS REQUIRED TO PERFORM THE WORK INDICATED HEREIN BEFORE BEGINNING WORK.
- THE MAINLINE AND SLEEVING IS DIAGRAMMATIC. ALL PIPING IS FOR DESIGN CLARIFICATION ONLY AND SHALL BE INSTALLED WITHIN LIMIT OF WORK BOUNDARIES AND IN SHRUB PLANTING AREAS WHERE POSSIBLE. AVOID ANY CONFLICTS BETWEEN THE SPRINKLER SYSTEM, PLANTING AND ARCHITECTURAL FEATURES.
- IRRIGATION EQUIPMENT AS SHOWN IS DIAGRAMMATIC. INSTALL ALL THE IRRIGATION REMOTE CONTROL VALVES, QUICK COUPLERS, MASTER VALVES, FLOW SENSORS, BACKFLOWS, AIR/VACUUM DEVICES, BALL VALVES, AND ANCILLARY EQUIPMENT, IN SHRUB PLANTING AREAS WHEN FEASIBLE OR AS APPROVED BY OWNER'S REPRESENTATIVE AND THE LANDSCAPE IRRIGATION DESIGNER.
- DO NOT WILLFULLY INSTALL ANY EQUIPMENT AS SHOWN ON THE PLANS WHEN IT IS OBVIOUS IN THE FIELD THAT UNKNOWN CONDITIONS EXIST THAT WERE NOT EVIDENT AT THE TIME THESE PLANS WERE PREPARED. ANY SUCH CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE PRIOR TO ANY WORK OR THE IRRIGATION CONTRACTOR SHALL ASSUME ALL RESPONSIBILITY FOR ANY FIELD CHANGES DEEMED NECESSARY BY THE OWNER.
- INSTALL ALL EQUIPMENT AS SHOWN IN THE DETAILS AND SPECIFICATIONS. CONTRACTOR SHALL BE RESPONSIBLE TO COMPLY WITH LOCAL CITY, COUNTY AND STATE REQUIREMENTS FOR BOTH EQUIPMENT AND INSTALLATION.
- CONTRACTOR TO PROVIDE AN ADDITIONAL PILOT WIRE FROM CONTROLLER ALONG ENTIRETY OF MAINLINE TO THE LAST RCV ON EACH AND EVERY LEG OF MAIN LINE. LABEL SPARE WIRES AT BOTH ENDS
- ALL PIPE UNDER PAVED AREAS, HARDSCAPE, OR AS DIRECTED BY OWNERS REPRESENTATIVE TO BE INSTALLED IN SLEEVING, TWICE THE DIAMETER OF PIPE OR WIRE BUNDLE CARRIED. ALL 2" AND 3" SLEEVING FOR NON-VHICULAR PAVING SHALL BE PVC1220 SCH. 40, TYPE 1, GRADE 2 MATERIAL CONFORMING TO ASTM STANDARD D-1785-4. ALL 4" AND LARGER SLEEVING BELOW VEHICULAR PAVING SHALL BE PVC1220 SCH.80 SDR21, TYPE 1, GRADE 2 MATERIAL CONFORMING TO ASTM STANDARD D-2241. SLEEVES UNDER BROW DITCHES SHALL BE ENCASED IN CONCRETE A MINIMUM OF 6" THICK ON ALL SIDES OF PIPE. SLEEVES TO EXTEND AT LEAST 12" PAST THE EDGE OF PAVING.
- ALL QUICK COUPLER VALVES TO BE INSTALLED IN SHRUB OR GROUND COVER AREAS WHERE POSSIBLE. ALL QUICK COUPLER VALVES TO BE INSTALLED AS SHOWN ON THE INSTALLATION DETAILS. INSTALL ALL QUICK COUPLER VALVES WITHIN 18" OF HARDSCAPE.
- IRRIGATION HEADS ADJACENT TO THE STREET SHALL BE HELD A MINIMUM OF 2 FEET FROM EDGE OF PAVEMENT. ALL HEADS ARE TO BE INSTALLED WITH THE NOZZLE, SCREEN AND ARCS SHOWN ON THE PLANS. ALL HEADS ARE TO BE ADJUSTED TO PREVENT OVERSPRAY ONTO BUILDINGS, WALLS, FENCES AND HARDSCAPE. THIS INCLUDES, BUT NOT LIMITED TO, ADJUSTMENT OF DIFFUSER PIN OR ADJUSTMENT SCREW, REPLACEMENT OF PRESSURE COMPENSATING SCREENS, REPLACEMENT OF NOZZLES WITH MORE APPROPRIATE RADIUS UNITS AND THE REPLACEMENT OF NOZZLES WITH ADJUSTABLE ARC UNITS. WHEN VERTICAL OBSTRUCTIONS (PROPS, STREET LIGHTS, TREES, ETC.) INTERFERE WITH THE SPRAY PATTERN OF THE SPRINKLER HEADS PREVENTING PROPER COVERAGE, THE IRRIGATION CONTRACTOR SHALL FIELD ADJUST THE SPRINKLER SYSTEM BY INSTALLING A QUARTER CIRCLE OR HALF CIRCLE SPRINKLER HEAD ON EACH SIDE OF THE OBSTRUCTION SO AS TO PROVIDE PROPER COVERAGE. ALL ADJUSTMENTS SHALL BE MADE AT NO ADDITIONAL COST TO THE OWNER.
- THE IRRIGATION CONTRACTOR SHALL ADJUST THE PRESSURE REGULATOR ON EACH ELECTRIC CONTROL VALVE SO THAT THE SPRINKLER HEAD FARTHEST AND HIGHEST IN ELEVATION FROM ITS RESPECTIVE CONTROL VALVE OPERATES WITHIN THE OPERATING PRESSURE SHOWN ON THE IRRIGATION LEGEND. NOT TO EXCEED FIVE (5) PSI ABOVE THE GIVEN OPERATING PRESSURE FROM THE SPECIFIED PRESSURE LOCATED ON THE IRRIGATION LEGEND.
- THE IRRIGATION SYSTEM DESIGN IS BASED ON THE MINIMUM OPERATING PRESSURE AND THE MAXIMUM FLOW DEMAND SHOWN ON THE IRRIGATION DRAWINGS AT EACH POINT OF CONNECTION. THE IRRIGATION CONTRACTOR SHALL VERIFY WATER PRESSURE VIA DIRECT FIELD MEASUREMENT PRIOR TO CONSTRUCTION. REPORT ANY DIFFERENCE BETWEEN THE WATER PRESSURE INDICATED ON THE DRAWINGS AND THE ACTUAL PRESSURE READING AT THE IRRIGATION POINT OF CONNECTION TO THE OWNER'S AUTHORIZED REPRESENTATIVE. IN THE EVENT PRESSURE DIFFERENCES ARE NOT REPORTED PRIOR TO START OF CONSTRUCTION, THE IRRIGATION CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY REVISIONS, AND COSTS ASSOCIATED WITH SAID REVISIONS.
- SHOULD FIELD CONDITIONS REQUIRE PIPE INSTALLATION OTHER THAN THAT SHOWN ON PLANS, THE CONTRACTOR SHALL LIMIT EXCESS FLOW AND SIZE ALL PIPE NOT TO EXCEED A VELOCITY OF 5 FEET PER SECOND (FPS) IN PVC PIPE AND CAST IRON PIPE. FLOW THROUGH ANCILLARY EQUIPMENT, STEEL AND COPPER PIPE SHALL NOT EXCEED A VELOCITY OF 7 1/2 FPS. ALL ADJUSTMENTS SHALL BE MADE AT NO ADDITIONAL COST TO THE OWNER.
- CHECK VALVES SHALL BE USED TO PREVENT ALL LOW HEAD DRAINAGE

NOTE: MAINLINE LOCATION IS DIAGRAMMATIC. CONTRACTOR SHALL DETERMINE AN APPROPRIATE LOCATION IN THE FIELD, FREE OF OBSTRUCTIONS AND PROPOSED ELEMENTS WHILE MINIMIZING SLEEVING.

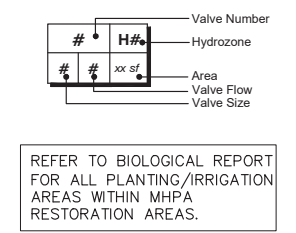
EXISTING MAINLINE LOCATION SHALL BE VERIFIED BEFORE CONSTRUCTION AND MAY BE UTILIZED UNDER THE FOLLOWING CONDITIONS:

- ALL PIPING SHALL BE IN GOOD WORKING CONDITION.
- CURRENT PIPE SIZE IS APPROPRIATE FOR THE DEMAND OF THE PROPOSED IRRIGATION SYSTEM AS DESIGNED PER PLAN
- MAINLINE PIPE DEPTH, MATERIAL, AND LOCATION MEET ALL LOCAL CODES

NOTE: MAINLINE EQUIPMENT AND APPURTENANCE LOCATION IS DIAGRAMMATIC. CONTRACTOR SHALL DETERMINE AN APPROPRIATE LOCATION IN THE FIELD, FREE OF OBSTRUCTIONS AND NEAR EXISTING METER LOCATION.

VALVE LOCATIONS ARE APPROXIMATE. CONTRACTOR SHALL DETERMINE AN APPROPRIATE AND DISCREET LOCATION IN THE FIELD FOR EASY ACCESS.

A CERTIFICATE OF COMPLETION WILL BE REQUIRED FOR ALL IRRIGATION AND LANDSCAPING. ANY DEVIATIONS FROM LANDSCAPING WILL REQUIRE APPROVAL PRIOR TO THE PLANNING FINAL INSPECTION

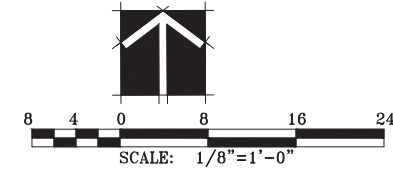


REFER TO BIOLOGICAL REPORT FOR ALL PLANTING/IRRIGATION AREAS WITHIN MHPA RESTORATION AREAS.

CONTRACTOR TO VERIFY STATIC PRESSURE AT POC PRIOR TO INSTALLATION AND ADJUST EQUIPMENT/PIPE SIZES ACCORDINGLY

I AM FAMILIAR WITH THE REQUIREMENTS FOR THE LANDSCAPE AND IRRIGATION PLANS CONTAINED IN THE CITY OF ENCINITAS WATER EFFICIENT LANDSCAPE REGULATIONS. I HAVE PREPARED THIS PLAN IN COMPLIANCE WITH THOSE REGULATION AND THE LANDSCAPE DESIGN MANUAL. I CERTIFY THAT THE PLAN IMPLEMENTS THOSE REGULATIONS TO PROVIDE EFFICIENT USE OF WATER. UNDER PENALTY OF PERJURY, I AFFIRM THAT THE FOREGOING IS TRUE AND CORRECT

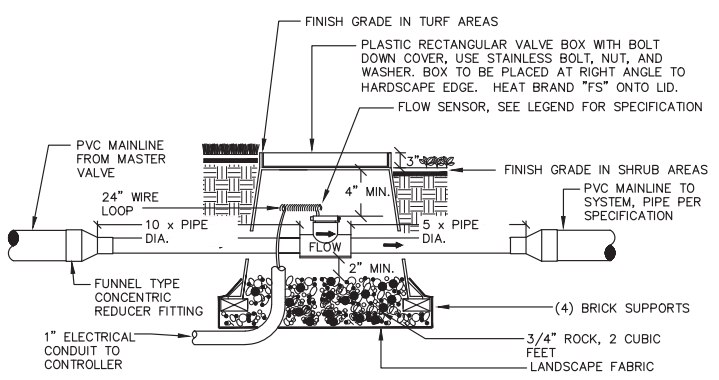
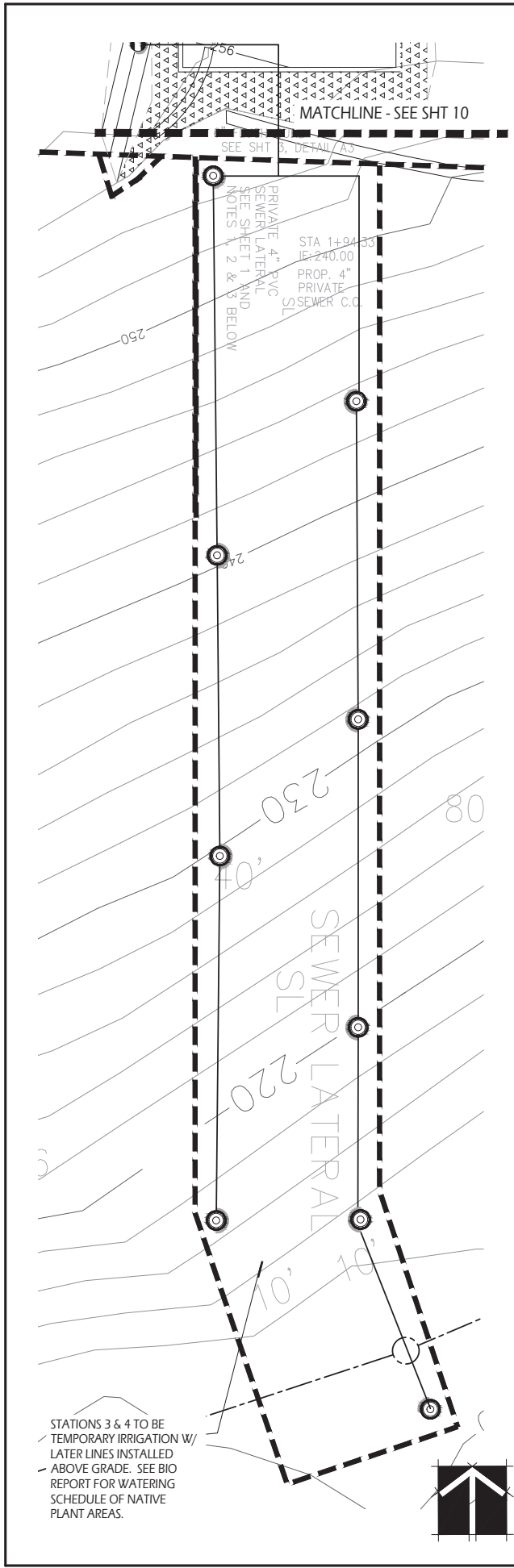
1-17-18
JOE DODD, PLA CA# 6005 DATE



PRIVATE CONTRACT

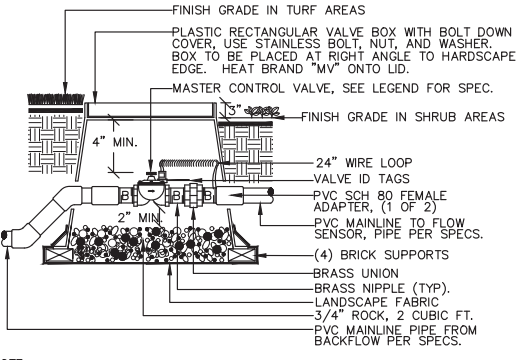
IRRIGATION PLAN FOR:
2385 FELTON STREET
LOT 5 IN BLK 46 OF THE SUBDIVISION OF PUEBLO LOTS 1139 & 1140 MAP OF EASTERN ADDITION, ACCORDING MAP THEREOF NO. 295.

CITY OF SAN DIEGO, CALIFORNIA DEVELOPMENT SERVICES DEPARTMENT SHEET 10 OF SHEETS		I.O. NO. 24007347
FOR CITY ENGINEER _____ DATE _____		P.T.S. NO. 557456 655840
DESCRIPTION	BY	APPROVED
ORIGINAL	J.D.	
DATE STARTED _____ DATE COMPLETED _____		NAD 83 COORDINATES 205-1732 LAMBERT COORDINATES 00000-10-D



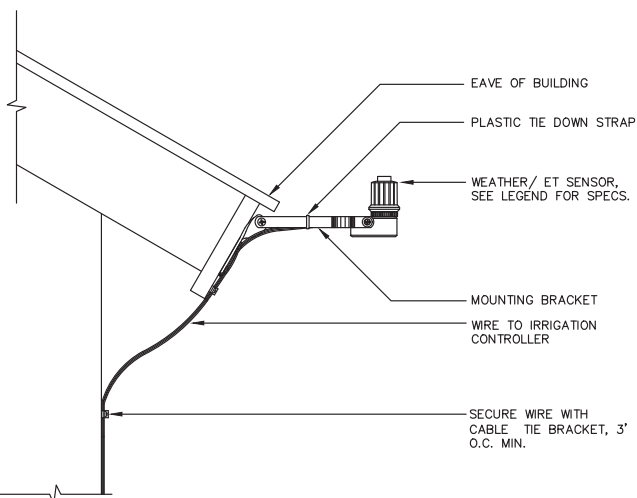
NOTE:
NO FITTINGS 10x PIPE O.D. UPSTREAM OF SENSOR, NO FITTINGS 5x PIPE O.D. DOWNSTREAM OF SENSOR.
INSTALL FLOW SENSOR PER THE MANUFACTURER'S RECOMMENDATIONS, ROUTE WIRES THROUGH CONDUIT TO IRRIGATION CONTROLLER.
USE 45 DEGREE ELLS TO ACHIEVE MAINLINE DEPTH ON THE DOWNSTREAM SIDE OF THE FLOW SENSOR.

(A) FLOW SENSOR
SCALE: N.T.S.

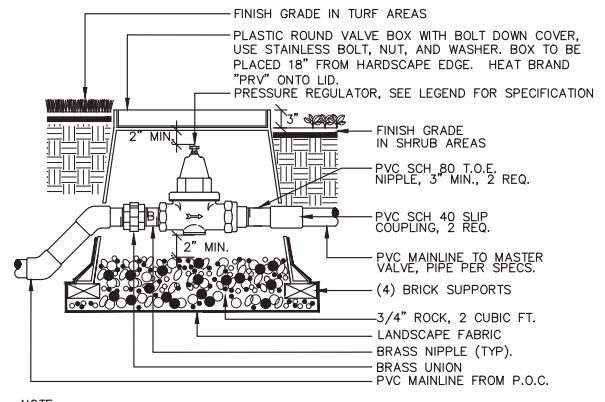


NOTE:
USE 45 DEGREE ELLS TO ACHIEVE MAINLINE DEPTH FROM SUPPLY SIDE OF THE MASTER VALVE ASSEMBLY.
ALL THREADED CONNECTIONS TO HAVE TEFLON TAPE OR PASTE.

(C) MASTER VALVE
SCALE: N.T.S.

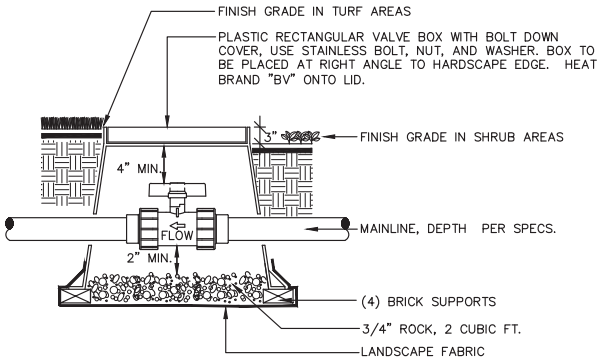


(E) WEATHER/ ET SENSOR MOUNTED ON EAVE
SCALE: N.T.S.



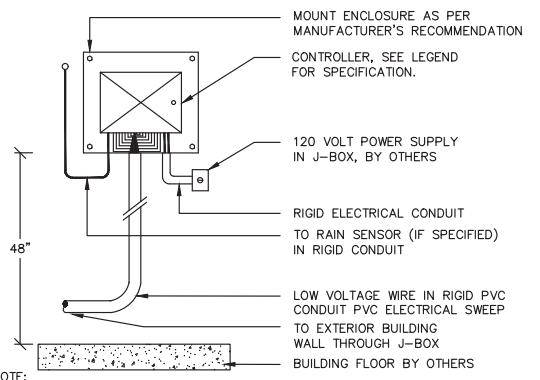
NOTE:
USE 45 DEGREE ELLS TO ACHIEVE MAINLINE DEPTH FROM SUPPLY SIDE OF THE PRESSURE REGULATOR ASSEMBLY.
ALL THREADED CONNECTIONS TO HAVE TEFLON TAPE OR PASTE.

(B) PRESSURE REGULATOR
SCALE: N.T.S.



NOTE:
BOX TO BE INSTALLED TO ALLOW FOR PROPER OPERATION OF BALL VALVE HANDLE. INSTALL AT RIGHT ANGLE TO HARDSCAPE EDGE.
INSTALL VALVE BOX EXTENSIONS AS REQUIRED TO ACHIEVE PROPER VALVE INSTALLATION AT MAINLINE DEPTH.
ALL THREADED CONNECTIONS SHALL HAVE TEFLON TAPE OR PASTE.

(D) BALL VALVE
SCALE: N.T.S.



NOTE:
INSTALL ENCLOSURE AS INDICATED PER PLAN & MANUFACTURER'S RECOMMENDATION.
ROUTE WIRES AND SLEEVE THROUGH WALL TO RECTANGULAR PULL BOX AND TRANSITION TO DIRECT BURY WIRE.

(F) WALL MOUNT CONTROLLER
SCALE: N.T.S.

WATER EFFICIENT LANDSCAPE WORKSHEET
Irrigation Point of Connection (P.O.C.) 1

Hydro zone #	Planting Description	Plant Factor (average) (PF)	Irrigation Method	Irrigation Efficiency (IE)	ETAF (PF/IE)	Landscape Area (sq ft)	ETAF x Area	Estimated Total Water Use (ETWU)
REGULAR LANDSCAPE AREAS								
1	VERY LOW WATER	0.10	ROTATOR	0.70	0.14	5353	764.71	19439
2	MEDIUM WATER	0.50	DRIP	0.81	0.62	1532	945.68	24039
						TOTAL	6885	1710.39
SPECIAL LANDSCAPE AREAS								
						TOTAL	1.00	0
							ETWU TOTAL	43478
							MAXIMUM WATER ALLOWANCE (MAWA)	96259
							IRRIGATION EFFICIENCY (IE) AVERAGE	73.1

MAXIMUM APPLIED WATER ALLOWANCE (MAWA)

ET o =	41 in/yr	RESIDENTIAL	0.55
LA =	6885 sq ft	NON RESIDENTIAL	0.45
SLA =	0 sq ft		
ETAF =	0.55		

MAWA = $\frac{(Eto)(0.62)(ETAF \times LA) + (1 - ETAF) \times SLA}{(Eto)(0.62)((0.55 \times LA) + (1 - 0.55) \times SLA)}$

MAWA = $\frac{41(0.62)(0.55 \times 6885) + 0}{41(0.62)(0.55 \times 6885) + 0} = 0.45$

MAXIMUM APPLIED WATER ALLOWANCE = 96259.19 gal. per year

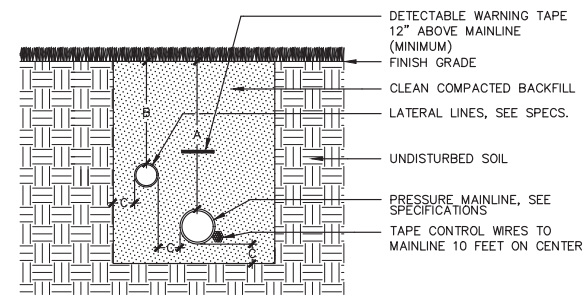
Hydrozone Category	PF-Plant Factor
High Water Use	0.7-1.0
Moderate Water Use	0.4-0.6
*Low Water Use	0.1-0.3
Very Low Water Use	0-0.1
Special Landscape Area	1.00
Reclaimed water = Special Landscape Area	
*Artificial Turf & Temporary Irrigated areas = low water u	

Irrigation Method Code	IE - Irrigation Efficiency
Filter Pipe for Pools/Spa	1.00
Drip/Subsurface	0.90
Bubbler	0.85
Rotors	0.75
Rotators	0.70
Overhead Spray	0.60

ETAF

	TOTAL ETAF x AREA	TOTAL AREA	AVERAGE ETAF	SITEWIDE ETAF
REGULAR LANDSCAPE AREAS	1710.39	6885	0.25	
ALL LANDSCAPE AREAS	1710.39	6885	n/a	0.25

ETAF	Residential	Non-residential
	0.55 or below	0.45 or below



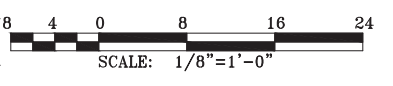
DIMENSION	A	B	C
1/2" TO 2-1/2" IN SIZE	18"	12"	6"
3" IN SIZE	24"	6"	
4" AND LARGER	30"	6"	

(G) PIPE INSTALLATION, POTABLE
SCALE: N.T.S.

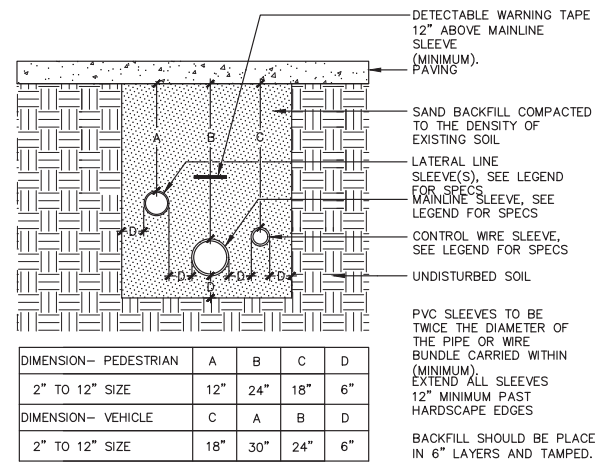
PRIVATE CONTRACT

IRRIGATION DETAILS & WATER CALCS FOR:
2385 FELTON STREET
LOT 5 IN BLK 46 OF THE SUBDIVISION OF PUEBLO LOTS 1139 & 1140
MAP OF EASTERN ADDITION, ACCORDING MAP THEREOF NO. 295.

CITY OF SAN DIEGO, CALIFORNIA DEVELOPMENT SERVICES DEPARTMENT SHEET 11 OF SHEETS	I.O. NO. 24007347 P.T.S. NO. 557456 655840
FOR CITY ENGINEER _____ DATE _____	
DESCRIPTION BY APPROVED DATE FILMED	
ORIGINAL J.D.	
NAD 83 COORDINATES 205-1732 LAMBERT COORDINATES	
CONTRACTOR _____ DATE STARTED _____ INSPECTOR _____ DATE COMPLETED _____	00000-11-D



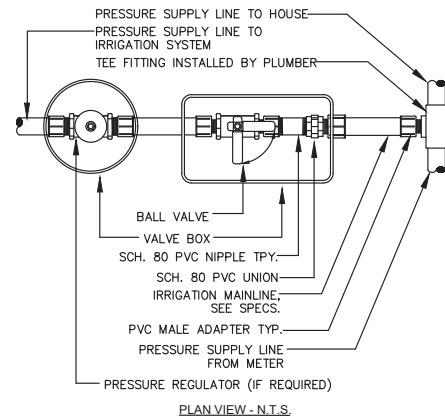
STATIONS 3 & 4 TO BE TEMPORARY IRRIGATION W/ LATER LINES INSTALLED ABOVE GRADE. SEE BIO REPORT FOR WATERING SCHEDULE OF NATIVE PLANT AREAS.



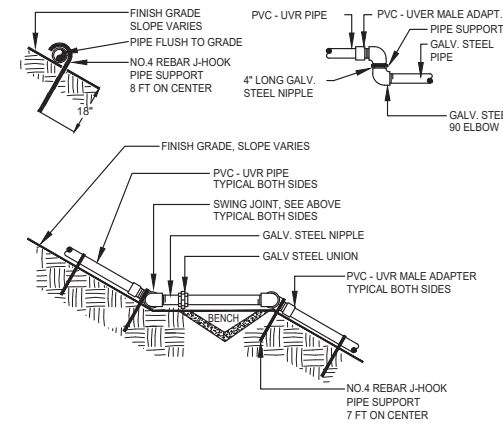
DIMENSION- PEDESTRIAN	A	B	C	D
2" to 12" SIZE	12"	24"	18"	6"
DIMENSION- VEHICLE	C	A	B	D
2" to 12" SIZE	18"	30"	24"	6"

PVC SLEEVES TO BE TWICE THE DIAMETER OF THE PIPE OR WIRE BUNDLE CARRIED WITHIN (MINIMUM). EXTEND ALL SLEEVES 12" MINIMUM PAST HARDSCAPE EDGES.
BACKFILL SHOULD BE PLACED IN 6" LAYERS AND TAMPED.

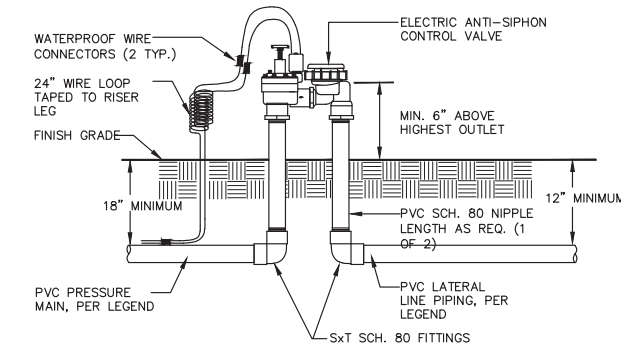
H SLEEVE INSTALLATION, POTABLE
SCALE: N.T.S.



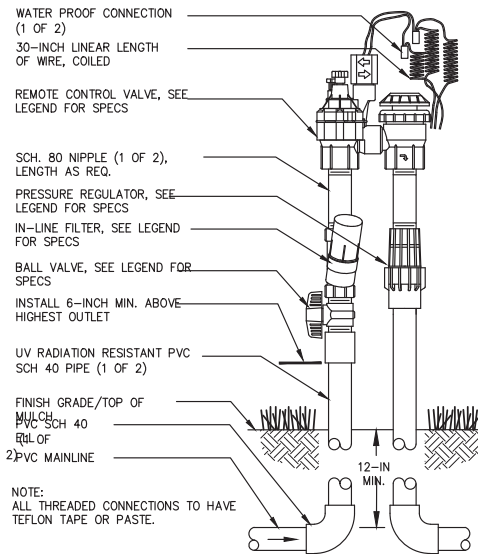
I POINT OF CONNECTION (PRIVATE LOTS)
SCALE: N.T.S.



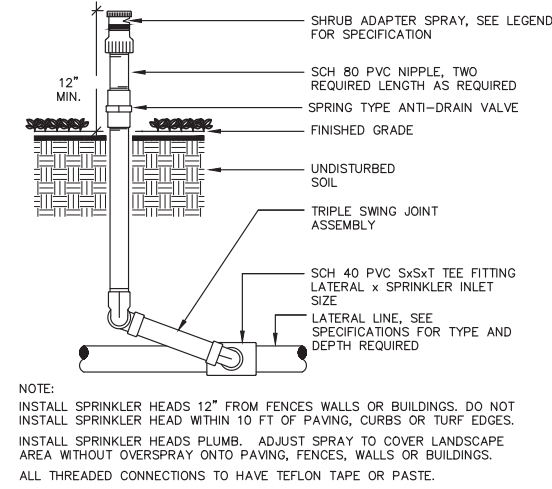
J ON-GRADE PIPE
SCALE: N.T.S.



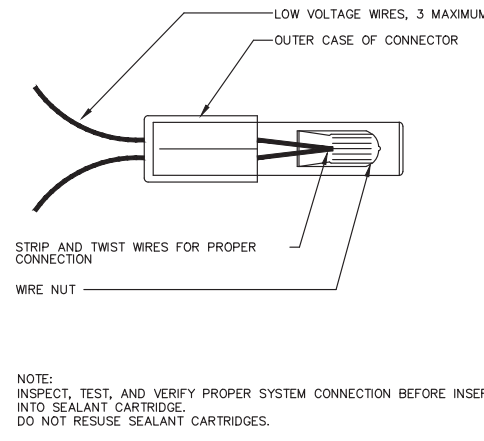
K ANTI-SIPHON VALVE
SCALE: N.T.S.



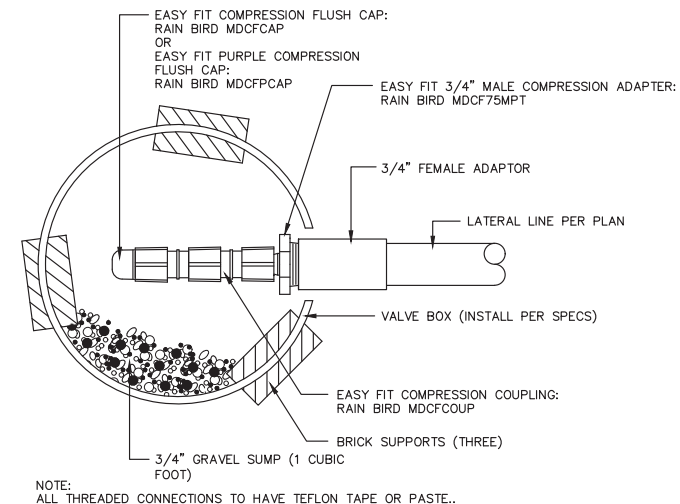
L ANTI-SIPHON VALVE FOR DRIP ZONES
SCALE: N.T.S.



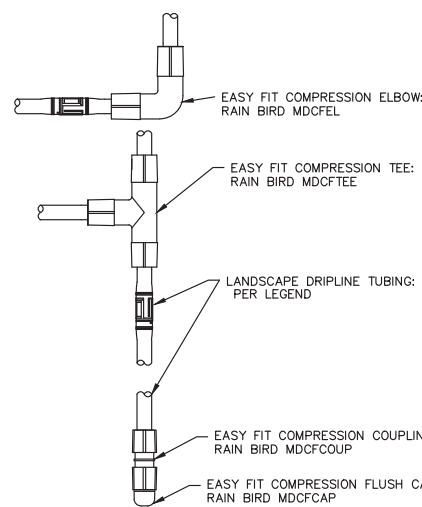
M SPRAY HEAD ON RISER
SCALE: N.T.S.



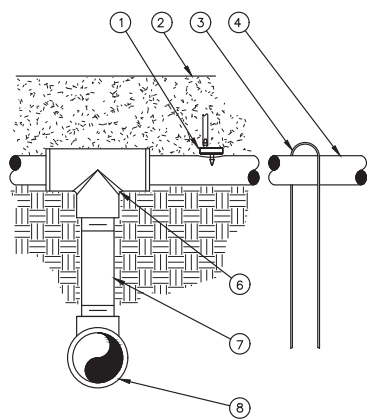
N WIRE CONNECTIONS
SCALE: N.T.S.



O MDCF FLUSH CAP
SCALE: N.T.S.

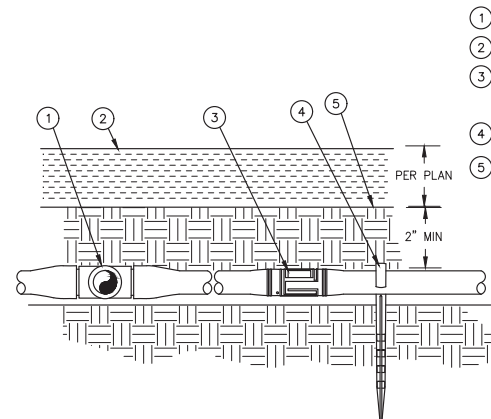


P EASY FIT COMPRESSION FITTINGS
SCALE: N.T.S.



Q PVC HEADER TO TUBING CONNECTION
SCALE: N.T.S.

- LEGEND**
- SINGLE-OUTLET EMITTER WITH 1/4" DISTRIBUTION TUBING PER LEGEND.
 - TOP OF MULCH, DEPTH PER PLANTING PLAN.
 - TIE-DOWN STAKE PER LEGEND.
 - POLYETHYLENE DISTRIBUTION FEEDER TUBE PER LEGEND.
 - RAINBIRD MDC COMPRESSION MDCFTEE WITH MDCF75FHT FEMALE ADAPTER
 - 3/4" PVC SCH. 80 NIPPLE (LENGTH AS REQUIRED).
 - LATERAL HEADER PIPE SxT TEE OR ELL, SIZE AND DEPTH PER LEGEND.
- NOTE:
USE MANUFACTURER TOOL TO INSERT EMITTER DIRECTLY INTO DISTRIBUTION FEEDER TUBE.
ALL THREADED CONNECTIONS TO HAVE TEFLON TAPE OR PASTE.



R LANDSCAPE DRIPLINE
SCALE: N.T.S.

PRIVATE CONTRACT

IRRIGATION DETAILS FOR:
2385 FELTON STREET
LOT 5 IN BLK 46 OF THE SUBDIVISION OF PUEBLO LOTS 1139 & 1140 MAP OF EASTERN ADDITION, ACCORDING MAP THEREOF NO. 295.

CITY OF SAN DIEGO, CALIFORNIA DEVELOPMENT SERVICES DEPARTMENT SHEET 12 OF SHEETS		I.O. NO. 24007347
FOR CITY ENGINEER _____ DATE _____		P.T.S. NO. 557456 655840
DESCRIPTION	BY	APPROVED
ORIGINAL	J.D.	
DATE STARTED _____ DATE COMPLETED _____		NAD 83 COORDINATES 205-1732 LAMBERT COORDINATES
CONTRACTOR _____ INSPECTOR _____		00000-12-D



IRRIGATION SPECIFICATIONS

LANDSCAPE IRRIGATION

PART I - GENERAL

- 1.01 SUMMARY
- A. IT IS THE INTENT OF THE SPECIFICATIONS AND DRAWINGS THAT THE FINISHED SYSTEM IS COMPLETE IN EVERY RESPECT AND SHALL BE READY FOR OPERATION SATISFACTORY TO THE OWNER.
 - B. THE WORK SHALL INCLUDE ALL MATERIALS, LABOR, SERVICES, TRANSPORTATION, AND EQUIPMENT NECESSARY TO PERFORM THE WORK AS INDICATED ON THE DRAWINGS, IN THESE SPECIFICATION, AND AS NECESSARY TO COMPLETE THE CONTRACT.
- 1.02 CONSTRUCTION DRAWINGS
- A. DUE TO THE SCALE OF THE DRAWINGS, IT IS NOT POSSIBLE TO INDICATE ALL OFFSETS, FITTINGS, SLEEVES, ETC. WHICH MAY BE REQUIRED. THE CONTRACTOR SHALL CAREFULLY INVESTIGATE THE STRUCTURAL AND FINISHED CONDITIONS AFFECTING ALL OF HIS WORK AND PLAN HIS WORK ACCORDINGLY, FURNISHING SUCH FITTINGS, ETC. AS MAY BE REQUIRED TO MEET SUCH CONDITIONS. DRAWINGS ARE GENERALLY DIAGRAMMATIC AND INDICATIVE OF THE WORK TO BE INSTALLED. THE WORK SHALL BE INSTALLED IN SUCH A MANNER AS TO AVOID CONFLICTS BETWEEN IRRIGATION SYSTEMS, PLANTING, AND ARCHITECTURAL FEATURES.
 - B. ALL WORK CALLED FOR ON THE DRAWINGS BY NOTES OR DETAILS SHALL BE FURNISHED AND INSTALLED WHETHER OR NOT SPECIFICALLY MENTIONED IN THE SPECIFICATIONS. WHEN AN ITEM IS SHOWN ON THE PLANS BUT NOT SHOWN ON THE SPECIFICATIONS OR VICE VERSA, IT SHALL BE DEEMED TO BE AS SHOWN ON BOTH. THE LANDSCAPE ARCHITECT SHALL HAVE FINAL AUTHORITY FOR CLARIFICATION.
 - C. THE CONTRACTOR SHALL NOT WILLFULLY INSTALL THE IRRIGATION SYSTEM AS SHOWN ON THE DRAWINGS WHEN IT IS OBVIOUS IN THE FIELD THAT OBSTRUCTIONS, GRADE DIFFERENCES OR DISCREPANCIES IN AREA DIMENSIONS EXIST THAT MIGHT NOT HAVE BEEN CONSIDERED IN ENGINEERING. SUCH OBSTRUCTIONS OR DIFFERENCES SHOULD BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT AS SOON AS DETECTED. IN THE EVENT THIS NOTIFICATION IS NOT PERFORMED, THE IRRIGATION CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY REVISION NECESSARY.
- 1.03 QUALITY ASSURANCE
- A. PROVIDE AT LEAST ONE ENGLISH SPEAKING PERSON WHO SHALL BE PRESENT AT ALL TIMES DURING EXECUTION OF THIS PORTION OF THE WORK AND WHO SHALL BE THOROUGHLY FAMILIAR WITH THE TYPE OF MATERIALS BEING INSTALLED AND THE MANUFACTURER'S RECOMMENDED METHODS OF INSTALLATION AND WHO SHALL DIRECT ALL WORK PERFORMED UNDER THIS SECTION.
 - B. MANUFACTURER'S DIRECTIONS AND DETAILED DRAWINGS SHALL BE FOLLOWED IN ALL CASES WHERE THE MANUFACTURER OF ARTICLES USED IN THIS CONTRACT FURNISH DIRECTIONS COVERING POINTS NOT SHOWN IN THE DRAWINGS AND SPECIFICATIONS.
 - C. ALL LOCAL, MUNICIPAL AND STATE LAWS, RULES AND REGULATIONS GOVERNING OR RELATING TO ANY PORTION OF THIS WORK ARE HEREBY INCORPORATED INTO AND MADE A PART OF THESE SPECIFICATIONS, AND THEIR PROVISIONS SHALL BE CARRIED OUT BY THE CONTRACTOR. ANYTHING CONTAINED IN THESE SPECIFICATIONS SHALL NOT BE CONSTRUED TO CONFLICT WITH ANY OF THE ABOVE RULES AND REGULATIONS OF THE SAME. HOWEVER, WHEN THESE SPECIFICATIONS AND DRAWINGS CALL FOR OR DESCRIBE MATERIALS, WORKMANSHIP, OR CONSTRUCTION OF A BETTER QUALITY, HIGHER STANDARD, OR LARGER SIZE THAN IS REQUIRED BY THE ABOVE RULES AND REGULATIONS, THE PROVISIONS OF THESE SPECIFICATIONS AND DRAWINGS SHALL TAKE PRECEDENCE.
 - D. ALL MATERIALS SUPPLIED FOR THIS PROJECT SHALL BE NEW AND FREE FROM ANY DEFECTS. ALL DEFECTIVE MATERIALS SHALL BE REPLACED IMMEDIATELY AT NO ADDITIONAL COST TO OWNER.
 - E. THE CONTRACTOR SHALL SECURE THE REQUIRED LICENSES AND PERMITS INCLUDING PAYMENTS OF CHARGES AND FEES, GIVE REQUIRED NOTICES TO PUBLIC AUTHORITIES, VERIFY PERMITS SECURED OR ARRANGEMENTS MADE BY OTHERS AFFECTING THE WORK OF THIS SECTION.
- 1.04 SUBMITTALS
- A. MATERIALS LIST:
 1. AFTER AWARD OF CONTRACT AND BEFORE ANY IRRIGATION SYSTEM MATERIALS ARE DELIVERED TO THE JOB SITE, SUBMIT TO THE OWNER A COMPLETE LIST OF ALL IRRIGATION SYSTEMS, MATERIALS, OR PROCESSES PROPOSED TO BE FURNISHED AND INSTALLED AS PART OF THIS CONTRACT.
 2. SHOW MANUFACTURER'S NAME AND CATALOG NUMBER FOR EACH ITEM, FURNISH COMPLETE CATALOG CUTS AND TECHNICAL DATA, FURNISH THE MANUFACTURER'S RECOMMENDATIONS AS TO THE METHOD OF INSTALLATION.
 3. NO SUBSTITUTIONS WILL BE ALLOWED WITHOUT PRIOR WRITTEN ACCEPTANCE BY THE LANDSCAPE ARCHITECT OR OWNER'S AUTHORIZED REPRESENTATIVE.
 4. MANUFACTURER'S WARRANTIES SHALL NOT RELIEVE THE CONTRACTOR OF HIS LIABILITY UNDER THE GUARANTEE. SUCH WARRANTIES SHALL ONLY SUPPLEMENT THE GUARANTEE.
 - B. SUBSTITUTIONS:

IF THE IRRIGATION CONTRACTOR WISHES TO SUBSTITUTE ANY EQUIPMENT OR MATERIALS FOR THOSE EQUIPMENT OR MATERIALS LISTED ON THE IRRIGATION DRAWINGS AND SPECIFICATIONS HE MAY DO SO BY PROVIDING THE FOLLOWING INFORMATION TO THE LANDSCAPE ARCHITECT OR OWNER'S AUTHORIZED REPRESENTATIVE AND CITY INSPECTOR FOR APPROVAL:

 1. PROVIDE A WRITTEN STATEMENT INDICATING THE REASON FOR MAKING THE SUBSTITUTION.
 2. PROVIDE CATALOG CUT SHEETS, TECHNICAL DATA, AND PERFORMANCE INFORMATION FOR EACH SUBSTITUTE ITEM.

- 3. PROVIDE IN WRITING THE DIFFERENCE IN INSTALLED PRICE IF THE ITEM IS ACCEPTED.
- 1.05 EXISTING CONDITIONS
- A. THE CONTRACTOR SHALL VERIFY AND BE FAMILIAR WITH THE LOCATIONS, SIZE AND DETAIL OF POINTS OF CONNECTION PROVIDED AS THE SOURCE OF WATER, ELECTRICAL SUPPLY, AND ANY TELEPHONE LINE CONNECTION TO THE IRRIGATION SYSTEM.
 - B. IRRIGATION DESIGN IS BASED ON THE AVAILABLE STATIC WATER PRESSURE SHOWN ON THE DRAWINGS. CONTRACTOR SHALL VERIFY STATIC WATER ON THE PROJECT PRIOR TO THE START OF CONSTRUCTION. SHOULD A DISCREPANCY EXIST, NOTIFY THE LANDSCAPE ARCHITECT AND OWNER'S AUTHORIZED REPRESENTATIVE PRIOR TO BEGINNING CONSTRUCTION.
 - C. PRIOR TO CUTTING INTO THE SOIL, THE CONTRACTOR SHALL LOCATE ALL CABLES, CONDUITS, SEWER SEPTIC TANKS, AND OTHER UTILITIES AS ARE COMMONLY ENCOUNTERED UNDERGROUND AND HE SHALL TAKE PROPER PRECAUTIONS NOT TO DAMAGE OR DISTURB SUCH IMPROVEMENTS. IF A CONFLICT EXISTS BETWEEN THE SUCH OBSTACLES AND THE PROPOSED WORK, THE CONTRACTOR SHALL PROMPTLY NOTIFY THE LANDSCAPE ARCHITECT AND OWNER WHO WILL ARRANGE FOR RELOCATIONS. THE CONTRACTOR WILL PROCEED IN THE SAME MANNER IF A ROCK LAYER OR ANY OTHER SUCH CONDITIONS ARE ENCOUNTERED.
 - D. THE CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES AND FEATURES TO REMAIN ON AND ADJACENT TO THE PROJECT SITE DURING CONSTRUCTION. CONTRACTOR SHALL REPAIR, AT HIS OWN COST, ALL DAMAGE RESULTING FROM HIS OPERATIONS OR NEGLIGENCE.
 - E. THE IRRIGATION CONTRACTOR SHALL COORDINATE WITH THE GENERAL CONTRACTOR FOR INSTALLATION OF REQUIRED SLEEVING AS SHOWN ON THE PLANS.
- 1.06 INSPECTIONS
- A. THE CONTRACTOR SHALL PERMIT THE LANDSCAPE ARCHITECT, OWNER'S AUTHORIZED REPRESENTATIVE AND CITY INSPECTOR TO VISIT AND INSPECT AT ALL TIMES ANY PART OF THE WORK AND SHALL PROVIDE SAFE ACCESS FOR SUCH VISITS.
 - B. WHERE THE SPECIFICATIONS REQUIRE WORK TO BE TESTED BY THE CONTRACTOR, IT SHALL NOT BE COVERED OVER UNTIL ACCEPTED BY THE LANDSCAPE ARCHITECT, OWNER'S AUTHORIZED REPRESENTATIVE, AND/OR GOVERNING AGENCIES. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR NOTIFYING THE LANDSCAPE ARCHITECT, OWNER, AND GOVERNING AGENCIES, A MINIMUM OF 48 HOURS IN ADVANCE, WHERE AND WHEN THE WORK IS READY FOR TESTING. SHOULD ANY WORK BE COVERED WITHOUT TESTING OR ACCEPTANCE, IT SHALL BE, IF SO ORDERED, UNCOVERED AT THE CONTRACTOR'S EXPENSE.
 - C. INSPECTIONS WILL BE REQUIRED FOR THE FOLLOWING AT A MINIMUM:
 1. SYSTEM LAYOUT
 2. PRESSURE TEST OF IRRIGATION MAIN LINE (FOUR HOURS AT 125 PSI OR 120% OF STATIC WATER PRESSURE, WHICH EVER IS GREATER) APPROVAL REQUIRED BY CITY INSPECTOR.
 3. COVERAGE TEST OF IRRIGATION SYSTEM (APPROVAL REQUIRED BY CITY INSPECTOR).
 4. FINAL INSPECTION PRIOR TO START OF MAINTENANCE PERIOD
 5. FINAL ACCEPTANCE
 - D. SITE OBSERVATIONS AND TESTING WILL NOT COMMENCE WITHOUT THE RECORD DRAWINGS AS PREPARED BY THE IRRIGATION CONTRACTOR. RECORD DRAWINGS MUST COMPLETE AND UP TO DATE FOR EACH SITE VISIT.
 - E. WORK WHICH FAILS TESTING AND IS NOT ACCEPTED WILL BE RETESTED. HOURLY RATES AND EXPENSES OF THE LANDSCAPE ARCHITECT, OWNER'S AUTHORIZED REPRESENTATIVE, AND GOVERNING AGENCIES FOR REINSPECTION OR RETESTING WILL BE PAID BY THE IRRIGATION CONTRACTOR AT NO ADDITIONAL EXPENSE TO OWNER.
- 1.07 STORAGE AND HANDLING
- A. USE ALL MEANS NECESSARY TO PROTECT IRRIGATION SYSTEM MATERIALS BEFORE, DURING, AND AFTER INSTALLATION AND TO PROTECT THE INSTALLATION WORK AND MATERIALS OF ALL OTHER TRADES. IN THE EVENT OF DAMAGE, IMMEDIATELY MAKE ALL REPAIRS AND REPLACEMENTS NECESSARY TO THE ACCEPTANCE OF THE LANDSCAPE ARCHITECT AND OWNER AND AT NO ADDITIONAL COST TO THE OWNER.
 - B. EXERCISE CARE IN HANDLING, LOADING, UNLOADING, AND STORING PLASTIC PIPE AND FITTINGS UNDER COVER UNTIL READY TO INSTALL. TRANSPORT PLASTIC PIPE ONLY ON A VEHICLE WITH A BED LONG ENOUGH TO ALLOW THE PIPE TO LAY FLAT TO AVOID UNDUE BENDING AND CONCENTRATED EXTERNAL LOAD.
- 1.08 CLEANUP AND DISPOSAL
- A. DISPOSE OF WASTE, TRASH, AND DEBRIS IN ACCORDANCE WITH APPLICABLE LAWS AND ORDINANCES AND AS PRESCRIBED BY AUTHORITIES HAVING JURISDICTION. BURY NO SUCH WASTE MATERIAL AND DEBRIS ON THE SITE. BURNING OF TRASH AND DEBRIS WILL NOT BE PERMITTED. THE CONTRACTOR SHALL REMOVE AND DISPOSE OF RUBBISH AND DEBRIS GENERATED BY HIS WORK AND WORKMEN AT FREQUENT INTERVALS OR WHEN ORDERED TO DO SO BY THE OWNER'S AUTHORIZED REPRESENTATIVE.
 - B. AT THE TIME OF COMPLETION THE ENTIRE SITE WILL BE CLEARED OF TOOLS, EQUIPMENT, RUBBISH AND DEBRIS WHICH SHALL BE DISPOSED OF OFF-SITE IN A LEGAL DISPOSAL AREA.
- 1.09 TURNOVER ITEMS
- A. RECORD DRAWINGS:
 1. RECORD ACCURATELY ON ONE SET OF CONTRACT DRAWINGS ALL CHANGES IN THE WORK CONSTITUTING DEPARTURES FROM THE ORIGINAL CONTRACT DRAWINGS.
 2. THE CHANGES AND DIMENSIONS SHALL BE RECORDED IN A LEGIBLE AND WORKMANLIKE MANNER TO THE SATISFACTION OF THE OWNER. PRIOR TO FINAL INSPECTION OF WORK, SUBMIT RECORD DRAWINGS TO THE LANDSCAPE ARCHITECT OR OWNER'S AUTHORIZED REPRESENTATIVE.
 3. DIMENSIONS FROM/TO PERMANENT POINTS OF REFERENCE SUCH AS BUILDINGS, SIDEWALKS, CURBS, ETC. SHALL BE SHOWN. DATA ON RECORD DRAWINGS SHALL BE RECORDED ON A DAY TO DAY BASIS AS THE PROJECT IS BEING INSTALLED. ALL LETTERING ON DRAWINGS SHALL BE MINIMUM 1/8" INCH IN SIZE.
 4. SHOW LOCATIONS AND DEPTHS OF THE FOLLOWING ITEMS:
 - 5. POINT OF CONNECTION (INCLUDING WATER METERS, BACKFLOW PREVENTERS, MASTER CONTROL VALVES, ETC.)
 - 6. ROUTING OF SPRINKLER PRESSURE LINES (DIMENSIONS SHOWN AT A MAXIMUM OF 100 FEET ALONG ROUTING)
 - 7. GATE VALVES
 - 8. AUTOMATIC REMOTE CONTROL VALVES AND ISOLATION BALL VALVES
 - 9. QUICK COUPLING VALVES AND ISOLATION BALL VALVES
 - 10. ROUTING OF CONTROL WIRES
 - 11. IRRIGATION CONTROLLERS
 - 12. RELATED EQUIPMENT (AS MAY BE DIRECTED)
 - 13. MAINTAIN RECORD DRAWINGS ON SITE AT ALL TIMES. UPON COMPLETION OF WORK, TRANSFER ALL AS-BUILT INFORMATION AND DIMENSIONS TO REPRODUCIBLE SEPIA PRINTS.
 - B. CONTROLLER CHARTS:
 1. RECORD DRAWINGS MUST BE APPROVED BY LANDSCAPE ARCHITECT AND/OR OWNER'S AUTHORIZED REPRESENTATIVE BEFORE CHARTS ARE PREPARED.
 2. PROVIDE ONE CONTROLLER CHART FOR EACH AUTOMATIC CONTROLLER. CHART SHALL SHOW THE AREA COVERED BY THE PARTICULAR CONTROLLER.
 3. THE CHART IS TO BE A REDUCED COPY OF THE ACTUAL "RECORD" DRAWING. IN THE EVENT THE CONTROLLER SEQUENCE IS NOT LEGIBLE WHEN THE DRAWING IS REDUCED, IT SHALL BE ENLARGED TO A READABLE SIZE.
 4. WHEN COMPLETED AND APPROVED, THE CHART SHALL BE HERMETICALLY SEALED BETWEEN TWO PIECES OF PLASTIC, EACH PIECE BEING A MINIMUM 20 MILS IN THICKNESS.
 - C. OPERATION AND MAINTENANCE MANUALS:
 1. TWO INDIVIDUALLY BOUND COPIES OF OPERATION AND MAINTENANCE MANUALS SHALL BE DELIVERED TO THE LANDSCAPE ARCHITECT OR OWNER'S AUTHORIZED REPRESENTATIVE AT LEAST 10 CALENDAR DAYS PRIOR TO FINAL INSPECTION. THE MANUALS SHALL DESCRIBE THE MATERIAL INSTALLED AND THE PROPER OPERATION OF THE SYSTEM.
 2. EACH COMPLETE, BOUND MANUAL SHALL INCLUDE THE FOLLOWING INFORMATION:
 - A. INDEX SHEET STATING CONTRACTOR'S ADDRESS AND TELEPHONE NUMBER, DURATION OF GUARANTEE PERIOD, LIST OF EQUIPMENT INCLUDING NAMES AND ADDRESSES OF LOCAL MANUFACTURER REPRESENTATIVES.
 - B. OPERATING AND MAINTENANCE INSTRUCTIONS FOR ALL EQUIPMENT.
 - C. SPARE PARTS LISTS AND RELATED MANUFACTURER INFORMATION FOR ALL EQUIPMENT.
 - D. EQUIPMENT:
 1. SUPPLY AS A PART OF THIS CONTRACT THE FOLLOWING ITEMS:
 - A. TWO (2) WRENCHES FOR DISASSEMBLY AND ADJUSTMENT OF EACH TYPE OF SPRINKLER HEAD USED IN THE IRRIGATION SYSTEM.
 - B. THREE 30-INCH SPRINKLER KEYS FOR MANUAL OPERATION OF CONTROL VALVES.
 - C. TWO KEYS FOR EACH AUTOMATIC CONTROLLER.
 - D. FIVE QUICK COUPLER KEYS WITH A BRONZE HOSE THREAD 90 DEGREE SWIVEL ATTACHMENT AND FIVE COUPLER LID KEYS.
 - E. FIVE VALVE BOX COVER KEY OR WRENCH.
 - F. ONE 5-FOOT TEE WRENCH FOR OPERATING GATE VALVES 3 INCHES OR LARGER (IF USED).
 - G. SIX EXTRA SPRINKLER HEADS OF EACH SIZE AND TYPE PER IRRIGATION P.O.C.
 2. THE ABOVE EQUIPMENT SHALL BE TURNED OVER TO OWNER'S AUTHORIZED REPRESENTATIVE AT THE FINAL INSPECTION.

- 1.10 COMPLETION
 - A. AT THE TIME OF THE PRE-MAINTENANCE PERIOD INSPECTION, THE LANDSCAPE ARCHITECT, OWNER'S AUTHORIZED REPRESENTATIVE, AND GOVERNING AGENCIES WILL INSPECT THE WORK, AND IF NOT ACCEPTED, WILL PREPARE A LIST OF ITEMS TO BE COMPLETED BY THE CONTRACTOR. AT THE TIME OF THE POST-MAINTENANCE PERIOD OR FINAL INSPECTION THE WORK WILL BE REINSPECTED AND FINAL ACCEPTANCE WILL BE IN WRITING BY THE LANDSCAPE ARCHITECT, OWNER'S AUTHORIZED REPRESENTATIVE, AND GOVERNING AGENCIES.
 - B. THE OWNER'S AUTHORIZED REPRESENTATIVE SHALL HAVE FINAL AUTHORITY ON ALL PORTIONS OF THE WORK.
 - C. AFTER THE SYSTEM HAS BEEN COMPLETED, THE CONTRACTOR SHALL INSTRUCT OWNER'S AUTHORIZED REPRESENTATIVE IN THE OPERATION AND MAINTENANCE OF THE IRRIGATION SYSTEM AND SHALL FURNISH A COMPLETE SET OF OPERATING AND MAINTENANCE INSTRUCTIONS.
 - D. ANY SETTling OF TRENCHES WHICH MAY OCCUR DURING THE ONE-YEAR PERIOD FOLLOWING ACCEPTANCE SHALL BE REPAIRED TO THE OWNER'S SATISFACTION BY THE CONTRACTOR WITHOUT ANY ADDITIONAL EXPENSE TO THE OWNER. REPAIRS SHALL INCLUDE THE COMPLETE RESTORATION OF ALL DAMAGE TO PLANTING, PAVING OR OTHER IMPROVEMENTS OF ANY KIND AS A RESULT OF THE WORK.
- 1.11 GUARANTEE
 - A. THE ENTIRE SPRINKLER SYSTEM, INCLUDING ALL WORK DONE UNDER THIS CONTRACT, SHALL BE UNCONDITIONALLY GUARANTEED AGAINST ALL DEFECTS AND FAULT OF MATERIAL AND WORKMANSHIP, INCLUDING SETTling OF BACK FIELD AREAS BELOW GRADE, FOR A PERIOD OF ONE (1) YEAR FOLLOWING THE FILING OF THE NOTICE OF COMPLETION. SHOULD ANY PROBLEM WITH THE IRRIGATION SYSTEM BE DISCOVERED WITHIN THE GUARANTEE PERIOD, IT SHALL BE CORRECTED BY THE CONTRACTOR AT NO ADDITIONAL EXPENSE TO OWNER WITHIN TEN (10) CALENDAR DAYS OF RECEIPT OF WRITTEN NOTICE FROM OWNER. WHEN THE NATURE OF THE REPAIRS AS DETERMINED BY THE OWNER CONSTITUTE AN EMERGENCY (I.E. BROKEN PRESSURE LINE) THE OWNER MAY PROCEED TO MAKE REPAIRS AT THE CONTRACTOR'S EXPENSE. ANY AND ALL DAMAGES TO EXISTING IMPROVEMENT RESULTING EITHER FROM FAULTY MATERIALS OR WORKMANSHIP, OR FROM THE NECESSARY REPAIRS TO CORRECT SAME, SHALL BE REPAIRED TO THE SATISFACTION OF THE OWNER BY THE CONTRACTOR, ALL AT NO ADDITIONAL COST TO THE OWNER.

B. GUARANTEE SHALL BE SUBMITTED ON CONTRACTORS OWN LETTERHEAD AS FOLLOWS: GUARANTEE FOR SPRINKLER IRRIGATION SYSTEM WE HEREBY GUARANTEE THAT THE SPRINKLER IRRIGATION SYSTEM WE HAVE FURNISHED AND INSTALLED IS FREE FROM DEFECTS IN MATERIALS AND WORKMANSHIP, AND THE WORK HAS BEEN COMPLETED IN ACCORDANCE WITH THE DRAWINGS AND SPECIFICATIONS, ORDINARY WEAR AND TEAR AND UNUSUAL ABUSE, OR NEGLECT EXCEPTED. WE AGREE TO REPAIR OR REPLACE ANY DEFECTIVE MATERIAL

DURING THE PERIOD OF ONE YEAR FROM DATE OF FILING OF THE NOTICE OF COMPLETION AND ALSO TO REPAIR OR REPLACE ANY DAMAGE RESULTING FROM THE REPAIRING OR REPLACING OF SUCH DEFECTS AT NO ADDITIONAL COST TO THE OWNER. WE SHALL MAKE SUCH REPAIRS OR REPLACEMENTS WITHIN 10 CALENDAR DAYS FOLLOWING WRITTEN NOTIFICATION BY THE OWNER. IN THE EVENT OF OUR FAILURE TO MAKE SUCH REPAIRS OR REPLACEMENTS WITHIN THE TIME SPECIFIED AFTER RECEIPT OF WRITTEN NOTICE FROM OWNER, WE AUTHORIZE THE OWNER TO PROCEED TO HAVE SAID REPAIRS OR REPLACEMENTS MADE AT OUR EXPENSE AND WE WILL PAY THE COSTS AND CHARGES THEREFORE UPON DEMAND.

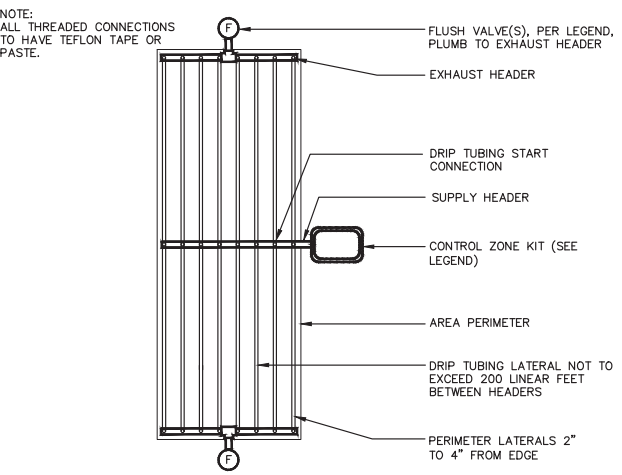
PROJECT NAME:
 PROJECT LOCATION:
 CONTRACTOR NAME:
 ADDRESS:
 TELEPHONE:
 SIGNED:
 DATE:

PART II - MATERIALS

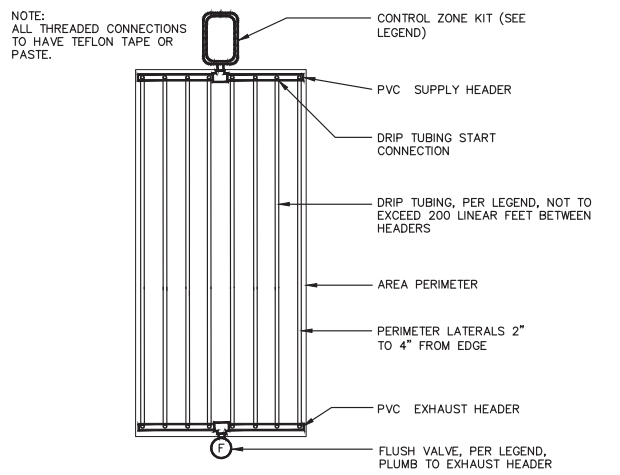
- 2.01 SUMMARY
- USE ONLY NEW MATERIALS OF THE MANUFACTURER, SIZE AND TYPE SHOWN ON THE DRAWINGS AND SPECIFICATIONS. MATERIALS OR EQUIPMENT INSTALLED OR FURNISHED THAT DO NOT MEET LANDSCAPE ARCHITECT'S, OWNER'S, OR GOVERNING AGENCIES STANDARDS WILL BE REJECTED AND SHALL BE REMOVED FROM THE SITE AT NO EXPENSE TO THE OWNER.
- 2.02 PIPE
- A. PRESSURE SUPPLY LINE FROM POINT OF CONNECTION THROUGH BACKFLOW PREVENTION UNIT SHALL BE TYPE K "HARD" COPPER PIPE OR BRASS NIPPLES (LENGTH AS REQUIRED).
 - B. PRESSURE SUPPLY LINES 2 INCHES IN DIAMETER AND UP TO 2.5 INCHES IN DIAMETER DOWNSTREAM OF BACKFLOW PREVENTION UNIT SHALL BE CLASS 315 SOLVENT WELD PVC. PIPING SHALL CONFORM TO ASTM D2241.
 - C. PRESSURE SUPPLY LINES 3 INCHES IN DIAMETER AND UP TO 8 INCHES IN DIAMETER DOWNSTREAM OF BACKFLOW PREVENTION UNIT SHALL BE CLASS 200 GASKET JOINT PVC. PIPING SHALL CONFORM TO ASTM D2241.
 - D. PRESSURE SUPPLY LINES 1.5 INCHES IN DIAMETER AND SMALLER OF THE BACKFLOW PREVENTION UNIT SHALL BE SCHEDULE 40 SOLVENT WELD PVC CONFORMING TO ASTM D1785.
 - E. NON-PRESSURE LINES .75 INCHES IN DIAMETER AND LARGER DOWNSTREAM OF THE REMOTE CONTROL VALVE SHALL BE SCH. 40 PVC.
 - F. ALL SPECIALIZED PIPING SHALL BE AS INDICATED ON THE DRAWING LEGEND OR DETAILS.
- 2.03 METAL PIPE AND FITTINGS
- A. BRASS PIPE SHALL BE 85 PERCENT RED BRASS, ANSI, IPS STANDARD 125 POUNDS, SCHEDULE 40 SCREWED PIPE.
 - B. BRASS FITTINGS SHALL BE MEDIUM BRASS, SCREWED 125-POUND CLASS.
 - C. COPPER PIPE SHALL BE "HARD" TYPE K OR AS NOTED ON THE DRAWING LEGEND OR DETAILS.
 - D. COPPER FITTINGS SHALL BE SOLDERED TYPE.
- 2.04 PLASTIC PIPE AND FITTINGS
- A. PIPE SHALL BE MARKED CONTINUOUSLY WITH MANUFACTURER'S NAME, NOMINAL PIPE SIZE, SCHEDULE OR CLASS, PVC TYPE AND GRADE, NATIONAL SANITATION FOUNDATION APPROVAL, COMMERCIAL STANDARDS DESIGNATION, AND DATE OF EXTRUSION.
 - B. ALL PLASTIC PIPE SHALL BE EXTRUDED OF AN IMPROVED PVC VIRGIN PIPE COMPOUND IN ACCORDANCE WITH ASTM D2241 OR ASTM D1784.
 - C. ALL PVC FITTINGS SHALL BE STANDARD WEIGHT SCHEDULE 40 AND SHALL BE INJECTION MOLDED OF AN IMPROVED VIRGIN PVC FITTING COMPOUND. SLIP PVC FITTINGS SHALL BE THE "DEEP SOCKET" BRACKETED TYPE. THREADED PLASTIC FITTINGS SHALL BE INJECTION MOLDED. ALL TEES AND ELLS SHALL BE SIDE GATED. ALL FITTINGS SHALL CONFORM TO ASTM D2466.
 - D. ALL THREADED NIPPLES SHALL BE STANDARD WEIGHT SCHEDULE 80 WITH MOLDED THREADS AND SHALL CONFORM TO ASTM D1785.
 - E. ALL SOLVENT CEMENTING OF PLASTIC PIPE AND FITTINGS SHALL BE A TWO-STEP PROCESS, USING PRIMER AND SOLVENT CEMENT APPLIED PER THE MANUFACTURER'S RECOMMENDATIONS. CEMENT SHALL BE OF A FLUID CONSISTENCY, NOT GEL-LIKE OR ROPY. SOLVENT CEMENTING SHALL BE IN CONFORMANCE WITH ASTM D2564 AND ASTM D2855.
 - F. WHEN CONNECTION IS PLASTIC TO METAL, FEMALE ADAPTERS SHALL BE HAND TIGHTENED, PLUS ONE TURN WITH A STRAP WRENCH. JOINT COMPOUND SHALL BE NON-LEAD BASE TEFLON PASTE, TAPE, OR EQUAL.

PRIVATE CONTRACT

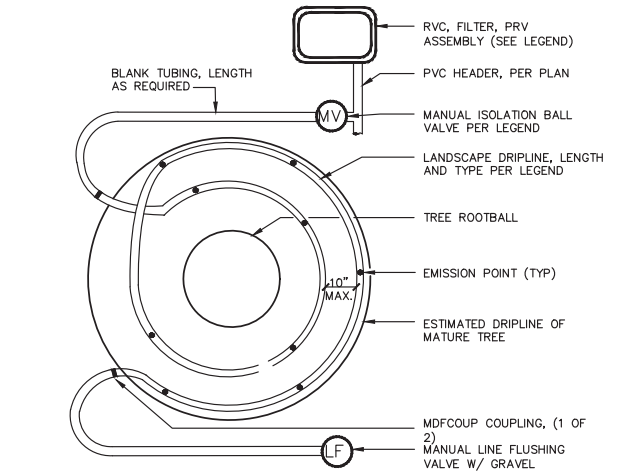
IRRIGATION SPECIFICATIONS FOR:		2385 FELTON STREET	
LOT 5 IN BLK 46 OF THE SUBDIVISION OF PUEBLO LOTS 1139 & 1140		MAP OF EASTERN ADDITION, ACCORDING MAP THEREOF NO. 295.	
CITY OF SAN DIEGO, CALIFORNIA		I.O. NO. 24007347	
DEVELOPMENT SERVICES DEPARTMENT		P.T.S. NO. 557456	
SHEET 13 OF SHEETS		NO. 655840	
FOR CITY ENGINEER	DATE		
DESCRIPTION	BY	APPROVED	DATE
ORIGINAL	J.D.		
		NAD 83 COORDINATES	
		205-1732	
		LAMBERT COORDINATES	
CONTRACTOR	DATE STARTED	00000-13-D	
INSPECTOR	DATE COMPLETED		



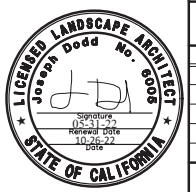
S DRIP ZONE LAYOUT - CENTER FEED
 SCALE: N.T.S.



T DRIP ZONE LAYOUT - END FEED
 SCALE: N.T.S.



U TREE RING DRIP LAYOUT
 SCALE: N.T.S.



IRRIGATION SPECIFICATIONS

PART II – MATERIALS (CONT.)

- 2.05 BACKFLOW PREVENTION UNITS
- A. THE BACKFLOW PREVENTION UNIT SHALL BE OF THE MANUFACTURER, SIZE, AND TYPE INDICATED ON THE DRAWINGS.
- B. THE BACKFLOW PREVENTION UNIT SHALL BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS SET FORTH BY LOCAL CODES.
- C. THE BACKFLOW PREVENTION ASSEMBLY SHALL CONSIST OF BRASS PIPING, UNIONS AND FITTINGS.
- 2.06 VALVES
- A. GATE VALVES:
1. GATE VALVES SHALL BE OF THE MANUFACTURER, SIZE, AND TYPE INDICATED ON THE DRAWINGS.
2. GATE VALVES SHALL BE CONSTRUCTED OF A BRONZE BODY, BONNET AND DISC, AND A MALLEABLE IRON HANDWHEEL. GATE VALVES SHALL HAVE THREADED CONNECTIONS.
3. ALL GATE VALVES SHALL HAVE A MINIMUM WORKING PRESSURE OF NOT LESS THAN 150 PSI AND SHALL CONFORM TO AWWA STANDARDS.
- B. BALL VALVES:
1. BALL VALVES SHALL BE OF THE MANUFACTURER, SIZE, AND TYPE INDICATED ON THE DRAWINGS.
2. BALL VALVES SHALL BE CONSTRUCTED OF A BRONZE BODY, STAINLESS STEEL BALL AND STEM, MALLEABLE IRON HANDLE. BALL VALVES SHALL HAVE THREADED CONNECTIONS.
3. ALL BALL VALVES SHALL HAVE A MINIMUM WORKING PRESSURE OF NOT LESS THAN 150 PSI AND SHALL CONFORM TO AWWA STANDARDS.
- C. QUICK COUPLER VALVES:
1. QUICK COUPLER VALVES SHALL BE OF THE MANUFACTURER, SIZE, AND TYPE INDICATED ON THE DRAWINGS.
2. QUICK COUPLER VALVES SHALL BE BRASS WITH A WALL THICKNESS GUARANTEED TO WITHSTAND NORMAL WORKING PRESSURE OF 150 PSI WITHOUT LEAKAGE. VALVES SHALL HAVE FEMALE THREADS OPENING AT BASE, WITH TWO-PIECE BODY. VALVES TO BE OPERATED ONLY WITH A COUPLER KEY, DESIGNED FOR THAT PURPOSE. COUPLER KEY IS INSERTED INTO VALVE AND A POSITIVE, WATERTIGHT CONNECTION SHALL BE MADE BETWEEN THE COUPLER KEY AND VALVE. HINGE COVER SHALL BE THE LOOKING TYPE CONSTRUCTED OF BRASS WITH A RUBBER-LIKE VINYL COVER.
3. VINYL QUICK COUPLER COVER FOR RECLAIMED WATER QUICK COUPLER VALVES TO BE PURPLE IN COLOR WITH THE WORDS "WARNING-RECYCLED (RECLAIMED) WATER-DO NOT DRINK PERMANENTLY MARKED ON LID FOR RECYCLED SYSTEM.
- D. AUTOMATIC CONTROL VALVES:
1. AUTOMATIC CONTROL VALVES SHALL BE OF THE MANUFACTURER, SIZE, AND TYPE INDICATED ON THE DRAWINGS.
2. AUTOMATIC CONTROL VALVES SHALL BE ELECTRICALLY OPERATED.
- E. ANTI-DRAIN VALVES:
1. ANTI-DRAIN VALVES SHALL BE OF THE MANUFACTURER, SIZE, AND TYPE INDICATED ON THE DRAWINGS.
2. ANTI-DRAIN VALVES SHALL HAVE 18-8 STAINLESS STEEL SPRINGS AND VALVE STEMS WITH Buna-N SEALS.
3. ANTI-DRAIN VALVES WILL HAVE THREADED CONNECTIONS THE SIZE OF THE RISER OR PIPE THEY ARE TO BE INSTALLED ONTO, OR THE NEXT AVAILABLE SIZE. NO SLIP CONNECTION ANTI-DRAIN VALVES ARE ALLOWED.
- 2.07 VALVE BOXES
- A. VALVE BOXES SHALL BE FABRICATED FROM A DURABLE, WEATHER-RESISTANT PLASTIC MATERIAL RESISTANT TO SUNLIGHT AND CHEMICAL ACTION OF SOILS.
- B. THE VALVE BOX COVER SHALL BE GREEN IN COLOR AND SECURED WITH BOLTS.
- C. THE COVER AND BOX SHALL BE CAPABLE OF SUSTAINING A LOAD OF 1,500 POUNDS.
- D. VALVE BOX EXTENSIONS SHALL BE BY THE SAME MANUFACTURER AS THE VALVE BOX.
- E. AUTOMATIC CONTROL AND MASTER VALVE BOXES SHALL BE 16"x11"x12" RECTANGULAR SIZE. VALVE BOX COVERS SHALL BE "HEAT BRANDED" IN 2" HIGH LETTERS WITH EITHER "RCV" WITH THE VALVE IDENTIFICATION NUMBERS OR "MCV".
- F. SPECIALITY "JUMBO" BOXES MAY BE INDICATED ON DRAWINGS AND SHALL BE 25"x15"x12" RECTANGULAR SIZE.
- G. BALL VALVE, GATE VALVE, AND QUICK COUPLER VALVE BOXES SHALL BE CIRCULAR 10" SIZE. VALVE BOX COVERS SHALL BE "HEAT BRANDED" IN 2" HIGH LETTERS WITH EITHER "BV", "GV", OR "QCV".
- 2.08 IRRIGATION CONTROLLER
- A. CONTROLLER SHALL BE OF THE MANUFACTURER, SIZE AND TYPE INDICATED ON THE DRAWINGS.
- B. THE CONTROLLER ENCLOSURE SHALL BE OF THE MANUFACTURER, SIZE AND TYPE INDICATED ON THE DRAWINGS. THE ENCLOSURE SHALL ALSO ENCLOSE THE CONTROLLER ELECTRICAL METER.
- C. THE CONTROLLER SHALL BE OF THE MANUFACTURER, SIZE AND TYPE REQUIRED BY THE CITY OF DEL MAR.
- 2.09 ELECTRICAL
- A. ALL ELECTRICAL EQUIPMENT SHALL BE NEMA TYPE 3, WATERPROOFED FOR EXTERIOR INSTALLATIONS.
- B. ALL ELECTRICAL WORK SHALL CONFORM TO LOCAL CODES AND ORDINANCES.
- 2.10 LOW VOLTAGE CONTROL WIRING
- A. REMOTE CONTROL WIRE SHALL BE DIRECT-BURIAL AWG-UF TYPE, SIZE AS INDICATED ON THE DRAWINGS, AND IN NO CASE SMALLER THAN 14 GAUGE.
- B. CONNECTIONS SHALL BE EITHER EPOXY-SEALED PACKET TYPE OR PENN-TITE CONNECTORS. SPLICES ARE NOT ACCEPTABLE.
- C. COMMON WIRES SHALL BE WHITE IN COLOR, AND IN NO CASE SMALLER THAN 14 GAUGE. CONTROL WIRES SHALL BE RED (WHERE TWO OR MORE CONTROLLERS ARE USED), THE CONTROL WIRES SHALL BE A DIFFERENT COLOR FOR EACH CONTROLLER.
- D. TWO ADDITIONAL WIRES SHALL BE RUN FROM THE CONTROLLERS TO THE LAST VALVE/VALVE MANIFOLD ON THE MAINLINE. AN ADDITIONAL TWO WIRES SHALL BE RUN FOR EACH SPLIT IN THE MAINLINE. A TRACER WIRE SHALL BE RUN ALONG THE ENTIRE LENGTH OF THE MAINLINE.
- E. GROUND WIRES SHALL BE GREEN IN COLOR, AND IN NO CASE SMALLER THAN 6 GAUGE.
- F. PROVIDE A 24" LONG EXPANSION LOOP FOR ALL DIRECTIONAL CHANGES IN CONTROL WIRE ROUTING.
- 2.11 IRRIGATION HEADS
- A. SPRINKLER HEADS SHALL BE OF THE MANUFACTURER SIZE, TYPE, WITH RADIUS OF THROW, OPERATING PRESSURE, AND DISCHARGE RATE INDICATED ON THE DRAWINGS.
- B. POP-UP HEADS AND RISER HEADS SHALL BE USED AS INDICATED ON THE DRAWINGS.

PART III – EXECUTION

- 3.01 SITE CONDITIONS
- A. INSPECTIONS:
1. PRIOR TO ALL WORK OF THIS SECTION, CAREFULLY INSPECT THE INSTALLED WORK OF ALL OTHER TRADES AND VERIFY THAT ALL SUCH WORK IS COMPLETE TO THE POINT WHERE THIS INSTALLATION MAY PROPERLY COMMENCE.
2. VERIFY THAT IRRIGATION SYSTEM MAY BE INSTALLED IN STRICT ACCORDANCE WITH ALL PERTINENT CODES AND REGULATIONS, THE ORIGINAL DESIGN, THE REFERENCED STANDARDS, AND THE MANUFACTURER'S RECOMMENDATIONS.
- B. DISCREPANCIES:
1. IN THE EVENT OF DISCREPANCY, IMMEDIATELY NOTIFY THE LANDSCAPE ARCHITECT OR OWNER'S AUTHORIZED REPRESENTATIVE.
2. DO NOT PROCEED WITH INSTALLATION IN AREAS OF DISCREPANCY UNTIL ALL DISCREPANCIES HAVE BEEN RESOLVED.
- C. GRADES:
1. BEFORE STARTING WORK, CAREFULLY CHECK ALL GRADES TO DETERMINE THAT WORK MAY SAFELY PROCEED, KEEPING WITHIN THE SPECIFIED MATERIAL DEPTHS WITH RESPECT TO FINISH GRADE.
2. FINAL GRADES SHALL BE ACCEPTED BY THE ENGINEER BEFORE WORK ON THIS SECTION WILL BE ALLOWED TO BEGIN.
- D. FIELD MEASUREMENTS:
1. MAKE ALL NECESSARY MEASUREMENTS IN THE FIELD TO ENSURE PRECISE FIT OF ITEMS IN ACCORDANCE WITH THE ORIGINAL DESIGN. CONTRACTOR SHALL COORDINATE THE INSTALLATION OF ALL IRRIGATION MATERIALS WITH ALL OTHER WORK.
2. ALL SCALED DIMENSIONS ARE APPROXIMATE. THE CONTRACTOR SHALL CHECK AND VERIFY ALL SIZE DIMENSIONS PRIOR TO PROCEEDING WITH WORK UNDER THIS SECTION.
3. EXERCISE EXTREME CARE IN EXCAVATING AND WORKING NEAR EXISTING UTILITIES. CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGES TO UTILITIES WHICH ARE CAUSED BY HIS OPERATIONS. NEGLECT.
- E. DIAGRAMMATIC INTENT:
THE DRAWINGS ARE ESSENTIALLY DIAGRAMMATIC. THE SIZE AND LOCATION OF EQUIPMENT AND FIXTURES ARE DRAWN TO SCALE WHERE POSSIBLE. PROVIDE OFFSETS IN PIPING CHANGES IN EQUIPMENT LOCATIONS AS NECESSARY TO CONFORM WITH STRUCTURES AND TO AVOID OBSTRUCTIONS OR CONFLICTS WITH OTHER WORK AT NO ADDITIONAL EXPENSE TO OWNER.
- F. LAYOUT:
1. PRIOR TO INSTALLATION, THE CONTRACTOR SHALL STAKE OUT ALL PRESSURE SUPPLY LINES, ROUTING AND LOCATION OF SPRINKLER HEADS, VALVES, BACKFLOW PREVENTER, AND AUTOMATIC CONTROLLER.
2. LAYOUT IRRIGATION SYSTEM AND MAKE MINOR ADJUSTMENTS REQUIRED DUE TO DIFFERENCES BETWEEN SITE AND DRAWINGS. WHERE PIPING IS SHOWN ON DRAWINGS UNDER PAVED AREAS, BUT RUNNING PARALLEL AND ADJACENT TO PLANTED AREAS, INSTALL THE PIPING IN THE PLANTED AREAS.
- G. WATER SUPPLY CONNECTIONS TO, OR THE INSTALLATION OF, THE WATER SUPPLY SHALL BE AT THE LOCATIONS SHOWN ON THE DRAWINGS. MINOR CHANGES CAUSED BY ACTUAL SITE CONDITIONS SHALL BE MADE AT NO ADDITIONAL EXPENSE TO OWNER.
- H. ELECTRICAL SERVICE:
1. CONNECTIONS TO THE ELECTRICAL SUPPLY SHALL BE AT THE LOCATIONS SHOWN ON THE DRAWINGS. MINOR CHANGES CAUSED BY SITE CONDITIONS SHALL BE MADE AT NO ADDITIONAL EXPENSE TO OWNER.
2. CONTRACTOR SHALL MAKE 120 VOLT CONNECTION TO THE IRRIGATION CONTROLLERS. ELECTRICAL POWER SOURCE TO CONTROLLER LOCATIONS SHALL BE PROVIDED BY OTHERS.
- 3.02 TRENCHING
- A. EXCAVATIONS SHALL BE STRAIGHT WITH VERTICAL SIDES, EVEN GRADE, AND SUPPORT PIPE CONTINUOUSLY ON BOTTOM OF TRENCH. TRENCHING EXCAVATION SHALL FOLLOW LAYOUT INDICATED ON DRAWINGS TO THE DEPTHS BELOW FINISHED GRADE AND AS NOTED. WHERE LINES OCCUR UNDER PAVED AREA, THESE DIMENSIONS SHALL BE CONSIDERED BELOW SUBGRADE.
- B. PROVIDE MINIMUM COVER OF 18 INCHES ON PRESSURE SUPPLY LINES 2 1/2 INCHES AND SMALLER, PROVIDE MINIMUM COVER OF 24 INCHES ON PRESSURE SUPPLY LINES 3 INCHES, AND 36 INCHES OF COVER ON PRESSURE SUPPLY LINES 4 INCH AND LARGER.
- C. PROVIDE MINIMUM COVER OF 18 INCHES FOR CONTROL WIRES.
- D. PROVIDE MINIMUM COVER OF 12 INCHES FOR NON-PRESSURE LINES.
- E. PIPES INSTALLED IN A COMMON TRENCH SHALL HAVE A 4 INCH MINIMUM SPACE BETWEEN PIPES.
- F. PROVIDE SAND BACKFILL A MINIMUM OF 4 INCHES OVER AND UNDER ALL MAINLINE PIPING.
- 3.03 BACKFILLING
- A. BACKFILL MATERIAL ON ALL LINES SHALL BE THE SAME AS ADJACENT SOIL FREE OF DEBRIS, LITTER, AND ROCKS OVER 1/2 INCH IN DIAMETER.
- B. BACKFILL SHALL BE TAMPED IN 4-INCH LAYERS UNDER THE PIPE AND UNIFORMLY ON BOTH SIDES FOR THE FULL WIDTH OF THE TRENCH AND THE FULL LENGTH OF THE PIPE. BACKFILL MATERIALS SHALL BE SUFFICIENTLY DAMP TO PERMIT THOROUGH COMPACTION, FREE OF VOIDS. BACKFILL SHALL BE COMPACTED TO DRY DENSITY EQUAL TO ADJACENT UNDISTURBED SOIL AND SHALL CONFORM TO ADJACENT GRADES.
- C. FLOODING IN LIEU OF TAMPING IS NOT ALLOWED.
- D. UNDER NO CIRCUMSTANCES SHALL TRUCK WHEELS BE USED TO COMPACT BACKFILL.
- E. PROVIDE SAND BACKFILL A MINIMUM OF 6 INCHES OVER AND UNDER ALL PIPING UNDER PAVED AREAS.
- 3.04 PIPING
- A. PIPING UNDER EXISTING PAVEMENT MAY BE INSTALLED BY JACKING, BORING, OR HYDRAULIC DRIVING. NO HYDRAULIC DRIVING IS PERMITTED UNDER ASPHALT PAVEMENT.
- B. CUTTING OR BREAKING OF EXISTING PAVEMENT IS NOT PERMITTED.
- C. CAREFULLY INSPECT ALL PIPE AND FITTINGS BEFORE INSTALLATION, REMOVING DIRT, SCALE, BURRS REAMING. INSTALL PIPE WITH ALL MARKINGS UP FOR VISUAL INSPECTION AND VERIFICATION.
- D. REMOVE ALL DENTED AND DAMAGED PIPE SECTIONS.
- E. ALL LINES SHALL HAVE A MINIMUM CLEARANCE OF 6 INCHES FROM EACH OTHER AND 12 INCHES FROM LINES OF OTHER TRADES.
- F. PARALLEL LINES SHALL NOT BE INSTALLED DIRECTLY OVER EACH OTHER.
- G. IN SOLVENT WELDING, USE ONLY THE SPECIFIED PRIMER AND SOLVENT CEMENT AND MAKE ALL JOINTS IN STRICT ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDED METHODS INCLUDING WIPING ALL EXCESS SOLVENT FROM EACH WELD. ALLOW SOLVENT WELDS AT LEAST 15 MINUTES SETUP TIME BEFORE MOVING OR HANDLING AND 24 HOURS CURING TIME BEFORE FILLING.
- H. PVC PIPE SHALL BE INSTALLED IN A MANNER WHICH WILL PROVIDE FOR EXPANSION CONTRACTION AS RECOMMENDED BY THE PIPE MANUFACTURER.
- I. CENTERLOAD ALL PLASTIC PIPE PRIOR TO PRESSURE TESTING.
- J. ALL THREADED PLASTIC-TO-PLASTIC CONNECTIONS SHALL BE ASSEMBLED USING TEFLON TAPE OR TEFLON PASTE.
- K. FOR PLASTIC-TO-METAL CONNECTIONS, WORK THE METAL CONNECTIONS FIRST. USE A NON-HARDENING PIPE DOPE AN ALL THREADED PLASTIC-TO-METAL CONNECTIONS, EXCEPT WHERE NOTED OTHERWISE. ALL PLASTIC-TO-METAL CONNECTIONS SHALL BE MADE WITH PLASTIC FEMALE ADAPTERS.
- L. ALL CONNECTIONS BETWEEN PVC LATERAL LINES SHALL BE MADE USING SCH. 40 PVC FITTINGS WITH COMPRESSION ADAPTERS. ALL CONNECTIONS BETWEEN DRIPPERLINES TO BE MADE USING COMPRESSION FITTINGS OF MANUFACTURER OF THE DRIPPERLINE. USE NO PIPE DOPE, TEFLON TAPE, PRIMER OR SOLVENT CEMENT ON COMPRESSION FITTINGS.
- 3.05 CONTROLLER
- A. THE EXACT LOCATION OF THE CONTROLLER SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT OR OWNER'S AUTHORIZED REPRESENTATIVE BEFORE INSTALLATION. THE ELECTRICAL SERVICE SHALL BE COORDINATED WITH THIS LOCATION.
- B. THE IRRIGATION CONTRACTOR SHALL BE RESPONSIBLE FOR THE FINAL ELECTRICAL HOOK UP TO IRRIGATION CONTROLLER.
- C. THE IRRIGATION SYSTEM SHALL BE PROGRAMMED TO OPERATE DURING THE PERIODS OF MINIMAL USE OF THE DESIGN AREA.
- D. INSTALL CONTROLLER ENCLOSURE AS RECOMMENDED BY THE MANUFACTURER.
- 3.06 CONTROL WIRING
- A. LOW VOLTAGE CONTROL WIRING SHALL OCCUPY THE SAME TRENCH AND SHALL BE INSTALLED ALONG THE SAME ROUTE AS THE PRESSURE SUPPLY LINES WHENEVER POSSIBLE.
- B. WHERE MORE THAN ONE WIRE IS PLACED IN A TRENCH, THE WIRING SHALL BE TAPED TOGETHER IN A BUNDLE AT INTERVALS OF 10 FEET. BUNDLE SHALL BE SECURED TO THE MAINLINE WITH TAPE AT INTERVALS OF 20 FEET.
- C. ALL CONNECTIONS SHALL BE OF AN APPROVED TYPE AND SHALL OCCUR IN A VALVE BOX. PROVIDE AN 18 INCH SERVICE LOOP AT EACH CONNECTION.
- D. AN EXPANSION LOOP OF 12 INCHES SHALL BE PROVIDED AT EACH WIRE CONNECTION AND/OR DIRECTIONAL CHANGE, AND ONE OF 24 INCHES SHALL BE PROVIDED AT EACH REMOTE CONTROL VALVE.
- E. A CONTINUOUS RUN OF WIRE SHALL BE USED BETWEEN A CONTROLLER AND EACH REMOTE CONTROL VALVE. UNDER NO CIRCUMSTANCES SHALL SPLICES BE USED WITHOUT PRIOR APPROVAL.
- 3.07 VALVES
- A. AUTOMATIC CONTROL VALVES, BALL VALVES, GATE VALVES, AND QUICK COUPLER VALVES SHALL BE INSTALLED IN THE APPROXIMATE LOCATIONS INDICATED ON THE DRAWINGS.
- B. VALVE SHALL BE INSTALLED IN SHRUB AREAS WHENEVER POSSIBLE.
- C. INSTALL ALL VALVES AS INDICATED IN THE DETAIL DRAWINGS.
- D. VALVES TO BE INSTALLED IN VALVE BOXES SHALL BE INSTALLED ONE VALVE PER BOX.
- E. REMOTE CONTROL VALVES AND QUICK COUPLER VALVES SHALL BE ISOLATED FROM THE MAINLINE BY A BALL VALVE SIZED PER THE LARGEST R.C.V. IN THE MANIFOLD OR 1 1/2 INCH FOR Q.C.V.'S.
- 3.08 VALVE BOXES
- A. VALVE BOXES SHALL BE INSTALLED IN SHRUB AREAS WHENEVER POSSIBLE.
- B. EACH VALVE BOX SHALL BE INSTALLED ON A FOUNDATION OF 3/4 INCH GRAVEL BACKFILL, 2 CUBIC FEET MINIMUM. VALVE BOXES SHALL BE INSTALLED WITH THEIR TOPS 1/2 INCH ABOVE THE SURFACE OF SURROUNDING FINISH GRADE IN LAWN AREAS AND 3 INCHES ABOVE FINISH GRADE IN GROUND COVER AREAS.
- 3.09 BACKFLOW PREVENTERS
- A. INSTALL BACKFLOW PREVENTER UNIT AS INDICATED IN THE DETAIL DRAWINGS.
- B. INSTALL BACKFLOW ASSEMBLIES AT LOCATIONS APPROVED IN THE FIELD AND AT HEIGHT REQUIRED BY LOCAL CODES.
- C. INSTALL WYE STRAINERS AND PRESSURE REGULATORS ON THE BACKFLOW ASSEMBLY.
- D. IF BACKFLOW PREVENTER IS INSTALLED ADJACENT TO A BUILDING, WALL, OR OTHER OBSTRUCTION, INSTALL UNIT SO THAT THE TEST COCKS ARE FACING OUTWARD AWAY FROM THE OBSTRUCTION.
- E. INSTALL BACKFLOW ENCLOSURE AS RECOMMENDED BY THE MANUFACTURER.

- 3.10 SPRINKLER HEADS
- A. SPRINKLER HEADS SHALL BE INSTALLED AS INDICATED ON THE DRAWINGS.
- B. SPACING OF HEADS SHALL NOT EXCEED MAXIMUM INDICATED ON THE DRAWINGS.
- C. RISER NIPPLES SHALL BE OF THE SAME SIZE AS THE RISER OPENING IN THE SPRINKLER BODY.
- D. POP-UP SPRINKLER HEADS SHALL NOT BE INSTALLED USING SIDE OUTLET OPENINGS.
- E. RISER NIPPLES ON RECYCLED WATER SYSTEMS SHALL BE IDENTIFIED WITH ADHESIVE VINYL MARKERS BELOW SPRINKLER HEAD AND A MINIMUM OF 10 INCHES ABOVE FINISH GRADE.
- 3.11 MISCELLANEOUS EQUIPMENT
- A. INSTALL ALL ASSEMBLIES SPECIFIED HEREIN ACCORDING TO THE RESPECTIVE DETAIL DRAWINGS OR SPECIFICATIONS, USING BEST STANDARD PRACTICES.
- B. QUICK COUPLER VALVES SHALL BE SET APPROXIMATELY 12 INCHES FROM WALKS, CURBS, HEADER BOARDS, OR PAVED AREAS WHERE APPLICABLE.
- C. UNLESS DESIGNED AS AN INTEGRAL PART OF THE IRRIGATION HEAD, ANTI-DRAIN VALVES WILL BE INSTALLED UNDER EVERY HEAD. THE ANTI-DRAIN VALVE WILL BE THE SAME DIAMETER AS THE RISER AND BE INTEGRAL TO THE RISER ASSEMBLY.
- D. INSTALL RAIN SENSOR AS INDICATED ON THE DRAWINGS AND AS RECOMMENDED BY THE MANUFACTURER.
- 3.12 FLUSHING THE SYSTEM
- A. PRIOR TO INSTALLATION OF SPRINKLER NOZZLES, THE VALVES SHALL BE OPENED AND A FULL HEAD OF WATER USED TO FLUSH OUT THE LINES AND RISERS.
- B. SPRINKLER NOZZLES SHALL BE INSTALLED AFTER FLUSHING THE SYSTEM HAS BEEN COMPLETED.
- 3.13 ADJUSTING THE SYSTEM
- A. CONTRACTOR SHALL ADJUST VALVES, ALIGN HEADS, AND CHECK COVERAGE OF EACH SYSTEM PRIOR TO COVERAGE TEST.
- B. IF IT IS DETERMINED BY THE LANDSCAPE ARCHITECT OR OWNER'S AUTHORIZED REPRESENTATIVE THAT ADDITIONAL ADJUSTMENTS OR NOZZLE CHANGES WILL BE REQUIRED TO PROVIDE PROPER COVERAGE, ALL NECESSARY CHANGES OR ADJUSTMENTS SHALL BE MADE PRIOR TO ANY PLANTING.
- C. THE ENTIRE SYSTEM SHALL BE OPERATING PROPERLY BEFORE ANY PLANTING OPERATIONS COMMENCE.
- D. AUTOMATIC CONTROL VALVES ARE TO BE ADJUSTED SO THAT THE SPRINKLER HEADS OPERATE AT THE PRESSURE RECOMMENDED BY THE MANUFACTURER.
- 3.14 TESTING AND OBSERVATION
- A. DO NOT ALLOW OR CAUSE ANY OF THE WORK OF THIS SECTION TO BE COVERED UP OR ENCLOSED UNTIL IT HAS BEEN OBSERVED, TESTED AND ACCEPTED BY THE LANDSCAPE ARCHITECT, OWNER, AND GOVERNING AGENCIES.
- B. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR NOTIFYING THE LANDSCAPE ARCHITECT, OWNER, AND GOVERNING AGENCIES, A MINIMUM OF 48 HOURS IN ADVANCE, WHERE AND WHEN THE WORK IS READY FOR TESTING.
- C. WHEN THE SPRINKLER SYSTEM IS COMPLETED, THE CONTRACTOR SHALL PERFORM A COVERAGE TEST OF EACH SYSTEM IN ITS ENTIRETY TO DETERMINE IF THE WATER COVERAGE FOR THE PLANTED AREAS IS COMPLETE AND ADEQUATE IN THE PRESENCE OF THE LANDSCAPE ARCHITECT.
- D. THE CONTRACTOR SHALL FURNISH ALL MATERIALS AND PERFORM ALL WORK REQUIRED TO CORRECT ANY INADEQUACIES OF COVERAGE DUE TO DEVIATIONS FROM THE PLANS, OR WHERE THE SYSTEM HAS BEEN WILLFULLY INSTALLED AS INDICATED ON THE DRAWINGS WHEN IT IS OBVIOUSLY INADEQUATE, WITHOUT BRINGING THIS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT. THIS TEST SHALL BE ACCEPTED BY THE LANDSCAPE ARCHITECT AND ACCOMPLISHED BEFORE STARTING ANY PLANTING.
- E. FINAL INSPECTION WILL NOT COMMENCE WITHOUT RECORD DRAWINGS AS PREPARED BY THE IRRIGATION CONTRACTOR.
- 3.15 MAINTENANCE
- DURING THE MAINTENANCE PERIOD THE CONTRACTOR SHALL ADJUST AND MAINTAIN THE IRRIGATION SYSTEM IN A FULLY OPERATIONAL CONDITION PROVIDING COMPLETE IRRIGATION COVERAGE TO ALL INTENDED PLANTINGS.
- 3.16 COMPLETION CLEANING
- CLEAN-UP SHALL BE MADE AS EACH PORTION OF THE WORK PROGRESSES. REFUSE AND EXCESS DIRT SHALL BE REMOVED FROM THE SITE, ALL WALKS AND PAVING SHALL BE BROOMED, AND ANY DAMAGE SUSTAINED ON THE WORK OF OTHERS SHALL BE REPAIRED TO ORIGINAL CONDITIONS.
- END OF SECTION

PRIVATE CONTRACT

IRRIGATION SPECIFICATIONS FOR:				
2385 FELTON STREET				
LOT 5 IN BLK 46 OF THE SUBDIVISION OF PUEBLO LOTS 1139 & 1140 MAP OF EASTERN ADDITION, ACCORDING MAP THEREOF NO. 295.				
CITY OF SAN DIEGO, CALIFORNIA DEVELOPMENT SERVICES DEPARTMENT SHEET 14 OF SHEETS			I.O. NO. 24007347	
FOR CITY ENGINEER			DATE	
DESCRIPTION	BY	APPROVED	DATE	FILED
ORIGINAL	J.D.			
			NAD 83 COORDINATES	
			205-1732	
			LAMBERT COORDINATES	
CONTRACTOR		DATE STARTED		
INSPECTOR		DATE COMPLETED		
00000-14-D				



PLANT SCHEDULE

TREES	QTY	BOTANICAL / COMMON NAME	CONTAINER
1		Cercidium x 'Desert Museum' / Thornless Palo Verde	24" BOX
1		Lagerstroemia indica / Crape Myrtle	24" BOX
SHRUBS	QTY	BOTANICAL / COMMON NAME	CONTAINER
01	45	Acmispon glaber / Deerweed**	1 GAL
A	13	Agave attenuata 'Nova' / Blue Clone	1 GAL
A5	10	Anigozanthos x Big Roo Yellow / Yellow Kangaroo Paw	1 GAL
14	10	Ceanothus verrucosus / White Stemmed Ceanothus	1 GAL
D	15	Dianella tasmanica 'Variegata' / Flax Lily	1 GAL
02	12	Dudleya pulverulenta / Chalk Lettuce**	1 GAL
03	93	Encelia californica / California Encelia**	1 GAL
04	152	Eriogonum fasciculatum fasciculatum / California Buckwheat**	1 GAL
05	12	Eriophyllum confertiflorum / Golden Yarrow**	1 GAL
06	19	Helianthemum scoparium / Rushrose**	1 GAL
L3	9	Leymus condensatus 'Canyon Prince' / Native Blue Rye	5 GAL
07	13	Melica imperfecta / Imperfect Melic**	1 GAL
08	24	Mimulus aurantiacus var. puniceus / Red Bush Sticky Monkeyflower**	1 GAL
09	14	Opuntia littoralis / Shore Cactus**	1 GAL
P4	8	Phormium x 'Black Adder' / New Zealand Flax	1 GAL
10	7	Rhamnus crocea / Redberry**	1 GAL
R1	5	Rosa floribunda 'Iceberg' / Iceberg Rose	5 GAL
R	11	Rosmarinus officinalis 'Roman Beauty' / Roman Beauty Rosemary	1 GAL
S5	16	Salvia leucophylla 'Midnight' / Purple Leaf Sage	1 GAL
11	74	Salvia mellifera / Black Sage**	1 GAL
12	28	Stipa lepidota** / Foothill Needlegrass	1 GAL
W1	9	Westringia fruticosa 'Smokey' / Smokey Westringia	1 GAL
13	8	Yucca schidigera / Mohave Yucca**	1 GAL

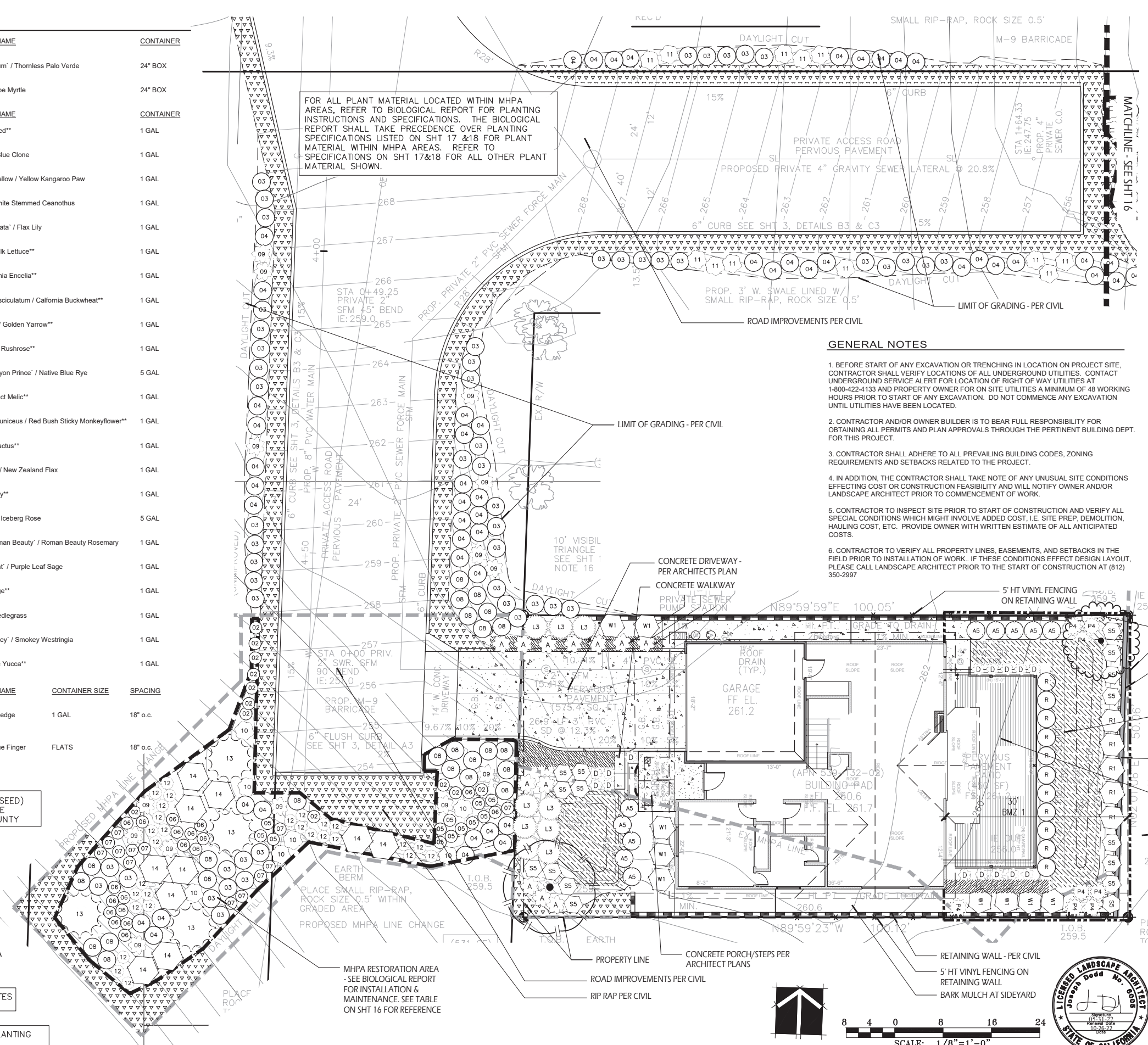
GROUND COVERS	QTY	BOTANICAL / COMMON NAME	CONTAINER SIZE	SPACING
	589 sf	Carex pansa / Sanddune Sedge	1 GAL	18" o.c.
	158 sf	Senecio mandraliscae / Blue Finger	FLATS	18" o.c.

** NOTE: PLANT MATERIAL (CONTAINER OR SEED) WITHIN THE MHPA SHALL BE FROM NATIVE SOURCES FROM COASTAL SAN DIEGO COUNTY

LEGEND:
 ZONE 1: IRRIGATED FUEL MODIFICATION ZONE
 ZONE FROM BUILDING EXTERIOR OUT 0'-35' (WIDTH VARIES)
 PADS TO BE PERMANENTLY PLANTED WITH SAN DIEGO FIRE DEPT. - APPROVED DROUGHT-TOLERANT AND FIRE-RESISTANT PLANT MATERIAL, PERMANENTLY IRRIGATED, TREE CANOPIES AT MATURITY SHALL BE A MIN. 10' FROM ROOF EAVES AND MAINTAINED BY HOMEOWNER

SEE SHT 16 FOR BRUSH MANAGEMENT NOTES

REFER TO BIOLOGICAL REPORT FOR ALL PLANTING AREAS WITHIN MHPA RESTORATION AREAS.



FOR ALL PLANT MATERIAL LOCATED WITHIN MHPA AREAS, REFER TO BIOLOGICAL REPORT FOR PLANTING INSTRUCTIONS AND SPECIFICATIONS. THE BIOLOGICAL REPORT SHALL TAKE PRECEDENCE OVER PLANTING SPECIFICATIONS LISTED ON SHT 17 & 18 FOR PLANT MATERIAL WITHIN MHPA AREAS. REFER TO SPECIFICATIONS ON SHT 17 & 18 FOR ALL OTHER PLANT MATERIAL SHOWN.

GENERAL NOTES

- BEFORE START OF ANY EXCAVATION OR TRENCHING IN LOCATION ON PROJECT SITE, CONTRACTOR SHALL VERIFY LOCATIONS OF ALL UNDERGROUND UTILITIES. CONTACT UNDERGROUND SERVICE ALERT FOR LOCATION OF RIGHT OF WAY UTILITIES AT 1-800-422-4133 AND PROPERTY OWNER FOR ON SITE UTILITIES A MINIMUM OF 48 WORKING HOURS PRIOR TO START OF ANY EXCAVATION. DO NOT COMMENCE ANY EXCAVATION UNTIL UTILITIES HAVE BEEN LOCATED.
- CONTRACTOR AND/OR OWNER BUILDER IS TO BEAR FULL RESPONSIBILITY FOR OBTAINING ALL PERMITS AND PLAN APPROVALS THROUGH THE PERTINENT BUILDING DEPT. FOR THIS PROJECT.
- CONTRACTOR SHALL ADHERE TO ALL PREVAILING BUILDING CODES, ZONING REQUIREMENTS AND SETBACKS RELATED TO THE PROJECT.
- IN ADDITION, THE CONTRACTOR SHALL TAKE NOTE OF ANY UNUSUAL SITE CONDITIONS EFFECTING COST OR CONSTRUCTION FEASIBILITY AND WILL NOTIFY OWNER AND/OR LANDSCAPE ARCHITECT PRIOR TO COMMENCEMENT OF WORK.
- CONTRACTOR TO INSPECT SITE PRIOR TO START OF CONSTRUCTION AND VERIFY ALL SPECIAL CONDITIONS WHICH MIGHT INVOLVE ADDED COST, I.E. SITE PREP, DEMOLITION, HAULING COST, ETC. PROVIDE OWNER WITH WRITTEN ESTIMATE OF ALL ANTICIPATED COSTS.
- CONTRACTOR TO VERIFY ALL PROPERTY LINES, EASEMENTS, AND SETBACKS IN THE FIELD PRIOR TO INSTALLATION OF WORK. IF THESE CONDITIONS EFFECT DESIGN LAYOUT, PLEASE CALL LANDSCAPE ARCHITECT PRIOR TO THE START OF CONSTRUCTION AT (612) 350-2997

PLANTING NOTES:

- A MINIMUM ROOT ZONE OF 40 SF IN AREA SHALL BE PROVIDED FOR ALL TREES. THE MINIMUM DIMENSION FOR THIS AREA SHALL BE 5 FEET PER SDMC 142.0403(b)(5)
- TREE SHALL BE MAINTAINED SO THAT ALL BRANCHES OVER PEDESTRIAN WALKWAYS ARE 6 FEET ABOVE THE WALKWAY GRADE AND BRANCHES OVER VEHICULAR TRAVEL WAYS ARE 16 FEET ABOVE THE GRADE OF THE TRAVEL WAY PER THE SAN DIEGO MUNICIPAL CODE 142.0403(b)(10)
- EXISTING TREES TO REMAIN ON SITE WITHIN THE AREA OF WORK WILL BE PROTECTED IN PLACE. THE FOLLOWING PROTECTION MEASURE WILL BE PROVIDED:
- A BRIGHT YELLOW OR ORANGE TEMPORARY FENCE WILL BE PLACED AROUND EXISTING TREES AT THE DRIP LINE.
 - STOCKPILING, TOPSOIL DISTURBANCE, VEHICULAR USE, AND MATERIAL STORAGE OF ANY KIND IS PROHIBITED WITHIN THE DRIP LINE
 - A TREE WATERING SCHEDULE WILL BE MAINTAINED AND DOCUMENTED DURING CONSTRUCTION.
 - ALL DAMAGED TREES WILL BE REPLACED WITH ONE OF EQUAL OR GREATER SIZE.
- MULCH: ALL REQUIRED PLANTING AREAS AND ALL EXPOSED SOIL AREAS WITHOUT VEGETATION SHALL BE COVERED WITH MULCH TO A MINIMUM DEPTH OF 3 INCHES, EXCLUDING SLOPES REQUIRING REVEGETATION PER SDMC 142.0411
- TREE ROOT BARRIERS SHALL BE INSTALLED WHERE TREES ARE PLACED WITHIN 5 FEET OF PUBLIC IMPROVEMENTS INCLUDING WALKS, CURBS, OR STREET PAVEMENTS OR WHERE NEW PUBLIC IMPROVEMENTS ARE PLACED ADJACENT TO EXISTING TREES. THE ROOT BARRIER WILL NOT WRAP AROUND THE ROOT BALL.
- IF ANY REQUIRED LANDSCAPE INDICATED ON THE APPROVED CONSTRUCTION DOCUMENT PLANS IS DAMAGED OR REMOVED DURING DEMOLITIONS OR CONSTRUCTION, IT SHALL BE REPAIRED AND/OR REPLACED IN KIND AND EQUIVALENT SIZE PER THE APPROVED DOCUMENTS TO THE SATISFACTION OF THE DEVELOPMENT SERVICES DEPARTMENT WITHIN 30 DAYS.

MINIMUM TREE SEPARATION DISTANCE

TRAFFIC SIGNALS/STOP SIGNS	20 FEET
UNDERGROUND UTILITY LINES	5 FEET (10' SEWER)
ABOVE GROUND UTILITY STRUCTURES	10 FEET
DRIVEWAY (ENTRIES)	10 FEET
INTERSECTIONS (INTERSECTION CURB LINES OF TWO STREETS)	25 FEET

MAINTENANCE NOTE
 ALL REQUIRED LANDSCAPE AREAS SHALL BE MAINTAINED BY PROPERTY OWNER. LANDSCAPE AND IRRIGATION AREAS IN THE PUBLIC RIGHT-OF-WAY SHALL BE MAINTAINED BY PROPERTY OWNER. THE LANDSCAPE AREAS SHALL BE MAINTAINED FREE OF DEBRIS AND LITTER, AND ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION. DISEASED OR DEAD PLANT MATERIAL SHALL BE SATISFACTORILY TREATED OR REPLACED PER THE CONDITIONS OF THE PERMIT

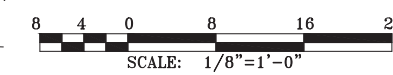
ALL LANDSCAPE AND IRRIGATION SHALL CONFORM TO THE STANDARDS OF THE CITY-WIDE LANDSCAPE REGULATIONS AND THE CITY OF SAN DIEGO LAND DEVELOPMENT MANUAL LANDSCAPE STANDARDS AND ALL OTHER LANDSCAPE RELATED CITY AND REGIONAL STANDARDS

- BRUSH MANAGEMENT - ZONE 1
- PROPERTY LINE
- NOTE: ALL EXISTING PLANTING TO BE REMOVED
- 6' HT CMU FIRE WALL PER ARCHITECTS PLAN - TO COMPLY WITH STRUCTURAL UPGRADES TO BRUSH MANAGEMENT ZONES (FPB POLICY B-18-01)
- NON COMBUSTIBLE DECK - PER ARCHITECTS PLAN
- MHPA BOUNDARY WILL BE ADJUSTED OUTSIDE OF ZONE 1 AND OFF THE PROPERTY FOR FINAL PROJECT APPROVAL

PRIVATE CONTRACT

PLANTING PLAN FOR:
2385 FELTON STREET
 LOT 5 IN BLK 46 OF THE SUBDIVISION OF PUEBLO LOTS 1139 & 1140 MAP OF EASTERN ADDITION, ACCORDING MAP THEREOF NO. 295.

CITY OF SAN DIEGO, CALIFORNIA DEVELOPMENT SERVICES DEPARTMENT SHEET 15 OF SHEETS		I.O. NO. 24007347
FOR CITY ENGINEER _____ DATE _____		P.T.S. NO. 557456 655840
DESCRIPTION	BY	APPROVED
ORIGINAL	J.D.	
NAD 83 COORDINATES 205-1732		LAMBERT COORDINATES
CONTRACTOR	DATE STARTED	00000-15-D
INSPECTOR	DATE COMPLETED	



BRUSH MANAGEMENT NOTES:

- GENERAL MAINTENANCE - REGULAR INSPECTION AND LANDSCAPE MAINTENANCE ARE NECESSARY TO MINIMIZE THE POTENTIAL DAMAGE OR LOSS OF PROPERTY FROM BRUSH FIRES AND OTHER NATURAL HAZARDS SUCH AS EROSION AND SLOPE FAILURES. BECAUSE EACH PROPERTY IS UNIQUE ESTABLISHING A PRECISE MAINTENANCE SCHEDULE IS NOT FEASIBLE. FOR EFFECTIVE FIRE AND WATERSHED MANAGEMENT, HOWEVER, PROPERTY OWNERS SHOULD EXPECT TO PROVIDE MAINTENANCE ACCORDING TO EACH BRUSH MANAGEMENT ZONE. ZONE 1: YEAR ROUND MAINTENANCE. ZONE 2: SEASONAL MAINTENANCE. BRUSH MANAGEMENT ACTIVITIES ARE PROHIBITED WITHIN COASTAL SAGE SCRUB, MARITIME SUCCULENT SHRUB, AND CHAPARRAL HABITATS DURING THE BREEDING SEASON OF FEDERALLY PROTECTED SPECIES, FROM MARCH 1 TO AUGUST 15, EXCEPT WHERE DOCUMENTED TO THE SATISFACTION OF THE CITY OF SAN DIEGO THAT THE THINNING WOULD BE CONSISTENT WITH THE CONDITIONS OF SPECIES COVERAGE DESCRIBED IN THE CITY OF SAN DIEGO MSCP SUBAREA PLAN
- BRUSH MANAGEMENT ZONE 1 - THIS IS THE MOST CRITICAL AREA FOR FIRE AND WATERSHED SAFETY. ALL ORNAMENTAL PLANTINGS SHOULD BE KEPT WELL WATERED AND ANY IRRIGATION RUN-OFF SHOULD DRAIN TOWARD THE STREET. RAIN GUTTERS AND DRAINAGE PIPES SHOULD BE CLEANED REGULARLY AND ALL LEAVES REMOVED FROM THE ROOF BEFORE THE FIRE SEASON BEGINS. ALL PLANTING, PARTICULARLY NON-IRRIGATION NATIVES AND LARGE TREES SHOULD BE REGULARLY PRUNED TO ELIMINATE DEAD FUELS, TO REDUCE EXCESSIVE FUEL AND TO PROVIDE ADEQUATE SPACE BETWEEN PLANTS AND STRUCTURE.
- N/A
- LONG TERM MAINTENANCE RESPONSIBILITY - ALL LANDSCAPING/BRUSH MANAGEMENT WITHIN THE BRUSH MANAGEMENT ZONES AS SHOWN ON THESE PLANS SHALL BE THE RESPONSIBILITY OF SCOTT STEVENSON, OWNER. THE BRUSH MANAGEMENT ZONE AREAS SHALL BE MAINTAINED FREE OF DEBRIS AND LITTER AND ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION.

SECTION 142.0412 BRUSH MANAGEMENT

- G. ZONE 1 REQUIREMENTS**
- THE REQUIRED ZONE ONE WIDTH SHALL BE PROVIDED BETWEEN NATIVE OR NATURALIZED VEGETATION AND ANY STRUCTURE AND SHALL BE MEASURED FROM THE EXTERIOR OF THE STRUCTURE TO THE VEGETATION
 - ZONE 1 SHALL CONTAIN NO HABITABLE STRUCTURE, STRUCTURES THAT ARE DIRECTLY ATTACHED TO HABITABLE STRUCTURE, OR OTHER COMBUSTIBLE CONSTRUCTION THAT PROVIDES A MEANS FOR TRANSMITTING FIRE TO THE HABITABLE STRUCTURES. STRUCTURES SUCH AS FENCES, WALL, PALAPAS, PLAY STRUCTURES, AND NON-HABITABLE GAZEBOS THAT ARE LOCATED WITHIN BRUSH MANAGEMENT ZONE ONE SHALL BE OF NON COMBUSTIBLE, ON HOUR FIRE-RATED OR HEAVY TIMBER CONSTRUCTION.
 - PLANTS WITHIN ZONE 1 SHALL BE PRIMARILY LOW GROWING AND LESS THAN 4 FEET IN HEIGHT WITH THE EXCEPTION OF TREES. PLANTS SHALL BE LOW FUEL AND FIRE RESISTIVE
 - TREES WITHIN ZONE 1 SHALL BE LOCATED AWAY FROM STRUCTURES TO A MINIMUM DISTANCE OF 10 FEET AS MEASURED FROM THE STRUCTURE TO THE DRIP LINE OF THE TREE AT MATURITY IN ACCORDANCE WITH THE LANDSCAPE STANDARD OF THE LAND DEVELOPMENT MANUAL.
 - PERMANENT IRRIGATION IS REQUIRED FOR ALL PLANTING AREAS WITHIN ZONE 1 EXCEPT AS FOLLOWS:
A) WHEN PLANTING AREAS CONTAIN ONLY SPECIES THAT DO NOT GROW TALLER THAN 24 INCHES IN HEIGHT, OR
B) WHEN PLANTING AREAS CONTAIN ONLY NATIVE OR NATURALIZED SPECIES THAT ARE NOT SUMMER-DORMANT AND HAVE A MAXIMUM HEIGHT AT PLANT MATURITY OF LESS THAN 24 INCHES.
 - ZONE 1 IRRIGATION OVERSPRAY AND RUNOFF SHALL NOT BE ALLOWED INTO ADJACENT AREAS OF NATIVE OR NATURALIZED VEGETATION.
 - ZONE 1 SHALL BE MAINTAINED ON A REGULAR BASIS BY PRUNING AND THINNING PLANTS, CONTROLLING WEEDS, AND MAINTAINING IRRIGATION SYSTEMS.

- H. ZONE 2 REQUIREMENTS**
- THE REQUIRED ZONE TWO WIDTH SHALL BE PROVIDED BETWEEN ZONE ONE AND THE UNDISTURBED, NATIVE VEGETATION, AND SHALL BE MEASURED FROM THE EDGE OF ZONE ONE THAT IS FARTHEST FROM THE HABITABLE STRUCTURE, TO THE EDGE OF UNDISTURBED VEGETATION.
 - NO STRUCTURES SHALL BE CONSTRUCTED IN ZONE TWO
 - WITHIN ZONE TWO, 50% OF THE PLANTS OVER 24 INCHES IN HEIGHT SHALL BE CUT AND CLEARED TO A HEIGHT OF 6".
 - WITHIN ZONE TWO, ALL PLANTS REMAINING AFTER 50% ARE REDUCED IN HEIGHT, SHALL BE PRUNED FUEL LOADING IN ACCORDANCE WITH THE LANDSCAPE STANDARDS IN THE LAND DEVELOPMENT MANUAL. NON-NATIVE PLANTS SHALL BE PRUNED BEFORE NATIVE PLANTS ARE PRUNED.
 - THE FOLLOWING STANDARDS SHALL BE USED WHERE ZONE TWO IS IN AN AREA PREVIOUSLY GRADED AS PART OF LEGAL DEVELOPMENT ACTIVITY AND IS PROPOSED TO BE PLANTED WITH NEW PLANT MATERIAL INSTEAD OF CLEARING EXISTING NATIVE OR NATURALIZED VEGETATION:

- G. ALL NEW PLANT MATERIAL FOR ZONE TWO SHALL BE NATIVE, LOW-FUEL, AND FIRE-RESISTIVE. NO NON-NATIVE PLANT MATERIAL MAY BE PLANTED IN ZONE TWO EITHER INSIDE THE MHPA OR IN THE COASTAL OVERLAY ZONE, ADJACENT TO AREAS CONTAINING SENSITIVE BIOLOGICAL RESOURCES.**
- H. NEW PLANTS SHALL BE LOW-GROWING WITH A MAXIMUM HEIGHT AT MATURITY OF 24". SINGLE SPECIMENS OF FIRE RESISTIVE NATIVE TREES AND TREE FORM SHRUBS MAY EXCEED THIS LIMITATION IF THEY ARE LOCATED TO REDUCE THE CHANCE OF TRANSMITTING FIRE FROM NATIVE OF NATURALIZED VEGETATION TO HABITABLE STRUCTURES AND IF THE VERTICAL DISTANCE BETWEEN THE LOWEST BRANCHES OF THE TREES AND THE TOP OF ADJACENT PLANTS ARE THREE TIMES THE HEIGHT OF THE ADJACENT PLANTS TO REDUCE THE SPREAD OF FIRE THROUGH LADDER FUELING.**
- I. ALL NEW ZONE TWO PLANTINGS SHALL IRRIGATED TEMPORARILY UNTIL ESTABLISHED TO THE SATISFACTION OF THE CITY MANAGER. ONLY LOW-FLOW, LOW GALLONAGE SPRAY HEADS MAY BE USED IN ZONE TWO. OVERSPRAY AND RUNOFF FROM THE IRRIGATION SHALL NOT DRIFT OR FLOW INTO ADJACENT AREAS OF NATIVE OR NATURALIZED VEGETATION. TEMPORARY IRRIGATION SYSTEMS SHALL BE REMOVED UPON APPROVED ESTABLISHMENT OF THE PLANTINGS. PERMANENT IRRIGATION IS NOT ALLOWED IN ZONE TWO.**
- J. WHERE ZONE TWO IS BEING REVEGETATED AS A REQUIREMENT OF SECTION 142.0411(a), REVEGETATION SHALL COMPLY WITH THE SPACING STANDARDS IN THE LAND DEVELOPMENT MANUAL. 50% OF THE PLANTING AREA SHALL BE PLANTED WITH MATERIAL THAT DOES NOT GROW TALLER THAN 24". THE REMAINING PLANTING AREA MAY BE PLANTED WITH TALLER MATERIAL, BUT THIS MATERIAL SHALL BE MAINTAINED IN ACCORDANCE WITH THE REQUIREMENTS FOR EXISTING PLANT MATERIAL IN ZONE TWO.**
- 6. ZONE TWO SHALL BE MAINTAINED ON A REGULAR BASIS BY PRUNING AND THINNING PLANTS, REMOVING INVASIVE SPECIES AND CONTROLLING WEEDS.**
- 7. EXCEPT AS PROVIDED IN SECTION 142.0412(i) WHERE THE REQUIRED ZONE ONE WIDTH SHOWN IN TABLE 142-04h CANNOT BE PROVIDED ON PREMISES WITH EXISTING STRUCTURES, THE REQUIRED ZONE TWO WIDTH SHALL BE INCREASED BY ONE FOOT FOR EACH FOOT OF REQUIRED ZONE ONE WIDTH THAT CANNOT BE PROVIDED.**

SECTION III: BRUSH MANAGEMENT

- 3-1. BRUSH MANAGEMENT - DESCRIPTION**
FIRE SAFETY IN THE LANDSCAPE IS ACHIEVED BY REDUCING THE READILY FLAMMABLE FUEL ADJACENT TO STRUCTURES. THIS CAN BE ACCOMPLISHED BY PRUNING AND THINNING OF NATIVE AND NATURALIZED VEGETATION, REVEGETATION WITH LOW FUEL VOLUME PLANTING OR A COMBINATION OF THE TWO. IMPLEMENTING BRUSH MANAGEMENT IN AN ENVIRONMENTALLY APPROPRIATE MANNER REQUIRES A REDUCTION IN THE AMOUNT AND CONTINUITY OF HIGHLY FLAMMABLE FUEL WHILE MAINTAINING PLANT COVERAGE FOR SOIL PROTECTION SUCH A TRANSITION WILL MINIMIZE THE VISUAL, BIOLOGICAL, AND EROSION IMPACTS WHILE REDUCING THE RISKS OF WILDLAND FIRES.
- 3-2 BRUSH MANAGEMENT REQUIREMENTS**

- 3.2-1 BASIC REQUIREMENTS - ALL ZONES**
- 3.2-1.01 FOR ZONE TWO, PLANTS SHALL NOT BE CUT BELOW SIX INCHES
 - 3.2-1.02 DEBRIS AND TRIMMINGS PRODUCED BY THINNING AND PRUNING SHALL BE REMOVED FROM THE SITE OR IF LEFT, SHALL BE CONVERTED INTO MULCH BY A CHIPPING MACHINE AND EVENLY DISPERSED, NON-IRRIGATION, TO A MAXIMUM DEPTH OF 6 INCHES
 - 3.2-1.03 TREES AND LARGE TREE FORM SHRUBS (E.G. OAKS, SUMAC, TOYON) WHICH ARE BEING RETAINED SHALL BE PRUNED TO PROVIDE CLEARANCE OF THREE TIMES THE HEIGHT OF THE UNDER STORY PLANT MATERIAL SIX FEET WHICHEVER IS HIGHER. DEAD AND EXCESSIVELY TWIGGY GROWTH SHALL ALSO BE REMOVED.
 - 3.2-1.04 ALL PLANTS OR PLANT GROUPINGS EXCEPT CACTI, SUCCULENTS, TREES AND TREE-FORM SHRUBS SHALL BE SEPARATED BY A DISTANCE THREE TIMES THE HEIGHT OF THE TALLEST ADJACENT PLANTS MAXIMUM COVERAGE AND AREA LIMITATIONS AS STATED HEREIN SHALL NOT APPLY TO INDIGENOUS NATIVE TREE SPECIES
 - 3.2-1.05 ALL PLANTS OR PLANT GROUPINGS EXCEPT CACTI, SUCCULENTS, TREES AND TREE-FORM SHRUBS SHALL BE SEPARATED BY A DISTANCE THREE TIMES THE HEIGHT OF THE TALLEST ADJACENT PLANTS MAXIMUM COVERAGE AND AREA LIMITATIONS AS STATED HEREIN SHALL NOT APPLY TO INDIGENOUS NATIVE TREE SPECIES
- 3.2-2 ZONE 1 REQUIREMENTS - ALL STRUCTURES**
- 3.2-2.01 DO NOT USE, AND REMOVE IF NECESSARY, HIGHLY FLAMMABLE PLANT MATERIALS (SEE APPENDIX B)
 - 3.2-2.02 TREES SHOULD NOT BE LOCATED ANY CLOSER TO A STRUCTURE THAN A DISTANCE EQUAL TO THE TREES MATURE SPREAD
 - 3.2-2.03 MAINTAIN ALL PLANTINGS IN A SUCCULENT CONDITION
 - 3.2-2.04 NON-IRRIGATED PLANT GROUPINGS OVER SIX INCHES IN HEIGHT MAY BE RETAINED PROVIDED THEY DO NOT EXCEED 100 SQUARE FEET IN AREA AND THEIR COMBINED COVERAGE DOES NOT EXCEED 10 PERCENT OF THE TOTAL ZONE 1 AREA

BRUSH MANAGEMENT NOTES:

BRUSH MANAGEMENT REQUIREMENTS OF SECTION 142.0412 OF THE SAN DIEGO MUNICIPAL CODE IS APPLICABLE FOR DEVELOPMENT WITH STRUCTURES THAT ARE WITHIN 100-FT OF ANY HIGHLY FLAMMABLE AREA OF NATIVE OR NATURALIZED VEGETATION. FIRE HAZARD CONDITIONS CURRENTLY EXIST IN THE AREA TO THE EAST OF THE PROPOSED DEVELOPMENT. WHERE BRUSH MANAGEMENT IS REQUIRED, A COMPREHENSIVE PROGRAM WOULD BE IMPLEMENTED TO REDUCE FIRE HAZARD AROUND ALL STRUCTURES BY PROVIDING A DEFENSIBLE SPACE/ FIRE-BREAK BETWEEN STRUCTURES AND AREAS OF FLAMMABLE VEGETATION. THE FIRE DEFENSIBLE SPACE DEFENSIBLE SPACE, AS REQUIRED BY THE LAND DEVELOPMENT CODE, CONSISTS OF TWO DISTINCT BRUSH MANAGEMENT ZONES: THE STANDARD BRUSH MANAGEMENT ZONE ONE AND TWO CONSISTS OF A 35-FT ZONE ONE AND A 65-FT ZONE TWO. HOWEVER, THIS SITE'S CONSTRAINTS REDUCES THE ZONE ONE DIMENSION TO 30-FEET, AND A ZONE TWO OF 0-FOOT IN ACCORDANCE WITH 142.0412(C),(2).

THE CITY'S FIRE CHIEF MAY ALLOW IMPLEMENTATION OF ALTERNATIVE COMPLIANCE MEASURES TO ACHIEVE AN EQUIVALENCY OF A FULL DEFENSIBLE SPACE PER LANDS DEVELOPMENT CODE SECTION 142.0412(I). APPROVAL OF SUCH MEASURES ARE BASED ON DOCUMENTATION WHICH ADDRESSES THE TOPOGRAPHY, EXISTING OR POTENTIAL FUEL LOADS, AND OTHER CHARACTERISTICS RELATED TO FIRE PROTECTION AND THE CONTEXT OF THE PROPOSED DEVELOPMENT. ALTERNATIVE COMPLIANCE MEASURES MUST MINIMIZE IMPACT TO UNDISTURBED NATIVE OR NATURALIZED VEGETATION, AND SHALL NOT BE DETRIMENTAL TO THE PUBLIC HEALTH, SAFETY, AND WELFARE OF PERSONS RESIDING OR WORKING IN THE AREA.

THE FOLLOWING ALTERNATIVE COMPLIANCE MEASURES AND STRUCTURAL UPGRADES ARE PROPOSED FOR THE SITE:

- 6' HT CMU FIRE WALL AT EAST PROPERTY LINE (SEE ARCHITECTS PLANS)
- FIRE RETARDANT DECK & CONCRETE FLAT WORK (SEE ARCHITECTS PLANS)
- FIRE RATED EAVES AND PERIMETER WALL CONSTRUCTION (SEE ARCHITECTS PLANS)
- NON COMBUSTIBLE PERIMETER FENCING (VINYL)

ADDITIONAL BRUSH MANAGEMENT NOTES:

- OFFSITE BRUSH MANAGEMENT SHALL BE THE RESPONSIBILITY OF ADJACENT PROPERTY OWNERS. FOR FUEL-LOAD MAINTENANCE ISSUES, CONTACT THE FIRE-RESCUE DEPARTMENT'S FIRE HAZARD ADVISOR - BRUSH/WEED COMPLAINT LINE AT: (619) 533-4444
- BRUSH MANAGEMENT ACTIVITIES ARE PROHIBITED WITHIN COASTAL SAGE SCRUB, MARITIME SUCCULENT SHRUB, AND CHAPARRAL HABITATS DURING THE BREEDING SEASON OF FEDERALLY PROTECTED SPECIES, FROM MARCH 1 TO AUGUST 15, EXCEPT WHERE DOCUMENTED TO THE SATISFACTION OF THE CITY OF SAN DIEGO THAT THE THINNING WOULD BE CONSISTENT WITH THE CONDITIONS OF SPECIES COVERAGE DESCRIBED IN THE CITY OF SAN DIEGO MSCP SUBAREA PLAN

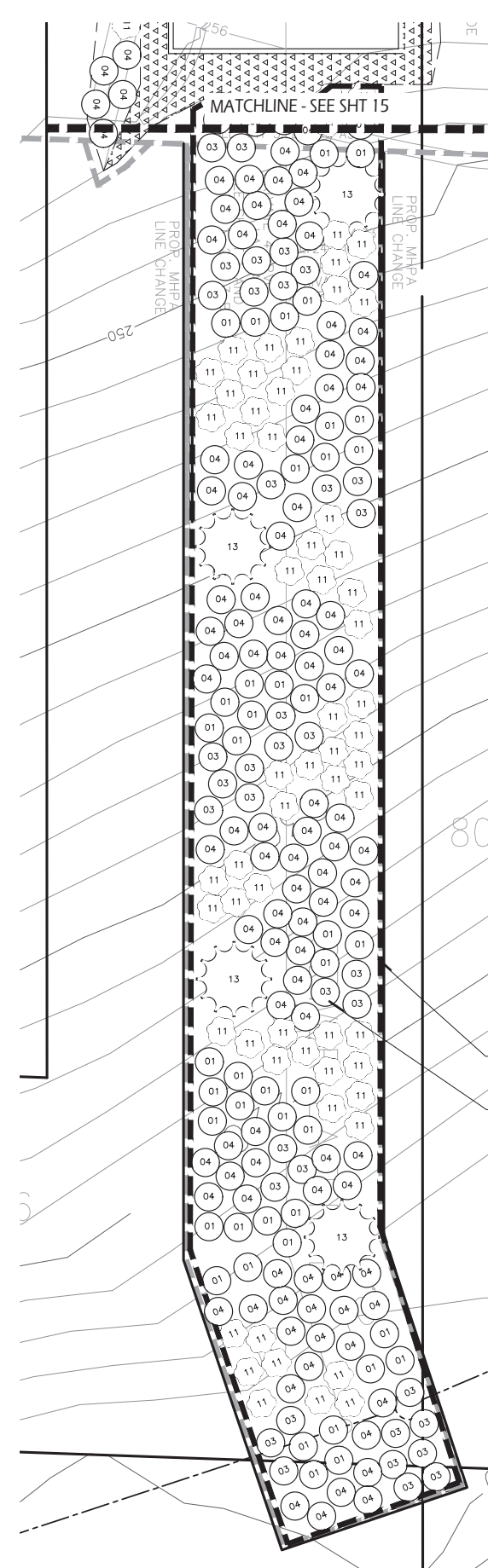


Table 2. Summary and Schedule for Maintenance, Monitoring, and Reporting

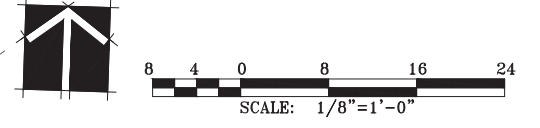
Period	Activity for Project Biologist/Contractor	Biologist Site Visit Frequency	Submittals/Checklist	*Reporting Frequency
Revegetation Installation	Project Biologist will be responsible for monitoring. Vegetation Contractor will be responsible for Installation.	As needed or at least once every two weeks.	Site observation report (S.O.R.) prepared by the Project Biologist commencing the completion of the installation and start of the PEP.	At successful installation as determined by the Project Biologist.
120-day PEP	Project Biologist will be responsible for monitoring. Vegetation Contractor will be responsible for maintenance.	Months 1 & 2 biweekly, months 3 & 4 at least once per month.	S.O.R. prepared by the Project Biologist documenting the completion of the PEP.	At the end of the PEP.
25-month Long-term Maintenance & Monitoring	Project Biologist will be responsible for monitoring. Vegetation Contractor will be responsible for maintenance.	Quarterly (every 3 months).	S.O.R.s prepared by the Project Biologist following each site visit.	Quarterly Year 1 25 Months

*Reports to be submitted to Owner and City including Paul Kilburg, Senior Planner, Parks and Recreation Open Space Division

Table 3. Restoration Success Criteria

Milestone	Success Criteria	Remedial Measures
Installation	All bare areas planted. No evidence of erosion on-site and BMPs in place and intact, as required.	Replant, repair erosion, install BMPs as required.
120-day PEP	100 percent survival of container plants. No invasive exotic weed growth. No erosion.	Replace dead plants, intensify weed control, repair erosion.
Year 1 (12-Months)	A minimum of 25% vegetative cover from planted species and/or native volunteer species. 90% survival of container plants. No invasive exotic weed growth. No erosion.	Plant as needed to meet 90% survival and 25% vegetative cover. Intensify weed control, repair erosion.
Year 2 (25-Months)	A minimum of 50% vegetative cover from planted species and/or native volunteer species. 80% survival of container plants. No invasive exotic weed growth. No erosion.	Plant as needed to meet 80% survival criterion and 50% vegetative cover. Intensify weed control, repair erosion.

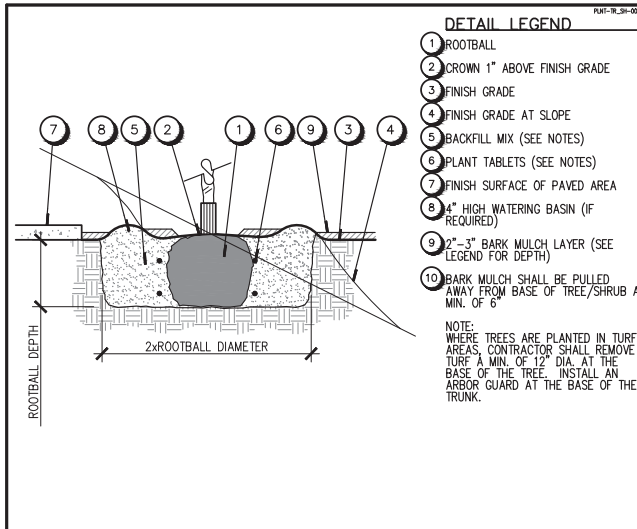
SEE SHT 15 FOR PLANTING LEGEND



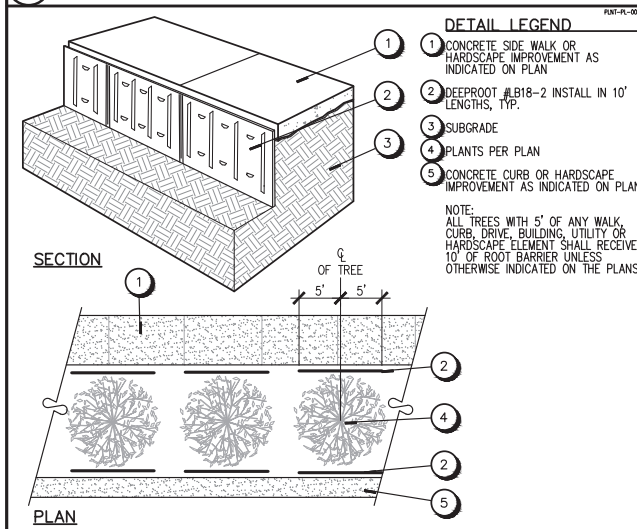
PRIVATE CONTRACT

BRUSH MANAGEMENT NOTES FOR:
2385 FELTON STREET
 LOT 5 IN BLK 46 OF THE SUBDIVISION OF PUEBLO LOTS 1139 & 1140
 MAP OF EASTERN ADDITION, ACCORDING MAP THEREOF NO. 295.

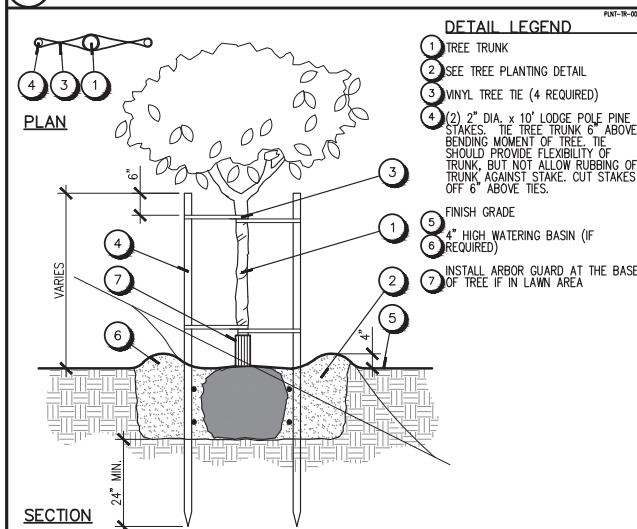
CITY OF SAN DIEGO, CALIFORNIA DEVELOPMENT SERVICES DEPARTMENT SHEET 16 OF SHEETS		I.O. NO. 24007347
FOR CITY ENGINEER _____ DATE _____		P.T.S. NO. 557456 655840
DESCRIPTION	BY	APPROVED
ORIGINAL	J.D.	
DATE		FILED
DATE STARTED		DATE COMPLETED
CONTRACTOR _____		INSPECTOR _____
NAD 83 COORDINATES 205-1732		LAMBERT COORDINATES
CONTRACT NO. _____		00000-16-D



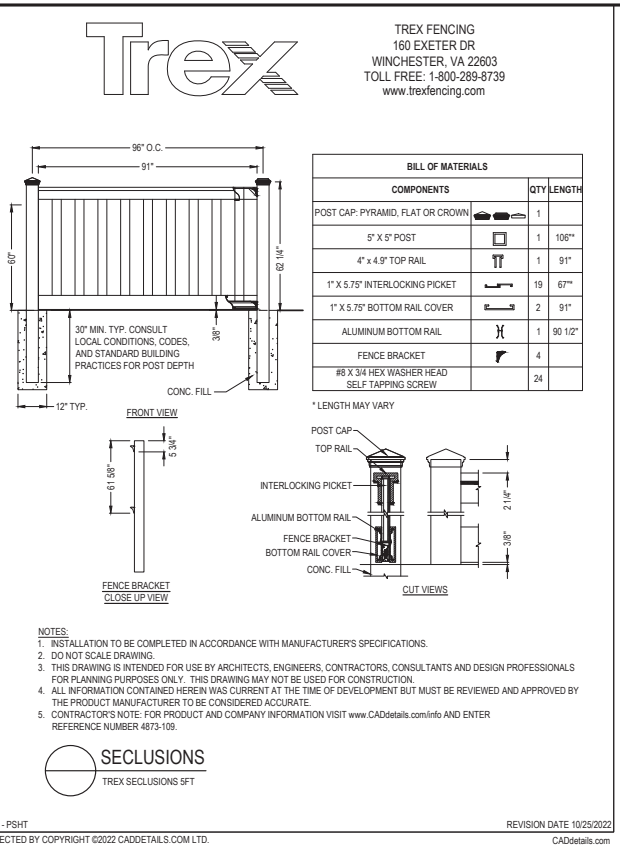
TREE AND SHRUB PLANTING



ROOT BARRIER



TREE DOUBLE STAKING



NOTES:
 1. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
 2. DO NOT SCALE DRAWING.
 3. THIS DRAWING IS INTENDED FOR USE BY ARCHITECTS, ENGINEERS, CONTRACTORS, CONSULTANTS AND DESIGN PROFESSIONALS FOR PLANNING PURPOSES ONLY. THIS DRAWING MAY NOT BE USED FOR CONSTRUCTION.
 4. ALL INFORMATION CONTAINED HEREIN WAS CURRENT AT THE TIME OF DEVELOPMENT BUT MUST BE REVIEWED AND APPROVED BY THE PRODUCT MANUFACTURER TO BE CONSIDERED ACCURATE.
 5. CONTRACTOR'S NOTE: FOR PRODUCT AND COMPANY INFORMATION VISIT WWW.CADDETAILS.COM/INFORMATION AND ENTER REFERENCE NUMBER 4873-109.

SECLUSIONS
 TREX SECLUSIONS SFT

PLANTING NOTES

- THE PLANTING PLAN IS DIAGRAMMATIC. ALL PLANT LOCATIONS ARE APPROXIMATE. PLANT SYMBOLS TAKE PRECEDENCE OVER PLANT QUANTITIES SPECIFIED.
 - QUANTITIES SHOWN ON THE PLANTING PLAN ARE APPROXIMATE AND ARE FOR THE CONVENIENCE OF THE CONTRACTOR ONLY.
 - CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT OF THE DISCREPANCIES BETWEEN QUANTITIES AND SYMBOLS SHOWN.
- LANDSCAPE CONTRACTOR SHALL APPLY A CONTACT HERBICIDE, WHERE WEEDS ARE PRESENT, PER MANUFACTURERS SPECIFICATIONS A MINIMUM OF TEN (10) DAYS PRIOR TO COMMENCEMENT OF ANY PLANTING OR IRRIGATION WORK. WEEDS SHALL BE ALLOWED TO COMPLETELY DIE BACK, INCLUDING THE ROOTS BEFORE PROCEEDING WITH WORK.
- AN AGRONOMIC SOILS TEST WILL BE REQUIRED PRIOR TO PLANTING. LANDSCAPE CONTRACTOR SHALL SUBMIT A SOIL ANALYSIS REPORT FROM AN AUTHORIZED TESTING AGENCY TO THE LANDSCAPE ARCHITECT BEFORE BEGINNING WORK.
- PRIOR TO PLANTING, IRRIGATION SYSTEM SHALL BE FULLY OPERATIONAL AND PLANTING AREAS SHALL BE THOROUGHLY SOAKED.
- ALL AREAS TO BE PLANTED, WHICH HAVE A SLOPE OF LESS THAN 10%, SHALL BE CROSS-RIPPED TO A DEPTH OF SIX (6") INCHES AND THE FOLLOWING AMENDMENTS SPREAD EVENLY AND THOROUGHLY BLENDED IN PER 1,000 SQUARE FEET (QUANTITIES SUBJECT TO CHANGE PER SOIL ANALYSIS):
 - 4 CUBIC YARDS COMPOST
 - 100 POUNDS AGRICULTURAL GYPSUM
 - 15 POUNDS IRON SULPHATE
 - 25 POUNDS 16-6-8 SLOW RELEASE FERTILIZER
- EACH PLANT SHALL RECEIVE "AGRIFORM" (OR EQUAL) PLANT TABLETS AS FOLLOWS:
 - ROOTED CUTTING/4" POT - (1) 5 GRAM
 - 1 GAL. CONTAINER - (1) 21 GRAM
 - 5 GAL. CONTAINER - (3) 21 GRAM
 - 15 GAL. CONTAINER - (5) 21 GRAM
 - BOX TREE - (1) 21 GRAM PER 3" BOX SIZE
- PLANT BACK FILL SHALL BE 50% SITE SOIL, AND 50% NITROGEN FORTIFIED REDWOOD SHAVINGS BY VOLUME.
- PLANT PITS SHALL BE TWICE THE SIZE OF THE DESIGNATED NURSERY CONTAINER.
- PLANT MATERIAL SHALL NOT BE ROOT BOUND. FIVE GALLON PLANTS AND LARGER SHALL HAVE BEEN GROWN IN CONTAINERS FOR A MINIMUM OF 6 MONTHS AND A MAXIMUM OF TWO YEARS.
- PLANTS SHALL EXHIBIT HEALTHY GROWTH AND BE FREE OF DISEASES AND PESTS.
- STAKE ALL TREES PER DETAIL.
- REMOVE NURSERY STAKES ON ALL VINES AND ATTACH TO ADJACENT FENCES WITH GALV. NAILS AND GREEN NURSERY TAPE.
- REMOVE NURSERY STAKES AND TIES FROM ALL CONTAINER STOCK. MAINTAIN SIDE GROWTH ON ALL TREES.
- PLANTS SHALL NOT BE PLACED WITHIN TWELVE (24") INCHES OF SPRINKLER HEADS.
- SHRUBS SHOWN IN PLANT AREAS SHALL BE UNDER-PLANTED WITH GROUND COVER SHOWN BY ADJACENT SYMBOL, TO WITHIN 12" OF MAIN PLANT STEM.
- LANDSCAPE CONTRACTOR SHALL MAINTAIN A MINIMUM OF 2% DRAINAGE AWAY FROM ALL BUILDINGS, STRUCTURES, AND WALLS. FINISHED GRADES SHALL BE SMOOTHED TO ELIMINATE PUDDLING OR STANDING WATER.
- FINISHED GRADES SHALL BE ONE (1) INCH BELOW THE TOP OF CURBS, SILLS, AND WALKWAYS IN ALL AREAS. WHERE SOD IS LAID NEXT TO THESE IMPROVEMENTS-FINISH GRADE BEFORE LAYING SOD SHALL BE 1-1/2" BELOW THE TOP.
- THE LANDSCAPE CONTRACTOR SHALL LEAVE SITE IN A CLEAN CONDITION, REMOVING ALL UNUSED MATERIAL, TRASH, AND TOOLS.
- LANDSCAPE CONTRACTOR SHALL MAINTAIN ALL PLANTINGS FOR A PERIOD OF SIXTY (60) DAYS AFTER COMPLETION. ALL AREAS SHALL BE KEPT CLEAN, WATERED, AND WEED FREE.
- AT COMPLETION OF ALL WORK OUTLINED IN THESE PLANS, THE LANDSCAPE CONTRACTOR SHALL CONTACT OWNER AND ARRANGE FOR A WALK THROUGH TO DETERMINE THAT ALL ASPECTS OF WORK ARE COMPLETED. WORK MUST BE FULLY COMPLETED ACCORDING TO ALL PLANS AND SPECIFICATIONS, MUST BE COMPLETED IN A GOOD WORKMANSHIP MANNER, AND MUST BE ACCEPTED BY THE OWNER IN WRITING PRIOR TO THE BEGINNING OF THE MAINTENANCE PERIOD.
- ALL TREES TO BE PLANTED IN ACCORDANCE WITH THE MINIMUM TREE SEPARATION DISTANCE. SEE NOTE ON PLANTING SHEET
- ALL TREES PLANTED WITHIN 5' FROM ANY HARDSCAPE PAVEMENT, OR CURBS SHALL RECEIVE A LB24-2 'DEEP ROOT' TREE ROOT BARRIER INSTALLED IN A 10' LINEAR APPLICATION, OR AS SHOWN ON PLANTING PLAN. ROOT BARRIER SHALL NOT ENCIRCLE THE ROOT BALL. SEE ROOT BARRIER DETAIL AND NOTE ON PLANTING PLAN.
- LANDSCAPE CONTRACTOR SHALL MAINTAIN ALL PLANTINGS FOR A PERIOD OF SIXTY (60) DAYS AFTER COMPLETION. ALL AREAS SHALL BE KEPT CLEAN, WATERED, AND WEED FREE.
- AT COMPLETION OF ALL WORK OUTLINED IN THESE PLANS, THE LANDSCAPE CONTRACTOR SHALL CONTACT OWNER AND ARRANGE FOR A WALK THROUGH TO DETERMINE THAT ALL ASPECTS OF WORK ARE COMPLETED. WORK MUST BE FULLY COMPLETED ACCORDING TO ALL PLANS AND SPECIFICATIONS AND MUST BE COMPLETED IN A GOOD WORKMANSHIP MANNER AND MUST BE ACCEPTED BY THE OWNER IN WRITING PRIOR TO THE BEGINNING OF THE MAINTENANCE PERIOD.

- MULCH: ALL REQUIRED PLANTING AREAS SHALL BE COVERED WITH MULCH TO A MIN. DEPTH OF 3 INCHES, EXCLUDING SLOPES REQUIRING REVEGETATION AND AREAS PLANTED WITH GROUND COVER. ALL EXPOSED SOIL AREAS WITHOUT VEGETATION SHALL ALSO BE MULCHED TO THIS MIN. DEPTH (SDMC 142.0413(b)).
- ALL TREES PLANTED WITHIN 5' FROM ANY HARDSCAPE PAVEMENT, OR CURBS SHALL RECEIVE A LB24-2 'DEEP ROOT' TREE ROOT BARRIER INSTALLED IN A 10' LINEAR APPLICATION, OR AS SHOWN ON PLANTING PLAN. ROOT BARRIER SHALL NOT ENCIRCLE THE ROOT BALL. SEE ROOT BARRIER DETAIL.
- LANDSCAPE CONTRACTOR SHALL MAINTAIN ALL PLANTINGS FOR A PERIOD OF SIXTY (60) DAYS AFTER COMPLETION. ALL AREAS SHALL BE KEPT CLEAN, WATERED, AND WEED FREE.
- AT COMPLETION OF ALL WORK OUTLINED IN THESE PLANS, THE LANDSCAPE CONTRACTOR SHALL CONTACT OWNER AND ARRANGE FOR A WALK THROUGH TO DETERMINE THAT ALL ASPECTS OF WORK ARE COMPLETED. WORK MUST BE FULLY COMPLETED ACCORDING TO ALL PLANS AND SPECIFICATIONS AND MUST BE COMPLETED IN A GOOD WORKMANSHIP MANNER AND MUST BE ACCEPTED BY THE OWNER IN WRITING PRIOR TO THE BEGINNING OF THE MAINTENANCE PERIOD.
- THE MAINTENANCE PERIOD SHALL INCLUDE THE FOLLOWING SCOPE OF WORK:
 - DAILY WATERING OF ALL PLANT MATERIAL.
 - WEEKLY MOWING OF ALL TURF AREAS.
 - WEEDING AND REMOVAL OF ALL WEEDS FROM GROUND COVER AREAS.
 - REPLACEMENT OF ANY DEAD, DYING, OR DAMAGED TREES, SHRUBS, OR GROUND COVERS.
 - FILLING AND REPLANTING OF ANY LOW AREAS WHICH MAY CAUSE STANDING WATER.
 - ADJUSTING OF SPRINKLER HEAD HEIGHT AND WATERING SYSTEM.
 - FILLING AND RECOMPACTION OF ERODED AREAS.
 - WEEKLY REMOVAL OF ALL TRASH, LITTER, CLIPPINGS, AND ALL FOREIGN DEBRIS.
 - AT 120 DAYS AFTER PLANTING AND PRIOR TO THE END OF THE MAINTENANCE PERIOD, ORGANIC FERTILIZER SHALL BE APPLIED TO PLANTING AREAS AS PER MANUFACTURER'S RECOMMENDATIONS.
 - AT 60 DAYS ORGANIC FERTILIZER SHALL BE APPLIED TO TURF AREAS AS PER MANUFACTURER'S RECOMMENDATIONS.
- PRIOR TO END OF MAINTENANCE PERIOD, LANDSCAPE CONTRACTOR SHALL CONTACT OWNER AND ARRANGE FOR A FINAL WALK THROUGH. OWNER MUST ACCEPT ALL MAINTAINED AREAS IN WRITING PRIOR TO END OF MAINTENANCE PERIOD.
- ALL GROUND COVERS SHALL BE GUARANTEED BY THE CONTRACTOR AS TO GROWTH AND HEALTH FOR A PERIOD OF SIXTY (60) DAYS AFTER THE COMPLETION OF MAINTENANCE PERIOD AND FINAL ACCEPTANCE. ALL SHRUBS SHALL BE GUARANTEED BY THE CONTRACTOR AS TO GROWTH AND HEALTH FOR A PERIOD OF NINETY (90) DAYS AFTER COMPLETION OF MAINTENANCE PERIOD AND FINAL ACCEPTANCE. ALL TREES SHALL BE GUARANTEED BY THE CONTRACTOR TO LIVE AND GROW IN AN ACCEPTABLE UPRIGHT POSITION FOR A PERIOD OF ONE (1) YEAR AFTER COMPLETION OF THE SPECIFIED MAINTENANCE PERIOD AND FINAL ACCEPTANCE.
- THE CONTRACTOR, WITHIN FIFTEEN (15) DAYS OF WRITTEN NOTIFICATION BY THE LANDSCAPE ARCHITECT, SHALL REMOVE AND REPLACE ALL GUARANTEED PLANT MATERIALS, WHICH FOR ANY REASON FAIL TO MEET THE REQUIREMENTS OF THE GUARANTEE. REPLACEMENT SHALL BE MADE WITH PLANT MATERIALS AS INDICATED OR SPECIFIED ON THE ORIGINAL PLANS, AND ALL SUCH REPLACEMENT MATERIALS SHALL BE GUARANTEED AS SPECIFIED FOR THE ORIGINAL MATERIAL GUARANTEE.
- ALL MECHANICAL EQUIPMENT AND UTILITIES SHALL BE SCREENED BY PLANTING. IF NOT ALREADY INDICATED ON THE PLAN, ALLOW EIGHT (8)-GALLON SHRUBS PER UTILITY TO BE PLACED DURING PLANT INSTALLATION AS NEEDED TO PROVIDE REQUIRED SCREENING.
- A CERTIFICATE OF COMPLETION, USING THE CITY'S FORM AND SIGNED BY THE LICENSED PROFESSIONAL WHO PREPARED THE PLANS, WILL BE REQUIRED AT TIME OF COMPLETION OF INSTALLATION.

PRIVATE CONTRACT

PLANTING NOTES & DETAILS FOR:
2385 FELTON STREET
 LOT 5 IN BLK 46 OF THE SUBDIVISION OF PUEBLO LOTS 1139 & 1140
 MAP OF EASTERN ADDITION, ACCORDING MAP THEREOF NO. 295.

CITY OF SAN DIEGO, CALIFORNIA DEVELOPMENT SERVICES DEPARTMENT SHEET 17 OF SHEETS		I.O. NO. 24007347
FOR CITY ENGINEER _____ DATE _____		P.T.S. NO. 557456 655840
DESCRIPTION	BY	APPROVED
ORIGINAL	J.D.	
DATE STARTED _____ DATE COMPLETED _____		NAD 83 COORDINATES 205-1732 LAMBERT COORDINATES
CONTRACTOR _____ INSPECTOR _____		00000-17-D



PLANTING SPECIFICATIONS

SECTION 02900 - LANDSCAPING
PART 1 - GENERAL
1.1 RELATED DOCUMENTS

SECTION:
1.2 SUMMARY
A. This section includes the following:

- 1. Trees.
2. Shrubs.
3. Plants.
4. Soil amendments.
5. Fertilizers and mulches.
6. Stakes.
7. Landscape edgings.

1.3 SUBMITTALS

- A. General: Submit each item in this Article according to the Conditions of the Contract.
B. Product certificates signed by manufacturers certifying that their products comply with specified requirements.
C. Material test reports from qualified independent testing agency indicating and interpreting test results relative to compliance of the following materials with requirements indicated.

D. Planting schedule indicating anticipated dates and locations for each type of planting.

1.4 QUALITY ASSURANCE

A. Installer Qualifications: Engage an experienced installer who has completed landscaping work similar in material, design, and extent to that indicated for this Project and with a record of successful landscape establishment.

B. Provide quality, size, genus, species, and variety of trees and shrubs indicated, complying with applicable requirements of ANSI Z60.1 "American Standard for Nursery Stock."

C. Preinstallation Conference: Conduct conference at Project site notifying City of San Diego Landscape Architect, allow 48 hours notice.

1.5 DELIVERY, STORAGE, AND HANDLING

A. Packaged Materials: Deliver packaged materials in containers showing weight, analysis, and name of manufacturer. Protect materials from deterioration during delivering and while stored at site.

B. Trees and Shrubs: Do not prune trees and shrubs before delivery, expect as approved by Landscape Architect. Protect bark, branches, and root systems from sun scald, drying, sweating, whipping, and other handling and tying damage.

C. Deliver trees, shrubs, ground covers, and plants after preparations for planting have been completed and install immediately. If planting is delayed after delivery, set planting materials in shade, protect from weather and mechanical damage, and keep roots moist.

1. Do not remove container-grown stock from containers before time of planting.
2. Water root systems of trees and shrubs stored on site with a fine-mist spray. Water as often as necessary to maintain root systems in a moist condition.

1.6 PROJECT CONDITIONS

A. Utilities: Determine location of above grade and underground utilities and perform work in a manner which will avoid damage. Hand excavate, as required. Maintain grade stakes until removal is mutually agreed upon by parties concerned.

B. Excavation: When conditions detrimental to plant growth are encountered, such as rubble fill, adverse drainage conditions, or obstructions, notify Architect before planting.

1.7 COORDINATION AND SCHEDULING

A. Coordinate installation of planting materials during normal planting seasons for each type of plant material required.

1.8 WARRANTY

A. General Warranty: The special warranty specified in this Article shall not deprive the Owner of other rights the Owner may have under other provisions of the Contract Documents and shall be in addition to, and run concurrent with, other warranties made by the Contractor under requirements of the Contract Documents.

B. Special Warranty: Warrant the following living planting materials for a period of one year for trees and 90 days for shrubs, groundcover and plants, after date of Substantial Completion, against defects including death and unsatisfactory growth, except for defects resulting from lack of adequate maintenance, neglect, or abuse by Owner, abnormal weather conditions unusual for warranty period, or incidents that are beyond Contractor's control.

C. Remove and replace dead planting materials immediately unless required to plant in the succeeding planting season.

D. Replace planting materials that are more than 25 percent dead or in an unhealthy condition at end of warranty period.

1.9 TREE AND SHRUB MAINTENANCE

A. MAINTAIN TREES AND SHRUBS BY PRUNING, CULTIVATING, WATERING, WEEDING, FERTILIZING, RESTORING PLANTING SAUCERS, TIGHTENING AND REPAIRING STAKES, AND RESETTling TO PROPER GRADES OR VERTICAL POSITION, AS REQUIRED TO KEEP TREES AND SHRUBS FREE OF INSECTS AND DISEASE. RESTORE OR REPLACE DAMAGED TREE WRAPPINGS. MAINTAIN TREES AND SHRUBS FOR THE FOLLOWING PERIOD:
1. MAINTENANCE PERIOD: 3 MONTHS FOLLOWING SUBSTANTIAL COMPLETION.

PART 2 - PRODUCTS

2.1 TREE AND SHRUB MATERIAL

A. GENERAL: FURNISH NURSERY-GROWN TREES AND SHRUBS CONFORMING TO ANSI Z60.1, WITH HEALTHY ROOT SYSTEMS DEVELOPED BY TRANSPLANTING OR ROOT PRUNING. PROVIDE WELL-SHAPED, FULLY-BRANCHED, HEALTHY, VIGOROUS STOCK FREE OF DISEASE, INSECTS, EGGS, LARVAE, AND DEFECTS SUCH AS KNOTS, SUN SCALD, INJURIES, ABRASIONS, AND DISFIGUREMENT.

B. GRADE: PROVIDE TREES AND SHRUBS OF SIZES AND GRADES CONFORMING TO ANSI Z60.1 FOR TYPE OF TREES AND SHRUBS REQUIRED. TREES AND SHRUBS OF A LARGER SIZE MAY BE USED IF ACCEPTABLE TO ARCHITECT, WITH A PROPORTIONATE INCREASE IN SIZE OF ROOTS OR BALLS.

C. LABEL AT LEAST 1 TREE AND 1 SHRUB OF EACH VARIETY AND CALIPER WITH A SECURELY ATTACHED, WATERPROOF TAG BEARING LEGIBLE DESIGNATION OF BOTANICAL AND COMMON NAME.

2.2 SHADE AND FLOWERING TREES

A. SHADE TREES: SINGLE-STEM TREES WITH STRAIGHT TRUNK, WELL-BALANCED CROWN, AND INTACT LEADER, OF SIZE INDICATED, CONFORMING TO ANSI Z60.1 FOR TYPE OF TREES REQUIRED.

B. Small Trees: Small upright or spreading type, branched or pruned naturally according to species and type, and with relationship of caliper, height, and branching recommended by ANSI Z60.1, and stem form as follows:

1. Form: Multistem, clump, with 2 or more main stems.

C. Container-grown trees will meet ANSI Z60.1 limitations for container stock.

2.3 BROADLEAF EVERGREENS

A. Form and Size: Normal-quality, well-balanced, broadleaf evergreens, of type, height, spread, and shape required, conforming to ANSI Z60.1.

2.4 PLANTS

A. Provide plants established and well rooted in removable containers or integral peat pots and with not less than the minimum number and length of runners required by ANSI Z60.1 for the pot size indicated.

2.5 SOIL AMENDMENTS
A. Lime: ASTM C 602, Class T, agricultural limestone containing a minimum 80 percent calcium carbonate equivalent, with a minimum 99 percent passing a No. 8 (2.36 mm) sieve and a minimum 75 percent passing a No. 60 (250 micrometer) sieve.

B. Aluminum Sulfate: Commercial grade, unadulterated.

C. Sand: Clean, washed, natural or manufactured sand, free of toxic materials.

D. Perlite: Horticultural perlite, soil amendment grade.

E. Peat Humus: Finely divided or granular texture, with a pH range of 6 to 7.5, composed of partially decomposed moss peat (other than sphagnum), peat humus, or reed-sedge peat.

F. Peat Humus: For acid-tolerant trees and shrubs, provide moss peat, with a pH range of 3.2 to 4.5, coarse fibrous texture, medium-divided sphagnum moss peat or reed-sedge peat.

G. Sawdust or Ground-Bark Humus: Decomposed, nitrogen-treated, of uniform texture, free of chips, stones, sticks, soil, or toxic materials.

1. When site treated, mix with at least 0.15 lb (2.4 kg) of ammonium nitrate or 0.25 lb (4 kg) of ammonium sulfate per cu. ft. (cu. m) of loose sawdust or ground bark.

H. Manure: Well-rotted, unleached stable or cattle manure containing not more than 25 percent by volume of straw, sawdust, or other bedding materials; free of toxic substances, stones, sticks, soil, weed seed, and material harmful to plant growth.

I. Herbicides: EPA registered and approved, of type recommended by manufacturer.

J. Water: As provided by local water purveyor.

2.6 FERTILIZER

A. Bonemeal: Commercial, raw, finely ground; minimum of 4 percent nitrogen and 20 percent phosphoric acid.

B. Superphosphate: Commercial, phosphate mixture, soluble; minimum of 20 percent available phosphoric acid.

C. Commercial Fertilizer: Commercial-grade complete fertilizer of neutral character, consisting of fast- and slow-release nitrogen, 50 percent derived from natural organic sources or urea-form, phosphorous, and potassium in the following composition:

1. Composition: 1 lb per 1000 sq. ft. (0.5 kg per 100 sq. m) of actual nitrogen, 4 percent phosphorous, and 2 percent potassium, by weight.

2. Composition: Nitrogen, phosphorous, and potassium in amounts recommended in soil reports from a qualified soil-testing agency.

D. Slow-Release Fertilizer: Granular fertilizer consisting of 50 percent water-insoluble nitrogen, phosphorous, and potassium in the following composition:

1. Composition: 5 percent nitrogen, 10 percent phosphorous, and 5 percent potassium, by weight.

2. Composition: 20 percent nitrogen, 10 percent phosphorous, and 10 percent potassium, by weight.

3. Composition: Nitrogen, phosphorous, and potassium in amounts recommended in soil reports from a qualified soil-testing agency.

4. 'Agriform' (or equal) planting tablets shall be tightly compressed, long-lasting and slow-release. Weights of 5, 10, and 21 grams listed in the guaranteed analysis. Install size and quantity of tablets per size of plant material as specified by manufacturer on container.

2.7 MULCHES

A. ORGANIC MULCH: ORGANIC MULCH, FREE FROM DELETERIOUS MATERIALS AND SUITABLE AS A TOP DRESSING OF TREES AND SHRUBS, CONSISTING OF ONE OF THE FOLLOWING:

1. TYPE: GROUND OR SHREDDED BARK.

B. PEAT MULCH: PROVIDE PEAT MOSS IN NATURAL, SHREDDED, OR GRANULATED FORM, OF FINE TEXTURE, WITH A PH RANGE OF 4 TO 6 AND A WATER-ABSORBING CAPACITY OF 1100 TO 2000 PERCENT.

C. FIBER MULCH: BIODEGRADABLE DYED-WOOD CELLULOSE-FIBER MULCH, NONTXIC, FREE OF PLANT GROWTH- OR GERMINATION-INHIBITORS, WITH MAXIMUM MOISTURE CONTENT OF 15 PERCENT AND A PH RANGE OF 4.5 TO 6.5.

D. INSTALL 3" DEPTH OF MULCH IN ALL NON-TURF PLANTING AREAS LESS STEEP THAN 3:1.

E. INSTALL 3" DEPTH OF SMALL BARK NUGGETS 1" MINUS ON ALL PLANTERS ON PODIUM. PRECISION SOILS AND FOREST PRODUCTS, INC. 909/880-0015.

F. INSTALL 3" DEPTH OF WALK ON BARK AT ALL ON-GRADE AREAS. ORGANIC SOLUTIONS, 800/600-5568

2.8 STAKES

A. UPRIGHT STAKES: ROUGH-SAWN, SOUND, NEW HARDWOOD, REDWOOD, OR PRESSURE-PRESERVATIVE-TREATED SOFTWOOD, FREE OF KNOTS, HOLES, CROSS GRAIN, AND OTHER DEFECTS, 2 INCHES DIAMETER BY LENGTH INDICATED, POINTED AT ONE END.

B. HOSE CHAFING GUARD: REINFORCED RUBBER OR PLASTIC HOSE AT LEAST 1/2 INCH (13 MM) IN DIAMETER, BLACK, CUT TO LENGTHS REQUIRED TO PROTECT TREE TRUNKS DAMAGE.

2.9 LIGHTWEIGHT SOIL MIX (PLANTERS)

A. FORMULA PER CUBIC YARD OF MIX:

Table with 2 columns: Amount, Ingredients. Lists quantities for forest residuals, washed concrete sand, screened sandy loam topsoil, potassium nitrate, urea, triple super phosphate, dolomite lime, nitroform, and iron sulfate.

Available through: Lbr corp - soil prep - tamara scurlcock (310) 639-4524

B. Prior to soil installation, contractor shall Provide a letter of certification that light Weight soil meets above specs and does not Exceed a saturated weight of 80 lbs per cubic Foot.

C. Due to decomposition of organics, in lightweight Soil, maintenance contractor will be required To add lightweight soil as required to maintain Soil level as shown on detail.

PART 3 - EXECUTION

3.1 EXAMINATION

A. Examine areas to receive landscaping for compliance with requirements and for conditions affecting performance of work of this Section. Do not proceed with installation until unsatisfactory conditions have been corrected.

3.2 PREPARATION

A. LAY OUT INDIVIDUAL TREE AND SHRUB LOCATIONS AND AREAS FOR MULTIPLE PLANTINGS. STAKE LOCATIONS, OUTLINE AREAS, AND SECURE ARCHITECT'S ACCEPTANCE BEFORE THE START OF PLANTING WORK. MAKE MINOR ADJUSTMENTS AS MAY BE REQUIRED.

3.3 PLANTING SOIL PREPARATION

A. MIX SOIL AMENDMENTS AND FERTILIZERS WITH SITE SOIL AT RATES INDICATED. DELAY MIXING FERTILIZER IF PLANTING DOES NOT FOLLOW PLACING OF PLANTING SOIL WITHIN A FEW DAYS. AMENDMENTS WILL BE MODIFIED FROM THOSE NOTED BASED ON SOILS REPORTS PERFORMED BY CONTRACTOR MIN. (3).

B. FOR TREE PIT OR TRENCH BACKFILL, MIX PLANTING SOIL BEFORE BACKFILLING AND STOCKPILE AT SITE.

C. FOR PLANTING BEDS, MIX PLANTING SOIL EITHER PRIOR TO PLANTING OR APPLY ON SURFACE OF TOPSOIL AND MIX THOROUGHLY BEFORE PLANTING.

PLANT BACKFILL SHALL BE PER SOIL TEST PERFORMED BY A SOIL TESTING LABORATORY (PRE-APPROVED BY THE CITY... THE TEST SHALL INDICATE BUT NOT BE LIMITED TO THE FOLLOWING:

- A. ORGANIC MATTER CONTENT
B. N, P, K
C. PH
D. EC
E. SOIL TEXTURE (SILT, SLAY, SAND)
F. RECOMMENDATIONS FOR AMENDMENTS, LEACHING AND MAINTENANCE FERTILIZATIONS.

THE RESULTS AND RECOMMENDATIONS OF THE SOIL TESTING LABORATORY SHALL BE SUBMITTED TO AND APPROVED BY THE CITY OF CARLSBAD. THE APPROVED RECOMMENDATIONS FOR AMENDMENTS AND BACKFILL SHALL BE INCORPORATED INTO THE LANDSCAPE PLANS PRIOR TO THE START OF CONSTRUCTION AND SHALL BECOME PART OF THE APPROVED PLANS. PRODUCTS SPECIFIED BY PRODUCT NAME BY THE SOIL LAB. IN THE RECOMMENDATIONS MAY BE SUBSTITUTED WITH 'OR EQUAL' PRODUCTS APPROVED BY THE CITY OF CARLSBAD.

3.4 GROUND COVER AND PLANTING BED PREPARATION

A. LOOSEN SUBGRADE OF PLANTING BED AREAS TO A MINIMUM DEPTH OF 6 INCHES (150 MM). REMOVE STONES LARGER THAN 1-1/2 INCHES (38 MM) IN ANY DIMENSION AND STICKS, ROOTS, RUBBISH, AND OTHER EXTRANEIOUS MATERIALS.

B. SPREAD PLANTING SOIL MIXTURE TO DEPTH REQUIRED TO MEET THICKNESS, GRADES, AND ELEVATIONS SHOWN AFTER LIGHT ROLLING AND NATURAL SETTLEMENT. PLACE SOIL MISTURE IN TWO (2) LIFTS AND INSURE PROPER COMPACTION OF PLANTING BEDS.

C. EACH PLANT SHALL RECEIVE ONE (1) 5 GRAM 'AGRIFORM' (OR EQUAL) PLANT TABLET.

3.5 EXCAVATION FOR TREES AND SHRUBS

A. PITS AND TRENCHES: EXCAVATE WITH VERTICAL SIDES AND WITH BOTTOM OF EXCAVATION SLIGHTLY RAISED AT CENTER TO ASSIST DRAINAGE. LOOSEN HARD SUBSOIL IN BOTTOM OF EXCAVATION.

1. CONTAINER-GROWN TREES AND SHRUBS: EXCAVATE TO TWICE CONTAINER WIDTH, AND TO DEPTH OF ROOTBALL IN CONTAINER.

2. EXCAVATION AND PLANTING OF TREES SHALL BE COMPLETED PRIOR TO INSTALLATION OF DRAIN LINE.

B. OBSTRUCTIONS: NOTIFY ARCHITECT IF UNEXPECTED ROCK OR OBSTRUCTIONS DETRIMENTAL TO TREES OR SHRUBS ARE ENCOUNTERED IN EXCAVATIONS.

1. HARDPAN LAYER: DRILL 6-INCH- (150 MM-) DIAMETER HOLES INTO FREE-DRAINING STRATA OR TO A DEPTH OF 10 FEET (3 M), WHICHEVER IS LESS, AND BACKFILL WITH FREE-DRAINING MATERIAL.

C. DRAINAGE: NOTIFY ARCHITECT IF SUBSOIL SONDITIONS EVIDENCE UNEXPECTED WATER SEEPAGE OR RETENTION IN TREE OR SHRUB PITS.

D. FILL EXCAVATIONS WITH WATER AND ALLOW TO PERCOLATE OUT, BEFORE PLACING SETTING LAYER AND POSITIONING TREES AND SHRUBS.

3.6 PLANTING TREES AND SHRUBS

A. SET CONTAINER-GROWN STOCK PLUMB AND IN CENTER OF PIT OR TRENCH WITH TOP OF BALL LEVEL TO ADJACENT FINISH GRADES AS INDICATED.

1. CAREFULLY REMOVE CONTAINERS SO AS NOT TO DAMAGE ROOT BALLS.

2. PLACE BACKFILL AROUND BALL IN LAYERS, TAMPING TO SETTLE BACKFILL AND ELIMINATE VOIDS AND AIR POCKETS. WHEN PIT IS APPROXIMATELY 1/2 BACKFILLED, WATER THOROUGHLY BEFORE PLACING REMAINDER OF BACKFILL. REPEAT WATERING UNTIL NO MORE IS ABSORBED. WATER AGAIN AFTER PLACING AND TAMPING FINAL LAYER OF BACKFILL.

B. DISH AND TAMP TOP OF BACKFILL TO FORM A 3-INCH- (75-MM-) HIGH MOUND AROUND THE RIM OF THE PIT. DO NOT COVER TOP OF ROOT BALL WITH BACKFILL.

3.7 TREE AND SHRUB PRUNING

A. PRUNE, THIN, AND SHAPE TREES AND SHRUBS ACCORDING TO STANDARD HORTICULTURAL PRATICIE. PRUNE TREES TO RETAIN REQUIRED HEIGHT AND SPREAD. UNLESS OTHERWISE DIRECTED BY ARCHITECT, DO NOT CUT TREE LEADERS; REMOVE ONLY INJURED OR DEAD BRANCHES FROM FLOWERING TREES. PRUNE SHRUBS TO RETAIN NATURAL CHARACTER. SHRUB SIZES INDICATED ARE SIZE AFTER PRUNING.

3.8 TREE AND SHRUB STAKING

A. UPRIGHT STAKING AND TYING: STAKE TREES OF 15 GALLON AND LARGER. USE A MINIMUM OF 2 STAKES OF LENGTH REQUIRED TO PENETRATE AT LEAST 24 INCHES BELOW BOTTOM OF BACKFILLED EXCAVATION AND TO EXTEND AT LEAST 72 INCHES ABOVE GRADE. SET VERTICAL STAKES AND SPACE TO AVOID PENETRATING BALLS OR ROOT MASSES. SUPPORT TREES WITH 2 STANDS OF TIE WIRE ENCASED IN HOSE SECTIONS AT CONTACT POINTS WITH TREE TRUNK. STAKING AND TYING OF TREE IS NOT INTENDED TO IMMOBILIZE TREE. INSTALL TO ALLOW SLACK IN TIES, AVOIDING RIGID RESTRAINT OF TREE.

3.9 PLANTING PLANTS

A. SPACE PLANTS AS INDICATED.

B. DIG HOLES LARGE ENOUGH TO ALLOW SPREADING OF ROOTS, AND BACKFILL WITH PLANTING SOIL. WORK SOIL AROUND ROOTS TO ELIMATE AIR POCKETS AND LEACE A SLIGHT SAUCER INDENTATION AROUND PLANTS TO HOLD WATER. WATER THOROUGHLY AFTER PLANTING, TAKING CARE NOT TO COVER PLANT CROWNS WITH WET SOIL

3.10 MULCHING

A. MULCH BACKFILLED SURFACES OF PITS, TRENCHES, PLANTED AREAS, AND OTHER AREAS INDICATED. 3" LAYER SHALL BE INSTALLED IN SHRUB AREA WITH GRADE LESS THAN 3:1. SUBMIT SAMPLE TO CITY INSPECTOR FOR APPROVAL.

3.11 CLEANUP AND PROTECTION

A. DURING LANDSCAPING, KEEP PAVEMENTS CLEAN AND WORK AREA IN AN ORDERLY CONDITION.

B. PROTECT LANDSCAPING FROM DAMAGE DUE TO LANDSCAPE OPERATIONS, OPERATIONS BY OTHER CONTRACTORS AND TRADES, AND TRESPASSERS. MAINTAIN PROTECTION DURING INSTALLATION AND MAINTENANCE PERIODS. TREAT, REPAIR, OR REPLACE DAMAGED LANDSCAPE WORK AS DIRECTED.

3.12 DISPOSAL OF SURPLUS AND WASTE MATERIALS

A. DISPOSAL: REMOVE SURPLUS SOIL AND WASTE MATERIAL, INCLUDING EXCESS SUBSOIL, UNSUITABLE SOIL, TRASH, AND DEBRIS, AND LEGALLY DISPOSE OF IT OFF THE OWNER'S PROPERTY.

END OF SECTION 02900



Table containing project details: PLANTING SPECIFICATIONS FOR: 2385 FELTON STREET, LOT 5 IN BLK 46 OF THE SUBDIVISION OF PUEBLO LOTS 1139 & 1140, MAP OF EASTERN ADDITION, ACCORDING MAP THEREOF NO. 295. Includes City of San Diego, California Development Services Department information and sheet number 18 of 295.