Private Residence

COASTAL DEVELOPMENT DOCUMENTS PACKAGE

8445 Avenida De Las Ondas, La Jolla, California, 92037

ABBREVIATIONS

Ø	DIAMETER
□	SQUARE FOOT/FEET
&	AND
@	AT
℄	CENTERLINE
#	POUND OR NUMBER
(E)	EXISTING
A.B.	ANCHOR BOLT
ABV.	ABOVE
A/C	AIR CONDITIONING
A.C.	ASPHALTIC CONCRETE
A.D.	AREA DRAIN
ACOUS.	ACOUSTICAL
AFF	ABOVE FINISH FLOOR
ALUM.	ALUMINUM
APPROX.	APPROXIMATE
ARCH.	ARCHITECTURAL
BD.	BOARD
BLDG.	BUILDING
BLK.	BLOCK
BLKG.	BLOCKING
BM.	BEAM
B.N.	BOUNDARY NAILING
BOT.	BOTTOM
BTWN.	BETWEEN
CATV	CABLE TELEVISION
C.B.	CATCH BASIN
CBC	CALIFORNIA BUILDING CODE
CEM.	CEMENT
CER.	CERAMIC
C.I.	CAST IRON
C.J.	CONTROL JOINT
C.L.	CENTER LINE
CLG.	CEILING
CLR.	CLEAR
C.M.U.	CONCRETE MASONRY UNIT
COL.	COLUMN COL.
CONC.	CONCRETE
CONN.	CONNECTION
CONST.	CONSTRUCTION
CONT.	CONTINUOUS
CONTR.	CONTRACTOR
C.Y.	CUBIC YARD
DBL.	DOUBLE
DEPT.	DEPARTMENT
DET.	DETAIL
D/F	DOUGLAS FIR
D.F.	DRINKING FOUNTAIN
DIA.	DIAMETER
DIM.	DIMENSION
DN	DOWN
DR	DOOR
DS	DOWNSPOUT
DWG.	DRAWING
EA.	EACH
E.C.	EVAPORATIVE COOLER
E.J.	EXPANSION JOINT
ELEC.	ELECTRICAL
EL	ELEVATION
E.P.	ELECTRICAL PANEL
EQ.	EQUAL
EQUIP.	EQUIPMENT
E.W.	EACH WAY
EXIST.	EXISTING
EXT.	EXTERIOR

FDN	FOUNDATION
F.D.	FLOOR DRAIN
F.F.	FINISH FLOOR FINISH
FIN.	FIXTURE
FIXT.	FLOOR FLR.
FLUOR.	FLUORESCENT
F.H.	FIRE HYDRANT
F.O.M.	FACE OF MASONRY
F.O.S.	FACE OF STUD
F/S	FINISH SURFACE
F.S.	FLOOR SINK
F.S.R.	FIRE SPRINKLER RISER .
FT.	FOOT/FEET
FTG.	FOOTING
FURR.	FURRING
FUT.	FUTURE
GA.	GAUGE
GALV.	GALVANIZED
G.C.	GENERAL CONTRACTOR
G.I.	GALVANIZED IRON
G.L.B.	GLU-LAM BEAM
GL.	GLASS
GND.	GROUND
GR.	GRADE
GYP.	GYPSUM
H.B.	HOSE BIBB
H.C.	HOLLOW CORE
HDR.	HEADER HDR.
HDW.	HARDWARE
HT.	HEIGHT
H.M.	HOLLOW METAL
HORIZ.	HORIZONTAL
HTG.	HEATING
HDWD.	HARDWOOD
HVAC	HEATING, VENTILATION & AIR CONDITIONING
I.D.	INSIDE DIAMETER
I.E.	INVERT ELEVATION
IN.	INCH
INSUL.	INSULATION
INT.	INTERIOR
JT.	JOINT
LAM.	LAMINATED
LAV.	LAVATORY
LT.	LIGHT
MAX.	MAXIMUM
M.B.	MACHINE BOLT
MECH.	MECHANICAL
MET.	METAL
MFR.	MANUFACTURER
MIN.	MINIMUM
MISC.	MISCELLANEOUS
M.O.	MASONRY OPENING
MTD.	MOUNTED
MUL.	MULLION
N.	NORTH
N.I.C.	NOT IN CONTRACT
NO.	NUMBER
NOM.	NOMINAL
N.T.S.	NOT TO SCALE

O.A.	OVERALL
O.C.	ON CENTER
O.D.	OUTSIDE DIAMETER
OFD.	OVERFLOW DRAIN
OPG.	OPENING
OPP.	OPPOSITE
PART'N	PARTITION
P.L.	PROPERTY LINE
PLAS.	PLASTER
PLBG.	PLUMBING
PLYWD.	PLYWOOD
P.O.C.	POINT OF CONNECTION
POLP.	POLYPROPYLENE
PR.	PAIR
P.T.	PRESSURE TREATED
Q.T.	QUARRY TILE
R.	RISER
RAD.	RADIUS
R.D.	ROOF DRAIN
REF.	REFERENCE
REINF.	REINFORCED
REQ.	REQUIRED
RM.	ROOM
R.O.	ROUGH OPENING
R.O.W.	RIGHT OF WAY
R.S.	RESAWN
S.	SOUTH
S.C.	SOLID CORE
SCHED.	SCHEDULE
SECT.	SECTION
SHT.	SHEET
SHTG.	SHEATHING
SIM.	SIMILAR
SPEC.	SPECIFICATION
SQ.	SQUARE
SS.	STAINLESS STEEL
STD.	STANDARD
STL.	STEEL STL.
STOR.	STORAGE
STRUCT.	STRUCTURAL
S.O.V.	SHUT OFF VALVE
SYM.	SYMMETRICAL
T.	TREAD
T.O.C.	TOP OF CURB
T&G	TONGUE AND GROOVE
THK.	THICK
T.O.P.	TOP OF PARAPET
T.O.S.	TOP OF SHEATHING
T.O.W.	TOP OF WALL
TYP.	TYPICAL
U.O.N.	UNLESS OTHERWISE NOTED
VERT.	VERTICAL VERT.
V.C.T.	VINYL COMPOSITION TILE
V.I.F.	VERIFY IN FEILD
W.	WEST
W/	WITH
W.C.	WATER CLOSET
WD.	WOOD
W.H.	WATER HEATER
W/O	WITHOUT
W.P.J.	WEAKENED PLAN JOINT
W.R.	WATER RESISTANT
W.W.F.	WELDED WIRE FABRIC

Letter of Request

Private Residence- Remodel & Addition
8445 Avenida de las Ondas,
La Jolla, CA 92037
APN - 346-132-10-00
PTS # **Coastal Development Permit Review - PRJ -1050498**
Attached ADU Unit
Combination Building Permit

PROJECT LETTER OF REQUEST - NARRATIVE

PERMIT REQUESTED
Coastal Development Permit - Addition & ADU

Project Description:
Selectively demolish portions the 3,963 square foot existing two-story single-family residence. Remodel & Addition for the addition of 1,995 square feet to the home for a total of 5,447 square feet. A portion of the new two-story addition will be a new 1,191 square foot Accessory Dwelling Unit (ADU) on the second floor. The project will include new second floor terraces, and a new roof deck. The building will include new roof mounted photovoltaic panels for electrical power for the property. The existing two-car garage will be demolished and the attached work area, bathroom and laundry area. The garage area will be part of the new addition with an area of 627 square feet. The ground floor will be also a part of the new addition to the existing home with a new area of 847 square feet. The existing Historically designated home will be left intact and not part of the remodel & addition. The proposed remodeled residence will have a new total area of 5,447 square feet. The exterior entry trellis will be newly constructed and two new off-street parking spaces will be added to the two parking spaces in the garage. The proposed remodeled home will consist of 4 bedrooms and 4 baths, with a two-car garage. The ADU will be a one-bedroom unit. Provide new exterior decks, new landscaping and other site improvements of the features as shown on the site plans.

Land Use Consistency:
The Project is consistent with the **LJSPD-SF zoning** & Land use Designations in the City's General Plan and the Community Plan of La Jolla. The proposed project size, setback and height is consistent with **LJSPD-SF** (single family zone).

Coastal Development Permit Criteria

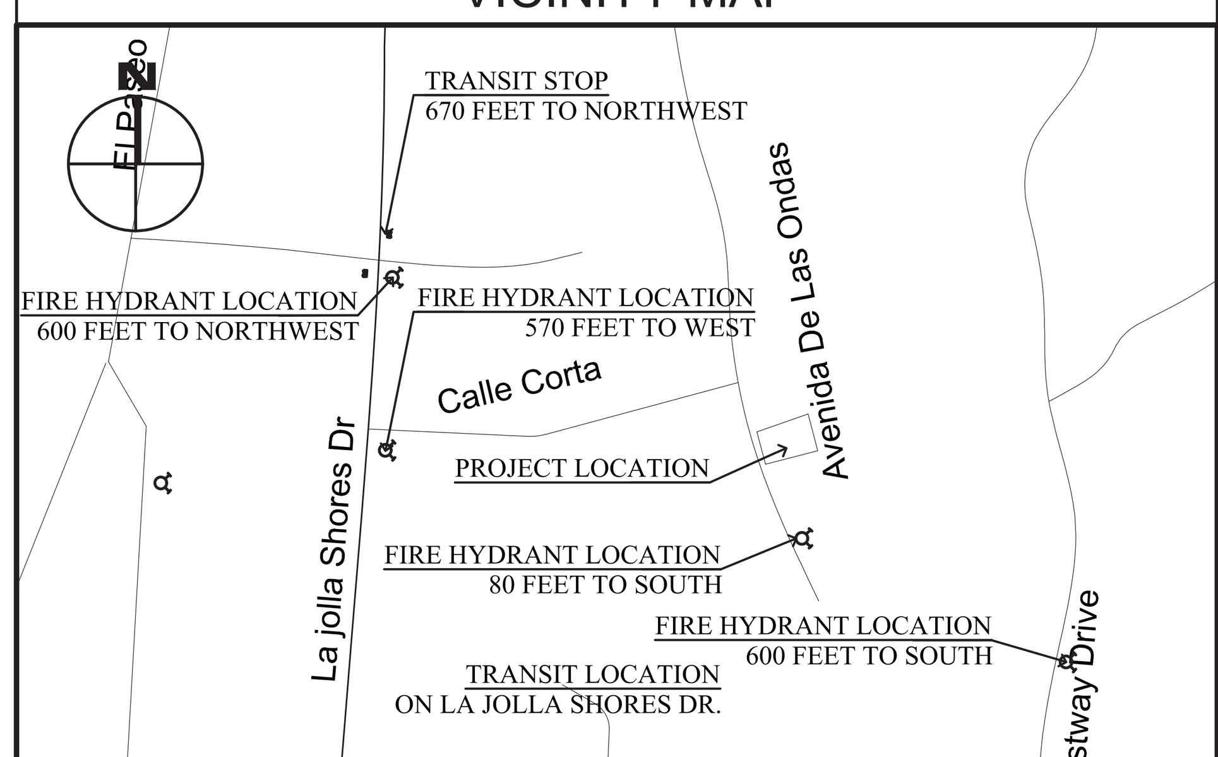
1. The proposed project lot size conforms to the minimum requirement of the zone - 10,000 s.f.
   a. The lot is 20,128 square feet *(conforms)*
2. The coastal height limit for this zone is 30,-0:
   a. The proposed project height is : 27'-3" *(conforms)*
3. The allowed project allowed FAR is 100% = 20,000 square feet.
   a. The proposed residence FAR is 27.1% with GFA = 5,447 square feet. *(conforms)*
4. The proposed project maximum hardscape coverage maximum of 60% or 12,076 S.f.
   a. The proposed project hardscape will be 4,256.0 square feet or 21.1%. *(conforms)*
5. The proposed home meets all the required setbacks for the area.
   a. The proposed home meets or exceed exceeds the required setbacks. *(conforms)*
6. The Existing home was built in 1955
   a. The home is a traditional post & beam home and not part of the proposed project. (Designated-Historical)
   b. The building permit for the original home is - 11698
7. The Proposed home will conform the City of San Diego CAP Requirements.
   a. The home will have energy efficient lighting (LED).
   b. The proposed home will have water efficient plumbing fixtures
   c. The proposed home will have energy star appliances
   d. The proposed home will have Cool/Green Roofs- The project will include Reflector Series Standing Seam Metal Roofing - Roofing materials with a minimum 3-year aged solar reflection and thermal emittance of 1.7. *(conforms)*
   e. The proposed home will meet title 24 energy efficiency goal and will have photovoltaic system mounted on the roof.

Marengo Morton Architects
7724 Girard Ave.
Second Floor
La Jolla, CA 92037
Tel. (858) 459-3769
Fax. (858) 459-3768
Michael Morton AIA
Claude Anthony Marengo DESA

03-20-2022

LICENSED ARCHITECT
MICHAEL RENE MORTON
Michael Morton AIA
C-19371
RENEWAL
04/30/2025
STATE OF CALIFORNIA

VICINITY MAP



VICINITY MAP - LEGEND

Project Parcel - Project Site
8445 Avenida de las Ondas,
La Jolla, CA 92037
APN - 346-132-10-00
Fire Hydrant - All Fire Hydrants within 600 feet
Transit Stop - All Transit Stops within 1,500 feet

BASIS FOR STRUCTURAL DESIGN

STRUCTURAL DESIGN LOADS:

ROOF DEAD LOAD:	16 PSF
ROOF LIVE LOAD:	20 PSF
FLOOR DEAD LOAD:	14 PSF
FLOOR LIVE LOAD:	40 PSF
DECK DEAD LOAD:	14 PSF
CANTILEVER DECK LIVE LOAD:	40 PSF
SITE COORDINATES:	LATITUDE 32.818294°
	LONGITUDE -117.256461°
SEISMIC CRITERIA:	VERY LOW TO MODERATE
GEOLOGICAL HAZARD:	26,53
DISTANCE TO SEISMIC SOURCE:	¾ MILES
SOIL BEARING CAPACITY:	3,000 PSF
DESIGN WIND:	85 MPH EXP. 'B"
SOIL SITE CLASS:	C
SITE COEFFICIENT, Fa:	1.689
SITE COEFFICIENT, Fv:	0.739
SOIL EXPANSION INDEX:	<20
Ss	1,407 g
S1	0.492 g
Sds:	1,126 g
Sd1:	0.492 g

[✓] BY SOILS ENGINEER: **Christian Wheeler Engineering - Report CWE 2220330.01, Dated March 17, 2023. Preliminary Geotechnical Investigation of Proposed Garage and Companion Unit.**

FOUNDATIONS / SOILS CRITERIA:

☐ EXPANSION INDEX HAS BEEN DETERMINED TO BE GREATER THAN 20 AND THE RECOMMENDATIONS OF THE SOILS ENGINEER HAVE BEEN INCORPORATED INTO THESE PLANS.

☐ EXPANSION INDEX HAS BEEN DETERMINED TO BE 20 OR LESS AND NO SPECIAL DESIGN RECOMMENDATIONS ARE REQUIRED.

☐ AS A CALIFORNIA LICENSED ARCHITECT / ENGINEER. I HAVE CLASSIFIED THE UNDISTURBED NATIVE SOILS TO BE 5. - SANDY CLAY AND PER TABLE 1806.2 AND THE 2010 CBC. I HAVE ASSIGNED A FOUNDATION PRESSURE OF 3,000 PSF FOR THE DESIGN OF FOUNDATIONS RELATED TO THIS PROJECT.

NAME (PRINT) SIGNATURE DATE ☐ LICENSED ARCHITECT ☐ LICENSED ENGINEER

☐ IF THE BUILDING INSPECTOR SUSPECTS FILL, EXPANSIVE SOILS OR ANY GEOLOGIC INSTABILITY BASED UPON OBSERVATION OF THE FOUNDATION EXCAVATION, A SOILS OR GEOLOGICAL REPORT, AND RESUBMITTAL OF PLANS TO PLAN CHECK TO VERIFY THAT THE REPORT RECOMMENDATIONS HAVE BEEN INCORPORATED MAY BE REQUIRED.

SPECIAL INSPECTION & OFFSITE FABRICATION

SPECIAL INSPECTION: Yes [✓ No]

SPECIAL INSPECTION NOTES:

1. "Notice to the Applicant/ Owner/Owner's Agent/Architect or Engineer of Record. By using this permitted construction drawings for construction/installation of this work specified herein, you agree to comply with the requirements of the City of San Diego for special inspections structural observations, construction material testing and off-site fabrication of building components, contain in the statement of special inspections and, as required by the California Construction Codes".
2. "Notice to the Contractor/Builder/Installer/Subcontractor/Owenr-Builder. By using this permitted construction drawings for construction/installation of the work specified herein,you acknowledge and are aware of the requirements contained in the statement of special inspection, you agree to comply with the requirements of the City of San Diego for special inspections, structural observations, construction material testing and off-site fabrication of building components, contain in the statement of special inspections and, as required by the California Construction Codes".
3. The Special Inspector must be Certified by the City of San Diego, Development Services, In the category of work required to have special inspection.
4. The Construction Material Testing Laboratory must be approved by the City of San Diego, Development Services, for testing of material, systems, components, and equipment
5. A Property Owners' Final Report form for work required to have special inspections, testing and structural observations mist be completed by the property owner, property owner's agent of record, architect of record or. engineer of record and submitted the Inspection Services Division
6. The special inspection identified on plans are, in addition to, and not a substitute for, those inspections required to be performed by a City's Building Inspector.
7. Special inspections, Structural test and Structural observations shall comply with applicable provision of Chapter 17 of 2010 California Building Code.

SPECIAL INSPECTION SHALL BE PROVIDED FOR THE FOLLOWING ITEMS:
See Structual Sheet S-1
SEE SHEET S-1 FOR COMPLETE LIST OF SPECIAL INSPECTION ITEMS (IF PART OF SET)

OFF-SITE FABRICATION: Yes [✓ No]

A. An Application To Perform Off-Site Fabrication is required and must be submitted to the Inspection Services Division for approval prior to fabrication.
B. A Certificate of Off Site Fabrication is required and must be submitted to the Inspection Services Division for approval.
C. Fabricator must be registered and approved by the City of San Diego, Development Services for the fabrication of members and assemblies on the premises of fabricator's shop. (Sec. 1704.2.2)
D. "Fabricator shall submit an "shop welding - Application to perform off-site fabrication" to the Inspection Services Division for approval prior to commencement of fabrication".
E. Specify on plans, name and address of the fabricator where products and assemblies area going to be fabricated.
F. "Shop welding fabricator must be registered and approved by the city of san Diego , development services for fabrication of members and assemblies on the premises of the fabricator's shop" .
G. "Steel Fabricator shall submit a 'Certificate of compliance for off-site fabrication ' to the inspection services division prior to erection of fabricated items and assemblies"

STRUCTURAL OBSERVATION

STRUCTURAL, SOILS ENGINEER OR GEOTECHNICAL OBSERVATION: Yes [✓ No]

1. Structural Observation Report are required and must be performed and submitted to the Building Inspector.
2. The Structural Observer shall submit a written statement to Inspection Services a written statement that site visit have been made and identifying any reported deficiencies that the best of structural observer's knowledge have note been resolved.
3. The structure will not be in compliance until the registered professional has notified Inspection Services that all deficiencies area resolved".
4. This report must be stamped, signed and dated by the Registered Design Professional in responsible charge.
5. Structural Observation Must Be Provided By The Engineer Or Architect Of Record Responsible For The Structural Design, Or Another Engineer Or Architect Designated By The Engineer Or Architect Responsible For The Structural Design, As Outlined In The Structural Observation Program.

STRUCTURAL, SOILS ENGINEER, OR GEOTECHNICAL OBSERVATION SHALL BE PROVIDED FOR THE FOLLOWING ITEMS:
1. **See Structual Sheet-S-1**
REFER TO SHEET____FOR "STRUCTURAL OBSERVATION PROGRAM".

PERMIT REQUESTED FOR SCOPE OF WORK

PERMITS REQUESTED -
SITE DEVELOPMENT PERMIT (SDP) - PRJ-1050498
COMBINATION PERMIT- PTS #
ROOF MOUNTED P.V. SYSTEM - PTS# -

ZONE - LJSPD -SFR - Revised on February of 2022 - Conforms

SPECIAL COASTAL NOTES

HEIGHT LIMIT AREA [✓ YES] NO

THE HIGHEST POINT OF THE ROOF, EQUIPMENT, OR ANY VENT, PIPE, ANTENNA, OR OTHER PROJECTION SHALL NOT EXCEED 30'-0" ABOVE GRADE.

SPECIAL COASTAL NOTES

1. **A pre-construction inspection is required due the height of the proposed structure being within one foot of the maximum height allowing the Coastal Height Limit Overlay zone (Proposition D)**
2. **The pre-constriction inspection must be schedule and cleared by the field inspector before any subsequent inspection can be scheduled.**
3. **Contact the Inspection Services office at (858)492-5070 to schedule the pre-construction inspection.**

PROJECT TEAM

SITE ADDRESS:
Patel Residence - Remodel & Addition
8445 Avenida de las Ondas,
La Jolla, CA 92037

APN#: 346-132-10-00

OWNER:
Patel, Smit A; Patel, Irene
8445 Avenida de las Ondas
La Jolla California, CA 92037
Smit Patel: 909-510-1577
E-mail - *deardrpatel@gmail.com*

PROJECT MANAGER:
Patel, Smit A; Irene Patel
8445 Avenida de las Ondas
La Jolla California, CA 92037

ARCHITECT
Marengo Morton Architects, Inc.
7724 Girard Avenue, Suite 200
La Jolla, CA 92037
Telephone: (858) 459-3769
Fax (858) 459-3768
Principal in Charge
Michael Morton AIA
m-morton@pacbell.net
Cell: (619) 857-8144
Project Team:
Alejandra Prado
Jorge Santana

SURVEYOR
San Diego Land Surveying & Engineering
9665 Chesapeake Dr., Suite 445
San Diego, CA 92123
Phone: (858) 565-8362
Fax: (858) 565-4354
Robert J. Bateman
rbateman@sdlse.com

Tile Property Information
Radius Report & Public Notice Packages
Title Pros
13520 Scarsdale Way
San Diego, CA 92128
Phone: 760.295.3951
Fax: 760.295.4038
Email: info@titleprois.com
Web: www.titleprois.com

DETAILED SCOPE OF WORK

Remodel & Addition for a Coastal Development Permit to Remodel existing 3,963 square foot two story, single-family residence. Remodel & addition for a two-story single-family residence with an addition 1,995 square foot addition for a remodeled total of 5,447 square feet. Portion of project will be and attached new ADU of 1,191 s.f. Inducing in the scope of work is a new roof deck, roof mounted PV system and 2-car garage. Provide other miscellaneous site improvements as shown on the site plan such as new pool, pool terrace, site walls, fences, new landscape and hardscape.

SHEET INDEX

SHEET INDEX Pattel Residence

Sheet Name	Content	Scale
TS 1.1	Title Sheet - Project Information	None
TS 1.2	General Notes / Green Notes	None
TS 1.3	Fire Department / Parcel Information / Green Building Code	None
TS 1.4	Climate Action Plan / Project Narrative	None
C 1.0	Topographic Site Plan	None
A 1.1	Site Plan - Existing / Demolition	1/8" = 1'-0"
A 1.2	Site Plan - Proposed Hardscape / Site Drainage	1/8" = 1'-0"
A 1.3	Site Plan -300 Foot Setback Survey	1/8" = 1'-0"
A 1.4	Site Hardscape - Proposed	1/8" = 1'-0"
A 1.5	Area Diagrams	3/16" = 1'-0"
A 1.6	Existing BMP	1/8" = 1'-0"
A 2.1	First Floor Plan - Existing / Demolition	3/16" = 1'-0"
A 2.2	First Floor Plan - Proposed	3/16" = 1'-0"
A 2.3	Second Floor Plan - Proposed	3/16" = 1'-0"
A 4.1	Roof Plan - Existing	3/16" = 1'-0"
A 4.2	Roof Plan - Proposed	3/16" = 1'-0"
A 5.1	Exterior Elevations - Existing / Proposed	3/16" = 1'-0"
A 5.2	Exterior Elevations - Existing / Proposed	3/16" = 1'-0"
A 5.3	Exterior Elevations - Existing / Proposed	3/16" = 1'-0"
A 5.4	Exterior Elevations - Existing / Proposed	3/16" = 1'-0"
A 5.5	Exterior Elevations - Existing / Proposed	3/16" = 1'-0"
A 5.6	Exterior Elevations - Existing / Proposed	3/16" = 1'-0"
A 5.7	Exterior Elevations - Existing / Proposed	3/16" = 1'-0"
A 5.8	Exterior Elevations - Existing / Proposed	3/16" = 1'-0"
A 5.9	Exterior Elevations - Existing / Proposed	3/16" = 1'-0"
A 6.1	Building Sections - Existing / Proposed	3/16" = 1'-0"
A 6.2	Building Sections - Existing / Proposed	3/16" = 1'-0"
A 6.3	Building Sections - Existing / Proposed	3/16" = 1'-0"
A 6.4	Building Sections - Existing / Proposed	3/16" = 1'-0"
A 6.5	Building Sections - Existing / Proposed	3/16" = 1'-0"
A 6.6	Building Sections - Existing / Proposed - ADU	3/16" = 1'-0"
A 6.7	Building Sections - Existing / Proposed - ADU	3/16" = 1'-0"
A 6.8	Building Sections - Existing / Proposed - ADU	3/16" = 1'-0"
A 8.1	Project Schedules - Existing / New Window Schedules	As Noted
A 8.2	Project Schedules - Existing / New Door Schedules	As Noted
A 9.1	Proposed Exterior Renderings	As Noted
A 9.2	Proposed Exterior Renderings	As Noted
AL 1.1	Existing Site Landscape Plan	1/8" = 1'-0"
AL 1.2	Proposed Site Landscape Plan	1/8" = 1'-0"
AL 1.3	Site Concept Landscape Plan	1/8" = 1'-0"
40	Sheets Architectural	

GROSS FLOOR AREA SUMMARY

SEE SHEET T-1 for this information **- PROJECT DATA**

PROJECT DATA

PROJECT INFORMATION 2021-27 *Patel Residence*

PROJECT ADDRESS:		**8445 Avenida De Las Ondas**
		La Jolla, CA 92037
ASSESSORS PARCEL NUMBER:		**346-132-10-00**
LEGAL DESCRIPTION:	Property Legal Description	**Lot 27 of La Jolla Shores Terrace, in the City of San Diego, County of San Diego, State of California, according to Map thereof No. 2996, filed in the Office of the County Recorder of San Diego County, May 29, 1953.**
	Easement A	**An easement for purposes herein stated, as shown on or dedicated by the map of said tract - The Easterly 10 feet of said land - Map No. 2996**
	Easement B	**A building set back line as shown on the map of said tract - The Westerly 25 feet of said land -Map No. 2996**
	Easement C	**An easement for purposes herein stated, and rights incidental thereto as provided in an instrument - Public Utilities and incidental purposes - 9/25/1953, as Instrument No. 131160, in Book 4998, Page 424,**
	Easement D	**An easement for purposes herein stated, and rights incidental thereto as provided in an instrument - Public utilities and incidental purposes - 12/11/1953, as Instrument No. 166235 in Book 5074, Page 453,**
	Easement E	**An easement for purposes herein stated, and rights incidental thereto as provided in an instrument - Public Utilities and incidental purposes - 11/15/1966, as Instrument No. 66-180507,**
	CC&R's	**Covenants, conditions and restrictions in an instrument recorded 4/15/1952 as Instrument No. 46018, in Book 4435, Page 31, Official Records,**
YEAR BUILT:		**1955** Permit 11698
BUILDING CODE:		**CALIFORNIA BUILDING CODE (CBC), 2019 EDITION**
		CALIFORNIA RESIDENTIAL CODE (CBC), 2019 EDITION
		CALIFORNIA ELECTRICAL CODE (NEC), 2019 EDITION
		CALIFORNIA MECHANICAL CODE (CMC), 2019 EDITION
		CALIFORNIA PLUMBING CODE (CPC), 2019 EDITION
		SAN DIEGO MUNICIPAL CODE (CSDMC) 2019 EDITION
OCCUPANCY TYPE:		**Single Family Residence: R-3 & U - Private Garage**
CONSTRUCTION TYPE:		**TYPE V - B - Non Rated**
NUMBER OF STORIES:		**1.5 Existing - Two Proposed**
BUILDING HEIGHT:		**27'-3" (maximum existing height - new)**
LOT AREA:	`	**20,128.20 S.F.**
		0.46 ACRES

ZONING INFORMATION *Patel Residence*

ZONE:		LJSPD-SF (Single Family) Zone of the La Jolla Shores Planned District	
OVERLAY ZONES:		Coastal Height Limit Overlay Zone, Coastal Overlay Zone (non appealable area-2), Parking Impact Overlay Zone, Fire Hazard Severity Zone, Geological Hazard 26- 53	
NUMBER OF DWELLINGS:		1	**Existing Use:** Existing One story Residence with attached two-car garage & workroom space
NUMBER OF STORIES:		One Existing - Two Proposed	
SETBACKS:		**Allowable**	**Proposed**
	FRONT:	25'-0"	Average of the Average of the Area - See Setback survey
	SIDE:	9'-6"	Average of the Average of the Area *Recommend a 10'-0" setback*
	SIDE:	9'-6"	Average of the Average of the Area *Recommend a 10'-0" setback*
	REAR:	15'-0"	Average of the Average of the Area
BUILDING HEIGHT LIMITATIONS:		30'-0"	27'- 3" Proposed
MAXIMUM FLOOR AREA RATIO:		**45%**	New FAR requirement in La Jolla Shores PDO updated in February 2022
PAVING & HARDSCAPE:		60%	Minimal grading of the site, new hardscape, new pool and new driveway

LOT AREA:		**20,128.20 S.F.**				
MAXIMUM ALLOWED DENSITY:		One Unit per Lot **DU/ACRES**				
DENSITY:		**2.16 DU/ACRES**				
ALLOWABLE FAR:	*(Revised 2-2022)*	9,057.69 S.F.	**45.0%**	***396.30***		***10% Max. Addition for Exempt***
ACTUAL FAR:		**5,447.44 S.F.**	**27.1%**	***1,995.98***	***27%***	***Proposed Project FAR***
MAXIMUM BUILDING, COVERAGE:		12,076.9 S.F.	**60.0%**		***60%***	***Per LJSPDO***
ACTUAL BUILDING COVERAGE:		**4,256.0 S.F.**	**35.2%**	*7,820.92*		***Below Allowed Max Coverage***
ASSESSORSRY STRUCTURE AREA: Allowed		**3,963.0 S.F.**	**25.0%**	***990.74***	Max	***Existing Building Size***
PPROPOSED ASSESORY STRUCTURE AREA:		**847.3 S.F.**	**21.4%**	*143.46*	*Bal.*	***Proposed Addition***
MINIMUM LANDSCAPE COVERAGE:		6,038.5 S.F.	**30.0%**			Per LJSPDO
ACTUAL LANDSCAPE COVERAGE:		**11,886.6 S.F.**	**59.1%**	***5,848.15***		Above Required Minimum

BUILDING AREAS		**Pre-Existing**	**New**	**New Total Area**	
	EXISTING ATTACHED 1ST FLOOR HABITABLE AREA :	2,910.5 S.F.	-129.04	2,781.43 S.F.	
LIST	NEW FIRST FLOOR ATTACHED HABITABLE AREA :	0.0 S.F.	847.28	847.28 S.F.	New Ground Floor Addition
	EXISTIG SECOND FLOOR HABITABLE AREA:	182.5 S.F.	-182.47	0.00 S.F.	*To Be Demolished*
	NEW SECOND FLOOR AREA :	0.0 S.F.	1,191.44	1,191.44 S.F.	New ADU Area
RESIDENTIAL AREA:		**3,092.9 S.F.**	**2,038.72**	**4,820.15 S.F.**	
	GARAGE MECHANICAL AREA:	254.1 S.F.	-254.11	0.00 S.F.	*To be Demolished*
	BASEMENT STORAGE AREA:	200.0 S.F.	0.00	0.00 S.F.	Non-FAR Area - Basement
	EXISTING GARAGE AREA:	415.9 S.F.	-415.9	0.00 S.F.	*To be Demolished*
	NEW GARAGE AREA	0.0 S.F.	627.29	627.29 S.F.	New Garage Area
NON-RESIDENTIAL AREA:		**870.0 S.F.**	**-42.74**	**627.29 S.F.**	
PROJECT TOTAL:		**3,963.0 S.F.**	**1,995.98**	**5,447.44 S.F.**	**FAR Area**
	New Second Floor Balcony/Stair #2 Area:	0.0 S.F.	205.0	204.99 S.F.	*Not Included in FAR*
	New Second Floor Balcony #1 Area:	0.0 S.F.	357.26	357.26 S.F.	*Not Included in FAR*
	New Roof Deck Balcony #3 Area:	0.0 S.F.	330.28	330.28 S.F.	*Not Included in FAR*
	Total of Other Residence Areas	**0.0 S.F.**	**687.54**	**687.54 S.F.**	
	(A) Landscaping Area - Western Front Yard	5,895.1 S.F.	5,439.08	5,439.08 S.F.	*Revised Landscape Area*
	(B) Landscaping Area - Northern Side Yard	732.5 S.F.	725.93	725.93 S.F.	*Revised Landscape Area*
	(C) Landscaping Area - Eastern Rear Yard - L-6, 7 & 8	4,761.2 S.F.	4,518.38	4,518.38 S.F.	*Revised Landscape Area*
	(C) Landscaping Area - Southern Side Yard - L-5	770.8 S.F.	803.47	803.47 S.F.	*Revised Landscape Area*
	(D) Landscaping Area - Other Areas - New Permeable Parking	0.0 S.F.	399.75	399.75 S.F.	*Revised Landscape Area*
	Total of Landscape Areas	12,159.6 S.F.	11,886.61	**11,886.61 S.F.**	**Proposed Landscape Area**
	Hardscape Area - Driveway Area - Front Driveway Area	1,908.9 S.F.	1,108.70	1,108.70 S.F.	*Proposed Non-permeable Area*
	Hardscape Area - Entry walkway Area	118.2 S.F.	191.20	191.20 S.F.	*New Hardscape Area*
	Hardscape Area - Southeast Side Yard & Stair Area	129.5 S.F.	158.00	158.00 S.F.	*Remodeled Hardscape Area*
	Hardscape Area - Wood Deck Courtyard Area	1,130.3 S.F.	1,130.30	1,130.30 S.F.	*Not Included in Landscape Area*
	Hardscape Area - Rear Courtyard Area	77.2 S.F.	77.20	77.20 S.F.	*Not Included in Landscape Area*
	Hardscape Area -Front Yard Wood Deck Area	968.7 S.F.	846.70	846.70 S.F.	*Not Included in Landscape Area*
	Hardscape Area -North Yard & Stair Area	87.8 S.F.	87.80	87.80 S.F.	*Not Included in Landscape Area*
	Hardscape Area -Northeast Stair Area	98.3 S.F.	98.30	98.30 S.F.	*Not Included in Landscape Area*
	Area of Total Hardscape	4,518.9 S.F.	3,698.20	**3,698.20 S.F.**	**Remodeled Hardscape Area**
PARKING:	REQUIRED:	2	* All Parking Spaces are 9'-6" Wide & 19'-0" Long		
	PROVIDED:	**4**	3 - First Floor Garage + 2 Spaces in driveway & co		

PRIVATE RESIDENCE
REMODEL
8445 Avenida De Las Ondas
La Jolla, CA 92037

REVISIONS
C CLIENT REVISIONS - 10-01-2021
D COASTAL SUBMITTAL - 01-14-2022
E LJSPDO PRESENTATION - 06/20/2022
F CYCLES RESPONSES - 08-22-2022
G CYCLES RESPONSES - 10-28-2022
H CYCLES RESPONSES - 03-20-2023
I CYCLES RESPONSES - 07-31-2023
J CYCLES RESPONSES - 10-04-2023
△1
△
△

PHASE COASTAL DEVELOPMENT PHASE

PROJECT NO. 2021-27

REVIEWED BY MRM

DRAWN BY MRM / JS / AP

DATE 03-20-2023

TITLE SHEET

TS-1.1

Attachment 10

CAL GREEN NOTES

CAL GREEN SUSTAINABILITY NOTES - 2016

GENERAL

1. After the building permit has been issued, the owner shall be responsible for any costs incurred as a result of changes to the design of the fire sprinkler system which produce a higher GPM and a larger meter size requirement:

OWNER SIGNATURE: ________________________________

2. Provide a fire sprinkler head in all applicable clothes closets, linen closets, & pantries on this home.
3. Per Sec 4.406.1, Joints & openings, annular spaces around pipes, electric cables, conduits, or other openings in plates at exterior walls shall be protected against the passage of rodents by closing such openings with cement mortar, concrete masonry or similar method acceptable to the enforcing agency.
4. A minimum of 50% of the construction waste generated at the site is diverted to recycle or salvage per CGBSC section 4.408.1 and city ordinance.

OPERATION MANUAL

5. Per Sec 4.410.1 - Before final inspection, a complete operation & maintenance manual shall be provided to the building occupant or owner. Contractor or owner shall submit an affidavit that confirms the delivery of such. The manual should include in addition to other aspects the following:
   1) Direction to the building owner or occupant that the manual shall remain with the building throughout the life cycle of the structure.
   2) Operation and maintenance instructions for the following:
      a) Equipment and appliances, including water-saving devices and systems, HVAC systems, water heating systems and other major appliances and equipment.
      b) Roof and yard drainage, including gutters and downspouts.
      c) Space conditioning systems, including condensers and air filters.
      d) Landscape irrigation systems.
      e) Water re-use systems.
   3) Information from local utility, water and waste recovery providers on methods to further reduce resource consumption, including recycle programs and locations.
   4) Public transportation and/ or carpool options available in the area.
   5) Educational material on the positive impacts of an interior relative humidity between 30-60 percent and what methods an occupant may u se to maintain such humidity levels.
   6) Information about water-conservation landscape and irrigation design and controllers, which conserve water.
   7) Instructions for maintaining gutters and downspouts and the importance of diverting water at least 5 feet away from foundation.
   8) Information on required routine maintenance measures, including, but not limited to caulking, painting, grading around the building, etc.
   9) Information about state solar energy and incentive programs available.
   10) A copy of all special inspection verifications required by the enforcing agency or this code.
6. A copy of a complete operation and maintenance manual as outlined in the notes above will be delivered to the building owner prior to final inspection.
7. An owner manual certificate should be completed and signed by either a licensed General Contractor or a homeowner certifying that a copy of the manual has been delivered/ received to the building owner. A copy of the certification from can be obtained from the development services department.

MATERIALS

8. Per Sec 4.504.1, Duct openings and other related air distribution component openings shall be covered during construction.
9. Per Sec 4.504.2.1, Adhesives, sealants and caulks shall be compliant with VOC & other toxic compound limits.
10. Paints, stains and other coatings shall be compliant with VOC limits set in section 4.504.2.2 and Table 4.504.3 of Cal Green.
11. Adhesives, sealants, caulks, adhesives and sealants used on the project shall meet the requirements of the following standards. (Section 5.504.4.1 of California Green Building Code-CAL GREEN) Adhesives, adhesive bonding primers, adhesive primers, sealants, sealant primers, and caulks shall comply with local or regional air pollution control or air quality management district rules where applicable, or SCAQMD Rule 1168 VOC limits, as shown in Tables 5.504.4.1 and 5.504.4.2 of CAL GREEN. (Sec. 5.504.4.1)
12. A letter from the contractor and or the building owner certifying what material has been used and its compliance with the Code must be submitted to the building Inspector.
    1) The Contractor shall provide a letter and or the building owner certifying what paint has been used and its compliance with the Cod must be submitted to the building Inspector.
13. Aerosol adhesives, and smaller unit sizes of adhesives, and sealant or caulking compounds (in units of product, less packaging, which do not weigh more than one pound and do not consist of more than 16 fluid ounces) shall comply with statewide VOC standards and other requirements, including prohibitions on use of certain toxic compounds, of California Code of Regulations, Title 17, commencing with Section 94507.
14. Architectural paints and coatings shall comply with Table 5.504.4.2 unless more stringent local limits apply (Section 5.504.3 of California Green Building Code)
15. Aerosol Paints and Coatings. Aerosol paints and coatings shall meet the Product-Weighted MIR Limits for ROC in section 94522(a)(3) and other requirements, including prohibitions on use of certain toxic compounds and ozone depleting substances (CCR, Title 17, Section 94520 et seq). (Section 5.504.4.3.1 of CAL-GREEN)
16. A certification completed and signed by either the general contractor or subcontractor, or the building owner certifying that the paint, stain, and adhesives, complies with the requirements of the California Green Building Code. A copy of the form can be obtained from the development services department.
17. Per Sec 4.504.3, Carpet and carpet systems shall be compliant with VOC limits. A letter from the contractor / subcontractor and or the building owner certifying what material has been used and its compliance with the code must be submitted to the building inspector.
18. Per Sec 4.504.4, 80% of the floor area receiving resilient flooring shall comply with one or more of the following:
    1) VOC emission limits defined in the Collaborative for High Performance Schools (CHPS) High Performance Products Database.
    2) Products compliant with CHPS criteria certified under the Greenguard Children & School program.
    3) Certification under the Resilient Floor Covering Institute (RFCI) Floor Score Program.
    4) Meet the California Department of public Health, "Standard Method for the Testing and Evaluation of the Volatile Organic Chemical Emissions from indoor Sources Using Environmental Chambers, 'Version 1.1, February 2010 (also known as Specification 01350).
19. Hardwood, plywood, particleboard, medium density fiberboard (MDF), composite wood product used on the interior or exterior of the building shall meet the requirements for formaldehyde as specified in A.R.B.'s Air Toxic Control Measure for Composite wood as specified in section 4.504.5 and table 4.504.5 of CAL GREEN.
20. A certification completed and signed by the general contractor, subcontractor or building owner certifying that the resilient flooring, composite wood product, plywood, particleboard etc. comply with the VOC limits and formaldehyde limits specified in the notes above and the California Green Building Code.
21. Building materials with visible signs of water damage shall not be installed. Wall and floor framing shall not be enclosed when framing members exceed 19% moisture content.
22. The moisture content of building materials used in wall and floor framing is checked before enclosure. Moisture content shall be verified by wither probe type or contact type moisture meter.

MECHANICAL

23. Exhaust fans, which terminate outside the building, are provided in every bathroom that contains a shower or tub. Unless functioning as a component of a whole house ventilation system, fans must be controlled by a humidistat, which can adjust between 50 to 80 percent.
24. Per 2016 Green Code Sec R1004.1 - Factory-built fireplaces shall be listed and labeled and shall be installed in accordance with the conditions of the listing. Factory-built fireplaces shall be tested in accordance with UL 127.
25. Per 2016 Green Code - Per Sec. 4.506.1 - Mechanical exhaust fans which vent directly from bathrooms shall comply with the following:
    1) Fans shall be ENERGY STAR compliant and be ducted to terminate outside the building.
    2) Unless functioning as a component of a whole house ventilation system, fans must be controlled by a humidistat, which shall be readily accessible. Humidistat controls shall be capable of adjustment between a relative humidity range of 50 to 80 percent.
26. Per Sec 4.507., - The Heating and Air Conditioning equipment was sized, designed and selecting using Energy Pro 5.6.1. Reference T24 calculations on sheet T-2 for more info.
    1) A signed affidavit from installer stating method used for the selection of heating and Air Conditioning equipment and that such equipment was installed in accordance to that method is required, this affidavit shall be presented to the Building Inspector BEFORE Final Inspection.
27. At the time of rough installation and during storage on the construction site until final startup of the heating, cooling and ventilating equipment, all duct and other related air distribution component openings shall be covered with tape, plastic, sheet metal or other methods acceptable to the enforcing agency to reduce the amount of dust, water and debris which may enter the system. (CAL Green Section: 5.504.3)
28. In mechanically ventilated buildings, regularly occupied areas of the building shall be provided with air filtration media for outside and return air that provides at least a Minimum Efficiency Reporting Value (MERV) of 8. MERV 8 filters shall be installed prior to occupancy, and recommendations for maintenance with filters of the same value shall be included in the operation and maintenance manual. (CAL Green Section: 5.504.5.3)
29. Installations of HVAC, refrigeration and fire suppression equipment shall comply with Sections 5.508.1.1 and 5.508.1.2. HVAC, refrigeration and fire suppression equipment shall not contain Chlorofluorocarbons (CFCs) and shall not contain Halons (Section: 5.508.1).
30. In addition to testing and adjusting, before a new space-conditioning system serving a building or space is operated for normal use, balance the system in accordance with the procedures defined by the Testing Adjusting and Balancing Bureau National Standards; the National Environmental Balancing Bureau Procedural Standards; or Associated Air Balance Council National Standards.
31. Provide the building owner or representative with detailed operating and maintenance instructions and copies of guaranties/warranties for each system. O &M instructions shall be consistent with OSHA requirements in CCR, Title 8, section 5142, and other related regulations.
32. A water heater pressure and temperature relief drain that terminates outside the building shall comply with Section 608.5 CPC.
33. Routing and termination of flue and combustion air intake for water heater shall comply with Ch. 509 & 510, CPC 2016 and with manufacturer's specifications

PLUMBING

34. All Plumbing Fixtures and Fitting will water conserving and will comply with the 2016 CGBSC Sec. 4.303.1.
35. Plumbing fixtures and fittings shall comply with all the requirements in Section 4.303.2 in the 2016 California Green Building Code.
36. Per 2016 CGBSC Sec. 303.1.3.2 - When a shower is served by more than one showerhead, the combined flow rate of all showerhead and/or other shower outlets controlled by a single valve shall not exceed 2.0 gallons per minute at 80 psi, or the shower shall be designed to only allow one shower outlet to be in operation at a time. Handheld showers are considered showerheads.
37. Per Sec. 4.303.1 Please demonstrate a 20% reduction of Indoor water use, it can be demonstrated by one of the following methods:
    1) Each plumbing fixture and fitting shall meet reduced flow rates specified in Table 4.303.2 (below). Plumbing fixtures (water closets and urinals) and fittings (faucets and showerheads) shall be installed in accordance with the California Plumbing Code (CPC) and Table 1401.1 of the CPC.
    2) A calculation demonstrating a 20% reduction in the building water use baseline as established in Table 4.303.1 shall be provided. For low-rise residential occupancies, the calculation shall be limited to the following plumbing fixture and fitting types: water closets, urinals, lavatory faucets and showerheads. See Work Sheet (WS-01) from Chapter 8 of the Green Code.
38. Per 2016 CGBSC Sec. 4.303.1.1 - Plumbing fixtures (water closets and urinals) and fittings. Plumbing fixtures (water closets and urinals) and fittings (faucets and showerheads) shall meet the standards referenced in Table 4.303.3.
39. Per 2016 CGBSC, plumbing fixtures (water closets and urinals) and fittings (faucets and showerheads) shall be installed in accordance with the California Plumbing Code (CPC).
40. Provide lavatory faucets with maximum flow of 1.2 gallons per minute. (GPM)
41. Provide kitchen faucets with a maximum flow of 1.8 gallons per minute
42. Provide showers head with maximum flow of 2.0 gallons per minute.
43. Per 2016 CGBSC, plumbing fixtures(water closets and urinals) and fittings(faucets and showerheads) shall be installed in accordance with California Plumbing Code (CPC)

LANDSCAPE AND CONTROLLERS

44. Automatic irrigation systems controllers for landscaping provided by the builder and installed at the time of final inspection shall comply with the following:
    1) Controller shall be weather or soil moisture-based controllers that automatically adjust irrigation in response to changes in plants needs as weather conditions change.
    2) Weather-based controllers without integral rain sensors or communication systems that account for local rainfall shall have a separate wired or wireless rain sensor, which connects or communicates with the controllers. Soil moisture-based controllers are not required to have rain sensor input.
45. Per 2016 CGBSC 4.304.1 - Irrigation controllers. Automatic irrigation system controllers for landscaping provided by the builder and installed at the time of final inspection shall comply with the following:
    1) Controllers shall be weather - or soil moisture-based controllers that automatically adjust irrigation in response to changes in plants' needs as weather conditions change.
    2) Weather-based controllers without integral rain sensors or communication systems that account for local rainfall shall have a separate wired or wireless rain sensor, which connects emission limits where applicable, or communicates with the controller(s).Soil moisture-based controllers are not required to have rain sensor input.

BUILDING ENVELOPE

46. Per Sec. 5.507.4 - Wall and roof-ceiling assemblies that make up the building envelope shall have an STC rating of at least 50, and exterior windows shall have a minimum STC of 30.

BUILDING SITE

47. Show location of recycling area on the site plan. The area should be identified for the recycling of paper, corrugated cardboard, glass, plastics and metal.

TABLE 4.303.2
FIXTURE FLOW RATES

FIXTURE TYPE	FLOW RATE	MAXIMUM FLOW RATE ≥ 20% REDUCTION
Showerheads	2.5 gpm @ 80 psi	2.0 gpm @ 80 psi
Lavatory Faucets	2.2 gpm @ 60 psi	1.2 gpm @ 60 psi
Kitchen faucets	2.2 gpm @ 60 psi	1.8 gpm @ 60 psi
Water Closets	1.6 gallons / flush	1.28 gallons / flush
Urinal	1.0 gallons / flush	0.5 gallons / flush

1. Includes single and dual flush water closets with an effective flush rate of 1.28 gallons or less when tested per ASME A122.19.233.2 for single flush and ASME A112.19.14 for dual flush toilets.
2. Lavatory faucets shall not have a flow rate less than 0.8 gpm at 20 psi.

TITLE 24 CALCUATIONS

See Sheet T - 4 for Title 24 calculations

GENERAL PROJECT NOTES

GENERAL PROJECT PLAN NOTES:

Project General Notes

1. **These drawings and specifications are the property and the copyright of Marengo Morton Architects, Incorporated. No use, copies or alterations of this material is allowed unless the written permission of Marengo Morton Architects, Incorporated or Michael R. Morton, AIA, is granted prior to use, except for the temporary use to construct the said work described in the project title block. No rights, ownership privileges or reuse of information contained herein is conveyed, allowed or transferred to any party. © Marengo Morton Architects Incorporated © State of California, © United States of America.**
2. **Before commencing any work on the site, the General Contractor shall verify locations of all site dimensions and site conditions. These include but are not limited to property lines, required setback lines to all new or existing building walls, easements (if any), existing grade locations, finish floor elevations, existing site utilities, and any other new or existing site items which could affect in any way the construction of the building. Flag or otherwise mark all property lines, easements (if any), underground utilities or any other items as needed.**
3. **All conditions or dimensions on these plans shall be verified in the field by the General Contractor with actual site conditions. Written dimensions shall take precedence over scaled dimensions and shall be verified on the job site. On-site verification of all dimensions and conditions shall be the sole responsibility of the General Contractor and Subcontractors.**
4. **These drawings have been prepared from the latest information available on existing conditions. Minor variations may occur in the actual construction. Any discrepancy or area of confusion between field conditions and these drawings shall be brought to the attention of the Architect prior to proceeding with work in question. Do not proceed with work in question until the Architect issues written directions.**
5. **In case of conflict within the drawings the order of precedent shall be: 1) specific details, 2) drawing notes, 3) specifications and (4) general notes.**
6. **Neither the Owner nor the Architect shall enforce safety measures or regulations. They are the General Contractor's sole responsibility.**
7. The General Contractor and Subcontractor's work shall be in accordance with all applicable federal, state, and local building codes and agency standards.

Project General Notes

8. The provisions of the 2016 California Building Code (CBC) and/or California Residential Code (CRC) shall apply to the construction alteration, movement, enlargement, replacement, repair, equipment, use and occupancy, location, maintenance, removal, and demolition of detached one and two-family dwelling, townhouses not more than three stores above grade plane in height with a separate means of egress and structures accessory thereto. All other structures shall comply to the provision of the 2016 California Building Code (CBC)
9. Cal-OSHA requirement: A Construction activity permit is required for Construction of trenches or excavations which area five feet or deeper and into which a person is required to descend. Construction of any building, structures, scaffolding or falsework, more than three stories high or the equivalent height (36 feet) , Erection or dismantling of vertical shoring systems more that three stories high, or the equivalent height (36 feet)
10. Adhesives, sealants and caulks shall be compliant with VOC and other toxic compound limits.
11. Paints, stains and other coating shall be compliant with VOC limits.
12. Aerosol paints and coatings shall be compliant with product weighted MIR limits for VOC and other toxic compounds.
13. Documentation shall be provided to verify that compliant VOC limit finish materials have been used. A letter from the contractor and or the building owner certifying what material has been used and its compliance with the Code must be submitted to the Building Inspector.
14. Fifty percent of floor area receiving resilient flooring shall comply with the VOC -emission limits defined in the Collaborative for High Performance Schools (CHPS) Low -emitting Material list or be certified under the Resilient Floor Covering Institute (RCFI) Floor Score program.
15. Particleboard, medium density fiberboard (MDF) and hardwood plywood used in interior finish systems shall comply with low formaldehyde emission standards.
16. Moisture content of building materials used in wall and floor framing is checked before enclosure. Building material with visible sign of water damage shall not be used. Insulation products, which are visibly wet or have a high moisture content, shall be allowed to dry prior to enclosure.

Site Preparation

17. Prior to excavation, General Contractor shall confirm location of underground utilities.
18. In the event that utilities or concealed structures are discovered during construction at exposed or unexposed locations, the General Contractor shall stop work immediately in that area and question or notify the Architect and/or utility company immediately
19. The General Contractor and Subcontractor shall be responsible for the appropriate hook up to all utilities required to support the work.
20. The General Contractor shall protect the adjacent properties, including, but not limited to dust, trash, or damages due to demolition, excavation, construction and/or flooding originating on the site.
21. These contract documents do not contemplate the handling or treatment of asbestos and/or any hazardous waste materials. Should any hazardous materials be discovered, the General Contractor shall notify the Owner immediately by telephone and in writing.
22. The General Contractor shall install and maintain a phone at the job site for the duration of construction.
23. A soil compaction report shall be provided to the building inspector at the job site prior to placement of concrete for the new foundation if requested by the city.
24. It is the General Contractor's responsibility to grade the site and to slope all grading and concrete work to provide positive drainage away from the building and to area storm drains.

Demolition

25. All excavation and grading shall comply with OSHA and other governing regulations.
26. Demolition shall conform to extent shown on the Demolition Plan. No structures are to be removed or modified with notification to the Architect and confirmation that they are in conformance with the approved permit plans.
27. Shoring shall be provided where demolition of support structures occur.
28. Prior to the start of any demolition or construction, the General Contractor (GC) shall inspect and prepare an inventory of all items noted to be relocated or salvaged and verify that these items are in good working condition and able to be relocated. The GC shall present this inventory to the Owner and the Architect for their approval. The GC shall be held responsible for replacing any re-locatable item damaged during the demolition process. Salvaged items shall be the Owner's choosing and shall be the Owner's property.

Floor Plan

29. Interior finishes must conform to the requirements of Chapter 12, 2016 CBC or the CRC Chapter 7. All decorative materials are required to be maintained in a flame-retardant condition.
30. Different floor finishes shall meet under the door, unless otherwise noted.
31. Smoke detectors shall be provided in all sleeping rooms, in adjacent hallways, and in areas that are specified in Section 907.2.11.2, 2016 CBC.
32. Maintain 1-hr fire resistive wall and ceiling construction between the garage and the residence for occupancy separation. Refer to Section 706.1, 707.3.9 and Table 707.3.10, 2016 CBC.
33. Glass and glazing shall conform to the provisions of Chapter 24, Section 2406, 2016 CBC. All glazing panels adjacent to doors and within 18" of walking surfaces shall be tempered.
34. Provide R-13 insulation in all exterior walls and bathroom walls. Provide R-19 insulation between floors and R-30 in attic space. Refer to Section 720, 2016 CBC.
35. Provide emergency exit doors or windows from sleeping rooms. Net clear opening area shall be not less than 5.7 sq. ft., (821 sq. in.) Minimum opening height shall be 24". Minimum opening width shall be 20". Maximum finished sill height shall be 44" above floor.
36. Provide under-floor crawl space ventilation in foundation walls of not less than 1/150 of area ventilated. Provide corrosion resistant metal mesh screen frame at each opening.
37. At transition to exterior balconies and decks shall provide a minimum step down to finish surface of 1 inch (U.N.O.). Rough framing surfaces shall have a minimum 2-inch step down. (U.N.O.)

Framing

38. Provide solid blocking in wall framing for all cabinets, countertops, mirrors, shelving, light fixtures, and miscellaneous wall and ceiling mounted or recessed items.
39. Contractor shall coordinate soffit framing with the plan to allow adequate space for installation of light fixtures and mechanical equipment.
40. Provide draft stop in the attic space. Attic space shall not exceed 3,000 sq. ft., or 60'-0" in horizontal length.
41. Under-Floor Clearance (raised wood floors): wood joist or bottom of wood structure shall be no closer than 18 inches and wood girders shall be no closer than 12 inches. Under floor areas shall be provide with a minimum 18 inch by 24-inch clear opening.
42. All wood within 8" of earth or 2" of concrete shall be redwood or pressure treated, Section 2304.12.1.2. 3 & 4, CBC 2016.
43. Stairways and landings shall be constructed as required by Section 1009.3.1, 2016 CBC.
44. Hold down anchors to be tied in place prior to calling for foundation inspection.
45. Floor sheathing shall be screwed and glued to floor joists.
46. Provide fire blocking at floor, ceiling, coves and mid-height of walls over 10'-0" in height.

Finish

47. Install Duroc Tile Backer Board by United States Gypsum or equal on all interior walls, countertops and ceilings to receive tile. Install Duroc according to the manufacturer's recommended specifications.
48. Interior gypsum board corners shall be per interior finish schedule. Interior gypsum board texture shall be per interior finish schedule.

Exterior

49. All exposed metal flashings shall be painted to match adjacent surfaces. Unless note otherwise.
50. A weep screed or weep holes shall be provided at or below the foundation plate line for all exterior stud wall finish on the exterior stucco. Weeps shall be placed a minimum of 4" above grade.
51. No vent pipe or any projection shall project above 30'-0' from finish grade, new or pre-existing 5'-0" from building face. The highest point of the roof shall not exceed 30'-0" (U.N.O.).
52. Wood siding: clearance between wood siding and earth on the exterior of a building shall not be less than 6 inches (6") or less that 2 inches to concrete steps, patio slabs porch slabs or similar horizontal surfaces except were side, sheathing and wall framing are of naturally durable or preservative treated wood.

Roofing

53. Roofing shall be installed in accordance with manufacturer's specific installation instructions. All newly constructed roofs shall be covered with materials identified as Class "A" roof assembly. Class A roof assemblies and roof covering shall be listed and identifies as Class A by an approved testing agency.
54. Provide all required sheet metal flashing and caulking. Contractor shall provide 40-year minimum warranty.
55. Provide attic ventilation in roof eaves or in top of wall under gable roof ends of not less than 1/150 of area ventilated. Provide corrosion resistant metal mesh screen in wood or metal frame at each opening. The size of mesh opening shall be ¼' inch maximum.

Plumbing

56. Provide showerheads with a maximum flow of 1.8 gallons per minute (1.8 GPM)
57. All new toilets shall be ultra low flush type, maximum 1.6 gallons per flush. (1.6 GPM)
58. Toilets shall be ultra-low flush type (1.28 g.p.f. max) - (***Commercial/Residential toilet requirement***)
59. No C.P.V.C. piping to be installed for potable water supply. All water supply lines shall be copper.
60. Permanent vacuum breakers shall be included with all new hose bibbs.
61. All water closets or bidet shall have a minimum clearance of 18" (15" is code minimum) from the centerline of the fixture to any sidewall or obstruction, nor closer than thirty (30") inches center to center to any similar fixture. The clear space in front of any water closet or bidet shall not be less than twenty-four (24") inches from the front of the fixture.
62. All ABS and PVC piping and fittings shall be enclosed within walls and floors covered with "type X gypsum board" or similar assemblies that provide the same level of fire protection. Protection of membrane penetrations is not required.
63. State Health and Safety Code Sec 17921.9 bans the use of chlorinated polyvinyl chloride (CPVC) and cross-linked polyethylene (PEX) for interior water supply piping.
64. Building drain and vent piping materials shall comply with Section 701.0 and 903.0 of the California Plumbing Code. (CPC)
65. All sanitary system materials shall be listed by an approved listing agency.
66. Potable water piping material shall comply with Section 604.0 of C.P.C.
67. Residential lavatory faucets shall have a maximum rate of 1.2 gallons per minute at 60 psi and a minimum flow rate of not less than 0.8 gallons per min. at 20 psi.
68. Lavatory faucets installed in common and public use areas (outside of dwellings or sleeping units) in residential buildings shall not exceed 0.5 gallons per minute at 60 psi
69. Lavatory faucets in restrooms shall be the self-closing type and shall not exceed a waterflow of 0.20 gallon / use. (***Commercial requirement)***
70. Each faucet shall not exceed a water flow of 1.2 G.P.M. (***Commercial requirement***)
71. Kitchen faucets shall have a maximum flow rate of 1.8 gallons per minute at 60 psi and minimum flow rate of not less than 0.8 gallons perm min. at 20 psi.
72. Kitchen faucets shall have a maximum flow rate of 1.8-gallon per minute at 60 psi. Kitchen faucets may temporarily increase the flow rate to a maximum of 2.2 gallons at 60 psi, but must default back to the 1.8 gallons per minute.
73. Provide lavatory faucet shall with a maximum flow of 1.5 gallons per minute (1.5 GPM).
74. A Plumbing fixture certification must be complete and signed by either a licensed general contractor, or a plumbing subcontractor, or the building owner certifying that the flow rate of the fixtures installed. A copy of the certification can be obtained from the development services department.
75. Metering faucets when installed in residential buildings shall not deliver more than 0.25 gallons per cycle

Mechanical

76. All mechanical and electrical systems shall be installed in accordance with approved plans and governing codes. Electrical and mechanical systems shall be tested and approved to be in proper working condition to the satisfaction of the building inspector before the issuance of the certificate of occupancy.
77. All thermostats shall be of the automatic changeover type to sequence heating or cooling. Set point range shall be up to 10 degrees Fahrenheit between full heating and cooling. Adjustable temperature differential shall be one and one-half degrees Fahrenheit.
78. Equipment shall have the capacity of terminating all cooling at a temperature of not more than 78 degrees Fahrenheit.
79. At least one automatic space temperature control device shall be provided for each zone.
80. All ductwork shall be constructed, erected and tested in accordance with the most restrictive of local regulation procedures. Refer to the standards adopted by the Sheet Metal and Air Conditioning Contractors National Association as detailed in the ASHRAE handbook of fundamentals.
81. Provide bathroom ventilation of not less than five (5) air changes per hour. Units shall provide 80 C.F.M. minimum.
82. Attic and/or under-floor installation of HVAC units must comply with Sections 303, 304. 305, 308, 2016 C.M.C.
83. Duct opening and other related air distribution component openings shall be covered during construction.
84. Exhaust fans, which terminate outside the building, are proved in every bathroom that contains a shower or tub. Unless function as a component of a whole house ventilation system, fans must be controlled by a humidistat which can adjust between 50 to 80 percent.
85. Screens/louvers shall not be installed at dryer vent terminations per Sec. 504.3.1 CMC
86. Dryer vents shall be equipped with back-draft dampers per Section 504.0 CMC
87. A water heater pressure and temperature relief drain that terminates outside the building shall comply with Section 608.5 CPC
88. Provide mechanical ventilation for the bathroom. Indicate exhaust fan capacity in CFM's. 50 CFM's min. Note: Window operation is not permissible method of providing bathroom exhaust for humidity control.
89. Each room that has a bathtub, shower or a combination thereof requires and exhaust fan
90. Exhaust ducts and dryer vents shall be equipped with back-draft dampers.

Electrical

91. All circuit breaker switched 120V AC light circuits or convenience outlets, must use only type GFCI or AFCI circuit breakers.
92. Electrical outlets located in wet areas, bathrooms and laundry rooms, at the exterior or within 6'-0" of the kitchen sink, shall be provided with ground fault interrupter switch (GFCI)
93. Wiring the plenums shall be in conduit or conform to Articles 300-21 and 300-22, NEC.
94. Alteration, repairs and additions: When alteration, repairs or additions requiring a permit occur, or when one or more sleeping rooms are added or created in existing dwellings. The individual dwelling unit shall be equipped with smoke alarms located as required for new dwellings.
95. Carbon Monoxide Alarms: Locations: Proved smoke alarms in the following locations; 1) outside of each separate dwelling unit sleeping area in the immediate vicinity of the bedrooms(s) 2) on every level of a dwelling unit including basements.
96. Single and multiple -station carbon monoxide alarms shall be listed as complying with the requirements of UL 2304. Carbon Monoxide detectors shall be listed as complying with the requirements of UL 2075.
97. Carbon Monoxide Alarms: In existing dwelling units, where a permit is required for alterations, repairs or additions exceeding $1,000 dollars, existing dwelling or sleeping units that have attached garages or fuel-burning appliances shall be provided with carbon monoxide alarms in the specific dwelling unit or sleeping unit for which the permit was obtained.
98. Battery operated carbon monoxide alarms: In existing dwelling units, a carbon monoxide alarm is permitted to be solely battery operated where repairs or alterations do not result in the removal of a wall and ceiling finishes or there is no access by means of attic, basement or crawl space.
99. All luminaires shall be high efficacy and shall have a manual on/off in addition to a vacancy sensor or dimmer.

GENERAL PROVISIONS

AThe following Notes apply, unless indicated otherwise as the Project Governing Codes and Standards

1. California Building Code, 2022 Edition (C.B.C.)
2. California Mechanical Code, 2022 Edition (C.M.C.)
3. California Plumbing Code, 2022 Edition (C.P.C.)
4. California Electrical Code, 2022 Edition (C.E.C.)
5. California Fire Code, 2022 Edition (C.F.C.)
6. California Residential Code, 2022 Edition (C.R.C.)
7. California Title 24 Energy Code and Project Calculations, 2022 Edition (T-24 - Part of this set)
8. American Concrete Institute "Building Code Requirements for Reinforced Concrete."
9. Western Wood Products Association Lumber Grading Standards.
10. AWPA Pressure Preservative Treatment Standard for Full Penetration Ground Contact Rating Codes and Standards

A **Existing Conditions:** Verify all existing conditions and dimensions before starting work. Report all discrepancies involving existing conditions to the architect, prior to construction.

B Design Loads: Unless Noted Otherwise (See structural calculation for design load calculations)

1. Floor Live Load 60 P.S.F. Uniform Load
2. Stairs Stringers 100 P.S.F. Uniform Load
3. Stair Treads 300 Lbs. Concentrated Load
4. Roof Live Load 20 P.S.F.
5. Balcony Live Load 40 P.S.F.
6. Seismic Zone: 4
7. Soil Bearing Pressure: 1,500 P.S.F. Unless noted otherwise in Soils Report

C Foundations:

1. Spread footing design:
2. Base footings 18 inches minimum below finished grade. Unless noted otherwise.
3. All footings shall rest on firm undisturbed earth or soil with relative compacted of 90%, unless noted otherwise.

D Concrete Reinforcement:

1. Deformed bars #2 min. - #6, ASTM A615 Grade 60, fy = 40 KSI, lap 40 bar diameters.
2. Slab-on-grade & other miscellaneous site concrete see drawings for reinforcement.
3. Concrete cover over reinforcement:
4. Footings 3"
5. Formed surfaces exposed to weather or ground 2"
6. Slabs-on-grade, top and bottom minimum 1-1/2"

E Concrete:

1. Minimum ultimate 28-day compressive strength (F'c) shall be 2,500 PSI, unless noted otherwise.
2. An approved water-reducing admixture shall be used in all concrete except footings.
3. Use an approved air-entraining admixture in all concrete (structural and non-structural) where exposed to weather.

F Structural Steel

1. Material - Bolts, ASTM A325, minimum 1/2" diameter, unless noted otherwise.
2. Fabrication, AISC specifications for the design, fabrication and erection of structural steel for buildings, Manual Of Steel Construction, Ninth Edition
3. All welding by W.A.B.O. certified welders. Welding shall be in accordance with the provisions of the Structural Welding Code AWS D1-1 and AWS D1-4.
4. After fabrication, all items shall be fully coated with two applications steel primer. Items permanently exposed to weather shall be fully primed and coated per specifications.

G Rough Carpentry:

1. Lumber Materials: -All lumber shall be graded per Western Wood Products Association Lumber grading Standards. Lumber shall bear identification stamps indicating:
   a) -Grading Association mill number
   b) -Grade and species
   c) -Moisture content
   d) -Preservative treatment
2. Plywood sheathing grade, exposure, span rating and thickness, per plans.
3. Lumber grading: unless noted otherwise, the following shall apply:
   a) -Wall stud framing Douglas-Fir Larch #2 & better.
   b) -Singular joists, rafters Douglas-Fir Larch #2 & better.
   c) -Multiple joists, rafters Douglas-Fir Larch #2 & better.
   d) -Stair stringers Douglas-Fir Larch #2 & better.
   e) -Beams and headers Douglas-Fir Larch #1 & better.
   f) -Glu-lam beams 24F-V4, industrial grade or as specified on structural calculations.
   g) -Posts Douglas-Fir Larch #1.
4. Fabrication: Conventional Light Framing - unless noted otherwise, the following shall apply:
5. Timber connectors specified are by Simpson Strong-Tie Co. Inc. or approved equal. Location and size of fasteners for structural anchorage or attachments shall be as specified by manufacturer.
   a) All floor joists to be solid blocked @ bearing lines, longest un-blocked span = 8' - 0".
   b) Nails to be Common nails per C.B.C. table 2304.10., galvanized based on exposure.
   c) Minimum nailing to conform to C.B.C. table 2304.10.1. (See plans, specifications & structural details for size and type)
   d) Wall stud cutting, notching or boring of member per 2022 C.B.C. section 2308.4.2.4
   e) Structural ceiling joist and rafter cutting, notching or boring of member per 2022 C.B.C. section 2308.7.4
   f) Glu-laminated timbers and pressure preservative treated lumber shall be re-sealed (compatible treatment following all shop or field cuts).
   g) All wood in contact with concrete, masonry, soil or exposed to the exterior (as defined by 2022 C.B.C. section 2304.12.1) shall be pressure preservative treated lumber.
   h) Support all concentrated loads bearing on stud or joist cavities with solid bearing or blocking.
   i) Stagger all sheathing panel seams a minimum of two stud/joist cavities.
   j) Double floor framing joists below interior walls, bathtubs and heavy appliances.

H Submittals:

1. All submittals, shop drawings, product samples, etc. shall be reviewed and accepted by the Architect prior to final submittal to fabricator or suppliers.
2. Submittals shall include, but not limited to the following:
   a) -Concrete mixture, additives and reinforcement.
   b) -Manufacturer engineered trusses.
   c) -Fabricated steel.
   d) -Cabinetry and other built-in items.
   e) -Special windows.

I Construction Quality:

1. All construction shall be of the highest standards for materials and methods of installation.
2. All finish materials not selected shall be reviewed and accepted by the Architect and Owner.
3. All subcontractors are responsible for inspecting, correcting, and approving all conjunctive conditions of all related prior trades, prior to beginning their own work.
4. Prior workmanship and materials not acceptable to subcontractors shall be brought to the attention of the General Contractor prior to commencing construction.
5. Joist and opening, annular spaces around pipes, electric cables, conduits or other openings in plates at exterior walls shall be protected against the passage of rodents by closing such openings with cement mortar, concrete masonry or similar method acceptable the enforcing agency.
6. The contractor is responsible for maintaining a neat & tidy job site; only staging areas approved by the owner will be used.

J Substitutions:

1. No substitutions of specified materials shall be made without written notification to the Architect and Owner and their written acceptance of the substitution.

K Clean Up:

1. A minimum of 50 percent of the construction waste generated at the site is diverted to recycle or salvage per Section 4.408.1 and City Ordinance
2. The Contractor shall keep the premises free from accumulation of waste material and/or rubbish caused by their work. At the completion of each day's work, remove all rubbish from and about the building. All tools, scaffolding and surplus materials shall be stored, flagged, or removed, leaving the job site broom clean.

L Final Inspections and Operations Manuals:

1. Before final inspection, a complete operation and maintenance manual shall be provided to the building occupant or owner. Contractor or owner shall submit an affidavit that confirm the delivery of such (Section 4.410.1). A sample of the manual is available on the Housing and Community Development We site.
2. Direction to the building owner or occupant the manual shall remain with the building for throughout the life cycle of the structure.
3. Operation and maintenance instruction for the following:
   a) Equipment and appliances include water-saving devices and system, HVAC system, water-heating system and other major appliances and equipment.
   b) Roof and yard drainage, including gutter and downspouts.
   c) Space conditioning systems include condensers and air filters.
   d) Landscape irrigation systems.
   e) Water re-uses systems, and other building or site systems.
4. Information from local utility, water and waste recovery providers on the methods to further reduced resources consumption, including recycle programs and locations.
5. Public transportation and/or carpool options available in the area.
6. Educational material on the positive impact of an interior relative humidity between 30-60 percent and what methods an occupant may use to maintain such humidity level.
7. Information about water-conservation landscape and irrigation design and controllers, which conserve water.
8. Instructions for maintaining gutter and downspouts and the importance of diverting water at least 5 feet away from foundation.
   a) Information the required routine maintenance measures including, but not limited to caulking, painting and grading around the building etc.
9. Information about state solar energy and incentive program available.
10. A copy of all special inspection's verifications required by the enforcing agency or this code.
11. A copy of a complete operation and maintenance manual as outline in the notes above will be delivered to the building owner prior to final inspection.

Marengo Morton Architects
7724 Girard Ave.
Second Floor
La Jolla, CA 92037
Tel. (858) 459-3769
Fax. (858) 459-3768
Michael Morton AIA
Claude Anthony Marengo DESA

03-20-2022

LICENSED ARCHITECT
MICHAEL RENE MORTON
Michael Morton AIA
C-19371
RENEWAL
04/30/2025
STATE OF CALIFORNIA

PRIVATE RESIDENCE
REMODEL
8445 Avenida De Las Ondas
La Jolla, CA 92037

REVISIONS
C CLIENT REVISIONS - 10-01-2021
D COASTAL SUBMITTAL - 01-14-2022
E LJSPDO PRESENTATION - 06/20/2022
F CYCLES RESPONSES - 08-22-2022
G CYCLES RESPONSES - 10-28-2022
H CYCLES RESPONSES - 03-20-2023
I CYCLES RESPONSES - 07-31-2023
J CYCLES RESPONSES - 10-04-2023

PHASE COASTAL DEVELOPMENT PHASE

PROJECT NO. 2021-27

REVIEWED BY MRM

DRAWN BY MRM / JS / AP

DATE 03-20-2023

CALIFORNIA GREEN NOTES
GENERAL NOTES

TS-1.2

FIRE DEPARTMENT NOTES

GENERAL PLAN PROVISIONS

1. Building undergoing construction, alteration, or demolition shall be in accordance with CFC Chapter 33. (CFC 3301.1)
2. Provide fire protection for the building during construction in accordance with California Title 19 and CFC, chapter 9.
3. Building shall comply with the 2013 CFC Article 81 for high pile combustible stock.
4. Storage, dispensing or use of any flammable or combustible liquids, flammable gases, and hazardous chemical shall comply with the California Fire Code regulations.

BUILDING INTERIOR FIRE PROTECTION PROVISIONS

5. Provide and install a minimum of one 2A 10BC classification fire extinguisher within 75' travel distance for each 3,000 sq. ft. or portion thereof on each floor. Mount handle a maximum of 40" Above Finish Floor (A.F.F). (CFC 906)
6. Exit doors shall be operable from the inside without the use of a key or any special knowledge or effort. No dead bolts, surface bolts, sliding bolts, or other locking devices are permitted except as noted in (CBC 1008.1.8). At main entry doors provide a readily visible, durable sign on or adjacent to the door, stating, "This door must remain unlocked during business hours". Letters to be 1" high on a contrasting background and any locking device shall be readily distinguishable as locked.
7. Contractor to secure all permits required by the fire department from the fire prevention bureau prior to occupying this building.
8. Interior finish shall comply with codes as follows: (CBC Chapter 8), wall and finish materials shall not to exceed flame spread classifications per (CBC Section 803.1). All decorative materials shall be maintained in a flame-retardant condition.
9. All penetrations of fire resistive wall assemblies must be protected per (CBC Section 712).
10. Duct penetrations of fire rated floors, corridors, walls and ceilings shall use fire dampers per (CBC Section 909.10.4).
11. Maintain one hour fire resistive wall construction at built-in fixtures such as Fire Extinguisher cabinets, and electrical panels exceeding 16 sq. in. In area. (CBC Section 906.1)

BUILDING EMERGENCY SIGNAGE PROVISIONS

12. Exit signs and illumination (egress identification) shall be provided per (CBC Section 1011). Exit signs must be internally illuminated. The word "Exit" shall be in high contrast with their background as noted in this section. Electrically powered, self-luminous and photluminescent exit signs shall be listed and labeled in accordance with UL924 and shall be installed in accordance with the manufacture's instructions and Chapter 27 (CBC Section 1011.5).
13. Address shall be provided for all new and existing building in a position as to be plainly visible and legible from the street or road fronting the property. (CFC 505.1). Address numerals shall be provided for each tenant space. Address letters shall be a minimum of eight (8) inches in height and be installed on a contrasting background. Prior to installation have Fire Inspector verify location of address.
14. Provide 'Knox Box' as required per local fire department codes.

BUILDING FIRE SUPPRESSION SYSTEM PROVISIONS

15. **This building (is / is not) equipped with an approved automatic sprinkler system.** Submit design -building plans for modification and upgrades indicating fire department approval to Architect/Owner prior to installations. Changes to accommodate field conditions shall be re-submitted for final approval with no additional charge to the Owner.
16. Fire sprinkler heads shall be centered in ceiling tiles and soffits. Locate in center of soffit for all conditions unless noted otherwise. Align with centerline of window mullion or center head between mullions only. Center heads between light fixture and adjacent wall. Random or asymmetrical placement of sprinkler heads is not acceptable. Heads shall be recessed at soffit and areas were finished gypsum ceiling occur.
17. Plans for all fixed fire protection equipment such as standpipes, sprinkler systems, site utilities (detector check, Fire Dept. Connection, etc.), and fire alarm systems must be submitted by the installing contractor to, and approved by, the Fire Prevention Bureau, owner's insurance organization, and architect before this equipment is installed.
18. The installation of automatic sprinkler systems shall comply with the (CBC Section 901.2), for combined systems. Automatic fire sprinkler system shall be design-build.
19. When serving more than 100 sprinklers, automatic sprinkler systems shall be supervised by an approved central, proprietary or remote station service for a local alarm, which will give an audible signal at a constantly attended location. (Approved by the Fire Department).
20. It shall be the fire sprinkler contractor's responsibly to review the plans and provide fire sprinklers in all void spaces, canopy overhangs, etc. as required by the uniform fire code and local ordinances. Any access openings shall be coordinated and approved by general contractor and owner prior to installation. Fire stops must be provided in accordance with (CBC Section 717) in the following locations:
    a) In concealed spaces of stud walls and partitions, including furred spaces, at the ceiling level.
    b) In concealed spaces of stud walls and partitions, including furred spaces, at 10 foot intervals along the length of the wall
    c) At all interconnections between concealed vertical and horizontal spaces such as occur at soffits, drop ceiling and covered ceilings.
    d) In concealed spaces between stair stringers at the soffits, drop ceiling and covered ceilings and in line with the run of stairs if unfinished.
    e) In openings around vents, pipes, ducts, chimneys, fireplaces and similar openings which afford a passage for fire at ceiling and floor levels with non combustible materials.
21. A fire sprinkler system, if required (as noted on SHEET #T-1), will be supplied and installed at contractor's sole cost and expense. System shall be installed in compliance with all codes, including local. Supply lines, valves, and pop-up heads, without drops, and any necessary temporary threaded galvanized plugs for installed drops and heads to all rooms and areas of the premises required by applicable codes. Monitoring devices, alarms, pulls, enunciator panels, visual and audio warning indicators, strobes, and any other required materials, system testing, inspection approval by the local fire inspector, and monitoring fees including telephone lines, if required, are the responsibility of the contractor.
22. Life safety systems (i.e. smoke alarms and fire detection systems) are the responsibility of the landlord. Landlord is responsible for any monthly monitoring and associated fees.
23. Emergency fire devices: where required by the Fire Department, (contractor to verify prior to bid) contractor shall provide design-build (including all city & fire dept. Approvals) visual emergency warning systems where audible emergency warning systems are required. This system shall be designed and installed in accordance with the (NFPA 72 AND 72G AS AMENDED IN CHAPTER 60, 6003 AND 6004).
24. Accessibility requirements for emergency Fire Devices:
    a) Install fire alarm pull devices and equipment @48" A.F.F. to center line or highest operable part.
    b) If emergency warning systems are required, they shall include visual warning devices that are designed and installed per (NFPA 72 AND 72G AS AMENDED IN CHAPTER 35/60).
    c) Place visual alarms at 80" A.F.F. to 6" below ceiling line (whichever is higher) in common use areas including lobbies, restrooms and hallways.
    d) Visual alarms flash < 60 times per minute shall comply with state fire marshal standards when audible emergency warning systems are supplied.
    e) Install visual alarms < 50'-0" apart in common use areas or max. 100'-0" apart when partitions/ obstacles are < 72" A.F.F., in lieu of hanging them from the ceiling. (NFPA 72G)
    f) Locate visual notification devices in common use areas i.e.: restrooms, music rooms, corridors, gymnasiums, rooms with excessive noise, multiple purpose rooms, occupational shops, lobbies, meeting rooms. (CBC Section 907.9.1.1).

FIRE DEPARTMENT REQUIREMENTS

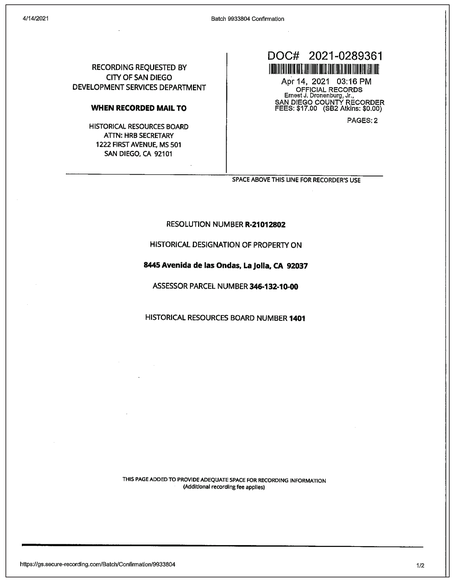
25. Fire access roadway signs/red curbs shall be installed per CFC 503.3.
26. Fire hydrants shall comply with CFC 507.5.
27. Fire hydrant locations shall be identified by the installation of reflective markers. [CFC 901.4.3]
28. An approved access walkway leading from fire apparatus access roads to exterior openings required by fire or the building code shall be provided. Show walkway on the plans. [CFC 504.1]
29. Fire apparatus access roads and water supplies for fire protection, shall be installed and made serviceable prior to and during time of construction. [CFC 3310.1, 3312.1]
30. Every building four stories or more in height shall be provided with not less than one standpipe for use during construction installed in accordance with (CBC 905 [CFC 905]).
31. Decorative materials shall be maintained in a flame-retardant condition. [TITLE 19, SECT. 3.08, 3.21; CFC 804]
32. REQUIREMENTS FOR PORTABLE FIRE EXTINGUISHERS:
    a) At least one fire extinguisher with a minimum rating of 2-A-10-BC shall be provided within 75 feet maximum travel distance for each 6,000 square feet or portion thereof on each floor. [CFC Section 906]
    b) At least one fire extinguisher with a minimum rating of 4A20BC shall be provided outside of each mechanical, electrical or boiler room. [CFC 906.3.1, TITLE 19, SEC. 3.29]
    c) A sodium bicarbonate or potassium bicarbonate dry-chemical type portable fire extinguisher having a minimum rating of 10b shall be installed within 30 feet of commercial food heat-processing equipment. [CFC 906.3.2]

FIRE DEPARTMENT NOTES, cont.

34. FIRE EXTINGUISHING SYSTEMS:
    a) Complete plans and specifications for fire-extinguishing systems, including automatic sprinklers and wet and dry standpipes; halon systems and other special types of automatic fire-extinguishing systems; basement pipe inlets; and other fire-protection systems and appurtenances thereto shall be submitted to Fire and Life Safety for review and approval prior to installation. [CFC 901.2]
    b) Fire-extinguishing systems shall be installed in accordance with CFC 903.
    c) All valves controlling the water supply for automatic sprinkler systems and water-flow switches on all sprinkler systems shall be electronically monitored where the number of sprinklers is 20 or more. [CFC 903.4]
    d) Approved automatic fire extinguishing systems shall be provided for the protection of commercial-type cooking equipment. Separate complete plans for these systems shall be submitted to fire and life safety for review and approval to installation. [CFC 904.11]
35. FIRE ALARM SYSTEMS
    a) Complete plans and specifications for fire alarm systems shall be submitted to Fire and Life Safety for review and approval prior to installation. [CFC 907.1.2]
    b) Installation of fire alarm systems shall be in accordance with CFC 907.
    c) An approved audible sprinkler flow alarm shall be provided on the exterior of the building in an approved location. An approved audible sprinkler flow alarm to alert the occupants shall be provided in the interior of the building in a normally occupied location. [CBC 903.4.2]
36. Complete plans and specification for the operation of elevators shall be submitted to fire and life safety for review and approval prior to installation. [CBC Sec. 3001.1]
37. Wall, floor and ceiling finishes and materials shall not exceed the interior finish classifications in CBC Table 803.3 and shall meet the flame propagation performance criteria of the California Code of Regulations, Title 19, Division 1. Decorative materials shall be properly treated by a product or process approved by the State Fire Marshal with appropriate documentation provided to the City of San Diego.
38. Key boxes shall be provided for all (high-rise buildings, pool enclosures, gates in the path of firefighter travel to structures, secured parking levels, doors giving access to alarm panels and or/annunciators, and any other) structures or areas where access to an area is restricted.
39. Dumpsters and trash containers exceeding 1.5 cubic yards shall not be stored in buildings or placed within 5 feet of combustible walls, openings or combustible roof eave lines unless protected by an approved sprinkler system or located in a Type I or IIA structure separated by 10 feet from other structures. Containers larger than 1 cubic yard shall be of non- or limited-combustible materials or similarly protected or separated. CFC 304.3
40. Exits, exit signs, fire alarm panels, hose cabinets, fire extinguisher locations, and standpipe connections shall not be concealed by curtains, mirrors, or other decorative material.
41. Open flames, fire, and burning on all premises is prohibited except as specifically permitted by the City of San Diego and CFC 308.
42. The egress path shall remain free and clear of all obstructions at all times. No storage is permitted in any egress paths.
43. Complete plans and specifications for all fire extinguishing systems, including automatic sprinkler and standpipe systems and other special fire extinguishing systems and related appurtenances shall be submitted to the City of San Diego for review and approval prior to installation.

GREEN BUILDING CODE REQUIREMENTS

1. **Storm water pollution prevention.** For projects which disturb less than on acre of land shall prevent the pollution of storm water runnoff from the struction activities through one or more of the following measures (Section 5.106.1):
    a) **Best Practice Management (BMP).** Prevent the loss of soil through wind or water erosion by implementing an effective combination of reosion and sediment control and good housekeeping BMP. See Section 5.106.1.2 for specifics.
    b) **Local ordinance.**
2. **Low-emitting, fuel-efficient and carpool/van pool parking.** Fuel-efficient vehicle parking will be provided in accordance with CGC Section 5.106.5.2. The specific details for the parking musr be submitted and approved by City Planning Department.
3. **Light Pollution reduction.** Exterior light pollution must comply with Section 5.106.8.
4. **Grading and Paving.** The site grading or a drainage system will manage all surface water flows to keep water from enterng buildings. CGC section 5.106.10.
5. **Moisture Control.** Landscape irrigation systems shall be designed to prevent spray on structures. Exterior entries subject to foot traffic or wind-driven rain shall be designed to prevent water intrusion into the building. CGC Section 5.407.2.2.1.
6. **Waste Management.** The contractor must submit to the Engineering Department or other Agency that regulates construction wastes management, a Waste Management Plan that outlines the items lists in CGC Section 5.408.1.1.
7. **Recycling.** A minimum of 50% of construction waste is to be recycled. CGC Section 5.408.1. Documentation shall be provided to the enforcing agency which demonstrates compliance. CGC Section 5.408.1.4.
8. **Waste Reduction.** 100% of trees, stumps, rocks, and associated vegetation and soils primarily from the construction will be reused or recycled.
9. **Recycling.** An identified, readily accessible area shall be provided that serves the entire building for collecting recycling, such as paper, carboard, glass, plastics, metals, etc.
10. **Environmental Comfort.** Wall and roof assemblies seperating tenant spaces (and tenant spaces from public spaces) shall have an STC of at least 40. CGC Section 5.507.4.3
11. **Environmenal Comfort.** Wall and roof assemblies exposed to noise sources shall have an STC rating of at least 50, with exterior windows having a minimum STC of 40 in the following locations, per CGC Section 5.507.4.1:
    a) within the 65 CNEL noise contour of a freeway, railroad or industrial source, as determined by the jurisdiction's Noise Element of the General Plan.
    b) within the 65 CNEL noise contour of an airport.
12. **Outdoor Air Quality.** Installations of HVAC, refrigeration and fire suppression systems will not contain CFC's or Halons, per CGC 5.508.1.
13. **Outdoor Water Use.** A water budget shall be developed for landscape irrifaiton use that conforms to the local water efficient landscape ordinance. Where not local ordinance exists, show compliance with the California Development of Water Resources Model Water Landscape Ordinance. See Sections 492.5 through 492.9, 492.10 and 492.11 of the State Ordinance at http://www.water.ca.gov/wateref ficiency/docs/WaterOrdSec492.cfm.
14. **Outdoor Water Use.** New water service (or additions/alterations with > 1,000 square feet of cumulative landscape area), seperate submeters or metering devices shall be installed for outdoor potable water use. Also, irrigation controllers and sensors shall be installed. CGC Section 5.304.2 and 5.304.3.
15. Prior to final inspection the licensed contractor, architect or engineer in responsible charge of the overall construction must provide to the building department official written verification that all applicable provisions from the Green Building Standards Code have been implemented as part of the construction. CGC 102.3.


4/14/2021 Batch 9033804 Confirmation

RECORDING REQUESTED BY
CITY OF SAN DIEGO
DEVELOPMENT SERVICES DEPARTMENT

WHEN RECORDED MAIL TO

HISTORICAL RESOURCES BOARD
ATTN: HRB SECRETARY
1222 FIRST AVENUE, MS 501
SAN DIEGO, CA 92101

DOC# 2021-0289361
Apr 14, 2021 03:16 PM
OFFICIAL RECORDS
Ernest J. Dronenburg, Jr.
SAN DIEGO COUNTY RECORDER
FEES: $17.00 (SB2 Atkins: $0.00)
PAGES: 2

SPACE ABOVE THIS LINE FOR RECORDER'S USE

RESOLUTION NUMBER **R-21012802**

HISTORICAL DESIGNATION OF PROPERTY ON

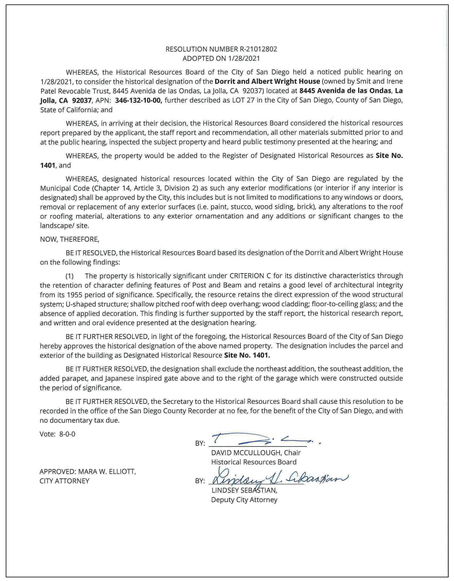
8445 Avenida de las Ondas, La Jolla, CA 92037

ASSESSOR PARCEL NUMBER **346-132-10-00**

HISTORICAL RESOURCES BOARD NUMBER **1401**

THIS PAGE ADDED TO PROVIDE ADEQUATE SPACE FOR RECORDING INFORMATION
(Additional recording fee applies)

https://ps.asecure-recording.com/Batch/Confirmation/9033804 1/2


RESOLUTION NUMBER R-21012802
ADOPTED ON 1/28/2021

WHEREAS, the Historical Resources Board of the City of San Diego held a noticed public hearing on 1/28/2021, to consider the historical designation of the **Dorrit and Albert Wright House** (owned by Smit and Irene Patel Revocable Trust, 8445 Avenida de las Ondas, La Jolla, CA 92037) located at **8445 Avenida de las Ondas**, **La Jolla, CA 92037**, APN: **346-132-10-00**, further described as LOT 27 in the City of San Diego, County of San Diego, State of California; and

WHEREAS, in arriving at their decision, the Historical Resources Board considered the historical resources report prepared by the applicant, the staff report and recommendation, all other materials submitted prior to and at the public hearing, inspected the subject property and heard public testimony presented at the hearing; and

WHEREAS, the property would be added to the Register of Designated Historical Resources as **Site No. 1401**, and

WHEREAS, designated historical resources located within the City of San Diego are regulated by the Municipal Code (Chapter 14, Article 3, Division 2) as such any exterior modifications (or interior if any interior is designated) shall be approved by the City, this includes but is not limited to modifications to any windows or doors, removal or replacement of any exterior surfaces (i.e. paint, stucco, wood siding, brick), any alterations to the roof or roofing material, alterations to any exterior ornamentation and any additions or significant changes to the landscape/ site.

NOW, THEREFORE,

BE IT RESOLVED, the Historical Resources Board based its designation of the Dorrit and Albert Wright House on the following findings:

(1) The property is historically significant under CRITERION C for its distinctive characteristics through the retention of character defining features of Post and Beam and retains a good level of architectural integrity from its 1955 period of significance. Specifically, the resource retains the direct expression of the wood structural system; U-shaped structure; shallow pitched roof with deep overhang; wood cladding; floor-to-ceiling glass; and the absence of applied decoration. This finding is further supported by the staff report, the historical research report, and written and oral evidence presented at the designation hearing.

BE IT FURTHER RESOLVED, in light of the foregoing, the Historical Resources Board of the City of San Diego hereby approves the historical designation of the above named property. The designation includes the parcel and exterior of the building as Designated Historical Resource **Site No. 1401.**

BE IT FURTHER RESOLVED, the designation shall exclude the northeast addition, the southeast addition, the added parapet, and japanese inspired gate above and to the right of the garage which were constructed outside the period of significance.

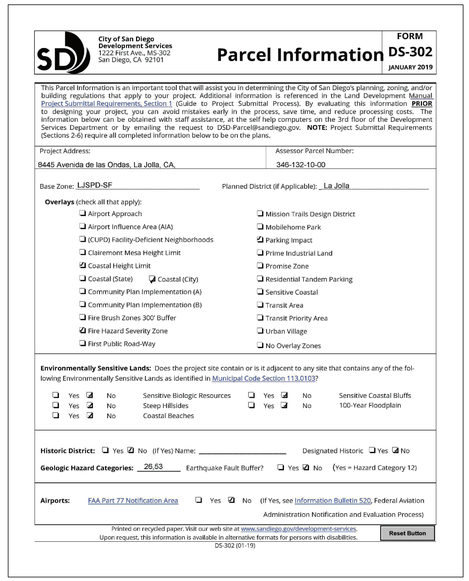
BE IT FURTHER RESOLVED, the Secretary to the Historical Resources Board shall cause this resolution to be recorded in the office of the San Diego County Recorder at no fee, for the benefit of the City of San Diego, and with no documentary tax due.

Vote: 8-0-0

BY: _____
DAVID MCCULLOUGH, Chair
Historical Resources Board

APPROVED: MARA W. ELLIOTT,
CITY ATTORNEY

BY: _____
LINDSEY SEBASTIAN,
Deputy City Attorney


City of San Diego
Development Services
1222 First Ave., MS-302
San Diego, CA 92101

Parcel Information

FORM DS-302 JANUARY 2019

This Parcel Information is an important tool that will assist you in determining the City of San Diego's planning, zoning, and/or building regulations that apply to your project. Additional information is referenced in the Land Development Manual, Project Submittal Requirements, Section 1 (Guide to Project Submittal Process). By evaluating this information **PRIOR** to designing your project, you can avoid mistakes early in the process, save time, and reduce processing costs. The information below can be obtained with staff assistance, at the self help computers on the 3rd floor of the Development Services Department or by emailing the request to DSD-Parcel@sandiego.gov. **NOTE:** Project Submittal Requirements (Sections 2-6) require all completed information below to be on the plans.

Project Address:	Assessor Parcel Number:
8445 Avenida de las Ondas, La Jolla, CA	346-132-10-00

Base Zone: LJSPD-SF Planned District (if Applicable): La Jolla

Overlays (check all that apply):

- ❑ Airport Approach
- ❑ Airport Influence Area (AIA)
- ❑ (CUPO) Facility-Deficient Neighborhoods
- ❑ Clairemont Mesa Height Limit
- ☑ Coastal Height Limit
- ❑ Coastal (State) ☑ Coastal (City)
- ❑ Community Plan Implementation (A)
- ❑ Community Plan Implementation (B)
- ❑ Fire Brush Zones 300' Buffer
- ☑ Fire Hazard Severity Zone
- ❑ First Public Road-Way
- ❑ Mission Trails Design District
- ❑ Mobilehome Park
- ☑ Parking Impact
- ❑ Prime Industrial Land
- ❑ Promise Zone
- ❑ Residential Tandem Parking
- ❑ Sensitive Coastal
- ❑ Transit Area
- ❑ Transit Priority Area
- ❑ Urban Village
- ❑ No Overlay Zones

Environmentally Sensitive Lands: Does the project site contain or is it adjacent to any site that contains any of the following Environmentally Sensitive Lands as identified in Municipal Code Section 113.0103?

❑ Yes ☑ No	Sensitive Biologic Resources	❑ Yes ☑ No	Sensitive Coastal Bluffs
❑ Yes ☑ No	Steep Hillsides	❑ Yes ☑ No	100-Year Floodplain
❑ Yes ☑ No	Coastal Beaches		

Historic District: ❑ Yes ☑ No (If Yes) Name: _____ Designated Historic ❑ Yes ☑ No

Geologic Hazard Categories: 26,53 Earthquake Fault Buffer? ❑ Yes ☑ No (Yes = Hazard Category 12)

Airports: FAA Part 77 Notification Area ❑ Yes ☑ No (If Yes, see Information Bulletin 520, Federal Aviation Administration Notification and Evaluation Process)

Printed on recycled paper. Visit our web site at www.sandiego.gov/development-services.
Upon request, this information is available in alternative formats for persons with disabilities.
DS-302 (01-19)

Reset Button

Marengo Morton Architects
7724 Girard Ave.
Second Floor
La Jolla, CA 92037
Tel. (858) 459-3769
Fax. (858) 459-3768
Michael Morton AIA
Claude Anthony Marengo DESA

03-20-2022

LICENSED ARCHITECT MICHAEL RENE MORTON C-19371 RENEWAL 04/30/2025 STATE OF CALIFORNIA

Michael Morton AIA

PRIVATE RESIDENCE
REMODEL
8445 Avenida De Las Ondas
La Jolla, CA 92037

REVISIONS
C CLIENT REVISIONS - 10-01-2021
D COASTAL SUBMITTAL - 01-14-2022
E LJSPDO PRESENTATION - 06/20/2022
F CYCLES RESPONSES - 08-22-2022
G CYCLES RESPONSES - 10-28-2022
H CYCLES RESPONSES - 03-20-2023
I CYCLES RESPONSES - 07-31-2023
J CYCLES RESPONSES - 10-04-2023

PHASE COASTAL DEVELOPMENT PHASE

PROJECT NO. 2021-27

REVIEWED BY MRM

DRAWN BY MRM / JS / AP

DATE 03-20-2023

FIRE NOTES
GREEN NOTES

TS-1.3

CLIMATE ACTION PLAN - CONSISTENCY CHECKLIST INTRODUCTION

CLIMATE ACTION PLAN CONSISTENCY CHECKLIST INTRODUCTION

In December 2015, the City adopted a Climate Action Plan (CAP) that outlines the actions that City will undertake to achieve its proportional share of State greenhouse gas (GHG) emission reductions. The purpose of the Climate Action Plan Consistency Checklist (Checklist) is to, in conjunction with the CAP, provide a streamlined review process for proposed new development projects that are subject to discretionary review and trigger environmental review pursuant to the California Environmental Quality Act (CEQA).[1]

Analysis of GHG emissions and potential climate change impacts from new development is required under CEQA. The CAP is a plan for the reduction of GHG emissions in accordance with CEQA Guidelines Section 15183.5. Pursuant to CEQA Guidelines Sections 15064(h)(3), 15130(d), and 15183(b), a project's incremental contribution to a cumulative GHG emissions effect may be determined not to be cumulatively considerable if it complies with the requirements of the CAP.

This Checklist is part of the CAP and contains measures that are required to be implemented on a project-by-project basis to ensure that the specified emissions targets identified in the CAP are achieved. Implementation of these measures would ensure that new development is consistent with the CAP's assumptions for relevant CAP strategies toward achieving the identified GHG reduction targets. Projects that are consistent with the CAP as determined through the use of this Checklist may rely on the CAP for the cumulative impacts analysis of GHG emissions. Projects that are not consistent with the CAP must prepare a comprehensive project-specific analysis of GHG emissions, including quantification of existing and projected GHG emissions and incorporation of the measures in this Checklist to the extent feasible. Cumulative GHG impacts would be significant for any project that is not consistent with the CAP.

The Checklist may be updated to incorporate new GHG reduction techniques or to comply with later amendments to the CAP or local, State, or federal law.

[1] Certain projects seeking ministerial approval may be required to complete the Checklist. For example, projects in a Community Plan Implementation Overlay Zone may be required to use the Checklist to qualify for ministerial level review. See Supplemental Development Regulations in the project's community plan to determine applicability.

This page intentionally left blank

CAP CONSISTENCY CHECKLIST SUBMITTAL APPLICATION

- The Checklist is required only for projects subject to CEQA review.[2]
- If required, the Checklist must be included in the project submittal package. Application submittal procedures can be found in Chapter 11: Land Development Procedures of the City's Municipal Code.
- The requirements in the Checklist will be included in the project's conditions of approval.
- The applicant must provide an explanation of how the proposed project will implement the requirements described herein to the satisfaction of the Planning Department.

Application Information

Contact Information			
Project No./Name:	Private Residence		
Property Address:	8445 Avenida de las Ondas		
Applicant Name/Co.:	Marengo Morton Architects, Inc.		
Contact Phone:	(858) 459-3769	Contact Email:	michaelt@m2a.io
Was a consultant retained to complete this checklist?	■ Yes ☐ No	If Yes, complete the following	
Consultant Name:	Michael R. Morton, AIA	Contact Phone:	(619) 857-8144
Company Name:	Marengo Morton Architects	Contact Email:	michaelt@m2a.io

Project Information	
1. What is the size of the project (acres)?	0.46
2. Identify all applicable proposed land uses:	
■ Residential (indicate # of single-family units):	Single Family Residence: LJSPD-SF
☐ Residential (indicate # of multi-family units):	
☐ Commercial (total square footage):	
☐ Industrial (total square footage):	
☐ Other (describe):	
3. Is the project or a portion of the project located in a Transit Priority Area?	☐ Yes ■ No
4. Provide a brief description of the project proposed:	Selectively demolish portions the 3,963 square foot existing two-story single-family residence. Remodel & Addition for the addition of 1,995 square feet to the home for a total of 5,447 square feet. A portion of the new two-story addition will be a new 1,191 square foot Accessory Dwelling Unit (ADU) on the second floor.

[2] Certain projects seeking ministerial approval may be required to complete the Checklist. For example, projects in a Community Plan Implementation Overlay Zone may be required to use the Checklist to qualify for ministerial level review. See Supplemental Development Regulations in the project's community plan to determine applicability.

CAP CONSISTENCY CHECKLIST QUESTIONS

Step 1: Land Use Consistency

The first step in determining CAP consistency for discretionary development projects is to assess the project's consistency with the growth projections used in the development of the CAP. This section allows the City to determine a project's consistency with the land use assumptions used in the CAP.

Step 1: Land Use Consistency		
Checklist Item (Check the appropriate box and provide explanation and supporting documentation for your answer)	Yes	No
A. Is the proposed project consistent with the existing General Plan and Community Plan land use and zoning designations?[3] OR	■	☐
B. If the proposed project is not consistent with the existing land use plan and zoning designations, and includes a land use plan and/or zoning designation amendment, would the proposed amendment result in an increased density within a Transit Priority Area (TPA)[4] and implement CAP Strategy 3 actions, as determined in Step 3 to the satisfaction of the Development Services Department? OR		
C. If the proposed project is not consistent with the existing land use plan and zoning designations, does the project include a land use plan and/or zoning designation amendment that would result in an equivalent or less GHG-intensive project when compared to the existing designations?		

If **"Yes,"** proceed to Step 2 of the Checklist. For question B above, complete Step 3. For question C above, provide estimated project emissions under both existing and proposed designation(s) for comparison. Compare the maximum buildout of the existing designation and the maximum buildout of the proposed designation.

If **"No,"** in accordance with the City's Significance Determination Thresholds, the project's GHG impact is significant. The project must nonetheless incorporate each of the measures identified in Step 2 to mitigate cumulative GHG emissions impacts unless the decision maker finds that a measure is infeasible in accordance with CEQA Guidelines Section 15091. Proceed and complete Step 2 of the Checklist.

Yes, the project is consistent with the area and La Jolla Shores Community Plan

[3] This question may also be answered in the affirmative if the project is consistent with SANDAG Series 12 growth projections, which were used to determine the CAP projections, as determined by the Planning Department.

[4] This category applies to all projects that answered in the affirmative to question 3 on the previous page: Is the project or a portion of the project located in a transit priority area.

Step 2: CAP Strategies Consistency

The second step of the CAP consistency review is to review and evaluate a project's consistency with the applicable strategies and actions of the CAP. Step 2 only applies to development projects that involve permits that would require a certificate of occupancy from the Building Official or projects comprised of one and two family dwellings or townhouses as defined in the California Residential Code and their accessory structures.[5] All other development projects that would not require a certificate of occupancy from the Building Official shall implement Best Management Practices for construction activities as set forth in the Greenbook (for public projects).

Step 2: CAP Strategies Consistency			
Checklist Item (Check the appropriate box and provide explanation for your answer)	Yes	No	N/A
Strategy 1: Energy & Water Efficient Buildings			
1. *Cool/Green Roofs.* • Would the project include roofing materials with a minimum 3-year aged solar reflection and thermal emittance or solar reflection index equal to or greater than the values specified in the voluntary measures under California Green Building Standards Code (Attachment A)? OR • Would the project roof construction have a thermal mass over the roof membrane, including areas of vegetated (green) roofs, weighing at least 25 pounds per square foot as specified in the voluntary measures under California Green Building Standards Code? OR • Would the project include a combination of the above two options? Check "N/A" only if the project does not include a roof component.	■	☐	☐
Yes, the project cool metal roof system, which is certified a UL Green product, meets the 3-year aged solar reflection and thermal emmittance per the California Green Building Code standard.			

[5] Actions that are not subject to Step 2 would include, for example: 1) discretionary map actions that do not propose specific development, 2) permits allowing wireless communication facilities, 3) special events permits, 4) use permits or other permits that do not result in the expansion or enlargement of a building (e.g., decks, garages, etc.), and 5) non-building infrastructure projects such as roads and pipelines. Because such actions would not result in new occupancy buildings from which GHG emissions reductions could be achieved, the items contained in Step 2 would not be applicable.

Strategy 1: Energy & Water Efficient Buildings			
2. *Plumbing fixtures and fittings* With respect to plumbing fixtures or fittings provided as part of the project, would those low-flow fixtures/appliances be consistent with each of the following: Residential buildings: • Kitchen faucets: maximum flow rate not to exceed 1.5 gallons per minute at 60 psi; • Standard dishwashers: 4.25 gallons per cycle; • Compact dishwashers: 3.5 gallons per cycle; and • Clothes washers: water factor of 6 gallons per cubic feet of drum capacity? Nonresidential buildings: • Plumbing fixtures and fittings that do not exceed the maximum flow rate specified in Table A5.303.2.3.1 (voluntary measures) of the California Green Building Standards Code (See Attachment A); and • Appliances and fixtures for commercial applications that meet the provisions of Section A5.303.3 (voluntary measures) of the California Green Building Standards Code (See Attachment A)? Check "N/A" only if the project does not include any plumbing fixtures or fittings.	■	☐	☐
Yes, the project will meet all requirements for residencial buildings standards conforming to the California Green Building Standards for low water usage for: a. Kitchen Faucets b. Energy Star Dishwasher c. On Demand Hot Water Recirculation System.			

Strategy 3: Bicycling, Walking, Transit & Land Use			
3. *Electric Vehicle Charging* • Multiple-family projects of 17 dwelling units or less: Would 3% of the total parking spaces required, or a minimum of one space, whichever is greater, be provided with a listed cabinet, box or enclosure connected to a conduit linking the parking spaces with the electrical service, in a manner approved by the building and safety official, to allow for the future installation of electric vehicle supply equipment to provide electric vehicle charging stations at such time as it is needed for use by residents? • Multiple-family projects of more than 17 dwelling units: Of the total required listed cabinets, boxes or enclosures, would 50% have the necessary electric vehicle supply equipment installed to provide active electric vehicle charging stations ready for use by residents? • Non-residential projects: Of the total required listed cabinets, boxes or enclosures, would 50% have the necessary electric vehicle supply equipment installed to provide active electric vehicle charging stations ready for use? Check "N/A" only if the project is a single-family project or would not require the provision of listed cabinets, boxes, or enclosures connected to a conduit linking the parking spaces with electrical service, e.g., projects requiring fewer than 10 parking spaces.	☐	☐	■
This strategy is not applicable because the project is a Single Family Residential Project			
Strategy 3: Bicycling, Walking, Transit & Land Use (Complete this section if project includes non-residential or mixed uses)			
4. *Bicycle Parking Spaces* Would the project provide more short- and long-term bicycle parking spaces than required in the City's Municipal Code (Chapter 14, Article 2, Division 5)[6] Check "N/A" only if the project is a residential project.	☐	☐	■
N/A - Residential Single Family Residence			

[6] Non-portable bicycle corrals within 600 feet of project frontage can be counted towards the project's bicycle parking requirements.

5. *Shower facilities* If the project includes nonresidential development that would accommodate over 10 tenant occupants (employees), would the project include changing/shower facilities in accordance with the voluntary measures under the California Green Building Standards Code as shown in the table below?	☐	☐	■

Number of Tenant Occupants (Employees)	Shower/Changing Facilities Required	Two-Tier (12" X 15" X 72") Personal Effects Lockers Required
0-10	0	0
11-50	1 shower stall	2
51-100	1 shower stall	3
101-200	1 shower stall	4
Over 200	1 shower stall plus 1 additional shower stall for each 200 additional tenant-occupants	1 two-tier locker plus 1 two-tier locker for each 50 additional tenant-occupants

Check "N/A" only if the project is a residential project, or if it does not include nonresidential development that would accommodate over 10 tenant occupants (employees).

N/A - Single Family Residential Project

6. *Designated Parking Spaces* If the project includes a nonresidential use in a TPA, would the project provide designated parking for a combination of low-emitting, fuel-efficient, and carpool/vanpool vehicles in accordance with the following table?	☐	☐	■

Number of Required Parking Spaces	Number of Designated Parking Spaces
0-9	0
10-25	2
26-50	4
51-75	6
76-100	9
101-150	11
151-200	18
201 and over	At least 10% of total

This measure does not cover electric vehicles. See Question 4 for electric vehicle parking requirements.

Note: Vehicles bearing Clean Air Vehicle stickers from expired HOV lane programs may be considered eligible for designated parking spaces. The required designated parking spaces are to be provided within the overall minimum parking requirement, not in addition to it.

Check "N/A" only if the project is a residential project, or if it does not include nonresidential use in a TPA.

N/A - Single Family Residential Project

7. *Transportation Demand Management Program* If the project would accommodate over 50 tenant-occupants (employees), would it include a transportation demand management program that would be applicable to existing tenants and future tenants that includes: At least one of the following components: • Parking cash out program • Parking management plan that includes charging employees market-rate for single-occupancy vehicle parking and providing reserved, discounted, or free spaces for registered carpools or vanpools • Unbundled parking whereby parking spaces would be leased or sold separately from the rental or purchase fees for the development for the life of the development And at least three of the following components: • Commitment to maintaining an employer network in the SANDAG iCommute program and promoting its RideMatcher service to tenants/employees • On-site carsharing vehicle(s) or bikesharing • Flexible or alternative work hours • Telework program • Transit, carpool, and vanpool subsidies • Pre-tax deduction for transit or vanpool fares and bicycle commute costs • Access to services that reduce the need to drive, such as cafes, commercial stores, banks, post offices, restaurants, gyms, or childcare, either onsite or within 1,320 feet (1/4 mile) of the structure/use? Check "N/A" only if the project is a residential project or if it would not accommodate over 50 tenant-occupants (employees).	☐	☐	■
N/A - Single Family Residential Project			

Step 3: Project CAP Conformance Evaluation (if applicable)

The third step of the CAP consistency review only applies if Step 1 is answered in the affirmative under option B. The purpose of this step is to determine whether a project that is located in a TPA but that includes a land use plan and/or zoning designation amendment is nevertheless consistent with the assumptions in the CAP because it would implement CAP Strategy 3 actions. In general, a project that would result in a reduction in density inside a TPA would not be consistent with Strategy 3.The following questions must each be answered in the affirmative and fully explained.

1. **Would the proposed project implement the General Plan's City of Villages strategy in an identified Transit Priority Area (TPA) that will result in an increase in the capacity for transit-supportive residential and/or employment densities?**
   Considerations for this question:
   - Does the proposed land use and zoning designation associated with the project provide capacity for transit-supportive residential densities within the TPA?
   - Is the project site suitable to accommodate mixed-use village development, as defined in the General Plan, within the TPA?
   - Does the land use and zoning associated with the project increase the capacity for transit-supportive employment intensities within the TPA?
2. **Would the proposed project implement the General Plan's Mobility Element in Transit Priority Areas to increase the use of transit?**
   Considerations for this question:
   - Does the proposed project support/incorporate identified transit routes and stops/stations?
   - Does the project include transit priority measures?
3. **Would the proposed project implement pedestrian improvements in Transit Priority Areas to increase walking opportunities?**
   Considerations for this question:
   - Does the proposed project circulation system provide multiple and direct pedestrian connections and accessibility to local activity centers (such as transit stations, schools, shopping centers, and libraries)?
   - Does the proposed project urban design include features for walkability to promote a transit supportive environment?
4. **Would the proposed project implement the City of San Diego's Bicycle Master Plan to increase bicycling opportunities?**
   Considerations for this question:
   - Does the proposed project circulation system include bicycle improvements consistent with the Bicycle Master Plan?
   - Does the overall project circulation system provide a balanced, multimodal, "complete streets" approach to accommodate mobility needs of all users?
5. **Would the proposed project incorporate implementation mechanisms that support Transit Oriented Development?**
   Considerations for this question:
   - Does the proposed project include new or expanded urban public spaces such as plazas, pocket parks, or urban greens in the TPA?
   - Does the land use and zoning associated with the proposed project increase the potential for jobs within the TPA?
   - Do the zoning/implementing regulations associated with the proposed project support the efficient use of parking through mechanisms such as: shared parking, parking districts, unbundled parking, reduced parking, paid or time-limited parking, etc.?
6. **Would the proposed project implement the Urban Forest Management Plan to increase urban tree canopy coverage?**
   Considerations for this question:
   - Does the proposed project provide at least three different species for the primary, secondary and accent trees in order to accommodate varying parkway widths?
   - Does the proposed project include policies or strategies for preserving existing trees?
   - Does the proposed project incorporate tree planting that will contribute to the City's 20% urban canopy tree coverage goal?

CLIMATE ACTION PLAN CONSISTENCY CHECKLIST ATTACHMENT A

This attachment provides performance standards for applicable Climate Action Pan (CAP) Consistency Checklist measures.

Table 1 Roof Design Values for Question 1: Cool/Green Roofs supporting Strategy 1: Energy & Water Efficient Buildings of the Climate Action Plan

Land Use Type	Roof Slope	Minimum 3-Year Aged Solar Reflectance	Thermal Emittance	Solar Reflective Index
Low-Rise Residential	≤ 2:12	0.55	0.75	64
	> 2:12	0.20	0.75	16
High-Rise Residential Buildings, Hotels and Motels	≤ 2:12	0.55	0.75	64
	> 2:12	0.20	0.75	16
Non-Residential	≤ 2:12	0.55	0.75	64
	> 2:12	0.20	0.75	16

Source: Adopted from the California Green Building Standards Code (CALGreen) Tier 1 residential and non-residential voluntary measures shown in Tables A4.106.5.1 and A5.106.11.2.2, respectively. Roof installation and verification shall occur in accordance with the CALGreen Code.

CALGreen does not include recommended values for low-rise residential buildings with roof slopes of ≤ 2:12 for San Diego's climate zones (7 and 10). Therefore, the values for climate zone 15 that covers Imperial County are adopted here.

Solar Reflectance Index (SRI) equal to or greater than the values specified in this table may be used as an alternative to compliance with the aged solar reflectance values and thermal emittance.

Table 2 Fixture Flow Rates for Non-Residential Buildings related to Question 2: Plumbing Fixtures and Fittings supporting Strategy 1: Energy & Water Efficient Buildings of the Climate Action Plan

Fixture Type	Maximum Flow Rate
Showerheads	1.8 gpm @ 80 psi
Lavatory Faucets	0.35 gpm @60 psi
Kitchen Faucets	1.8 gpm @ 60 psi
Wash Fountains	1.8 (rim space(in.)/20 gpm @ 60 psi)
Metering Faucets	0.18 gallons/cycle
Metering Faucets for Wash Fountains	0.18 (rim space(in.)/20 gpm @ 60 psi)
Gravity Tank-type Water Closets	1.12 gallons/flush
Flushometer Tank Water Closets	1.12 gallons/flush
Flushometer Valve Water Closets	1.12 gallons/flush
Electromechanical Hydraulic Water Closets	1.12 gallons/flush
Urinals	0.5 gallons/flush

Source: Adopted from the California Green Building Standards Code (CALGreen) Tier 1 non-residential voluntary measures shown in Tables A5.303.3.3.1 and A5.106.11.2.2, respectively. See the California Plumbing Code for definitions of each fixture type.

Where complying faucets are unavailable, aerators rated at 0.35 gpm or other means may be used to achieve reduction.

Acronyms:
gpm = gallons per minute
psi = pounds per square inch (unit of pressure)
in. = inch

Table 3 Standards for Appliances and Fixtures for Commercial Application related to Question 2: Plumbing Fixtures and Fittings supporting Strategy 1: Energy & Water Efficient Buildings of the Climate Action Plan

Appliance/Fixture Type	Standard	
Clothes Washers	Maximum Water Factor (WF) that will reduce the use of water by 10 percent below the California Energy Commissions' WF standards for commercial clothes washers located in Title 20 of the California Code of Regulations.	
Conveyor-type Dishwashers	0.70 maximum gallons per rack (2.6 L) (High-Temperature)	0.62 maximum gallons per rack (4.4 L) (Chemical)
Door-type Dishwashers	0.95 maximum gallons per rack (3.6 L) (High-Temperature)	1.16 maximum gallons per rack (2.6 L) (Chemical)
Undercounter-type Dishwashers	0.90 maximum gallons per rack (3.4 L) (High-Temperature)	0.98 maximum gallons per rack (3.7 L) (Chemical)
Combination Ovens	Consume no more than 10 gallons per hour (38 L/h) in the full operational mode.	
Commercial Pre-rinse Spray Valves (manufactured on or after January 1, 2006)	Function at equal to or less than 1.6 gallons per minute (0.10 L/s) at 60 psi (414 kPa) and • Be capable of cleaning 60 plates in an average time of not more than 30 seconds per plate. • Be equipped with an integral automatic shutoff. • Operate at static pressure of at least 30 psi (207 kPa) when designed for a flow rate of 1.3 gallons per minute (0.08 L/s) or less.	

Source: Adopted from the California Green Building Standards Code (CALGreen) Tier 1 non-residential voluntary measures shown in Section A5.303.3. See the California Plumbing Code for definitions of each appliance/fixture type.

Acronyms:
L = liter
L/h = liters per hour
L/s = liters per second
psi = pounds per square inch (unit of pressure)
kPa = kilopascal (unit of pressure)

Private Residence Remodel &Addition
8445 Avenida de las Ondas,
La Jolla, California, 92037
APN: 346-122-10-00
PTS # **Coastal Development Permit– PTS– - Approval**
8445 Avenida de las Ondas - Coastal Preliminary Review - PRJ-1050498

CAP CONSISTENCY CHECKLIST SUPPORTING DOCUMENTATION

Climate Action Plan
CAP Strategy Consistency

Project Scope Description:

This site is a developed lot in a developed urban area, the site is a single-family home in **LJSPD-SF** (single family) Zone of La Jolla Planned District.

The Scope of work - Selectively demolish portions the 3,963 square foot existing two-story single-family residence. Remodel & Addition for the addition of 1,995 square feet to the home for a total of 5,447 square feet. A portion of the new two-story addition will be a new 1,191 square foot Accessory Dwelling Unit (ADU) on the second floor. The project will include new second floor terraces, and a new roof deck. The building will include new roof mounted photovoltaic panels for electrical power for the property. The existing two-car garage will be demolished and the attached work area, bathroom, and laundry area. The garage area will be part of the new addition with an area of 627 square feet. The ground floor will be also a part of the new addition to the existing home with a new area of 847 square feet. The existing Historically designated home will be left intact and not part of the remodel & addition. The proposed remodeled residence will have a new total area of 5,447 square feet. The exterior entry trellis will be newly constructed and two new off-street parking spaces will be added to the two parking spaces in the garage. The proposed remodeled home will consist of 4 bedrooms and 4 baths, with a two-car garage. The ADU will be a one-bedroom unit. Provide new exterior decks, new landscaping and other site improvements of the features as shown on the site plans.

Land Use Consistency:

The Project is consistent with the **LJSPD-SF zoning** & Land use Designations in the City's General Plan and the Community Plan of La Jolla. The proposed project size, setback and height is consistent with **LJSPD-SF** (single family zone).

CAP Strategies Consistence

Strategy 1 - Energy& Water Efficient Buildings
1. CoolGreen Roofs- The project will include Cool Metal Roof System roofing materials with a minimum 3 year aged solar reflection and thermal emittance of 2.0.
2. Plumbing fixtures and Fittings- Our Project will use low flow plumbing fixtures and appliances and will be consistent with the following:
   - Kitchen faucets: max flow rate not to exceed 1.5 gallons per minute at 60 psi
   - Standard Dishwashers: 0.89 gallons per rack:
   - Clothes Washers: that meets or is better than the maximum water factor
   - Tankless Water heaters will be utilized for on demand heat source with a re-circulation system.
   - Therefore, the proposed project is compatible with the requirements for water and energy efficiency.

Strategy 2 - Clean and Renewable Energy
3. The project will meet title 24, 15% improvements.

Strategy 3 - Bicycle, walking, Transit & Land Use
1. **Electrical Vehicle Charging** - The required parking spaces serving this Residence will be constructed with a listed cabinet box or enclosure to a raceway linking the required space to the electrical service to allow for the future installation of electric vehicle supply equipment to provide an electric vehicle charging station for use by the resident.
2. **Bicycle parking spaces** - Not applicable for residential project.
3. **Transit** – There are existing Transit stations within 1,000 feet from the project site.

Marengo Morton Architects
7724 Girard Ave.
Second Floor
La Jolla, CA 92037
Tel. (858) 459-3769
Fax. (858) 459-3768
Michael Morton AIA
Claude Anthony Marengo DESA

03-20-2022

LICENSED ARCHITECT · MICHAEL RENE MORTON · C-19371 RENEWAL 04/30/2025 · STATE OF CALIFORNIA

Michael Morton AIA

PRIVATE RESIDENCE REMODEL
8445 Avenida De Las Ondas
La Jolla, CA 92037

REVISIONS
C CLIENT REVISIONS - 10-01-2021
D COASTAL SUBMITTAL - 01-14-2022
E LJSPDO PRESENTATION - 06/20/2022
F CYCLES RESPONSES - 08-22-2022
G CYCLES RESPONSES - 10-28-2022
H CYCLES RESPONSES - 03-20-2023
I CYCLES RESPONSES - 07-31-2023
J CYCLES RESPONSES - 10-04-2023

PHASE COASTAL DEVELOPMENT PHASE

PROJECT NO. 2021-27

REVIEWED BY MRM

DRAWN BY MRM / JS / AP

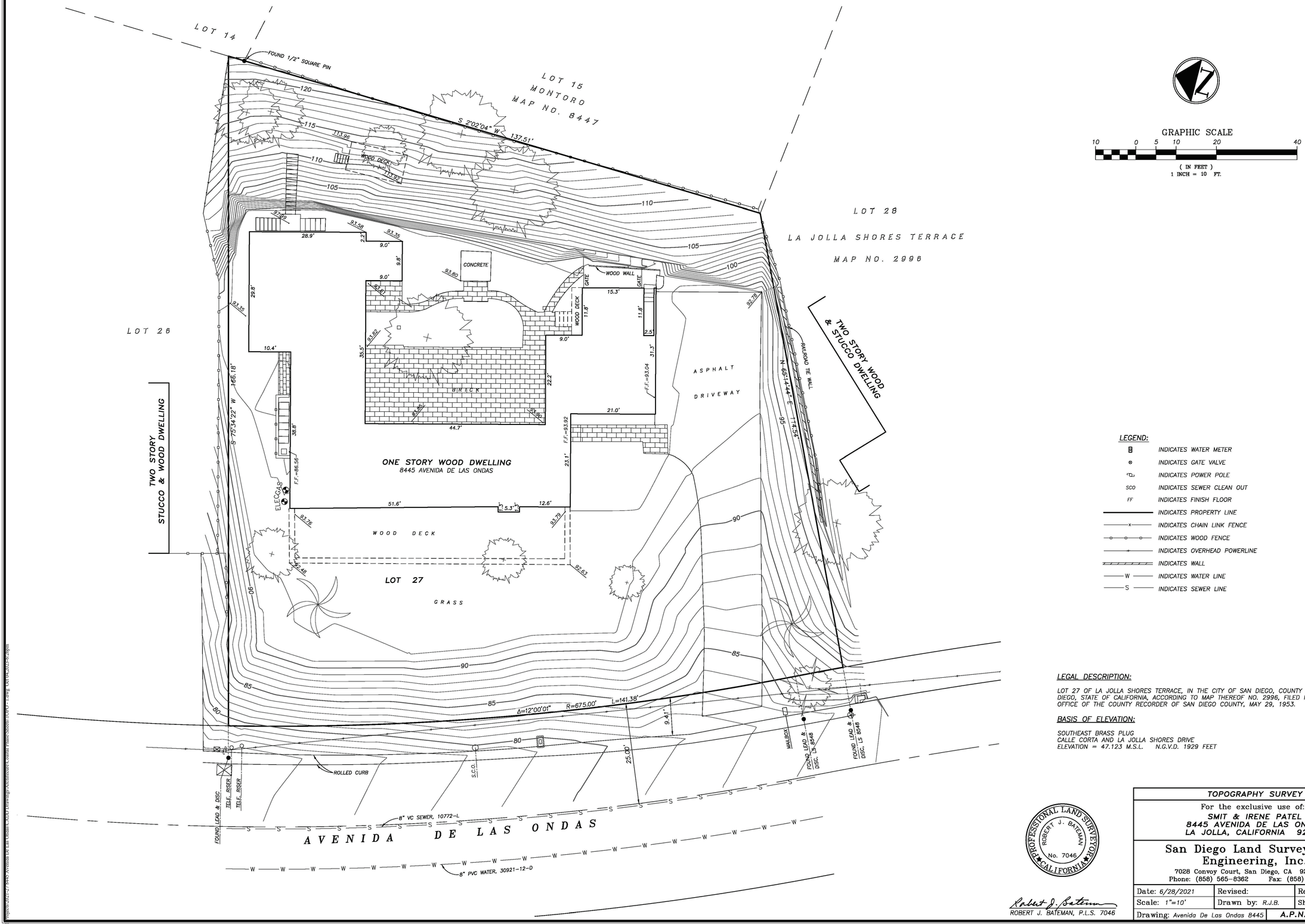
DATE 03-20-2023

CLIMATE ACTION PLAN CONSISTENCY CHECKLIST

TS-1.4

S:\Projects\2021 Projects\2021-27 8445 Avenida De Las Ondas\CAD Drawings\Architecture\Coastal Plans\Sheets\T-1.4 - CAP.dwg Oct 04,2023 - 6:25pm

Attachment 10



GRAPHIC SCALE

10 0 5 10 20 40

(IN FEET)
1 INCH = 10 FT.

LEGEND:

WM	INDICATES WATER METER
⊗	INDICATES GATE VALVE
	INDICATES POWER POLE
SCO	INDICATES SEWER CLEAN OUT
FF	INDICATES FINISH FLOOR
	INDICATES PROPERTY LINE
	INDICATES CHAIN LINK FENCE
	INDICATES WOOD FENCE
	INDICATES OVERHEAD POWERLINE
	INDICATES WALL
W	INDICATES WATER LINE
S	INDICATES SEWER LINE

LEGAL DESCRIPTION:

LOT 27 OF LA JOLLA SHORES TERRACE, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 2996, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, MAY 29, 1953.

BASIS OF ELEVATION:

SOUTHEAST BRASS PLUG
CALLE CORTA AND LA JOLLA SHORES DRIVE
ELEVATION = 47.123 M.S.L. N.G.V.D. 1929 FEET

PROFESSIONAL LAND SURVEYOR
ROBERT J. BATEMAN
No. 7046
CALIFORNIA

Robert J. Bateman
ROBERT J. BATEMAN, P.L.S. 7046

TOPOGRAPHY SURVEY

For the exclusive use of:
SMIT & IRENE PATEL
8445 AVENIDA DE LAS ONDAS
LA JOLLA, CALIFORNIA 92037

San Diego Land Surveying & Engineering, Inc.
7028 Convoy Court, San Diego, CA 92111-1017
Phone: (858) 565-8362 Fax: (858) 565-4354

Date: 6/28/2021	Revised:	Revised:
Scale: 1"=10'	Drawn by: R.J.B.	Sheet 1 of 1 Sheet
Drawing: Avenida De Las Ondas 8445	A.P.N. 346-132-10	

Marengo Morton Architects
7724 Girard Ave.
Second Floor
La Jolla, CA 92037
Tel. (858) 459-3769
Fax. (858) 459-3768
Michael Morton AIA
Claude Anthony Marengo DESA
03-20-2022
LICENSED ARCHITECT MICHAEL RENE MORTON STATE OF CALIFORNIA
Michael Morton AIA
C-19371
RENEWAL
04/30/2025

PRIVATE RESIDENCE
REMODEL
8445 Avenida De Las Ondas
La Jolla, CA 92037

REVISIONS
C CLIENT REVISIONS - 10-01-2021
D COASTAL SUBMITTAL - 01-14-2022
E LJSPDO PRESENTATION - 06/20/2022
F CYCLES RESPONSES - 08-22-2022
G CYCLES RESPONSES - 10-28-2022
H CYCLES RESPONSES - 03-20-2023
I CYCLES RESPONSES - 07-31-2023
J CYCLES RESPONSES - 10-04-2023

PHASE COASTAL DEVELOPMENT PHASE

PROJECT NO. 2021-27

REVIEWED BY MRM

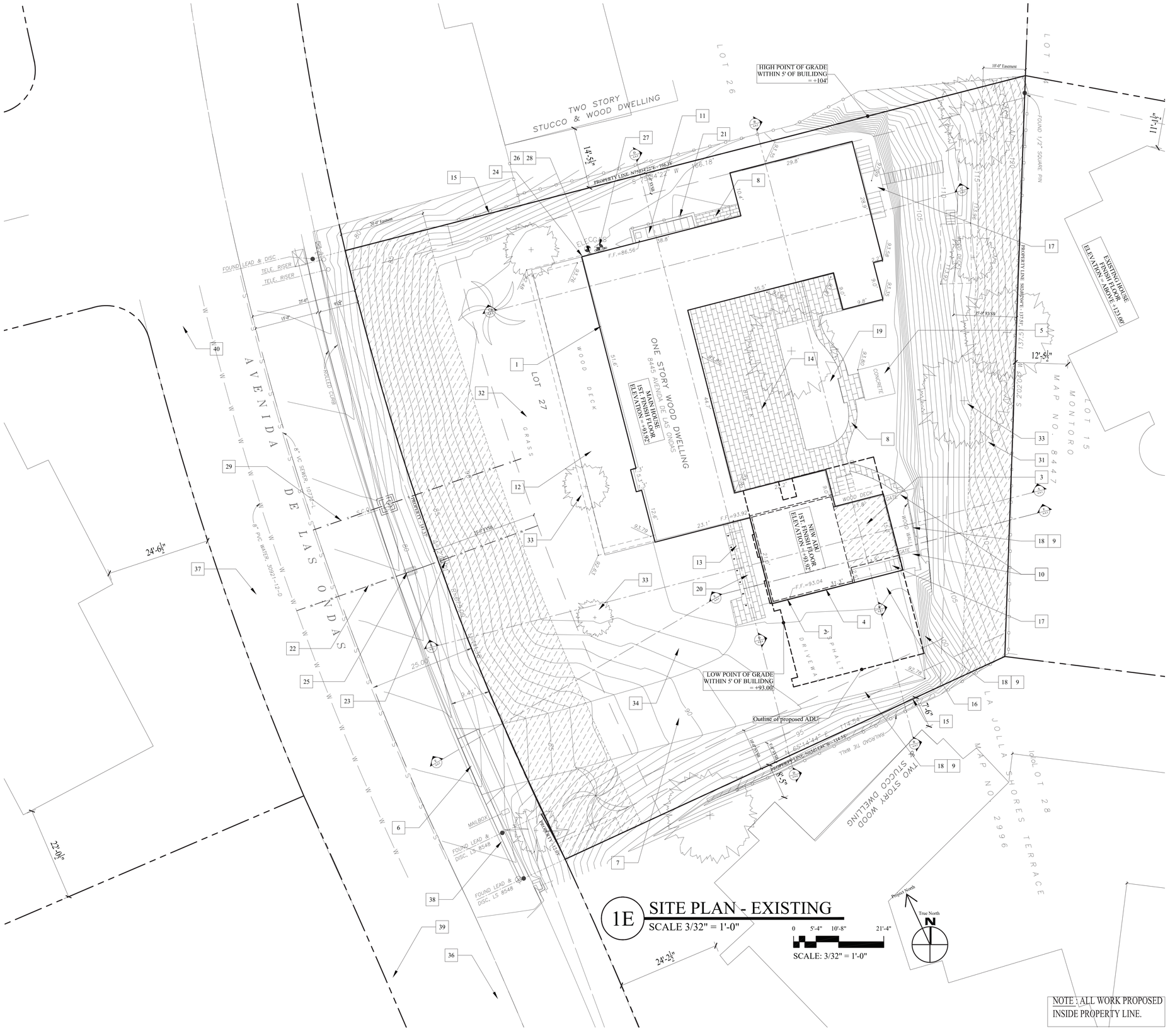
DRAWN BY MRM / JS / AP

DATE 03-20-2023

EXISTING SITE TOPOGRAPHIC PLAN

C-1.0

S:\Projects\2021-27 8445 Avenida De Las Ondas\CAD\Drawings\Architectural\Coastal Phase\Sheets\TOPO - 1.dwg, 10/4/2023 2:39:28 PM



1E SITE PLAN - EXISTING
SCALE 3/32" = 1'-0"

SITE LEGEND - Existing RESIDENTIAL

- OUTLINE OF EXISTING TWO STORY STRUCTURE - FIRST FLOOR OUTLINE
- OUTLINE OF EXISTING SECOND FLOOR WORKSHOP / OFFICE AREA
- OUTLINE OF EXISTING SECOND FLOOR MAIN RESIDENCE
- OUTLINE OF EXISTING GARAGE AREA
- OUTLINE OF EXISTING EASEMENT AREA - *(SEWER & ACCESS EASMENT ON PROPERTY)*
- AREA OF EXISTING HARDSCAPE
- AREA OF EXISTING SECOND FLOOR BALCONY - *(OPEN METAL TUBING FLOOR)*
- AREA OF VISIBILITY TRIANGLE - AT DRIVEWAY
- LS — EXISTING LANDSCAPE AREA
- PROPERTY LINE
- SITE DRAINAGE PATTERN
- DOWN SPOUT — ROOF DRAIN OUTLET - SEE FLOOR PLANS

SITE PLAN NOTES - EXISTING

A. The site plan is for informational and general site reference only. Refer to other construction documents for complete scope of work.
B. Before commencing any site foundation or slab cutting or excavation, the contractor shall verify and mark locations of all site utilities, dimensions and conditions. These include but are not limited to property lines, setback location to all new or existing walls, easements (if any), existing site utilities, including water, sewer, gas and electrical lines and any other new or existing site items which could affect in any way the construction of the building. Flag or otherwise mark all locations of site property lines, easements (if any), underground utilities, and indicate utility type.
C. The Contractor or subcontractor shall notify the Architect if any conflicts or discrepancy occurs between this information on this plan and actual field conditions. Do not proceed with work in conflict with these drawing until written or verbal instructions are issued by the Architect office.
D. Protect and mark all existing building structure including walls, beams, columns, area separation walls, and other items that are part of the existing structure and not part of the scope of the tenant improvement, and mark perimeter of construction zone.
E. Coordinate with other tenants the temporary shutoff of any site utilities, including but not limited to
F. The Architect doses not possess any plans or knowledge on the original building, structural, electrical or mechanical system.
G. For Proposed Site Work refer to sheet A-1.2

SITE PLAN KEYNOTES - EXISTING

SITE PLAN LEGEND - EXISTING
STRUCTURES
1. Outline of Existing Two-Story Residence - See Floor Plan on Sheet A-2.1
2. Outline of Existing Garage - See Floor Plans on Sheet A-2.1 - To be Demolished
3. Outline of Existing Second Floor Office/Workshop - See Floor Plan on Sheet A-2.1 - To be Demolished
4. Dashed Outline of Proposed Addition- see A-1.2

SITE IMPROVEMENTS
5. Existing Concrete Sidewalk - None
6. Existing Curb Cut for Driveway - To be Demolished and Replaced
7. Existing Asphalt Driveway - To Remain
8. Existing Concrete Site Walkway - To Remain
9. Existing Site Wall - To Removed
10. Existing Gate - To be Removed
11. Existing Site Stairs - To Remain
12. Existing Site Raised Wood Patio - To Remain
13. Existing Covered Entry Trellis - To be Removed
14. Existing Site Hardscape -To Remain
15. Existing Site Fence - To Remain
16. Existing Site Trash Area - To be Relocated
17. Existing Site Raised Wood Stairs - To be Removed
18. Existing Site Wood Retaining Wall - To be Removed
19. Existing Site Landscape - To be Replaced
20. Proposed Hardscape Area of addition or site item - To be cleared
21. Existing Railing - To Remain - Verify 42" Height

SITE UTILITIES
22. Existing Water Service Lateral - 1 inch - To Remain (Verify Location)
23. Existing Water Service Back Flow Preventer - To Remain
24. Existing Water Shut Off Valve - To Remain
25. Existing Water Meter - To Remain
26. Existing Electric Meter -200 Amp Service - To Remain
27. Existing Gas Meter - To Remain
28. Existing Telephone Service Box - To Remain
29. Existing 4 Inch Sewer Lateral - To Remain - (Verify Location In Field)
30. Not Used

SITE LANDSCAPE
31. Existing Non-Irrigated Landscape Area - To Remain
32. Existing Site Irrigated Landscaping - To Remain
33. Existing Tree - To Remain
34. Existing Landscape - To Be Removed and Replaced with New
35. Not Used

OFF-SITE ITEMS
36. Existing Standard Fire Hydrant - 105 ft to Southwest
37. Existing Concrete Paved Street - To Remain
38. Existing Concrete Curb - To Remain
39. Existing 4" Under-curb Drain Outlet - 275 ft to Southwest
40. Existing Bus Stop - At La Jolla Shores Blvd. - 645 ft to Northwest
41. Not Used

Marengo Morton Architects
7724 Girard Ave.
Second Floor
La Jolla, CA 92037
Tel. (858) 459-3769
Fax. (858) 459-3768
Michael Morton AIA
Claude Anthony Marengo DESA

03-20-2022

LICENSED ARCHITECT
MICHAEL RENE MORTON
C-19371
RENEWAL
04/30/2025
STATE OF CALIFORNIA
Michael Morton AIA

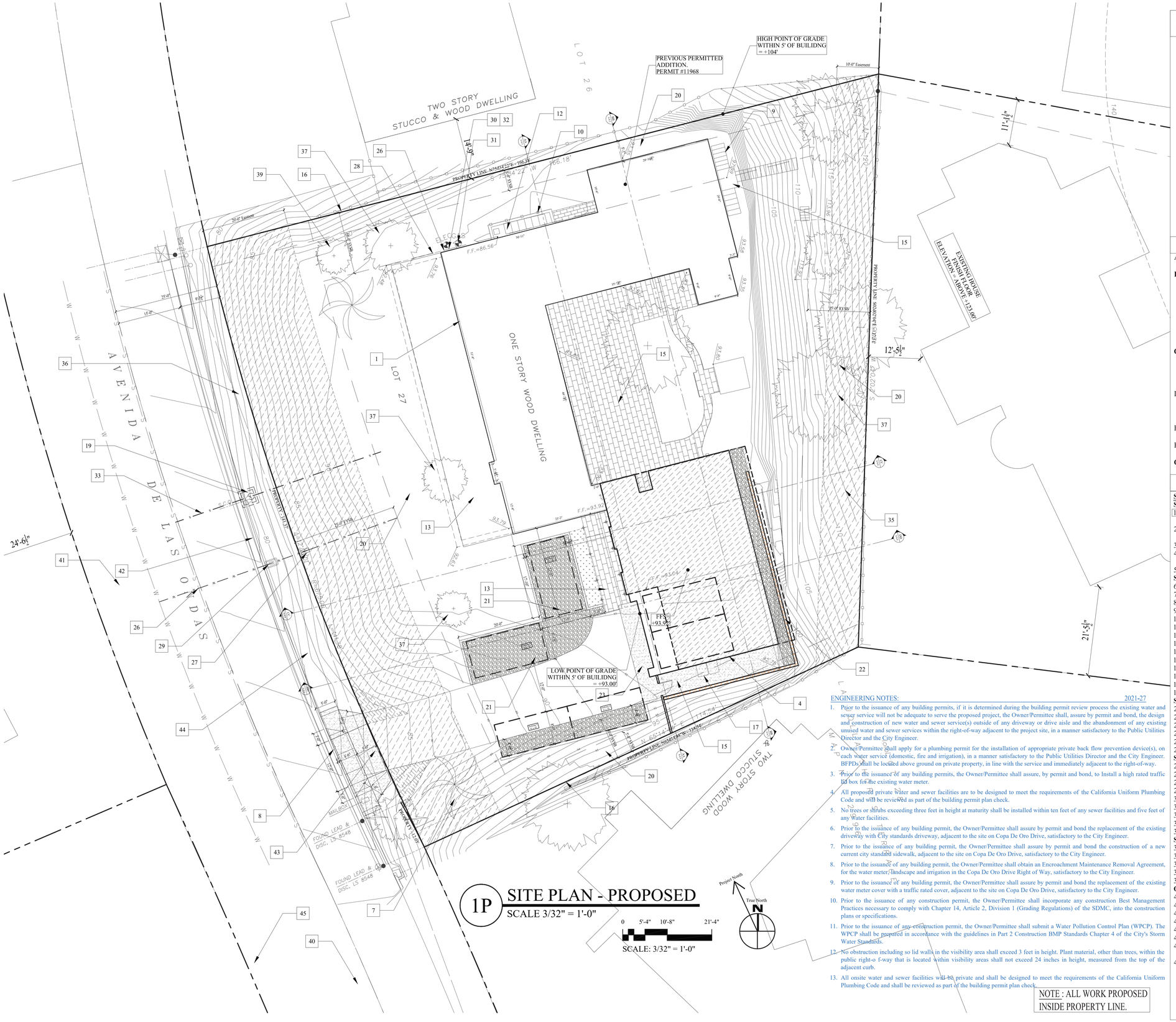
PRIVATE RESIDENCE REMODEL
8445 Avenida De Las Ondas
La Jolla, CA 92037

REVISIONS
C CLIENT REVISIONS - 10-01-2021
D COASTAL SUBMITTAL - 01-14-2022
E LJSPDO PRESENTATION - 06/20/2022
F CYCLES RESPONSES - 08-22-2022
G CYCLES RESPONSES - 10-28-2022
H CYCLES RESPONSES - 03-20-2023
I CYCLES RESPONSES - 07-31-2023
J CYCLES RESPONSES - 10-04-2023

PHASE COASTAL DEVELOPMENT PHASE
PROJECT NO. 2021-27
REVIEWED BY MRM
DRAWN BY MRM / JS / AP
DATE 03-20-2023

SITE PLAN EXISTING

A-1.1



1P SITE PLAN - PROPOSED

SCALE 3/32" = 1'-0"

0 5'-4" 10'-8" 21'-4"

SCALE: 3/32" = 1'-0"

Project North / True North

SITE LEGEND - Proposed RESIDENTIAL

- OUTLINE OF EXISTING TWO STORY STRUCTURE - FIRST FLOOR OUTLINE
- OUTLINE OF PROPOSED SECOND FLOOR COMPANION UNIT AREA
- OUTLINE OF EXISTING SECOND FLOOR
- OUTLINE OF EXISTING GARAGE AREA
- OUTLINE OF EXISTING EASEMENT AREA - *(NONE FOR THIS PROPERTY)*
- AREA OF EXISTING HARDSCAPE
- AREA OF EXISTING SECOND FLOOR BALCONY - *(OPEN METAL TUBING FLOOR)*
- AREA OF VISIBILITY TRIANGLE - AT DRIVEWAY
- SITE DRAINAGE PATTERN
- LS — EXISTING / PROPOSED NEW LANDSCAPE AREA

SITE PLAN NOTES - PROPOSED

A. The site plan is for informational and general site reference only. Refer to other construction documents for complete scope of work.

B. Before commencing any site foundation or slab cutting or excavation, the contractor shall verify and mark locations of all site utilities, dimensions and conditions. These include but are not limited to property lines, setback location to all new or existing walls, easements (if any), existing site utilities, including water, sewer, gas and electrical lines and any other new or existing site items which could affect in any way the construction of the building. Flag or otherwise mark all locations of site property lines, easements (if any), underground utilities, and indicate utility type.

C. The Contractor or subcontractor shall notify the Architect if any conflicts or discrepancy occurs between this information on this plan and actual field conditions. Do not proceed with work in conflict with these drawing until written or verbal instructions are issued by the Architect office.

D. Protect and mark all existing building structure including walls, beams, columns, area separation walls, and other items that are part of the existing structure and not part of the scope of the tenant improvement, and mark perimeter of construction zone.

E. Coordinate with other tenants the temporary shutoff of any site utilities, including but not limited to

F. The Architect doses not possess any plans or knowledge on the original building, structural, electrical or mechanical system.

G. For Proposed Site Work refer to sheet A-1.2

SITE PLAN KEYNOTES - PROPOSED

SITE PLAN KEYNOTES - PROPOSED 2021-27

STRUCTURES

1. Outline of Existing /New Two-Story Residence - See Proposed Floor Plan on Sheet A-2.2
2. Outline of New Two Car Garage - See Proposed Floor Plans on Sheet A-2.2
3. Outline New Second Floor Plan - See Floor Plan on Sheet A-2.3
4. Proposed New Second Story ADU Unit - Habitable Space - See Plan on Sheet A-2.2 &A-2.3
5. Not Used

SITE IMPROVEMENTS

6. Existing Concrete Sidewalk - None
7. New Concrete Curb Cut - Per City Standard
8. Existing Asphalt Driveway - To Remain
9. New Concrete Site Walkway - To Remain
10. New Site Wall - See New Detail
11. New Site Gate - 6 Foot High - Per Detail
12. New Site Stairs - See Proposed Floor Plan
13. New Site Raised Patio - Per Proposed Floor Plan
14. New Covered Entry Trellis - Per Detail
15. New Site Hardscape - 6' High - Per Detail
16. New Site Fence - 6' High Per Sheet A-1.4
17. New Site Trash Area - Per Sheet A-1.4
18. New Site Retaining Wall - Per Hardscape Plan A-1.4
19. Not Used

SITE IMPROVEMENTS - NEW ITEMS

20. New Trench Drain - connected to existing site drainage line - Per Detail
21. New Site Landscaping - To be irrigated with irrigation timer
22. (2) New Proposed Parking Spaces - Parking in Turf Block Area
23. New Site Retaining Wall - 4 Feet High Max. - Per Detail
24. New Concrete Site Walkway - Per Detail
25. Not Used

SITE UTILITIES

26. Existing Water Service Lateral - 1 inch - To Remain (Verify Location)
27. Existing Water Service Back Flow Preventer - To Remain
28. Existing Water Shut Off Valve - To Remain
29. Existing Water Meter - To Remain
30. Existing Electric Meter -200 Amp Service - To Remain
31. Existing Gas Meter - To Remain
32. Existing Telephone Service Box - To Remain
33. Existing 4 Inch Sewer Lateral - To Remain - (Verify Location In Field)
34. Not Used

SITE LANDSCAPE

35. Existing Non-Irrigated Landscape Area - To Remain
36. Existing Site Shrubs - To Remain
37. Existing Tree - To Remain
38. New Irrigated Landscape Area - See Landscape Plan
39. Not Used

OFF-SITE ITEMS

40. Existing Standard Fire Hydrant - 105 feet to Southwest
41. Existing Concrete Paved Street - To Remain
42. Existing Concrete Curb - To Remain
43. New Conc. Curb Cut & Driveway - Per Current City Standard - SDG 15
44. New Concrete Sidewalk - Per Current City Standard-5
45. Existing 4" Under-curb Drain Outlet - 275 ft to Southwest - To Remain
46. Existing Adjacent Parking Space - Off Street Parking Area in adjacent street frontage
47. Not Used

ENGINEERING NOTES: 2021-27

1. Prior to the issuance of any building permits, if it is determined during the building permit review process the existing water and sewer service will not be adequate to serve the proposed project, the Owner/Permittee shall, assure by permit and bond, the design and construction of new water and sewer service(s) outside of any driveway or drive aisle and the abandonment of any existing unused water and sewer services within the right-of-way adjacent to the project site, in a manner satisfactory to the Public Utilities Director and the City Engineer.
2. Owner/Permittee shall apply for a plumbing permit for the installation of appropriate private back flow prevention device(s), on each water service (domestic, fire and irrigation), in a manner satisfactory to the Public Utilities Director and the City Engineer. BFPDs shall be located above ground on private property, in line with the service and immediately adjacent to the right-of-way.
3. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, to Install a high rated traffic lid box for the existing water meter.
4. All proposed private water and sewer facilities are to be designed to meet the requirements of the California Uniform Plumbing Code and will be reviewed as part of the building permit plan check.
5. No trees or shrubs exceeding three feet in height at maturity shall be installed within ten feet of any sewer facilities and five feet of any water facilities.
6. Prior to the issuance of any building permit, the Owner/Permittee shall assure by permit and bond the replacement of the existing driveway with City standards driveway, adjacent to the site on Copa De Oro Drive, satisfactory to the City Engineer.
7. Prior to the issuance of any building permit, the Owner/Permittee shall assure by permit and bond the construction of a new current city standard sidewalk, adjacent to the site on Copa De Oro Drive, satisfactory to the City Engineer.
8. Prior to the issuance of any building permit, the Owner/Permittee shall obtain an Encroachment Maintenance Removal Agreement, for the water meter, landscape and irrigation in the Copa De Oro Drive Right of Way, satisfactory to the City Engineer.
9. Prior to the issuance of any building permit, the Owner/Permittee shall assure by permit and bond the replacement of the existing water meter cover with a traffic rated cover, adjacent to the site on Copa De Oro Drive, satisfactory to the City Engineer.
10. Prior to the issuance of any construction permit, the Owner/Permittee shall incorporate any construction Best Management Practices necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the SDMC, into the construction plans or specifications.
11. Prior to the issuance of any construction permit, the Owner/Permittee shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be prepared in accordance with the guidelines in Part 2 Construction BMP Standards Chapter 4 of the City's Storm Water Standards.
12. No obstruction including so lid walls in the visibility area shall exceed 3 feet in height. Plant material, other than trees, within the public right-o f-way that is located within visibility areas shall not exceed 24 inches in height, measured from the top of the adjacent curb.
13. All onsite water and sewer facilities will be private and shall be designed to meet the requirements of the California Uniform Plumbing Code and shall be reviewed as part of the building permit plan check.

NOTE : ALL WORK PROPOSED INSIDE PROPERTY LINE.

Marengo Morton Architects
7724 Girard Ave.
Second Floor
La Jolla, CA 92037
Tel. (858) 459-3769
Fax. (858) 459-3768
Michael Morton AIA
Claude Anthony Marengo DESA

03-20-2022

LICENSED ARCHITECT MICHAEL RENE MORTON C-19371 RENEWAL 04/30/2025 STATE OF CALIFORNIA

Michael Morton AIA

PRIVATE RESIDENCE REMODEL

8445 Avenida De Las Ondas
La Jolla, CA 92037

REVISIONS
C CLIENT REVISIONS - 10-01-2021
D COASTAL SUBMITTAL - 01-14-2022
E LJSPDO PRESENTATION - 06/20/2022
F CYCLES RESPONSES - 08-22-2022
G CYCLES RESPONSES - 10-28-2022
H CYCLES RESPONSES - 03-20-2023
I CYCLES RESPONSES - 07-31-2023
J CYCLES RESPONSES - 10-04-2023

PHASE COASTAL DEVELOPMENT PHASE

PROJECT NO. 2021-27

REVIEWED BY MRM

DRAWN BY MRM / JS / AP

DATE 03-20-2023

SITE PLAN PROPOSED

A-1.2

1E SITE PLAN - 300ft. SURVEY

SCALE 1/32" = 1'-0"

NOTE: ALL WORK PROPOSED INSIDE PROPERTY LINE.

MARENGO MORTON ARCHITECTS, INC
7724 Girard Avenue, Suite 200
La Jolla CA 92037
Telephone : (858) 459-3769
Fax: (858) 459-3768

La Jolla Shores Setback Analysis

For 8445 Paseo De Las Ondas, La Jolla, CA 92037

	Parcel Number	Site Address	City	State	Zip	Year Built	Gross Area	Lot Area	FAR	Front Setback	Right Side Setback	Left Side Setback	Rear Setback	Street Side Setback	Number of Stories
1	346-110-02-00	8530 Avenida De Las Ondas	LA JOLLA	CA	92037	2000	5,464	20,299	17%	7.83	6.41	12.08	81.31		1
2	346-110-01-00	8520 Avenida De Las Ondas	LA JOLLA	CA	92037	1989	5,385	20,824	16%	2.25	10.50	3.88	90.96		2
3	346-132-02-00	8834 Avenida De Las Ondas	LA JOLLA	CA	92037	1954	1,921	20,762	9%	27.17	8.88	23.54	45.04		1
4	346-132-03-00	8924 Avenida De Las Ondas	LA JOLLA	CA	92037	1954	2,891	20,276	14%	28.46	9.09	2.23	54.25		2
5	346-132-04-00	8414 Avenida De Las Ondas	LA JOLLA	CA	92037	1956	2,283	23,086	10%	33.46	32.67	8.54	28.42		1
6	346-132-07-00	8435 Avenida De Las Ondas	LA JOLLA	CA	92037	1954	2,484	20,336	19%	10.46	28.71	15.33	49.29		1
7	346-132-08-00	8425 Avenida De Las Ondas	LA JOLLA	CA	92037	1953	2,634	25,264	10%	23.16	11.54	18.25	66.17		1
8	346-132-09-00	8435 Avenida De Las Ondas	LA JOLLA	CA	92037	2014	5,650	22,213	25%	34.23	8.42	1.83	1.00		2
9	**346-132-10-00**	**8445 Avenida De Las Ondas**	LA JOLLA	CA	92037	1955	2,787	20,175	14%	25.00	10.00	5.00	15.00		2
10	346-132-11-00	8501 Avenida De Las Ondas	LA JOLLA	CA	92037	1975	5,062	20,241	25%	25.29	6.29	14.46	89.88		2
11	346-116-13-00	8511 Avenida De Las Ondas	LA JOLLA	CA	92037	1955	2,411	17,574	14%	76.42	4.17	27.85	52.75		1
12	346-116-18-00	8521 Avenida De Las Ondas	LA JOLLA	CA	92037	1975	3,519	23,086	15%	78.08	3.79	9.21	30.29		2
13	346-102-08-00	2330 Calle Corta	LA JOLLA	CA	92037	2002	2,123	6,703	32%	20.33	2.58	9.96	27.70		1
14	346-120-15-00	2331 Calle Corta	LA JOLLA	CA	92037	1953	1,586	7,475	21%	23.62	2.67	3.21	20.81		1
15	346-102-09-00	2340 Calle Corta	LA JOLLA	CA	92037	1952	1,416	7,505	19%	16.96	6.79	5.58	45.42		1
16	346-120-16-00	2341 Calle Corta	LA JOLLA	CA	92037	1953	1,687	9,798	17%	11.58	7.54	12.58	35.62		1
17	346-131-01-00	2350 Calle Corta	LA JOLLA	CA	92037	1990	5,953	20,301	29%	37.37	24.71	13.37	7.79		1
18	346-132-03-00	2351 Calle Corta	LA JOLLA	CA	92037	1990	8,305	20,855	16%	24.54	14.08	27.04	40.46		1
19	346-120-13-00	2337 Calle Corta	LA JOLLA	CA	92037	-	4,131	31,798	13%	1.87	3.87	178.33	36.17		2
20	346-102-07-00	2335 Camino Del Collado	LA JOLLA	CA	92037	1980	2,793	8,525	33%	17.17	6.08	3.08	12.87		1
21	346-130-10-00	2360 Calle Del Oro	LA JOLLA	CA	92037	1955	5,079	24,393	13%	6.71	54.54	10.92	26.08		1
22	346-690-03-00	8456 Westway Drive	LA JOLLA	CA	92037	2000	5,264	20,096	26%	13.42	18.83	11.33	30.79		2
23	346-690-02-00	8476 Westway Drive	LA JOLLA	CA	92037	1973	6,366	20,082	31%	20.87	1.96	2.23	52.37		2
24	346-690-01-00	8496 Westway Drive	LA JOLLA	CA	92037	1981	2,776	19,474	14%	15.42	9.58	20.21	64.75		1
25	346-831-39-00	0 Ruette Monte Carlo	LA JOLLA	CA	92037			19,953							0
26	346-831-13-00	8508 Ruette Monte Carlo	LA JOLLA	CA	92037	2009	9,766	21,087	68%	7.71	13.08	45.29	45.29		3
27	346-831-14-00	8518 Ruette Monte Carlo	LA JOLLA	CA	92037	1988	8,988	14,057	68%	2.00	0.87	7.00	5.66		3
28	346-831-12-00	8528 Ruette Monte Carlo	LA JOLLA	CA	92037	1990	6,924	14,865	47%	2.33	13.12	21.75	12.46		2
29	346-831-21-00	8538 Ruette Monte Carlo	LA JOLLA	CA	92037	1988	10,113	15,389	68%	4.83	5.08	8.50	25.92		2
30	346-831-11-00	8548 Ruette Monte Carlo	LA JOLLA	CA	92037	1995	5,859	19,765	23%	17.67	7.87	1.42	27.20		2
31	346-831-45-00	8040 Ruette Monte Carlo	LA JOLLA	CA	92037	2004	6,761	19,383	47%	41.51	5.04	24.41	14.79		2
															Total Two-Stories
															%of Two Stories
Setback Averages			**31**			**Properties with in 300 feet**		4,008.45	18,598.23	22%	**20.28**	10.75	17.28	39.64	0.00%
			17			**Properties along Paseo Del Ocaso**					**13.53**	**11.09**	**22.59**	**28.45**	
Letter	Parcel Number	Site Address	City	State	Zip	Year Built	Gross Area	Lot Area	FAR	Front Setback	Right Side Setback	Left Side Setback	Rear Setback	Street Side Setback	Number of Stories

* New homes to be built

SITE LEGEND - Existing RESIDENTIAL

- OUTLINE OF EXISTING TWO STORY STRUCTURE - FIRST FLOOR OUTLINE
- OUTLINE OF EXISTING SECOND FLOOR WORKSHOP / OFFICE AREA
- OUTLINE OF EXISTING SECOND FLOOR MAIN RESIDENCE
- OUTLINE OF EXISTING GARAGE AREA
- OUTLINE OF EXISTING EASEMENT AREA - *(SEWER & ACCESS EASMENT ON PROPERTY)*
- AREA OF EXISTING HARDSCAPE
- AREA OF EXISTING SECOND FLOOR BALCONY - *(OPEN METAL TUBING FLOOR)*
- AREA OF VISIBILITY TRIANGLE - AT DRIVEWAY
- LS — EXISTING LANDSCAPE AREA
- PROPERTY LINE
- SITE DRAINAGE PATTERN
- DOWNSPOUT / RD SD — ROOF DRAIN OUTLET - SEE FLOOR PLANS

SITE PLAN NOTES - EXISTING

A. The site plan is for informational and general site reference only. Refer to other construction documents for complete scope of work.

B. Before commencing any site foundation or slab cutting or excavation, the contractor shall verify and mark locations of all site utilities, dimensions and conditions. These include but are not limited to property lines, setback location to all new or existing walls, easements (if any), existing site utilities, including water, sewer, gas and electrical lines and any other new or existing site items which could affect in any way the construction of the building. Flag or otherwise mark all locations of site property lines, easements (if any), underground utilities, and indicate utility type.

C. The Contractor or subcontractor shall notify the Architect if any conflicts or discrepancy occurs between this information on this plan and actual field conditions. Do not proceed with work in conflict with these drawing until written or verbal instructions are issued by the Architect office.

D. Protect and mark all existing building structure including walls, beams, columns, area separation walls, and other items that are part of the existing structure and not part of the scope of the tenant improvement, and mark perimeter of construction zone.

E. Coordinate with other tenants the temporary shutoff of any site utilities, including but not limited to

F. The Architect doses not possess any plans or knowledge on the original building, structural, electrical or mechanical system.

G. For Proposed Site Work refer to sheet A-1.2

SITE PLAN KEYNOTES - EXISTING

SITE PLAN LEGEND - EXISTING

STRUCTURES

1. Outline of Existing Two-Story Residence - See Floor Plan on Sheet A-2.1
2. Outline of Existing Garage - See Floor Plans on Sheet A-2.1 - To be Demolished
3. Outline of Existing Second Floor Office/Workshop - See Floor Plan on Sheet A-2.1 - To be Demolished
4. Dashed Outline of Proposed Addition- see A-1.2

SITE IMPROVEMENTS

5. Existing Concrete Sidewalk - None
6. Existing Curb Cut for Driveway - To be Demolished and Replaced
7. Existing Asphalt Driveway - To Remain
8. Existing Concrete Site Walkway - To Remain
9. Existing Site Wall - To Removed
10. Existing Gate - To be Removed
11. Existing Site Stairs - To Remain
12. Existing Site Raised Wood Patio - To Remain
13. Existing Covered Entry Trellis - To be Removed
14. Existing Site Hardscape -To Remain
15. Existing Site Fence - To Remain
16. Existing Site Trash Area - To be Relocated
17. Existing Site Raised Wood Stairs - To be Removed
18. Existing Site Wood Retaining Wall - To be Removed
19. Existing Site Landscape - To be Replaced
20. Proposed Hardscape Area of addition or site item - To be cleared
21. Existing Railing - To Remain - Verify 42" Height

SITE UTILITIES

22. Existing Water Service Lateral - 1 inch - To Remain (Verify Location)
23. Existing Water Service Back Flow Preventer - To Remain
24. Existing Water Shut Off Valve - To Remain
25. Existing Water Meter - To Remain
26. Existing Electric Meter -200 Amp Service - To Remain
27. Existing Gas Meter - To Remain
28. Existing Telephone Service Box - To Remain
29. Existing 4 Inch Sewer Lateral - To Remain - (Verify Location In Field)
30. Not Used

SITE LANDSCAPE

31. Existing Non-Irrigated Landscape Area - To Remain
32. Existing Site Irrigated Landscaping - To Remain
33. Existing Tree - To Remain
34. Existing Landscape - To Be Removed and Replaced with New
35. Not Used

OFF-SITE ITEMS

36. Existing Standard Fire Hydrant - 105 ft to Southwest
37. Existing Concrete Paved Street - To Remain
38. Existing Concrete Curb - To Remain
39. Existing 4" Under-curb Drain Outlet - 275 ft to Southwest
40. Existing Bus Stop - At La Jolla Shores Blvd. - 645 ft to Northwest
41. Not Used

Marengo Morton Architects
7724 Girard Ave.
Second Floor
La Jolla, CA 92037
Tel. (858) 459-3769
Fax. (858) 459-3768
Michael Morton AIA
Claude Anthony Marengo DESA

03-20-2022

LICENSED ARCHITECT
MICHAEL RENE MORTON AIA
C-19371
RENEWAL
04/30/2025
STATE OF CALIFORNIA

PRIVATE RESIDENCE REMODEL

8445 Avenida De Las Ondas
La Jolla, CA 92037

REVISIONS
C CLIENT REVISIONS - 10-01-2021
D COASTAL SUBMITTAL - 01-14-2022
E LJSPDO PRESENTATION - 06/20/2022
F CYCLES RESPONSES - 08-22-2022
G CYCLES RESPONSES - 10-28-2022
H CYCLES RESPONSES - 03-20-2023
I CYCLES RESPONSES - 07-31-2023
J CYCLES RESPONSES - 10-04-2023

PHASE COASTAL DEVELOPMENT PHASE

PROJECT NO. 2021-27

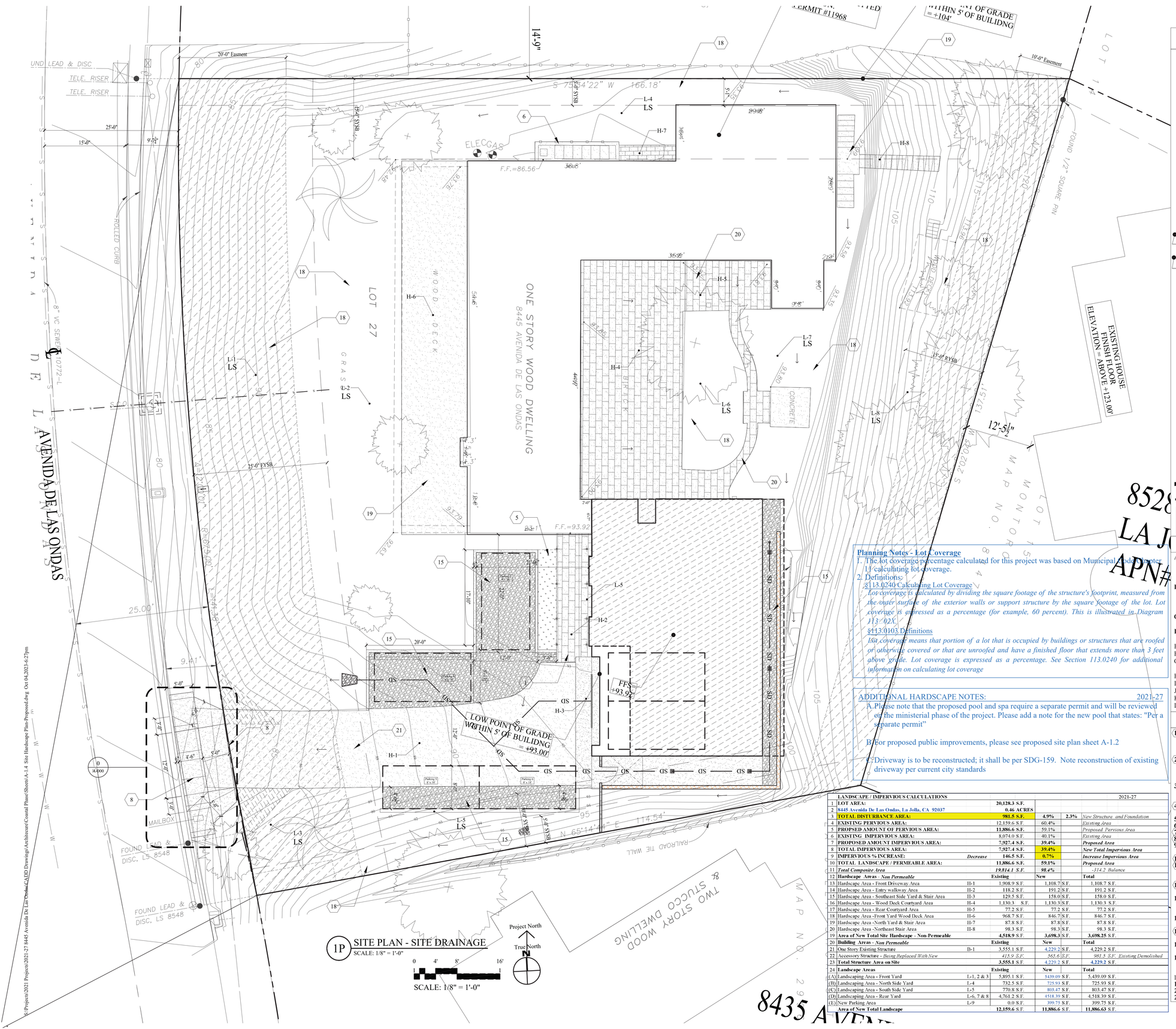
REVIEWED BY MRM

DRAWN BY MRM / JS / AP

DATE 03-20-2023

SITE PLAN EXISTING

A-1.3



1P SITE PLAN - SITE DRAINAGE

HARDSCAPE LEGEND

RESIDENTIAL

- NEW SITE WALL - SEE PLAN FOR TYPE
- NEW CONCRETE HARDSCAPE
- NEW STONE / TILE HARDSCAPE
- NEW STONE FLATWORK
- L.S. — NEW LANDSCAPE AREA
- R.L.S. — RAISED LANDSCAPE / PLANTER AREA
- NEW PERMEABLE GRAVEL AREA
- T. O. W. ELEV. +000.00' — T.O.W. (TOP OF WALL SPOT ELEVATION)
- B. O. W. ELEV. +000.00' — B.O.W. (BOTTOM OF WALL SPOT ELEVATION)
- LINEAR DECK DRAIN
- L.A.D. — ROUND LANDSCAPE AREA DRAIN (3 / A-10.1.7)
- LINEAR LANDSCAPE OR TRENCH DRAIN
- CLEANOUT — SITE SUBTERRANEAN DRAINAGE LINE - 3" DIA. PVC LINE, SLOPED ¼" PER 12"
- ROOF DRAIN OR DECK DRAIN OUTFALL - SITE DRAINAGE
- DIRECTION OF FLOW - DRAINAGE
- DIRECTION OF SLOPE (GRADE)
- 3' DIAMETER X 7' DEEP FLOW WELL (FOR COLLECTION OF SITE STORM WATER FOR BELOW GRADE PERCOLATION IN SOIL)
- DRAIN LINE DAYLIGHT LOCATION WITH GRAVEL ENERGY DISSIPATER
- 90.0' — EXISTING CONTOURS
- 91.0' — PROPOSED CONTOURS
- SD — SD — SITE STORM DRAIN PIPING - PVC - 4" or 6" DIA.
- SD — SD — SUB-SURFACE DRAIN PIPING - PVC -6" or 4" PERFORATED
- AREA DRAIN - 24,18, or 9 inch Square Catch Basin - NDS - Green top

☒ USED ☐ NOT USED

Planning Notes - Lot Coverage

1. The lot coverage percentage calculated for this project was based on Municipal Code chapter 113 calculating lot coverage.
2. Definitions:

§113.0240 Calculating Lot Coverage

Lot coverage is calculated by dividing the square footage of the structure's footprint, measured from the outer surface of the exterior walls or support structure by the square footage of the lot. Lot coverage is expressed as a percentage (for example, 60 percent). This is illustrated in Diagram 113-02X.

§113.0103 Definitions

Lot coverage means that portion of a lot that is occupied by buildings or structures that are roofed or otherwise covered or that are unroofed and have a finished floor that extends more than 3 feet above grade. Lot coverage is expressed as a percentage. See Section 113.0240 for additional information on calculating lot coverage

ADDITIONAL HARDSCAPE NOTES: 2021-27

A. Please note that the proposed pool and spa require a separate permit and will be reviewed on the ministerial phase of the project. Please add a note for the new pool that states: "Per a separate permit"

B. For proposed public improvements, please see proposed site plan sheet A-1.2

C. Driveway is to be reconstructed; it shall be per SDG-159. Note reconstruction of existing driveway per current city standards

	LANDSCAPE / IMPERVIOUS CALCULATIONS					2021-27
1	**LOT AREA:**		**20,128.3 S.F.**			
2	**8445 Avenida De Las Ondas, La Jolla, CA 92037**		**0.46 ACRES**			
3	**TOTAL DISTURBANCE AREA:**		**981.5 S.F.**	**4.9%**	**2.3%**	*New Structure and Foundation*
4	**EXISTING PERVIOUS AREA:**		12,159.6 S.F.	60.4%		*Existing Area*
5	**PROPSED AMOUNT OF PERVIOUS AREA:**		**11,886.6 S.F.**	59.1%		*Proposed Pervious Area*
6	**EXISTING IMPERVIOUS AREA:**		8,074.0 S.F.	40.1%		*Existing Area*
7	**PROPOSED AMOUNT IMPERVIOUS AREA:**		**7,927.4 S.F.**	**39.4%**		*Proposed Area*
8	**TOTAL IMPERVIOUS AREA:**		**7,927.4 S.F.**	**39.4%**		*New Total Impervious Area*
9	**IMPERVIOUS % INCREASE:**	*Decrease*	**146.5 S.F.**	**0.7%**		*Increase Impervious Area*
10	**TOTAL LANDSCAPE / PERMEABLE AREA:**		**11,886.6 S.F.**	**59.1%**		*Proposed Area*
11	***Total Composite Area***		***19,814.1 S.F.***	***98.4%***		*-314.2 Balance*
12	**Hardscape Areas** - ***Non Permeable***		**Existing**	**New**		**Total**
13	Hardscape Area - Front Driveway Area	H-1	1,908.9 S.F.	1,108.7 S.F.		1,108.7 S.F.
14	Hardscape Area - Entry walkway Area	H-2	118.2 S.F.	191.2 S.F.		191.2 S.F.
15	Hardscape Area - Southeast Side Yard & Stair Area	H-3	129.5 S.F.	158.0 S.F.		158.0 S.F.
16	Hardscape Area - Wood Deck Courtyard Area	H-4	1,130.3 S.F.	1,130.3 S.F.		1,130.3 S.F.
17	Hardscape Area - Rear Courtyard Area	H-5	77.2 S.F.	77.2 S.F.		77.2 S.F.
18	Hardscape Area -Front Yard Wood Deck Area	H-6	968.7 S.F.	846.7 S.F.		846.7 S.F.
19	Hardscape Area -North Yard & Stair Area	H-7	87.8 S.F.	87.8 S.F.		87.8 S.F.
20	Hardscape Area -Northeast Stair Area	H-8	98.3 S.F.	98.3 S.F.		98.3 S.F.
19	**Area of New Total Site Hardscape** - **Non-Permeable**		**4,518.9** S.F.	**3,698.3** S.F.		**3,698.25** S.F.
20	**Building Areas** - ***Non Permeable***		**Existing**	**New**		**Total**
21	One Story Existing Structure	B-1	3,555.1 S.F.	4,229.2 S.F.		4,229.2 S.F.
22	Accessory Structure - *Being Replaced With New*		*415.9 S.F.*	*565.6 S.F.*		*981.5 S.F. Existing Demolished*
23	**Total Structure Area on Site**		**3,555.1** S.F.	4,229.2 S.F.		**4,229.2** S.F.
24	**Landscape Areas**		**Existing**	**New**		**Total**
(A)	Landscaping Area - Front Yard	L-1, 2 & 3	5,895.1 S.F.	5439.09 S.F.		5,439.09 S.F.
(B)	Landscaping Area - North Side Yard	L-4	732.5 S.F.	725.93 S.F.		725.93 S.F.
(C)	Landscaping Area - South Side Yard	L-5	770.8 S.F.	803.47 S.F.		803.47 S.F.
(D)	Landscaping Area - Rear Yard	L-6, 7 & 8	4,761.2 S.F.	4518.39 S.F.		4,518.39 S.F.
(E)	New Parking Area	L-9	0.0 S.F.	399.75 S.F.		399.75 S.F.
	Area of New Total Landscape		**12,159.6** S.F.	**11,886.6** S.F.		**11,886.63** S.F.

HARDSCAPE NOTES

A. **Written dimension shall take precedence over scaled dimensions and shall be verified on the site.** The Architect shall be notified immediately when any discrepancy is found. Do to proceed with work in question until directions are issued by the Architect.
B. **Typical Concrete Slab:** 5" thick concrete slab, 2500 P.S.I. concrete at 28 days, with #3 at 18 inches on center each way centered in slab. Pour slab on 2" sand bed. Provide weakened plane joints at 20'-0" O.C. maximum and expansion joints as shown or required.
C. **Verify finish level of concrete slabs where indicated to receive stone / tile finish.** Verify thickness of stone / tile and setting bed.
D. **For hardscape slabs adjacent to doorways dowel hardscape to building slab:** with #3 dowels @ 18", O. C. extending 18" both ways.
E. All concrete slabs shall slope away for structure a minimum of 2% (1/4" per foot)
F. Site Stairs shall have a 6" riser and a 12" tread. Unless noted otherwise on plans.
G. Concrete finish texture shall be - Medium "Sand" Finish, unless noted otherwise on plans.
H. Also reefer to Project Specifications for additional notes and requirements.
I. See sheet A-2.4, A-2.5 & A-2.6 for Proposed Floor Plans
J. E.J. Indicates expansion joint per detail 1/A-10.1
K. T.J. Indicates tooled joint per detail 1/A-10.1
L. For Site Gate Schedule see sheet 8.2

HARDSCAPE KEYNOTES

1. **New Hardscape w/ Stone/Tile Finish:** Provide an $8 / SF allowance for stone/tile material. Provide a crack isolation membrane above slab on grade. Provide a 4" thick concrete slab base per notes. At hardscape over basement, provide a waterproof membrane per Balcony Notes.
2. **Exposed Aggregate Concrete Slab W/ Integral Color:** Integral color by Davis Colors #5447 "Mesa Bluff" with exposed "pea" gravel finish. Slab shall be per note #3. Provide a sample of proposed aggregate, color and texture to Architect for approval prior to pour.
3. **Integral Color Concrete Slab: -** 5" thick 2,500 P.S.I. concrete minimum #4 rebar at 18 "o.c. each way at center of slab. Unless noted otherwise finish with medium broom finish. Integral color by Davis Colors #5447 "Mesa Bluff"
4. **Sand Bed -** Provide a 2-inch sand bed under new hardscape were poured over soil. Verify that sub-grade is compacted to 90%.
5. **New Landscape Area: -** See Landscape sheet for area to be landscaped - (AL-10.1)
6. **Site Walls -** See Architectural and Structural Details
7. **Weakened Plane Joint** (Tooled Joint - TJ)
8. **Expansion Joint** (Saw Cut or Expansion Joint with 1/4" felt separator - EJ)
9. **Balcony/ Trellis Drain**: Quick Drain USA PVC linear slot drain or equal (model LDBO48SS - 48 inch unit)
10. **Landscape Drain:** 6" round Green - *NDS* ABS connected to site drainage system.
11. **Storm Water Catch Basin:** 18" square - *NDS* - Catch Basin - Part of Site drain system (Model 1882) with standard (green) plastic grate, connect with site drainage system.
12. **Concealed Site Drainage System:** 4" diameter PVC schedule 40 drainpipe with 1/8" per foot slope. Layout pre plan
13. **Proposed Light Well - Per detail -** Provide a Fiberglas standing grate with hatch over opening - McNichol's, molded fiberglass grading (model number F24112C4L) or approved equal
14. **Trench Drain - Landscape:** NDS - Mini Channel Drain - Trench drain system (pre-sloped drain) with standard (green) plastic grate.
15. **Permeable gravel bed -**4" deep - ¾" gravel over 2" bed. Provide color and size sample for approval by Architect.
16. **Grass Crete Traffic Surface and Concrete curb -** Grass pave 2 - Fire Lane/Driving Area - Installed Per Manufacturer's Recommendation
17. **Flow Well** - By NDS - Model **FWAS24WH - 29"** x (2) part site storm water managements system (A) flow well with sump pump - (B) flow well with gravity drain to street curb - Connect to site storm drain system.
18. **Existing Landscape Area -** To Remain
19. **Existing Wood Deck** - To Remain
20. **Existing Brick Hardscape** - To Remain
21. **Existing Asphalt Driveway** - To Remain

Marengo Morton Architects
7724 Girard Ave.
Second Floor
La Jolla, CA 92037
Tel. (858) 459-3769
Fax. (858) 459-3768
Michael Morton AIA
Claude Anthony Marengo DESA

03-20-2022

LICENSED ARCHITECT MICHAEL RENE MORTON C-19371 RENEWAL 04/30/2025 STATE OF CALIFORNIA

Michael Morton AIA

PRIVATE RESIDENCE
REMODEL
8445 Avenida De Las Ondas
La Jolla, CA 92037

REVISIONS
C CLIENT REVISIONS - 10-01-2021
D COASTAL SUBMITTAL - 01-14-2022
E LJSPDO PRESENTATION - 06/20/2022
F CYCLES RESPONSES - 08-22-2022
G CYCLES RESPONSES - 10-28-2022
H CYCLES RESPONSES - 03-20-2023
I CYCLES RESPONSES - 07-31-2023
J CYCLES RESPONSES - 10-04-2023

PHASE COASTAL DEVELOPMENT PHASE

PROJECT NO. 2021-27

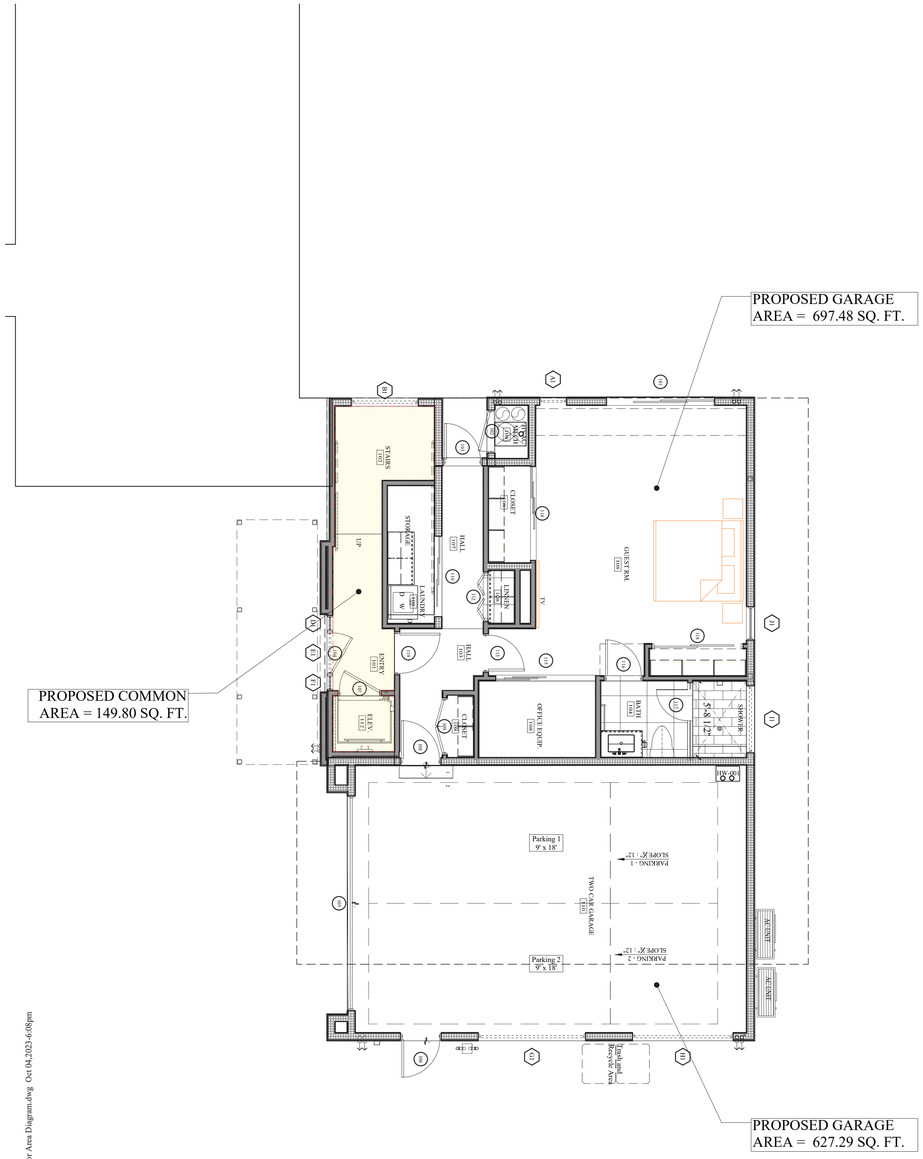
REVIEWED BY MRM

DRAWN BY MRM / JS / AP

DATE 03-20-2023

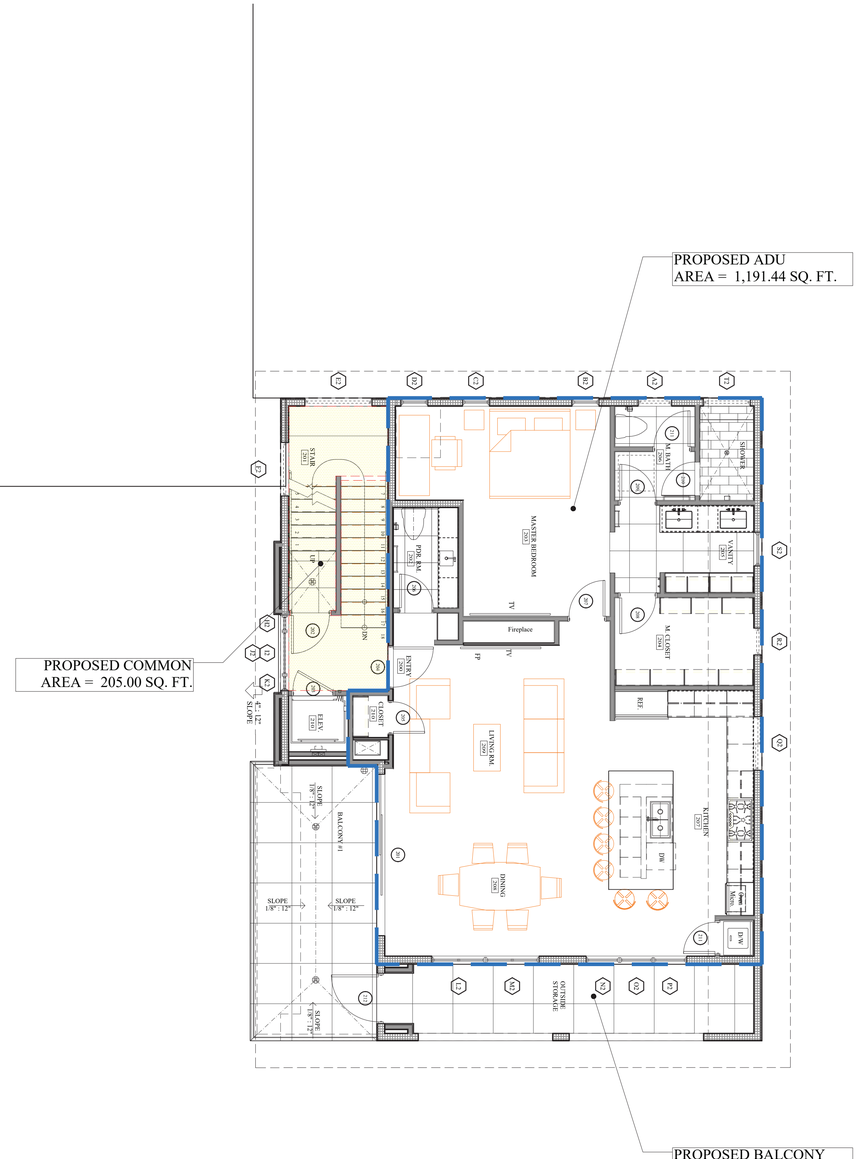
SITE HARDSCAPE & DRAINAGE PLAN PROPOSED

A-1.4



1E FIRST FLOOR PLAN - PROPOSED - AREA
SCALE

SCALE: 3/16" = 1'-0"



1E SECOND FLOOR PLAN - PROPOSED - AREA
SCALE

SCALE: 3/16" = 1'-0"

FIRST FLOOR AREA

Proposed First Floor Area =	**697.48 Sq. Ft.**
Proposed Common Area: =	**149.80 Sq. Ft.**
Proposed Garage Area: =	**627.29 Sq. Ft.**
Proposed First Floor Area =	**1,474.57 Sq. Ft.**

SECOND FLOOR AREA

Proposed Second Floor Area =	**1,191.44 Sq. Ft.**
Proposed Common Area: =	**205.00 Sq. Ft.**
Proposed Balcony Area: =	**357.26 Sq. Ft.**
Proposed Second Floor Area =	**1,753.70 Sq. Ft.**

SITE LEGEND

RESIDENTIAL

- OUTLINE OF EXISTING THREE STORY RESIDENCE - SECOND FLOOR OUTLINE - See Sheet A-2.2
- OUTLINE OF EXISTING RESIDENCE - THIRD FLOOR HABITABLE AREA - See Sheet A-2.3
- OUTLINE OF EXISTING RESIDENCE - LOWER LEVEL HABITABLE AREA - See Sheet A-2.1
- OUTLINE OF EXISTING GARAGE AREA - SECOND FLOOR - See Sheet A-2.2
- OUTLINE OF PROPOSED NEW FIRST /SECOND FLOOR ADDITION AREA - See Proposed Site Plan - A-1.2
- AREA OF EXISTING SECOND & THIRD FLOOR BALCONY
- AREA OF VISIBILITY TRIANGLE - AT DRIVEWAY
- SITE DRAINAGE PATTERN
- LS LANDSCAPE AREA

AREA TABULATIONS

FIRST FLOOR AREA

Proposed First Floor Area =	**697.48 Sq. Ft.**
Proposed Common Area: =	**149.80 Sq. Ft.**
Proposed Garage Area: =	**627.29 Sq. Ft.**
Proposed First Floor Area =	**1,474.57 Sq. Ft.**

SECOND FLOOR AREA

Proposed Second Floor Area =	**1,191.44 Sq. Ft.**
Proposed Common Area: =	**205.00 Sq. Ft.**
Proposed Balcony Area: =	**357.26 Sq. Ft.**
Proposed Second Floor Area =	**1,753.70 Sq. Ft.**

AREA TABULATION LEGEND

- AREA OF PROPOSED HABITABLE AREA
- AREA OF COMMON AREA
- AREA OF GARAGE / BALCONY
- AREA OF ADU 1,191.44 SF

Marengo Morton Architects
7724 Girard Ave.
Second Floor
La Jolla, CA 92037
Tel. (858) 459-3769
Fax. (858) 459-3768
Michael Morton AIA
Claude Anthony Marengo DESA

03-20-2022

LICENSED ARCHITECT MICHAEL RENE MORTON C-19371 RENEWAL 04/30/2025 STATE OF CALIFORNIA

Michael Morton AIA

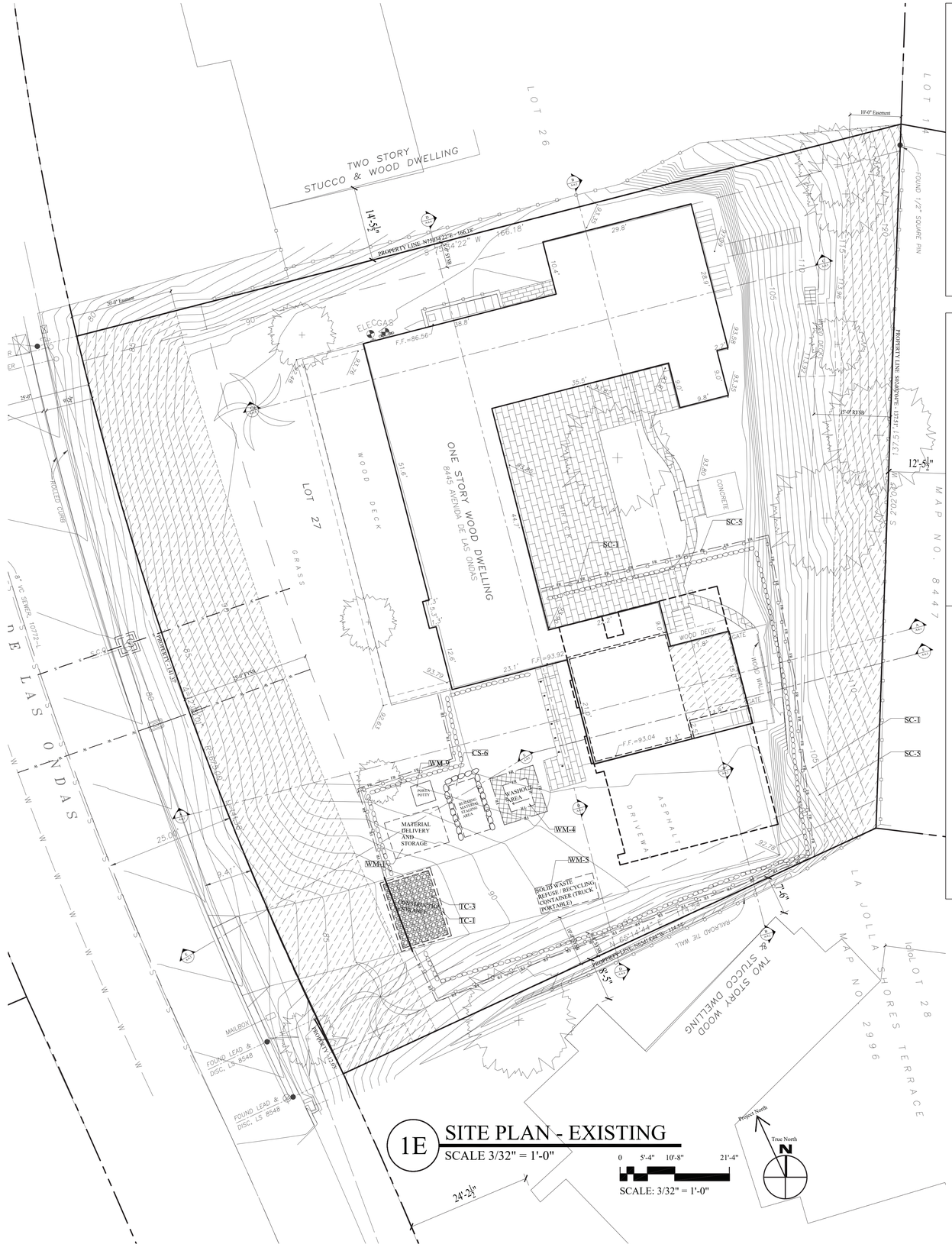
PRIVATE RESIDENCE
REMODEL
8445 Avenida De Las Ondas
La Jolla, CA 92037

REVISIONS
C CLIENT REVISIONS - 10-01-2021
D COASTAL SUBMITTAL - 01-14-2022
E LJSPDO PRESENTATION - 06/20/2022
F CYCLES RESPONSES - 08-22-2022
G CYCLES RESPONSES - 10-28-2022
H CYCLES RESPONSES - 03-20-2023
I CYCLES RESPONSES - 07-31-2023
J CYCLES RESPONSES - 10-04-2023

PHASE COASTAL DEVELOPMENT PHASE
PROJECT NO. 2021-27
REVIEWED BY MRM
DRAWN BY MRM / JS / AP
DATE 03-20-2023

FIRST & SECOND FLOOR AREA DIAGRAM

A-1.5



1E **SITE PLAN - EXISTING**
SCALE 3/32" = 1'-0"

NOTE : ALL WORK PROPOSED INSIDE PROPERTY LINE.

Source Control BMP Checklist for Standard Projects — Form I-4A

All development projects must implement source control BMPs. Refer to Chapter 4 and Appendix E of the BMP Design Manual for information to implement BMPs shown in this checklist.
Note: All selected BMPs must be shown on the construction plans.

Source Control Requirement	Applied?	
4.2.1 Prevention of Illicit Discharges into the MS4	☑ Yes	☐ No ☐ N/A
4.2.2 Storm Drain Stenciling or Signage	☑ Yes	☐ No ☐ N/A
4.2.3 Protect Outdoor Materials Storage Areas from Rainfall, Run-On, Runoff, and Wind Dispersal	☑ Yes	☐ No ☐ N/A
4.2.4 Protect Materials Stored in Outdoor Work Areas from Rainfall, Run-On, Runoff, and Wind Dispersal	☑ Yes	☐ No ☐ N/A
4.2.5 Protect Trash Storage Areas from Rainfall, Run-On, Runoff, and Wind Dispersal	☑ Yes	☐ No ☐ N/A
4.2.6 BMPs listed on Potential Sources of Runoff Pollutants		
On-site storm drain inlets	☐ Yes	☐ No ☑ N/A
Interior floor drains and elevator shaft sump pumps	☐ Yes	☐ No ☑ N/A
Interior elevator shaft sump pumps	☐ Yes	☐ No ☑ N/A
Need for future indoor & structural pest control	☐ Yes	☐ No ☑ N/A
Landscape/Outdoor Pesticide Use	☐ Yes	☐ No ☑ N/A
Pools, spas, ponds, decorative fountains, and other water features	☐ Yes	☐ No ☑ N/A
Food service	☐ Yes	☐ No ☑ N/A
Refuse areas	☐ Yes	☐ No ☑ N/A
Industrial processes	☐ Yes	☐ No ☑ N/A
Outdoor storage of equipment or materials	☐ Yes	☐ No ☑ N/A
Vehicle/Equipment Repair and Maintenance	☐ Yes	☐ No ☑ N/A
Fuel Dispensing Areas	☐ Yes	☐ No ☑ N/A
Loading Docks	☐ Yes	☐ No ☑ N/A
Fire Sprinkler Test Water	☐ Yes	☐ No ☑ N/A
Miscellaneous Drain or Wash Water	☐ Yes	☐ No ☑ N/A
Plazas, sidewalks, and parking lots	☐ Yes	☐ No ☑ N/A
SC-6A: Large Trash Generating Facilities	☐ Yes	☐ No ☑ N/A
SC-6B: Animal Facilities	☐ Yes	☐ No ☑ N/A
SC-6C: Plant Nurseries and Garden Centers	☐ Yes	☐ No ☑ N/A
SC-6D: Automotive Facilities	☐ Yes	☐ No ☑ N/A

Discussion / justification for **all** "No" answers shown above:
The existing site contains no public storm drain inlets.

The City of San Diego | Storm Water Standards
Form I-4A | January 2018 Edition

Site Design BMP Checklist for Standard Projects — Form I-5A

All development projects must implement site design BMPs. Refer to Chapter 4 and Appendix E of the BMP Design Manual for information to implement BMPs shown in this checklist.
Note: All selected BMPs must be shown on the construction plans.

Site Design Requirement	Applied?	
4.3.1 Maintain Natural Drainage Pathways and Hydrologic Features	☑ Yes	☐ No ☐ N/A
4.3.2 Conserve Natural Areas, Soils, and Vegetation	☑ Yes	☐ No ☐ N/A
4.3.3 Minimize Impervious Area	☑ Yes	☐ No ☐ N/A
4.3.4 Minimize Soil Compaction	☑ Yes	☐ No ☐ N/A
4.3.5 Impervious Area Dispersion	☑ Yes	☐ No ☐ N/A
4.3.6 Runoff Collection	☑ Yes	☐ No ☐ N/A
4.3.7 Landscaping with Native or Drought Tolerant Species	☑ Yes	☐ No ☐ N/A
4.3.8 Harvest and Use Precipitation	☑ Yes	☐ No ☐ N/A

Discussion / justification for **all** "No" answers shown above:
The site is too small for effectively harvest and store precipitation.

** Answer for each source control and site design category shall be pursuant to the following:
- "Yes" means the project will implement the BMP as described in Chapter 4 and/or Appendix E of the BMP Design Manual. Discussion / justification is not required.
- "No" means the BMP is applicable to the project but it is not feasible to implement. Discussion / justification must be provided.
- "N/A" means the BMP is not applicable at the project site because the project does not include the feature that is addressed by the BMP (e.g., the project has no outdoor material storage areas). Discussion / justification may be provided.

The City of San Diego | Storm Water Standards
Form I-5A | January 2018 Edition

Development Services — THE CITY OF SAN DIEGO

FORM DS-560 September 2021

Stormwater Requirements Applicability Checklist

Project Address: 8445 Avenida de las Onces, La Jolla, CA 92037 **Project Number:** 1050498

SECTION 1: Construction Stormwater Best Management Practices (BMP) Requirements

All construction sites are required to implement construction BMPs per the performance standards in the Stormwater Standards Manual. Some sites are also required to obtain coverage under the State Construction General Permit (CGP) administered by the California State Water Resources Control Board.

For all projects, complete Part A - If the project is required to submit a Stormwater Pollution Prevention Plan (SWPPP) or Water Pollution Control Plan (WPCP), continue to Part B.

PART A – Determine Construction Phase Stormwater Requirements

1. Is the project subject to California's statewide General National Pollutant Discharge Elimination System (NPDES) permit for Stormwater Discharges Associated with Construction Activities; also known as the State Construction General Permit (CGP)? *(Typically projects with soil disturbance greater than or equal to 1 acre.)*
   ☐ Yes, SWPPP is required; skip questions 2-4. ● No; proceed to the next question.
2. Does the project propose construction or demolition activity, including but not limited to, clearing, grading, grubbing, excavation, or any other activity resulting in ground disturbance and/or contact with stormwater?
   ● Yes, WPCP is required; skip question 3. ☐ No; proceed to the next question.
3. Does the project propose routine maintenance to maintain the original line and grade, hydraulic capacity, or original purpose of the facility? (Projects such as pipeline/utility replacement)
   ☐ Yes, WPCP is required; skip question 4. ● No; proceed to the next question.
4. Does the project only include the following Permit types listed below?
   - Electrical Permit, Fire Alarm Permit, Fire Sprinkler Permit, Plumbing Permit, Sign Permit, Mechanical Permit, Roof Permit
   - Individual Right of Way Permits that exclusively include only ONE of the following activities: water service, sewer lateral, or utility service.
   - Right of Way Permits with a project footprint less than 150 linear feet that exclusively include only ONE of the following activities: curb ramp, sidewalk and driveway apron replacement, potholing, curb and gutter replacement, and retaining wall enhancements.

   ☐ Yes; no document is required.

Check one of the boxes below and continue to Part B

○ **If you checked "Yes" for question 1**, an SWPPP is REQUIRED - **continue to Part B**

○ **If you checked "No" for questions 1-4 and checked "Yes" for question 2 or 3**, a WPCP is REQUIRED. If the project proposes routine maintenance activities that disturb ground and/or contact with stormwater, these activities change over the entire project area, a minor WPCP may be required instead. **Continue to Part B**

○ **If you check "No" for all questions 1-3 and checked "Yes" for question 4,** Part B does not apply, and no document is required. **Continue to Section 2.**

* More information on the City's construction BMP requirements as well as CGP requirements can be found at: https://www.sandiego.gov/stormwater/regulations/industrial/index

Visit our web site: sandiego.gov/dsd.
Upon request, this information is available in alternative formats for persons with disabilities.
DS-560 (09-21)

CLEAR FORM

P1

City of San Diego • Form DS-560 • September 2021 Page 2

PART B – Determine Construction Site Priority:

The construction site priority must be established within this form, noted on the plans, and included in the SWPPP or WPCP. The city reserves the right to adjust the priority of projects both before and after construction. Construction projects are assigned an inspection frequency based on if the project has a "high threat to water quality." The City has aligned the local definition of "high threat to water quality" to the risk determination approach of the State Construction General Permit (CGP). The CGP determines risk level based on project sediment risk and receiving water risk. Projects determined to be risk level 2 or risk level 3 are considered "high threat to water quality" or "high influence (ASBS) sediment risk. **NOTE:** The construction priority does **NOT** change construction BMP requirements that apply to projects; rather, it determines the frequency of inspections that will be conducted by city staff.

Complete Part B and continue to Section 2

☑ **1. ASBS**
A. Projects located in the ASBS watershed.

☐ **2. High Priority**
A. Projects that qualify as Risk Level 2 or Risk Level 3 per the Construction General Permit (CGP) and are not located in the ASBS watershed.
B. Projects that qualify as LUP Type 2 or LUP Type 3 per the CGP and are not located in the ASBS watershed.

☐ **3. Medium Priority**
A. Projects that are not located in an ASBS watershed or designated as a High priority site.
B. Projects that qualify as Risk Level 1 or LUP Type 1 per the CGP and are not located in an ASBS watershed.
C. WPCP projects (>5,000 square feet of ground disturbance) located within the Los Peñasquitos watershed management area.

☐ **4. Low Priority**
A. Projects not subject to a Medium or High site priority designation and are not located in an ASBS watershed.

Section 2: Construction Stormwater BMP Requirements

Additional information for determining the requirements is found in the Stormwater Standards Manual.

PART C – Determine if Not Subject to Permanent Stormwater Requirements

Projects that are considered maintenance or otherwise not categorized as "new development projects" or "redevelopment projects" according to the Stormwater Standards Manual are not subject to Permanent Stormwater BMPs.

- **If "yes" is checked for any number in Part C**, Proceed to Part E and check "Not Subject to Permanent Stormwater BMP Requirements."
- **If "no" is checked for all the numbers in Part C**, Continue to Part D.

1. Does the project only include interior remodels and/or is the project entirely within an existing enclosed structure and does not have the potential to contact stormwater?
   ○ Yes ● No
2. Does the project only include the construction of overhead or underground utilities without creating new impervious surfaces?
   ○ Yes ● No
3. Does the project fall under routine maintenance? Examples include but are not limited to: roof or exterior structure surface replacement, resurfacing or reconfiguring surface parking lots or existing roadways without expanding the impervious footprint, and routine replacement of damaged pavement (grinding, overlay, and pothole repair).
   ○ Yes ● No

CLEAR FORM

P2

City of San Diego • Form DS-560 • September 2021 Page 3

PART D – PDP Exempt Requirements

PDP Exempt projects are required to implement site design and source control BMPs.

- **If "yes" is checked for any questions in Part D**, continue to Part F and check the box labeled "PDP Exempt."
- **If "no" is checked for all questions in Part D**, continue to Part E.

1. Does the project ONLY include new or retrofit sidewalk, bicycle lanes, or trails that:
   - Are designed and constructed to direct stormwater runoff to adjacent vegetated areas, or other non-erodible permeable areas? Or,
   - Are designed and constructed to be hydraulically disconnected from paved streets and roads? Or,
   - Are designed and constructed with permeable pavements or surfaces in accordance with the Green Streets guidance in the City's Stormwater Standards manual?

   ○ Yes, PDP exempt requirements apply ● No, proceed to next question
2. Does the project ONLY include retrofitting or redevelopping existing paved alleys, streets or roads designed and constructed in accordance with the Green Streets guidance in the City's Stormwater Standards Manual?

   ○ Yes PDP exempt requirements apply ● No, proceed to next question

PART E – Determine if Project is a Priority Development Project (PDP)

Projects that match one of the definitions below are subject to additional requirements, including preparation of a Stormwater Quality Management Plan (SWQMP).

- **If "yes" is checked for any number in Part E**, continue to Part F and check the box labeled "Priority Development Project."
- **If "no" is checked for every number in Part E**, continue to Part F and check the box labeled "Standard Development Project."

1. **New development that creates 10,000 square feet or more of impervious surfaces collectively over the project site.** This includes commercial, industrial, residential, mixed-use, and public development projects on public or private land. ○ Yes ● No
2. **Redevelopment project that creates and/or replaces 5,000 square feet or more of impervious surfaces** collectively over the project site. **Note:** Roadway projects that **replace 5,000 square feet or more of impervious surfaces** include commercial, industrial, residential, mixed-use, and public development projects on public or private land. ○ Yes ● No
3. **New development or redevelopment of a restaurant.** Facilities that sell prepared foods and beverages for consumption, including stationary lunch counters and refreshment stands selling prepared foods and drinks for immediate consumption (Standard Industrial Classification (SIC) 5812), and where the land development creates and/or replaces 5,000 square feet or more of impervious surface. ○ Yes ● No
4. **New development or redevelopment on a hillside.** The project creates and/or replaces 5,000 square feet or more of impervious surface (collectively over the project site) and where the development will grade on any natural slope that is twenty-five percent or greater. ○ Yes ● No
5. **New development or redevelopment of a parking lot that creates and/or replaces 5,000 square feet or more of impervious surface (collectively over the project site).** ○ Yes ● No
6. **New development or redevelopment of streets, roads, highways, freeways, and driveways.** The project creates and/or replaces 5,000 square feet or more of impervious surface (collectively over the project site). ○ Yes ● No

CLEAR FORM

P3

City of San Diego • Form DS-560 • September 2021 Page 4

7. **New development or redevelopment discharging directly to an environmentally sensitive area.** The project creates and/or replaces 2,500 square feet of impervious surface (collectively over the project site), which discharges directly to an Environmentally Sensitive Area (ESA). "Discharging directly to" includes flow that is conveyed overland a distance of 200 feet or less from the project to the ESA, or conveyed in a pipe or open channel any distance as an isolated flow from the project to the ESA (i.e. not commingled with flows from adjacent lands). ○ Yes ● No
8. **New development or redevelopment projects of retail gasoline outlet (RGO) that creates and/or replaces 5,000 square feet or more of impervious surface.** The development project meets the following criteria: (a) 5,000 square feet or more or (b) has a projected Average Daily Traffic (ADT) of 100 or more vehicles per day. ○ Yes ● No
9. **New development or redevelopment projects of an automotive repair shop that creates and/or replaces 5,000 square feet or more of impervious surface.** Development projects categorized in any one of Standard Industrial Classification (SIC) codes 5013, 5014, 5541, 7532-7534 or 7536-7539. ○ Yes ● No
10. **Other Pollutant-Generating Project.** These projects are not covered in any of the categories listed, but involve the disturbance of one or more acres of land and are expected to generate pollutants post-construction. Examples include fertilizers and pesticides. This category does not include projects creating less than 5,000 square feet of impervious area and projects containing landscaping without a requirement for the application of fertilizers and pesticides. Additionally, projects that only include interior remodels, impervious area calculations need not include linear pathways for infrequent vehicle use, such as emergency maintenance access or bicycle and pedestrian paths if the linear pathways are built with pervious surfaces or if runoff from the pathway sheet flows to adjacent pervious areas. ○ Yes ● No

PART F – Select the appropriate category based on the outcomes of Part C through Part E

1. The project is **NOT SUBJECT TO PERMANENT STORMWATER REQUIREMENTS** ○ Yes ● No
2. The project is a **STANDARD DEVELOPMENT PROJECT**. Site design and source control BMP requirements apply. See the Stormwater Standards Manual for guidance. ● Yes ○ No
3. The Project is **PDP EXEMPT**. Site design and source control BMP requirements apply. Refer to the Stormwater Standards Manual for guidance ○ Yes ● No
4. The project is a **PRIORITY DEVELOPMENT PROJECT**. Site design, source control and structural pollutant control BMP requirements apply. Refer to the Stormwater Standards Manual for guidance on determining if the project requires hydromodification plan management. ○ Yes ● No

Michael R. Morton, AIA	Agent; for Owner/Architect
Name of Owner or Agent	**Title**
Michael R. Morton, AIA	06/20/2022
Signature	**Date**

CLEAR FORM

P4

Visit our web site: sandiego.gov/dsd.
Upon request, this information is available in alternative formats for persons with disabilities.
DS-560 (09-21)

SITE AND BMP LEGEND

	OUTLINE OF EXISTING ONE STORY STRUCTURE [1]
	OUTLINE OF EXISTING STRUCTURE - TO BE DEMOLISHED AND REMODELED [2]
	AREA OF PROPOSED RESIDENCE [3]
	OUTLINE OF PROPOSED ADDITION AREA
	AREA OF PROPOSED NEW HARDSCAPE SURFACE
	OUTLINE OF PROPOSED NEW CONCRETE HARDSCAPE - NONE
	AREA OF VISIBILITY TRIANGLE
	NEW SITE WALL
L.S.	NEW LANDSCAPE AREA
R.P.A.	RAISED PLANTER AREA
T. O. W. ELEV. +000.00'	T.O.W. (TOP OF WALL SPOT ELEVATION)
B. O. W. ELEV. +000.00'	B.O.W. (BOTTOM OF WALL SPOT ELEVATION)
	LINEAR DECK DRAIN
L.A.D.	ROUND LANDSCAPE AREA DRAIN
	LANDSCAPE TRENCH DRAIN
SD	SITE SUB-SURFACE DRAIN PIPING - PVC - 4" or 6" DIA. SLOPED ⅛" PER 12"
SD	SUB-SURFACE DRAIN PIPING - PVC - 4" PERFORATED
	SITE DRAINAGE PATTERN / SLOPE
	4' DIAMETER X 8' DEEP FLOW WELL (FOR COLLECTION OF SITE STORM WATER FOR BELOW GRADE PERCOLATION IN SOIL)
	DRAIN LINE DAYLIGHT LOCATION WITH PEA GRAVEL ENERGY DISSIPATER
	EXISTING CONTOURS
	PROPOSED CONTOURS
FR FR	SILT FENCE (SC-1)
FR FR	FIBER ROLLS (SC-5)
	GRAVEL BAGS (CS-6), (CS-8)
	STABILIZED CONSTRUCTION ENTRANCE (TC-1)
	ENTRANCE/ EXIT TIRE WASH (TC-3)
	WASHOUT AREA/CONCRETE WASTE MANAGEMENT (MW-8)
	SOLID WASTE MANAGEMENT (WM-5)
	SANITARY WASTE MANAGEMENT (WM-9)
WM-1	MATERIAL DELIVERY AND STORAGE
WM-4	SPILL PREVENTION AND CONTROL
WM-8	CONCRETE WASTE MANAGEMENT
	AREA DRAIN - 24,18, or 9 inch Square Catch Basin - NDS - Green top ☐ USED ☐ NOT USED

SITE DRAINAGE AND GRADING NOTES

1. See Site Disturbance Table on Sheet A-1.5
   a. Amount of disturbance area
   b. Total Impervious areas
   c. New Total Impervious areas
   d. New Total of Non- Impervious areas
2. For proposed finish grades for the entire site and proposed contour lines - See Sheet A-1.3 - *Changes* See Sheet A-1.2 and / or 4-D on Grading Set (if any)
3. Total Square Footage of Impervious Are - See Sheet A-1.2
4. Area of Soil Disturbance - See Sheet A-1.2 - *New Addition*
5. Proposed drainage area and spot elevations - See Sheet A-1.3
6. Proposed Swales, Drain Inlets, or drainage system used to convey storm water through the site - See Sheet A-1.3 - *No Changes Developed Site*
7. Roof Drains, Decks Drains, Landscape, and hardscape drain locations. For Discharge Area of site storm Drain system - See sheet A-1.3
8. For storm water runoff from New Impervious area for roughing, treatment, and discharge a/ connection to site storm drain system - See Sheet A-1.3 - See *New Landscape Areas* on sheet L-1
9. For Site Cross Sections - See Sheets A-6.1 to A- 6.5
10. For Site Existing and Proposed Contours - See Sheet A-6.1 to A-6.5 - *Changes* - See Sheet A-1.2 and 4-D on Grading set
11. For Building Sections and Elevations - See Sheets A-5.1 to A- 6.5

CONSTRUCTION BMP GENERAL NOTES

Construction BMP General Notes

Prior to any soil disturbance, temporary sediment controls shall be installed by the contractor or qualified person(s) as indicated below:

1. All requirements of the city of San Diego "storm water standards manual" must be incorporated into the design and construction of the proposed grading/improvements consistent with the approved storm water pollution prevention plan (SWPPP) and/or water pollution control plan (WPCP) for construction level bmp's and, if applicable, the storm water quality management plan (SWQMP) for post-construction bmp's.
2. The contractor shall install and maintain all storm drain inlet protection. Inlet protection in the public right-of-way must be temporarily removed prior to a rain event to ensure no flooding occurs and reinstalled after rain is over.
3. All construction bmp's shall be installed and properly maintained throughout the duration of construction.
4. The contractor shall only grade, including clearing and grubbing, areas for which the contractor or qualified contact person can provide erosion and sediment control measures.
5. The contractor is responsible for ensuring that all sub-contractors and suppliers are aware of all storm water bmp's and implement such measures. Failure to comply with the approved SWPPP/WPCP will result in the issuance of correction notices, citations, civil penalties, and/or stop work notices.
6. The contractor or qualified contact person shall be responsible for cleanup of all silt, debris, and mud on affected and adjacent street(s) and within storm drain system due to construction vehicles/equipment and construction activity at the end of each work day.
7. The contractor shall protect new and existing storm water conveyance systems from sedimentation, concrete rinse, or other construction-related debris and discharges with the appropriate bmp's that are acceptable to the city resident engineer and as indicated in the SWPPP/WPCP
8. The contractor or qualified contact person shall clear debris, silt, and mud from all ditches and swales prior to and within 3 business days after each rain event or prior to the next rain event, whichever is sooner.
9. If a non-storm water discharge leaves the site, the contractor shall immediately stop the activity and repair the damages. The contractor shall notify the city resident engineer of the discharge, prior to resuming construction bmp standards construction activity. Any and all waste material, sediment, and debris from each non-storm water discharge shall be removed from the storm drain conveyance system and properly disposed of by the contractor.
10. Equipment and workers for emergency work shall be made available at all times. All necessary materials shall be stockpiled onsite at convenient locations to facilitate rapid deployment of construction bmp's when rain is imminent.
11. The contractor shall restore and maintain all erosion and sediment control bmp's to working order year-round.

Construction BMP General Notes - Continued

12. The contractor shall install additional erosion and sediment control measures due to unforeseen circumstances to prevent non-storm water and sediment-laden discharges.
13. The contractor shall be responsible and shall take necessary precautions to prevent public trespass onto areas where impounded waters create a hazardous condition.
14. All erosion and sediment control measures provided per the approved SWPPP/WPCP shall be installed and maintained. All erosion and sediment controls for interim conditions shall be properly documented and installed to the satisfaction of the city resident engineer.
15. As necessary, the city resident engineer shall schedule meetings for the project team (general contractor, qualified contact person, erosion control subcontractor if any, engineer of work, owner/developer, and the city resident engineer) to evaluate the adequacy of the erosion and sediment control measures and other bmp's relative to anticipated construction activities.
16. The contractor or qualified contact person shall conduct visual inspections and maintain all bmp's daily and as needed. Visual inspections and maintenance of all bmp's shall be conducted before, during, and after every rain event and every 24 hours during any prolonged rain event. The contractor shall maintain and repair all bmp's as soon as possible as safety allows.
17. **Construction Entrance And Exit Area**. Temporary construction entrance and exits shall be constructed in accordance with CASQA fact sheet TC - 1or Caltrans fact sheet TC-01 to prevent tracking of sediment and other potential pollutants onto paved surfaces and traveled ways. Width shall be 10' or the minimum necessary to accommodate vehicles and equipment without bypassing the entrance. Non-storm water discharges shall be effectively managed per the San Diego Municipal Code Chapter 4, Article 3, Division 3 "Storm Water Management And Discharge Control".

Appendix E: Construction Bmp General Notes E-2 the City Of San Diego | Storm Water Standards | October 2018 Edition Part 2

Marengo Morton Architects
7724 Girard Ave.
Second Floor
La Jolla, CA 92037
Tel. (858) 459-3769
Fax. (858) 459-3768
Michael Morton AIA
Claude Anthony Marengo DESA

03-20-2022

LICENSED ARCHITECT — MICHAEL RENE MORTON — C-19371 — RENEWAL 04/30/2025 — STATE OF CALIFORNIA

Michael Morton AIA

PRIVATE RESIDENCE REMODEL
8445 Avenida De Las Ondas
La Jolla, CA 92037

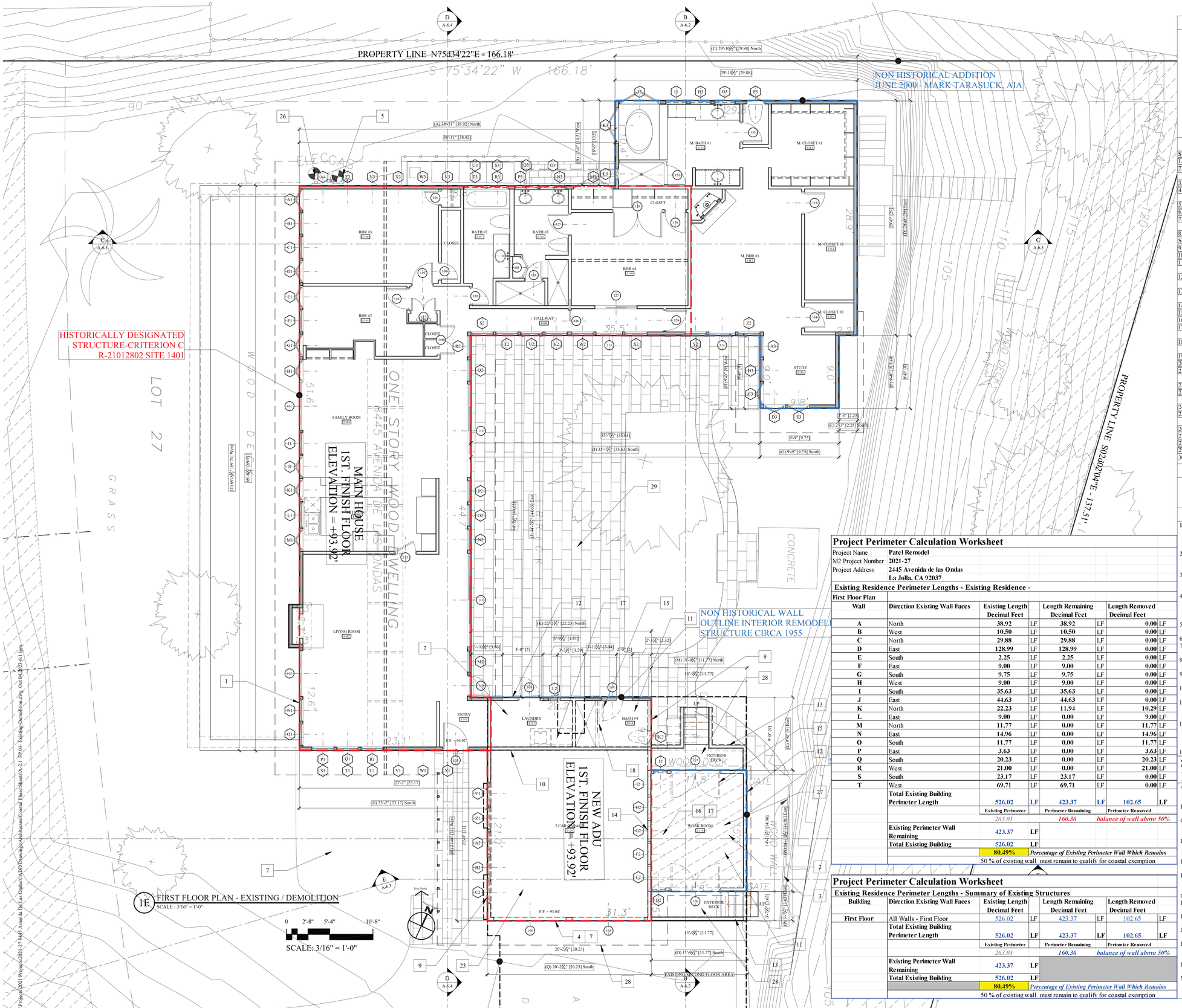
REVISIONS
C CLIENT REVISIONS - 10-01-2021
D COASTAL SUBMITTAL - 01-14-2022
E LJSPDO PRESENTATION - 06/20/2022
F CYCLES RESPONSES - 08-22-2022
G CYCLES RESPONSES - 10-28-2022
H CYCLES RESPONSES - 03-20-2023
I CYCLES RESPONSES - 07-31-2023
J CYCLES RESPONSES - 10-04-2023

PHASE COASTAL DEVELOPMENT PHASE
PROJECT NO. 2021-27
REVIEWED BY MRM
DRAWN BY MRM / JS / AP
DATE 03-20-2023

Marengo Morton Architects, Inc. is providing, by agreement with certain parties, materials stored electronically. The parties recognize that data, plans, specifications, reports, documents, or other electronic products may be subject to undetectable alteration (including but not necessarily limited to "CAD documents") are subject to undetectable alteration, either intentional or unintentional, due to, among other causes, transmission, conversion, media degradation, software error, or human alteration. Accordingly, all such documents are provided to the parties for informational purposes only and not as an end product nor as a record document. Any reliance thereon is deemed to be unreasonable and unenforceable. The signed and stamped hard copies with the wet signature of the Architect of Record are the Architect's Instruments of Service and are the only true contract documents of record.

SITE PLAN
EXISTING BMP PLAN

A-1.6



DEMOLITION LEGEND

Residential

- EXISTING EXTERIOR WALL - TO REMAIN
- EXISTING MASONRY WALL - TO REMAIN
- EXISTING WALL - TO BE REMOVED
- EXISTING WALL TO REMAIN. OPENING TO BE UNFILLED
- DIMENSION — DIMENSION OF - WALLS TO BE REMOVED
- DIMENSION — DIMENSION OF - WALLS TO REMAIN
- PERIMETER OF NEW PROPOSED WALLS & OTHER ITEMS TO BE REMOVED

DEMOLITION KEYNOTES

SITE DEMOLITION KEYNOTES

1. Existing One-Story Residence - Historical - Flag Perimeter & Protect from New Construction.
2. Demolish and Completely Remove - Existing Garage & Office, Laundry - For Recycle & Disposal
3. Demolish and Remove - Portion of Wooden Site Walls - For Recycle & Disposal
4. Remove all Existing Trees and Shrubs - Within 10 feet of New Structure - For Recycle & Disposal
5. Locate & Mark all Water Line Connections, Gas Line Connections, Electrical Line Connections
6. Locate Tag, Cut and Cap all Irrigation Lines adjacent to New Structure - For Recycle & Disposal
7. Clear & Grub Portions of the Site at New Addition - Prepare site for New Structure, Hardscape, Landscaping - For Recycle & Disposal
8. Not Used

Site Building Demolition Keynotes

9. Demolish & Strip - Exterior Siding & Building Wrap. - For Recycle & Disposal
10. Demolish & Strip - All Drywall from Interior Walls & Ceilings - For Recycle & Disposal
11. Demolish & Strip - All Interior Floor Covering, Carpet, Tile, Vinyl to Sub-floor - For Recycle & Disposal
12. Demolish & Complete Remove - Selected Existing Exterior Framed Wall (s) - Recycle & Disposal
13. Demolish & Complete Remove - Existing Balcony Railing & Strip to structure - Recycle & Disposal
14. Carefully Remove Existing Windows - For Recycle & Disposal
15. Carefully Removed Existing Doors - For Recycle & Disposal
16. Demolish & Completely Remove - Existing Cabinetry - For Recycle & Disposal
17. Demolish & Completely Remove - Existing Appliances, Plumbing Fixtures & Equipment - For Recycle & Dispose
18. Demolish & Complete Remove - Selected Existing Interior Stud Wall(s) - For Recycle & Disposal
19. Remove Existing - Mechanical Equipment / FAU / Water Heater - For Recycle & Disposal
20. Demolish & Strip - Existing Roof Shingle and BUR Roofing - For Recycle & Disposal
21. Remove Existing - Stair Guardrails, Door Trim, Baseboard, Interior Trim - For Recycle & Disposal
22. Demolish & Completely Remove - Existing Redwood Siding - **Store For Re-Reuse**
23. Demolish & Completely Remove - Selected Portions of Roof Framing. - For Recycle & Disposal
24. Excavate and Expose - All Existing Concrete Foundation and Support Piers.
25. Tag Cut & Cap - All Existing Electrical, phone lines, TV cable ,water lines, sewer lines, gas lines & irrigation lines.
26. Electrical Utilities - Existing Electric Meter & Sub -To Remain
27. Remove & Store - All Existing Furniture - For Recycling
28. Demolish & Remove - Existing Raised Deck and Site Stairs - For Recycle & Disposal
29. Cover and Protect - Existing Courtyard brick and landscaping.
30. Not Used

COASTAL DEMOLITION NOTES

A. All demolished items and materials to be removed from site and safely disposed of in accordance with applicable laws & regulations, unless specified otherwise by owner.
B. This is a Coastal Project. No exterior walls to be demolished other than those specified on this sheet without prior written instruction from architect.

DEMOLITION GENERAL NOTES

1. **Architect shall be notified immediately when any discrepancy with Architectural or Structural drawings are found at the project site. All drawings may have to be modified upon removal of existing construction. Do not proceed with work in question until the architect issues directions.**
2. **Contact Dig Alert (1-800-227-2600) to verify the location of all existing utilities located on the project site or vicinity affected by the project activities prior to the start of any demolition.**
3. Contractor shall verify layout of existing structure, property boundaries, location of site utilities (underground and overhead), and field conditions as shown on the plans prior to demolition.
4. Before start of demolition contractor shall verify with the owner any item to be saved (S), covered, or stored. Verify storage locations with owner before demolition commences. Contractor to pay for and replace any item not intended for demolition but damaged during construction.
5. All demolition material shall be transported off site and properly disposed of at city-approved locations by the contractor.
6. Contractor to verify Dumpster location with owner before demolition commences.
7. Contractor shall also refer to floor plans and other construction plans for new work to be incorporated into the project and to proceed with demolition accordingly.
8. Carefully remove structure as shown on plan. Remove all materials carefully to avoid damage to adjacent surfaces.
9. When demolition is complete, the site shall be swept clean and be prepared to receive new work.
10. Should any portion of the structure being removed produce unstable or unsafe conditions, the contractor shall provide temporary shoring and bracing.
11. If soils report not included with this set of documents, the Architect will not be held responsible for any changes, modifications, ordered test or reports, or other additional issues caused by lack of information from those documents.
12. All demolition work shall include provision for material separation for City Approved construction debris recycling program. It is the contractor's responsibility to obtain "ticket' from debris hauler to verity that "recycled" content will be documented for City recycling program.
13. **REFER TO SHEETS A-1.1, A-2.2 AND A-4.1 FOR ADDITIONAL DEMOLITION**

Project Perimeter Calculation Worksheet

Project Name	**Patel Remodel**
M2 Project Number	**2021-27**
Project Address	**2445 Avenida de las Ondas**
	La Jolla, CA 92037

Existing Residence Perimeter Lengths - Existing Residence -

First Floor Plan

Wall	Direction Existing Wall Faces	Existing Length Decimal Feet		Length Remaining Decimal Feet		Length Removed Decimal Feet	
A	North	**38.92**	LF	**38.92**	LF	**0.00**	LF
B	West	**10.50**	LF	**10.50**	LF	**0.00**	LF
C	North	**29.88**	LF	**29.88**	LF	**0.00**	LF
D	East	**128.99**	LF	**128.99**	LF	**0.00**	LF
E	South	**2.25**	LF	**2.25**	LF	**0.00**	LF
F	East	**9.00**	LF	**9.00**	LF	**0.00**	LF
G	South	**9.75**	LF	**9.75**	LF	**0.00**	LF
H	West	**9.00**	LF	**9.00**	LF	**0.00**	LF
I	South	**35.63**	LF	**35.63**	LF	**0.00**	LF
J	East	**44.63**	LF	**44.63**	LF	**0.00**	LF
K	North	**22.23**	LF	**11.94**	LF	**10.29**	LF
L	East	**9.00**	LF	**0.00**	LF	**9.00**	LF
M	North	**11.77**	LF	**0.00**	LF	**11.77**	LF
N	East	**14.96**	LF	**0.00**	LF	**14.96**	LF
O	South	**11.77**	LF	**0.00**	LF	**11.77**	LF
P	East	**3.63**	LF	**0.00**	LF	**3.63**	LF
Q	South	**20.23**	LF	**0.00**	LF	**20.23**	LF
R	West	**21.00**	LF	**0.00**	LF	**21.00**	LF
S	South	**23.17**	LF	**23.17**	LF	**0.00**	LF
T	West	**69.71**	LF	**69.71**	LF	**0.00**	LF
Total Existing Building Perimeter Length		**526.02**	**LF**	**423.37**	**LF**	**102.65**	**LF**
		Existing Perimeter		**Perimeter Remaining**		**Perimeter Removed**	
		263.01		*160.36*		*balance of wall above 50%*	
Existing Perimeter Wall Remaining		**423.37**	**LF**				
Total Existing Building		**526.02**	**LF**				
		80.49%		*Percentage of Existing Perimeter Wall Which Remains*			
		50 % of existing wall must remain to qualify for coastal exemption					

Project Perimeter Calculation Worksheet

Existing Residence Perimeter Lengths - Summary of Existing Structures

Building	Direction Existing Wall Faces	Existing Length Decimal Feet		Length Remaining Decimal Feet		Length Removed Decimal Feet	
First Floor	All Walls - First Floor	526.02	LF	423.37	LF	102.65	LF
	Total Existing Building Perimeter Length	**526.02**	**LF**	**423.37**	**LF**	**102.65**	**LF**
		Existing Perimeter		**Perimeter Remaining**		**Perimeter Removed**	
		263.01		*160.36*		*balance of wall above 50%*	
	Existing Perimeter Wall Remaining	**423.37**	**LF**				
	Total Existing Building	**526.02**	**LF**				
		80.49%		*Percentage of Existing Perimeter Wall Which Remains*			
		50 % of existing wall must remain to qualify for coastal exemption					

SPECIAL FRAMING DEMOLITION NOTES FOR COASTAL EXEMPTION - *If Applicable*

A. At least 50% of the existing exterior walls (from the foundation to the top plate) of the principal habitable floor must be left standing and in place throughout construction and incorporated into the completed structure.
B. The wall must continue to be used as exterior walls in the completed project (may not be used as interior walls or used in a "double wall "configuration with any new wall).
C. Any door or window located within a segment of the wall which is counted toward the length of an existing exterior wall to be left standing (at least 50%) cannot have their location or size modified.
D. The surface of the wall can be modified or removed down to the studs but with both the top and bottom plates in place. Removal of the stud walls, even on a temporary basis does not meet exemption criteria (for coastal exemption).
E. Walls, which are designated to remain, cannot be replaced, heightened or relocated for any reason, including reasons of structural integrity (dry rot, termites).
F. The "existing walls" are those walls, which were in existence on March 17, 1990 (the date of when the ordinance adding the 50% provision became effective). Any walls added after that date will not count towards the required 50% for any remodels.
G. Reinforcement in the form of sintering members (studs and plates) is permitted.
H. Penetration through top plate is permitted - only the width of the actual cut will be included in the calculation (e.g. only actual width of a 2x4 or a 4x4).
I. Cripple walls are permitted (Placing a new bottom plate on an existing top plate together with new studs and a new top plate for the purposes of increasing floor to ceiling height).
J. Foundation replacement is acceptable only if existing walls can be properly supported in their pre-existing position during replacement or repair.
K. Window may either be replaced or reduced in area or dimension or they may be covered over (filled in), provided that the existing studs and headers be retained in their original position.
L. Reinforcement in the form of furring is permitted for single wall construction only if it is done in such a manner that the wall is not extended outward.
M. Add construction notes at window and doors identifying whether these elements are existing to remain; to be filled in; to be filled in with smaller opening: to be enlarged; to be shifted; to be replaced with new window/door of the same size; etc.

Marengo Morton Architects
7724 Girard Ave.
Second Floor
La Jolla, CA 92037
Tel. (858) 459-3769
Fax. (858) 459-3768
Michael Morton AIA
Claude Anthony Marengo DESA

03-20-2022

LICENSED ARCHITECT — MICHAEL RENE MORTON — C-19371 — RENEWAL 04/30/2025 — STATE OF CALIFORNIA

Michael Morton AIA

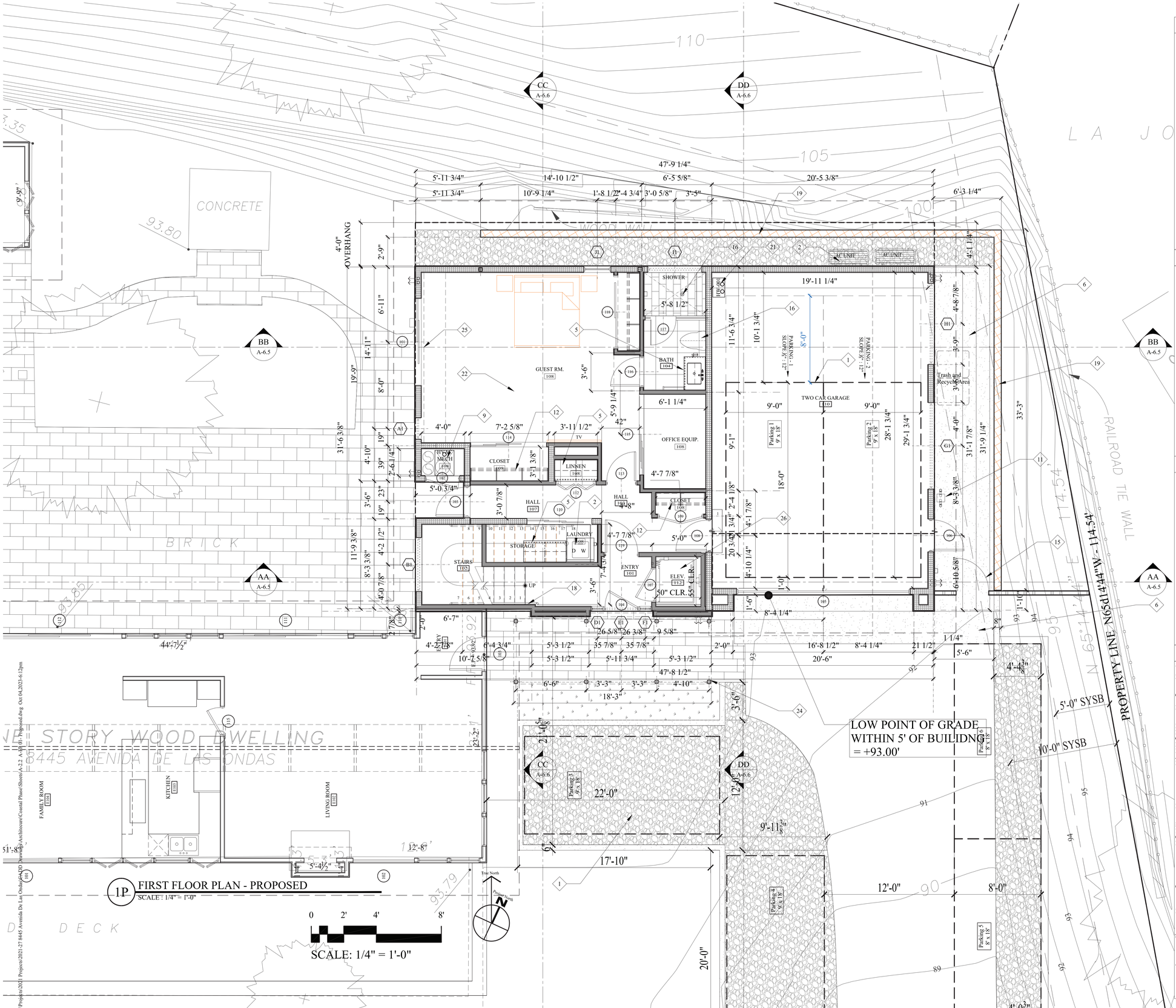
PRIVATE RESIDENCE
REMODEL
8445 Avenida De Las Ondas
La Jolla, CA 92037

REVISIONS
C CLIENT REVISIONS - 10-01-2021
D COASTAL SUBMITTAL - 01-14-2022
E LJSPDO PRESENTATION - 06/20/2022
F CYCLES RESPONSES - 08-22-2022
G CYCLES RESPONSES - 10-28-2022
H CYCLES RESPONSES - 03-20-2023
I CYCLES RESPONSES - 07-31-2023
J CYCLES RESPONSES - 10-04-2023

PHASE: COASTAL DEVELOPMENT PHASE
PROJECT NO.: 2021-27
REVIEWED BY: MRM
DRAWN BY: MRM / JS / AP
DATE: 03-20-2023

DEMOLITION / EXISTING FLOOR PLAN

A-2.1



FLOOR PLAN LEGEND

Residential

- EXISTING 2 x 4 WOOD STUD WALLS - *To Remain Were Shown on Plan*
- EXISTING 2 x 6 WOOD STUD WALLS - *To Remain Were Shown on Plans*
  Note: The majority of the exterior walls are 2 x 6 stud walls
- EXISTING WALLS - TO BE DEMOLISHED AND REMOVED
- EXISTING MASONRY WALLS - TO REMAIN
- NEW WALL: 2 X 4 WOOD STUD WALL @ 16" O.C. - or as called out on plans
- NEW WALL: 2 X 6 WOOD STUD WALL @ 16" O.C.- or as called out on plans
- NEW MASONRY WALL. SEE ARCHITECTURAL DETAILS OR STRUCTURAL PLANS FOR THICKNESS AND TYPE.
- STRUCTURAL STEEL POST OR COLUMN. SEE STRUCTURAL PLAN FOR ITEM.
- **ONE HOUR CONSTRUCTION**
  2 X WOOD STUD @ 16" O.C. W/ 5/8" TYPE "X" GYP. BD. ONE SIDE W/ 7/8" EXTERIOR PLASTER (STUCCO), SEE DETAIL 7-A-10.2.2
- 001 EXISTING / NEW DOORS AND DOOR SYMBOL, SEE SCHEDULE ON SHEET A-8.1
- 001 EXISTING / NEW WINDOW AND WINDOW SYMBOL, SEE SCHEDULE ON SHEET A-8.1
- S CO SMOKE DETECTOR,CARBON MONOXIDE SENSOR - PERM. WIRED TO BUILDING POWER W/ BATTERY BACK-UP, VERIFY IN FIELD FOR EXISTING CONDITIONS
- LS LANDSCAPE AREAS

FLOOR PLAN LEGEND NOTES

- 3" U.N.O. — NEW DOOR, INSTALLED WITH 3" CONTEMPORARY JAMB ALLOWANCES FROM ADJACENT WALL UNLESS OTHERWISE NOTED
- 3" U.N.O. — NEW POCKET DOOR, INSTALLED WITH 3" CONTEMPORARY JAMB FROM ADJACENT WALL UNLESS OTHERWISE NOTED

FLOOR PLAN DIMENSIONS

A. EXTERIOR WALL DIMENSIONS TO OUTSIDE FACE OF STUD/FOUNDATION FACE OR BLOCK /STEM WALL FACE. UNLESS NOTED OTHERWISE (U.N.O.)
B. INTERIOR WALL DIMENSIONS TO CENTERLINE OF WALL STUD (O.N.O..)
C. CLEARANCE DIMENSIONS ARE TO FACE OF FINISH MATERIALS, NOTED WITH CLR..
D. EXISTING WALLS MEASURED TO FINISH FACE OF WALL MATERIAL (U.N.O.)
E. FOR ADDITIONAL PROJECT INFORMATION SEE ADDITIONAL SHEETS.

PLAN LAYOUT

These plans reflect as accurately as possible the as-built conditions on the site. Small dimensional variation may exist in some locations (generally less than 1 inch). If variations to these plan are encountered greater than this, please notify the Architect. Concealed and /or hidden structural, electrical plumbing or mechanical items may be encountered.

FLOOR PLAN KEYNOTES

1	PARKING SPACE	9'-0" x 19'-0" parking space outline - dashed
2.	APPLIANCE:	See Appliance Schedule - A-8.2
3.	OUTLINE OF EQUIPMENT:	Existing Revised, See Sheet A-4.2
4.	BALCONY - TILED:	See Balcony Notes and Details
5.	NEW CABINETRY:	See Interior Elevations - A-7.1
6.	EXTERIOR HARDSCAPE:	See Site / Hardscape Plan - A-1.2
7.	ELECTRICAL SERVICE:	New Service Meter - See AE-11.1
8.	FIREPLACE:	See Equipment Unit List - A-8.2
9.	FORCED AIR UNIT:	See Mechanical Plan - AM-13.1
10.	GUARDRAIL:	+42" High Minimum, See Detail 7/A10.8.1
11.	GAS METER:	See Electrical Plan - AE-11.1
12.	HANGING POLE & SHELF:	Chrome pole & Escution, Melamine shelf
13.	LINE OF BALCONY ABOVE:	See Second Floor Plan - A-2.4
14.	LINE OF SOFFIT ABOVE:	See Reflected Ceiling Plan - A-3.1
15.	SITE GATE:	See Site / Hardscape Plan - A-1.4
16.	PLUMBING FIXTURE:	See Plumbing Schedule - A-8.2
17.	SITE STAIRS:	See Site Plan A-1.3 or Floor Plan A-2.3
18.	STAIR HANDRAIL:	1-1/2" Diameter min. see Detail 6/-10.8.1
19.	SITE WALL:	See Site / Hardscape Plan - A-1.2
20.	UPPER CABINETS:	See - Interior Elevation Sheet A-7.1
21.	WATER HEATER UNIT:	See Mechanical Notes and Schedule - AM-12.1
22.	TILE/STONE FLOORING:	See Floor Plan Schedule - 2.5
23.	SITE STAIR AND WALKWAY	See First Floor Plan - See Detail 5/A-10.8.1
24.	TRELLIS AREA	See Floor Plan -See Detail 5/A-10.1.4
25.	LINE OF DRAPERY POCKET	See Sheet - A-3.1
26.	NEW ELEVATOR	See Interior Elevation - Sheet 10.7.1 Series

FLOOR PLAN NOTES

A. The General Contractor or Sub-Contractor shall verify all conditions or dimensions on these plans in the field with actual site conditions.
B. Written dimensions shall take precedence over scaled dimensions and shall be verified on the job site. On-site verification of all dimensions and conditions shall be the sole responsibility of the General Contractor and Sub-Contractors.
C. The Contractor or sub-contractor shall notify the Architect if any conflicts or discrepancy occurs between this information on this plan and actual field conditions.
D. Any discrepancies with this drawing affecting project layout shall be brought to the attention of the Architect. Do not proceed with work until written or verbal instructions are issued by the Architect's office.
E. Refer to Site Plan for Site and Utility Information See Sheet A-1.2
F. For Door and Windows See Schedules On Sheet 8.1
G. For Interior Finish See Schedule On Sheet 8.1
H. For Electrical and Electrical Fixtures See Sheet AE-11.1
I. For Demolition See Sheet A-2.1
J. For Plumbing, Appliance and other Fixtures See Schedule on Sheet A-8.2
K. WALL INSULATION: R-13 Batt Insulation At All Exterior 2 X 4 Walls. R-19 @ 2 x 6 walls
R-13 Batt Insulation at all accessible interior walls for sound control.
R-19 Batt Insulation at 2 X 12 Raised Floor & none @ concrete floors.
R-19 Batt Insulation at Roof or Attic Areas
R-6.0 Insulation Wrap on All New Supply and Return Ducts.
L. PIPING INSULATION THICKNESS REQUIRED (in inches)
Domestic hot water (above 105°F) 1.0 to 1.5 Inches
Cooling system refrigerant suction, chilled water and brine lines 0.75 to 1.0 Inches
M. HVAC DUCTS: See Mechanical Notes on Sheet ME-131.
N. HVAC Equipment: See Equipment on AM-12.1 and Title-24 calculations on T-1.3
O. WATER HEATER: See Equipment on AM-12.1 and Title-24 calculations on T-1.3
P. SMOKE DETECTORS: Single or multiple -station smoke alarms shall be installed and maintained on the ceiling or wall outside of each separate sleeping area in the immediate vicinity of bedrooms, in each room used for sleeping purposes, in access points to reach sleeping area s, in each story within a dwelling unit, include basement, but not including crawl space and uninhabitable attics. Provide smoke alarms at the locations, specified on the electrical plans, or floors plans. . Detector shall have an alarm audible in all sleeping areas of the unit. (CBC Section 907.2.10.1.2).
Q. In new construction, required smoke alarms shall receive their primary power from the building wiring where such wiring is served from a commercial source and shall be equipped with a batter back-up. Smoke alarms shall emit an s signal when the batteries area low. 'Wiring shall be permanent and without a t disconnecting switch other than as required for over current protection.
R. Where more than one smoke alarm is required to be installed, the smoke alarms shall be interconnected in such a manner, that the activation of one alarm will activate all the alarms in the individual unit. The alarm shall be clearly audible in all bedrooms over background noise levels with all intervening door closed. (CBC section 907.2.10.3)
S. Carbon Monoxide alarms, interconnected and hard-wired with batter back-up are required in dwelling units within which fuel-burning appliances are installed or that have attached garages. Carbon Monoxide alarms are required at the following locations: 1) Outside each separate dwelling unit sleeping area in the immediate vicinity of the bedroom(s): 2) On every level of a dwelling unit including basements. (See R315.3)
T. After the building permit has been issued, the owner shall be responsible for any costs incurred as a result of changes to the design of the fire sprinkler system which produce a higher GMP and a larger meter size requirement:

Owner signature: _____

Marengo Morton Architects
7724 Girard Ave.
Second Floor
La Jolla, CA 92037
Tel. (858) 459-3769
Fax. (858) 459-3768
Michael Morton AIA
Claude Anthony Marengo DESA

03-20-2022

LICENSED ARCHITECT — MICHAEL RENE MORTON — C-19371 RENEWAL 04/30/2025 — STATE OF CALIFORNIA

Michael Morton AIA

PRIVATE RESIDENCE REMODEL
8445 Avenida De Las Ondas
La Jolla, CA 92037

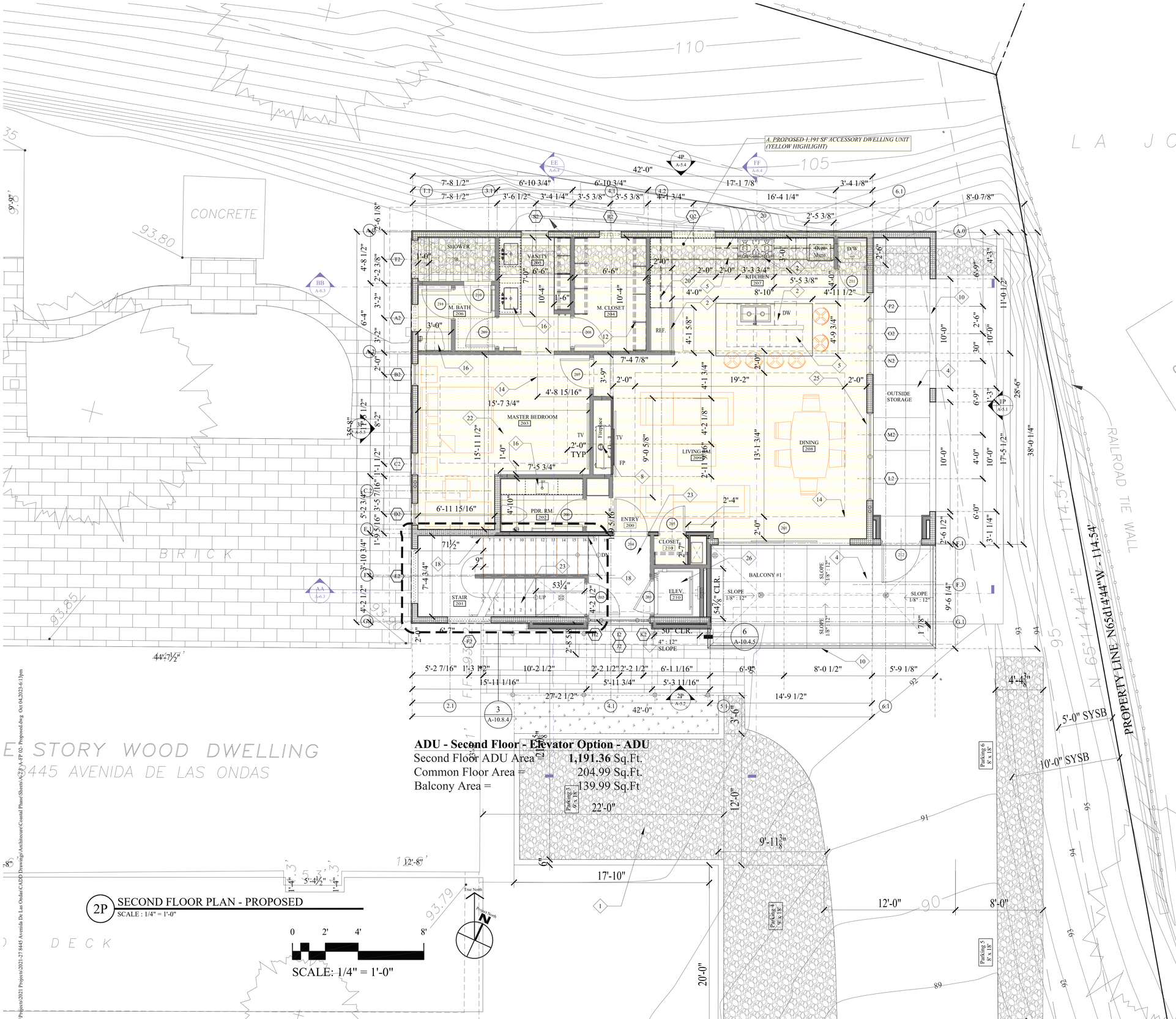
REVISIONS
C CLIENT REVISIONS - 10-01-2021
D COASTAL SUBMITTAL - 01-14-2022
E LJSPDO PRESENTATION - 06/20/2022
F CYCLES RESPONSES - 08-22-2022
G CYCLES RESPONSES - 10-28-2022
H CYCLES RESPONSES - 03-20-2023
I CYCLES RESPONSES - 07-31-2023
J CYCLES RESPONSES - 10-04-2023

PHASE COASTAL DEVELOPMENT PHASE
PROJECT NO. 2021-27
REVIEWED BY MRM
DRAWN BY MRM / JS / AP
DATE 03-20-2023

Marengo Morton Architects, Inc. is providing, by agreement with certain parties, materials stored electronically. The parties recognize that data, plans, specifications, reports, documents, or other information recorded on or transmitted as electronic media (including but not necessarily limited to "CAD documents") are subject to undetectable alteration, either intentional or unintentional, due to, among other causes, transmission, conversion, media degradation, software error, or human alteration. Accordingly, all such documents are provided to the receiving party electronically solely for its convenience, and that product not as a record document. Any reliance thereon is deemed to be unreasonable and unenforceable. The signed and stamped hard copies with the wet signature of the Architect of Record are the Architect's Instruments of Service and are the only true contract documents of record.

PROPOSED FIRST FLOOR PLAN

A-2.2



2P SECOND FLOOR PLAN - PROPOSED
SCALE : 1/4" = 1'-0"

0 2' 4' 8'

SCALE: 1/4" = 1'-0"

S:\Projects 2021\Projects\2021-27 8445 Avenida De Las Ondas\CAD\Drawings\Architecture\Coastal Phase\Sheets\A2.3 A-FP 02- Proposed.dwg Oct 04,2023-6:13pm

FLOOR PLAN LEGEND

Residential

- EXISTING 2 x 4 WOOD STUD WALLS - *To Remain Were Shown on Plan*
- EXISTING 2 x 6 WOOD STUD WALLS - *To Remain Were Shown on Plans*
  Note: The majority of the exterior walls are 2 x 6 stud walls
- EXISTING WALLS - TO BE DEMOLISHED AND REMOVED
- EXISTING MASONRY WALLS - TO REMAIN
- NEW WALL: 2 X 4 WOOD STUD WALL @ 16" O.C. - or as called out on plans
- NEW WALL: 2 X 6 WOOD STUD WALL @ 16" O.C.- or as called out on plans
- NEW MASONRY WALL: SEE ARCHITECTURAL DETAILS OR STRUCTURAL PLANS FOR THICKNESS AND TYPE.
- STRUCTURAL STEEL POST OR COLUMN. SEE STRUCTURAL PLAN FOR ITEM.
- **ONE HOUR CONSTRUCTION**
  2 X WOOD STUD @ 16" O.C.W/ 5/8" TYPE "X" GYP. BD. ONE SIDE W/ 7/8" EXTERIOR PLASTER (STUCCO), SEE DETAIL 7-A-10.2.2
- 001 EXISTING / NEW DOORS AND DOOR SYMBOL, SEE SCHEDULE ON SHEET A-8.1
- 001 EXISTING / NEW WINDOW AND WINDOW SYMBOL, SEE SCHEDULE ON SHEET A-8.1
- S CO SMOKE DETECTOR,CARBON MONOXIDE SENSOR - PERM. WIRED TO BUILDING POWER W/ BATTERY BACK-UP, VERIFY IN FIELD FOR EXISTING CONDITIONS
- LS LANDSCAPE AREAS

FLOOR PLAN LEGEND NOTES

- NEW DOOR, INSTALLED WITH 3" CONTEMPORARY JAMB ALLOWANCES FROM ADJACENT WALL UNLESS OTHERWISE NOTED
  3" U.N.O.
- NEW POCKET DOOR, INSTALLED WITH 3" CONTEMPORARY JAMB FROM ADJACENT WALL UNLESS OTHERWISE NOTED
  3" U.N.O.

FLOOR PLAN DIMENSIONS

A. EXTERIOR WALL DIMENSIONS TO OUTSIDE FACE OF STUD/FOUNDATION FACE OR BLOCK /STEM WALL FACE. UNLESS NOTED OTHERWISE (U.N.O.)
B. INTERIOR WALL DIMENSIONS TO CENTERLINE OF WALL STUD (O.N.O..)
C. CLEARANCE DIMENSIONS ARE TO FACE OF FINISH MATERIALS, NOTED WITH CLR..
D. EXISTING WALLS MEASURED TO FINISH FACE OF WALL MATERIAL (U.N.O.)
E. FOR ADDITIONAL PROJECT INFORMATION SEE ADDITIONAL SHEETS.

PLAN LAYOUT

These plans reflect as accurately as possible the as-built conditions on the site. Small dimensional variation may exist in some locations (generally less than 1 inch). If variations to these plan are encountered greater than this, please notify the Architect. Concealed and /or hidden structural, electrical plumbing or mechanical items may be encountered.

FLOOR PLAN KEYNOTES

1.	PARKING SPACE	9'-0" x 19'-0" parking space outline - dashed
2.	APPLIANCE:	See Appliance Schedule - A-8.2
3.	OUTLINE OF EQUIPMENT:	Existing Revised, See Sheet A-4.2
4.	BALCONY - TILED:	See Balcony Notes and Details
5.	NEW CABINETRY:	See Interior Elevations - A-7.1
6.	EXTERIOR HARDSCAPE:	See Site / Hardscape Plan - A-1.2
7.	ELECTRICAL SERVICE:	New Service Meter - See AE-11.1
8.	FIREPLACE:	See Equipment Unit List - A-8.2
9.	FORCED AIR UNIT:	See Mechanical Plan - AM-13.1
10.	GUARDRAIL:	+42" High Minimum, See Detail 7/A10.8.1
11.	GAS METER:	See Electrical Plan - AE-11.1
12.	HANGING POLE & SHELF:	Chrome pole & Escution, Melamine shelf
13.	LINE OF BALCONY ABOVE:	See Second Floor Plan - A-2.4
14.	LINE OF SOFFIT ABOVE:	See Reflected Ceiling Plan - A-3.1
15.	SITE GATE:	See Site / Hardscape Plan - A-1.4
16.	PLUMBING FIXTURE:	See Plumbing Schedule - A-8.2
17.	SITE STAIRS:	See Site Plan A-1.3 or Floor Plan A-2.3
18.	STAIR HANDRAIL:	1-1/2" Diameter min. see Detail 6/-10.8.1
19.	SITE WALL:	See Site / Hardscape Plan - A-1.2
20.	UPPER CABINETS:	See - Interior Elevation Sheet A-7.1
21.	WATER HEATER UNIT:	See Mechanical Notes and Schedule - AM-12.1
22.	TILE/STONE FLOORING:	See Floor Plan Schedule - 2.5
23.	SITE STAIR AND WALKWAY	See First Floor Plan - See Detail 5/A-10.8.1
24.	TRELLIS AREA	See Floor Plan -See Detail 5/A-10.1.4
25.	LINE OF DRAPERY POCKET	See Sheet - A-3.1
26.	NEW ELEVATOR	See Interior Elevation - Sheet 10.7.1 Series

FLOOR PLAN NOTES

A. The General Contractor or Sub-Contractor shall verify all conditions or dimensions on these plans in the field with actual site conditions.
B. Written dimensions shall take precedence over scaled dimensions and shall be verified on the job site. On-site verification of all dimensions and conditions shall be the sole responsibility of the General Contractor and Sub-Contractors.
C. The Contractor or sub-contractor shall notify the Architect if any conflicts or discrepancy occurs between this information on this plan and actual field conditions.
D. Any discrepancies with this drawing affecting project layout shall be brought to the attention of the Architect. Do not proceed with work until written or verbal instructions are issued by the Architect's office.
E. Refer to Site Plan for Site and Utility Information See Sheet A-1.2
F. For Door and Windows See Schedules On Sheet 8.1
G. For Interior Finish See Schedule On Sheet 8.1
H. For Electrical and Electrical Fixtures See Sheet AE-11.1
I. For Demolition See Sheet A-2.1
J. For Plumbing, Appliance and other Fixtures See Schedule on Sheet A-8.2
K. WALL INSULATION: R-13 Batt Insulation At All Exterior 2 X 4 Walls. R-19 @ 2 x 6 walls
R-13 Batt Insulation at all accessible interior walls for sound control.
R-19 Batt Insulation at 2 X 12 Raised Floor & none @ concrete floors.
R-19 Batt Insulation at Roof or Attic Areas
R-6.0 Insulation Wrap on All New Supply and Return Ducts.
L. PIPING INSULATION THICKNESS REQUIRED (in inches)
Domestic hot water (above 105°F) 1.0 to 1.5 Inches
Cooling system refrigerant suction, chilled water and brine lines 0.75 to 1.0 Inches
M. HVAC DUCTS: See Mechanical Notes on Sheet ME-131.
N. HVAC Equipment: See Equipment on AM-12.1 and Title-24 calculations on T-1.3
O. WATER HEATER: See Equipment on AM-12.1 and Title-24 calculations on T-1.3
P. SMOKE DETECTORS: Single or multiple -station smoke alarms shall be installed and maintained on the ceiling or wall outside of each separate sleeping area in the immediate vicinity of bedrooms, in each room used for sleeping purposes, in access points to reach sleeping area s, in each story within a dwelling unit, include basement, but not including crawl space and uninhabitable attics. Provide smoke alarms at the locations, specified on the electrical plans, or floors plans. . Detector shall have an alarm audible in all sleeping areas of the unit. (CBC Section 907.2.10.1.2).
Q. In new construction, required smoke alarms shall receive their primary power from the building wiring where such wiring is served from a commercial source and shall be equipped with a batter back-up. Smoke alarms shall emit an s signal when the batteries area low. 'Wiring shall be permanent and without a t disconnecting switch other than as required for over current protection.
R. Where more than one smoke alarm is required to be installed, the smoke alarms shall be interconnected in such a manner, that the activation of one alarm will activate all the alarms in the individual unit. The alarm shall be clearly audible in all bedrooms over background noise levels with all intervening door closed. (CBC section 907.2.10.3)
S. Carbon Monoxide alarms, interconnected and hard-wired with batter back-up are required in dwelling units within which fuel-burning appliances are installed or that have attached garages. Carbon Monoxide alarms are required at the following locations: 1) Outside each separate dwelling unit sleeping area in the immediate vicinity of the bedroom(s): 2) On every level of a dwelling unit including basements. (Sec R315.3)
T. After the building permit has been issued, the owner shall be responsible for any costs incurred as a result of changes to the design of the fire sprinkler system which produce a higher GMP and a larger meter size requirement:

Owner signature: _____

Marengo Morton Architects

7724 Girard Ave.
Second Floor
La Jolla, CA 92037
Tel. (858) 459-3769
Fax. (858) 459-3768
Michael Morton AIA
Claude Anthony Marengo DESA

03-20-2022

LICENSED ARCHITECT MICHAEL RENE MORTON STATE OF CALIFORNIA

Michael Morton AIA
C-19371
RENEWAL
04/30/2025

PRIVATE RESIDENCE
REMODEL
8445 Avenida De Las Ondas
La Jolla, CA 92037

REVISIONS
C CLIENT REVISIONS - 10-01-2021
D COASTAL SUBMITTAL - 01-14-2022
E LJSPDO PRESENTATION - 06/20/2022
F CYCLES RESPONSES - 08-22-2022
G CYCLES RESPONSES - 10-28-2022
H CYCLES RESPONSES - 03-20-2023
I CYCLES RESPONSES - 07-31-2023
J CYCLES RESPONSES - 10-04-2023

PHASE COASTAL DEVELOPMENT PHASE

PROJECT NO. 2021-27

REVIEWED BY MRM

DRAWN BY MRM / JS / AP

DATE 03-20-2023

PROPOSED
SECOND FLOOR PLAN

A-2.3