



THE CITY OF SAN DIEGO

Report to the Hearing Officer

DATE ISSUED: February 28, 2024 REPORT NO. HO-24-012
HEARING DATE: March 6, 2024
SUBJECT: 4920 Dixie Drive; Process Three Decision
PROJECT NUMBER: [PRJ-1067299](#)
OWNER/APPLICANT: Sandip S. Minhas and Jennifer A. Minhas/Architect Mark D. Lyon

SUMMARY

Should the Hearing Officer approve a Coastal Development Permit to demolish two existing dwelling units and construct a new two-unit, two-story, 7,838-square-foot structure at 4920 Dixie Drive in the Pacific Beach Community Planning Area?

Proposed Actions:

1. APPROVE Coastal Development Permit No. PMT-3178095.

Fiscal Considerations: All costs associated with the processing of the application are recovered through a deposit account funded by the applicant.

Code Enforcement Impact: There is no active code enforcement case on the project site.

The project proposes a remodel and addition of an existing single dwelling unit which supports the goal of the Housing Element of the City of San Diego's General Plan

Community Planning Group Recommendation: On January 11, 2023, the Pacific Beach Community Planning Group voted 9-0-1 to support the project.

Community Plan Analysis: The project site is located at 4920 Dixie Drive within the Pacific Beach Community Plan RM 1-1 zone. The Pacific Beach Community Plan land use designation allows for single-dwelling unit residential density ranging from nine to fifteen dwelling units per acre (9-15 DU/AC). The project proposes a new two-unit, two-story dwelling unit with a basement. Therefore, the project is in conformance with the maximum density regulations of the Pacific Beach Community Plan.

Environmental Impact: The project was determined to be categorically exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines Sections 15302 (Replacement or Reconstruction) and 15303 (New Construction or Conversion of Small Structures). This project is not pending an appeal of the environmental determination. The environmental exemption determination for this project was made on December 4, 2023, and the opportunity to appeal that determination ended on December 18, 2023.

BACKGROUND

The 0.11-acre site is located at 4920 Dixie Drive in the RM 1-1 zone, the Coastal Zone (Appealable Area) and the Coastal Height Limitation Overlay Zone, Parking Impact Overlay Zone (Beach), Transit Area Overlay Zone and the Transit Priority Area within the Pacific Beach Community Plan and Council District 2.

Pursuant to San Diego Municipal Code (SDMC) Section 126.0702 and (SDMC) Section [126.0707\(b\)](#), the project requires a Coastal Development Permit, Process Three, with the Hearing Officer as the decision maker.

DISCUSSION

The project site is currently developed with an existing 2,092 square-foot duplex and garage to be demolished. The project will construct a new 7,838-square-foot, two-story structure with a basement. The first-floor unit would include 1,911 square feet of living area and 381 square feet of deck area. The second-floor unit would include 1,715 square feet of living area and 409 square feet of balcony/deck area and the basement would include 826 square feet of living area and 1,756 square feet 4 car garage area.

The project site is located approximately 0.08 miles from the Pacific Ocean. There is no identified public views on or adjacent to the project site. The proposed project is contained within the existing lot area and will not encroach upon any existing or proposed physical access to the coast.

The site contains no coastal views identified in Figure 16 (Coastal Views) in the Pacific Beach Community Plan. The project complies with the development regulations of the underlying zone, including a building height of 29 feet 6 inches, which is below the 30-foot height limit as well as conformance with setbacks which include front 15'-0", side yard 6'-0" and rear 17'-8", and FAR of 3,626 square foot which is the allowable FAR calculation per section 131.0446 (2)(A)(B) within the RM 1-1 base zone. The proposed project conforms to the "Low Medium Density" 9-15 dwelling units per net residential acre (Figure 13) of the Community Plan by proposing two units a 0.11-acre site. Therefore, the project will not encroach upon any existing physical accessway that is legally used by the public or any proposed public accessway identified in a Local Coastal Program land use plan, and the proposed project will not impact public views to and along the ocean and other scenic coastal areas as specified in the Local Coastal Program Land Use Plan. The site does not contain sensitive biological resources and the site is not in or adjacent to the City's Multiple Species Conservation Plan and Multi-Habitat Planning Area.

Conclusion:

City staff has determined the project is consistent with the Community Plan and regulations of the Land Development Code as described above. The staff has provided draft findings and conditions to support approval of the project (Attachment 4 and 5) and recommends the Hearing Officer APPROVE Coastal Development Permit No. PMT-3178095.

ALTERNATIVES

1. Approve Coastal Development Permit No. PMT-3178095, with modifications.
2. Deny Coastal Development Permit No. PMT-3178095, if the findings required to approve the project cannot be affirmed.

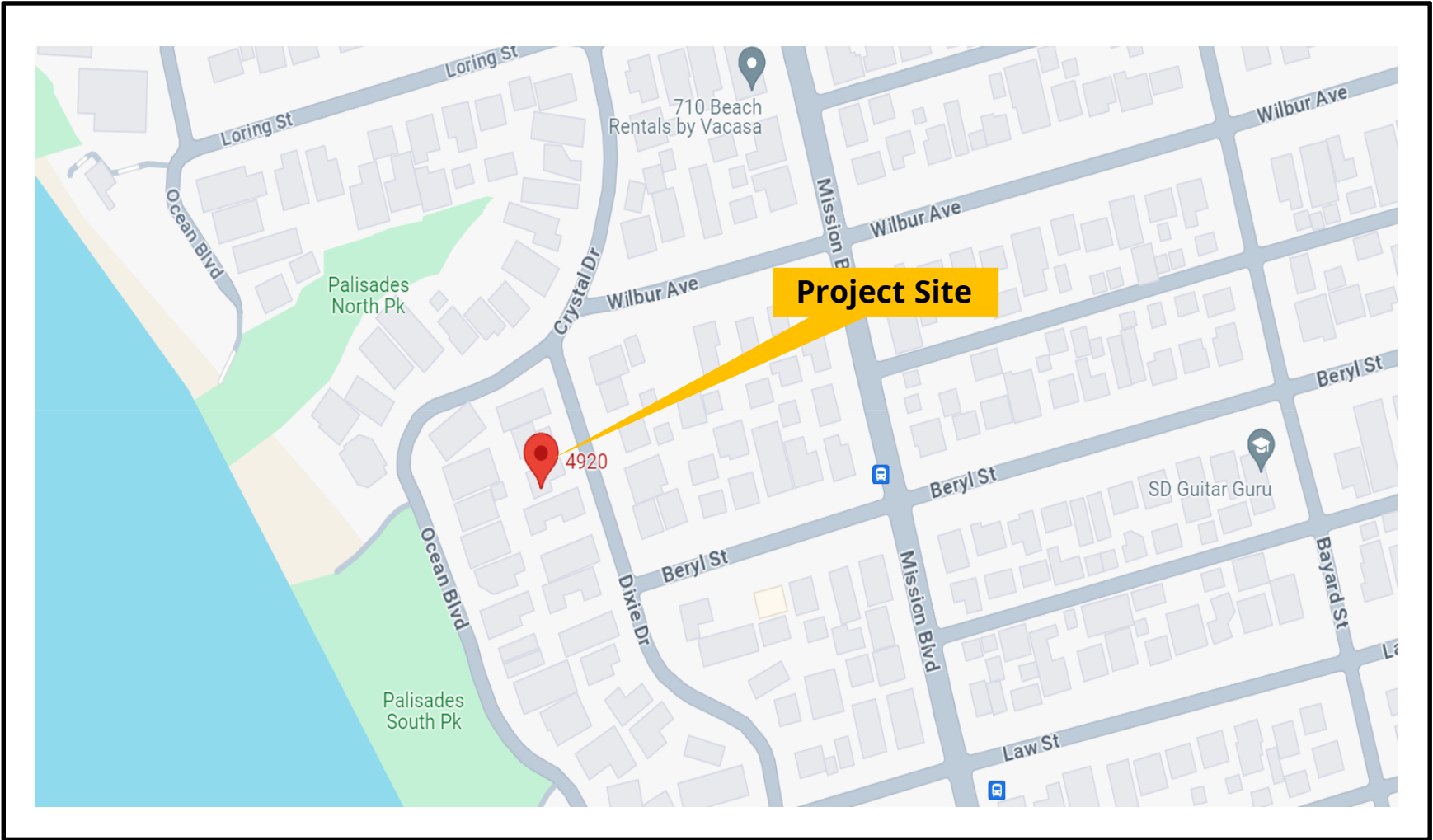
Respectfully submitted,

Hector Rios

Hector Rios
Development Project Manager
Development Services Department

Attachments:

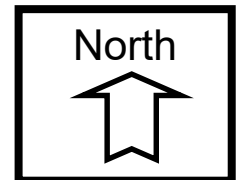
1. Project Location Map
2. Community Plan Land Use Map
3. Aerial Photograph
4. Draft Resolution with Findings
5. Draft Permit with Conditions
6. Environmental Exemption
7. Community Planning Group Recommendation
8. Ownership Disclosure Statement
9. Project Plans

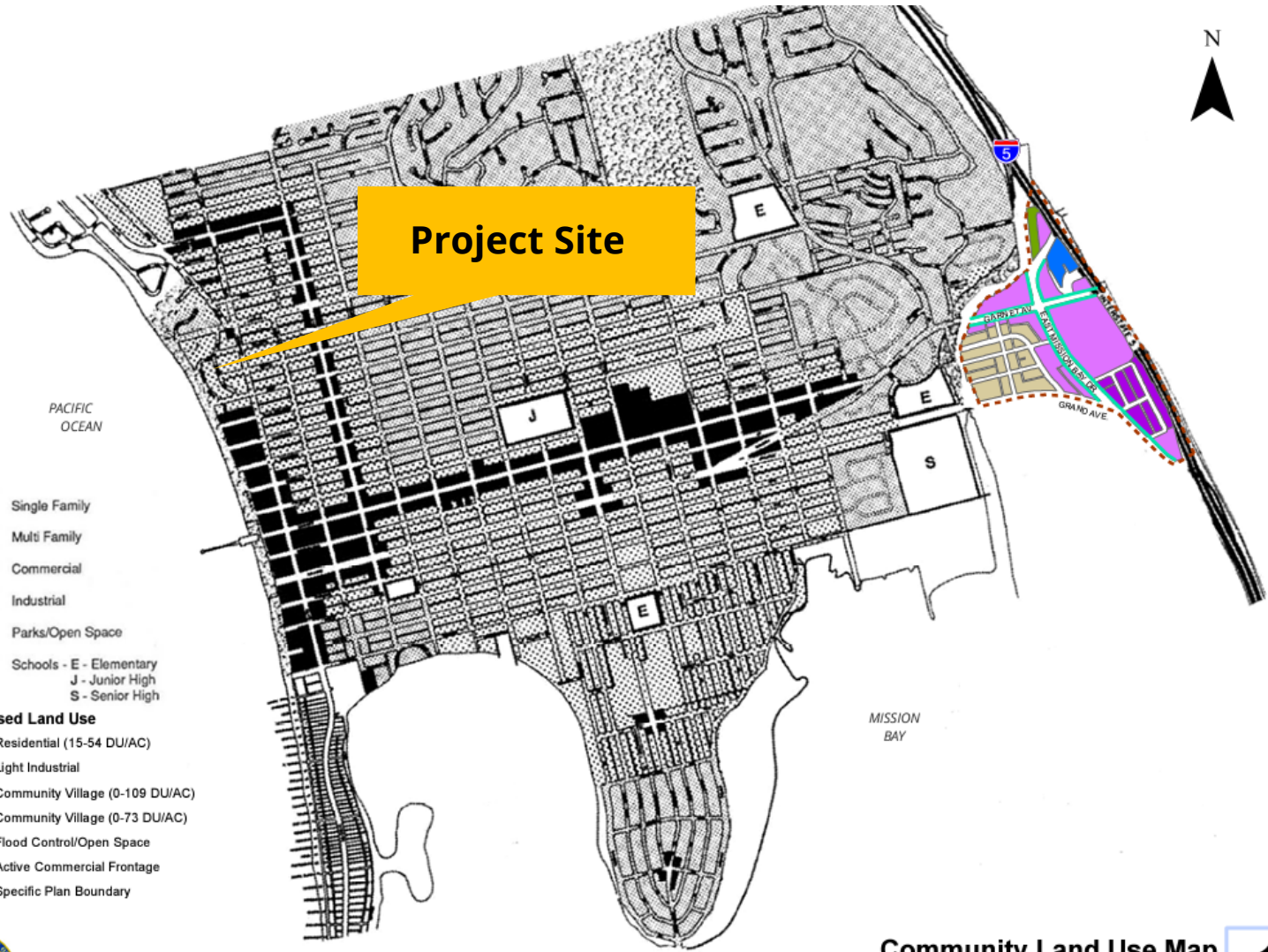


Project Location Map

4920 Dixie Drive

Project No. PRJ-1067299 - 4920-4922 Dixie Drive



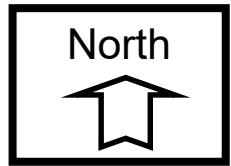


Community Land Use Map **1**
Pacific Beach Community Plan **FIGURE**



Land Use Map

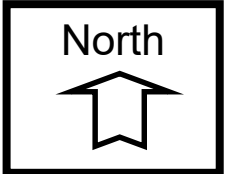
4920 Dixie Drive
Project No. PRJ-1067299 - 4920-4922 Dixie Drive





Aerial Photograph

4920 Dixie Drive
Project No. PRJ-1067299- 4920-4922 Dixie Drive



HEARING OFFICER RESOLUTION NO. [REDACTED]
COASTAL DEVELOPMENT PERMIT NO. PMT-3178095
4920 DIXIE DRIVE - PROJECT NO. PRJ-1067299

WHEREAS, SANDIP S. MINHAS AND JENNIFER A. MINHAS, Husband and Wife as Joint tenants, Owner/Permittee, filed an application with the City of San Diego for a permit to demolish two existing dwelling units and construct a new two-unit, two-story, 7,838-square-foot structure (as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Permit No. PMT-3178095), on portions of a 0.11-acre site;

WHEREAS, the project site is located at 4920 Dixie Drive in the RM 1-1 zone, the Coastal Zone (Appealable Area) and the Coastal Height Limitation Overlay Zone, Parking Impact Overlay Zone (Beach), Transit Area Overlay Zone, and the Transit Priority Area within the Pacific Beach Community Plan and Council District 2.

WHEREAS, the project site is legally described as LOT 21 OF BLOCK 5, NETTLESHIP TYE TRACT #1, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 1931, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, AUGUST 3, 1926, APN: 415-391-2100;

WHEREAS, on December 4, 2023, the City of San Diego, as Lead Agency, through the Development Services Department, made and issued an Environmental Determination that the project is exempt from the California Environmental Quality Act (CEQA) (Public Resources Code Section 21000 et seq.) under CEQA Guidelines Sections 15302 (Replacement or Reconstruction) and 15303 (New Construction or Conversion of Small Structures) and there was no appeal of the Environmental Determination filed within the time period provided by San Diego Municipal Code Section 112.0520;

WHEREAS, on March 6, 2024, the Hearing Officer of the City of San Diego considered Coastal Development Permit No. PMT-3178095 pursuant to the Land Development Code of the City of San Diego; NOW, THEREFORE

BE IT RESOLVED by the Hearing Officer of the City of San Diego, that it adopts the following findings with respect to Coastal Development Permit No. PMT-3178095:

A. COASTAL DEVELOPMENT PERMIT [San Diego Municipal Code (SDMC) Section 126.0708]

1. Findings for all Coastal Development Permits:

- a. The proposed coastal development will not encroach upon any existing physical accessway that is legally used by the public or any proposed public accessway identified in a Local Coastal Program land use plan; and the proposed coastal development will enhance and protect public views to and along the ocean and other scenic coastal areas as specified in the Local Coastal Program land use plan.**

The 0.11-acre project site is currently developed with 2,092 square-foot duplex and garage to be demolished. The project will construct a new 7,838-square-foot, two-story structure with a basement. The first-floor unit would include 1,911 square feet of living area and 381 square feet of deck area. The second-floor unit would include 1,715 square feet of living area and 409 square feet of balcony/deck area and the basement would include 826 square feet of living area and 1,756 square feet 4 car garage area.

The site is located approximately 0.08 miles from the Pacific Ocean. The site does not include any coastal views identified in Figure 16 (Coastal Views) in the Community Plan. The proposed project is contained within the existing lot area. It will not encroach upon any existing or proposed physical access to the coast identified by the Pacific Beach Community Plan and Local Coastal Program Land Use Plan (Community Plan).

Development Zone Regulations, including a building height of 29 feet 6 inches, which is below the 30-foot height limit as well as conformance with setbacks which include front 15'-0", side yard 6'-0" and rear 17'-8", and FAR of 3,626 square foot which is the allowable FAR calculation per section 131.0446 (2)(A)(B) within the RM 1-1 base zone. The proposed development will enhance and protect public views by keeping all development within the 30-foot coastal height limit and by observing all required setbacks. Therefore, the project will not encroach upon any existing physical accessway that is legally used by the public or any proposed public accessway identified in a Local Coastal Program land use plan, and the proposed project will not

impact public views to and along the ocean and other scenic coastal areas as specified in the Local Coastal Program Land Use Plan.

b. The proposed development will not adversely affect environmentally sensitive lands.

The project site is currently developed with a two-unit multi-dwelling structure and contains no environmentally sensitive lands. The site is not in or adjacent to the City's Multiple Species Conservation Plan and Multi-Habitat Planning Area.

An environmental determination was made that the project is exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines Section 15302 (Replacement or Reconstruction) and 15303 (New Construction or Conversion of Small Structures). Therefore, the proposed development will not adversely affect environmentally sensitive lands as none are present on the site.

c. The proposed coastal development is in conformity with the certified Local Coastal Program land use plan and complies with all regulations of the certified Implementation Program.

The proposed project conforms to the "Low Medium Density" 9-15 dwelling units per net residential acre (Figure 13) Community Plan designation by proposing a new two-unit structure on a 0.11-acre site which will replace the existing two-unit structure.

The proposed residence will be approximately 29 feet 6 inches tall, which meets the maximum 30-foot height limit. The project does not request deviations or variances from the applicable regulations. There is no identified public view on or adjacent to the project site. Therefore, the proposed coastal development is in conformity with the certified Local Coastal Program land use plan and complies with all regulations of the certified Implementation Program.

d. For every Coastal Development Permit issued for any coastal development between the nearest public road and the sea or the shoreline of any body of water located within the Coastal Overlay Zone the coastal development is in conformity with the public access and public recreation policies of Chapter 3 of the California Coastal Act.

The project site is not located between the first public roadway and the sea or shoreline of any body of water located within the Coastal Overlay Zone. Therefore, this finding does not apply.

The above findings are supported by the minutes, maps, and exhibits, all of which are incorporated herein by this reference.

ATTACHMENT 4

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the COASTAL DEVELOPMENT PERMIT NO. PMT-3178095 is hereby GRANTED by the Hearing Officer to the referenced Owner/Permittee, in the form, exhibits, terms, and conditions as set forth in Permit No. PMT-3178095, a copy of which is attached hereto and made a part hereof.

Hector Rios
Development Project Manager
Development Services

Adopted on: March 6, 2024

IO#: 24009370

DRAFT

RECORDING REQUESTED BY
CITY OF SAN DIEGO
DEVELOPMENT SERVICES
PERMIT INTAKE, MAIL STATION
501

WHEN RECORDED MAIL TO
PROJECT MANAGEMENT
PERMIT CLERK
MAIL STATION 501

INTERNAL ORDER NUMBER: 24009370

SPACE ABOVE THIS LINE FOR RECORDER'S USE

COASTAL DEVELOPMENT PERMIT NO. PMT-3178095
4920 DIXIE DRIVE - PROJECT NO. PRJ-1067299
HEARING OFFICER

This Coastal Development Permit No. PMT-3178095 is granted by the Hearing Officer of the City of San Diego to SANDIP S. MINHAS AND JENNIFER A. MINHAS, Husband and Wife as Joint tenants, Owner/ Permittee, pursuant to San Diego Municipal Code [SDMC] section 126.0708. The 0.11-acre site is located at 4920 Dixie Drive in the RM 1-1 zone, the Coastal Zone (Appealable Area) and the Coastal Height Limitation Overlay Zone, Parking Impact Overlay Zone (Beach), Transit Area Overlay Zone, and the Transit Priority Area within the Pacific Beach Community Plan and Council District 2. The project site is legally described as: LOT 21 OF BLOCK 5, NETTLESHIP TYE TRACT #1, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 1931, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, AUGUST 3, 1926, APN: 415-391-2100.

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner/Permittee to demolish the existing two-unit multi-dwelling unit and construct a new two-unit, two-story multi-dwelling unit, described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated March 6, 2024, on file in the Development Services Department.

The project shall include:

- a. Demolishing an existing two-unit multi-dwelling unit structure;
- b. Constructing a new two-unit, two-story, 7,838-square-foot structure. The basement would include 826 square feet of living area and 1,756 square feet of garage area, the first floor would include 1,911 square feet of living area and 381 square feet of deck area, and the second floor would include 1,715 square feet of living area and 409 square feet of balcony/deck area.
- c. Off-street parking; and

- d. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act [CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

STANDARD REQUIREMENTS:

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36-month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision-maker. This permit must be utilized by March 20, 2027.
2. This Coastal Development Permit shall become effective on the eleventh working day following receipt by the California Coastal Commission of the Notice of Final Action or following all appeals.
3. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
 - a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
 - b. The Permit is recorded in the Office of the San Diego County Recorder.
4. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision-maker.
5. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.
6. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
7. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).
8. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements

may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.

9. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.

10. All of the conditions contained in this Permit have been considered and were determined necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

11. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

CLIMATE ACTION PLAN REQUIREMENTS:

12. Owner/Permittee shall comply with the Climate Action Plan (CAP) Consistency Checklist stamped as Exhibit "A." Prior to issuance of any construction permit, all CAP strategies shall be noted within the first three (3) sheets of the construction plans under the heading "Climate Action Plan Requirements" and shall be enforced and implemented to the satisfaction of the Development Services Department.

ENGINEERING REQUIREMENTS:

13. Prior to the issuance of any construction permit the Owner/Permittee shall submit a Water Pollution Control Plan. The WPCP shall be prepared in accordance with the guidelines in Part 2 Construction BMP Standards Chapter 4 of the City's Storm Water Standards.

14. Prior to the issuance of any building permit, the Owner/Permittee shall assure by permit and bond the closure of the existing driveway with current City Standard curb, gutter, and sidewalk adjacent to the site on Dixie Dr satisfactory to City Engineer.

15. Prior to the issuance of any building permit, the Owner/Permittee shall assure by permit and bond the construction of a new 12-foot driveway per current City Standards adjacent to the site on Dixie Dr, satisfactory to the City Engineer.

LANDSCAPE REQUIREMENTS:

16. Prior to issuance of any grading permit, the Owner/Permittee shall submit complete construction documents for the revegetation and hydroseeding of all disturbed land in accordance with the City of San Diego Landscape Standards, Storm Water Design Manual, and to the satisfaction of the Development Services Department. All plans shall be in substantial conformance to this permit (including Environmental conditions) and Exhibit "A," on file in the Development Services Department.

17. Prior to issuance of any public improvement permit, the Owner/Permittee shall submit complete landscape construction documents for right-of-way improvements to the Development Services Department for approval. Improvement plans shall show, label, and dimension a 40-square-foot area around each tree which is unencumbered by utilities. Driveways, utilities, drains, water and sewer laterals shall be designed so as not to prohibit the placement of street trees.

18. Prior to issuance of any building permit (including shell), the Owner/Permittee shall submit complete landscape and irrigation construction documents, which are consistent with the Landscape Standards, to the Development Services Department for approval. The construction documents shall be in substantial conformance with Exhibit "A," Landscape Development Plan, on file in the Development Services Department. Construction plans shall provide a 40-square-foot area around each tree that is unencumbered by hardscape and utilities unless otherwise approved per §142.0403(b)6.

19. In the event that a foundation-only permit is requested by the Owner/Permittee, a site plan or staking layout plan shall be submitted to the Development Services Department identifying all landscape areas consistent with Exhibit "A," Landscape Development Plan, on file in the Development Services Department. These landscape areas shall be clearly identified with a distinct symbol, noted with dimensions, and labeled as 'landscaping area.

20. The Owner/Permittee shall be responsible for the maintenance of all landscape improvements shown on the approved plans, including in the right-of-way, unless long-term maintenance of said landscaping will be the responsibility of another entity approved by the Development Services

Department. All required landscape shall be maintained consistent with the Landscape Standards in a disease, weed, and litter free condition at all times. Severe pruning or "topping" of trees is not permitted.

PLANNING/DESIGN REQUIREMENTS:

21. A topographical survey conforming to the provisions of the SDMC may be required if it is determined, during construction, that there may be a conflict between the building(s) under construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Owner/Permittee.

22. All private outdoor lighting shall be shaded and adjusted to fall on the same premises where such lights are located and in accordance with the applicable regulations in the SDMC.

TRANSPORTATION REQUIREMENTS

23. The automobile, motorcycle and bicycle parking spaces must be constructed in accordance with the requirements of the SDMC. All on-site parking stalls and aisle widths shall be in compliance with requirements of the City's Land Development Code and shall not be converted and/or utilized for any other purpose, unless otherwise authorized in writing authorized by the appropriate City decision maker in accordance with the SDMC.

24. The Owner/Permittee shall provide and maintain a 10-foot by 10-foot visibility triangle area on both sides of the driveway measured along the property line on Dixie Drive. No obstacles higher than 36 inches shall be located within this area.

WATER AND SEWER REQUIREMENTS:

25. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, the design and construction of new water and sewer service(s) outside of any driveway or drive aisle and the abandonment of any existing unused water and sewer services within the right-of-way adjacent to the project site, in a manner satisfactory to the Public Utilities Department and the City Engineer.

26. Owner/Permittee shall apply for a plumbing permit for the installation of appropriate private back flow prevention device(s), on each water service (domestic, fire and irrigation), in a manner satisfactory to the Public Utilities Department and the City Engineer. BFPDs shall be located above ground on private property, in line with the service and immediately adjacent to the right-of-way.

27. All proposed private water and sewer facilities are to be designed to meet the requirements of the California Uniform Plumbing Code and will be reviewed as part of the building permit plan check.

28. No trees or shrubs exceeding three feet in height at maturity shall be installed within ten feet of any sewer facilities and five feet of any water facilities.

29. Prior to the issuance of any building construction permits, the Owner/Permittee is required to vacate the public sewer easement as shown on the approved Exhibit "A," in a manner satisfactory to the Public Utilities Department and City Engineer.

INFORMATION ONLY:

- The issuance of this discretionary permit alone does not allow the immediate commencement or continued operation of the proposed use on site. Any operation allowed by this discretionary permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Hearing Officer of the City of San Diego on March 6, 2024, and [Approved Resolution Number].

ATTACHMENT 5

Coastal Development Permit No. PMT-3178095
Date of Approval: March 6, 2024

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES DEPARTMENT

Hector Rios
Development Project Manager

**NOTE: Notary acknowledgment
must be attached per Civil Code
section 1189 et seq.**

The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

Owner/Permittee

By _____
Sandip S. Minhas
Husband and Wife as Joint tenants

Owner/Permittee

By _____
Jennifer A. Minhas
Husband and Wife as Joint tenants

**NOTE: Notary acknowledgments
must be attached per Civil Code
section 1189 et seq.**

NOTICE OF EXEMPTION

(Check one or both)

TO: Recorder/County Clerk
 P.O. Box 1750, MS A-33
 1600 Pacific Hwy, Room 260
 San Diego, CA 92101-2400

From: City of San Diego
 Development Services Department
 1222 First Avenue, MS 501
 San Diego, CA 92101

Office of Planning and Research
 1400 Tenth Street, Room 121
 Sacramento, CA 95814

Project Title / Number: Minhas Residence / PRJ-1067299

State Clearinghouse No.: N/A

Project Location-Specific: 4920 Dixie Drive, San Diego, CA, 92109

Project Location-City/County: San Diego/San Diego

Description of nature and purpose of the Project: A request for a COASTAL DEVELOPMENT PERMIT to demolish the existing two-unit multi-family dwelling unit and construct a new two-unit, two-story over basement, multifamily dwelling unit consisting of 7,711 square feet. The basement would include 826 square feet of living area and 1,645 square feet of garage area, the first floor would include 1,895 square feet of living area and 381 square feet of deck area, and the third floor would include 1,1715 square feet of living area and 409 square feet of balcony/deck area. The project would also include an 840 square-foot roof deck and associated hardscape and landscape. The 5,000 square-foot project site is located at 4920 Dixie Drive. The project site is zoned RM-1-1 (Residential-Multiple Unit) and designated Residential per the Pacific Beach Community Plan. Additionally, the project site is within the Coastal Zone Boundary, Coastal Height Limitation Overlay Zone, Coastal Overlay Zone (Appealable), Parking Impact Overlay Zone (Beach and Coastal), Residential Tandem Parking Overlay Zone, Transit Area Overlay Zone, Transit Priority Area. (LEGAL DESCRIPTION: TR 1931, Blk 5, Lot 21).

Name of Public Agency Approving Project: City of San Diego

Name of Person or Agency Carrying Out Project: Mark D. Lyon, 410 Birdrock Avenue, La Jolla, CA 92037, (858) 459-1171

Exempt Status: (Check one)

- Ministerial (Sec. 21080(b)(1); 15268)
 Declared Emergency (Sec. 21080(b)(3); 15269(a))
 Emergency Project (Sec. 21080(b)(4); 15269 (b)(c))
 Categorical Exemption: 15302, Replacement or Reconstruction and 15303, New Construction or Conversion of Small Structures
 Statutory Exemptions:
 Other:

Reasons why project is exempt: The City of San Diego determined that the project would qualify to be categorically exempt from CEQA pursuant to 15302, Replacement or Reconstruction and 15303, New Construction or Conversion of Small Structures; and where the exceptions listed in Section 15300.2 would not apply. CEQA Guideline Section 15302, Replacement or Reconstruction allows for the replacement or reconstruction of existing structures and facilities where the new structure will be located on the same site as the structure replaced and will have substantially the same purpose and capacity as the structure replaced. CEQA Guideline Section 15303, New Construction or Conversion of Small Structures allows for the construction and location of limited numbers of new, small facilities or structures; installation of small new equipment and facilities in small structures; and the conversion of existing small structures from one use to another where only minor modifications are made in the exterior of the structure. The site is not included on any list compiled pursuant to Government Code Section 65962.5 for hazardous waste sites.

Lead Agency Contact Person: Kristy J. Blodgett

Telephone: (619) 236-7788

If filed by applicant:

1. Attach certified document of exemption finding.
2. Has a notice of exemption been filed by the public agency approving the project? Yes No

It is hereby certified that the City of San Diego has determined the above activity to be exempt from the California Environmental Quality Act.

Anne B. Jarque Digitally signed by Anne B. Jarque
Date: 2023.12.14 14:55:16 -08'00' /Senior Planner

Signature/Title

12/19/2023

Date

Check One:

- Signed by Lead Agency
 Signed by Applicant

Date Received for Filing with County Clerk or OPR:

Page 3	City of San Diego · Information Bulletin 620		August 2018
	City of San Diego Development Services 1222 First Ave., MS-302 San Diego, CA 92101		<h2 style="text-align: center;">Community Planning Committee Distribution Form</h2>
Project Name: Minhas Residence		Project Number: 1067299	
Community: Pacific Beach			
<p>For project scope and contact information (project manager and applicant), log into OpenDSD at https://aca.accela.com/SANDIEGO.</p> <p>Select "Search for Project Status" and input the Project Number to access project information.</p>			
<input checked="" type="checkbox"/> Vote to Approve <input type="checkbox"/> Vote to Approve with Conditions Listed Below <input type="checkbox"/> Vote to Approve with Non-Binding Recommendations Listed Below <input type="checkbox"/> Vote to Deny			Date of Vote: January 11, 2023
# of Members Yes 9	# of Members No 0	# of Members Abstain 1	
Conditions or Recommendations:			
<input type="checkbox"/> No Action (Please specify, e.g., Need further information, Split vote, Lack of quorum, etc.)			
NAME: JOHN C TERELL			
TITLE: Chair, Development Subcommittee			DATE: January 13, 2023
<i>Attach additional pages if necessary (maximum 3 attachments).</i>			

Visit our web site at www.sandiego.gov/development-services.

Upon request, this information is available in alternative formats for persons with disabilities.

DS-5620 (08-18) ONLINE FORM

	City of San Diego Development Services 1222 First Ave., MS 302 San Diego, CA 92101 (619) 446-5000	<h2 style="margin: 0;">Ownership Disclosure Statement</h2>	FORM DS-318 October 2017
---	---	--	--

Approval Type: Check appropriate box for type of approval(s) requested: Neighborhood Use Permit Coastal Development Permit
 Neighborhood Development Permit Site Development Permit Planned Development Permit Conditional Use Permit Variance
 Tentative Map Vesting Tentative Map Map Waiver Land Use Plan Amendment • Other _____

Project Title: Minhas Residence **Project No. For City Use Only:** _____
Project Address: 49 20-422 Di ie Drive

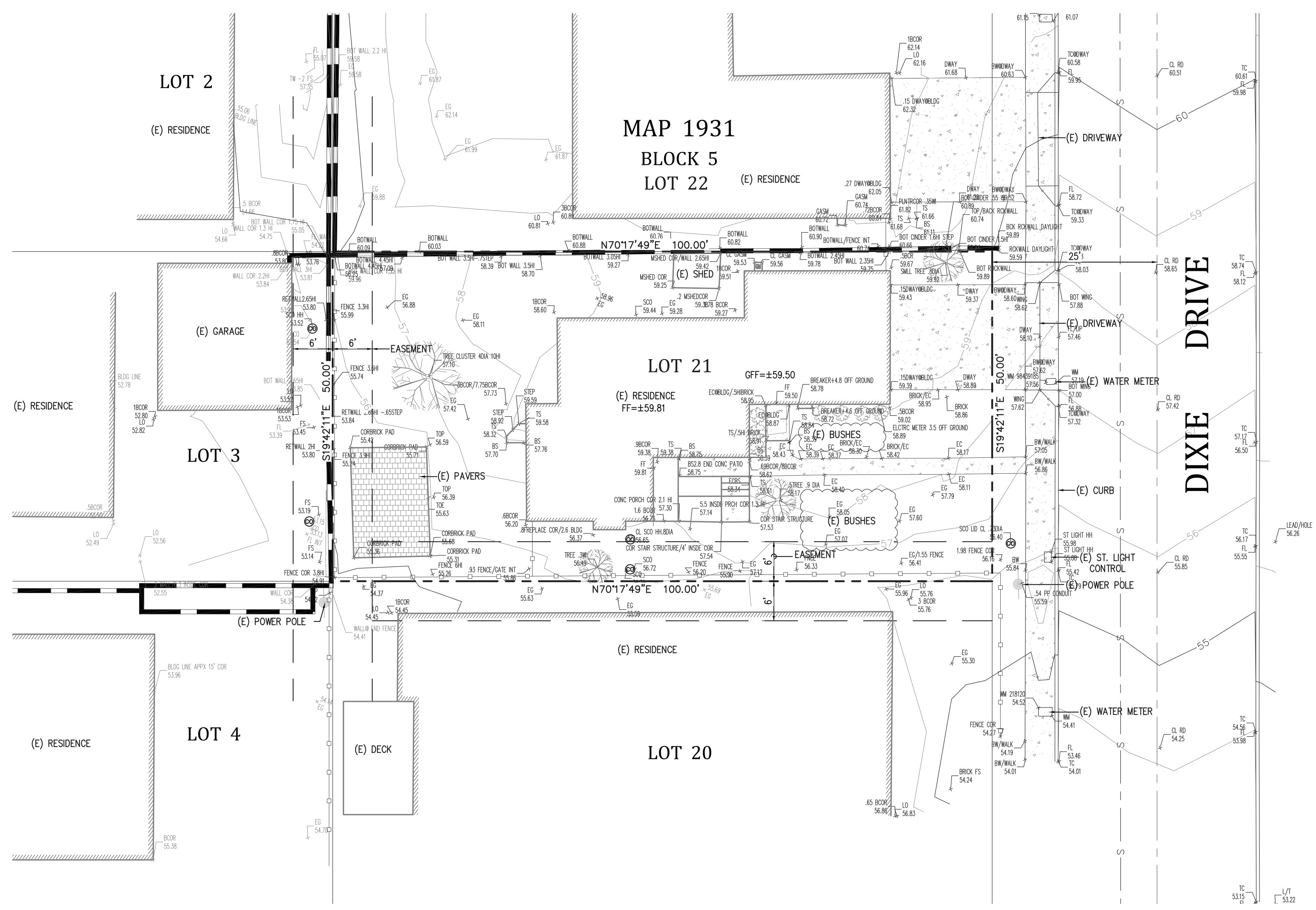
Specify Form of Ownership/Legal Status (please check):
 Corporation Limited Liability -or- General - What State? _____ Corporate Identification No. _____
 Partnership Individual

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter will be filed with the City of San Diego on the subject property with the intent to record an encumbrance against the property. Please list below the owner(s), applicant(s), and other financially interested persons of the above referenced property. A financially interested party includes any individual, firm, co-partnership, joint venture, association, social club, fraternal organization, corporation, estate, trust, receiver or syndicate with a financial interest in the application. If the applicant includes a corporation or partnership, include the names, titles, addresses of all individuals owning more than 10% of the shares. If a publicly-owned corporation, include the names, titles, and addresses of the corporate officers. (A separate page may be attached if necessary.) If any person is a nonprofit organization or a trust, list the names and addresses of **ANY** person serving as an officer or director of the nonprofit organization or as trustee or beneficiary of the nonprofit organization. A signature is required of at least one of the property owners. Attach additional pages if needed. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

Property Owner
 Name of Individual: Kearifor Minhas & Sandip Minhas Owner Tenant/Lessee Successor Agency
 Street Address: 1021 Law St.
 City: San Diego State: CA Zip: 92109
 Phone No.: 858-437-7103 Fax No.: _____ Email: Kearifor Minhas@yahoo.com
 Signature: [Signature] Date: 7-23-22
 Additional pages Attached: Yes No

Applicant
 Name of Individual: ARCHITECT MARK D. LYON, INC. Owner Tenant/Lessee Successor Agency
 Street Address: 410 BIRDROCK AVE
 City: LA JOLLA State: CA Zip: 92037
 Phone No.: 858-459-1171 Fax No.: - Email: INFO@MDLA.NET
 Signature: [Signature] Date: 7-25-22
 Additional pages Attached: Yes No

Other Financially Interested Persons
 Name of Individual: _____ Owner Tenant/Lessee Successor Agency
 Street Address: _____
 City: _____ State: _____ Zip: _____
 Phone No.: _____ Fax No.: _____ Email: _____
 Signature: _____ Date: _____
 Additional pages Attached: Yes No



LEGEND

PROPERTY LINE	---
LOT LINE	---
EXISTING CONTOURS	55
EXISTING WATER METER	
EXISTING CURB	---
EXISTING TREE	
EXISTING SPOT ELEVATION	× TC 58.74
EXISTING WALL	
EXISTING CONCRETE	
EXISTING PAVERS	
EXISTING FENCE	
EXISTING POWER POLE	
EXISTING MANHOLE	
EXISTING SEWER CLEANOUT	

SHORT LEGAL DESCRIPTION:
LOT 21 BLOCK 5 OF NETTLESHIP-TYPE TRACT #1 MAP 1931

ASSESSORS PARCEL NUMBER
415-391-21-00

BENCHMARK:
LOCATION: NEBP
DESCRIPTION: OCEAN BOULEVARD & LAW STREET
ELEVATION: 38.834 DATUM: M.S.L.
RECORD FROM: CITY OF SAN DIEGO VERTICAL CONTROL BENCHBOOK

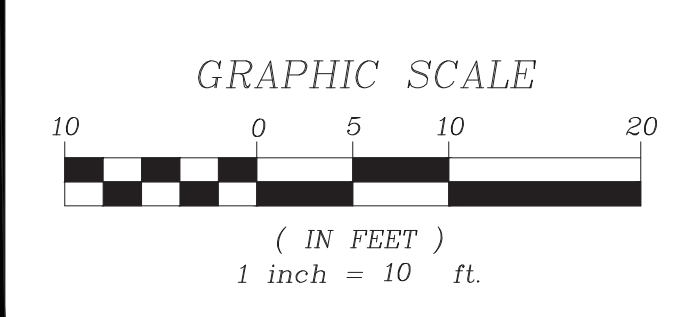
NOTE:
BOUNDARY LINES SHOWN IN THIS TOPOGRAPHIC SURVEY ARE PAPER BOUNDARY ONLY

Drawing File: Z:\2022\4920-4922 DIXIE DRIVE\4920-4922 DIXIE DRIVE.TPOD-2 Feb 28, 2022 - 2:28pm

PREPARED BY:

PLANNING ENGINEERING SURVEYING MAPPING
 13670 DANIELSON ST., SUITE G POWAY, CA 92064
 Ph: 858.513.1741 Fax: 858.513.1744
 email: jbsurvey@sbcglobal.net

REGISTERED PROFESSIONAL ENGINEER
 MACARIO R. PEREZ
 C 20604
 EXP. 09/30/23
 CIVIL
 STATE OF CALIFORNIA



Designed By:	Drawn By:	Checked By:
	FM	JS
Plans Prepared Under Supervision Of:	Date: 2/28/22	
	R.C.E. No. C20604	

TOPOGRAPHIC SURVEY FOR:
4920-4922 DIXIE DRIVE SAN DIEGO, CA 92109

SHEET 1 OF 1
 DATE: 1/28/2022

CONSTRUCTION NOTES

- 1) REMOVE EXISTING BUILDING, FOUNDATION, SLAB, PLUMBING, MECHANICAL, ELECTRIC AND WET UTILITIES.
- 2) REMOVE EXISTING SHED.
- 3) REMOVE EXISTING TREE.
- 4) REMOVE EXISTING CONCRETE PAVERS.
- 5) EXISTING DRIVEWAY TO BE CLOSED.
- 6) EXISTING WATER SERVICE WILL BE KILLED AT THE MAIN.
- 7) PROPOSED 1" WATER SERVICE.
- 8) PROPOSED 1" P.V.T. BACKFLOW PREVENTER
- 9) REMOVE EXISTING CONCRETE PAVEMENT.
- 10) REMOVE EXISTING PRIVATE SEWER CLEANOUT.
- 11) CONSTRUCT 4" CONCRETE WALKWAY.
- 12) CONSTRUCT 4" CONCRETE PAVEMENT.
- 13) CONSTRUCT 12" X 12" CATCH BASIN.
- 14) CONSTRUCT 24" X 24" CATCH BASIN.
- 15) CONSTRUCT 12" WIDE TRENCH DRAIN.
- 16) CONSTRUCT SUMP PIT.
- 17) CONSTRUCT 6" PVC STORM DRAIN PIPE.
- 18) CONSTRUCT 2" PVC STORM DRAIN PIPE.
- 19) CONSTRUCT EARTHEN SWALE @ 1% MIN.
- 20) CONSTRUCT RETAINING WALL PER STRUCTURAL PLAN.
- 21) CONSTRUCT 3"-3" DIAMETER PIPE SIDEWALK UNDERRAIN PIPE PER D-27.
- 22) CONSTRUCT 12' DRIVEWAY PER SDG-159.
- 23) EXISTING SEWER LATERAL TO BE PLUGGED AT PROPERTY LINE
- 24) PROPOSED 6" SEWER LATERAL.

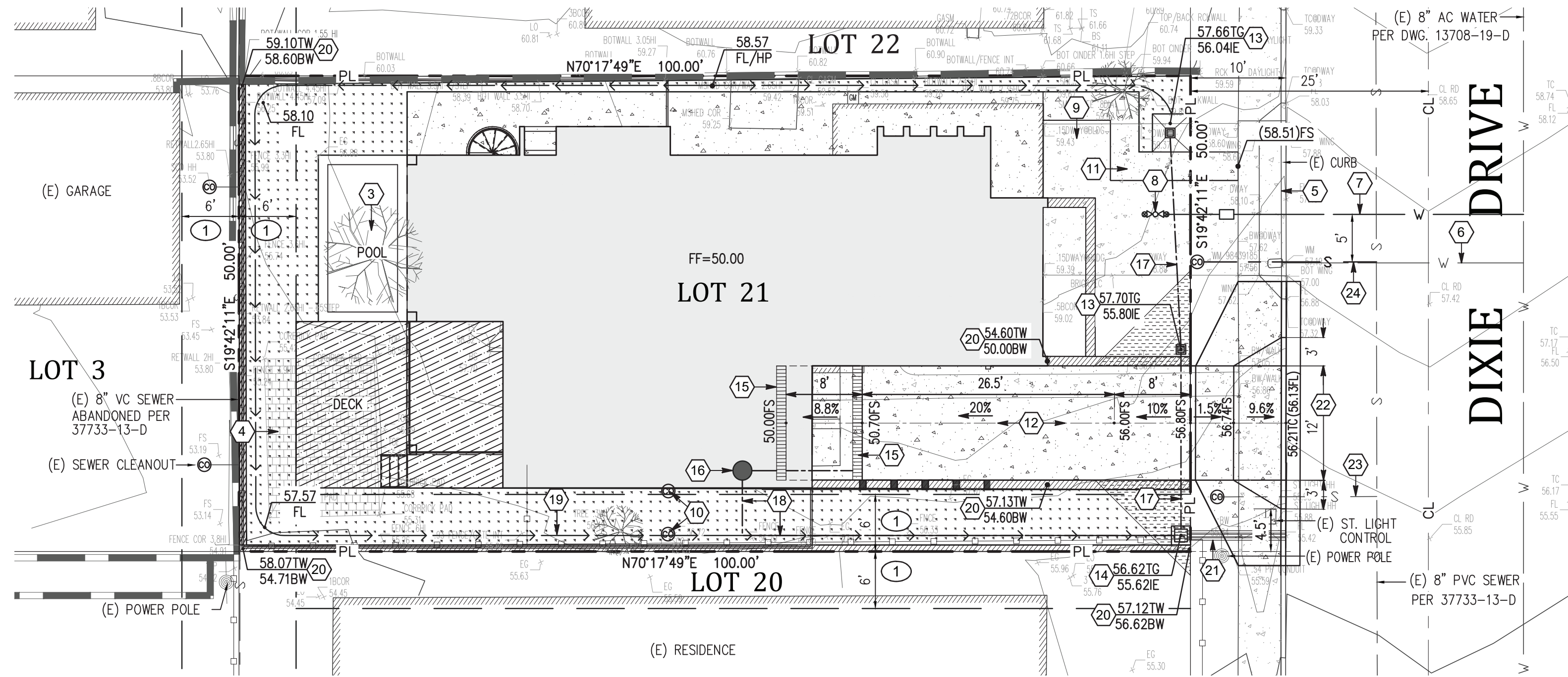
DATA TABLE

TOTAL DISTURBANCE AREA	5,000.0 S.F.
EXISTING AMOUNT OF IMPERVIOUS AREA	1,863.5 S.F.
AMOUNT OF CREATED IMPERVIOUS AREA	1,761.3 S.F.
AMOUNT OF REPLACED IMPERVIOUS AREA	1,461.9 S.F.
TOTAL PROPOSED IMPERVIOUS AREA	3,223.2 S.F.
IMPERVIOUS % INCREASE	73 %
AMOUNT OF CUT	82.87 C.Y.
AMOUNT OF FILL	82.87 C.Y.
IMPORT / EXPORT	0 C.Y.
HEIGHT OF CUT	1 FT.
HEIGHT OF FILL	1 FT.
BASEMENT EXCAVATION AMOUNT OF CUT	424.82 C.Y.

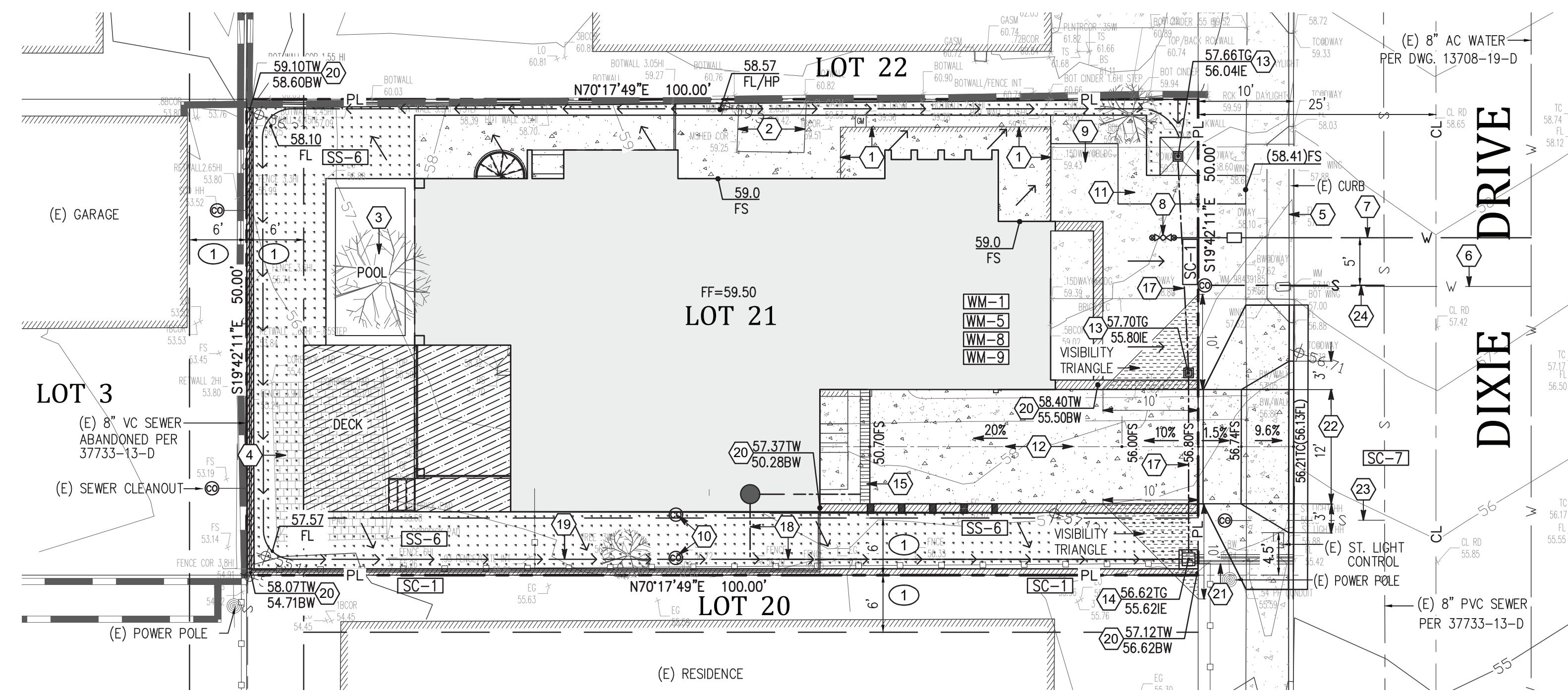
NOTE: DIRT DURING EXCAVATION OF THE BASEMENT WILL BE EXPORTED IMMEDIATELY TO A LEGAL SITE.

NOTES:

1. THE ESTIMATED QUANTITIES PROVIDED ABOVE ARE FOR REFERENCE ONLY TO BE USED FOR JURISDICTIONAL PLAN CHECKING AND PERMITTING PURPOSES ONLY.
2. ESTIMATED EARTHWORK ABOVE IS BASED ON DESIGN FINISH SURFACE/GRADE TO EXISTING FINISH SURFACE/GRADE IN SURVEY. THE ESTIMATE EARTHWORK DOES NOT CONSIDER THE THICKNESS OF EACH PAVEMENT MATERIAL, FOUNDATION AND SLAB ON GRADE VOLUMES, THE REMOVAL OF ANY UNSUITABLE MATERIAL, AND THE REMOVAL OF EXISTING TOP SOIL OR VEGETATION.
3. THE ESTIMATED EARTHWORK QUANTITIES DO NOT INCLUDE SHRINKAGE FACTORS DUE TO COMPACTION OR ANY OVER EXCAVATION QUANTITIES.
4. THE CONTRACTOR SHALL CALCULATE HIS/HER OWN EARTHWORK QUANTITIES NECESSARY FOR HIS/HER BID AND WORK. J&B IS NOT RESPONSIBLE AND LIABLE FOR THE CONTRACTOR'S EARTHWORK CALCULATIONS.
5. ALL EXPORT MATERIAL DURING THE EXCAVATION OF THE BASEMENT SHALL BE DISCHARGED TO A LEGAL DISPOSAL SITE.
6. ALL STORMWATER RUNOFF FROM PROPOSED AND/OR REPLACED IMPERVIOUS AREAS SHALL BE ROUTED TO PERVIOUS SURFACES OR LANDSCAPING PRIOR TO REACHING THE PUBLIC DRAIN SYSTEM.



BASEMENT



FIRST FLOOR

NOTE: ALL WORKS WITHIN THE PUBLIC RIGHT OF WAY ARE PER SEPARATE PERMIT.

NOTE: NO OBJECTS HIGHER THAN 36 INCHES WILL BE PROPOSED IN THE VISIBILITY AREAS.

LEGEND

EXISTING IMPROVEMENTS	
BOUNDARY LINE	--- PL ---
ROAD CENTERLINE	--- CL ---
EXISTING BUILDING	[Symbol]
EXISTING ELEVATION	55
EXISTING CURB	[Symbol]
EXISTING WALL	[Symbol]
EXISTING FENCE	[Symbol]
EXISTING CONCRETE	[Symbol]
EXISTING PAVERS	[Symbol]
EXISTING MANHOLE	[Symbol]
EXISTING SEWER CLEANOUT	[Symbol]
EXISTING TREE	[Symbol]
EXISTING SPOT ELEVATION	X 58.74
EXISTING POWER POLE	[Symbol]
EXISTING WATER METER	[Symbol]
PROPOSED IMPROVEMENTS	
PROPOSED WALL	PER STRUCTURAL PLAN [Symbol]
PROPOSED 4" CONCRETE WALKWAY	[Symbol]
PROPOSED LANDSCAPE AREA	PER LANDSCAPE PLAN [Symbol]
PROPOSED DECK	PER ARCHITECTURAL PLAN [Symbol]
EARTHEN SWALE @ 1% MIN.	[Symbol]
DRAINAGE DIRECTION	[Symbol]
PROPOSED ELEVATION	58.59FL
MATERIAL DELIVERY & STORAGE	WM-1
SOLID WASTE MANAGEMENT	WM-5
CONCRETE WASTE MANAGEMENT	WM-8
SEPTIC/SANITARY WASTE MANAGEMENT	WM-9
SILT FENCE	SC-1
STREET SWEEPING & VACUUMING	SC-7
STRAW MULCH	SS-6

SHORT LEGAL DESCRIPTION:

LOT 21 BLOCK 5 OF NETLESHIP-TYPE TRACT #1 MAP 1931

ASSESSORS PARCEL NUMBER

419-391-21-00

EASEMENT NOTE:

- 1) 6 FT. EASEMENT FOR PUBLIC UTILITIES DEDICATED PER MAP 1931. PER CITY RECORD SEWER ON THIS EASEMENT IS ALREADY ABANDONED. EASEMENT WILL BE VACATED.

BENCHMARK:

LOCATION: NEBP
DESCRIPTION: OCEAN BOULEVARD & LAW STREET
ELEVATION: 39.934 DATUM: M.S.L.
RECORD FROM: CITY OF SAN DIEGO VERTICAL CONTROL BENCHMARK

TOPOGRAPHY SOURCE

J&B ENGINEERS, SURVEYORS
13670 DANIELSON ST. SUITE G
POWAY, CA 92064
DATE: 1/28/2022

CIVIL ENGINEER

J&B ENGINEERS, SURVEYORS
13670 DANIELSON ST. SUITE G
POWAY, CA 92064

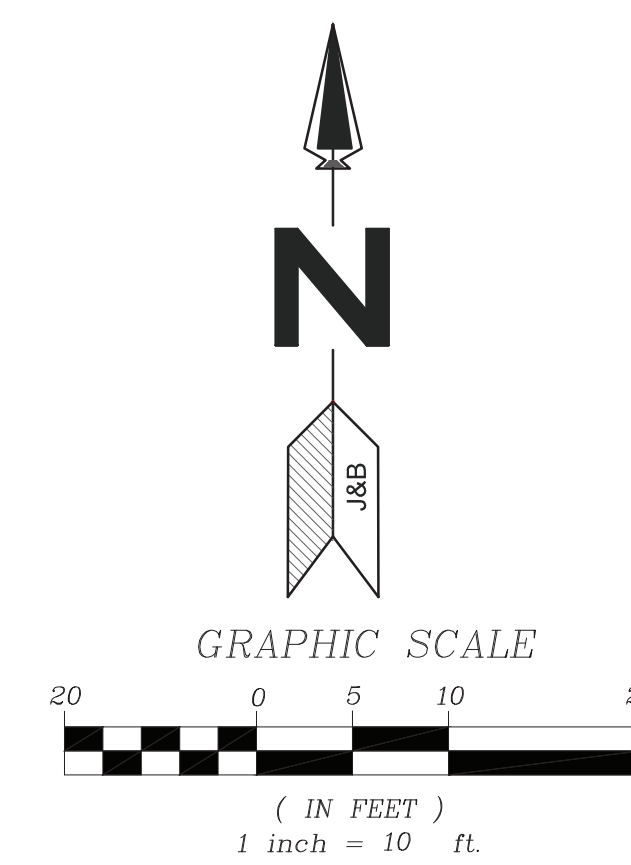


ROBERTO S. DOMINGO 8/10/23
RCE 29118 EXP. 03-31-25

CONCEPTUAL GRADING PLAN & EROSION CONTROL PLAN

4920-4922 DIXIE DRIVE
SAN DIEGO, CA 92109

C1



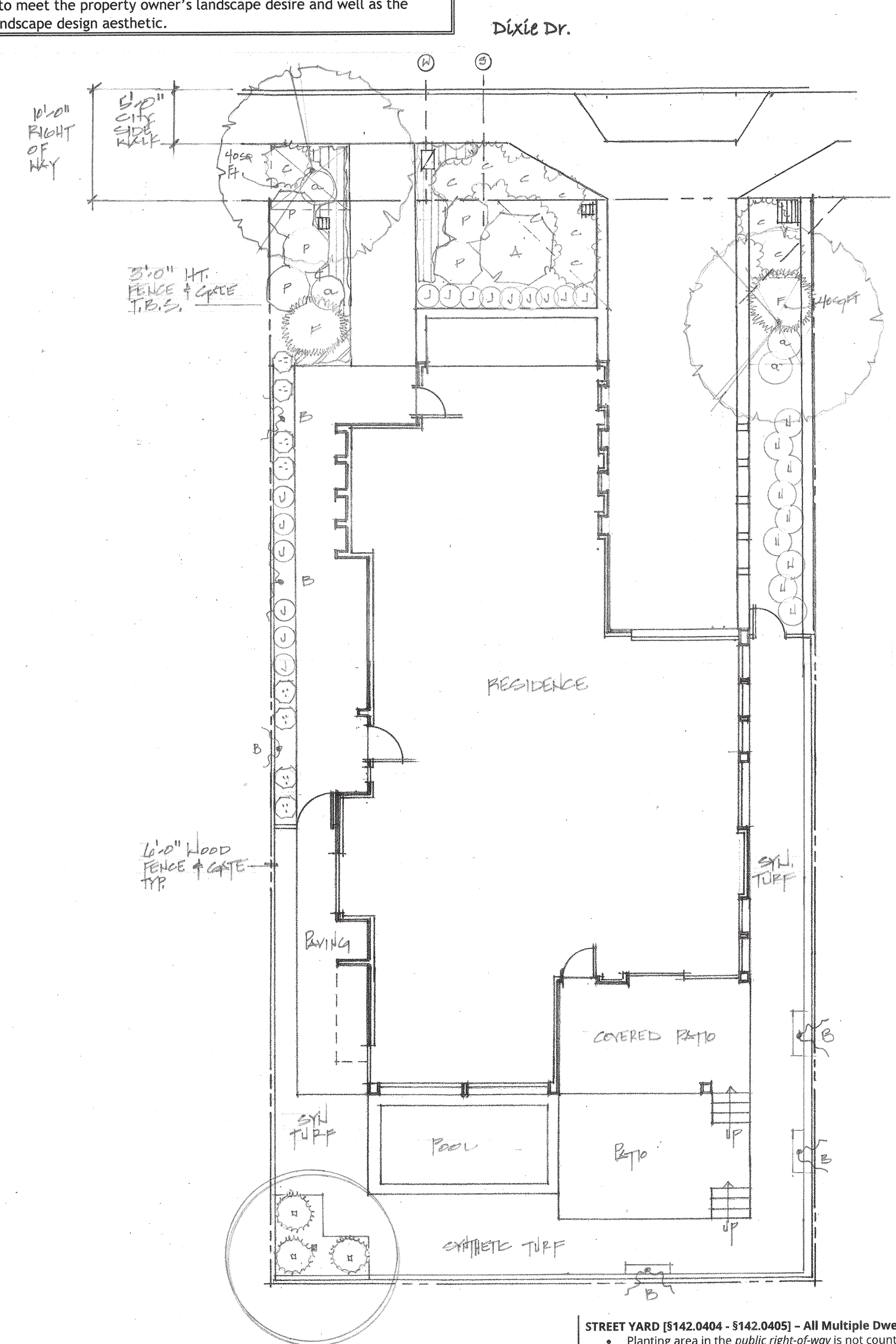
Drawing File: Z:\2022\4920-4922 DIXIE DRIVE-CP-3 Aug 10, 2023 - 2:28pm by: J&B

J&B ENGINEERS SURVEYORS
PLANNING ENGINEERING SURVEYING MAPPING
13670 DANIELSON ST., SUITE G POWAY, CA 92064
Ph: 858.513.1741 Fax: 858.513.1744
email: jbsurvey@sbcglobal.net

1749

LANDSCAPE DESIGN STATEMENT

The landscape design concept for this property was developed by the property owner & landscape architect for long term viability of the landscape as well as site location and existing conditions. The use of drought tolerant, yet vigorous, attractive and low maintenance plant material was instrumental to achieve the developers landscape goals. Succulents and other low water use plant material appropriate for coastal conditions were selected to meet the property owner's landscape desire and well as the overall landscape design aesthetic.



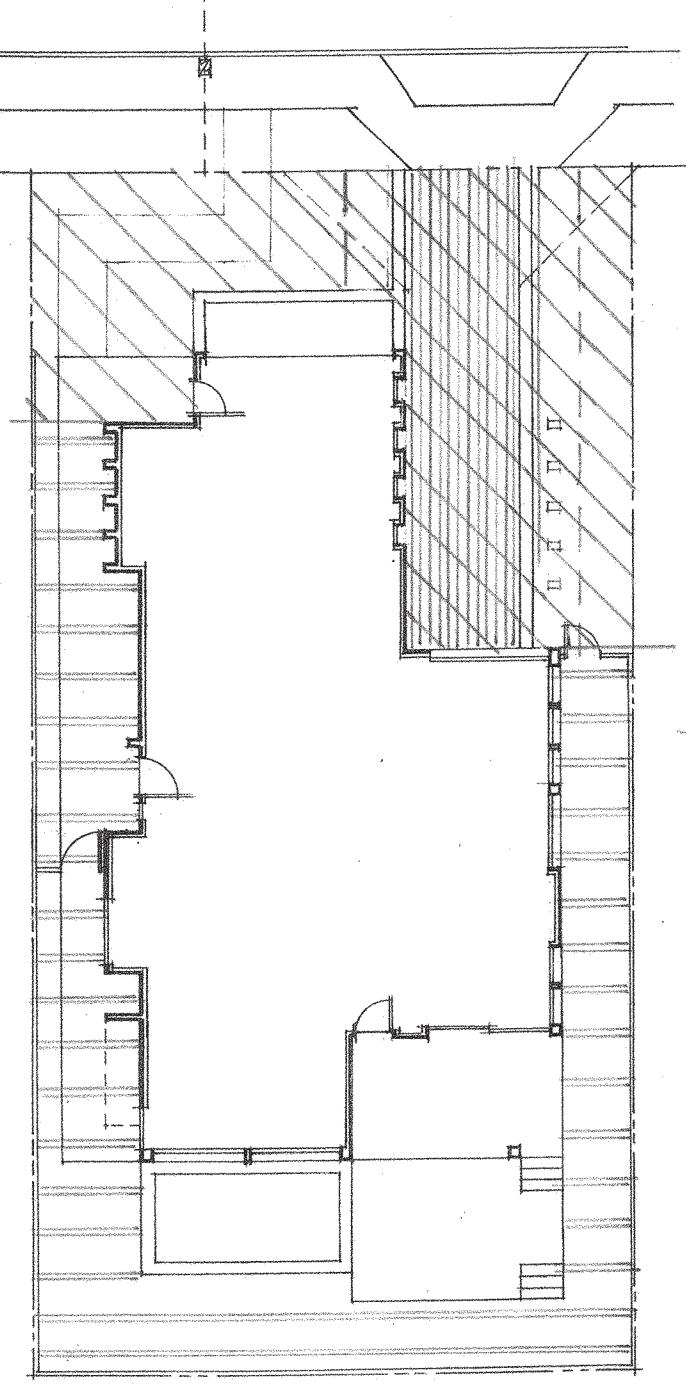
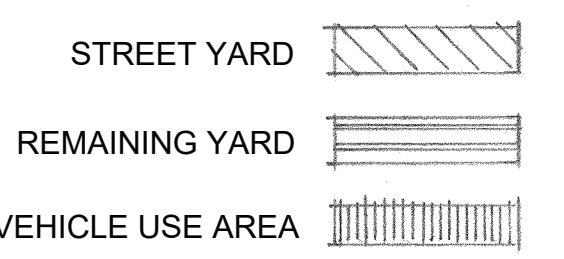
Dixie Dr.

PLANT LEGEND

Table with columns: KEY, BOTANICAL NAME, COMMON NAME, QTY, SIZE, WUCOLS, MATURE HT/SPD, FUNCTION. Lists various plants like Metrosideros excelsus, Guava, Agave americana, etc.

LANDSCAPE AREA DIAGRAM

LANDSCAPE AREA DIAGRAM LEGEND



- 19. OWNER TO MAINTAIN AND KEEP CLEAR ALL DRAINAGE SWALES AND INSURE POSITIVE SURFACE DRAINAGE AWAY FROM BUILDINGS...
20. A MINIMUM ROOT ZONE OF 405F IN AREA SHALL BE PROVIDED FOR ALL TREES...
21. TREES SHALL BE MAINTAINED SO THAT ALL BRANCHES OVER PEDESTRIAN WALKWAYS ARE 6 FEET ABOVE THE WALKWAY GRADE...
22. TREE ROOT BARRIERS SHALL BE INSTALLED WHERE TREES ARE PLACED WITHIN 5 FEET OF PUBLIC IMPROVEMENTS...
23. MAINTENANCE: ALL REQUIRED LANDSCAPE AREAS SHALL BE MAINTAINED BY THE PROPERTY OWNER...
24. IF ANY REQUIRED LANDSCAPE INDICATED ON THE APPROVED CONSTRUCTION DOCUMENT PLANS IS DAMAGED OR REMOVED DURING DEMOLITION OR CONSTRUCTION...
25. MINIMUM TREES SEPARATION DISTANCE: TRAFFIC SIGNALS/STOP SIGNS - 30 FEET...
26. POST FERTILIZATION FOR ALL PLANTING AREAS (16-6-8) SHALL OCCUR 45 DAYS AFTER PLANTING...
27. ALL PRUNING SHALL COMPLY WITH THE STANDARDS OF THE AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI) FOR TREE CARE OPERATIONS...
28. THE RIGHT OF WAY, EXISTING GRADES, ELEVATIONS AND BUILDING LOCATION AS SHOWN ON THESE DRAWINGS WAS FURNISHED TO THE LANDSCAPE ARCHITECT...
29. CONTRACTOR SHALL TAG AND PHOTOGRAPHY ALL SELECTED TREES AND SPECIMEN PLANTS AT THE NURSERY...
30. IRRIGATION: AN AUTOMATIC, ELECTRICALLY CONTROLLED IRRIGATION SYSTEM SHALL BE PROVIDED...
31. NOTICE TO OWNER/CLIENT: ANY CHANGE TO THE EXISTING SITE INCLUDING BUT NOT LIMITED TO DEMOLITION, GRADING, CONSTRUCTION OR PLANTING...
32. NOTICE TO GENERAL CONTRACTOR: GENERAL CONTRACTOR SHALL COORDINATE PRIOR TO CONSTRUCTION ALL 110 ELECTRICAL SERVICE SHOWN OR NOT SHOWN...

PLANTING NOTES

- 1. PREPARE ALL PLANTING AREAS AS FOLLOWS. ALL QUANTITIES ARE BASED ON 1000 SQ. FT.: SCARIFY EXISTING SOIL TO A DEPTH OF 8"; REMOVE ALL DEBRIS, WEEDS AND ROCKS LARGER THAN 2" DIA.; APPLY 2 CU. YDS. NITRIFIED WOOD SHAVINGS...
2. FERTILIZER/SOIL AMENDMENT TREATMENT ABOVE IS FOR BIDDING PURPOSES ONLY. SOILS TEST MAY REDUCE OR INCREASE TOTAL SOIL AMENDMENT YARDAGE...
3. GROUND COVERS INCLUDING BERNUDA GRASS AND OTHER NOXIOUS WEEDS SHALL BE SPRAYED W/ ROUND-UP...
4. ALL NEWLY INSTALLED TREES SHALL HAVE ALL NURSERY STAKE(S) REMOVED AND SHALL BE RESTAKED WITH 2" DIA LODGE POLE(S) OUTSIDE OF THE ROOTBALL...
5. EVERY PLANT DELIVERED TO THE JOB SITE SHALL BE IN GOOD CONDITION, WITH A LEGIBLE PLANT TAG IDENTIFYING THE BOTANICAL GENUS, SPECIES AND VARIETY OF PLANT FOR VERIFICATION BY LANDSCAPE ARCHITECT...
6. MULCH: ALL REQUIRED PLANTING AREAS AND ALL EXPOSED SOIL AREAS WITHOUT VEGETATION SHALL BE COVERED WITH MULCH TO A MINIMUM DEPTH OF 3 INCHES...
7. TRAIN AND FAN OUT ALL VINES ON WALLS, TRELLISES ETC. W/ DEXTOL STICK AND TIE AS REQUIRED...
8. ANY SUBSTITUTIONS MUST BE APPROVED IN WRITING BY LANDSCAPE ARCHITECT...
9. ALL PLANT MATERIAL SHOWING SIGNS OF DEFOLIATION, LEANING, CHLOROSIS (YELLOWING), OR SETTLING PRIOR TO, OR AT THE END OF MAINTENANCE SHALL BE REPLACED BY THE CONTRACTOR...
10. LANDSCAPE CONTRACTOR TO PROVIDE GUARANTEES NORMAL TO THE TRADE FOR LONGEVITY OF ALL PLANT MATERIALS...
11. LANDSCAPE CONTRACTOR SHALL PROVIDE A MINIMUM ONCE A WEEK MAINTENANCE SERVICE FOR A PERIOD OF 90 DAYS...
12. CONTRACTOR TO INFORM LANDSCAPE ARCHITECT OF ANY DISCREPANCIES BETWEEN PLANS AND ACTUAL SITE CONDITIONS...
13. PLANT QUANTITIES ARE FOR CONVENIENCE PURPOSES ONLY...
14. ALL LANDSCAPE AND IRRIGATION SHALL CONFORM TO THE STANDARDS OF THE CITY-WIDE LANDSCAPE REGULATIONS...
15. OWNER TO LOCATE AND STAKE PROPERTY LINES...
16. CONTRACTOR AND OR OWNER SHALL OBTAIN ALL NECESSARY APPROVALS AND OR PERMITS FOR ANY AND ALL WORK WITHIN THE RIGHT OF WAY...
17. CONTRACTOR AND OR OWNER SHALL OBTAIN ALL NECESSARY APPROVALS AND OR PERMITS FOR ALL CONSTRUCTION WITHIN THE BOUNDS OF THE PROPERTY...
18. OWNER TO INSURE NEWLY INSTALLED PLANT MATERIAL RECEIVES ENOUGH WATER TO MAINTAIN GOOD HEALTH AND VIGOROUS GROWTH WITHOUT OVER WATERING...

IRRIGATION DESIGN STATEMENT

THE AUTOMATIC IRRIGATION SYSTEM TO BE INSTALLED SHALL CONSIST OF THE LATEST TECHNOLOGY LOW VOLUME DRIP SYSTEMS FOR 100% OF THE PROPERTY. THE SYSTEM WILL BE DESIGNED FOR THE MAXIMUM EFFICIENT USE OF WATER ADJUSTED FOR MINIMUM RUN-OFF ONTO WALKS, WALLS & NEIGHBORING PROPERTY.

VEHICULAR USE AREA (<6,000 sf) [142.0406 - 142.0407]

Table showing planting area required, planting area provided, excess area provided, plant points required, and plant points provided for vehicular use area.

STREET YARD [142.0404 - 142.0405] - All Multiple Dwelling Unit Residential Development

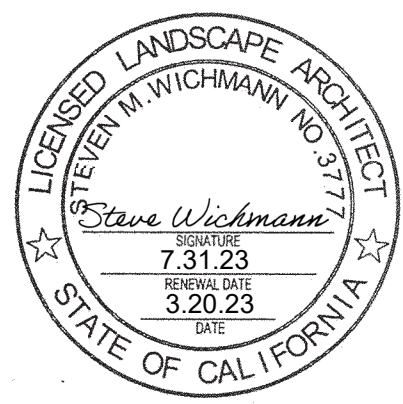
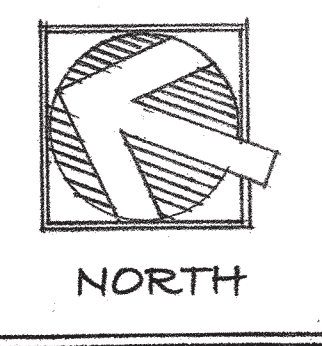
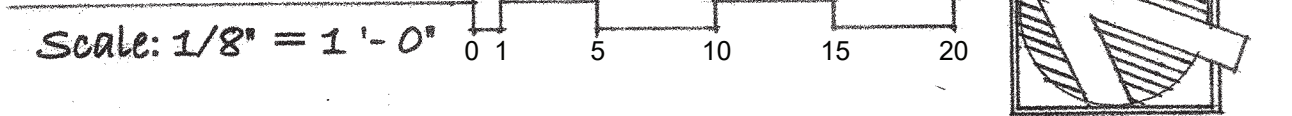
Table showing planting area required, planting area provided, excess area provided, plant points required, and plant points provided for street yard.

ADDITIONAL YARD PLANTING AND PLANT POINT REQUIREMENTS - IF APPLICABLE

Table showing planting area reduction and plant points provided for additional yard planting.

REMAINING YARD [142.0404 - 142.0405] - 4 Dwelling Units or Less

Table showing planting area required, planting area provided, excess area provided, plant points required, and plant points provided for remaining yard.



PREPARED BY: Steve Wichmann, Landscape Architect, 405 Via Del Norte, La Jolla, CA 92037, 858-469-9220, steve@w Wichmann-la.com

PROJECT NAME: Minhas Residence, 4920 Dixie Drive, San Diego, CA 92109-2011

SHEET TITLE: LANDSCAPE PLAN

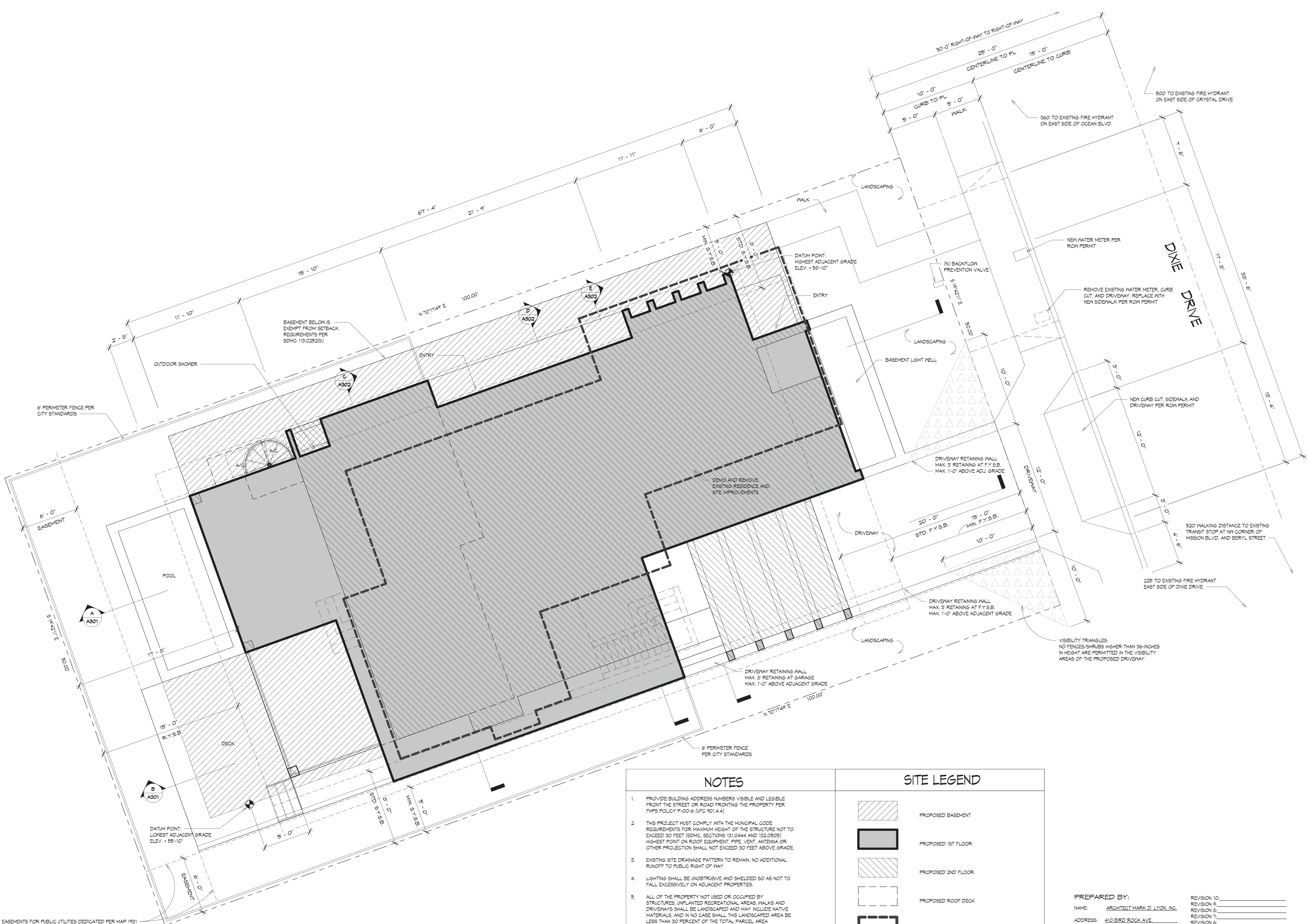
Revision table with columns for revision number, date, and description.

MINHAS RESIDENCE, 4920 Dixie Drive, San Diego, CA 92109-2011

WICHMANN LANDSCAPE ARCHITECTURE, 405 VIA DEL NORTE, STE. C, LA JOLLA, CA 92037-6762, 858-469-9220

Date: 6.15.12, Job #: R-22-10, Drawing By: SWH, 100% COMPLETE

Sheet L-1 OF ONE



SITE PLAN
1/4" = 1'-0"

NOTES		SITE LEGEND	
1.	PROVIDE BUILDING ADDRESS NUMBERS VISIBLE AND LEGIBLE FRONT THE STREET OR ROAD FRONTING THE PROPERTY PER FHPS POLICY P-00-6 (UGC 901.4.4)		PROPOSED BASEMENT
2.	THIS PROJECT MUST COMPLY WITH THE MUNICIPAL CODE REQUIREMENTS FOR MAXIMUM HEIGHT OF THE STRUCTURE NOT TO EXCEED 30 FEET (SDMG SECTIONS 131.0444 AND 132.0509) HIGHEST POINT ON ROOF EQUIPMENT, PIPE, VENT, ANTENNA OR OTHER PROJECTION SHALL NOT EXCEED 30 FEET ABOVE GRADE.		PROPOSED 1ST FLOOR
3.	EXISTING SITE DRAINAGE PATTERN TO REMAIN. NO ADDITIONAL RUNOFF TO PUBLIC RIGHT OF WAY		PROPOSED 2ND FLOOR
4.	LIGHTING SHALL BE INOBTRUSIVE AND SHIELDED SO AS NOT TO FALL EXCESSIVELY ON ADJACENT PROPERTIES.		PROPOSED ROOF DECK
5.	ALL OF THE PROPERTY NOT USED OR OCCUPIED BY STRUCTURES, UNPLANTED RECREATIONAL AREAS, WALKS AND DRIVEWAYS SHALL BE LANDSCAPED AND MAY INCLUDE NATIVE MATERIALS AND IN NO CASE SHALL THIS LANDSCAPED AREA BE LESS THAN 30 PERCENT OF THE TOTAL PARCEL AREA		DEMO & REMOVE EXISTING RESIDENCE
6.	STORM WATER FROM DOWNSPOUTS AND IMPERVIOUS AREAS MUST BE ROUTED TO EITHER LANDSCAPE AREAS OR PLANTER BOXES PRIOR TO REACHING THE PUBLIC DRAIN SYSTEM.		WATER METER
7.	ALL EXISTING AND PROPOSED EASEMENT HAVE BEEN SHOWN ON THE SITE PLAN. NO EXISTING EASEMENTS		

PREPARED BY:
 NAME: ARCHITECT MARK D. LYON, INC.
 ADDRESS: 410 BIRD ROCK AVE
 LA JOLLA, CA 92037
 PHONE: (858) 459-1171

PROJECT NUMBER:
 MINHAS RESIDENCE
 4420 DIXIE DRIVE, SAN DIEGO, CA 92109

SHEET TITLE:
 SITE PLAN

REVISIONS:

No.	Date
1	05/11/2022
2	07/20/2022
3	08/02/2022
4	08/02/2022
5	10/23/2022
6	10/23/2022
7	10/23/2022
8	10/23/2022
9	10/23/2022
10	10/23/2022

ORIGINAL DATE: 1/11/2022
 SHEET 5 OF 15
 DEPT:



MINHAS RESIDENCE
 4420 DIXIE DRIVE
 SAN DIEGO, CA 92109

REVISIONS:

No.	Date
1	05/11/2022
2	07/20/2022
3	08/02/2022
4	08/02/2022
5	10/23/2022
6	10/23/2022
7	10/23/2022
8	10/23/2022
9	10/23/2022
10	10/23/2022

SUBMITTAL DATE:
10/23/2022

PHASE:
COASTAL DEVELOPMENT

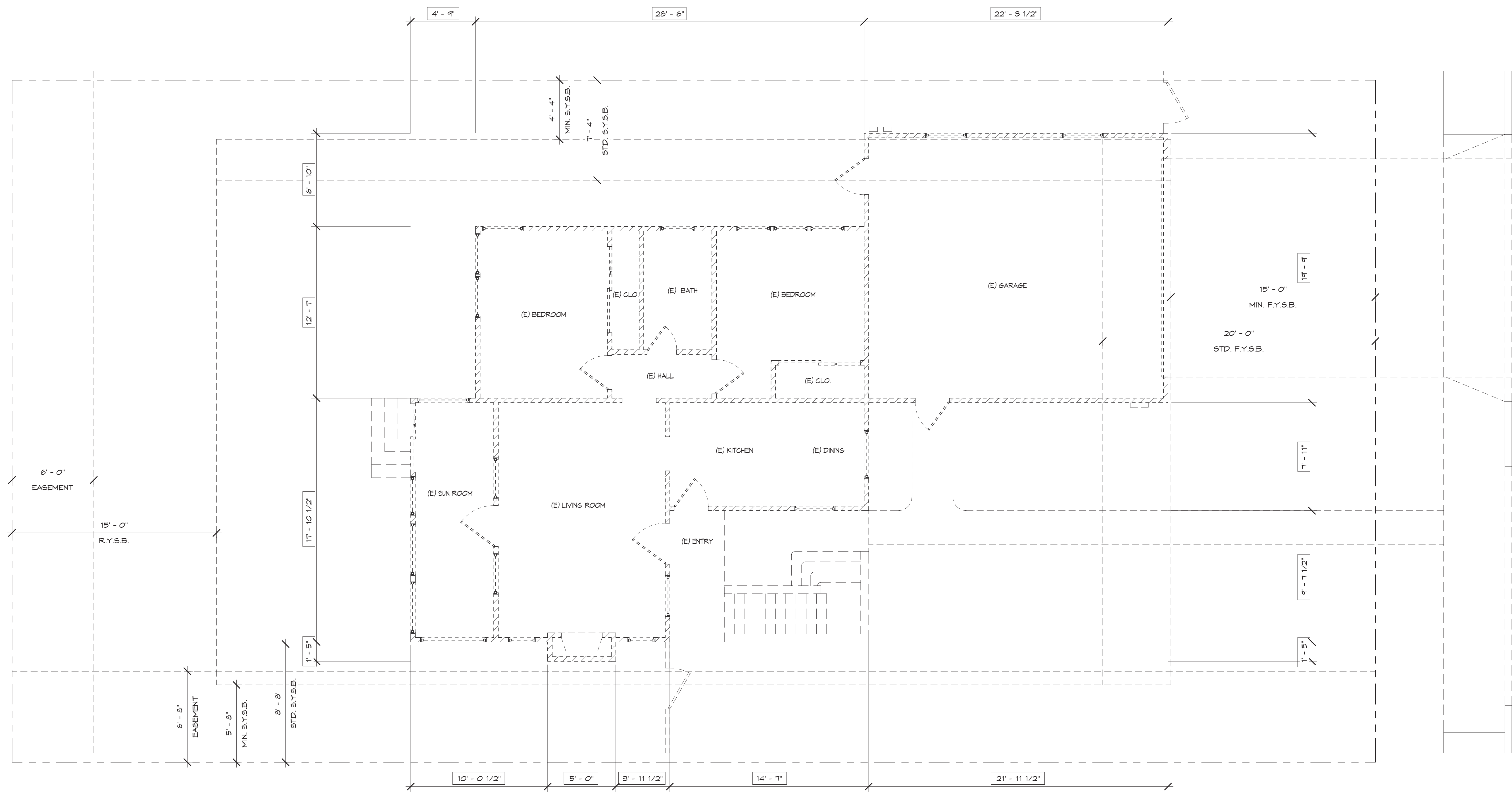
PROJECT NUMBER:
2152

REVIEWED BY:
MDL

DRAWN BY:
K.J.L. / R.H.

DATE:
10/23/2022

SHEET TITLE:
SITE PLAN



DEMO 1ST FLOOR PLAN

1/4" = 1'-0"

DEMOLITION NOTES		WALL LEGEND	
1.	CONTRACTOR TO VERIFY FIELD CONDITIONS WITH STRUCTURAL PLANS AND SPECIFICATIONS.		EXISTING WALL TO REMAIN
2.	CONTRACTOR SHALL ACCOMMODATE FOR CONNECTIONS TO PUBLIC AND PRIVATE UTILITIES.		EXISTING WALL TO BE REMOVED
3.	REMOVE ALL LANDSCAPE/HARDSCAPE FOR NEW CONSTRUCTION.		EXISTING DOOR TO BE REMOVED
4.	REMOVE ALL STRUCTURES AS SHOWN FOR NEW CONSTRUCTION.		EXISTING WINDOW TO BE REMOVED
5.	ALL DEMOLISHED ITEMS AND MATERIALS TO BE REMOVED FROM THE SITE AND RECYCLED OR SAFELY DISPOSED OF IN ACCORDANCE WITH APPLICABLE LAWS AND REGULATIONS, UNLESS SPECIFIED OTHERWISE BY THE OWNER.	ALL OTHER DASHED LINES REPRESENT ADDITIONAL ITEMS TO BE REMOVED.	

PREPARED BY:		REVISION 10: _____
NAME:	ARCHITECT MARK D. LYON, INC.	REVISION 9: _____
ADDRESS:	410 BIRD ROCK AVE LA JOLLA, CA 92037	REVISION 8: _____
PHONE:	(858) 459-1171	REVISION 7: _____
PROJECT NAME:		REVISION 6: _____
MINHAS RESIDENCE		REVISION 5: 10/23/2023
4920 DIXIE DRIVE, SAN DIEGO, CA 92109		REVISION 4: 8/30/2022
SHEET TITLE:		REVISION 3: 8/3/2023
AS-BUILT 1ST FLOOR AND		REVISION 2: 3/8/2023
DEMO PLAN		REVISION 1: 9/18/2022
SHEET 6 OF 15		DATE: 10/23/2023
DEPT: _____		

ARCHITECT MARK D. LYON, INC.
410 BIRD ROCK AVE., LA JOLLA CA 92037 (858) 459-1171 INFO@MDLA.NET

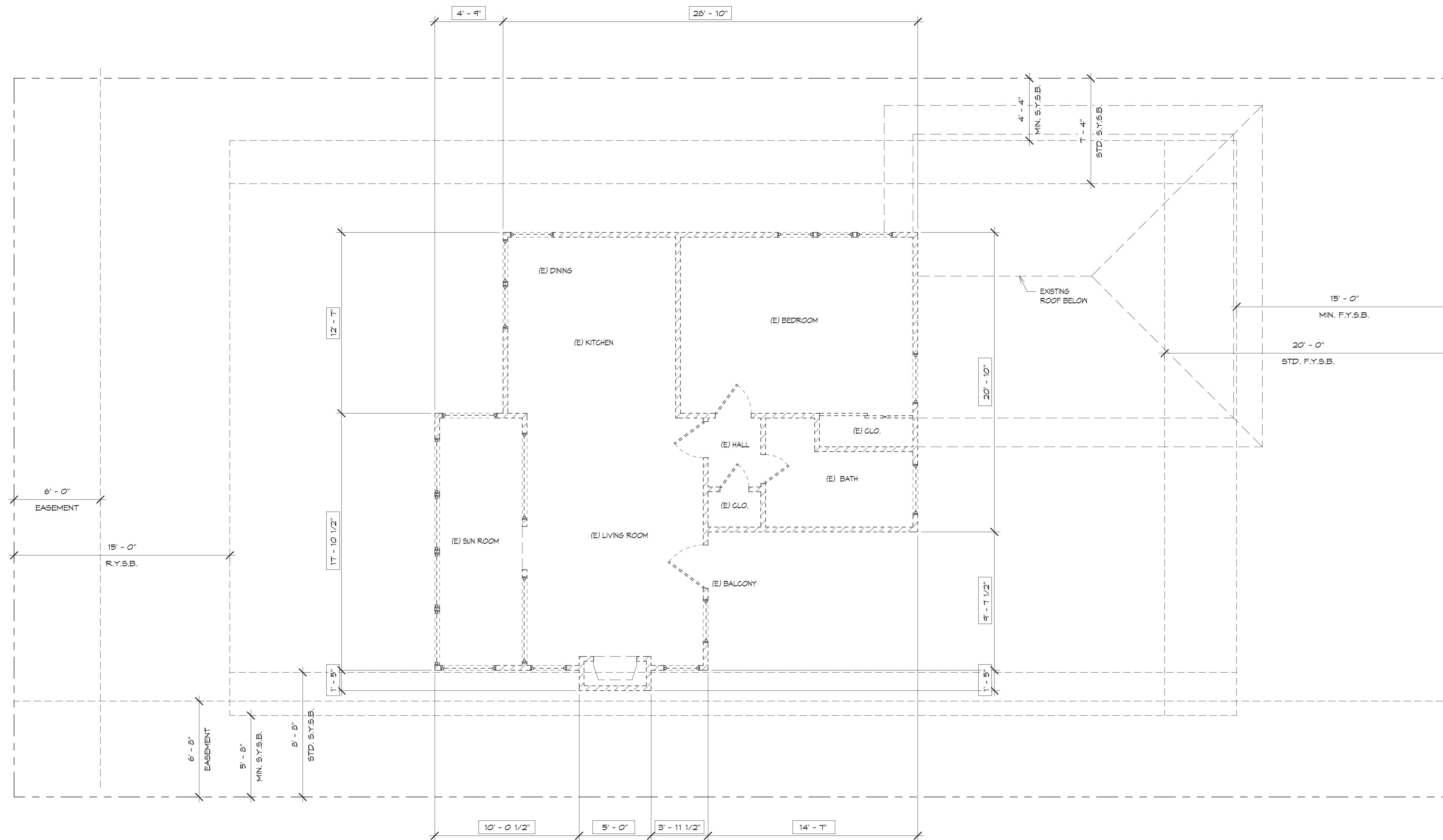


MINHAS RESIDENCE
4920 DIXIE DRIVE
SAN DIEGO, CA 92109

REVISIONS:	
No.	Date
1	00P P.C. COMMENTS 3/9/2023, 6/30/23, 8/10/2023, 10/23/2023
SUBMITTAL DATE: 10/23/2023	
PHASE: COASTAL DEVELOPMENT	
PROJECT NUMBER: 2152	
REVIEWED BY: MDL	
DRAWN BY: K.J.L	
DATE: 10/23/2023	
SHEET TITLE: AS-BUILT 1ST FLOOR AND DEMO PLAN	

AD101

All design, plans and arrangements are the property of Architect Mark D. Lyon, Inc. & the original site and specific project for which they were prepared. Reproduction, publication or use by any method, in whole or in part, without the express written consent of Architect Mark D. Lyon, Inc. is prohibited. These plans shall be changed or deleted from these drawings or accompanying specifications without the consent of Architect Mark D. Lyon, Inc. All drawings shall be stamped with the name of the architect and the date of the stamp. All drawings shall be stamped with the name of the architect and the date of the stamp.



DEMOLITION NOTES		WALL LEGEND	
1.	CONTRACTOR TO VERIFY FIELD CONDITIONS WITH STRUCTURAL PLANS AND SPECIFICATIONS.		EXISTING WALL TO REMAIN 4'-0"
2.	CONTRACTOR SHALL ACCOMMODATE FOR CONNECTIONS TO PUBLIC AND PRIVATE UTILITIES.		EXISTING WALL TO BE REMOVED 4'-0"
3.	REMOVE ALL LANDSCAPE/HARDSCAPE FOR NEW CONSTRUCTION.		EXISTING DOOR TO BE REMOVED
4.	REMOVE ALL STRUCTURES AS SHOWN FOR NEW CONSTRUCTION.		EXISTING WINDOW TO BE REMOVED
5.	ALL DEMOLISHED ITEMS AND MATERIALS TO BE REMOVED FROM THE SITE AND RECYCLED OR SAFELY DISPOSED OF IN ACCORDANCE WITH APPLICABLE LAWS AND REGULATIONS, UNLESS SPECIFIED OTHERWISE BY THE OWNER.	ALL OTHER DASHED LINES REPRESENT ADDITIONAL ITEMS TO BE REMOVED.	

PREPARED BY:		REVISION 10:	_____
NAME:	ARCHITECT MARK D. LYON, INC.	REVISION 9:	_____
ADDRESS:	410 BIRD ROCK AVE LA JOLLA, CA 92037	REVISION 8:	_____
PHONE:	(858) 459-1171	REVISION 7:	_____
PROJECT NAME:	MINHAS RESIDENCE	REVISION 6:	_____
	4920 DIXIE DRIVE, SAN DIEGO, CA 92109	REVISION 5:	10/23/2023
SHEET TITLE:	AS-BUILT 2ND FLOOR AND DEMO PLAN	REVISION 4:	8/10/2023
		REVISION 3:	8/10/2023
		REVISION 2:	3/8/2023
		REVISION 1:	9/18/2022
		ORIGINAL DATE:	1/1/2022
SHEET	7	OF	15
DEPT:			

DEMO 2ND FLOOR PLAN
1/4" = 1'-0"

ARCHITECT MARK D. LYON, INC.
410 BIRD ROCK AVE., LA JOLLA CA 92037 (858) 459-1171 INFO@MDLA.NET



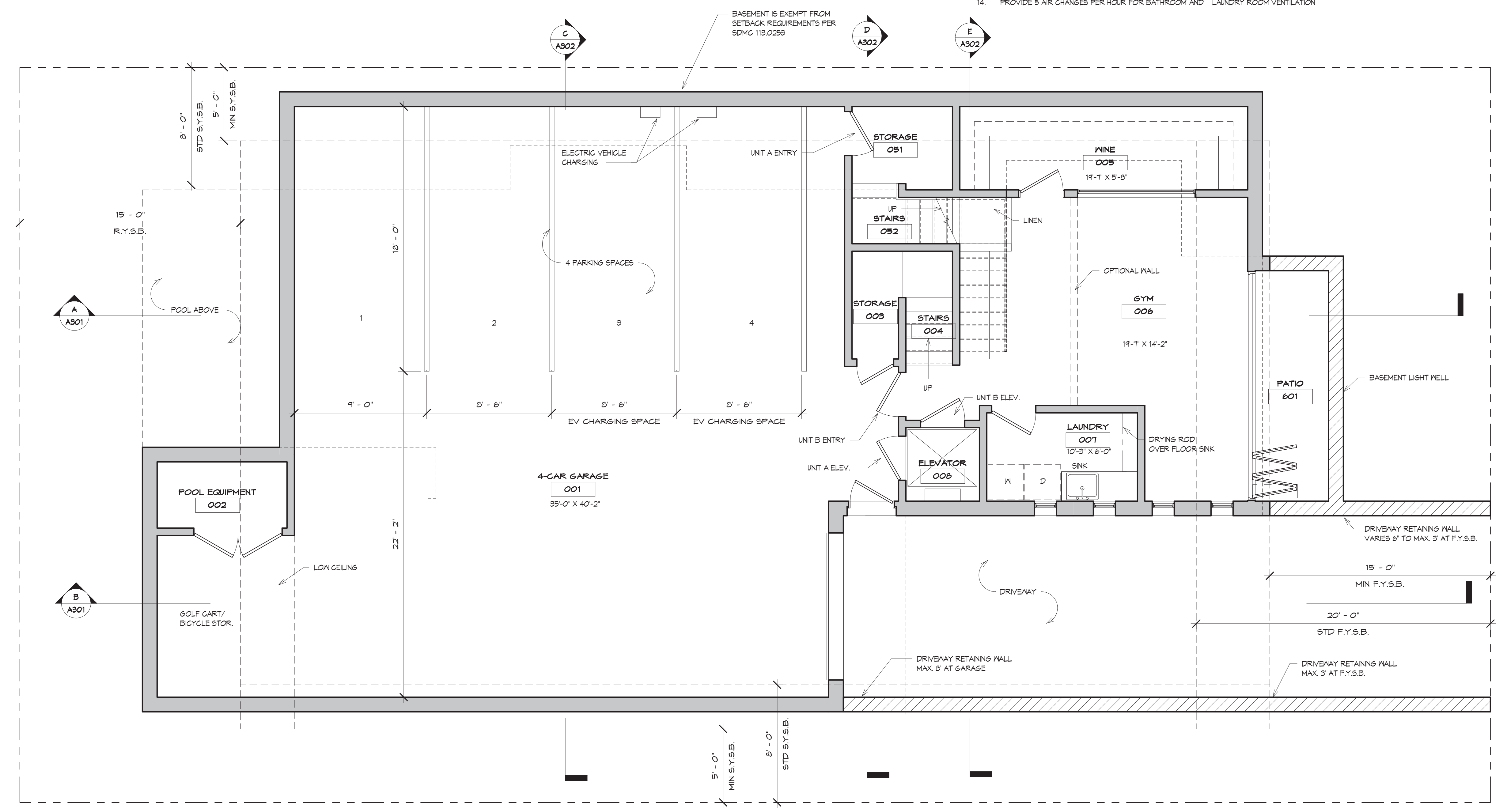
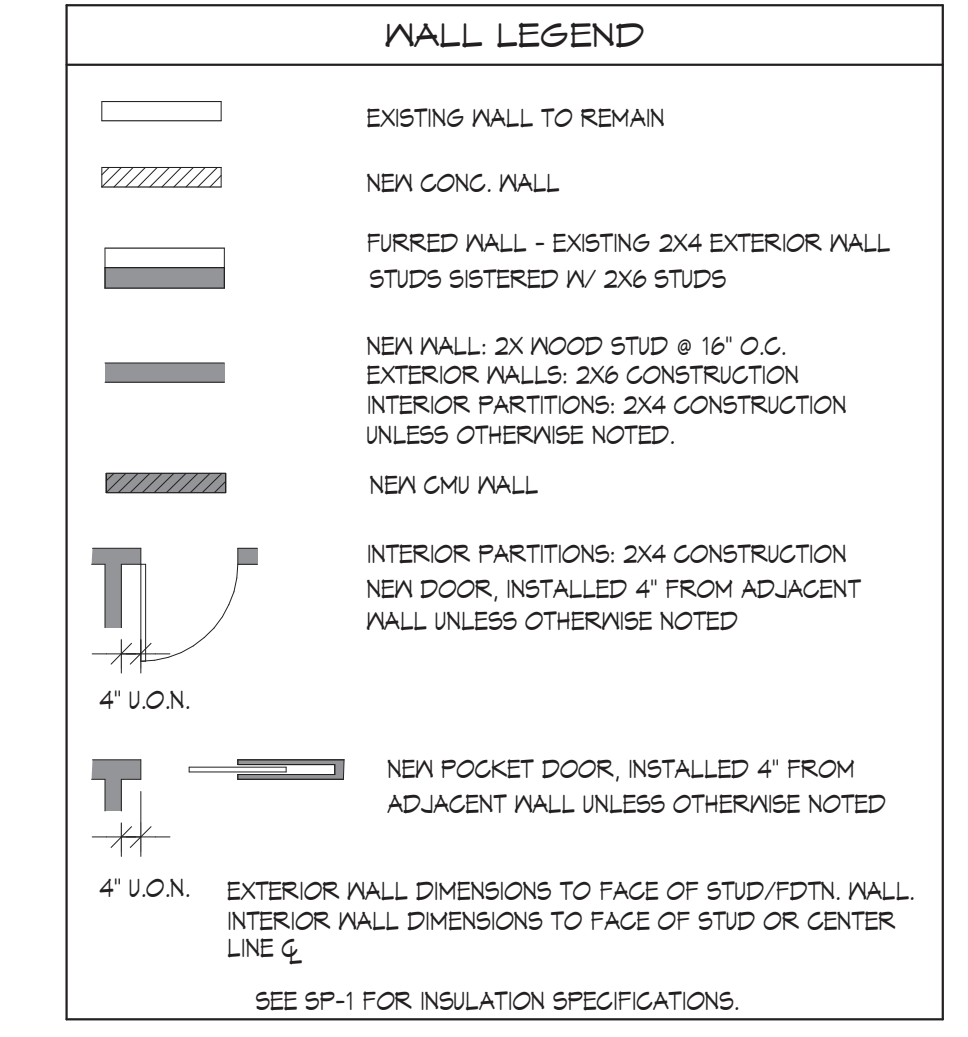
MINHAS RESIDENCE
4920 DIXIE DRIVE
SAN DIEGO, CA 92109

REVISIONS:	No.	Date
	1	00P P.C. COMMENTS 3/9/2023, 6/10/2023, 8/10/2023, 10/23/2023
SUBMITTAL DATE: 10/23/2023		
PHASE: COASTAL DEVELOPMENT		
PROJECT NUMBER: 2152		
REVIEWED BY: MDL		
DRAWN BY: K.J.L.		
DATE: 10/23/2023		
SHEET TITLE: AS-BUILT 2ND FLOOR & DEMO PLAN		

AD102

All design, plans and arrangements are the legal property of Architect Mark D. Lyon, Inc. & the original site and specific project for which they were prepared. Reproduction, publication or re-use by any method, in whole or in part, without the express written consent of Architect Mark D. Lyon, Inc. is prohibited. These plans shall be changed or deleted from these drawings or accompanying specifications without the consent of Architect Mark D. Lyon, Inc. Visual contact with these drawings and attached specifications shall constitute prima facie evidence of the acceptance of all these restrictions with prejudice.

- NOTES:
- GLAZING FRAMES MADE OF VINYL MATERIALS SHALL HAVE WELDED CORNERS, METAL REINFORCEMENT IN THE INTERLOCK AREA, AND BE CERTIFIED TO THE MOST CURRENT EDITION OF ANSI/AAMA/NWMA 1011.5.2 STRUCTURAL REQUIREMENTS.
 - PER 2014 GREEN CODE SEC 4.503.1, ANY INSTALLED GAS FIREPLACE SHALL BE A DIRECT-VENT, SEALED-COMBUSTION TYPE. ANY INSTALLED WOOD STOVE OR PELLET STOVE SHALL COMPLY WITH U.S. EPA NEW SOURCE PERFORMANCE STANDARDS (NSPS) EMISSION LIMITS AS APPLICABLE, AND SHALL HAVE A PERMANENT LABEL INDICATING THEY ARE CERTIFIED TO MEET THE EMISSION LIMITS. WOOD STOVES, PELLET STOVES AND FIREPLACES SHALL ALSO COMPLY WITH APPLICABLE LOCAL ORDINANCES.
 - STATE HEALTH AND SAFETY CODE SEC 175119 PROHIBITS THE USE OF CHLORINATED POLYVINYL CHLORIDE (CPVC) FOR INTERIOR WATER SUPPLY PIPING.
 - ALL ABS AND PVC PIPING AND FITTINGS SHALL BE ENCLOSED WITHIN WALLS AND FLOORS COVERED WITH TYPE "X" GYPSUM BOARD OR SIMILAR ASSEMBLIES THAT PROVIDE THE SAME LEVEL OF FIRE PROTECTION. PROTECTION OF MEMBRANE PENETRATIONS IS NOT REQUIRED.
 - SHOWER COMPARTMENTS AND BATHUBS WITH INSTALLED SHOWER HEADS SHALL BE FINISHED WITH A NONABSORBENT SURFACE THAT EXTENDS TO A HEIGHT OF NOT LESS THAN 6 FEET ABOVE THE FLOOR.
 - PROVIDE KITCHEN FAUCETS WITH A MAXIMUM FLOW OF 1.9 GALLONS PER MINUTE (GPM), AND LAVATORY FAUCETS WITH A MAXIMUM FLOW OF 1.2 GALLONS PER MINUTE (GPM).
 - PROVIDE SHOWER HEADS WITH A MAXIMUM FLOW OF 2.0 GALLONS PER MINUTE (GPM).
 - PERMANENT VACUUM BREAKERS SHALL BE INCLUDED WITH ALL NEW HOSE BIBBS.
 - PROVIDE ULTRA LOW FLUSH TOILETS.
 - SMOKE ALARMS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING PROVIDED THAT SUCH WIRING IS SERVED FROM A COMMERCIAL SOURCE AND SHALL BE EQUIPPED WITH A BATTERY BACKUP. SMOKE ALARMS WITH INTEGRAL STROBES THAT ARE NOT EQUIPPED WITH A BATTERY BACKUP SHALL BE CONNECTED TO AN EMERGENCY ELECTRICAL SYSTEM. SMOKE ALARMS SHALL EMIT A SIGNAL WHEN THE BATTERIES ARE LOW. WIRING SHALL BE PERMANENT AND WITHOUT A DISCONNECTING SWITCH OTHER THAN AS REQUIRED FOR OVERCURRENT PROTECTION.
 - WHERE MORE THAN ONE SMOKE ALARM IS REQUIRED TO BE INSTALLED WITHIN AN INDIVIDUAL DWELLING UNIT THE ALARM DEVICES SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTIVATION OF ONE ALARM WITH ACTIVATE ALL OF THE ALARMS IN THE INDIVIDUAL UNIT. THE ALARM SHALL BE CLEARLY AUDIBLE IN ALL BEDROOMS OVER BACKGROUND NOISE LEVELS WITH ALL INTERVENING DOORS CLOSED.
 - ALL SMOKE ALARMS SHALL BE LISTED IN ACCORDANCE WITH UL 217 AND INSTALLED IN ACCORDANCE WITH THE PROVISIONS OF THE GOVERNING CRC AND THE HOUSEHOLD FIRE WARNING EQUIPMENT PROVISIONS OF NFPA 72. SYSTEMS AND COMPONENTS SHALL BE CALIFORNIA STATE FIRE MARSHAL LISTED AND APPROVED IN ACCORDANCE WITH CSR, TITLE 19, DIVISION 1 FOR THE PURPOSE FOR WHICH THEY ARE INSTALLED.
 - CARBON MONOXIDE ALARMS SHALL NOT BE BATTERY OPERATED AND SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING IN ACCORDANCE WITH SECTION R315.1.1.
 - PROVIDE 3 AIR CHANGES PER HOUR FOR BATHROOM AND LAUNDRY ROOM VENTILATION.



BASEMENT FLOOR PLAN
1/4" = 1'-0"

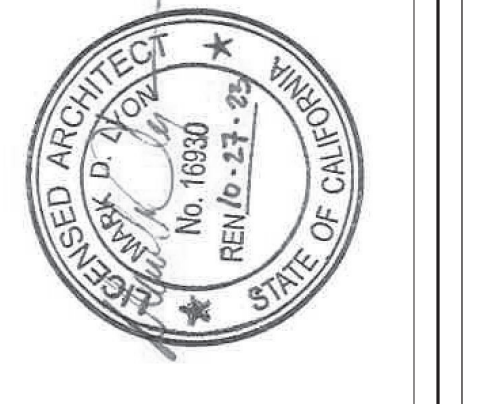
PREPARED BY: ARCHITECT MARK D. LYON, INC.
 NAME: ARCHITECT MARK D. LYON, INC.
 ADDRESS: 410 BIRD ROCK AVE, LA JOLLA, CA 92037
 PHONE: (858) 459-1171

PROJECT NUMBER: 2152
 SHEET TITLE: BASEMENT FLOOR PLAN

REVISION 10: _____
 REVISION 9: _____
 REVISION 8: _____
 REVISION 7: _____
 REVISION 6: _____
 REVISION 5: 10/23/2023
 REVISION 4: 8/30/2022
 REVISION 3: 8/3/2022
 REVISION 2: 3/9/2022
 REVISION 1: 9/18/2022

ORIGINAL DATE: 1/1/2022
 SHEET 0 OF 15
 DEPT: _____

ARCHITECT MARK D. LYON, INC.
 410 BIRD ROCK AVE., LA JOLLA CA 92037
 (858) 459-1171 INFO@MDLA.NET



MINHAS RESIDENCE
 4420 DIXIE DRIVE
 SAN DIEGO, CA 92109

REVISIONS:

No.	Date
1	00P P.C. COMMENTS 3/9/2023, 6/30/23 8/10/2023, 10/23/2023

SUBMITTAL DATE: 10/23/2023

PHASE: COASTAL DEVELOPMENT

PROJECT NUMBER: 2152

REVIEWED BY: MDL

DRAWN BY: K.J.L.

DATE: 10/23/2023

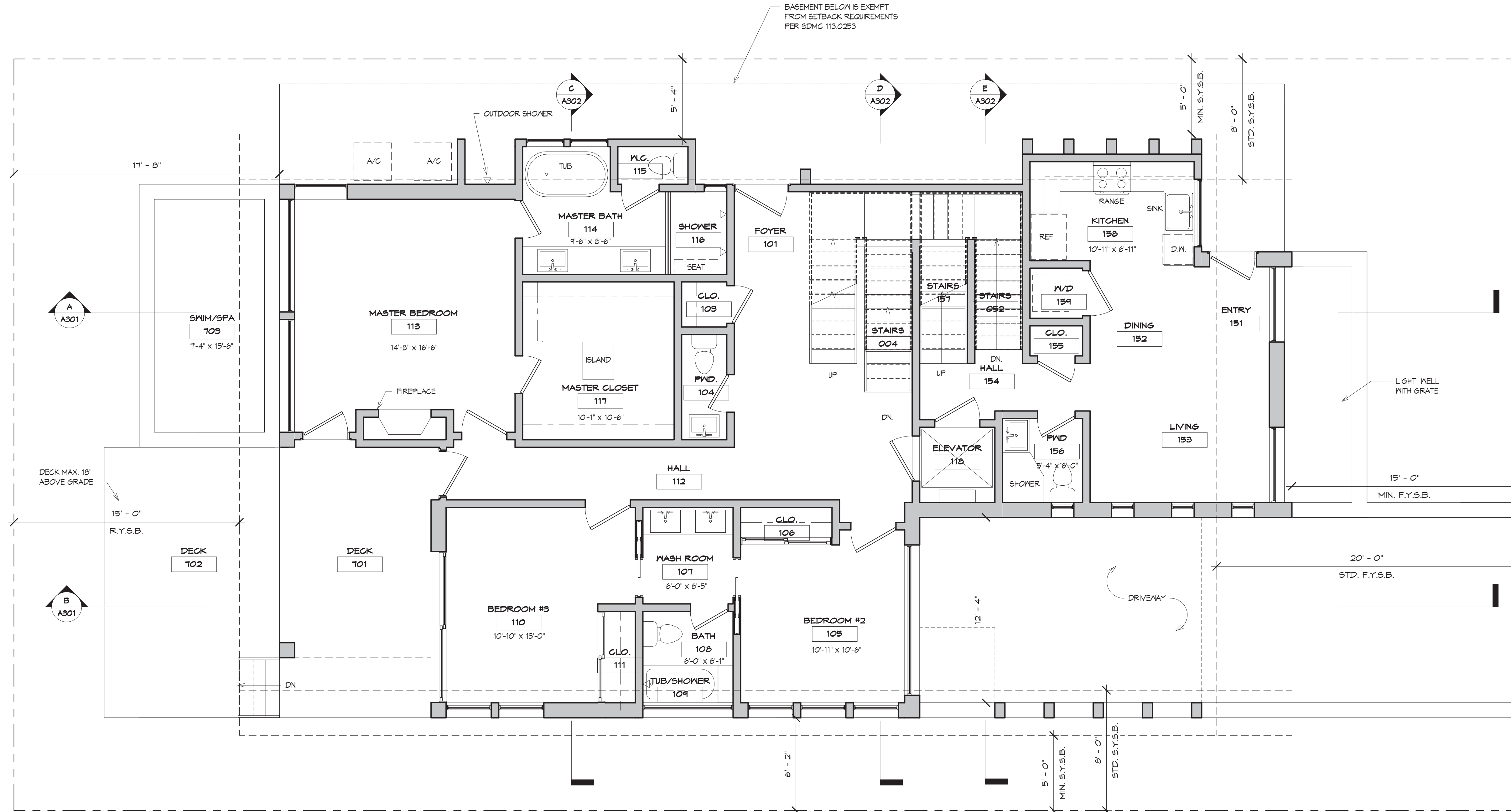
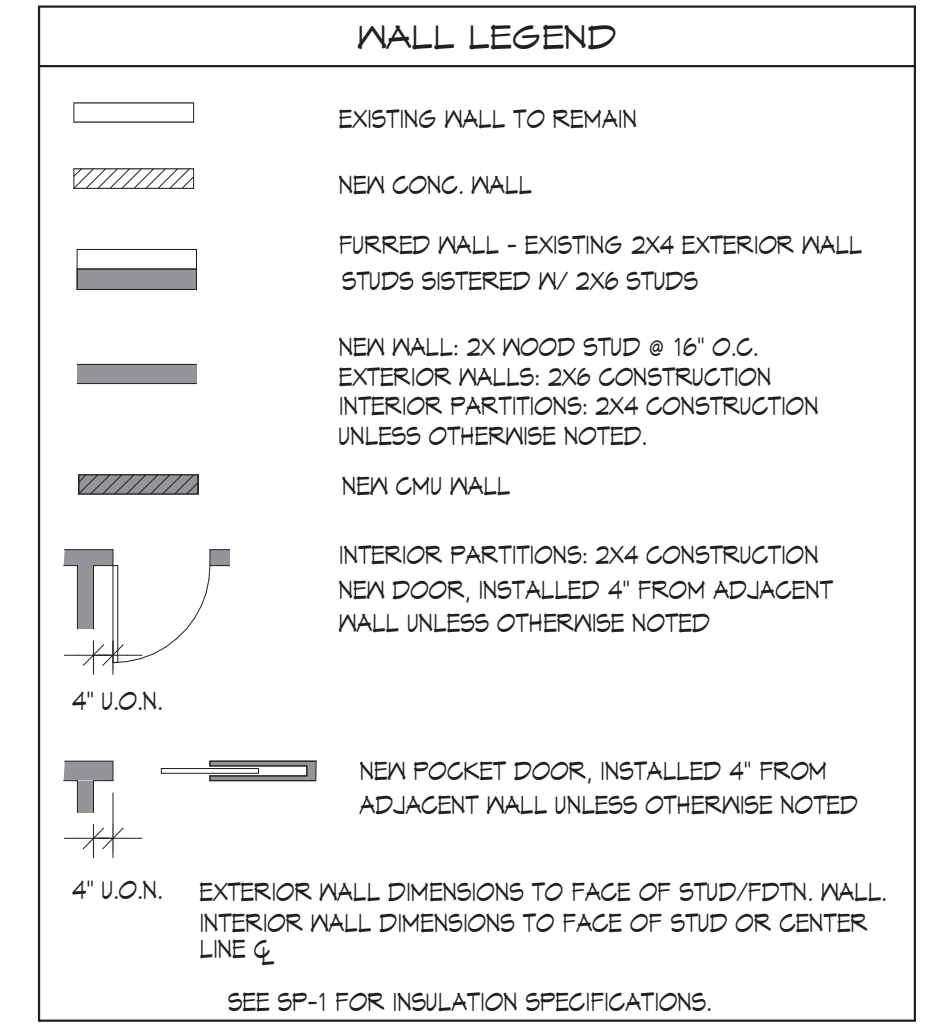
SHEET TITLE: BASEMENT FLOOR PLAN

A101

All design, basis and engineering are the sole property of Architect Mark D. Lyon, Inc. & the original site and specific project for which they were prepared. Reproduction, publication or reuse by any method, in whole or in part, without the express written consent of Architect Mark D. Lyon, Inc. is prohibited. These plans shall be changed or deviations from these drawings or accompanying specifications without the consent of Architect Mark D. Lyon, Inc. Visual contact with these drawings and attached specifications shall constitute prima facie evidence of the acceptance of all these restrictions with prejudice.

NOTES:

- GLAZING FRAMES MADE OF VINYL MATERIALS SHALL HAVE WELDED CORNERS, METAL REINFORCEMENT IN THE INTERLOCK AREA, AND BE CERTIFIED TO THE MOST CURRENT EDITION OF ANSI/AAMA/NWMA 1011.5.2 STRUCTURAL REQUIREMENTS.
- PER 2019 GREEN CODE SEC 4.503.1, ANY INSTALLED GAS FIREPLACE SHALL BE A DIRECT-VENT, SEALED-COMBUSTION TYPE. ANY INSTALLED WOOD STOVE OR PELLET STOVE SHALL COMPLY WITH U.S. EPA NEW SOURCE PERFORMANCE STANDARDS (NSPS) EMISSION LIMITS AS APPLICABLE, AND SHALL HAVE A PERMANENT LABEL INDICATING THEY ARE CERTIFIED TO MEET THE EMISSION LIMITS. WOOD STOVES, PELLET STOVES AND FIREPLACES SHALL ALSO COMPLY WITH APPLICABLE LOCAL ORDINANCES.
- STATE HEALTH AND SAFETY CODE SEC 170219 PROHIBITS THE USE OF CHLORINATED POLYVINYL CHLORIDE (CPVC) FOR INTERIOR WATER SUPPLY PIPING.
- ALL ABS AND PVC PIPING AND FITTINGS SHALL BE ENCLOSED WITHIN WALLS AND FLOORS COVERED WITH TYPE "X" GYPSUM BOARD OR SIMILAR ASSEMBLIES THAT PROVIDE THE SAME LEVEL OF FIRE PROTECTION. PROTECTION OF MEMBRANE PENETRATIONS IS NOT REQUIRED.
- SHOWER COMPARTMENTS AND BATHTUBS WITH INSTALLED SHOWER HEADS SHALL BE FINISHED WITH A NONABSORBENT SURFACE THAT EXTENDS TO A HEIGHT OF NOT LESS THAN 6 FEET ABOVE THE FLOOR.
- PROVIDE KITCHEN FAUCETS WITH A MAXIMUM FLOW OF 1.9 GALLONS PER MINUTE (GPM), AND LAVATORY FAUCETS WITH A MAXIMUM FLOW OF 1.2 GALLONS PER MINUTE (GPM).
- PROVIDE SHOWER HEADS WITH A MAXIMUM FLOW OF 2.0 GALLONS PER MINUTE (GPM).
- PERMANENT VACUUM BREAKERS SHALL BE INCLUDED WITH ALL NEW HOSE BIBBS.
- PROVIDE ULTRA LOW FLUSH TOILETS.
- SMOKE ALARMS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING PROVIDED THAT SUCH WIRING IS SERVED FROM A COMMERCIAL SOURCE AND SHALL BE EQUIPPED WITH A BATTERY BACKUP. SMOKE ALARMS WITH INTEGRAL STROBES THAT ARE NOT EQUIPPED WITH A BATTERY BACKUP SHALL BE CONNECTED TO AN EMERGENCY ELECTRICAL SYSTEM. SMOKE ALARMS SHALL EMIT A SIGNAL WHEN THE BATTERIES ARE LOW. WIRING SHALL BE PERMANENT AND WITHOUT A DISCONNECTING SWITCH OTHER THAN AS REQUIRED FOR OVERCURRENT PROTECTION.
- WHERE MORE THAN ONE SMOKE ALARM IS REQUIRED TO BE INSTALLED WITHIN AN INDIVIDUAL DWELLING UNIT THE ALARM DEVICES SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS IN THE INDIVIDUAL UNIT. THE ALARM SHALL BE CLEARLY AUDIBLE IN ALL BEDROOMS OVER BACKGROUND NOISE LEVELS WITH ALL INTERVENING DOORS CLOSED.
- ALL SMOKE ALARMS SHALL BE LISTED IN ACCORDANCE WITH UL 217 AND INSTALLED IN ACCORDANCE WITH THE PROVISIONS OF THE GOVERNING CGC AND THE HOUSEHOLD FIRE WARNING EQUIPMENT PROVISIONS OF NFPA 72. SYSTEMS AND COMPONENTS SHALL BE CALIFORNIA STATE FIRE MARSHAL LISTED AND APPROVED IN ACCORDANCE WITH CGC, TITLE 19, DIVISION 1 FOR THE PURPOSE FOR WHICH THEY ARE INSTALLED.
- CARBON MONOXIDE ALARMS SHALL NOT BE BATTERY OPERATED AND SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING IN ACCORDANCE WITH SECTION R0511.1.
- PROVIDE 3 AIR CHANGES PER HOUR FOR BATHROOM AND LAUNDRY ROOM VENTILATION.



1ST FLOOR PLAN

1/4" = 1'-0"

PREPARED BY:	REVISION 10: _____
NAME: ARCHITECT MARK D. LYON, INC.	REVISION 9: _____
ADDRESS: 410 BIRD ROCK AVE	REVISION 8: _____
LA JOLLA, CA 92037	REVISION 7: _____
PHONE: (858) 459-1171	REVISION 6: _____
	REVISION 5: 10/23/2023
	REVISION 4: 8/20/2023
	REVISION 3: 8/20/2023
	REVISION 2: 3/8/2023
	REVISION 1: 9/18/2022
PROJECT NAME:	ORIGINAL DATE: 1/1/2022
MINHAS RESIDENCE	
4920 DIXIE DRIVE, SAN DIEGO, CA 92109	
SHEET TITLE	SHEET 9 OF 15
1ST FLOOR PLAN	DEPT: _____

ARCHITECT MARK D. LYON, INC.
 410 BIRD ROCK AVE., LA JOLLA CA 92037 (858) 459-1171 INFO@MDLA.NET



MINHAS RESIDENCE
 4920 DIXIE DRIVE
 SAN DIEGO, CA 92109

REVISIONS:	No.	Date
	1	05P P.C. COMMENTS
		3/8/2023, 6/30/23
		8/10/2023, 10/23/2023

SUBMITTAL DATE:
10/23/2023

PHASE:
COASTAL DEVELOPMENT

PROJECT NUMBER:
2152

REVIEWED BY:
MDL

DRAWN BY:
K.J.L.

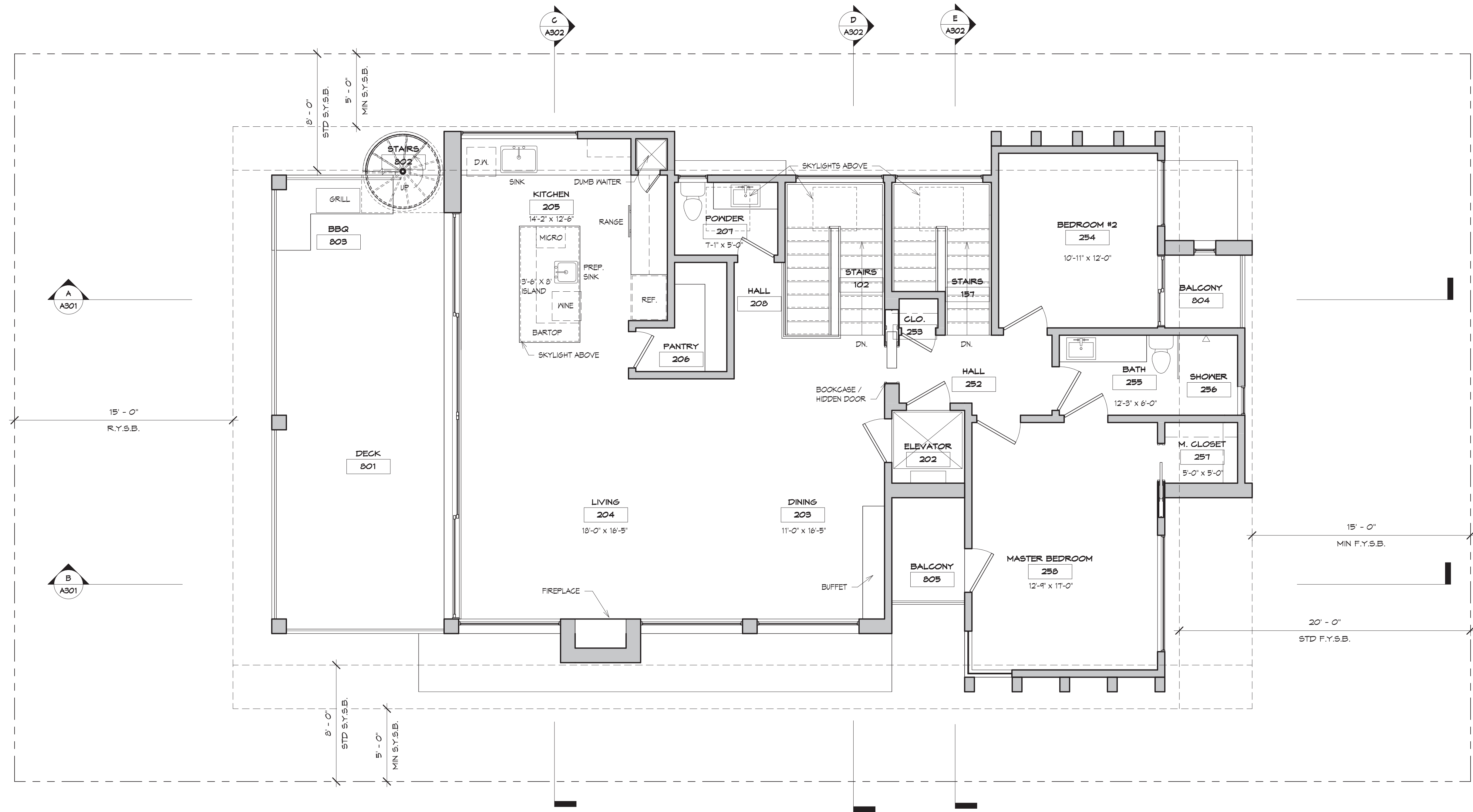
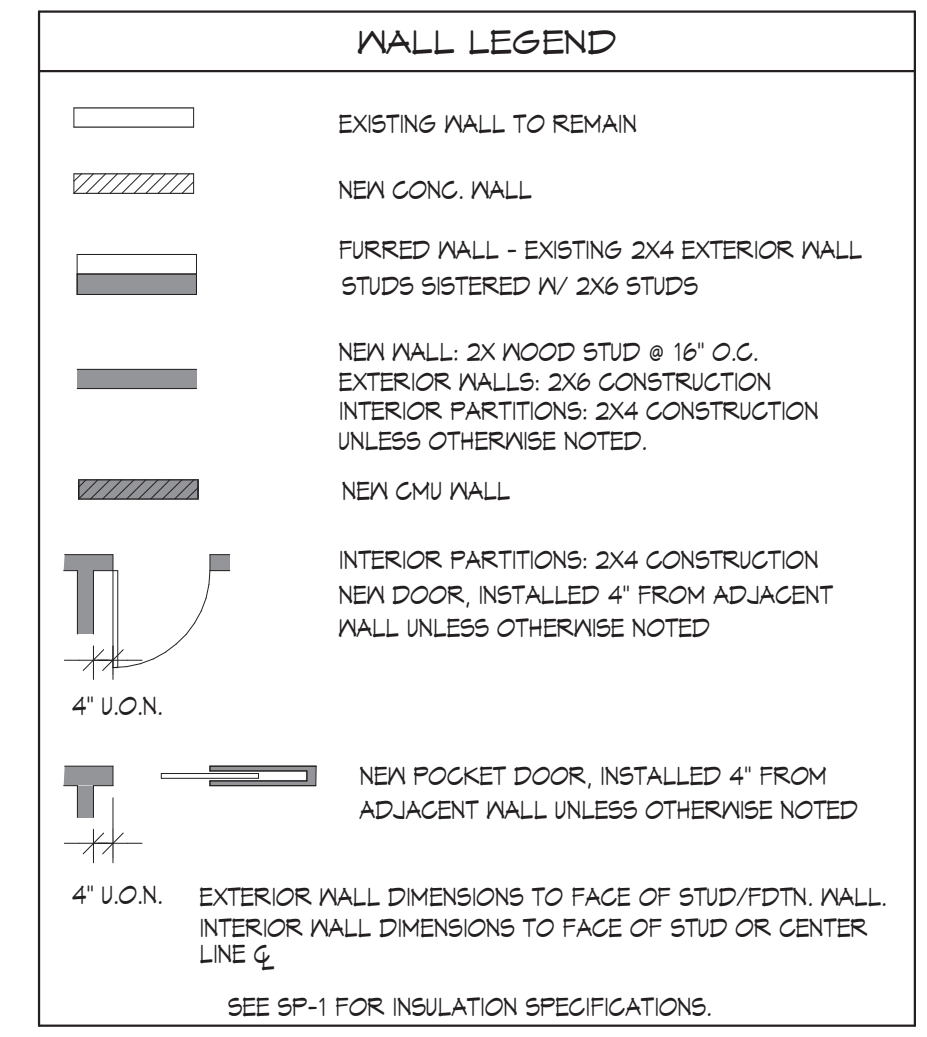
DATE:
10/23/2023

SHEET TITLE:
1ST FLOOR PLAN

A102

All design, basis and engineering are the original property of Architect Mark D. Lyon, Inc. & the original site and specific project for which they were prepared. Reproduction, publication or re-use by any method, in whole or in part, without the express written consent of Architect Mark D. Lyon, Inc. is prohibited. These plans shall be changed or deleted from their drawings or accompanying specifications without the consent of Architect Mark D. Lyon, Inc. Visual contact with these drawings and attached specifications shall constitute prima facie evidence of the acceptance of all these restrictions with prejudice.

- NOTES:
- GLAZING FRAMES MADE OF VINYL MATERIALS SHALL HAVE WELDED CORNERS, METAL REINFORCEMENT IN THE INTERLOCK AREA, AND BE CERTIFIED TO THE MOST CURRENT EDITION OF ANSI/AAMA/NWDA 1011.5.2 STRUCTURAL REQUIREMENTS.
 - PER 2019 GREEN CODE SEC 4.503.1, ANY INSTALLED GAS FIREPLACE SHALL BE A DIRECT-VENT, SEALED-COMBUSTION TYPE. ANY INSTALLED WOOD STOVE OR PELLET STOVE SHALL COMPLY WITH U.S. EPA NEW SOURCE PERFORMANCE STANDARDS (NSPS) EMISSION LIMITS AS APPLICABLE, AND SHALL HAVE A PERMANENT LABEL INDICATING THEY ARE CERTIFIED TO MEET THE EMISSION LIMITS. WOOD STOVES, PELLET STOVES AND FIREPLACES SHALL ALSO COMPLY WITH APPLICABLE LOCAL ORDINANCES.
 - STATE HEALTH AND SAFETY CODE SEC 170119 PROHIBITS THE USE OF CHLORINATED POLYVINYL CHLORIDE (CPVC) FOR INTERIOR WATER SUPPLY PIPING.
 - ALL ABS AND PVC PIPING AND FITTINGS SHALL BE ENCLOSED WITHIN WALLS AND FLOORS COVERED WITH TYPE "X" GYPSUM BOARD OR SIMILAR ASSEMBLIES THAT PROVIDE THE SAME LEVEL OF FIRE PROTECTION. PROTECTION OF MEMBRANE PENETRATIONS IS NOT REQUIRED.
 - SHOWER COMPARTMENTS AND BATHTUBS WITH INSTALLED SHOWER HEADS SHALL BE FINISHED WITH A NONABSORBENT SURFACE THAT EXTENDS TO A HEIGHT OF NOT LESS THAN 6 FEET ABOVE THE FLOOR.
 - PROVIDE KITCHEN FAUCETS WITH A MAXIMUM FLOW OF 1.9 GALLONS PER MINUTE (GPM), AND LAVATORY FAUCETS WITH A MAXIMUM FLOW OF 1.2 GALLONS PER MINUTE (GPM).
 - PROVIDE SHOWER HEADS WITH A MAXIMUM FLOW OF 2.0 GALLONS PER MINUTE (GPM).
 - PERMANENT VACUUM BREAKERS SHALL BE INCLUDED WITH ALL NEW HOSE BIBBS.
 - PROVIDE ULTRA LOW FLUSH TOILETS.
 - SMOKE ALARMS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING PROVIDED THAT SUCH WIRING IS SERVED FROM A COMMERCIAL SOURCE AND SHALL BE EQUIPPED WITH A BATTERY BACKUP. SMOKE ALARMS WITH INTEGRAL STROBES THAT ARE NOT EQUIPPED WITH A BATTERY BACKUP SHALL BE CONNECTED TO AN EMERGENCY ELECTRICAL SYSTEM. SMOKE ALARMS SHALL EMIT A SIGNAL WHEN THE BATTERIES ARE LOW. WIRING SHALL BE PERMANENT AND WITHOUT A DISCONNECTING SWITCH OTHER THAN AS REQUIRED FOR OVERCURRENT PROTECTION.
 - WHERE MORE THAN ONE SMOKE ALARM IS REQUIRED TO BE INSTALLED WITHIN AN INDIVIDUAL DWELLING UNIT THE ALARM DEVICES SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTIVATION OF ONE ALARM WITHIN ACTIVATE ALL OF THE ALARMS IN THE INDIVIDUAL UNIT. THE ALARM SHALL BE CLEARLY AUDIBLE IN ALL BEDROOMS OVER BACKGROUND NOISE LEVELS WITH ALL INTERVENING DOORS CLOSED.
 - ALL SMOKE ALARMS SHALL BE LISTED IN ACCORDANCE WITH UL 217 AND INSTALLED IN ACCORDANCE WITH THE PROVISIONS OF THE GOVERNING CGC AND THE HOUSEHOLD FIRE WARNING EQUIPMENT PROVISIONS OF NFPA 72. SYSTEMS AND COMPONENTS SHALL BE CALIFORNIA STATE FIRE MARSHAL LISTED AND APPROVED IN ACCORDANCE WITH CGC, TITLE 19, DIVISION 1 FOR THE PURPOSE FOR WHICH THEY ARE INSTALLED.
 - CARBON MONOXIDE ALARMS SHALL NOT BE BATTERY OPERATED AND SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING IN ACCORDANCE WITH SECTION R301.11.
 - PROVIDE 3 AIR CHANGES PER HOUR FOR BATHROOM AND LAUNDRY ROOM VENTILATION.



2ND FLOOR PLAN
1/4" = 1'-0"

PREPARED BY:
NAME: ARCHITECT MARK D. LYON, INC.
ADDRESS: 410 BIRD ROCK AVE. LA JOLLA, CA 92037
PHONE: (858) 459-1171

PROJECT NAME:
MINHAS RESIDENCE
4920 DIXIE DRIVE, SAN DIEGO, CA 92109

SHEET TITLE:
2ND FLOOR PLAN

REVISIONS:

REVISION 10:	
REVISION 9:	
REVISION 8:	
REVISION 7:	
REVISION 6:	
REVISION 5:	10/23/2023
REVISION 4:	8/30/2022
REVISION 3:	8/3/2023
REVISION 2:	3/8/2023
REVISION 1:	9/18/2022

ORIGINAL DATE: 1/1/2022

SHEET 10 **OF** 15

DEPT:

ARCHITECT MARK D. LYON, INC.
410 BIRD ROCK AVE., LA JOLLA CA 92037 (858) 459-1171 INFO@MDLA.NET



MINHAS RESIDENCE
4920 DIXIE DRIVE
SAN DIEGO, CA 92109

REVISIONS:

No.	Date
1	02P P.C. COMMENTS 3/8/2023, 6/30/23, 8/10/2023, 10/23/2023

SUBMITTAL DATE:
10/23/2023

PHASE:
COASTAL DEVELOPMENT

PROJECT NUMBER:
2152

REVIEWED BY:
MDL

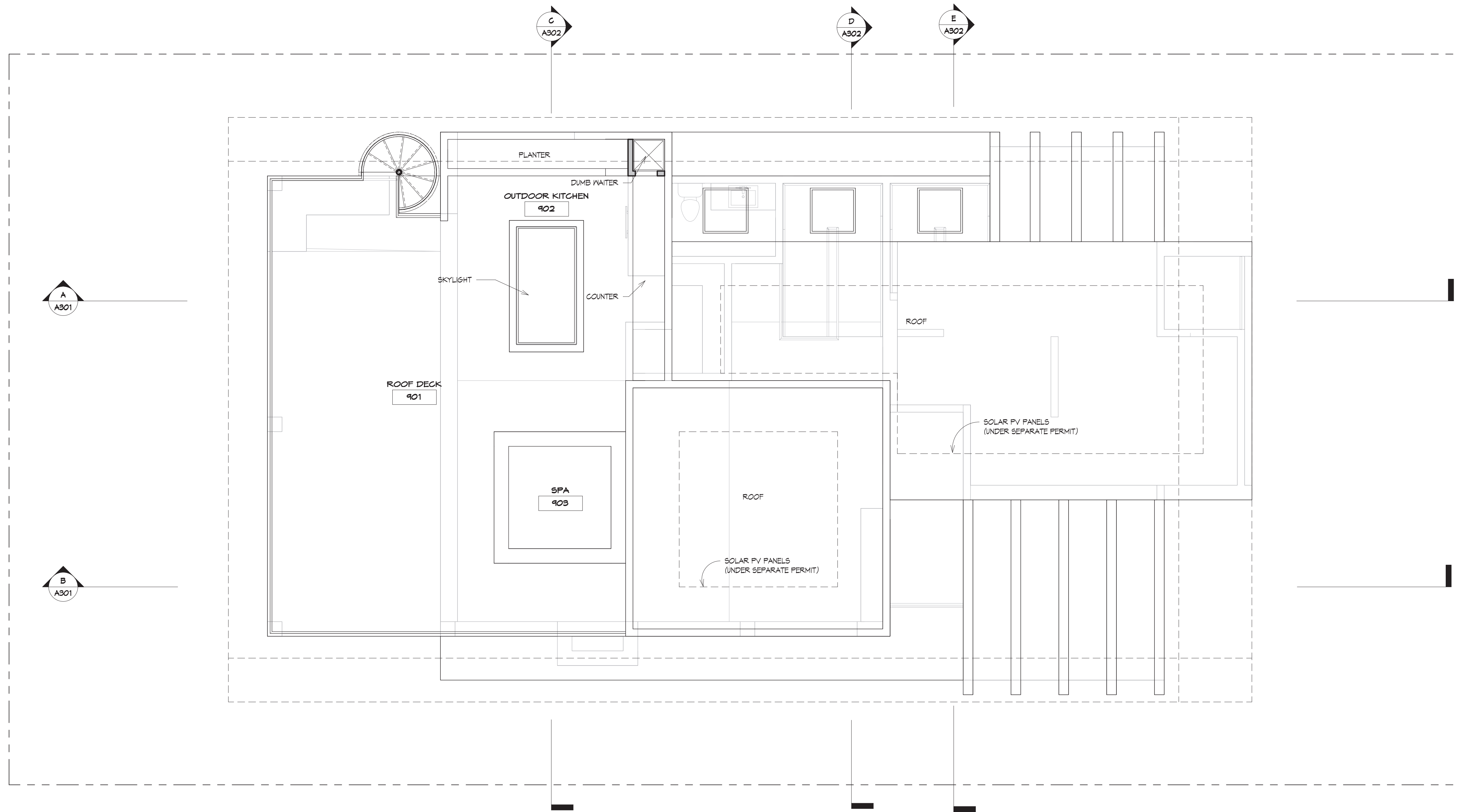
DRAWN BY:
K.J.L.

DATE:
10/23/2023

SHEET TITLE:
2ND FLOOR PLAN

A103

All design, basis and engineering are the legal property of Architect Mark D. Lyon, Inc. & the original site and specific project for which they were prepared. Reproduction, publication or use by any method, in whole or in part, without the express written consent of Architect Mark D. Lyon, Inc. is prohibited. These plans shall be changed or deleted from these drawings and stamped specifications without the consent of Architect Mark D. Lyon, Inc. Visual contact with these drawings and stamped specifications shall constitute prima facie evidence of the acceptance of all these restrictions with prejudice.



PREPARED BY:
 NAME: ARCHITECT MARK D. LYON, INC.
 ADDRESS: 410 BIRD ROCK AVE
 LA JOLLA, CA 92037
 PHONE: (858) 459-1171

PROJECT NAME:
 MINHAS RESIDENCE
 4420 DIXIE DRIVE, SAN DIEGO, CA 92109

SHEET TITLE:
 ROOF DECK PLAN

REVISION 10: _____
 REVISION 9: _____
 REVISION 8: _____
 REVISION 7: _____
 REVISION 6: _____
 REVISION 5: 10/23/2023
 REVISION 4: 8/30/2022
 REVISION 3: 8/3/2023
 REVISION 2: 3/8/2023
 REVISION 1: 4/18/2022

ORIGINAL DATE: 1/1/2022
 SHEET 11 OF 15
 DEPT: _____

REVISIONS:

No.	Date
1	02P P.C. COMMENTS 3/8/2023, 6/30/23 8/10/2023, 10/23/2023

SUBMITTAL DATE:
10/23/2023

PHASE:
COASTAL DEVELOPMENT

PROJECT NUMBER:
2152

REVIEWED BY:
MDL

DRAWN BY:
K.J.L.

DATE:
10/23/2023

SHEET TITLE:
ROOF DECK PLAN

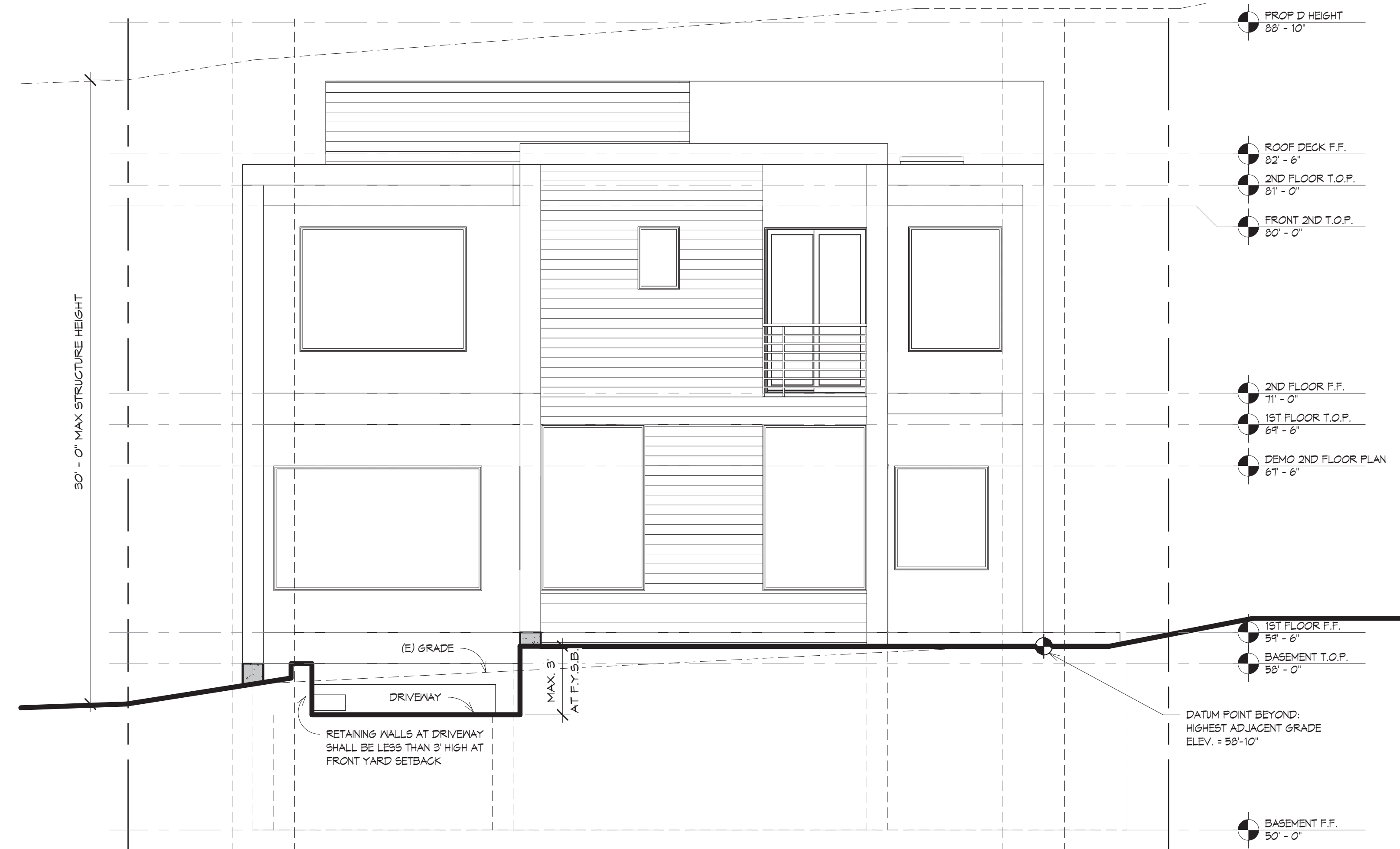
A104

ARCHITECT MARK D. LYON, INC.
 410 BIRD ROCK AVE., LA JOLLA CA 92037
 (858) 459-1171 INFO@MDLA.NET



MINHAS RESIDENCE
 4420 DIXIE DRIVE
 SAN DIEGO, CA 92109

All design, plans and measurements are in accordance with the legal property of Architect Mark D. Lyon, Inc. & the original site and specific project for which they were prepared. Reproduction, publication or use by any method, in whole or part, without the express written consent of Architect Mark D. Lyon, Inc. is prohibited. There shall be no changes or deviations from these drawings or accompanying specifications without the consent of Architect Mark D. Lyon, Inc. Visual contact with these drawings and attached specifications shall constitute prima facie evidence of the acceptance of all these restrictions with prejudice.



EAST ELEVATION
1/4" = 1'-0"



NORTH ELEVATION
1/4" = 1'-0"

NOTE:
1.) THE HIGHEST POINT OF THE ROOF, EQUIPMENT, OR ANY VENT, PIPE, ANTENNA OR OTHER PROJECTION, SHALL NOT EXCEED 30' ABOVE GRADE.
2.) THE MAXIMUM STRUCTURE HEIGHT IN THE COASTAL OVERLAY ZONE CANNOT EXCEED 30 FEET IN HEIGHT PER SDMG SEC 131.0444 & 132.0505

- MATERIAL SPECIFICATIONS:**
- ROOFING:** 5/8" (OR EQUAL) 60# TPO ROOF MEMBRANE OVER DENSEDECK ROOF BOARD, CLASS 'A' ROOFING ASSEMBLY, 20-YEAR MINIMUM WARRANTY, COLOR: WHITE
 - STUCCO:** LA HABRA STUCCO (OR EQUAL); EXTERIOR COLOR COAT OVER PORTLAND CEMENT PLASTER, SEE SHEET SP.2 FOR SPECS. TEXTURE TO BE SANTA BARBARA FINISH OR PER OWNER'S SELECTION. COLOR: N-40 DOVE GREY
 - WOOD CLADDING:** THERMORY (OR EQUAL); 1X6 TREATED WOOD OVER 2-LAYERS 15# FELT UNDERLAYMENT, CLASS 'A' WALL FINISH. COLOR: BENGHARK FINE
 - METAL CLADDING:** M5 METAL (OR EQUAL); 24 GAUGE TREATED METAL PANELS OVER 2 LAYERS 15# FELT UNDERLAYMENT, CLASS 'A' WALL FINISH. COLOR: BLACK
 - GUARDRAIL:** C/L LAWRENCE (OR EQUAL) 3/16" STAINLESS STEEL CABLE RAILING SYSTEM
 - WINDOWS:** FLEETWOOD (OR EQUAL); ANODIZED ALUMINUM WITH COASTAL FINISH. COLOR: BLACK

PREPARED BY:
NAME: ARCHITECT MARK D. LYON, INC.
ADDRESS: 410 BIRD ROCK AVE
LA JOLLA, CA 92037
PHONE: (858) 459-1171

PROJECT NAME:
MINHAS RESIDENCE
4920 DIXIE DRIVE, SAN DIEGO, CA 92109

SHEET TITLE:
EXTERIOR ELEVATIONS

REVISION 10: _____
REVISION 9: _____
REVISION 8: _____
REVISION 7: _____
REVISION 6: 10/23/2023
REVISION 4: 8/30/2023
REVISION 3: 8/30/2023
REVISION 2: 3/8/2023
REVISION 1: 9/19/2022

ORIGINAL DATE: 1/1/2022
SHEET 12 OF 15
DEPT: _____

ARCHITECT MARK D. LYON, INC.
410 BIRD ROCK AVE., LA JOLLA CA 92037 (858) 459-1171 INFO@MDLA.NET



MINHAS RESIDENCE
4920 DIXIE DRIVE
SAN DIEGO, CA 92109

REVISIONS:	No.	Date
1	CDP P.C. COMMENTS	3/2/2023, 6/30/23
		8/10/2023, 10/23/2023

SUBMITTAL DATE:
10/23/2023

PHASE:
COASTAL DEVELOPMENT

PROJECT NUMBER:
2152

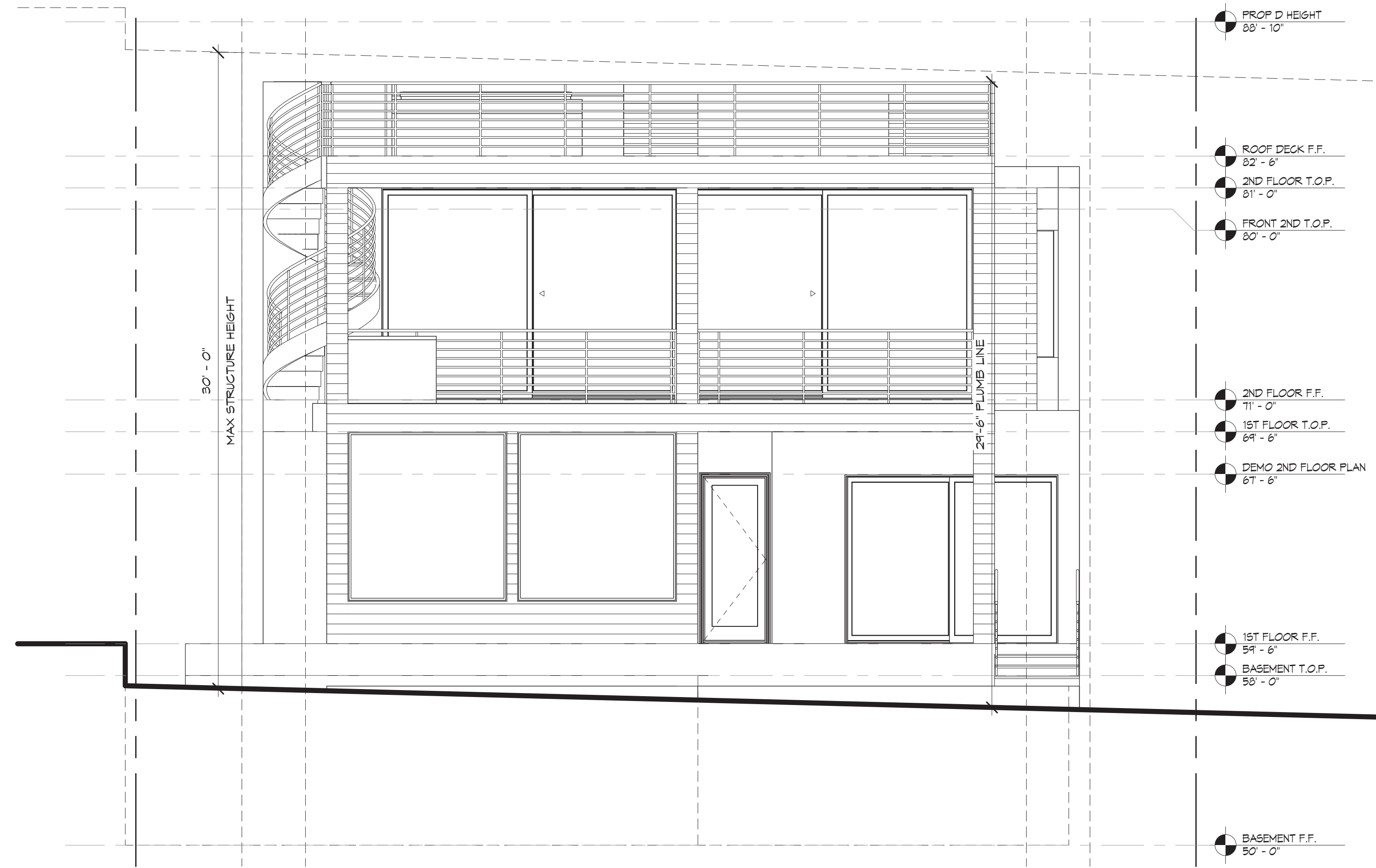
REVIEWED BY:
MDL

DRAWN BY:
K.J.L.

DATE:
10/23/2023

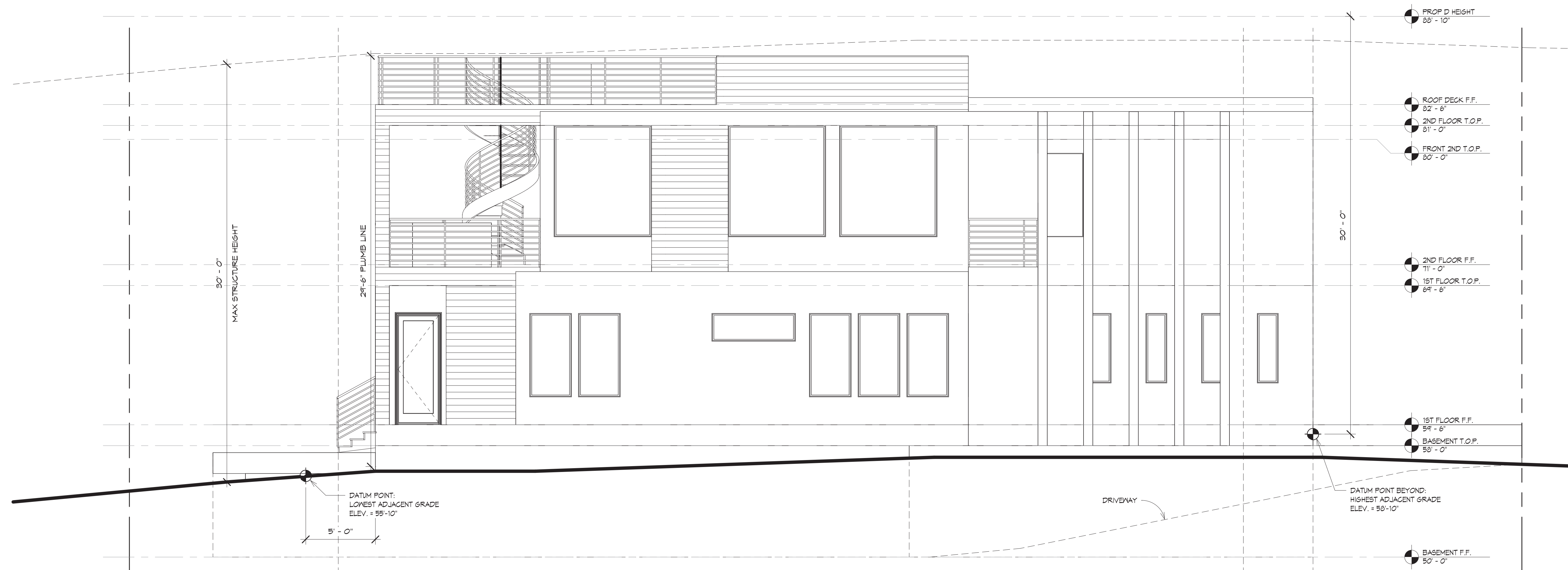
SHEET TITLE:
EXTERIOR ELEVATIONS

All design, plans and engineering are the legal property of Architect Mark D. Lyon, Inc. & the original site and specific project for which they were prepared. Reproduction, publication or use by any method, in whole or in part, without the express written consent of Architect Mark D. Lyon, Inc. is prohibited. There shall be no charge or deduction for these drawings or elevations from these drawings or accompanying specifications without the consent of Architect Mark D. Lyon, Inc. All drawings shall be made available to the client upon payment of the applicable fee. All drawings shall be made available to the client upon payment of the applicable fee.



WEST ELEVATION

1/4" = 1'-0"



SOUTH ELEVATION

1/4" = 1'-0"

PREPARED BY:
 NAME: ARCHITECT MARK D. LYON, INC.
 ADDRESS: 410 BIRD ROCK AVE
 LA JOLLA, CA 92037
 PHONE: (858) 459-1171

REVISION 10:	
REVISION 9:	
REVISION 8:	
REVISION 7:	
REVISION 6:	
REVISION 5:	10/23/2023
REVISION 4:	8/30/2022
REVISION 3:	8/3/2023
REVISION 2:	3/8/2023
REVISION 1:	9/18/2022

PROJECT NAME:
 MINHAS RESIDENCE
 4920 DIXIE DRIVE, SAN DIEGO, CA 92109

ORIGINAL DATE: 1/1/2022
 SHEET 13 OF 15
 DEPT:



MINHAS RESIDENCE
 4920 DIXIE DRIVE
 SAN DIEGO, CA 92109

REVISIONS:	No.	Date
	1	00P P.C. COMMENTS 3/9/2023, 6/30/23, 8/10/2023, 10/23/2023

SUBMITTAL DATE:
10/23/2023

PHASE:
COASTAL DEVELOPMENT

PROJECT NUMBER:
2152

REVIEWED BY:
MDL

DRAWN BY:
K.J.L.

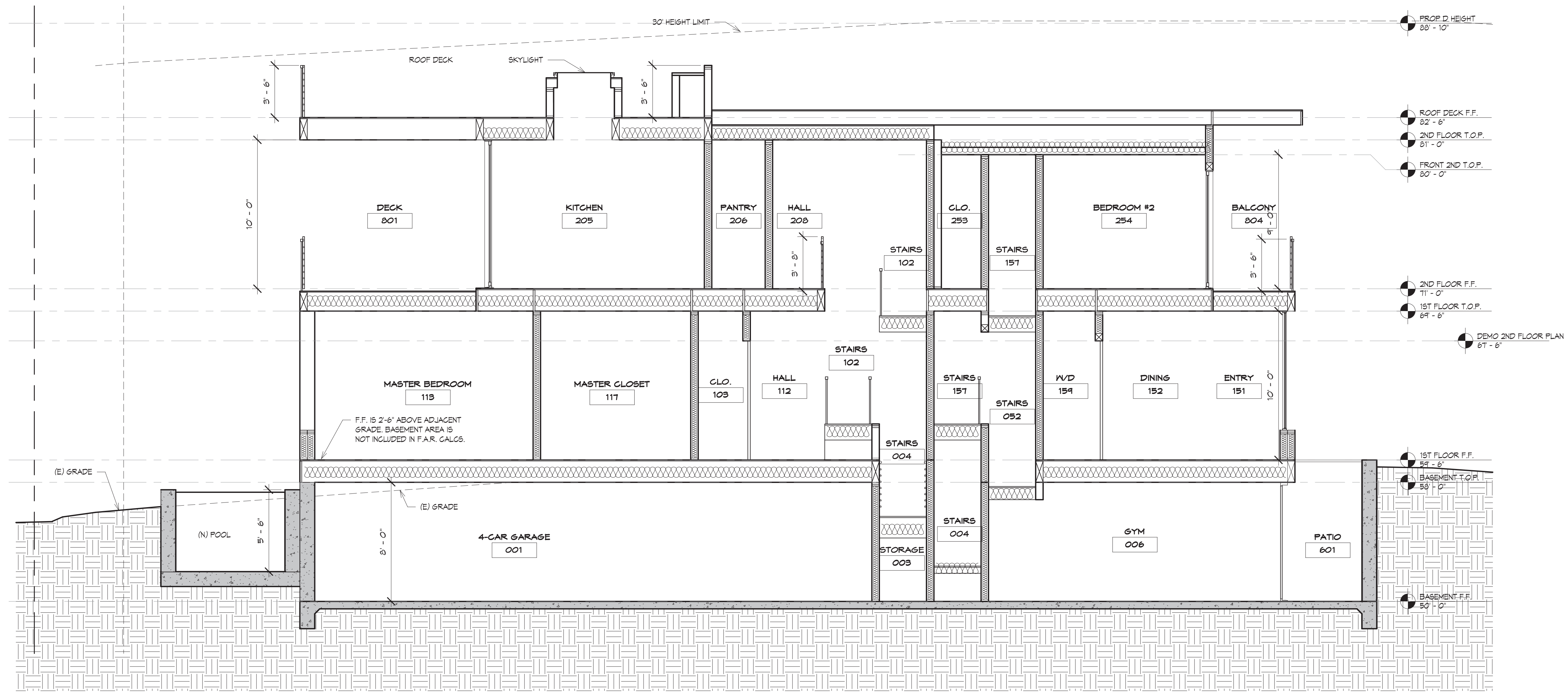
DATE:
10/23/2023

SHEET TITLE:
EXTERIOR ELEVATIONS

A202

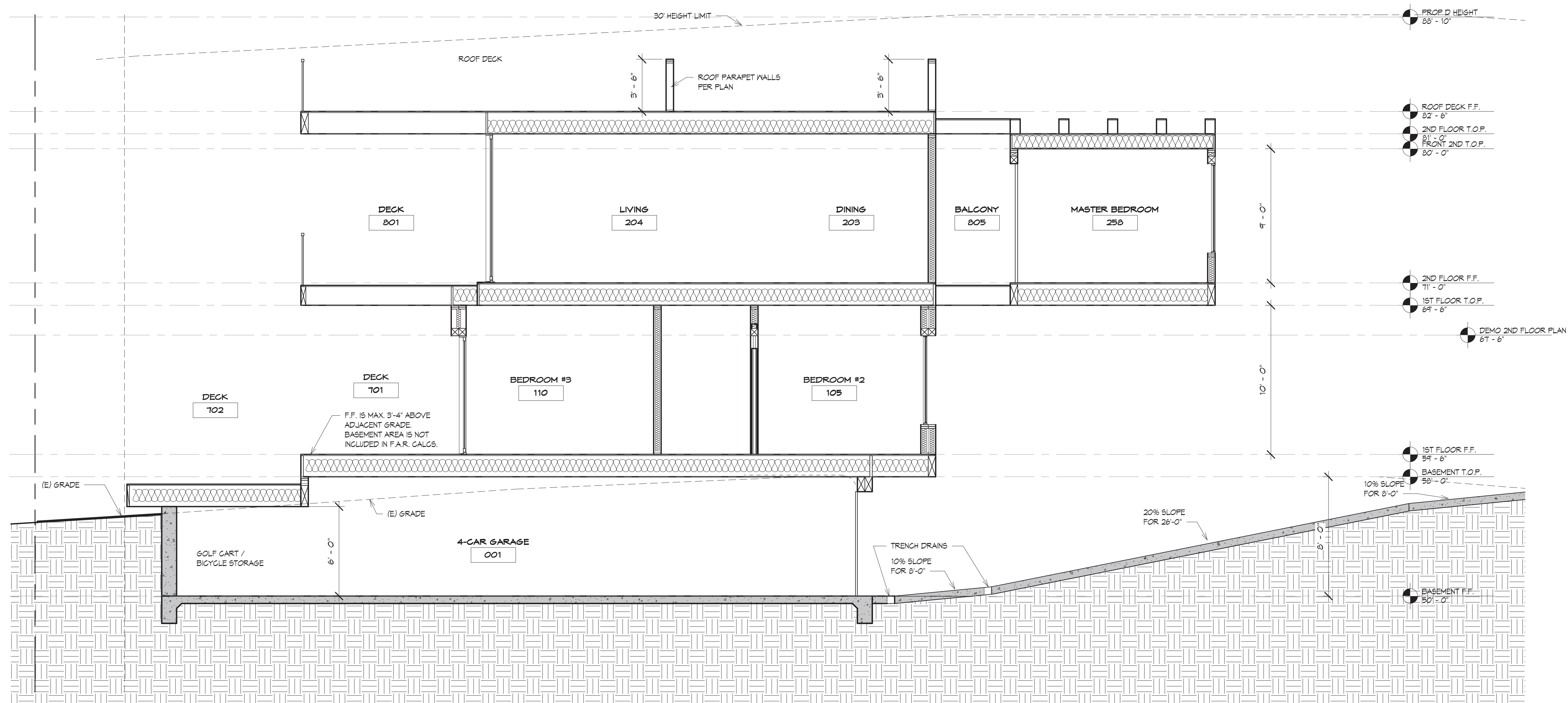
All design, plans and programs are the legal property of Architect Mark D. Lyon, Inc. & the original site and specific project for which they were prepared. Reproduction, publication or re-use by any method, in whole or in part, without the express written consent of Architect Mark D. Lyon, Inc. is prohibited. There shall be no change or deviation from these drawings or accompanying specifications without the consent of Architect Mark D. Lyon, Inc. Visual contact with these drawings and attached specifications shall constitute prima facie evidence of the acceptance of all these restrictions with prejudice.

ARCHITECT MARK D. LYON, INC.
 410 BIRD ROCK AVE., LA JOLLA CA 92037 (858) 459-1171 INFO@MDLA.NET



BUILDING SECTION A

1/4" = 1'-0"



BUILDING SECTION B

1/4" = 1'-0"



REVISIONS:	No.	Date
	1	05P P.C. COMMENTS 3/9/2023, 6/10/2023, 8/10/2023, 10/23/2023

SUBMITTAL DATE: 10/23/2023

PHASE: COASTAL DEVELOPMENT

PROJECT NUMBER: 2152

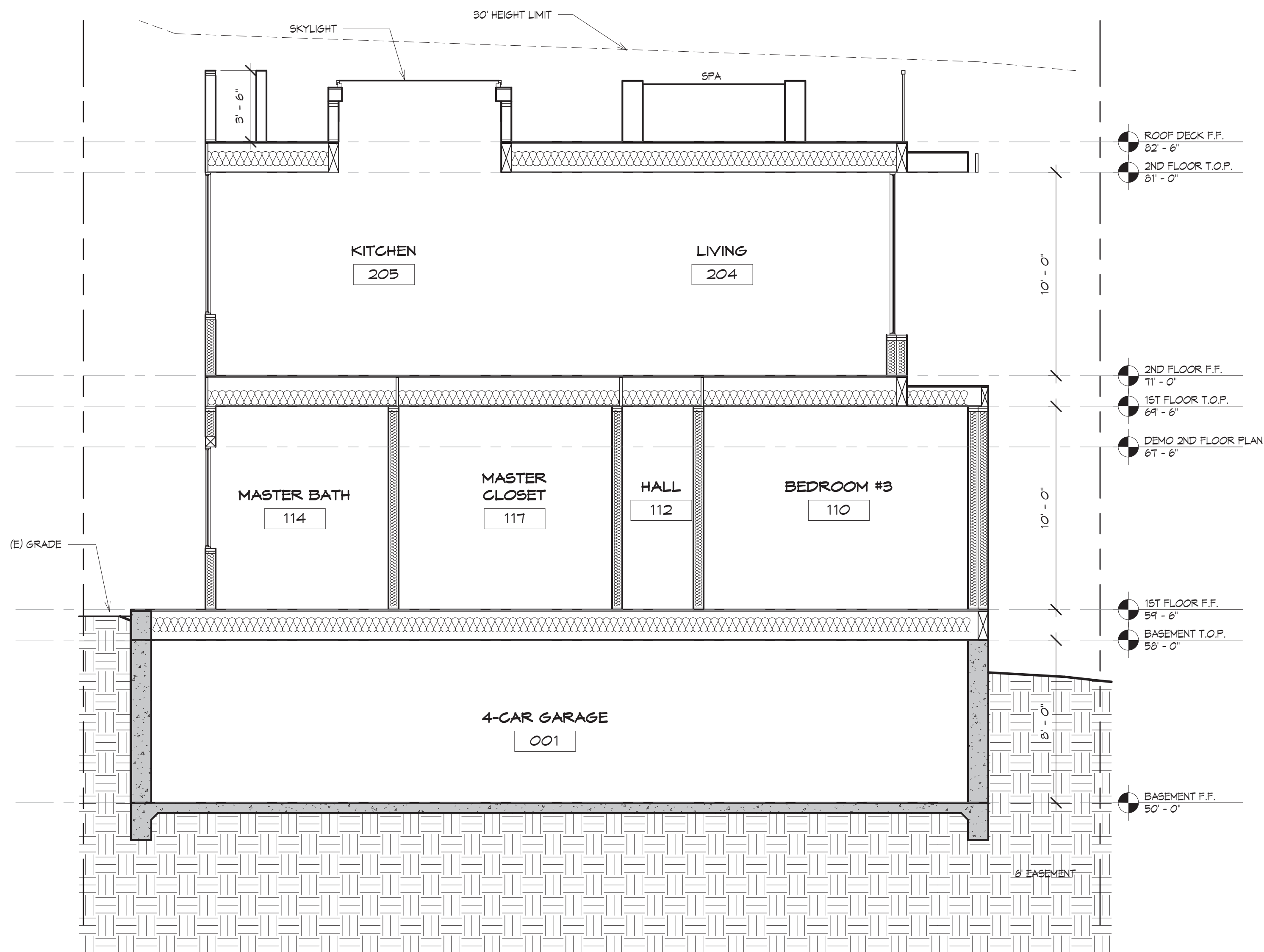
REVIEWED BY: MDL

DRAWN BY: K.J.L / R.H.

DATE: 10/23/2023

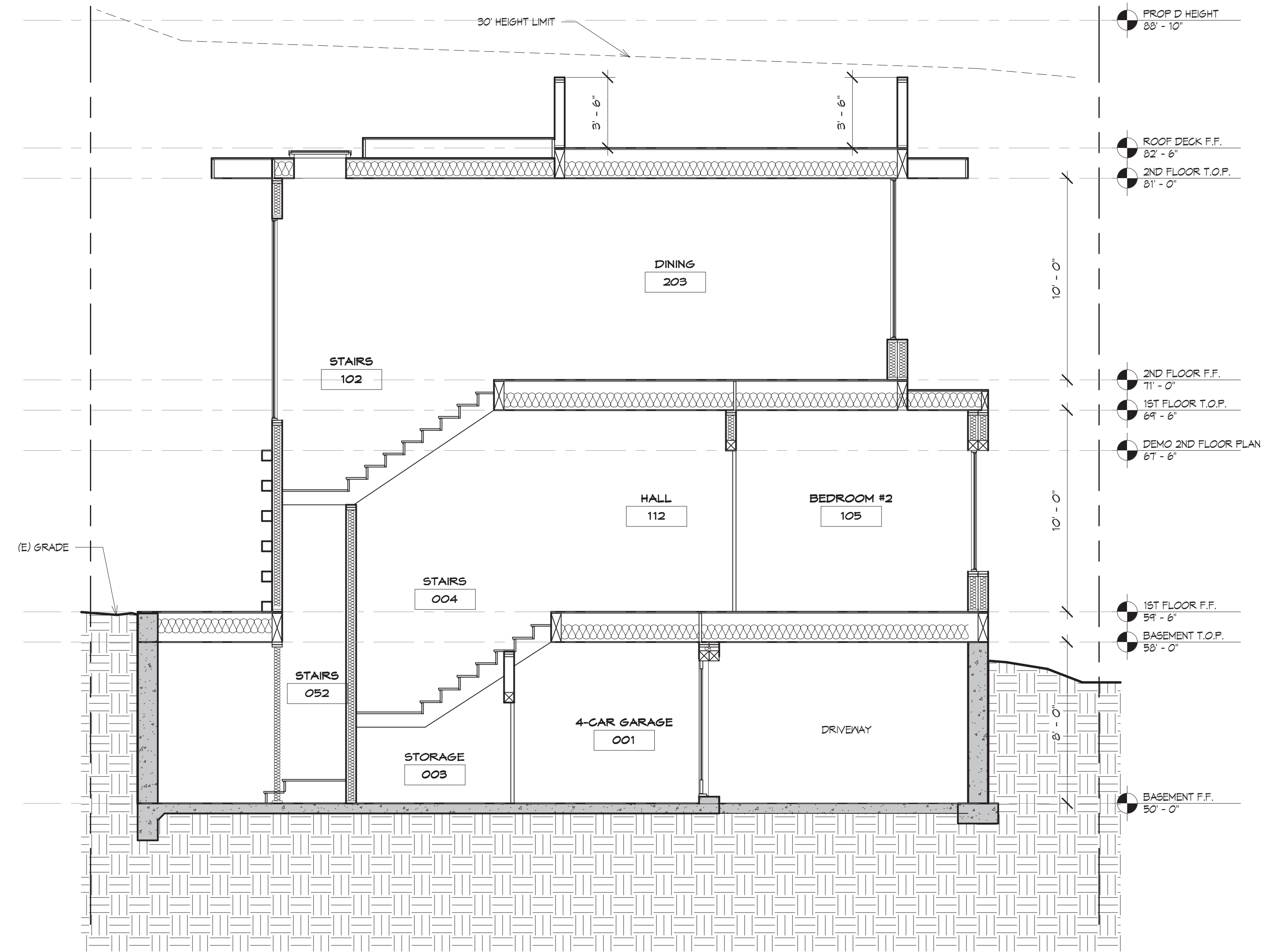
SHEET TITLE: BUILDING SECTIONS

PREPARED BY:	REVISION 10:	_____
NAME: ARCHITECT MARK D. LYON, INC.	REVISION 9:	_____
ADDRESS: 410 BIRD ROCK AVE.	REVISION 8:	_____
LA JOLLA, CA 92037	REVISION 7:	_____
PHONE: (858) 459-1171	REVISION 6:	_____
	REVISION 5:	10/23/2023
	REVISION 4:	8/10/2023
	REVISION 3:	8/10/2023
	REVISION 2:	9/8/2023
	REVISION 1:	9/18/2022
PROJECT NAME:	ORIGINAL DATE:	1/1/2022
MINHAS RESIDENCE		
4420 DIXIE DRIVE, SAN DIEGO, CA 92109		
SHEET TITLE	SHEET 14 OF 15	
BUILDING SECTIONS	DEPTH:	_____



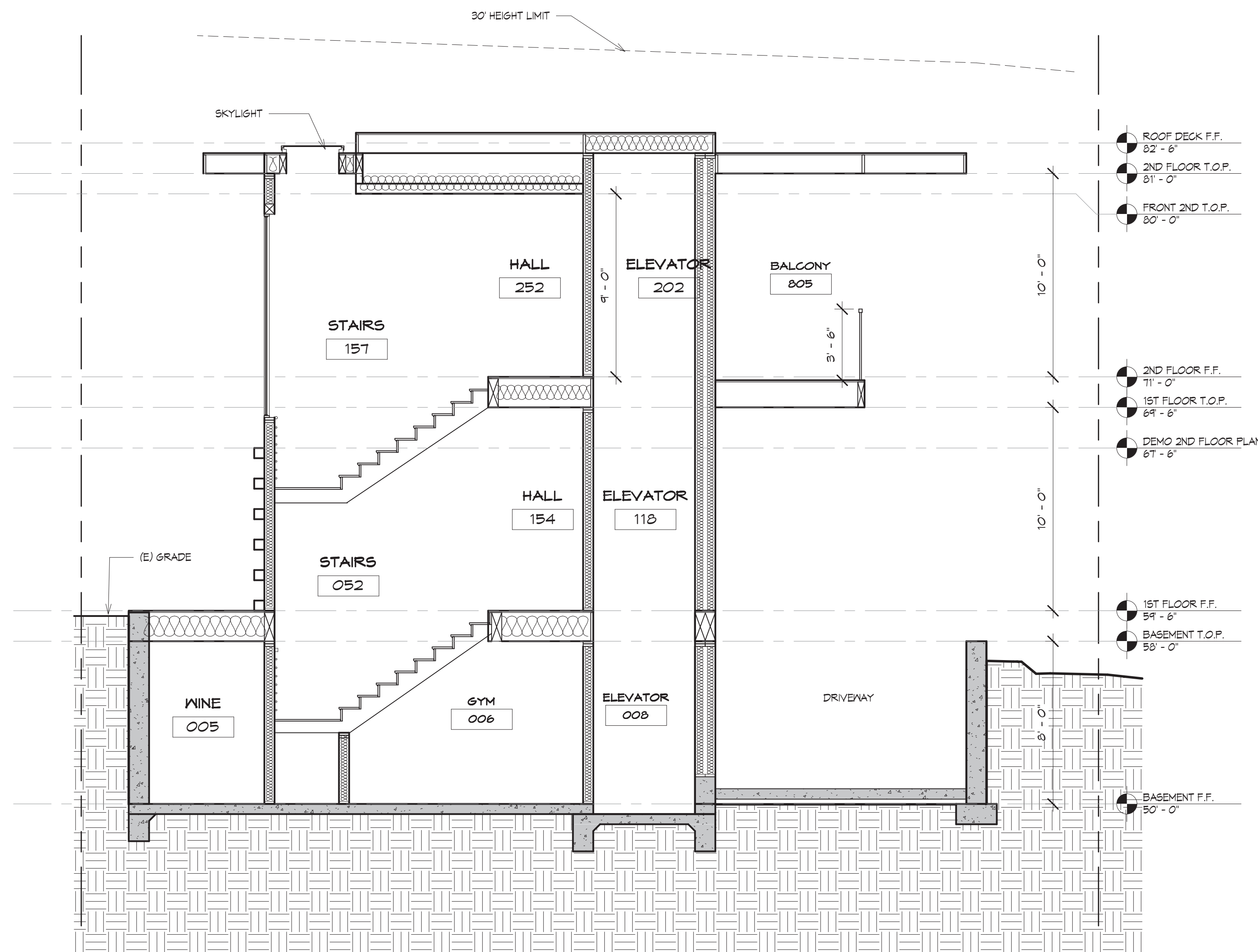
BUILDING SECTION C

1/4" = 1'-0"



BUILDING SECTION D

1/4" = 1'-0"



BUILDING SECTION E

1/4" = 1'-0"

PREPARED BY:	REVISION 10:	_____
NAME: ARCHITECT MARK D. LYON, INC.	REVISION 9:	_____
ADDRESS: 410 BIRD ROCK AVE.	REVISION 8:	_____
LA JOLLA, CA 92037	REVISION 7:	_____
PHONE: (858) 459-1171	REVISION 6:	_____
	REVISION 5:	10/23/2023
	REVISION 4:	8/30/2022
	REVISION 3:	8/30/2023
	REVISION 2:	3/8/2022
	REVISION 1:	9/18/2022
PROJECT NAME:	ORIGINAL DATE:	1/1/2022
MINHAS RESIDENCE		
4920 DIXIE DRIVE, SAN DIEGO, CA 92109		
SHEET TITLE:	SHEET 15 OF 15	
BUILDING SECTIONS	DEPT:	_____



REVISIONS:	No.	Date
1	05P P.C. COMMENTS	3/9/2023, 6/30/2023, 8/10/2023, 10/23/2023

SUBMITAL DATE:	10/23/2023
PHASE:	COASTAL DEVELOPMENT
PROJECT NUMBER:	2152
REVIEWED BY:	MDL
DRAWN BY:	K.J.L / R.H.
DATE:	10/23/2023
SHEET TITLE:	BUILDING SECTIONS

All design, plans and engineering are the property of Architect Mark D. Lyon, Inc. & the original site and specific project for which they were prepared. Reproduction, publication or use by any method, in whole or in part, without the express written consent of Architect Mark D. Lyon, Inc. is prohibited. These plans are to be used for the construction of the project only and do not constitute a contract. The contractor shall coordinate with the architect and engineer to ensure that all construction is in accordance with these drawings and specifications. The contractor shall be responsible for obtaining all necessary permits and approvals. The contractor shall be responsible for ensuring that all construction is in accordance with the approved plans and specifications. The contractor shall be responsible for ensuring that all construction is in accordance with the approved plans and specifications. The contractor shall be responsible for ensuring that all construction is in accordance with the approved plans and specifications.