



THE CITY OF SAN DIEGO

Report to the Hearing Officer

DATE ISSUED: March 6, 2024 REPORT NO. HO-24-005

HEARING DATE: March 20, 2024

SUBJECT: 7443 Eads Avenue, Process Three Decision

PROJECT NUMBER: [1070073](#)

OWNER/APPLICANT: William Mueller and Tina Wright, Owner / Marengo Morton Architects, Applicant

SUMMARY

Issue: Should the Hearing Officer approve demolishing an existing garage and constructing a new 3,327 square-foot single dwelling unit with an 800 square foot accessory dwelling unit adding 436 square-feet to an existing 1,556-square-foot dwelling unit, and creating two condominium units at 7443 Eads Avenue within the La Jolla Community Planning area?

Proposed Actions: Approve Coastal Development Permit No. 3185169 and Map Waiver No. 3231921.

Fiscal Considerations: All costs associated with this action are recovered through a deposit account funded by the applicant.

Housing Impact Statement: The project proposes demolishing an existing garage and constructing a new single dwelling unit with accessory dwelling unit an addition to an existing dwelling unit and creating two residential condominium units. Relocation assistance is not required since the project site has one occupant, the existing property owner/applicant. The project is subject to the City's Inclusionary Housing Regulations (San Diego Municipal Code Chapter 14, Article 2, Division 13) and Condominium Conversion Regulations (Chapter 14, Article 4, Division 5), and is conditioned to require payment of an inclusionary affordable housing in-lieu fee.

Community Planning Group Recommendation: On May 4, 2023, the La Jolla Community Planning Association voted 13-0-1 to approve the project (Attachment 6).

Environmental Review: This project was determined to be categorically exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15303 (New Construction). The environmental determination for the project was made on November 6, 2023, and the opportunity to appeal the determination ended on November 21, 2023 (Attachment 9). There were no appeals of the environmental determination.

BACKGROUND

The project site is developed with a 1,556 square-foot single dwelling unit at 7443 Eads Avenue. The 0.16-acre site is located approximately half a mile east from the Pacific Ocean within an urbanized area within the La Jolla community. There is no public view or coastal access from the project site, as identified in the La Jolla Community Plan (Community Plan). The project site is in the RM-1-1 Zone, Coastal Overlay Zone (Non-Appealable Area 2), Coastal Height Limit Overlay Zone, Parking Impact Overlay Zone (Coastal Impact), Transit Area Overlay Zone, and Transit Priority Area (Attachments 1-3).

The existing structure is more than 45 years old, requiring staff to evaluate the proposal for historic significance per San Diego Municipal Code (SDMC) Section 143.0212. Staff determined that the property does not meet the local designation criteria as an individually significant resource under any adopted Historical Resources Board Criteria.

Pursuant to SDMC Section 126.0704(a)(3), a Process Two Coastal Development Permit is required for an addition to an existing structure that increases the intensification of use. Pursuant to SDMC Section 125.0122, a Process Three Tentative Map Waiver is required for the creation of the proposed two residential condominium units. The discretionary actions have been consolidated under this application and processed concurrently, pursuant to the Consolidation of Processing regulations contained in SDMC Section [112.0103](#). Therefore, the decision to approve, conditionally approve, or deny the project will be made by the Hearing Officer and is appealable to the Planning Commission.

DISCUSSION

The project (Attachment 11 – Project Plans) includes demolishing an existing garage and constructing a new 3,327-square-foot dwelling unit with 800-square-foot accessory dwelling unit, adding 436-square-feet to an existing 1,556-square-foot dwelling unit, and create two condominium units. The project was designed to comply with the development regulations of the underlying RM-1-1 Zone, including building height (29 feet 4 inches) that does not exceed the 30-foot height limit, density, setbacks, and floor area ratio (.75) that is equal to the maximum (.75) allowed. No deviations or variances are required. The Map Waiver for the project was also reviewed and determined to be in compliance with the SDMC and Subdivision Map Act.

The Community Plan designates the site as low medium residential (9-15 dwelling units per acre), and the creation of two dwelling units (condominiums) with an accessory dwelling unit is consistent with the prescribed density of 9-15 dwelling units per acre. The project is consistent with the Community Plan goal of incorporating a variety of architectural styles, colors, and building materials for single-dwelling development and providing a dwelling unit that is similar in bulk and scale to the existing homes within the neighborhood. The project is also consistent with the Community Plan goal of promoting the development of a variety of housing types and styles in La Jolla.

The project site does not contain sensitive vegetation or biological resources, nor is the site within or adjacent to the City's Multiple Species Conservation Plan/Multiple Habitat Planning Area. No archaeological sites are located within the project site. Staff has also reviewed and accepted a

preliminary drainage study prepared for the site that concluded that the project complies with the City's drainage regulations and standards.

Additionally, the project permit contains specific requirements to ensure compliance with the regulations of the Land Development Code, including those adopted to protect public health, safety, and welfare. Permit requirements include the following:

- Removing and replacing the existing full-width alley pavement with the current City standard public improvement;
- Installing appropriate private back flow prevention devices;
- Constructing all public water and sewer facilities, per the City's Water and Sewer Facility design guidelines and regulations; and
- Maintenance of all landscaping improvements.

Staff has reviewed the proposal, including all the issues identified through the review process, and has determined that all project issues have been addressed. The project conforms with the Community Plan and the adopted City Council policies and regulations of the Land Development Code. Therefore, draft findings and conditions to support project approval are presented to the Hearing Officer for consideration.

ALTERNATIVES

1. Approve Coastal Development Permit No. 3185169 and Map Waiver No. 3231921, with modifications.
2. Deny Coastal Development Permit No. 3185169 and Map Waiver No. 3231921, if the findings required to approve the project cannot be affirmed.

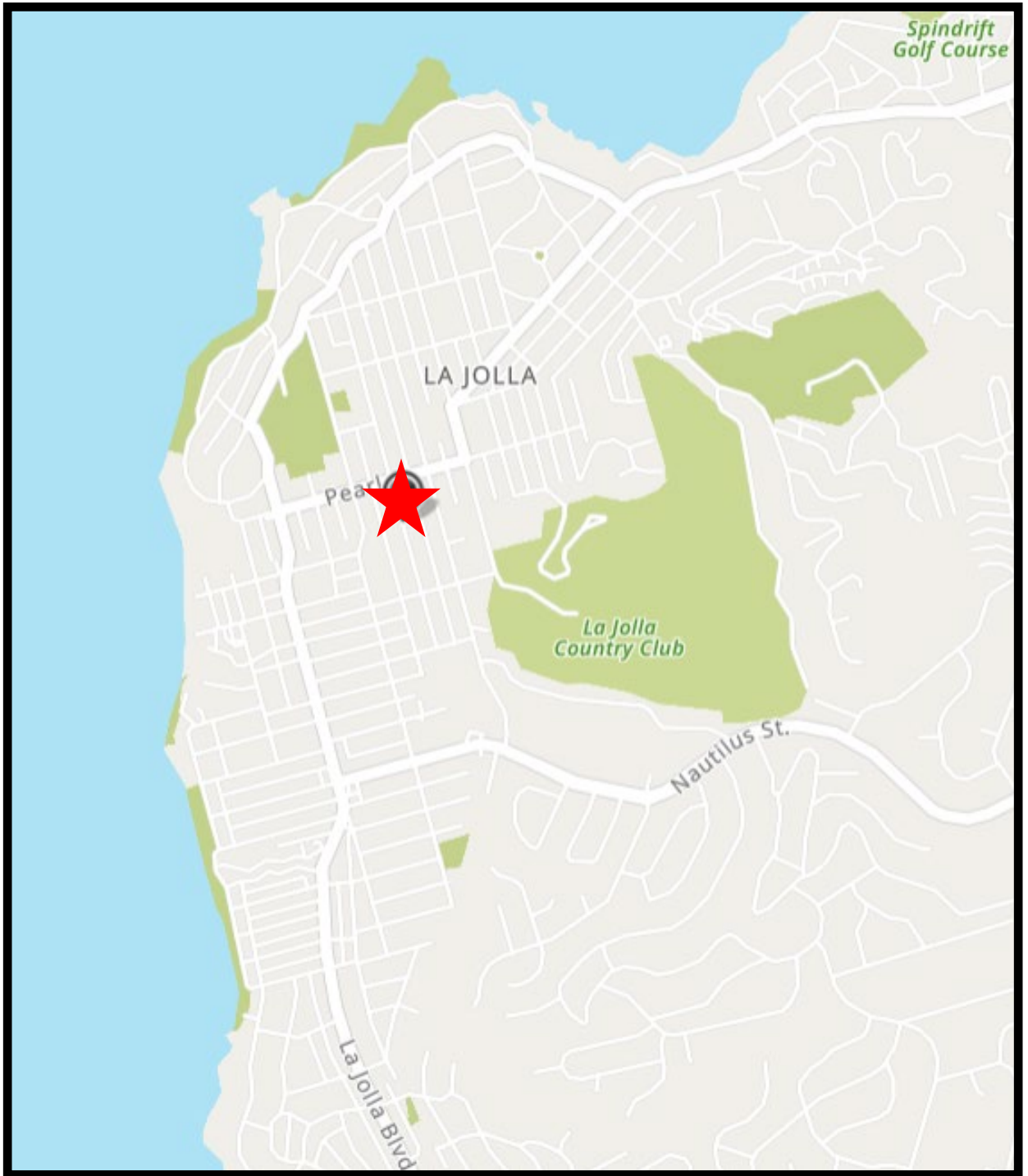
Respectfully submitted,

Blake Sonuga

Blake Sonuga, Development Project Manager

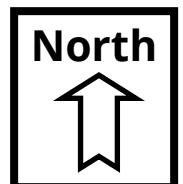
Attachments:

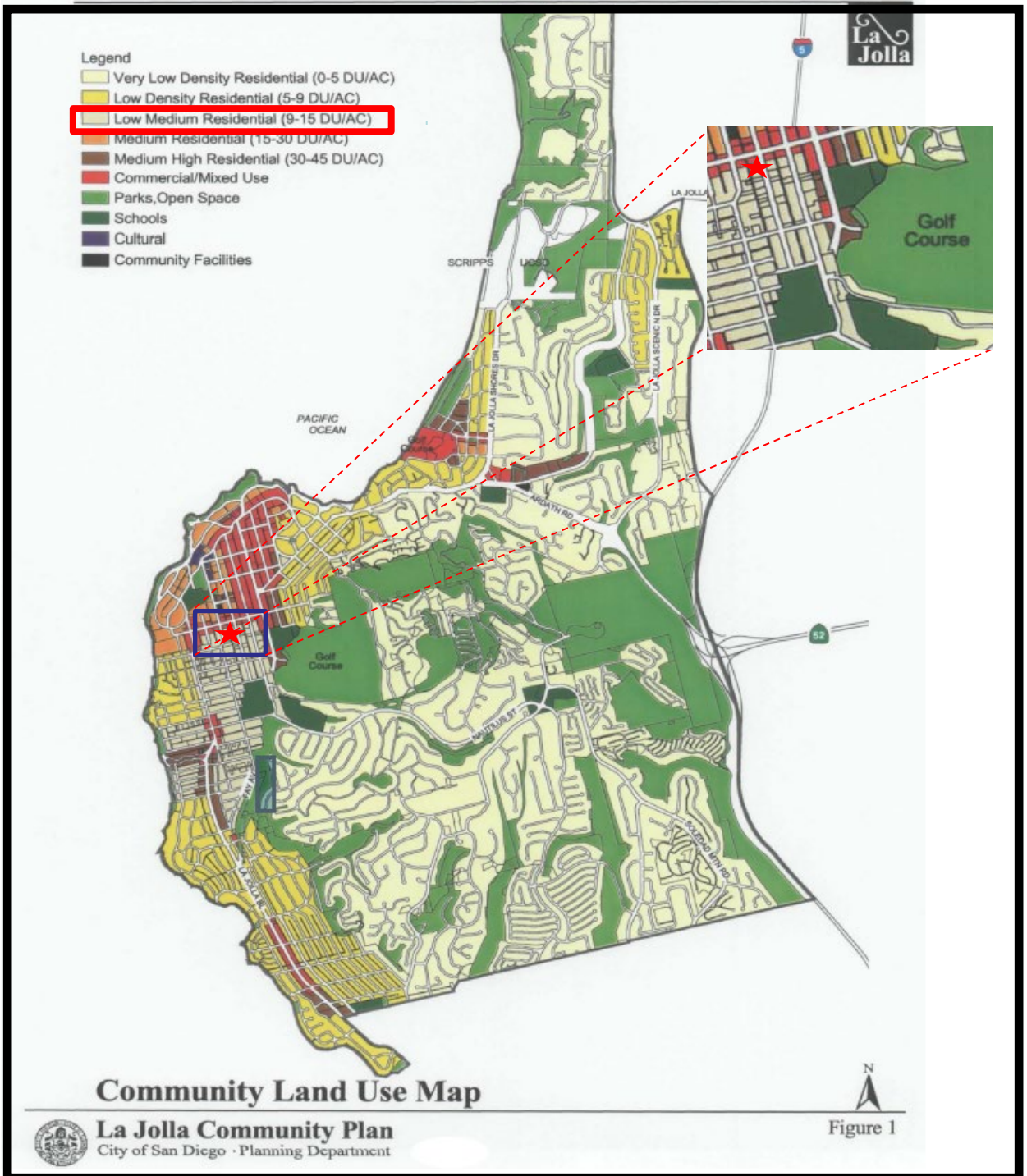
1. Project Location Map
2. Community Plan Land Use Map
3. Aerial Photograph
4. Draft Permit Resolution with Findings
5. Draft Permit with Conditions
6. Draft Map Waiver Resolution
7. Draft Map Waiver Conditions
8. Community Planning Group Recommendation
9. Notice of Right to Appeal (NORA)
10. Ownership Disclosure Statement
11. Project Plans



Project Location

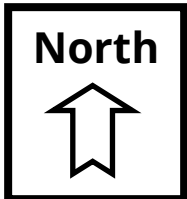
7443 Eads Avenue La Jolla
Project No. PRJ-1070073

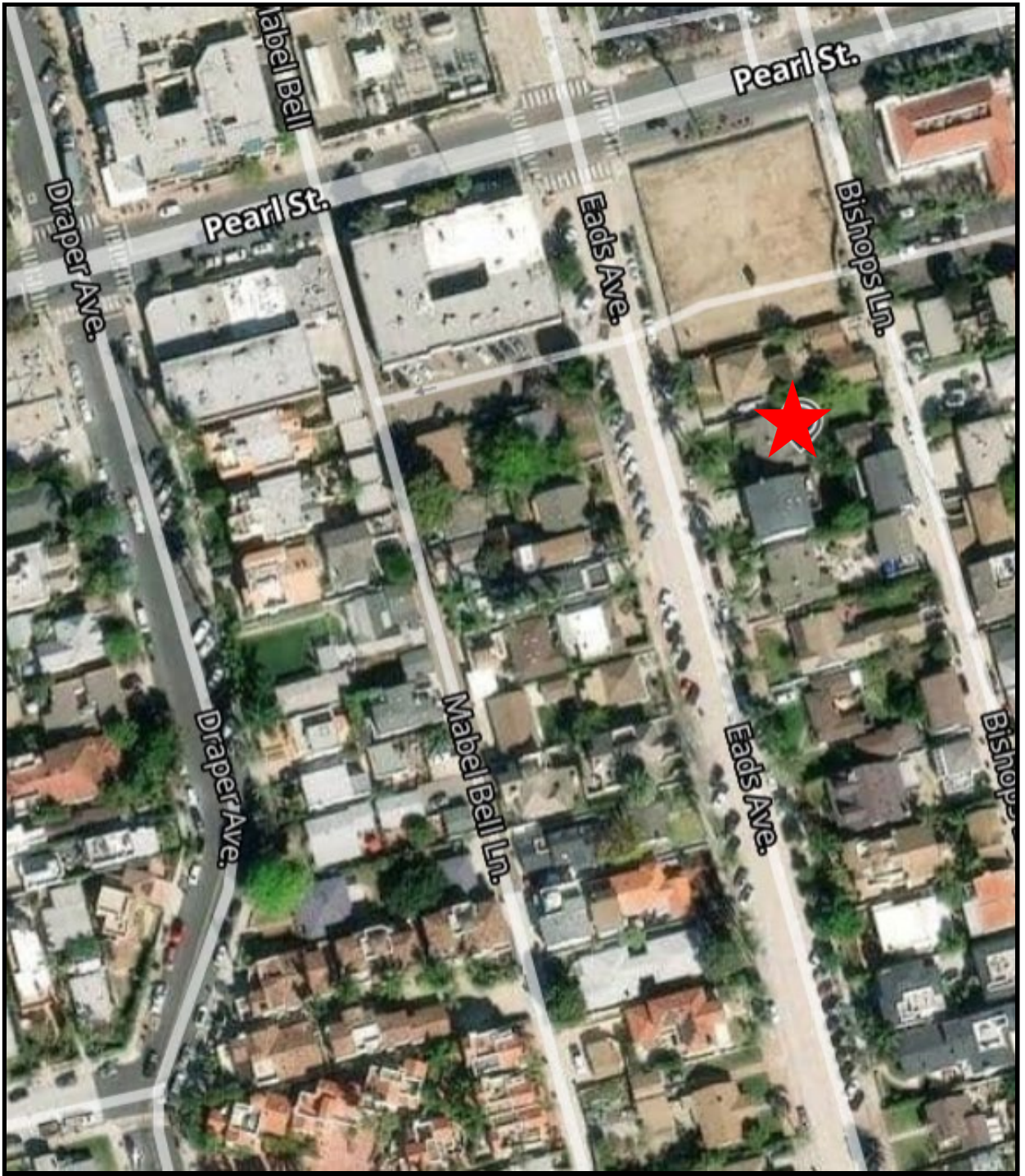




Land Use Plan

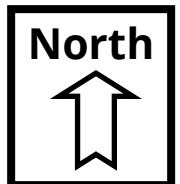
7443 Eads Avenue La Jolla
Project No. PRJ-1070073





Aerial Photo

7443 Eads Avenue La Jolla
Project No. PRJ-1070073



HEARING OFFICER RESOLUTION NO.
COASTAL DEVELOPMENT PERMIT NO. 3185169
7443 EADS AVENUE - PROJECT NO. 1070073

WHEREAS, WILLIAM MUELLER AND TINA WRIGHT, Owner/Permittee, filed an application with the City of San Diego for a permit to demolish an existing garage and construct a new 3,327-square-foot dwelling unit with 800-square-foot accessory dwelling unit, add 436 square feet to an existing 1,556-square-foot dwelling unit, and create two condominium units (as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Coastal Development Permit No. 3185169), on portions of a 0.16-acre site.

WHEREAS, the project site is located at 7443 Eads Avenue in the RM-1-1 Zone, Coastal Overlay Zone (Non-Appealable Area 2), Coastal Height Limit Overlay Zone, Parking Impact Overlay Zone (Coastal Impact), Transit Area Overlay Zone, and Transit Priority Area within the La Jolla Community Planning Area;

WHEREAS, the project site is legally described as Lots 9 and 10 in Block 6 of La Jolla Park in the City of San Diego, County of San Diego, State of California, according to Map Thereof No. 352, filed in the office of the County Recorder of San Diego County March 22, 1887.

WHEREAS, on November 6, 2023, the City of San Diego, as Lead Agency, through the Development Services Department, made and issued an Environmental Determination that the project is exempt from the California Environmental Quality Act (CEQA) (Public Resources Code Section 21000 et seq.) under CEQA Guideline Section 15303 (New Construction); and there was no appeal of the Environmental Determination filed within the time period provided by San Diego Municipal Code Section 112.0520.

WHEREAS, on March 20, 2024, the Hearing Officer of the City of San Diego considered Coastal Development Permit No. 3185169 pursuant to the Land Development Code of the City of San Diego; NOW, THEREFORE,

BE IT RESOLVED by the Hearing Officer of the City of San Diego that it adopts the following findings with respect to Coastal Development Permit No. 3185169:

A. COASTAL DEVELOPMENT PERMIT [San Diego Municipal Code Section (SDMC) Section 126.0708]

1. Findings for all Coastal Development Permits:

- a. The proposed coastal development will not encroach upon any existing physical accessway that is legally used by the public or any proposed public accessway identified in a Local Coastal Program land use plan; and the proposed coastal development will enhance and protect public views to and along the ocean and other scenic coastal areas as specified in the Local Coastal Program land use plan.**

The project site is located approximately half a mile east of the Pacific Ocean within an urbanized area within the La Jolla community. There is no public view or coastal access from the project site, as identified in the Community Plan. The project complies with the community goals regarding public view preservation and enhancement since the project was designed to comply with the development regulations of the underlying RM-1-1 Zone, including building height (29 feet 4 inches) that is below the 30-foot height limit, density, setbacks, and floor area ratio (.75) that is equal to the maximum (.75) allowed. No deviations or variances are required. Therefore, the project will not encroach upon any existing physical accessway that is legally used by the public or any proposed public accessway identified in a Local Coastal Program land use plan; and the proposed project will enhance and protect public views to and along the ocean and other scenic coastal areas as specified in the Local Coastal Program Land Use Plan.

- b. The proposed coastal development will not adversely affect environmentally sensitive lands.**

The project site is developed and does not contain sensitive vegetation or biological resources, nor is the site within or adjacent to the City's Multiple Species Conservation Plan/Multiple Habitat Planning Area. No archaeological sites are located within the project site. Staff has also reviewed and accepted a preliminary drainage study prepared for the site that concluded that the project complies with the City's drainage regulations and standards. The project was determined to be exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines Section 153303 (New Construction). Therefore, the proposed coastal development will not adversely affect environmentally sensitive lands.

c. The proposed coastal development is in conformity with the certified Local Coastal Program land use plan and complies with all regulations of the certified Implementation Program.

The existing structure is more than 45 years old, requiring City staff to evaluate the proposal for historic significance. Staff determined that the property does not meet the local designation criteria as an individually significant resource under any adopted Historical Resources Board Criteria. The project was designed to comply with the development regulations of the underlying RM-1-1 Zone, including building height (29 feet 4 inches) that is below the 30-foot height limit, density, setbacks, and floor area ratio (.75) that is equal to the maximum (.75) allowed. No deviations or variances are required.

The Community Plan designates the site as low medium residential (9-15 dwelling units per acre), and the creation of two dwelling units (condominiums) and one accessory dwelling unit is consistent with the prescribed density. The project is consistent with the Community Plan goal of incorporating a variety of architectural styles, colors and building materials for single-family development and providing a dwelling unit that is similar in bulk and scale to the existing homes within the neighborhood. The project is also consistent with the Community Plan goal of promoting the development of a variety of housing types and styles in La Jolla. The project site is located approximately half a mile east of the Pacific Ocean and there is no public view or coastal access from the project site, as identified in the Community Plan. Therefore, the proposed project is in conformity with the certified Local Coastal Program land use plan and complies with all regulations of the certified Implementation Program.

d. For every Coastal Development Permit issued for any coastal development between the nearest public road and the sea or the shoreline of any body of water located within the Coastal Overlay Zone the coastal development is in conformity with the public access and public recreation policies of Chapter 3 of the California Coastal Act.

The project site is not located between the nearest public road and the sea or the shoreline of any body of water. The project will be redeveloped entirely within private property and will not adversely impact public access or any public recreation opportunities. Therefore, the project conforms with the public access and public recreation policies of Chapter 3 of the California Coastal Act.

The above findings are supported by the minutes, maps, and exhibits, all of which are incorporated herein by this reference.

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the Hearing Officer, Coastal Development Permit No. 3185169 is hereby GRANTED by the Hearing Officer to the

ATTACHMENT 4

referenced Owner/Permittee, in the form, exhibits, terms, and conditions as set forth in Coastal Development Permit No. 3185169, a copy of which is attached hereto and made a part hereof.

Blake Sonuga
Development Project Manager
Development Services

Adopted on March 20, 2024

IO#: 24009401

DRAFT

RECORDING REQUESTED BY
CITY OF SAN DIEGO
DEVELOPMENT SERVICES
PERMIT INTAKE, MAIL STATION
501

WHEN RECORDED MAIL TO
CITY CLERK
MAIL STATION 2A

INTERNAL ORDER NUMBER: 24009401

SPACE ABOVE THIS LINE FOR RECORDER'S USE

COASTAL DEVELOPMENT PERMIT NO. 3185169
7443 EADS AVENUE - PROJECT NO. 1070073
HEARING OFFICER

This Coastal Development Permit No. 3185169 is granted by the Hearing Officer of the City of San Diego to WILLIAM MUELLER AND TINA WRIGHT, Owner/Permittee, pursuant to San Diego Municipal Code [SDMC] sections 126.0702. The 0.16-acre site is located at 7443 Eads Avenue in the RM-1-1 Zone, Coastal Overlay Zone (Non-Appealable Area 2), Coastal Height Limit Overlay Zone, Parking Impact Overlay Zone (Coastal Impact), Transit Area Overlay Zone, and Transit Priority Area. The project site is legally described as Lots 9 and 10 in Block 6 of La Jolla Park, in the City of San Diego, County of San Diego, State of California, according to Map Thereof No. 352, filed in the office of the County Recorder of San Diego County March 22, 1887.

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner/Permittee to demolish an existing garage and construct a new three story, single dwelling unit with accessory dwelling unit, adding an accessory dwelling unit to an existing single dwelling unit described as identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated March 20, 2024, on file in the Development Services Department.

The project shall include:

- a. Demolishing an existing garage, constructing a new 3,327-square-foot dwelling unit with 800-square-foot accessory dwelling unit, and a 436-square-foot addition to an existing 1,556-square-foot dwelling unit.
- b. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act [CEQA], and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

STANDARD REQUIREMENTS:

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36-month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the appropriate decision-maker considers the extension. This permit must be utilized by April 4, 2027.
2. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision-maker.
3. This Permit is a covenant running with the subject property, and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.
4. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
5. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).
6. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.
7. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.
8. All of the conditions contained in this Permit have been considered and were determined necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.
9. If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the

discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

10. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation-related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

CLIMATE ACTION PLAN REQUIREMENTS:

11. Prior to the issuance of any construction permit, all CAP strategies shall be noted within the first 3 sheets of the construction plans under the heading "Climate Action Plan Requirements." The Climate Action Plan strategies, as identified in Exhibit "A," shall be enforced and implemented to the satisfaction of the Development Services Department.

ENGINEERING REQUIREMENTS:

12. Coastal Development Permit No. 3185169 shall comply with the conditions of the Tentative Map Waiver No. 3231921, satisfactory to the City Engineer.

13. Prior to the issuance of any construction permits, Owner/Permittee shall assure by permit and bond the removal and replacement of the existing full-width alley pavement with a current City Standard along the project frontage, satisfactory to the City Engineer.

TRANSPORTATION REQUIREMENTS

14. All on-site parking stalls and aisle widths shall be in compliance with requirements of the City's Land Development Code and shall not be converted and/or utilized for any other purpose, unless otherwise authorized in writing authorized by the appropriate City decision maker in accordance with the SDMC.

LANDSCAPE REQUIREMENTS:

15. Prior to issuance of any construction permit for grading, the Owner/Permittee shall submit complete construction documents for the revegetation and hydro-seeding of all disturbed land in accordance with the City of San Diego Landscape Standards, Storm Water Design Manual, and to the satisfaction of the Development Services Department. All plans shall be in substantial conformance to this permit (including Environmental conditions) and Exhibit "A," on file in the Development Services Department.

16. Prior to issuance of any construction permit for public improvements, the Owner/Permittee shall submit to the Development Services Department for approval complete landscape construction documents for public right-of-way improvements. Improvement plans shall show, label, and dimension a 40-square-foot area around each tree which is unencumbered by utilities. Driveways, utilities, drains, water and sewer laterals shall be designed to not prohibit the placement of street trees.

17. Prior to issuance of any construction permits, the Owner/Permittee shall submit to the Development Services Department for approval complete landscape and irrigation construction documents, which are consistent with the Landscape Standards. The construction documents shall be in substantial conformance with Exhibit "A," Landscape Development Plan on file in the Development Services Department. Construction plans shall provide a 40-square-foot area around each tree that is unencumbered by hardscape and utilities unless otherwise approved per SDMC Section 142.0403(b)(6).

18. The Owner/Permittee shall be responsible for the maintenance of all landscape improvements shown on the approved plans, including in the public right-of-way unless long-term maintenance of said landscaping will be the responsibility of another entity approved by the Development Services Department. All required landscape shall be maintained consistent with the Landscape Standards in a disease, weed, and litter free condition at all times. Severe pruning or "topping" of trees is not permitted.

19. If any required landscape (including existing or new plantings, hardscape, landscape features, etc.) as shown on the approved construction documents is damaged or removed, the Owner/Permittee shall repair and/or replace in kind and in an equivalent size per the approved documents to the satisfaction of the Development Services Department within 30 days of damage or final inspection.

PLANNING/DESIGN REQUIREMENTS:

20. A topographical survey conforming to the provisions of the SDMC may be required if it is determined, during construction, that there may be a conflict between the building(s) under construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Owner/Permittee.

AFFORDABLE HOUSING PERMIT REQUIREMENTS:

21. Prior to issuance of the Parcel Map, the Owner/Permittee shall demonstrate compliance with the provisions of the San Diego Municipal Code, including the Condominium Conversion Regulations of Chapter 14, Article 4, Division 5; the Inclusionary Affordable Housing Regulations of Chapter 14, Article 2, Division 13; and the Inclusionary Housing Procedures Manual by payment of the applicable Inclusionary Affordable Housing In-Lieu Fee.

WATER & SEWER DEVELOPMENT REQUIREMENTS:

22. All proposed private water and sewer facilities located within a single lot shall be designed to meet the requirements of the California Plumbing Code and will be reviewed as part of the building permit plan check.

23. Prior to the issuance of any construction permits, the Owner/Permittee shall assure by permit and bond the design and construction of new water and sewer services outside of any driveway or drive aisle, including the abandonment of any existing unused water and sewer services within the public right-of-way adjacent to the project site, in a manner satisfactory to the Public Utilities Department and the City Engineer.

24. Prior to the issuance of any construction permits, the Owner/Permittee shall apply for a plumbing permit for the installation of appropriate private back flow prevention devices (BFPDs) on each water service (domestic, fire and irrigation), in a manner satisfactory to the Public Utilities Department and the City Engineer.

25. The Owner/Permittee shall design and construct all proposed public water and sewer facilities in accordance with established criteria in the current edition of the City's Water and Sewer Facility Design Guidelines and City regulations, standards and practices.

26. No trees or shrubs exceeding three feet in height at maturity shall be installed within ten feet of any sewer facilities and five feet of any water facilities.

INFORMATION ONLY:

- The issuance of this discretionary permit alone does not allow the immediate commencement or continued operation of the proposed use on site. Any operation allowed by this discretionary permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.

ATTACHMENT 5

- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Hearing Officer of the City of San Diego on March 20, 2024 and by_____.

DRAFT

ATTACHMENT 5

Coastal Development Permit No. 3185169
Date of Approval: March 20, 2024

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES DEPARTMENT

Blake Sonuga
Development Project Manager

**NOTE: Notary acknowledgment
must be attached per Civil Code
section 1189 et seq.**

The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

Owner/Permittee

By _____
William Mueller

Owner/Permittee

By _____
Tina Wright

**NOTE: Notary acknowledgments
must be attached per Civil Code
section 1189 et seq.**

HEARING OFFICER RESOLUTION NO.
TENTATIVE MAP WAIVER NO. 3231921
7443 EADS AVENUE – PROJECT NO. 1070073

WHEREAS, WILLIAM MUELLER AND TINA WRIGHT, Subdivider, and San Diego Land Surveying & Engineering, Inc., Surveyor, submitted an application with the City of San Diego for Map Waiver No. 3231921 to waive the requirement for a Tentative Map to create two residential condominium units. The project site is located at 7443 Eads Avenue in the RM-1-1 Zone within the La Jolla Community Planning area. The property is legally described as Lots 9 and 10 in Block 6 of La Jolla Park, in the City of San Diego, County of San Diego, State of California, according to Map Thereof No. 352, filed in the office of the County Recorder of San Diego County March 22, 1887; and

WHEREAS, the Map proposes the subdivision of a 0.61-acre site into one parcel and conversion into two residential condominium units; and

WHEREAS, on November 6, 2023, the City of San Diego, as Lead Agency, through the Development Services Department made and issued an Environmental Determination that the project is exempt from the California Environmental Quality Act (CEQA) (Public Resources Code section 21000 *et. seq.*) under CEQA Guidelines Section 15303 (New Construction); and there was no appeal of the Environmental Determination filed within the time period provided by San Diego Municipal Code section 112.0520; and

WHEREAS, a preliminary soils and geological reconnaissance report are waived by the City Engineer pursuant to Subdivision Map Act section 66491(a) and San Diego Municipal Code sections 144.0220(a) and 144.0220(b); and

WHEREAS, the subdivision is a condominium project as defined in California Civil Code section 4125 and filed pursuant to the Subdivision Map Act. The total number of condominium units is two; and

WHEREAS, on March 20, the Hearing Officer of the City of San Diego considered Map Waiver No. 3231921, and pursuant to sections 125.0122 and 125.0444 of the San Diego Municipal Code and Subdivision Map Act section 66428, received for its consideration written and oral presentations, evidence having been submitted, and testimony having been heard from all interested parties at the public hearing, and the Hearing Officer having fully considered the matter and being fully advised concerning the same; NOW THEREFORE,

BE IT RESOLVED by the Hearing Officer of the City of San Diego that it adopts the following findings with respect to Map Waiver No. 3231921:

1. The proposed subdivision and its design or improvement are consistent with the policies, goals, and objectives of the applicable land use plan.

The Community Plan designates the site as low medium residential (9-15 dwelling units per acre), and the creation of two dwelling units (condominiums) with one accessory dwelling unit is consistent with the prescribed density. The project is consistent with the Community Plan goal of incorporating a variety of architectural styles, colors and building materials for single-family development and providing a dwelling unit that is similar in bulk and scale to the existing homes within the neighborhood. The project is also consistent with the Community Plan goal of promoting the development of a variety of housing types and styles in La Jolla. The project site is located approximately half a mile east of the Pacific Ocean and there is no public view or coastal access from the project site, as identified in the Community Plan. Therefore, the proposed subdivision and its design or improvement are consistent with the policies, goals, and objectives of the applicable land use plan.

2. The proposed subdivision complies with the applicable zoning and development regulations of the Land Development Code including any allowable deviations pursuant to the Land Development Code.

The existing structure is more than 45 years old, requiring City staff to evaluate the proposal for historic significance. Staff determined that the property does not meet the local designation criteria as an individually significant resource under any adopted Historical Resources Board Criteria. The project was designed to comply with the development regulations of the underlying RM-1-1 Zone, including building height (29 feet 4 inches) that is below the 30-foot height limit, density, setbacks, and floor area ratio (.75) that is equal to the maximum (.75) allowed. No deviations or variances are required. Therefore, the proposed subdivision complies with the applicable zoning and development regulations of the Land Development Code including any allowable deviations pursuant to the Land Development Code.

3. The site is physically suitable for the type and density of development.

The project was designed to comply with the development regulations of the underlying RM-1-1 Zone, including building height (29 feet 4 inches) that is below the 30-foot height limit, density, setbacks, and floor area ratio (.75) that is equal to the maximum (.75) allowed. No deviations or variances are required.

The Community Plan designates the site as low medium residential (9-15 dwelling units per acre), and the creation of two dwelling units (condominiums) with one accessory dwelling unit is consistent with the prescribed density. The project site is developed and does not contain sensitive vegetation or biological resources, nor is the site within or adjacent to the City's Multiple Species Conservation Plan/Multiple Habitat Planning Area. No archaeological sites are located within the project site. Staff has also reviewed and accepted a preliminary drainage study prepared for the site that concluded that the project complies with the City's drainage regulations and standards. Therefore, the site is physically suitable for the type and density of development.

4. The design of the subdivision or the proposed improvements are not likely to cause substantial environmental damage or substantially and avoidably injure fish or wildlife or their habitat.

The project site is located approximately half a mile east from the Pacific Ocean within an urbanized area within the La Jolla community. The project site is developed and does not contain sensitive vegetation or biological resources, nor is the site within or adjacent to the City's Multiple Species Conservation Plan/Multiple Habitat Planning Area. Additionally, the project was determined to be exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines Section 15303 (New Construction). Therefore, the design of the subdivision or the proposed improvements will not cause substantial environmental damage or substantially and avoidably injure fish or wildlife or their habitat.

5. The design of the subdivision or the type of improvements will not be detrimental to the public health, safety, and welfare.

The project site is developed and does not contain sensitive vegetation or biological resources, nor is the site within or adjacent to the City's Multiple Species Conservation Plan/Multiple Habitat Planning Area. The project permit also contains specific requirements to ensure compliance with the regulations of the Land Development Code, including those adopted to protect public health, safety and welfare. Permit requirements include the following:

- Removing and replacing the existing full-width alley pavement with the current City standard improvement;
- Installing appropriate private back flow prevention devices;
- Constructing all public water and sewer facilities, per the City's Water and Sewer Facility design guidelines and regulations; and

- Maintenance of all landscaping improvements.

Additionally, the Map Waiver for the project was reviewed and determined to be in compliance with the SDMC and Subdivision Map Act. Therefore, the design of the subdivision or the type of improvements will not be detrimental to the public health, safety, and welfare.

6. The design of the subdivision or the type of improvements will not conflict with easements acquired by the public at large for access through or use of property within the proposed subdivision.

The project site does not contain any easements acquired by the public at large for access or use of property within the subdivision. Therefore, the design of the subdivision or the type of improvements will not conflict with easements acquired by the public at large for access through or use of property within the proposed subdivision.

7. The design of the proposed subdivision provides, to the extent feasible, for future passive or natural heating and cooling opportunities.

The new single dwelling unit will have a halo roof to provide shade at the upper level. The installation of mini splits and controlled air stations will provide for energy efficiency. Additionally, the project will incorporate sustainable materials for floor assembly systems and insulation to control building temperatures, and building ceilings are lower which will limit energy use. Therefore, the design of the proposed subdivision provides, to the extent feasible, for future passive or natural heating and cooling opportunities.

8. The decision maker has considered the effects of the proposed subdivision on the housing needs of the region and that those needs are balanced against the needs for public services and the available fiscal and environmental resources.

The project promotes the Community Plan goal of creating home ownership opportunities and a range of housing types in La Jolla. The creation of two residential condominiums with one accessory dwelling unit does not adversely impact public resources. The project also requires payment of an inclusionary affordable housing in-lieu fee. The decision maker has reviewed the administrative record, including the project plans, environmental documentation and public testimony to determine the effects of the proposed subdivision on the housing needs of the region, and determined that the proposed subdivision for the creation of two residential condominiums is consistent with the housing needs in the La Jolla community. Therefore, the decision maker has considered the effects of the proposed subdivision on the housing needs of the region and that those needs are balanced against the needs for public services and the available fiscal and environmental resources.

9. The notices required by San Diego Municipal Code section 125.0431 have been given in the manner required.

The project site only has one occupant, the existing property owner/applicant. Therefore, there is no requirement to issue notices as required per SDMC Section 125.0431.

10. The project was not financed by funds obtained from a governmental agency to provide for elderly, disabled, or low income housing.

The project was not financed by funds obtained from a governmental agency to provide for elderly, disabled, or low-income housing. The project requires payment of an inclusionary affordable housing in-lieu fee.

11. For any project that was developed to provide housing for the elderly, disabled or to provide low income housing, provisions have been made to perpetuate the use for which the project was developed.

The project does not provide housing for the elderly, disabled or low-income housing.

That said Findings are supported by the minutes, maps, and exhibits, all of which are herein incorporated by reference.

BE IT FURTHER RESOLVED, that based on the Findings hereinbefore adopted by the Hearing Officer, Map Waiver No. 3231921 is hereby granted to Subdivider subject to the attached conditions which are made a part of this resolution by this reference

By _____
Blake Sonuga
Development Project Manager
Development Services Department

ATTACHMENT: Map Waiver Conditions

Internal Order No. 24009401

ATTACHMENT 7

HEARING OFFICER RESOLUTION NO.
CONDITIONS FOR MAP WAIVER NO. 3231921
5443 EADS AVENUE - PROJECT NO. 1070073
ADOPTED ON MARCH 30, 2024

GENERAL

1. This Map Waiver will expire on April 4, 2027.
2. Compliance with all of the following conditions shall be completed and/or assured, to the satisfaction of the City Engineer, prior to the recordation of the Final Map unless otherwise noted.
3. Prior to the Map Waiver expiration date, a Parcel Map to consolidate the existing lots into one lot shall be recorded in the Office of the San Diego County Recorder.
4. The Parcel Map shall conform to the provisions of the Coastal Development Permit No. 3185169.
5. The Subdivider shall defend, indemnify, and hold the City (including its agents, officers, and employees [together, "Indemnified Parties"]) harmless from any claim, action, or proceeding, against the City and/or any Indemnified Parties to attack, set aside, void, or annul City's approval of this project, which action is brought within the time period provided for in Government Code section 66499.37. City shall promptly notify Subdivider of any claim, action, or proceeding and shall cooperate fully in the defense. If City fails to promptly notify the Subdivider of any claim, action, or proceeding, or if the City fails to cooperate fully in the defense, Subdivider shall not thereafter be responsible to defend, indemnify, or hold City and/or any Indemnified Parties harmless. City may participate in the defense of any claim, action, or proceeding if City bears its own attorney's fees and costs, City defends the action in good faith, and Subdivider is not be required to pay or perform any settlement unless such settlement is approved by the Subdivider.

ENGINEERING

6. Tentative Map Waiver No. 3231921 shall comply with the conditions of Coastal Development Permit No. 3185169, satisfactory to the City Engineer.
7. The Subdivider shall comply with the "General Conditions for Tentative Subdivision Maps," filed in the Office of the City Clerk under Document No. 767688 on May 7, 1980. Only those exceptions to the General Conditions which are shown on the Map Waiver and covered in these special conditions will be authorized. All public improvements and incidental facilities shall be designed in accordance with criteria established in the Street Design Manual, filed with the City Clerk as Document No. RR-297376.

MAPPING

8. Prior to the expiration of the Tentative Map Waiver, a Parcel Map to consolidate and subdivide the 0.16-acre property into two (2) residential condominium units shall be recorded in the San Diego County Recorder's Office.
9. Prior to the recordation of the Parcel Map, taxes must be paid or bonded for this property pursuant to section 66492 of the Subdivision Map Act. A current original tax certificate, recorded in the office of the San Diego County Recorder, must be provided to satisfy this condition. Please note if tax bond is required as indicated in the tax certificate, please make sure that it is paid or posted, and submit evidence (e.g., filed bond letter or receipt from Clerk of the Board) indicating the required tax bond amount has been paid or bonded.
10. The Parcel Map shall be based on field survey and all lot corners must be marked with durable survey monuments pursuant to Section 144.0311(d) of the City of San Diego Land Development Codes and Subdivision Map Act Section 66495. All survey monuments shall be set prior to the recordation of the Parcel Map, unless the setting of monuments is deemed impractical due to the proposed improvements and/or grading associated with the project, in which case, delayed monumentation may be applied on the Parcel Map in accordance with Section 144.0130 of the City of San Diego Land Development Codes.
11. All subdivision maps in the City of San Diego are required to be tied to the California Coordinate System of 1983 (CCS83), Zone 6 pursuant to section 8801 through 8819 of the California Public Resources Code. The Parcel Map shall:
 - a. Use the California Coordinate System for its "Basis of Bearings" and express all measured and calculated bearing values in terms of said system. The angle of grid divergence from a true meridian (theta or mapping angle) and the north point of said map shall appear on each sheet thereof. Establishment of said Basis of Bearings may be by use of existing Horizontal Control stations or astronomic observations.
 - b. Show two measured ties from the boundary of the map to existing Horizontal Control stations having California Coordinate values of First Order accuracy. These tie lines to the existing control shall be shown in relation to the California Coordinate System (i.e., grid bearings and grid distances). All other distances shown on the map are to be shown as ground distances. A combined factor for conversion of grid-to-ground shall be shown on the map.

INFORMATION:

- The approval of this Map Waiver by the Hearing Officer of the City of San Diego does not authorize the Subdivider to violate any Federal, State, or City laws, ordinances, regulations, or policies including but not limited to, the Federal Endangered Species Act of 1973 and any amendments thereto (16 U.S.C. § 1531 *et seq.*).
- If the Subdivider makes any request for new water and sewer facilities (including services, fire hydrants, and laterals), the Subdivider shall design and construct such facilities in accordance with established criteria in the most current editions of the City of San Diego

ATTACHMENT 7

water and sewer design guides and City regulations, standards and practices pertaining thereto. Off-site improvements may be required to provide adequate and acceptable levels of service and will be determined at final engineering.

- Subsequent applications related to this Map Waiver will be subject to fees and charges based on the rate and calculation method in effect at the time of payment.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of the Map Waiver, may protest the imposition within 90 days of the approval of this Map Waiver by filing a written protest with the San Diego City Clerk pursuant to Government Code Sections 66020 and/or 66021.
- Where in the course of development of private property, public facilities are damaged or removed, the Subdivider shall at no cost to the City, obtain the required permits for work in the public right-of-way, and repair or replace the public facility to the satisfaction of the City Engineer (San Diego Municipal Code § 142.0607).

Internal Order No. 24009401

DRAFT

Page 3		City of San Diego · Information Bulletin 620		August 2018	
		City of San Diego Development Services 1222 First Ave., MS-302 San Diego, CA 92101		Community Planning Committee Distribution Form	
Project Name: 7443 Eads Ave			Project Number: 1070073		
Community: La Jolla					
For project scope and contact information (project manager and applicant), log into OpenDSD at https://aca.accela.com/SANDIEGO . Select "Search for Project Status" and input the Project Number to access project information.					
<input checked="" type="radio"/> Vote to Approve <input type="checkbox"/> Vote to Approve with Conditions Listed Below <input type="checkbox"/> Vote to Approve with Non-Binding Recommendations Listed Below <input type="checkbox"/> Vote to Deny				Date of Vote: May 04, 2023	
# of Members Yes 13		# of Members No 0		# of Members Abstain 1	
Conditions or Recommendations:					
<input type="checkbox"/> No Action (Please specify, e.g., Need further information, Split vote, Lack of quorum, etc.)					
NAME: Suzanne Baracchini					
TITLE: LJCPA Trustee/Secretary				DATE: May 04, 2023	
<i>Attach additional pages if necessary (maximum 3 attachments).</i>					



THE CITY OF SAN DIEGO

Date of Notice November 6, 2023

NOTICE OF RIGHT TO APPEAL ENVIRONMENTAL DETERMINATION

DEVELOPMENT SERVICES DEPARTMENT

SAP No. 24009401

PROJECT NAME/NUMBER: 7443 Eads Avenue /1070073

COMMUNITY PLAN AREA: La Jolla

COUNCIL DISTRICTS: 1

LOCATION: The project is located at 7443 Eads Avenue. La Jolla, CA 92037

PROJECT DESCRIPTION: COASTAL DEVELOPMENT PERMIT (CDP) and Tentative Map Waiver for the demolition of an existing detached garage and construction of a new 3,327- square-foot (SF) dwelling unit; construction of an 800 SF Accessory Dwelling Unit (ADU); and construction of a 256 SF Junior ADU to be attached to an existing residence. The Tentative Map Waiver is for subdivision of the 6969.6 sq Ft property to allow the creation of two condominium units. The project is located at 7443 Eads Avenue on a 0.16-acre site within the RM-1-1 zone, Coastal (Non-Appealable) Overlay Zone, and Coastal Height Limit Overlay Zone of the La Jolla Community Plan area. The project complies with all height and bulk regulations and is located on a site that can be served by public utilities.

ENTITY CONSIDERING PROJECT APPROVAL: City of San Diego, Hearing Officer

ENVIRONMENTAL DETERMINATION: Section 15303 (New Construction)

ENTITY MAKING ENVIRONMENTAL DETERMINATION: City of San Diego, Development Services Department

STATEMENT SUPPORTING REASON FOR ENVIRONMENTAL DETERMINATION: The City of San Diego conducted an environmental review and determined that the project would qualify to be exempt from CEQA pursuant to CEQA Section 15303 (New Construction). Section 15303 applies to projects that consist of the construction of a limited number of new small facilities or structures, including the construction of up to three single family units. Since the project is constructing one single family residence, on a previously developed site it was determined that the CEQA exemption was appropriate and the exceptions listed in CEQA Section 15300.2 would not apply.

ATTACHMENT 9

DEVELOPMENT PROJECT MANAGER: Blake Sonuga
MAILING ADDRESS: 1222 First Avenue, MS 501, San Diego, CA 92101-4153
PHONE NUMBER/EMAIL: (619) 687-5928 MSonuga@sandiego.gov

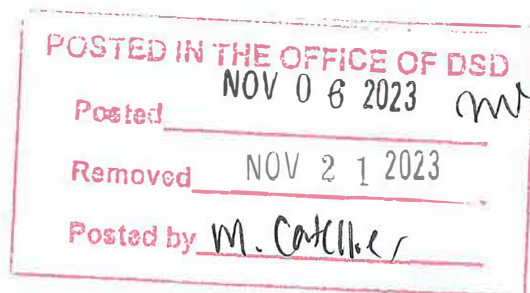
On November 6, 2023 the City of San Diego made the above-referenced environmental determination pursuant to the California Environmental Quality Act (CEQA). This determination is appealable to the City Council. If you have any questions about this determination, contact the City Development Project Manager listed above.

Applications to appeal CEQA determinations made by staff (including the City Manager) to the City Council must be filed in the office of the City Clerk within 10 business days from the date of the posting of this Notice so the final day to file an appeal is November 21, 2023. Appeals to the City Clerk must be filed by email or in-person as follows:

- 1) Appeals filed via E-mail: The Environmental Determination Appeal Application Form [DS-3031](#) can be obtained at <https://www.sandiego.gov/sites/default/files/legacy/development-services/pdf/industry/forms/ds3031>. Send the completed appeal form (including grounds for appeal and supporting documentation in pdf format) by email to Hearings1@sandiego.gov by 5:00p.m. on the last day of the appeal period; your email appeal will be acknowledged within 24 business hours. You must separately mail the appeal fee by check payable to the City Treasurer to: City Clerk/Appeal, MS 2A, 202 C Street, San Diego, CA 92101. The appeal filing fee must be United States Postal Service (USPS) postmarked) before or on the final date of the appeal. Please include the project number on the memo line of the check.
- 2) Appeals filed in person: Environmental Determination Appeal Application Form [DS-3031](#) can be obtained at <https://www.sandiego.gov/sites/default/files/legacy/development-services/pdf/industry/forms/ds3031.pdf>. Bring the fully completed appeal application [DS-3031](#) (including grounds for appeal and supporting documentation) to the City Administration Building—Public Information Counter (Open 8:00am to 5:00pm Monday through Friday excluding City-approved holidays), 1st Floor Lobby, located at 202 C Street, San Diego, CA 92101, by 5:00pm on the last day of the appeal period. The completed appeal form shall include the required appeal fee, with a check payable to: City Treasurer.

The appeal application can also be obtained from the City Clerk, 202 'C' Street, Second Floor, San Diego, CA 92101.

This information will be made available in alternative formats upon request.



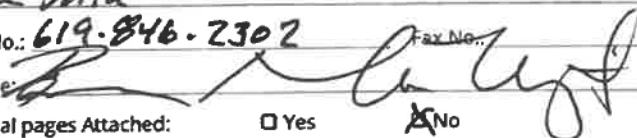
	<p>City of San Diego Development Services 1222 First Ave., MS 302 San Diego, CA 92101 (619) 446-5000</p>	<h1 style="margin:0;">Ownership Disclosure Statement</h1>	<p>FORM DS-318</p> <p>October 2017</p>
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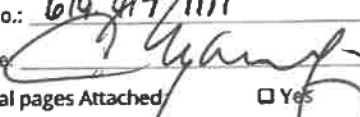
Approval Type: Check appropriate box for type of approval(s) requested: Neighborhood Use Permit Coastal Development Permit
 Neighborhood Development Permit Site Development Permit Planned Development Permit Conditional Use Permit Variance
 Tentative Map Vesting Tentative Map Map Waiver Land Use Plan Amendment Other _____

Project Title: 7443 EADS AVE, LA JOLLA CA **Project No. For City Use Only:** _____
Project Address: 7443 EADS AVE, LA JOLLA CA

Specify Form of Ownership/Legal Status (please check):
 Corporation Limited Liability -or- General - What State? _____ Corporate Identification No. _____
 Partnership Individual

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter will be filed with the City of San Diego on the subject property with the intent to record an encumbrance against the property. Please list below the owner(s), applicant(s), and other financially interested persons of the above referenced property. A financially interested party includes any individual, firm, co-partnership, joint venture, association, social club, fraternal organization, corporation, estate, trust, receiver or syndicate with a financial interest in the application. If the applicant includes a corporation or partnership, include the names, titles, addresses of all individuals owning more than 10% of the shares. If a publicly-owned corporation, include the names, titles, and addresses of the corporate officers. (A separate page may be attached if necessary.) If any person is a nonprofit organization or a trust, list the names and addresses of ANY person serving as an officer or director of the nonprofit organization or as trustee or beneficiary of the nonprofit organization. A signature is required of at least one of the property owners. Attach additional pages if needed. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

Property Owner
Name of Individual: Tina H. Wight / William R. Mueller Owner Tenant/Lessee Successor Agency
Street Address: 7443 Eads Ave
City: La Jolla State: CA Zip: 92037
Phone No.: 619-846-2302 Fax No.: _____ Email: William.Robert.Mueller@gsaia.com
Signature:  Date: 8.30.2022
Additional pages Attached: Yes No

Applicant
Name of Individual: CLAUDE-ANTHONY MARENGO, AGENT Owner Tenant/Lessee Successor Agency
Street Address: MARENGO MORTON ARCHITECTS, 7724 GIRARD, 2ND FLOOR
City: LA JOLLA State: CA Zip: 92037
Phone No.: 619-417-1111 Fax No.: _____ Email: CAMARENGO@M2A.io
Signature:  Date: 8/30/22
Additional pages Attached: Yes No

Other Financially Interested Persons
Name of Individual: _____ Owner Tenant/Lessee Successor Agency
Street Address: _____
City: _____ State: _____ Zip: _____
Phone No.: _____ Fax No.: _____ Email: _____
Signature: _____ Date: _____
Additional pages Attached: Yes No

Printed on recycled paper. Visit our web site at www.sandiego.gov/development-services.
Upon request, this information is available in alternative formats for persons with disabilities.

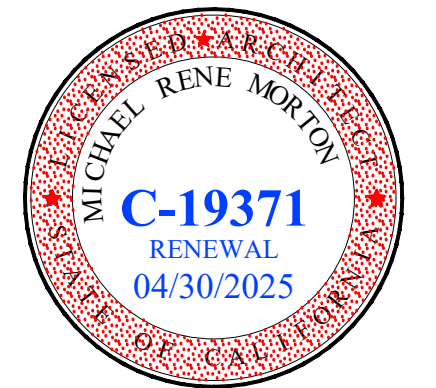
EADS DEVELOPMENT

7443 EADS AVENUE, LA JOLLA, CA 92037



Marengo Morton Architects

7724 Girard Ave.
Second Floor
La Jolla, CA 92037
Tel. (858) 459-3769
Fax. (858) 459-3768
Michael Morton AIA
Claude Anthony Marengo Desa

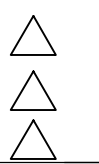


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EADS DEVELOPMENT

7443 Eads Avenue
La Jolla CA, 92037

REVISIONS
01/26/2022 PROJECT START



PHASE
FEASIBILITY PHASE

PROJECT NO. 2021-46

REVIEWED BY CAM

DRAWN BY AP

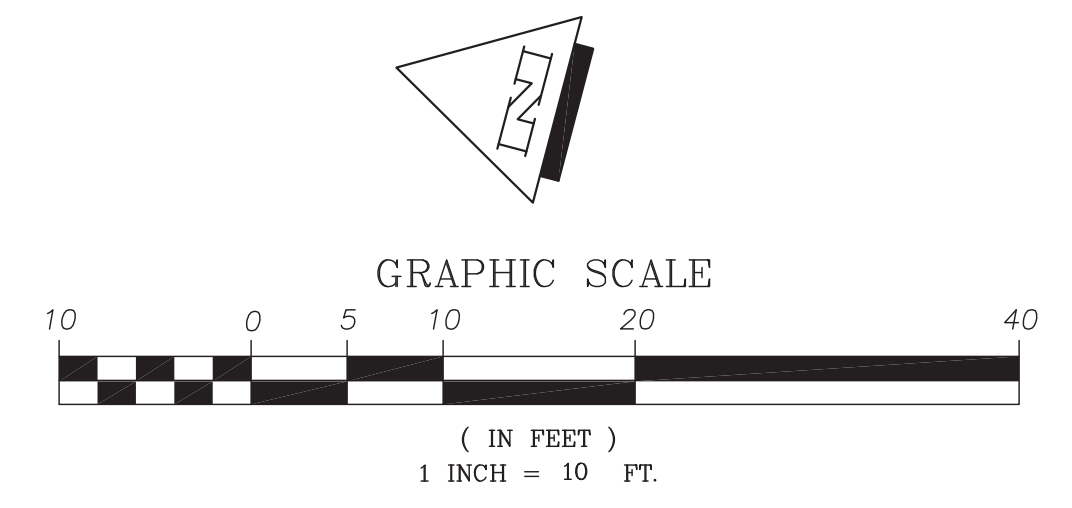
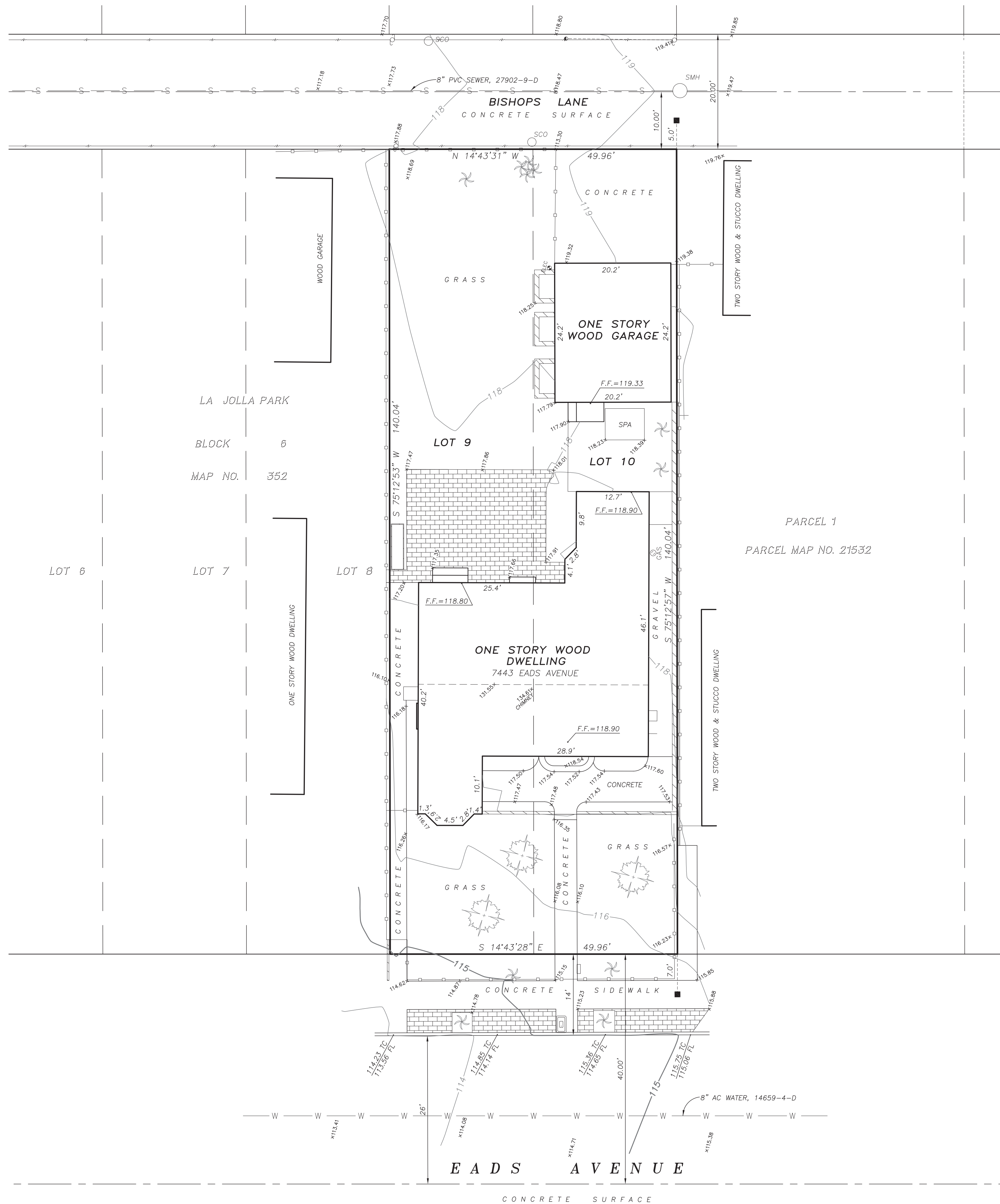
DATE 02/08/2024

Marengo Morton Architects, Inc. is providing by agreement with certain parties, materials stored electronically. The parties recognize that data, plans, specifications, reports, documents, or other information recorded on or transmitted as electronic media (including but not necessarily limited to "CAD documents") are subject to undetectable alteration, either intentional or unintentional, due to, among other causes, transmission, conversion, media degradation, software error, or human alteration. Accordingly, all such documents are provided to the parties for informational purposes only and not as an end product nor as a record document. Any reliance thereon is deemed to be unreasonable and unenforceable. The signed and stamped hard copies with the wet signature of the Architect of Record are the Architect's Instruments of Service and are the only true contract documents of record.

SHEET TITLE
TITLE SHEET

TS1

SHEET INDEX	PROJECT TEAM	SCOPE OF WORK	PROJECT DATA																																																																																																																																																																																
<p>GENERAL : TS1 Title Sheet GN1 Specifications GN2 Specifications GN3 Specifications GN4 Green Notes Survey Map Waiver L01 Landscape Plan</p> <p>ARCHITECTURAL : A011 Proposed Site Plan A012 Drainage Plan A020 Existing/Demo Floor Plan (Main House) A021 Existing/Demo Floor Plan (Garage) A022 Proposed Floor Plan (Main House) A023 Proposed First Floor Plan (Back House) A024 Proposed Second Floor Plan (Back House) A025 Proposed Third Floor Plan (Back House) A041 Proposed Roof Plan (Back House) A050 Proposed Elevation (Front House) A051 Proposed Elevation (Front House) A052 Proposed Elevation (Front House) A053 Proposed Elevation (Front House) A054 Proposed Elevation (Back House) A055 Proposed Elevation (Back House) A056 Proposed Elevation (Back House) A057 Proposed Elevation (Back House) A061 Section (Back House) A062 Section (Back House) A063 Section (Streets Cross Sections)</p>	<p>OWNER'S Tina Marie Wright & William Robert Mueller 7443 Eads La Jolla, CA 92037</p> <p>ARCHITECT Marengo Morton Architects 7724 Girard Avenue, Second Floor La Jolla, CA 92037 Telephone: (858) 459-3769 Fax: (858) 459-3768 Contact: Claude Anthony Marengo CAMarengo@m2a.io Cell: (619) 417-1111</p> <p>SURVEY San Diego Land Surveying & Engineering, Inc. 7028 Convo Court San Diego, CA 92111-1017 Telephone: (858) 565-8362 Fax: (858) 565-4354 Contact: Robert Bateman RBateman@sdlse.com Cell: (858) 244-0420</p>	<p>PROJECT SCOPE</p> <p>Propose to demolish existing garage at rear of property and construct a new dwelling Unit #2 of 3,327 sq ft, an ADU#1 of 800 sq ft and an addition to the main house of 436 sq ft, process a map waiver and become condos for 2 units with an ADU located at 7443 Eads Av.</p>	<table border="1"> <tr><td colspan="4">Project Information</td></tr> <tr><td>Project Address:</td><td colspan="3">7443 Eads Avenue, La Jolla Ca, 92037</td></tr> <tr><td>Assessors Parcel Number:</td><td colspan="3">350-611-0300</td></tr> <tr><td>Legal Description:</td><td colspan="3">BLK 6*LOTS 9 & 10*</td></tr> <tr><td>Year Built:</td><td colspan="3">1947 / 1970</td></tr> <tr><td>Building Code:</td><td colspan="3">California Residential Code (CRC), 2019 Edition & Associated Amendments In SDMC. California BLDG. Code (CBC) Based On 2019 IBC. National Electrical Code (NEC), 2019 Edition National Mechanical Code (CMC), 2019 Edition California Plumbing Code (CPC), 2019 Edition San Diego County Municipal Code (SDC), Project shall comply with Title 24 and 2019 CBC, 2019 CMC and 2019 SPC and the 2019 CEC.</td></tr> <tr><td>Occupancy Type:</td><td colspan="3">R3</td></tr> <tr><td>Number Of Dwellings:</td><td colspan="3">1</td></tr> <tr><td>Construction Type:</td><td colspan="3">VA</td></tr> <tr><td>Number Of Stories:</td><td colspan="3">1</td></tr> <tr><td>Lot Area:</td><td colspan="3">7,140 S.F.</td></tr> <tr><td>Zoning Information:</td><td colspan="3">RM-1-1</td></tr> <tr><td>Zone:</td><td colspan="3">R2</td></tr> <tr><td>Overlay Zones:</td><td colspan="3">Coastal Overlay Zone (N-APP-2) Coastal Height Limit Overlay Zone Parking Impact Overlay Zone (coastal Impact) Transit Area Overlay Zone Transit Priority Area</td></tr> <tr><td>Geo Hazard Zone:</td><td colspan="3">Geo Hazard Category 52, Slopes 25% Or Grater</td></tr> <tr><td colspan="4">Setbacks</td></tr> <tr><td colspan="4">Allowed Proposed Difference</td></tr> <tr><td>Front (street Frontage):</td><td>15 Ft/20 Ft</td><td>15 FT/20 FT</td><td>--</td></tr> <tr><td>Interior Side:</td><td>5 Ft / 8 Ft</td><td>5 FT/8 FT</td><td>--</td></tr> <tr><td>Interior Side:</td><td>5 Ft / 8 Ft</td><td>5 FT/8 FT</td><td>--</td></tr> <tr><td>Rear:</td><td>15 Ft</td><td>15 FT</td><td>--</td></tr> <tr><td>Building Height Limitations:</td><td>30'-0"</td><td>29'-4 1/2"</td><td>--</td></tr> <tr><td>Max. Floor Area Ratio (F.A.R.):</td><td>.75</td><td></td><td></td></tr> <tr><td>Parking Spaces:</td><td>2</td><td>4</td><td>--</td></tr> <tr><td colspan="4">Building Areas:</td></tr> <tr><td colspan="4">Existing Proposed Total</td></tr> <tr><td>Existing House First Floor:</td><td>1,556 S.F.</td><td>436 S.F.</td><td>1,992 S.F.</td></tr> <tr><td>Unit #2 First Floor:</td><td>--</td><td>1,329 S.F.</td><td>1,329 S.F.</td></tr> <tr><td>Unit #2 Second Floor:</td><td>--</td><td>842 S.F.</td><td>842 S.F.</td></tr> <tr><td>Unit #2 Third Floor:</td><td>--</td><td>1,156 S.F.</td><td>1,156 S.F.</td></tr> <tr><td>Cabana for Unit #2:</td><td>--</td><td>36 S.F.</td><td>36 S.F.</td></tr> <tr><td>Total Area</td><td></td><td></td><td>5,355 S.F.</td></tr> <tr><td>ADU #1 Egress/Ingress:</td><td>--</td><td>150 S.F.</td><td>150 S.F.</td></tr> <tr><td>ADU #1:</td><td>--</td><td>800 S.F.</td><td>800 S.F.</td></tr> <tr><td>Total Area</td><td></td><td></td><td>800 S.F.</td></tr> <tr><td colspan="4">Landscape</td></tr> <tr><td>Landscape Required:</td><td colspan="3">2,142 S.F. 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National Electrical Code (NEC), 2019 Edition National Mechanical Code (CMC), 2019 Edition California Plumbing Code (CPC), 2019 Edition San Diego County Municipal Code (SDC), Project shall comply with Title 24 and 2019 CBC, 2019 CMC and 2019 SPC and the 2019 CEC.			Occupancy Type:	R3			Number Of Dwellings:	1			Construction Type:	VA			Number Of Stories:	1			Lot Area:	7,140 S.F.			Zoning Information:	RM-1-1			Zone:	R2			Overlay Zones:	Coastal Overlay Zone (N-APP-2) Coastal Height Limit Overlay Zone Parking Impact Overlay Zone (coastal Impact) Transit Area Overlay Zone Transit Priority Area			Geo Hazard Zone:	Geo Hazard Category 52, Slopes 25% Or Grater			Setbacks				Allowed Proposed Difference				Front (street Frontage):	15 Ft/20 Ft	15 FT/20 FT	--	Interior Side:	5 Ft / 8 Ft	5 FT/8 FT	--	Interior Side:	5 Ft / 8 Ft	5 FT/8 FT	--	Rear:	15 Ft	15 FT	--	Building Height Limitations:	30'-0"	29'-4 1/2"	--	Max. 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LA JOLLA PARK
BLOCK 6
MAP NO. 352

PARCEL 1
PARCEL MAP NO. 21532

- LEGEND:**
- INDICATES FOUND LEAD & DISC, L.S. 7046
 - INDICATES WATER METER
 - INDICATES POWER POLE
 - INDICATES GUY/ANCHOR POLE
 - SCO INDICATES SEWER CLEAN OUT
 - SMH INDICATES SEWER MANHOLE
 - FF INDICATES FINISH FLOOR
 - TC INDICATES TOP OF CURB
 - FL INDICATES FLOW LINE
 - INDICATES PROPERTY LINE
 - INDICATES WOOD FENCE
 - +— INDICATES OVERHEAD POWERLINE
 - /—/— INDICATES WALL
 - W — INDICATES WATER LINE
 - S — INDICATES SEWER LINE

LEGAL DESCRIPTION:
LOTS 9 AND 10 IN BLOCK 6 OF LA JOLLA PARK, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 352, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, MARCH 22, 1887.

BASIS OF ELEVATION:
NORTHEAST BRASS PLUG
FAY AVENUE AND PEARL STREET
ELEVATION = 113.882 M.S.L.



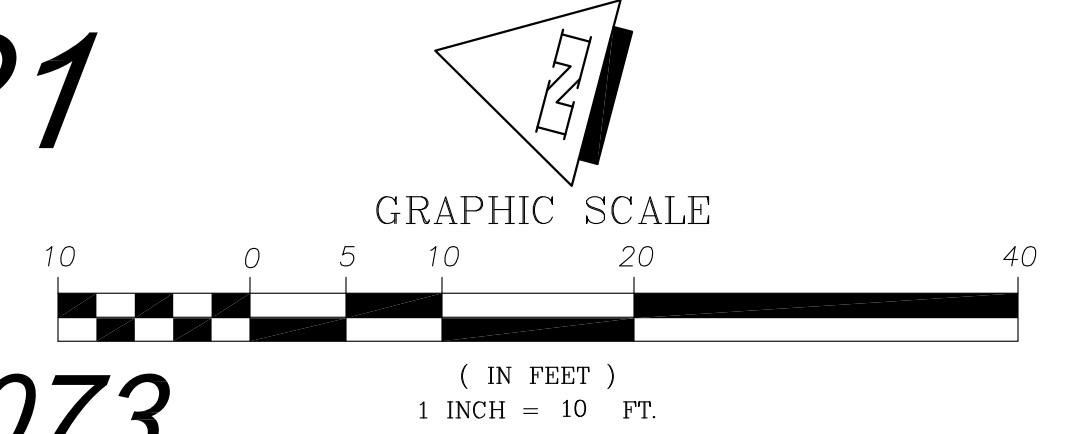
Robert J. Bateman
ROBERT J. BATEMAN, P.L.S. 7046

TOPOGRAPHY SURVEY		
For the exclusive use of: WILLIAM MUELLER 7443 EADS AVENUE LA JOLLA, CALIFORNIA 92037		
San Diego Land Surveying & Engineering, Inc. 7028 Convoy Court, San Diego, CA 92111-1017 Phone: (858) 565-8362 Fax: (858) 565-4354		
Date: 3/11/2022	Revised:	Revised:
Scale: 1"=10'	Drawn by: R.J.B.	Sheet 1 of 1 Sheet
Drawing: Eads Ave 7435 Topo	A.P.N. 350-611-03	

Tentative Map Waiver No. 3231921

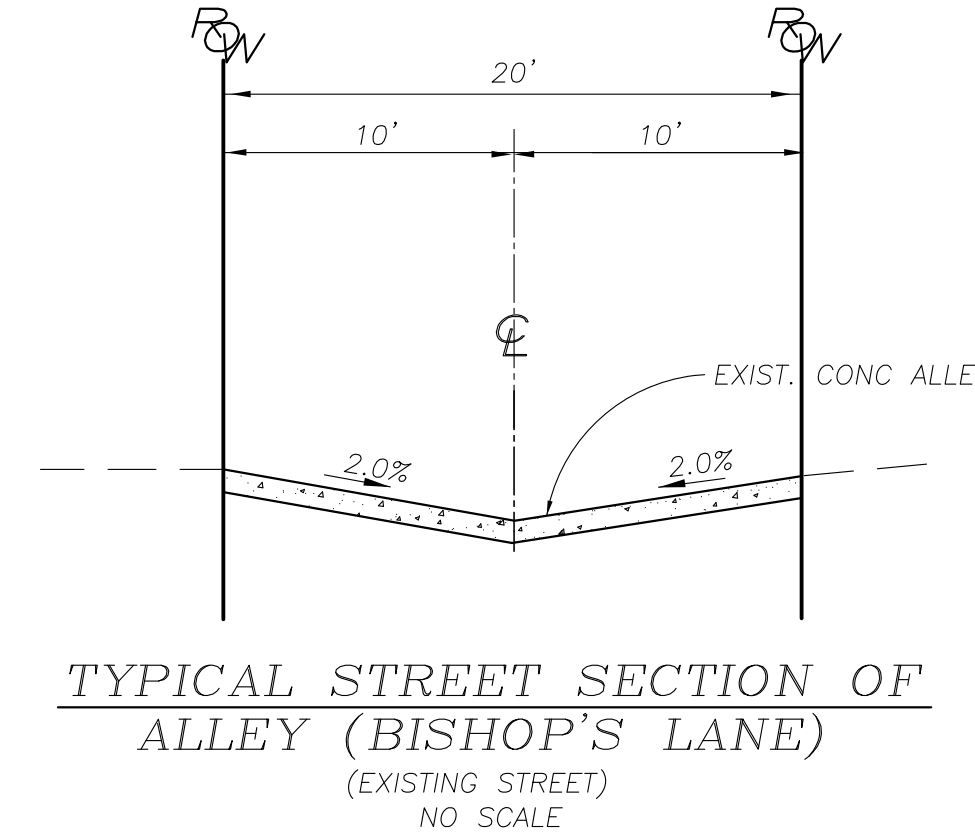
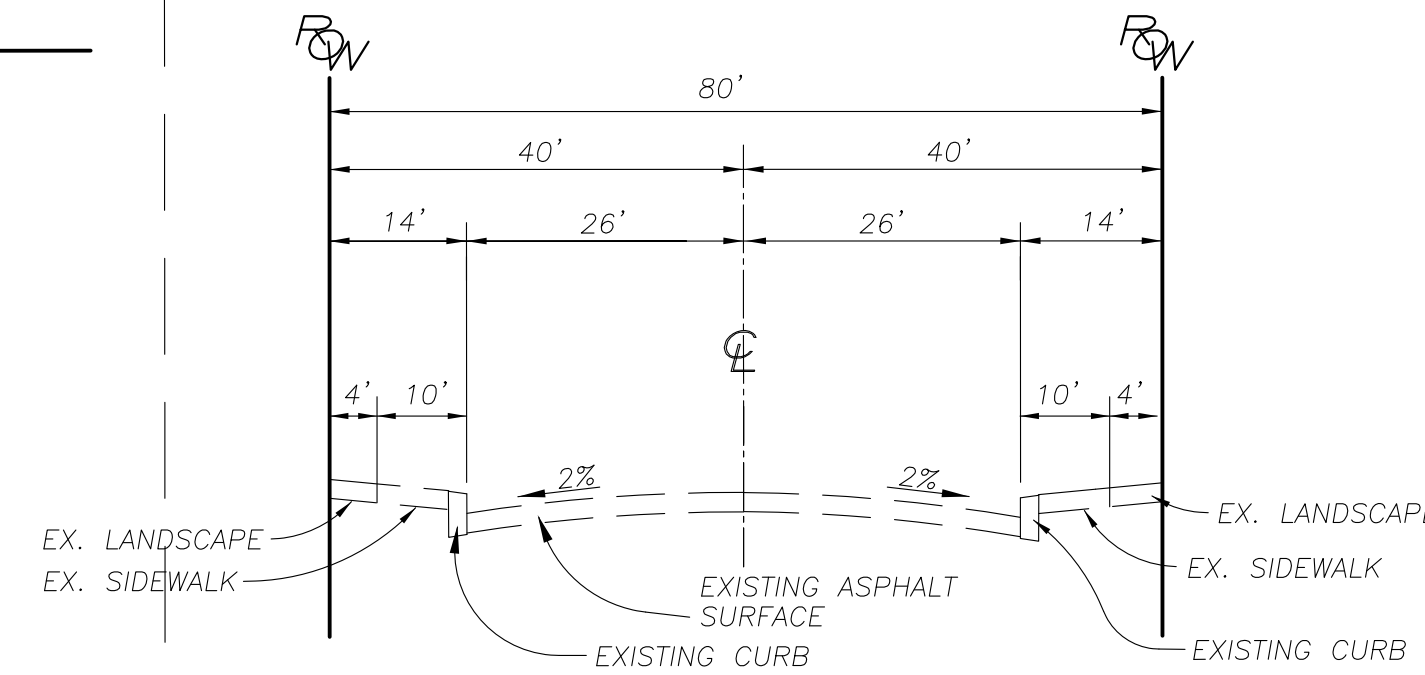
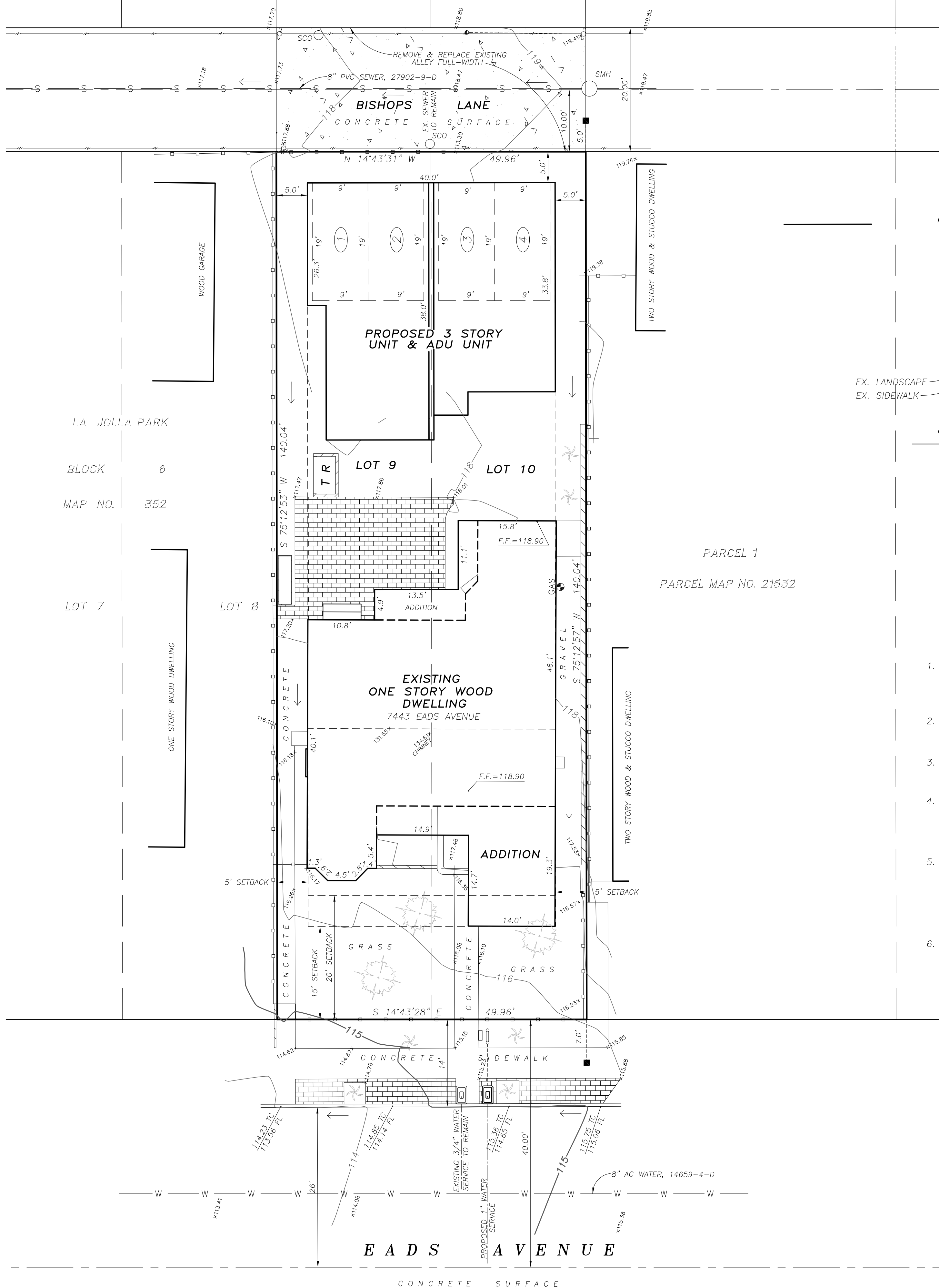
Coastal Development No. 3185169

7443 & 7445 Eads Avenue, Project No. 1070073



LEGEND:

- INDICATES FOUND LEAD & DISC, L.S. 7046, PER PM 21532
- ⊕ INDICATES GAS METER
- ⊕ INDICATES WATER METER
- ⊕ INDICATES UTILITY POLE
- TC INDICATES TOP OF CURB
- FL INDICATES FLOWLINE
- FF INDICATES FINISHED FLOOR
- SCO INDICATES SEWER CLEAN OUT
- SMH INDICATES SEWER MANHOLE
- INDICATES WOOD FENCE
- INDICATES PARKING SPACE
- INDICATES DIRECTION OF DRAINAGE
- INDICATES SEWER LATERAL
- INDICATES WATER SERVICE
- S--- INDICATES SEWER LINE
- W--- INDICATES WATER LINE
- INDICATES WALL
- INDICATES PROPERTY LINE/TENTATIVE MAP WAIVER BOUNDARY



TYPICAL STREET SECTION OF EADS AVENUE (EXISTING STREET) NO SCALE

TYPICAL STREET SECTION OF ALLEY (BISHOP'S LANE) (EXISTING STREET) NO SCALE

CITY OF SAN DIEGO DEVELOPMENT SUMMARY

1. SUMMARY OF REQUEST:
CREATE TWO RESIDENTIAL CONDOMINIUM DWELLING UNITS AND FILE A LOT CONSOLIDATION PARCEL MAP.
2. STREET ADDRESS: 7443 & 7445 EADS AVENUE
N SWLY W SIDE BETWEEN THE PEARL STREET AND GENTER STREET
3. SITE AREA:
TOTAL SITE AREA (GROSS): (6,996 SF) (0.161 AC.)
NET SITE AREA: (6,996 SF) (0.161 AC.)
4. DENSITY: (RESIDENTIAL)
MAXIMUM NO. DWELLING UNITS ALLOWED PER ZONE: 2
NUMBER OF EXISTING UNITS TO REMAIN ON SITE: 2
NUMBER OF PROPOSED DWELLING UNITS ON SITE: 0
TOTAL NUMBER OF UNITS PROVIDED ON THE SITE: 2
5. YARD/SETBACK MINIMUM
FRONT: 15'/20'
INTERIOR SIDE YARD: 5'/8'
REAR YARD: 15'
6. PARKING:
PARKING CRITERIA:
 RESIDENTIAL COMMERCIAL INDUSTRIAL
 MIXED USE OTHER

TYPE OF UNIT	NUMBER OF TYPE	PARKING REQUIRED PER UNIT	TOTAL PER TYPE
2 BR UNIT	2	1.5	2
TOTAL REQUIRED BY ZONE			4
TOTAL PROVIDED ON-SITE			4

ZONING INFORMATION

EXISTING AND PROPOSED ZONE: RM-1-1
COMMUNITY PLAN NAME: LA JOLLA
OVERLAY ZONES: COASTAL CITY
COASTAL HEIGHT LIMIT
PARKING IMPACT
RESIDENTIAL TANDEM
TRANSIT AREA
TRANSIT PRIORITY AREA (TPA)
AFFORDABLE HOUSING PARKING DEMAND

UTILITY TABLE:

UTILITY	OVERHEAD	UNDERGROUND
CATV	X	
ELECTRIC	X	
GAS		X
TELEPHONE	X	

MAPPING NOTE:

A LOT CONSOLIDATION PARCEL MAP SHALL BE FILED AT THE COUNTY RECORDER'S OFFICE PRIOR TO THE EXPIRATION OF THE TENTATIVE MAP WAIVER, IF APPROVED, A DETAILED PROCEDURE OF SURVEY SHALL BE SHOWN ON THE PARCEL MAP AND ALL PROPERTY CORNERS SHALL BE MARKED WITH DURABLE SURVEY MONUMENTS.

EXISTING IMPROVEMENTS

SEWER DRAWING NO. 27902-9-D
WATER DRAWING NO. 14659-4-D

EXISTING & PROPOSED EASEMENTS:

EXISTING EASEMENT - NONE
PROPOSED EASEMENT - NONE

DEVELOPMENT NOTES:

1. THIS IS A MAP OF A CONDOMINIUM PROJECT AS DEFINED IN SECTION 4125 OF THE CIVIL CODE OF THE STATE OF CALIFORNIA AND IS FILED PURSUANT TO THE SUBDIVISION MAP ACT. TOTAL NUMBER OF CONDOMINIUM DWELLING UNITS IS 2.
2. NUMBER OF EXISTING LOTS = 2
NUMBER OF PROPOSED LOTS = 1
3. THE SUBDIVIDER SHALL PREPARE CC&R'S FOR THE OPERATION AND MAINTENANCE OF ALL PRIVATE WATER AND SEWER FACILITIES THAT SERVE OR TRAVERSE MORE THAN A SINGLE CONDOMINIUM UNIT OR LOT.

OWNER/DEVELOPER:

WILLIAM MUELLER AND TINA WRIGHT
7443 EADS AVENUE
LA JOLLA, CA 92037

WILLIAM MUELLER, OWNER

TINA WRIGHT, OWNER

PROFESSIONAL LAND SURVEYOR:

SAN DIEGO LAND SURVEYING & ENGINEERING, INC.
7028 CONVOY COURT
SAN DIEGO, CALIFORNIA 92111 (858) 565-8362
DRAWING NO. MW 7443 Eads Ave.dwg

Robert J. Bateman 2/8/2024
ROBERT J. BATEMAN, P.L.S. 7046 DATE



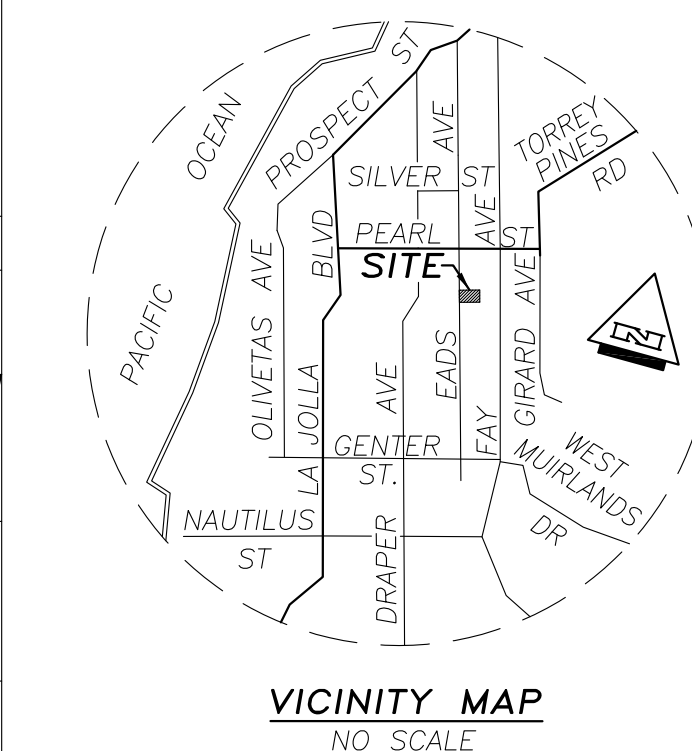
Prepared By:
SAN DIEGO LAND SURVEYING AND ENGINEERING, INC.
7028 CONVOY COURT
SAN DIEGO, CA 92111-1017
PHONE: 858-565-8362
FAX: 858-565-4354 EMAIL: rbateman@sdlse.com

Consultants:
Basis of Bearings:
THE BASIS OF BEARINGS FOR THIS SURVEY IS THE EASTERLY RIGHT OF WAY OF EADS AVENUE AS SHOWN ON PARCEL MAP NO. 21532, I.E. N 14°43'28" W

Benchmark:
NORTHEAST BRASS PLUG
FAY AVENUE AND PEARL STREET
ELEVATION = 113.882 M.S.L.

Project Legal Description:

LOTS 9 AND 10 IN BLOCK 6 OF LA JOLLA PARK, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 352, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, MARCH 22, 1887.



Project Soil Condition: Existing developed site.

Source of Topography:
Field survey by San Diego Land Surveying on 9-03-2020

Project Permits Required:
Map Waiver
Lot Consolidation Parcel Map

Project Data:
Number of Stories: 2
Proposed use: Residential
Existing use: Residential
Zone Designation: RM-1-1
La Jolla Planned District,
Year of Construction:

LAMBERT COORDINATES:
NAD 27 = 246-1685 NAD 83 = 1,886-6,245
A.P.N. 350-611-03-00

Project Name:
7443 & 7445 EADS AVENUE

Project Address:
7443 Eads Avenue
La Jolla, CA 92037
Project Owner:
William Mueller and
Tina Wright
7443 Eads Avenue
La Jolla, CA 92037

Sheet Title:
Tentative Map Waiver No. 3231921
Project No. 1070073

Scale: 1" = 10'
Original Date: August 17, 2022
Revised: July 10, 2023
Revised: August 9, 2023
Revised: February 8, 2024
Sheet 1 of 1



Marengo Morton Architects
 7724 Girard Ave.
 Second Floor
 La Jolla, CA 92037
 Tel. (858) 459-3769
 Fax. (858) 459-3768
 Michael Morton AIA
 Claude Anthony Marengo DESA



GENERAL SITE NOTES

- A. The site plan is for general site reference only. Refer to other construction documents for complete scope of work.
- B. This is an interior tenant improvement plan only, only new or relocation of non-bearing walls are involved. Minor alterations to existing electrical, water, phone and other existing utilities to the tenant space are proposed.
- C. Before commencing any site foundation or slab cutting or excavation the contractor shall verify locations of all site utilities, dimensions and conditions. These include but are not limited to property lines, setback location to all new or existing walls, easements (if any), existing site utilities, including water, sewer, gas and electrical lines and any other new or existing site items which could affect in any way the construction of the building. Flag or otherwise mark all locations of site property lines, easements (if any) underground utilities, and indicate utility type.
- D. All conditions or dimensions on these plans shall be verified in the field by the general contractor with actual site conditions. Written dimensions shall take precedence over scaled dimensions and shall be verified on the job site. On-site verification of all dimensions and conditions shall be the sole responsibility of the general contractor and subcontractors.
- E. The contractor or sub-contractor shall notify the architect if any conflicts or discrepancy occurs between this information on this plan and actual field conditions. Do not proceed with work in conflict with these drawing until written or verbal instructions are issued by the architect's office.
- F. Protect and mark all existing building structure including walls, beams, columns, area separation walls, and other items that are part of the existing structure and not part of the scope of the tenant improvement, and mark perimeter of construction zone.
- G. Coordinate with other tenants the temporary shut-off of any site utilities, including but not limited to electrical service, gas service, water service, sewer service, telephone service, cable or other data links with are connected to the building.
- H. Locate refuse bin at approved on-site location. Contractor shall dispose of all site refuse at city-approved locations.
- I. Provide building address numbers, visible and legible from street or road fronting the property.
- J. Verify the level and plumb of existing floors, walls, ceilings and other items, which will not be changed, so that any attached structure, walls, ceiling or other components can be installed level and plumb.
- K. No trees or shrubs whose height will be 3' at maturity shall be installed within 5' of any publicly maintained water facilities or within 10' of any publicly maintained sewer facilities.

SITE PLAN NOTES

- 1. No existing/proposed easements.
- 2. Bus transit distance of 409ft heading north/east via Eads Ave. and Pearl St.

KEY NOTES

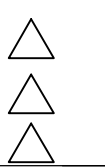
- 1 (N) 3ft. Picket wood fence
- 2 (N) 6ft. Solid wood gate
- 3 (N) 6ft. Solid wood fence
- 4 (N) Trash area to comply with the following SDMC sections:
 §142.0810(b)(3) = Trash enclosure is accessible from the alley.
 §142.0810(c) = Structure shall be screened with a minimum 6ft-high solid screening enclosure.
 §142.0810(d) = A sign should be placed on the exterior of each trash enclosure.
 §142.0820 = Trash enclosures follow Table 142-08B (2-6 dwelling units need a minimum storage area of 24 sq ft. We're proposing 28 sq ft.)
- 5 (N) Linear drainage
- 6 (N) Catch basin that will discharge to existing landscape
- 7 Brick to be removed and replaced with concrete
- 8 New Magnolia grandiflora 'Little Gem'
 Common name: Little Gem Magnolia
 Height: 20'
 Spread: 10'
 Container size: 36"x36"

All design, ideas and arrangements as indicated on these drawings are the legal property of Marengo Morton Architects, Incorporated and the specific project for which they were prepared as indicated on the project title block. Reproduction, publication or re-use by any method, in whole or part, without the express written consent of Marengo Morton Architects, Incorporated is prohibited. There shall be no changes, substitutions, modifications or deviations from these drawings or accompanying specifications without the consent of Marengo Morton Architects, Incorporated. Visual, physical, or electronic contact or use of these drawings and attached specifications shall constitute the acceptance of all these restrictions.

EADS DEVELOPMENT

7443 Eads Avenue
 La Jolla CA, 92037

REVISIONS	PROJECT START
01/26/2022	



PHASE
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PROJECT NO. 2021-46

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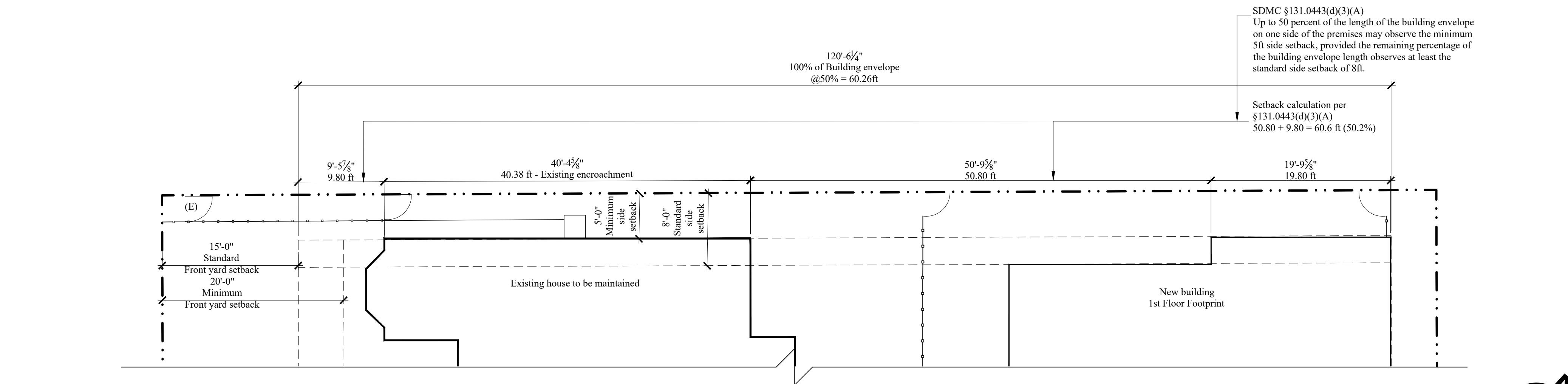
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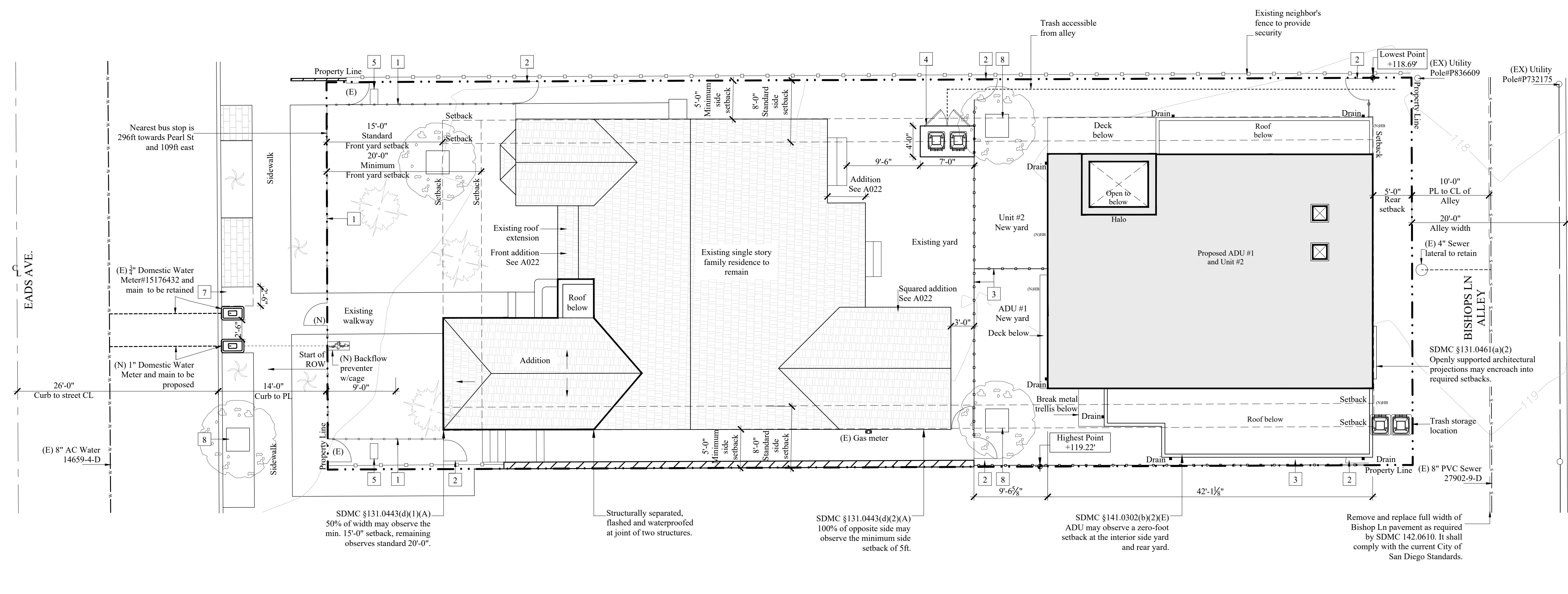
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SHEET TITLE
PROPOSED SITE PLAN

A011



SETBACK CALCULATIONS - NORTH SIDE



PROPOSED SITE PLAN

TOTAL DISTURBANCE AREA

New building footprint	1,782 S.F.
New hardscape/concrete areas	280 S.F.
New landscape areas	106.3 S.F.
Removal of existing building footprint	0 S.F.
Removal of existing concrete	526.8 S.F.
Removal of existing landscape areas	0 S.F.
TOTAL DISTURBANCE AREA	2,695.1 S.F.

NEW/REPLACED IMPERVIOUS AREA

a) Existing impervious area (Ex. bldg. footprint & Ex. hardscape areas)	3,723 S.F.
b) New impervious area (Bldg. footprint, parking lot, walkways, hardscape areas, etc.)	1,338.2 S.F.
Total existing & new impervious area:	5,061.2 S.F.

EARTHWORK QUANTITIES

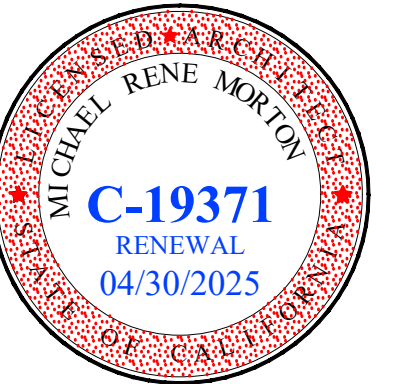
Cut quantities:	4,845 CYD
Fill quantities:	0 CYD
Import/export:	4,845 CYD
Max cut depth:	3 FT
Max fill depth:	0 FT

NOTE
 Disturbance area shall include: New building(s) footprint(s), new hardscape/concrete areas, new landscape areas, removal of existing building(s) footprint(s), concrete, landscape areas, grading, etc.



Marengo Morton Architects

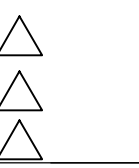
7724 Girard Ave.
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Michael Morton AIA
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EADS DEVELOPMENT
7443 Eads Avenue
La Jolla CA, 92037

REVISIONS
01/26/2022 PROJECT START



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SHEET TITLE DRAINAGE PLAN

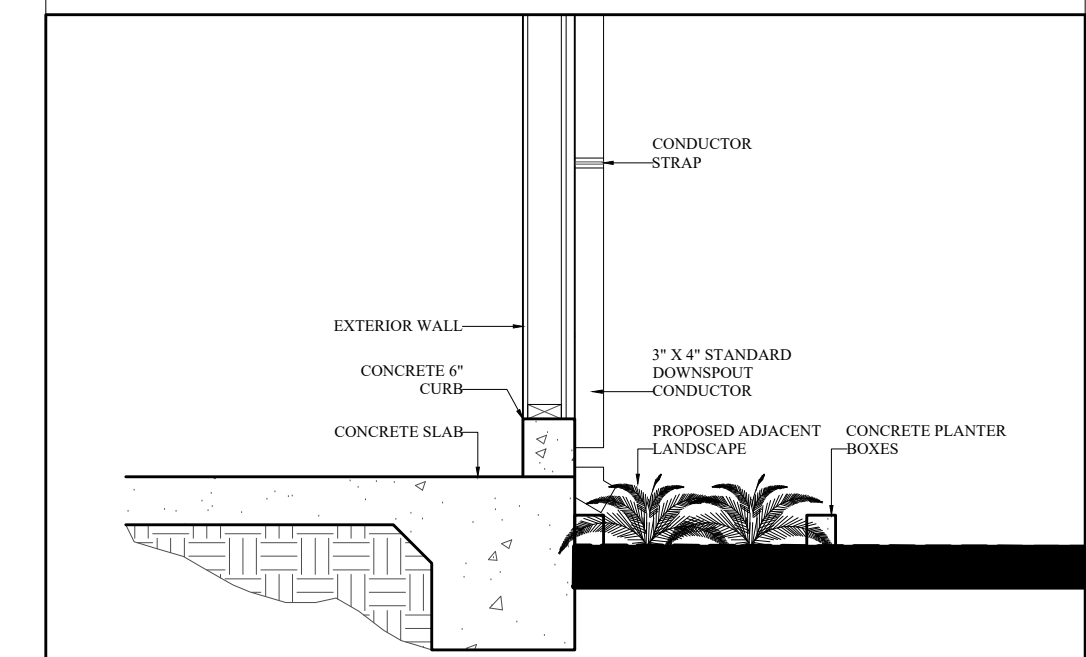
A012

GENERAL SITE NOTES

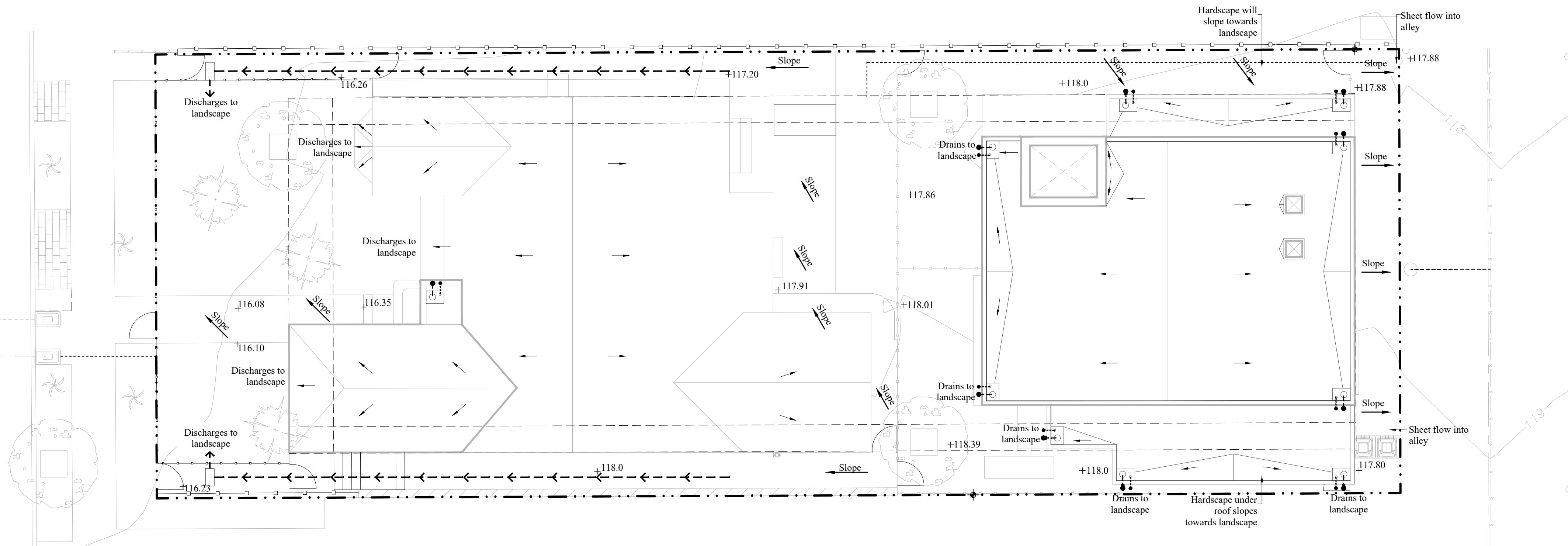
- A. The site plan is for general site reference only. Refer to other construction documents for complete scope of work.
- B. Before commencing any site foundation or slab cutting or excavation the contractor shall verify locations of all site utilities, dimensions and conditions. These include but are not limited to property lines, setback location to all new or existing walls, easements (if any), existing site utilities, including water, sewer, gas and electrical lines and any other new or existing site items which could affect in any way the construction of the building. Flag or otherwise mark all locations of site property lines, easements (if any) underground utilities, and indicate utility type.
- C. All conditions or dimensions on these plans shall be verified in the field by the general contractor with actual site conditions. Written dimensions shall take precedence over scaled dimensions and shall be verified on the job site. On-site verification of all dimensions and conditions shall be the sole responsibility of the general contractor and subcontractors.
- D. The contractor or sub-contractor shall notify the architect if any conflicts or discrepancy occurs between this information on this plan and actual field conditions. Do not proceed with work in conflict with these drawing until written or verbal instructions are issued by the architect office.
- E. Locate refuse bin at approved on-site location. Contractor shall dispose of all site refuse at city-approved locations.
- F. All grades shown / proposed are existing.
- G. No trees or shrubs whose height will be 3'-0" at maturity shall be installed within 5'-0" of any publicly maintained water facilities or within 10'-0" of any publicly maintained sewer facilities.
- H. No existing or proposed transit stops at site.
- I. Provide building address number, visible and legible from the street or road fronting the property per flps policy P-00-6 (UFC 901.4.4).
- J. This project will not discharge any increase in storm water run-off onto the existing coastal bluff areas.
- K. At the storm water discharge locations, suitable energy dissipaters are to be installed to reduce the discharge to non-erodible velocities.
- L. Multiple storm water discharge locations will be used to mimic the existing drainage pattern.
- M. No additional run-off is proposed for the discharge locations.
- N. No obstruction including solid walls in the visibility area shall exceed 3 feet in height. plant material, other than trees, within the public right-of-way that is located within visibility areas shall not exceed 24 inches in height, measured from the top of the adjacent curb.
- O. Prior to the issuance of any construction permit, the owner/permittee shall enter into a maintenance agreement for the ongoing permanent bmp maintenance, satisfactory to the city engineer.
- P. Prior to the issuance of any construction permit, the owner/permittee shall incorporate any construction best management practices necessary to comply with chapter 14, article 2, division 1 (grading regulations) of the San Diego Municipal Code, into the construction plans or specifications.
- Q. Prior to the issuance of any construction permit the owner/permittee shall submit a water pollution control plan (WPCP), the WPCP shall be prepared in accordance with the guidelines in part 2 construction bmp standards chapter 4 of the city's storm water standards.
- R. Per SDMC Section 143.0143(c) only native or other drought-tolerant plant species shall be used in landscaped areas in order to minimize irrigation requirements and to reduce potential slide hazards due to over-watering of the coastal bluffs.
- S. New site drainage system to connect to existing sidewalk underdrain for discharge to public conveyance
- T. Proposed drainage sheet flowing into neighboring properties cannot exceed existing Q100 flow.
- U. All stormwater runoff from proposed and/or replaced impervious areas shall be routed to pervious surfaces or landscaping prior to reaching the public drain system.

SITE PLAN LEGEND

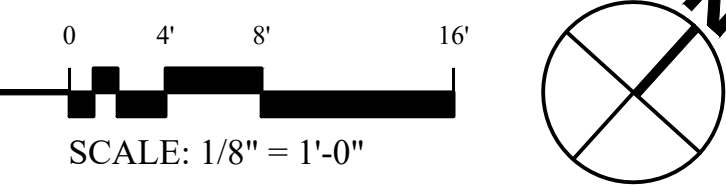
- Slope Water flow direction (grade)
- Downspout
- Discharge flow
- Catch basin that will discharge to existing landscape



DOWNSPOUT IN LANDSCAPE
SCALE 1" = 1'-0"



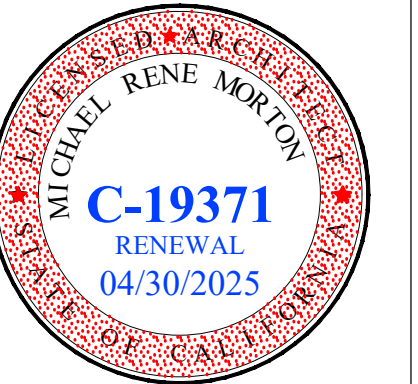
DRAINAGE PLAN





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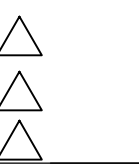


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SHEET TITLE
PROPOSED LANDSCAPE PLAN

L01

LANDSCAPE NOTES

- All landscape and irrigation shall conform to the standards of City-Wide Landscape Regulations and the City of San Diego Land Development Manual Landscape Standards and all other landscape related City and Regional Standards.
- Maintenance: All required landscape areas shall be maintained by the owner. Landscape and irrigation areas in the public right-of-way shall be maintained by the owner. The landscape areas shall be maintained free of debris and litter and all plant material shall be maintained in a healthy growing condition. Diseased or dead plant material shall be satisfactorily treated or replaced per the conditions of the permit.
- Tree root barriers: A minimum root zone of 40 sf in area shall be provided for all trees. The minimum dimension of this area shall be 5 feet, per LDC 142.0403 (b)(5).
- Tree grates around street trees shall be a minimum of 40 s.f. with a minimum 5' inside dimension.
- All pruning shall comply with the standards of the American National Standards Institute (ANSI) for tree care operations and the International Society of Arboriculture (ISA) for tree pruning. Topping of trees is not permitted.
- Mulch: All required planting areas and all exposed soil areas without vegetation shall be covered with mulch to a minimum depth of 3", excluding slopes requiring revegetation per SDMC 142.0411.
- Minimum tree separation distance: 20 ft
Traffic signals (stop sign) 5 ft
Underground utility lines 5 ft
Above ground utility structures 10 ft
Driveway (entries) 10 ft
Street intersections 25 ft
Sewer lines 10 ft
- Prior to issuance of any building permits, a complete set of landscaping and irrigation plans shall be submitted to the city manager for approval. The landscaping and irrigation plans shall be in conformance with the requirements of the La Jolla Planned District Ordinance, the La Jolla Community Plan and the landscape guidelines of the land development manual.
- All required landscaped areas shall be permanently irrigated and maintained in accordance with the landscape guidelines of the land development manual.
- Irrigation: An automatic, electronically controlled irrigation system shall be provided as required by LDC 142.0403(c) for proper irrigation, development, and maintenance of the vegetation in a healthy-disease-resistant condition. The design of the system shall provide adequate support for the vegetation selected.
- All graded, disturbed or eroded areas that will not be permanently paved or covered by structures shall be permanently re-vegetated and irrigated as shown in table 142.04f and in accordance with the standards in the land development manual.
- All required landscape as shown on these plans shall be maintained by the owner in a disease, weed and litter free condition at all times consistent with CDP no. 1314394, the La Jolla Shores PDO, the Community Plan, and the city-wide landscape standards.
- All existing plant material to be removed.

LANDSCAPE REQUIREMENTS

- One hundred percent of all required yards except interior yards and rear yards shall be landscaped with a minimum of at least 50 percent and shall be any combination of trees, shrubs and ground cover; except that the use of trees to meet this requirement shall be optional. All proposed landscaping in the required yard areas for Courts, Places, or Walks shall be maintained at a height of three feet or lower (including raised planters) to preserve public views. All landscaping shall be drought-tolerant and native or non-invasive plant species. The remaining 50 percent may include, but is not restricted to, fountains, reflecting pools, art objects, decorative walkways, screens, walls, fences, benches, and decks not exceeding 3 feet in height.

PLANT LEGEND

- (3x) Existing shrubs - Plumeria Species - Diameter: 5'-6" (more than 24" spread: 15 points per plant)
- Existing palm trees (not counted towards points as they're placed in ROW (outside of the property))
- (8x) Existing shrubs (12"-24" spread: 4 points per plant)
- (14x) New 5-gallon shrubs (2 points per plant)
- New Magnolia Grandiflora 'Little Gem'
Common name: Little Gem Magnolia
Height: 20'
Spread: 10'
Container size: 36"x36"
(50 points per plant)

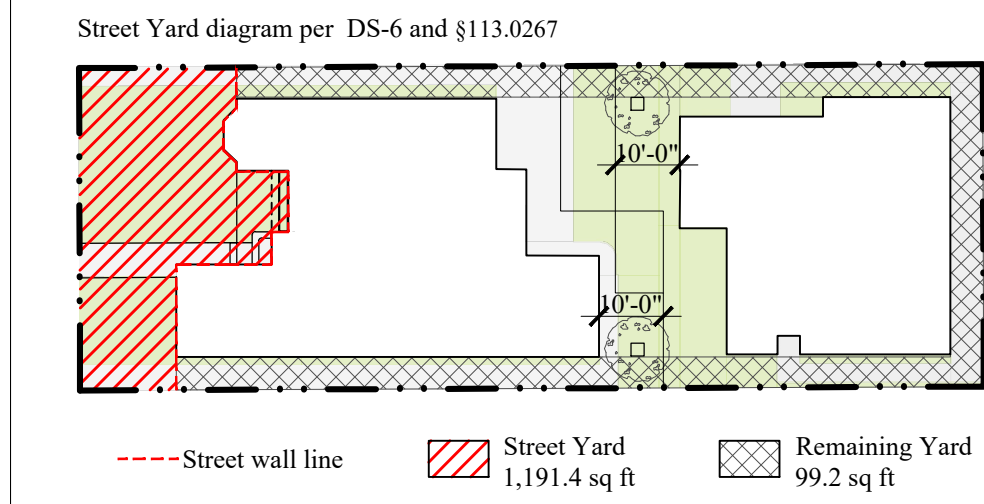
LANDSCAPE LEGEND

- Symbol Description
- [Green Hatched Box] Landscape area
- [Grey Hatched Box] Hardscape area

KEY NOTES

- New (4x) Magnolia Grandiflora (Refer to plant legend) (Site tree satisfies both CAP and ADU regulations)
- Trash area. Please refer to sheet L01, keynote 4 for compliance
- Gate 75% open
- Existing walkway
- Existing shrubs to remain | Plumeria Species | Diameter: 5'-6"
- Existing 3/4" water meter to remain
- Existing neighbor's 6ft wood fence
- New 6ft wood fence
- Existing gate
- New 1" Water meter
- Existing shrubs
- New (x14) 5-gallon shrubs

LANDSCAPE AREA DIAGRAM



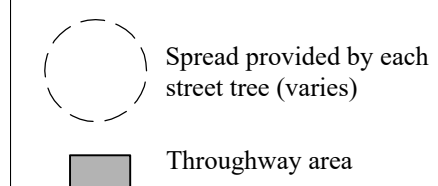
SHADE STUDY

Total throughway area: 244 sq ft

Total shaded area by canopy and existing palm trees: 122 sq ft

Percentage achieved: 50%

Street trees provided: 4 palms
1 canopy tree



City of San Diego Development Services FORM DS-6
Landscape Calculations Worksheet
Multiple Dwelling Unit Residential & Residential Components of Mixed-Use Development August 2020

Provide the following information on the Landscape Plans. The Landscape Calculations determine the planting area and plant points required by the Landscape Regulations, Chapter 14, Article 2, Division 4 of the Land Development Code. Refer to §142.0403 Table 142-04B for proposed and existing plant point schedule.

- At least one-half of the required planting points shall be achieved with trees.
- If any of the requirements of Landscape Regulations, Section 142.0405(a) 1, 2, and 3 apply to your project, provide a written summary explaining how requirements are being met.

STREET YARD [§142.0404 - §142.0405] - All Multiple Dwelling Unit Residential Development

- Planting area in the public right-of-way is not counted towards fulfillment of the required street yard planting area.

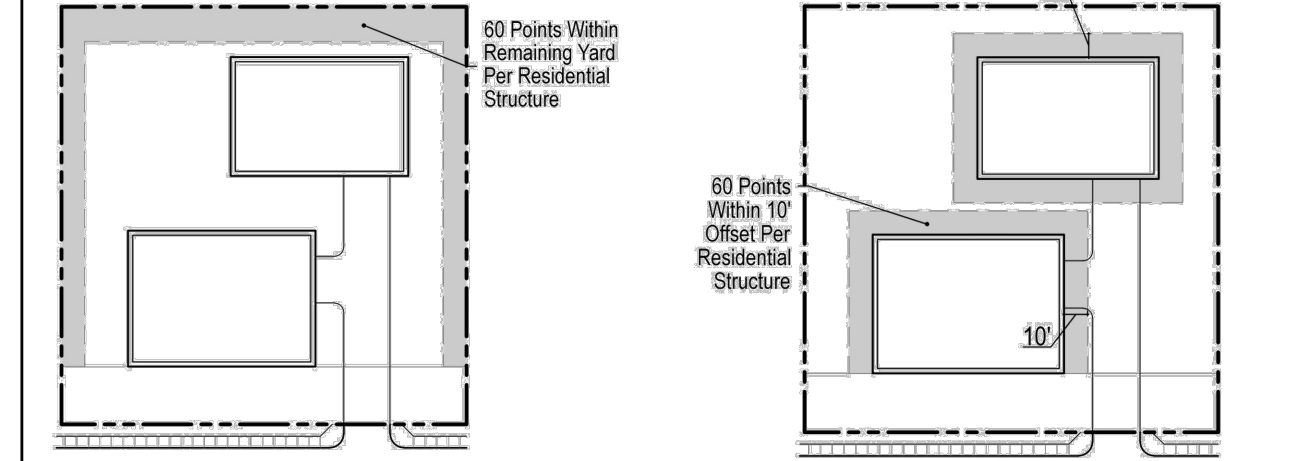
Planting Area Required	Planting Area Provided	Excess Area Provided
Total Area (a) 1,191.4 sq. ft. x 50% = (a-b) 595.7 sq. ft.	(a) 913 sq. ft.	(b-c) 317.3 sq. ft.
Plant Points Required	Plant Points Provided	Excess Points Provided
Total Area (a) 1,191.4 sq. ft. x 0.05 = (a-b) 59.57 points	(a) 135 points	(b-c) 75.43 points
	Plant Points Achieved with Trees (50%)	
	50 points	

City of San Diego Development Services Department - DS-6

REMAINING YARD [§142.0404 - §142.0405] - 4 Dwelling Units or Less

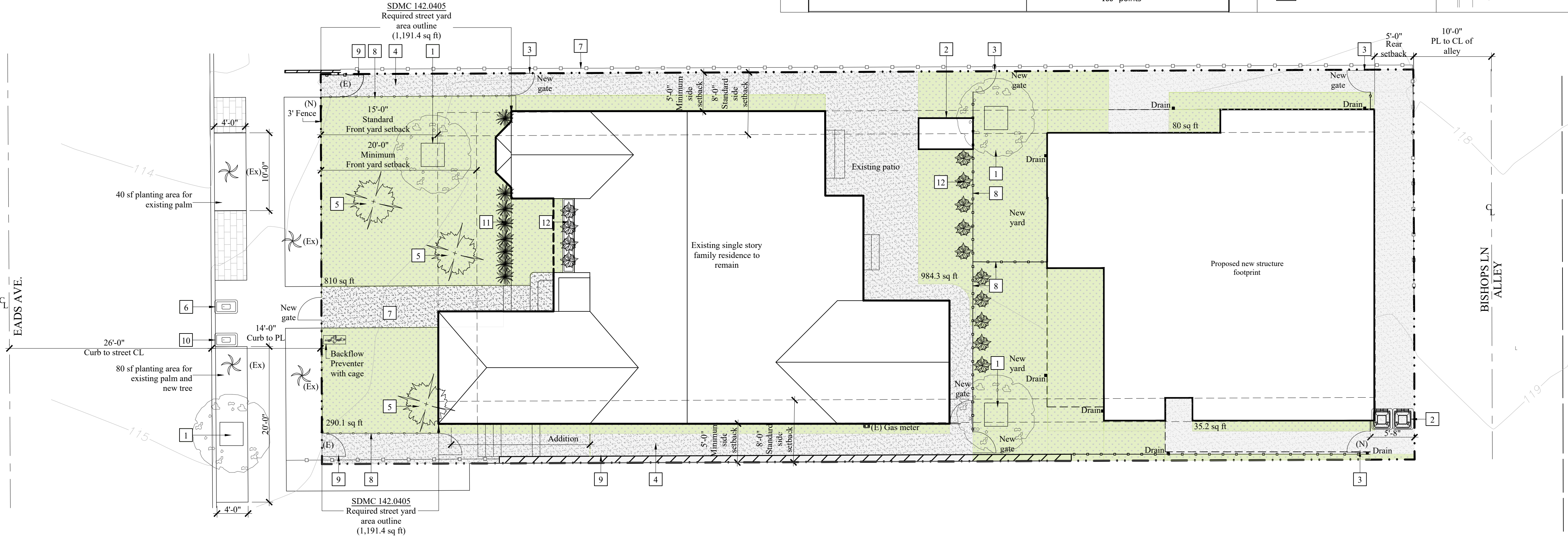
A minimum of 60 points per residential structure. Planting shall be distributed within a 10-foot offset from the structural envelope or within the remaining yard.

Plant Points Required	Plant Points Provided	Excess Points Provided
60 points x 2 # of residential structures	120 sq. ft.	0 sq. ft.
	Plant Points Achieved with Trees (50%)	
	100 points	

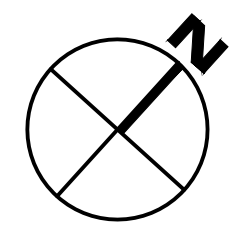
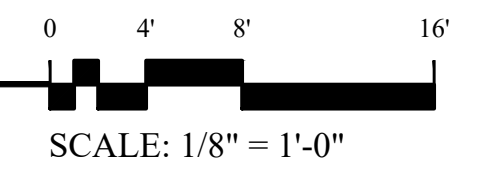


4 Dwelling Units or Less—A minimum of 60 points per residential structure. Planting shall be distributed within a 10-foot offset from the structural envelope or within the remaining yard.

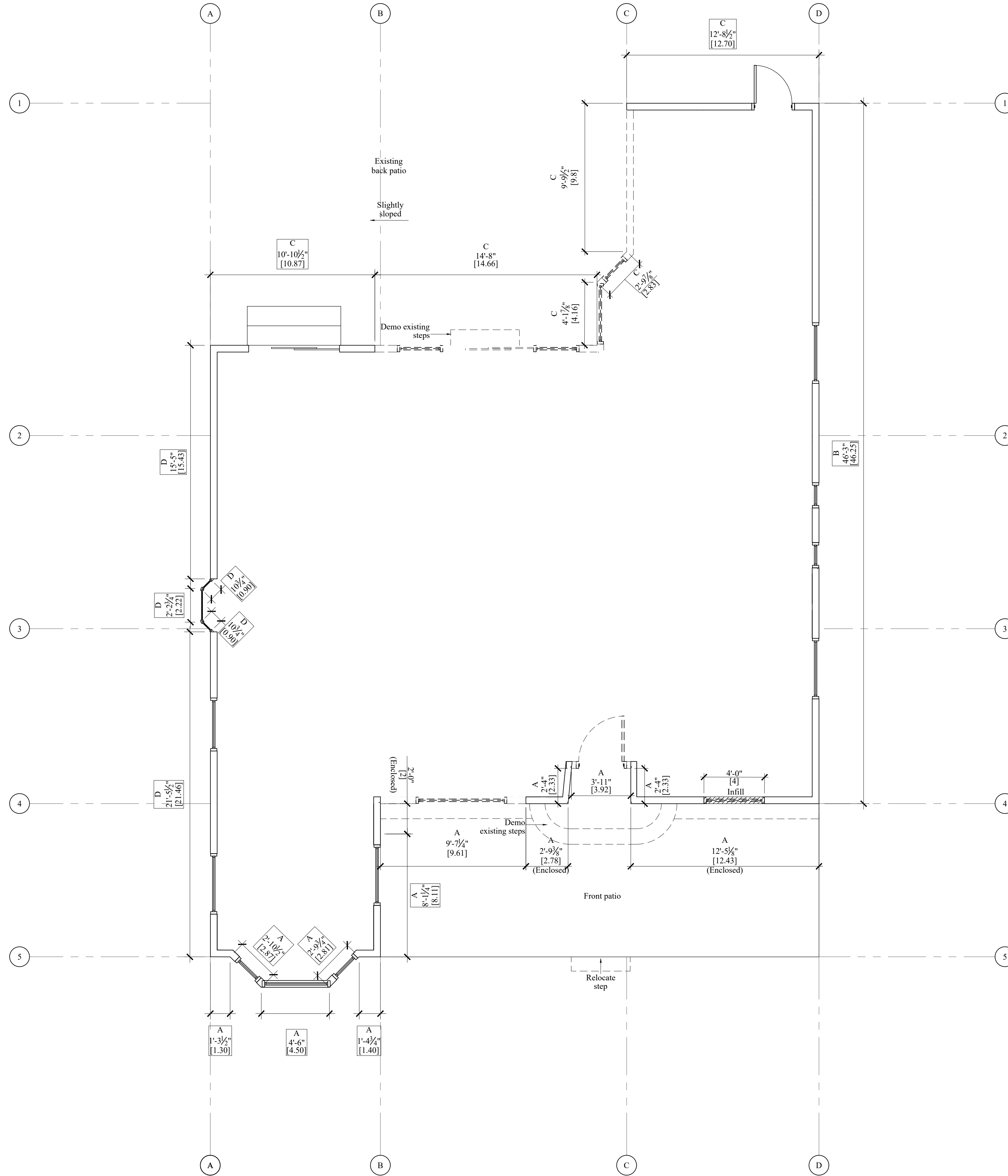
4 Dwelling Units or Less—A minimum of 60 points per residential structure. Planting shall be distributed within a 10-foot offset from the structural envelope or within the remaining yard.



PROPOSED LANDSCAPE PLAN



Main House Floor Perimeter Calculation Worksheet				
Project Name		Eads Condos		
Project Address		7443 Eads Ave La Jolla, CA 92037		
Existing Residence Perimeter Lengths				
Direction Existing Wall Faces	Existing Length	Length Remaining	Length Removed	
A- North	56.39 LF	20.99 LF	35.40 LF	
B- South	46.25 LF	46.25 LF	0.00 LF	
C- East	55.02 LF	23.57 LF	31.45 LF	
D- West	40.91 LF	40.91 LF	0.00 LF	
Total Exst. Basement Level Perimeter Length	198.57	131.72	66.85	LF
	99.285		32.44 LF above 50%	
Existing Perimeter Wall Remaining	131.72	LF		
Total Existing Building Perimeter Length	198.57	LF		
66% Percentage of Existing Perimeter Wall Which Remains				
50% of existing wall must remain to qualify for coastal exemption				
Cumulative Perimeter Wall Remaining	131.72	LF		
Total Cumulative Building Perimeter	287.37	LF		
46% Percentage of Cumulative Perimeter Wall Which Remains				
50% of existing wall must remain to qualify for coastal exemption				
	-4.16%		-11.97 LF above 50% min perimeter wall length to remain	



EXISTING/DEMO FLOOR PLAN - MAIN HOUSE
1,556 S.F.
SCALE: 1/4" = 1'-0"

DEMOLITION NOTES

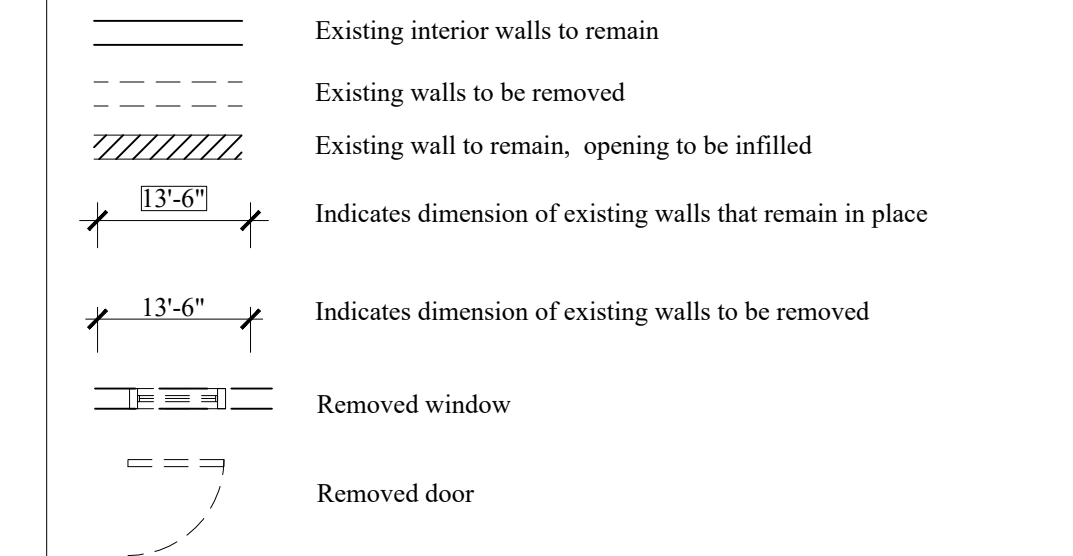
1. Architect shall be notified immediately when any discrepancy with architectural or structural drawings are found at the project site. All drawings may have to be modified upon removal of existing construction. Do not proceed with work in question until the architect issues directions.
2. Contractor shall verify layout of existing structure, property boundaries, location of site utilities - underground and overhead, and field conditions as shown on the plans prior to demolition.
3. Before start of demolition contractor shall verify with the owner any item to be saved (s), covered, or stored, verify storage locations with owner before demolition commences.
4. Any outdoor structures or landscaping marked to be saved, shall be protected, fenced and/or covered to avoid damage.
5. All demolition material shall be transported off site and properly disposed at city-approved locations by the contractor.
6. Contractor to verify dumpster location with architect before demolition commences.
7. Contractor shall also refer to floor plans and other construction plans for new work to be incorporated into the project and to proceed with demolition accordingly.
8. Carefully remove structure as shown on plan. Remove all materials carefully to avoid damage to adjacent surfaces.
9. Contractor shall notify architect if any of the exposed wood show evidence of active water leaks, termites or dry rot.
10. Contractor to verify dumpster location with architect before demolition commences.
11. Prepare existing window framing openings (to remain) to receive new window units. See new floor plan and elevations for new window size.
12. When demolition is complete, the structure and site shall be broom clean and ready to receive new work.
13. Remove all existing landscape and tree roots with in 3 feet of the outline of new structure. If the removal of tree roots produces potentially unstable trees, the contractor shall immediately contact a tree specialist to make a recommendation.
14. Demolition of openings in roof and exterior walls shall be covered each night with plastic tarps and secured to prevent water and dust from entering the building.
15. Existing floors shall be covered during construction. openings shall be taped and sealed to walls at edges of construction zone to minimize dust. Temporary wall shall be built and sealed as if needed or shown on plans.
16. Should any portion of the structure being removed produce unstable or unsafe conditions the contractor shall provide shoring and bracing.
17. Existing FAU & water heater shall be turned off and salvaged units removed and stored for re-use. Existing natural gas service shall be turned off and lines temporarily capped at residence.
18. Electrical service shall be turned off at residence and provisions for temporary power made during construction.
19. Please be advised this is a remodel project. concealed conditions of all types shall be taken into account and/or verified prior to completion of final project bid.
20. Contractor shall verify in the field the condition of all foundations, stem walls, sill attachments, pier-footing conditions and attachment to framing. deficiencies, cracks or other structural issues in foundations or footings or lack thereof shall be brought to the attention of the architect and structural engineer.
21. Existing framing and floor surfaces may be out of plumb and not level. They shall be inspected and made plumb and leveled upon notification to the architect and a written approval has been documented. Wood framing adjacent to soil may be encountered and modifications and/or protection measures shall be taken.
22. Elevation changes between door openings and adjacent grade shall be verified in the field and if discrepancies exist between field conditions and plans exist, notify the architect to make modifications and/or other corrective measures.
23. If soils report or survey not included with this set of documents, the architect will not be held responsible for any changes, modifications, ordered reports or survey or other additional issues caused by lack of information from those documents.

Coastal Projects Additional Notes
 A. This is a coastal project. No exterior walls shall be demolished other than those specified on the demolition sheet without prior written instruction from architect.
 B. It is the general contractor's sole responsibility that all existing wall shown to remain shall be protected and maintained at all times during the project construction.

DEMOLITION NOTES FOR COASTAL EXEMPTION

- A. At least 50% of the existing exterior walls (from the foundation to the top plate) of the principal habitable floor must be left standing and in place throughout construction and incorporated into the completed structure without modifications.
- B. The wall must continue to be used as exterior walls in the completed project (may not be used as interior walls or used in a "double wall" configuration with any new wall)
- C. Any door or window located within a segment of the wall which is counted toward the length of an existing exterior wall to be left standing (at least 50%) cannot have their location or size modified.
- D. The surface of the wall can be modified or removed down to the studs but with both the top and bottom plates in place. Removal of the stud walls, even on a temporary basis does not meet exemption criteria (for coastal exemption) and is not to be done.
- E. Walls, which are designated to remain, cannot be replaced, heightened or relocated for any reason, including reasons of structural integrity (dry rot, termites).
- F. Reinforcement in the form of sistering members (studs and plates) is permitted as long as they do not interrupt the assembly of top plate studs and sill. New member is to be notched to sister and incorporate. Not existing lumber.
- G. Penetration through top plate is permitted - only the width of the actual cut will be included in the calculation (e.g. only actual width of a 2x4 or a 4x4 going through the top plate will deduct that amount). Need to be approved by architect to be sure after all cuts are made that we still comply.
- H. Cripple walls are permitted (placing a new bottom plate on an existing top plate together with new studs and a new top plate for the purposes of increasing floor to ceiling height).
- I. Foundation replacement is acceptable only if existing walls can be properly supported in their pre-existing position during replacement or repair.
- J. A window may be replaced or may be reduced in area or dimension or may be covered over (filled in) provided that the existing studs and headers are retained in their original position.
- K. Reinforcement in the form of furring is permitted for single wall construction only if it is done in such a manner that the wall is not extended outward. All furring is to the interior & verified by the architect.
- L. There shall be no significant alteration of land forms including removal or placement of vegetation, on a beach, wetland or sand dune, or within 100 feet of the edge of a coastal bluff without first obtaining approval from the governing authority having jurisdiction over the project.
- M. If a sill is required to be 3x material where a 2x4 wall exists, a site meeting should take place with architect and engineer to block 3x on top of existing sill in between existing studs strapped and/or clipped in place.

DEMOLITION LEGEND



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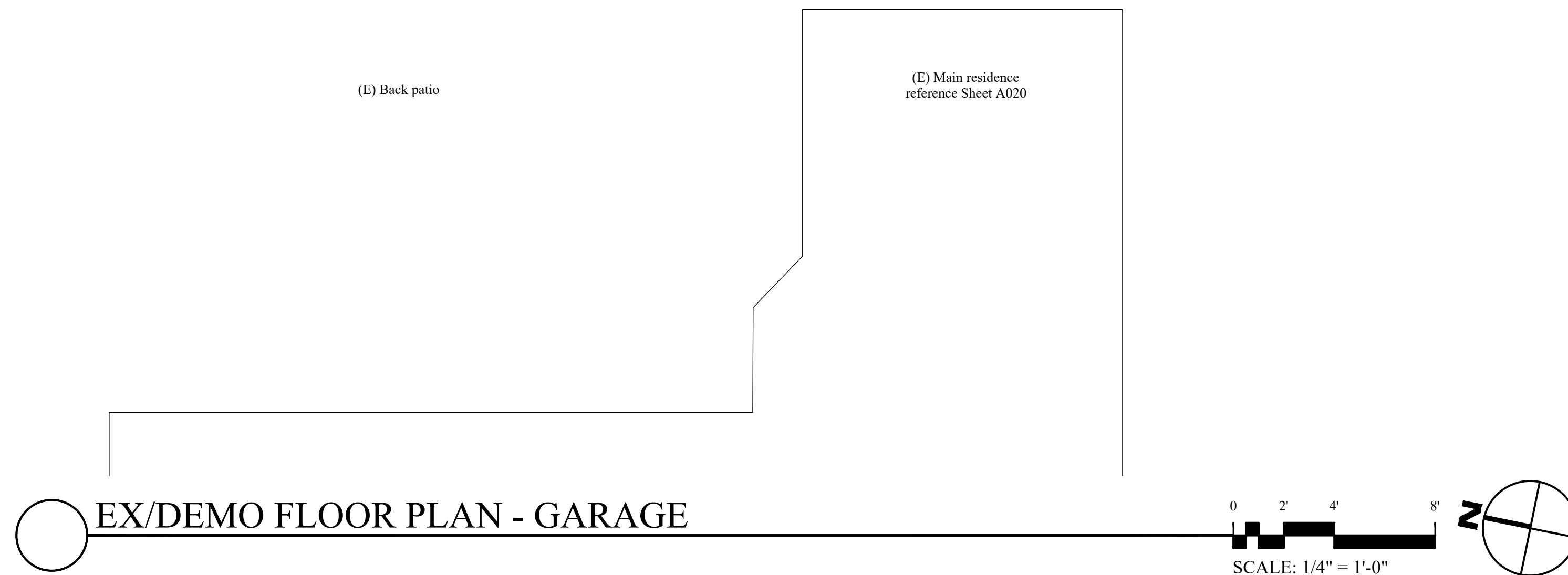
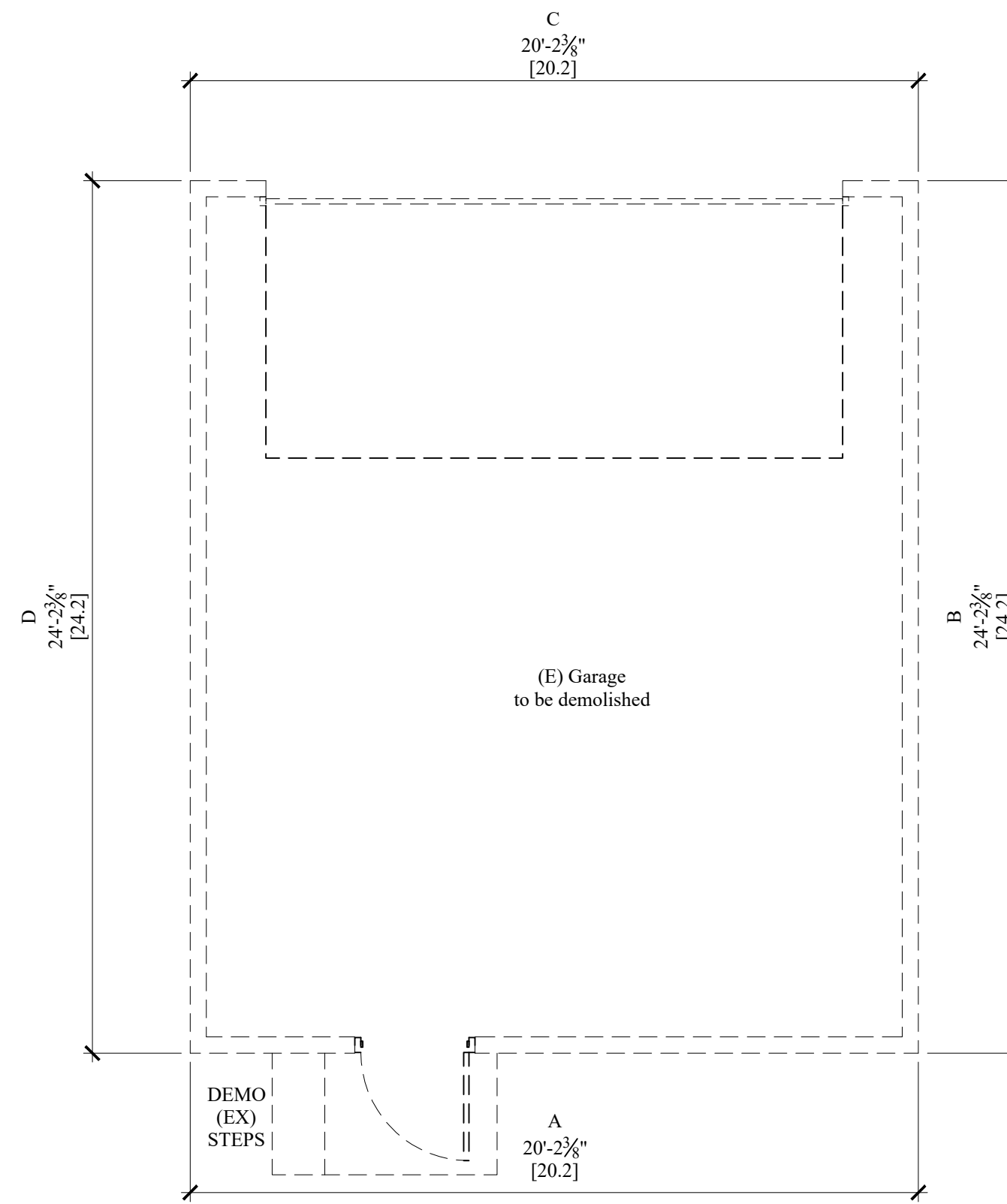
DATE 02/08/2024

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SHEET TITLE EXISTING/DEMO FLOOR PLAN - MAIN HOUSE

A020

Garage Floor Perimeter Calculation Worksheet				
Project Name		Eads Condos		
Project Address		7443 Eads Ave La Jolla, CA 92037		
Existing Residence Perimeter Lengths				
Direction	Existing Wall Faces	Existing Length	Length Remaining	Length Removed
A - East		20.20 LF	0.00 LF	20.20 LF
B - South		24.20 LF	0.00 LF	24.20 LF
C - West		20.20 LF	0.00 LF	20.20 LF
D - North		24.20 LF	0.00 LF	24.20 LF
Total Exist. First Floor Perimeter Length		88.80 LF	0.00 LF	88.80 LF
Existing Perimeter Wall Remaining		44.4	-44.40 LF above 50%	
Total Existing Building Perimeter Length		0.00 LF		
0% Percentage of Existing Perimeter Wall Which Remains				
50% of existing wall must remain to qualify for coastal exemption				
Cumulative Perimeter Wall Remaining		131.72 LF		
Total Cumulative Building Perimeter		287.37 LF		
46% Percentage of Cumulative Perimeter Wall Which Remains				
50% of existing wall must remain to qualify for coastal exemption				
		-4.16%	-11.97 LF above 50% min perimeter wall length to remain	



DEMOLITION NOTES

1. Architect shall be notified immediately when any discrepancy with architectural or structural drawings are found at the project site. All drawings may have to be modified upon removal of existing construction. Do not proceed with work in question until the architect issues directions.
2. Contractor shall verify layout of existing structure, property boundaries, location of site utilities - underground and overhead, and field conditions as shown on the plans prior to demolition.
3. Before start of demolition contractor shall verify with the owner any item to be saved (s), covered, or stored, verify storage locations with owner before demolition commences.
4. Any outdoor structures or landscaping marked to be saved, shall be protected, fenced and/or covered to avoid damage.
5. All demolition material shall be transported off site and properly disposed at city-approved locations by the contractor.
6. Contractor to verify dumpster location with architect before demolition commences.
7. Contractor shall also refer to floor plans and other construction plans for new work to be incorporated into the project and to proceed with demolition accordingly.
8. Carefully remove structure as shown on plan. Remove all materials carefully to avoid damage to adjacent surfaces.
9. Contractor shall notify architect if any of the exposed wood show evidence of active water leaks, termites or dry rot.
10. Prepare existing window framing openings (to remain) to receive new window units. See new floor plan and elevations for new window size.
11. When demolition is complete, the structure and site shall be broom clean and ready to receive new work.
12. Remove all existing landscape and tree roots with in 3 feet of the outline of new structure. If the removal of tree roots produces potentially unstable trees, the contractor shall immediately contact a tree specialist to make a recommendation.
13. Demolition of openings in roof and exterior walls shall be covered each night with plastic tarps and secured to prevent water and dust from entering the building.
14. Existing floors shall be covered during construction, openings shall be taped and sealed to walls at edges of construction zone to minimize dust. Temporary wall shall be built and sealed as if needed or shown on plans.
15. Should any portion of the structure being removed produce unstable of unsafe conditions the contractor shall provide shoring and bracing.
16. Existing FAU & water heater shall be turned off and salvaged units removed and stored for re-use. Existing natural gas service shall be turned off and lines temporarily capped at residence.
17. Electrical service shall be turned off at residence and provisions for temporary power made during construction.
18. Please be advised this is a remodel project. concealed conditions of all types shall be taken into account and/or verified prior to completion of final project bid.
19. Contractor shall verify in the field the condition of all foundations, stem walls, sill attachments, pier-footing conditions and attachment to framing, deficiencies, cracks or other structural issues in foundations or footings or lack thereof shall be brought to the attention of the architect and structural engineer.
20. Existing framing and floor surfaces may be out of plumb and not level. They shall be inspected and made plumb and leveled upon notification to the architect and a written approval has been documented. Wood framing adjacent to soil may be encountered and modifications and/or protection measures shall be taken.
21. Elevation changes between door openings and adjacent grade shall be verified in the field and if discrepancies exist between field conditions and plans exist, notify the architect to make modifications and/or other corrective measures.
22. If soils report or survey not included with this set of documents, the architect will not be held responsible for any changes, modifications, ordered reports or survey or other additional issues caused by lack of information from those documents.

Coastal Projects Additional Notes

- A. This is a coastal project. No exterior walls shall be demolished other than those specified on the demolition sheet without prior written instruction from architect.
- B. It is the general contractors sole responsibility that all existing wall shown to remain shall be protected and maintained at all times during the project construction.

DEMOLITION NOTES FOR COASTAL EXEMPTION

- A. At least 50% of the existing exterior walls (from the foundation to the top plate) of the principal habitable floor must be left standing and in place throughout construction and incorporated into the completed structure without modifications.
- B. The wall must continue to be used as exterior walls in the completed project (may not be used as interior walls or used in a "double wall" configuration with any new wall)
- C. Any door or window located within a segment of the wall which is counted toward the length of an existing exterior wall to be left standing (at least 50%) cannot have their location or size modified.
- D. The surface of the wall can be modified or removed down to the studs but with both the top and bottom plates in place. Removal of the stud walls, even on a temporary basis does not meet exemption criteria (for coastal exemption) and is not to be done.
- E. Walls, which are designated to remain, cannot be replaced, heightened or relocated for any reason, including reasons of structural integrity (dry rot, termites).
- F. Reinforcement in the form of sistering members (studs and plates) is permitted as long as they do not interrupt the assembly of top plate studs and sill. New member is to be notched to sister and incorporate. Not existing lumber.
- G. Penetration through top plate is permitted - only the width of the actual cut will be included in the calculation (e.g. only actual width of a 2x4 or a 4x4 going through the top plate will deduct that amount). Need to be approved by architect to be sure after all cuts are made that we still comply.
- H. Cripple walls are permitted (placing a new bottom plate on an existing top plate together with new studs and a new top plate for the purposes of increasing floor to ceiling height).
- I. Foundation replacement is acceptable only if existing walls can be properly supported in their pre-existing position during replacement or repair.
- J. A window may be replaced or may be reduced in area or dimension or may be covered over (filled in) provided that the existing studs and headers are retained in their original position.
- K. Reinforcement in the form of furring is permitted for single wall construction only if it is done in such a manner that the wall is not extended outward. All furring is to the interior & verified by the architect.
- L. There shall be no significant alteration of land forms including removal or placement of vegetation, on a beach, wetland or sand dune, or within 100 feet of the edge of a coastal bluff without first obtaining approval from the governing authority having jurisdiction over the project.
- M. If a sill is required to be 3x material where a 2x4 wall exists, a site meeting should take place with architect and engineer to block 3x on top of existing sill in between existing studs strapped and/or clipped in place.

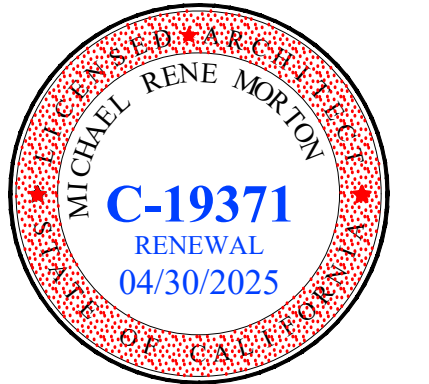
DEMOLITION LEGEND

- Existing interior walls to remain
- Existing walls to be removed
- Existing wall to remain, opening to be infilled
- Indicates dimension of existing walls that remain in place
- Indicates dimension of existing walls to be removed
- Removed window
- Removed door



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EADS DEVELOPMENT

7443 Eads Avenue
La Jolla CA, 92037

REVISIONS
01/26/2022 PROJECT START



PHASE
FEASIBILITY PHASE

PROJECT NO. 2021-46

REVIEWED BY CAM

DRAWN BY AP

DATE 02/08/2024

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SHEET TITLE
EXISTING / DEMO
PLAN - GARAGE

A021



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SHEET TITLE PROPOSED FLOOR PLAN

A022

FLOOR PLAN NOTES

- All dimensions shall be field verified. Any discrepancies affecting project layout shall be brought to the attention of the architect and the issues resolved prior to proceeding with the work in question.
- Refer to site plan for site and utility info.
- For door and windows see schedules on a-8.1
- Insulation: R-13 batt insulation at all new exterior 2x4 walls.
R-19 batt insulation at all new 2x6 exterior walls and raised floor areas
R-13 batt insulation at all accessible interior walls for sound control.
R-30 batt insulation at ceiling & roof areas.
R-4.5 insulation wrap on all new hot water piping.
R-4.5 insulation wrap on all new supply ducts.
- Smoke detectors: shall be installed in each bedroom and on access point to each sleeping area and on each story and basements. detector shall have an alarm audible in all sleeping areas of the unit. section 310.9.1.2. unit shall be permanently wired and equipped with battery backup. e.b.c. sec. 310.9.1.3.
- Attic/underfloor installation must comply with sections 904, 908, and 909 of the California mechanical code (cmc)
- Provide 5 air changes per hour for bathroom and laundry room ventilation.
- All abs and pvc piping and fittings shall be enclosed within walls and floors covered with type x gypsum board or similar assemblies that provide the same level of fire protection. protection of membrane penetrations is not required.
- Whole building ventilation: indoor air quality exhaust fan with ventilation rate of 120 cfm.
- Ducts in the garage and ducts penetrating the walls or ceilings separating the dwelling from the garage shall be constructed of minimum no.26 gauge sheet steel or other approved material and shall have no opening into the garage.
- Showers compartment & bathtubs w/ installed showerheads shall be finished w/ a non-absorbent surface that extends to a height not less than 6 ft above flr. cec r307.2
- Water meters for combined domestic water & fire sprinkler systems shall not be installed until the fire sprinkler system has been submitted and approved by the bldg official
- All plumbing fixtures and fittings will be water conserving
- Outdoor shower drains and sinks are not permitted to connect to the public sewer system unless equipped with an approved cover. hot and water connections allowed.
- During construction, at least one extinguisher shall be provided on each floor level at each stairway, in all storage and construction sheds, in locations where flammable or combustible liquids are stored or used, and where other special hazards are present per cfc section 3315.1
- Buildings undergoing construction, alteration or demolition shall conform to cfc chapter 33, welding, cutting and other hot work shall be in conformance with cfc chapter 35.
- Address identification shall be provided for all new and existing buildings in a location that is plainly visible and legible from the street or road fronting the property, where access is by way of a private road and the building address can not be viewed from the public way, an approved sign or means shall be used to identify the structure. premises identification shall conform to cbc section 501.2.
- Wall, floor and ceiling finishes and materials shall not exceed the interior finish classifications in cbc table 803.11 and shall meet the flame propagation performance criteria of the California code of regulations, title 19, division 1. decorative materials shall be properly treated by a product or process approved by the state fire marshal with appropriate documentation provided to the city of san diego.
- All luminaires shall be high efficacy and shall have a manual on/off in addition to a vacancy sensor or dimmer.

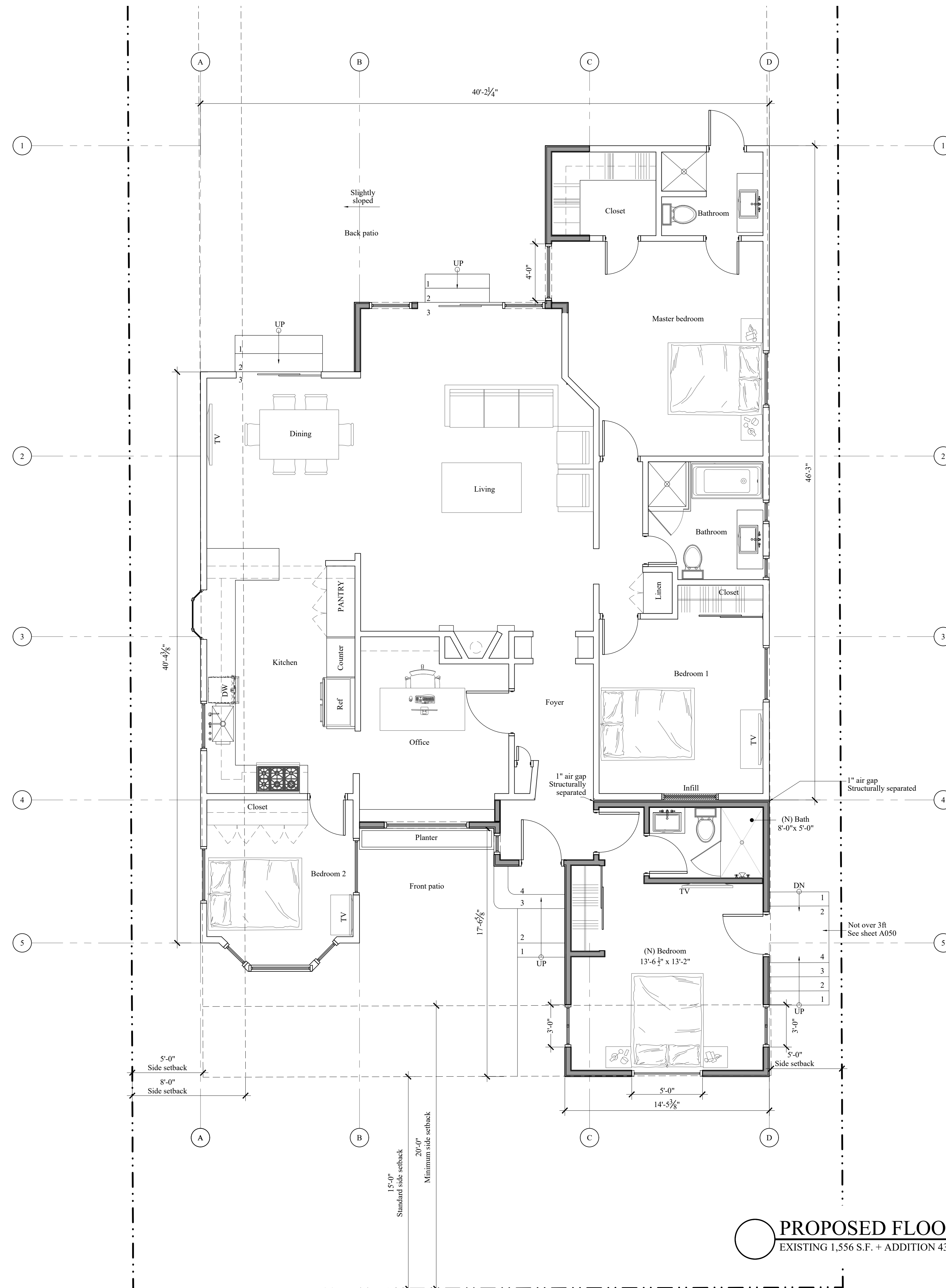
HERS NOTES

- An electronically signed and registered installation certificate(s) (CF2R) posted by the installing contractor shall be submitted to the field inspector during construction at the building site. A registered CF2R will have a unique 21-digit registration number followed by four zeros located at the bottom of each page. The first 12 digits of the number will match the registration number of the associated eIR. Certificate of occupancy will not be issued until forms CF2R is reviewed and approved.
- An electronically signed and registered certificate(s) of field verification and diagnostic testing (CF3R) shall be posted at the building signed and registered certificate(s) of field verification and diagnostic testing (CF3R) shall be posted at the building site by a certified hers rater. A registered CF3R will have a unique 25-digit registration number located at the bottom of each page. The first 20 digits of the number will match the registration number of the associated CF2R. Certificate of occupancy will not be issued until CF3R is reviewed and approved.

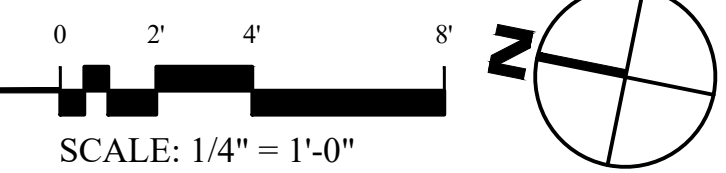
FLOOR PLAN LEGEND

- Existing exterior & interior wall.
- 2x4 New interior wall - Gypsum each side.
- 2x6 New exterior wall - Gypsum interior and stucco exterior
- New door, installed 4" traditional jamb allowances from adjacent wall unless otherwise noted.
- Proposed structure dimension

Exterior wall dimensions to face of stud/fdn. wall. Interior wall dimensions to center line of stud.
For additional project information see additional sheets.



PROPOSED FLOOR PLAN
EXISTING 1,556 S.F. + ADDITION 436 S.F. = 1,992 S.F.

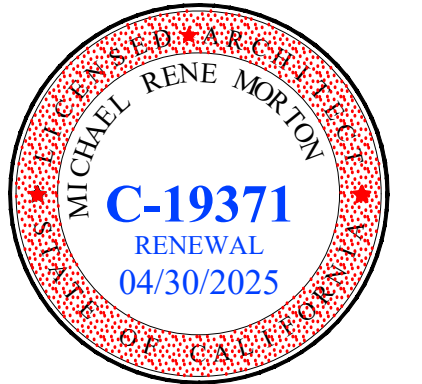


S:\Projects\2021-46 7443 Eads Condos\4-Agency\C-Corral Package\Hearing Meeting\Archive\Hearing DWG's and PDF's\Sheets\A022 POP JR ADU FLOOR PLAN Front House Eads.dwg Feb 20/2024 12:44pm



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EADS DEVELOPMENT

7443 Eads Avenue
La Jolla CA, 92037

REVISIONS
01/26/2022 PROJECT START

PHASE
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SHEET TITLE
PROP. FIRST FLOOR PLAN (BACK HOUSE)

A023

FLOOR PLAN NOTES

- All dimensions shall be field verified. any discrepancies affecting project layout shall be brought to the attention of the architect and the issues resolved prior to proceeding with the work in question.
- Refer to site plan for site and utility info.
- For door and windows see schedules on a-8.1
- Insulation: R-13 batt insulation at all new exterior 2x4 walls.
R-19 batt insulation at all new 2x6 exterior walls and raised floor areas
R-13 batt insulation at all accessible interior walls for sound control.
R-30 batt insulation at ceiling & roof areas.
R-4.5 insulation wrap on all new hot water piping.
R-4.5 insulation wrap on all new supply ducts.
- Smoke detectors: shall be installed in each bedroom and on access point to each sleeping area and on each story and basements. detector shall have an alarm audible in all sleeping areas of the unit. section 310.9.1.2. unit shall be permanently wired and equipped with battery backup, c.f.c. sec. 310.9.1.3.
- Attic/underfloor installation must comply with sections 904, 908, and 909 of the California mechanical code (cmc)
- Provide 5 air changes per hour for bathroom and laundry room ventilation.
- All abs and pvc piping and fittings shall be enclosed within walls and floors covered with type x gypsum board or similar assemblies that provide the same level of fire protection. protection of membrane penetrations is not required.
- Whole building ventilation: indoor air quality exhaust fan with ventilation rate of 120 cfm
- Ducts in the garage and ducts penetrating the walls or ceilings separating the dwelling from the garage shall be constructed of minimum no.26 gauge sheet steel or other approved material and shall have no opening into the garage.
- Shower compartment & bathtubs w/ installed showerheads shall be finished w/ a non-absorbent surface that extends to a height not less than 6 ft above fl. cfc 1307.2
- Water meters for combined domestic water & fire sprinkler systems shall not be installed until the fire sprinkler system has been submitted and approved by the bldg official
- All plumbing fixtures and fittings will be water conserving
- Outdoor shower drains and sinks are not permitted to connect to the public sewer system unless equipped with an approved cover. hot and water connections allowed.
- During construction, at least one extinguisher shall be provided on each floor level at each stairway, in all storage and construction sheds, in locations where flammable or combustible liquids are stored or used, and where other special hazards are present per cfc section 3315.1
- Buildings undergoing construction, alteration or demolition shall conform to cfc chapter 33. welding, cutting and other hot work shall be in conformance with cfc chapter 35. that is plainly visible and legible from the street or road fronting the property. where access is by way of a private road and the building address can not be viewed from the public way, an approved sign or means shall be used to identify the structure. premises identification shall conform to cfc section 501.2.
- Wall, floor and ceiling finishes and materials shall not exceed the interior finish classifications in cfc table 803.11 and shall meet the flame propagation performance criteria of the California code of regulations, title 19, division 1. decorative materials shall be properly treated by a product or process approved by the state fire marshal with appropriate documentation provided to the city of san diego.
- All luminaries shall be high efficacy and shall have a manual on/off in addition to a vacancy sensor or dimmer.

HERS NOTES

- An electronically signed and registered installation certificate(s) (c2r) posted by the installing contractor shall be submitted to the field inspector during construction at the building site. a registered c2r will have a unique 21-digit registration number followed by four zeros located at the bottom of each page. the first 12 digits of the number will match the registration number of the associated c1r. certificate of occupancy will not be issued until forms c2ris reviewed and approved.
- An electronically signed and registered certificate(s) of field verification and diagnostic testing (c3r) shall be posted at the building signed and registered certificate(s) of field verification and diagnostic testing (c3r) shall be posted at the building site by a certified hers rater. a registered c3r will have a unique 25-digit registration number located at the bottom of each page. the first 20 digits of the number will match the registration number of the associated c2r. certificate of occupancy will not be issued until c3r is reviewed and approved.

FLOOR PLAN LEGEND

- 2x6 New exterior wall - Gypsum interior and stucco exterior
 - 2x4 New interior wall - Gypsum each side
 - New door, installed 4" traditional jamb allowances from adjacent wall unless otherwise noted
 - 2'-8" Proposed structure dimension
- Exterior wall dimensions to face of stud/fdm. wall. Interior wall dimensions to center line of stud.

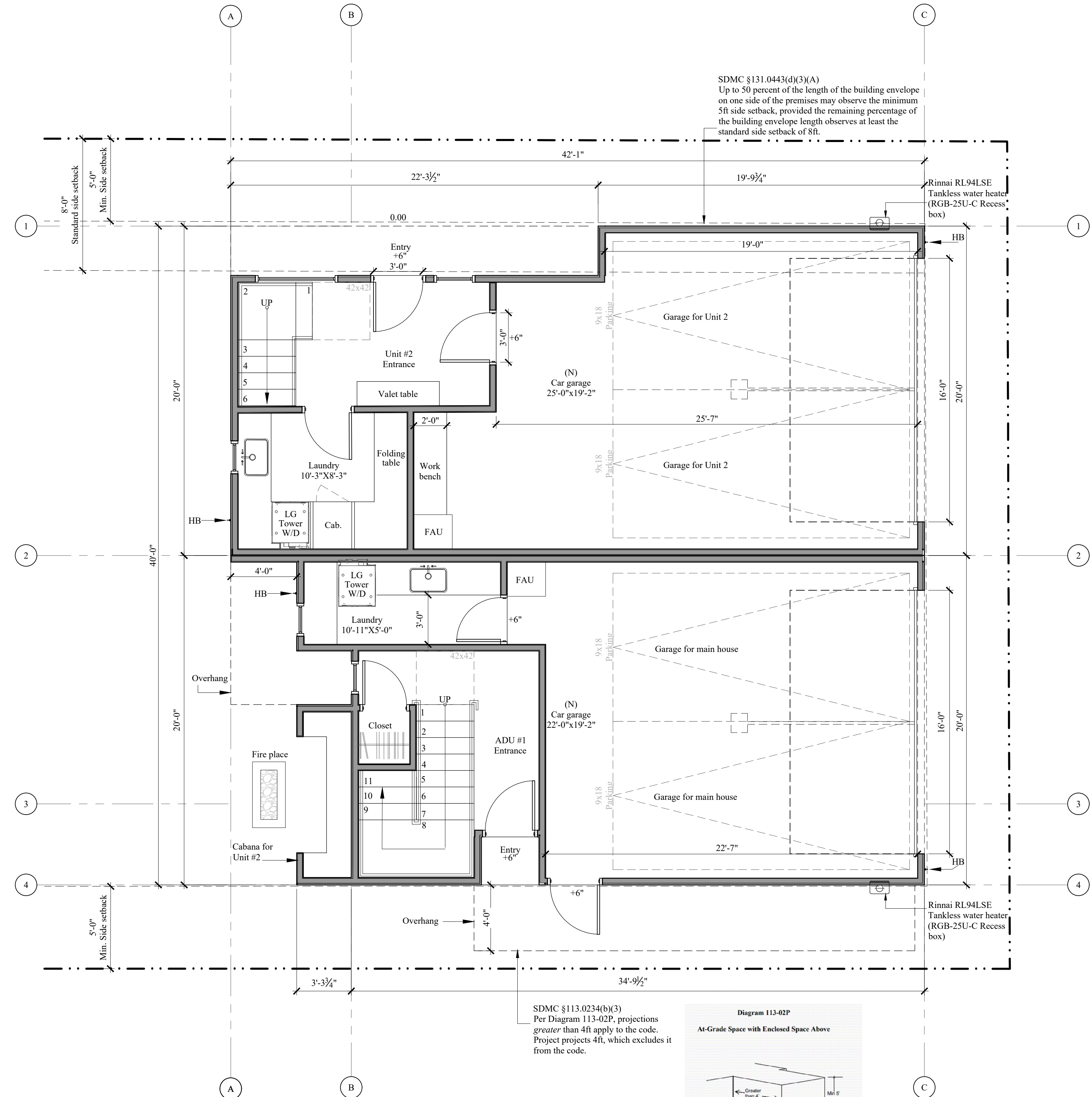
G.F.A. Calculations

LOT = 7,140 S.F.
.75 F.A.R. = 7,140 X .75 = 5,355 S.F.

Existing house =	1,556 S.F. + 436 Addition
Unit #2 1st floor =	1,329 S.F. (including garages)
Unit #2 2nd floor =	842 S.F.
Unit #2 3rd floor =	1,156 S.F.
Cabana for Unit #2 =	36 S.F.
Total =	5,355 S.F.

ADU #1 1st floor =	150 S.F.
ADU #1 2nd floor =	800 S.F.
Total =	950 S.F.

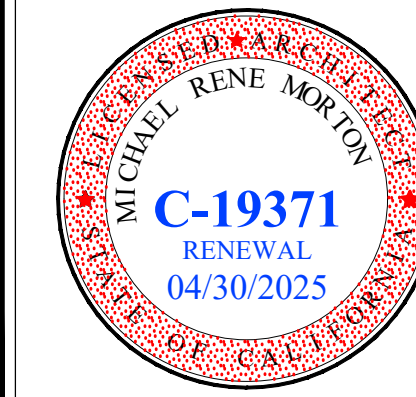
TOTAL = 6,305 S.F.



PROPOSED FIRST FLOOR PLAN
(UNIT 2: 1,329 S.F. @ FIRST FLOOR) (ADU UNIT: 150 S.F.)



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EADS DEVELOPMENT
 7443 Ends Avenue
 La Jolla CA, 92037

REVISIONS 01/26/2022 PROJECT START



PHASE FEASIBILITY PHASE

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SHEET TITLE PROP. SECOND FLOOR PLAN (BACK HOUSE)

A024

FLOOR PLAN NOTES

- A. All dimensions shall be field verified. Any discrepancies affecting project layout shall be brought to the attention of the architect and the issues resolved prior to proceeding with the work in question.
- B. Refer to site plan for site and utility info.
- C. For door and windows see schedules on a-8.1
- D. Insulation: R-13 batt insulation at all new exterior 2x4 walls.
 R-19 batt insulation at all new 2x6 exterior walls and raised floor areas
 R-13 batt insulation at all accessible interior walls for sound control.
 R-30 batt insulation at ceiling & roof areas.
 R-4.5 insulation wrap on all new hot water piping.
 R-4.5 insulation wrap on all new supply ducts.
- E. Smoke detectors: shall be installed in each bedroom and on access point to each sleeping area and on each story and basements. detector shall have an alarm audible in all sleeping areas of the unit. section 310.9.1.2. unit shall be permanently wired and equipped with battery backup. c.b.c. sec. 310.9.1.3.
- F. Attic/underfloor installation must comply with sections 904, 908, and 909 of the California mechanical code (cmc)
- G. Provide 5 air changes per hour for bathroom and laundry room ventilation.
- H. All abs and pvc piping and fittings shall be enclosed within walls and floors covered with type x gypsum board or similar assemblies that provide the same level of fire protection. protection of membrane penetrations is not required.
- I. Whole building ventilation: indoor air quality exhaust fan with ventilation rate of 120 cfm.
- J. Ducts in the garage and ducts penetrating the walls or ceilings separating the dwelling from the garage shall be constructed of minimum no.26 gauge sheet steel or other approved material and shall have no opening into the garage.
- K. Shower compartment & bathtubs w/ installed showerheads shall be finished w/ a non-absorbent surface that extends to a height not less than 6 ft above fl. cr. r307.2
- L. Water meters for combined domestic water & fire sprinkler systems shall not be installed until the fire sprinkler system has been submitted and approved by the bldg official
- M. All plumbing fixtures and fittings will be water conserving
- N. Outdoor shower drains and sinks are not permitted to connect to the public sewer system unless equipped with an approved cover. hot and water connections allowed.
- O. During construction, at least one extinguisher shall be provided on each floor level at each stairway, in all storage and construction sheds, in locations where flammable or combustible liquids are stored or used, and where other special hazards are present per cfc section 3315.1
- P. Buildings undergoing construction, alteration or demolition shall conform to cfc chapter 33. welding, cutting and other hot work shall be in conformance with cfc chapter 35.
- Q. Address identification shall be provided for all new and existing buildings in a location that is plainly visible and legible from the street or road fronting the property, where access is by way of a private road and the building address can not be viewed from the public way, an approved sign or means shall be used to identify the structure. premises identification shall conform to cbc section 501.2.
- R. Wall, floor and ceiling finishes and materials shall not exceed the interior finish classifications in cbc table 803.11 and shall meet the flame propagation performance criteria of the California code of regulations, title 19, division 1. decorative materials shall be properly treated by a product or process approved by the state fire marshal with appropriate documentation provided to the city of san diego.
- S. All luminaires shall be high efficacy and shall have a manual on/off in addition to a vacancy sensor or dimmer.

HERS NOTES

- 1. An electronically signed and registered installation certificate(s) (cI2r) posted by the installing contractor shall be submitted to the field inspector during construction at the building site. a registered cI2r will have a unique 21-digit registration number followed by four zeros located at the bottom of each page. the first 12 digits of the number will match the registration number of the associated cI1r. certificate of occupancy will not be issued until forms cI2rs reviewed and approved.
- 2. An electronically signed and registered certificate(s) of field verification and diagnostic testing (cF3r) shall be posted at the building signed and registered certificate(s) of field verification and diagnostic testing (cF3r) shall be posted at the building site by a certified hers rater. a registered cF3r will have a unique 25-digit registration number located at the bottom of each page. the first 20 digits of the number will match the registration number of the associated cI2r. certificate of occupancy will not be issued until cF3r is reviewed and approved.

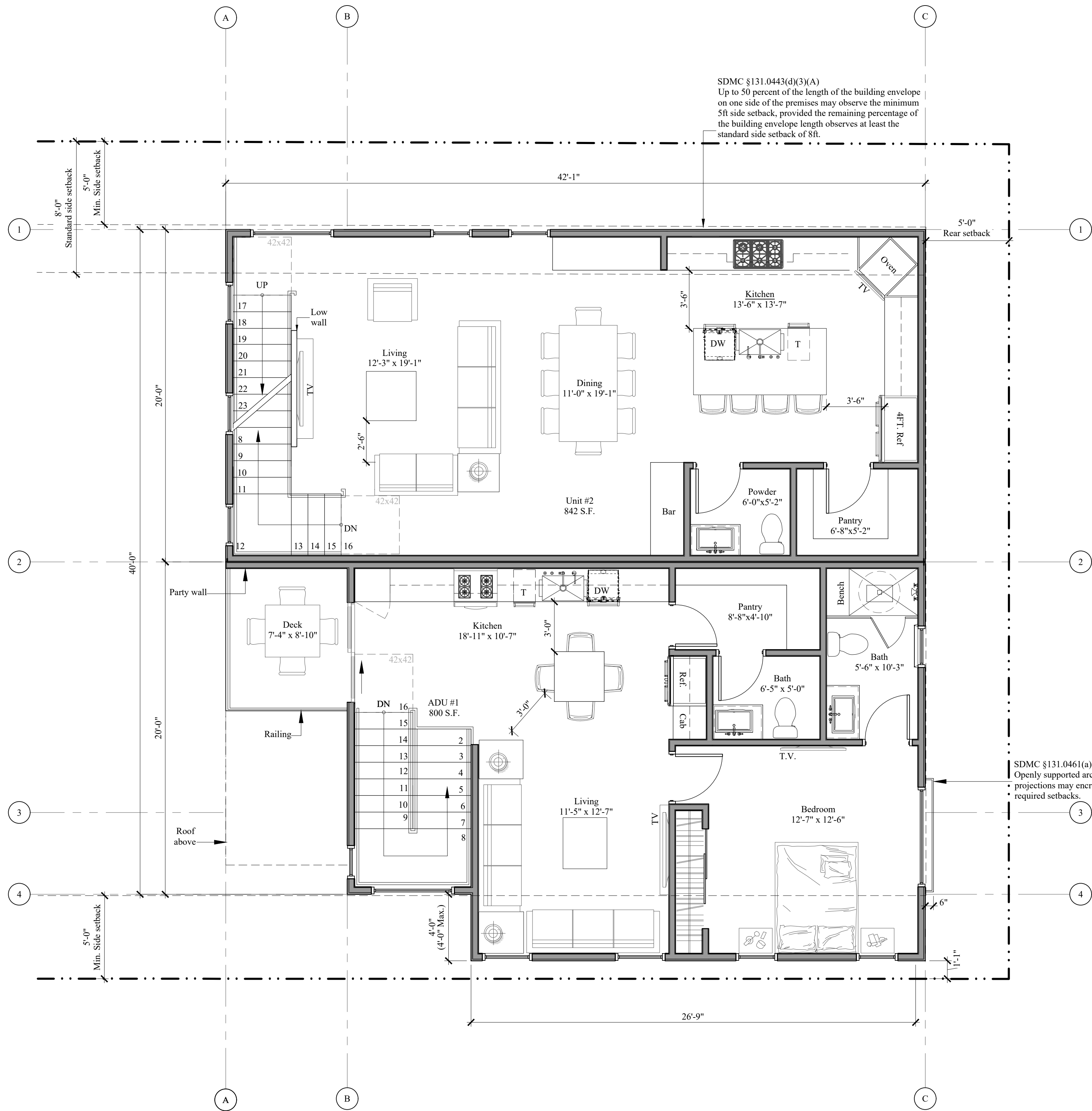
FLOOR PLAN LEGEND

- 2x6 New exterior wall - Gypsum interior and stucco exterior
 - 2x4 New interior wall - Gypsum each side
 - New door, installed 4" traditional jamb allowances from adjacent wall unless otherwise noted
 - Proposed structure dimension
- Exterior wall dimensions to face of stud/ftm. wall. Interior wall dimensions to center line of stud.

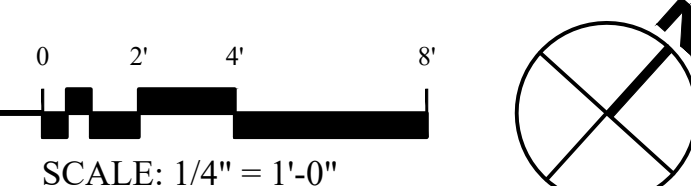
For additional project information see additional sheets.

G.F.A. Calculations

LOT = 7,140 S.F.	
.75 F.A.R. = 7,140 X .75 = 5,355 S.F.	
Existing house =	1,556 S.F. + 436 Addition
Unit #2 1st floor =	1,329 S.F. (including garages)
Unit #2 2nd floor =	842 S.F.
Unit #2 3rd floor =	1,156 S.F.
Cabana for Unit #2 =	36 S.F.
Total =	5,355 S.F.
ADU #1 1st floor =	150 S.F.
ADU #1 2nd floor =	800 S.F.
Total =	950 S.F.
TOTAL =	6,305 S.F.



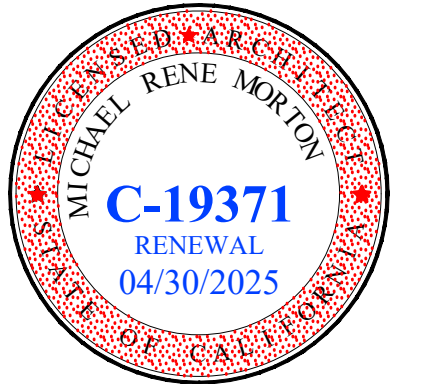
PROPOSED SECOND FLOOR PLAN
 (UNIT 2: 842 S.F.) (ADU #1 UNIT: 800 S.F.)





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EADS DEVELOPMENT

7443 Eads Avenue
La Jolla CA, 92037

REVISIONS
01/26/2022 PROJECT START



PHASE
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PROJECT NO. 2021-46

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DATE 02/08/2024

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SHEET TITLE
PROP. THIRD FLOOR PLAN (BACK HOUSE)

A025

FLOOR PLAN NOTES

- All dimensions shall be field verified. Any discrepancies affecting project layout shall be brought to the attention of the architect and the issues resolved prior to proceeding with the work in question.
- Refer to site plan for site and utility info.
- For door and windows see schedules on a-8.1
- Insulation: R-13 batt insulation at all new exterior 2x4 walls.
R-19 batt insulation at all new 2x6 exterior walls and raised floor areas
R-13 batt insulation at all accessible interior walls for sound control.
R-30 batt insulation at ceiling & roof areas.
R-4.5 insulation wrap on all new hot water piping.
R-4.5 insulation wrap on all new supply ducts.
- Smoke detectors: shall be installed in each bedroom and on access point to each sleeping area and on each story and basements. detector shall have an alarm audible in all sleeping areas of the unit. section 310.9.1.2. unit shall be permanently wired and equipped with battery backup. c.b.c. sec. 310.9.1.3.
- Attic/underfloor installation must comply with sections 904, 908, and 909 of the California mechanical code (cmc)
- Provide 5 air changes per hour for bathroom and laundry room ventilation.
- All abs and pvc piping and fittings shall be enclosed within walls and floors covered with type x gypsum board or similar assemblies that provide the same level of fire protection. protection of membrane penetrations is not required.
- Whole building ventilation: indoor air quality exhaust fan with ventilation rate of 120 cfm.
- Ducts in the garage and ducts penetrating the walls or ceilings separating the dwelling from the garage shall be constructed of minimum no.26 gauge sheet steel or other approved material and shall have no opening into the garage.
- Showers compartment & bathtubs w/ installed showerheads shall be finished w/ a non-absorbent surface that extends to a height not less than 6 ft above flr. cfc r307.2
- Water meters for combined domestic water & fire sprinkler systems shall not be installed until the fire sprinkler system has been submitted and approved by the bldg official
- All plumbing fixtures and fittings will be water conserving
- Outdoor shower drains and sinks are not permitted to connect to the public sewer system unless equipped with an approved cover. hot and water connections allowed.
- During construction, at least one extinguisher shall be provided on each floor level at each stairway, in all storage and construction sheds, in locations where flammable or combustible liquids are stored or used, and where other special hazards are present per cfc section 3315.1
- Buildings undergoing construction, alteration or demolition shall conform to cfc chapter 33. welding, cutting and other hot work shall be in conformance with cfc chapter 35.
- Address identification shall be provided for all new and existing buildings in a location that is plainly visible and legible from the street or road fronting the property, where access is by way of a private road and the building address can not be viewed from the public way, an approved sign or means shall be used to identify the structure. premises identification shall conform to cbc section 501.2.
- Wall, floor and ceiling finishes and materials shall not exceed the interior finish classifications in cbc table 803.11 and shall meet the flame propagation performance criteria of the California code of regulations, title 19, division 1. decorative materials shall be properly treated by a product or process approved by the state fire marshal with appropriate documentation provided to the city of san diego.
- All luminaires shall be high efficacy and shall have a manual on/off in addition to a vacancy sensor or dimmer.

HERS NOTES

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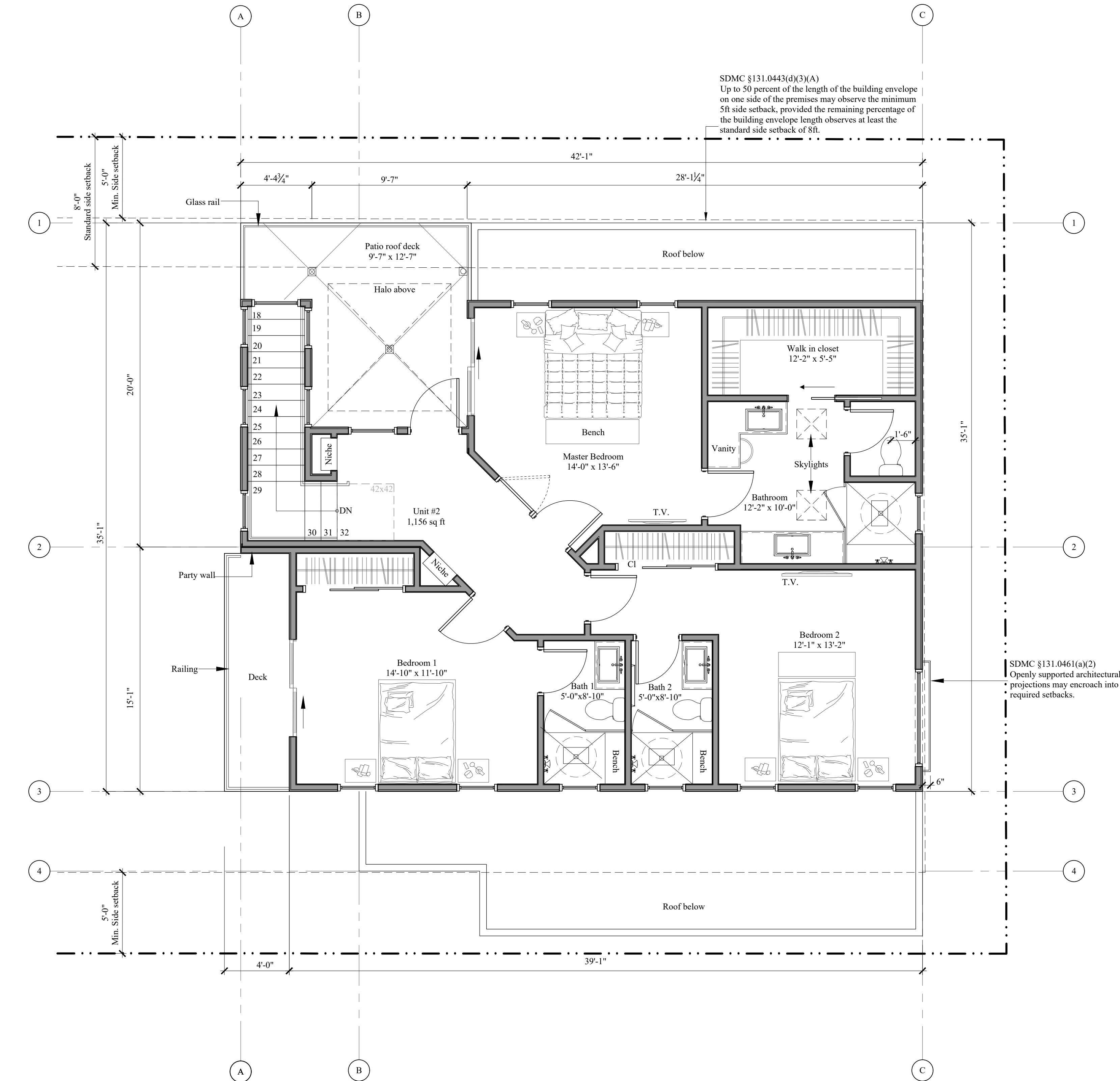
FLOOR PLAN LEGEND

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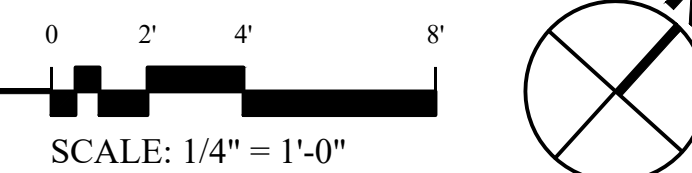
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G.F.A. Calculations

LOT = 7,140 S.F.	
.75 F.A.R. = 7,140 X .75 = 5,355 S.F.	
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ADU #1 1st floor =	150 S.F.
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Total =	950 S.F.
TOTAL =	6,305 S.F.



PROPOSED THIRD FLOOR PLAN
(UNIT 2: 1,156 S.F. @ SECOND FLOOR)





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EADS DEVELOPMENT

7443 Eads Avenue
 La Jolla CA, 92037

REVISIONS	PROJECT START
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SHEET TITLE
 ROOF PLAN

A041

STORM DRAINAGE NOTES

1. THE PRIMARY STORM DRAINAGE SYSTEM SHALL CONNECT TO THE BUILDING STORM WATER THAT CONNECTS TO AN UNDERGROUND PUBLIC STORM SEWER
2. THE SECONDARY ROOF DRAINAGE SYSTEM SHALL DISCHARGE ABOVE GRADE, IN A LOCATION OBSERVABLE BY THE BUILDING OCCUPANTS OR MAINTENANCE PERSONNEL

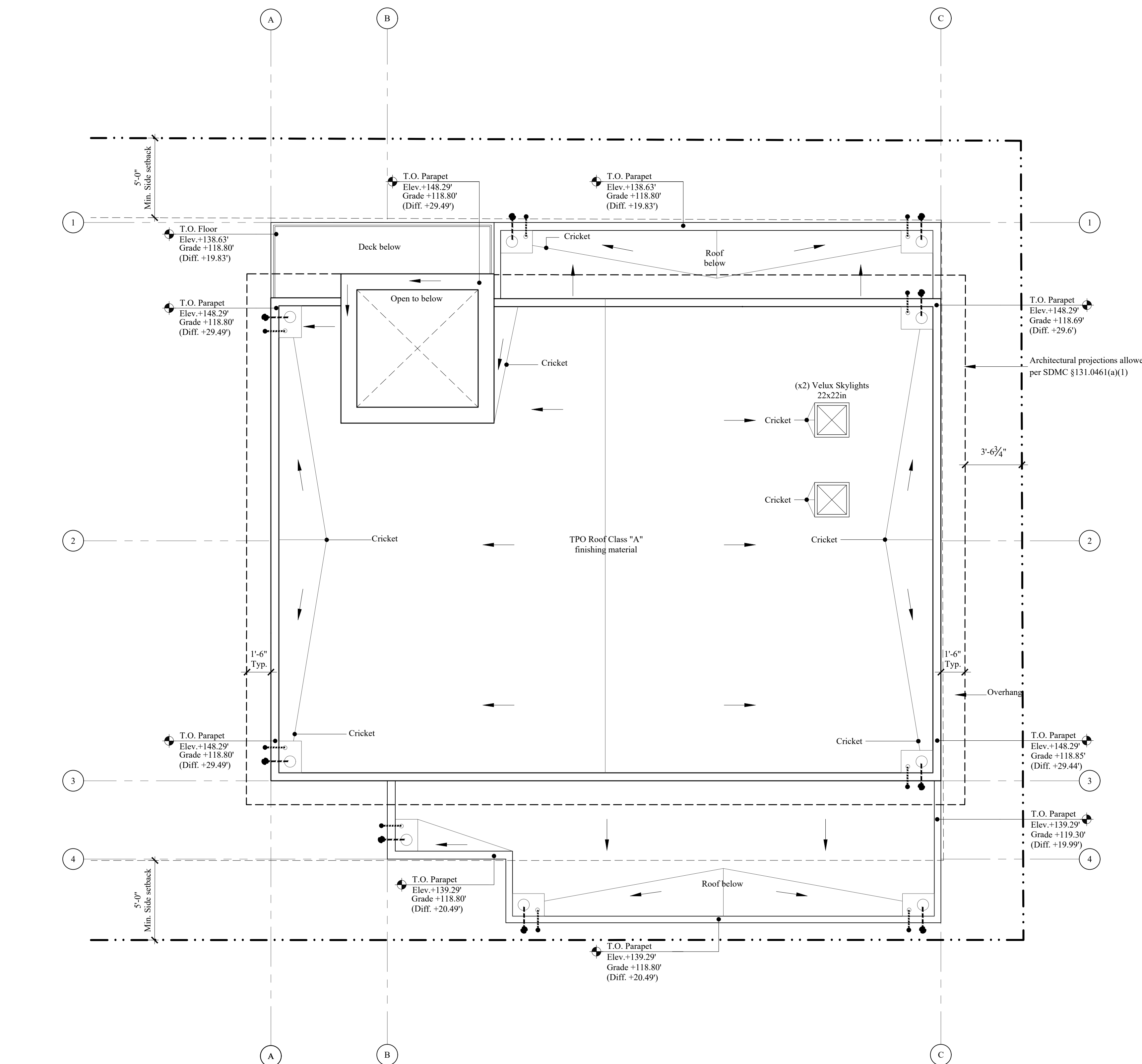
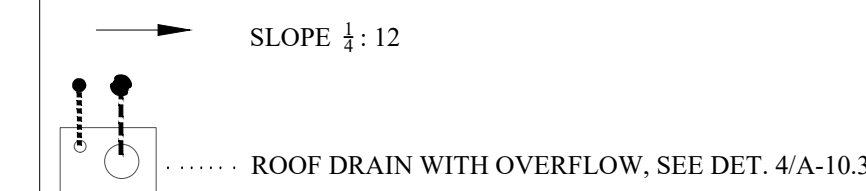
HEIGHT NOTES

1. THE HIGHEST POINT OF THE ROOF, EQUIPMENT, OR ANY VENT, PIPE, ANTENNA OR OTHER PROJECTION, SHALL NOT EXCEED 30' ABOVE GRADE.
2. NO PORTION OF THE PROPOSED STRUCTURE WILL EXCEED THE EXISTING BUILDING HEIGHT, PROPOSED HEIGHT TO BE FIELD VERIFIED TO ENSURE COMPLIANCE

ROOF NOTES

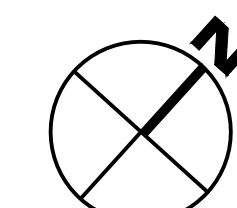
1. **ROOFING UNDERLAYMENT SLOPE 3:12 OR LESS: "ICE AND WATER SHIELD"** BY W.R. GRACE, ESR-1677, OR "WINTER GUARD HT" BY CERTAIN TEED CORP. ESR-1492 (OR ARCHITECT APPROVED EQUAL). INSTALL PER MANUFACTURER'S INSTRUCTIONS. INSTALL A #40 FIBERGLASS REINFORCED FELT SHEET OVER ROOF MEMBRANE.
2. **COUNTER-SLOPES:** 1/4" PER 12" (MINIMUM) TOWARDS DRAINS CREATED USING G-26 (LATEX - CEMENT) FLOORING UNDERLAYMENT BY CROSSFIELD PRODUCTS CORP.
3. **ROOF EDGE DRIP, METAL FLASHING, PANEL CLIPS AND COUNTER FLASHING:** ALL EXTERIOR FLASHING TO BE 16 OZ COPPER UNLESS OTHERWISE NOTED. SOLDER OR SEAL ALL SEAMS. HEM ALL EXPOSED EDGES.
4. **BUILT-UP ROOFING SYSTEM:** BY GAF, GAFGLAS 4-PLY HOT MOPPED MODIFIED BITUMEN MINERAL SURFACED ROOFING SYSTEM. PROVED A 1/4" PER FOOT MINIMUM ROOF SLOPE. INSTALL PER MANUFACTURER'S INSTRUCTION. ROOFING SYSTEM SHALL HAVE A MINIMUM 10 YEAR LABOR AND MATERIAL WARRANTY. PER SPECIFICATION DIVISION 7.1, SECTION G FOR FLASHING. "SPRINGLOK" FLASHING SYSTEM, TYPE STX, BY FRY REGLET CORP. MATERIAL 26 GA. PROVIDE "WINDLOK" CLIPS AND PREFABRICATED MITERED CORNER SECTIONS. INSTALL PER MANUFACTURER'S SPECIFICATIONS. **ROOFING SYSTEM SHALL BE A UL CLASS "A" RATED. ICC REPORT U.L. E8136-02.**
5. **PLUMBING VENTS:** ABS PLASTIC TO BE FLASHED WITH CHARLISLE-SYNTEC TPO PRE-MOLDED PIPE FLASHING.
6. **PARAPET, TRANSITIONS AND OTHER HORIZONTAL STUCCO SURFACE WATERPROOFING:** MEMBRANE WATERPROOFING SHALL BE JIFFY SEAL 140-60 BY PROTECTO WRAP. EXTEND MEMBRANE A MINIMUM OF 6" BELOW EDGE OF PARAPET, EACH SIDE. PROVIDE A MINIMUM END LAP OF 4" OVER ADJOINING MEMBRANE SHEETS. WHERE MEMBRANE ABUTS VERTICAL SURFACES, THE MEMBRANE SHALL EXTEND 6" UP SURFACE, AND BE OVERLAPPED BY BUILDING WRAP, ESR-1127.
7. **ROOF DRAIN:** ROOF DRAIN SHALL BE TPO RD2NH - 2" TPO-CLAD NO-HUB BOTTOM OUTLET DRAIN BY THUNDERBIRD PRODUCTS WITH A.B.S. DOME STRAINER. TELEPHONE (800) 658-2473. PROVIDE 3" I.D. ABS DRAIN LINES WITH MIN 1/4" SLOPE. CONNECT TO BUILDING STORM WATER.
8. **FIREPLACE VENT:** FIREPLACE VENT SHALL BE TYPE B STAINLESS STEEL AS REQUIRED BY FIREPLACE MANUFACTURER. MINIMUM SIZE MESH IN SPARK ARRESTOR SHALL BE 1/2". MESH SHALL BE STAINLESS STEEL OR COPPER.
9. **ROOF VENT:** TPO PRE-MOLDED ROOF VENTING SEE DETAIL 6/A-10.4.1
10. **CLAY TILE ROOFING:** ROOFING SHALL BE TWO-Piece MISSION TILE TO BE "CARMEL BLEND BY US TILE, ESR-1017. PROVIDE A 3"x3" SAMPLE OF MOCK OF TALE PATTERN AND COLOR FOR OWNER AND ARCHITECTS APPROVAL PRIOR TO ORDERING MATERIAL. INSTALL WITH RANDOM EXPOSURE PATTERN. PROVIDE 20% RANDOM FIELD BOOSTERS. INSTALL PER MANUFACTURER'S INSTRUCTIONS OVER 40# ROOFING FELT UNDERLAYMENT AT ROOF WITH A MINIMUM OF 3 TO 12 SLOPE. ALL ROOFING MATERIALS SHALL BE CLASS "A".
11. **ROOF GUTTERS:** SHALL BE PROVIDED WITH THE MEANS TO PREVENT THE ACCUMULATION OF LEAVES AND DEBRIS IN THE GUTTER. ALL ROOF GUTTERS AND DOWNSPOUTS SHALL BE CONSTRUCTED OF NON-COMBUSTIBLE MATERIALS.
12. **DRIP EDGE FLASHING:** USED AT THE FREE EDGES OF ROOFING MATERIALS SHALL BE NON-COMBUSTIBLE.
13. **VALLEY FLASHINGS:** SHALL BE NOT LESS THAN 0.019" (#26 COPPER GAUGE) CORROSION-RESISTANT METAL INSTALLED OVER A MIN. 36"-WIDE UNDERLAYMENT CONSISTING OF ONE LAYER OF NO. 72 ASTM CAP SHEET RUNNING THE FULL LENGTH OF THE VALLEY.
14. **TURBINE ATTIC VENTS:** SHALL BE EQUIPPED TO ALLOW ONE-WAY DIRECTION ROTATION ONLY AND SHALL NOT FREE SPIN IN BOTH DIRECTIONS.
15. **ENCLOSED RAFTER ASSEMBLIES:** NOT REQUIRED TO BE VENTED PER CRC R806.5.
16. **THE ENTIRE ROOF SHALL BE COVERED WITH A FIRE-RETARDANT ROOF COVERING THAT IS AT LEAST CLASS 'A' WHEN THE AREA OF THE ADDITION TO THE EXISTING BUILDING IS MORE THAN TWENTY-FIVE PERCENT (25%) OF THE ORIGINAL FLOOR AREA OF THE BUILDING [SDMC 149.0902(A)(2)].**

ROOF LEGEND



PROPOSED ROOF PLAN

0 2' 4' 8'
 SCALE: 1/4" = 1'-0"





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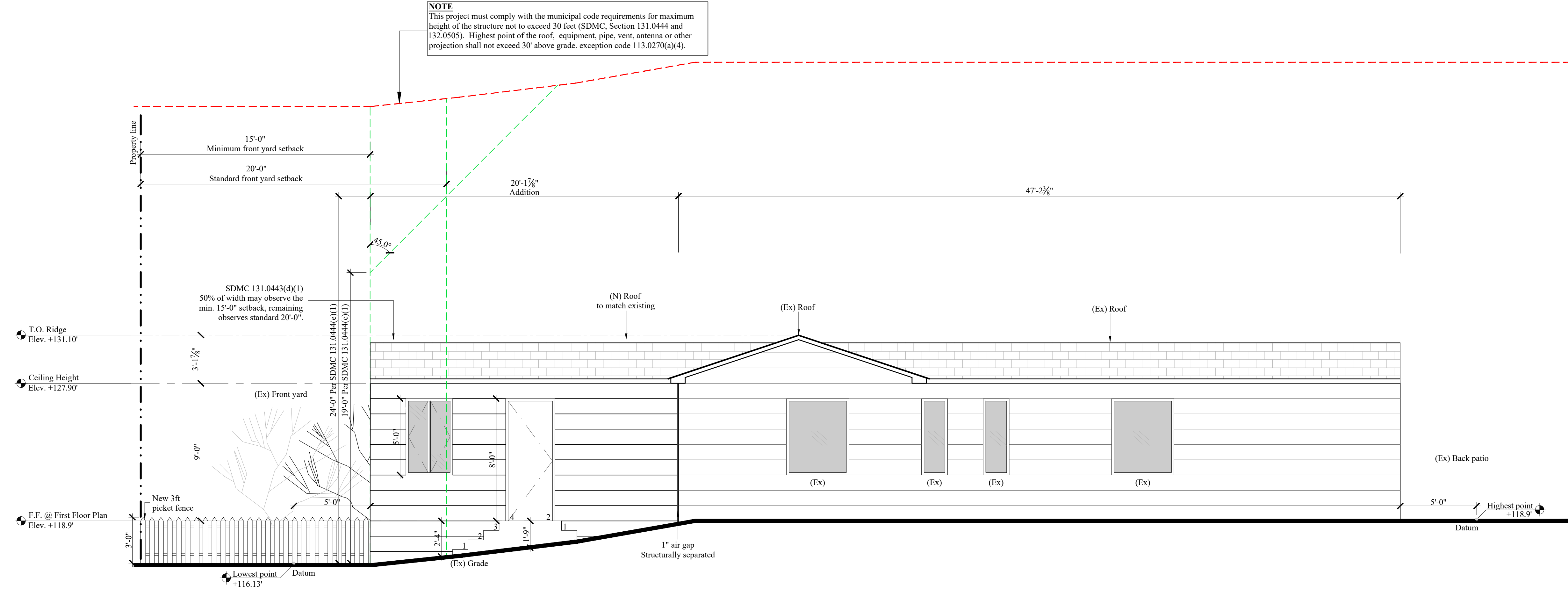
EADS DEVELOPMENT

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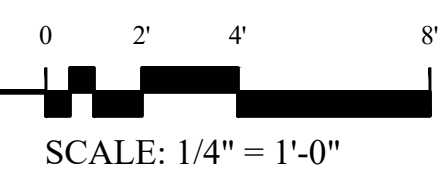
ELEVATION NOTES

- A. All dimensions shall be field verified. Any discrepancies affecting project layout shall be brought to the attention of the architect and the issues resolved prior to proceeding with the work in question.
- B. Refer to site plan for site and utility information.
- C. Refer to Sheet A060 and A061 for building sections.
- D. For door and windows see schedules on sheet A080 and A081. All windows required for emergency exiting per C.B.C. shall be verified by the window subcontractor, and the architect shall be notified immediately if any revisions to window sizes are required prior to start of construction.
- E. Install plaster control joints per manufacturer's instructions. If joints are not shown, see sheet sp-2 div. 09-200 3b criteria with the approval of the architect for locations.
- F. A pre-construction inspection is required due to the height of the proposed structure being within two foot of the maximum height allowed in the coastal height limit overlay zone (proposition d). pre-construction inspection must be scheduled and cleared by the field inspector before any subsequent inspections can be scheduled.

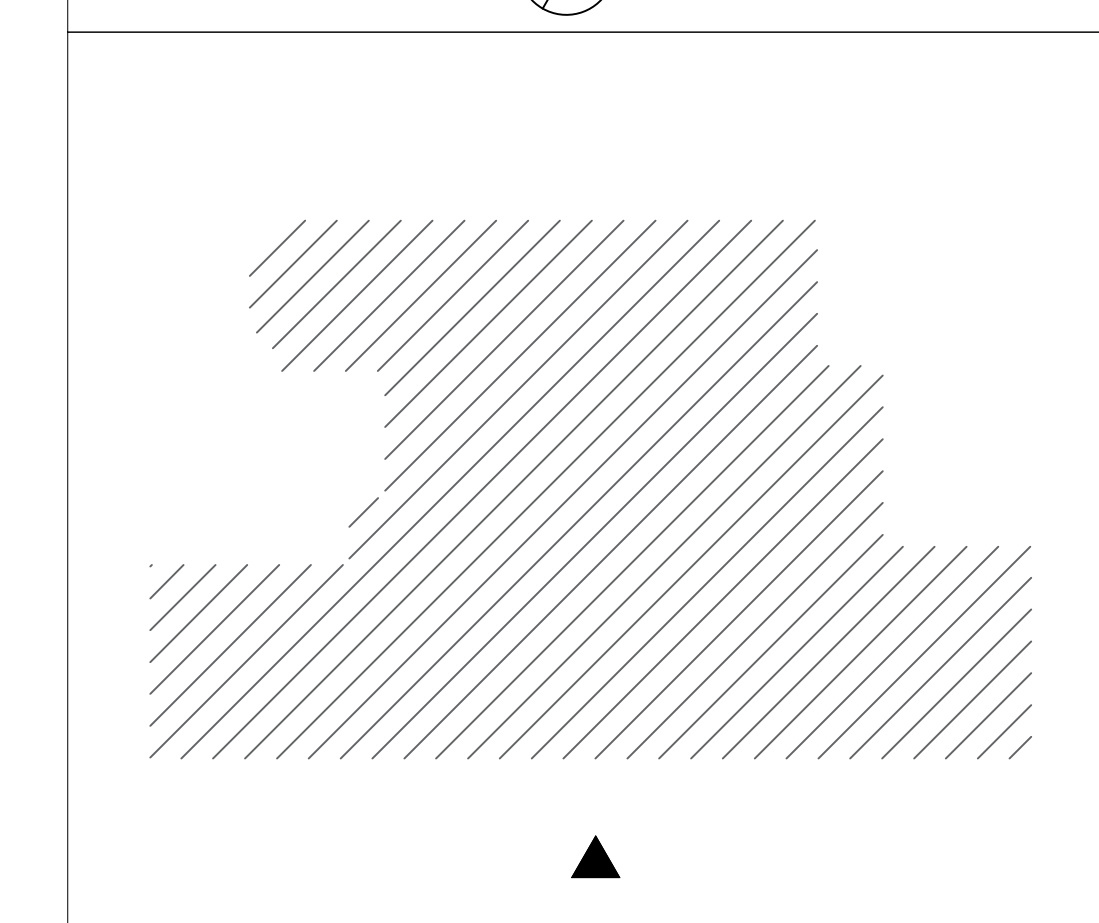
NOTE
This project must comply with the municipal code requirements for maximum height of the structure not to exceed 30 feet (SDMC, Section 131.0444 and 132.0505). Highest point of the roof, equipment, pipe, vent, antenna or other projection shall not exceed 30' above grade, exception code 113.0270(a)(4).



PROPOSED SOUTH ELEVATION - EXISTING HOME - SIDE VIEW



KEY PLAN



REVISIONS	
01/26/2022	PROJECT START



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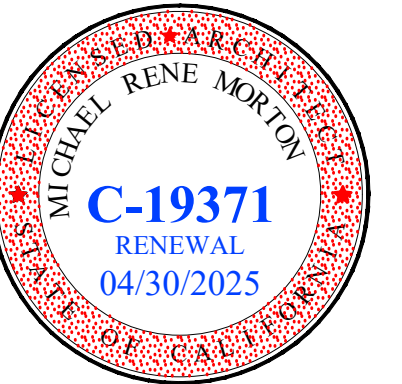
SHEET TITLE
PROPOSED EXTERIOR ELEVATION

A050



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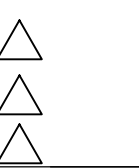


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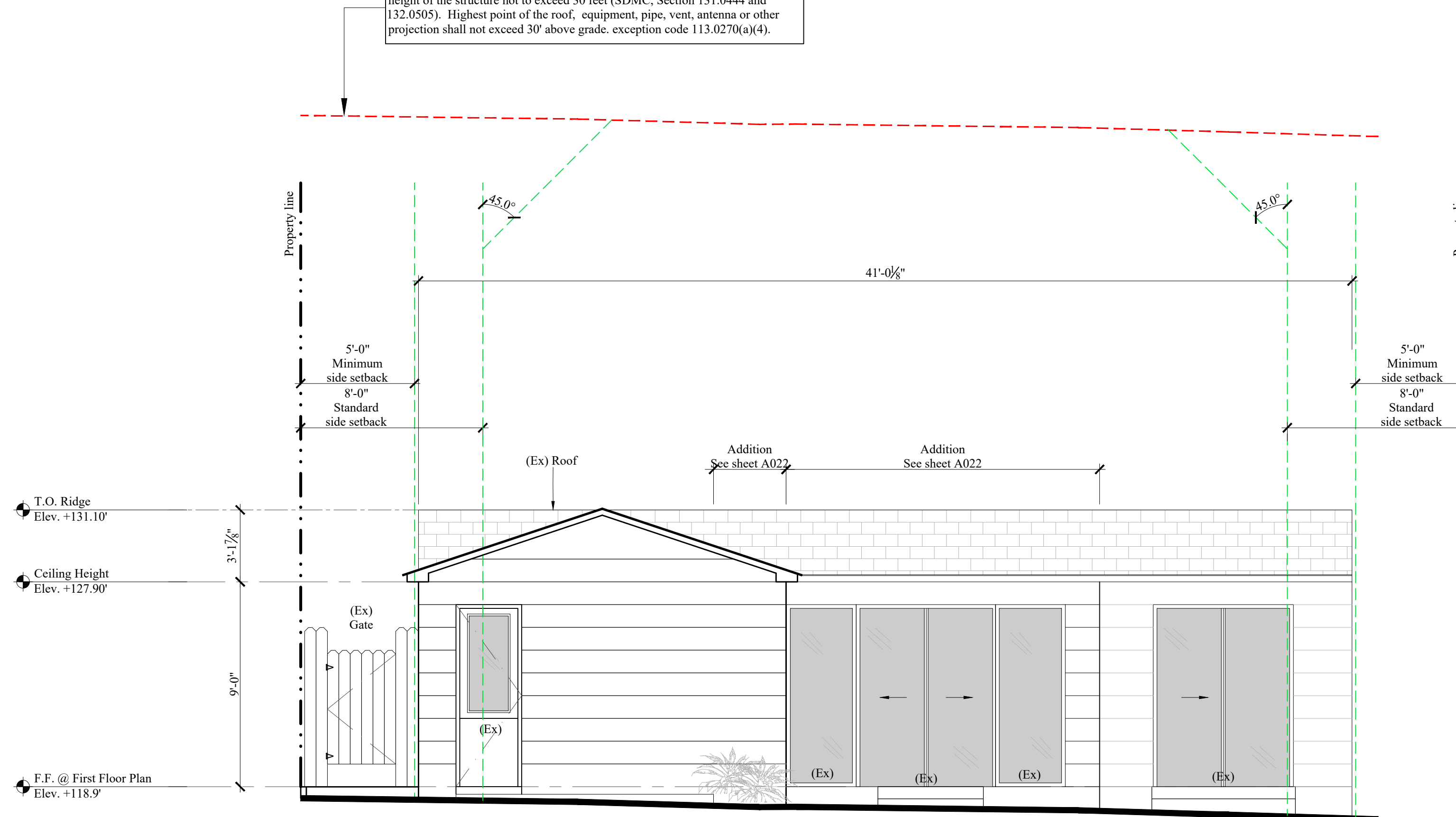
SHEET TITLE
PROPOSED EXTERIOR ELEVATION

A051

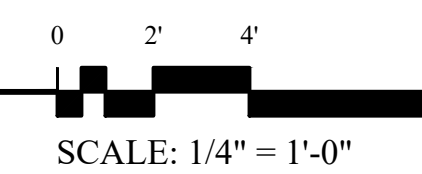
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- c. Refer to Sheet A060 and A061 for building sections.
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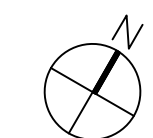
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PROPOSED EAST ELEVATION - EXISTING HOME - REAR VIEW

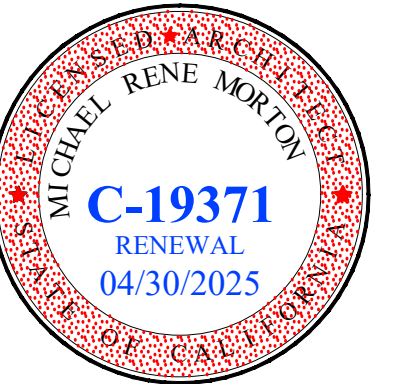


KEY PLAN





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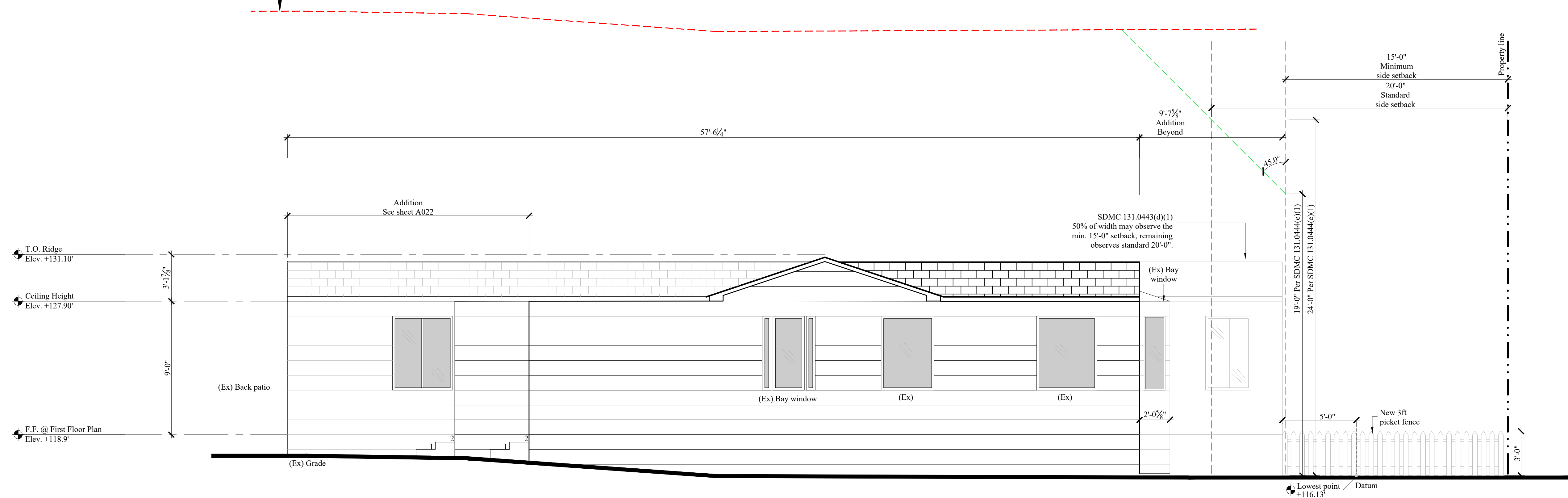
SHEET TITLE
 PROPOSED EXTERIOR ELEVATION

A052

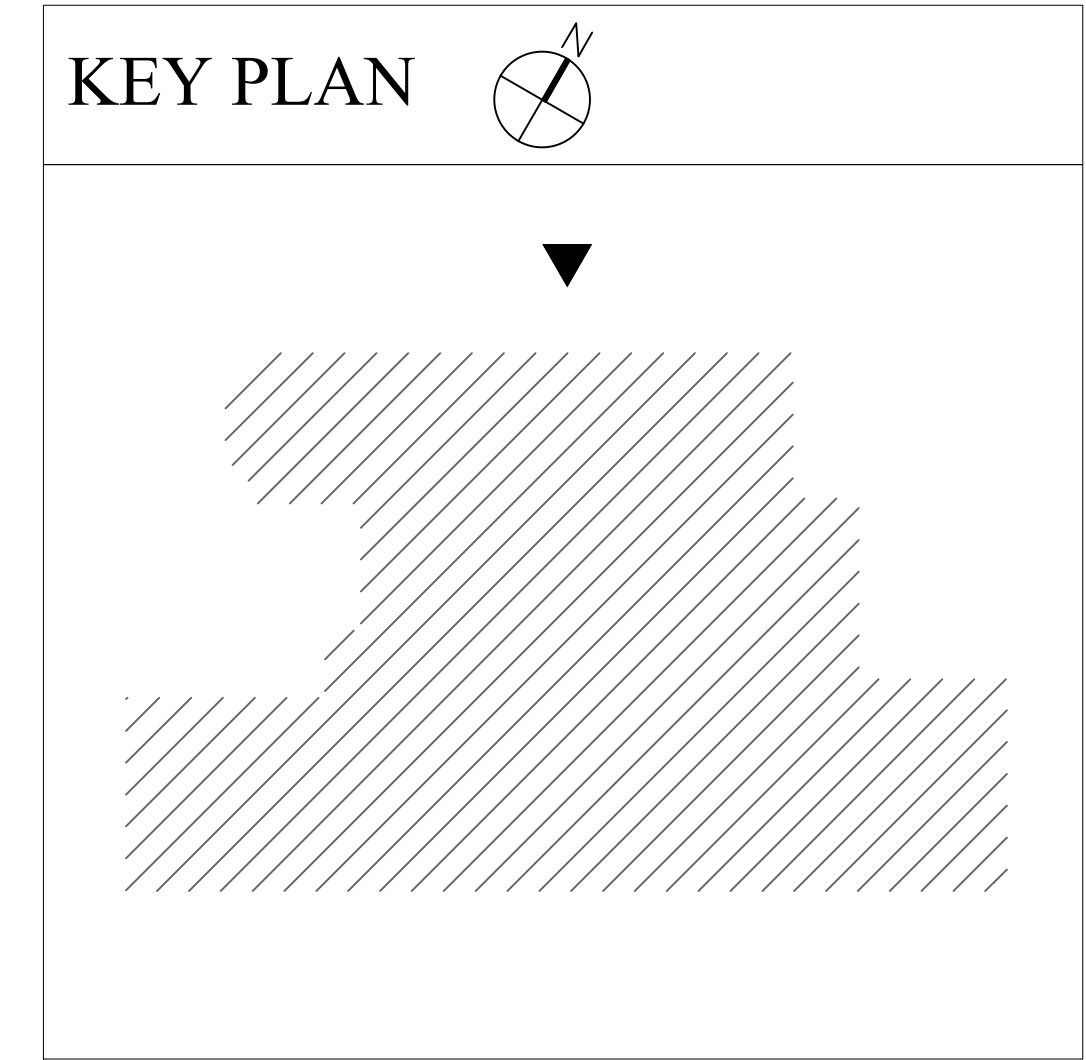
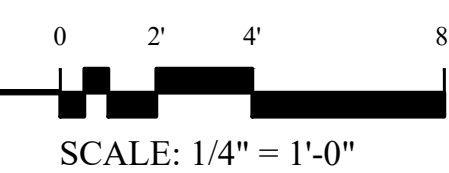
ELEVATION NOTES

- A. All dimensions shall be field verified. Any discrepancies affecting project layout shall be brought to the attention of the architect and the issues resolved prior to proceeding with the work in question.
- B. Refer to site plan for site and utility information.
- C. Refer to Sheet A060 and A061 for building sections.
- D. For door and windows see schedules on sheet A080 and A081. All windows required for emergency exiting per C.B.C. shall be verified by the window subcontractor, and the architect shall be notified immediately if any revisions to window sizes are required prior to start of construction.
- E. Install plaster control joints per manufacturer's instructions. If joints are not shown, see sheet sp-2 div. 09-200 3b criteria with the approval of the architect for locations.
- F. A pre-construction inspection is required due to the height of the proposed structure being within two foot of the maximum height allowed in the coastal height limit overlay zone (proposition d). pre-construction inspection must be scheduled and cleared by the field inspector before any subsequent inspections can be scheduled.

NOTE
 This project must comply with the municipal code requirements for maximum height of the structure not to exceed 30 feet (SDMC, Section 131.0444 and 132.0505). Highest point of the roof, equipment, pipe, vent, antenna or other projection shall not exceed 30' above grade. exception code 113.0270(a)(4).



PROPOSED NORTH ELEVATION - EXISTING HOME - SIDE VIEW



S:\Projects\2021\Projects\2021-46\7443 Eads\Condos\4-Agency\Civil\Package\Meeting\Arch\Meeting\DWG\and PDF\Sheets\A052-A053 PROPOSED ELEVATIONS - Front House.dwg Feb 08, 2024 11:26am



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EADS DEVELOPMENT

7443 Eads Avenue
La Jolla CA, 92037

REVISIONS	PROJECT START
01/26/2022	



PHASE
FEASIBILITY PHASE

PROJECT NO. 2021-46

REVIEWED BY CAM

DRAWN BY AP

DATE 02/08/2024

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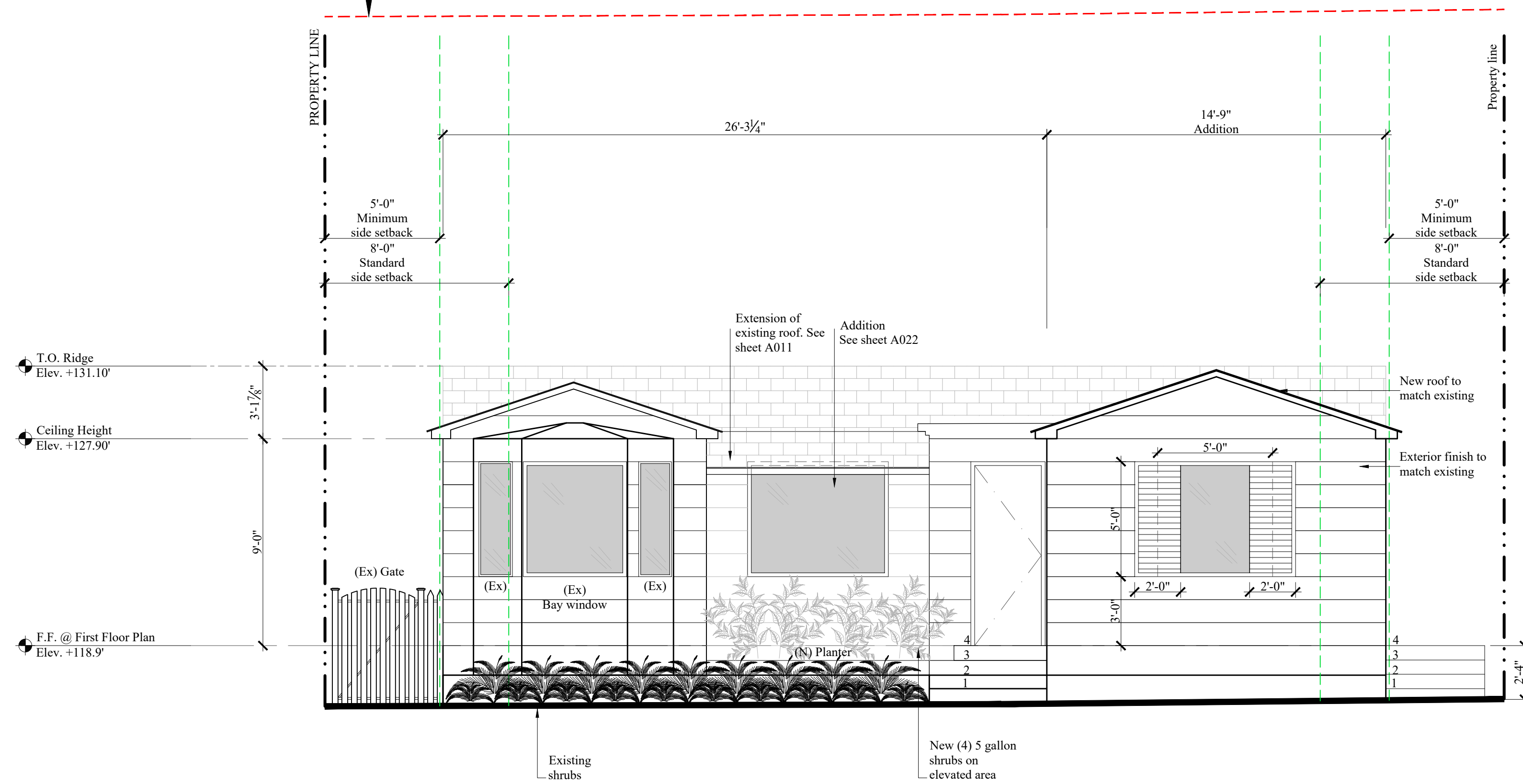
SHEET TITLE
PROPOSED
EXTERIOR ELEVATION

A053

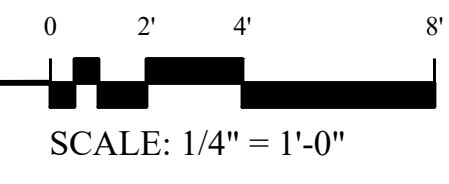
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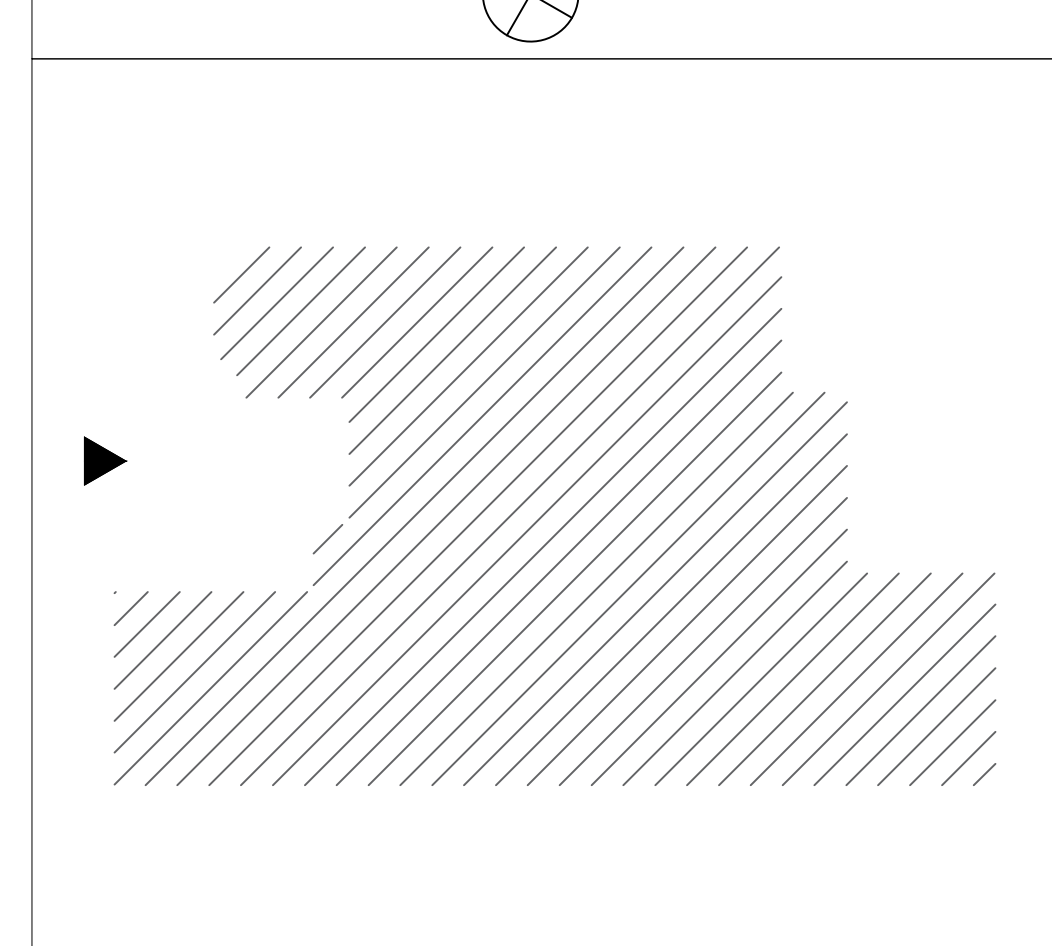
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PROPOSED WEST ELEVATION - EXISTING HOME - FRONT VIEW



KEY PLAN





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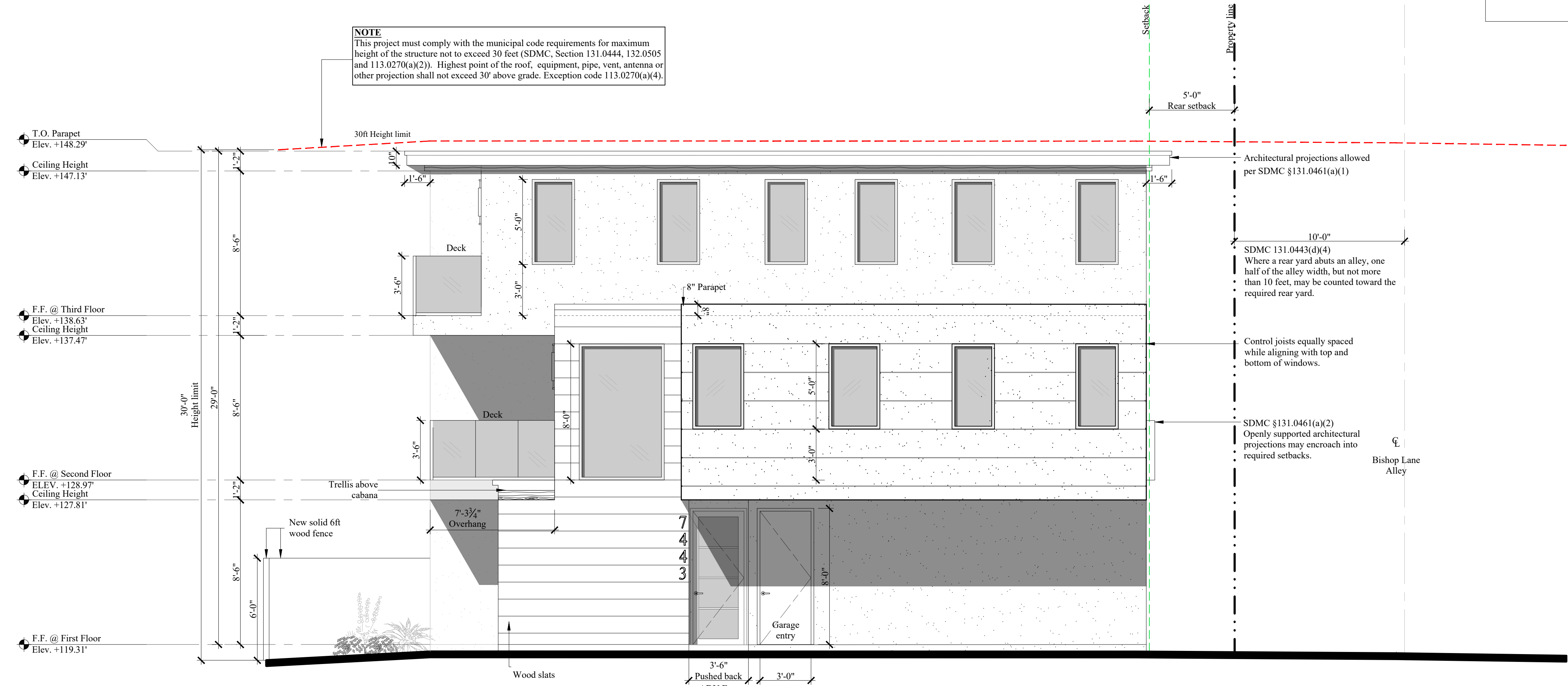
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EADS DEVELOPMENT

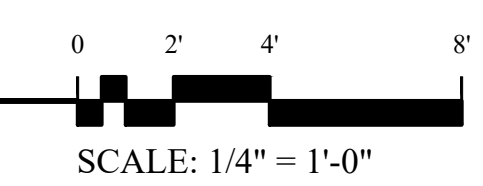
7443 Eads Avenue
La Jolla CA, 92037

ELEVATION NOTES

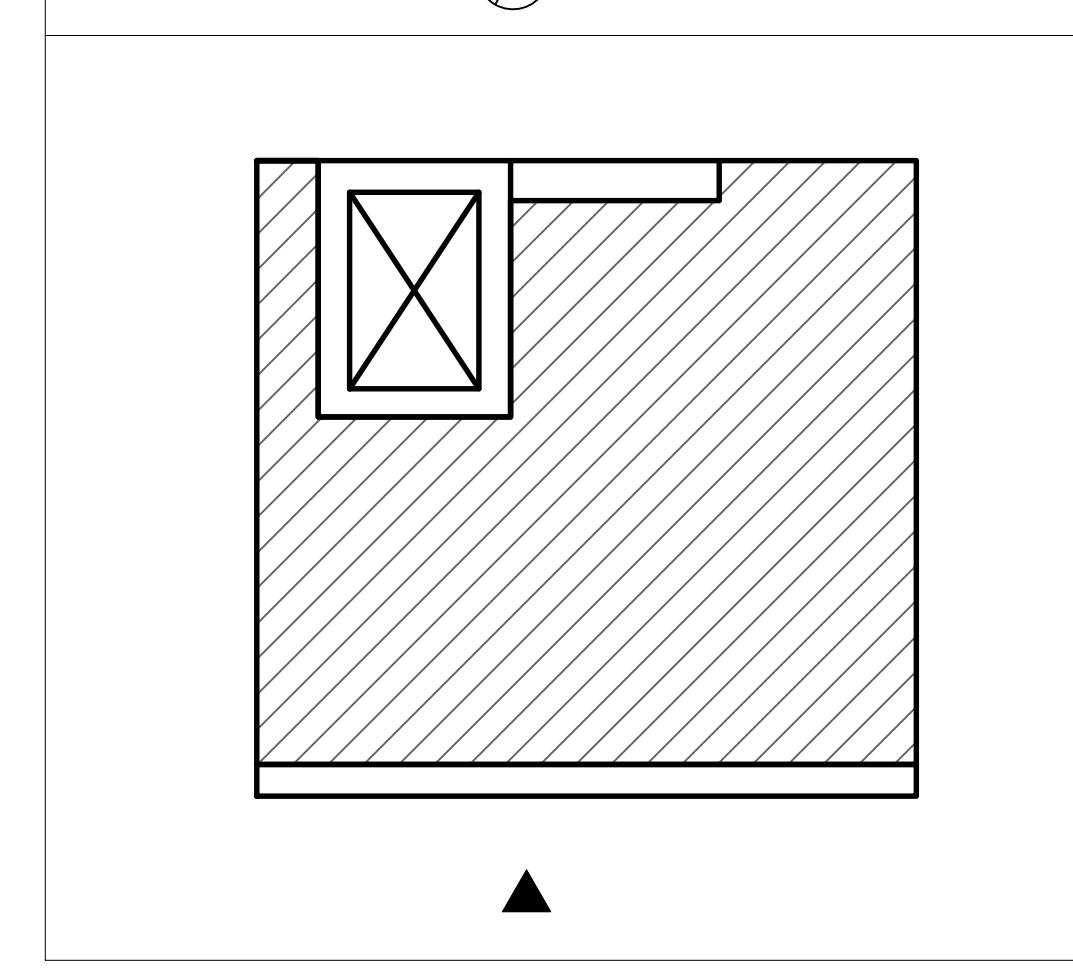
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PROPOSED SOUTH ELEVATION - NEW BUILDING - SIDE VIEW



KEY PLAN



REVISIONS	PROJECT START
01/26/2022	
△	
△	
△	
PHASE	FEASIBILITY PHASE
PROJECT NO.	2021-46
REVIEWED BY	CAM
DRAWN BY	AP
DATE	02/08/2024
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SHEET TITLE	PROPOSED EXTERIOR ELEVATION
A054	

S:\Projects\2021\Projects\2021-46\7443 Eads\Drawings\Agency\Coastal Package\Hearing Meeting\Architectural\Hearing\DWG's and PDF's\Sheets\A054-A057 PROPOSED ELEVATIONS - Back House.dwg Feb 08, 2024 - 11:28am

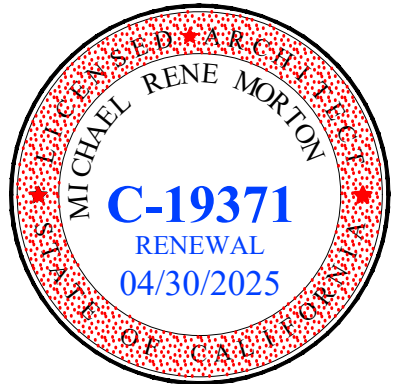
ELEVATION NOTES

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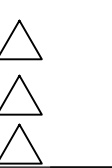


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EADS DEVELOPMENT

7443 Eads Avenue
La Jolla CA, 92037

REVISIONS	PROJECT START
01/26/2022	



PHASE
FEASIBILITY PHASE

PROJECT NO. 2021-46

REVIEWED BY CAM

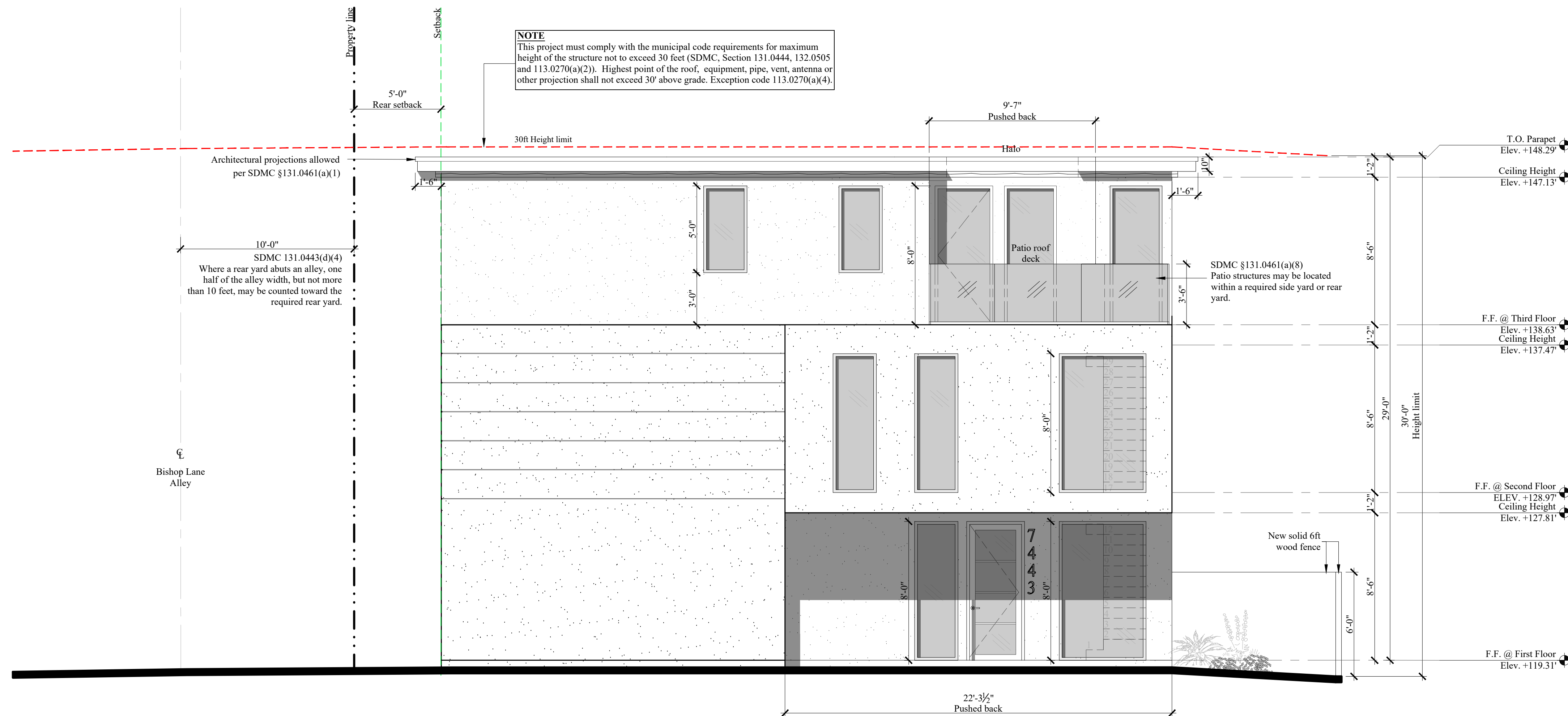
DRAWN BY AP

DATE 02/08/2024

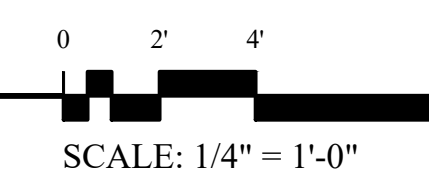
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SHEET TITLE
PROPOSED
EXTERIOR ELEVATION

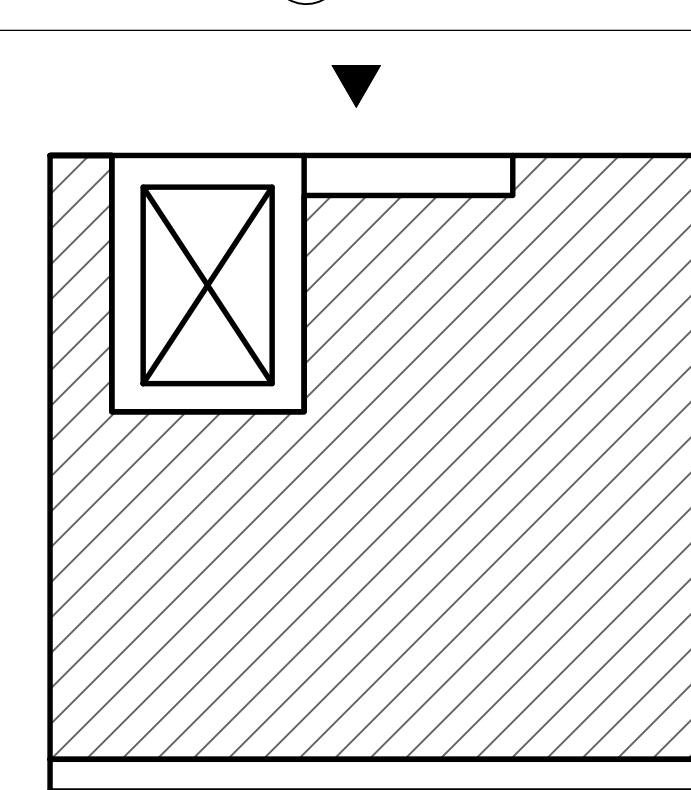
A055



PROPOSED NORTH ELEVATION - NEW BUILDING - SIDE VIEW

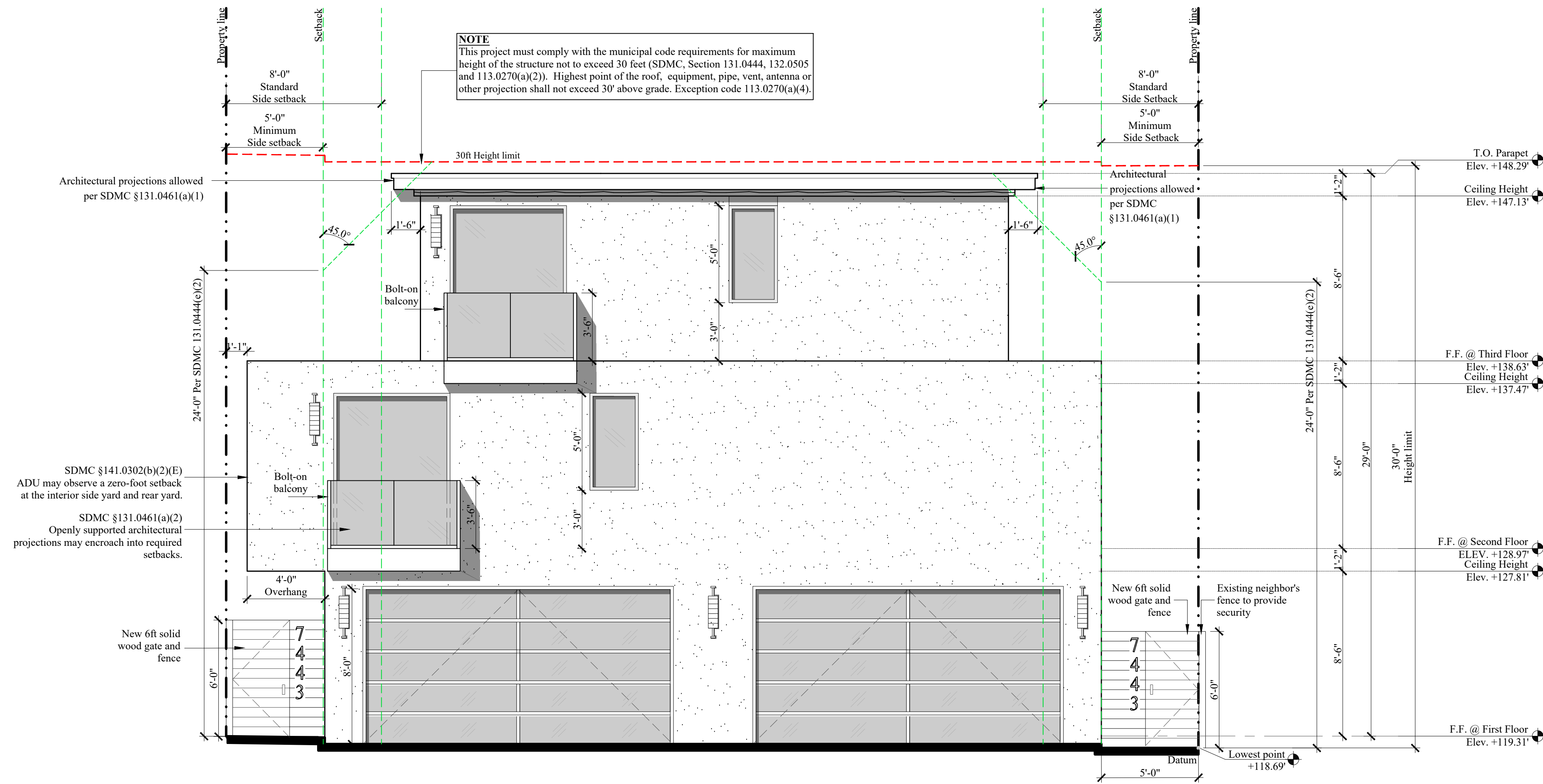


KEY PLAN

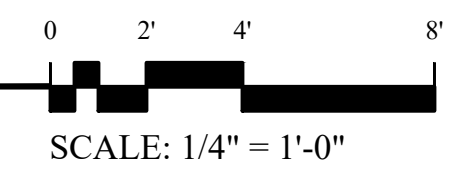


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PROPOSED EAST ELEVATION - NEW BUILDING - REAR VIEW



KEY PLAN



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EADS DEVELOPMENT
 7443 Eads Avenue
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REVISIONS	PROJECT START
01/26/2022	



PHASE
FEASIBILITY PHASE

PROJECT NO. 2021-46

REVIEWED BY **CAM**

DRAWN BY **AP**

DATE **02/08/2024**

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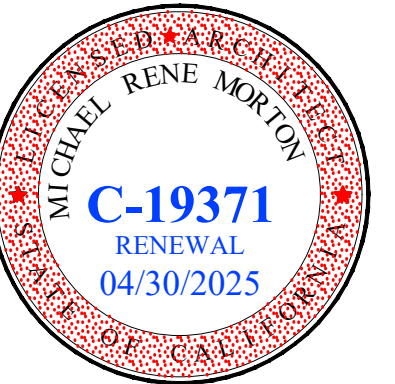
SHEET TITLE **PROPOSED EXTERIOR ELEVATION**

A056



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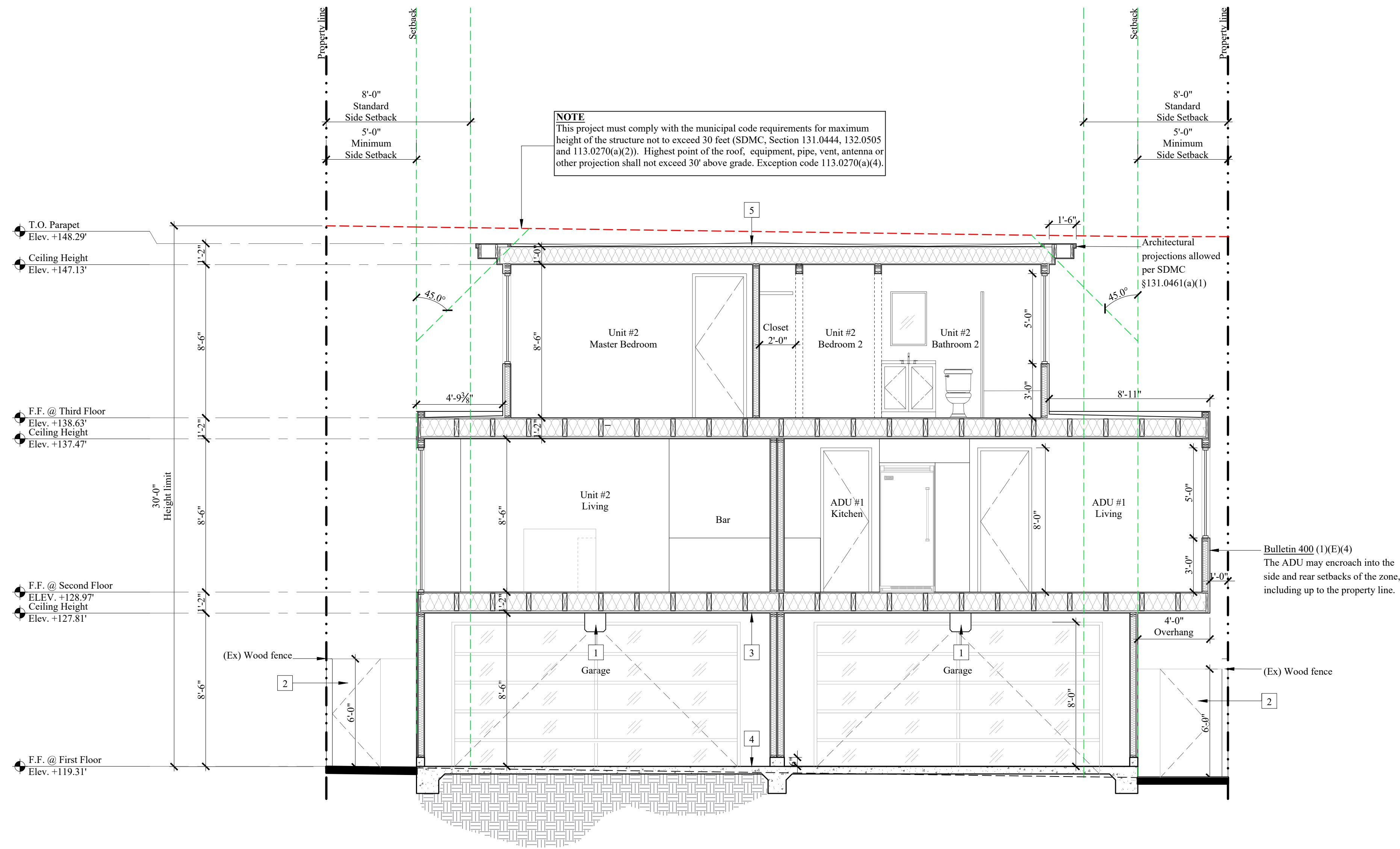


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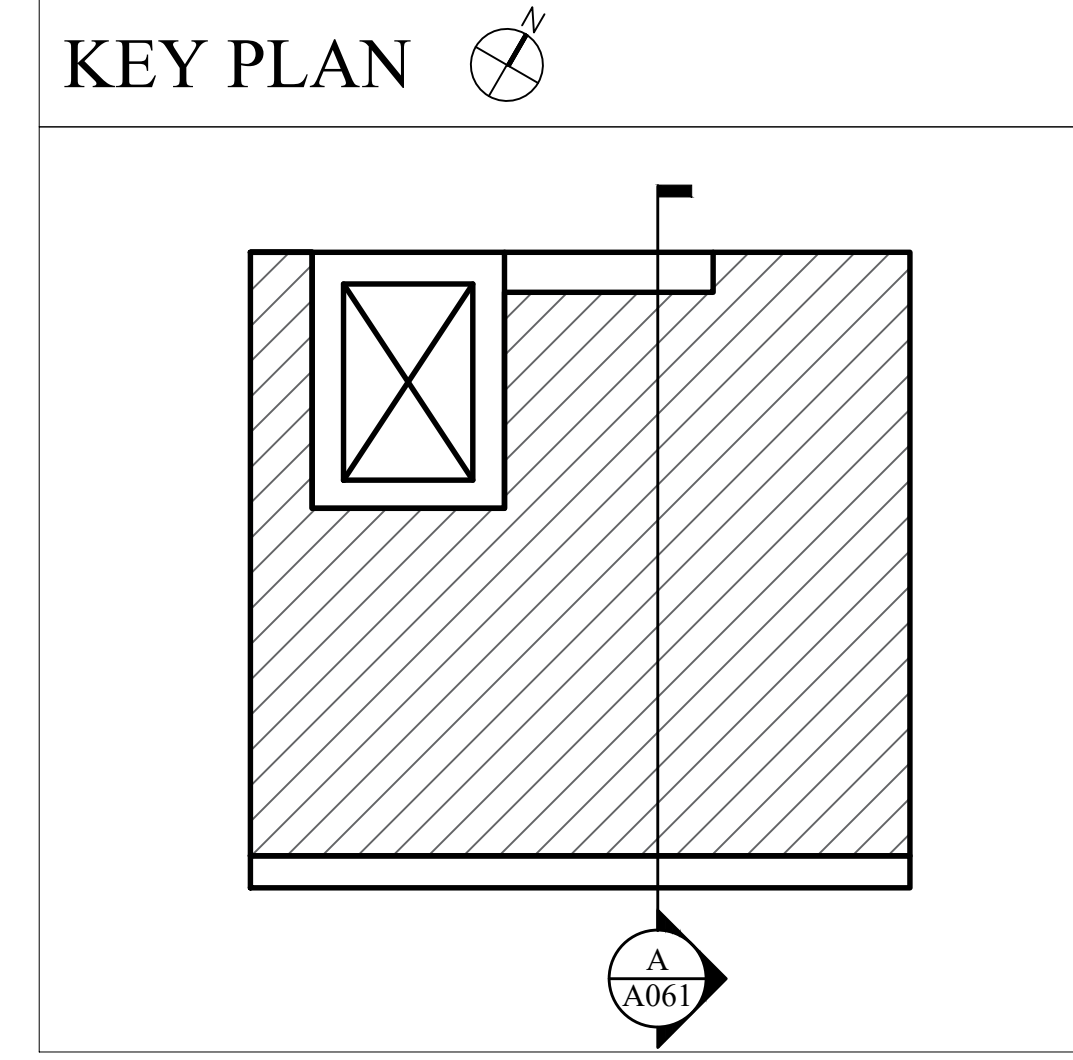
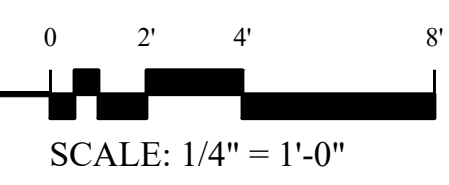
EADS DEVELOPMENT

7443 Eads Avenue
La Jolla CA, 92037

KEY NOTES	
1	Garage door opener motor
2	New gate - Open 75%
3	1hr. Fire rating 5/8" drywall
4	1/8":12" Slope towards alley
5	TPO Roofing Class "A" with gravel



A PROPOSED BUILDING SECTION



REVISIONS	
01/26/2022	PROJECT START

△	PHASE
△	FEASIBILITY PHASE
△	PROJECT NO. 2021-46
△	REVIEWED BY CAM
△	DRAWN BY AP
△	DATE 02/08/2024

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SHEET TITLE	PROPOSED BUILDING SECTION
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A061



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 Michael Morton AIA
 Claude Anthony Marengo Desa

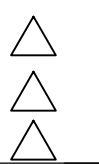


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EADS DEVELOPMENT

7443 Eads Avenue
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REVISIONS
 01/26/2022 PROJECT START



PHASE
 FEASIBILITY PHASE

PROJECT NO. 2021-46

REVIEWED BY CAM

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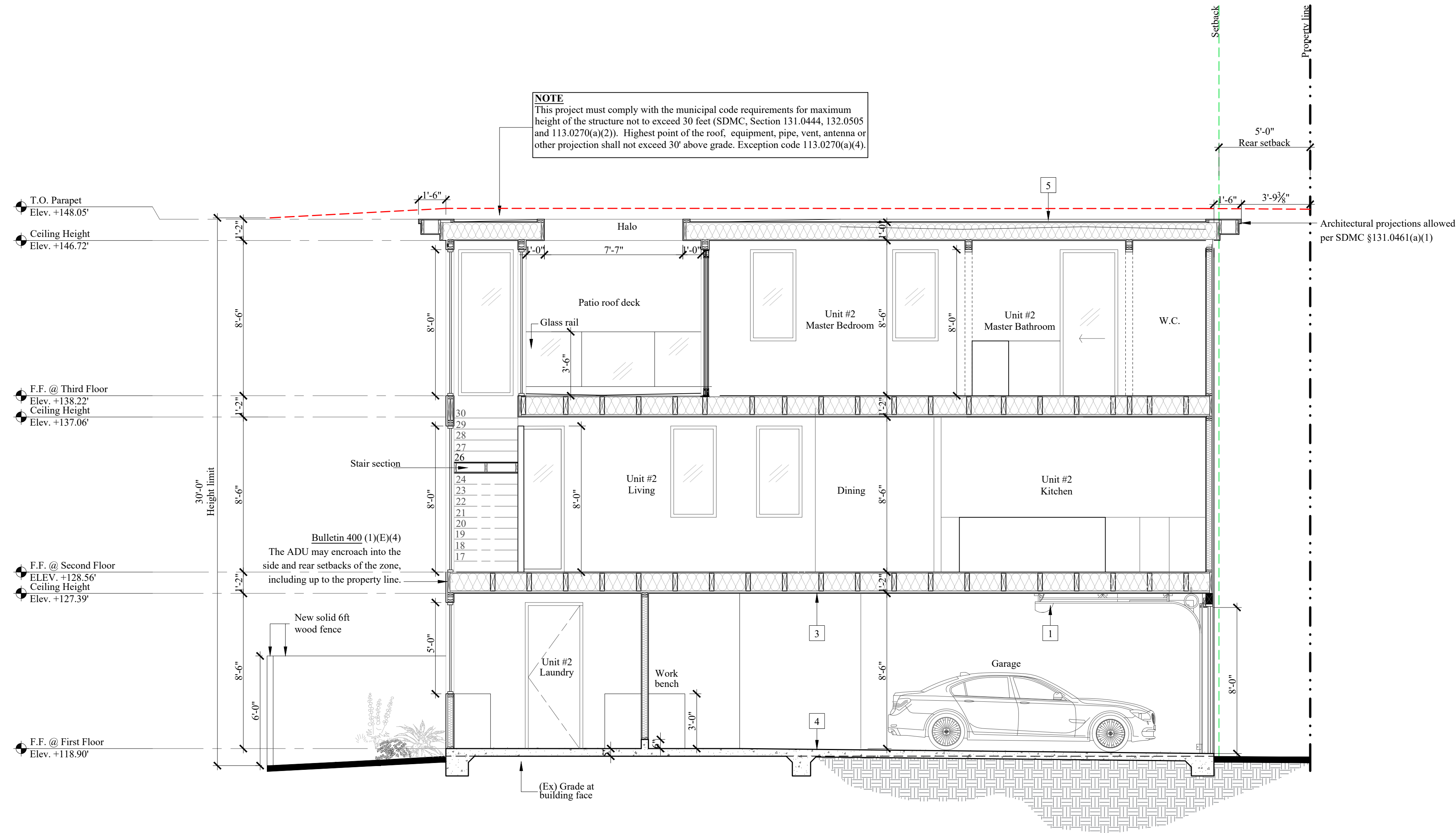
DATE 02/08/2024

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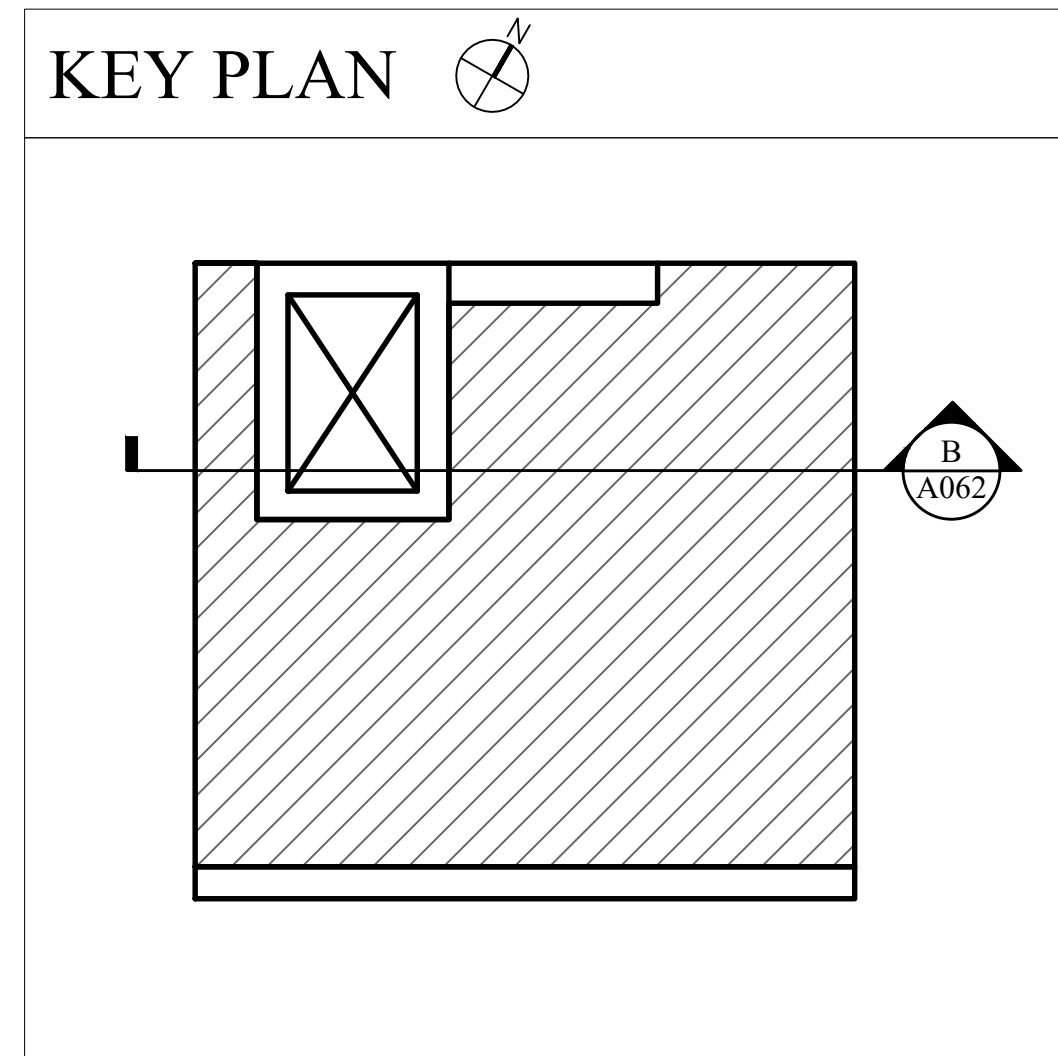
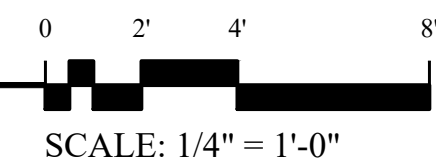
SHEET TITLE
 PROPOSED BUILDING SECTION

A062

KEY NOTES	
1	Garage door opener motor
2	New gate - Open 75%
3	1hr. Fire rating 5/8" drywall
4	1/8"-12" Slope towards alley



B PROPOSED BUILDING SECTION





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Claude Anthony Marengo Desa.

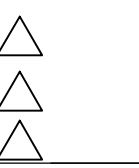


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EADS DEVELOPMENT

7443 Eads Avenue
La Jolla CA, 92037

REVISIONS
01/26/2022 PROJECT START



PHASE
FEASIBILITY PHASE

PROJECT NO. 2021-46

REVIEWED BY CAM

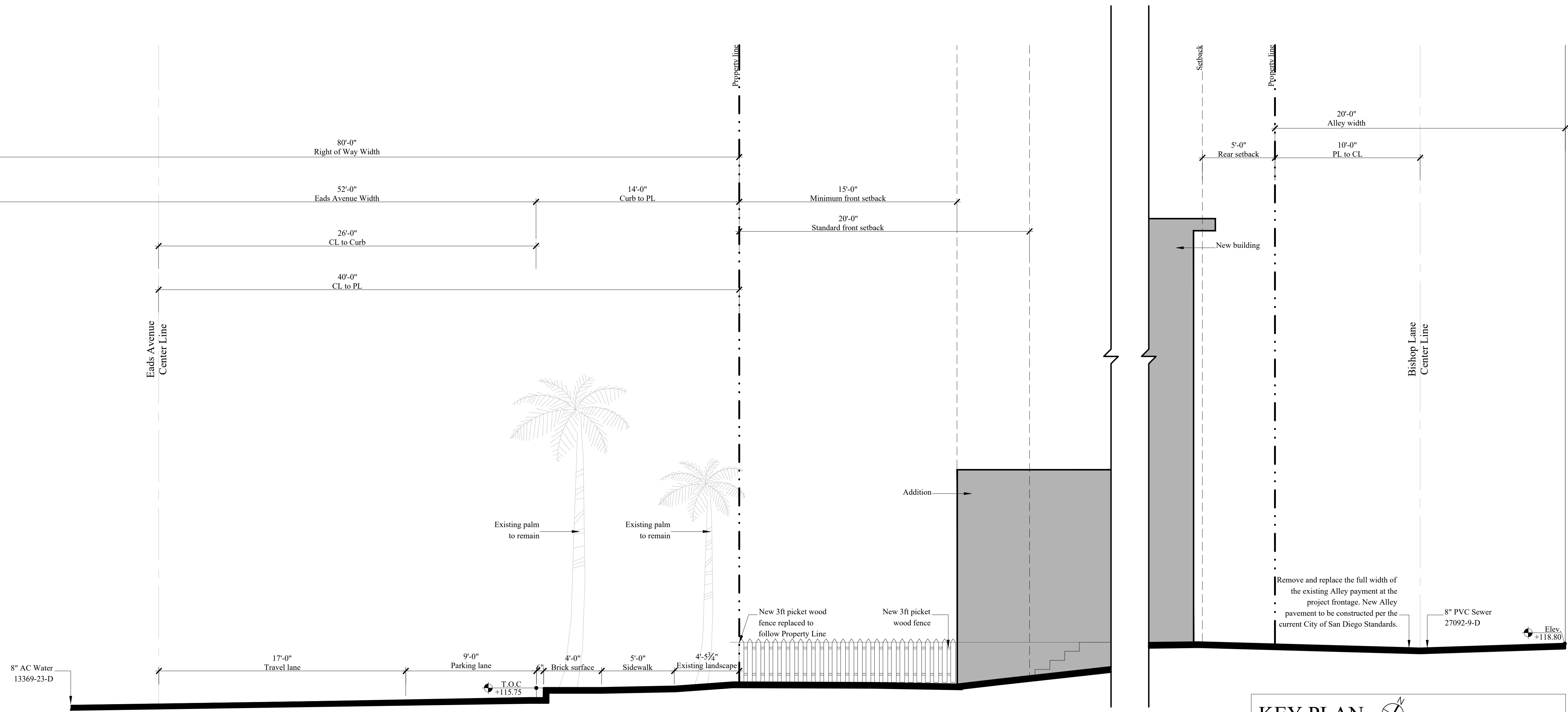
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DATE 02/08/2024

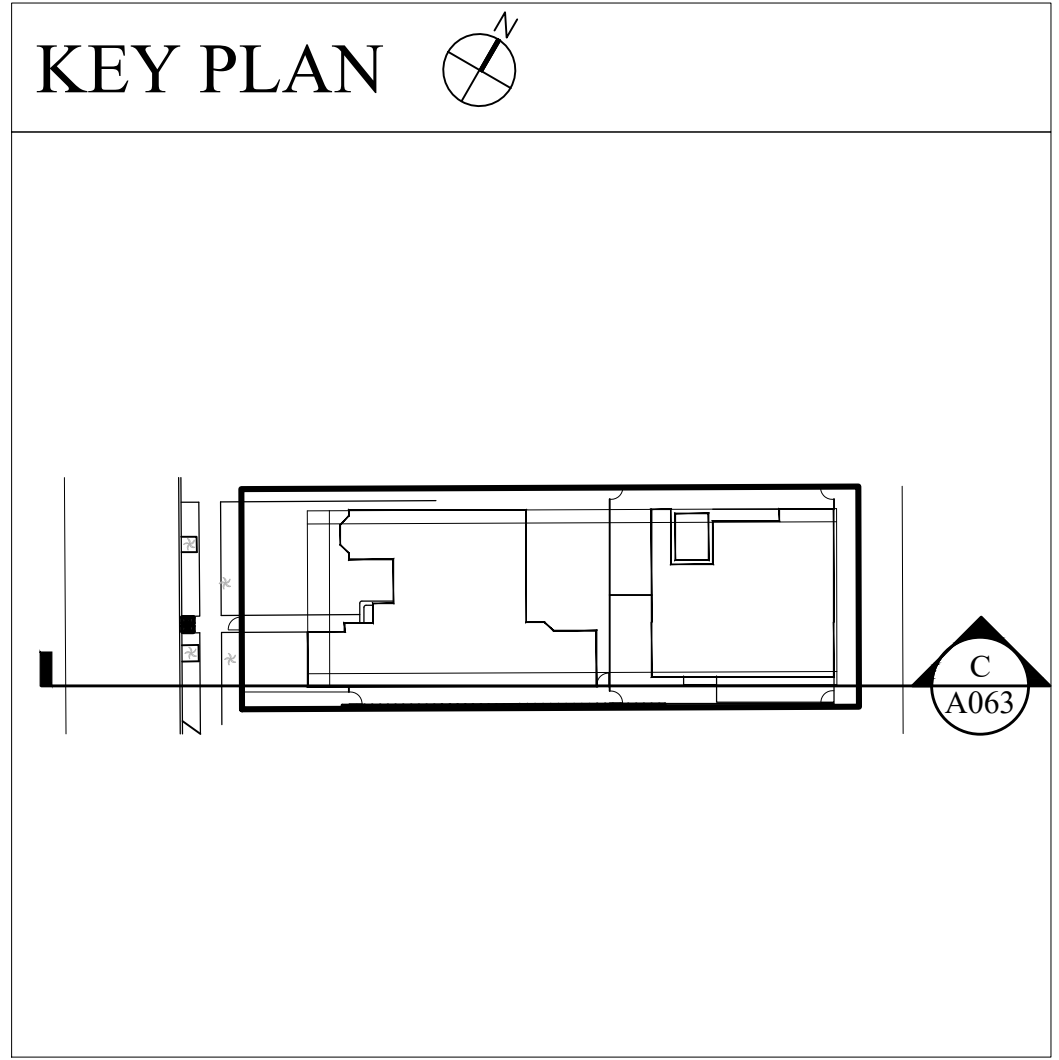
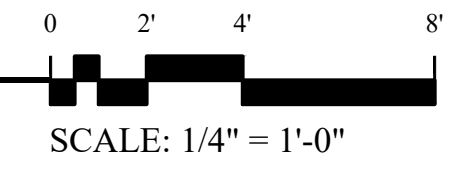
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SHEET TITLE
STREET CROSS SECTION

A063



C STREET CROSS SECTION



S:\Projects\2021 Projects\2021-46 7443 Eads Condos\4-Agency\1-Coastal Package\Hearing Meeting\Archival\Hearing DWG's and PDF's\Sheets\A063 - PROPOSED SECTION'S - back - House Eads.dwg, Feb 08, 2024 - 11:53am