

La Jolla Shores Planned District Advisory Board (LJSPDAB) APPLICANT PROJECT INFORMATION FORM

Please provide the following information on this form to schedule your project at an upcoming La Jolla Shores Planned District Advisory Board meeting.

For Action Items

- Project Tracking System (PTS) Number/Accela "PRJ" Number and Project Name (only submitted projects to the Development Services Department can be heard as action items):
PRJ-1114539
- Address and APN(s):
1821 Viking Way | APN: 346-454-01-00
- Project contact name, phone, e-mail:
Francis Czerner, 619-920-8965, francis@happyspacestudio.com
- Project description: Adding a second story on an existing single story house, remodel and small addition to existing portion of the house.
- Please indicate the action you are seeking from the Advisory Board:
 - Recommendation that the Project is minor in scope (Process 1)
 - Recommendation of approval of a Site Development Permit (SDP)
 - Recommendation of approval of a Site Development Permit (SDP) and Coastal Development Permit (CDP)
 - Other: _____
- In addition, provide the following:
 - lot size: 8,135 sf
 - existing structure square footage and FAR (if applicable): 2,694 sf | 0.33 FAR
 - proposed square footage and FAR: 3,545 sf | 0.44 FAR
 - existing and proposed setbacks on all sides: _____ → Front: 11'-0" exist & 10'-3" proposed
 - height if greater than 1-story (above ground): 25'-10" Street Side: 9'-0" exist & proposed
 - Side: 26'-0" exist & 24'-0" proposed
 - Rear: 0'-10" exist & proposed

For Information Items *(For projects seeking input and direction. No action at this time)*

- Project name (Unsubmitted projects can be informational items if the development team is seeking comments and direction from the Board on the concept): _____
- Address and APN(s): _____
- Project contact name, phone, e-mail: _____
- Project description: _____
- In addition to the project description, please provide the following:
 - lot size: _____
 - existing structure square footage and FAR (if applicable): _____
 - proposed square footage and FAR: _____
 - existing and proposed setbacks on all sides: _____
 - height if greater than 1-story (above ground): _____
- Project aspect(s) that the applicant team is seeking Advisory Board direction on. (Community character, aesthetics, design features, etc.): _____

Exhibits and other materials to provide:

Exhibits and other project-related presentation materials (e.g. site plan, elevations, exhibits showing addition/remodel areas, etc.) although not required, are extremely helpful in informing the Advisory Board's review and understanding of a project. The following exhibits and materials are recommended and if provided by the applicant, will be attached to the agenda and posted to the City's website:

<https://www.sandiego.gov/planning/community/profiles/lajolla/pddoab> for view by the public:

- All exhibits should be sized to 8 ½" X 11" format
- Exhibits, which can contain the following:
 - A. A site plan showing the street, the property line on all sides, the setbacks on all sides, and the setbacks from the property lines to the neighboring building;
 - B. Elevations for all sides;
 - C. If the proposal is for a remodel, a clear delineation of what part of the proposed structure is new construction
 - D. If the proposal is for a building with more than one story, show:
 - how the upper story sits on the story beneath it (setback of the upper story from the lower story);
 - the distance from the proposed upper story to comparable stories of the neighboring buildings; and
 - the height of neighboring buildings compared to the proposed structure's height.
- Any surveys that indicate similarities in floor area or architectural style in the surrounding neighborhood
- Any communications such as letter and emails from adjacent neighbors, local neighborhood groups, and/or the Homeowners' Association
- The most recent Project Issues Report for the project from the Development Services Department
- Neighborhood Survey Tabulation of Front, side, and rear setbacks.

PLEASE DO NOT PROVIDE THE FOLLOWING:

- The complete plan set of the project. Complete plan sets take up a lot of memory to distribute and most of the information is not necessary for the Advisory Board's review.
- Plans or exhibits of the interior of the project. Interiors are not reviewed by the Advisory Board.
- Personal contact information of the property owners of the project should not be included, unless they are the "owner/applicant" and they are the designated point of contact

The Advisory Board members are very keen to know that the neighbors in the immediate vicinity have been noticed and their views noted. Community conformity, setbacks, FAR, parking, view corridors, bulk & scale, and articulation are key discussion points on all projects. Action Items will be heard first.

Thank you,

Please return the information requested to no later than a week before the scheduled meeting date:

Melissa Garcia, Senior Planner
magarcia@sandiego.gov
City Planning Department
619-236-6173

WILLIAMS COTTAGE

PROJECT INFORMATION

PROJECT ADDRESS: 1821 VIKING WAY
LA JOLLA, CA 92037

ARCHITECT: HAPPY SPACE STUDIO, INC.
FRANCIS CZERNER, R.A.
4396 CALAVO DRIVE
LA MESA, CA 91941
619-920-8965

LEGAL DESCRIPTION:
ALL OF LOTS 60 AND 61 AND THE WESTERLY 23 FEET OF LOT 62 OF LA JOLLA VISTA IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, AS DESCRIBED IN GRANT DEED RECORDED MAY 22, 2014 AS DOCUMENT NO. 2014-0211402, O.R.

SCOPE OF WORK:
REMODEL OF EXISTING ONE-STORY SINGLE FAMILY 4-BED/4-BATH HOME & SECOND FLOOR ADDITION INTO A 5-BED/6-BATH HOME, INCLUDING:
- PARTIAL REMODEL OF EXISTING FIRST FLOOR & 194 SF FIRST FLOOR ADDITION
- ADDITION OF NEW 657 SF SECOND FLOOR, INCLUDING TWO BALCONIES
- NEW ROOF OVER SECOND FLOOR ADDITION
AREA OF REMODEL: 1,007 SF

PROJECT DATA

ZONING: LJSPD-SF
OCCUPANCY GROUP: RESIDENTIAL R-3

LOT AREA: 8,135 SF

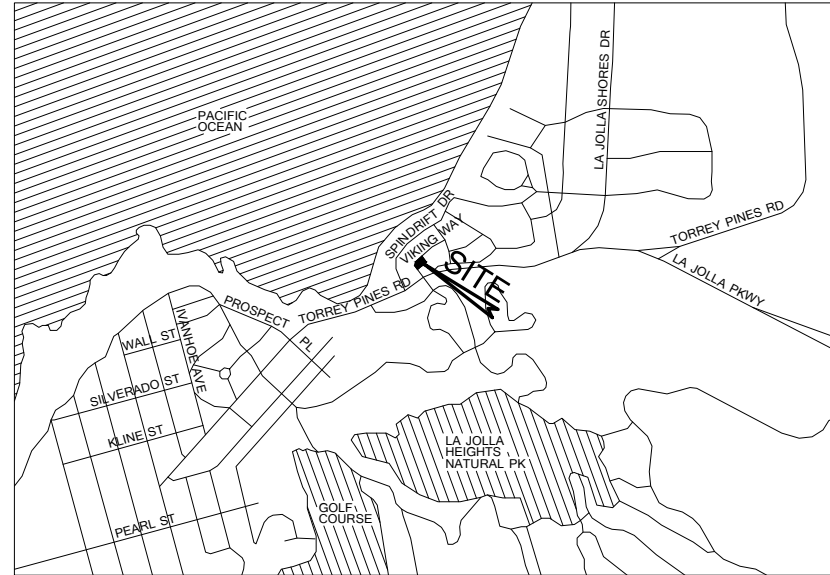
FLOOR AREA RATIO ALLOWED: 0.56 x 8,135 = 4,556 SF
FLOOR AREA RATIO PROPOSED: 0.44 x 8,135 = 3,545 SF

BUILDING HEIGHT ALLOWED: 30'-0"
BUILDING HEIGHT PROPOSED: 25'-10"

ROOF AREA:
AREA OF EXISTING ROOF: 2,858 SF
AREA OF PROPOSED ROOF: 3,011 SF

TOTAL INCREASE IN ROOF AREA: 153 SF

YEAR EXISTING HOUSE BUILT: 1930



VICINITY MAP

SCALE: N.T.S.



SHEET INDEX

1. PROJECT INFO
2. SITE PLAN
3. ROOF EXHIBIT
4. PROPERTY SURVEY
5. FIRST FLOOR DIAGRAM
6. SECOND FLOOR DIAGRAM
7. ROOF PLAN
8. ELEVATIONS - FRONT
9. ELEVATIONS - STREET SIDE
10. ELEVATIONS - SIDE
11. ELEVATIONS - REAR

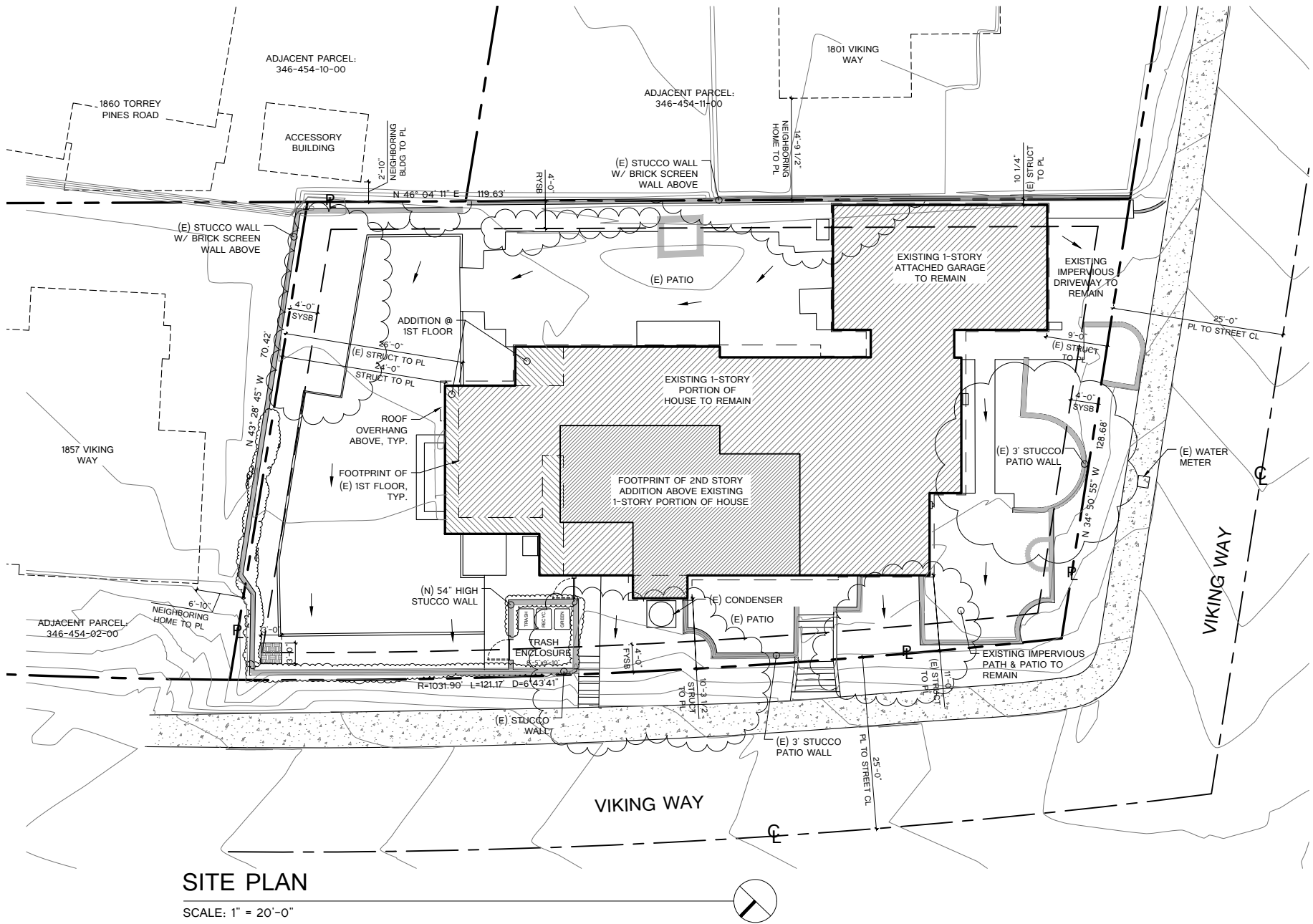
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SHEET TITLE:
PROJECT INFO
DATE:
4.30.2024

PROJECT:
WILLIAMS RESIDENCE
1821 VIKING WAY, LA JOLLA, CA 92037

HAPPY SPACE STUDIO, INC.
619-920-8965 info@happyspacestudio.com

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SITE PLAN

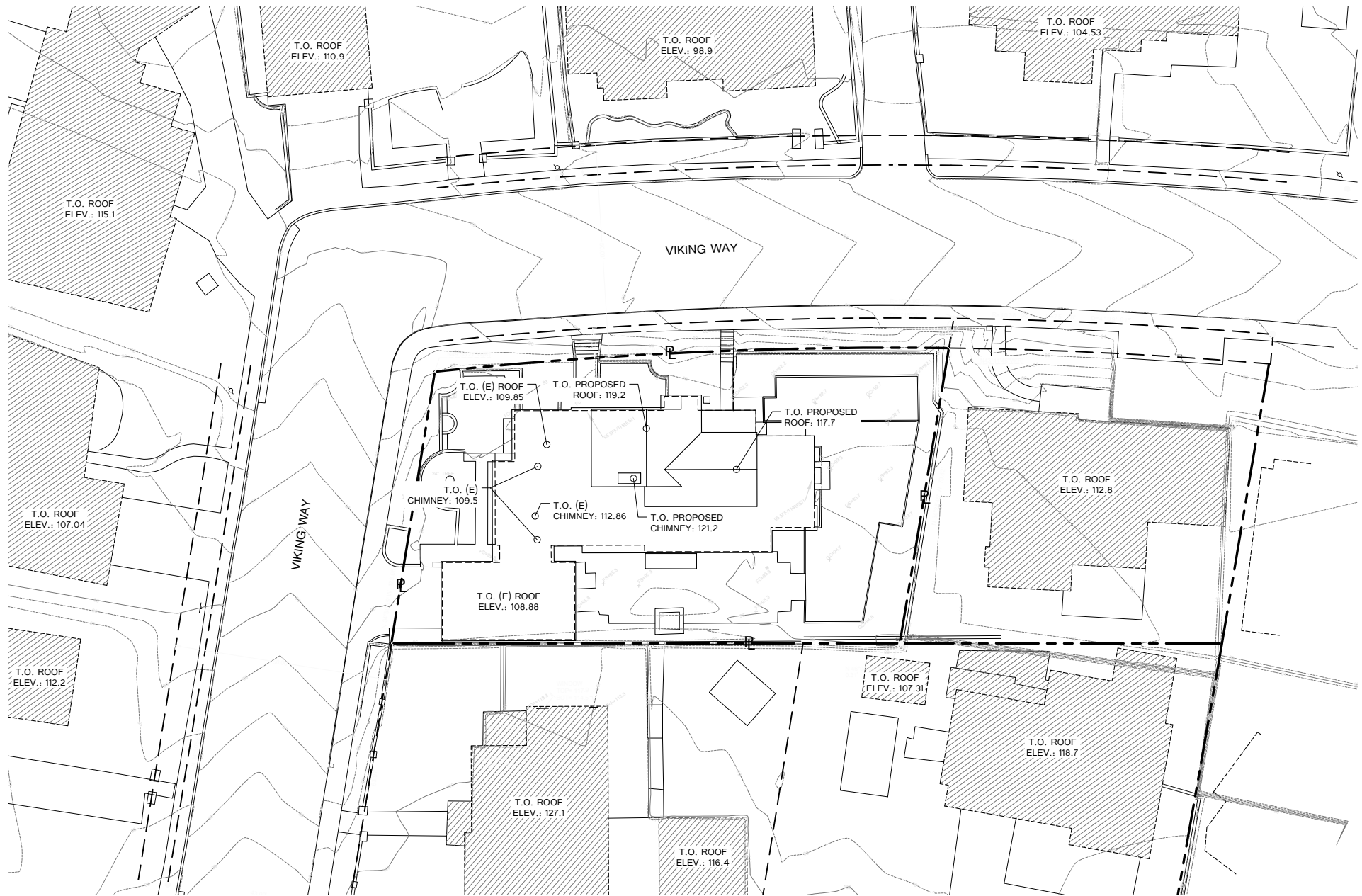
SCALE: 1" = 20'-0"

SHEET TITLE:
SITE PLAN
 DATE:
4.30.2024

PROJECT:
WILLIAMS RESIDENCE
 1821 VIKING WAY, LA JOLLA, CA 92037

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 619-920-8965 info@happyspacestudio.com

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ROOF HEIGHT EXHIBIT

SCALE: 1/32" = 1'-0"



SHEET TITLE:
ROOF EXHIBIT
DATE:
4.30.2024

PROJECT:
WILLIAMS RESIDENCE
1821 VIKING WAY, LA JOLLA, CA 92037

HAPPY SPACE STUDIO, INC.
619-920-8965 info@happyspacestudio.com

TOPOGRAPHIC SURVEY MAP -- VIKING WAY

SHEET 1 OF 1 SHEET
PLSA JOB # 2516-02

SURVEYOR'S CERTIFICATE

THIS MAP CORRECTLY REPRESENTS A SURVEY MADE BY ME OR UNDER MY DIRECTION IN CONFORMANCE WITH THE REQUIREMENTS OF THE PROFESSIONAL LAND SURVEYORS' ACT ON 02/16/2023.

Gary D. Mellom
GARY D. MELLOM, PLS 8537 DATE: 03/01/2023



PROJECT INFORMATION

CLIENT: DAN WILLIAMS
ADDRESS: 1821 VIKING WAY, LA JOLLA, CA
APN: 346-454-01

ABBREVIATED LEGAL DESCRIPTION

ALL OF LOTS 60 AND 61 AND THE WESTERLY 23 FEET OF LOT 62 OF LA JOLLA VISTA IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, AS DESCRIBED IN GRANT DEED RECORDED MAY 22, 2014 AS DOCUMENT NO. 2014-0211492, D.R.

SURVEY NOTES

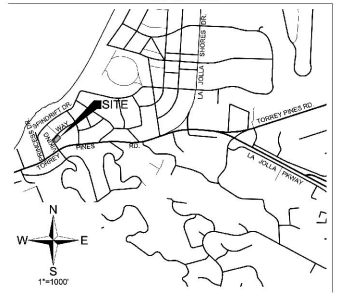
1. THE BOUNDARIES AND DIMENSIONS OF THE SURVEYED PARCEL(S) SHOWN HEREON ARE BASED ON A FIELD SURVEY. RECORD DIMENSIONS MAY VARY. THE BOUNDARIES OF ADJOINING PARCELS WERE COMPILED FROM RECORDED OR FILED DATA, AND ARE TO BE USED FOR PLANNING PURPOSES ONLY.
2. BASIS OF BEARING FOR THIS SURVEY IS THE CALIFORNIA COORDINATE SYSTEM, CGRS3, ZONE 6, EPOCH 2011, ESTABLISHED FROM GPS STATION CRTN 5105 AND GPS STATION CRTN STATION P472, E N 08°53'57".
3. ELEVATIONS SHOWN HEREON ARE BASED ON CITY OF SAN DIEGO VERTICAL CONTROL ROCK BRASS PLUG IN CURB ON NORTHERLY CORNER OF VIKING WAY AND TORREY PINES ROAD, ELEV=101.766, NGVD 29 DATUM.
4. THE LOCATIONS OF UNDERGROUND UTILITY LINES AND/OR STRUCTURES AS SHOWN HEREON ARE BASED ON OBSERVED ABOVE GROUND EVIDENCE AND RECORD INFORMATION PROVIDED TO THE SURVEYOR. NO EXCAVATIONS WERE MADE DURING THE COURSE OF THIS SURVEY TO LOCATE UNDERGROUND UTILITIES. LOCATIONS OF UNDERGROUND UTILITIES MAY VARY FROM LOCATIONS SHOWN HEREON. ADDITIONAL UNDERGROUND UTILITIES MAY EXIST.
5. TITLE REPORT WAS NOT PROVIDED.



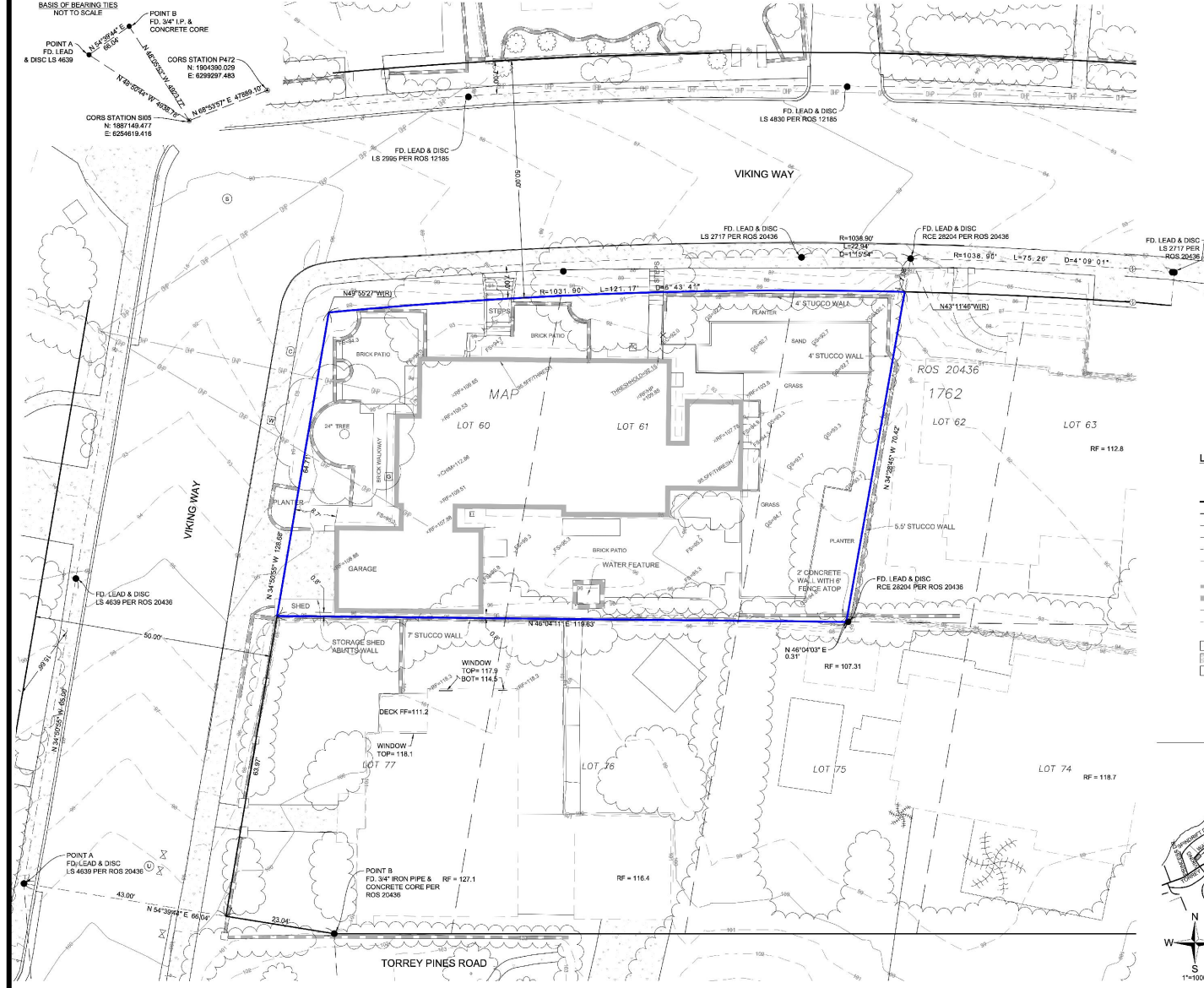
LEGEND

●	FOUND MONUMENT	W	METER - WATER	□	DRAIN INLET
()	RECORD BOUNDARY DATA PER PROPERTY LINE	E	METER - ELECTRIC	C	PULLBOX - COMMUNICATION
—	RIGHT-OF-WAY LINE	G	METER - GAS	L	PULLBOX - TELECO
—	CENTER LINE	X	LIGHT POLE	W	PULLBOX - WATER
---	ADJOINING PROPERTY LINE	U	UTILITY POLE	R	RISER - ELECTRIC
---	TIE LINE / REFERENCE LINE	A	GLY ANCHOR	C	RISER - COMMUNICATION
---	POWER - OVERHEAD	S	SIGNAL POLE	V	VAULT
---	WALL	T	VAULT	M	MAILBOX
---	BUILDING OUTLINE	B	UTILITY BOX	F	FIRE HYDRANT
---	INDEX CONTOUR LINE	H	VALVE - GAS	V	VALVE - WATER
---	INTERMEDIATE CONTOUR LINE	I	VALVE - WATER	R	IRRIGATION VALVE
---	SPOT ELEVATION	C	CLEANOUT	S	CONCRETE
---	CONCRETE	D	MH - SANITARY	M	MH - DRAINAGE
---	BRICK	E	MH - ELECTRIC	M	MH - COMMUNICATION
---	ASPHALT	W	MH - WATER	U	MH - UNKNOWN

VICINITY MAP



PASCO LARET SUITER & ASSOCIATES
San Diego | Encinitas | Orange County
Phone 619.259.8212 | www.plsengineering.com



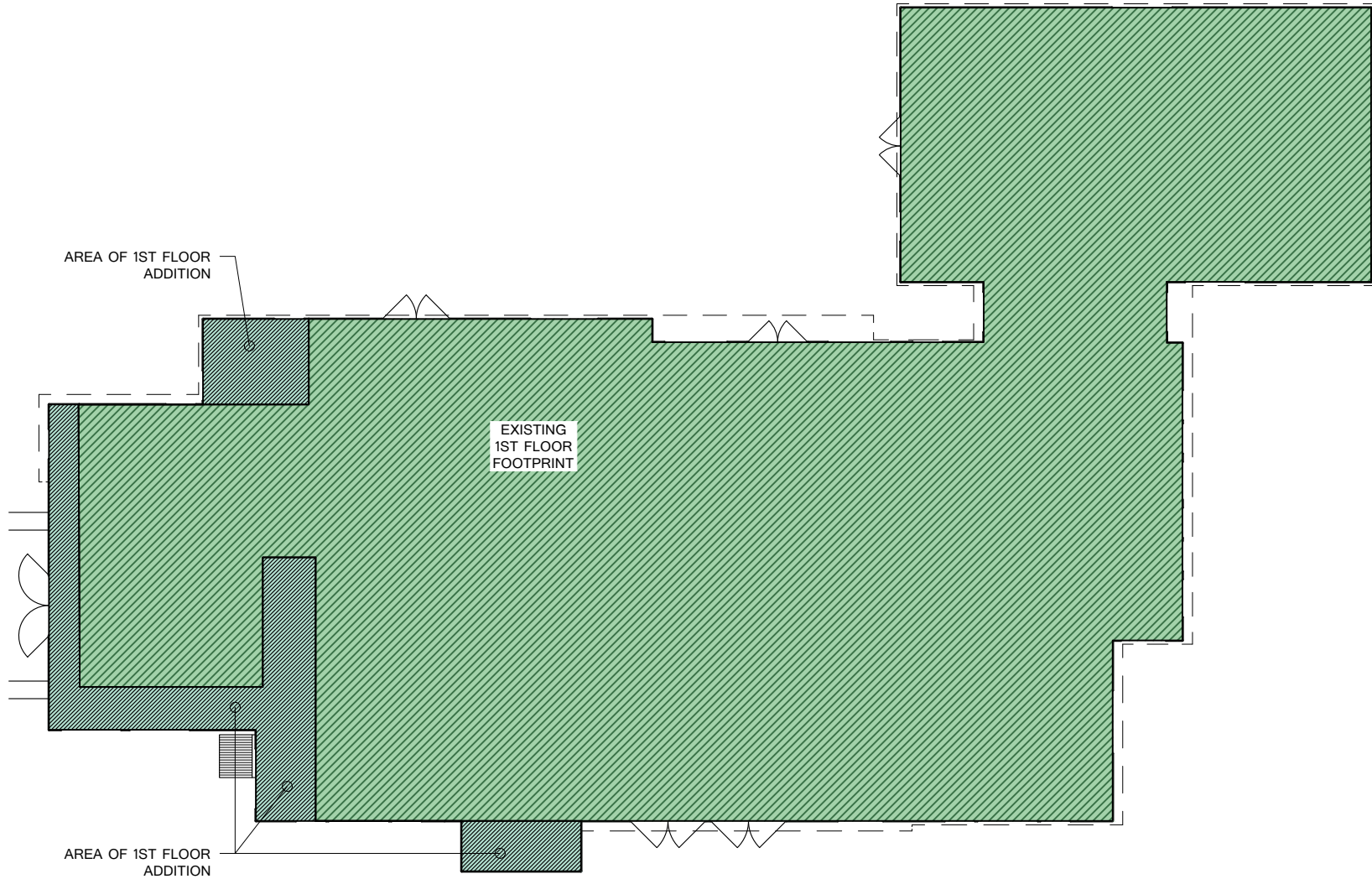
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SHEET TITLE:
PROPERTY SURVEY
DATE:
4.30.2024

PROJECT:
WILLIAMS RESIDENCE
1821 VIKING WAY, LA JOLLA, CA 92037

HAPPY SPACE STUDIO, INC.
619-920-8965 info@happyspacestudio.com

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1ST FLOOR DIAGRAM

SCALE: 3/32" = 1'-0"

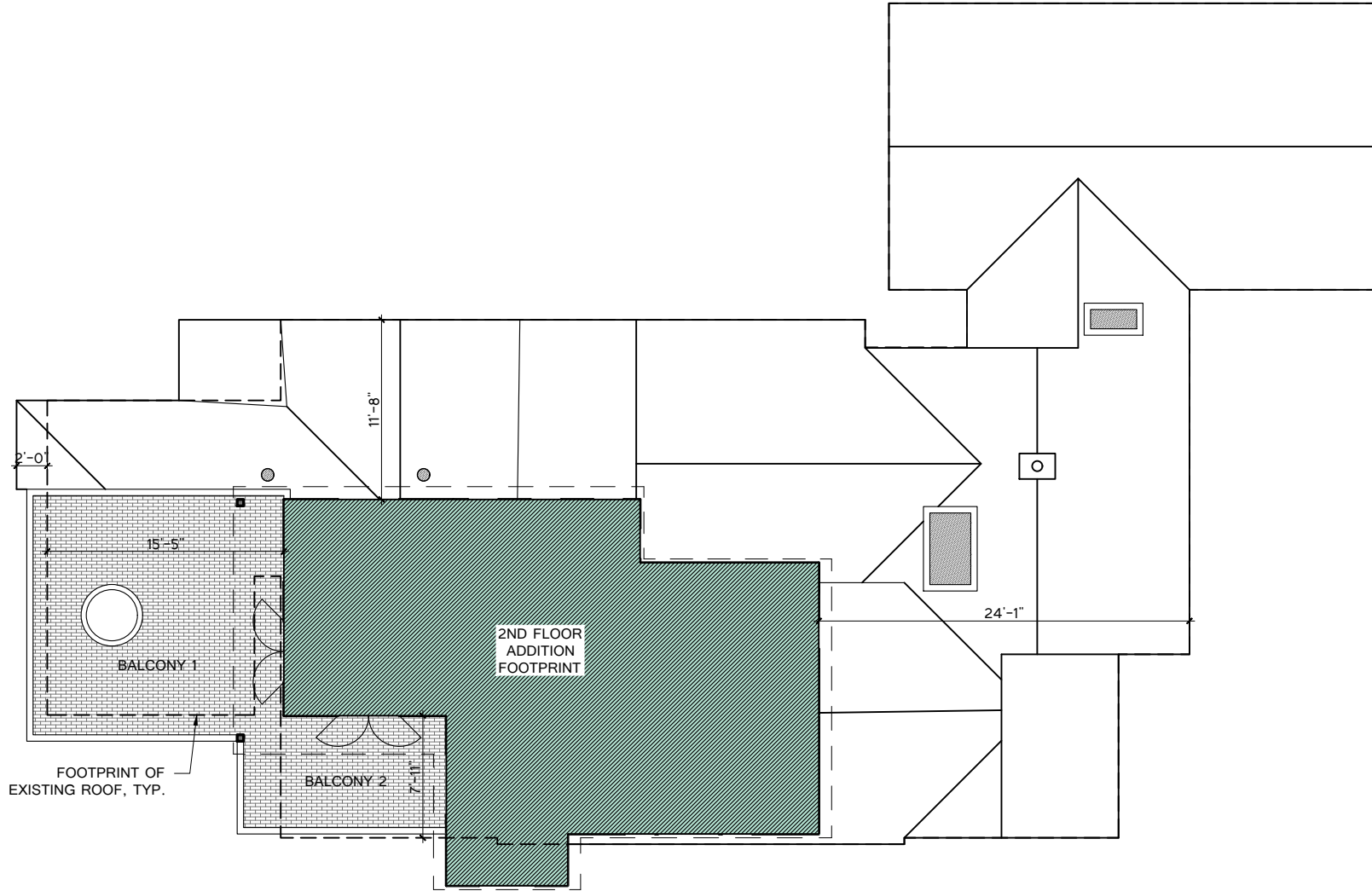
AREA OF ADDITION AT 1ST FLOOR: 194 SF

SHEET TITLE:
1ST FLOOR
DATE:
4.30.2024

PROJECT:
WILLIAMS RESIDENCE
1821 VIKING WAY, LA JOLLA, CA 92037

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2ND FLOOR DIAGRAM

SCALE: 3/32" = 1'-0"

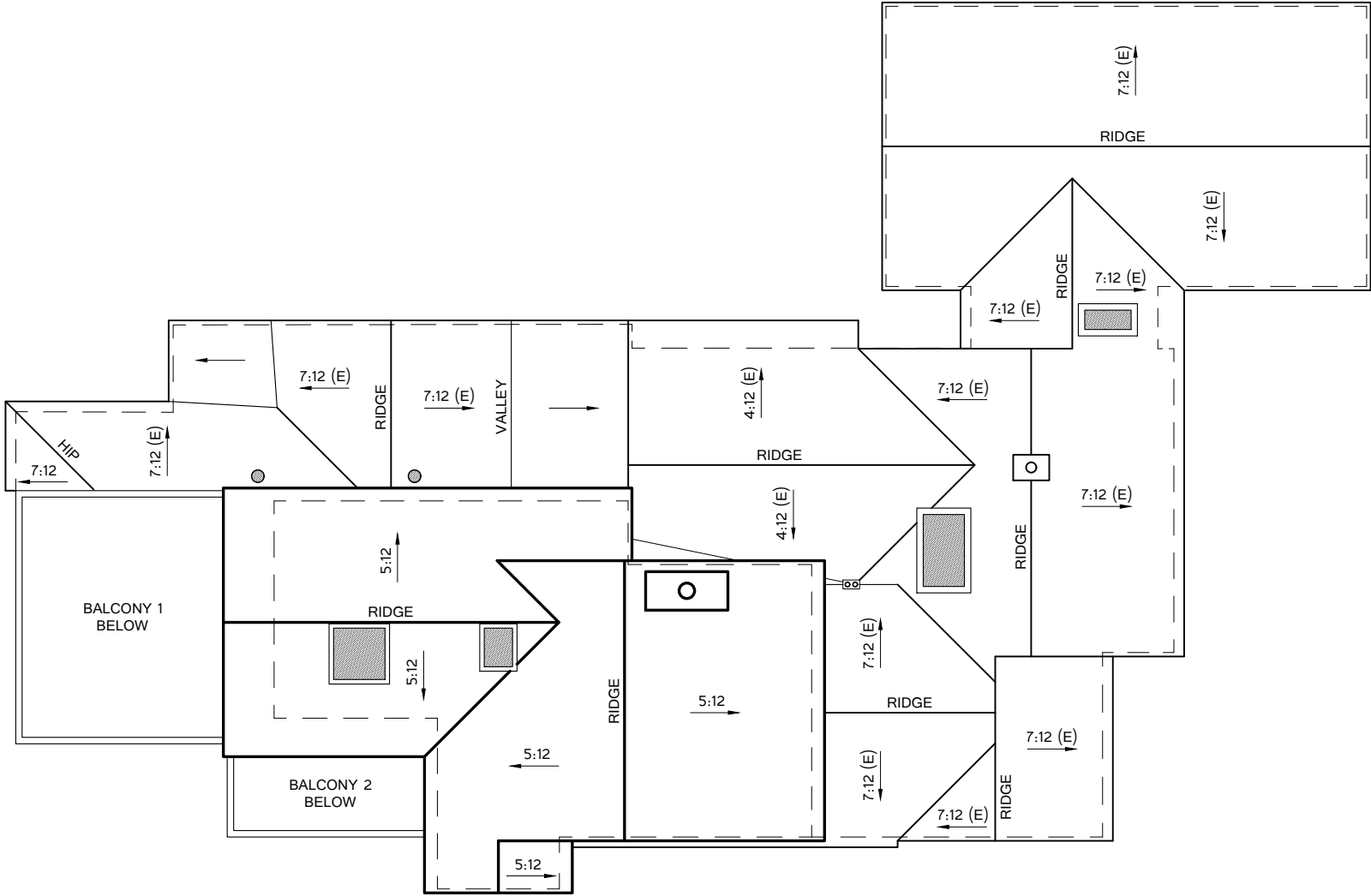
AREA OF ADDITION AT 2ND FLOOR: 657 SF

SHEET TITLE:
2ND FLOOR
DATE:
4.30.2024

PROJECT:
WILLIAMS RESIDENCE
1821 VIKING WAY, LA JOLLA, CA 92037

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PROPOSED ROOF PLAN

SCALE: 3/32" = 1'-0"



SHEET TITLE:
ROOF PLAN
DATE:
4.30.2024

PROJECT:
WILLIAMS RESIDENCE
1821 VIKING WAY, LA JOLLA, CA 92037

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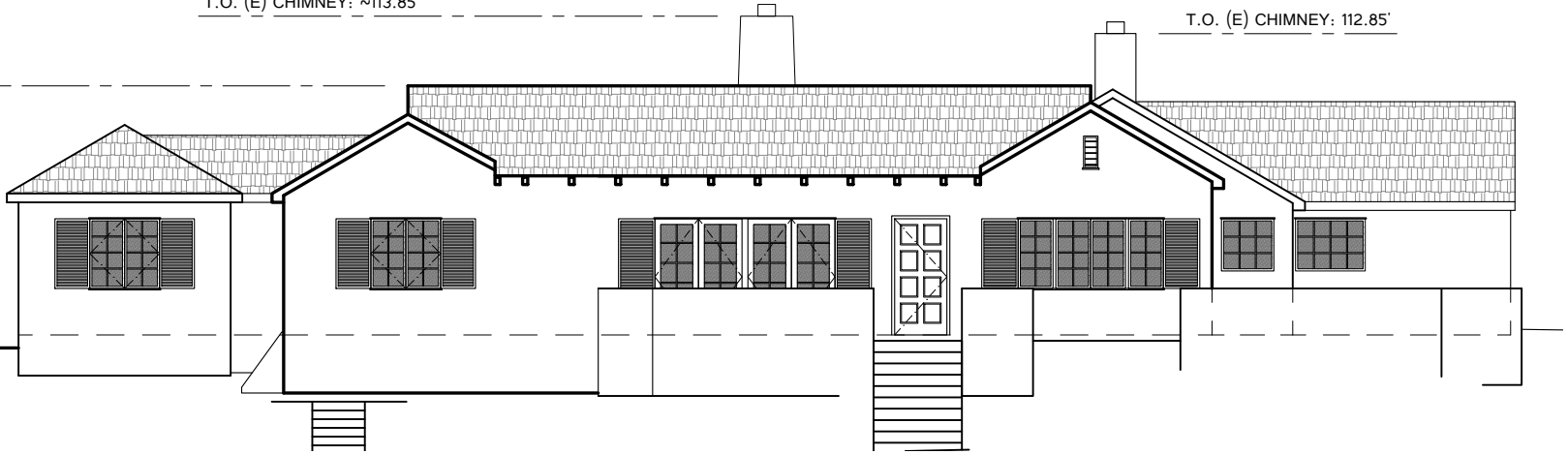
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T.O. (E) CHIMNEY: ~113.85'

T.O. (E) CHIMNEY: 112.85'

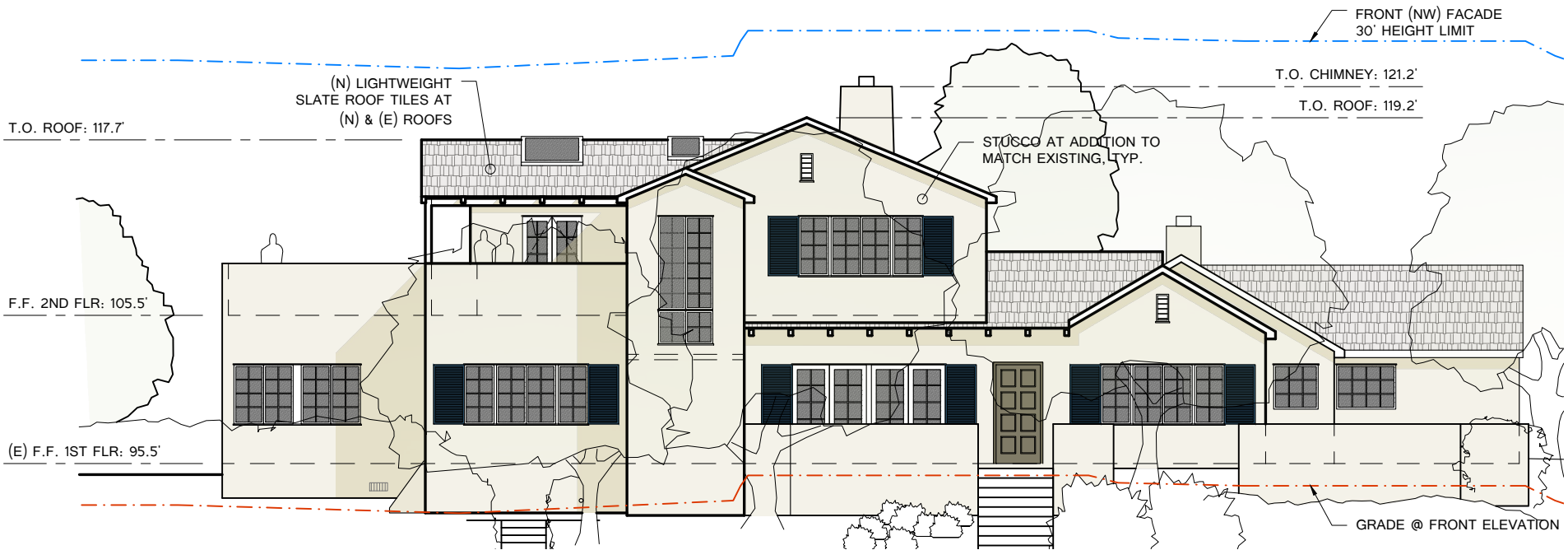
T.O. (E) ROOF: 109.85'

(E) F.F. 1ST FLR: 95.5'



EXISTING ELEVATION - FRONT

SCALE: 3/32" = 1'-0"



PROPOSED ELEVATION - FRONT

SCALE: 3/32" = 1'-0"

SHEET TITLE:
ELEVATIONS - FRONT
DATE:
4.30.2024

PROJECT:
WILLIAMS RESIDENCE
1821 VIKING WAY, LA JOLLA, CA 92037

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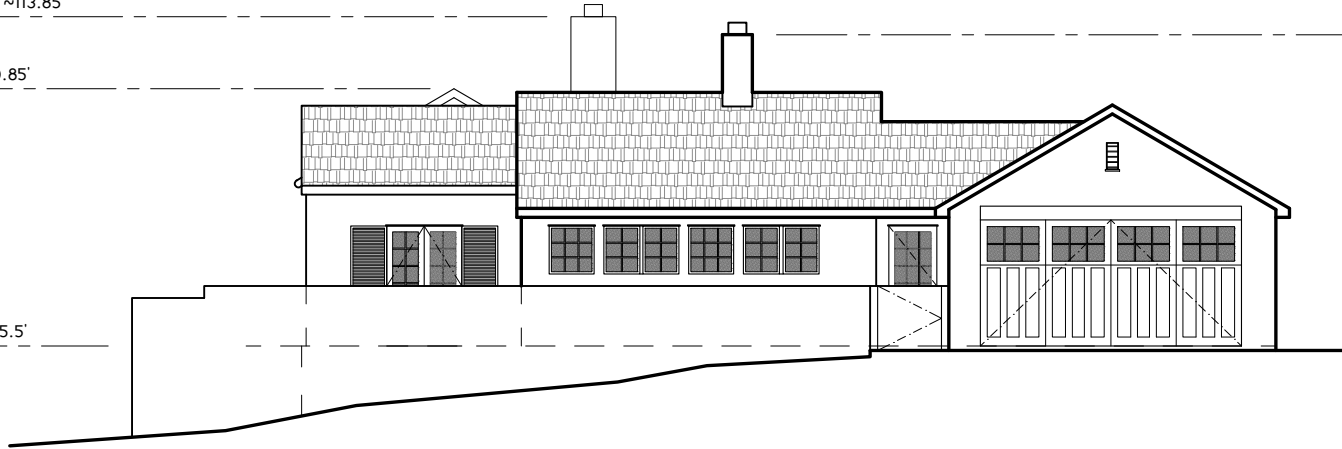
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T.O. (E) CHIMNEY: ~113.85'

T.O. (E) CHIMNEY: 112.85'

T.O. (E) ROOF: 109.85'

(E) F.F. 1ST FLR: 95.5'



EXISTING ELEVATION - SW STREET SIDE

SCALE: 3/32" = 1'-0"

STREET SIDE (SW) FACADE
30' HEIGHT LIMIT

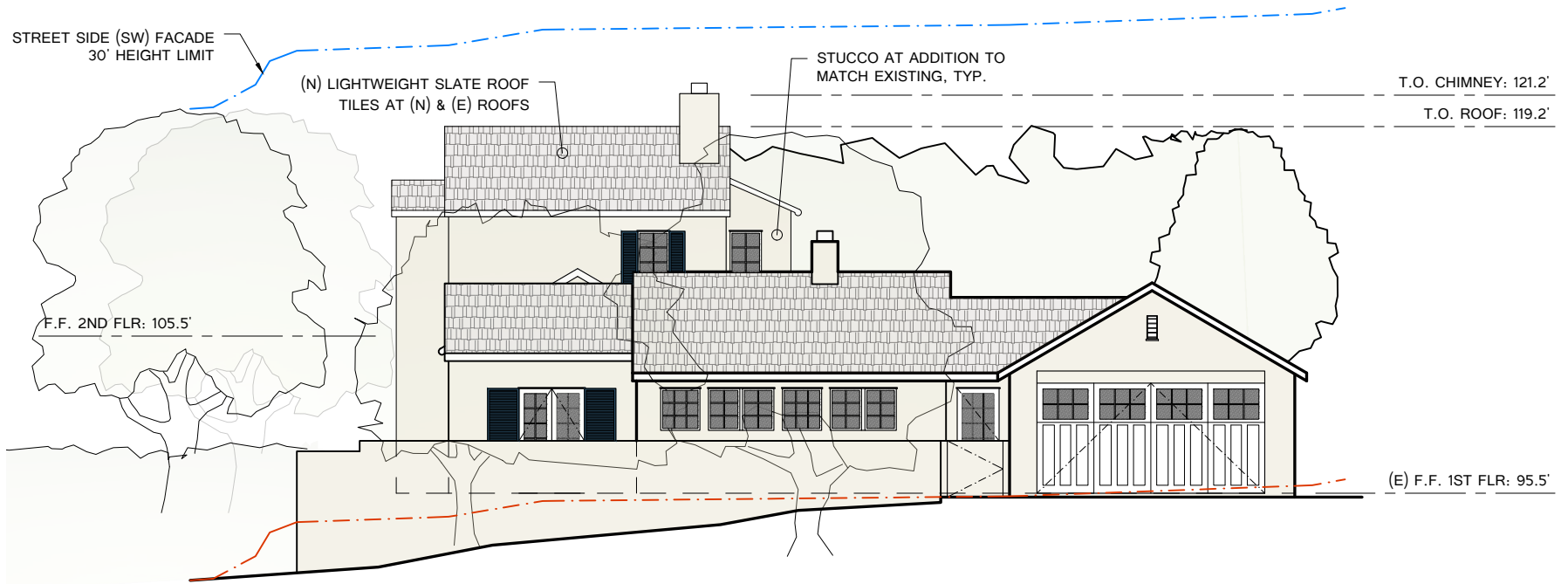
(N) LIGHTWEIGHT SLATE ROOF
TILES AT (N) & (E) ROOFS

STUCCO AT ADDITION TO
MATCH EXISTING, TYP.

T.O. CHIMNEY: 121.2'

T.O. ROOF: 119.2'

F.F. 2ND FLR: 105.5'



PROPOSED ELEVATION - SW STREET SIDE

SCALE: 3/32" = 1'-0"

SHEET TITLE:
ELEVATIONS - STREET SIDE
DATE:
4.30.2024

PROJECT:
WILLIAMS RESIDENCE
1821 VIKING WAY, LA JOLLA, CA 92037

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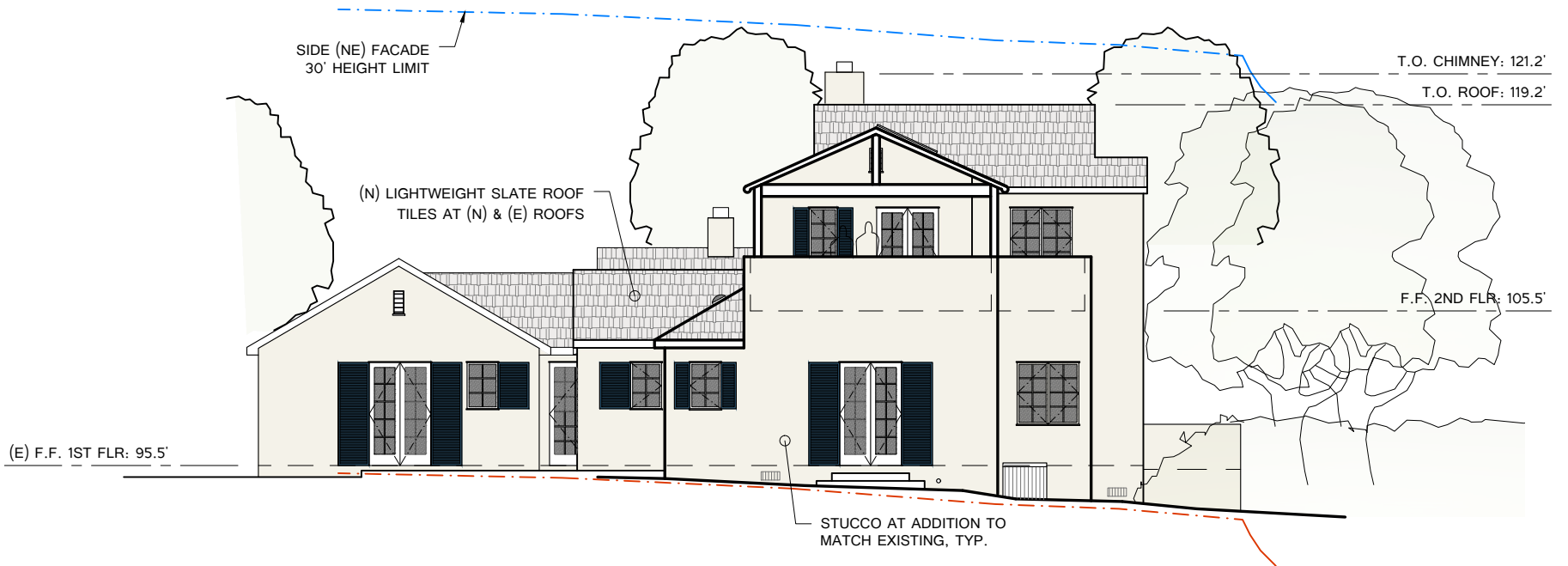
T.O. (E) CHIMNEY: ~113.85'

T.O. (E) ROOF: 109.85'

(E) F.F. 1ST FLR: 95.5'

EXISTING ELEVATION - NE SIDE

SCALE: 3/32" = 1'-0"



PROPOSED ELEVATION - NE SIDE

SCALE: 3/32" = 1'-0"

SHEET TITLE:
ELEVATIONS - SIDE
DATE:
4.30.2024

PROJECT:
WILLIAMS RESIDENCE
1821 VIKING WAY, LA JOLLA, CA 92037

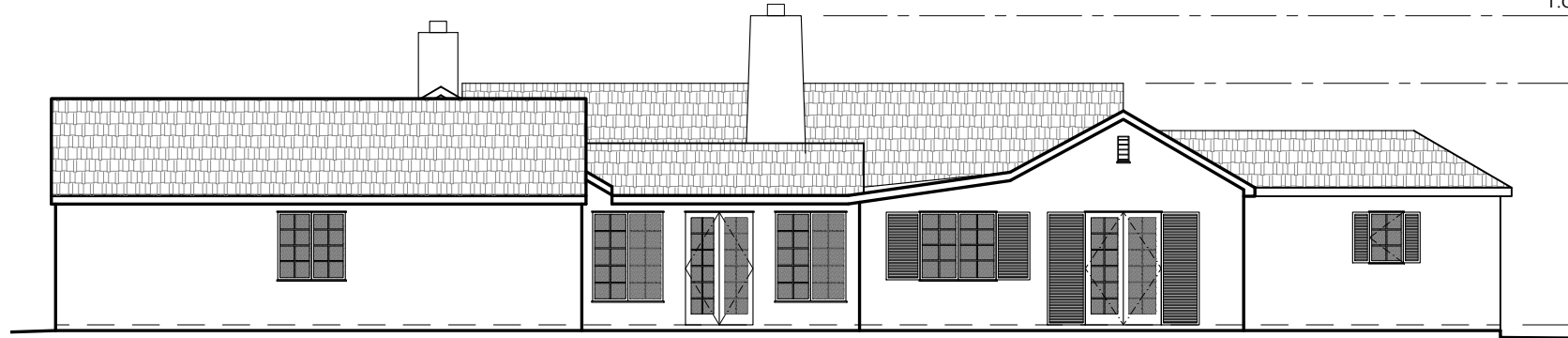
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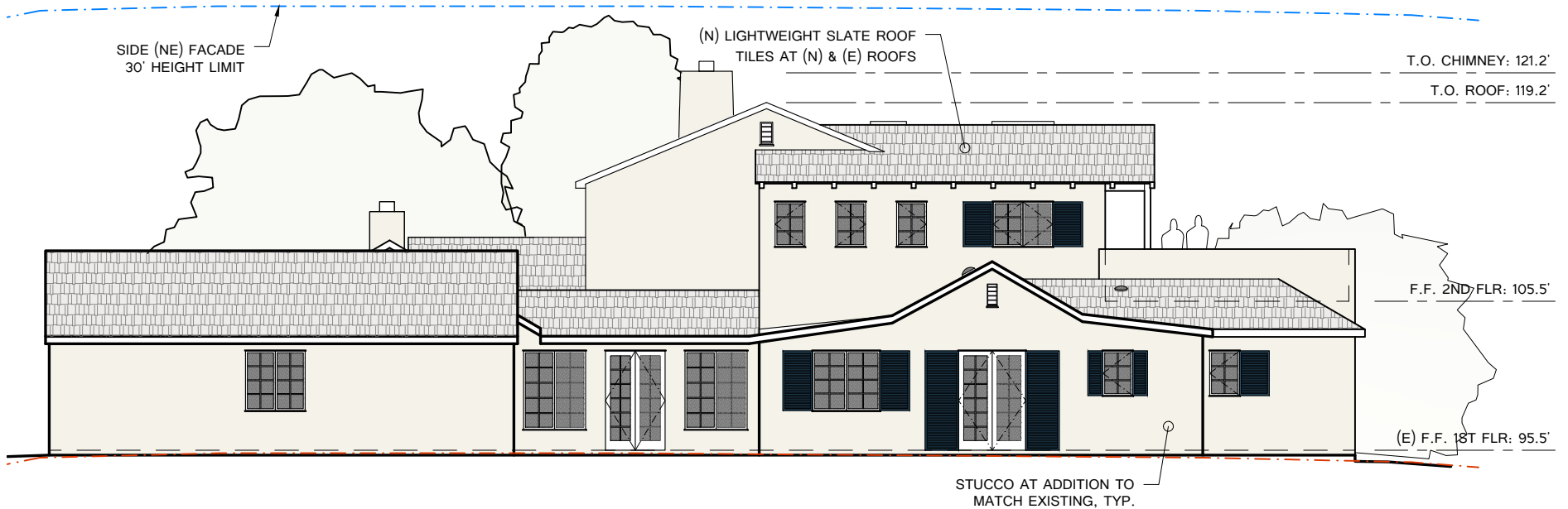
T.O. (E) ROOF: 109.85'

(E) F.F. 1ST FLR: 95.5'



EXISTING ELEVATION - SE REAR

SCALE: 3/32" = 1'-0"



PROPOSED ELEVATION - SE REAR

SCALE: 3/32" = 1'-0"

SHEET TITLE:
ELEVATIONS - REAR
DATE:
4.30.2024

PROJECT:
WILLIAMS RESIDENCE
1821 VIKING WAY, LA JOLLA, CA 92037

HAPPY SPACE STUDIO, INC.
619-920-8965 info@happyspacestudio.com



THE CITY OF SAN DIEGO
Development Services Department
1222 1st Avenue, San Diego, CA 92101

Project Address 1821 Viking
San Diego, CA 92037

Project Type Building Construction

Primary Contact francis@happyspacestudio.com

Instructions

<p>The following issues require corrections to the documents submitted.</p>

Building Construction Plans PRJ-1112693.pdf

DSD-Engineering Building Review

Sarah Seitz
SeitzS@sandiego.gov

[Comment 00002 | Sheet SW-1 | Open]

Revise the Storm Water Requirements Applicability Checklist (Form DS-560) to check off item 1 under Part B of Section 2. This project is located inside the ASBS watershed.

[Comment 00003 | Sheet TS-1 | Open]

Add the following note: "Per City of San Diego Municipal Code Sections 12.0104, 43.010, 129.0104(a)(4), and 142.0220, permits are required to be inspected by City Inspection staff to ensure compliance with issued construction permit. This includes, but not limited to, Stormwater Compliance Inspection Requirements associated with each permit."

[Comment 00004 | Sheet TS-1 | Open]

Please provide a table with the following Earthwork Quantities:

Cut Quantities: _____ cyd

Fill Quantities: _____ cyd

Import/Export: _____ cyd

Max cut depth: _____ ft

Max fill depth: _____ ft

If a value is non-existence to the project, place a '0'.

[Comment 00005 | Sheet TS-1 | Open]

This project has been identified as being within an area of special biological significance (ASBS) watershed according to the state regional water quality control board (RWQCB). Incorporate ASBS notes located in Chapter 2 Part 2 of the City of San Diego Storm Water Standards Manual (pg 652).

[HTTPS://WWW.SANDIEGO.GOV/SITES/DEFAULT/FILES/STORM_WATER_STANDARDS_MANUAL_OCT_2018.PDF](https://www.sandiego.gov/sites/default/files/storm_water_standards_manual_oct_2018.pdf)



THE CITY OF SAN DIEGO
Development Services Department
1222 1st Avenue, San Diego, CA 92101

[Comment 00006 | Sheet TS-1 | Open]

Show contour lines or spot elevations to support direction of drainage arrows on site plan . Include downspout locations and indicate how storm water will be routed to pervious surfaces.

Storm Water Req. Applicability Checklist (DS-560) PRJ-1112693.pdf

DSD-Engineering Building Review

Sarah Seitz
SeitzS@sandiego.gov

[Comment 00001 | Sheet P2 | Open]

Revise the Storm Water Requirements Applicability Checklist (Form DS-560) to check off item 1 under Part B of Section 2. This project is located inside the ASBS watershed.



THE CITY OF SAN DIEGO
Development Services Department
1222 1st Avenue, San Diego, CA 92101

Project Address 1821 Viking
San Diego, CA 92037

Project Type Building Construction

Primary Contact francis@happyspacestudio.com

Instructions

<p>The following issues require corrections to the documents submitted.</p>

Building Construction Plans PRJ-1112693.pdf

DSD-Structural

Matthew Leewong
MLEewong@sandiego.gov
(619) 446-5076

[Comment 00007 | Sheet TS-1 | Open]

Notes to Applicants:

Plans require correction as indicated by the comments on the Plan Review Issues Report. Comments on the Plan Review Issue Report must be addressed before a Building Permit can be issued.

[Comment 00008 | Sheet TS-1 | Open]

Notes to Applicants:

Plans will need to be resubmitted for review electronically in OpenDSD/Accela. Instructions for uploading documents will be provided via e-mail once all reviewers complete their review of the provided documents.

Additional information on electronic submittals can be found at the following:

- <https://www.sandiego.gov/development-services/permits>
- <https://www.sandiego.gov/sites/default/files/apply-for-building-construction-permit.pdf>

[Comment 00009 | Sheet TS-1 | Open]

Notes to Applicants:

To facilitate rechecking, please upload the following to the OpenDSD/Accela:

- Corrected Building Construction Plans
- Updated/Supplemental Structural Calculations
- Geotechnical Investigation Report
- Soil Engineer Verification Letter
- Responses to Comments Letter showing a complete Written Response for each issue identifying the sheet number of the plans, sheet number of the calculations, and/or detail upon which the issue has been addressed

[Comment 00010 | Sheet TS-1 | Open]

General:

TS-1: As-Built/Demo Plan – First Floor on A-1.0 and First Floor Plan on A-1.1 show the conversion of an existing Studio



THE CITY OF SAN DIEGO
Development Services Department
1222 1st Avenue, San Diego, CA 92101

adjacent to the existing Garage being converted to a Bedroom with Bathroom.

Clarify whether the existing Studio adjacent to the existing Garage is being converted into an attached Junior Accessory Dwelling Unit (JADU).

Revise Scope Of Work under Project Information on TS-1 to include all the work being done at the existing Studio adjacent to the existing Garage.

A Scope Change may be required if the existing Studio adjacent to the existing Garage is being converted to an attached JADU.

[Comment 00011 | Sheet TS-1 | Open]

General:

TS-1: Revise Scope Of Work on TS-1 to include new 54" high stucco walls for new Trash Enclosure shown on Site Plan on TS-1.

[Comment 00012 | Sheet TS-1 | Open]

School Fees:

The project is subject to the payment of School Fees. The fee amounts are calculated by and paid to the appropriate school district(s). The school district(s) will need a City of San Diego Approval Report which documents the chargeable square footage. This Approval Report may be printed from the Permit approval on-line through OpenDSD. At the time of Permit Issuance, you will need to submit a receipt or Certificate of Compliance from the respective school district(s). See City of San Diego Information Bulletin 146 for additional information.

[Comment 00013 | Sheet TS-1 | Open]

School Fees:

A-1.0: Revise As-Built/Demo Plan – First Floor on A-1.0 to show all the required dimensions to justify the following shown on Floor Area under Project Data on TS-1:

- Existing First Floor Area of 2,317 square feet
- First Floor Addition Area of 194 square feet
- Existing Garage Area of 377 square feet

[Comment 00014 | Sheet TS-1 | Open]

School Fees:

TS-1: For determining School Fees, revise TS-1 to show a schedule for the "Accessible Areas/Spaces" of the existing single dwelling unit (SDU) building with proposed Additions in accordance with City of San Diego Information Bulletin 146.

[Comment 00015 | Sheet TS-1 | Open]

Geology:

A DSD-Geology review is required in accordance with SDMC, Section 145.1803 and SDMC, Table 145.1803 due to the Geological Hazard Category of the site and the Class of the Structure. The existing SDU building with proposed Additions (Class D structure) is located in a Fault Zone (Geotechnical Hazard Category 12). [SDMC Section 145.1803 and Table 145.1803]

A DSD-Geology review will be added for this project.

[Comment 00016 | Sheet TS-1 | Open]



THE CITY OF SAN DIEGO
Development Services Department
1222 1st Avenue, San Diego, CA 92101

Geology:

Provide a Geotechnical Investigation Report to justify the soil loads and parameters used to design the foundations of the existing SDU building with proposed Additions located in a Fault Zone.

The title/cover sheet of the Geotechnical Investigation Report must be stamped and signed by a California licensed Civil/Geotechnical Engineer. This requirement will be verified at next Recheck.

[Comment 00017 | Sheet TS-1 | Open]

Geology:

Provide a Soil Verification Letter from the Civil/Geotechnical Engineer who prepared the Geotechnical Investigation Report stating that the Civil/Geotechnical Engineer has reviewed the Building Construction Plans and that the Building Construction Plans are in conformance with the design recommendations specified in the Geotechnical Investigation Report.

[Comment 00018 | Sheet TS-1 | Open]

Geology:

The DSD-Geology review must be signed-off prior to DSD-Structural sign-off. This requirement will be verified at recheck.

[Comment 00019 | Sheet TS-1 | Open]

Architectural Review Comments:

TS-1: Revise Site Plan on TS-1 to show and dimension the Fire Separation Distances for the existing SDU building with proposed Additions.

The Fire Separation Distances are measured at right angles from the face of the exterior wall (building face), not at right angles from the property line, to the following: [CRC R202]

- 1.) The property lines and closest interior lot lines
- 2.) The centerline of a street, alley, or public way

[Comment 00020 | Sheet TS-1 | Open]

Architectural Review Comments:

A-1.0: Revise As-Built/Demo Plan – First Floor on A-1.0 to show and identify the following:

- Use for all rooms and spaces
- All the existing doors, windows, and plumbing fixtures remaining
- All the existing doors, windows, and plumbing fixtures being removed/demolished or changed/modified

[Comment 00021 | Sheet TS-1 | Open]

Architectural Review Comments:

A-1.0: Revise Demo Plan Legend on A-1.0 to include symbols identifying the following:

- All the existing doors, windows, and plumbing fixtures remaining
- All the existing doors, windows, and plumbing fixtures being removed/demolished or changed/modified

Show that the symbols shown on Demo Plan Legend on A-1.0 match the symbols shown on As-Built/Demo Plan – First Floor on A-1.0.

[Comment 00022 | Sheet TS-1 | Open]

Architectural Review Comments:

A-1.1/A-1.2: Revise First Floor Plan on A-1.1 and Second Floor Plan on A-1.2 to show and identify the following:



THE CITY OF SAN DIEGO
Development Services Department
1222 1st Avenue, San Diego, CA 92101

- All the existing plumbing fixtures remaining
- All the new plumbing fixtures being installed

[Comment 00023 | Sheet TS-1 | Open]

Architectural Review Comments:

A-1.1/A-1.2: Revise Legends on A-1.1 and A-1.2 to include symbols identifying the following:

- All the existing doors, windows, and plumbing fixtures remaining
- All the new doors, windows, and plumbing fixtures being constructed/installed

Show that the symbols shown on Legends on A-1.1 and A-1.2 match the symbols shown on First Floor Plan on A-1.1 and Second Floor Plan on A-1.2.

[Comment 00024 | Sheet TS-1 | Open]

Architectural Review Comments:

No openings are allowed in the exterior walls of Group R-3 occupancy buildings having a Fire Separation Distance of less than 3'-0" to the proposed lot line. [CRC R302.1]

Clarify Window e06 located in the exterior wall along the Southeast elevation of the existing Garage having a Fire Separation Distance of 10'-1/4" to the property line.

[Comment 00025 | Sheet TS-1 | Open]

Architectural Review Comments:

A-1.1/A-1.2: Revise First Floor Plan on A-1.1 and Second Floor Plan on A-1.2 to provide and show calculations justifying that the operable area of the door/window assemblies in each Bedroom of the existing SDU with proposed Additions is not less than 4 percent of the floor area of each Bedroom to provide natural ventilation. [CRC R303.1]

[Comment 00026 | Sheet TS-1 | Open]

Architectural Review Comments:

A-1.1: Revise First Floor Plan on A-1.1 to provide and show a minimum 36" deep floor or landing on the exterior side of each new exterior door (Door 1a), with a slope not exceeding 1/4 unit vertical in 12 units horizontal (2%). The width of each landing must not be less than the door served. [CRC R311.3]

[Comment 00027 | Sheet TS-1 | Open]

Architectural Review Comments:

A-1.1: Revise First Floor Plan on A-1.1 to show and dimension the maximum step height at exterior landing or finished floor that is not more than 1-1/2" below the top of the threshold (not more than 7-3/4" if the door does not swing over the landing or floor) for new egress door (Door 1a). [CRC R311.3.1]

[Comment 00028 | Sheet TS-1 | Open]

Architectural Review Comments:

A-1.2: Revise Second Floor Plan on A-1.2 to show and dimension the maximum step height at exterior landing or finished floor that is not more than 7-3/4" below the top of the threshold for new non-egress door (Doors 2a and 2b). [CRC R311.3.2]

[Comment 00029 | Sheet TS-1 | Open]

Architectural Review Comments:

A-1.1/A-1.2: Revise First Floor Plan on A-1.1 and Second Floor Plan on A-1.2 to show and dimension a 36" minimum clear



THE CITY OF SAN DIEGO
Development Services Department
1222 1st Avenue, San Diego, CA 92101

width for each stair flight in the proposed Stairway. Handrails shall not project more than 4-1/2" on either side of the stair flight in the proposed Stairway. [CRC R311.7.1]

[Comment 00030 | Sheet TS-1 | Open]

Architectural Review Comments:

Revise First Floor Plan on A-1.1 and Second Floor Plan on A-1.2 to provide and reference section details through each stair flight of the proposed Stairway that shows and dimensions a 6'-8" minimum headroom in all parts of the proposed Stairway measured vertically from the sloped line adjoining the tread nosing or from the floor surface of the landing or platform on that portion of the proposed Stairway. [CRC R311.7.2]

[Comment 00031 | Sheet TS-1 | Open]

Architectural Review Comments:

A-1.1: Revise First Floor Plan on A-1.1 to show and dimension a maximum stair riser height of 7-3/4" and a minimum stair tread depth of 10" for the steps along the Northeast elevation adjacent to Door 1a of Bedroom 2. The greatest riser heights and tread depths within any flight of stairs shall not exceed the smallest by more than 3/8". [CRC R311.7.5]

[Comment 00032 | Sheet TS-1 | Open]

Architectural Review Comments:

A-1.2: Revise Second Floor Plan on A-1.2 to provide and show a minimum 36" depth for the intermediate landing of the proposed Stairway. [CRC R311.7.6]

[Comment 00033 | Sheet TS-1 | Open]

Architectural Review Comments:

A-1.1: Revise First Floor Plan on A-1.1 to provide and show a minimum 36" depth for the landings of the steps along the Northeast elevation adjacent to Door 1a of Bedroom 2. [CRC R311.7.6]

[Comment 00034 | Sheet TS-1 | Open]

Architectural Review Comments:

A-6.0: Remove reference to UBC 1006.9 from Hand Railing Detail 1/A-6.0.

Revise Detail 1/A-6.0 for 2022 CRC Stairway provisions.

[Comment 00035 | Sheet TS-1 | Open]

Architectural Review Comments:

A-1.1/A-1.2: Revise First Floor Plan on A-1.1 and Second Floor Plan on A-1.2 to provide and show a 34" – 38" high Handrail on at least one side of each stair flight of the proposed Stairway with four or more stair risers. [CRC R311.7.8; R311.7.8.1]

[Comment 00036 | Sheet TS-1 | Open]

Architectural Review Comments:

A 34" – 38" high Guard can be used as a Handrail on the open sided walking surfaces of the stair flights in the proposed Stairway. [CRC R312.1.2, Exception 2]

Revise First Floor Plan on A-1.1, Second Floor Plan on A-1.2, Sections C/A-3.0 and D/A-3.1, Interior Elevations 1D/A-4.0, 3B/A-4.1, and 3E/A-4.1, and Detail 1/A-6.0 to clarify whether 42" high Guard with a 34" – 38" high Handrail or a 34" – 38" high Guard used as a Handrail will be provided on the open sided walking surfaces of each stair flight in the proposed Stairway.

[Comment 00037 | Sheet TS-1 | Open]



THE CITY OF SAN DIEGO
Development Services Department
1222 1st Avenue, San Diego, CA 92101

Architectural Review Comments:

A-6.0: Revise Detail 1/A-6.0 to show and specify the method of supporting and anchoring the 34" – 38" high Guards used as a Handrails provided on the open sided walking surfaces of each stair flight in the proposed Stairway.

Show and specify the following:

- Method of supporting and anchoring the Guard/Handrail elements to the Stairway framing members
- Type, size, and spacing for all anchors/fasteners and connection hardware

Coordinate the support and anchorage of the Guards/Handrails on the open sided walking surfaces of each stair flight in the proposed Stairway with the Structural Engineer.

[Comment 00038 | Sheet TS-1 | Open]

Architectural Review Comments:

A-1.1/A-1.2: Revise First Floor Plan on A-1.1 and Second Floor Plan on A-1.2 to provide and reference section details through the proposed Stairway showing that the enclosed accessible space under the proposed Stairway (Closet of Bedroom 4) is protected with one layer of 1/2" gypsum board on the enclosed side. [CRC R302.7]

[Comment 00039 | Sheet TS-1 | Open]

Architectural Review Comments:

Revise Second Floor Plan on A-1.2, Sections C/A-3.0, G/A-3.2, and H/A-3.3, and Interior Elevation 3B/A-4.1 to provide and reference a detail for the Guards located at the open sided walking surfaces in Second Floor Upper Hall adjacent to the proposed Interior Stairway.

Details for the Guards located at the open sided walking surfaces in Second Floor Upper Hall adjacent to the proposed Interior Stairway must show and specify the following: [CRC R312.1.2]

- 42" minimum height
- Openings that will not allow the passage of a 4" diameter sphere
- Type, size, and spacing for all Guard elements (posts, rails, pickets/balusters, etc.)
- Method of supporting and anchoring the Guard elements to the floor/landing framing members
- Type, size, and spacing for all anchors/fasteners and connection hardware

Coordinate the support and anchorage of the Guards located at the open sided walking surfaces in Second Floor Upper Hall adjacent to the proposed Interior Stairway with the Structural Engineer.

[Comment 00040 | Sheet TS-1 | Open]

Architectural Review Comments:

A-1.0: Revise As-Built/Demo Plan – Roof on A-1.0 to show the following:

- Location and type for all existing roof coverings remaining
- Location and type for all existing roof coverings being removed/demolished

[Comment 00041 | Sheet TS-1 | Open]

Architectural Review Comments:

A-1.3/A-2.0/A-2.1: Revise Roof Plan on A-1.3 and Elevations on A-2.0 and A-2.1 to show the following:

- Location and type for all existing roof coverings remaining
- Location and type for all new roof coverings being installed

[Comment 00042 | Sheet TS-1 | Open]

Architectural Review Comments:

A-1.3/A-2.0/A-2.1: Revise Roof Plan on A-1.3 and Elevations on A-2.0 and A-2.1 to provide and show a Class A, fire-retardant roof covering for all new roof areas. [SDMC 149.0902(a)(1)]



THE CITY OF SAN DIEGO
Development Services Department
1222 1st Avenue, San Diego, CA 92101

Show and specify the manufacturer, roof covering, and ICC, UL, or IAPMO product listing for the Class A, fire-retardant roof coverings at all new roof areas.

[Comment 00043 | Sheet TS-1 | Open]

Architectural Review Comments:

A-1.2: Revise Second Floor Plan on A-1.2 to provide and show Overflow Drains or Overflow Scuppers at Second Floor Balcony 1 and Balcony 2 complying with the following requirements: [CRC R903.4.1]:

- Overflow Drains must be the same size as the Drain and must be installed with the flow line located 2" above the low point of the balcony
- Overflow Scuppers must have an opening area three times the size of the Drain, a minimum opening height of 4"; be installed in an adjacent wall/guard, and an inlet flow located 2" above the low point of the balcony
- Overflow Drains and Overflow Scuppers must have separate outlets from the Drains/Scuppers

[Comment 00044 | Sheet TS-1 | Open]

Architectural Review Comments:

A-1.2: Revise Second Floor Plan on A-1.2 to show and specify an approved waterproof decking material for Second Floor Balcony 1 and Balcony 2 over interior spaces. [CRC R903.1]

Show and specify the manufacturer, waterproof decking material, and ICC, UL, or IAPMO product listing for the waterproof decking material at Second Floor Balcony 1 and Balcony 2.

[Comment 00045 | Sheet TS-1 | Open]

Architectural Review Comments:

A-1.4: Revise Skylight Schedule on A-1.4 to show and specify an ICC product listing for all new Skylights (Skylights s3, s4, and s5).

[Comment 00046 | Sheet TS-1 | Open]

Architectural Review Comments:

A-1.1/A-2.1: Revise First Floor Plan on A-1.1 and Northeast Elevation on A-2.1 to provide and show a minimum 18" by 24" access to all under-floor spaces. Openings through a perimeter wall shall not be less than 16" by 24". [CRC R408.4]

[Comment 00047 | Sheet TS-1 | Open]

Architectural Review Comments:

A-1.0/A-1.1: Revise As-Built/Demo Plan – First Floor on A-1.0 and First Floor Plan on A-1.1 to show and specify whether the Fireplace in First Floor Living Room is existing to remain or being changed/modified.

Additional comments may be applied if work is being done at the Fireplace in First Floor Living Room.

[Comment 00048 | Sheet TS-1 | Open]

Structural Review Comments:

All Structural sheets included in the Corrected Building Construction Plans must be stamped and signed by a California licensed Civil/Structural Engineer. This requirement will be verified at next Recheck.

[Comment 00049 | Sheet TS-1 | Open]

Structural Review Comments:

Provide a Ground Motion Hazard Analysis in accordance with ASCE 7-16, Section 21.2, since the existing SDU building with proposed Additions is located on a site classified as Site Class D and has a mapped Maximum Considered



THE CITY OF SAN DIEGO
Development Services Department
1222 1st Avenue, San Diego, CA 92101

Earthquake (MCEr) Spectral Response Acceleration Parameter at a period of 1 second (S1) greater than or equal to 0.2. [ASCE 7-16 11.4.8]

Otherwise, update Lateral Calculations to show the following per ASCE 7-16, Section 11.4.8, Exception 2:

- Seismic Response Coefficient (Cs) determined in accordance with Equation 12.8-2 for $T \leq 1.5 * T_s$
- Cs determined in accordance with Equation 12.8-3 for $T \geq T > 1.5 * T_s$
- Cs determined in accordance with Equation 12.8-4 for $T > T_L$

T is the fundamental period of the building per ASCE 7-16, Section 12.8.2

$T_s = S_d1/S_d_s$

T_L is long-period transition period per ASCE 7-16, Figure 22-14

[Comment 00050 | Sheet TS-1 | Open]

Structural Review Comments:

S005: Structural Calculations design the 2nd Floor (roof level) shear wall piers along grid line 5 as segmented shear walls, while Roof Framing Plan and Detail 16/SD01 show that 2nd Floor (roof level) shear wall piers along grid line 5 are perforated/force-transfer shear walls.

Clarify whether the 2nd Floor (roof level) shear wall piers along grid line 5 shown on Roof Framing Plan on S005 are segmented shear walls, perforated shear walls, or force-transfer shear walls.

[Comment 00051 | Sheet TS-1 | Open]

Structural Review Comments:

S005: Revise Structural Calculations to justify that the aspect ratios and capacity adjustments for the following shear walls comply with 2021 AWC SDPWS, Section 4.3.4:

- 2nd Floor (roof level) shear wall piers along grid lines 5

[Comment 00052 | Sheet TS-1 | Open]

Structural Review Comments:

S005: Revise Roof Framing Plan on S005 to provide and show drag struts and straps for 2nd Floor (roof level) shear wall along grid line 10.

[Comment 00053 | Sheet TS-1 | Open]

Structural Review Comments:

S005: Revise Roof Framing Plan on S005 to show Type B holdowns on each side of each 2nd Floor (roof level) shear wall pier along grid line L in accordance with the Structural Calculations.

[Comment 00054 | Sheet TS-1 | Open]

Structural Review Comments:

S005: Revise Roof Framing Plan on S005 to show that 2nd Floor (roof level) shear wall pier along grid line L are Type 4 shear walls, not Type 3 shear walls in accordance with the Structural Calculations.

[Comment 00055 | Sheet TS-1 | Open]

Structural Review Comments:

S005: Revise Roof Framing Plan on S005 to show Type C holdowns, not Type B holdowns, on each side of each 2nd Floor (roof level) shear wall pier along grid line N in accordance with the Structural Calculations.

[Comment 00056 | Sheet TS-1 | Open]



THE CITY OF SAN DIEGO
Development Services Department
1222 1st Avenue, San Diego, CA 92101

Structural Review Comments:

S004: Elements supporting discontinuous shear walls must be designed to resist the seismic load effects including overstrength factor (ω) of ASCE 7-16, Section 12.4.3. [ASCE 7-16, Section 12.3.3.3]

Revise Structural Calculations for floor beam (FB-2) along grid line 5 to justify that floor beam (FB-2) can resist seismic loads with overstrength factor (ω) from the discontinuous 2nd Floor (roof level) shear walls above.

[Comment 00057 | Sheet TS-1 | Open]

Structural Review Comments:

S004: Revise Structural Calculations for floor beam (FB-5) along grid line 10 to justify that floor beam (FB-5) can resist seismic loads with overstrength factor (ω) from the discontinuous 2nd Floor (roof level) shear walls above. [ASCE 7-16, Section 12.3.3.3]

[Comment 00058 | Sheet TS-1 | Open]

Structural Review Comments:

S004: Revise Structural Calculations for floor beam (FB-3) along grid line L to justify that floor beam (FB-3) can resist seismic loads with overstrength factor (ω) from the discontinuous 2nd Floor (roof level) shear walls above. [ASCE 7-16, Section 12.3.3.3]

[Comment 00059 | Sheet TS-1 | Open]

Structural Review Comments:

S004: Provide Structural Calculations for 6×12 header beam along grid line N to justify that the 6×12 header beam can resist seismic loads with overstrength factor (ω) from the discontinuous 2nd Floor (roof level) shear walls above. [ASCE 7-16, Section 12.3.3.3]

[Comment 00060 | Sheet TS-1 | Open]

Structural Review Comments:

Include the current Hardy Panel Structural Detail sheets in the Corrected Building Construction Plans.

[Comment 00061 | Sheet TS-1 | Open]

Structural Review Comments:

S004: Revise Roof Framing Plan on S004 to provide and show drag struts and straps for 1st Floor (2nd floor level) shear wall along grid line H.

[Comment 00062 | Sheet TS-1 | Open]

Structural Review Comments:

Revise Structural Calculations for the soil design parameters and loads specified in the Geotechnical Investigation Report.

[Comment 00063 | Sheet TS-1 | Open]

Special Inspections:

S002: Revise Statement Of Special Inspection on S002 to include the following as special inspection items:

- Hardy Panels per ICC ESR-2089
- Simpson TITEN HD concrete anchors per ICC ESR-2713 shown on Detail 14/SD04

[Comment 00064 | Sheet TS-1 | Open]



THE CITY OF SAN DIEGO
Development Services Department
1222 1st Avenue, San Diego, CA 92101

Special Inspections:

S002: Add the following note to Special Inspection Summary on S002: "NOTICE TO THE APPLICANT/OWNER/ OWNER'S AGENT/ARCHITECT or ENGINEER OF RECORD: By using this permitted construction drawings for construction/installation of the work specified herein, you agree to comply with the requirements of City of San Diego for special inspections, structural observations, construction material testing and off-site fabrication of building components, contained in the statement of special inspections, and as required by the California construction codes."

Add the following note to Special Inspection Summary on S002: "NOTICE TO THE CONTRACTOR/BUILDER/INSTALLER/SUB-CONTRACTOR/OWNER-BUILDER: By using this permitted construction drawings for construction/installation of the work specified herein, you acknowledge and are aware of, the requirements contained in the statement of special inspections. You agree to comply with the requirements of City of San Diego for special inspections, structural observations, construction material testing and off-site fabrication of building components, contained in the statement of special inspections, and as required by the California construction codes."

Add the following note to Special Inspection Summary on S002: "The special inspector must be certified by the City of San Diego, Development Services, in the category of work required to have special inspection."

Add the following note to Special Inspection Summary on S002: "The construction materials testing laboratory must be approved by the City of San Diego, Development Services, for testing of materials, systems, components, and equipment."



THE CITY OF SAN DIEGO
Development Services Department
1222 1st Avenue, San Diego, CA 92101

Project Address 1821 Viking
San Diego, CA 92037

Project Type Building Construction

Primary Contact francis@happyspacestudio.com

Instructions

<p>The following issues require corrections to the documents submitted.</p>

Building Construction Plans PRJ-1112693.pdf

DSD-Combined

Richard Stewart
StewartR@sandiego.gov

[Comment 00067 | Sheet TS-1 | Open]

IMPORTANT NOTE TO APPLICANT, INFORMATION ONLY:

For your review to be completed in a timely manner, please review the Accela system generated email informing the applicant that a "Recheck is Required" and follow the instructions provided for the next steps. During the process of uploading documents required for the next review or recheck, please ensure that THE SELECTED DOCUMENT NAME IN ACCELA MATCHES THE DOCUMENT NAME INDICATED ON THE ACCELA COMMUNICATION PORTAL, otherwise the Accela Workflow will not advance and a delay in plan rechecks will occur.

To facilitate recheck, an **APPLICANTS RESPONSE TO ISSUES** letter shall clearly, concisely, and comprehensively address all the issues raised from the issues report. Responses must indicate how compliance is being achieved and where on the plans the correction(s) was/were made. The numbering sequence for the written responses must match the numbering sequence for the review issues.

When resubmitting, DO NOT use documents with volume #'s unless specifically requested, it will not override the previously submitted plan set and thus the Accela Workflow will not advance and a delay in plan rechecks will occur. Volume #'s should only be used for multi volume plan submittals not for use with single volume sets.

[Comment 00068 | Sheet TS-1 | Open]

Please add Note on the plans : " An electronically signed and registered Installation Certificate(s) (CF2R) posted by the installing contractor shall be submitted to the field inspector during construction at the building site. A registered CF2R will have a unique 21-digit registration number followed by four zeros located at the bottom of each page. The first 12 digits of the number will match the registration number of the associated CF1R. Certificate of Occupancy will not be issued until forms CF2R is reviewed and approved."

[Comment 00069 | Sheet TS-1 | Open]

Please add HERS Note on the plans: "An electronically signed and registered Certificate(s) of Field Verification and Diagnostic Testing (CF3R) shall be posted at the building signed and registered Certificate(s) of Field Verification and Diagnostic Testing (CF3R) shall be posted at the building site by a certified HERS rater. A registered CF3R will have a



THE CITY OF SAN DIEGO
Development Services Department
1222 1st Avenue, San Diego, CA 92101

unique 25-digit registration number located at the bottom of each page. The first 20 digits of the number will match the registration number of the associated CF2R. Certificate of Occupancy will not be issued until CF3R is reviewed and approved."



THE CITY OF SAN DIEGO
Development Services Department
1222 1st Avenue, San Diego, CA 92101

Project Address 1821 Viking
San Diego, CA 92037

Project Type Building Construction

Primary Contact francis@happyspacestudio.com

Instructions

<p>The following issues require corrections to the documents submitted.</p>

Building Construction Plans PRJ-1112693.pdf

DSD-Historic

Alvin Lin
AMLin@sandiego.gov

[Comment 00070 | Sheet TS-1 | Closed]

The property located at **1821 Viking Wy, APN 346-454-0100**, is not an individually designated resource and is not located within a designated historic district. However, San Diego Municipal Code Section 143.0212 requires City staff to review all projects impacting a parcel that contains a structure 45 years old or older to determine whether a potentially significant historical resource exists on site prior to issuance of a permit. (Info Only, No Response Required.)

During this review buildings are evaluated for eligibility under local designation criteria. The designation criteria and guidelines for their application can be found on the City's website:
<http://www.sandiego.gov/planning/programs/historical/pdf/201102criteriaguidelines.pdf> (Informational Only; No Response or Action Required)

More information regarding this review process can be found in Information Bulletin 580:
<http://www.sandiego.gov/development-services/pdf/industry/infobulletin/ib580.pdf> (Informational Only; No Response or Action Required)

If City staff determines after review of these documents that no potentially significant historical resource exists on site, the parcel will be exempt from further historical review for five years from this date unless new information is provided that speaks to the building's eligibility for designation. (Informational Only; No Response or Action Required.)

If City staff determines that a potentially significant historical resource exists on the site, all modifications and additions will be evaluated to determine consistency with the Secretary of the Interior's Standards for Treatment of Historic Properties (Standards). If the proposed project is consistent with the Standards, the permit process may proceed and the parcel will require additional review for all future modifications. If the proposed project is not consistent with the Standards, the applicant may redesign the project or prepare a historic report that evaluates the building's integrity and eligibility under all designation criteria. (Informational Only; No Response or Action Required.)

Staff has reviewed the photos, Assessor's Building Record, water and sewer records and considered all other information received from the applicant as well as any input received through applicable public noticing and outreach and have made the following determination:



THE CITY OF SAN DIEGO
Development Services Department
1222 1st Avenue, San Diego, CA 92101

The property does not meet local designation criteria as an individually significant resource under any adopted Historical Resources Board Criteria. Therefore, no historical research report required at this time. This determination is good for 5 years from this date unless new information is provided that speaks to the building's eligibility for designation. Any applications made after 5 years will be subject to review for potential historic resources, consistent with Municipal Code requirements. (Info Only, No Response Required)

Because the property is not eligible for designation, the plans have not been stamped by Plan-Historic staff. No Plan-Historic stamps are required for permit issuance. Should you have any questions regarding this review, please contact the "Reviewer" listed at the top of this cycle issues report. (Info Only, No Response Required.)



THE CITY OF SAN DIEGO
Development Services Department
1222 1st Avenue, San Diego, CA 92101

Project Address 1821 Viking
San Diego, CA 92037

Project Type Building Construction

Primary Contact francis@happyspacestudio.com

Instructions

<p>The following issues require corrections to the documents submitted.</p>

Other

DSD-Geology

Xiomara Rosenblatt-Dailey
xrosenblatt@sanidiego.gov

[[Comment 00071](#) | [Page](#) | [Open](#)]

Information Only (No Response Required):

DSD-Geology review of a geotechnical report for the project is waived pursuant to San Diego Municipal Code [§145.1803(b)(2)]. Please check with your DSD-Structural reviewer regarding geotechnical report requirements for soils engineering purposes. DSD-Geology has no additional comments at this time.



THE CITY OF SAN DIEGO
Development Services Department
1222 1st Avenue, San Diego, CA 92101

Project Address 1821 Viking
San Diego, CA 92037

Project Type Building Construction

Primary Contact francis@happyspacestudio.com

Instructions

<p>The following issues require corrections to the documents submitted.</p>

Building Construction Plans PRJ-1112693.pdf

DSD-Planning Review

Sarah Hatinen
SHatinen@sandiego.gov
(619) 446-5394

[Comment 00072 | Sheet TS-1 | Open]

The proposal includes an addition to an existing single dwelling unit.

The site lies within: Base Zone La Jolla Shores Planned district – Single Family (LJSPD-SF), Coastal Overlay Zone (Non Appealable Area 2), Parking Impact Overlay Zone (Beach), Transit Area Overlay Zone, Parking Standards Transit Priority Area, Transit Priority Area, and the La Jolla Community Plan Area.

Please provide a written response addressing each of the following issues:

Per SDMC 1510.0201(a) and Information Bulletin 621, the addition over 10 percent and new second story is considered a major addition within La Jolla Shores. This requires a discretionary Process Three La Jolla Shores Planned District Permit processed as a Site Development Permit (SDP) heard by the Hearing Officer. Please resubmit for a discretionary SDP.

Upon formal submittal for the SDP, please be certain to include a neighborhood survey demonstrating general conformity with the neighborhood for the setbacks.



THE CITY OF SAN DIEGO
Development Services Department
1222 1st Avenue, San Diego, CA 92101

Project Address 1821 Viking
San Diego, CA 92037

Project Type Building Construction

Primary Contact francis@happyspacestudio.com

Instructions

<p>The following issues require corrections to the documents submitted.</p>

Building Construction Plans PRJ-1112693.pdf

DSD-Landscape Review

Andrew Colcleaser
acolcleaser@sandiego.gov

[Comment 00073 | Sheet TS-1 | Open]

(Information only) Scope: This project is proposing a remodel as well as a first and second story addition to an existing single-dwelling unit. LJSPD-SF zone in La Jolla CPA.

[Comment 00074 | Sheet TS-1 | Open]

1510.0304(h)(1) In the Single-Family Zone, all of the property not used or occupied by structures, unplanted recreational areas, walks and driveways shall be landscaped and may include native materials, and in no case shall this landscaped area be less than 30 percent of the total parcel area. All landscaping and irrigation shall be developed in conformance with the Landscape Guidelines of the Land Development Manual.

[Comment 00075 | Sheet TS-1 | Open]

Include a landscape diagram clearly delineating all hardscape on the site as defined in the previous comment, as well as all landscaped areas. Ensure that landscaped area is 30% or more of total lot area.

[Comment 00076 | Sheet TS-1 | Open]

Show location of existing trees on site as well as include botanical and common name. Whenever feasible, existing mature trees shall be retained.

[Comment 00077 | Sheet TS-1 | Open]

Note: Planning review has identified that this project is subject to an SDP (Site Development Permit). Please ensure that these comments are addressed on the SDP.

Neighborhood Aerial View:



The neighborhood includes a varied mix of styles: Spanish/mission revival, ranch, contemporary, post-modern, cottage and more. There is no prevailing style that defines the neighborhood. The proposed addition to the existing coastal, cottage-style bungalow home at 1821 Viking Way is proposed to be done in keeping with the original style of the home and will therefore remain consistent with the character of the neighborhood.

300 ft Neighborhood Address List:

#	PARCEL NUMBER	SITE ADDRESS	CITY	STATE	ZIP	USE DESCRIPTION
1	346-451-01-00	1802 VIKING WAY	LA JOLLA	CA	92037	RESID. SINGLE FAMILY
2	346-451-02-00	7907 PRINCESS ST	LA JOLLA	CA	92037	RESID. SINGLE FAMILY
3	346-451-03-00	7921 PRINCESS ST	LA JOLLA	CA	92037	RESID. SINGLE FAMILY
4	346-451-04-00	7931 PRINCESS ST	LA JOLLA	CA	92037	RESID. SINGLE FAMILY
5	346-451-05-00	7939 PRINCESS ST	LA JOLLA	CA	92037	RESID. SINGLE FAMILY
6	346-451-06-00	7949 PRINCESS ST	LA JOLLA	CA	92037	RESID. SINGLE FAMILY
7	346-451-07-00	1819 SPINDRIFT DR	LA JOLLA	CA	92037	RESID. SINGLE FAMILY
8	346-451-08-00	1825 SPINDRIFT DR	LA JOLLA	CA	92037	RESID. SINGLE FAMILY
9	346-451-09-00	1835 SPINDRIFT DR	LA JOLLA	CA	92037	RESID. SINGLE FAMILY
10	346-451-10-00	1851 SPINDRIFT DR	LA JOLLA	CA	92037	RESID. SINGLE FAMILY
11	346-451-11-00	1855 SPINDRIFT DR	LA JOLLA	CA	92037	RESID. SINGLE FAMILY
12	346-451-12-00	1857 SPINDRIFT DR	LA JOLLA	CA	92037	RESID. SINGLE FAMILY
13	346-451-13-00	1867 SPINDRIFT DR	LA JOLLA	CA	92037	RESID. SINGLE FAMILY
14	346-451-14-00	1877 SPINDRIFT DR	LA JOLLA	CA	92037	RESID. SINGLE FAMILY
15	346-451-16-00	1890 VIKING WAY	LA JOLLA	CA	92037	RESID. SINGLE FAMILY
16	346-451-17-00	1888 VIKING WAY	LA JOLLA	CA	92037	RESID. SINGLE FAMILY
17	346-451-18-00	1874 VIKING WAY	LA JOLLA	CA	92037	RESID. SINGLE FAMILY
18	346-451-19-00	1856 VIKING WAY	LA JOLLA	CA	92037	AGRICULTURAL PRESERVE
19	346-451-20-00	1842 VIKING WAY	LA JOLLA	CA	92037	RESID. SINGLE FAMILY
20	346-451-21-00	1832 VIKING WAY	LA JOLLA	CA	92037	RESID. SINGLE FAMILY
21	346-451-24-00	1810 VIKING WAY	LA JOLLA	CA	92037	RESID. SINGLE FAMILY
22	346-451-25-00	1820 VIKING WAY	LA JOLLA	CA	92037	RESID. SINGLE FAMILY
23	346-454-01-00	1821 VIKING WAY	LA JOLLA	CA	92037	RESID. SINGLE FAMILY
24	346-454-02-00	1857 VIKING WAY	LA JOLLA	CA	92037	AGRICULTURAL PRESERVE
25	346-454-03-00	1879 VIKING WAY	LA JOLLA	CA	92037	RESID. SINGLE FAMILY
26	346-454-04-00	1887 VIKING WAY	LA JOLLA	CA	92037	RESID. SINGLE FAMILY
27	346-454-05-00	1891 VIKING WAY	LA JOLLA	CA	92037	AGRICULTURAL PRESERVE
28	346-454-06-00	7914 ST LOUIS TER	LA JOLLA	CA	92037	RESID. SINGLE FAMILY
29	346-454-07-00	7910 ST LOUIS TER	LA JOLLA	CA	92037	VACANT
30	346-454-08-00	1880 TORREY PINES RD	LA JOLLA	CA	92037	RESID. SINGLE FAMILY
31	346-454-09-00	1876 LITTLE ST	LA JOLLA	CA	92037	RESID. SINGLE FAMILY
32	346-454-10-00	1860 TORREY PINES RD	LA JOLLA	CA	92037	RESID. SINGLE FAMILY
33	346-454-11-00	1801 VIKING WAY	LA JOLLA	CA	92037	RESID. SINGLE FAMILY
34	350-151-04-00	7956 PRINCESS ST	LA JOLLA	CA	92037	RESID. SINGLE FAMILY
35	350-151-13-00	7944 PRINCESS ST	LA JOLLA	CA	92037	RESID. SINGLE FAMILY
36	350-151-14-00	7930 PRINCESS ST	LA JOLLA	CA	92037	RESID. SINGLE FAMILY
37	350-161-03-00	1834 AMALFI ST	LA JOLLA	CA	92037	RESID. SINGLE FAMILY
38	350-161-04-00	7840 SIERRA MAR DR	LA JOLLA	CA	92037	RESID. SINGLE FAMILY
39	350-161-09-00	1821 TORREY PINES RD	LA JOLLA	CA	92037	AGRICULTURAL PRESERVE
40	350-161-10-00	AMALFI ST	LA JOLLA	CA	92037	VACANT
41	350-162-01-00	7851 HILLSIDE DR	LA JOLLA	CA	92037	RESID. SINGLE FAMILY
42	350-162-10-00	7841 HILLSIDE DR	LA JOLLA	CA	92037	RESID. SINGLE FAMILY



1802 Viking Way
Lot size: 7,802 sf
Gross area: 2,153 sf
Setbacks
Front: 21'
Sides: 4' & 30'
Rear: 2'



7907 Princess St
Lot size: 10,782 sf
Gross area: 7,444 sf
Setbacks
Front: 5'
Sides: 0' & 5'
Rear: 2'



7921 Princess St
Lot size: 5,001 sf
Gross area: 1,733 sf
Setbacks
Front: 0'
Sides: 5' & 4'
Rear: 18'-6"



7931 Princess St
Lot size: 5,001 sf
Gross area: 2,001 sf
Setbacks
Front: 4'
Sides: 7' & 0'
Rear: 15'



7939 Princess St
Lot size: 4,800 sf
Gross area: 1,385 sf
Setbacks
Front: 4'
Sides: 4'-6" & 0'
Rear: 13'-6"



7949 Princess St
Lot size: 5,885 sf
Gross area: 1,752 sf
Setbacks
Front: 8'
Sides: 12'-6" & 6'
Rear: 45'



1819 Spindrift Dr
Lot size: 6,077 sf
Gross area: 3,200 sf
Setbacks
Front: 10'
Sides: 4' & 0'
Rear: 35'



1825 Spindrift Dr
Lot size: 7,897 sf
Gross area: 2,110 sf
Setbacks
Front: 10'
Sides: 4' & 12'
Rear: 20'



1835 Spindrift Dr
Lot size: 7,927 sf
Gross area: 3,214 sf
Setbacks
Front: 10'
Sides: 3' & 5'
Rear: 4'



1851 Spindrift Dr
Lot size: 4,500 sf
Gross area: 1,725 sf
Setbacks
Front: 16'
Sides: 3' & 1'
Rear: 22'



1855 Spindrift Dr
Lot size: 4,609 sf
Gross area: 3,221 sf
Setbacks
Front: 14'
Sides: 4' & 1'
Rear: 25'



1857 Spindrift Dr
Lot size: 7,998 sf
Gross area: 3,190 sf
Setbacks
Front: 10'
Sides: 8' & 4'
Rear: 4'



1867 Spindrift Dr
Lot size: 6,599 sf
Gross area: 1,482 sf
Setbacks
Front: 17'
Sides: 5' & 4'
Rear: 16'



1877 Spindrift Dr
Lot size: 7,301 sf
Gross area: 2,400 sf
Setbacks
Front: 14'
Sides: 5' & 7'
Rear: 16'



1890 Viking Way
Lot size: 12,600 sf
Gross area: 5,729 sf
Setbacks
Front: 13'
Sides: 3' & 11'
Rear: 9'



1888 Viking Way
Lot size: 6,203 sf
Gross area: 1,670 sf
Setbacks
Front: 17'
Sides: 4' & 14'
Rear: 20'



1874 Viking Way
Lot size: 8,198 sf
Gross area: 3,274 sf
Setbacks
Front: 14'
Sides: 7' & 5'
Rear: 34'



1856 Viking Way
Lot size: 10,101 sf
Gross area: 3,995 sf
Setbacks
Front: 13'
Sides: 15' & 27'
Rear: 0'



1842 Viking Way
Lot size: 7,844 sf
Gross area: 2,620 sf
Setbacks
Front: 10'
Sides: 4' & 6'
Rear: 8'



1832 Viking Way
Lot size: 7,501 sf
Gross area: 3,657 sf
Setbacks
Front: 15'
Sides: 5'-6" & 10'
Rear: 7'



1810 Viking Way
Lot size: 6,726 sf
Gross area: 1,493 sf
Setbacks
Front: 18'
Sides: 4' & 6'
Rear: 20'



1820 Viking Way
Lot size: 7,928 sf
Gross area: 2,963 sf
Setbacks
Front: 18'
Sides: 4' & 4'
Rear: 4'



1821 Viking Way
Lot size: 8,135 sf
(Project site)
See proposed plans
for existing &
proposed areas &
setbacks



1857 Viking Way
Lot size: 5,462 sf
Gross area: 3,273 sf
Setbacks
Front: 14'
Sides: 6'-6" & 4'
Rear: 12'



1879 Viking Way
Lot size: 6,787 sf
Gross area: 4,268 sf
Setbacks
Front: 13'
Sides: 3' & 5'
Rear: 4'

25.



1887 Viking Way
Lot size: 4,900 sf
Gross area: 1,960 sf
Setbacks
Front: 16'
Sides: 4' & 4'
Rear: 14'

26.



1891 Viking Way
Lot size: 15,939 sf
Gross area: 2,351 sf
Setbacks
Front: 26'
Sides: 16' & 33'
Rear: 44'

27.



7914 St Louis Ter
Lot size: 4,173 sf
Gross area: 2,112 sf
Setbacks
Front: 3'
Sides: 0' & 5'
Rear: 7'



7910 St Louis Ter
Lot size: 6,500 sf
Gross area: 0 sf
Setbacks
Front: n/a
Sides: n/a
Rear: n/a



1880 Torrey Pines Rd
Lot size: 5,415 sf
Gross area: 2,810 sf
Setbacks
Front: 15'
Sides: 2' & 1'
Rear: 15'



1876 Little St
Lot size: 5,332 sf
Gross area: 3,508 sf
Setbacks
Front: 15'
Sides: 4' & 6'
Rear: 18'

31.



1860 Torrey Pines Rd
Lot size: 6,564 sf
Gross area: 2,128 sf
Setbacks
Front: 14'-6"
Sides: 8' & 35'
Rear: 1'

32.



1801 Viking Way
Lot size: 6,499 sf
Gross area: 2,587 sf
Setbacks
Front: 19'
Sides: 2' & 15'
Rear: 36'

33.



7956 Princess St
Lot size: 11,252 sf
Gross area: 3,572 sf
Setbacks
Front: 9'
Sides: 3'-6" & 4'
Rear: 60'



7944 Princess St
Lot size: 9,071 sf
Gross area: 2,201 sf
Setbacks
Front: 8'
Sides: 4' & 12'
Rear: 54'



7930 Princess St
Lot size: 5,149 sf
Gross area: 1,586 sf
Setbacks
Front: 14'
Sides: 5' & 4'
Rear: 16'



1834 Amalfi St
Lot size: 6,842 sf
Gross area: 3,228 sf
Setbacks
Front: 54'
Sides: 3' & 4'
Rear: 50'

37.



7840 Sierra Mar Dr
Lot size: 7,318 sf
Gross area: 3,682 sf
Setbacks
Front: 8'
Sides: 28' & 30'
Rear: 2'

38.



1821 Torrey Pines Rd
Lot size: 8,810 sf
Gross area: 2,313 sf
Setbacks
Front: 47'
Sides: 8' & 13'
Rear: 5'

39.



Amalfi St
Lot size: 10,953 sf
Gross area: 0 sf
Setbacks
Front: n/a
Sides: n/a
Rear: n/a

40.



7851 Hillside Dr
Lot size: 18,361 sf
Gross area: 2,400 sf
Setbacks
Front: 13'
Sides: 50' & 15'
Rear: 20'

41.



7841 Hillside Dr
Lot size: 33,977 sf
Gross area: 6,052 sf
Setbacks
Front: 4'
Sides: 4' & 70'
Rear: 35'

42.