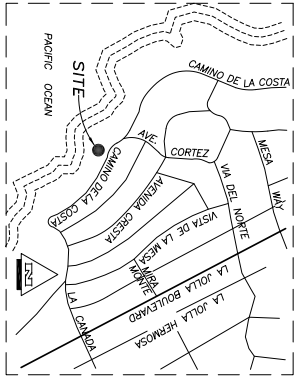


APPENDIX C
Treatment Plan



PROJECT DESCRIPTION:

A COASTAL DEVELOPMENT PERMIT AND SITE DEVELOPMENT PERMIT TO DEMOLISH AN EXISTING HISTORICALLY DESIGNATED 3,036 SQUARE FOOT (SF) 2-STORY RESIDENCE AND CONSTRUCT A NEW 2-STORY 9,200 SF RESIDENCE WITH A BASEMENT LOCATED AT 6110 CAMINO DE LA COSTA. THE PROJECT WOULD ALSO INCLUDE A POOL UNDER THE PROPOSED RESIDENCE AND ASSOCIATED SITE IMPROVEMENTS (I.E. HARDSCAPE AND LANDSCAPING). THE PROJECT WOULD PRESERVE THE EXISTING WALL ALONG THE FRONTAGE OF THE SITE AND DETACHED GARAGE IN PLACE.

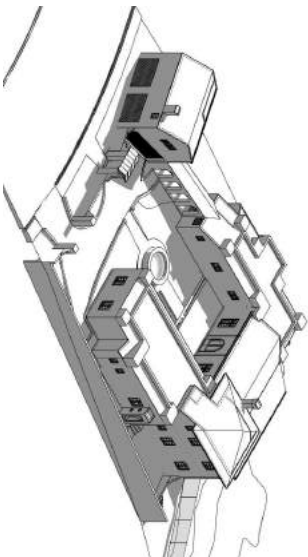
THE PROPOSED DEVELOPMENT WOULD INCLUDE LANDSCAPE IMPROVEMENTS INCLUDING HEDGES ALONG THE FRONTAGE OF THE SITE AND EDGES OF THE SITE ADJACENT TO THE NEIGHBORING PROPERTIES ON THE NORTH AND SOUTH. LANDSCAPING WOULD ALSO INCLUDE TREES, SUCCULENTS, AND SHRUBS IN THE FRONT PORTION OF THE SITE. THE SITE WOULD BE ACCESSIBLE FROM A NEW DRIVEWAY OFF CAMINO DE LA COSTA AND THE PROJECT WOULD CONNECT TO EXISTING UTILITIES WITHIN CAMINO DE LA COSTA. DRAINAGE WOULD BE DIRECTED AWAY FROM THE COASTAL BLUFF AND DIRECTED INTO THE EXISTING STORM DRAIN SYSTEM.

THE PROPOSED PROJECT WOULD ALSO INCLUDE REMOVAL OF THE EXISTING WALLS AND STAIRS WEST OF THE BLUFF EDGE AND WOULD PRESERVE ALL PORTIONS OF THE LOT WEST OF THE BLUFF EDGE AS ENVIRONMENTALLY SENSITIVE LANDS (SENSITIVE COASTAL BLUFF) WITHIN A COVENANT OF EASEMENT. THE COVENANT OF EASEMENT WOULD INCLUDE LAND USE RESTRICTIONS WITH THE INTENT TO PRECLUDE FUTURE DEVELOPMENT AND TO PRESERVE THE AREA.

THE PROPOSED RESIDENCE WOULD BE A MAXIMUM HEIGHT OF 30 FEET WITHIN THE 30-FOOT COASTAL HEIGHT LIMIT. THE RESIDENCE WOULD INCLUDE CAST IN PLACE NATURAL GREY WALLS, FROSTED GLASS LINED BY BLACK METAL WOOD PANELS, DECORATIVE METAL SCREENING, METAL ENTRY AND SLIDING GATES.



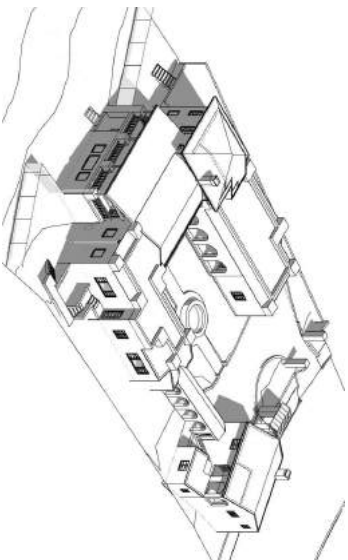
TREATMENT PLAN




NE Axonometry

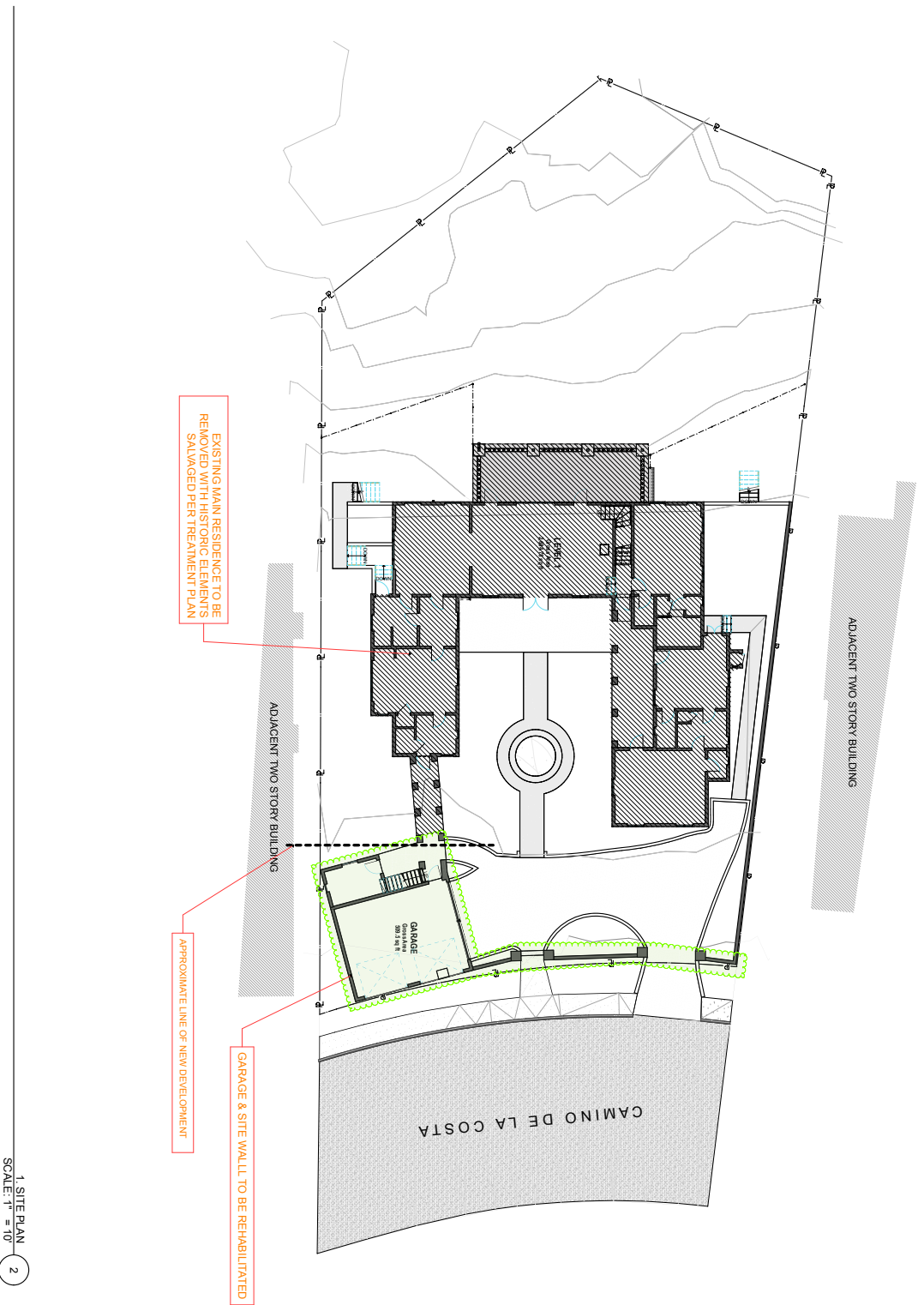
SHEET INDEX

- TP.0 - COVER SHEET
- TP.1 - SITE PLAN
- TP.3 - LEVEL 1
- TP.4 - LEVEL 2
- TP.5 - ROOF PLAN
- TP.6 - ELEVATIONS
- TP.7 - ELEVATIONS



SW Axonometry

	<p>PROJECT: CASA DE LOS AMIGOS</p> <p>HRB# 1481 6110 CAMINO DE LA COSTA LA JOLLA, CA 92037 357-141-05-00</p> <p>PROJECT #: 106610</p>	<p>ARCHITECT: JONATHAN SEGAL FAIA</p> <p>3000 UPAS STREET SUITE 101 SAN DIEGO, CA 92104 619-993-6269 www.jonathansegalarchitect.com</p>	<p>DATE: 07/2023 10:30AM</p> <p>SCALE:</p> <p>COVER SHEET</p>	<p>TP.0</p> <p>COVER SHEET</p>											
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NO.	DATE	DESCRIPTION													



1 SITE PLAN
SCALE: 1" = 10'
2

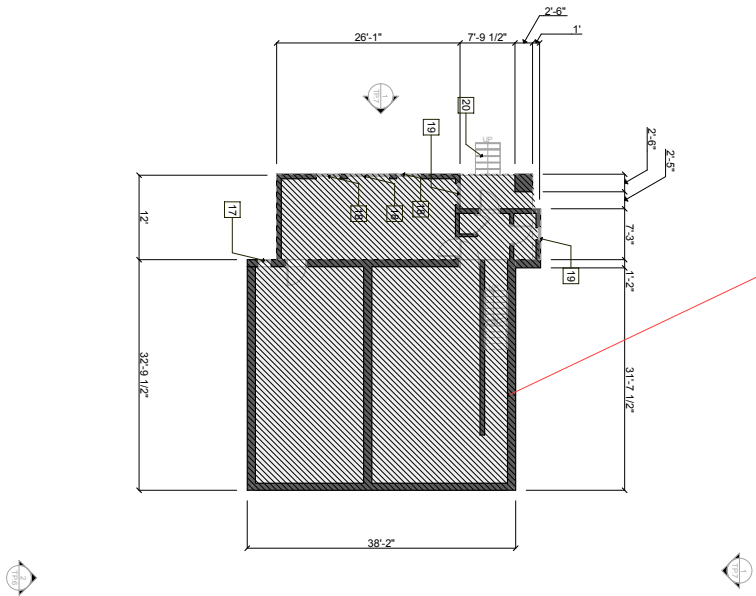
KEYNOTES

- 1 CONCRETE DRIVEWAY
- 2 PAINTED CONCRETE WALKWAY
- 3 STUCCO SIDING
- 4 METAL RAILING
- 5 CERAMIC TILING
- 6 TILE STEPS
- 7 CLAY TILE ROOFING
- 8 FLAT ROOF
- 9 CHIMNEY
- 10 TILE FOUNTAIN
- 11 EXTERIOR WOOD STAIRS
- 12 WATER HEATER
- 13 WOOD SINGLE CASSETT WINDOW
- 14 ALUMINUM WINDOW (NH)
- 15 TILE ROOFING
- 16 BUILT-UP ROOFING
- 17 LOUVERED VENT
- 18 WOOD FRAMED CASSETT WINDOW
- 19 WOOD DOUBLE CASSETT WINDOW
- 20 CONCRETE STEPS
- 21 COVERED DECK (NH)
- 22 WOOD STEPS
- 23 WOOD GATE
- 24 WOOD ENTRY DOORS
- 25 COVERED ARCHWAY
- 26 ABUTMENT
- 27 GUTTER
- 28 DOWNSPOUT
- 29 FIREPLACE
- 30 DECORATIVE COLUMN
- 31 GRANITE FENCE
- 32 SITE WALL
- 33 PARAPET WALL
- 34 RETAINING WALL
- 35 DRIVEWAY CURB
- 36 GARAGE DOOR
- 37 DECORATIVE MEDALLION
- 38 FABRIC AWNING



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NO.	DATE	DESCRIPTION													

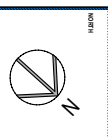
BASEMENT TO BE REMOVED



-1 Basement
SCALE: 1/8" = 1'-0"
1

KEYNOTES

- 1 CONCRETE DRIVEWAY
- 2 PAINTED CONCRETE WALKWAY
- 3 STUCCO SIDING
- 4 METAL RAILING
- 5 CERAMIC TILING
- 6 TILE STEPS
- 7 CLAY TILE ROOFING
- 8 FLAT ROOF
- 9 CHIMNEY
- 10 TILE FOUNTAIN
- 11 EXTERIOR WOOD STAIRS
- 12 WATER HEATER
- 13 WOOD SINGLE CASERMENT WINDOW
- 14 ALUMINUM WINDOW (NH)
- 15 TILE ROOFING
- 16 BUILT UP ROOFING
- 17 LOUVERED VENT
- 18 WOOD FRAMED PICTURE WINDOW
- 19 WOOD DOUBLE CASERMENT WINDOW
- 20 CONCRETE STEPS
- 21 COVERED DECK (NH)
- 22 WOOD DECKING
- 23 WOOD STEPS
- 24 WOOD GATE
- 25 WOOD ENTRY DOORS
- 26 COVERED ARCHWAY
- 27 ABUTMENT
- 28 GUTTER
- 29 DOWNPOUT
- 30 FIREPLACE
- 31 DECORATIVE COLUMN
- 32 CHAINLINK FENCE
- 33 SITE WALL
- 34 PARAPET WALL
- 35 RETAINING WALL
- 36 DRIVEWAY CURB
- 37 GARAGE DOOR
- 38 DECORATIVE MEDALLION
- 39 FABRIC AWNING



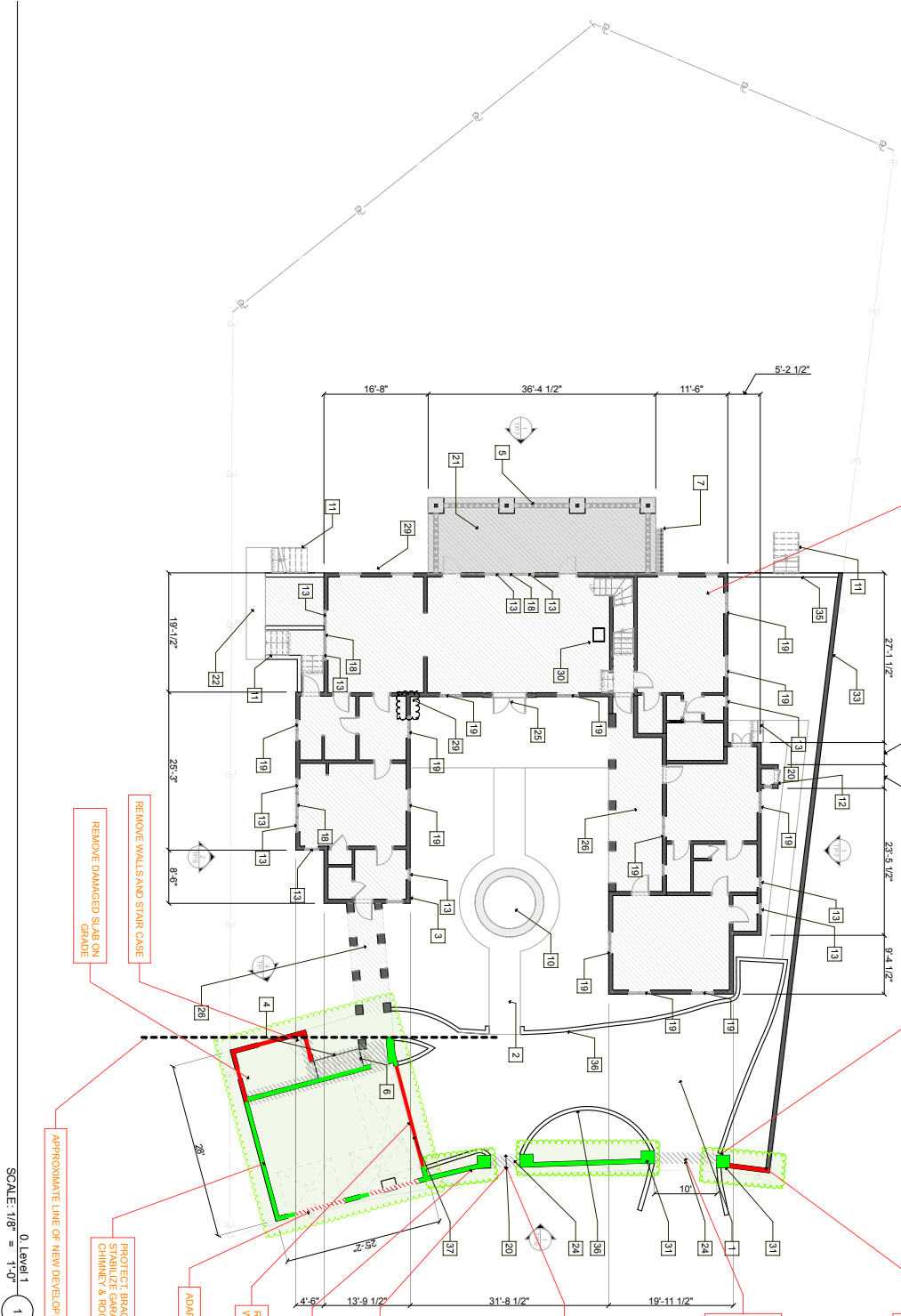
PROJECT
CASA DE LOS AMIGOS
HRB# 1481
6110 CAMINO DE LA COSTA
LA JOLLA, CA 92037
357-141-05-00
PROJECT #: 106610

ARCHITECT:
JONATHAN SEGAL FAIA
3000 UPAS STREET SUITE 101
SAN DIEGO, CA 92104
619-993-6269 www.jonathansegalarchitect.com

NO.	REVISION	DATE

DATE: 7/17/23 10:30 AM
SCALE: 1/8" = 1'-0"
-1-BASEMENT

TP2
SHEET



0 Level 1
 SCALE: 1/8" = 1'-0"

REMOVE WALL BEYOND GARAGE ENTRY CORNER LANDSCAPE OR FENCE PER LOP GUIDELINES

PROTECT BRACE AND STABILIZE IN PLACE RESTORE EXISTING STUCCO

REMOVE WALL BEYOND GARAGE ENTRY CORNER LANDSCAPE OR FENCE PER LOP GUIDELINES

REMOVE NON-ORIGINAL GATE AND REPLACE WITH STYLE GATE PER TREATMENT PLAN

REMOVE NON-FERROUS GATE AND REFERENCE WITH ORIGINAL STYLE GATE

PROTECT BRACE AND STABILIZE ENTRY ROOF STRUCTURE & CASA DE LOS AMIGOS GRANIO

PROTECT BRACE AND STABILIZE IN PLACE & RESTORE EXISTING STUCCO

REMOVE GARAGE DOOR AND INFILL W/ NEW WINDOW GLAZING

ADAPT NEW GARAGE OPENINGS

PROTECT BRACE AND STABILIZE WALLS CHIMNEY & ROOF IN PLACE

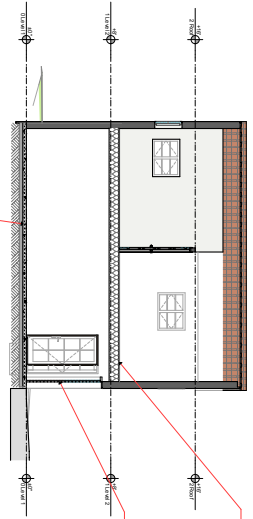
REMOVE WALLS AND STAIR CASE
 REMOVE DAMAGED SLAB ON GRADE

APPROXIMATE LINE OF NEW DEVELOPMENT

- KEYNOTES**
- 1 CONCRETE DRIVEWAY
 - 2 PAINTED CONCRETE WALKWAY
 - 3 STUCCO SIDING
 - 4 METAL RAILING
 - 5 CEMENT PLANKING
 - 6 TILE STEPS
 - 7 FLAT TILE ROOFING
 - 8 FLAT ROOF
 - 9 CHIMNEY
 - 10 TILE FOUNTAIN
 - 11 EXTERIOR WOOD STAIRS
 - 12 WATER HEATER
 - 13 WOOD SINGLE CASSETT WINDOW
 - 14 ALUMINUM WINDOW (NH)
 - 15 TILE ROOFING
 - 16 BUILT UP ROOFING
 - 17 LOUVERED VENT
 - 18 WOOD FRAMED PICTURE WINDOW
 - 19 WOOD DOUBLE CASSETT WINDOW
 - 20 CONCRETE STEPS
 - 21 COVERED DECK (NH)
 - 22 WOOD DECKING
 - 23 WOOD STEPS
 - 24 WOOD GATE
 - 25 WOOD ENTRY DOORS
 - 26 COVERED ARCHWAY
 - 27 ABUTMENT
 - 28 GUTTER
 - 29 DOWNPOUT
 - 30 FERRIS WHEEL
 - 31 DECORATIVE COLUMN
 - 32 CHAINLINK FENCE
 - 33 SITE WALL
 - 34 PARAPET WALL
 - 35 RETAINING WALL
 - 36 DRIVEWAY CURB
 - 37 GARAGE DOOR
 - 38 DECORATIVE MEDALLION
 - 39 FABRIC AWNING



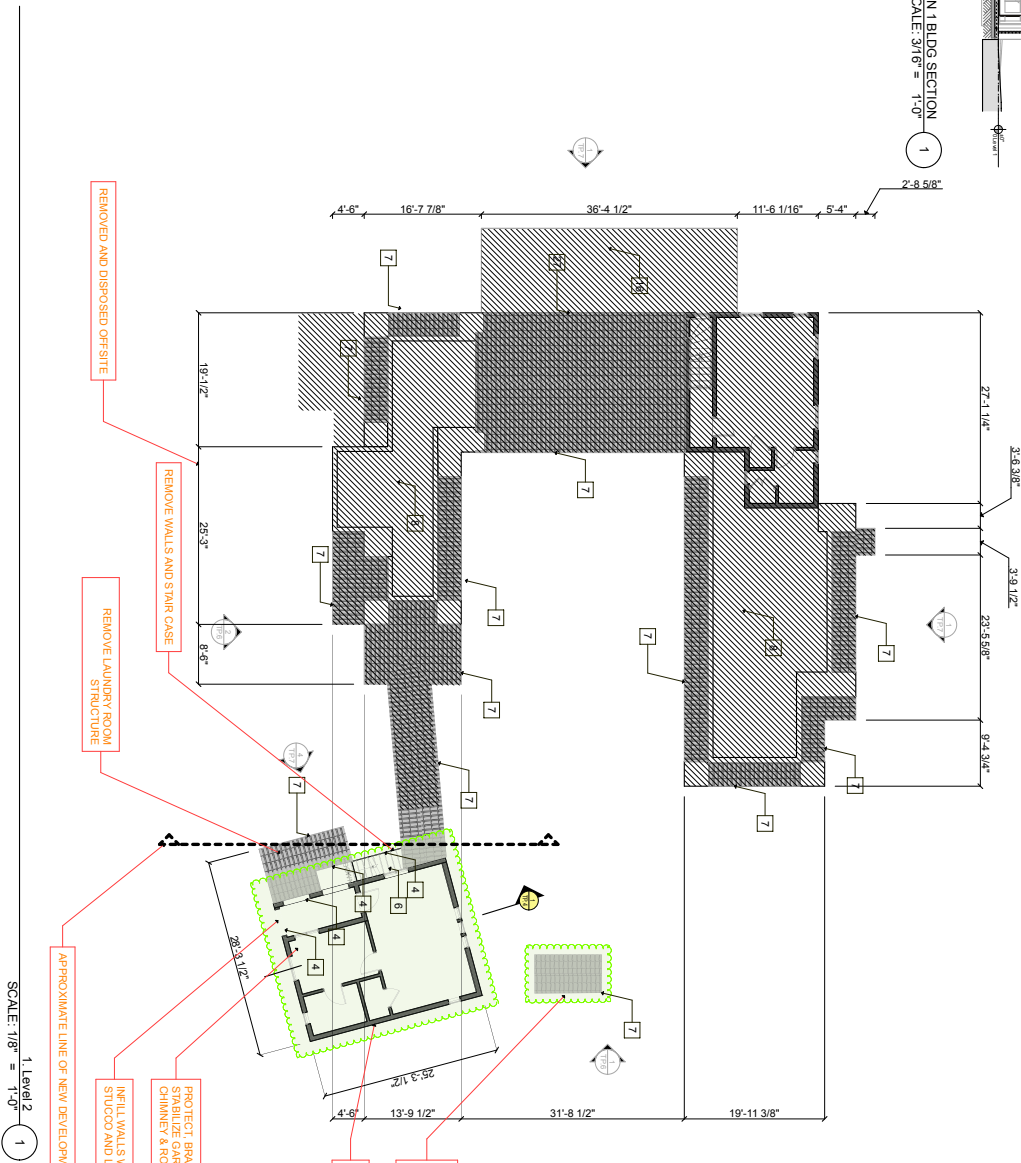
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	NO.	DATE	DESCRIPTION												
DATE: 7/17/23 12:31 AM SCALE: 1/8" = 1'-0" LEVEL: 1															



REPAIR FOUNDATION AND SLAB ON GRADES AS REQUIRED

REMOVE FLOOR & SECTION OF BRICKS REBUILT AS BRICKS REQUIRED

INFILL GARAGE DOOR WITH NEW WINDOW GLAZING



REMOVED AND DISPOSED OFF-SITE

REMOVE WALLS AND STAIR CASE

REMOVE LAUNDRY ROOM STRUCTURE

APPROXIMATE LINE OF NEW DEVELOPMENT

PROTECT BRACE AND STABILIZE BRICK WALLS CHIMNEY & ROOF IN PLACE

INFILL WALLS WITH IN-KIND STUCCO AND LEAVE REVEAL

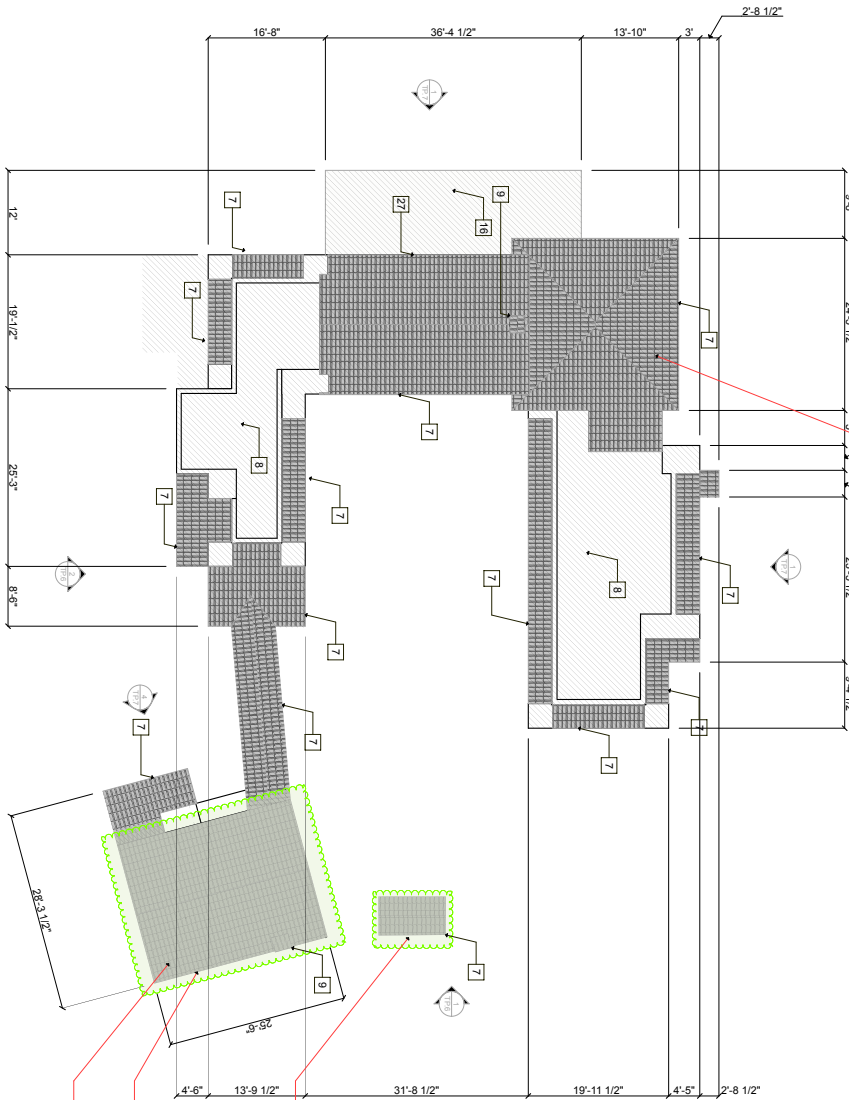
PROTECT BRACE AND STABILIZE IN PLACE & RESTORE EXISTING STUCCO

PROTECT BRACE AND STABILIZE ENTRY ROOF STRUCTURE NOTE: "CASA DE LOS AMIGOS" GRAPHIC IS NON-ORIGINAL AND WILL BE REMOVED

- KEYNOTES**
- 1 CONCRETE DRIVEWAY
 - 2 PAINTED CONCRETE WALKWAY
 - 3 STUCCO SIDING
 - 4 METAL RAILING
 - 5 CERAMIC TILING
 - 6 TILE STEPS
 - 7 CLAY TILE ROOFING
 - 8 FLAT ROOF
 - 9 CHIMNEY
 - 10 TILE FOUNTAIN
 - 11 EXTERIOR WOOD STAIRS
 - 12 WATER HEATER
 - 13 WOOD SINGLE CASERMENT WINDOW
 - 14 ALUMINUM WINDOW (NH)
 - 15 TILE ROOFING
 - 16 BUILT-UP ROOFING
 - 17 LOUVERED VENT
 - 18 WOOD FRAMED PICTURE WINDOW
 - 19 WOOD DOUBLE CASERMENT WINDOW
 - 20 CONCRETE STEPS
 - 21 COVERED DECK (NH)
 - 22 WOOD DECKING
 - 23 WOOD STAIRS
 - 24 WOOD GATE
 - 25 WOOD ENTRY DOORS
 - 26 COVERED ARCHWAY
 - 27 CABINET
 - 28 GITTER
 - 29 DOWNPOUT
 - 30 FIREPLACE
 - 31 DECORATIVE COLUMN
 - 32 GRANITE FENCE
 - 33 SITE WALL
 - 34 PARAPET WALL
 - 35 RETAINING WALL
 - 36 DRIVEWAY CURB
 - 37 GARAGE DOOR
 - 38 DECORATIVE MEDALLION
 - 39 FABRIC AWNING



REVISIONS NO. DATE BY	ARCHITECT: JONATHAN SEGAL FAIA 3000 UPAS STREET SUITE 101 SAN DIEGO, CA 92104 619-993-6269 www.jonathansegalarchitect.com	PROJECT: CASA DE LOS AMIGOS HRB# 1481 6110 CAMINO DE LA COSTA LA JOLLA, CA 92037 357-141-05-00 PROJECT #: 106610
	DATE: 7/17/23 10:31 AM SCALE: 1/8" = 1'-0" LEVEL 2	TP.4 SHEET



SALVAGE ROOF TILES FOR GARAGE. ANY BROKEN TILES REMOVED FROM THE GARAGE. DURING REHABILITATION SHALL BE REPLACED WITH IN FACT TILES SALVAGED FROM THE ROOF OF MAIN RESIDENCE (TYPICAL)

PROTECT BRICE AND STABILIZE IN PLACE
REMOVE ROOF TILES DOCUMENT AND STORE ON SITE. REPLACE SUBROOF. REINSTALL TILES. USE SALVAGED TILES AS NECESSARY FROM MAIN RESIDENCE TO REPLACE ANY DAMAGED TILES

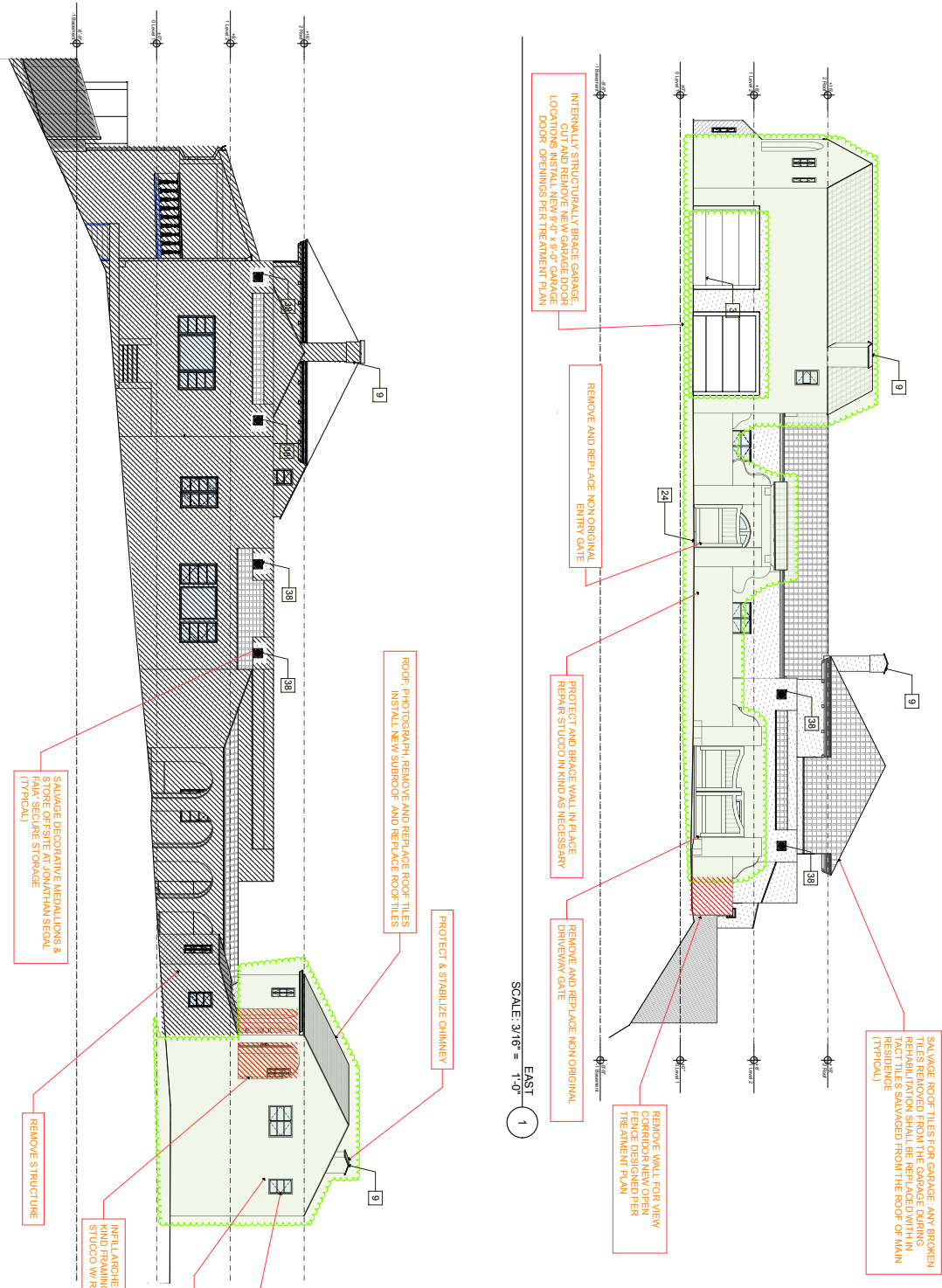
PROTECT BRICE AND STABILIZE ENTRY ROOF STRUCTURE REPAIR TILES AS MAINT RESIDENCE ROOF
SALVAGED FROM

KEYNOTES

- 1 CONCRETE DRIVEWAY
- 2 PAINTED CONCRETE WALKWAY
- 3 STUCCO SIDING
- 4 METAL RAILING
- 5 GARISH PAINTING
- 6 THE STEPS
- 7 CLAY TILE ROOFING
- 8 FLAT ROOF
- 9 CHIMNEY
- 10 TILE FOUNTAIN
- 11 EXTERIOR WOOD STAIRS
- 12 WATER HEATER
- 13 WOOD SINGLE CASSEMENT WINDOW
- 14 ALUMINUM WINDOW (NH)
- 15 TILE ROOFING
- 16 BUILT UP ROOFING
- 17 LOUVERED VENT
- 18 WOOD PICTURE WINDOW
- 19 WOOD DOUBLE CASSEMENT WINDOW
- 20 CONCRETE STEPS
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- 23 WOOD STEPS
- 24 WOOD GATE
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- 26 COVERED ARCHWAY
- 27 ABUTMENT
- 28 GUTTER
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- 30 FIREPLACE
- 31 DECORATIVE COLUMN
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- 33 SITE WALL
- 34 PARAPET WALL
- 35 RETAINING WALL
- 36 DRIVEWAY CURB
- 37 GARAGE DOOR
- 38 DECORATIVE MEDALLION
- 39 FABRIC AWNING

SCALE: 1/8" = 1'-0"
2. Roof
1

	<p>PROJECT: CASA DE LOS AMIGOS HRB# 1481 6110 CAMINO DE LA COSTA LA JOLLA, CA 92037 357-141-05-00 PROJECT #: 106610</p>	<p>ARCHITECT: JONATHAN SEGAL FAIA 3000 UPAS STREET SUITE 101 SAN DIEGO, CA 92104 619-993-6269 www.jonathansegalarchitect.com</p>	<p>REVISIONS</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>NO.</th> <th>DATE</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table> <p>DATE: 7/17/23 12:31 AM SCALE: ROOF:</p>	NO.	DATE	DESCRIPTION						
NO.	DATE	DESCRIPTION										
TP.5												
SHEET												



INTERIALLY STRUCTURALLY BRACE GARAGE
CUT AND REMOVE NEW W/ GARAGE DOOR
LOCATIONS INSTALL NEW 9'-0" x 9'-0" GARAGE
DOOR OPENINGS PER TREATMENT PLAN

REMOVE AND REPLACE NON ORIGINAL
ENTRY GATE

PROTECT AND BRACE WALL IN PLACE
REPAIR STUCCO IN KIND AS NECESSARY

REMOVE AND REPLACE NON ORIGINAL
DRIVEWAY GATE

REMOVE WALL FOR VIEW
FENCE DESIGNED PER
TREATMENT PLAN

SALVAGE ROOF TILES FOR GARAGE. ANY BROKEN
TILES REMOVED FROM THE GARAGE DURING
REHABILITATION SHALL BE REPLACED WITH IN
RESIDENCE SALVAGED FROM THE ROOF OF MAIN
(TYPICAL)

ROOF: PHOTOGRAPH, REMOVE AND REPLACE ROOF TILES
INSTALL NEW SUBROOF AND REPLACE ROOF TILES

PROTECT & STABILIZE CHIMNEY

PROTECT WINDOWS IN PLACE

INFILL OPENINGS

INFILL ARCHES WITHIN
KIND FRAMING AND
STUCCO W/ REVEAL

REMOVE STRUCTURE

SALVAGE DEGRADATIVE REPAIRS &
STORE OFF SITE AT JONATHAN SEGAL
(TYPICAL)

SOUTH
SCALE: 3/16" = 1'-0"
2

EAST
SCALE: 3/16" = 1'-0"
1

KEYNOTES

- 1 CONCRETE DRIVEWAY
- 2 PAINTED CONCRETE WALKWAY
- 3 STUCCO SIDING
- 4 METAL RAILING
- 5 CEMENT PLANKS
- 6 TILE STEPS
- 7 CLAY TILE ROOFING
- 8 FLAT ROOF
- 9 CHIMNEY
- 10 TILE FOUNTAIN
- 11 EXTERIOR WOOD STAIRS
- 12 WATER HEATER
- 13 WOOD SINGLE CASERMENT WINDOW
- 14 ALUMINUM WINDOW (NH)
- 15 TILE ROOFING
- 16 BUILT UP ROOFING
- 17 LOUVERED VENT
- 18 WOOD FRAMED PICTURE WINDOW
- 19 WOOD DOUBLE CASERMENT WINDOW
- 20 CONCRETE STEPS
- 21 COVERED DECK (NH)
- 22 WOOD DECKING
- 23 WOOD STEPS
- 24 WOOD GATE
- 25 WOOD ENTRY DOORS
- 26 COVERED ENTRYWAY
- 27 AIRBENT
- 28 GITTER
- 29 DOWNPOUT
- 30 FERPLATE
- 31 DECORATIVE COLUMN
- 32 CHAINLINK FENCE
- 33 SITE WALL
- 34 PARAPET WALL
- 35 RETAINING WALL
- 36 DRIVEWAY CURB
- 37 GARAGE DOOR
- 38 DECORATIVE METALLON
- 39 FABRIC AWNING



PROJECT:
CASA DE LOS AMIGOS
HRB# 1481
6110 CAMINO DE LA COSTA
LA JOLLA, CA 92037
357-141-05-00
PROJECT #: 106610

ARCHITECT:
JONATHAN SEGAL FAIA
3000 UPAS STREET SUITE 101
SAN DIEGO, CA 92104
619-993-6269 www.jonathansegalarchitect.com

REVISIONS

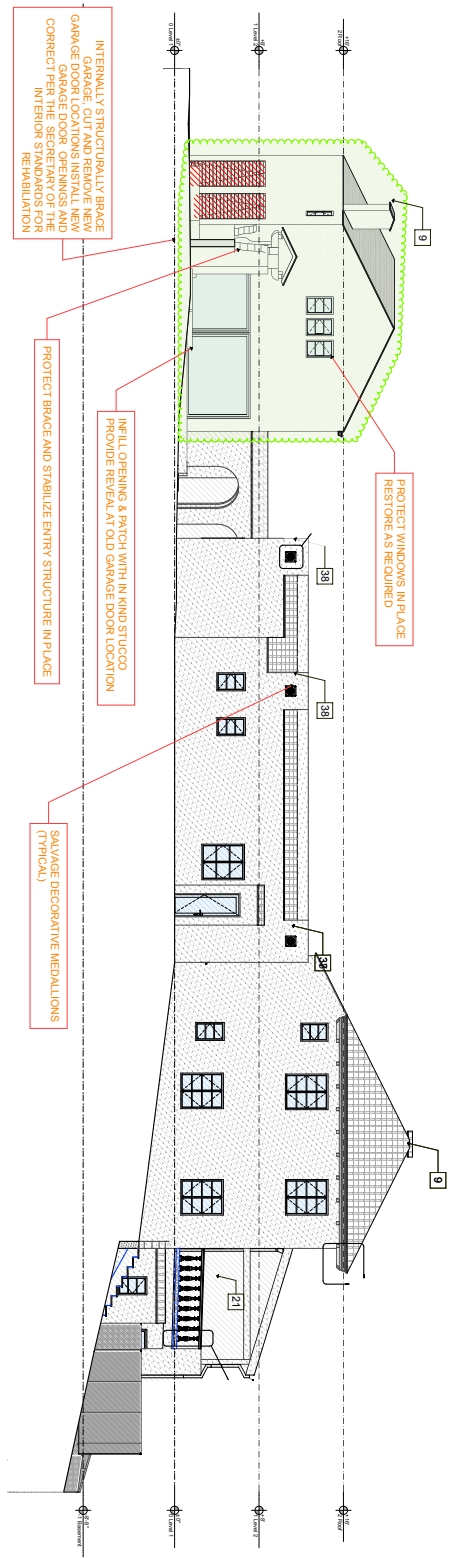
NO.	DATE	DESCRIPTION

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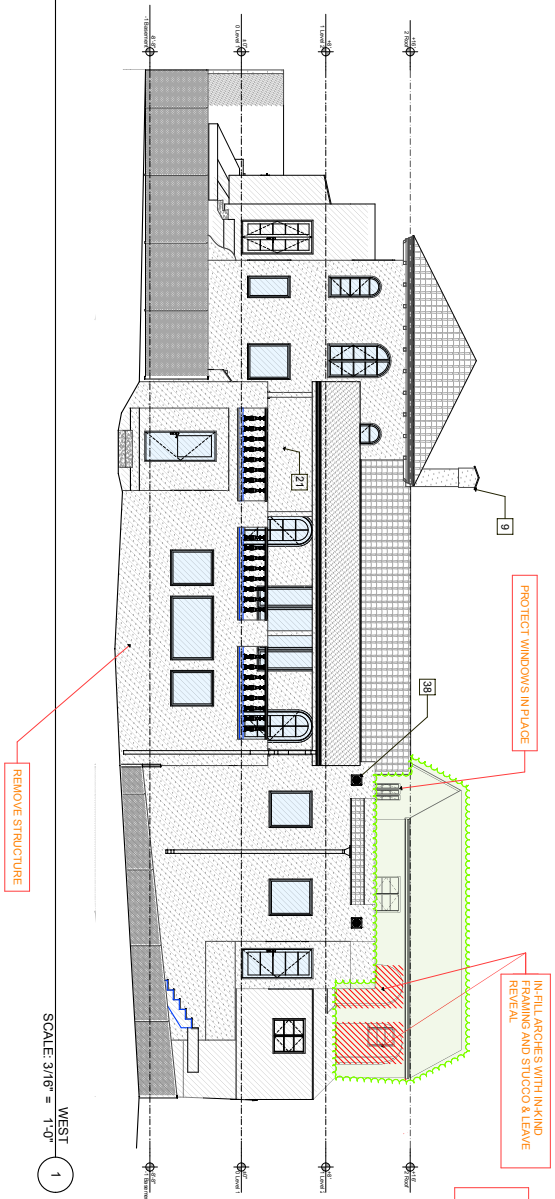
ELEVATIONS

TP.6

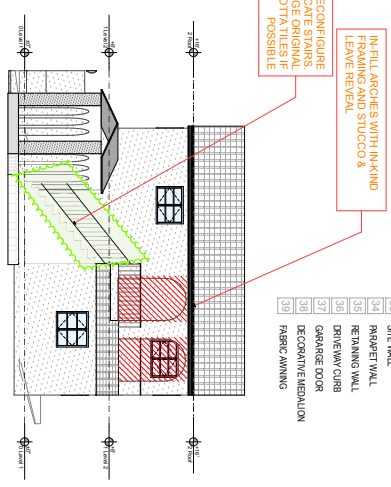
SHEET



NORTH
2
SCALE: 3/16" = 1'-0"



WEST
1
SCALE: 3/16" = 1'-0"



PARTIAL WEST GARAGE ELEVATION
4
SCALE: 3/16" = 1'-0"

KEYNOTES

- 1 CONCRETE DRIVEWAY
- 2 PAINTED CONCRETE WALKWAY
- 3 STUCCO SIDING
- 4 METAL RAILING
- 5 CERAMIC TILING
- 6 TILE STEPS
- 7 CLAY TILE ROOFING
- 8 FLAT ROOF
- 9 CHIMNEY
- 10 TILE FOUNTAIN
- 11 EXTERIOR WOOD STAIRS
- 12 WATER HEATER
- 13 WOOD SHED CASERMENT WINDOW
- 14 ALUMINUM WINDOW (NH)
- 15 TILE ROOFING
- 16 BUILT-UP ROOFING
- 17 LOUVERED VENT
- 18 WOOD FRAMED CASERMENT WINDOW
- 19 WOOD DOUBLE CASERMENT WINDOW
- 20 CONCRETE STEPS
- 21 COVERED DECK (NH)
- 22 WOOD DECKING
- 23 WOOD STEPS
- 24 WOOD GATE
- 25 WOOD ENTRY DOORS
- 26 COVERED ARCHWAY
- 27 APARTMENT
- 28 GUTTER
- 29 DOWNPOUT
- 30 FIREPLACE
- 31 DECORATIVE COLUMN
- 32 GRANITE FENCE
- 33 SITE WALL
- 34 PARAPET WALL
- 35 RETAINING WALL
- 36 DRIVEWAY CURB
- 37 GARAGE DOOR
- 38 DECORATIVE METALLION
- 39 FABRIC AWNING

<p>REVISIONS</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> </table>																	<p>ARCHITECT: JONATHAN SEGAL FAIA 3000 UPAS STREET SUITE 101 SAN DIEGO, CA 92104 619-993-6269 www.jonathansegalarchitect.com</p>	<p>PROJECT: CASA DE LOS AMIGOS HRB# 1481 6110 CAMINO DE LA COSTA LA JOLLA, CA 92037 357-141-05-00 PROJECT #: 106610</p>	
<p>TP.7</p> <p>DATE: 07/20/2024 SCALE: 3/16" = 1'-0"</p>	<p>ELEVATIONS</p>																		

6110 Camino De La Costa
Casa De Los Amigos
HRB #1481
TREATMENT PLAN
May 5th 2024

PROJECT DESCRIPTION:

LA JOLLA Neighborhood Development Permit, Coastal Development Permit, and Site Development Permit to demolish an existing designated historic 2-story residence (HRB Site #1481) and construct a new 2-story 8,649-square-foot residence with a basement within the coastal bluff. The project seeks to preserve the existing historic detached garage (with modifications) to mitigate the impacts on a designated historic resource; the applicant proposes to relocate the existing garage doors to the street facing easterly. The project seeks to deviate from the driveway regulations of the Land Development Code at 6110 Camino de la Costa. The 0.37-acre site is in the RS-1-5 zone with Environmentally Sensitive Lands, Coastal Overlay (Appealable) Zone, Coastal Height Limit Overlay Zone, First Public Roadway Overlay, Parking Impact Overlay Zone (PIOZ-Coastal-Impact, PIOZ-Beach-Impact), Complete Communities Mobility Choices (CCMC-Mobility Zone 2), Sensitive Coastal Overlay Zone (SCOZ-CB), Paleontological Sensitivity Area, Transit Area Overlay Zone, and Transit Priority Area within the La Jolla Community Plan area, Council District 1.

The proposed development would include landscape improvements, including hedges along the frontage of the site and edges of the site adjacent to the neighboring properties on the north and south. Landscaping would also include trees, succulents, and shrubs in the front portion of the site. The site would be accessible from a new driveway off Camino De La Costa, and the project would connect to existing utilities within Camino De La Costa. Drainage would be directed away from the coastal bluff and directed into the existing storm drain system.

The proposed project would also include the removal of the existing walls and stairs west of the bluff edge and would preserve all portions of the lot west of the bluff edge as environmentally sensitive lands (sensitive coastal bluff) within a covenant of easement. The covenant of easement would include land use restrictions with the intent to preclude future development and preserve the area.

The proposed residence would be a maximum height of 30 feet within the 30-foot coastal height limit. The residence would include cast-in-place natural grey walls, frosted glass lined by black metal, wood panels, decorative metal screening, metal entry, and sliding gates.

The overall excavation consists of 1,155 cubic yards. The native soil to be excavated is limited to 150 yards, whereas the artificial fill to be excavated will be 1,005 cubic yards.

SUMMARY OF EXISTING HISTORICAL FEATURES - GARAGE:

Exterior:

Historically significant exterior features and finishes should be preserved and protected in accordance with *The Standards*. Existing historic exterior features include:

- Casement divided lite windows.
- Chimney clay vent details.
- Clay roof tiles.
- Entry gate arbor wood roof beams and clay tiles.

Interior:

The interior of the building retains a low degree of historical integrity and has no consequential design elements to preserve.

Non-Historic Features:

The Casa De Los Amigos Home retains a degree of historical integrity. Alterations have been completed since the construction of the building in 1924. Non-historic exterior features on both the garage and the main house to be removed include the following:

- Aluminum/Plastic window screens.
- Front entry gate.
- Front Driveway Entry Gate.
- Garage Doors.
- Garage Side Door.

All other existing building features and finishes on the exterior of the building are historic, and they contribute to the historical character of the building.

SUMMARY OF EXISTING HISTORICAL FEATURES – MAIN RESIDENCE:

Exterior:

Historically significant exterior features and finishes should be preserved and protected in accordance with *The Standards*. Existing historic exterior features include:

- Casement divided lite windows (main historic residence windows are beyond repair due to proximity to salty ocean air and long-term neglect).
- Clay roof tiles.
- Decorative Medallions at the roofline of the main structure.

Interior:

The interior of the building retains a low degree of historical integrity and has no consequential design elements to preserve.

Non-Historic Features:

The Casa De Los Amigos Home retains a degree of historical integrity. Alterations have been completed since the construction of the building in 1924. Non-historic exterior features on both the garage and the main house to be removed include the following:

- Oceanside porch extension and modern decking material.

- Front porch steps.
- Aluminum/Plastic window screens.
- Aluminum Windows.
- Water heater structure on the exterior of the north elevation.
- Tile on the exterior central fountain.
- Roofing material on flat roofs.
- Metal screen infills of arched walkways.
- Rear porch and rear porch steps.
- Side porch ramp.
- Rear porch doors.

All other existing building features and finishes on the exterior of the building are historic, and they contribute to the historical character of the building.

SECTION 1: REHABILITATION STRATEGY FOR EXISTING ELEMENTS: THE GARAGE AND SITE WALL

INTRODUCTION:

The implementation of this Treatment Plan for the garage and site wall, the salvage of architectural elements, and the retention and rehabilitation of the garage as facilitated by a qualified Historic Architect. Construction Observation Services will be provided by the Project Architect and Historic Architect, Master Architect Jonathan Segal FAIA. The project shall be completed in accordance with the mitigation, monitoring, and reporting program for this project. This Treatment Plan is accompanied by schematic drawings, which depict the proposed exterior restoration of the building and, **importantly, acknowledge the need for salvage.**

This process of retaining the garage on site will be in compliance with The Secretary of the Interior's Standards for the Treatment of Historic Properties (*The Standards*), specifically the standards for rehabilitation.

Removal of Existing Garage Door Opening and Additional New Garage Doors and Opening:

The original garage would be non-functional without adding new doors that face the street. The reasons are as follows:

- The existing driveway, which leads to the current north garage door, is behind the front site wall and consumes the entire site adjacent to the street. If this paved driveway were to remain, there would be no ability to landscape the front yard, as is required.
- The original landscaped front yard for this house was located south of the property, but that area is now occupied by an adjacent house.
- The buildable area has been reduced due to the newly determined bluff edge setback. This includes the dedication of 6,150 square feet of Environmental

Sensitive Land (ESL). Therefore, to make the new residence viable, it must push landward up against the front yard setback. Due to this compression landward, the radius required for vehicular access to the existing garage entry garage leaves the existing driveway impassible.

The only manner to utilize the garage for vehicles and have a landscaped front yard is to add garage doors to the east (street) façade. The following design changes are offered to reduce the visual impact of the new garage doors and comply with *The Standards*.

- The new garage doors located on the streetside elevation will be 9'-0" x 9'-0", and the design will reflect a simplistic wood panel design painted to match the stucco of the rehabilitated structure. These two new garage doors will provide a balance between differentiation and compatibility to maintain the historic character and the identity of the building. The specific garage door design will be coordinated with David Marshall of Heritage Architecture. The existing garage door location will be infilled during rehabilitation with window glazing and will provide the symbolic memory of the previous garage door location.

Other considerations:

- The current east wall of the garage is a two-story stucco façade with one small upper window with a faux chimney above. It presents a harsh and unwelcoming face to the street that is an outlier for the neighborhood, which has mostly open front yards. Adding garage doors to this blank façade is consistent with other Spanish Revival homes and would help connect the new house to the street.
- The new garage doors would be easily reversible (*Rehabilitation Standard #10*) if a future owner chose to bring back the plain stucco facade.
- All windows on the exterior northwest, northeast, and south elevations except for the second level porch will be protected in place and will not be affected.
- The new doors on the side façade should blend as seamlessly as possible into the stucco wall in order to minimize the impact of this change to the garage.
- Gates will be restored to historic appearance. After the garage roof is repaired, any broken tiles removed from the garage roof prior to construction should be replaced with tiles salvaged from the roof of the main residence.

Temporary shoring installation for the garage and site wall will be required along the western wall of the existing garage for the construction of the newly proposed basement. Upon removal of the main house structure and completion of shoring installation, the garage will have temporary bracing installed. New garage door openings will be created by modifying the eastern elevation of the garage along Camino De La Costa, and internal permanent concealed structural bracing will be installed for structural longevity. The original garage door on the northern elevation will be infilled and covered over, and the exterior skin will match the existing garage and site wall stucco. In addition, the exterior skin will match the existing garage and site wall stucco. The new doors on the side façade will blend as seamlessly as possible into the stucco wall in order to minimize the impact of this change to the garage.

The interior rehabilitation will require the removal and of the existing second-floor studio floor assembly to allow for garage automobile height clearances and automotive lifts to provide an additional two guest parking spaces, and structural bracing will take this into consideration. The interior of the garage and above garage studio have no character-defining features, and all interior drywall finishes will be rehabilitated. All windows on the exterior northwest, northeast, and south elevations except for the second level porch will be protected in place and will not be affected. The chimney structure and tile roof structure will be protected in place.

This process of retaining the garage on site will be in compliance with The Secretary of the Interior's Standards for the Treatment of Historic Properties (The Standards), specifically the standards for rehabilitation.

Interior Second Story, Rear Steps, and Second Level Entry:

The interior rehabilitation will require the removal and of the existing second-floor studio floor assembly to allow for garage automobile height clearances and automotive lifts to provide an additional two guest parking spaces, and structural bracing will take this into consideration. The interior of the garage and above garage studio have no character-defining features, and all interior drywall finishes will be rehabilitated. All windows on the exterior northwest, northeast, and south elevations except for the second level porch will be protected in place and will not be affected. The chimney structure and tile roof structure will be protected in place.

The second-story access staircase and exterior porch will be removed to allow for a connection to the proposed residence and ceiling clearance for the required automobile guest parking automobile lifts. In addition, the home will require this area removed for structural and water steadfastness tied into the new structure adjacent.

The Existing Northernmost Portion of the Site Wall:

The northernmost portion of the Camino de la Costa street site wall will be removed to comply with Coastal Overlay Zone view corridor side yard setback requirements, and if possible, the column motif will be preserved. The new entry to the residence is proposed at this location and open fencing setback from the property line will be installed. This open fencing will not exceed 6-0" in height and will have at least 75% of the vertical surface area of each 6-foot section open to light.

The Existing Street Entry Gate:

Recreate the original single hung and driveway entry gates from historic photos. The gates will be braced and protected as required and remain in place as required. Both the single-hung and dual garage entry gates are not original and have been significantly altered. These will be removed and replaced in compliance with The Secretary of the Interior's Standards for the Treatment of Historic Properties (*The Standards*), specifically

the standards for reconstruction and restoration. The significant character-defining features, the decorative medallions and roof tiles, will be salvaged.

REHABILITATION STRATEGY:

During the development of the site, the garage and site wall will be rehabilitated on site, and the main historic residence will be removed.

Temporary shoring installation will be required around the entirety of the property and around the southwest perimeter of the garage. Upon removal of the main house structure and completion of shoring installation, the garage will have temporary bracing installed. New garage door openings will be created by modifying the eastern elevation of the garage along Camino De La Costa, and internal permanent concealed structural bracing will be installed for structural longevity. The original garage door on the northern elevation be infilled with window glazing.

The interior rehabilitation will require the removal and of the existing second-floor studio floor assembly to allow for garage automobile height clearances and automotive lifts to provide an additional two guest parking spaces, and structural bracing will take this into consideration. The interior of the garage and above garage studio have no character-defining features, and all interior drywall finishes will be rehabilitated. The rear steps and structure below will be carefully removed when joining the adjacent new construction for structural tie-in. In addition, the rooftop structure on the second level balcony concealed by the garage roof and neighboring structures will be removed as well to allow for proper head clearances, structural tie-in, and waterproofing to prevent long-term structure damage.

All windows on the exterior northwest, northeast, and south elevations except for the second level porch will be protected in place and will not be affected. The chimney structure and tile roof structure will be protected in place.

This process of retaining the garage on site will be in compliance with The Secretary of the Interior's Standards for the Treatment of Historic Properties (*The Standards*), specifically the standards for rehabilitation.

The Site Wall and Street Site Entry

The site wall along Camino De La Costa and the gates will be braced and protected as required and remain in place. Both the single-hung and dual garage entry gates are not original and have been significantly altered. These will be removed and replaced, and the wall will be in compliance with The Secretary of the Interior's Standards for the Treatment of Historic Properties (*The Standards*), specifically the standards for reconstruction and restoration.

PREPARATION, REHABILITATION, RESTORATION REQUIREMENTS:

- 1. Preparation of the Garage and Site Wall Structures Prior to Construction:**
Coordination Meeting & Monitoring: Prior to the start of any work, the Project Architect and Historic Architect / Monitor shall meet on-site to review the scope of removal, salvage, and temporary bracing. Through the course of all work, the contractor shall notify the Historic Architect / Monitor of the discovery of any architectural elements on site. The Historic Architect / Monitor shall evaluate the significance of such material prior to determining the appropriate treatment in compliance with *The Secretary of the Interior's Standards for Restoration*.

Construction monitoring shall be provided prior to the preparation of the building for relocation. The Construction Monitor shall provide a Consultant Site Visit Record summarizing the field conditions and any recommendations for compliance with *The Standards*.

Temporary Shoring: The contractor shall provide and maintain necessary shoring to protect and stabilize the building during the construction as required. Means and methods for temporary shoring will be determined by the contractor and the implementation of these procedures shall occur after review by the Project Architect. The Project Architect shall outline any proposed points of entry and attachment for anchors or beams. Historic stucco or trim affected by the attachment of temporary shoring shall be removed prior to installation of shoring, catalogued, labeled, and securely stored in a weather-tight lockable container pending reinstallation at the final site.

Roof: Roofing tiles will be removed and stored in a weather-tight lockable container adjacent to the building pending reinstallation after the existing failing sub-roof is removed and replaced.

Windows: All windows shall be protected by ¾" exterior grade plywood prior to relocation installed without causing damage to the existing historic windows, frames, and trim as required.

Doors: The existing non-original garage door will be removed and disposed of offsite, and the opening will be infilled for with new window glazing.

Cast in Place Concrete Foundation: The foundation will be removed and replaced as necessary.

Chimney: Prior to elevation, the chimney roof tiles will be treated in accordance with the remainder of the roof.

Rear Steps and Upper Porch: The rear steps and second-story porch will be documented, altered, and removed. The stair terracotta steps will be salvaged if possible.

2. Protection Measures:

Security: A chain-link security fence will be added at the job site for security, and additional wireless security cameras will also be placed around the job site. These temporary protection measures, along with monitoring and visual inspection of the exterior of the building, will be provided weekly by the Monitor.

Monitoring: Construction monitoring shall be provided to ensure that the building is secured and adequately mothballed. The Monitor shall complete a Consultant Site Visit Record summarizing the field conditions and any recommendations for compliance with *The Standards*.

Should the equipment not safely dimensionally pass through the existing historic driveway entry gate, equipment may be craned into the site for access. The historic driveway entry motifs will be protected with plywood prior to the commencement of construction.

3. Building Rehabilitation:

The structure's exterior will be rehabilitated and repaired per *The Secretary of the Interior's Standards for Rehabilitation*.

Additional internal structural supports will be added to the structure to stabilize the building prior to the removal of the level 2 floor diaphragm and the addition of the two garage doors along the Camino De La Costa streetside eastern elevation. Although not visible from the exterior, the ground-level floor of the structure will be increased to meet the street elevation.

The proposed new garage door location structure and skin will be marked and removed, and new garage doors will be installed per the Secretary of the Interior's Standards for Rehabilitation.

The western side of the structure will be structurally connected to the proposed residence per structural engineer details and weatherproofed accordingly.

Construction Monitoring: Periodic construction monitoring shall be provided during the restoration process. Following each site visit, the construction monitor shall provide a Consultant Site Visit Record summarizing field conditions and any recommendations for compliance with *The Standards*.

Restoration Design: The future restoration of the building shall be completed in accordance with *The Standards*. The design team shall include the services of a historic architect that meets the Secretary of the Interior's Professional Qualification Standards. The restoration design will require review and approval by the City of San Diego Development Services Department and the Historical Resources Board staff and or Design Assistance Subcommittee.

REHABILITATION RECOMMENDATIONS:

Roof: A new sub-roof will be installed before reinstalling the original roofing tiles as required. If required, original roofing tiles from the main portion of the house to be removed may be salvaged as replacements.

Foundation: Due to the new garage entries off of Camino De La Costa, the interior elevation may be adapted to meet new grade requirements and or additional structural requirements due to long-term neglect and environmental damage as necessary.

Exterior Walls: Repair deteriorated wood structural elements. The stucco will be repaired and patched in a like-kind, and the building is to be repainted using a similar to the existing historic color scheme. At the original garage door location, new window glazing will be installed to preserve the memory of the opening.

Chimney: Repair and repaint other wood features using the historic color scheme.

Windows: Repair and repaint other wood features using the historic color scheme. Restore existing historic windows to working condition and add weather-stripping as necessary. Repair the exterior using the historic color scheme and repaint the interior of the windows.

Interior: Remove the existing level 2 floor assembly. Install new drywall, paint the interior, repair any damaged drywall or walls, and, where feasible, preserve and protect the remaining character-defining interior features and finishes in the restored building.

Site Wall: Repair deteriorated stucco and patch with like-kind.

Entry Gates: Recreate the original single hung and driveway entry gates from historic photos.

Mechanical, Plumbing, Electrical Systems and Fire Protection Systems: Design and install a new HVAC system, install new lighting and electrical, and install a new approved fire sprinkler system to meet current building codes.

SECTION 2: REMOVAL OF EXISTING MAIN HISTORIC RESIDENCE

INTRODUCTION:

During the development of the site, the main house will be removed and disposed of offsite. This Treatment Plan is accompanied by schematic drawings depicting the proposed exterior materials to be salvaged on the main historic residence.

PREPARATION, SALVAGE AND REMOVAL REQUIREMENTS:

Before starting any work, the Project Architect and Historic Architect / Monitor shall meet on-site to review the scope of removal and salvage of the main historic residence.

Through the course of all work, the contractor shall notify the Historic Architect / Monitor of the discovery of any architectural elements on site. The Historic Architect / Monitor shall evaluate the significance of such material prior to determining the appropriate treatment in compliance with *The Secretary of the Interior's Standards for Restoration*.

Construction monitoring shall be provided prior to the preparation of the building for demolition and removal. The Construction Monitor shall provide a Consultant Site Visit Record summarizing the field conditions and any recommendations for compliance with *The Standards*.

Salvage:

Roof: Roofing tiles will be removed and stored in a weather-tight lockable container adjacent to the building in the event replacement tiles are required for damaged tiles for the garage rehabilitation and or donated or salvaged to local historical societies or the University of California, San Diego.

Decorative Medallions: Decorative medallions will be salvaged, safely transported, and stored off-site at Jonathan Segal FAIA's office temporary secure storage area for donation to the University of California San Diego or local historical societies.

SUMMARY OF APPLICABLE STANDARDS AND GUIDELINES:

Any work undertaken on the historic Casa De Los Amigos Home, including the proposed elevation and subsequent rehabilitation, shall be completed in compliance with *The Secretary of the Interior's Standards for the Treatment of Historic Properties (The Standards)*. There are separate standards for acquisition, protection, stabilization, preservation, rehabilitation, restoration, and reconstruction. Rehabilitation has been identified as the appropriate treatment for the Casa De Los Amigos Home due to the use of the property being consistent with what it was historically and the general overall condition of the property.

Standards for Rehabilitation

1. *A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.*
2. *The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.*
3. *Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.*
4. *Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.*
5. *Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a historic property shall be preserved.*
6. *Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacing a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and materials where possible. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.*
7. *Chemical or physical treatments, such as sandblasting that cause damage to historic materials, shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.*
8. *Significant archeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.*
9. *New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.*
10. *New additions and adjacent or related new construction shall be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment will be unimpaired.*

The City of San Diego will use *The Standards* as a guideline for confirming the appropriateness of the proposed restoration work for the building. Since the Casa De Los Amigos Home is a designated historical resource, the provisions of the California Historical Building Code are also applicable to all future Rehabilitation work.