



THE CITY OF SAN DIEGO

## Report to the Hearing Officer

DATE ISSUED: May 15, 2024 REPORT NO. HO-24-022

HEARING DATE: May 22, 2024

SUBJECT: Dudum Residence, Process Three Decision

PROJECT NUMBER: [PRJ-1081479](#)

OWNER/APPLICANT: Sandra S. Dudum

### SUMMARY

Issue: Should the Hearing Officer approve a Coastal Development Permit and Site Development Permit to demolish an existing single-dwelling unit, and construct a new two-story single-dwelling unit with a three-car garage, a detached Accessory Dwelling Unit, and a pool with a deck and an outdoor barbecue located at [5270 Chelsea Street](#) in the La Jolla Community Planning area?

### Staff Recommendation:

1. APPROVE Coastal Development Permit No. [PMT-3208844](#) and Site Development Permit No. [PMT-3208845](#).

Fiscal Considerations: None. The applicant funds a deposit account that recovers all costs associated with processing the application.

Code Enforcement Impact: There are no open code enforcement actions on this site.

Housing Impact Statement: The project will demolish the existing single-dwelling unit and construct a new single-dwelling unit and Accessory Dwelling Unit. Relocation assistance is not required since the project site has one occupant.

Community Planning Group Recommendation: On November 2, 2023, the La Jolla Community Planning Association voted 17-0-1 to recommend approval of the proposed project without conditions (Attachment 6).

Environmental Impact: This project was determined to be categorically exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15301 (Existing Facilities) and Section 15303 (New Construction) of the State CEQA Guidelines. This project is not pending an appeal of the environmental determination. The environmental determination for this project was made on

March 8, 2024, and the opportunity to appeal that determination ended on March 22, 2024 (Attachment 7).

## BACKGROUND

The 0.29-acre site contains an existing dwelling unit to be demolished. It is located at 5270 Chelsea Street, south of Sea Ridge Drive, west of Chelsea Street, and east of the Pacific Ocean (Attachment 1) in the RS-1-7 zone, Coastal Overlay Zone (Appealable Area), Sensitive Coastal Overlay Zone, Coastal Height Limitation Zone, Parking Impact Overlay Zone: Beach and Coastal, First Public Roadway, Transit Area Overlay Zone, and the Transit Priority Area in the La Jolla Community Planning area. The project site is a rectangular lot bordered by residential development to the north, east, and south and the Pacific Ocean to the west, located within a fully developed residential neighborhood.

## DISCUSSION

### Project Description:

The project proposes to demolish the existing house and construct a new 6,562-square-foot two-story house with a three-car garage and a 607-square-foot Accessory Dwelling Unit (ADU), pool, outdoor deck, and barbecue.

### Permits Required:

- A Coastal Development Permit (CDP) per San Diego Municipal Code (SDMC) Section [126.0702\(a\)](#), Section [126.0704\(a\)\(9\)](#), Section [126.0707\(b\)](#) is required for development within the Coastal Overlay Zone. A decision on an application for a City-issued CDP in the appealable area of the Coastal Overlay Zone shall be made in accordance with Process Three, with the Hearing Officer as the decision maker, and findings per SDMC section [126.0708\(a\)](#).
- A Site Development Permit (SDP) per SDMC Section [126.0502\(a\)\(1\)\(A\)](#) is required for development on sites containing sensitive coastal bluffs. A decision on this permit shall be made in accordance with Process Three, with the Hearing Officer as the decision maker, and findings per SDMC sections [126.0505\(a\)](#) and [126.0505\(b\)](#).

The single-dwelling unit is in an area identified for low-density (5-9 DU/acre) residential land use within the La Jolla Community Plan and Local Coastal Land Use Plan (LJCP). The property's residential use is consistent with the land use designation of five dwelling units per acre. The site contains sensitive coastal bluffs and is subject to the supplemental regulations of the Sensitive Coastal Overlay Zone (Coastal Bluff) SDMC Section 132.0403, Environmentally Sensitive Lands SDMC Sections 143.0110 and 143.0143, and the Land Development Manual, Coastal Bluffs and Beaches Guidelines.

The new development is set further back from the blufftop edge than the existing dwelling unit and will occur within previously disturbed areas of the site. SDMC Section 143.0143(f)(1) requires a 40-foot setback from the coastal bluff edge except structures may be located between 25 and 40 feet

from the bluff edge where the evidence contained in the geology report indicates the site is stable enough to support the development.

The project proposes a setback from the bluff edge ranging from 37 feet, 8.5 inches to 51 feet as allowed by SDMC 143.0143(f)(1) ("Development Regulations for Sensitive Coastal Bluffs"). This reduced bluff edge setback is supported based upon evidence contained in the geologic investigation report that the project has been designed so that it will not be subject to or contribute to significant geologic instability, and no shoreline protection will be required to protect it throughout the anticipated 75-year life span of the proposed residence. The project will comply with the relevant sensitive coastal regulations applicable to the site, including setbacks and the environmentally sensitive lands regulations. This will preclude impacts to sensitive coastal bluffs adjacent to and within the site. All development will be confined to areas of the site that are disturbed and developed.

The project site is also located between the first public roadway (Chelsea Street) and the Pacific Ocean. The project is contained within the existing legal lot area and will not encroach upon any existing or proposed physical access to the coast.

There are intermittent public views available to the coast across the property, as seen from Chelsea Street. The project was designed and sited so as not to block or obstruct these views. The north side yard setback will be seven feet 11.5 inches wide, and the new south side yard setback will be seven feet 11.5 inches wide. As a permit condition, these existing intermittent views provided through the property's north and south side setback areas will be protected by recording Covenant of Easement for the view corridors along those setback areas. The combined new views created through the private property will be 15 feet, 11 inches wide.

The provision of these protected view corridors will support recommendations within the Natural Resources and Open Space System Element of the LJCP to preserve, enhance, or restore existing or potential view corridors within the yards and setbacks where new development is proposed on property that lies between the shoreline and the first public roadway.

The project meets the development regulations, and no deviations are required. The dwelling unit will be approximately 27 feet tall, which meets the 30-foot height limit. The project provides a front setback of ten feet, six inches where ten feet is required, observes required side setbacks of seven feet 11.5 inches calculated based on lot width, provides a rear setback of 39 feet 8.5 inches where 13 feet where is required, and has a floor area ratio (FAR) of 0.51 where 0.52 is the maximum allowable.

The development considers bulk and scale along the street by setting the second story further back than the first, entering the building on the lot, keeping the street front low scale, and articulating the structure to break up massing. Furthermore, the dwelling unit steps back further on the eastern side as it faces an older single-story development and has a more prominent presence on the western side facing the newer two-story single-dwelling unit mass along the edge of the property.

The project site is in an urbanized area and surface drainage will be conveyed to the Chelsea Street public right of way. Development will occur in the previously graded area. No natural slopes, sensitive coastal or marine resources, or other environmentally sensitive areas would be adversely affected.

Conclusion:

City staff has determined that the project is consistent with the Community Plan and regulations of the Land Development Code, as described above. Staff has provided draft findings and conditions to support approval of the project (Attachments 4 and 5) and recommends that the Hearing Officer approve the Coastal Development Permit and Site Development Permit as proposed.

ALTERNATIVES

1. Approve Coastal Development Permit No. PMT-3208844 and Site Development Permit No. PMT-3208845, with modifications.
2. Deny Coastal Development Permit No. PMT-3208844 and Site Development Permit PMT-3208845, if the findings required to approve the project cannot be affirmed.

Respectfully submitted,

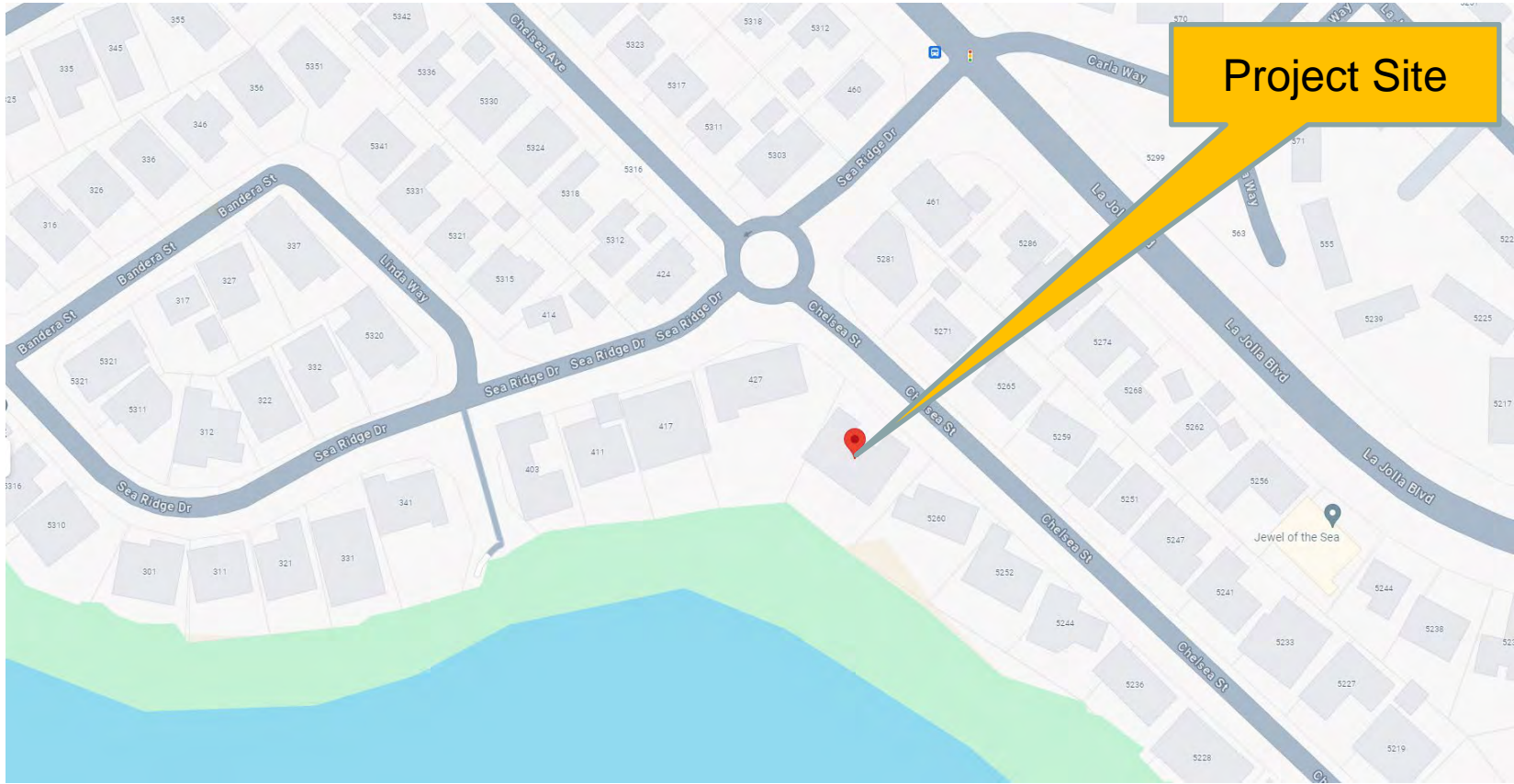
*Christian Hoppe*

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Christian Hoppe  
Development Project Manager  
Development Services Department

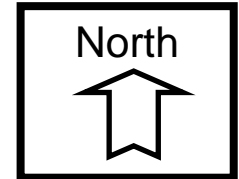
Attachments:

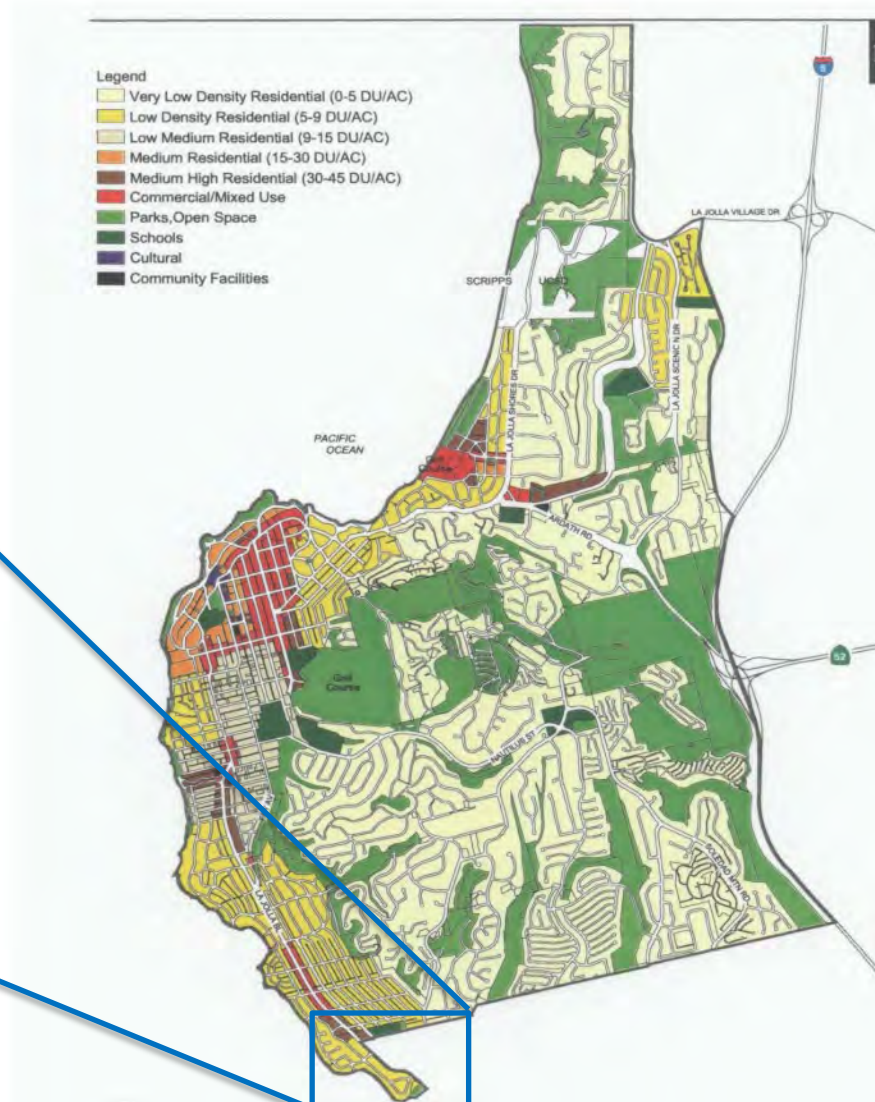
1. Project Location Map
2. Community Plan Land Use Map
3. Aerial Photograph
4. Draft Resolution with Findings
5. Draft Permit with Conditions
6. Community Planning Group Recommendation
7. CEQA Exemption
8. Ownership Disclosure statement
9. Project Plans



## Project Location Map

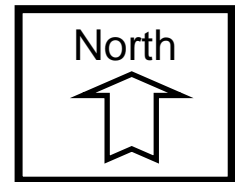
Dudum Residence CDP/SDP  
Project No. 1081479 - 5270 Chelsea Street





# Land Use Map

Dudum Residence CDP/SDP  
Project No. 1081479 - 5270 Chelsea Street



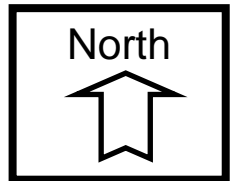


**Project Site**



# Aerial Photograph

Dudum Residence CDP/SDP  
Project No. 1081479 - 5270 Chelsea Street



HEARING OFFICER RESOLUTION NO. HO-XXX  
COASTAL DEVELOPMENT PERMIT NO. PMT-3208844  
SITE DEVELOPMENT PERMIT NO. PMT-3208845  
**DUDUM RESIDENCE PROJECT NO. 1081479**

WHEREAS, SANDRA S. DUDUM, a married woman as her sole and separate property, Owner/Permittee, filed an application with the City of San Diego for a permit to demolish the existing dwelling unit, and construct a new two-story dwelling unit with a three-car garage, a detached Accessory Dwelling Unit (ADU) and a pool with a deck and outdoor barbecue (as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval) for the associated Coastal Development Permit No. PMT-3208844 and Site Development Permit No. PMT-3208845, on portions of a 0.29-acre site;

WHEREAS, the project site is located at 5270 Chelsea Street in the RS-1-7 Zone, Coastal Overlay Zone (Appealable Area), Sensitive Coastal Overlay Zone, Coastal Height Limitation Zone, Parking Impact Overlay Zone: Beach and Coastal, First Public Roadway, Transit Area Overlay Zone, and the Transit Priority Area of the La Jolla Community Plan area;

WHEREAS, the project site is legally described as LOT F IN BLOCK 4 OF PACIFIC RIVIERA VILLAS UNIT NO.1, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 2531, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, DECEMBER 23, 1948;

WHEREAS, on March 8, 2024, the City of San Diego, as Lead Agency, through the Development Services Department, made and issued an Environmental Determination that the project is exempt from the California Environmental Quality Act (CEQA) (Public Resources Code Section 21000 et seq.) under CEQA Guideline Section 15301 (Existing Facilities) and 15303 (New Construction or Conversion of Small Structures) and there was no appeal of the



Environmental Determination filed within the time period provided by San Diego Municipal Code Section 112.0520;

WHEREAS, on May 22, 2024, the Hearing Officer of the City of San Diego considered Coastal Development Permit No. PMT-3208844 and Site Development Permit No. 3208845 pursuant to the Land Development Code of the City of San Diego;

BE IT RESOLVED by the Hearing Officer of the City of San Diego, that it adopts the following findings with respect to Coastal Development Permit No. PMT-3208844 and Site Development Permit No. 3208845.

**A. Coastal Development Permit [SDMC Section 126.0708]**

**1. Findings for all Coastal Development Permits:**

- a. The proposed coastal development will not encroach upon any existing physical accessway that is legally used by the public or any proposed public accessway identified in a Local Coastal Program land use plan, and the proposed coastal development will enhance and protect public views to and along the ocean and other scenic coastal areas as specified in the Local Coastal Program land use plan.**

The 0.29-acre (12,791-square-foot) site is located at 5270 Chelsea Street and contains an existing single-dwelling unit. The project proposes demolishing the existing single-dwelling unit and construct a new 6,562-square-foot two-story single-dwelling unit with a three-car garage and a 607 square-foot Accessory Dwelling Unit (ADU). The project also includes hardscape, a swimming pool, a deck, and an outdoor barbecue. The new dwelling unit will be situated further away from the blufftop than the existing dwelling unit.

The project site is a rectangular lot bordered by residential development to the north, east, and south, the Pacific Ocean to the west, and Chelsea Street to the east, within a fully developed residential neighborhood.

The neighborhood surrounding the proposed project is fully developed. The subject property is not identified in the City's adopted La Jolla Community Plan and Local Coastal Program Land Use Plan (LJCP) as a public access way. There is no physical access way legally used by the public on this property nor any proposed public access way as identified in the LJCP. The project site is located between the First Public Roadway (Chelsea Street) and the Pacific Ocean. The proposed project is contained within the existing legal lot area and will not encroach upon any existing or proposed physical access to the coast, legally used by the public or any proposed public access way identified in a LJCP.

There are intermittent public views available to the coast across the property, as seen from Chelsea Street. The project was designed and sited so as not to block or obstruct these views. The proposed project will provide a visual corridor in the side yard setbacks, creating intermittent views. The north side yard setback will be seven feet 11.5 inches wide, and the new south side yard setback will be seven feet 11.5 inches wide increasing the intermittent public views.

As a permit condition, these existing intermittent views provided through the property's new north and south side setback areas will be protected by recording a Covenant of Easement to preserve the view corridor easements along those setback areas. The combined new views created through the private property will be 15 feet, 11 inches wide.

The provision of these view corridor easements will support recommendations within the Natural Resources and Open Space System Element of the LJCP to preserve, enhance, or restore existing or potential view corridors within the yards and setbacks where new development is proposed on property that lies between the shoreline and the first public roadway.

The proposed project meets all the development standards of the San Diego Municipal Code required by the underlying RS-1-7 zone, including height which the house will be 27 feet tall where a maximum of 30 feet is allowed. The project provides a front setback of ten feet, six inches where ten feet is required, observes required side setbacks of seven feet 11.5 inches calculated based on lot width, provides a rear setback of 39 feet 8.5 inches where 13 feet where is required, and has a floor area ratio (FAR) of 0.51 where 0.52 is required.

The proposed project will adhere to community goals as the dwelling unit has been designed in a manner achieve a harmonious visual relationship between the bulk and scale of the existing older, adjacent residences, and the proposed dwelling unit.

The permit will contain conditions requiring: (a) that the owner executes a Notice of Hazardous Condition-Indemnification and Hold Harmless Agreement, (b) removal of the new development if it becomes threatened by erosion, and (c) the waiver of future shoreline protection devices to protect the new development. These conditions will ensure that no coastal resources will be adversely affected by the proposed project. CDP Findings A.1.c and A.1.d are incorporated herein by reference.

Therefore, the dwelling unit will not encroach upon any existing physical accessway that is legally used by the public or any proposed public accessway identified in the LJCP, and the proposed coastal development will enhance and protect public views to and along the ocean and other scenic coastal areas as specified in the Local Coastal Program land use plan.

- b. The proposed coastal development will not adversely affect environmentally sensitive lands.**

The project site was developed with a single-dwelling unit in 1954. The project proposes to demolish the existing dwelling unit and construct a new two-story dwelling unit with an attached three-car garage and an accessory dwelling unit.

The site contains sensitive coastal bluffs and is subject to the supplemental regulations of the Sensitive Coastal Overlay Zone (Coastal Bluff) SDMC Section 132.0403, Environmentally Sensitive Lands SDMC Sections 143.0110 and 143.0143, and the Land Development Manual, Coastal Bluffs and Beaches Guidelines.

The new development is set further back from the blufftop edge than the existing dwelling unit and will occur within previously disturbed areas of the site. SDMC Section 143.0143(f)(1) requires a 40-foot setback from the coastal bluff edge except structures maybe located between 25 and 40 feet from the bluff edge where the evidence contained in the geology report indicates the site is stable enough to support the development.

The project proposes a setback from the bluff edge ranging from 37 feet, 8.5 inches to 51 feet as allowed by SDMC 143.0143(f)(1) ("Development Regulations for Sensitive Coastal Bluffs"). This reduced bluff edge setback is supported based upon evidence contained in the geologic investigation report that the project has been designed so that it will not be subject to or contribute to significant geologic instability, and no shoreline protection will be required to protect it throughout the anticipated 75-year life span of the proposed residence. The project will comply with the relevant sensitive coastal regulations applicable to the site, including setbacks and the environmentally sensitive lands regulations. This will preclude impacts to sensitive coastal bluffs adjacent to and within the site. All development will be confined to areas of the site that are disturbed and developed.

The site does not contain sensitive biological resources. The site is not within or adjacent to the City's Multi-Habitat Planning Area (MHPA). Two CEQA Categorical Exemptions, Section 15301 (Existing Facilities) and Section 15303 (New Construction) were prepared for the project, which demonstrates that the project would not have a significant effect on the environment.

The project site is in an urbanized area of the La Jolla community. All surface drainage will be conveyed to the Chelsea Street public right-of-way and development will occur on previously graded portions of the site. The dwelling unit and improvements are not located on the portion of the property containing the sensitive coastal bluff or special flood areas. No natural slopes, sensitive coastal or marine resources or other environmentally sensitive areas would be adversely affected.

The permit will contain conditions requiring: (a) that the owner executes a Notice of Hazardous Condition-Indemnification and Hold Harmless Agreement, (b) removal of the new development if it becomes threatened by erosion, and (c) the waiver of future shoreline protection devices to protect the new development. These conditions will ensure that no coastal resources will be adversely affected by the proposed project.

Therefore, based on the above, the proposed development will not adversely affect environmentally sensitive lands (also see the SDP Supplemental Findings 2a through 2f.

**c. The proposed coastal development is in conformity with the certified Local Coastal Program land use plan and complies with all regulations of the certified implementation program.**

The proposed development to demolish an existing single-dwelling unit and construct a new two-story, single-dwelling unit is located in an area identified for low-density (5-9 DU/acre) residential land use within the La Jolla Community Plan (LJCP). The replacement of the existing dwelling unit is consistent with the land use designation at five dwelling units per acre and the SDMC which states in Table 131-04D that the max permitted density is one dwelling unit per lot. However, section 141.0302(d) states that an ADU that does not exceed 800 square feet shall be permitted by right and not count against the total FAR of development. The additional dwelling unit is 607 square feet. The project is not requesting or in need of deviations. The dwelling unit will be approximately 27 feet tall, which meets the 30-foot height limit. The project provides a front setback of ten feet, six inches where ten feet is required, observes required side setbacks of seven feet 11.5 inches calculated based on lot width, provides a rear setback of 39 feet 8.5 inches where 13 feet where is required, and has a floor area ratio (FAR) of 0.51 where 0.52 is required.

San Diego Municipal Code (SDMC) Section 143.0143(f) requires that all proposed development, including buildings and accessory structures, be set back at least 40 feet or more from the coastal bluff edge unless a 25-foot bluff edge setback can be supported by the geotechnical analysis, as allowed by SDMC 143.0143(f)(1) ("Development Regulations for Sensitive Coastal Bluffs"). The proposed project has been designed to observe a 25-foot bluff edge setback. The submitted Geotechnical Investigation Reports and additional addendum were prepared and reviewed to analyze bluff stability and any other potential geologic hazards. The project site's gross slope stability was found to be adequate with a factor of safety over 1.5 and, overall, the site was found to be suitable for the proposed development at the 25-foot bluff setback. The proposed home will have set backs ranging from 37 feet 8.5 inches to 51 feet from the top of the Coastal Bluff due to the layout of the house. The California Coastal Commission staff reviewed the project and determined the bluff edge setback is adequate.

The dwelling unit will be approximately 27 feet tall, which meets the 30-foot height limit. The Residential Element of the LJCP recommends maintaining the character of La Jolla's residential areas by ensuring that redevelopment occurs in a manner that protects natural features, preserves existing streetscape themes, and allows a harmonious visual relationship to exist between the bulk and scale of new and older structures. The proposed development takes adjacent properties into consideration. The second story develops further back, more centered on the lot keeping the street front more inviting and articulating the scale.

The development considers bulk and scale along the street by setting the second story further back than the first, entering the building on the lot, keeping the street front low scale, and articulating the structure to break up massing. Furthermore, the dwelling unit steps back further on the eastern side as it faces an older single-story development and has a more prominent presence on the western side facing the newer two-story single-dwelling unit mass along the edge of the property. Also see the CDP Findings 1a for project compliance with the visual resource policy.

The Residential Element of the LJCP recommends maintaining the character of La Jolla's residential areas by ensuring that redevelopment occurs in a manner that protects natural features, preserves existing streetscape themes, and allows a harmonious visual relationship to exist between the bulk and scale of new and older structures. The LJCP states residential Community Character, "covers a spectrum of densities and architectural styles and expressions. One of the more critical issues associated with the single dwelling unit is the relationship between the bulk and scale of infill development to existing single dwelling units. New construction of single dwelling unit homes tend to be larger in size than the traditional development in some neighborhoods." The LJCP acknowledges the change occurring with new development and recommends applying plan policies to "... avoid extreme and intrusive changes to the residential scale of La Jolla's neighborhoods and to promote good design and harmony within the visual relationships and transitions between new and older structures."

The Community Character policy objective is accomplished through elements that address bulk and scale (as viewed from the public right of way and from parks and open space), street landscape, hardscapes, site fixtures (like fencing, walls, and materials), preserving identified public physical and visual access, and maintaining setbacks, height, offsetting planes, and structure articulation. As viewed from the street, or from the ocean, the dwelling unit specifically addresses each of the standards, design guidelines, and policies contained within in the LJCP including community character, dealing with the avoidance of extreme and intrusive changes to residential scale, bulk, the design and harmony of the visual relationship in transitions between newer and older structures, landscape and streetscape, sensitive design, and side yard setbacks which will create expansive new public view corridors and prevent a "walled off" appearance from the street.

The proposed dwelling unit will include sand finish stucco, stone siding and dark wood siding as accents and dark wood garage door to make it disappear from the street front. Roof edges will be highlighted with a dark metal fascia to match the windows and glass door frames. The flat roof will be Thermoplastic Polyolefin with gravel.

The proposed structure setbacks, massing, variation in building materials, and roofing design all provide visual balance to the proposed dwelling unit's bulk and scale. The architectural design supports a streetscape that provides continuity and visual harmony between the proposed development and the existing surrounding dwelling units. The dwelling unit meets the criteria and design standards set forth in the LJCP.

The project site is located directly adjacent to the coastline with identified intermittent views between the structures from the public right-of-way of Chelsea Street. As a permit condition, these existing intermittent views provided through the property's north and south side setback areas will be protected by recording view corridor easements along those setback areas. The provision of these view corridor easements will support recommendations within the Natural Resources and Open Space System Element of the LJCP to preserve, enhance, or restore existing or potential view corridors within the yards and setbacks where new development is proposed on property that lies between the shoreline and the first public roadway.

The LJCP identifies an Alternative Pedestrian Access along the site within the Chelsea Street right-of-way. This access exists in the form of a public sidewalk, and it will remain open and available for public use. As a permit condition, the project will enhance the opportunity for pedestrian access along its frontage by dedicating property for additional public right-of-way to provide a city standard 10-foot curb-to-property-line distance for the public right-of-way along Chelsea Street. The proposed project would be consistent with the recommended land use, design guidelines, and development standards.

The Development Project Review Committee of the La Jolla Community Planning Association, as well as the La Jolla Community Planning Community Planning Association, decide whether a proposed project will result in excessive bulk and/or scale or would otherwise adversely affect the Community Character of the surrounding neighborhood. Both the Development Permit Review Committee and the full LJCPA reviewed the project in detail and determined that the proposed project follows the goals and recommendations of the LJCP.

The proposed project will comply with all applicable provisions of the Municipal Code and certified LCP and no deviations or variances are requested. Therefore, the proposed development is in conformity with the Certified LCP Land Use Plan and any other applicable adopted plans and programs in effect for this site (also see Findings B. 1. a. through d. and B. 2. a through e. which are herein incorporated by reference).

- d. For every Coastal Development Permit issued for any coastal development between the nearest public road and the sea or the shoreline of any body of water located within the Coastal Overlay Zone the coastal development is in conformity with the public access and public recreation policies of Chapter 3 of the California Coastal Act.**

See findings A.1.a and A.1.c above, which are herein incorporated by reference.

The project site is located between the first public roadway (Chelsea Street) and the Pacific Ocean shoreline within the Coastal Overlay Zone. The proposed development will have no impact on the public's ability to access coastal areas open to the public and will not impact public recreation policies of Chapter 3 of the California Coastal Act as the property is located along a coastal bluff and does not include access from the top of the bluff to the shoreline and ocean below. The LJCP identifies access to the ocean from other locations in the neighborhood and no coastal access is

identified by the LJCP from this site. The LJCP identifies an Alternative Pedestrian Access along the site within the Chelsea Street right-of-way. This access exists in the form of a public sidewalk (which does not lead to the shoreline and/or ocean) and it will remain open and available for public use. As a permit condition, the project will enhance the opportunity for pedestrian access along its frontage by dedicating property for additional public right-of-way to provide a city standard 10-foot curb-to-property-line distance for the public right-of-way along Chelsea Street

The project site is identified as allowing potential intermittent views between the structures from the public right of way of Chelsea Street, as identified within the La Jolla Community Plan and Local Coastal Land Use Plan. As a permit condition, these existing intermittent views provided through the property's north and south side setback areas will be protected by recording a Covenant of Easement for the view corridor easements along those setback areas. Due to these factors, the proposed coastal development is in conformity with the public access and public recreation policies of Chapter 3 of the California Coastal Act.

**B. Site Development Permit [SDMC Section 126.0505]**

**1. Findings for all Site Development Permits:**

**a. The proposed development will not adversely affect the applicable land use plan.**

See findings A.1.a and A.1.c above, which are herein incorporated by reference.

The project has been designed in conformance with all applicable development regulations per the SDMC. The project site is consistent with the LJCP, including policies and recommendations related to the protection and enhancement of public views and public access, and protection of environmentally sensitive resources of La Jolla's open areas, including its coastal bluffs, allowed density, and design recommendations. The 0.29-acre site is designated Low Density Residential 5-9 du/ac in the LJCP and would allow 1-3 dwelling units on the site. The development of a single-dwelling unit with an ADU is within the allowable density range of the LJCP. The proposed residential development replacing an existing residence with a new residence and ADU is not requesting any deviations or variances from the applicable regulations and has been designed in conformance with the SDMC, and the LJCP. Therefore, based on the above analysis, the proposed project will not adversely affect the applicable land use plan.

As detailed above in the Coastal Development Permit findings, the proposed development is consistent with the LJCP, including policies and recommendations related to protecting and enhancing public views and public access and protecting environmentally sensitive resources of La Jolla's open areas, including its coastal bluffs, allowed density, and design recommendations.

The project would adhere to community goals and be designed to not intrude into an identified public view corridor. The project was designed and sited so as not to block or obstruct any portion of public view. The home has also been designed to achieve a harmonious visual relationship between the bulk and scale of the existing and the adjacent structure. Through revisions to the project, the north side yard setback will be seven feet 11.5 inches wide, and the new south side yard setback adjacent to the city-owned parcel will be seven feet 11.5 inches wide. All fencing, landscaping, and other improvements in the view corridors will be restricted by a recorded Covenant of Easement to ensure the preservation of the public views of the ocean.

The Residential Element of the LJCP recommends maintaining the character of La Jolla's residential areas by ensuring that redevelopment occurs in a manner that protects natural features, preserves existing streetscape themes, and allows a harmonious visual relationship to exist between the bulk and scale of new and older structures. The LJCP states residential Community Character, "covers a spectrum of densities and architectural styles and expressions. One of the more critical issues associated with the single dwelling unit is the relationship between the bulk and scale of infill development to existing single dwelling units. New construction of single dwelling unit homes have tended to be larger in size than the traditional development in some neighborhoods." The LJCP acknowledges the change occurring with new development and recommends applying plan policies to "...avoid extreme and intrusive changes to the residential scale of La Jolla's neighborhoods and to promote good design and harmony within the visual relationships and transitions between new and older structures."

The Community Character policy objective is accomplished through elements that address bulk and scale (as viewed from the public right of way and from parks and open space), street landscape, hardscapes, site fixtures (like fencing, walls, and materials), preserving identified public physical and visual access, and maintaining setbacks, height, offsetting planes, and structure articulation. As viewed from the street, or from the ocean, the dwelling unit specifically addressed each of the standards, design guidelines, and policies contained within LJCP including community character, dealing with the avoidance of extreme and intrusive changes to residential scale, bulk, the design and harmony of the visual relationship in transitions between newer and older structures, landscape and streetscape, sensitive design, and side yard setbacks which will create expansive new public view corridors and prevent a "walled off" appearance from the street.

The development considers the bulk and scale along the street, and the second story develops further back from the street, centered on the lot, keeping the street front more inviting and articulating the structure. Furthermore, the dwelling unit steps back further on the eastern side as it faces an older single-story development and has a more prominent presence on the western side facing, the newer two-story single-dwelling unit mass along the edge of the property.

As viewed from the street, or from the ocean, the proposed home specifically addressed each of the standards, design guidelines, and policies contained within



the Plan including community character, dealing with the avoidance of extreme and intrusive changes to residential scale, bulk, the design and harmony of the visual relationship in transitions between newer and older structures, landscape and streetscape, sensitive design, and large side yard setbacks which will create expansive new public view corridors and prevent a “walled off” appearance from the street.

The proposed home is consistent with the recommended land use, design guidelines, and development standards in effect for the subject property per the adopted LJCP, the Municipal Code and General Plan, which all recommend that the subject property be developed with single-dwelling unit development. Additionally, no deviations or variances are requested. Therefore, the proposed development will not adversely affect the applicable land use plan.

**b. The proposed development will not be detrimental to the public health, safety, and welfare.**

The development contains specific conditions addressing compliance with the City's codes, policies, regulations, and other regional, state, and federal regulations to prevent detrimental impacts to the health, safety, and general welfare of persons residing and/or working in the area. Conditions of approval require the review and approval of all construction plans by staff prior to construction to determine compliance with all regulations.

No significant impacts to public health and safety were identified during the environmental review. Two CEQA Categorical Exemptions, Section 15301 (Existing Facilities) and Section 15303 (New Construction), were prepared for the project. It was determined that, the project is exempt from CEQA and that the project would not have a significant effect on the environment. The project will not have any impact on the provision of essential public services. The construction will be inspected by certified building and engineering inspectors to ensure construction is in accordance with the approved plans and with all regulations. See also Finding A.1.b above, which is herein incorporated by reference. Therefore, the proposed development will not be detrimental to the public health, safety, and welfare.

**c. The proposed development will comply with the regulations of the Land Development Code including any allowable deviations pursuant to the Land Development Code.**

See Findings A.1.b and A.1.c above, which are herein incorporated by reference.

The proposed dwelling unit has been designed to comply with all applicable regulations and will have setbacks from the coastal bluff edge and greater side yard setbacks than what is required. The project, as designed and conditioned, will ensure the sensitive coastal bluff will not be adversely impacted by the proposed development. There are no proposed variances or deviations to the development regulations of the Land Development Code. The building setbacks, lot coverage, building mass, building height, public views, public access, and driveway width

comply with the required development regulations; therefore, the proposed development will comply with the regulations of the Land Development Code.

**2. Supplemental Findings SDMC Section 126.0505(b) – Environmentally Sensitive Lands**

**a. The site is physically suitable for the design and siting of the proposed development and the development will result in minimum disturbance to environmentally sensitive lands.**

See Findings A.1.b and A.1.c above, which are herein incorporated by reference. The site contains Coastal Bluffs and is subject to the supplemental regulations of the Sensitive Coastal Overlay Zone (Coastal Bluff) SDMC Section 132.0403, Environmentally Sensitive Lands SDMC Sections 143.0110 and 143.0143 and the Land Development Manual, Coastal Bluffs and Beaches Guidelines.

The proposed dwelling unit has been designed to comply with the regulations and will have adequate setbacks from the coastal bluff edge and greater side yard setbacks than what is required. The project, as designed and conditioned, will ensure the sensitive coastal bluff will not be adversely impacted by the proposed development.

The new development is set further back from the blufftop edge than the existing dwelling unit and will occur within previously disturbed areas of the site. SDMC Section 143.0143(f)(1) requires a 40-foot setback from the coastal bluff edge except structures maybe located between 25 and 40 feet from the bluff edge where the evidence contained in the geology report indicates the site is stable enough to support the development.

The project proposes a setback from the bluff edge ranging from 37 feet, 8.5 inches to 51 feet as allowed by SDMC 143.0143(f)(1) ("Development Regulations for Sensitive Coastal Bluffs"). This reduced bluff edge setback is supported based upon evidence contained in the geologic investigation report that the project has been designed so that it will not be subject to or contribute to significant geologic instability, and no shoreline protection will be required to protect it throughout the anticipated 75-year life span of the proposed residence. The project will comply with the relevant sensitive coastal regulations applicable to the site, including setbacks and the environmentally sensitive lands regulations. This will preclude impacts to sensitive coastal bluffs adjacent to and within the site. All development will be confined to areas of the site that are disturbed and developed.

Site drainage from the proposed improved areas of the project site, as illustrated on the Preliminary Grading Plan, is designed to drain toward the Chelsea Street public right-of-way. The permit controlling this development contains conditions addressing compliance with the City's regulations and other regional, State, and Federal regulations to prevent detrimental impacts to environmentally sensitive lands. The project is adding drainage catch basins and BMP filters to collect all run-off and direct that drainage to Chelsea Street to avoid any drainage over the bluff edge. Therefore, the site as proposed is physically suitable for the design and siting of the

proposed development and the development will result in minimum disturbance to ESL.

The permit will contain conditions requiring: (a) that the owner executes a Notice of Hazardous Condition-Indemnification and Hold Harmless Agreement, (b) removal of the new development if it becomes threatened by erosion, and (c) the waiver of future shoreline protection devices to protect the new development. These conditions will ensure that no coastal resources will be adversely affected by the proposed project.

Therefore, the site is physically suitable for the design and siting of the proposed development and the development will result in minimum disturbance to environmentally sensitive lands.

**b. The proposed development will minimize the alteration of natural landforms and will not result in undue risk from geologic and erosional forces, flood hazards, or fire hazards.**

See Findings A.1.b and A.1.c, herein incorporated by reference. The proposed development will not alter any natural landform in that no natural landform is present on the previously graded, developed portion of the property. No development is proposed on the adjacent sensitive coastal bluff. Proposed grading plans, landscape plans, and the project's Geotechnical Reports indicate that the proposed site has adequate geologic stability to allow a minimum 25-foot coastal bluff setback, and the landscape material will not require any significant irrigation, avoiding disturbance to the adjacent coastal bluffs. The project is not within a flood overlay zone or a potentially sensitive area for fire hazards. The site is physically suitable for the design and siting of the proposed development and will not result in undue risk from erosional forces, flood hazards, or fire hazards.

To avoid erosional forces on the adjacent bluff area, site drainage from the improved areas of the project site, as illustrated on the Preliminary Grading Plan, is designed to drain toward the Chelsea Street public right-of-way. Compliance with the geology and engineering permit conditions will ensure that new structures would be built to reduce the potential for geologic impacts from regional hazards. The project is not within a flood overlay zone or a potentially sensitive area for fire hazards. Therefore, the proposed development will minimize the alteration of natural landforms and will not result in undue risk from geologic and erosional forces, flood hazards, or fire.

The permit will contain conditions requiring: (a) that the owner executes a Notice of Hazardous Condition-Indemnification and Hold Harmless Agreement, (b) removal of the new development if it becomes threatened by erosion, and (c) the waiver of future shoreline protection devices to protect the new development. These conditions will ensure that no coastal resources will be adversely affected by the proposed project. Therefore, the proposed development will minimize the alteration of natural landforms and will not result in undue risk from geologic and erosional forces, flood hazards, or fire hazards.

**c. The proposed development will be sited and designed to prevent adverse impacts on any adjacent environmentally sensitive lands.**

See the response to Finding A.1.b above, herein incorporated by reference, which demonstrates that the proposed development will not adversely impact environmentally sensitive lands.

**d. The proposed development will be consistent with the City of San Diego's Multiple Species Conservation Program (MSCP) Subarea Plan and Vernal Pool Habitat Conservation Plan (VPHCP).**

The project site is not within or adjacent to the Multiple Species Conservation Program (MSCP) Multiple Habitat Planning Area (MHPA) or the Vernal Pool Habitat Conservation Plan (VPHCP) area, therefore the project will be consistent with the City of San Diego's MSCP Subarea Plan and VPHCP.

**e. The proposed development will not contribute to the erosion of public beaches or adversely impact local shoreline sand supply.**

See Finding A.1.b above, which is herein incorporated by reference. The development is within private property and within the existing development footprint. The project site is located above a coastal bluff immediately adjacent to the shoreline of the Pacific Ocean.

The proposed structures will observe all required setbacks from the bluff edge. Furthermore, the proposed project will not locate any habitable structure within twenty-five feet of the bluff edge. The Geotechnical Report, prepared by a Registered Professional Engineer, concluded no shoreline protective devices will be constructed or required, the proposed development will not contribute to or prevent the erosion of public beaches or adversely impact local shoreline sand supply, all drainage from the runoff of precipitation will be directed to the gutter within the public right of way and away from the coastal bluff. As such, the site is suitable for development and will not contribute to the erosion of public beaches or adversely impact local shoreline sand supply.

Additionally, the permit contains conditions addressing storm water runoff, runoff during construction, and landscaping. The project includes drainage catch basins and BMP filters to collect all runoff and avoid any potential drainage onto the public areas from private improvements.

The permit will contain conditions requiring: (a) that the owner executes a Notice of Hazardous Condition-Indemnification and Hold Harmless Agreement, (b) removal of the new development if it becomes threatened by erosion, and (c) the waiver of future shoreline protection devices to protect the new development. These conditions will ensure that no coastal resources will be adversely affected by the proposed project.

These conditions will ensure that no coastal resources will be adversely affected by the proposed project. Therefore, the proposed development will not contribute to the erosion of public beaches or adversely impact local shoreline sand supply.

**f. The nature and extent of mitigation required as a condition of the permit is reasonably related to, and calculated to alleviate, negative impacts created by the proposed development.**

The development is entirely within private property and no mitigation is required. Compliance with the geology and engineering permit conditions will ensure that the new structures being built will reduce the potential for geologic impacts from regional hazards. The project is not within a flood overlay zone or a potentially sensitive area for fire hazards therefore, the proposed development will alleviate any impacts created and have been incorporated into the conditions of the development permit. City staff reviewed the project in conformance with the CEQA, and two CEQA Categorical Exemptions, Section 15301 (Existing Facilities) and Section 15303 (New Construction), was prepared for the project. It was determined that, the project is exempt from CEQA and that the project would not have a significant effect on the environment.

Therefore, the nature and extent of mitigation required as a condition of the permit is reasonably related to, and calculated to alleviate, negative impacts created by the proposed development (see CDP Finding A.1.b and SDP Findings B.1.b and B.2.b).

The above findings are supported by the minutes, maps and exhibits, all of which are incorporated herein by this reference.

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the Hearing Officer, Coastal Development Permit No. PMT-3208844 and Site Development Permit No. PMT-3208845 is hereby GRANTED by the Hearing Officer to the referenced Owner/Permittee, in the form, exhibits, terms and conditions as set forth in Permit Nos. PMT-3208844 and PMT-3208845, a copy of which is attached hereto and made a part hereof.

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Christian Hoppe  
Development Project Manager

Development Services

Adopted on: May 22, 2024

IO#: 24009513

DRAFT

**RECORDING REQUESTED BY**  
CITY OF SAN DIEGO  
DEVELOPMENT SERVICES  
PERMIT INTAKE, MAIL STATION  
501

**WHEN RECORDED MAIL TO**  
**PROJECT MANAGEMENT**  
**PERMIT CLERK**  
**MAIL STATION 501**

INTERNAL ORDER NUMBER: 24009513

SPACE ABOVE THIS LINE FOR RECORDER'S USE

COASTAL DEVELOPMENT PERMIT NO. PMT-3208844  
SITE DEVELOPMENT PERMIT NO. PMT-3208845  
**DUDUM RESIDENCE PROJECT NO. PRJ-1081479**  
HEARING OFFICER

This Coastal Development Permit No. PMT-3208844 and Site Development Permit No. PMT-3208845 is granted by the Hearing Officer of the City of San Diego to SANDRA S. DUDUM, a married woman as her sole and separate property, Owner/Permittee, pursuant to San Diego Municipal Code [SDMC] sections 126.0708 and 126.0505. The 0.29-acre site is located at 5270 Chelsea Street in the RS-1-7 Zone, Coastal Overlay Zone (Appealable Area), Sensitive Coastal Overlay Zone, Coastal Height Limitation Zone, Parking Impact Overlay Zone: Beach and Coastal, First Public Roadway, Transit Area Overlay Zone, and the Transit Priority Area within the La Jolla Community Plan area. The project site is legally described as: LOT F IN BLOCK 4 OF PACIFIC RIVIERA VILLAS UNIT NO.1, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 2531, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, DECEMBER 23, 1948.

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner/Permittee to demolish the existing single-dwelling unit, and construct a new 6,562 square foot two-story single-dwelling unit with a three car garage and a detached 607 square-foot accessory dwelling unit described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated May 22, 2024, on file in the Development Services Department.

The project shall include:

- a. The demolition of an existing single-dwelling unit;
- b. Construction of a new 6,562 square-foot, two-story single-dwelling unit with a three-car garage, a detached 607-square-foot accessory dwelling unit, pool, deck, and outdoor barbecue;
- b. Landscaping (planting, irrigation and landscape-related improvements);
- c. Off-street parking;

- d. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act [CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

**STANDARD REQUIREMENTS:**

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36-month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by June 6, 2027.
2. This Coastal Development Permit shall become effective on the eleventh working day following receipt by the California Coastal Commission of the Notice of Final Action or following all appeals.
3. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
  - a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
  - b. The Permit is recorded in the Office of the San Diego County Recorder.
4. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.
5. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.
6. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
7. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).
8. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements



may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.

9. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.

10. All of the conditions contained in this Permit have been considered and were determined necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

11. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

**ENGINEERING REQUIREMENTS:**

12. Prior to issuance of any construction permit for building, the Owner/Permittee shall dedicate an additional four (4) feet public right-of-way to complete a 10-foot parkway for Chelsea Street at the project frontage. All land so offered shall be free and clear of all liens and encumbrances.

13. Prior to issuance of any construction permit for building, the Owner/Permittee shall assure by permit and bond, the improvement of the additional four (4) feet public right-of-way, in accordance with the City Standards, satisfactory to the City Engineer.
14. Prior to issuance of any construction permit for building, the Developer shall assure, by permit and bond, the construction of the 12-foot-wide driveway at Chelsea Street per the current City Standards, satisfactory to the City Engineer.
15. Prior to issuance of any construction permit for building, the Owner/Permittee shall assure, by permit and bond, the removal of the existing rolled curb and replacement with the current City Standard curb and gutter at Chelsea Street frontage, as shown on Exhibit "A", satisfactory to the City Engineer.
16. Prior to issuance of any construction permit for building, the Owner/Permittee shall assure, by Permit and bond, the removal of the existing contiguous sidewalk and replacement with the current City Standard contiguous sidewalk at Chelsea Street frontage, as shown on Exhibit "A", satisfactory to the City Engineer.
17. Prior to issuance of any construction permit for building, the Owner/Permittee shall obtain an Encroachment Maintenance and Removal Agreement (EMRA) for all private improvements including but not limited to curb outlet, landscaping, irrigation and stepping pads located within the existing and proposed public right of way as shown Exhibit "A", satisfactory to the City Engineer.
18. The Owner/Permittee shall submit the final drainage report that addresses the proposed drainage condition as compared to the existing condition in accordance with the current City of San Diego Drainage Design Manual. The drainage report shall be reviewed and approved with any construction permit, satisfactory to the City Engineer.
19. Prior to issuance of any construction permit for building, the Owner/Permittee shall demonstrate that all surface drainage run-off from improved areas are directed away from the coastal bluff and discharged onto a public storm drain system or onto a street developed with a gutter system and all drainage from any unimproved area are be appropriately collected and discharged in order to reduce, control, or mitigate erosion of the coastal bluff in accordance with San Diego Municipal Code, satisfactory to the city engineer.
20. Prior to the issuance of any construction permit, the Owner/Permittee shall incorporate any construction Best Management Practices (BMPs) necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the SDMC, into the construction plans or specifications.
21. Prior to the issuance of any construction permit, the Owner/Permittee shall submit a Water Pollution Control Plan (WPCP) prepared using the City of San Diego WPCP template per the City of San Diego Stormwater Standards. WPCP shall identify all construction BMP's to be implemented during construction reduce/eliminate discharges of pollutants to the storm drain conveyance system. The WPCP and Site Map shall be updated with each phase of construction activity. The WPCP shall be kept on-site and made available upon request of a representative of the City.

**LANDSCAPE REQUIREMENTS:**

22. Prior to issuance of any construction permit for grading, the Owner/Permittee shall submit complete construction documents for the revegetation and hydro-seeding of all disturbed land in accordance with the City of San Diego Landscape Standards, Storm Water Design Manual, and to the satisfaction of the Development Services Department. All plans shall be in substantial conformance to this permit (including Environmental conditions) and Exhibit "A" on file in the Development Services Department.

23. Prior to the issuance of any construction permit for public improvements, the Owner/Permittee shall submit complete landscape construction documents for right-of-way improvements to the Development Services Department for approval. Improvement plans shall show, label, and dimension a 40-square-foot area around each tree which is unencumbered by utilities. Driveways, utilities, drains, water, and sewer laterals shall be designed so as not to prohibit the placement of street trees.

24. Prior to issuance of any construction permit for building (including shell), the Owner/Permittee shall submit complete landscape and irrigation construction documents, which are consistent with the Landscape Standards, to the Development Services Department for approval. The construction documents shall be in substantial conformance with Exhibit "A," Landscape Development Plan, on file in the Development Services Department. Construction plans shall provide a 40-square-foot area around each tree that is unencumbered by hardscape and utilities unless otherwise approved per §142.0403(b)(6).

25. The Owner/Permittee shall be responsible for the maintenance of all landscape improvements shown on the approved plans, including in the right-of-way, unless long-term maintenance of said landscaping will be the responsibility of another entity approved by the Development Services Department. All required landscape shall be maintained consistent with the Landscape Standards in a disease, weed, and litter free condition at all times. Severe pruning or "topping" of trees is not permitted.

26. If any required landscape (including existing or new plantings, hardscape, landscape features, etc.) indicated on the approved construction documents is damaged or removed, the Owner/Permittee shall repair and/or replace in kind and equivalent size per the approved documents to the satisfaction of the Development Services Department within 30 days of damage or Final Inspection.

**PLANNING/DESIGN REQUIREMENTS:**

27. The automobile, motorcycle and bicycle parking spaces must be constructed in accordance with the requirements of the SDMC. All on-site parking stalls and aisle widths shall be in compliance with requirements of the City's Land Development Code and shall not be converted and/or utilized for any other purpose, unless otherwise authorized in writing authorized by the appropriate City decision maker in accordance with the SDMC.

28. A topographical survey conforming to the provisions of the SDMC may be required if it is determined, during construction, that there may be a conflict between the building(s) under construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Owner/Permittee.
29. Prior to the issuance of any construction permits, the Owner/Permittee shall enter into a Covenant of Easement to preserve the view corridors of the side yards on-site (a minimum of 7 feet 11.5 inches on the west side and 7 feet 11.5 inches on the east side), as shown on Exhibit "A".
30. Only open fencing and landscaping may be permitted within the view corridors and visual accessways, provided such improvements do not significantly obstruct public views of the ocean. Landscaping shall be planted and maintained to preserve public views.
31. Accessory structures and landscape features customary and incidental to residential uses per Section 143.0143(f)(2) shall not be closer than 5 feet to the coastal bluff edge provided; however, that these shall be located at grade.
32. All drainage from the improvements on the premises shall be directed away from any coastal bluff and either into an existing or newly improved public storm drain system or onto a street developed with a gutter system or public right of way designated to carry surface drainage run-off. All drainage from any unimproved areas shall be appropriately collected and discharged in order to reduce, control, or mitigate erosion of the coastal bluff.
33. Prior to the Issuance of any construction permits the Owner/Permittee shall enter into an acknowledged agreement with the City in a form that is approved by the City Attorney. The agreement shall include the acknowledgments and provisions shown in SDMC Section 141.0302(f)(iii)(1)-(6).
34. All private outdoor lighting shall be shaded and adjusted to fall on the same premises where such lights are located and in accordance with the applicable regulations in the SDMC.

**PUBLIC UTILITIES DEPARTMENT REQUIREMENTS:**

35. Prior to issuance of any construction permit for building, the Owner/Permittee shall assure, by permit and bond, the design and construction of new water and sewer service(s) outside of any driveway or drive aisle and the abandonment of any existing unused water and sewer services within the right-of-way adjacent to the project site, in a manner satisfactory to the Public Utilities Department and the City Engineer.
36. The Owner/Permittee shall apply for a plumbing permit for the installation of appropriate private back flow prevention device(s), on each water service (domestic, fire and irrigation), in a manner satisfactory to the Public Utilities Department and the City Engineer. BFPDs shall be located above ground on private property, in line with the service and immediately adjacent to the right-of-way.

37. All proposed private water and sewer facilities are to be designed to meet the requirements of the California Uniform Plumbing Code and will be reviewed as part of the building permit plan check.

38. No trees or shrubs exceeding three feet in height at maturity shall be installed within ten feet of any sewer facilities and five feet of any water facilities.

**COASTAL COMMISSION REQUIREMENTS:**

39. In the event that new development becomes imminently threatened with coastal erosion, owner agrees to remove such threatened improvements.

40. Prior to the issuance of any construction permits, the Owner/Permittee shall execute a Notice of Hazardous Condition-Indemnification and Hold Harmless Agreement for Sensitive Coastal Bluffs in accordance with SDMC Section 143.0143, in a form and content acceptable to the Director of the Development Services Department, or designated representative, which shall provide: that the Owner/Permittee understands that new accessory structures or landscape features customary and incidental to residential uses are prohibited within five feet of the Coastal Bluff Edge or on the face of the Bluff, as illustrated on approved plan Exhibit "A", that the Owner/Permittee understands that the site may be subject to extraordinary hazard from coastal bluff erosion, and that the Owner/Permittee assumes all liability from such hazards; and the Owner/Permittee unconditionally waives any claim of liability against the City of San Diego and agrees to defend, indemnify, and hold harmless the City of San Diego and its advisors relative to the City of San Diego's approval of the project and for any damage due to natural hazards. This Notice of Hazardous Conditions-Indemnification and Hold Harmless Agreement shall be recorded against title to the property and shall run with the land, binding upon all successors and assigns.

40. Prior to issuance of any construction permit for building, the Owner/Permittee shall record a deed restriction waving all future rights to shoreline protective devices associated with the subject property in accordance with the SDMC Section 143.0143(f)(1), to the satisfaction of the Development Services Department.

**INFORMATION ONLY:**

- The issuance of this discretionary permit alone does not allow the immediate commencement or continued operation of the proposed use on site. Any operation allowed by this discretionary permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Hearing Officer of the City of San Diego on May 22, 2024, and Resolution No. HO-

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**ATTACHMENT 5**

COASTAL DEVELOPMENT PERMIT NO. PMT-3208844

SITE DEVELOPMENT PERMIT NO. PMT-3208845

Date of Approval: May 22, 2024

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES DEPARTMENT

\_\_\_\_\_  
Christian Hoppe  
Development Project Manager

**NOTE: Notary acknowledgment  
must be attached per Civil Code  
section 1189 et seq.**

\_\_\_\_\_  
**The undersigned Owner/Permittee**, by execution hereof, agrees to each and every condition of  
this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

**Sandra S. Dudum**  
Owner/Permittee

By \_\_\_\_\_

**NOTE: Notary acknowledgments  
must be attached per Civil Code  
section 1189 et seq.**

	<b>City of San Diego Development Services</b> 1222 First Ave., MS-302 San Diego, CA 92101	<h1>Community Planning Committee Distribution Form</h1>	
Project Name: 5270 Chelsea St		Project Number: 1081479	
Community: La Jolla			
<p>For project scope and contact information (project manager and applicant), log into OpenDSD at <a href="https://aca.accela.com/SANDIEGO">https://aca.accela.com/SANDIEGO</a>.</p> <p>Select "Search for Project Status" and input the Project Number to access project information.</p>			
<input checked="" type="radio"/> Vote to Approve <input type="checkbox"/> Vote to Approve with Conditions Listed Below <input type="checkbox"/> Vote to Approve with Non-Binding Recommendations Listed Below <input type="checkbox"/> Vote to Deny		Date of Vote: November 02,	
# of Members Yes 17	# of Members No 0	# of Members Abstain 1	
Conditions or Recommendations:			
<input type="checkbox"/> No Action (Please specify, e.g., Need further information, Split vote, Lack of quorum, etc.)			
NAME: Suzanne Baracchini			
TITLE: Trustee/Secretary		DATE: November 06, 2023	
<i>Attach additional pages if necessary (maximum 3 attachments).</i>			

Visit our web site at [www.sandiego.gov/development-services](http://www.sandiego.gov/development-services).

Upon request, this information is available in alternative formats for persons with disabilities.

DS-5620 (08-18) ONLINE FORM





THE CITY OF SAN DIEGO

DATE OF NOTICE: March 8, 2024

# NOTICE OF RIGHT TO APPEAL ENVIRONMENTAL DETERMINATION

DEVELOPMENT SERVICES DEPARTMENT

SAP No. 24009513

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**PROJECT NAME / NUMBER:** 5270 Chelsea / PRJ-1081479

**COMMUNITY PLAN AREA:** La Jolla

**COUNCIL DISTRICT:** 1

**LOCATION:** 5270 Chelsea St., San Diego, CA 92037

**PROJECT DESCRIPTION:** Coastal Development Permit and Site Development Permit to demolish the existing single-family residence and construct a new 6,562 square foot two-story single-family residence and a 607 square foot detached accessory dwelling unit at 5270 Chelsea Street. Project scope includes hardscape, softscape, air conditioning units, pool, deck, and outdoor BBQ. The 0.29-acre site is in the RS-1-7, Coastal (Appealable) overlay zone within the La Jolla Community Plan area. **LEGAL DESCRIPTION:** LOT 5 IN BLOCK 4 OF PACIFIC RIVIERA VILLAS UNIT NO.1, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, CALIFORNIA ACCORDING TO MAP NO. 2532, FILES IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, DECEMBER 23, 1948.

**ENTITY CONSIDERING PROJECT APPROVAL:** City of San Diego Hearing Officer

**ENVIRONMENTAL DETERMINATION:** Categorically exempt from CEQA pursuant to CEQA State Guidelines, Section 15301, Existing Facilities and Section 15303, New Construction.

**ENTITY MAKING ENVIRONMENTAL DETERMINATION:** City of San Diego

**STATEMENT SUPPORTING REASON FOR ENVIRONMENTAL DETERMINATION:** The City of San Diego determined that the project would qualify to be categorically exempt from CEQA pursuant to Section 15301, Existing Facilities and Section 15303, New Construction; and where the exceptions listed in Section 15300.2 would not apply. **The site is not included on any list compiled pursuant to Government Code Section 65962.5 for hazardous waste sites.**

**DEVELOPMENT PROJECT MANAGER:**

Christian Hoppe

**MAILING ADDRESS:**

1222 First Avenue, MS 501, San Diego, CA 92101-4153

**PHONE NUMBER / EMAIL:**

(619) 446-5293 / CHoppe@sandiego.gov

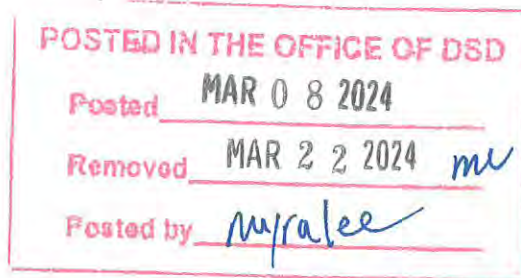
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On March 8, 2024 the City of San Diego (City), as Lead Agency, has made the above-referenced environmental determination pursuant to the California Environmental Quality Act (CEQA). This determination is appealable to the City Council. If you have any questions about this determination, contact the City Development Project Manager listed above.

Applications to appeal CEQA determination made by staff (including the City Manager) to the City Council must be filed in the office of the City Clerk by 5:00pm within ten (10) business days from the date of the posting of this Notice (March 22, 2024). Appeals to the City Clerk must be filed by email or in-person as follows:

- 1) Appeals filed via E-mail: The Environmental Determination Appeal Application Form [DS-3031](#) can be obtained at <https://www.sandiego.gov/sites/default/files/legacy/development-services/pdf/industry/forms/ds3031>. Send the completed appeal form (including grounds for appeal and supporting documentation in pdf format) by email to [Hearings1@sandiego.gov](mailto:Hearings1@sandiego.gov) by 5:00p.m. on the last day of the appeal period; your email appeal will be acknowledged within 24 business hours. You must separately mail the appeal fee by check payable to the City Treasurer to: City Clerk/Appeal, MS 2A, 202 C Street, San Diego, CA 92101. The appeal filing fee must be United States Postal Service (USPS) postmarked) before or on the final date of the appeal. Please include the project number on the memo line of the check.
- 2) Appeals filed in person: Environmental Determination Appeal Application Form [DS-3031](#) can be obtained at <https://www.sandiego.gov/sites/default/files/legacy/development-services/pdf/industry/forms/ds3031.pdf>. Bring the fully completed appeal application [DS-3031](#) (including grounds for appeal and supporting documentation) to the City Administration Building-Public Information Counter (Open 8:00am to 5:00pm Monday through Friday excluding City-approved holidays), 1st Floor Lobby, located at 202 C Street, San Diego, CA 92101, by 5:00pm on the last day of the appeal period. The completed appeal form shall include the required appeal fee, with a check payable to: City Treasurer.

This information will be made available in alternative formats upon request.





**City of San Diego  
Development Services**  
1222 First Ave., MS 302  
San Diego, CA 92101  
(619) 446-5000

# Ownership Disclosure Statement

**FORM  
DS-318**

October 2017

**Approval Type:** Check appropriate box for type of approval(s) requested:  Neighborhood Use Permit  Coastal Development Permit  
 Neighborhood Development Permit  Site Development Permit  Planned Development Permit  Conditional Use Permit  Variance  
 Tentative Map  Vesting Tentative Map  Map Waiver  Land Use Plan Amendment •  Other \_\_\_\_\_

**Project Title:** Dudum residence **Project No. For City Use Only:** \_\_\_\_\_

**Project Address:** 5270 Chelsea street

**Specify Form of Ownership/Legal Status (please check):**

Corporation  Limited Liability -or-  General - What State? \_\_\_\_\_ Corporate Identification No. \_\_\_\_\_  
 Partnership  Individual

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter will be filed with the City of San Diego on the subject property with the intent to record an encumbrance against the property. Please list below the owner(s), applicant(s), and other financially interested persons of the above referenced property. A financially interested party includes any individual, firm, co-partnership, joint venture, association, social club, fraternal organization, corporation, estate, trust, receiver or syndicate with a financial interest in the application. If the applicant includes a corporation or partnership, include the names, titles, addresses of all individuals owning more than 10% of the shares. If a publicly-owned corporation, include the names, titles, and addresses of the corporate officers. (A separate page may be attached if necessary.) If any person is a nonprofit organization or a trust, list the names and addresses of **ANY** person serving as an officer or director of the nonprofit organization or as trustee or beneficiary of the nonprofit organization. A signature is required of at least one of the property owners. Attach additional pages if needed. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

**Property Owner**

Name of Individual: Rick and Sandra Dudum  Owner  Tenant/Lessee  Successor Agency

Street Address: 515 Cameo Highland Dr

City: Corona Del Mar State: CA Zip: 92625

Phone No.: 844 478 8424 Fax No.: \_\_\_\_\_ Email: rdudum@vicollection.com

Signature: Date: 1/14/23

Additional pages Attached:  Yes  No

**Applicant**

Name of Individual: Rick and Sandra Dudum  Owner  Tenant/Lessee  Successor Agency

Street Address: 515 Cameo Highland Dr

City: Corona Del Mar State: CA Zip: 92625

Phone No.: 844 478 8424 Fax No.: \_\_\_\_\_ Email: rdudum@vicollection.com

Signature: Date: \_\_\_\_\_

Additional pages Attached:  Yes  No

**Other Financially Interested Persons**

Name of Individual: \_\_\_\_\_  Owner  Tenant/Lessee  Successor Agency

Street Address: \_\_\_\_\_

City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

Phone No.: \_\_\_\_\_ Fax No.: \_\_\_\_\_ Email: \_\_\_\_\_

Signature: \_\_\_\_\_ Date: \_\_\_\_\_

Additional pages Attached:  Yes  No

Printed on recycled paper. Visit our web site at [www.sandiego.gov/development-services](http://www.sandiego.gov/development-services).  
 Upon request, this information is available in alternative formats for persons with disabilities.





# TOPOGRAPHIC SURVEY MAP -- 5270 CHELSEA ST - SAN DIEGO, CA

**REFERENCES**

- R1 - MAP 2531
- R2 - CR 12103
- R3 - CR 45637

**FOUND MONUMENTS**

- ① FD L&D "LS 4830" PER R2.
- ② FD L&D "LS 8211", PER CR 40299
- ③ FD L&D "LS 7844" PER R3.
- ④ FD L&D "SDCE" PER CR 40728, NOT USED (TIE ONLY)
- ⑤ FD L&D "SDCE" PER R4.

**ABBREVIATED LEGAL DESCRIPTION**

LOT 5 IN BLOCK 4 OF PACIFIC RIVIERA VILLAS UNIT NO. 1, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 2531, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, DECEMBER 23, 1948. MORE FULLY DESCRIBED IN GRANT DEED RECORDED IN THE OFFICE OF THE SAN DIEGO COUNTY RECORDER AS DOCUMENT NO. 2021-0005403.

**EASEMENT NOTES:**

NO EASEMENTS OF RECORD PER TITLE COMMITMENT PROVIDED BY LAWYERS TITLE COMPANY AS FILE NUMBER 321338288, DATED NOVEMBER 9, 2021.



**SURVEYOR'S STATEMENT**

THIS MAP CORRECTLY REPRESENTS A SURVEY MADE BY ME OR UNDER MY DIRECTION IN CONFORMANCE WITH THE REQUIREMENTS OF THE PROFESSIONAL LAND SURVEYORS' ACT ON NOVEMBER 1, 2021.

*Maximilian Lebl*  
MAXIMILIAN LEBL, PLS 9323  
1/27/2022  
DATE



**PROJECT INFORMATION**

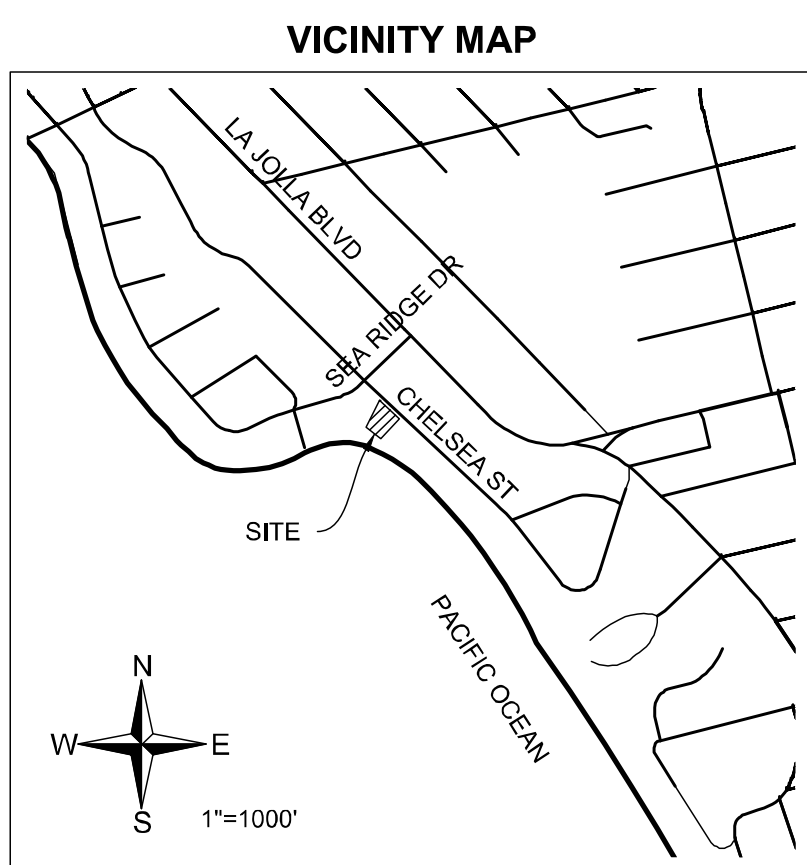
CLIENT: MCKEAN DESIGNS  
ADDRESS: 5270 CHELSEA STREET, SAN DIEGO, CA, 92037  
APN: 415-062-05

**SURVEY NOTES**

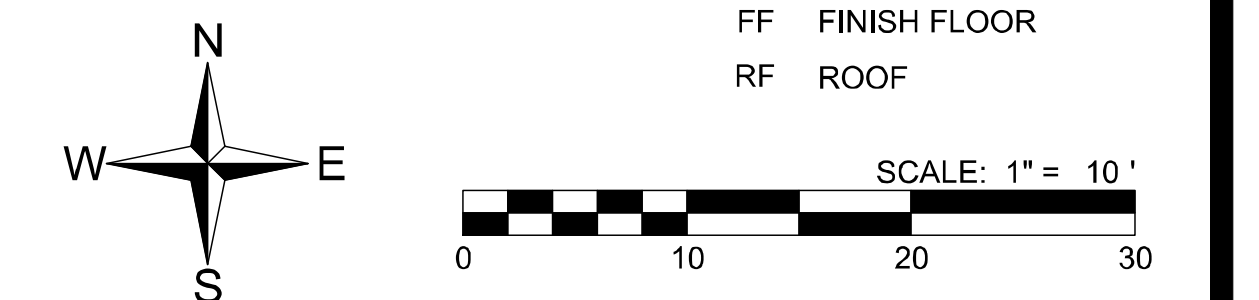
1. THE BOUNDARIES AND DIMENSIONS OF THE SURVEYED PARCEL(S) SHOWN HEREON ARE BASED ON A FIELD SURVEY. RECORD DIMENSIONS MAY VARY. THE BOUNDARIES OF ADJOINING PARCELS WERE COMPILED FROM RECORDED OR FILED DATA, AND ARE TO BE USED FOR PLANNING PURPOSES ONLY. FULL PROCEDURE OF SURVEY NOT SHOWN HEREON.
2. THE BASIS OF BEARING FOR THIS SURVEY IS THE CALIFORNIA COORDINATE SYSTEM, ZONE 6, NAD 83 (EPOCH 2017.5) AND AS DETERMINED BY A LINE BETWEEN CONTINUOUS OPERATING REFERENCE STATIONS (CORS) P473 AND S105, IE N 66 39'41" E.
3. ELEVATIONS SHOWN HEREON ARE BASED ON A FOUND BRASS PLUG LOCATED ON THE TOP OF CURB IN THE NORTHWEST QUADRANT OF THE INTERSECTION OF ARCHER STREET AND LA JOLLA BLVD AS NOTED IN THE CITY OF SAN DIEGO BENCHMARK BOOK ON SHEET 354.
4. THE LOCATIONS OF UNDERGROUND UTILITY LINES AND/OR STRUCTURES AS SHOWN HEREON ARE BASED ON OBSERVED ABOVE GROUND EVIDENCE AND RECORD INFORMATION PROVIDED TO THE SURVEYOR. NO EXCAVATIONS WERE MADE DURING THE COURSE OF THIS SURVEY TO LOCATE UNDERGROUND UTILITIES. LOCATIONS OF UNDERGROUND UTILITIES MAY VARY FROM LOCATIONS SHOWN HEREON. ADDITIONAL UNDERGROUND UTILITIES MAY EXIST.
5. TITLE COMMITMENT PROVIDED BY LAWYERS TITLE COMPANY AS FILE NUMBER 321338288, DATED NOVEMBER 9, 2021.
6. AERIAL MAPPING FLOWN 1/17/2022, PROVIDED BY PASCO LARET SUITER & ASSOCIATES.
7. ACCURACIES OF ± 0.3' CAN BE EXPECTED AS IT RELATES TO THE TOPOGRAPHICAL INFORMATION GENERATED FROM THE DIGITAL TERRAIN MODELING (DTM) INFORMATION.

**LEGEND**

- FOUND MONUMENT AS INDICATED
- PROPERTY LINE
- RIGHT-OF-WAY LINE
- CENTER LINE
- ADJOINING PROPERTY LINE
- TIE LINE / REFERENCE LINE
- OE — POWER - OVERHEAD
- X — X — FENCE
- WALL
- BUILDING OUTLINE
- BUILDING OVERHANG
- INDEX CONTOUR
- INTERMEDIATE CONTOUR
- ×60.4 SPOT ELEVATION
- CONCRETE
- ASPHALT
- BRICK
- METER - WATER (W)
- METER - ELECTRIC (E)
- METER - GAS (G)
- UTILITY POLE (P)
- GUY ANCHOR (A)
- VULT (V)
- CLEANOUT (C)
- MH - SANITARY (S)
- MH - DRAINAGE (D)
- DRAIN INLET (I)
- RISER - ELECTRIC (R)
- BOLLARD (B)
- SIGN (S)
- TREE - DECIDUOUS (D)
- TREE - PALM (P)
- TREE - CONIFEROUS (C)
- VEGETATION (V)
- FF FINISH FLOOR
- RF ROOF

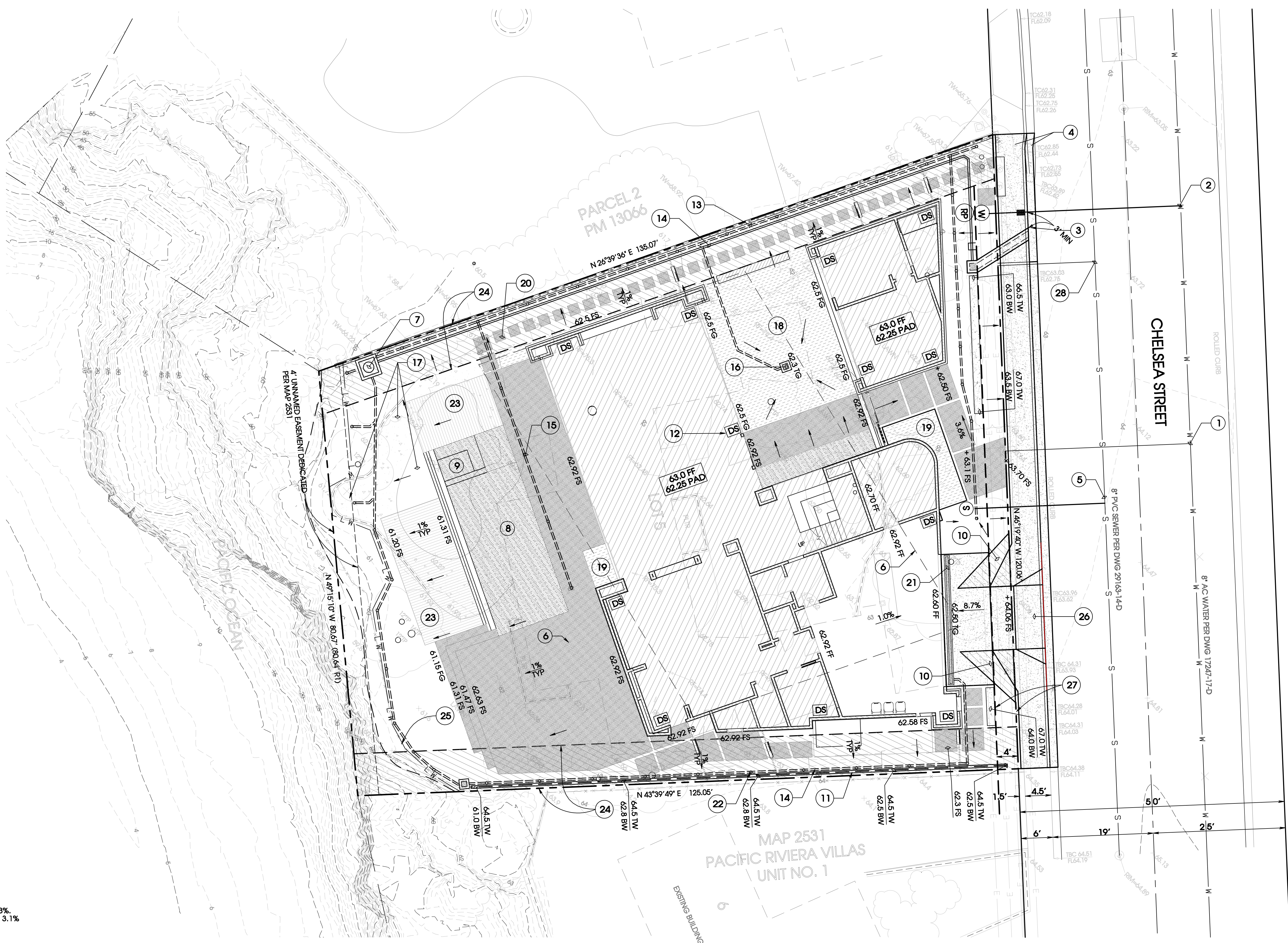


**PASCO LARET SUITER & ASSOCIATES**  
San Diego | Encinitas | Orange County  
Phone 858.259.8212 | www.plsaengineering.com



LEGEND

- PROPERTY LINE
- - - - - EXISTING CONTOUR
- - - - - EXISTING OVERHEAD LINES
- - - - - EXISTING GAS LINE
- - - - - EXISTING SEWER LINE
- - - - - EXISTING WATER LINE
- EXISTING MANHOLE
- PROPOSED 4" PVC SEWER LATERAL
- PROPOSED WATER SERVICE
- ▭ PROPOSED PVT MODIFIED CURB OUTLET (1' INNER WIDTH)
- PROPOSED PVT TYPE A CLEANOUT
- - - - - PROPOSED PVC DRAIN
- DS PROPOSED DOWNSPOUT
- ▭ PROPOSED LANDSCAPING
- RP PROPOSED BACKFLOW PREVENTER
- ▭ PROPOSED MASONRY RETAINING WALL
- ▭ PROPOSED PVT 6" CURB & GUTTER AND SIDEWALK PER CURRENT CITY STANDARDS
- ▭ PROPOSED STEPPING STONE WALKWAY (SEE LANDSCAPE PLAN)
- ▭ AREA OF RESIDENCE/ADU (HATCH)



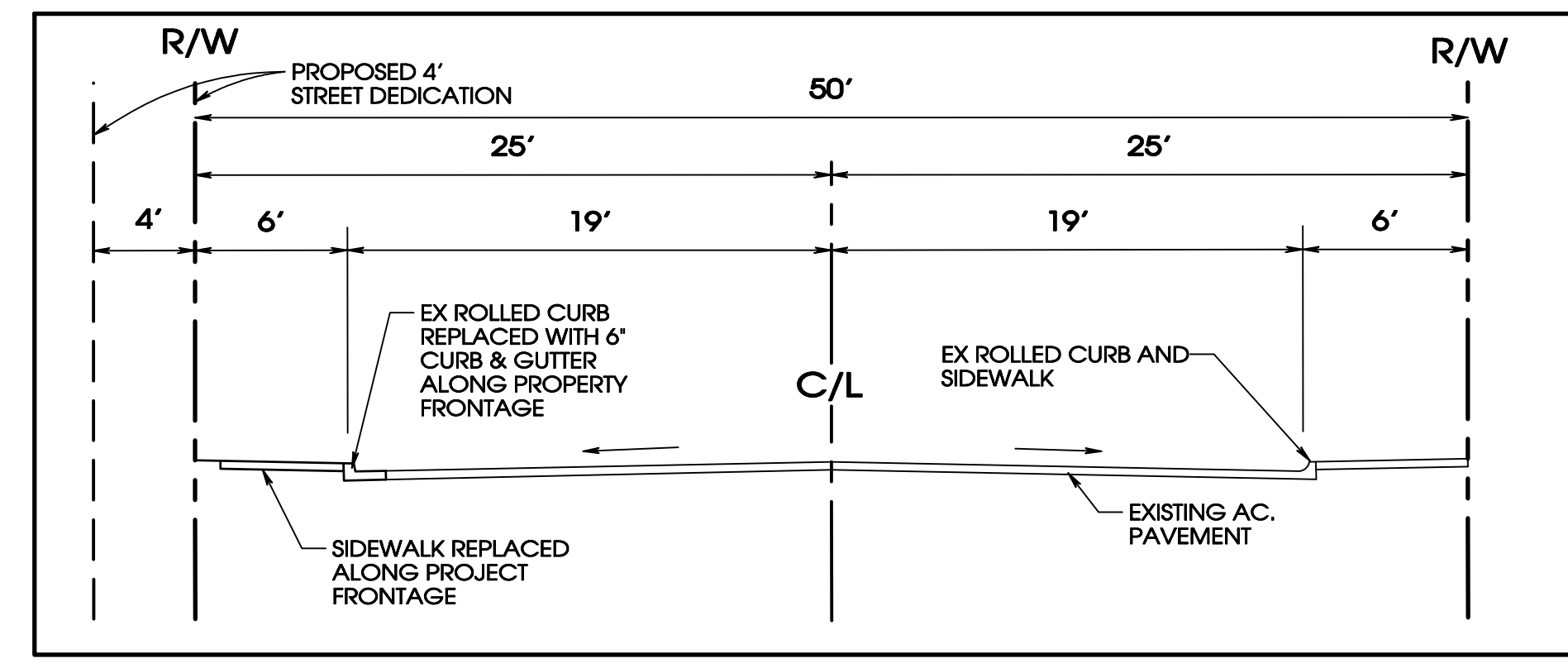
**GRADING DATA**  
 AREA OF SITE - 12,790 S.F. (0.294 AC)  
 AREA OF SITE TO BE GRADED - 12,090 SF  
 PERCENT OF SITE TO BE GRADED - 94.5%  
 AREA OF SITE WITH 25% SLOPES OR GREATER: AREA - 550 SF. PERCENT OF TOTAL SITE - 4.3%  
 AREA OF SITE WITH SLOPES THAT ARE SUBJECT TO E.S.L. REGS. (LDC SEC. 143.0110): 396 SF, 3.1%  
 VOLUME OF FILL - 30 C.Y.  
 VOLUME OF EXPORT - 30 C.Y.  
 EARTHWORK TO FINISH SURFACE/GRADE  
 MAXIMUM HEIGHT OF FILL SLOPE - NONE  
 MAXIMUM HEIGHT OF CUT SLOPE - NONE  
 MAXIMUM HEIGHT OF VERTICAL CUT: 2 FEET  
 MAXIMUM HEIGHT OF VERTICAL FILL: 1 FOOT

RETAINING WALL: 102'; 3.5' MAXIMUM RETAINED HEIGHT

EXISTING IMPERVIOUS AREA = 6,700 SF (52.4%)  
 PROPOSED CREATED/REPLACED IMPERVIOUS AREA = 8,409 SF (65.7%)

7,868 SF HOUSE, DRIVEWAY AND WALKWAYS  
 541 SF POOLS & WATER FEATURE

NOTE:  
 MINIMUM TREE SEPARATION DISTANCE  
 TRAFFIC SIGNALS / STOP SIGNS - 20 FEET  
 UNDERGROUND UTILITY LINES - 5 FEET (10 FEET FOR SEWER)  
 ABOVE GROUND UTILITY STRUCTURES - 10 FEET  
 DRIVEWAY (ENTRIES) - 10 FEET  
 (5 FEET ON RESIDENTIAL STREETS RATED AT 25 MPH OR LOWER)  
 INTERSECTIONS (INTERSECTING CURB LINES OF TWO STREETS) - 25 FEET



**LEGAL DESCRIPTION:**  
 LOT 5 IN BLOCK 4 OF PACIFIC RIVIERA VILLAS UNIT NO. 1, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 2531, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, DECEMBER 23, 1948.  
 APN: 415-062-05-00

**BENCHMARK**  
 CITY OF SAN DIEGO BENCHMARK LOCATED AT THE NORTHWEST QUADRANT OF INTERSECTION OF ARCHER STREET AND LA JOLLA BOULEVARD, ELEVATION 75.391' MEAN SEA LEVEL (N.G.V.D. 1929).

- NOTES**
1. THE SOURCE OF THE TOPOGRAPHIC INFORMATION SHOWN HEREON IS PHOTOGRAMMETRIC AND GROUND SURVEY BY PASCOE LARET SUTER & ASSOCIATES, DATED JANUARY 27, 2022.
  2. THE PROJECT INCLUDES ONE SINGLE-FAMILY RESIDENCE AND ONE ADU.
  3. THE SUBJECT PROPERTY IS SERVED BY SANITARY SEWER LATERALS AND WATER SERVICES CONNECTED TO CITY OF SAN DIEGO MAINS.
  4. PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITEE SHALL INCORPORATE ANY CONSTRUCTION BMP'S NECESSARY TO COMPLY WITH CHAPTER 14, ARTICLE 2, DIVISION 1 (GRADING REGULATIONS) OF THE SAN DIEGO MUNICIPAL CODE, INTO THE CONSTRUCTION PLANS OR SPECIFICATIONS.
  5. PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT THE OWNER/PERMITEE SHALL SUBMIT A WATER POLLUTION CONTROL PLAN (WPCL). THE WPCL SHALL BE PREPARED IN ACCORDANCE WITH THE GUIDELINES IN PART 2 CONSTRUCTION BMP STANDARDS CHAPTER 4 OF THE CITY'S STORM WATER STANDARDS.
  6. ONE ONSITE EASEMENT EXISTS AS SHOWN.
  7. AN ENCROACHMENT MAINTENANCE AND REMOVAL AGREEMENT WILL BE REQUIRED FOR PRIVATE CURB OUTLET AND STEPPING STONES WITHIN THE PUBLIC RIGHT OF WAY.
  8. ALL SITE RUNOFF WILL BE DIRECTED TO LANDSCAPING FOR TREATMENT BEFORE LEAVING THE SITE AT CURB OUTLET.
  9. FOR LANDSCAPE AND HARDSCAPE, SEE LANDSCAPE PLAN.
  10. ALL PROPOSED PUBLIC IMPROVEMENTS SHALL BE IN ACCORDANCE WITH CURRENT CITY STANDARDS AT THE TIME OF THEIR CONSTRUCTION.
  11. HISTORIC SIDEWALK SCORING, IF ANY, SHALL BE MAINTAINED AND ANY CONTRACTOR DATE STAMPS SHALL BE PRESERVED.
  12. NO OBSTRUCTION, INCLUDING SOLID WALLS, IN THE VISIBILITY AREA SHALL EXCEED 3 FEET IN HEIGHT, PER SDMC SECTION 142.0409 (D)(2), PLANT MATERIAL, OTHER THAN TREES, LOCATED WITHIN VISIBILITY AREAS OR ADJACENT PUBLIC RIGHT-OF-WAY, SHALL NOT EXCEED 36 INCHES IN HEIGHT, MEASURED FROM THE LOWEST GRADE ABUTTING THE PLANT MATERIAL TO THE TOP OF THE PLANT MATERIAL.
  13. STORM WATER PUMP OPERATIONS AND DISCHARGES ARE ONLY ALLOWED DURING RAINFALL EVENTS AND IMMEDIATELY AFTER RAINFALL EVENTS. NO DRY WEATHER DISCHARGES ARE ALLOWED FROM STORM WATER PUMP FACILITIES.
  14. CONTRACTOR TO LOCATE EXISTING SEWER LATERAL AND ABANDON IT AT THE PROPERTY LINE. PROJECT PROPOSES NEW SERVICE. A SEARCH OF CITY RECORDS DOES NOT DISCLOSE THE PRECISE LOCATION OF EXISTING SEWER LATERAL.

- CONSTRUCTION NOTES**
- 1 EXISTING WATER SERVICE TO BE KILLED AT THE MAIN
  - 2 PROPOSED PUB 1" WATER SERVICE WITH WATER METER BOX AND PVT BACKFLOW PREVENTER
  - 3 PROPOSED PVT CURB OUTLET @100 = 0.84 CFS, V100 = 3.95 FPS
  - 4 PROPOSED REMOVE EXISTING ROLLED CURB, GUTTER AND SIDEWALK. REPLACE WITH 6" CURB, GUTTER AND SIDEWALK, PER CURRENT CITY STANDARD
  - 5 PROPOSED PUB 4" SEWER LATERAL
  - 6 LIMIT OF UPPER FLOOR/ ROOF
  - 7 PROPOSED PVT TYPE A CATCH BASIN WITH PUMPS TO CONVEY RUNOFF TO CURB OUTLET
  - 8 PROPOSED POOL
  - 9 PROPOSED SPA
  - 10 PROPOSED VISIBILITY TRIANGLE
  - 11 PROPOSED SITE RETAINING WALL (TYPICAL)
  - 12 PROPOSED DOWNSPOUT
  - 13 PROPOSED 4" PVC PRESSURE LINE FROM CLEANOUT TO CURB OUTLET
  - 14 PROPOSED 4" PVC DRAIN (TYPICAL)
  - 15 PROPOSED DECK DRAIN (TYPICAL)
  - 16 PROPOSED CATCH BASIN (TYPICAL)
  - 17 EXISTING POOL AND DECK TO BE REMOVED
  - 18 ARTIFICIAL TURF. SEE LANDSCAPE PLAN (TYPICAL)
  - 19 PROPOSED LANDSCAPE AREA. SEE LANDSCAPE PLAN
  - 20 PROPOSED STEPPING STONE WALKWAY. SEE LANDSCAPE PLAN
  - 21 PROPOSED PVT 6" TRENCH DRAIN
  - 22 AREA DRAIN (TYPICAL)
  - 23 WOOD DECK OPEN TO SOIL BELOW (TYPICAL)
  - 24 PROPOSED VIEW CORRIDOR
  - 25 LIMIT OF WORK
  - 26 PROPOSED 12" CURB CUT PER CURRENT CITY STANDARDS
  - 27 PROPOSED 4" PUBLIC STREET DEDICATION
  - 28 APPROXIMATE LOCATION OF EXISTING SEWER LATERAL TO BE ABANDONED AT PROPERTY LINE.

Prepared By:  
 CHRISTENSEN ENGINEERING & SURVEYING  
 7888 SILVERTON AVENUE, SUITE 'J'  
 SAN DIEGO, CA 92126  
 PHONE (658)271-9901

Project Address:  
 5270 CHELSEA STREET  
 LA JOLLA, CA 92037

Project Name:  
 DIDJUM RESIDENCE CDP

Revision 5:  
 Revision 4:  
 Revision 3: 09-17-23 REVISED DRAINAGE  
 Revision 2: 08-01-23 ADD APPROX LOC. EX SEWER LAT  
 Revision 1: 07-03-23 ADDRESS CITY COMMENTS

Original Date: MARCH 05, 2023

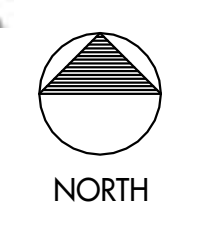
Sheet Title:  
 DIDJUM RESIDENCE CDP

Sheet of Sheets



ANTHONY K. CHRISTENSEN, RCE 54021  
 Date: SEPTEMBER 17, 2023

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KEYNOTES

NOTES

LEGEND

**F/A**  
FOUBISTER ARCHITECTS  
840 GLENNEYRE STREET  
LAGUNA BEACH, CA 92651  
949-436-2286

**DUDUM RESIDENCE**  
5270 CHELSEA STREET, LA JOLLA, CA 92037



Not for Construction

SCALE: 1" = 60'-0"  
PLOT DATE: 01.26.2024  
SHEET NUMBER:

**A003**

SITE PLAN - 600FT RADIUS





FOURBISTER ARCHITECTS, EXPRESSLY RESERVES ITS COMMON LAW COPYRIGHT AND OTHER PROPERTY RIGHTS IN THESE DRAWINGS. THESE DRAWINGS ARE NOT TO BE REPRODUCED, CHANGED, OR COPIED IN ANY FORM OR MANNER WHATSOEVER WITHOUT FIRST OBTAINING THE WRITTEN PERMISSION OF FOURBISTER ARCHITECTS. THE DRAWINGS AND SPECIFICATIONS REMAIN THE PROPERTY OF FOURBISTER ARCHITECTS. COPIES OF THE DRAWINGS AND SPECIFICATIONS RETAINED BY THE CLIENT MAY BE UTILIZED ONLY FOR THE PROJECT FOR WHICH THEY WERE PREPARED, AND NOT FOR THE CONSTRUCTION OF ANY OTHER PROJECT.



KEYNOTES	
1	PROPERTY LINE
2	BUILDING SETBACK
3	MAX BUILDING ENVELOPE
4	FIXED DATUM / BENCHMARK
5	(E) SINGLE FAMILY RESIDENCE
6	(N) POOL / SPA
7	EDGE OF ROOF (ABV / BLW / BYD AS OCCURS)
8	STREET RIGHT OF WAY
9	MAILBOX LOCATION
10	FS / FG / EG (ABOVE / BELOW / BYD AS OCCURS)
11	(E) GRADE
12	(N) FINISH GRADE / FINISH SURFACE
13	(E) CURB / EDGE OF PAVEMENT
14	(N) DRIVEWAY, SLOPE PER CIVIL
15	EDGE OF WALL (ABV / BLW / BYD AS OCCURS)
16	PROPOSED SOLAR AREA (250 SF)
17	(E) FENCE
18	POOL EQUIPMENT AREA, SCREENED
19	A/C EQUIP. ON CONC. CURB W/ SOUND ATTENUATED SCREEN
20	PLANTING / SOFTSCAPE AREA - SEE LANDSCAPE DRAWINGS
21	PROPOSED GAS METER LOCATION, RELOCATE PER GAS CO.
22	PROPOSED WATER METER LOCATION (REF. CIVIL & SURVEY DWGS)
23	SELF CLOSING, SELF LATCHING GATE - 5'-0" TALL, NON-CLIMBABLE ALUMINUM AND WOOD
24	ELECTRICAL PANEL, 400 AMP, (MAINTAIN 36" CLEAR FROM FACE OF PANEL TO ANY OBSTRUCTION) - VERIFY LOCATION W/ POWER COMPANY
25	IBOQ, PROVIDE GAS AND ELEC. PER OWNER
26	(E) SIDE WALL, PROJECT IN PLACE
27	CUTDOOR FIREPLACE / FIREFRONT W/ DRAINAGE, +18" A.F.F.
28	ELEVATOR BY ELEVATOR BOUTIQUE-E1 SWING DOOR - TO COMPLY WITH ASME 17.1
29	TANKLESS WATER HEATER - VERIFY SIZE REQ'D W/ MFG.
30	FAU - PROVIDE GAS SO ELEC. VENTING PER MFG. (CMC 904.1)
31	(N) FENCE MORE THAN 5' IN HEIGHT PER CH 4 FENCE REGULATIONS
32	TRASH STORAGE AREA
33	42" HIGH TEMPERED LAMINATED GLASS GUARDRAIL - ESR-32269
34	CURB CUT PER CITY STANDARDS SDG-159
35	ROOF DRAIN W/ OVERFLOW PER CPC TABLES 11-1 AND 11-2
36	SITE DRAIN, REF. CIVIL DWGS.
37	GAS FIREPLACE - HEAT N GLOW PRIMO72, UL 3078 DIRECT VENT
38	EXHAUST HOOD PER OWNER / DESIGNER, PROVIDE MIN. RATE 100CFM, A MAX SOUND RATING OR 3 SONE AND DUCTED TO OUTSIDE AIR IS REQ. REGARDLESS OF TYPE
39	RECESSED CURTAIN / SHADE TRACK, MOTORIZED W/ REMOTE
39	EXHAUST HOOD PER OWNER / DESIGNER, PROVIDE MIN. RATE 100CFM, A MAX SOUND RATING OR 3 SONE AND DUCTED TO OUTSIDE AIR IS REQ. REGARDLESS OF TYPE
40	HEAT N GLOW FIREPLACE - PRIMO 72 - UL3078, DIRECT VENT
41	3" X 3" GUTTER, BREAK MITL PT. TO MATCH FASCIA
42	LOW WALL, SEE LANDSCAPE DRAWINGS
43	RECESSED SHOWER WITH HOT MOPPED PAN 4" BELOW ADJ. F.F. W/ FLOOR TO CEILING TILE PER OWNER, SLOPE FLOOR TO DRAIN MIN 1/4" PER FOOT
44	WATER FEATURE PER LANDSCAPE
45	EXTERIOR SHOWER WITH DRAIN
46	FRAMELESS TEMPERED SHOWER GLASS ENCLOSURE
47	SHOWER DRAIN WITH TILE FINISH
48	SHOWER BENCH
49	FREE STANDING TUB
50	BUILT-IN CASEWORK WITH LED LIGHT STRIPS - REFER TO ID SET
51	HARDSCAPE PER LANDSCAPE
52	SLAB/FOOTINGS PER STRUCTURAL
53	RAIN CHAIN
54	(E) WATER METER TO RELOCATED
55	(E) GAS METER TO RELOCATED
56	(E) ELECTRICAL METER TO RELOCATED
57	BUILDING ADDRESS, 6 INCHES HIGH NUMBERING, BUILDING ADDRESS NUMBERS TO BE VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY PER THIS POLICY P-00-6 (IUC 901.4.4)
58	(E) SEWER CLEANOUT
59	LOW RETAINING WALL PER CIVIL
60	(N) FENCE MORE THAN 5' IN HEIGHT PER CH 4 FENCE REGULATIONS
61	VISIBILITY TRIANGLE, NO FENCE/RETAINING WALL MAY EXCEED MORE THAN 3' PURSUANT TO §142.0310(b) & §142.0340(b).
62	ELECTRICAL METER ROOM PER SDG&E REQUIREMENTS
63	30'-0" ABOVE NEW/EXISTING GRADE, WHICH EVER IS LOWER
64	1 HOUR FIRE-RATED WALL
65	2 HOUR FIRE-RATED WALL
66	CONCEALED CABINET BEHIND SLAB

NOTES	
1.	PER §142.0310 (D) ALL DRAINAGE FROM THE IMPROVEMENTS ON THE PREMISES SHALL BE DIRECTED AWAY FROM ANY COASTAL BLUFF AND EITHER INTO AN EXISTING OR NEWLY IMPROVED PUBLIC STORM DRAIN SYSTEM OR ONTO A STREET DEVELOPED WITH A GUTTER SYSTEM OR PUBLIC RIGHT-OF-WAY DESIGNATED TO CARRY SURFACE DRAINAGE RUN-OFF. ALL DRAINAGE FROM ANY UNIMPROVED AREAS SHALL BE APPROPRIATELY COLLECTED AND DISCHARGED IN ORDER TO REDUCE, CONTROL, OR MITIGATE EROSION OF THE COASTAL BLUFF.
2.	PER CITY OF SAN DIEGO MUNICIPAL CODE SECTIONS 12.0104, 43.010, 129.010(A)(4), AND 129.010(B) PERMITS ARE REQUIRED TO BE INSPECTED BY CITY INSPECTION STAFF TO ENSURE COMPLIANCE WITH ISSUED CONSTRUCTION PERMIT. THIS INCLUDES, BUT NOT LIMITED TO, STORMWATER COMPLIANCE INSPECTION REQUIREMENTS ASSOCIATED WITH EACH PERMIT.
3.	NO WORK IS PROPOSED WITHIN A PUBLIC EASEMENT.

LEGEND	
	P.L.
	SETBACK
	NEW BUILDING FOOTPRINT
	EARTH
	WATER
	DRIVEWAY
	PAVERS/TURFBLOCK
	LANDSCAPE
	HARDSCAPE
	EXISTING CONTOUR
	PROPOSED CONTOUR
	DRAINAGE PATTERN

**LEGEND**


**SCALE:** As indicated

**PROJECT DATE:** 01.19.2024

**SHEET NUMBER:** A101


**SITE PLAN**  
1/8" = 1'-0"

**SITE PLAN**  
1



**FOUBISTER ARCHITECTS**  
840 GLENNEVRE STREET  
LAGUNA BEACH, CA 92651  
949-436-2286

**DUDUM RESIDENCE**  
5270 CHELSEA STREET, LA JOLLA, CA 92037



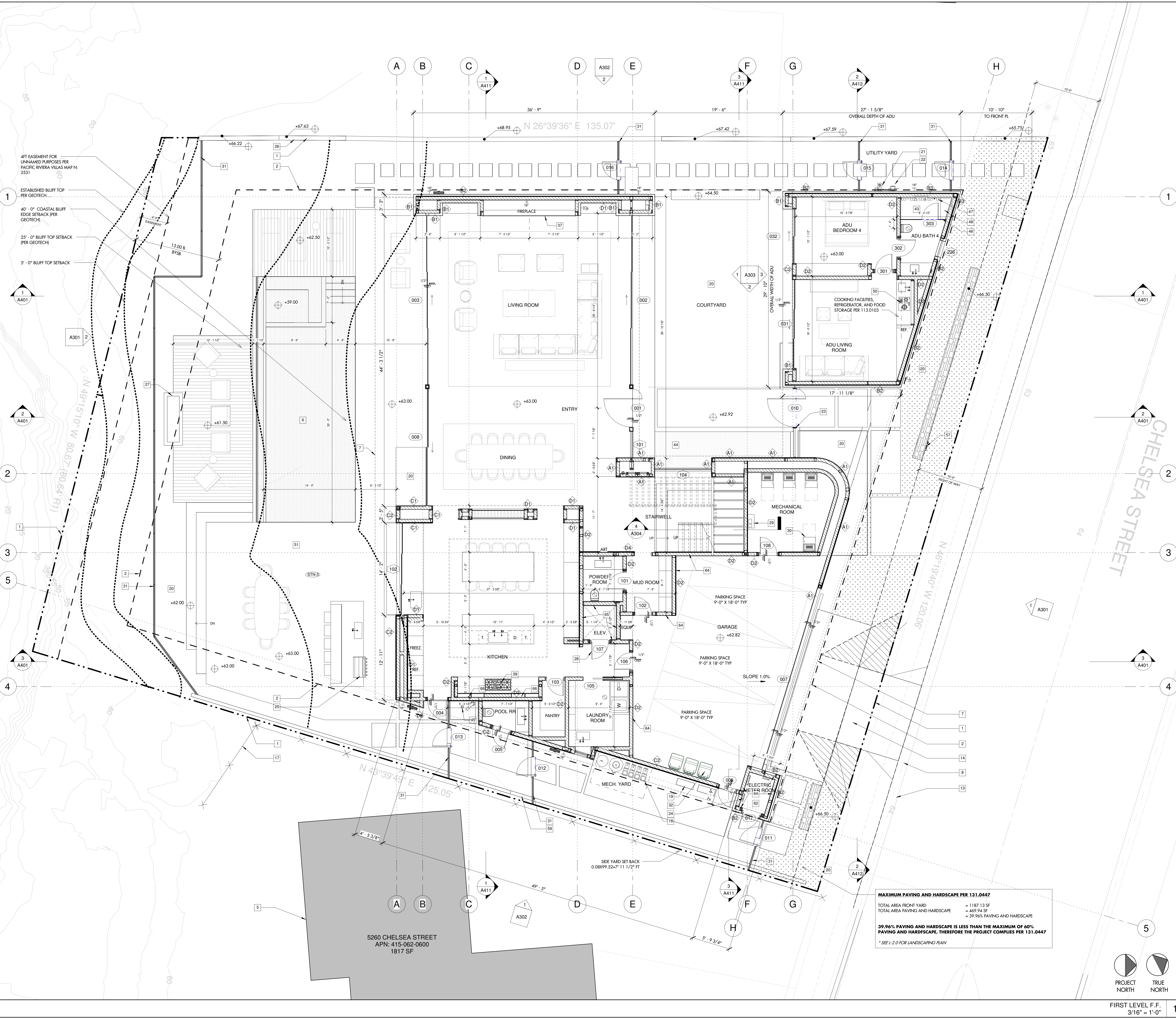
SEAL OF CALIFORNIA  
No. C37878  
REN. 3/31/2025

SCALE: As indicated

PROJECT DATE: 01.19.2024

SHEET NUMBER: **A101**

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- ### KEYNOTES
- PROPERTY LINE
  - BUILDING SETBACK
  - MAX BUILDING ENVELOPE
  - FIXED DATUM / BENCHMARK
  - (E) SINGLE FAMILY RESIDENCE
  - (N) POOL / SPA
  - EDGE OF ROOF (ABV / BLW / BYD AS OCCURS)
  - STREET RIGHT OF WAY
  - MAILBOX LOCATION
  - FS / FG / EG (ABOVE / BELOW / BYD AS OCCURS)
  - (E) GRADE
  - (N) FINISH GRADE / FINISH SURFACE
  - (E) CURB / EDGE OF PAVEMENT
  - (N) DRIVEWAY, SLOPE PER CIVIL
  - EDGE OF WALL (ABV / BLW / BYD AS OCCURS)
  - PROPOSED SOLAR AREA (250 SF)
  - (E) FENCE
  - POOL EQUIPMENT AREA, SCREENED
  - A/C EQUIP. ON CONC. CURB W/ SOUND ATTENUATED SCREEN
  - PLANTING / SOFTSCAPE AREA - SEE LANDSCAPE DRAWINGS
  - POPOSED GAS METER LOCATION, RELOCATE PER GAS CO.
  - POPOSED WATER METER LOCATION (REF. CIVIL & SURVEY DWGS)
  - SELF CLOSING, SELF LATCHING GATE - 5'-0" TALL, NON-CRIMMABLE ALUMINUM AND WOOD
  - ELECTRICAL PANEL, 400 AMP, [MAINTAIN 36" CLEAR FROM FACE OF PANEL TO ANY OBSTRUCTION] - VERIFY LOCATION W/ POWER COMPANY
  - IBCO, PROVIDE GAS AND ELEC. PER OWNER
  - (E) SITE WALL, PROJECT IN PLACE
  - COURTDOOR FIREPLACE / FIREMUT W/ DRAINAGE, +18" A.F.F.
  - ELEVATOR BY ELEVATOR BOUTIQUE-EI SWINGING DOOR - TO COMPLY WITH ASME 17.1
  - TANKLESS WATER HEATER - VERIFY SIZE REQ'D W/ MFG.
  - FAU - PROVIDE GAS SO ELEC. VENTING PER MFG (CMC 904.1)
  - (N) FENCE MORE THAN 5' IN HEIGHT PER CH14 FENCE REGULATIONS
  - 5'-0" TALL FENCE, 75% OPEN PER 132.0403 (a) AND 143.01.43(b)(3)
  - TRASH STORAGE AREA
  - 42" HIGH TEMPERED LAMINATED GLASS GUARDRAIL - ESR-3269
  - CURB CUT PER CITY STANDARDS SDG&S 159
  - ROOF DRAIN W/ OVERFLOW PER CPC TABLES 11-1 AND 11-2
  - SITE DRAIN, REF. CIVIL DWGS.
  - GAS FIREPLACE - HEAT N GLOW PRIMO72, UL 307B DIRECT VENT
  - EXHAUST HOOD PER OWNER / DESIGNER, PROVIDE MIN. RATE 100CFM, A MAX SOUND RATING OR 3 SONE AND DUCTED TO OUTSIDE AIR IS REQ. REGARDLESS OF TYPE
  - HEAT N GLOW FIREPLACE - PRIMO 72 - UL307B, DIRECT VENT
  - 3" X 3" GUTTER, BREAK MITL PT. TO MATCH FASCIA
  - LOW WALL, SEE LANDSCAPE DRAWINGS
  - RECESSED SHOWER WITH HOT MOPPED PAN 4" BELOW ADJ. F.F. W/ FLOOR TO CEILING TILE PER OWNER, SLOPE FLOOR TO DRAIN MIN. 1/4" PER FOOT
  - WATER FEATURE PER LANDSCAPE
  - EXTERIOR SHOWER WITH DRAIN
  - FRAMELESS TEMPERED SHOWER GLASS ENCLOSURE
  - SHOWER DRAIN WITH TILE FINISH
  - SHOWER BENCH
  - FREE STANDING TUB
  - BUILT-IN CASEWORK WITH LED LIGHT STRIPS - REFER TO ID SET
  - HARDSCAPE PER LANDSCAPE
  - SLAB/FOOTINGS PER STRUCTURAL
  - RAIN CHAIN
  - (E) WATER METER TO RELOCATED
  - (E) GAS METER TO RELOCATED
  - (E) ELECTRICAL METER TO RELOCATED
  - BUILDING ADDRESS, 6 INCHES HIGH NUMBERING, BUILDING ADDRESS NUMBERS TO BE VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY PER FHPS POLICY P-00-6 (BUC 901.4.4)
  - (E) SEWER CLEANOUT
  - LOW RETAINING WALL PER CIVIL
  - (N) FENCE MORE THAN 5' IN HEIGHT PER CH14 FENCE REGULATIONS
  - VISIBILITY TRIANGLE, NO FENCE/RETAINING WALL MAY EXCEED MORE THAN 3' PURSUANT TO §142.031(b) & §142.0340(b).
  - ELECTRICAL METER ROOM PER SDG&S REQUIREMENTS
  - 30'-0" ABOVE NEW/EXISTING GRADE, WHICH EVER IS LOWER
  - 1 HOUR FIRE-RATED WALL
  - 2 HOUR FIRE-RATED WALL
  - CONCEALED CABINET BEHIND SLAB

- ### NOTES
- ALL INTERIOR DOOR TO BE SOLID WOOD. REFER TO DOOR SCHEDULE FOR DIMENSIONS
  - PROVIDE SOUND/BAIT INSULATION AT ALL INTERIOR WALLS
  - PROVIDE 2X BLOCKING FOR ALL KITCHEN, UTILITY AND BATH ACCESSORIES. CONSULT SUPPLIERS AND EQUIPMENT
  - ALL DOORS TO BE OPENED FROM WALL ON HINGE SIDE UNLESS OTHERWISE NOTED OR OTHERWISE ON WALL
  - ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE
  - DRYWALL TO BE SMOOTH LEVEL
  - PLUMBING WASTE AND VENT PIPES TO BE CAST IRON
  - ALL ROOF DRAINS, AND ROOF OVERFLOW DRAINS TO BE CAST IRON
  - AT LEAST 60% OF FRIED RIGID FIBER MUST CONTAIN HIGH EFFICIENCY LAMPS
  - ALL APPLIANCES TO BE RETIRED PER MANUFACTURER RECOMMENDATIONS. PROVIDE APPROPRIATE MAKE UP AIR AS REQUIRED BY IRC
  - GARAGE DOOR EXPOSED GARAGE DOOR TRUCKS TO BE POWDER COATED TO MATCH TRUCK
  - TO PROVIDE A TIGHT SEAL, ANCHORS TO BE STAINLESS STEEL POWDER COATED TO MATCH TRUCK
  - PROVIDE 2X BLOCKING FOR ALL KITCHEN, UTILITY AND BATH ACCESSORIES. CONSULT SUPPLIERS AND EQUIPMENT
  - PROVIDE 2X BLOCKING FOR ALL KITCHEN, UTILITY AND BATH ACCESSORIES. CONSULT SUPPLIERS AND EQUIPMENT
  - MAINTAIN 18" FROM THE CENTERLINE OF THE WATER CLOSET TO THE WALLS, AND A FRONT CLEARANCE OF 24" IN FRONT OF THE WATER CLOSET
  - ELEVATOR BY ELEVATOR BOUTIQUE-EI SWINGING DOOR - TO COMPLY WITH ASME 17.1
  - PROVIDE 6" CONCRETE CURB FROM EXTERIOR FINISH GRADE AT ALL EXTERIOR WALLS


- ### LEGEND
- 1/2" GAS KEY
  - 1/2" GAS STUB
  - 1/2" FREEZE RESISTANT HOSE BIB - AQUARI HOUSE HYDRANT V2+
  - 3 1/2" FRAMING
  - 5 1/2" FRAMING
  - 8" CONCRETE WALL
  - P.L.
  - SETBACK
  - DEMO
  - ABOVE/BELOW

**MAXIMUM PAVING AND HARDSCAPE PER 131.0447**  
 TOTAL AREA FRONT YARD = 1187.13 SF  
 TOTAL AREA PAVING AND HARDSCAPE = 469.94 SF  
 = 39.56% PAVING AND HARDSCAPE  
**39.56% PAVING AND HARDSCAPE IS LESS THAN THE MAXIMUM OF 60% PAVING AND HARDSCAPE, THEREFORE THE PROJECT COMPLIES PER 131.0447**  
 \* SEE 1-2.0 FOR LANDSCAPE PLAN

5260 CHELSEA STREET  
 APN: 415-062-0600  
 1817 SF

PROJECT NORTH  
 TRUE NORTH


SCALE: As indicated  
 PLOT DATE: 01.19.2024  
 SHEET NUMBER: A201  
 MAIN LEVEL FLOOR PLAN



FOUBISTER ARCHITECTS  
 840 GLENNEYRE STREET  
 LAGUNA BEACH, CA, 92651  
 949-436-2286

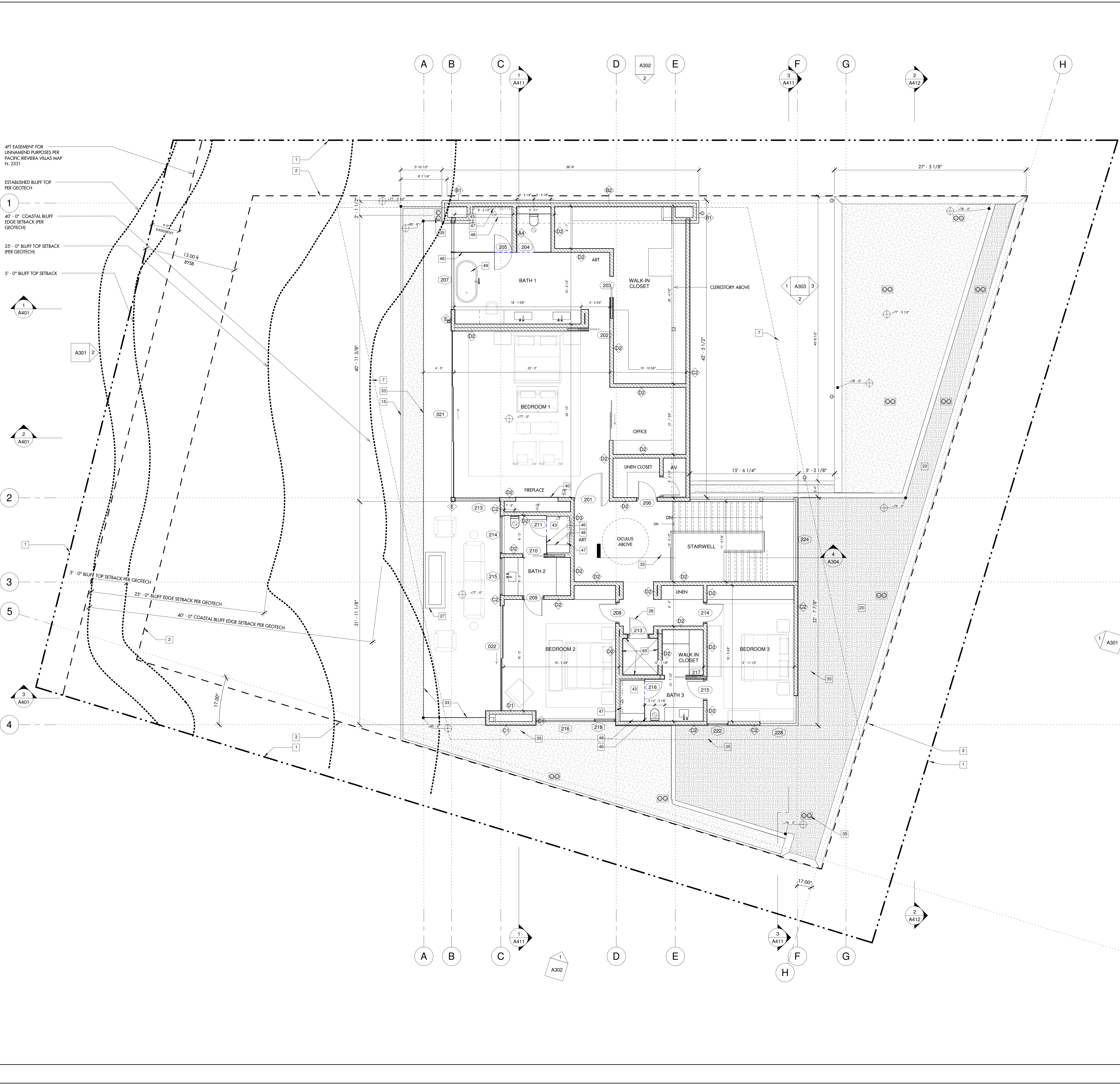
## DUDUM RESIDENCE

5270 CHELSEA STREET, LA JOLLA, CA 92037



NOT FOR CONSTRUCTION

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Reinforcement shall be provided in accordance with CRC 9207.1.1:  
 1. Reinforcement shall be solid lumber or other approved construction material.  
 2. Reinforcement for grab bars shall not be less than 2 by 8 inch nominal lumber [1.5 inch by 7.25 inch actual dimension] or other approved construction material providing equal height and load capacity. Reinforcement shall be located between 22 inches and 39 1/4 inches above the finished floor flush with the wall framing.  
 3. Water closet reinforcement shall be installed on both side walls of the fixture, or one side wall and the back wall.  
 4. Shower reinforcement shall be continuous where wall framing is provided. Bathtub and combination bathtub/shower reinforcement shall be continuous on each end of the bathtub and the back wall. Additionally, back wall reinforcement for a lower grab bar shall be provided with the bottom edge located no more than 6 inches above the bathtub rim.

KEYNOTES	
1	PROPERTY LINE
2	BUILDING SETBACK
3	MAX BUILDING ENVELOPE
4	FIXED DATUM / BENCHMARK
5	(E) SINGLE FAMILY RESIDENCE
6	(N) POOL / SPA
7	EDGE OF ROOF (ABV / BLW / BYD AS OCCURS)
8	MAILBOX LOCATION
9	STREET RIGHT OF WAY
10	FS / FG / EG (ABOVE / BELOW / BYD AS OCCURS)
11	(E) GRADE
12	(N) FINISH GRADE / FINISH SURFACE
13	(E) CURB / EDGE OF PAVEMENT
14	(N) DRIVEWAY, SLOPE PER CIVIL
15	EDGE OF WALL (ABV / BLW / BYD AS OCCURS)
16	PROPOSED SOLAR AREA (250 SF)
17	(E) FENCE
18	POOL EQUIPMENT AREA, SCREENED
19	A/C EQUIP. ON CONC. CURB W/ SOUND ATTENUATED SCREEN
20	PLANTING / SOFTSCAPE AREA - SEE LANDSCAPE DRAWINGS
21	PROPOSED GAS METER LOCATION, RELOCATE PER GAS CO.
22	PROPOSED WATER METER LOCATION (REF. CIVIL & SURVEY DWGS)
23	SELF CLOSING, SELF LATCHING GATE - 5'-0" TALL, NON-CLIMBABLE ALUMINUM AND WOOD
24	ELECTRICAL PANEL, 400 AMP, [MAINTAIN 36" CLEAR FROM FACE OF PANEL TO ANY OBSTRUCTION] - VERIFY LOCATION W/ POWER COMPANY
25	IBCO, PROVIDE GAS AND ELEC. PER OWNER
26	(E) SITE WALL, PROJECT IN PLACE
27	CURTAIN CLOSER / FIRE RET W/ DRAINAGE, +18" A.F.F.
28	ELEVATOR BY ELEVATOR BOUTIQUE-E1 SWINGING DOOR - TO COMPLY WITH ASME 17.1
29	TANKLESS WATER HEATER - VERIFY SIZE REQ'D W/ MFG.
30	FAU - PROVIDE GAS SO ELEC. VENTING PER MFG. (CMC 904.1)
31	(N) FENCE MORE THAN 5' IN HEIGHT PER CH 4 FENCE REGULATIONS
32	TRASH STORAGE AREA
33	42" HIGH TEMPERED LAMINATED GLASS GUARDRAIL - ESR-3269
34	CLUB CUT PER CITY STANDARDS SDG-159
35	ROOF DRAIN W/ OVERFLOW PER CRC TABLES 11-1 AND 11-2
36	SITE DRAIN, REF. CIVIL DWGS.
37	GAS FIREPLACE - HEAT N GLOW PRIMO72, UL 307B DIRECT VENT
38	EXHAUST HOOD PER OWNER / DESIGNER, PROVIDE MIN. RATE 100CFM, A MAX SOUND RATING OR 3 SONE AND DUCTED TO OUTSIDE AIR IS REQ. REGARDLESS OF TYPE
39	RECESSED CURTAIN / SHADE TRACK, MOTORIZED W/ REMOTE
40	EXHAUST HOOD PER OWNER / DESIGNER, PROVIDE MIN. RATE 100CFM, A MAX SOUND RATING OR 3 SONE AND DUCTED TO OUTSIDE AIR IS REQ. REGARDLESS OF TYPE
41	HEAT N GLOW FIREPLACE - PRIMO 72 - UL307B, DIRECT VENT
42	3" X 3" GUTTER, BREAK MITL PT. TO MATCH FASCIA
43	RECESSED SHOWER WITH HOT MOPPED PAN 4" BELOW ADJ. F.F. W/ FLOOR TO CEILING TILE PER OWNER, SLOPE FLOOR TO DRAIN MIN. 1/4" PER FOOT
44	WATER FEATURE PER LANDSCAPE
45	EXTERIOR SHOWER WITH DRAIN
46	FRAMELESS TEMPERED SHOWER GLASS ENCLOSURE
47	SHOWER DRAIN WITH TILE FINISH
48	SHOWER BENCH
49	FREE STANDING TUB
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58	(E) SEWER CLEANOUT
59	LOW RETAINING WALL PER CIVIL
60	(N) FENCE MORE THAN 5' IN HEIGHT PER CH 4 FENCE REGULATIONS
61	VISIBILITY TRIANGLE, NO FENCE/RETAINING WALL MAY EXCEED MORE THAN 3' PURSUANT TO §142.031(b) & §142.034(b).
62	ELECTRICAL METER ROOM PER SDG&E REQUIREMENTS
63	30'-0" ABOVE NEW/EXISTING GRADE, WHICH EVER IS LOWER
64	1 HOUR FIRE RATED WALL
65	2 HOUR FIRE RATED WALL
66	CONCEALED CABINET BEHIND SLAB

NOTES	
1	ALL INTERIOR DOOR TO BE SOLID WOOD. REFER TO DOOR SCHEDULE FOR DIMENSIONS
2	PROVIDE SOUND/BAIT INSULATION AT ALL INTERIOR WALLS
3	PROVIDE 2x BLOCKING FOR ALL KITCHEN, UTILITY AND BATH ACCESSORIES, COUNTERTOP APPLIANCES AND EQUIPMENT
4	ALL DOORS TO BE OPENED FROM WALL ON HINGE SIDE UNLESS OTHERWISE NOTED OR CENTERED ON WALL
5	ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE
6	DRYWALL TO BE SMOOTH LEVEL
7	ALL ROOF DRAINS, AND ROOF OVERFLOW DRAINS TO BE CAST IRON
8	AT LEAST 60% OF FRIED LIGHT FIXTURES MUST CONTAIN HIGH EFFICIENCY LAMPS
9	ALL APPLIANCES TO BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS
10	PROVIDE APPROPRIATE MAKE UP AIR AS REQUIRED BY IRC
11	GARAGE DOOR EXPOSED GARAGE DOOR TRACKS TO BE POWDER COATED TO MATCH TRACK
12	TO PROVIDE A TIGHT SEAL, ANCHORS TO BE STAINLESS STEEL POWDER COATED TO MATCH TRACK
13	PROVIDE CEMENTITIOUS BACKER BOARD AT WET TILE CONDITIONS
14	MAINTAIN 18" FROM THE CENTERLINE OF THE WATER CLOSET TO THE WALLS, AND A FRONT CLEARANCE OF 24" IN FRONT OF THE WATER CLOSET
15	ELEVATOR BY ELEVATOR BOUTIQUE-E1 SWINGING DOOR - TO COMPLY WITH ASME 17.1
16	PROVIDE 6" CONCRETE CURB FROM EXTERIOR FINISH GRADE AT ALL EXTERIOR WALLS

LEGEND	
	GAS KEY
	GAS STUB
	FREEZE RESISTANT HOSE BIB - AQUOR HOUSE HYDRANT V2+
	3 1/2" FRAMING
	5 1/2" FRAMING
	8" CONCRETE WALL
	P.L.
	SETBACK
	DEMO
	ABOVE/BELOW

LEGEND	
	BATHROOM EXHAUST FANS TO BE WHISPER QUIET
	PROVIDE BACKDRAFT DAMPER, FAU TO BE MIN 3'-0" FROM OPENING. PROVIDE MIN 50CFM FOR BATHROOMS AND LAUNDRY. PROVIDE MIN 100 CFM AT KITCHEN HOOD. VENT TO OUTSIDE.
	GAS KEY
	GAS STUB
	FREEZE RESISTANT HOSE BIB - AQUOR HOUSE HYDRANT V2+
	3 1/2" FRAMING
	5 1/2" FRAMING
	8" CONCRETE WALL
	P.L.
	SETBACK
	DEMO
	ABOVE/BELOW

**KEYNOTES**

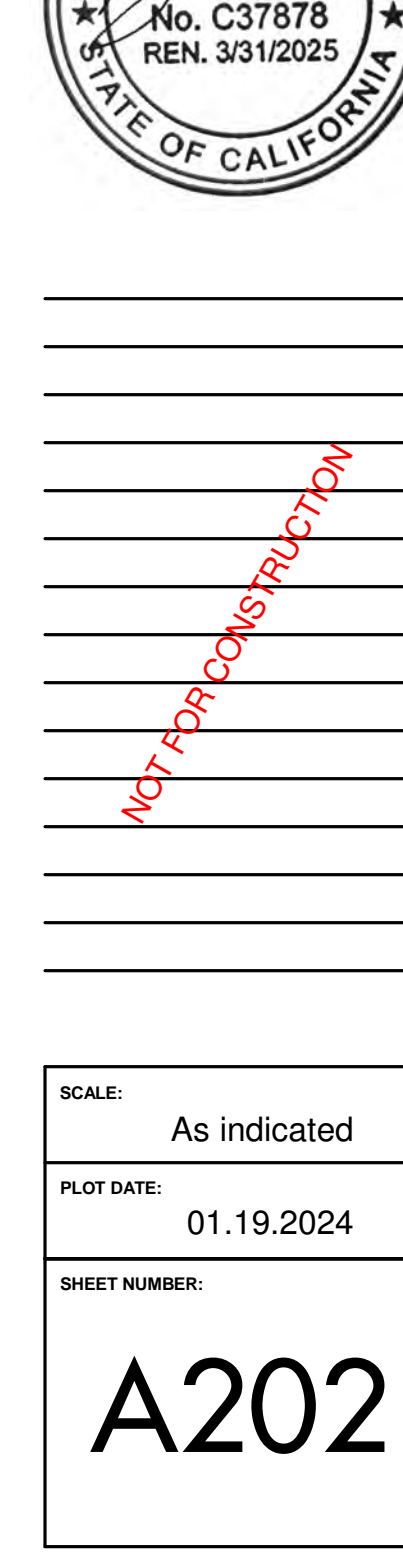
**DUDUM RESIDENCE**  
 5270 CHELSEA STREET, LA JOLLA, CA 92037

**NOTES**

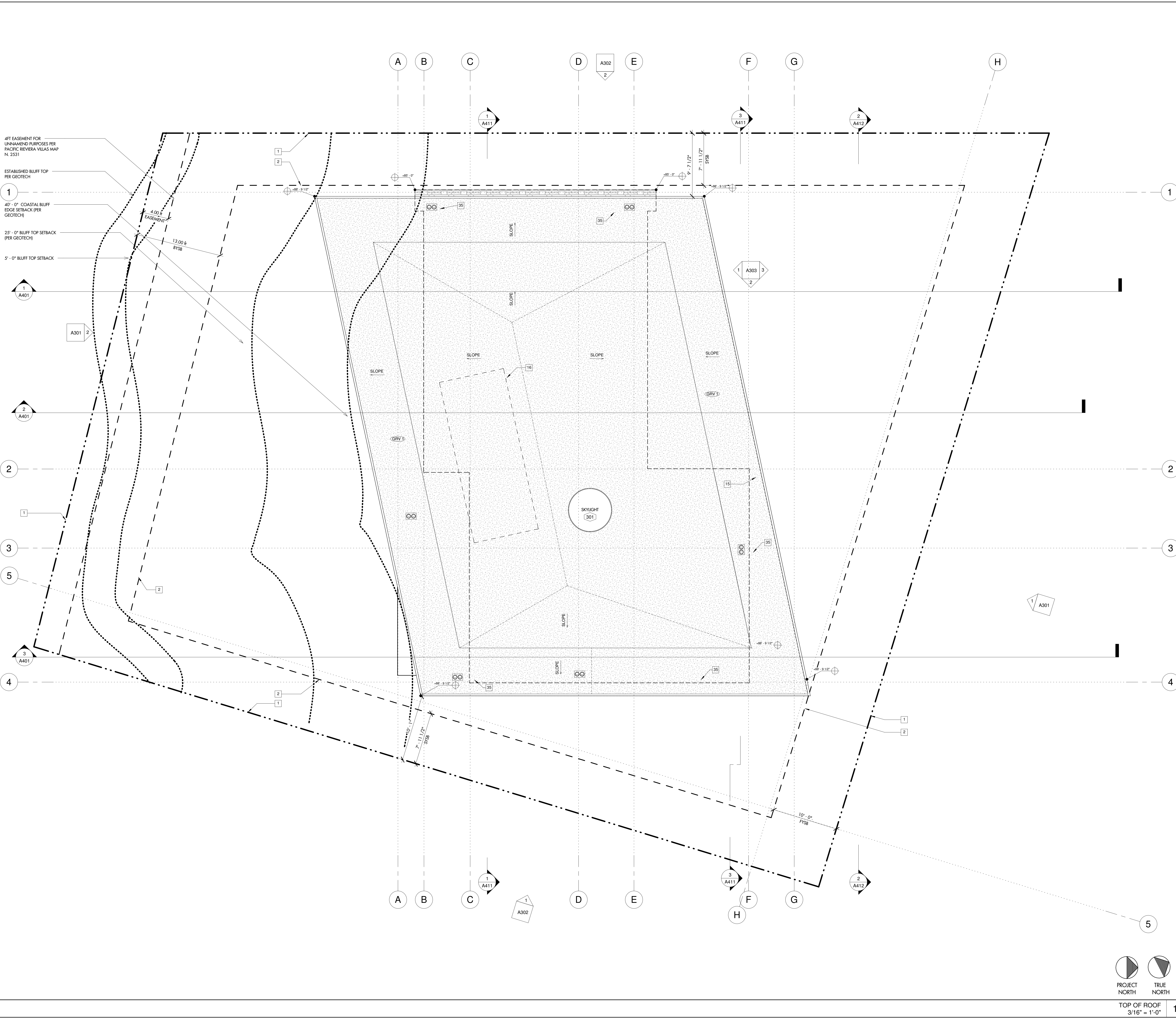
**LEGEND**

**LEGEND**

SCALE: As indicated  
 PLOT DATE: 01.19.2024  
 SHEET NUMBER: **A202**



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KEYNOTES	
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2	BUILDING SETBACK
3	MAX BUILDING ENVELOPE
4	FIXED DATUM / BENCHMARK
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6	(N) POOL / SPA
7	EDGE OF ROOF (ABV / BLW / BYD AS OCCURS)
8	STREET RIGHT OF WAY
9	MAILBOX LOCATION
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11	(E) GRADE
12	(N) FINISH GRADE / FINISH SURFACE
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14	(N) DRIVEWAY, SLOPE PER CIVIL
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16	PROPOSED SOLAR AREA (250 SF)
17	(E) FENCE
18	POOL EQUIPMENT AREA, SCREENED
19	A/C EQUIP. ON CONC. CURB W/ SOUND ATTENUATED SCREEN
20	PLANTING / SOFTSCAPE AREA - SEE LANDSCAPE DRAWINGS
21	PROPOSED GAS METER LOCATION, RELOCATE PER GAS CO.
22	PROPOSED WATER METER LOCATION (REF. CIVIL & SURVEY DWGS)
23	SELF CLOSING, SELF LATCHING GATE - 5'-0" TALL, NON-CLIMBABLE ALUMINUM AND WOOD
24	ELECTRICAL PANEL, 400 AMP, [MAINTAIN 36" CLEAR FROM FACE OF PANEL TO ANY OBSTRUCTION] - VERIFY LOCATION W/ POWER COMPANY
25	IBCG, PROVIDE GAS AND ELEC. PER OWNER
26	(E) SITE WALL, PROTECT IN PLACE
27	COURTDOOR FIREPLACE / FIREFRONT W/ DRAINAGE, +18" A.F.F.
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64	1 HOUR FIRE-RATED WALL
65	2 HOUR FIRE-RATED WALL
66	CONCEALED CABINET BEHIND SLAB

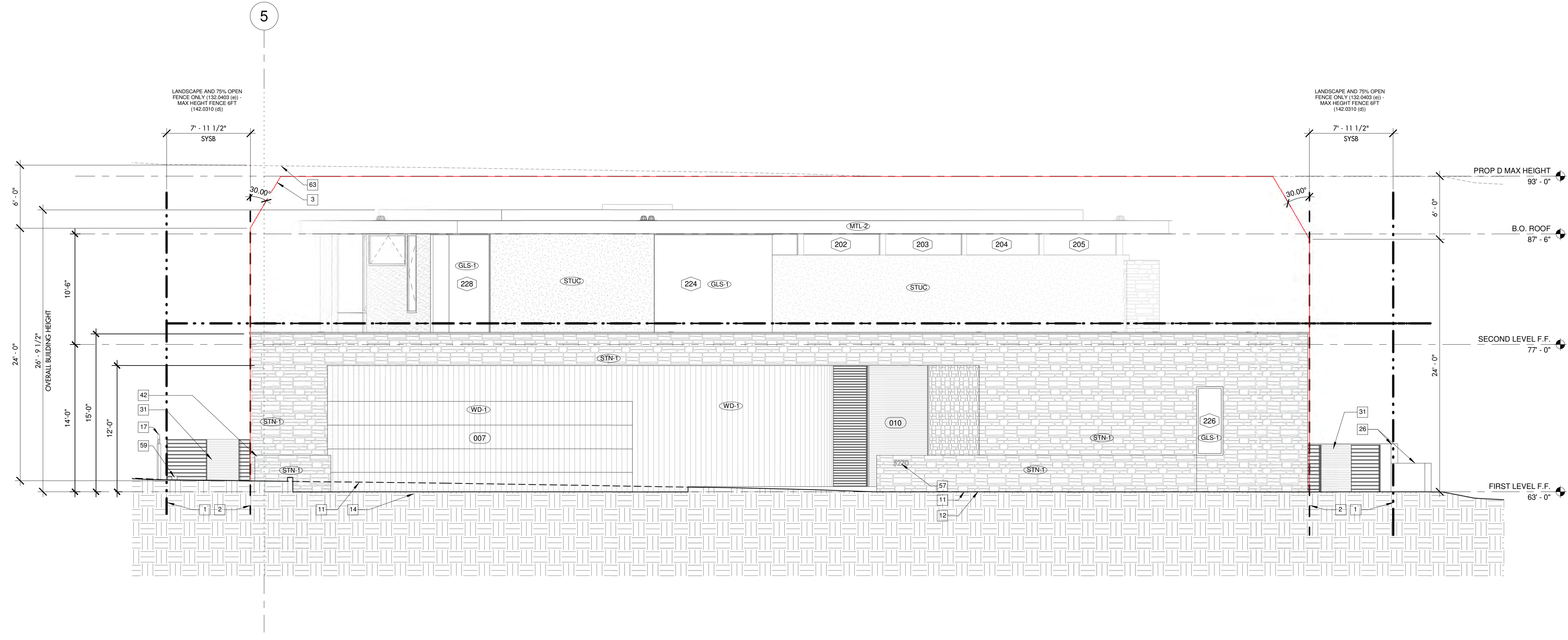
NOTES	
1.	ROOF VENTS SHALL BE COLORED TO MATCH ROOFING MATERIAL.
2.	ALL DOWNSPOUTS TO BE IN WALL.
3.	FOR TYP. ROOF DETAILS SEE A702

LEGEND	
	BATHROOM EXHAUST FANS TO BE QUIETEST QUIET. PROVIDE BACKDRAFT DAMPER. FAN TO BE MIN 3'-0" FROM OPENING. PROVIDE MIN 50CFM FOR BATHROOMS AND LAUNDRY. PROVIDE MIN 100 CFM AT KITCHEN HOOD. VENT TO OUTSIDE.
	GAS KEY
	GAS STUB
	FREEZE RESISTANT HOSE BIB - AQUOR HOUSE HYDRANT V2.
	3 1/2" FRAMING
	5 1/2" FRAMING
	8" CONCRETE WALL
	P.L.
	SETBACK
	DEMO
	ABOVE/BELOW

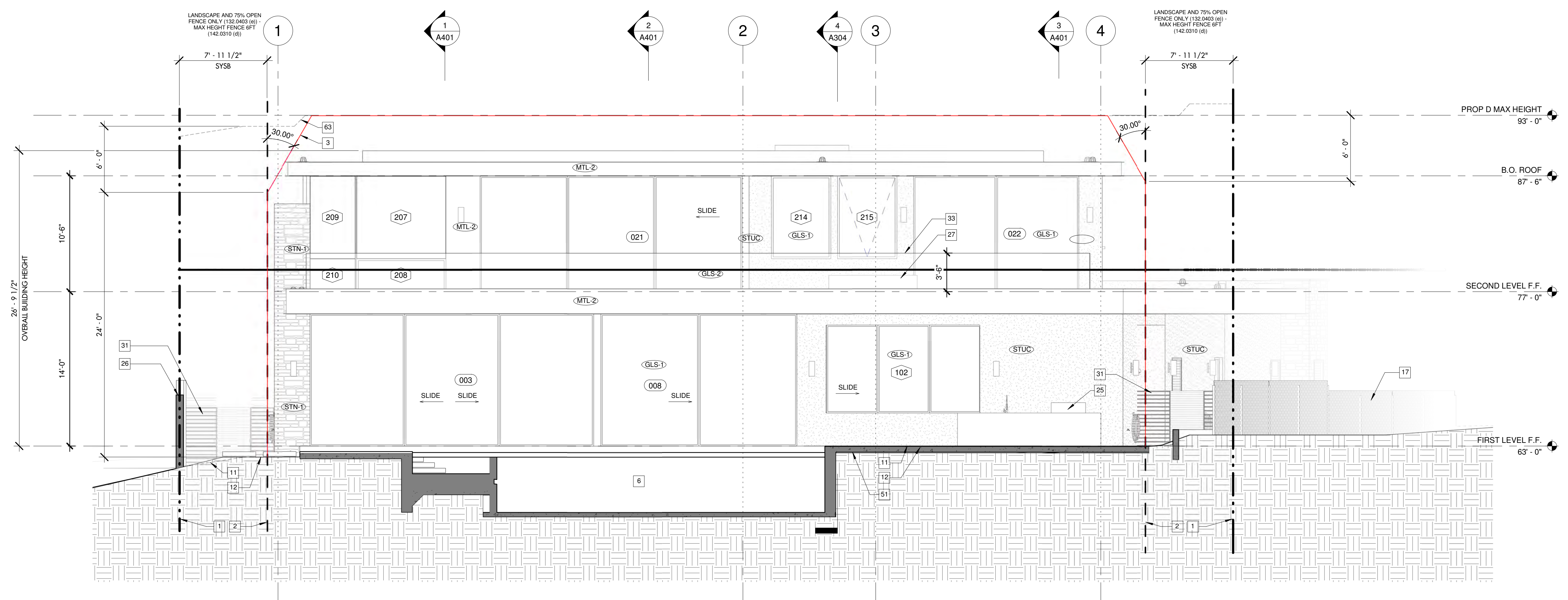
LEGEND	
	PROJECT NORTH
	TRUE NORTH
	TOP OF ROOF 3/16" = 1'-0" 1
	SCALE: As indicated
	PLOT DATE: 01.19.2024
	SHEET NUMBER: A203
	ROOF PLAN



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STREET FRONT - NORTH ELEVATION  
 3/16" = 1'-0" 1



SOUTH ELEVATION  
 3/16" = 1'-0" 2

**KEYNOTES**

- 1 PROPERTY LINE
- 2 BUILDING SETBACK
- 3 MAX BUILDING ENVELOPE
- 4 FIXED DATUM / BENCHMARK
- 5 [E] SINGLE FAMILY RESIDENCE
- 6 [N] POOL / SPA
- 7 EDGE OF ROOF (ABV / BLW / BYD AS OCCURS)
- 8 STREET RIGHT OF WAY
- 9 MAILBOX LOCATION
- 10 FS / FG / EG (ABOVE / BELOW / BYD AS OCCURS)
- 11 [E] GRADE
- 12 [N] FINISH GRADE / FINISH SURFACE
- 13 [E] CURB / EDGE OF PAVEMENT
- 14 [N] DRIVEWAY, SLOPE PER CIVIL
- 15 EDGE OF WALL (ABV / BLW / BYD AS OCCURS)
- 16 PROPOSED SOLAR AREA (250 SF)
- 17 [E] FENCE
- 18 POOL EQUIPMENT AREA, SCREENED
- 19 A/C EQUIP. ON CONC. CURB W/ SOUND ATTENUATED SCREEN
- 20 PLANTING / SOFTSCAPE AREA - SEE LANDSCAPE DRAWINGS
- 21 PORPOSED GAS METER LOCATION, RELOCATE PER GAS CO.
- 22 PORPOSED WATER METER LOCATION (REF. CIVIL & SURVEY DWGS)
- 23 SELF CLOSING, SELF LATCHING GATE - 5'-0" TALL, NON-CLIMBABLE ALUMINUM AND WOOD
- 24 ELECTRICAL PANEL, 400 AMP, [MAINTAIN 36" CLEAR FROM FACE OF PANEL TO ANY OBSTRUCTION] - VERIFY LOCATION W/ POWER COMPANY
- 25 [E] EQ. PROVIDE GAS AND ELEC. PER OWNER
- 26 [E] SITE WALL, PROTECT IN PLACE
- 27 OUTDOOR FIREPLACE / FIREFRONT W/ DRAINAGE, +18" A.F.F.
- 28 ELEVATOR BY ELEVATOR BOUTIQUE-E1 SWING DOOR - TO COMPLY WITH ASME 17.1
- 29 TANKLESS WATER HEATER - VERIFY SIZE REQ'D W/ MFG.
- 30 FAU - PROVIDE GAS SO ELEC. VENTING PER WFG (CMC 904.1)
- 31 [N] FENCE MORE THAN 5' IN HEIGHT PER CH1.4 FENCE REGULATIONS
- 32 5'-0" TALL FENCE, 75% OPEN PER 132.0403 (a) AND 143.01.43R(3)
- 33 TRASH STORAGE AREA
- 34 42" HIGH TEMPERED LAMINATED GLASS GUARDRAIL - ESR-3269
- 35 CLUB CUT PER CITY STANDARDS SDG-159
- 36 ROOF DRAIN W/ OVERFLOW PER CPC TABLES 11-1 AND 11-2
- 37 SITE DRAIN, REF. CIVIL DWGS.
- 38 GAS FIREPLACE - HEAT N GLOW PRIMO72, UL 307B DIRECT VENT
- 39 EXHAUST HOOD PER OWNER / DESIGNER, PROVIDE MIN. RATE 100CFM, A MAX SOUND RATING OR 3 SONE AND DUCTED TO OUTSIDE AIR IS REQ. REGARDLESS OF TYPE
- 40 RECESSED CURTAIN / SHADE TRACK, MOTORIZED W/ REMOTE
- 41 EXHAUST HOOD PER OWNER / DESIGNER, PROVIDE MIN. RATE 100CFM, A MAX SOUND RATING OR 3 SONE AND DUCTED TO OUTSIDE AIR IS REQ. REGARDLESS OF TYPE
- 42 HEAT N GLOW FIREPLACE - PRIMO 72 - UL307B, DIRECT VENT
- 43 3" X 3" GUTTER, BREAK MIT PL, TO MATCH FASCIA
- 44 LOW WALL, SEE LANDSCAPE DRAWINGS
- 45 RECESSED SHOWER WITH HOT MOPPED PAN 4" BELOW ADJ. F.F. W/ FLOOR TO CEILING TILE PER OWNER, SLOPE FLOOR TO DRAIN MIN 1/4" PER FOOT
- 46 WATER FEATURE PER LANDSCAPE
- 47 EXTERIOR SHOWER WITH DRAIN
- 48 FRAMELESS TEMPERED SHOWER GLASS ENCLOSURE
- 49 SHOWER BENCH
- 50 FREE STANDING TUB
- 51 BUILT-IN CASEWORK WITH LED LIGHT STRIPS - REFER TO ID SET
- 52 HARDSCAPE PER LANDSCAPE
- 53 SLAB/FOOTINGS PER STRUCTURAL
- 54 RAIN CHAIN
- 55 [E] WATER METER TO RELOCATED
- 56 [E] GAS METER TO RELOCATED
- 57 [E] ELECTRICAL METER TO RELOCATED
- 58 BUILDING ADDRESS, 6 INCHES HIGH NUMBERING, BUILDING ADDRESS NUMBERS TO BE VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY PER PHPS POLICY P-00-6 (LUC 901.4.4)
- 59 [E] SEWER CLEANOUT
- 60 LOW RETAINING WALL PER CIVIL
- 61 [N] FENCE MORE THAN 5' IN HEIGHT PER CH1.4 FENCE REGULATIONS
- 62 VISIBILITY TRIANGLE, NO FENCE/RETAINING WALL MAY EXCEED MORE THAN 3' PURSUANT TO §142.0310(b) & §142.0340(b).
- 63 ELECTRICAL METER ROOM PER SDG&E REQUIREMENTS
- 64 30'-0" ABOVE NEW/EXISTING GRADE, WHICH EVER IS LOWER
- 65 1 HOUR FIRE-RATED WALL
- 66 2 HOUR FIRE-RATED WALL
- 67 CONCEALED CABINET BEHIND SLAB

**NOTES**

**LEGEND**

MATERIALS	
TAG	DESCRIPTION
CON-1	CONCRETE
GLS-1	GLAZING
GRV 1	GRAVEL BALLAST OVER TPO ROOFING, MINIMUM 3-YEAR SOLAR REFLECTANCE 0.55, MAX THERMAL EMITTANCE 0.75, MIN SOLAR REFLECTIVE INDEX 64.
GWB	PAINTED GYP
MTL-2	DARK BRONZE METAL PANEL FLASHING
STN-1	STONE WALLS VINTAGE VEIN CUT TRAVERTINE - BRUSHED
STN-3	FLOOR GRES - FLORIM INDUSTRIAL IVORY BUSH HAMMERED
STUC	VASARI PLASTER CARRERA MARCONA # 13
TL-1	TILE
WD-1	DARK WOOD SIDING - MOJAVE THERMO OAK
WD-2	LIGHT WOOD SIDING - HEMLOCK VG SMOOTH DUSK
WD-3	WOOD DECK
WD-4	MATCH WD-2



NOT FOR CONSTRUCTION

SCALE: 3/16" = 1'-0"

PLOT DATE: 01.19.2024

SHEET NUMBER:

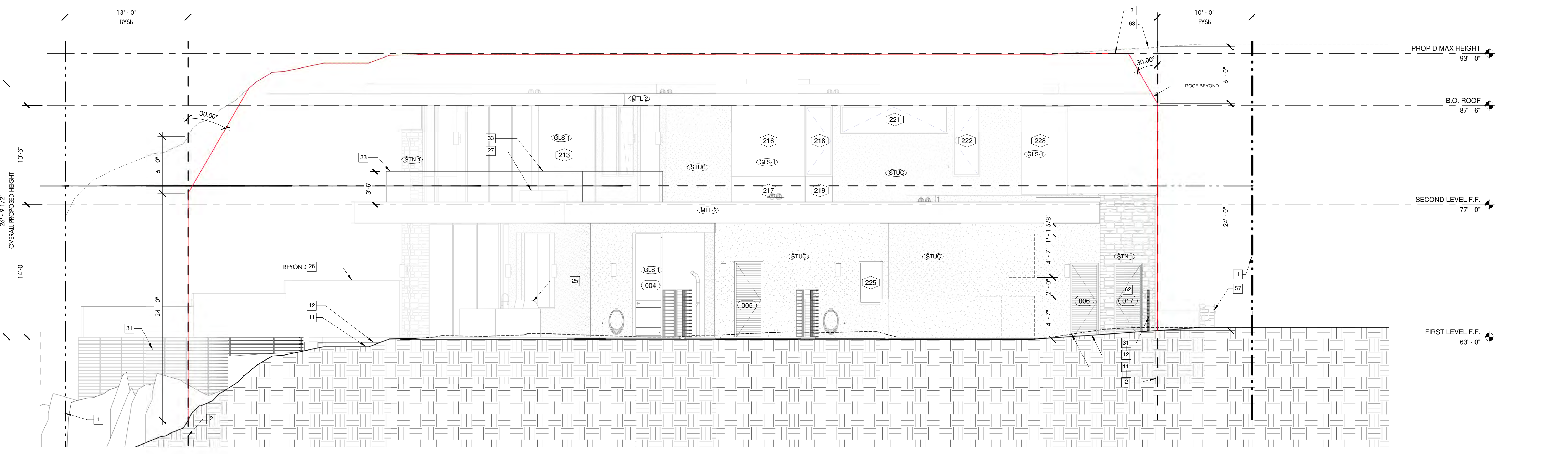
**A301**

**ELEVATIONS**

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**KEYNOTES**

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- 3 MAX BUILDING ENVELOPE
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- 6 [N] POOL / SPA
- 7 EDGE OF ROOF (ABV. / BLW. / BYD AS OCCURS)
- 8 STREET RIGHT OF WAY
- 9 MAILBOX LOCATION
- 10 FS / FG / EG (ABOVE / BELOW / BYD AS OCCURS)
- 11 [E] GRADE
- 12 [N] FINISH GRADE / FINISH SURFACE
- 13 [E] CURB / EDGE OF PAVEMENT
- 14 [N] DRIVEWAY, SLOPE PER CIVIL
- 15 EDGE OF WALL (ABV. / BLW. / BYD AS OCCURS)
- 16 PROPOSED SOLAR AREA (250 SF)
- 17 [E] FENCE
- 18 POOL EQUIPMENT AREA, SCREENED
- 19 A/C EQUIP. ON CONC. CURB W/ SOUND ATTENUATED SCREEN
- 20 PLANTING / SOFTSCAPE AREA - SEE LANDSCAPE DRAWINGS
- 21 PORPOSED GAS METER LOCATION, RELOCATE PER GAS CO.
- 22 PORPOSED WATER METER LOCATION (REF. CIVIL & SURVEY DWGS)
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- 24 ELECTRICAL PANEL, 400 AMP (MAINTAIN 36" CLEAR FROM FACE OF PANEL TO ANY OBSTRUCTION) - VERIFY LOCATION W/ POWER COMPANY
- 25 BRG. PROVIDE GAS AND ELEC. PER OWNER
- 26 [E] SITE WALL, PROTECT IN PLACE
- 27 OUTDOOR FIREPLACE / FREIRT W/ DRAINAGE, +18" A.F.F.
- 28 ELEVATOR BY ELEVATOR BOUTIQUE-E1 SWING DOOR - TO COMPLY WITH ASME 17.1
- 29 TANKLESS WATER HEATER - VERIFY SIZE REQ'D W/ MFG.
- 30 FAN - PROVIDE GAS SO ELEC. VENTING PER MFG. (CWC 904.1)
- 31 [N] FENCE MORE THAN 5' IN HEIGHT PER CH14 FENCE REGULATIONS
- 32 5'-0" TALL FENCE, 75% OPEN PER 132.0403 (a) AND 143.01.43(f)(3)
- 33 TRASH STORAGE AREA
- 34 42" HIGH TYPED LAMINATED GLASS GUARDRAIL - ESR-3229
- 35 CLUB CUT PER CITY STANDARDS SCS 155
- 36 ROOF DRAIN W/ OVERFLOW PER CPC TABLES 11-1 AND 11-2
- 37 SITE DRAIN, REF. CIVIL DWGS.
- 38 GAS FIREPLACE - HEAT N GLOW PRIMO72, UL 3078 DIRECT VENT
- 39 EXHAUST HOOD PER OWNER / DESIGNER, PROVIDE MIN. RATE 100CFM, A MAX SOUND RATING OR 3 SONE AND DUCTED TO OUTSIDE AIR IS REQ. REGARDLESS OF TYPE
- 40 RECESSED CURTAIN / SHADE TRACK, MOTORIZED W/ REMOTE
- 41 EXHAUST HOOD PER OWNER / DESIGNER, PROVIDE MIN. RATE 100CFM, A MAX SOUND RATING OR 3 SONE AND DUCTED TO OUTSIDE AIR IS REQ. REGARDLESS OF TYPE
- 42 HEAT N GLOW FIREPLACE - PRIMO 72 - UL3078, DIRECT VENT
- 43 3" X 3" GUTTER, BREAK MTL PT. TO MATCH FASCIA
- 44 LOW WALL, SEE LANDSCAPE DRAWINGS
- 45 RECESSED SHOWER WITH HOT MAPPED PAN 4" BELOW ADJ. F.F. W/ FLOOR TO CEILING TILE PER OWNER, SLOPE FLOOR TO DRAIN MIN 1/4" PER FOOT
- 46 WATER FEATURE PER LANDSCAPE
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- 51 FREE STANDING TUB
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- 60 [E] SEWER CLEANOUT
- 61 LOW RETAINING WALL PER CIVIL
- 62 [N] FENCE MORE THAN 5' IN HEIGHT PER CH14 FENCE REGULATIONS
- 63 VISIBILITY TRIANGLE, NO FENCE/RETAINING WALL MAY EXCEED MORE THAN 3' PURSUANT TO §142.0310(b) & §142.0340(b).
- 64 ELECTRICAL METER ROOM PER SDG&E REQUIREMENTS
- 65 30'-0" ABOVE NEW EXISTING GRADE, WHICH EVER IS LOWER
- 66 1 HOUR FIRE-RATED WALL
- 67 2 HOUR FIRE-RATED WALL
- 68 CONCEALED CABINET BEHIND SLAB



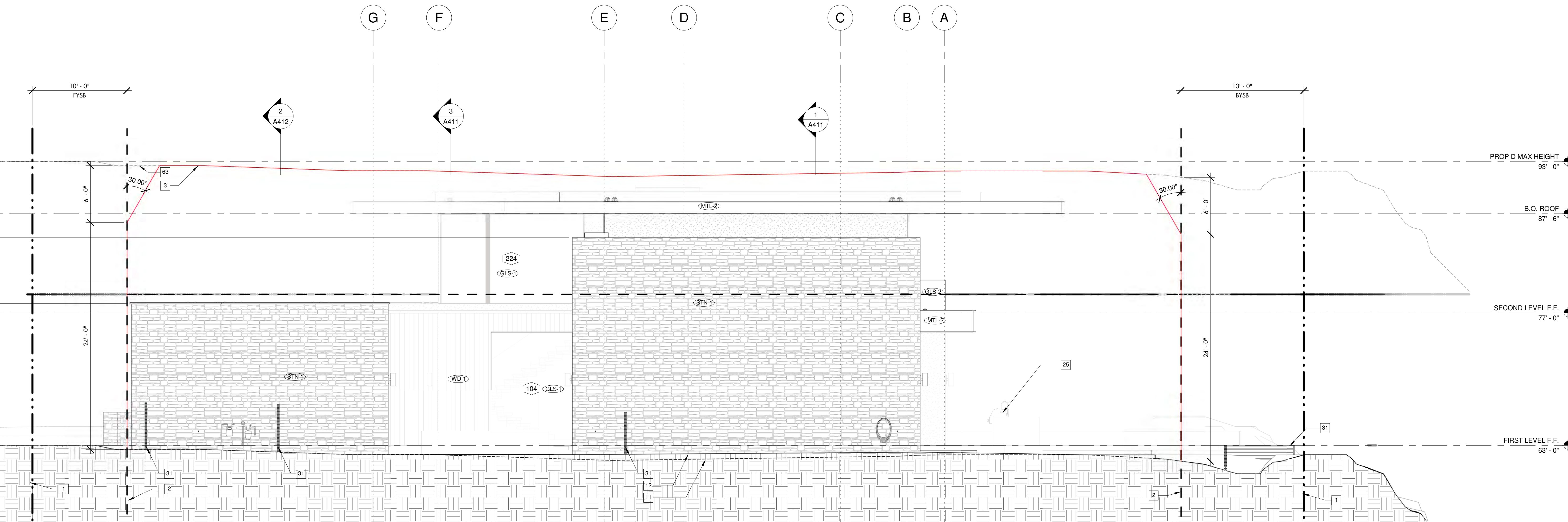
EAST ELEVATION  
 3/16" = 1'-0" 1

**NOTES**

- 58 [E] SEWER CLEANOUT
- 59 LOW RETAINING WALL PER CIVIL
- 60 [N] FENCE MORE THAN 5' IN HEIGHT PER CH14 FENCE REGULATIONS
- 61 VISIBILITY TRIANGLE, NO FENCE/RETAINING WALL MAY EXCEED MORE THAN 3' PURSUANT TO §142.0310(b) & §142.0340(b).
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- 64 1 HOUR FIRE-RATED WALL
- 65 2 HOUR FIRE-RATED WALL
- 66 CONCEALED CABINET BEHIND SLAB

**LEGEND**

MATERIALS	
TAG	DESCRIPTION
CON-1	CONCRETE
GLS-1	GLAZING
GRV 1	GRAVEL BALLAST OVER TPO ROOFING, MINIMUM 3-YEAR SOLAR REFLECTANCE 0.55, MAX THERMAL EMITTANCE 0.75, MIN SOLAR REFLECTIVE INDEX 64.
GWB	PAINTED GYP
MTL-2	DARK BRONZE METAL PANEL FLASHING
STN-1	STONE WALLS VINTAGE VEIN CUT TRAVERTINE - BRUSHED
STN-3	FLOOR GRES - FLORIM INDUSTRIAL IVORY BUSH HAMMERED
STUC	VASARI PLASTER CARRERA MARCONA # 13
TL-1	TILE
WD-1	DARK WOOD SIDING - MOJAVE THERMO OAK
WD-2	LIGHT WOOD SIDING - HEMLOCK VG SMOOTH DUSK
WD-3	WOOD DECK
WD-4	MATCH WD-2



WEST ELEVATION  
 3/16" = 1'-0" 2

**ELEVATIONS**

**DUDUM RESIDENCE**  
 5270 CHELSEA STREET, LA JOLLA, CA 92037



NOT FOR CONSTRUCTION

SCALE: 3/16" = 1'-0"  
 PLOT DATE: 01.19.2024  
 SHEET NUMBER:

**A302**

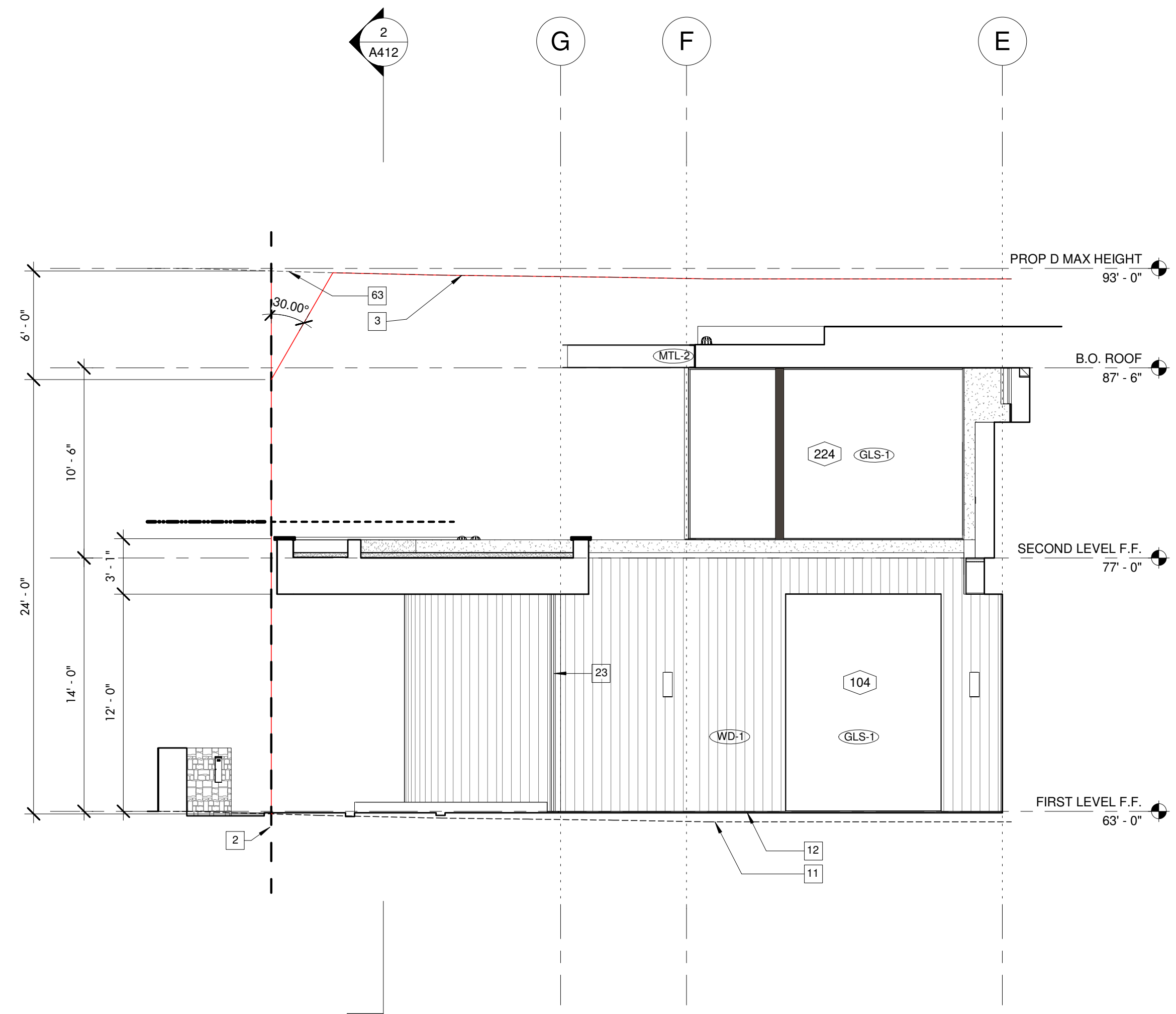
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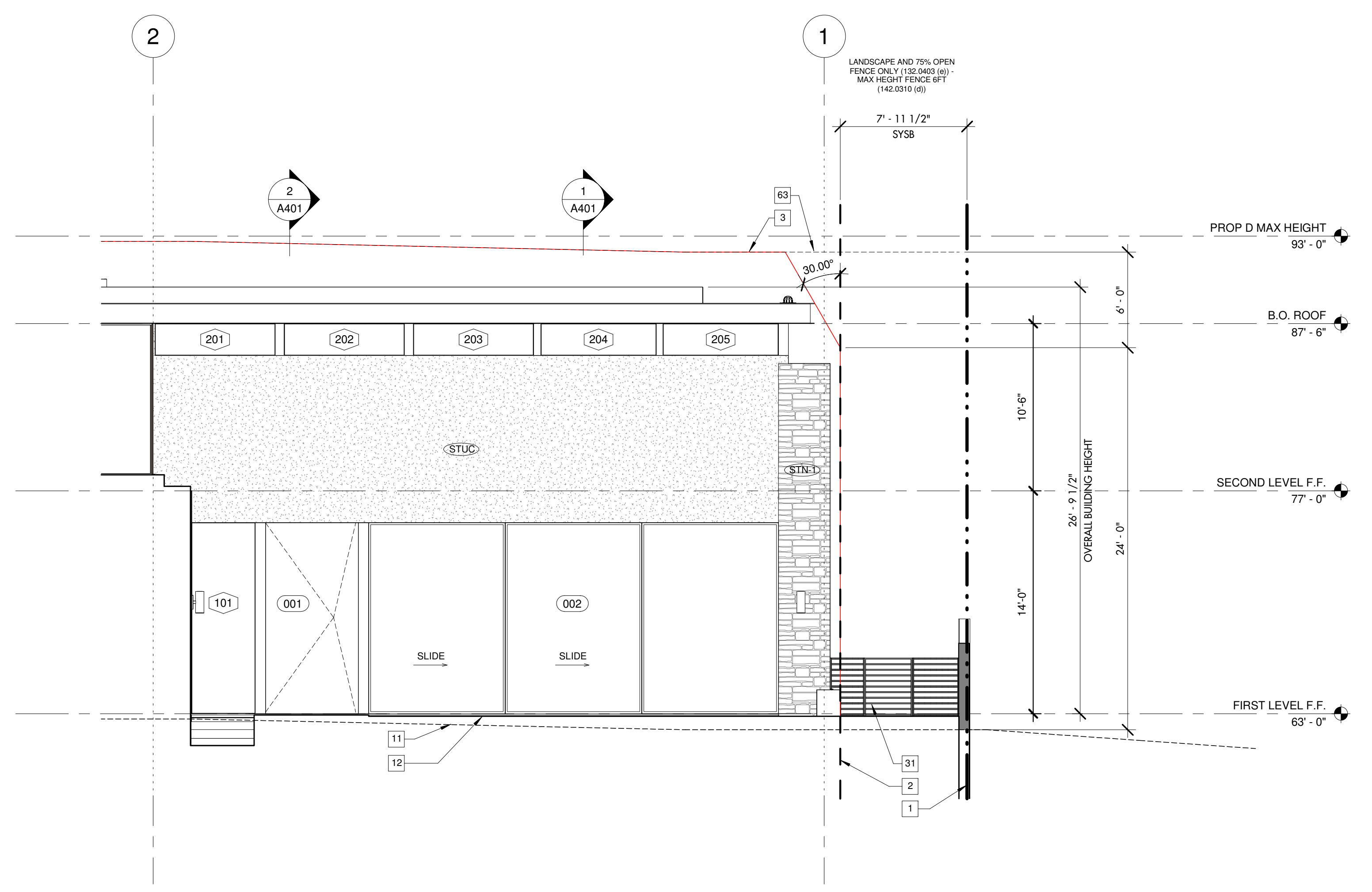
NOT FOR CONSTRUCTION

SCALE: As indicated  
 PLOT DATE: 01.19.2024  
 SHEET NUMBER:

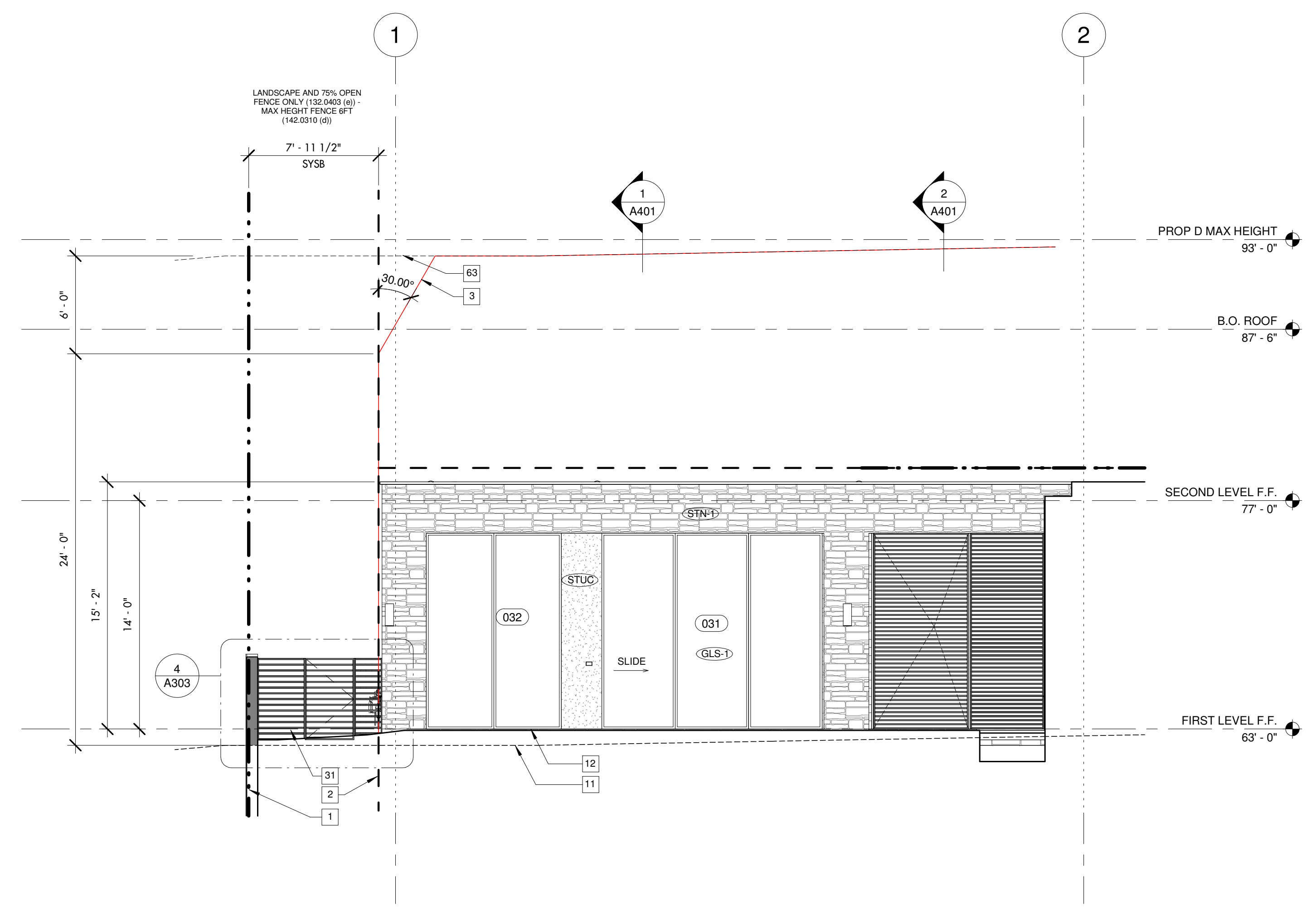
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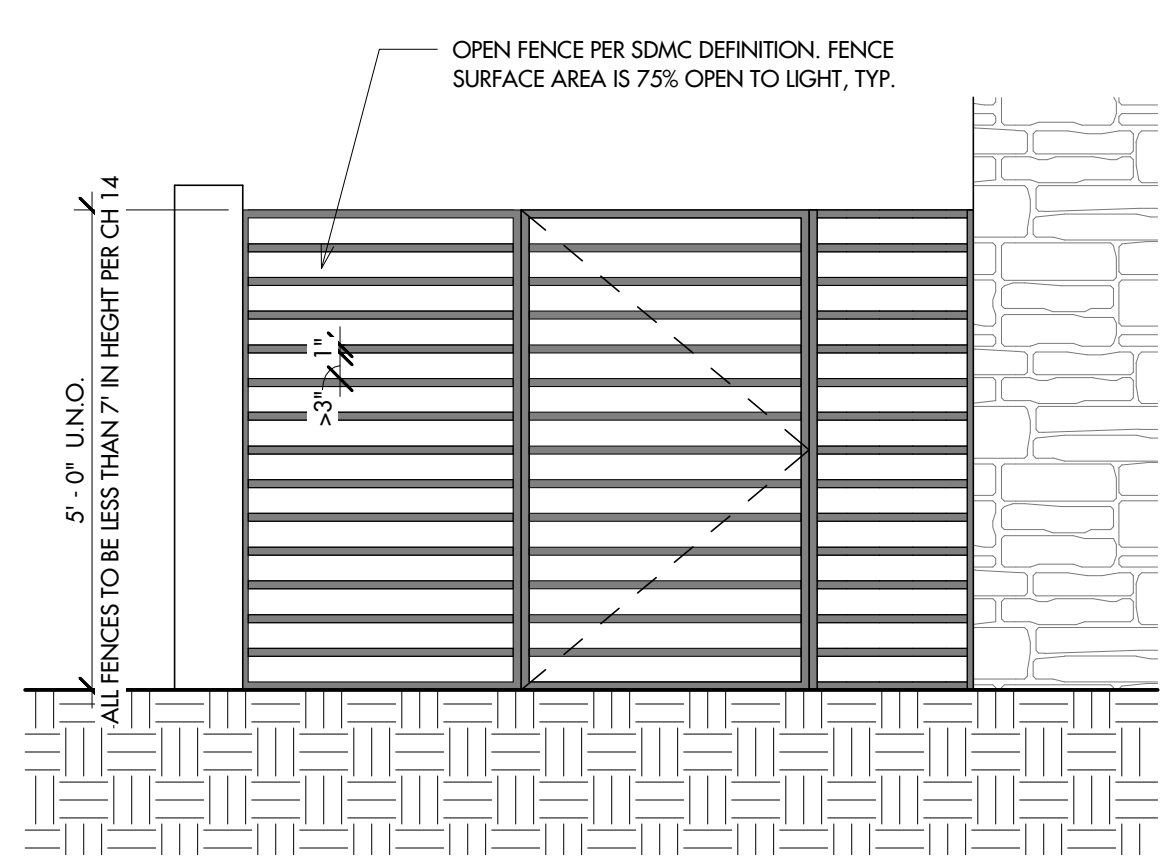
COURTYARD - EAST ELEVATION  
 3/16" = 1'-0" 2



COURTYARD - NORTH ELEVATION  
 3/16" = 1'-0" 1



COURTYARD - SOUTH ELEVATION  
 3/16" = 1'-0" 3



TYPICAL FENCE ELEVATION DETAIL  
 1/2" = 1'-0" 4

KEYNOTES	
1	PROPERTY LINE
2	BUILDING SETBACK
3	MAX BUILDING ENVELOPE
4	FIXED DATUM / BENCHMARK
5	(E) SINGLE FAMILY RESIDENCE
6	(N) POOL / SPA
7	EDGE OF ROOF (ABV / BLW / BYD AS OCCURS)
8	STREET RIGHT OF WAY
9	MAILBOX LOCATION
10	FS / FG / EG (ABOVE / BELOW / BYD AS OCCURS)
11	(E) GRADE
12	(N) FINISH GRADE / FINISH SURFACE
13	(E) CURB / EDGE OF PAVEMENT
14	(N) DRIVEWAY, SLOPE PER CIVIL
15	EDGE OF WALL (ABV / BLW / BYD AS OCCURS)
16	PROPOSED SOLAR AREA (250 SF)
17	(E) FENCE
18	POOL EQUIPMENT AREA, SCREENED
19	A/C EQUIP. ON CONC. CURB W/ SOUND ATTENUATED SCREEN
20	PLANTING / SOFTSCAPE AREA - SEE LANDSCAPE DRAWINGS
21	PROPOSED GAS METER LOCATION, RELOCATE PER GAS CO.
22	PROPOSED WATER METER LOCATION (REF. CIVIL & SURVEY DWGS)
23	SELF CLOSING, SELF LATCHING GATE - 5'-0" TALL, NON-CLIMBABLE ALUMINUM AND WOOD
24	ELECTRICAL PANEL, 400 AMP (MAINTAIN 36" CLEAR FROM FACE OF PANEL TO ANY OBSTRUCTION) - VERIFY LOCATION W/ POWER COMPANY
25	IBCO, PROVIDE GAS AND ELEC. PER OWNER
26	(E) SITE WALL, PROTECT IN PLACE
27	OUTDOOR FIREPLACE / FIRERT W/ DRAINAGE, +18" A.F.F.
28	ELEVATOR BY ELEVATOR BOUTIQUE-E1 SWINGING DOOR - TO COMPLY WITH ASME 17.1
29	TANKLESS WATER HEATER - VERIFY SIZE REQ'D W/ MFR.
30	FAU - PROVIDE GAS SO ELEC. VENTING PER MFR (CMC 904.1)
31	(N) FENCE MORE THAN 5' IN HEIGHT PER CH14 FENCE REGULATIONS
32	TRASH STORAGE AREA
33	42" HIGH TEMPERED LAMINATED GLASS GUARDRAIL - ESR-3229
34	CURB CUT PER CITY STANDARDS SDG&S 159
35	ROOF DRAIN W/ OVERFLOW PER CPC TABLES 11-1 AND 11-2
36	SITE DRAIN, REF. CIVIL DWGS.
37	GAS FIREPLACE - HEAT N GLOW PRIMO72, UL 307B DIRECT VENT
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40	EXHAUST HOOD PER OWNER / DESIGNER, PROVIDE MIN. RATE 100CFM, A MAX SOUND RATING OR 3 SONE AND DUCTED TO OUTSIDE AIR IS REQ. REGARDLESS OF TYPE
41	HEAT N GLOW FIREPLACE - PRIMO 72 - UL307B, DIRECT VENT
42	LOW WALL, SEE LANDSCAPE DRAWINGS
43	RECESSED SHOWER WITH HOT MOPPED PAN 4" BELOW ADJ. F.F. W/ FLOOR TO CEILING TILE PER OWNER, SLOPE FLOOR TO DRAIN MIN 1/4" PER FOOT
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50	BUILT-IN CASEWORK WITH LED LIGHT STRIPS - REFER TO ID SET
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54	(E) WATER METER TO RELOCATED
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57	BUILDING ADDRESS, 6 INCHES HIGH NUMBERING, BUILDING ADDRESS NUMBERS TO BE VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY PER FHPS POLICY P-00-6 (B/C 901.4.4)
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NOTES

LEGEND	
MATERIALS	
TAG	DESCRIPTION
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MTL-2	DARK BRONZE METAL PANEL/FLASHING
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WD-1	DARK WOOD SIDING - MOJAVE THERMO OAK
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WD-3	WOOD DECK
WD-4	MATCH WD-2

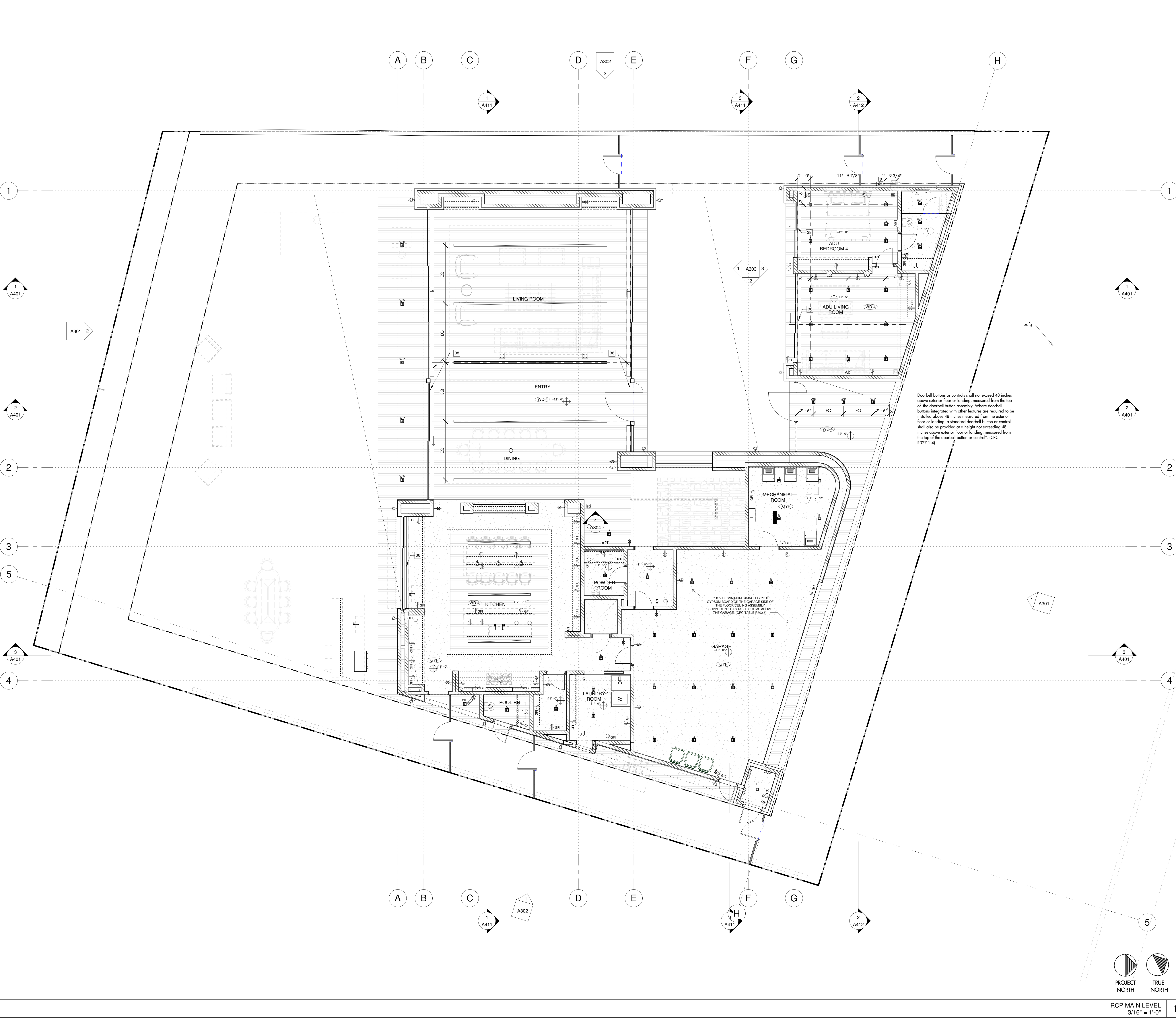
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KEYNOTES	
	RECESSED SQUARE DOWLIGHT FOR DRY CONDITION
	RECESSED SQUARE DOWLIGHT FOR DRY CONDITION
	RECESSED SQUARE DOWLIGHT DIRECTIONAL FOR DRY CONDITION
	RECESSED SQUARE DOWLIGHT FOR WET CONDITION (WATERPROOF)
	BATHROOM EXHAUST FANS TO BE WHISPER QUIET. PROVIDE BACKDRAFT DAMPER. FAN TO BE MIN 3'-0" FROM OPENING.
	J BOX FOR PENDANT LIGHTING
	LED STRIP LIGHT
	EXTERIOR GOOSENECK LIGHT
	INTERIOR SCENE
	2" x 4" INLAY ACCESS PANEL TO MATCH CEILING FINISH. AT DRYWALL, CEILING, DRYWALL INLAY ACCESS PANEL WITH MUD IN FLANGES AND CONCEALED HARDWARE
	SPRINKLER HEAD. COORDINATE FINAL LOCATION WITH FIRE SPRINKLER SUBMITTAL.
	BRONC PLATINUM SMART-HEAT ELECTRIC - 2000 SERIES BLACK
	SMOKE DETECTOR - ONELINK SMART SMOKE - CARBON MONOXIDE ALARM - HARDWIRED W/ BATTERY BACKUP PER CRC 314. CARBON MONOXIDE DETECTOR - ONELINK SMART SMOKE - CARBON MONOXIDE ALARM - HARDWIRED W/ BATTERY BACKUP
	WALL SWITCH
	WALL SWITCH DEDICATED FOR EXHAUST FAN
	WALL SWITCH FOR OUTDOOR LIGHTING
	DUPLEX RECEPTACLE - MOUNT AT 18" A.F.F. U.O.
	DUPLEX RECEPTACLE - MOUNT AT 40" A.F.F.
	DUPLEX RECEPTACLE 200 V - MOUNT AT 18" A.F.F. U.O.
	QUADRUPLEX RECEPTACLE - MOUNT AT 18" A.F.F. U.O.
	FLOOR MOUNTED DUPLEX RECEPTACLE - PER
	FLOOR MOUNTED QUAD RECEPTACLE - PER

NOTES	
1.	PROVIDE VACANCY SENSORS AT ALL BATHROOMS
2.	LIGHTING TO CONFORM WITH CALIFORNIA ENERGY CODES
3.	ALL LIGHTING TO BE HIGH EFFICIENCY.
4.	A MINIMUM OF (1) 20-AMP CIRCUIT FOR BATHROOM(S) OUTLET SUCH CIRCUIT SHALL HAVE NO OTHER OUTLETS. THIS CIRCUIT MAY SERVE MORE THAN ONE BATHROOM. (CEC 210-11(C))
5.	EXTERIOR MOUNTED LIGHTS SHALL BE CONTROLLED BY PHOTOSENSOR OR ASTRONOMICAL TIME CLOCK.
6.	ELECTRICAL RECEPTACLE OUTLETS, SWITCHES AND CONTROLS (INCLUDING CONTROLS FOR HEATING, VENTILATION AND AIR CONDITIONING) INTENDED TO BE USED BY OCCUPANTS SHALL BE LOCATED NO MORE THAN 48 INCHES MEASURED FROM THE TOP OF THE OUTLET BOX AND NOT LESS THAN 15 INCHES MEASURED FROM THE BOTTOM OF THE OUTLET BOX ABOVE THE FINISH FLOOR. (CRC R327.1.2) EXCEPTIONS: DEDICATED RECEPTACLE OUTLETS; FLOOR RECEPTACLE OUTLETS; CONTROLS MOUNTED ON CEILING FANS AND CEILING LIGHTS; AND CONTROLS LOCATED ON APPLIANCES. RECEPTACLE OUTLETS REQUIRED BY THE CALIFORNIA ELECTRICAL CODE ON A WALL SPACE WHERE THE DISTANCE BETWEEN THE FINISHED FLOOR AND A BUILT-IN FEATURE ABOVE THE FINISH FLOOR, SUCH AS A WINDOW, IS LESS THAN 15 INCHES.

LEGEND	
	BATHROOM EXHAUST FANS TO BE WHISPER QUIET. PROVIDE BACKDRAFT DAMPER. FAN TO BE MIN 3'-0" FROM OPENING. PROVIDE MIN 50CFM FOR BATHROOMS AND LAUNDRY. PROVIDE MIN 100 CFM AT KITCHEN HOOD. VENT TO OUTSIDE.
	GAS KEY
	GAS STUB
	FREEZE RESISTANT HOSE BIB - AGUOR HOUSE HYDRANT V2+
	3 1/2" FRAMING
	5 1/2" FRAMING
	8" CONCRETE WALL
	P.L.
	SETBACK
	DEMO
	ABOVE/BELOW

PROJECT NORTH	
	TRUE NORTH

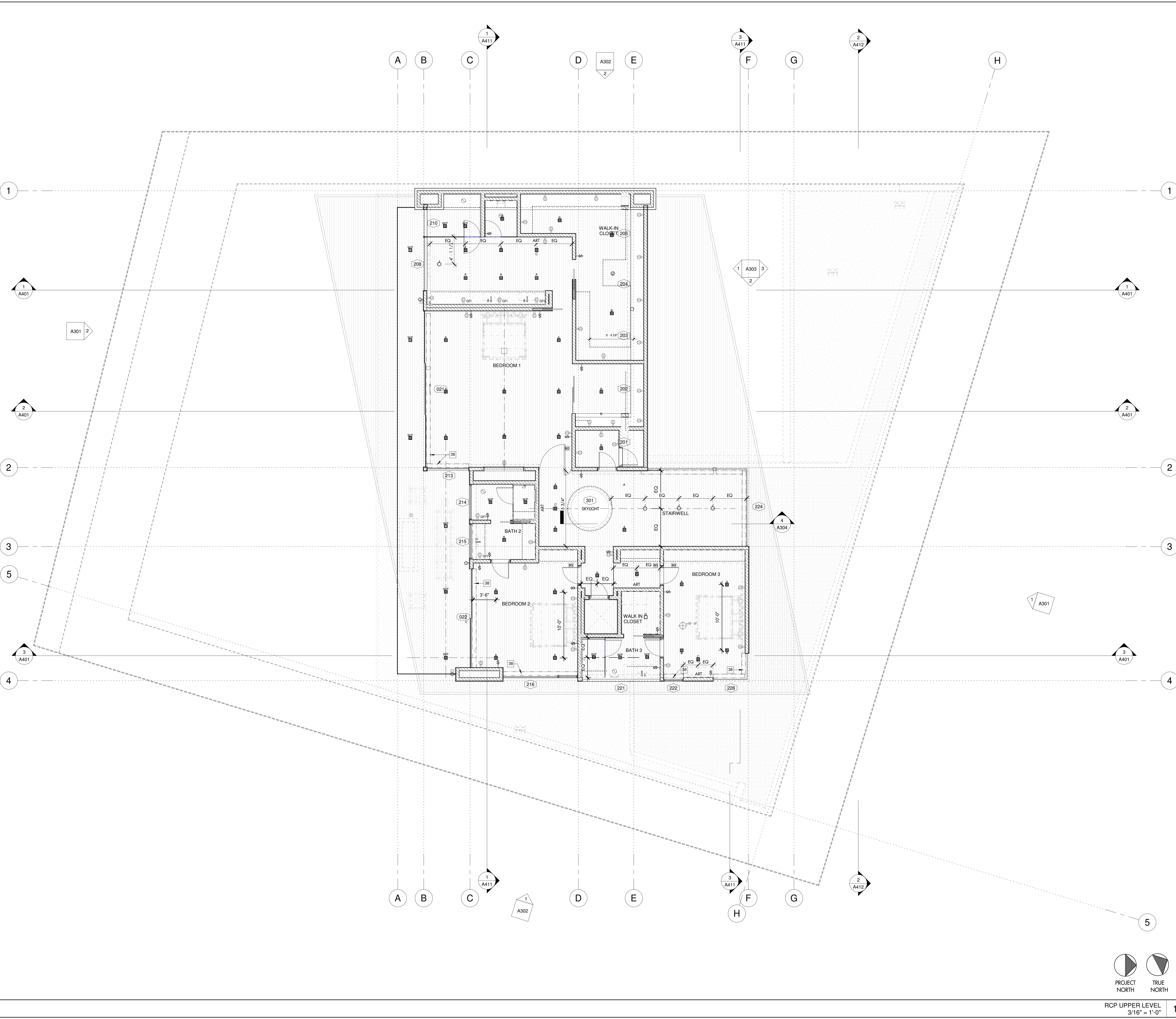
  

RCP MAIN LEVEL 3/16" = 1'-0" 1 REFLECTED CEILING PLAN MAIN LEVEL



SCALE: As indicated  
 PLOT DATE: 01.19.2024  
 SHEET NUMBER: **A501**

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**KEYNOTES**

- RECESSED SQUARE DOWLIGHT FOR DRY CONDITION
- RECESSED SQUARE DOWLIGHT FOR DRY CONDITION
- RECESSED SQUARE DOWLIGHT DIRECTIONAL FOR DRY CONDITION
- RECESSED SQUARE DOWLIGHT FOR WET CONDITION (WATERPROOF)
- BATHROOM EXHAUST FANS TO BE WHISPER QUIET. PROVIDE BACKDRAFT DAMPER. FAN TO BE MIN 3'-0" FROM OPENING.
- J BOX FOR PENDANT LIGHTING
- LED STRIP LIGHT
- EXTERIOR GOOSENECK LIGHT
- INTERIOR SCIENCE
- 3" x 3" INLAY ACCESS PANEL. TO MATCH CEILING FINISH. AT DRYWALL, CEILING, DRYWALL INLAY ACCESS PANEL WITH MUD IN FLANGES AND CONCEALED HARDWARE
- SPRINKLER HEAD. COORDINATE FINAL LOCATION WITH FIRE SPRINKLER SUBMITTAL.
- BROMIC PLATINUM SMART-HEAT ELECTRIC - 2000 SERIES BLACK
- SMOKE DETECTOR - ONELINK SMART SMOKE - CARBON MONOXIDE ALARM - HARDWIRED W/ BATTERY BACKUP PER CRC 214
- CARBON MONOXIDE DETECTOR - ONELINK SMART SMOKE - CARBON MONOXIDE ALARM - HARDWIRED W/ BATTERY BACKUP
- WALL SWITCH
- WALL SWITCH DEDICATED FOR EXHAUST FAN
- WALL SWITCH FOR OUTDOOR LIGHTING
- DUPLEX RECEPTACLE - MOUNT AT 18" A.F.F. U.N.O.
- DUPLEX RECEPTACLE - MOUNT AT 40" A.F.F.
- DUPLEX RECEPTACLE 200 V - MOUNT AT 18" A.F.F. U.N.O.
- QUADRUPLEX RECEPTACLE - MOUNT AT 18" A.F.F. U.N.O.
- FLOOR MOUNTED DUPLEX RECEPTACLE - PER A705
- FLOOR MOUNTED QUAD RECEPTACLE - PER A705

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- GAS KEY
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- 3 1/2" FRAMING
- 5 1/2" FRAMING
- 8" CONCRETE WALL
- P.L.
- SETBACK
- DEMO
- ABOVE/BELOW



NOT FOR CONSTRUCTION



FOUBISTER ARCHITECTS  
840 GLENNEYRE STREET  
LAGUNA BEACH, CA. 92651  
949-436-2286

DUDUM RESIDENCE  
5270 CHELSEA STREET, LA JOLLA, CA 92037



Not For Construction

SCALE:

PLOT DATE:  
01.26.2024

SHEET NUMBER:

A802

## INTERIOR DOOR SCHEDULE

SEE SHEET A705

Door	Width	Height	Type	Glass	Lock	Frame Material	Finish	Label	Sill Detail	Left Jamb	Right Jamb	Head Detail	Comments
034	3' - 0"	11' - 0"	047										
037	3' - 0"	6' - 8"	051										
101	3' - 0"	11' - 0"	SWING DOOR	FROSTED	X								
102	3' - 0"	11' - 0"	SWING DOOR		X			20 MIN FIRE RATED					
103	3' - 0"	11' - 0"	SWING DOOR	FROSTED									
105	3' - 0"	11' - 0"	043	FROSTED									
106	3' - 0"	11' - 0"	SWING DOOR		X			20 MIN FIRE RATED					
107	3' - 0"	11' - 0"	SWING DOOR					ELEVATOR DOOR					
108	3' - 0"	11' - 0"	SWING DOOR										
201	5' - 0"	10' - 0"	SINGLE PANEL PIVOT		X								
202	3' - 0"	10' - 0"	POCKET DOOR										
203	3' - 0"	10' - 0"	POCKET DOOR	FROSTED									
204	2' - 6"	8' - 0"	GLASS SHOWER DOOR	FROSTED									
205	2' - 6"	8' - 0"	GLASS SHOWER DOOR										
206	3' - 0"	10' - 0"	SWING DOOR										
208	3' - 0"	10' - 0"	SWING DOOR		X								
209	3' - 0"	10' - 0"	SWING DOOR	FROSTED	X								
210	3' - 0"	10' - 0"	POCKET DOOR	FROSTED									
211	2' - 6"	8' - 0"	GLASS SHOWER DOOR										
213	3' - 0"	10' - 0"	SWING DOOR					ELEVATOR DOOR					
214	3' - 0"	10' - 0"	SWING DOOR		X								
215	3' - 0"	10' - 0"	SWING DOOR	FROSTED	X								
216	2' - 6"	8' - 0"	GLASS SHOWER DOOR										
217	3' - 0"	10' - 0"	POCKET DOOR										
301	3' - 0"	10' - 0"	SWING DOOR		X								
302	3' - 0"	10' - 0"	SWING DOOR	FROSTED	X								
303	2' - 6"	8' - 0"	GLASS SHOWER DOOR										
304	2' - 6"	8' - 0"	GLASS SHOWER DOOR										

## EXTERIOR DOOR SCHEDULE

SEE SHEET A703

Door	Level	Width	Height	Thick	Type	Manufacturer	SERIES	Lock	Finish	GLAZING	U_Factor	SHGC	VT.	Sill Detail	Head Detail	Left Jamb	Right Jamb	Comments	
001	FIRST LEVEL F.F.	5' - 10"	12' - 0"		PIVOT DOOR	TBD		X											
002	FIRST LEVEL F.F.	25' - 9"	12' - 0"		3 PANEL SLIDER	OTIIMA	38 DRAIN	X	ANODIZED - 6EA (BLACK) - SEACOAST	TEMPERED - DOUBLE PANE - SNX6227 CLR			0.56						AUTOMATED
003	FIRST LEVEL F.F.	25' - 9"	12' - 0"		3 PANEL SLIDER	OTIIMA	38 DRAIN	X	ANODIZED - 6EA (BLACK) - SEACOAST	TEMPERED - DOUBLE PANE - SNX6227 CLR			0.56						AUTOMATED
004	FIRST LEVEL F.F.	3' - 0"	11' - 0"		SWING GLASS DOOR	OTIIMA	38 SERIES	X	ANODIZED - 6EA (BLACK) - SEACOAST	TEMPERED - DOUBLE PANE - SNX6227 CLR	0.35	0.5	0.4						
005	FIRST LEVEL F.F.	3' - 0"	8' - 0"		SWING SOLID DOOR	TBD													
006	FIRST LEVEL F.F.	3' - 0"	8' - 0"		SWING SOLID DOOR	TBD													
007	FIRST LEVEL F.F.	29' - 0"	9' - 0"		GARAGE DOOR	Rundum Meir													
008	FIRST LEVEL F.F.	17' - 9 3/8"	12' - 0"		2 PANEL SLIDER	OTIIMA	38 DRAIN	X	ANODIZED - 6EA (BLACK) - SEACOAST	TEMPERED - DOUBLE PANE - SNX6227 CLR			0.56						
010	FIRST LEVEL F.F.	5' - 10"	12' - 0"		GATE	TBD		X											SELF CLOSING, SELF LATCHING GATE
011	FIRST LEVEL F.F.	3' - 0"	5' - 0"		GATE	TBD													
012	FIRST LEVEL F.F.	3' - 0"	5' - 0"		GATE	TBD													
013	FIRST LEVEL F.F.	3' - 0"	5' - 0"		GATE	TBD													
014	FIRST LEVEL F.F.	3' - 0"	5' - 0"		GATE	TBD													
015	FIRST LEVEL F.F.	3' - 0"	5' - 0"		GATE	TBD													
016	FIRST LEVEL F.F.	3' - 0"	5' - 0"		GATE	TBD													
017	FIRST LEVEL F.F.	3' - 0"	8' - 0"		SWING SOLID DOOR	TBD		X											
021	SECOND LEVEL F.F.	23' - 9"	10' - 6"		3 PANEL SLIDER	OTIIMA	38 DRAIN	X	ANODIZED - 6EA (BLACK) - SEACOAST	TEMPERED - DOUBLE PANE - SNX6227 CLR			0.56						
022	SECOND LEVEL F.F.	15' - 0"	10' - 6"		2 PANEL SLIDER	OTIIMA	38 DRAIN	X	ANODIZED - 6EA (BLACK) - SEACOAST	TEMPERED - DOUBLE PANE - SNX6227 CLR			0.56						
031	FIRST LEVEL F.F.	13' - 6"	12' - 0"		3 PANEL SLIDER	OTIIMA	38 DRAIN	X	ANODIZED - 6EA (BLACK) - SEACOAST	TEMPERED - DOUBLE PANE - SNX6227 CLR			0.56						
032	FIRST LEVEL F.F.	8' - 3 1/4"	12' - 0"		2 PANEL SLIDER	OTIIMA	38 DRAIN	X	ANODIZED - 6EA (BLACK) - SEACOAST	TEMPERED - DOUBLE PANE - SNX6227 CLR			0.51						

## WINDOW SCHEDULE

SEE SHEET A704

WINDOW	Level	Sill Height	WIDTH	HEIGHT	TYPE	Manufacturer	SERIES	FINISH	GLAZING	U-FACTOR	SHGC	VT	Sill Detail	Head Detail	Jamb Detail	REMARKS			
101	FIRST LEVEL F.F.	0' - 0"	4' - 0"	12' - 0"	FIXED	OTIIMA	38 SERIES	ANODIZED - 6EA (BLACK) - SEACOAST	TEMPERED - DOUBLE PANE - SNX6227 CLR	0.35	0.25	0.56							
102	FIRST LEVEL F.F.	3' - 0"	14' - 0"	8' - 0"	SLIDER POCKET	OTIIMA	38 SERIES	ANODIZED - 6EA (BLACK) - SEACOAST	TEMPERED - DOUBLE PANE - SNX6227 CLR	0.35	0.25	0.56							
104	FIRST LEVEL F.F.	0' - 0"	8' - 7"	12' - 0"	FIXED	OTIIMA	38 SERIES	ANODIZED - 6EA (BLACK) - SEACOAST	TEMPERED - DOUBLE PANE - SNX6227 CLR	0.29	0.23	0.52							
201	SECOND LEVEL F.F.	8' - 6"	7' - 7"	2' - 0"	FIXED	OTIIMA	38 SERIES	ANODIZED - 6EA (BLACK) - SEACOAST	TEMPERED - DOUBLE PANE - SNX6227 CLR	0.29	0.23	0.52							
202	SECOND LEVEL F.F.	8' - 6"	7' - 7"	2' - 0"	FIXED	OTIIMA	38 SERIES	ANODIZED - 6EA (BLACK) - SEACOAST	TEMPERED - DOUBLE PANE - SNX6227 CLR	0.29	0.23	0.52							
203	SECOND LEVEL F.F.	8' - 6"	7' - 7"	2' - 0"	FIXED	OTIIMA	38 SERIES	ANODIZED - 6EA (BLACK) - SEACOAST	TEMPERED - DOUBLE PANE - SNX6227 CLR	0.29	0.23	0.52							
204	SECOND LEVEL F.F.	8' - 6"	7' - 3"	2' - 0"	FIXED	OTIIMA	38 SERIES	ANODIZED - 6EA (BLACK) - SEACOAST	TEMPERED - DOUBLE PANE - SNX6227 CLR	0.29	0.23	0.52							
205	SECOND LEVEL F.F.	8' - 6"	7' - 3"	2' - 0"	FIXED	OTIIMA	38 SERIES	ANODIZED - 6EA (BLACK) - SEACOAST	TEMPERED - DOUBLE PANE - SNX6227 CLR	0.29	0.23	0.52							
207	SECOND LEVEL F.F.	3' - 0"	8' - 1"	7' - 6"	FIXED	OTIIMA	38 SERIES	ANODIZED - 6EA (BLACK) - SEACOAST	TEMPERED - DOUBLE PANE - SNX6227 CLR	0.29	0.23	0.52							
208	SECOND LEVEL F.F.	0' - 0"	8' - 1"	3' - 0"	HOPPER	OTIIMA	38 SERIES	ANODIZED - 6EA (BLACK) - SEACOAST	TEMPERED - DOUBLE PANE - SNX6227 CLR	0.40	0.22	0.49							
209	SECOND LEVEL F.F.	3' - 0"	4' - 1"	7' - 6"	FIXED	OTIIMA	38 SERIES	ANODIZED - 6EA (BLACK) - SEACOAST	TEMPERED - DOUBLE PANE - SNX6227 CLR	0.29	0.23	0.52							
210	SECOND LEVEL F.F.	0' - 0"	4' - 1"	3' - 0"	FIXED	OTIIMA	38 SERIES	ANODIZED - 6EA (BLACK) - SEACOAST	TEMPERED - DOUBLE PANE - SNX6227 CLR	0.29	0.23	0.52							
213	SECOND LEVEL F.F.	0' - 0"	6' - 4"	10' - 6"	FIXED	OTIIMA	38 SERIES	ANODIZED - 6EA (BLACK) - SEACOAST	TEMPERED - DOUBLE PANE - SNX6227 CLR	0.29	0.23	0.52							
214	SECOND LEVEL F.F.	3' - 0"	5' - 5"	7' - 6"	FIXED	OTIIMA	38 SERIES	ANODIZED - 6EA (BLACK) - SEACOAST	TEMPERED - DOUBLE PANE - SNX6227 CLR	0.29	0.23	0.52							
215	SECOND LEVEL F.F.	3' - 0"	5' - 5"	7' - 6"	HOPPER	OTIIMA	38 SERIES	ANODIZED - 6EA (BLACK) - SEACOAST	TEMPERED - DOUBLE PANE - SNX6227 CLR	0.40	0.22	0.49							
216	SECOND LEVEL F.F.	3' - 0"	8' - 4"	7' - 6"	FIXED	OTIIMA	38 SERIES	ANODIZED - 6EA (BLACK) - SEACOAST	TEMPERED - DOUBLE PANE - SNX6227 CLR	0.29	0.23	0.52							
217	SECOND LEVEL F.F.	0' - 0"	8' - 4"	3' - 0"	FIXED	OTIIMA	38 SERIES	ANODIZED - 6EA (BLACK) - SEACOAST	TEMPERED - DOUBLE PANE - SNX6227 CLR	0.29	0.23	0.52							
218	SECOND LEVEL F.F.	3' - 0"	3' - 0"	7' - 6"	CASEMENT	OTIIMA	38 SERIES	ANODIZED - 6EA (BLACK) - SEACOAST	TEMPERED - DOUBLE PANE - SNX6227 CLR	0.29	0.23	0.52							
219	SECOND LEVEL F.F.	0' - 0"	3' - 0"	3' - 0"	FIXED	OTIIMA	38 SERIES	ANODIZED - 6EA (BLACK) - SEACOAST	TEMPERED - DOUBLE PANE - SNX6227 CLR	0.29	0.23	0.52							
221	SECOND LEVEL F.F.	7' - 6"	11' - 10"	3' - 0"	AWNING	OTIIMA	38 SERIES	ANODIZED - 6EA (BLACK) - SEACOAST	TEMPERED - DOUBLE PANE - SNX6227 CLR										
222	SECOND LEVEL F.F.	3' - 0"	3' - 0"	7' - 6"	CASEMENT	OTIIMA	38 SERIES	ANODIZED - 6EA (BLACK) - SEACOAST	TEMPERED - DOUBLE PANE - SNX6227 CLR	0.40	0.22	0.49						EGRESS	
224	SECOND LEVEL F.F.	1' - 0"	12' - 1"	9' - 6"	CORNER WINDOW	OTIIMA	38 SERIES	ANODIZED - 6EA (BLACK) - SEACOAST	TEMPERED - DOUBLE PANE - SNX6227 CLR	0.29	0.23	0.52							
225	FIRST LEVEL F.F.	3' - 6"	2' - 6"	4' - 6"	CASEMENT	OTIIMA	38 SERIES	ANODIZED - 6EA (BLACK) - SEACOAST	TEMPERED - DOUBLE PANE - SNX6227 CLR	0.40	0.22	0.49							
226	FIRST LEVEL F.F.	3' - 6"	2' - 6"	6' - 6"	CASEMENT	OTIIMA	38 SERIES	ANODIZED - 6EA (BLACK) - SEACOAST	TEMPERED - DOUBLE PANE - SNX6227 CLR	0.40	0.22	0.49							
228	SECOND LEVEL F.F.	1' - 0"	5' - 6"	9' - 6"	CORNER WINDOW	OTIIMA	38 SERIES	ANODIZED - 6EA (BLACK) - SEACOAST	TEMPERED - DOUBLE PANE - SNX6227 CLR	0.29	0.23	0.52							
301	B.O. ROOF				SKYLIGHT														

WINDOW AND DOOR SCHEDULES

### GENERAL NOTES

- VERIFY ALL EXISTING CONDITIONS ON SITE NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO COMMENCEMENT OF WORK. WORKAL DIMENSIONS ARE FINISH TO FINISH UNLESS NOTED OTHERWISE.
- CONTRACTOR TO VERIFY SIZE OF ALL FRAMED OPENINGS FOR EQUIPMENT PRIOR TO COMPLETION OF FRAMING.
- VERIFY ALL SUBSTITUTIONS WITH ARCHITECT AND OWNER PRIOR TO MAKING ANY CHANGES.
- VERIFY COMPATIBILITY OF MATERIALS CALLED OUT IN THESE DRAWINGS AND ALERT ARCHITECT TO ANY POTENTIAL CONFLICTS PRIOR TO INSTALLATION.
- CONFIRM ATTACHMENT DETAILS WITH ARCHITECT PRIOR TO INSTALLATION.
- ARCHITECT TO REVIEW SHOP DRAWINGS PRIOR TO ORDERING WINDOW AND DOOR SYSTEMS, CABINETRY AND ALL STEEL WORK.
- ALL FIXTURE LOCATIONS TO BE VERIFIED WITH ARCHITECT/OWNER PRIOR TO FINISH OF FRAMING.
- FIXTURE SUBSTITUTIONS TO BE APPROVED BY ARCHITECT PRIOR TO ORDERING.

### DOOR AND WINDOW SCHEDULE NOTES

- WINDOW AND DOOR SIZES ARE FOR BIDDING PURPOSES ONLY.
- CONTRACTOR SHALL FIELD MEASURE ALL ROUGH OPENINGS AFTER FRAMING AND PRIOR TO ORDERING.
- CALCULATIONS AND SHOP DRAWINGS FOR WINDOWS TO BE PROVIDED TO ARCHITECT FOR VERIFICATION PRIOR TO INSTALLATION.
- VERIFY DOOR/WINDOW FINISHES WITH ARCHITECT.
- CONTRACTOR SHALL PROVIDE ARCHITECT WITH SAMPLES OF DOORS AND WINDOWS 10 DAYS PRIOR TO ORDERING.
- GLAZING IN THE FOLLOWING LOCATIONS SHALL BE TEMPERED / SAFETY GLAZING CONFORMING TO THE HUMAN IMPACT LOADS OF SECTION R308.3.
  - FIXED AND OPERABLE PANELS OF SWINGING, SLIDING AND BIFOLD DOOR ASSEMBLIES.
  - GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL ADJACENT TO A DOOR WHERE THE NEAREST VERTICAL EDGE IS WITHIN A 24-INCH ARC OF THE DOOR IN A CLOSED POSITION AND WHOSE BOTTOM EDGE IS LESS THAN 60 INCHES ABOVE THE FLOOR OR WALKING SURFACE.
    - GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL THAT MEETS ALL OF THE FOLLOWING CONDITIONS:
      - EXPOSED AREA OF AN INDIVIDUAL PANE GREATER THAN 9 SF FT.
    - GLAZING IN ENCLOSURES FOR OR WALLS FACING HOT TUBS, WHIRLPOOLS, SAUNAS, STEAM ROOMS, BATHTUBS AND SHOWERS WHERE THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 60 INCHES MEASURED VERTICALLY ABOVE THE FLOOR OR WALKING SURFACE.
    - GLAZING IN WALLS AND FENCES ADJACENT TO INDOOR AND OUTDOOR POOLS, HOT TUBS AND SPAS WHERE THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 60" ABOVE THE WALKING SURFACE AND WITHIN 60" MEASURED HORIZONTALLY OF THE WATER'S EDGE.
    - GLAZING ADJACENT TO STAIRS, LANDINGS AND RAMPS WITHIN 60" HORIZONTALLY OF A WALKING SURFACE WHEN THE EXPOSED SURFACE OF THE GLAZING IS LESS THAN 36" ABOVE THE PLANE OF THE ADJACENT WALKING SURFACE.
    - GLAZING ADJACENT TO STAIRS WITHIN 60 INCHES HORIZONTALLY OF THE BOTTOM TREAD OF A STAIRWAY IN ANY DIRECTION WHEN THE EXPOSED SURFACE OF THE GLAZING IS LESS THAN 60 INCHES ABOVE THE NOSE OF THE TREAD.
- SKYLIGHTS AND SLOPED GLAZING SHALL COMPLY WITH SECTION R308.6.
- GLAZING, WHERE REQUIRED, SHALL BE INSTALLED WITH MATERIALS AND AS REQUIRED IN SECTION R406.1.
- VEHICULAR ACCESS DOORS SHALL COMPLY WITH SECTION R412.7.
- ALL NEW GLAZING (FENESTRATION) SHALL BE INSTALLED WITH A CERTIFYING LABEL ATTACHED, SHOWING U VALUE - **NOT TO BE REMOVED**.
- ALL MANUFACTURED WINDOWS TO MEET \*AIR INFILTRATION STANDARDS OF ANSI A131-A134 WHEN TESTED IN ACCORDANCE WITH ASTM E2882-73\* AND SHOULD BE CERTIFIED AND LABELED AS SUCH.
  - CALLK ALL EXTERIOR JOINTS AROUND DOOR AND WINDOW FRAMES.
  - FOR GLAZING SPECIFICATION AND ADDITIONAL INFORMATION.
  - DOORS BETWEEN GARAGE AND THE DWELLING UNIT SHALL BE SELF-CLOSING AND SELF LATCHING, SOLID WOOD OR SOLID OR HONEYCOMB CORE STEEL NOT LESS THAN 1 3/8 INCHES THICK, OR HAVE A MINIMUM FIRE PROTECTION RATING OF 20 MINUTES.
  - EXTERIOR DOORS AND WINDOWS TO BE FULLY WEATHER STRIPPED.
  - EXTERIOR DOORS AND WINDOWS (INCLUDING GARAGE DOORS) SHALL COMPLY WITH THE SECURITY PROVISIONS AS SET OUT IN CHAPTER 41, UBC 1997.
  - ALL HINGES EXPOSED TO THE EXTERIOR OR GARAGE TO BE EQUIPPED WITH NON-REMOVABLE HINGES. HINGES SHALL HAVE MIN 1/4" DIA. STEEL JAMB STILD WITH 1/4" MIN. PROTECTION.
  - ALL EXTERIOR SWINGING DOORS BETWEEN HOUSE AND GARAGE TO HAVE SINGLE CYLINDER DEADBOLT LOCK OR DUAL LOCKING MECHANISM (DEADBOLT OR LATCH).
  - LOCKS SHALL BE KEY OPERATED FROM THE EXTERIOR AND MUST BE OPERABLE FROM THE INSIDE WITHOUT A KEY, SPECIAL KNOWLEDGE OR SPECIAL EFFORT.
  - LOCKING SYSTEM SHALL CONSIST OF A DEADLOCKING LATCH OPERATED BY A DOORKNOB AND A DEADBOLT OPERATED BY A NON-REMOVABLE THUMB TURN INDEPENDENT OF THE DEADLOCKING LATCH AND SEPARATELY OPERATED. THE DOORKNOB AND THUMBTURN SHALL NOT BE SEPARATED BY MORE THAN 8".
  - DEADBOLTS TO HAVE MIN. 1" THROW AND BE CONSTRUCTED WITH HARDENED INSERTS SO AS TO REPEL CUTTING TOOL ATTACK.
  - DEADBOLTS TO BE INSTALLED WITH MIN. 3/4" EMBEDMENT INTO STRIKE. DEADBOLT CYLINDER TO HAVE A CYLINDER GUARD MIN. 5 PIN TUMBLER.
  - DEADBOLT STRIKE PLATES TO BE ONE PIECE CONSTRUCTION, MIN 1/4 GA. STEEL OR BRONZE PER SPECS WITH 2 - 2 1/2" MIN. SCREWS INTO SOLID JAMB AND WALL FRAMING- SEE DOOR JAMB DETAIL FOR FINAL REQUIREMENTS.
  - SLIDING DOORS AND WINDOWS SHALL BE PROVIDED WITH A DEVICE IN THE UPPER CHANNEL OF THE MOVING PANEL TO PROHIBIT RAISING AND LOWERING OF PANEL IN THE CLOSED OR PARTIALLY OPEN POSITION. 91.6710.
  - SLIDING GLASS DOORS

**PLANTING NOTES:**

- CONSULT WITH SITE SUPERINTENDENT, APPROPRIATE AGENCIES, AND DRAWINGS TO VERIFY EXISTING LOCATIONS OF PROPERTY LINES, UNDERGROUND UTILITIES, PIPES, AND STRUCTURES. TAKE SOLE RESPONSIBILITY FOR COSTS INCURRED DUE TO DAMAGE OF THESE UTILITIES, PIPES, OR STRUCTURES IF PROPER VERIFICATION BY CONTRACTOR WAS NOT PERFORMED.
- DO NOT WILLFULLY PROCEED WITH PLANTING OPERATIONS WHEN IT IS OBVIOUS THAT UNKNOWN OBSTRUCTIONS AND GRADE DIFFERENCES EXIST THAT MAY NOT HAVE BEEN KNOWN DURING THE DESIGN PROCESS. BRING SUCH CONDITIONS IMMEDIATELY TO THE ATTENTION OF THE OWNER'S AUTHORIZED REPRESENTATIVE FOR RESOLUTION. ASSUME FULL RESPONSIBILITY FOR COSTS INCURRED AND REQUIRED MODIFICATIONS DUE TO LACK OF PROVIDING SUCH NOTIFICATION.
- OBTAIN APPROVAL OF FINAL GRADE CERTIFICATION FROM OWNER'S AUTHORIZED REPRESENTATIVE PRIOR TO BEGINNING PLANTING OPERATIONS THAT CERTIFIES THAT ROUGH GRADES ARE WITHIN 1/10TH OF AN INCH FROM SPECIFIED GRADES. ENSURE THAT FINISH GRADE ELEVATIONS OF PLANTING AREAS ARE SET TO THE PROPER ELEVATIONS RELATIVE TO THE FINISH SURFACES OF PAVING, UTILITY COVERS, AND CURBS.
- CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL PLANT QUANTITIES AND SQUARE FOOTAGES.
- WHERE DIMENSIONS ARE CALLED 'EQ,' ALL REFERENCED ITEMS SHALL BE SPACED EQUALLY, MEASURED TO THEIR CENTER LINES. OTHERWISE, DIMENSIONS TO CENTER LINES ARE INDICATED.
- PROVIDE MATCHING FORMS AND SIZES FOR ALL PLANT MATERIALS WITHIN EACH SPECIES AND SIZE DESIGNATED ON THE DRAWINGS.
- ALIGN AND EQUALLY SPACE, IN ALL DIRECTIONS, ALL SHRUBS SO DESIGNATED PER THESE NOTES AND DRAWINGS.
- TRIANGULAR SPACE GROUND COVERS AND SHRUBS, UNLESS INDICATED OTHERWISE ON DRAWINGS-REFER TO PLANTING DETAILS.
- ALL SHRUBS AND GROUNDCOVERS SHALL BE GUARANTEED TO BE IN A HEALTHY AND FLOURISHING CONDITION FOR 90 DAYS AND ALL TREES SHALL BE GUARANTEED TO BE IN A HEALTHY AND FLOURISHING CONDITION FOR 1 YEAR FROM THE DATE OF FINAL ACCEPTANCE PER THE SPECIFICATIONS. REFER TO SPECIFICATIONS FOR ADDITIONAL INFORMATION.
- FURNISH COPIES OF ALL DELIVERY SLIPS OF SPECIFIED AMENDMENTS TO LANDSCAPE ARCHITECT UPON DELIVERY OF MATERIAL TO THE SITE.
- FURNISH PLANT MATERIAL FREE OF PESTS, POOR CONDITION, OR DISEASE, INCLUDING PRE-SELECTED OR "TAGGED" PLANT MATERIAL PROVIDED BY OWNER'S AUTHORIZED REPRESENTATIVE.
- FINISH GRADES OF ALL TURF AREAS SHALL BE 1" AND SHRUB AREAS SHALL BE 2" BELOW ADJACENT CURB, PAVEMENT, OR HEADER.
- TREES SHALL BEAR SAME RELATION TO FINISH GRADE AS AT PLACE OF GROWTH.. ENSURE THAT TOP OF TREE ROOTBALLS ARE SET 2" ABOVE FINISH GRADE AND SHRUB ROOTBALLS ARE SET 1" ABOVE FINISH GRADE.
- PLANT MATERIAL, ( I.E. TREES, SHRUBS, VINES, ESPALIERS, AND GROUNDCOVERS) , MUST BE APPROVED BY OWNER'S AUTHORIZED REPRESENTATIVE PRIOR TO INSTALLATION. PLANT MATERIAL INSTALLED WITHOUT OWNER'S AUTHORIZED REPRESENTATIVE'S APPROVAL MAY BE SUBJECT TO REMOVAL AND REPLACEMENT WITH RELATED COSTS BORNE BY CONTRACTOR.
- FINAL LOCATIONS OF PLANT MATERIALS ARE SUBJECT TO APPROVAL OF THE OWNER'S AUTHORIZED REPRESENTATIVE PRIOR TO INSTALLATION. PERFORM THE FOLLOWING BEFORE BEGINNING PLANTING PIT EXCAVATION: SHRUBS, PLACE IN CONTAINERS ON-SITE IN "FINAL" LOCATIONS, TREES-STAKE OR FLAG CENTERPOINT OF TREE, CONTAINER POTS-LOCATE POTS PRIOR TO PLANTING.
- PROVIDE A REPRESENTATIVE EXAMPLE OF A TYPICAL TREE STAKING AND GUYING (IF ANY) INSTALLATION FOR OWNER'S AUTHORIZED REPRESENTATIVE REVIEW BEFORE PERFORMING TREE STAKING AND GUYING (IF ANY) OPERATIONS- REFER TO PLANTING DETAILS.
- PRUNE NEWLY PLANTED TREES ONLY AS DIRECTED BY LANDSCAPE ARCHITECT.
- KEEP TURF 3' CLEAR OF TREE TRUNKS UNLESS OTHERWISE SPECIFIED. APPLY WOOD MULCH IN THIS AREA.
- A MINIMUM 3' LAYER OF MULCH SHALL BE APPLIED TO ALL EXPOSED SOIL SURFACES OF PLANTING AREAS EXCEPT TURF AREAS, CREEPING OR ROOTING GROUNDCOVERS, OR DIRECT SEEDING APPLICATIONS WHERE IS CONTRAINDICATED.
- DO NOT PLANT TREES CLOSER THAN 5 FEET TO FIXED EDGE SUCH AS SIDEWALKS AND WALLS, UNLESS INDICATED OTHERWISE ON DRAWINGS.
- ENSURE THAT TURF AREAS ARE SEPARATED FROM GROUNDCOVERS AND SHRUB AREAS WITH SPECIFIED EDGING- REFER TO DRAWINGS.
- THE CONTRACTOR SHALL COLLECT A MINIMUM OF FOUR SOIL SAMPLES FOR AGRICULTURAL SUITABILITY TESTING. TEST LOCATIONS TO BE REVIEWED WITH LANDSCAPE ARCHITECT. TESTING SHALL BE UNDERTAKEN BY GARN WALLACE, WALLACE LABS, EL SEGUNDO (310) 615-0116. THE CONTRACTOR SHALL FOLLOW ALL RECOMMENDATIONS FROM SOIL TESTING LABRATORY.
- FOR SOILS LESS THAN 6% ORGANIC MATTER IN THE TOP 6 INCHES OF SOIL, COMPOST AT A RATE OF A MINIMUM FOUR CUBIC YARDS PER 1,000 SQUARE FEET OF PERMEABLE AREA SHALL BE INCORPORATED TO A DEPTH OF 6 INCHES INTO THE SOIL

**PLANT LEGEND**

TREES:							
SYMBOL	BOTANICAL NAME	COMMON NAME	MAX. MAINTAINED SIZE				
			SIZE AT 20 YEARS	CONTAINER SIZE	WULCOL WATER USE	DETAIL	
T-1	ARBUTUS X MARINA	STRAWBERRY TREE	16' HIGH X 16' WIDE	60" BOX, MULTI-STEM	LOW		1/ L-2.1
T-2	METROBIEROS EXCELSA (DISTRICT 1 STREET TREE, 3 REQUIRED)	NEW ZEALAND CHRISTMAS TREE	20' HIGH X 20' WIDE	48" BOX, STANDARD FORM	LOW		1/ L-2.1

SHRUBS, AGAVE AND GRASSES:							
SYMBOL	BOTANICAL NAME	COMMON NAME	MAX. MAINTAINED SIZE				
			SIZE IN 5 YEARS	CONTAINER SIZE	WULCOL WATER USE	DETAIL	
	ACALYPHA AMENTACEA SUBSP. WILKESIANA	COPPER LEAF	6' HIGH X 4' WIDE	15 GALLON	LOW		2A-2.1
	SALVIA LEUCOPYLLA 'POINT SAL SPREADER'	POINT SAL PURPLE SALVIA	2' HIGH X 3' WIDE	1 GALLON	LOW		2&3L-2.1
	YUCCA WHIPPLEI	LORDS CANDLE	2' HIGH X 2' WIDE	5 GALLON	LOW		2&3L-2.1
	DIANELLA TASMANIA 'VARIEGATA'	VARIEGATED NEW ZEALAND FLAX	18" HIGH X 18" WIDE	5 GALLON	MODERATE (ENTRY COURTYARD ONLY)		2A-2.1
NATIVE	ENCHELIA CALIFORNICA	CALIFORNIA BRITTLEBUSH	3' HIGH X 3' WIDE	1 GALLON	LOW		2&3L-2.1
NATIVE	GALVEZIA SPECIOSA	CATALINA ISLAND SNAPDRAGON	3' HIGH X 3' WIDE	1 GALLON	LOW		2&3L-2.1
NATIVE	HETEROMELES ARBUTIFOLIA	TOYON	6' HIGH X 5' WIDE	15 GALLON	LOW		2A-2.1
	NEOREGELIA 'KIMBERLY'	KIMBERLY BROMELIAD	12" HIGH X 12" WIDE	1 GALLON	LOW		2A-2.1
	PHILLODENDRON 'XANADU'	XANADU PHILLODENDRON	2' HIGH X 2' WIDE	5 GALLON	MODERATE (ENTRY COURTYARD ONLY)		2A-2.1
	PHORMIUM 'FIREBIRD'	FIREBIRD NEW ZEALAND FLAX	5' HIGH X 4' WIDE	15 GALLON	MODERATE (ENTRY COURTYARD ONLY)		2A-2.1
	PITTOSPORUM CRASSIFOLIUM 'NANA'	DWARF KARO	2' HIGH X 3' WIDE	5 GALLON	LOW		2A-2.1
	RHAPHIOLEPIS UMBELLATA 'MINOR'	DWARF YEDDO HAWTHORN	2' HIGH X 2' WIDE	5 GALLON	LOW		2A-2.1
	SCHOFFLERA ARBORICOLA 'VARIEGATA'	VARIEGATED DWARF UMBRELLA TREE	8' HIGH X 4' WIDE	15 GALLON	MODERATE (ENTRY COURTYARD ONLY)		2A-2.1
	WESTRINGIA 'BLUE GEM'	BLUE GEM COAST ROSEMARY	4' HIGH X 3' WIDE	15 GALLON	LOW		2A-2.1

GROUND COVERS:							
SYMBOL	BOTANICAL NAME	COMMON NAME	MAX. MAINTAINED SIZE				
			SIZE IN 5 YEARS	CONTAINER SIZE	WULCOL WATER USE	DETAIL	
	CARISSA 'GREEN CARPET'	GREEN CARPET PROSTRATE NATAL PLUM	12" HIGH X SPREADING	1 GALLON @ 30" O.C.	LOW		2.3.4A-2.1
	CISTUS SALVIFOLIUS 'PROSTRATUS'	SAGELEAF ROCKROSE	1' HIGH X 4' WIDE	1 GALLON @ 30" O.C.	LOW		2&4A-2.1
NATIVE	OPUNTIA LITTORALIS	COASTAL PRICKLY PEAR	4' HIGH X 4' WIDE	TRANSPLANTED CUTTINGS, 12" O.C.	LOW		2.3.4A-2.1
	SYNAUGUSTINE 347 ARTIFICIAL LAWN	ARTIFICIAL LAWN	-	-	N/A		7&8L-2.1

VINES:							
SYMBOL	BOTANICAL NAME	COMMON NAME	MAX. MAINTAINED SIZE				
			SIZE IN 5 YEARS	CONTAINER SIZE	WULCOL WATER USE	DETAIL	
	HARDENBERGIA VIOLACEA	LILAC VINE	6' HIGH X SPREADING	15 GALLON, STAKED	LOW		5&6L-2.1

GREEN ROOF							
SYMBOL	BOTANICAL NAME	MIX DESCRIPTION	RATIO OF MIX	MODULE SIZE	COVERAGE	DETAIL	MATURE HEIGHT
	SESLERIA AUTUMNALIS	AUTUMN MOOR GRASS	TWO 1 GALLON PER MODULE CENTERED	DEEP MODULE 6" DEEP 30LBS/SQ FT (DRY) 50LBS/SQ FT (SATURATED)	95% ESTABLISHED AT TIME OF PLANTING	1/ L-2.2	12" HIGH FLOWERS TO 24" HIGH
	CRASSULA MULTICAVA 'NGABARA'	RED FERRY CRASSULA	CRASSULA CUTTINGS	DEEP MODULE 8" DEEP 30LBS/SQ FT (DRY) 50LBS/SQ FT (SATURATED)	95% ESTABLISHED AT TIME OF PLANTING	1/ L-2.2	6" HIGH

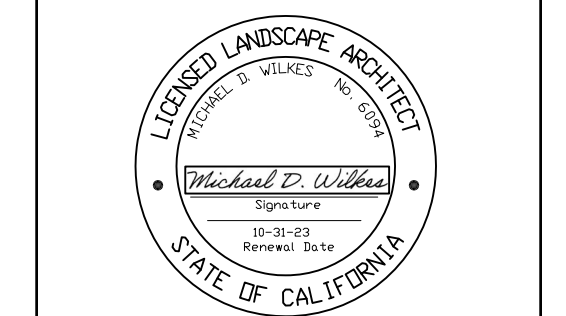
**SHEET INDEX:**

SHEET #	DESCRIPTION
L-2.0	PLANTING LEGEND AND NOTES
L-2.1	PLANTING PLAN
L-2.2	PLANTING PLAN - GREEN ROOF
L-2.3	PLANTING DETAILS
L-3.0	IRRIGATION PLAN AND NOTES
L-3.1	IRRIGATION DETAILS
L-3.2	IRRIGATION DETAILS
L-4.0	LANDSCAPE LIGHTING PLAN
LW-1	LANDSCAPE WORKSHEET

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**REVISIONS:**

NO.	DATE	DESCRIPTION



**CONSTRUCTION DOCUMENTS**  
**DUDUM RESIDENCE**  
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 Laguna Beach, CA 92651  
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 (949) 637-1050

**SHEET TITLE:**  
**PLANTING PLAN**

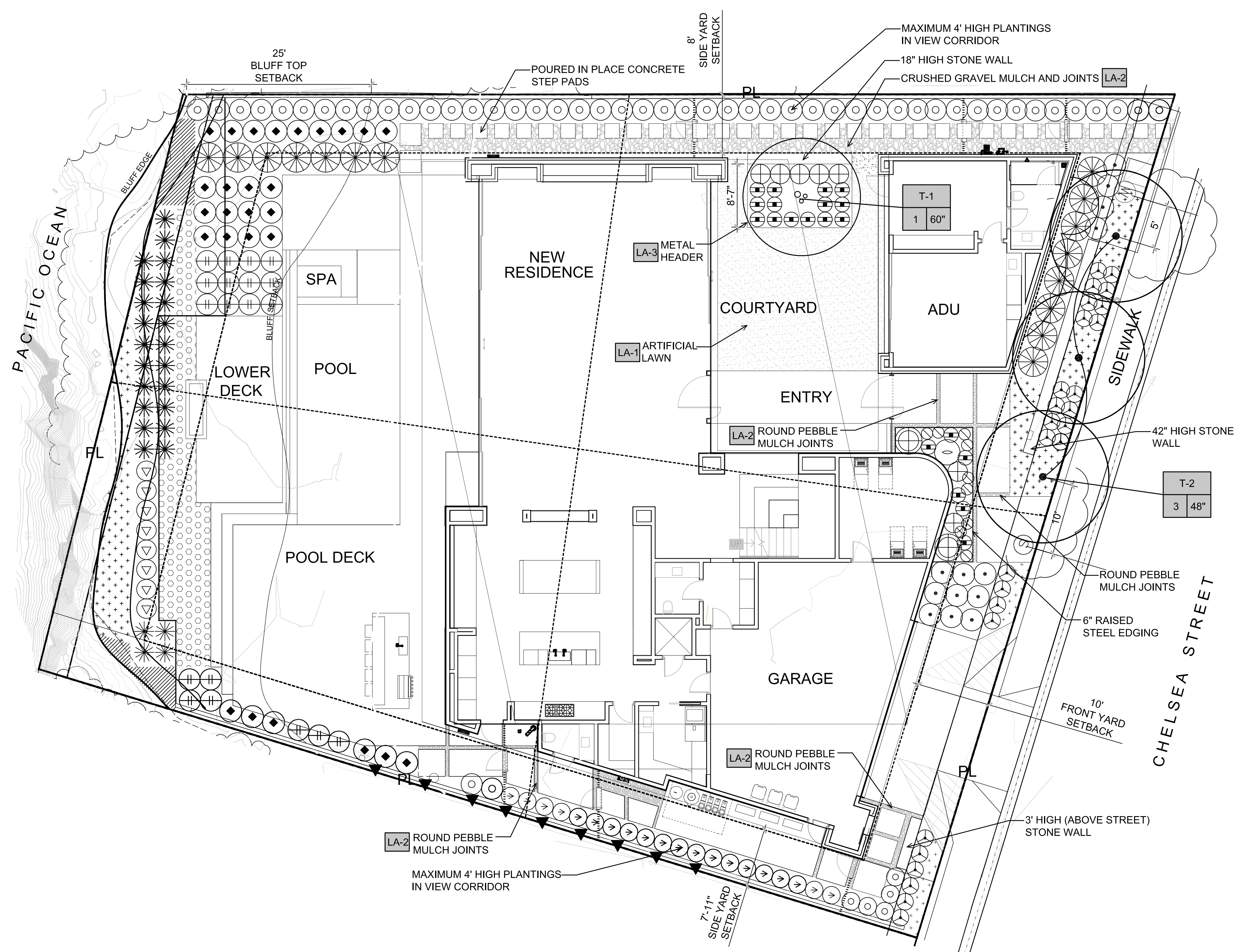
**PLOT DATE:** 2024 0111

**SCALE:** 1/8" = 1'-0"

**SHEET:**  
**L-2.0**

**CITY OF SAN DIEGO NOTES:**

- All landscape and irrigation shall conform to the standards of the City-Wide Landscape Regulations and the City of San Diego Land Development Manual Landscape Standards and all other landscape related City and Regional Standards
- MINIMUM TREE SEPARATION DISTANCE: Traffic signals / stop signs - 20 feet; Underground utility lines - 5 feet (10' for sewer); Above ground utility structures - 10 feet; Driveway (entries) - 10 feet (5' for residential streets < 25mph); Intersections (intersecting curb lines of two streets) - 25 feet
- Maintenance: All required landscape areas shall be maintained by the property owner. The landscape areas shall be maintained free of debris and litter, and all plant material shall be maintained in a healthy growing condition. Diseased or dead plant material shall be satisfactorily treated or replaced per the conditions of the permit." Or "within 30 days of a final landscape inspection."
- All pruning shall comply with the standards of the American National Standards Institute (ANSI) for tree care operations and the International Society of Arboriculture (ISA) for tree pruning. Topping of trees is not permitted
- "Irrigation: An automatic, electrically controlled irrigation system shall be provided as required by LDC 142.0403(c) for proper irrigation, development, and maintenance of the vegetation in a healthy, disease-resistant condition. The design of the system shall provide adequate support for the vegetation selected." Irrigation shall be drip tubing for all shrubs and ground cover and bubblers for trees.



**IRRIGATED PLANTING AREA:**

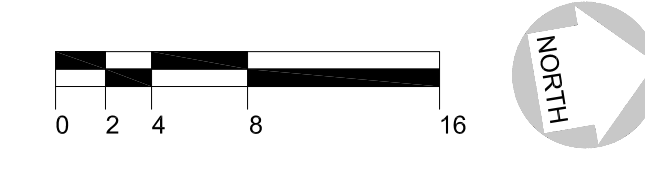
TOTAL RENOVATED IRRIGATED AREA	3,499 SF

- COORDINATION NOTES**
- REFER TO CIVIL ENGINEER'S GRADING AND DRAINAGE PLAN FOR FINISH GRADES IN ALL LANDSCAPE AREAS.
  - REFER TO ARCHITECT'S SITE PLAN FOR ALL WALLS, CURBS, WATER BASINS, AND PAVING.
  - REFER TO LANDSCAPE SPECIFICATIONS FOR PLANTER SOIL PREPARATION AND FINE GRADING.
  - COORDINATE SUB-SURFACE DRAIN LINES AND WALL FOOTINGS WITH PLANTING PLAN

I HAVE COMPLIED WITH THE CRITERIA OF THE IRRIGATION GUIDELINES AND APPLIED THEM ACCORDINGLY FOR THE EFFICIENT USE OF WATER IN THE IRRIGATION DESIGN PLAN

THE DESIGN OF THIS PROJECT COMPLIES WITH THE REQUIREMENTS OF THE CITY'S WATER EFFICIENT LANDSCAPE ORDINANCE AND DESIGN STANDARDS.

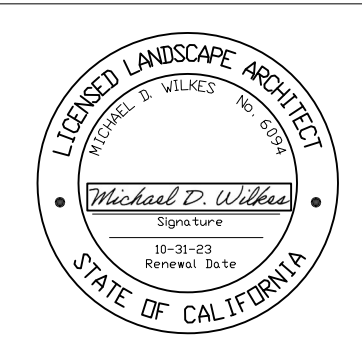
SIGNATURE: *Michael D. Wilkes* OCTOBER 4, 2022



LANDSCAPE CONSTRUCTION LEGEND					
KEY	ITEM	MATERIAL	SIZE	COLOR	SUPPLIER/ NOTES
	LA-1	ARTIFICIAL LAWN	SYNLAWN 347	-	SYNLAWN
	LA-2	ROUND PEBBLE MULCH	ROUND PEBBLE 2-3\"/>		
	LA-3	DURA EDGE STEEL EDGING	ROLLED STEEL	1/4\"/>	
	LA-4	LIVEROOF EDGE RESTRAINT	ALUMINUM	6\"/>	

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**SHEET TITLE:**  
 PLANTING PLAN

PLOT DATE: 2024 0111

SCALE: 1/8" = 1'-0"

**SHEET:**  
 L-2.1