



THE CITY OF SAN DIEGO

## Report to the Hearing Officer

DATE ISSUED: April 12, 2023 REPORT NO. HO-23-017  
HEARING DATE: April 19, 2023  
SUBJECT: 2621 LOGAN AVENUE, Process Three Decision  
PROJECT NUMBER: [697954](#)  
OWNER/APPLICANT: CATHERINE M. HERBST and TODD E. RINEHART, Owners/Applicants

### SUMMARY

Issue: Should the Hearing Officer approve a Coastal Development Permit and Site Development Permit for the demolition and removal of asphalt paving and chain link fencing from the project site and the construction of a new two-story eight-unit office building and mezzanines located at 2621 Logan Avenue within the Barrio Logan/Harbor 101 Community Plan area?

### Proposed Actions:

1. **Approve** Coastal Development Permit No. 2584650;
2. **Approve** Site Development Permit No. 2584651

Fiscal Considerations: There are no City expenditures being approved with this action. All costs associated with processing this Project are paid through a deposit account by the applicant.

Community Planning Group Recommendation: On September 21, 2022, the Barrio Logan Planning Group voted 9-0-0 to recommend approval of the proposed project with the condition that they be provided with any associated environmental documents. This request was fulfilled on January 27, 2023 when the Community Planning Group was sent the Notice of Right to Appeal as discussed in "Environmental Impact" section below.

Environmental Impact: This project was determined to be categorically exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA sections 15332 (In-Fill Development) and 15303 (New Construction or Conversion of Small Structures). This project is not pending an appeal of the environmental determination. The environmental exemption determination for this project was made on January 27, 2023, and the opportunity to appeal that determination ended February 10, 2023.

## BACKGROUND

The 0.16-acre project site is located at 2621 Logan Avenue (Attachments 1 and 2) in the Barrio Logan Planned District Redevelopment Subdistrict (BLPD-REDEVLP-SUBD) and the Coastal Zone (Non Appealable Area 2) within the Barrio Logan/Harbor 101 Community Plan area. The lot is located mid-block, east of South 26<sup>th</sup> Street and west of Interstate 5. The site has one existing lot with frontage on Logan Avenue and an unnamed alley to the south. The lot is currently developed with one 470-square-foot office unit constructed in 1948 that will remain, and asphalt paving and perimeter fencing that will be demolished. Being older than 45 years, the existing structure was evaluated for historic significance in accordance with San Diego Municipal Code (SDMC) Section [143.0212](#). Staff determined that the existing building does not meet the local designation criteria as an individually significant resource under any adopted Historical Resources Board Criteria.

The site is approximately 0.45 miles north of the San Diego Bay shoreline, and it is not located between the sea and the nearest public roadway paralleling the sea (Harbor Drive). The site has no existing physical coastal access used legally or otherwise by the public and is not located within or adjacent to a scenic view corridor or a scenic coastal area identified by the Local Coastal Program.

The site does not contain any Environmentally Sensitive lands as defined in SDMC Section [113.0103](#) and is not within, or adjacent to, the Multiple Species Conservation Program/Multi-Habitat Planning Area (MSCP).

## DISCUSSION

### *Project Description:*

The proposed project includes the demolition and removal of existing asphalt paving and chain link fencing from the project site and the construction of a new two-story, eight-unit, 4,849-square-foot office building. The existing 470-square-foot office building will remain.

SDMC [Chapter 15 Article 2](#) and divisions pertaining to the Barrio Logan Planned District were repealed January 27, 2022 by [O-21412 N.S.](#) (Attachment 6.a), effective February 26, 2022. However, the project site is within the Coastal Zone and these changes have not yet been certified by the Coastal Commission. Therefore, the project is subject to the regulations in effect at the time the project application was deemed complete on May 17, 2022, including SDMC Sections 152.0202, 152.0317(d), and 152.0319(g) described below.

The existing and proposed use is commercial/professional office which conforms to the Commercial land use designation of the applicable Barrio Logan Redevelopment Subdistrict San Diego Municipal Code (SDMC) Section 152.0317(d) and is permitted by right per Table 152-03A (Attachments 6.b and 6.c).

The project provides four vehicular parking spaces and two motorcycle parking spaces as required by SDMC section [142.0540](#), SDMC [Table 142-05H](#), and SDMC section [142.0530\(g\)](#). Staff determined that the project complies with required setbacks and floor area ratio (0.69 where 1.0 is allowed), and the proposed building height is 34 feet where a max building height of 35 feet is allowed per SMDC

Section 152.0319(g), Figure 4 (Attachment 6.d) of the Barrio Logan Redevelopment Subdistrict regulations.

The project's conditions of approval include the replacement of the existing curb along the project's Logan Avenue frontage with curb/gutter to meet current City standards, replacement of the existing sidewalk to meet current City standards, re-pavement of the rear/south alley, installation of new planting, irrigation and landscape related improvements, implementation of a Water Pollution Control Plan, storm water construction best management practices, and new water service(s) (Attachment 5).

*Required Approvals:*

The project consists of two discretionary actions which are required to be consolidated and considered as a Process 3 decision by the Hearing Officer in accordance with SDMC [112.0103](#), and which may be approved when appropriate findings are made to support the project (Attachment 4).

A Process 2 Coastal Development Permit (CDP) is required pursuant to SDMC section [126.0707](#) due to the project's location within the Coastal Overlay Zone (Non-appealable Area 2).

A Process 3 Barrio Logan Planned District Permit (in the form of a Site Development Permit/SDP) is required pursuant to applicable SDMC section 152.0202 for all proposed development within the Redevelopment Subdistrict of the Barrio Logan Planned District. As mentioned above, SDMC [Chapter 15 Article 2](#) and divisions pertaining to the Barrio Logan Planned District were repealed January 27, 2022 by [O-21412 N.S.](#) (Attachment 6.a), effective February 26, 2022. However, the project site is within the Coastal Zone and these changes have not yet been certified by the Coastal Commission. Therefore, the project is subject to the regulations in effect at the time the project application was deemed complete on May 17, 2022.

*Conclusion:*

Staff has reviewed the proposed Coastal Development Permit and Site Development Permit application and has determined the project conforms with the applicable sections of the SDMC and no deviations are required. Staff recommends the Hearing Officer APPROVE Coastal Development Permit No. 2584650 and Site Development Permit No. 2584651.

ALTERNATIVES

1. Approve Coastal Development Permit No. 2584650 and Site Development Permit No. 2584651, with modifications.
2. Deny Coastal Development Permit No. 2584650 and Site Development Permit No. 2584651, if the findings required to approve the project cannot be affirmed.

Respectfully submitted,



---

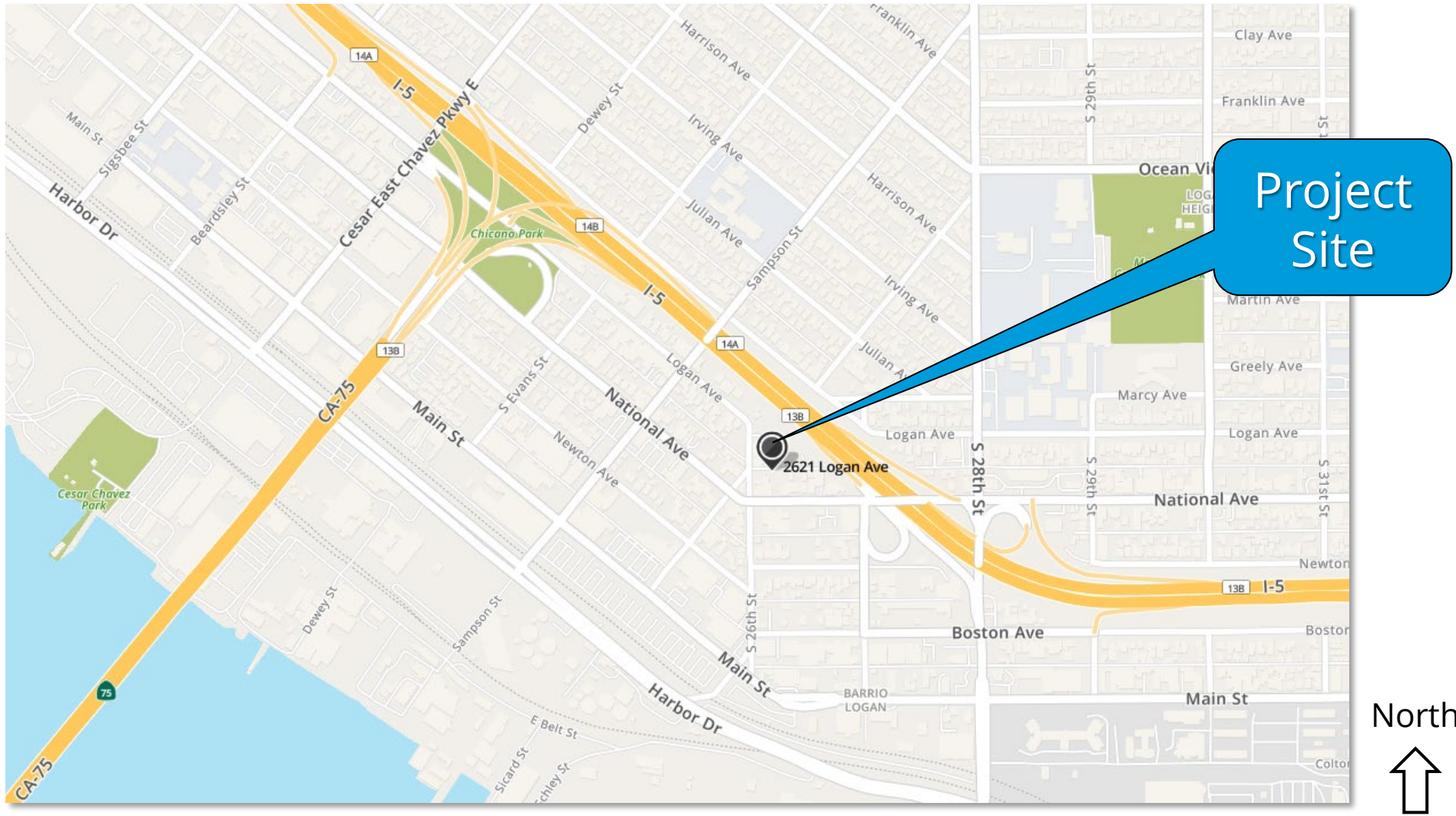
Carrie Lindsay  
Development Project Manager  
Development Services Department

Attachments:

1. Project Location Map
2. Aerial Photograph
3. Community Plan Land Use Map
4. Draft Resolution with Findings
5. Draft Permit with Conditions
6. SDMC Chapter 15, Article 2, Barrio Logan Planned District
7. Environmental Exemption
8. Community Planning Group Recommendation
9. Ownership Disclosure Statement
10. Project Plans



# Project Location Map



**2621 Logan Ave - Project Number 697954**





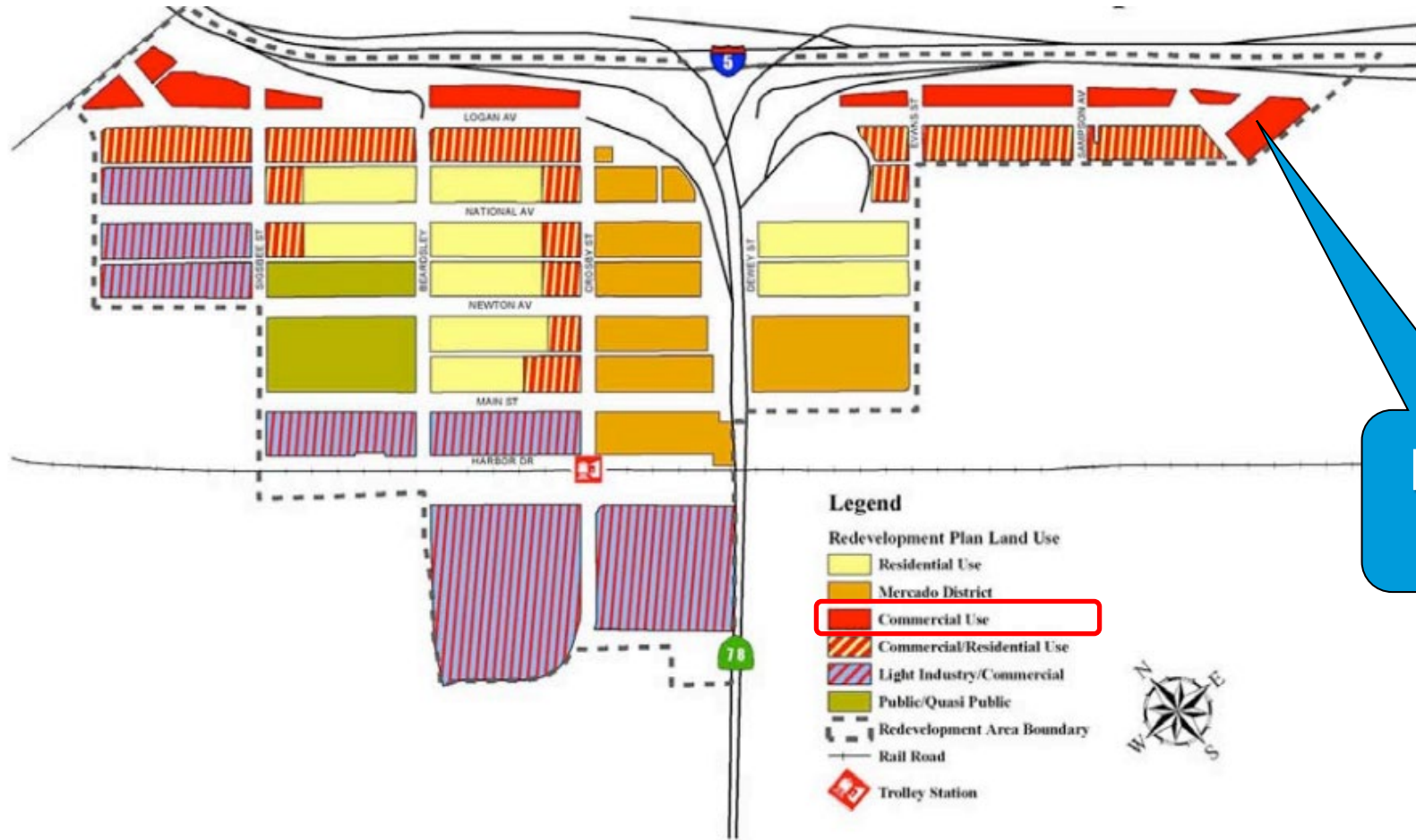
# Aerial Photo



**2621 Logan Ave - Project Number 697954**



# Barrio Logan Redevelopment Plan



Project Site

Barrio Logan  
Harbor 101  
North

2621 Logan Ave - Project Number 697954

HEARING OFFICER RESOLUTION NO. \_\_\_\_\_  
COASTAL DEVELOPMENT PERMIT NO. 2584650  
SITE DEVELOPMENT PERMIT NO. 2584651  
**2621 LOGAN AVENUE - PROJECT NO. 697954**

WHEREAS, CATHERINE M. HERBST AND TODD E. RINEHART, Owners/Permittee, filed an application with the City of San Diego for a permit for the demolition and removal of asphalt paving and chain link fencing from the project site and the construction of a new two-story, eight-unit office building and mezzanines totaling 4,849 square-feet adjacent to an existing 470-square-foot office unit (as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Coastal Development Permit No. 2584650 and Site Development Permit No. 2584651), on portions of a 0.16-acre site;

WHEREAS, the project site is located at 2621 Logan Avenue, also known as Assessor's Parcel Number 538-610-0900, in the Barrio Logan Redevelopment Subdistrict (BLPD-REDEVL-P-SUBD), and the Coastal Zone (Non Appealable Area 2) within the Barrio Logan/Harbor 101 Community Plan area;

WHEREAS, the project site is legally described as LOTS 19 AND 20 IN BLOCK 5 OF REED HUBBELL'S ADDITON, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEROF NO. 327, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO, JUNE 30 1886;

WHEREAS, on January 27, 2023, the City of San Diego, as Lead Agency, through the Development Services Department, made and issued an Environmental Determination that the project is exempt from the California Environmental Quality Act (CEQA) (Public Resources Code Section 21000 et seq.) under CEQA Guideline Sections 15332 (In-Fill Development) and 15303 (New Construction or Conversion of Small Structures). and there was no appeal of the Environmental Determination filed within the time period provided by San Diego Municipal Code (SDMC) Section 112.0520;



WHEREAS, on April 19, 2023, the Hearing Officer of the City of San Diego considered Coastal Development Permit No. 2584650 and Site Development Permit No. 2584651 pursuant to the Land Development Code of the City of San Diego; NOW THEREFORE,

BE IT RESOLVED by the Hearing Officer of the City of San Diego, that it adopts the following findings with respect to Coastal Development Permit No. 2584650 and Site Development Permit No. 2584651:

**A. COASTAL DEVELOPMENT PERMIT [SDMC Section 126.0708]**

**1. Findings for all Coastal Development Permits:**

- a. The proposed coastal development will not encroach upon any existing physical accessway that is legally used by the public or any proposed public accessway identified in a Local Coastal Program land use plan; and the proposed coastal development will enhance and protect public views to and along the ocean and other scenic coastal areas as specified in the Local Coastal Program (LCP) land use plan.**

The 2621 Logan Avenue project (project) proposes the demolition and removal of existing asphalt paving and chain link fencing from the project site and the construction of a new two-story, eight-unit, 4,849-square-foot office building adjacent to an existing 470-square-foot office building to remain.

The 0.16-acre project site is located at 2621 Logan Avenue in the Barrio Logan Redevelopment Subdistrict (BLPD-REDEVL-P-SUBD), Airport Land Use Compatibility Area (NAS North Island and San Diego International Airport) the Part 77 Notification Area (NAS North Island and San Diego International Airport), the Parking Impact Overlay Zone (Coastal), the Transit Area Overlay Zone, the Parking Standards Transit Priority Area, the Transit Priority Area, Promise Zone, and the Coastal (Non Appealable Area 2) Overlay Zone within the Barrio Logan/Harbor 101 Community Plan area. The site is designated Commercial per the Barrio Logan/Harbor 101 Community Plan.

The proposed project is approximately 0.45 miles north of the San Diego Bay shoreline, and not located between the sea and the nearest public roadway paralleling the sea (Harbor Drive). The proposed development will occur on private property and the site has no existing physical coastal access used legally or otherwise by the public, nor does it have any public access identified in the Local Coastal Program (LCP). The site is not located within or adjacent to a scenic view corridor or a scenic coastal area identified by the LCP. Therefore, the proposed coastal development will not encroach upon any existing physical accessway that is legally used by the public or any proposed public accessway identified in the LCP;

and the proposed coastal development will enhance and protect public views to and along the ocean and other scenic coastal areas as specified in the LCP.

**b. The proposed coastal development will not adversely affect environmentally sensitive lands.**

The project site is located mid-block in an urban developed area. The previously graded lot is currently developed with a 470-square-foot building, perimeter chain link fencing, and asphalt paving. The site does not contain any Environmentally Sensitive lands as defined in Land Development Code Section 113.0103. The site does not contain any sensitive riparian habitat or other identified habitat community or sensitive biological resources. The site is not within, or adjacent to, the Multiple Species Conservation Program/Multi-Habitat Planning Area (MSCP). Therefore, the proposed coastal development will not adversely affect environmentally sensitive lands.

**c. The proposed coastal development is in conformity with the certified Local Coastal Program land use plan and complies with all regulations of the certified Implementation Program.**

The 0.16-acre project site is located at 2621 Logan Avenue in the Barrio Logan Redevelopment Subdistrict (BLPD-REDEVLPSUBD). A Process 3 Barrio Logan Planned District Permit (in the form of a Site Development Permit/SDP) is required pursuant to applicable SDMC section 152.0202 for all proposed development within the BLPD-REDEVLPSUBD. SDMC Chapter 15 Article 2 and divisions pertaining to the Barrio Logan Planned District were repealed January 27, 2022 by O-21412 N.S., effective February 26, 2022. However, the project site is within the Coastal Zone and these changes have not yet been certified by the Coastal Commission. Therefore, the project is subject to the regulations in effect at the time the project application was deemed complete on May 17, 2022.

The project proposes the demolition and removal of existing asphalt paving and chain link fencing from the project site and the construction of a new two-story, eight-unit, 4,849-square-foot office building adjacent to an existing 470-square-foot office building to remain. The existing and proposed use is Commercial Professional Office which conforms to the Commercial Land Use Classification defined by the applicable Barrio Logan Redevelopment Subdistrict SDMC Section 152.0317(d) and is permitted by right per Table 152-03A.

The project is consistent with the Community Plan and the Barrio Logan Redevelopment Plan goals and policies, including allowing for the upgrading and expansion of existing commercial uses to promote a commercial environment which better serves community needs and supporting in-fill development in the existing community to strengthen the area's housing, commercial and industrial assets.

The project provides four vehicular parking spaces, including one van-accessible parking space, and two motorcycle parking spaces as required by SDMC section 142.0540, SDMC Table 142-05H, and SDMC section 142.0530(g). Four vehicular

parking spaces, including one van-accessible parking space, and two motorcycle parking spaces are provided. The project also complies with required setbacks and floor area ratio (0.69 where 1.0 is allowed), and the proposed building height is 34 feet where a max building height of 35 feet is allowed per SMDC Section 152.0319(g), Figure 4 of the applicable Barrio Logan Redevelopment Subdistrict regulations.

The project does not propose any deviations or variances from the applicable regulations and is consistent with the recommended land use designation, and development standards in effect for this site. Therefore, the development is in conformity with the certified Local Coastal Program land use plan and complies with all regulations of the certified Implementation Program.

- d. For every Coastal Development Permit issued for any coastal development between the nearest public road and the sea or the shoreline of any body of water located within the Coastal Overlay Zone the coastal development is in conformity with the public access and public recreation policies of Chapter 3 of the California Coastal Act.**

The proposed project is approximately 0.45 miles north of the San Diego Bay shoreline. It is not located between the sea and the nearest public roadway paralleling the sea (Harbor Drive). The U.S. Navy and the San Diego Unified Port District have primary jurisdiction along San Diego Bay south of the project site. Given the project's location and proposed development, the project will not interfere with the public's right of access to the sea. Therefore, the proposed coastal development is in conformity with the public access and public recreation policies of Chapter 3 of the California Coastal Act.

**B. SITE DEVELOPMENT PERMIT [SDMC Section 126.0505]**

**1. Findings for all Site Development Permits:**

- a. The proposed development will not adversely affect the applicable land use plan.**

See Finding A.1.c above, which is hereby incorporated by reference. The proposed development will not adversely affect the applicable land use plan.

- b. The proposed development will not be detrimental to the public health, safety, and welfare.**

The project is located in a developed urban neighborhood, is served by existing utilities, and will gain access from a developed public right-of-way on both Logan Avenue and the rear/south alley. The permit controlling the development and use of the proposed project for this site contains specific conditions addressing compliance with the City's codes, policies, regulations and other regional, state, and federal regulations to prevent detrimental impacts to the health, safety and general welfare of persons residing and/or working in the area. Conditions of approval require the review and approval of all construction plans by staff prior to construction to confirm

the construction of the project will comply with all applicable regulations. The construction will be inspected by certified building and engineering inspectors to assure construction is in accordance with the approved plans and with all applicable regulations.

The project includes conditions and corresponding exhibits of approval that will enhance the area include installation of public improvements in order to achieve compliance with the regulations of the SDMC including replacement of the existing curb along the project's Logan Avenue frontage with curb/gutter to meet current City standards, replacement of the existing sidewalk to meet current City standards, repavement of the rear/south alley, installation of new planting, irrigation and landscape related improvements, implementation of a Water Pollution Control Plan, storm water construction best management practices, and new water service(s). Therefore, the design of the subdivision or the types of improvements will not be detrimental to public health, safety, and welfare.

**c. The proposed development will comply with the regulations of the Land Development Code including any allowable deviations pursuant to the Land Development Code.**

See Finding A.1.c above, which is hereby incorporated by reference.

In addition, the project includes conditions and corresponding exhibits of approval that will enhance the area, including installation of public improvements in order to achieve compliance with the regulations of the SDMC, as described in finding B.1.b above which is incorporated here by reference.

The project does not propose deviations or variances from the applicable regulations and is consistent with the recommended land use designation, and development standards in effect for this site. Therefore, the proposed development will comply with the regulations of the Land Development Code including any allowable deviations pursuant to the Land Development Code.

The above findings are supported by the minutes, maps and exhibits, all of which are incorporated herein by this reference.

BE IT FURTHER RESOLVED that, based on these findings adopted by the Hearing Officer, Coastal Development Permit No. 2584650 and Site Development Permit No. 2584651 is hereby GRANTED by the Hearing Officer to the referenced Owner/Permittee, in the form, exhibits, terms and conditions as set forth in Coastal Development Permit No. 2584650 and Site Development Permit No. 2584651, a copy of which is attached hereto and made a part hereof.



---

Carrie Lindsay  
Development Project Manager  
Development Services

Adopted on: April 19, 2023  
IO#: 24009190

DRAFT

**RECORDING REQUESTED BY**  
CITY OF SAN DIEGO  
DEVELOPMENT SERVICES  
PERMIT INTAKE, MAIL STATION  
501

**WHEN RECORDED MAIL TO**  
**PROJECT MANAGEMENT**  
**PERMIT CLERK**  
**MAIL STATION 501**

INTERNAL ORDER NUMBER: 24009190

SPACE ABOVE THIS LINE FOR RECORDER'S USE

COASTAL DEVELOPMENT PERMIT NO. 2584650  
SITE DEVELOPMENT PERMIT NO. 2584651  
**2621 LOGAN AVENUE - PROJECT NO. 697954**  
HEARING OFFICER

This Coastal Development Permit No. 2584650 and Site Development Permit No. 2584651 is granted by the Hearing Officer of the City of San Diego to CATHERINE M. HERBST AND TODD E. RINEHART, Owners/Permittees, pursuant to San Diego Municipal Code (SDMC) Section 126.0702 and Section 152.202(b). The 0.16-acre site is located at 2621 Logan Ave, also known as Assessors Parcel Number 538-610-0900, in the Barrio Logan Redevelopment Subdistrict (BLPD-REDEVLP-SUBD), Airport Land Use Compatibility Area (NAS North Island and San Diego International Airport) the Part 77 Notification Area (NAS North Island and San Diego International Airport), the Parking Impact Overlay Zone (Coastal), the Transit Area Overlay Zone, the Parking Standards Transit Priority Area, the Transit Priority Area, Promise Zone, and the Coastal (Non-Appealable Area 2) Overlay Zone within the Barrio Logan/Harbor 101 Community Plan area. The project site is legally described as: LOTS 19 AND 20 IN BLOCK 5 OF REED HUBBELL'S ADDITON, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEROF NO. 327, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO, JUNE 30 1886.

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner/Permittee to demolish and remove paving and fencing from the project site and the construction of a new two-story, eight-unit office building and mezzanines described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated April 19, 2023, on file in the Development Services Department.

The project shall include:

- a. Demolition and removal of asphalt paving & chain link fencing;
- b. Construction of a two-story, eight-unit office building and mezzanines totaling 4,849 square feet;
- b. Landscaping (planting, irrigation, and landscape related improvements);

- c. Off-street parking;
- d. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act [CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

**STANDARD REQUIREMENTS:**

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36-month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by May 3, 2026.
2. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
  - a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
  - b. The Permit is recorded in the Office of the San Diego County Recorder.
3. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.
4. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.
5. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
6. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).
7. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.

8. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.

9. All of the conditions contained in this Permit have been considered and were determined necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

10. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

**CLIMATE ACTION PLAN REQUIREMENTS:**

11. Owner/Permittee shall comply with the Climate Action Plan (CAP) Consistency Checklist stamped as Exhibit "A." Prior to issuance of any construction permit, all CAP strategies shall be noted within the first three (3) sheets of the construction plans under the heading "Climate Action Plan Requirements" and shall be enforced and implemented to the satisfaction of the Development Services Department.



**ENGINEERING REQUIREMENTS:**

12. Prior to the issuance of any building permit the Owner/Permittee shall assure by permit and bond the replacement of existing curb with curb/gutter per current City Standards along Logan Avenue frontage to satisfaction of the City Engineer.
13. Prior to the issuance of any building permit the Owner/Permittee shall assure by permit and bond the replacement of existing sidewalk with current City Standard sidewalk, maintaining the existing sidewalk scoring pattern and preserving the contractor's stamp, adjacent to the site on Logan Avenue.
14. Prior to the issuance of any building permit the Owner/Permittee shall assure by permit and bond the re-pavement of the alley (full width, P.L. to P.L.) with current City Standard, adjacent to the site to satisfaction of The City Engineer.
15. Prior to the issuance of any building permit the Owner/Permittee shall obtain an Encroachment Maintenance Removal Agreement, from the City Engineer, for private walk and landscaping/irrigation within Logan Avenue public right of way.
16. Prior to the issuance of any construction permit the Owner/Permittee shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be prepared in accordance with the guidelines in Part 2 Construction BMP Standards Chapter 4 of the City's Storm Water Standards.

**LANDSCAPE REQUIREMENTS:**

17. Prior to issuance of any construction permit for grading, the Owner/Permittee shall submit complete construction documents for the revegetation and hydro-seeding of all disturbed land in accordance with the City of San Diego Landscape Standards, Storm Water Design Manual, and to the satisfaction of the Development Services Department. All plans shall be in substantial conformance to this permit (including Environmental conditions) and Exhibit "A," on file in the Development Services Department.
18. Prior to issuance of any construction permit for public improvements, the Owner/Permittee shall submit complete landscape construction documents for right-of-way improvements to the Development Services Department for approval. Improvement plans shall show, label, and dimension a 40-square-foot area around each tree which is unencumbered by utilities. Driveways, utilities, drains, water, and sewer laterals shall be designed so as not to prohibit the placement of street trees.
19. Prior to issuance of any construction permit for building (including shell), the Owner/Permittee shall submit complete landscape and irrigation construction documents, which are consistent with the Landscape Standards, to the Development Services Department for approval. The construction documents shall be in substantial conformance with Exhibit "A," Landscape Development Plan, on file in the Development Services Department. Construction plans shall provide a 40-square-foot area around each tree that is unencumbered by hardscape and utilities unless otherwise approved per §142.0403(b)6.

20. In the event that a foundation only permit is requested by the Owner/Permittee, a site plan or staking layout plan, shall be submitted to the Development Services Department identifying all landscape areas consistent with Exhibit "A," Landscape Development Plan, on file in the Development Services Department. These landscape areas shall be clearly identified with a distinct symbol, noted with dimensions, and labeled as 'landscaping area.'

21. The Owner/Permittee shall be responsible for the maintenance of all landscape improvements shown on the approved plans, including in the right-of-way, unless long-term maintenance of said landscaping will be the responsibility of another entity approved by the Development Services Department. All required landscape shall be maintained consistent with the Landscape Standards in a disease, weed, and litter free condition at all times. Severe pruning or "topping" of trees is not permitted.

22. If any required landscape (including existing or new plantings, hardscape, landscape features, etc.) indicated on the approved construction documents is damaged or removed, the Owner/Permittee shall repair and/or replace in kind and equivalent size per the approved documents to the satisfaction of the Development Services Department within 30 days of damage or Certificate of Occupancy.

**PLANNING/DESIGN REQUIREMENTS:**

23. A topographical survey conforming to the provisions of the SDMC may be required if it is determined, during construction, that there may be a conflict between the building(s) under construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Owner/Permittee.

24. All private outdoor lighting shall be shaded and adjusted to fall on the same premises where such lights are located and in accordance with the applicable regulations in the SDMC.

**TRANSPORTATION REQUIREMENTS:**

25. The automobile, motorcycle and bicycle parking spaces must be constructed in accordance with the requirements of the SDMC. All on-site parking stalls and aisle widths shall be in compliance with requirements of the City's Land Development Code and shall not be converted and/or utilized for any other purpose, unless otherwise authorized in writing authorized by the appropriate City decision maker in accordance with the SDMC.

**GEOLOGY REQUIREMENTS:**

26. Prior to the issuance of any construction permits (either grading or building permit), the Owner/Permittee shall submit a geotechnical investigation report prepared in accordance with the City's "Guidelines for Geotechnical Reports" that specifically addressed the proposed construction plans. The geotechnical investigation report shall be reviewed for adequacy by the Geology Section of Development Services prior to the issuance of any construction permit.

**PUBLIC UTILITIES DEPARTMENT REQUIREMENTS:**

27. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, the design and construction of new water and sewer service(s) outside of any driveway or drive aisle and the abandonment of any existing unused water and sewer services within the right-of-way adjacent to the project site, in a manner satisfactory to the Public Utilities Department and the City Engineer.

28. Owner/Permittee shall apply for a plumbing permit for the installation of appropriate private back flow prevention device(s), on each water service (domestic, fire and irrigation), in a manner satisfactory to the Public Utilities Department and the City Engineer. BFPDs shall be located above ground on private property, in line with the service and immediately adjacent to the right-of-way.

29. All proposed private water and sewer facilities are to be designed to meet the requirements of the California Uniform Plumbing Code and will be reviewed as part of the building permit plan check.

30. No trees or shrubs exceeding three feet in height at maturity shall be installed within ten feet of any sewer facilities and five feet of any water facilities.

**INFORMATION ONLY:**

- The issuance of this discretionary permit alone does not allow the immediate commencement or continued operation of the proposed use on site. Any operation allowed by this discretionary permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Hearing Officer of the City of San Diego on April 19, 2023 and Resolution No.

\_\_\_\_\_.

**ATTACHMENT 5**

Coastal Development Permit No. 2584650  
Site Development Permit No. 2584651  
Date of Approval: April 19, 2023

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES DEPARTMENT

\_\_\_\_\_  
Carrie Lindsay  
Development Project Manager

**NOTE: Notary acknowledgment  
must be attached per Civil Code  
section 1189 et seq.**

\_\_\_\_\_  
**The undersigned Owner/Permittee**, by execution hereof, agrees to each and every condition of  
this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

By \_\_\_\_\_  
CATHERINE M. HERBST  
Owner/Permittee

By \_\_\_\_\_  
TODD E. RINEHART  
Owner/Permittee

**NOTE: Notary acknowledgments  
must be attached per Civil Code  
section 1189 et seq.**



**Article 2: Barrio Logan Planned District***("Barrio Logan Planned District" added 3-27-2007 by O-19592 N.S.)***Division 2: Permits and Procedures***("Permits and Procedures" added 3-27-2007 by O-19592 N.S.)***§152.0201 Administrative Regulations**

## (a) General Provisions

- (1) Any use, except for those uses permitted in the Barrio Logan Planned District which existed on March 2, 1992, shall be considered a previously conforming use. Land Development Code Chapter 12, Article 7, Division 1 (General Review Procedures for Previously Conforming Premises and Uses) shall apply except that expansion or enlargement of previously conforming uses is not permitted.
- (2) If an applicant proposes to move a building from one location to another, the applicant shall first obtain a Neighborhood Development Permit pursuant to Land Development Code Section 143.0302.
- (3) All City projects, government subsidized projects, public facilities, structures and improvements, and redevelopment projects, shall conform to the purpose and intent of the Barrio Logan Planned District and shall be subject to the same regulations, conditions and standards established in the Barrio Logan Planned District.

## (b) Exceptions

- (1) The amendments herein shall not apply to any project for which a building permit has been obtained or for which a complete application has been received and accepted by the City prior to March 2, 1992. Amendments to approved permits shall be subject to the provisions of the Barrio Logan Planned District.
- (2) Unless the work would expand a previously conforming use, approval by the City Manager is not required for interior modifications, repairs or alterations for which a building permit is not required as of March 2, 1992.

- (3) A Hearing Officer may approve, conditionally approve or deny, in accordance with Process Three, any or all of the following exceptions listed in Section 152.0201(b)(3)(A) through (b)(4) to certain Redevelopment Subdistrict regulations provided such exception(s) would serve to carry out the purpose and intent of the Redevelopment Subdistrict. These exceptions shall be limited to the area within the Redevelopment Subdistrict bounded by Harbor Drive, the Coronado Bay Bridge rights-of-way and the Barrio Logan Redevelopment Project Area boundaries, and shall apply only if this portion of the Redevelopment Subdistrict continues to be used for marine oriented industries, and port related transportation uses. The exceptions are:
- (A) Section 152.0405 (Outdoor Display, Operation and Storage) shall only apply to the portion of the property lying within 50 feet of the Harbor Drive property line. All other property included within the exception area described in Section 152.0201(b)(3), is exempt from the regulations of Section 152.0405.
  - (B) Enclosure requirements shall not apply to equipment and installations which are integral parts of the manufacturing or industrial process on the premises.
  - (C) Merchandise, material or equipment may be stored at a height greater than the wall or fence which screens it from Harbor Drive as allowed in Section 152.0201(b)(3)(A) above, provided the merchandise, material, or equipment is located at least 50 feet from the Harbor Drive property line.
  - (D) Except for office buildings, the height of structures may exceed the maximum building height of 35 feet or 2 stories established in Section 152.0319 (Figure 4). However, this exception shall apply only to structures which are an integral part of the exclusive use and directly related to the existing industrial operations on the property.
  - (E) Should a property span 2 or more Barrio Logan Subdistricts or spans the Barrio Logan Planned District and the Centre City Planned District, that property shall be subject to consistent regulations to be determined by the Hearing Officer at the time of review.

- (4) In granting any exception, the Hearing Officer shall make the following findings:
- (A) The proposed exception shall not result in any substantial reduction of public views toward San Diego Bay or Centre City.
- (B) The proposed exception is consistent with the goals, objectives and intent of the Barrio Logan Redevelopment Plan and the Redevelopment Subdistrict of the Barrio Logan Planned District.

*(“Administrative Regulations” added 3-27-2007 by O-19592 N.S.; effective 4-26-2007.)*

*(Amended 3-22-2018 by O-20917 N.S.; effective 4-21-2018.)*

## **§152.0202 Permit Application, Review and Issuance**

- (a) General Permit Procedures
- (1) No permit shall be issued for the installation of fixtures or equipment, or for the erection, construction, conversion, establishment, alteration, rehabilitation, demolition, move on, addition or enlargement of any building, structure or improvement, or for the occupancy of any building, structure or premises, or for the grading, subdivision or street closure, nor shall any site be used in any portion of the Barrio Logan Planned District until the application has been approved pursuant to Section 152.0202(b)(1) through (b)(5). Each applicant shall state the purpose for which the proposed building, structure or improvement is intended to be used. Applications for grading permits and demolition of structures shall not be accepted unless application is made concurrently for a building permit.

- (2) The City Manager shall review projects which affect historic sites designated pursuant to all applicable Municipal Code sections. All applications for the demolition or removal of any building shall be submitted to the City Manager for review. The City Manager may approve, in accordance with Process One, an application for a demolition permit if it is determined that the site in question is not a potential historic site.

The City Manager shall make that determination within 10 working days of the receipt of the application. If the City Manager does not make the determination within the specified period, the site shall be deemed not to be a potential historic structure. If the site is a potential historic structure, the demolition or removal permit application may be approved, conditionally approved or denied by the Planning Commission, in accordance with Process Four. The application shall not be approved for 90 calendar days or until the Historical Resources Board has evaluated and acted on the site's historical significance, whichever occurs first. The provisions of Section 152.0202(a)(2) do not apply to the following:

- (A) Any building or structure found by the Building Official of the City of San Diego to present a hazard to public health or safety and for which an emergency permit for demolition must be issued; or
- (B) Any permit approved as part of a development project submitted, reviewed and approved in accordance with the Barrio Logan Planned District, and provided that the development application includes an environmental document prepared in accordance with the California Environmental Quality Act which describes and addresses the historic/architectural significance of the property. The environmental document shall be reviewed by the Historical Resources Board for the purpose of recommending to the City Manager whether the proposed project should be approved, modified or denied based on the importance of the existing building(s) or structure(s).

- (3) If any structure or building is intentionally demolished or substantially damaged without obtaining a demolition permit, a building permit for that site will not be issued for a period of one year, or a previously issued permit may be revoked for a period of one year from the date the City is made aware of the demolition. If the demolished or damaged structure was a designated historic site, a building permit will not be issued for 2 years, or a previously issued building permit may be revoked for a period of 2 years from the date the City is made aware of the demolition.
  - (4) The City Manager or designee shall review all development proposals located within the Redevelopment Subdistrict of the Barrio Logan Planned District, and make recommendations to the Hearing Officer.
- (b) Barrio Logan Planned District Permit
- (1) A Barrio Logan Planned District Permit (Process Three) is required for all proposed development within the Redevelopment Subdistrict of the Barrio Logan Planned District. Additions to existing developments within the Redevelopment Subdistrict which meet all development regulations and do not exceed 20 percent of the existing floor area shall be reviewed as a Process One. All proposed development outside the redevelopment subdistrict which meets the relevant development regulations shall be reviewed as a Process One. The City Manager may conduct further review and approve or deny an application for an exception from the provisions of the Barrio Logan Planned District in accordance with Process Two, when the application is for limited relief in the case of new construction or remodeling which would result in a finished product (all structures on the premises) deviating 20 percent or less from applicable development regulation pertaining to: required yards or setbacks, coverage, or special character design criteria included in Section 152.0310(h). However, the City Manager shall require additional landscaping that may be feasibly placed on the site or parkway according to City-wide landscape standards, and/or other architectural features or improvements.
  - (2) The City Manager shall in no case provide Administrative Review or approve an application for an exception from floor area ratio, height, density, amount of parking, or use.

- (3) The decision of the City Manager shall be based upon substantial conformance with the regulations and the Purpose and Intent of the Barrio Logan Planned District. The granting of a deviation shall be for the purpose of providing design flexibility resulting in a project which benefits surrounding properties and the community.
  - (4) The City Manager's decision may be appealed to the Planning Commission in accordance with Land Development Code Section 112.0504. Prior to the filing of the application, the applicant shall pay to the City a deposit equal to the estimated cost of processing the application. The deposit shall be adjusted periodically by the City Manager to ensure full cost recovery. A current list of all deposits is kept in the office of the City Clerk.
  - (5) The permit application shall be filed in accordance with Land Development Code Section 112.0102. An application for a Barrio Logan Planned District Permit may be approved, conditionally approved or denied by a Hearing Officer, in accordance with Process Three. The Hearing Officer's decision may be appealed to the Planning Commission in accordance with Section 112.0506.
- (c) Coastal Development Permit
- A Coastal Development Permit is required for all proposed development within the Barrio Logan Planned District except for development specifically exempted under Land Development Code Section 126.0704 or categorically excluded pursuant to Categorical Exclusion Order No. (Editor's note: a number will be inserted if and when a Categorical Exclusion Order is issued by the California Coastal Commission.)
- (d) Variances and Conditional Use Permits.
- (1) Variances and conditional use permits may be granted where variances or permits would serve to carry out the purpose and intent of the Barrio Logan Planned District, provided findings are made in accordance with Land Development Code Section 126.0305 or Section 126.0805 as applicable.
  - (2) Applications for zone variances or conditional use permits shall be processed concurrently with any other required discretionary actions relating to the subject property, in accordance with Land Development Code Section 112.0103.

- (3) The procedure for application for Variance, Conditional Use Permit and Subdivision, as well as the procedures for taking action on such matters, shall be the same as set forth in Land Development Code Chapter 11 (Land Development Procedures) and Chapter 12 (Land Development Reviews).

*(“Permit Application, Review and Issuance” added 3-27-2007 by O-19592 N.S.; effective 4-26-2007.)*

*(Amended 5-7-2012 by O-20156 N.S.; effective 6-6-2012.)*

**§152.0317 Redevelopment Subdistrict - Land Use Classifications**

Permitted land uses within the Barrio Logan Redevelopment Subdistrict are grouped into Land Use Classifications. Land use classifications describe one or more uses having similar characteristics but do not list every use or activity that may be appropriate within the use classification. If a classification of use is necessary, the Planning Commission shall make that determination, in accordance with Process Four, taking into consideration the purpose and intent of the Redevelopment Subdistrict. The Planning Commission shall adopt a resolution embodying their determination. Certain land uses, as indicated in Section 152.0317, shall be examined on a case by case basis by the City Manager to determine whether and under which conditions those uses may be approved at a given site in accordance with Municipal Code Section 151.0401.

## (a) Residential

- (1) Single Family Residential
- (2) Multifamily Residential
- (3) Live/Work Quarters (Lofts): live/work quarters (lofts) shall be permitted within the Redevelopment Subdistrict of the Barrio Logan Planned District.
- (4) Senior Citizens Housing
- (5) Limited Residential
- (6) Mercado District Residential: This classification applies to the block bounded by Newton Avenue, Evans Street, Dewey Street and Main Street. Convenience commercial uses may include uses listed in Section 152.0317(c). Accessory uses may include, but not be limited to, recreation centers, health/fitness clubs and child care centers. Combined convenience commercial services and accessory uses shall not have a total square footage greater than 25 percent of the gross square footage of the lot area.
- (7) Shopkeeper units



- (b) Commercial Retail
  - (1) Food/Grocery Sales
  - (2) Retail Sales
  - (3) Liquor Sales: A Conditional Use Permit
  - (4) Limited Commercial: This classification applies only to the Residential Use designation shown in Table 152-03A, and includes establishments listed in Sections 152.0317(b)(1), (b)(2), (c)(1), (c)(4), (c)(5), (c) (7), (c)(9), (c)(10) and (d)(1) provided such establishments front a public street, are directly accessible from the sidewalk, and do not have a total square footage greater than 20 percent of the total gross square footage of the lot area. This classification excludes home occupations described in Land Development Code Section 141.0308.
  
- (c) Commercial Services
  - (1) Artists' Studios
  - (2) Banks, Credit Unions, and Savings and Loan Associations: This classification applies only to those institutions engaged in the on-site circulation of cash. Drive-through banking facilities are not permitted.
  - (3) Building Materials and Services: This classification includes but is not limited to tool and small equipment sales or rentals (no ridden equipment) and building contractors' showrooms, but excludes activities classified under vehicle/equipment sales and services, as set out in Section 152.0317(f).
  - (4) Business, Communication and Home Services: This classification excludes activities specified under vehicle/ equipment sales and services in Section 152.0317(f).
  - (5) Catering Services
  - (6) Commercial Recreation and Entertainment: Typical uses include bowling alleys, miniature golf courses, tennis and racquet ball courts, gymnasiums and movie theaters. Video and pinball machine establishments and billiard and card parlors are prohibited.

- (7) Eating and Drinking Establishments: The sale of alcoholic beverages in the Barrio Logan Planned District must comply with the provisions of Land Development Code Section 141.0502.
- (8) Laboratories
- (9) Personal Improvement Services
- (10) Personal and Convenience Services
- (11) Wholesale and Warehouse: This classification excludes auto storage.
- (12) Visitor Accommodations:
  - (A) Bed and Breakfast Inns
  - (B) Hotels and Motels: This classification includes eating, drinking and banquet service.
  - (C) Single-Room-Occupancy ("SRO"): Within the Barrio Logan Redevelopment Subdistrict, each SRO unit shall have a minimum of 200 square feet, and the project shall not exceed 1.0 FAR. A Conditional Use Permit (CUP), decided by Process Three is required. SRO's shall be separated by a straight line (measured from property line to property line) of no less than one-quarter mile to another SRO within the Barrio Logan Planned District.
- (d) Commercial/Professional Office
  - (1) Professional and Business Offices
  - (2) Government Offices
- (e) Public and Quasi Public
  - (1) College and Universities
  - (2) Schools, Public or Private
  - (3) Cultural Institutions

**§152.0316 Redevelopment Subdistrict Permitted Land Use Categories**

Six major land use categories, described in Figure 2 of the Barrio Logan Planned Districts, are permitted within the Redevelopment Subdistrict: Commercial Use, Mercado District, Commercial/Residential Mixed Use, Residential Use, Public/Quasi-Public Use, and Light Industry/Commercial Use. The permitted land use classifications within each of these six land use categories are described in Section 152.0317 (Redevelopment Subdistrict - Land Use Classifications) and in Table 152-03A.

**Legend for Table 152-03A**

- P Permitted**
- CUP Conditional Use Permit**
- Not Permitted**

**Table 152-03A  
Permitted Land Use Categories**

Land Use Classifications	Land Use Categories					
	Commercial Use	Mercado District	Comm/Res. Mixed Use	Residential Use	Public/Quasi - Public Use	Light Industrial/Comm. Use
<b>Residential</b>						
Single Family	-	-	P	P	-	-
Multi-Family	-	P	P	P	-	-
Live/Work (Loft)	P	-	P	P	-	P
Senior Citizen Housing	P	P	P	P	-	-
Mercado District Residential	-	See Section 152.0317 (a)(6)	-	-	-	-
Shopkeeper Units [See Section 113.0103]	P	P	P	-	-	-
<b>Commercial Retail</b>						
Food/Grocery Sales	P	P	P	-	-	P
Retail Sales	P	P	P	-	-	P

Land Use Classifications	Land Use Categories					
	Commercial Use	Mercado District	Comm/Res. Mixed Use	Residential Use	Public/Quasi - Public Use	Light Industrial/Comm. Use
Liquor Sales	CUP	CUP	CUP	-	-	CUP
Limited Commercial	-	-	-	See Section 152.0317 (b)(4)	-	-
<b>Commercial Services</b>						
Artist's Studios	P	P	P	P	P	P
Banks/Credit Unions/Savings & Loans	P	P	P	-	-	P
Building Materials/Services	P	-	P	-	-	P
Business/Communication/Home Services	P	P	P	-	-	P
Catering Services	P	P	P	-	-	P
Commercial Recreation/Entertainment	P	P	P	-	-	P
Eating/Drinking Establishment	P	P	P	-	-	P
Laboratories	P	-	P	-	-	P
Personal Improvement Services	P	P	P	-	-	P
Personal/Convenience Services	P	P	P	-	-	P
Wholesale/Warehouse	P	-	P	-	-	P
Visitor Accommodations						
Hotels/Motels	P	P	P	-	-	-
Single Room Occupancy	CUP	-	CUP	-	-	-
<b>Commercial Professional Office</b>						
Professional/business Office	P	P	P	P	-	P

Land Use Classifications	Land Use Categories					
	Commercial Use	Mercado District	Comm/Res. Mixed Use	Residential Use	Public/Quasi - Public Use	Light Industrial/Comm. Use
Government Offices	P	-	P	-	P	P
<b>Public/Quasi Public</b>						
Colleges/Universities	P	P	P	P	P	P
Schools, Public or Private	P	P	P	P	P	P
Cultural Institutions	P	P	P	P	P	P
Performing Arts/Theatres	P	P	P	P	P	P
Religious Assembly	P	P	P	P	P	P
Park & Recreation Facilities	P	P	P	P	P	P
Child Care Facilities	P	P	P	P	P	P
Clubs/Lodges/Fraternal Organizations	P	P	P	P	P	P
Nonprofit Charitable Institutions	CUP	CUP	CUP	-	CUP	CUP
Limited Human Care Facility Community/						
Primary Health Care	CUP	CUP	CUP	-	CUP	CUP
Residential Care	CUP	CUP	CUP	-	CUP	CUP
Utilities	CUP	-	CUP	-	CUP	CUP
<b>Vehicle/Equipment Sales &amp; Services</b>						
Vehicle/Equipment Sales/Rentals	-	-	-	-	-	P
Vehicle/Equipment Repair	-	-	-	-	-	P
Auto Paint/Washing/Detailing	-	-	-	-	-	P
Auto Service Stations	-	-	-	-	-	P
<b>Light Industrial</b>						

Land Use Classifications	Land Use Categories					
	Commercial Use	Mercado District	Comm/Res. Mixed Use	Residential Use	Public/Quasi - Public Use	Light Industrial/Comm. Use
Limited Manufacturing	-	-	-	-	-	P
Maintenance/Repair/Service Facilities	-	-	-	-	-	P
Marine Oriented/Waterfront Dependent	-	-	-	-	-	P
Wholesale, Storage Distribution	-	-	-	-	-	P
Research and Development Facilities	-	-	-	-	-	P
Transportation Facilities & Related Storage	-	-	-	-	-	P
Limited Industrial	-	See Section 152.0317 (g)(7)	-	-	-	-
<b>Parking</b>						
Surface Parking	P	P	P	P	P	P
Parking Structure	P	P	P	P	P	P
<b>Accessory Uses</b>	P	P	P	P	P	P

*(“Redevelopment Subdistrict Permitted Land Use Categories” added 3-27-2007 by O-19592 N.S.; effective 4-26-2007.)*

*(Amended 7-10-2015 by O-20512 N.S.; effective 8-9-2015.)*

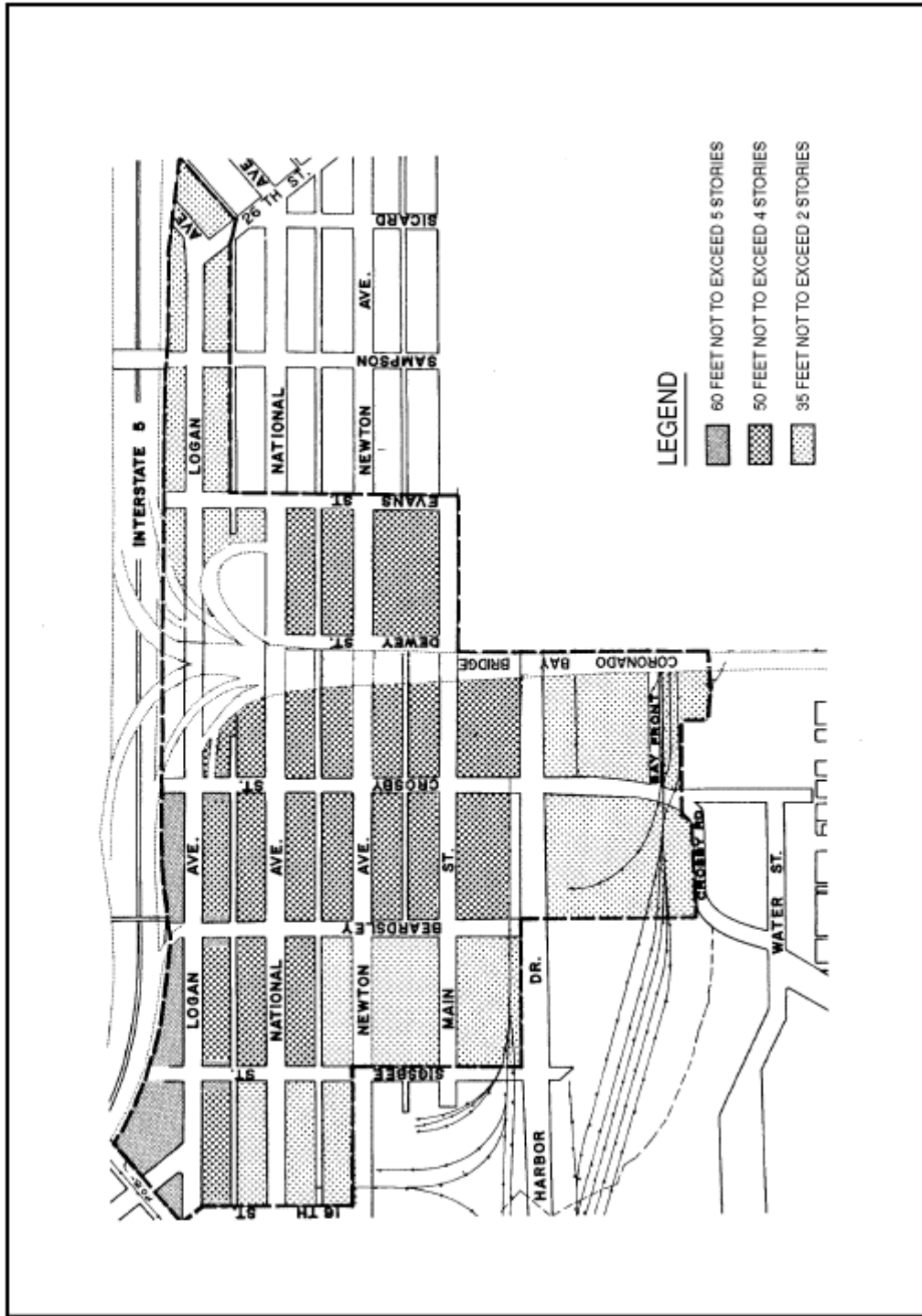
*(Amended 4-14-2021 by O-21305 N.S.; effective 5-29-2021.)*

**[Editors Note:** Amendments as adopted by O-21305 N.S. will not apply within the Coastal Overlay Zone until the California Coastal Commission certifies it as a Local Coastal Program Amendment.

Click the link to view the Strikeout Ordinance highlighting changes to prior language [http://docs.sandiego.gov/municode\\_strikeout\\_ord/O-21305-SO.pdf](http://docs.sandiego.gov/municode_strikeout_ord/O-21305-SO.pdf) ]

- (g) Maximum Building Height
- (1) The maximum building heights and number of stories permitted within the Redevelopment Subdistrict shall be as shown in Figure 4. Height shall be measured in accordance with Land Development Code Section 113.0270.
  - (2) Chimneys, vents, elevator enclosures, solar systems, vertical decorative roof features, and similar roof appurtenances shall be excluded from maximum building height. Such appurtenances, however, shall be limited to 10 percent of the total roof plan area, and their height shall not exceed 20 percent or 6 feet, whichever is less, of the permitted maximum building height.

*(“Redevelopment Subdistrict Property Development Regulations” added 3-27-2007 by O-19592 N.S.; effective 4-26-2007.)*



REDEVELOPMENT SUBDISTRICT - BARRIO LOGAN PLANNED DISTRICT

**MAXIMUM BUILDING HEIGHTS**

FIGURE 4 OF  
SECTION 103.0959



## NOTICE OF EXEMPTION

*(Check one or both)*

**TO:**  Recorder/County Clerk  
 P.O. Box 1750, MS A-33  
 1600 Pacific Hwy, Room 260  
 San Diego, CA 92101-2400

**From:** City of San Diego  
 Development Services Department  
 1222 First Avenue, MS 501  
 San Diego, CA 92101

Office of Planning and Research  
 1400 Tenth Street, Room 121  
 Sacramento, CA 95814

**Project Name/Number:** 2621 Logan Avenue / 697954

**SCH No.:** Not Applicable

**Project Location-Specific:** 2621 Logan Avenue, San Diego, California 92113 (Parcel No. 538-610-0900)

**Project Location-City/County:** San Diego/San Diego

**Description of nature and purpose of the Project:** A request for a COASTAL DEVELOPMENT PERMIT and SITE DEVELOPMENT PERMIT to demolish existing asphalt paving and fencing for the construction of a 4,849-square foot two-story 8-unit commercial building. The existing 470-square-foot single-story building would remain. The 0.16-acre project site is located at 2621 Logan Avenue and consists of Parcel Number 538-610-0900. The site is within the Barrio Logan Community Plan area and is designated Commercial/Industrial/Residential. The site is zoned Barrio Logan Planned District-Redevelopment Subdistrict. The project site is also within the Airport Influence Area (San Diego International Airport – Review Area 2), Federal Aviation Authority Part 77 Noticing Area (San Diego International Airport and North Island Naval Air Station), Coastal Overlay Zone (Non-Appealable Area 2), Parking Impact Overlay Zone (Coastal), Parking Standards Transit Priority Area, Promise Zone, Transit Area Overlay Zone, and Transit Priority Area. (LEGAL DESCRIPTION: Lots 19 and 20 in Block 5 of Reed & Hubbell's Addition, in the City of San Diego, County of San Diego, according to Map Thereof No 327, filed in the Office of the County Recorder of San Diego County, June 30, 1886.)

**Name of Public Agency Approving Project:** City of San Diego

**Name of Person or Agency Carrying Out Project:** Catherine M. Herbst / 209 East Upas Street, San Diego, CA 92103, 619-933-4822

**Exempt Status: (CHECK ONE)**

- Ministerial (Sec. 21080(b)(1); 15268)  
 Declared Emergency (Sec. 21080(b)(3); 15269(a))  
 Emergency Project (Sec. 21080(b)(4); 15269 (b)(c))  
 Categorical Exemption: Section 15332 (In-fill Development Projects) and 15303 (New Construction or Conversion of Small Structures).  
 Statutory Exemptions:  
 Other:

**Reasons why project is exempt:** The City of San Diego conducted an environmental review which determined the project would not have the potential for causing a significant effect on the environment in that the project is consistent with the community plan and the applicable zone. The project would not result in any significant environmental impacts. The project meets the criteria set forth in CEQA Section CEQA Section 15332 that consists of projects characterized as in-fill development meeting the following conditions: (a) The project is

**ATTACHMENT 7**

consistent with the applicable general plan designation and all applicable general plan policies as well as with applicable zoning designation and regulations; (b) The proposed development occurs within city limits on a project site of no more than five acres substantially surrounded by urban uses; (c) The project has no value as habitat for endangered, rare, or threatened species; (d) Approval of the project would not result in any significant effects relating to traffic, noise, air quality, or water quality; and (e) The site can be adequately served by all required utilities and public services. The project meets the criteria set forth in CEQA Section CEQA Section 15303 (New Construction or Conversion of Small Structures) as well considering the project involves the one small building not exceeding 10,000 square feet and is consistent with the zone, does not involve significant amounts of hazardous substances, includes all necessary public services and facilities, and the surrounding area is not environmentally sensitive. Furthermore, the exceptions listed in CEQA Section 15300.2 would not apply in that no cumulative impacts were identified; no significant effect on the environment were identified; the project is not adjacent to a scenic highway; nor is the project identified on a list of hazardous waste sites pursuant to Section 65962.5 of the Government Code; and the site is not a historical resource.

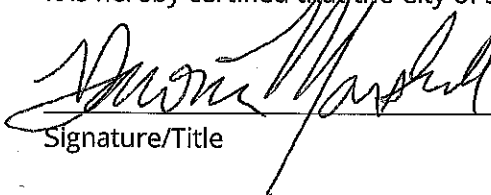
**Lead Agency Contact Person:** Dawna Marshall

**Telephone:** 619-687-5904

**If filed by applicant:**

- 1. Attach certified document of exemption finding.
- 2. Has a notice of exemption been filed by the public agency approving the project?  Yes  No

It is hereby certified that the City of San Diego has determined the above activity to be exempt from CEQA

 Senior Planner  
 Signature/Title

2-12-2023  
 Date

**Check One:**

- Signed By Lead Agency
- Signed by Applicant

Date Received for Filing with County Clerk or OPR:



**PUBLIC MEETING AGENDA  
VIRTUALLY VIA ZOOM  
September 21, 2022 6:00 PM – 8:00 PM**

**This meeting will be fully virtual, conducted online via Zoom due to concerns for public health and the potential spread of the Covid-19 virus. Spanish interpretation available.**

1. **Call to Order 6:03**
2. **Roll Call**
3. **Review/Adoption of the Agenda**
  - a. **Agenda has been shifted to lead with action items and time caps have been placed to help facilitate meeting. Should the conversation call for it, we will allow more time. Standing reports will be at the end.**
4. **Approval of the Minutes**
  - a. **David moves to approve the minutes. Philomena Seconds. Motion passed unanimously.**
5. **Non-agenda Communications from the Public (2 min per speaker)**
  - a. **YHuang: Planning liaison for Naval Base San Diego. Festival this Saturday 10am-2. Ship tours and booths. Main St Gate 9 is entrance. Base has not been opened since 9/11/2001. Harbor Dr Cleanup will begin on 8<sup>th</sup> St. Registration 9:15am. Port of San Diego signed agreement to lower Carbon footprint.**
  - b. **Nicholas Paul: Works with EHC. Corner of Sicard St there is a business New Leaf Bio Fuel. They create Biodiesel which in turn makes an awful order. Community members feel nauseated from the smell. Hearing will be held on abatement order October 13<sup>th</sup> 9am.**
6. **Action Item: Reinhart Herbst – 2621 Logan Ave (10 min presentation / 10 min Q&A)**
  - a. **Want to expand office space. Will stay 14ft away from apartments next to their office. Will install showers kitchenettes, porches, decks and offices. Occupied space since 2008. Will use block on groundfloor, Metal roofing, and plaster will be reused. Want to remove asphalt around facility and add landscaping.**
  - b. **Subcommittee asked regarding parking. They have the amount required by City. The units will be commercial. Environmental review is not ready yet. Will reserve the right to review once they come in. Subcommittee requests to look at adding additional parking if possible.**
  - c. **Catherine: Once we are approved for environmental conditions will be set.**
  - d. **Philomena motions to approve with condition to review environmental docs. Matt seconded Motion approved**
  - e. **Unanimous vote: Marissa, Julie, Matt, David Duea, Philomena, Katie, Claudia, Areli, Kenny.**
7. **Action Item: Hosting CPG meetings @ Logan Heights Library, potentially different day (15 min discussion)**
  - a. **Outside of planning area. May need to change day. Monday or Tuesday would be new Day still third week.**

**PLANNING GROUP MEMBERS:**

Joseph Allen **Absent**  
 Matt Carr  
 Marissa Cassani  
 Julie Corrales  
 Lucas Cruz  
 David Duea  
 Klaus Gohlke **Absent**  
 Philomena Marino  
 David Ortiz **Absent**  
 Katie Pipes  
 Claudia Rodriquez-Biezunski  
 Areli Santillan  
 Kenny Soreano  
 Capt. Ted Carlson – US Navy  
**Absent**  
 Rafael Castellanos – Port of S.D.

## ATTACHMENT 8

- b. Kenny wanted to flag that people have been removed from roster due to not being able to join zoom.
  - c. Claudia and Arelli will look into locations and report next month.
  - d. Kenny brought up monarch as a potential ave.
8. **Information Item: Port of San Diego - MCAS Truck Goals and Objectives** (10 min presentation / 10 min Q&A)
- a. Ron Powell: Both upcoming presentations will help the port meet their MCAS goals.
  - b. Port will meet goals through their tenants also.
  - c. Maggie Weber giving an update on truck goals for Maritime Clean Air Strategy (MCAS).
  - d. Truck Objective will require staff to create concept plan to identify 4 potential public facing charging stations.
  - e. MCAS Community Objective 1 is to coordinate with stakeholders and the public.
  - f. RECOMMENDATION to be made in November Request proposal to develop Truck infrastructure and continue push with Caltrans.
  - g. 5/23-7/25 Port had a survey to understand what businesses would want to see for truck charging stations. Typical charge for trucks is 100 miles.
  - h. 4 sites in mind for tidelands.
  - i. Asking for community feedback on proposed sites. Ports recommendations is not finalized. Turn key infrastructure and subscription based models are preferred concepts.
  - j. Recommending 19<sup>th</sup> st facilities and will pursue agreements with Caltrans for 2 properties one in Otay and the other up North.
  - k. Philomena asked about opening up boardwalk? Maggie brought up security concerns with Marine Cargo. Will take comments back to board.
  - l. Rafael: It's a cargo terminal and we are a strategic port and it can be utilized in 48hrs to move military equipment. Not feasible from a security perspective.
  - m. Julie: As we are exploring options I hope we keep the small truck owners in mind.
  - n. Diane: Is the recommendation for all 4 sites? Maggie: We are looking at 2 that our Port properties in National City and the other 2 are Caltrans properties. Diane is concerned with the speed that the charging stations are being built. Need to have infrastructure in place to meet goals. Diane: Is there a plan for exclusivity for trucks to utilize charging stations. Maggie: Will incorporate concerns into recommendation.
9. **Information Item: Crowley Co. – Electric Tug Boat** (10 min presentation / 10 min Q&A)
- a. Paul Manzi: Vice President for assets for Crowley. Greg Glover Director of Engineering.
  - b. Crowley is a private company since 1892. Operate in SD LB OAK, AND SF. 170 + vessels. 7000 employees. 2.9 Billion in annual revenue. 5 businesses Shipping, Logistics, Wind services, Fuels and Gov Solutions.
  - c. Crowley has committed to net zero greenhouse gas emissions by 2050.
  - d. eWolf: 100 percent electric and zero emissions. 82 ft vessel. Will be completed by 2023.
  - e. Want to move terminals to zero emission platforms.
  - f. Diane and Julie both thankful for the forward thinking of Crowley.
  - g. John Alvarado: Congratulation on the new tugboat. Wants to know if there is an opportunity to take STEM Students on a tour to see the new innovation. Paul: We will work on it to see the possibility.
  - h. Matt: We do work for Crowley on the East Coast can you share Tom Crowleys Story. Crowley started company 1892 in San Francisco.
  - i. David DeCamp david.decamp@crowley.com
10. **Update on previous action items: Items not covered in this meeting.**
- A. Community disruptive noise and light issues

- B. Parking congestion and lack of handicap parking
- C. Storm water and storm drain needs
- D. Paper street – extension of 26<sup>th</sup> Street
- E. Traffic signals on Cesar Chavez Blvd  
Contaminated soil in Barrio Logan
- F. Capital Improvements Project process

**11. Staff and Standing Reports** (3 min per report):

- City of San Diego Council District 8: **Elizabeth Rodriguez**
  - a. **Thursday 9/22 Logan Heights CDC will have a meeting from 5:30-7 at Logan Heights CDC Office.**
  - b. **Memorial Park Saturday 9/24 Park in the Dark event.**
  - c. **Mid Budget is focusing on lighting upgrades.**
  - d. **John: Can schedule be sent out via email.**
- City of San Diego Mayor: **Lucero Maganda**
  - a. **Absent**
  - b. **Project Homekey award 11.833 million investment.**
  - c. **Arelli: Brought up concerns of animal companions for houseless. Was brought up last meeting but not addressed. Lizzy: several shelters allow pets and humane society provide services. Arelli: is there a list for people to know where shelters are accessible for pets. Lizzy: When they check in for resources that information is given.**
- City of San Diego Planning Department: **Marlon Pangilinan**
  - a. **ABSENT**
- Port of San Diego: **Ron Powell**
  - a. **Port awarded 2.7 million dollars to upgrade system to power all electric cargo crane.**
  - b. **Waterfront Arts Festival November 19<sup>th</sup> and 20<sup>th</sup>.**
- County of San Diego; Supervisor First District: **Andrew Harvey**
  - a. **ABSENT**
- Alpha Project: **Kelly Knight**
  - a. **ABSENT**
- Barrio Logan Association: **Marissa Cassani**
  - a. **Revisiting contract with JDS Security.**
- San Diego Police Department: **Officer Tavares**
  - a. **Absent**

**12. Reports and discussion from the Planning Group Board**

- a. **Marissa: Apologized for lapse in interpretation.**
- b. **David Dueda: Will planning group areas have to have a homeless shelter? Lizzy will look into this.**
- c. **Julie: Josie shared that a press conference was held that SDHC received a grant to help BIPOC REGAIN HOME OWNERSHIP. David Alvarez Office holding townhall at Logan Library 9/22.**

**13. Adjournment: Next meeting October 19, 2022 Adjourned at 8:03**

**INSTRUCTIONS TO JOIN THE MEETING, MAKE COMMENTS AND ASK QUESTIONS**

Please click the link below to join the webinar:

<https://us02web.zoom.us/j/88233006097>

Or One tap mobile :

US: +16699006833,,88233006097# or +16694449171,,88233006097#

Or Telephone:

Dial(for higher quality, dial a number based on your current location):

## **ATTACHMENT 8**

US: +1 669 900 6833 or +1 669 444 9171 or +1 719 359 4580 or +1 253 215 8782 or +1 346 248 7799 or +1 312 626 6799 or +1 386 347 5053 or +1 564 217 2000 or +1 646 931 3860 or +1 929 205 6099 or +1 301 715 8592 or +1 309 205 3325

Webinar ID: 882 3300 6097

	<b>City of San Diego Development Services</b> 1222 First Ave., MS 302 San Diego, CA 92101 (619) 446-5000	<h1>Ownership Disclosure Statement</h1>	<b>FORM DS-318</b>  October 2017
---	---	---	--

**Approval Type:** Check appropriate box for type of approval(s) requested:  Neighborhood Use Permit  Coastal Development Permit  
 Neighborhood Development Permit  Site Development Permit  Planned Development Permit  Conditional Use Permit  Variance  
 Tentative Map  Vesting Tentative Map  Map Waiver  Land Use Plan Amendment •  Other \_\_\_\_\_

**Project Title:** \_\_\_\_\_ **Project No. For City Use Only:** \_\_\_\_\_

**Project Address:** \_\_\_\_\_

**Specify Form of Ownership/Legal Status (please check):**

Corporation  Limited Liability -or-  General – What State? \_\_\_\_\_ Corporate Identification No. \_\_\_\_\_  
 Partnership  Individual

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter will be filed with the City of San Diego on the subject property with the intent to record an encumbrance against the property. Please list below the owner(s), applicant(s), and other financially interested persons of the above referenced property. A financially interested party includes any individual, firm, co-partnership, joint venture, association, social club, fraternal organization, corporation, estate, trust, receiver or syndicate with a financial interest in the application. If the applicant includes a corporation or partnership, include the names, titles, addresses of all individuals owning more than 10% of the shares. If a publicly-owned corporation, include the names, titles, and addresses of the corporate officers. (A separate page may be attached if necessary.) If any person is a nonprofit organization or a trust, list the names and addresses of **ANY** person serving as an officer or director of the nonprofit organization or as trustee or beneficiary of the nonprofit organization. A signature is required of at least one of the property owners. Attach additional pages if needed. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

**Property Owner**

Name of Individual: \_\_\_\_\_  Owner  Tenant/Lessee  Successor Agency

Street Address: \_\_\_\_\_

City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

Phone No.: \_\_\_\_\_ Fax No.: \_\_\_\_\_ Email: \_\_\_\_\_

Signature: \_\_\_\_\_ Date: \_\_\_\_\_

Additional pages Attached:  Yes  No

**Applicant**

Name of Individual: \_\_\_\_\_  Owner  Tenant/Lessee  Successor Agency

Street Address: \_\_\_\_\_

City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

Phone No.: \_\_\_\_\_ Fax No.: \_\_\_\_\_ Email: \_\_\_\_\_

Signature: \_\_\_\_\_ Date: \_\_\_\_\_

Additional pages Attached:  Yes  No

**Other Financially Interested Persons**

Name of Individual: \_\_\_\_\_  Owner  Tenant/Lessee  Successor Agency

Street Address: \_\_\_\_\_

City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

Phone No.: \_\_\_\_\_ Fax No.: \_\_\_\_\_ Email: \_\_\_\_\_

Signature: \_\_\_\_\_ Date: \_\_\_\_\_

Additional pages Attached:  Yes  No

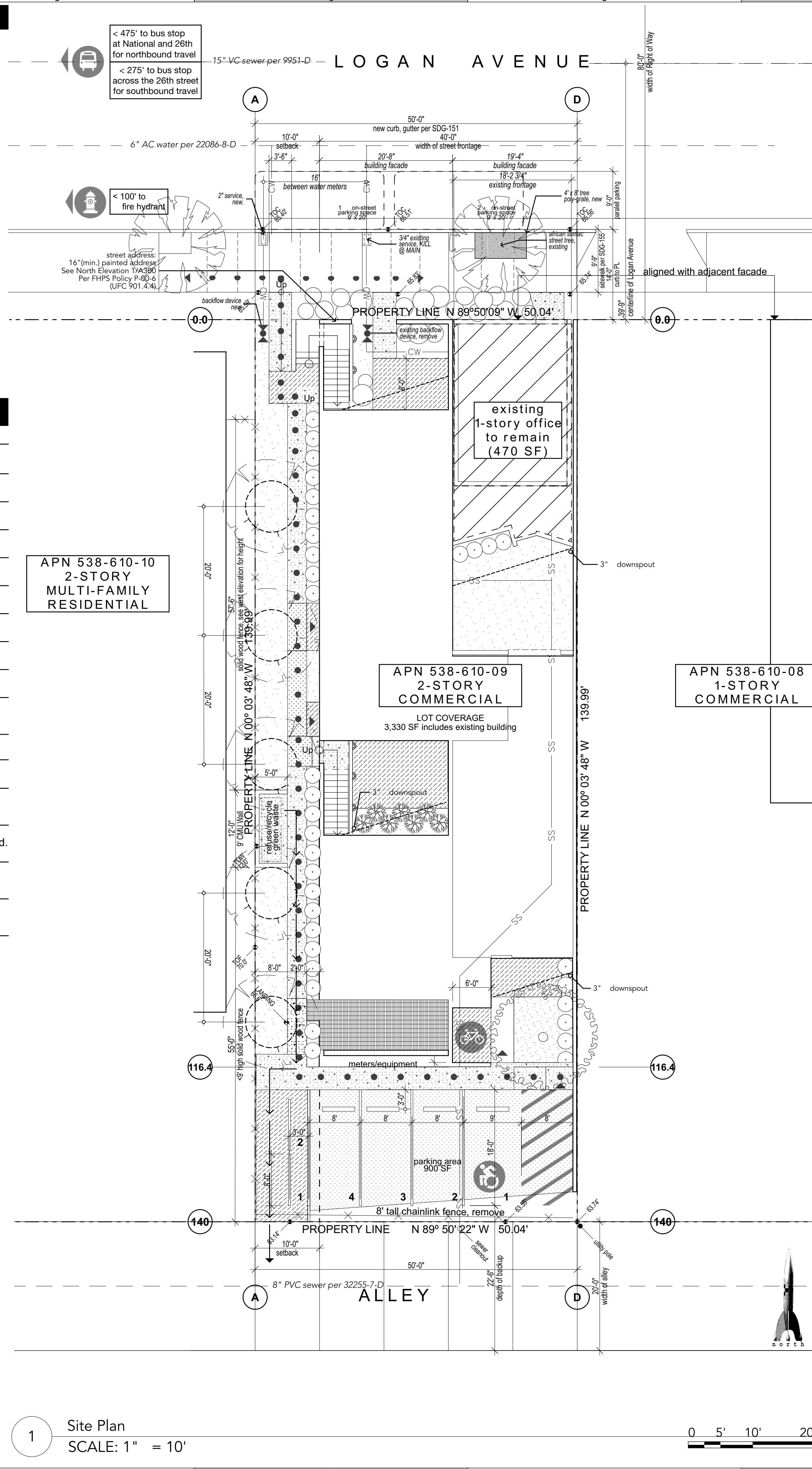


**SITE NOTES**

- The property has NO EASEMENTS.
- The EXISTING BUILDING WILL REMAIN
- The proposed building will have NO ROOF MOUNTED EQUIPMENT
- The proposed project will comply with all the requirements of the current City of San Diego Storm Water Standards Manual before a building permit is issued. It is the responsibility of the applicant to ensure that the current Storm Water Permanent BMP Design Standards are incorporated into the project.
- Prior to the issuance of any construction permit the Owner/Permittee shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be prepared in accordance with the guidelines in Part 2 Construction BMP Standards Chapter 4 of the City's Storm Water Standards.
- Outdoor lighting used to illuminate any premises shall be directed away from adjacent properties. SDMC 142.0740
- Any public improvements damaged during construction will be reconstructed to current State Accessibility Compliance and current City Standards.

**SITE LEGEND**

fill pattern	description
	existing 1948 1-story building 470 SF to remain. See Ground Floor Plan 1/Sheet A200
	concrete flatwork, walkways, curbs, alley apron, refuse/organics/recycle. See sheet L100 for more information.
	dry set brick pavers: unit entries, alley entry, courtyards. See sheet L100 for more information.
	pervious paving 705 SF: accessible parking, parking area. See sheet L100 for more information.
	landscaped area, 1,410 SF: See sheet L100 for areas, limits and plant types
	indicates slope away from building at 2%. See sheet GN100 for Preliminary Grading Plan
	new and existing backflow device
	4"ø sewer lateral, to remain.
	new 2" water service
	indicates location of nearest fire hydrant.
	indicates spot elevations for surveyed elevation, see Topographic Survey sheet C100
	indicates accessible route to public way, accessible parking space and building entrances
	indicates van accessible parking space 18' long x 8' wide, 9' access aisle on passenger side
	indicates location of short term bike rack on site. permanently anchored bicycle rack for 4 bikes is provided. Per SDMC 142.0530(e)(1)(A))
	indicates location of nearest bus stop, distance indicated in feet adjacent to symbol.
	indicates path of refuse removal. Serviced through alley.



**PROJECT NARRATIVE**

- NO DEVIATIONS ARE REQUESTED**
- Permits and Approvals - (Process 3)
    - Site Development Permit
    - Coastal Development Permit
  - Demolish/Remove
    - Remove all asphalt paving
    - Remove all chainlink fencing around property
  - Construct
    - 4,849 SF 2-story 8-unit commercial building
    - The existing 470 SF commercial building will remain
  - Provide new Landscape Areas and Pervious Paving
    - Amend soil, plant and irrigate new landscaped areas
    - Install new pervious parking area, pervious paving and hardscape

**DEVELOPMENT SUMMARY**

<b>SITE ADDRESS</b>	2621 Logan Avenue San Diego CA 92113
<b>APN</b>	538-610-09
<b>LEGAL DESCRIPTION</b>	lots 19 & 20 block 5 map REED & HUBBELL'S ADDITION subdivision 327
<b>LOT SIZE</b>	7000
<b>YEAR BUILT</b>	1-story building 1948
<b>OVERLAY ZONE DESIGNATIONS</b>	PLANNED DISTRICT: Barrio Logan Community Plan Area Redevelopment SUBDISTRICT: 8 COUNCIL DISTRICT: 8 OVERLAYS ZONES: Promise Zone
<b>TRANSPORTATION</b>	Parking Impact Overlay Zone(PIOZ) Transit Area Overlay Zone(TAOZ) Parking Standards Transit Priority Area Transit Priority Area
<b>AIRPORTS</b>	Airport Influence Area Federal Aviation Authority Part 77 Geologic Hazard Category 13
<b>GEOLOGY and SOILS</b>	None
<b>ENVIRONMENTALLY SENSITIVE LANDS</b>	None
<b>HISTORICAL RESOURCES</b>	None
<b>SETBACKS</b>	SDMC 152.0319(c)(2) front/street 0' SDMC 152.0319(c)(2)(C) rear/alley 0' SDMC 152.0319(c)(2)(D) interior side, west 10' adjacent residential property
<b>PARKING SUMMARY</b>	SDMC Table 142-05H PROVIDED REQUIRED 4 Spaces, 1 Van Accessible Motorcycle 2 required 2 Motorcycles (SDMC 142.0503(g)) Short term Bicycle 2 required 4 (SDMC 142.0530(e)(1)(A)) (undelineated per SDMC 142.0560(a)(4))
<b>FLOOR AREA RATIO</b>	SDMC figure 3 113.0958 CURRENT 0.07 ALLOWABLE 1.0 PROPOSED 0.69
<b>FLOOR AREA SUMMARY, NEW</b>	SDMC 113.0234 calculating GFA GROUND FLOOR AREA 2295 SECOND FLOOR + MEZZANINE 2554 TOTAL GROSS FLOOR AREA 4849
<b>LAND USE CLASSIFICATION</b>	SDMC Figure D 103.0956 COMMERCIAL

**OWNER**

Catherine M. Herbst and Todd Rinehart  
209 East Upas Street San Diego 92103  
T 619 933-4822  
rinehart-herbst@sbcglobal.net

**PROJECT TEAM**

**ARCHITECT/LANDSCAPE**  
Rinehart Herbst  
2621 Logan Avenue  
San Diego, CA 92113  
Contact: Catherine M. Herbst  
P. (619) 933-4822  
email: rinehart-herbst@sbcglobal.net

**SURVEYOR**  
Metropolitan Mapping  
3712 30th Street  
San Diego CA 92104  
Contact: Vernon Frank  
P. 619 431-4250

**GEOTECHNICAL ENGINEER**  
Leighton Group Inc.  
3934 Murphy Canyon Road  
San Diego CA 92123  
Contact: Mike D. Jensen CEG 2457  
P. 858 569-6914 ex. 8494  
email: mjensen@leightongroup.com

**SHEET INDEX**

<b>TITLE</b>	TS100 Title Sheet: Site Plan, Project Narrative, Development Summary, Directory and Sheet Index
<b>GENERAL NOTES</b>	GN100 Drainage Plan, Hydrology Study, BMPs, Forms I-4A and I-5A Storm Water Applicability Checklist DS-560
<b>SURVEY</b>	C100 Topographic Survey
<b>ARCHITECTURAL</b>	A200 Building Plans: First, Second, Mezzanine and Roof Plans
A300	Elevations: North(Logan Ave), East, West, South Elevation
A301	Site Section: Section A and B
<b>LANDSCAPE</b>	L100 Landscape Plan: Required Yard/Area Calculations Plant List, Plant Points Tables

**EARTHWORK QUANTITIES TABLE**

CUT QUANTITIES, CY	800
FILL QUANTITIES, CY	500
IMPORT/EXPORT, CY	300
MAXIMUM CUT DEPTH UNDER BUILDING FOOTPRINT	4'
MAXIMUM FILL DEPTH UNDER BUILDING FOOTPRINT	3'
MAXIMUM CUT DEPTH OUTSIDE THE BUILDING FOOTPRINT	2'
MAXIMUM FILL DEPTH OUTSIDE THE BUILDING FOOTPRINT	1'
<b>EXPORT QUANTITIES NOTE:</b> The project proposes to export 300 CY of material from this site. All export materials shall be discharged to a legal disposal site. The approval of this project does not allow processing and sale of the material, all such activities require a separate Conditional Use Permit.	

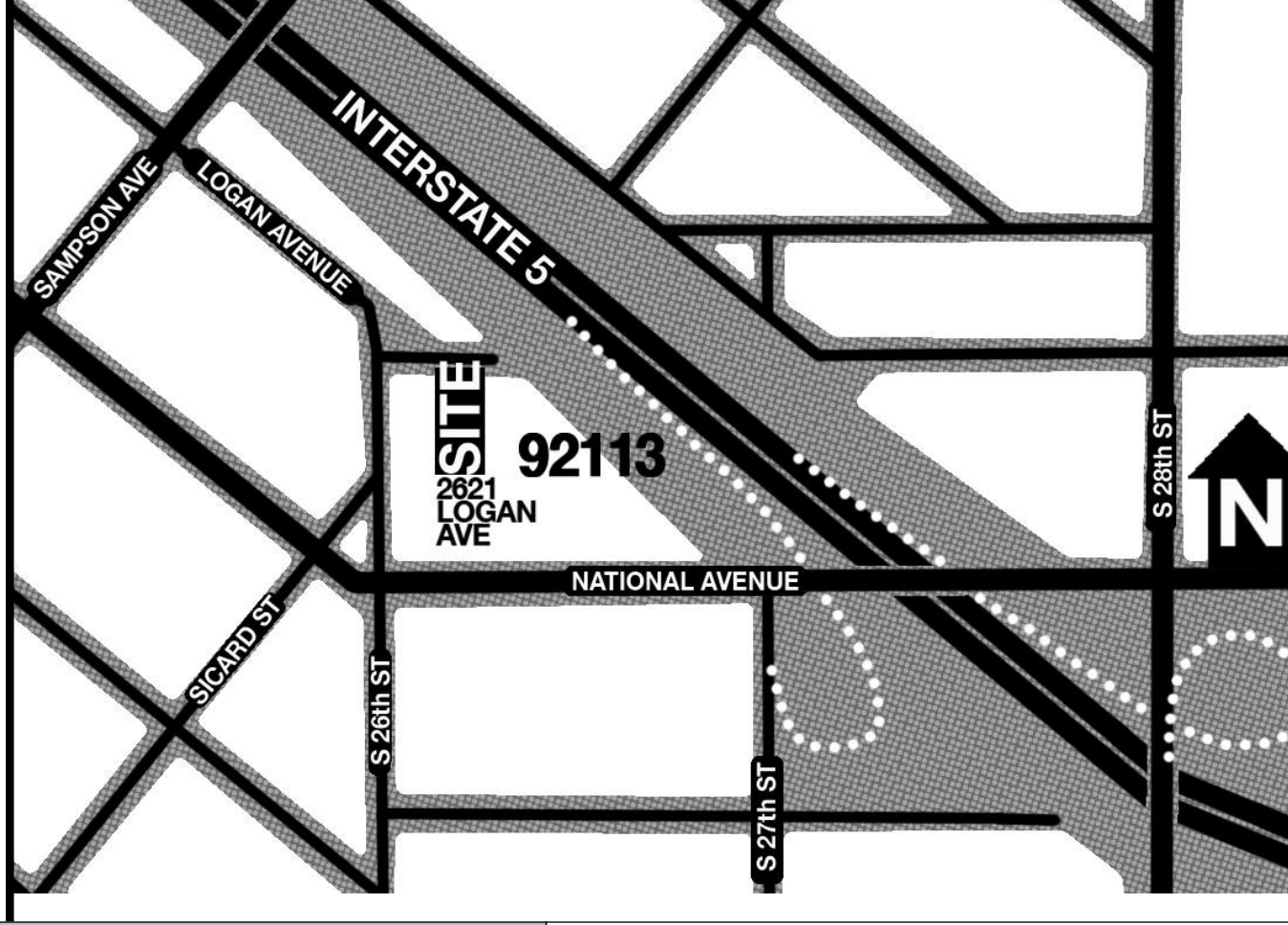
**SITE WORK INFORMATION**

(See Landscape Plan Sheet L100)	
TOTAL DISTURBANCE AREA	7000
<b>IMPERVIOUS AREA</b>	existing 7000 building footprint 3515 hardscape 680 TOTAL proposed 4195
<b>LANDSCAPE AREA</b>	existing 0 TOTAL proposed 1580
<b>PERVIOUS PAVING AREA</b>	existing 0 parking area 700 entries and courtyards 525 TOTAL proposed 1225

**CODES & REGULATIONS**

- 2021 California Building Code
- 2019 California Electrical Code
- 2019 California Green Building Standards
- 2019 California Mechanical Code
- 2019 California Plumbing Code
- 2019 California Building Energy Efficiency Standards

**VICINITY MAP**



STAMPS

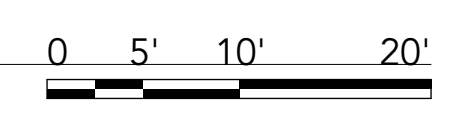
**2621 Building**  
2621 Logan Avenue San Diego CA 92113  
LOTS 19 & 20, BLOCK 5, MAP 327, REED & HUBBELL'S ADDITION  
ARCHITECT **rinehart herbst**  
2621 LOGAN AVE. SAN DIEGO CA 92113  
CONTACT: CATHERINE M. HERBST  
PHONE 619 933-4822  
EMAIL: rinehart-herbst@sbcglobal.net

REVISION 1 REVISION 2 REVISION 3

PTS-0697954 DATE PREPARED 3/9/23

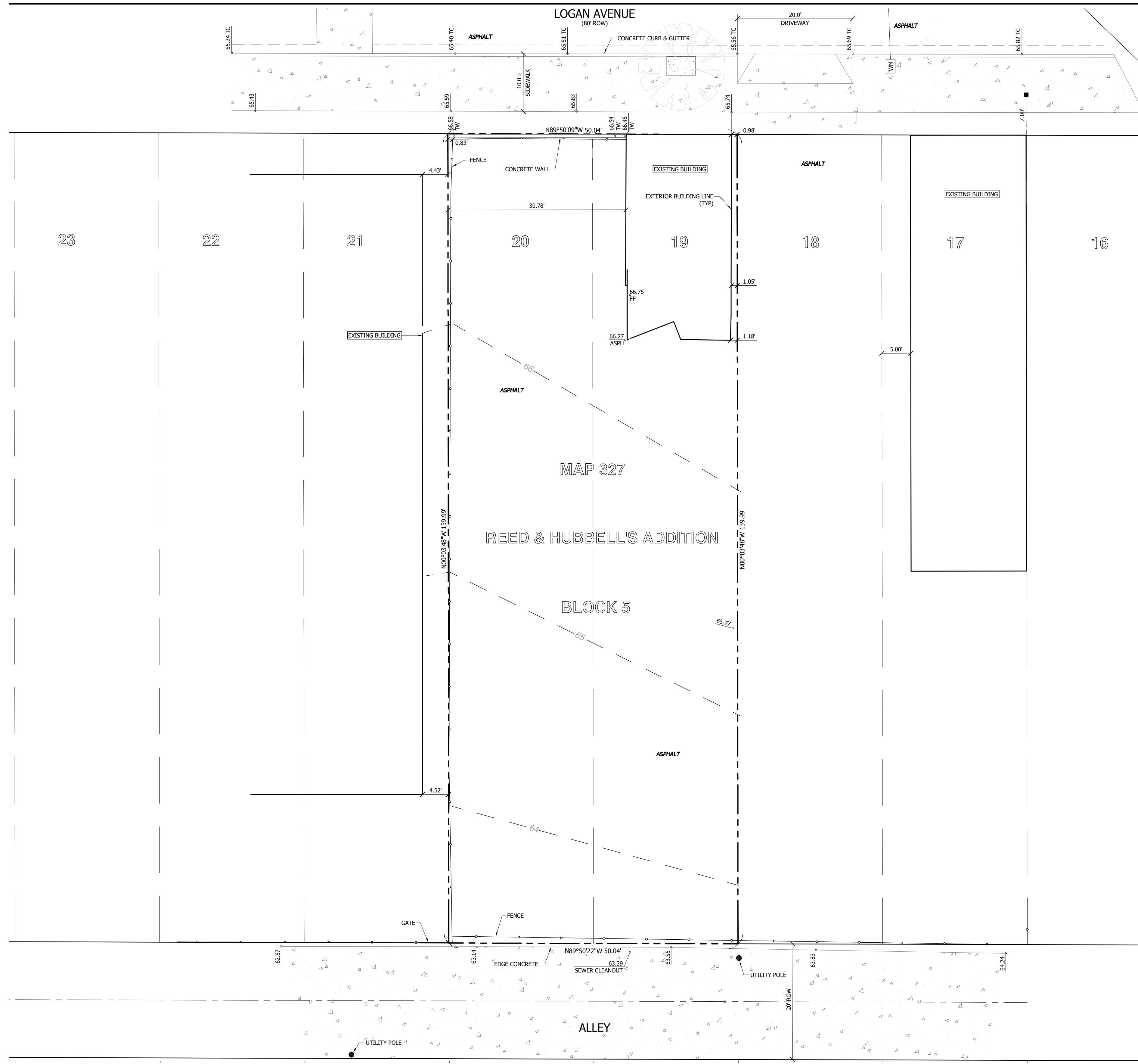
Site Plan, Development Summary **TS100**  
SHEET 1 OF 7

1 Site Plan  
SCALE: 1" = 10'





All ideas, design arrangements, and plans indicated or represented by this drawing are owned by and are the property of rinehart herbst and were created, and developed for a specific project none of such ideas, arrangements or plans shall be used by or disclosed to any person, firm, corporation for any purpose whatsoever without prior written consent of rinehart herbst.



**PROPERTY LEGAL DESCRIPTION**  
 LOTS 19 & 20, BLOCK 5, MAP 327 (REED & HUBBELL'S ADDITION)

**ASSESSORS PARCEL NUMBER**  
 538-610-09

**BASIS OF ELEVATIONS**  
 CITY OF SAN DIEGO BENCHMARK  
 MONUMENT DESCRIPTION: BRASS PLUG (NEBP)  
 LOCATION: TOP OF CURB, NORTHEAST CORNER  
 26TH STREET & NATIONAL AVENUE  
 DATUM: NVD 29  
 ELEVATION: 56.068 FEET

**NOTE**  
 THIS MAP OF EXISTING TOPOGRAPHY WAS SURVEYED BASED ON REQUIREMENTS FOR DESIGN OF A SPECIFIC PROJECT AND SOME AREAS MAY HAVE GREATER OR LESSER DETAIL THAN OTHER AREAS BASED ON PROJECT REQUIREMENTS. THIS MAP IS INTENDED FOR USE ONLY AS A DESIGN AID FOR THAT PROJECT. CHANGES IN THE SCOPE, DESIGNER, OR SIGNIFICANT DELAYS IN DESIGN AND/OR CONSTRUCTION MAY REQUIRE UPDATE OF THE MAPPING OR AN EXTENSION OF THE TOPOGRAPHY.

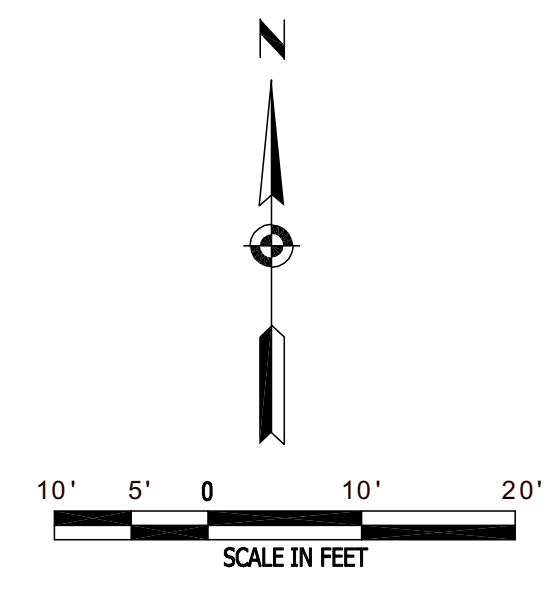
THIS IS NOT A SURVEY OF PROPERTY LINES OR A RECORD OF SURVEY. THE PROPERTY LINES SHOWN HEREON ARE BASED ON SURVEY MONUMENTS THAT FIT RECORD MAP DATA SATISFACTORY FOR THE PURPOSE OF DEPICTING THE APPROXIMATE LOCATION OF PROPERTY LINES AND THEIR RELATIONSHIP TO BUILT IMPROVEMENTS AND TOPOGRAPHIC FEATURES. A MORE COMPREHENSIVE BOUNDARY SURVEY INCLUDING THE RECOVERY OF ORIGINAL LOT CORNERS AND/OR OTHER BOUNDARY MONUMENTS MAY YIELD DIFFERENT RESULTS.

LOCATION OF UTILITIES SHOWN ON THIS MAP IS FROM SURFACE INFORMATION GATHERED DURING THE FIELD SURVEY. THE PRECISE LOCATION AND DEPTH OF LINES AND FACILITIES MUST BE DETERMINED BY FIELD EXPLORATION PRIOR TO EXCAVATION.



METROPOLITAN MAPPING  
 3712 30TH STREET  
 SAN DIEGO, CA 92104  
 (619) 564-6091  
 metromap.sd@gmail.com

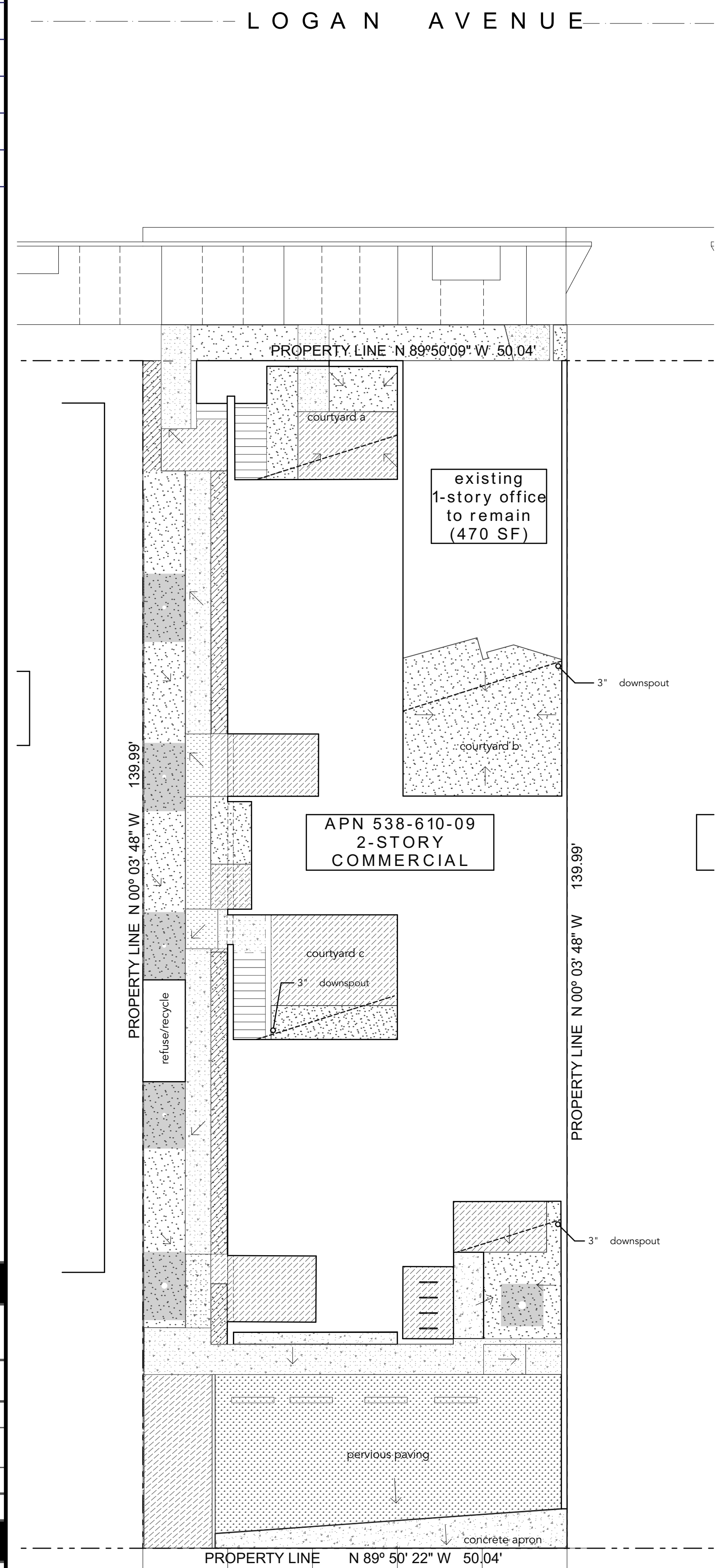
LEGEND	
	PROPERTY LINE
	CENTER LINE
	LOT LINE
	RIGHT OF WAY (ROW)
	TIE LINE
	EDGE OF CONCRETE
	CONCRETE WALL
	FENCE: CHAIN-LINK
	CURB & GUTTER
	CONCRETE SURFACE
	BOUNDARY LINE DATA
	ASPHALT
	ROW
	TC
	TOP OF CURB
	TOP OF WALL
	WATER METER
	SPOT ELEVATION
	FOUND BOUNDARY MONUMENT



STAMPS	<h2 style="text-align: center;">2621 Building</h2> <p style="text-align: center;">2621 Logan Avenue San Diego CA 92113                  LOTS 19 &amp; 20, BLOCK 5, MAP 327, REED &amp; HUBBELL'S ADDITION                  ARCHITECT <b>rinehart herbst</b>                  2621 LOGAN AVE. SAN DIEGO CA 92113                  CONTACT: CATHERINE M. HERBST                  PHONE 619 933-4822                  EMAIL: rinehart-herbst@sbcglobal.net</p>
REVISION 1 <b>6/14/2015</b> <small>revised benchmark elevation datum with all elevations updated</small>	
REVISION 2 REVISION 3	PTS-0697954
DATE PREPARED <b>6/8/2015</b>	



SITE LEGEND	
fill pattern	description
	concrete flatwork : walkways, curbs, drive apron, refuse/organics/recycle. See sheet L100 for more information.
	dry set brick pavers: unit entries, alley entry, courtyards. See sheet L100 for more information.
	impervious paving 707 SF: accessible parking, parking area. See sheet L100 for more information.
	landscaped area, 1,372 SF: See sheet L100 for areas, limits and plant types
	indicates slope away from building at 2%. See sheet GN100 for Preliminary Grading Plan



**PRE PROJECT HYDROLOGY**

Existing Conditions: The site sheet flows storm water runoff from the northeast corner to the southwest corner at the alley. Water is conveyed via the alley to the gutter on 26th Street to a storm drain inlet at the base of 26th Street.

EX-C - Existing Commercial	impervious area	lot area	runoff coefficient (from table A.3)
C	0.85	14000	14000
I	4.4	average rainfall intensity, SD-DDM Figure A.1	elevation factor (elevation 0-1500') SD-DDM Figure A.1
A	0.32	4.4	1
<b>Q100</b>	<b>1.20</b>	<b>TOTAL CFS</b>	

**POST PROJECT HYDROLOGY**

Proposed Conditions: The proposed project drainage will remain slightly decrease as all water will be collected and routed via landscaped areas, catch basins, to the alley. The post project conditions is delineated by 5 basins.

NP - New Project	impervious area	lot area	runoff coefficient (from table A.3)
C	0.85	11060	14000
I	4.4	average rainfall intensity, SD-DDM Figure A.1	elevation factor (elevation 0-1500') SD-DDM Figure A.1
A	0.31	4.4	1
<b>Q100</b>	<b>1.16</b>	<b>TOTAL CFS</b>	

1 Preliminary Drainage Study  
SCALE: 1" = 10'

**FORM DS-560**  
September 2021

**Stormwater Requirements Applicability Checklist**

Project Address: 2621 Logan Avenue Project Number: PTS-0697954

**SECTION 1: Construction Stormwater Best Management Practices (BMP) Requirements**

All construction sites are required to implement construction BMPs per the performance standards in the *Stormwater Standards Manual*. Some sites are also required to obtain coverage under the State Construction General Permit (CGP), administered by the California State Water Resources Control Board.

**For all projects, complete Part A - If the project is required to submit a Stormwater Pollution Prevention Plan (SWPPP) or Water Pollution Control Plan (WPCP), continue to Part B.**

**PART A - Determine Construction Phase Stormwater Requirements**

- Is the project subject to California's statewide National Pollutant Discharge Elimination System (NPDES) permit for Stormwater Discharges Associated with Construction Activities, also known as the State Construction General Permit (CGP)? (Typically projects with land disturbance greater than or equal to 1 acre.)  
 Yes, SWPPP is required; skip questions 2-4.  No; proceed to the next question.
- Does the project propose construction or demolition activity, including but not limited to, clearing, grading, grubbing, excavation, or any other activity resulting in ground disturbance and/or contact with stormwater?  
 Yes, WPCP is required; skip questions 3-4.  No; proceed to the next question.
- Does the project propose routine maintenance to maintain the original line and grade, hydraulic capacity, or original purpose of the facility? (Projects such as pipeline/utility replacement)  
 Yes, WPCP is required; skip question 4.  No; proceed to the next question.
- Does the project only include the following Permit types listed below?  
  - Electrical Permit, Fire Alarm Permit, Fire Sprinkler Permit, Plumbing Permit, Sign Permit, Mechanical Permit, Spa Permit.
  - Individual Right of Way Permits that exclusively include only ONE of the following activities: water service, sewer lateral, or utility service.
  - Right of Way Permits with a project footprint less than 150 linear feet that exclusively include only ONE of the following activities: curb ramp, sidewalk and driveway apron replacement, potholing, curb and gutter replacement, and retaining wall encroachments. Yes, no document is required.

**Check one of the boxes below and continue to Part B**

If you checked "Yes" for question 1, an SWPPP is REQUIRED - continue to Part B

If you checked "No" for question 1 and checked "Yes" for question 2 or 3, a WPCP is REQUIRED. If the project proposes less than 5,000 square feet of ground disturbance AND has less than a 5-foot elevation change over the entire project area, a Minor WPCP may be required instead. Continue to Part B

If you check "No" for all questions 1-3 and checked "Yes" for question 4, Part B does not apply, and no document is required. Continue to Section 2.

**PART B - Determine Construction Site Priority**

This prioritization must be completed within this form, noted on the plans, and included in the SWPPP or WPCP. The City reserves the right to adjust the priority of projects both before and after construction. Construction projects are assigned an inspection frequency based on if the project has a "high threat to water quality." The City has aligned the local definition of "high threat to water quality" to the risk determination approach of the State Construction General Permit (CGP). The CGP determines risk level based on project specific sediment risk and receiving water risk. Additional inspection is required for projects within the Areas of Special Biological Significance (ASBS) watershed. **NOTE:** The construction priority does NOT change construction BMP requirements that apply to projects; rather, it determines the frequency of inspections that will be conducted by city staff.

**Complete Part B and continue to Section 2**

1. **ASBS**  
A. Projects located in the ASBS watershed.

2. **High Priority**  
A. Projects that qualify as Risk Level 2 or Risk Level 3 per the Construction General Permit (CGP) and are not located in the ASBS watershed.  
B. Projects that qualify as LUP Type 2 or LUP Type 3 per the CGP and are not located in the ASBS watershed.

3. **Medium Priority**  
A. Projects that are not located in an ASBS watershed or designated as a High priority site.  
B. Projects that qualify as Risk Level 1 or LUP Type 1 per the CGP and are not located in an ASBS watershed.  
C. WPCP projects (>5,000 square feet of ground disturbance) located within the Los Peñasquitos watershed management area.

4. **Low Priority**  
A. Projects not subject to a Medium or High site priority designation and are not located in an ASBS watershed.

**Section 2: Construction Stormwater BMP Requirements**

Additional information for determining the requirements is found in the *Stormwater Standards Manual*.

**PART C - Determine if Not Subject to Permanent Stormwater Requirements**

Projects that are considered maintenance or otherwise not categorized as "new development projects" or "redevelopment projects" according to the *Stormwater Standards Manual* are not subject to Permanent Stormwater BMPs.

- If "Yes" is checked for any number in Part C: Proceed to Part F and check "Not Subject to Permanent Stormwater BMP Requirements."
- If "No" is checked for all the numbers in Part C: Continue to Part D.

- Does the project only include interior remodels and/or is the project entirely within an existing enclosed structure and does not have the potential to contact stormwater?  
 Yes  No
- Does the project only include the construction of overhead or underground utilities without creating new impervious surfaces?  
 Yes  No
- Does the project fall under routine maintenance? Examples include but are not limited to roof or exterior structure surface replacement, resurfacing or reconfiguring surface parking lots or existing roadways without expanding the impervious footprint, and routine replacement of damaged pavement (grinding, overlay and pothole repair).  
 Yes  No

**PART D - PDP Exempt Requirements**

PDP Exempt projects are required to implement site design and source control BMPs.

- If "Yes" is checked for any questions in Part D, continue to Part F and check the box labeled "PDP Exempt."
- If "No" is checked for all questions in Part D, continue to Part E.

- Does the project ONLY include new or retrofitted sidewalks, bicycle lanes, or trails that:
  - Are designed and constructed to direct stormwater runoff to adjacent vegetated areas, or other non-erodible permeable areas? Or
  - Are designed and constructed to be hydraulically disconnected from paved streets and roads? Or
  - Are designed and constructed with permeable pavements or surfaces in accordance with the Green Streets guidance in the City's Stormwater Standards Manual? Yes, PDP exempt requirements apply  No, proceed to next question
- Does the project ONLY include retrofitting or redeveloping existing paved alleys, streets or roads designed and constructed in accordance with the Green Streets guidance in the City's Stormwater Standards Manual?  
 Yes, PDP exempt requirements apply  No, proceed to next question

**PART E - Determine if Project is a Priority Development Project (PDP)**

Projects that match one of the definitions below are subject to additional requirements, including preparation of a Stormwater Quality Management Plan (SWQMP).

- If "Yes" is checked for any number in Part E, continue to Part F and check the box labeled "Priority Development Project."
- If "No" is checked for every number in Part E, continue to Part F and check the box labeled "Standard Development Project."

- New development that creates 10,000 square feet or more of impervious surface collectively over the project site. This includes commercial, industrial, residential, mixed-use, and public development projects on public or private land.  Yes  No
- Redevelopment project that creates and/or replaces 5,000 square feet or more of impervious surfaces. This includes commercial, industrial, residential, mixed-use, and public development projects on public or private land.  Yes  No
- New development or redevelopment of a restaurant. Facilities that sell prepared foods and beverages for consumption, including stationary lunch counters and refreshment stands selling prepared foods and drinks for immediate consumption (Standard Industrial Classification (SIC) 5813), and where the land development creates and/or replaces 5,000 square feet or more of impervious surface.  Yes  No
- New development or redevelopment on a hillside. The project creates and/or replaces 5,000 square feet or more of impervious surface (collectively over the project site) and where the development will grade on any natural slope that is twenty-five percent or greater.  Yes  No
- New development or redevelopment of a parking lot that creates and/or replaces 5,000 square feet or more of impervious surface (collectively over the project site).  Yes  No
- New development or redevelopment of streets, roads, highways, freeways, and driveways. The project creates and/or replaces 5,000 square feet or more of impervious surface (collectively over the project site).  Yes  No
- New development or redevelopment discharging directly to an environmentally sensitive area. The project creates and/or replaces 2,500 square feet of impervious surface (collectively over the project site) and discharges directly to an Environmentally Sensitive Area (ESA). "Discharging directly to" includes flow that is conveyed overland a distance of 200 feet or less from the project to the ESA, or conveyed in a pipe or open channel any distance as an isolated flow from the project to the ESA (i.e. not commingled with flows from adjacent lands).  Yes  No
- New development or redevelopment projects of retail gasoline outlet (RGO) that create and/or replaces 5,000 square feet of impervious surface. The development project meets the following criteria: (a) 5,000 square feet or more or (b) has a projected Average Daily Traffic (ADT) of 100 or more vehicles per day.  Yes  No
- New development or redevelopment projects of an automotive repair shop that creates and/or replaces 5,000 square feet or more of impervious surfaces. Development projects categorized in any one of Standard Industrial Classification (SIC) codes 5013, 5015, 5541, 7332, 7334 or 7336-7339.  Yes  No
- Other Pollutant Generating Project. These projects are not covered in any of the categories above but involve the disturbance of one or more acres of land and are expected to generate post-construction phase pollutants, including fertilizers and pesticides. This category does not include projects creating less than 5,000 square feet of impervious area and projects containing landscaping without a requirement for the regular use of fertilizers and pesticides (such as a slope stabilization project using native plants). Impervious area calculations need not include linear pathways for infrequent vehicle use, such as emergency maintenance access or bicycle and pedestrian paths if the linear pathways are built with pervious surfaces or if runoff from the pathway sheet flows to adjacent pervious areas.  Yes  No

**PART F - Select the appropriate category based on the outcomes of Part C through Part E**

- The project is **NOT SUBJECT TO PERMANENT STORMWATER REQUIREMENTS**.  Yes  No
- The project is a **STANDARD DEVELOPMENT PROJECT**. Site design and source control BMP requirements apply. See the *Stormwater Standards Manual* for guidance.  Yes  No
- The project is **PDP EXEMPT**. Site design and source control BMP requirements apply. Refer to the *Stormwater Standards Manual* for guidance.  Yes  No
- The project is a **PRIORITY DEVELOPMENT PROJECT**. Site design, source control and structural pollutant control BMP requirements apply. Refer to the *Stormwater Standards Manual* for guidance on determining if the project requires hydromodification plan management.  Yes  No

Catherine M. Herbst Architect/Owner  
Name of Owner or Agent Title  
Signature Date 10/18/2021

inactive area shall be protected to prevent pollutant discharges. A site or portions of a site shall be considered inactive when construction activities have ceased for a period of 14 or consecutive days.

**SOURCE & SITE CONTROL for STANDARD PROJECTS**

SOURCE CONTROL BMP CHECKLIST for STANDARD PROJECTS		FORM I - 4A		
All development projects must implement source control BMPs. Refer to Chapter 4 and Appendix E of the BMP Design Manual for information to implement BMPs shown in this checklist. <b>NOTE:</b> All selected BMPs must be shown on construction plans.				
SOURCE CONTROL REQUIREMENT	APPLIED?			
	YES	NO	N/A	
4.2.1 Prevention of illicit discharge into the MS4.			X	
4.2.2 Storm drain stenciling or signage			X	
4.2.3 Protect Outdoor Material Storage Areas from rainfall, run-on, runoff, and wind			X	
4.2.4 Protect Materials stored in outdoor work areas from rainfall, run-on, runoff, and wind			X	
4.2.5 Protect trash/recycle storage areas from rainfall, run-on, runoff, and wind dispersal	X			
4.2.6 BMPS based on potential source of runoff pollutants				
on-site storm drain inlets			X	
Interior floor drains and elevator shaft sump pumps			X	
Interior parking garages			X	
Need for future indoor & structural pest control			X	
Landscape/outdoor pesticide use	X			
Pools, spas, ponds, decorative fountains, and other water features			X	
Food Service			X	
Refuse Areas			X	
Industrial processes			X	
Outdoor storage of equipment or materials			X	
Vehicle/equipment repair and maintenance			X	
Fuel dispensing area			X	
Loading docks			X	
Fire sprinkler test water			X	
Miscellaneous drain or wash water			X	
Plazas, sidewalks, and parking lots			X	
SC-6A: Large trash generating Facilities			X	
SC-6B: Animal Facilities			X	
SC-6C: Plant Nurseries and Garden Centers			X	
SC-6D: Automotive related uses			X	

SITE DESIGN BMP CHECKLIST FOR STANDARD PROJECTS		FORM I - 5A		
All development projects must implement site design BMPs. Refer to Chapter 4 and Appendix E of the BMP Design Manual for information to implement BMPs shown in this checklist. <b>NOTE:</b> All selected BMPs must be shown on construction plans.				
SITE DESIGN REQUIREMENT	APPLIED?			
	YES	NO	N/A	
4.3.1 Maintain natural drainage pathways and hydrologic features			X	
4.3.2 Conserve natural areas, soils, and vegetation			X	
4.3.3 Minimize impervious areas	X			
4.3.4 Minimize soil compaction	X			
4.3.5 Impervious area dispersion	X			
4.3.6 Runoff collection	X			
4.3.7 Landscaping with native or drought tolerant species	X			
4.3.8 Harvesting and using precipitation	X			

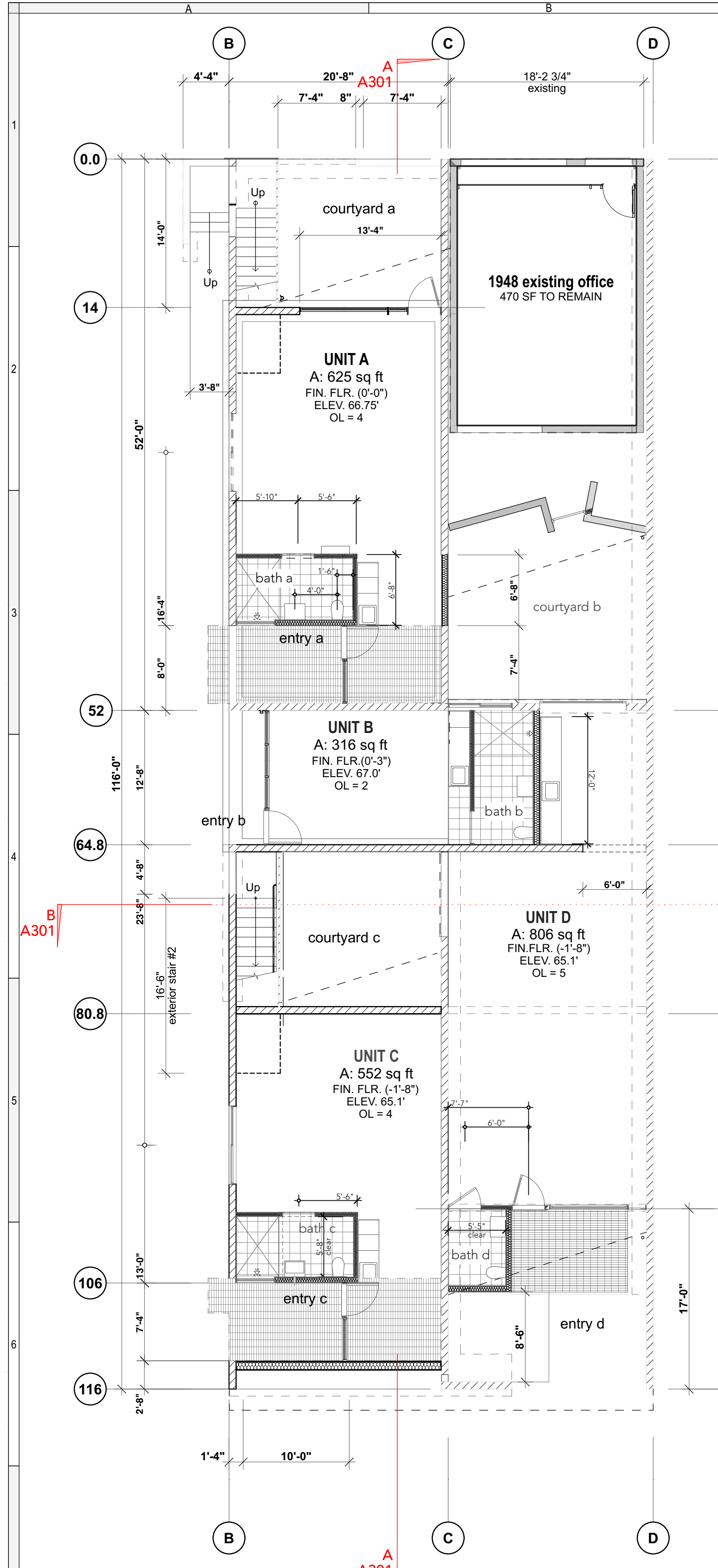
**2621 Building**  
2621 Logan Avenue San Diego CA 92113  
LOTS 19 & 20, BLOCK 5, MAP 327, REED & HUBBELLS ADDITION  
**rinehart herbst**  
ARCHITECT  
2621 LOGAN AVE. SAN DIEGO CA 92113  
CONTACT: CATHERINE M. HERBST  
PHONE 619 933-4822  
EMAIL: rinehart-herbst@sbcbglobal.net

REVISION 1 REVISION 2 REVISION 3

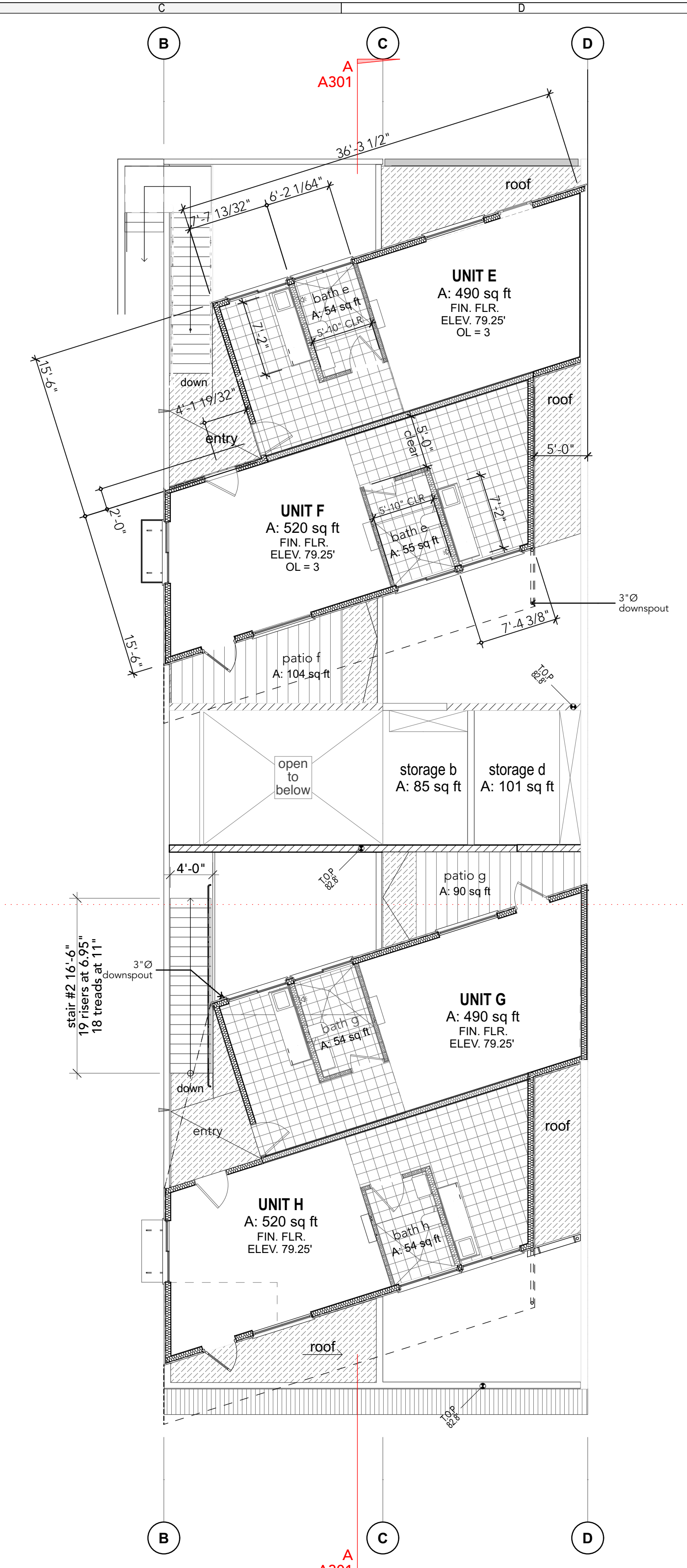
PTS-0697954 DATE PREPARED 3/9/23

**GN 100**  
SHEET 2 OF 7

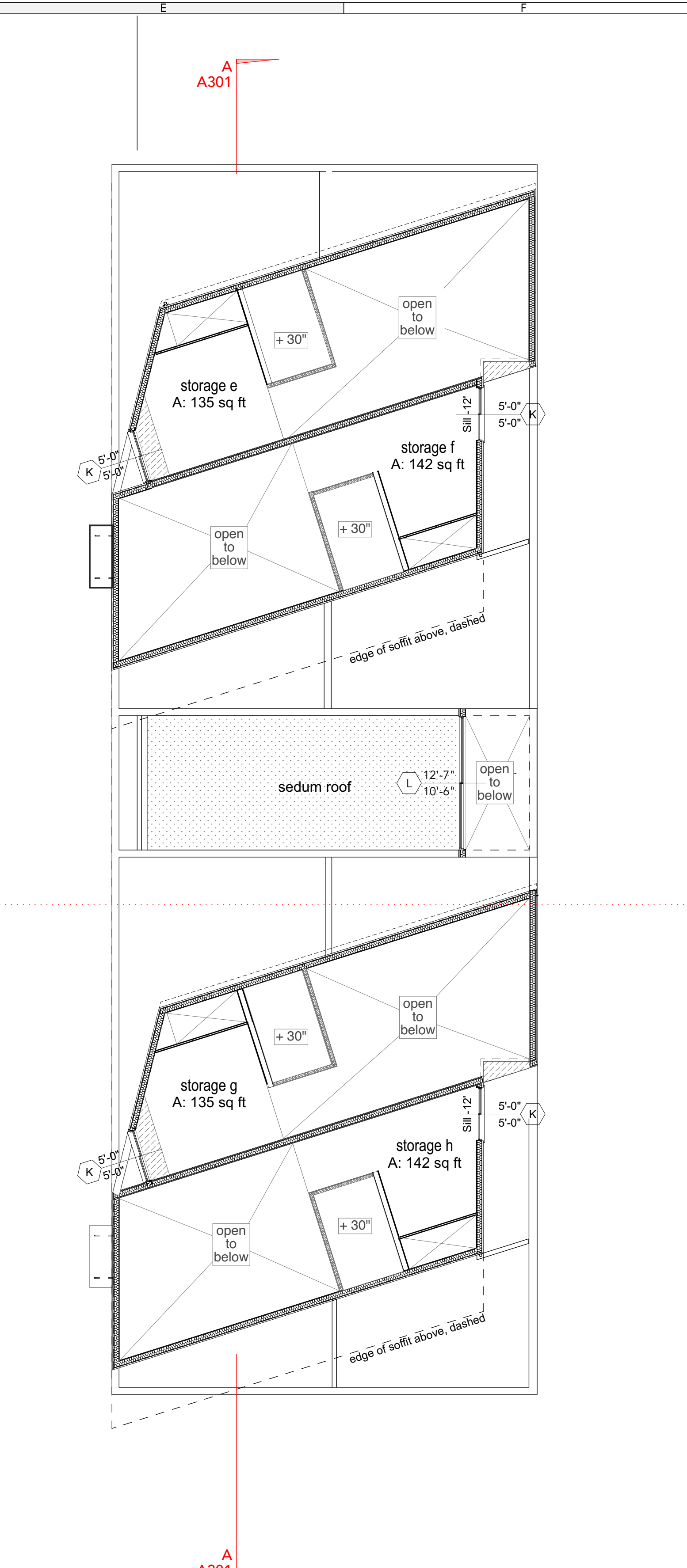




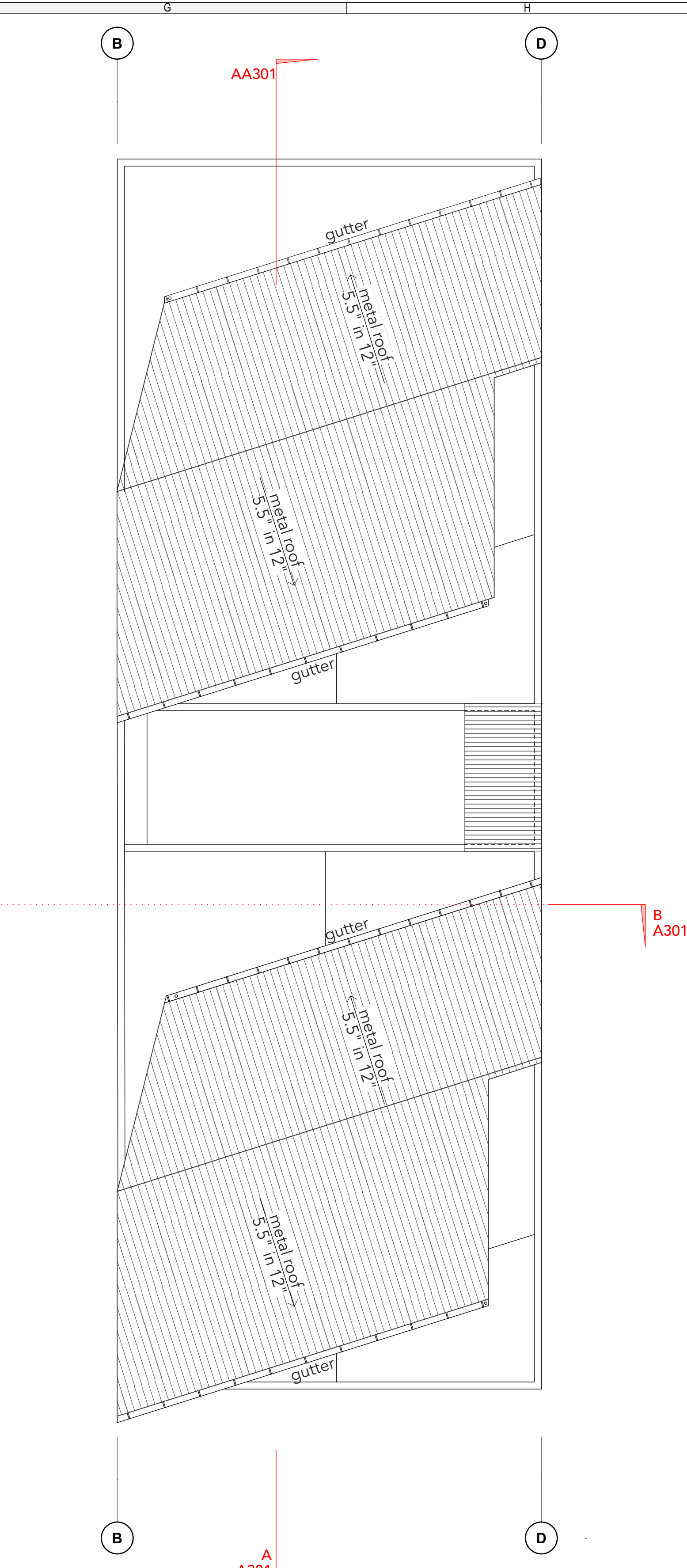
1 First Floor Plan  
SCALE: 1/8" = 1'-0"



2 Second Floor Plan  
SCALE: 1/8" = 1'-0"



3 Mezzanine CD  
SCALE: 1/8" = 1'-0"



4 Roof Plan  
SCALE: 1/8" = 1'-0"

**PLAN LEGEND**

pattern	description
[Pattern]	EXTERIOR WALL ASSEMBLY: CMU Wall: 8" thickness 0"x8"x16" concrete masonry unit staggered bond, flush joints. <b>BOLD</b> dimensions are for masonry. INDICATES: area of 7 ribbed block from 2'-0" to 7' - 4" above finished floor
[Pattern]	EXTERIOR WALL ASSEMBLY: 6 3/8" thickness. 2 x 6 Wood Studs at 16" centers. with R-21 minimum insulation. Exterior: 7/8" exterior plaster over 1" rigid foam insulation, vapor barrier, sheathing(per structural), interior: 5/8" type 'X' gypsum board
[Pattern]	EXTERIOR WALL ASSEMBLY: 7" thickness. 2 x 6 Wood Studs at 16" centers. with R-21 minimum insulation. Exterior: 3/4" T&G vertical wood siding over 1" rigid foam insulation, vapor barrier, sheathing(per structural), interior: 5/8" type 'X' gypsum board.

pattern	description
[Pattern]	EXTERIOR FLOOR/CEILING ASSEMBLY: Dex-o-tex over sloped rigid insulation, over plywood subfloor. See structural for framing members, Interior finish 5/8" type 'X' gypsum board
[Pattern]	FLOOR/CEILING ASSEMBLY: tile floor over 1" light weight concrete with crack membrane, over plywood subfloor, TJI at 16" o.c. resilient channels, 5/8" type 'X' gypsum board
[Pattern]	ROOFING MATERIAL: 22 gauge Mini 'V' sheet metal roofing. Low slope class 'C' roof. Minimum 3-year aged Solar Reflectance.55, Thermal Emittance.75, Solar Reflectance Index 25. LRV 18. Color RAINFOREST (AEP Span Eternal Collection)

**FIXTURES NOTES** per CAP Strategy 1.2 Plumbing Fixtures and Fittings STAMPS  
Cal-Green Section 5.303 Indoor Water Use

pattern	description
[Pattern]	Maximum Flow Rates Wall hung dual flush water closets 1.28 & 0.9 gallons/flush Lavatory Faucets 0.5 gpm at 60 psi Showerheads 2.0 gpm at 80 psi Kitchen Faucets 1.8 gpm at 60 psi
[Pattern]	ROOFING MATERIAL: 2" Sedum matt over water retention matt over root barrier over roofing membrane over roof structure. CAP Strategy 1.1 Cool/Green Roofs
[Pattern]	EXTERIOR FLOOR/CEILING ASSEMBLY: 3 x wood decking over Dex-o-tex over sloped rigid insulation, over plywood subfloor. See structural for framing members, Interior finish 5/8" type 'X' gypsum board

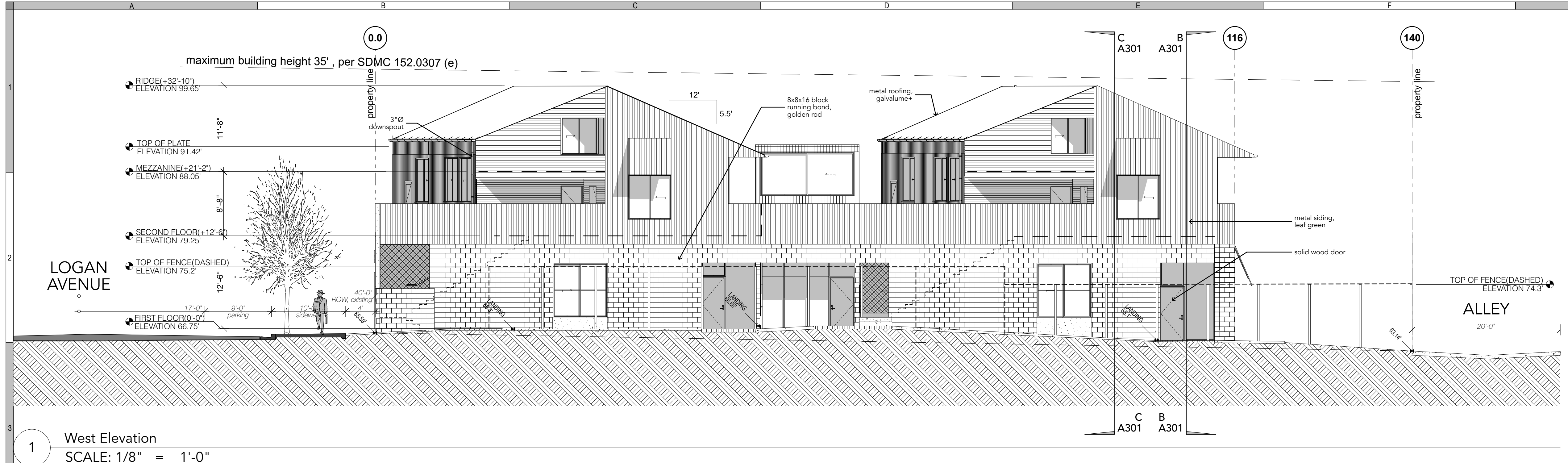
**2621 Building**  
2621 Logan Avenue San Diego CA 92113  
LOTS 19 & 20, BLOCK 5, MAP 327, REED & HUBBELLS ADDITION  
ARCHITECT **rinehart herbst**  
2621 LOGAN AVE. SAN DIEGO CA 92113  
CONTACT: CATHERINE M. HERBST  
PHONE 619 933-4822  
EMAIL: rinehart-herbst@sbcglobal.net

REVISION 1 REVISION 2 REVISION 3

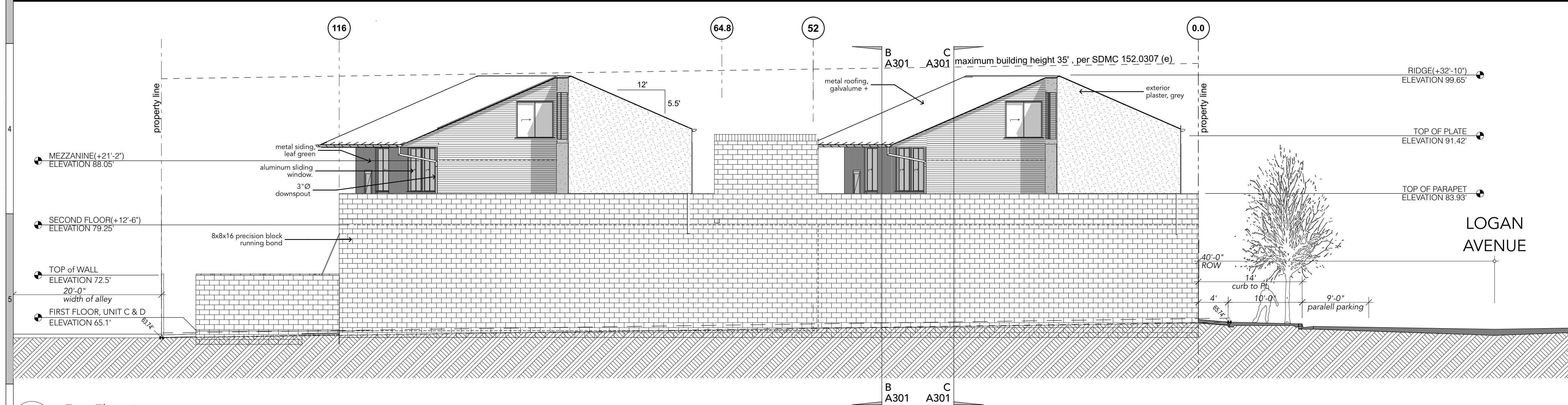
PTS-0697954 DATE PREPARED 3/9/23

**Floor Plans A200**  
SHEET 4 OF 7

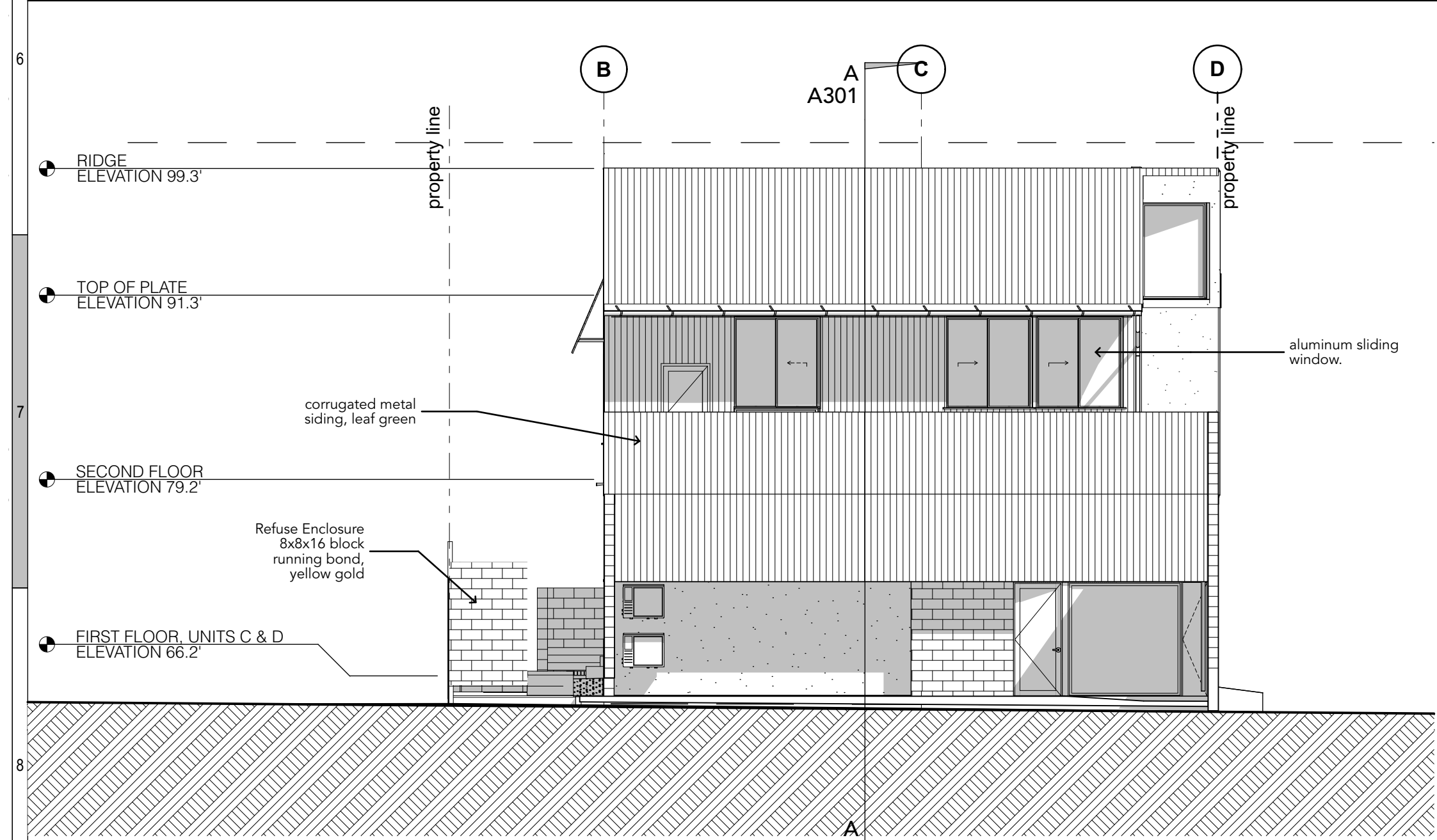




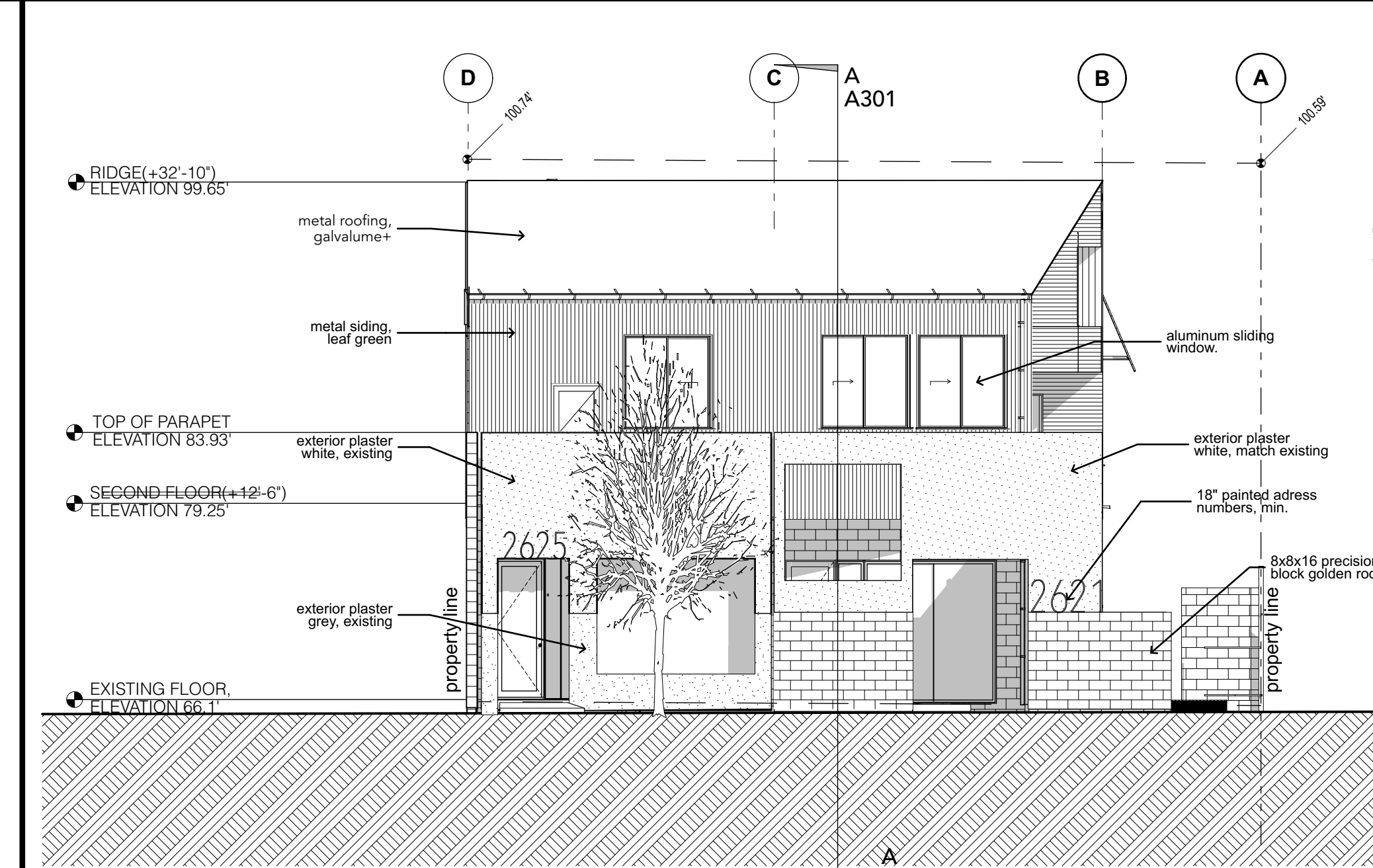
1 West Elevation  
SCALE: 1/8" = 1'-0"



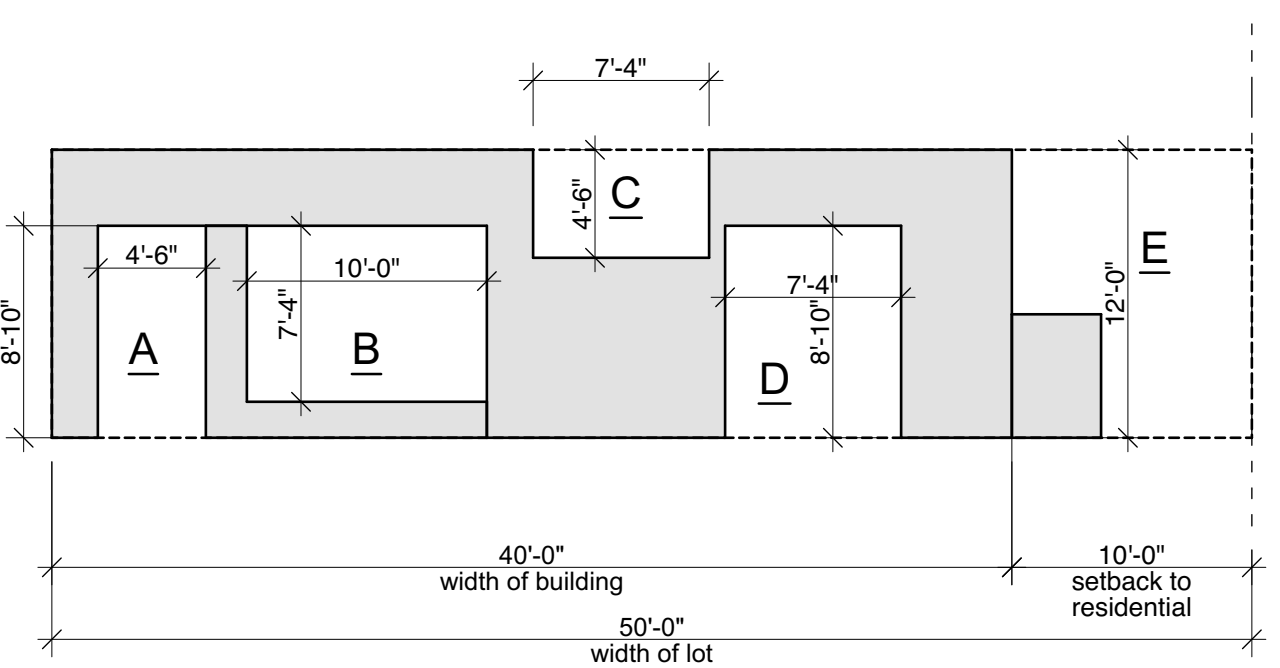
2 East Elevation  
SCALE: 1/8" = 1'-0"



3 Alley (south) Elevation  
SCALE: 1/8" = 1'-0"



4 Logan Avenue (north) Elevation  
SCALE: 1/8" = 1'-0"

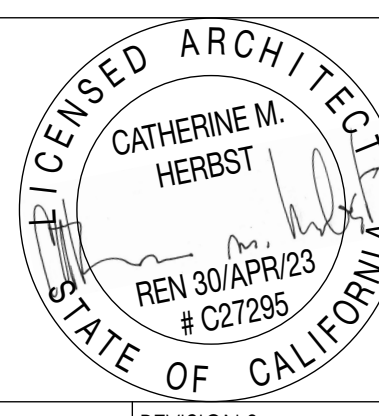


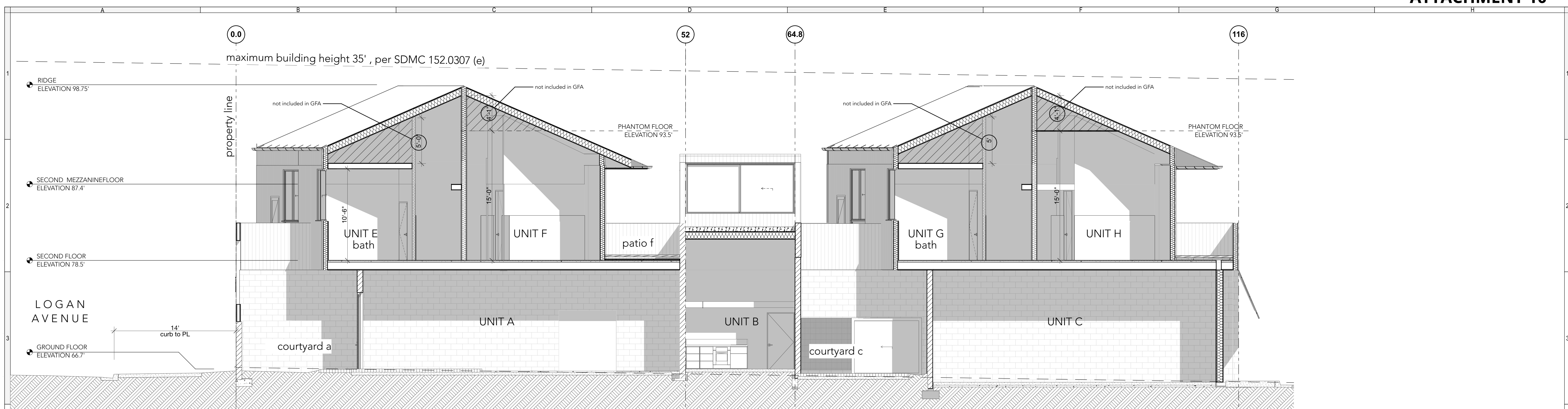
STREET WALL			
	width	height	area
Facade Area	50	12	600 SF
Required Open Area, 50 %			300
Facade Openings			
	width	height	area
A	4.5	8.83	39.74
B	10	7.33	73.30
C	7.33	4.5	11.83
D	8	8.83	70.64
E	10	12	120
Proposed Open Area, 51.8%			315.51 SF

STAMPS

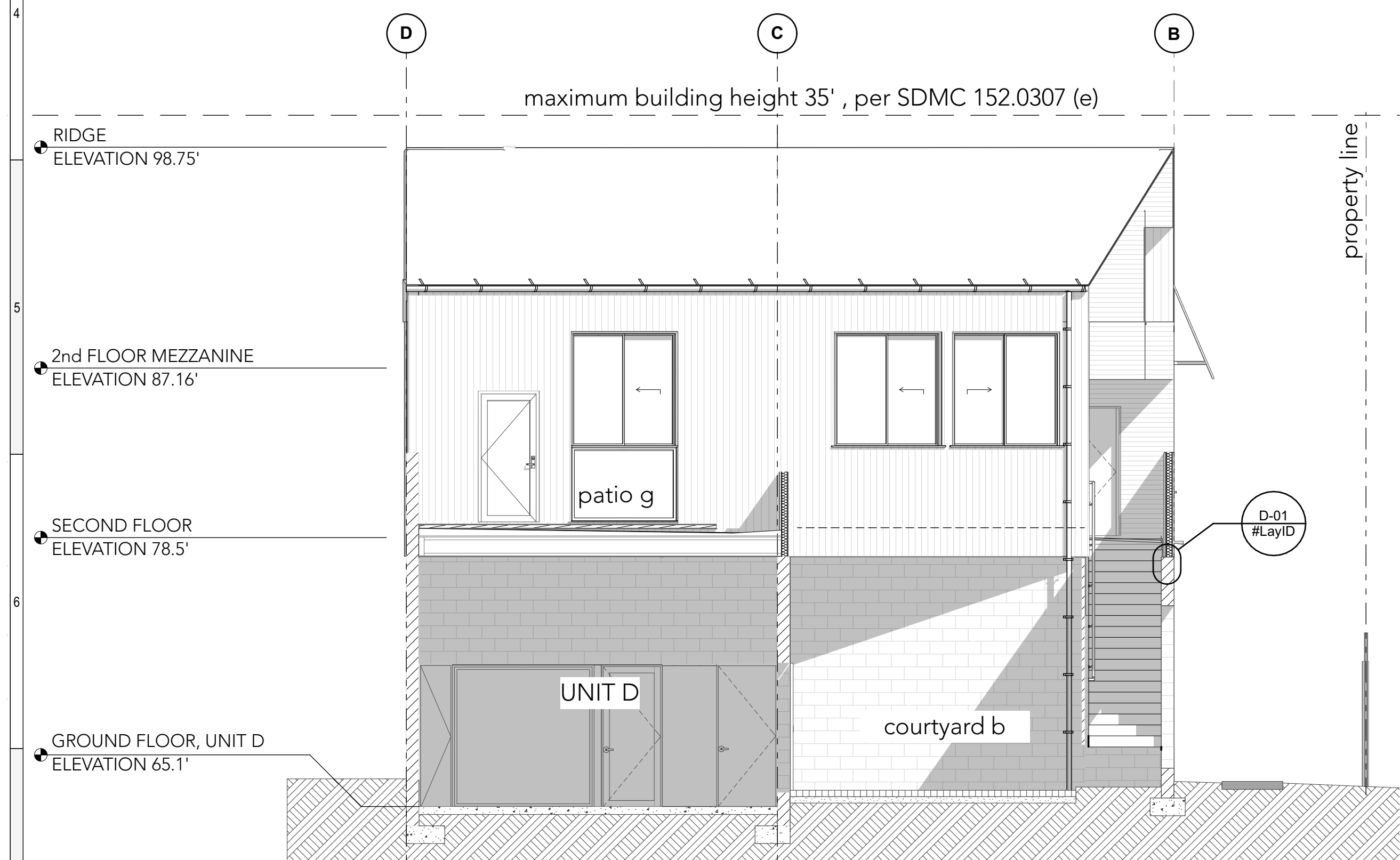
**2621 Building**  
2621 Logan Avenue San Diego CA 92113  
LOTS 19 & 20, BLOCK 5, MAP 327, REED & HUBBELLS ADDITION  
ARCHITECT **rinehart herbst**  
2621 LOGAN AVE. SAN DIEGO CA 92113  
CONTACT: CATHERINE M. HERBST  
PHONE 619 933-4822  
EMAIL: rinehart-herbst@sbcglobal.net

REVISION 1 | REVISION 2 | REVISION 3 | **PTS-0697954** | DATE PREPARED **3/9/23**





1 Site Section A  
SCALE: 3/16" = 1'-0"



2 Building Section B  
SCALE: 3/16" = 1'-0"

STAMPS				<h3>2621 Building</h3> <p>2621 Logan Avenue San Diego CA 92113                  LOTS 19 &amp; 20, BLOCK 5, MAP 327, REED &amp; HUBBELLS ADDITION                  ARCHITECT <b>rinehart herbst</b>                  2621 LOGAN AVE. SAN DIEGO CA 92113                  CONTACT: CATHERINE M. HERBST                  PHONE 619 933-4822                  EMAIL: rinehart-herbst@sbcglobal.net</p>	
REVISION 1	REVISION 2	REVISION 3		PTS-0697954	DATE PREPARED <b>3/9/23</b>
Site Sections				<h1>A301</h1> <p>SHEET 6 OF 7</p>	



**SD** City of San Diego Development Services  
 1222 First Ave., MS-501  
 San Diego, CA 92101

**Landscape Calculations Worksheet**  
 Commercial Development in All Zones  
 Industrial Development in RM and C Zones  
 Commercial Components of Mixed-Use Development

**FORM DS-4**  
 August 2020

Provide the following information on the Landscape Plans. The Landscape Calculations determine the planting area and plant points required by the Landscape Regulations, Chapter 14, Article 2, Division 4 of the Land Development Code. Refer to §142.0403 Table 142-04B for proposed and existing plant point schedule.

- At least one-half of the required planting points shall be achieved with trees.
- If any of the requirements of Landscape Regulations, Section 142.0405(a) 1, 2, and 3 apply to your project, provide a written summary explaining how requirements are being met.

**STREET YARD [§142.0404 - §142.0405]**  
 Industrial and Commercial Development (except Auto Service Stations—see below)

Planting Area Required	Planting Area Provided	Excess Area Provided
Total Area (a) _____ sq. ft. x 25% = (b) _____ sq. ft.	(c) _____ sq. ft.	(d-e) _____ sq. ft.
Plant Points Required	Plant Points Provided	Excess Points Provided
Total Area (a) _____ sq. ft. x 0.05* = (b) _____ points	(c) _____ points	(d-e) _____ points

**0-setback at the street**  
 Plant Points Achieved with Trees (50%) \_\_\_\_\_ points

**REMAINING YARD [§142.0404 - §142.0405]**

Planting Area Required	Planting Area Provided	Excess Area Provided
Total Area 1,400 sq. ft. x 30% = 420 sq. ft.	450 sq. ft.	30 sq. ft.
Plant Points Required	Plant Points Provided	Excess Points Provided
Total Area 1400 sq. ft. x 0.05 = 70 points	130 points	60 points

Plant Points Achieved with Trees (50%) \_\_\_\_\_ points

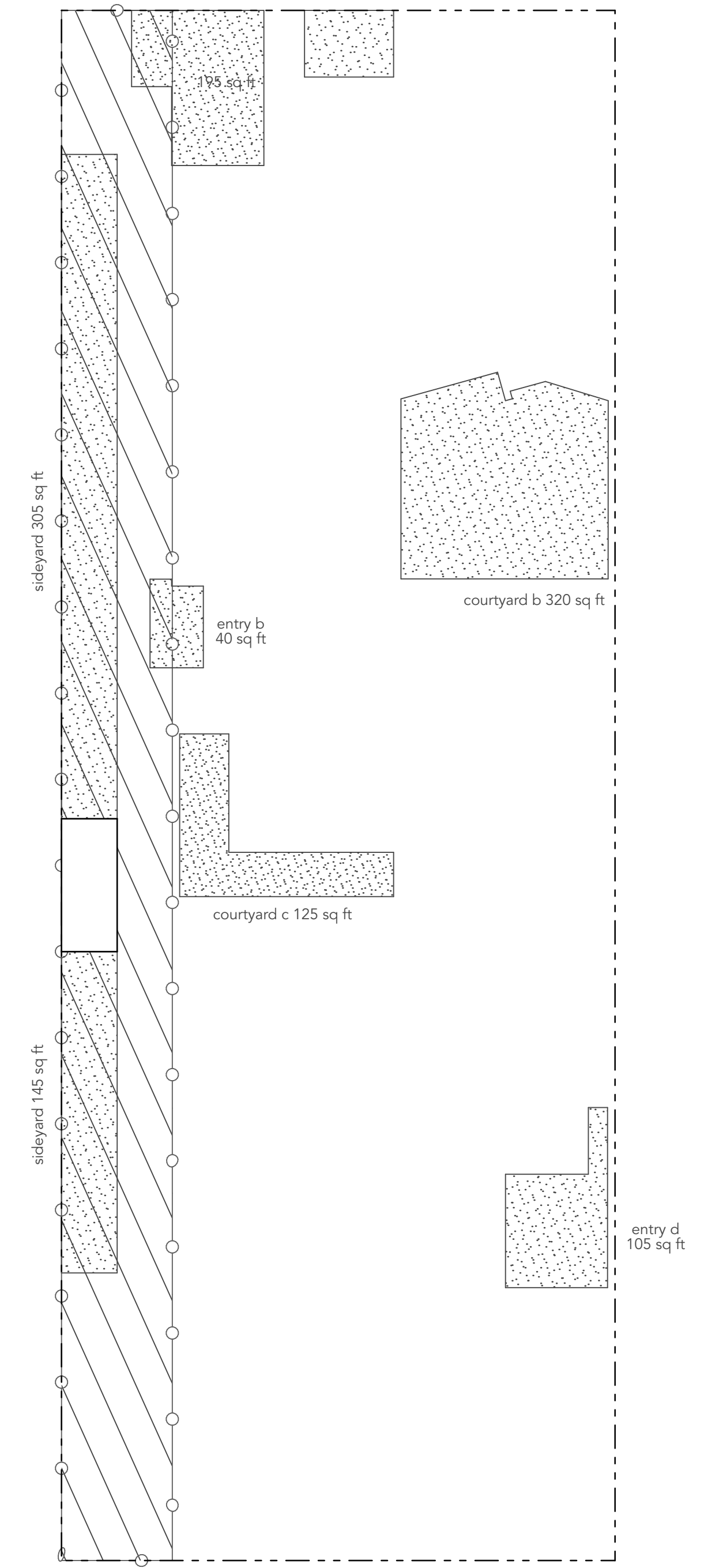
Printed on recycled paper. Visit our web site at [www.sandiego.gov/development-services](http://www.sandiego.gov/development-services).  
 Upon request, this information is available in alternative formats for persons with disabilities.  
 DS-4 (08-20)

**AREA CALCULATIONS**

Landscape Areas Provided	Vehicle Use Areas	Remaining Yard
court a	195	1,025
side yard	305	
court b	145	
court c	320	
entry d	165	
entry d	105	
<b>TOTAL</b>	<b>1235</b>	
Landscape areas excluded		94
30 sf + <3'		43
		60
		72
		159
		113
		117
<b>Built Area</b>		167
buildings	2825	705
refuse	60	1325
	2885	
		LOT AREA
		7000

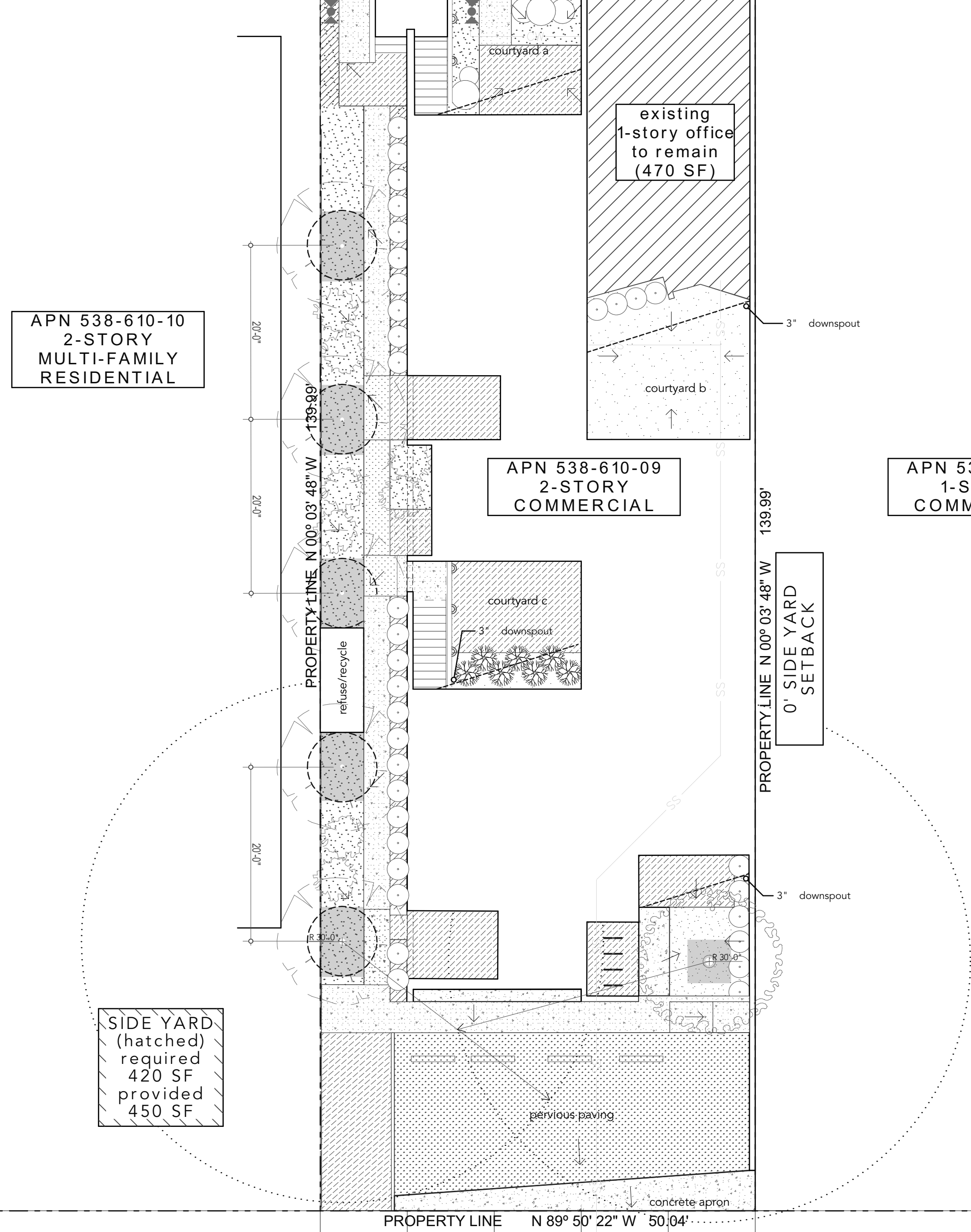
**LANDSCAPE & IRRIGATION NOTES**

- All landscape and irrigation shall conform to the standards of the City-wide Landscape Regulations and the City of San Diego Land Development Manual Landscape Standards.
- All graded, disturbed or eroded areas that will not be permanently paved or covered by structures shall be permanently re-vegetated and irrigated per SDMC Table 142-04F.
- All required plant material shall be irrigated with a permanent, below-grade, automatic, electrically controlled irrigation system shall be provided as required for proper irrigation, development, and maintenance of the vegetation in a healthy, disease resistant condition. The design of the system shall provide adequate support for the selected vegetation. A backflow preventer will be installed for the irrigation system.
- All required landscape areas shall be maintained by **property owner**. Landscape and irrigation areas in the public right-of-way shall be maintained by **property owner**. The landscape areas shall be maintained free of debris and litter, and all plant material shall be maintained in a healthy growing condition. Diseased or dead plant material shall be satisfactorily treated or replaced per the conditions of the permit.
- All required planted areas and exposed soil areas shall be covered with 3" of mulch.
- Landscaping shall be installed in such a manner as to allow the vines to climb the fence during growth.
- Project is built to 0' at Street Yard, Logan Ave. and therefore no street yard is provided.
- MINIMUM TREE SEPARATION DISTANCE Traffic signals / stop signs - 20 feet Underground utility lines - 5 feet (10' for sewer) Above ground utility structures - 10 feet Driveway (entries) - 10 feet Intersections (intersecting curb lines of two streets) - 25 feet
- A minimum root zone of 40sf in area shall be provided for all trees. The minimum dimension for this area shall be 5 feet, per SDMC 142.0403(b)(6).
- Trees shall be maintained so that all branches over pedestrian walkways are 6 feet above the walkway grade and branches over vehicular travel ways are 16 feet above the grade of the travel way per the SDMC 142.0403(b)(11).
- All pruning shall comply with the standards of the American National Standards Institute (ANSI) for tree care operations and the International Society of Arboriculture (ISA) for tree pruning per SDMC 142.0403(b)(8). Topping of trees is not permitted.
- Tree root barriers shall be installed where trees are placed within 5 feet of public improvements including walks, curbs, or street pavements or where new public improvements are placed adjacent to existing trees. The root barrier will not wrap around the root ball.



REMAINING YARD 1,400 SF  
 PROVIDED LANDSCAPED AREA 450 SF

2 Remaining Yard Diagram  
 SCALE: 1" = 10'



APN 538-610-10 2-STORY MULTI-FAMILY RESIDENTIAL  
 APN 538-610-09 2-STORY COMMERCIAL  
 APN 538-610-08 1-STORY COMMERCIAL

1 Landscape Plan  
 SCALE: 1" = 10'

**SITE LEGEND**

fill pattern	description
[Pattern]	IMPERVIOUS AREAS - 4,220 SF
[Pattern]	2,885 SF 2-story proposed building footprint include refuse/recycle and site walls
[Pattern]	470 SF building footprint, existing 1948 1-story
[Pattern]	765 SF - concrete flatwork: 5" thick cast-in-place concrete flatwork. Provide expansion joint adjacent to building and control joints(c.j.) as indicated.
[Pattern]	PERVIOUS AREAS - 2,780 SF
[Pattern]	1,230 SF landscape area: See sheet L100 for plant material and required yard calculations
[Pattern]	> 3' - 175 SF excluded planted area, per SDMC 142.0403(d)(2)
[Pattern]	705 SF - pervious parking area, Truegrid 'Pro Plus'
[Pattern]	620 SF - dry set brick pavers, 3" x 18" x 4" narrow concrete block pavers / weed barrier and 2" clean sand. Stepstone, Color #1812 Agave

**PLANTING AREA & POINTS REQUIREMENTS**

yard in SF	description	required planting area	required plant points
0	0 - front yard		0
1400	remaining yard at 30%	420	.05 points/SF
<b>TOTAL PLANT POINTS REQUIRED</b>			<b>21</b>

Symbol	Plant Type	QTY	Plant Size	Plant point achieved
[Symbol]	grass	34	1-gallon	1.0 point/plant
[Symbol]	fast growing ornamental perennial	34	Muhlenbergia Capilaris, Hairy Awn Muhly	34
[Symbol]	grass	7	1-gallon	1.0 point/plant
[Symbol]	shade growing year round	7	Hakonechloa Macra - 'Hakone Grass'	7
[Symbol]	deciduous vine	5	1-gallon	1.0 point/plant
[Symbol]	fast growing fruit bearing	5	Passiflora Encarnata - 'Passion Fruit'	5
[Symbol]	cactus/succulent	5	1-gallon	1.0 point/plant
[Symbol]	partial sun, low water match existing	5	Agaves, 'Blue Flame Agave'	5
[Symbol]	evergreen shrub	8	1-gallon	1.0 points/plant
[Symbol]	medium tall buffer screening shrub	8	Dodonea Purpurea, Purple Hopbush	8
[Symbol]	deciduous tree	5	24' Box	20.0 points/plant
[Symbol]	side yard tree screen, shade and accent	5	Acacia Stenophylla 'Shoestring Acacia'	100
[Symbol]	evergreen	1	24' box	20.0 points/plant
[Symbol]	accent tree ornamental	1	Agonis Flexuosa 'Peppermint Willow'	20
[Symbol]	Street tree	1	existing	
[Symbol]	accent tree	1	Searsia Lancea, 'African Sumac'	
[Symbol]	dense shade, evergreen	1	height 30'/canopy 25' - 35'	

SDMC 142.0405 (a)(1)  
 Unless specified otherwise in Table 142-04C, at least one-half of the required planting points shall be achieved with trees.

PROVIDED PLANT POINT IN TREES 120  
 PROVIDED PLANT POINTS 179

STAMPS

**2621 Building**  
 2621 Logan Avenue San Diego CA 92113  
 LOTS 19 & 20, BLOCK 5, MAP 327, REED & HUBBELLS ADDITION  
 ARCHITECT **rinehart herbst**  
 2621 LOGAN AVE. SAN DIEGO CA 92113  
 CONTACT: CATHERINE M. HERBST  
 PHONE 619 933-4822  
 EMAIL: [rherbst@sbglobal.net](mailto:rherbst@sbglobal.net)

REVISION 1 REVISION 2 REVISION 3  
**PTS-0697954** DATE PREPARED **3/9/23**