



THE CITY OF SAN DIEGO

Report to the Hearing Officer

DATE ISSUED: April 12, 2023 REPORT NO. HO-23-019

HEARING DATE: April 19, 2023

SUBJECT: 1215 West Nutmeg Street Cannabis Outlet, Process Three Decision

PROJECT NUMBER: [PRJ-1054172](#)

OWNER/APPLICANT: VM Gentile Trust and AK Marshall Trust, Owners / COSDD21, LLC, Applicant

SUMMARY

Issue: Should the Hearing Officer approve a Conditional Use Permit application for the operation of a cannabis outlet within a 3,062-square-foot commercial space within an existing 6,208-square-foot commercial building located at 1215 West Nutmeg Street within the Midway Pacific Highway Community Planning area?

Staff Recommendation:

1. Approve Conditional Use Permit No. PMT-3162252.

Community Planning Group Recommendation: On November 16, 2022, the Midway-Pacific Highway Community Planning Group voted 6-0-1 to recommend approval without recommendations or conditions.

Environmental Review: This project was determined to be categorically exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines Section 15301 (Existing Facilities). This project is not pending an appeal of the environmental determination. The environmental exemption determination for this project was made on March 20, 2023, and the opportunity to appeal that determination ended April 4, 2023.

BACKGROUND

On March 25, 2014, the City of San Diego adopted Ordinance No. [O-20356](#) to implement regulations for Medical Marijuana Consumer Cooperatives (MMCCs), allowing the sale of medicinal marijuana with the approval of a Conditional Use Permit (CUP). On February 22, 2017, Ordinance No. [O-20793](#) was approved, which included amendments to the Land Development Code and the Local Coastal Program, replacing the MMCC use with a new retail sales use, Marijuana Outlet. On January 8, 2020, the San Diego Municipal Code (SDMC) was amended by Council Ordinance No. [O-21163](#). The revision replaced the word "marijuana" with "cannabis", to reflect consistency with the State of

California cannabis regulations. Therefore, Marijuana Outlet was renamed to Cannabis Outlet. On December 15, 2021, the Redistricting Commission voted to approve the decennial redistricting map because of the federal 2020 Census. On December 12, 2022, the revised Council Districts went into effect.

Pursuant to [SDMC Section 141.0504](#), cannabis outlets are limited to no more than four per each of the nine City Council districts, with existing outlets that change districts as a result of redistricting allowed to remain (36 + 2 existing to remain, for a total of 38 allowed). These outlets are permitted only within commercial and industrial zones in order to minimize the impact on the City's residential neighborhoods. The project site is in Council District 2 (CD 2), which currently has three cannabis outlets. If approved by the Hearing Officer, the proposed project would be the fourth and final Cannabis Outlet CUP approved within CD 2, and the 32nd within the City.

Cannabis Outlets are allowed with the approval of a Process Three CUP, pursuant to [SDMC Section 126.0303](#), in designated base zones. A CUP allows a Cannabis Outlet to sell both medicinal and recreational cannabis products subject to state licensing requirements as defined in California Business and Professions Code section 26001.

DISCUSSION

Project Description:

Project Location:	1215 West Nutmeg Street
Project Scope:	CUP to operate a cannabis outlet within a 3,062-square-foot commercial space in an existing 6,208-square-foot building. Project will make northern storefront façade and accessibility revisions that will reduce building size to 5,916 square feet.
Lot Size:	0.26 acres
Zoning:	IS-1-1 (Industrial Small Scale)
Land Use Plan Designations:	Urban Industrial / Potential Historical Resource (Midway – Pacific Hwy Community Plan), Industrial Employment (General Plan). <i>Also: SANDAG/MTS/NCTD – Intermodal Transit Center potential site – See Deferred Improvement Agreement discussion below.</i>
Overlays:	Airport Approach Overlay, Airport Land Use Compatibility Overlay (North Island Naval Air Station (NAS), San Diego International Airport (SDIA) – Safety Zone 2E , Airport Influence Area (SDIA-Noise Contours-75+ CNEL, SDIA-Review Area 1 , North Island Naval Air Station – Review Area 2), Coastal Overlay Zone (Non-Appealable Area 2), Coastal Height Limitation Overlay, FAA Part 77 Noticing Area, Parking Impact Overlay (Coastal), Parking Standards Transit Priority Area (TPA) , and Transit Area Overlay (bold denotes relevant overlays for the project)

The project site was developed in 1946 with a corrugated steel Quonset hut. Between 1950 and 1955, a block-wall addition was added to the structure. The site has most recently been used as a cabinet shop. Based on an historic resources report as part of the Midway-Pacific Highway

Community Plan (MPHCP) update, the Quonset hut structure was identified as a potential historical resource. There are also three unpermitted accessory structures on the site that will be removed. The project proposes to develop the 3,062-square-foot portion of the structure (the Quonset) and convert it into a cannabis outlet. Modifications to the building include changes to the northern façade to include store-front glazing and roof/exterior modifications to facilitate accessibility and therefore reduce the total building square footage to 5,916 square feet. The project is a commercial use that is located on an 11,267-square-foot site (less than 15,000 sf) and without alley access. Therefore, vehicular parking spaces are not required per SDMC Section [142.0540](#) and Table 142-05H for Commercial Uses (such as a Cannabis Outlet) on Small Lots. Ten parking spaces will be provided.

Land Use Plan Analysis:

Community Plan – The Midway–Pacific Highway Community Plan (MPHCP) identifies the project site as Urban Industrial. This designation can accommodate small and medium-size industrial and business uses with an urban development character. The Historic Preservation Element of the MPHCP identifies the existing Quonset hut as potentially significant ([MPHCP Survey Report – Page 36](#)). Designation of this site would be via a separate process not included in this application. To maintain conformance with the Historic Preservation Element of the MPHCP, the project has been designed to meet the Secretary of the Interior’s Standards for Historic Properties. Major elements of the Quonset hut are preserved, with modifications made only to the northern portion of the building. This preserves the integrity of the existing Quonset hut, and meets the intent of the Historic Preservation Element of the MPHCP.

The project site is also within the Kettner District of the MPHCP. The policies of the Kettner District reflect the redevelopment and growth of this specific area as a major transit and passenger rail hub in proximity to the airport. The project has been designed to meet Land Use (LU) and Urban Design (UD) policies within the MPHCP:

LU-4.81 - Encourage development with varying building facades and a pedestrian scale, without a front setback or with a limited setback to form a defined street wall.

The IS-1-1 zone has a 10-foot front yard setback, which the project is in conformance with and currently observes. The project includes the addition of a unique element to the structure at the northern facade in the form of a storefront installation to create more visual interest from the public right of way, while allowing ADA access to the store.

UD-6.2 - Design buildings with active frontage elements such as enhanced windows, storefront treatments, and public spaces that front on to the public realm to enliven the streetscape and provide eyes on the street.

The project includes a storefront installation at the northern façade that both allows ADA access, and is interesting in its activation to the public. Therefore, the proposed project promotes the policies of the land use plan.

General Plan - The project site is designated Industrial by the Land Use and Community Planning Element of the General Plan. The proposed project will promote the policies of the General Plan because Cannabis Outlets supply jobs and encourage and facilitate commerce within the San Diego region.

Base Zone - The purpose of the IS-1-1 zone is to provide for small-scale, multi-tenant, and flexible industrial activities within urbanized areas. It is intended that the IS zones permit a wide range of industrial and nonindustrial land uses to promote economic vitality and a neighborhood scale in development. Cannabis outlets are a specialized, separately regulated commercial use that conforms to the IS-1-1 base zone.

The above analysis indicates that the proposed Cannabis Outlet is a compatible use at this location with a CUP and is consistent with the Community Plan land use policies.

Deferred Improvement Agreement:

The project site is surrounded by Port District properties to the north, west, and south, and a regional rail corridor to the east, which includes both Metropolitan Transit System trolley lines and Amtrak/North County Transit Coaster rail lines (see Separation Requirements below). The San Diego Association of Governments (SANDAG) has identified this area encompassing the project site as a potential location for a regionwide Intermodal Transit Station where multiple modes of transportation (bus, rail, trolley) will connect to the San Diego International Airport to the west. This will create a potential for substantial changes in the area in the next few years.

The area encompassing the project site may be one of the sites for a larger transit station (as also identified in the MPHCP), and as such, will potentially result in site changes that would conflict with permit condition No. 15 improvements to the West Nutmeg Street right-of-way fronting the property. For this reason, the public improvements at West Nutmeg Street are requested to be deferred. The applicant has requested a Deferred Improvement Agreement (Attachment 11). This agreement, assured by bond, will defer associated improvements to a later date. This would allow continued coordination with SANDAG and the Port District. Should no changes to the project site from SANDAG or the Port District occur prior to expiration of the Cannabis Outlet CUP, the City Engineer will then require the construction of the public improvements as conditioned (Condition No. 15) and shown on Exhibit "A" (Attachment 10).

Separation Requirements:

Pursuant to SDMC Section 141.0504 (a), Cannabis outlets must be at least 1,000 feet away from:

- City parks
- Childcare centers
- Churches
- Playgrounds
- City libraries
- Minor-oriented facilities
- Schools
- **Other outlets**

Other Outlets: A cannabis outlet located at 2555 Kettner Boulevard was approved by the Hearing Officer on January 25, 2023. Although the subject project is located within 1,000 feet of the Kettner Boulevard outlet, the rail lines between the two projects introduce a physical obstruction that would prevent direct pedestrian access along the shortest route. SDMC Section 113.0225(c) allows the

1,000-foot separation distance to be measured in the most direct route around the barrier, resulting in a separation of approximately 1,200 feet.

Outlets must also be at least 100 feet from all residentially zoned properties. City staff has reviewed separation requirements for this project (Attachment 6) and determined that the proposed cannabis outlet complies with all separation requirements, including the distance between outlets.

Operational and Security Requirements:

The proposed outlet is subject to the operational and security requirements of SDMC Sections 141.0504(b) through (m), which are included as conditions of approval of the CUP. These requirements include a prohibition on consultation by medical professionals on-site; prohibition of the use of vending machines except by a responsible person (as defined by [SDMC Sections 42.1502](#) and [11.0210](#)); provision of interior and exterior lighting, operable cameras, alarms, security guard; restriction of hours of operation to between 7:00 am and 9:00 pm daily; maintenance of area and adjacent public sidewalks free of litter and graffiti, removal of graffiti within 24 hours, and signage restrictions. Outlets must also comply with Chapter 4, Article 2, Division 15 which provides guidelines for lawful operation. State law also heavily regulates outlets, including their operational characteristics, testing and labeling of products, and advertising.

Conclusion:

All issues identified through the review process have been resolved in conformance with adopted City Council policies and regulations of the Land Development Code. The proposed project complies with all development regulations of the IS-1-1 zone and no deviations are required to approve the project. The project meets all separation requirements and the permit has been conditioned to ensure the proposed cannabis outlet would not be detrimental to the public health, safety, and welfare. Staff has provided draft findings (Attachment 4) to support the proposed development and draft conditions of approval (Attachment 5). Staff recommends that the Hearing Officer approve CUP No. PMT-3162252 as proposed.

ALTERNATIVES

1. Approve CUP No. PMT-3162252, with modifications.
2. Deny CUP No. PMT-3162252, if the findings required to approve the project cannot be affirmed.

Respectfully submitted,

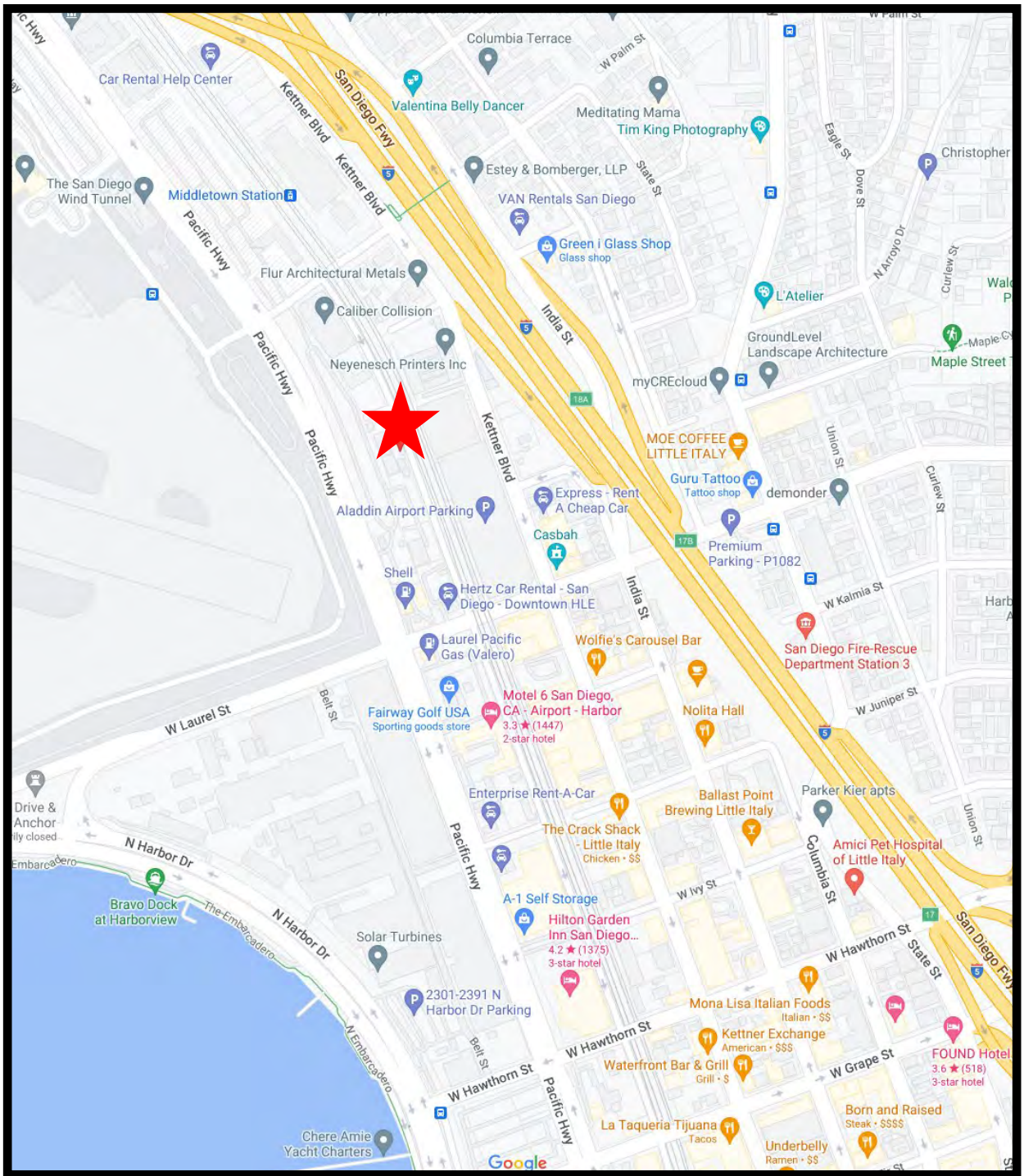


Francisco Mendoza, Development Project Manager

Attachments:

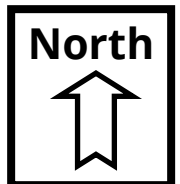
1. Project Location Map
2. Community Plan Land Use Map

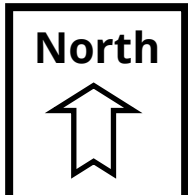
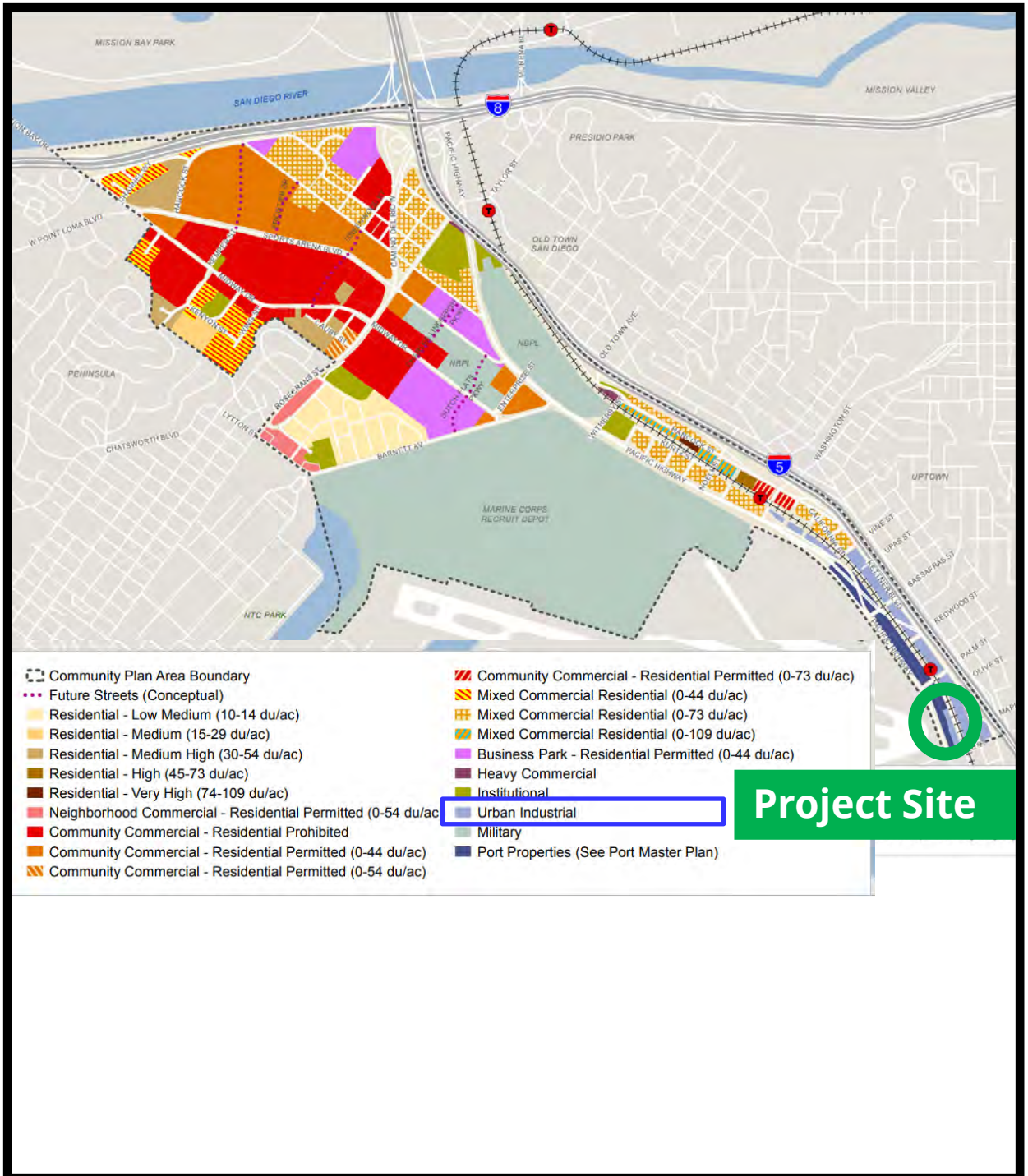
3. Aerial Photograph
4. Draft Resolution with Findings
5. Draft Permit with Conditions
6. 100/1,000-foot Separation Information
7. Community Planning Group Recommendation
8. Ownership Disclosure Statement
9. Environmental Exemption
10. Project Plans
11. Deferred Improvement Agreement

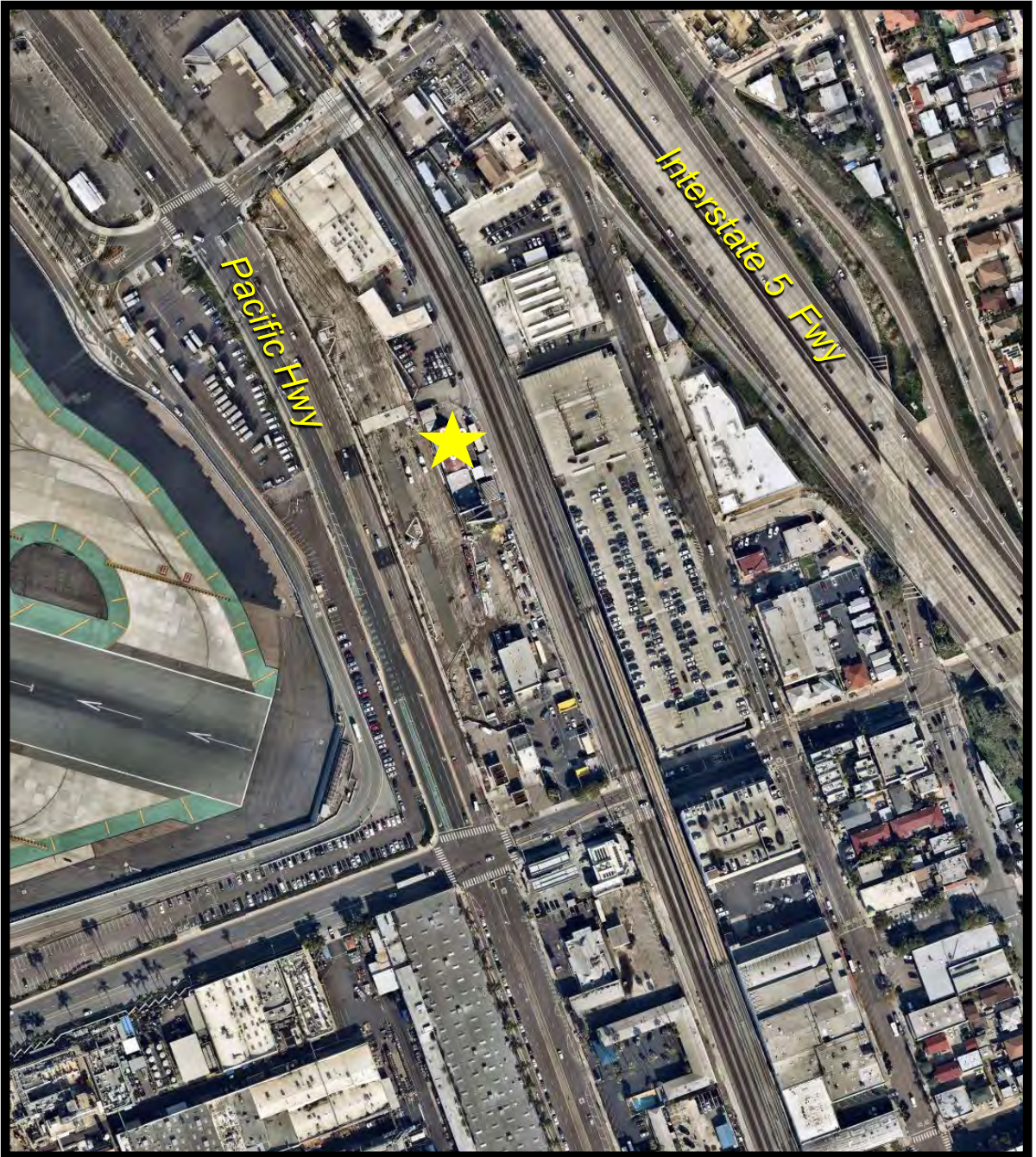


Project Location

1215 W. Nutmeg St Cannabis Outlet
Project No. PRJ-1054172

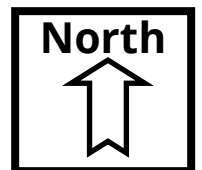






Aerial Photo

1215 W. Nutmeg Cannabis Outlet
Project No. PRJ-1054172



HEARING OFFICER
RESOLUTION NO. HO-_____
CONDITIONAL USE PERMIT NO. PMT-3162252
1215 WEST NUTMEG STREET CO - PROJECT NO. PRJ-1054172

WHEREAS, VM GENTILE TRUST and AK MARSHALL TRUST, Owners, and COSDD21, LLC, a California limited liability company, Permittee, filed an application with the City of San Diego for a Conditional Use Permit to operate a Cannabis Outlet in an existing 3,062-square-foot commercial space within a 6,208-square-foot commercial building (as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Permit No. 3162252, and hereafter referred to as "project") on portions of a 0.26-acre site;

WHEREAS, the project site is located at 1215 West Nutmeg Street, in the IS-1-1 zone, the Airport Approach Overlay, the Airport Land Use Compatibility Overlay (North Island Naval Air Station (NAS), the San Diego International Airport (SDIA) – Safety Zone 2E), the Airport Influence Area (SDIA-Noise Contours-75+ CNEL, SDIA-Review Area 1, North Island Naval Air Station – Review Area 2), Coastal Overlay Zone (Non-Appealable Area 2), the Coastal Height Limitation Overlay, FAA Part 77 Noticing Area, the Parking Impact Overlay (Coastal), the Parking Standards Transit Priority Area (TPA), and the Transit Area Overlay zones of the Midway-Pacific Highway Community Plan area;

WHEREAS, the project site is legally described as Parcels 1, 2, and 3 of Portions of Lots 70, 71, and 72 of Middletown, in the City of San Diego, County of San Diego, State of California, according to the Partition Map of Said Middletown, made by J.E. Jackson on file in the Office of the County Clerk of San Diego County, and more particularly described in Grant Deed Recorded September 8, 2021, as Document No. 2021-0635411 of Official Records of the Office of the San Diego County Recorder;

WHEREAS, on April 19, 2023, the Hearing Officer of the City of San Diego considered Conditional Use Permit No. PMT-3162252 pursuant to the Land Development Code of the City of San Diego; NOW, THEREFORE,

BE IT RESOLVED by the Hearing Officer of the City of San Diego, that it adopts the following findings with respect to Conditional Use Permit No. PMT-3162252:

A. **CONDITIONAL USE PERMIT FINDINGS [SDMC Section 126.0305]**

1. **The proposed development will not adversely affect the applicable land use plan.**

The proposed development is a request for a Conditional Use Permit (CUP) to allow the operation of a Cannabis Outlet in a 3,062-square-foot space within a 6,208-square-foot commercial building (modifications noted below reduce building size to 5,916 square feet) consisting of a Quonset hut structure and blockwall addition. The developed 0.26-acre project site is located at 1215 West Nutmeg Street, in the IS-1-1 zone within the Kettner District of the Midway-Pacific Highway Community Plan (MPHCP). The MPHCP designates the project site as Urban Industrial, which provides for small and medium-sized industrial and business activities.

The Historic Preservation Element of the MPHCP identifies the existing Quonset hut structure as a potentially significant historical resource eligible for historic designation. Designation is not proposed at this time. To maintain conformance with the Historic Preservation Element of the MPHCP, the project has been designed to the Secretary of the Interior's standards. Major elements of the Quonset hut are preserved, with modifications made only to the northern façade of the building in the form of store-front glazing and roof/exterior modifications to facilitate accessibility. This preserves the integrity of the existing Quonset hut, meeting the intent of both the Historic Preservation Element and the Kettner District. The policies of the Kettner District reflect the redevelopment and growth of this specific area as a major transit and passenger rail hub in proximity to the airport. The project has been designed to meet several Land Use (LU) and Urban Design (UD) policies within the MPHCP:

LU-4.81 - Encourage development with varying building facades and a pedestrian scale, without a front setback or with a limited setback to form a defined street wall. The IS-1-1 zone has a 10-foot front yard setback, which the project is in conformance with and currently observes. The project includes addition of a unique element to the structure at the northern facade in the form of a storefront installation to create more visual interest from the public right of way, while allowing ADA access to the store.

UD-6.2 - Design buildings with active frontage elements such as enhanced windows, storefront treatments, and public spaces that front on to the public realm to enliven the streetscape and provide eyes on the street. The project includes a storefront installation at the northern façade that both allows ADA access, and is interesting in its activation to the public. Therefore, the proposed project promotes the policies of the land use plan.

The project site is designated Industrial Employment by the Land Use and Community Planning Element of the General Plan. The proposed project will promote the policies of the General Plan because cannabis outlets supply jobs and encourage or facilitate commerce within the San Diego Region.

Therefore, the proposed Cannabis Outlet is a compatible use at this location with a CUP, it is consistent with the Community Plan land use policies and will not adversely affect the applicable land use plans.

2. The proposed development will not be detrimental to the public health, safety, and welfare.

The project proposes improvements to an existing commercial building. It will not be detrimental to the public health, safety and welfare because the discretionary permit controlling the development and continued use of this site contains specific regulatory conditions of approval. These conditions, which are implemented and enforced through the permit, are specifically intended to reduce, mitigate and/or prevent all adverse impacts to the public and community at large.

The San Diego Association of Governments (SANDAG) has identified the area encompassing the proposed development as a potential location for a regionwide Intermodal Transit Station where multiple modes of transportation (bus, rail, trolley) will connect to the San Diego International Airport to the west. This will create a potential for substantial changes in the development area in the next few years.

This development location may be part of one of the sites for a larger transit station (as also identified in the MPHCP), and as such, will potentially result in changes that would conflict with permit condition No. 15 improvements to the West Nutmeg Street right-of-way fronting the development. For this reason, the applicant requests deferral of public improvements at West Nutmeg Street and execution of a Deferred Improvement Agreement with the City assured by bond to allow continued coordination with SANDAG and the Port District. Should no changes to the project site from SANDAG or the Port District occur prior to expiration of the Cannabis Outlet CUP, the City Engineer will then require the construction of the public improvements as conditioned (Condition No. 15) and shown on Exhibit "A" (Attachment 10).

Approval of the CUP would allow the sale of cannabis to be conditioned in order to prevent potential adverse impacts on the community. The proposed Cannabis Outlet is subject to specific operational requirements and restrictions as set forth in SDMC Section 141.0504 (b) through (m), which have also been incorporated as conditions in the CUP. These requirements include a prohibition on consultation by medical professionals on-site;

prohibition of the use of vending machines except by a responsible person (as defined by [SDMC sections 42.1502](#) and [11.0210](#)); provision of interior and exterior lighting, operable cameras, alarms, security guard; restriction of hours of operation to between 7:00 am and 9:00 pm daily; maintenance of area and adjacent public sidewalks free of litter and graffiti, removal of graffiti within 24 hours, and signage restrictions. Cannabis Outlets must also comply with SDMC Chapter 4, Article 2, Division 15 which provides guidelines for lawful operation. The CUP is valid for five years, however, may be revoked if the use violates the terms, conditions, lawful requirements, or provisions of the permit. Construction of the project authorized through this and subsequent permits will be subject to all adopted building, electrical, mechanical, fire and plumbing codes, which will be enforced through plan review and building inspections completed by the City's building inspectors. Based on the above analysis, project features and conditions of approval, the proposed development will not be detrimental to the public health, safety, and welfare.

3. The proposed development will comply with the regulations of the Land Development Code including any allowable deviations pursuant to the Land Development Code.

The project site is in the IS-1-1 zone and a Cannabis Outlet is an allowed use with the approval of a CUP pursuant to SDMC Table 131-05B. No deviations are requested or required by this project. Additionally, the project is within the Airport Influence Area – San Diego International Airport Safety Zone 2E. As the project is under the development threshold of 191 persons per acre (140 for this project), the proposed project is consistent with the regulations of the safety zone.

The project is exempt from the Airport Land Use Compatibility Overlay Zone regulations set forth in Chapter 13, Article 2, and Division 15 of the SDMC pursuant to Section 132.1505(c)(1) and (2) as: 1) the project is limited to modifications that will not increase the density, floor area ratio or height of the existing structure, and 2) the proposed project would not require an increase in the number of parking spaces pursuant to Chapter 14, Article 2, Division 5. Although the project is in the Coastal Overlay Zone (Non-appealable Area 2), the project is also exempt from a Coastal Development permit under SDMC Section 126.0704 for these reasons.

Cannabis Outlets are limited to no more than four per each of the nine City Council districts, with existing outlets that change districts as a result of redistricting allowed to remain (36 + 2 existing to remain, for a current total of 38 allowed), within certain commercial and industrial zones to reduce impacts to the City and residential zones. The project would be the fourth Cannabis Outlet CUP in Council District 2, and the 32nd in the City. The project complies with SDMC Section 141.0504, which requires a 1,000-foot separation from resource and population-based city parks, other cannabis outlets, churches, childcare centers, playgrounds, libraries owned and operated by the City of San Diego, minor-oriented facilities, residential care facilities, and schools measured in accordance with SDMC sections 141.0504 and 113.0225, and a 100-foot separation from a residential zone.

A cannabis outlet located at 2555 Kettner Boulevard was approved by the Hearing Officer on January 25, 2023. Although the subject project is located within 1,000 feet of the Kettner Boulevard outlet, the rail lines between the two projects introduce a physical obstruction or barrier that would prevent direct pedestrian access along the shortest route. SDMC Section 113.0225(c) allows the 1,000-foot separation distance to be measured in the most direct route around the barrier, resulting in a separation of approximately 1,200 feet between the 2555 Kettner Boulevard location and the proposed development.

The permits for the project include various conditions and corresponding exhibits of approval relevant to achieving compliance with the SDMC relative to parking, signage, lighting, security measures, hours of operation, and site maintenance. No variance or deviations are requested as part of this application. Therefore, the proposed development will comply with the regulations of the Land Development Code.

4. The proposed use is appropriate at the proposed location.

Cannabis outlets are unique in that there are only four allowed in each Council District and only in certain industrial and commercial zones. No other retail business regulated by the City of San Diego is subject to such restrictions. The proposed project is located in Council District 2 and would be the last permitted cannabis outlet. As indicated in finding A.3., incorporated here by reference, this project site meets all location criteria for cannabis outlets. City staff has reviewed separation requirements for this project and determined that the proposed cannabis outlet complies with SDMC Section 141.0504 separation requirements.

The site is developed with a potential historical resource, and the project has been designed to the Secretary of the Interior's standards for historic properties. The proposed cannabis outlet is within the Parking Standards Transit Priority Area and is not required to provide parking spaces. However, the project site will provide 11 parking spaces.

As stated in Finding A.1., incorporated here by reference, the project will not adversely affect the applicable land use plan. As described in Findings A.2. and A.3., incorporated here by reference, the project has been conditioned so as not to be detrimental to the public health, safety, and welfare and will comply with all the regulations of the Land Development Code. Therefore, for the foregoing reasons, the proposed use is appropriate at the proposed location.

The above findings are supported by the minutes, maps and exhibits, all of which are incorporated herein by this reference.

BE IT FURTHER RESOLVED that, based on these findings adopted by the Hearing Officer, Conditional Use Permit No. PMT-3162252 is hereby GRANTED by the Hearing Officer to the

referenced Owners/Permittee, in the form, exhibits, terms and conditions as set forth in Permit No. PMT-3162252, a copy of which is attached hereto and made a part hereof.

Francisco Mendoza
Development Project Manager
Development Services

Adopted on April 19, 2023

IO#: 24009185

DRAFT

RECORDING REQUESTED BY
CITY OF SAN DIEGO
DEVELOPMENT SERVICES
PERMIT INTAKE, MAIL STATION
501

WHEN RECORDED MAIL TO
PROJECT MANAGEMENT
PERMIT CLERK
MAIL STATION 501

INTERNAL ORDER NUMBER: 24009185

SPACE ABOVE THIS LINE FOR RECORDER'S USE

CONDITIONAL USE PERMIT NO. PMT-3162252
1215 WEST NUTMEG NEW CO PROJECT NO. PRJ-1054172
HEARING OFFICER

This Conditional Use Permit No. 3162252 (Permit) is granted by the Hearing Officer of the City of San Diego to VM GENTILE TRUST and AK MARSHALL TRUST, Owners, and COSDD21, LLC, Permittee, to operate a Cannabis Outlet pursuant to San Diego Municipal Code [SDMC] section 141.0502 in a 3,062-square-foot space in an existing commercial building that will be reduced from 6,208-square feet to 5,916 square feet.

The 0.26-acre site is located at 1215 West Nutmeg Street, in the IS-1-1 Zone, , the Airport Approach Overlay, the Airport Land Use Compatibility Overlay (North Island Naval Air Station (NAS), the San Diego International Airport (SDIA) – Safety Zone 2E, the Airport Influence Area (SDIA-Noise Contours-75+ CNEL, SDIA-Review Area 1, North Island Naval Air Station – Review Area 2), Coastal Overlay Zone (Non-Appealable Area 2), the Coastal Height Limitation Overlay, FAA Part 77 Noticing Area, the Parking Impact Overlay (Coastal), the Parking Standards Transit Priority Area (TPA), and the Transit Area Overlay zones of the Midway-Pacific Highway Community Plan area. The project site is legally described as:

PARCELS 1, 2, AND 3 OF PORTIONS OF LOTS 70, 71, AND 72 OF MIDDLETOWN, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO THE PARTITION MAP OF SAID MIDDLETOWN, MADE BY J.E. JACKSON ON FILE IN THE OFFICE OF THE COUNTY CLERK OF SAN DIEGO COUNTY, AND MORE PARTICULARLY DESCRIBED IN GRANT DEED RECORDED SEPTEMBER 8, 2021, AS DOCUMENT NO. 2021-0635411 OF OFFICIAL RECORDS OF THE SAN DIEGO COUNTY RECORDER'S OFFICE.

Subject to the terms and conditions set forth in this Permit, permission is granted to the Owners and Permittee to operate a cannabis outlet described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated April 19, 2023, on file in the Development Services Department.

The project shall include:

- a. Operation of a Cannabis Outlet within a 3,062-square-foot (sf) space in an existing commercial building;
- b. Landscaping (planting, irrigation, and landscape related improvements);
- c. Off-street parking; and
- d. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act [CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

STANDARD REQUIREMENTS:

1. **Utilization date:** This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36-month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by May 3, 2026.

2. **Expiration date:** This Conditional Use Permit [CUP] and corresponding use of this site shall expire on May 3, 2028.

This expiration date can be extended by filing for a CUP amendment pursuant to SDMC 126.0114(c), 126.0114(d), and 141.0504(n). To allow the use to continue to operate while an amendment is processed, an amendment application must be deemed complete by the close of business on the expiration date. Otherwise, this permit will expire, and all operation of the use must cease.

An amendment application should be filed at least 90 days before expiration to allow time to be deemed complete.

3. The continued utilization of this CUP is contingent upon (but is not limited to) the following:

- a. The existence and utilization of a valid license for this location issued by the California Department of Cannabis Control (DCC) for the proposed business activities. Once initially obtained, this license must not be allowed to lapse while the associated business is in operation. The issuance of this CUP does not guarantee that the DCC will grant a license for this location.
- b. Compliance with Chapter 4, Article 2, Division 15 of the San Diego Municipal Code, including payment of any fees enacted pursuant to SDMC 42.1506.

- c. Timely payment of all Cannabis Business Tax owed pursuant to Chapter 3, Article 4, Division 1 of the San Diego Municipal Code.
 - d. Possession of a valid and current Business Tax Certificate issued by the City of San Diego for all cannabis businesses operating at this location.
 - e. Continued compliance with all Permit Conditions herein.
 - f. Continued compliance with all other applicable federal, state, and local laws.
4. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
- a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
 - b. The Permit is recorded in the Office of the San Diego County Recorder.
5. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.
6. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.
7. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
8. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).
9. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.
10. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.
11. All of the conditions contained in this Permit have been considered and were determined necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

12. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

BUILDING OFFICIAL REQUIREMENT:

13. Prior to the commencement of operations granted by this Permit, the Owner/Permittee shall be granted occupancy for this cannabis outlet use through a building permit, consistent with all California Codes and Regulations in effect at the time of building permit issuance, to the satisfaction of the Building Official.

ENGINEERING/TRANSPORTATION REQUIREMENTS:

14. All automobile, motorcycle and bicycle parking spaces must be constructed in accordance with the requirements of the SDMC. All on-site parking stalls and aisle widths shall be in compliance with requirements of the City's Land Development Code and shall not be converted and/or utilized for any other purpose, unless otherwise authorized in writing by the appropriate City decision maker in accordance with the SDMC.

15. Prior to the issuance of any building permit, the Owner/Permittee shall assure by permit and bond the construction of standard curb, gutter, and 10-foot-wide parkway (including 5-foot-wide contiguous sidewalk and 5-foot-wide landscaping), and 12-foot-wide driveway, satisfactory to the City Engineer. All improvements shall be operational prior to occupancy. Alternatively, these improvements may be assured via a Deferred Improvement Agreement.

If the improvements described in this condition are assured by a Deferred Improvement Agreement, prior to the issuance of any building permit, the Owner/Permittee shall execute a waiver of the right of the Owner/Permittee, or any successor in interest, to protest a future assessment project for the installation of the required improvements. The waiver shall be recorded against the property on which the building permit is issued.

PLANNING/DESIGN REQUIREMENTS:

16. Lighting shall be provided to illuminate the interior, facade, and the immediate surrounding area of the cannabis outlet, including any accessory uses, parking lots, and adjoining sidewalks. Lighting shall be hooded or oriented to deflect light away from adjacent properties.

17. Security shall be provided at the cannabis outlet which shall include operable cameras, alarms, and a security guard. The security guard shall be licensed by the State of California and be present on the premises during business hours. The security guard shall only be engaged in activities related to providing security for the facility, except on an incidental basis.

18. Primary signs shall be posted on the outside of the cannabis outlet and shall only contain the name of the business, which shall contain only alphabetic characters, and shall be limited to two colors. Secondary signs advertising cannabis, window signs and any display visible from the public right-of-way, are not permitted.

19. The name and emergency contact phone number of the designated responsible managing operator shall be posted in a location visible from outside the cannabis outlet in character size at least two inches in height.

20. The cannabis outlet shall operate only between the hours of 7:00 a.m. and 9:00 p.m., seven days a week.

21. The use of vending machines which allow access to cannabis and cannabis products except by a responsible person, as defined in San Diego Municipal Code Section 42.1502, is prohibited. For purposes of this Section, a vending machine is any device which allows access to cannabis and cannabis products without a human intermediary.

22. An annual operating permit shall be obtained as required pursuant to San Diego Municipal Code Chapter 4, Article 2, Division 15.

23. Deliveries shall be permitted as an accessory use only from a cannabis outlet with a valid Conditional Use Permit unless otherwise allowed pursuant to state law.

24. The cannabis outlet, adjacent public sidewalks, and areas under the control of the cannabis outlet, shall be maintained free of litter and graffiti at all times.
25. The Cannabis Outlet shall provide daily removal of trash, litter, and debris from the premises. Graffiti shall be removed from the premises within 24 hours.
26. Consultations by medical professionals shall not be a permitted accessory use at the cannabis outlet.
27. All private outdoor lighting shall be shaded and adjusted to fall on the same premises where such lights are located and in accordance with the applicable regulations in the SDMC.
28. Owner/Permittee shall post a copy of the Conditional Use Permit conditions in the licensed premises in a place where they may be readily viewed by any member of the general public or any member of a government agency.
29. Prior to the issuance of any construction permits, all razor wire, and unpermitted or temporary structures on the premises, shall be removed to the satisfaction of the Development Services Department.

INFORMATION ONLY:

- The issuance of this discretionary permit alone does not allow the immediate commencement or continued operation of the proposed use on site. Any operation allowed by this discretionary permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.
- Cannabis businesses that operate or provide services within the City of San Diego are liable for a monthly gross receipts tax. As referenced in San Diego Municipal Code Section 34.0103(b), taxable activities include, but are not limited to, transporting, manufacturing, cultivating, packaging, and/or retail sales of cannabis and any ancillary products in the City of San Diego. For additional information, contact the Office of the City Treasurer at (619) 615-1580.

APPROVED by the Hearing Officer of the City of San Diego on April 19, 2023 and HO-_____.

ATTACHMENT 5

Conditional Use Permit No. PMT-3162252
Date of Approval: April 19, 2023

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES DEPARTMENT

Francisco Mendoza
Development Project Manager

The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

COSDD21, LLC
a California limited liability company
Permittee

By _____
NAME: Aaron Magagna
TITLE: Managing Member

VM GENTILE TRUST 10-13-20
Owner

By _____
NAME:
TITLE: Trustee

A K MARSHALL TRUST 10-13-20
Owner

By _____
NAME:
TITLE: Trustee

NOTE: Notary acknowledgments must be attached per Civil Code section 1189 et seq.

	City of San Diego Development Services (619) 446-5000	Affidavit for Cannabis Outlet or Cannabis Production Facility for Conditional Use Permit (CUP)	FORM DS-190 March 2020
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The purpose of this affidavit is for the property owner, authorized agent, or business owner of the Cannabis Outlet (Outlet) and Cannabis Production Facility (Facility) to affirm that all uses within 1,000 feet from the subject property line have been identified, including residential zones within 100 feet, as defined in San Diego Municipal Code (SDMC), Sections [113.0103](#), [141.0504](#), and [141.1004](#).

The proposed Outlet and Facility location must be 100 feet from any residential zone and not within 1,000 feet of the property line of the following:

- | | |
|--|---|
| 1. Resource and population-based city park | 6. Minor-oriented facility |
| 2. Church | 7. Residential Care Facility |
| 3. Child care center | 8. Schools |
| 4. Playground | 9. Other Cannabis Outlets |
| 5. City library | (applicable to Outlet CUP applications only). |

GENERAL INFORMATION

Project Name: 1215 W NUTMEG	Project No.: <i>For City Use Only</i>
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Project Address: 1215W NUTMEG, SAN DIEGO CA, 92101

Date Information Verified by Owner or Authorized Agent: 3/03/22
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DECLARATION: *The property owner, authorized agent, or business owner of the Outlet and Facility must complete the following section and sign their name where indicated.*

We are aware that the business described above is subject to the Cannabis Outlet or Cannabis Production Facility requirements regulated by SDMC Section [141.0504](#) (Outlet) and Section [141.1004](#) (Facility), and [Chapter 4, Article 2, Division 15](#). We hereby affirm under penalty of perjury that the proposed business location is not within 1,000 feet, measured in accordance with SDMC Section [113.0225](#) of the property line of any resource and population-based city park, church, child care center, playground, library owned and operated by the City of San Diego, minor-oriented facility, residential care facility, and other Cannabis Outlets (applicable to Outlet CUP applications only), or schools; and is 100 feet from any residential zone as identified on the 1000-foot radius map and spreadsheet submitted with the Conditional Use Permit application.

Property Owner or Authorized Agent Name: <i>Check one</i> <input type="checkbox"/> Owner <input checked="" type="checkbox"/> Agent Aaron Magagna	Telephone No.: 619-405-0298
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Mailing Address: 3639 Midway Drive Suite B #132	City: San Diego	State: CA	Zip Code: 92110
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Signature: <i>Aaron Magagna</i>	Date: 10/18/2022
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Business Owner Name: AARON MAGAGNA	Telephone No.: 619-405-0298
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Mailing Address: 3639 MIDWAY DR SUITE B #132	City: SAN DIEGO	State: CA	Zip Code: 92110
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Signature: <i>Aaron Magagna</i>	Date: 3/03/22
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PACKAGE CONTENT LIST

This radius report package contains the following items and should not be removed by anyone but the Planning Department (with the exception of the Cover Sheet and Invoice):

1. One vacant property notice
2. One summary of owners list
3. 100 & 1000-Foot radius map spreadsheet
4. 1000-Foot vicinity/area map
5. Signed Certification
6. One set of maps

Removal of any item may delay your permit process.

Thank You,

Title Pro Information Systems

NOTE: The following information is not always publicly accessible from the Assessor's tax rolls: renter name, apartment/office suite numbers, mobile home unit numbers, etc. If needed and not publicly available, this information may have to be provided by the client or client's representative.

NOTICE

The Parcels that have no site addresses on the Summary Of Owners List & 100/1000-FOOT RADIUS MAP SPREADSHEET may be unimproved/vacant property or a public agency.

SUMMARY OF OWNERS

#	PARCEL NUMBER	OWNER NAME	SITE ADDRESS	CITY	STATE	ZIP	MAILING ADDRESS	CITY	STATE	ZIP	USE DESCRIPTION
1	451-621-06-00	SAN DIEGO UNIFIED PORT DISTRICT	PALM ST	SAN DIEGO	CA	92101		SAN DIEGO	CA	92101	NO VALUE
2	451-622-17-00	PACIFICA KETTNER L P	KETTNER BLVD	SAN DIEGO	CA	92101	1785 HANCOCK ST #100	SAN DIEGO	CA	92101	PARKING LOT
3	451-625-16-00	PACIFICA KETTNER L P	3066 KETTNER BLVD	SAN DIEGO	CA	92101	1785 HANCOCK ST #100	SAN DIEGO	CA	92101	NO VALUE
4	451-625-17-00	SAN DIEGO METROPOLITAN TRANSIT DEVELOPMENT BOARD	KETTNER BLVD	SAN DIEGO	CA	92101		SAN DIEGO	CA	92101	NO VALUE
5	451-634-13-01	SCHWARTZ EUGENE W JR	2921 INDIA ST #01	SAN DIEGO	CA	92103	2921 INDIA ST #1	SAN DIEGO	CA	92103	RESID. CONDOMINIUM
6	451-634-13-02	WEBB JAMIES PRICE BRANDON	2921 INDIA ST #02	SAN DIEGO	CA	92103	2921 INDIA ST #2	SAN DIEGO	CA	92103	RESID. CONDOMINIUM
7	451-634-13-03	ASHLEY JOHN N LIVING TRUST 02-20-98	INDIA ST	SAN DIEGO	CA	92103	3002 COLUMBIA ST	SAN DIEGO	CA	92103	RESID. CONDOMINIUM
8	451-634-15-00	ASHLEY JOHN N LIVING TRUST 02-20-98	2905 INDIA ST	SAN DIEGO	CA	92103	3002 COLUMBIA ST	SAN DIEGO	CA	92103	RESID. MULTIPLE FAMILY
9	451-651-03-00	SAN DIEGO UNIFIED PORT DISTRICT	1411 W PALM ST	SAN DIEGO	CA	92101		SAN DIEGO	CA	92101	NO VALUE
10	451-652-01-00	RUSHALL ALBERT H (DCSD) TR	PALM ST	SAN DIEGO	CA	92101	2526 RUETTE NICOLE	LA JOLLA	CA	92037	PARKING LOT
11	451-652-02-00	SAN DIEGO METROPOLITAN TRANSIT DEVELOPMENT BOARD	2801 CALIFORNIA ST	SAN DIEGO	CA	92101		SAN DIEGO	CA	92101	NO VALUE
12	451-652-03-00	TUDELA REVOCABLE TRUST02-16-16	1242 W OLIVE ST	SAN DIEGO	CA	92101	1139 ALBERTA PL	SAN DIEGO	CA	92103	RESID. MULTIPLE FAMILY
13	451-652-04-00	SELLERS FAMILY TRUST 10-08-20	1220 W OLIVE ST	SAN DIEGO	CA	92101	P O BOX 5000	RCHO SANTA FE	CA	92067	RESID. MULTIPLE FAMILY
14	451-652-05-00	SELLERS FAMILY TRUST 10-08-20	2804 KETTNER BLVD	SAN DIEGO	CA	92101	P O BOX 5000	RCHO SANTA FE	CA	92067	COMMERCIAL
15	451-652-06-00	SAN DIEGO GAS & ELECTRIC CO		SAN DIEGO	CA	92101		SAN DIEGO	CA	92101	NO VALUE
16	451-653-05-00	NEYENESCH PRINTERS INC	2730 KETTNER BLVD	SAN DIEGO	CA	92101	P O BOX 81184	SAN DIEGO	CA	92138	COMMERCIAL
17	451-653-06-00	SAN DIEGO METROPOLITAN TRANSIT DEVELOPMENT BOARD	PALM ST	SAN DIEGO	CA	92101		SAN DIEGO	CA	92101	NO VALUE
18	451-654-02-00	PACIFICA FOX LP		SAN DIEGO	CA	92103		SAN DIEGO	CA	92103	NO VALUE
19	451-661-04-00	NJ AND JJ LLC	2837 INDIA ST	SAN DIEGO	CA	92101	1775 HANCOCK ST #200	SAN DIEGO	CA	92110	VACANT
20	451-661-07-00	T & L TRUST 12-12-06	2830 COLUMBIA ST	SAN DIEGO	CA	92103	P O BOX 3564	RCHO SANTA FE	CA	92067	RESID. MULTIPLE FAMILY
21	451-661-08-00	JACOBY WILLIAM J & GUADALUPE V	2840 COLUMBIA ST	SAN DIEGO	CA	92103	2830 COLUMBIA ST	SAN DIEGO	CA	92103	RESID. SINGLE FAMILY
22	451-661-09-00	COLUMBIA SCENE L L C	COLUMBIA ST	SAN DIEGO	CA	92103	2840 COLUMBIA ST	SAN DIEGO	CA	92103	RESID. SINGLE FAMILY
23	451-661-12-00	NJ AND JJ INC	2867 INDIA ST	SAN DIEGO	CA	92103	P O BOX 3564	DEL MAR	CA	92014	VACANT
24	451-661-14-00	T & L TRUST 12-12-06	2816 COLUMBIA ST	SAN DIEGO	CA	92103	2830 COLUMBIA ST	RANCHO SANTA FE	CA	92067	RESID. MULTIPLE FAMILY
25	451-661-15-00	SOVINSKY WAREK & KILIAN ATHENA L	1147 W PALM ST	SAN DIEGO	CA	92103	1147 W PALM ST	SAN DIEGO	CA	92103	RESID. MULTIPLE FAMILY
26	451-661-16-00	COLUMBIA SCENE L L C	2864 COLUMBIA ST	SAN DIEGO	CA	92103	14942 VIA DE LA VALLE	DEL MAR	CA	92014	RESID. SINGLE FAMILY
27	451-661-17-00	BOMBERGER 1999 LIVING TRUST 11-11-99 ESTEY STEPHEN TRUST 04-29-21	2869 INDIA ST	SAN DIEGO	CA	92103	2217 GALVESTON ST	SAN DIEGO	CA	92101	RESID. MULTIPLE FAMILY
28	451-661-18-00	CITY24 LP	INDIA ST	SAN DIEGO	CA	92103	4542 RUFFNER ST #387	SAN DIEGO	CA	92111	COMMERCIAL
29	451-663-01-00	SAN DIEGO COMMERCIAL HOLDINGS L L C	1125 W OLIVE ST	SAN DIEGO	CA	92103	1125 W OLIVE ST	SAN DIEGO	CA	92103	COMMERCIAL
30	451-663-02-01	KARMACH MOHAMMED A & IZABELA K	1111 W OLIVE ST #A	SAN DIEGO	CA	92103	1111 W OLIVE ST #A	SAN DIEGO	CA	92103	RESID. CONDOMINIUM
31	451-663-02-02	GETMAN JERRY C TRUST 10-16-93 SPITALIER IULIO A TRUST 10-16-93	1111 W OLIVE ST #B	SAN DIEGO	CA	92103	1501 S YNEZ AVE	MONTEREY PARK	CA	91754	RESID. CONDOMINIUM
32	451-663-02-03	VAUGHT IZABELA K 1994 TRUST	1111 W OLIVE ST #C	SAN DIEGO	CA	92103	1111 W OLIVE ST #C	SAN DIEGO	CA	92103	RESID. CONDOMINIUM
33	451-663-02-04	COOVER RONALD C REVOCABLE TRUST	1111 W OLIVE ST #D	SAN DIEGO	CA	92103	10495 LIVEWOOD WAY	SAN DIEGO	CA	92131	RESID. CONDOMINIUM
34	451-663-03-00	CHRISTIANSON GIFT TRUST B 04-03-97	2756 COLUMBIA ST	SAN DIEGO	CA	92103	2351 ROYAL OAK DR	ESCONDIDO	CA	92027	RESID. MULTIPLE FAMILY
35	451-663-04-00	FULLAM KENNETH W	2744 COLUMBIA ST	SAN DIEGO	CA	92103	755 W 21ST ST	SAN PEDRO	CA	90731	RESID. MULTIPLE FAMILY
36	451-663-05-00	BELNAP KENNETH R	2732 COLUMBIA ST	SAN DIEGO	CA	92103	2732 COLUMBIA ST	SAN DIEGO	CA	92103	RESID. SINGLE FAMILY
37	451-663-06-00	THEAKER MARGARETA TRUST 03-18-05	2710 COLUMBIA ST	SAN DIEGO	CA	92103	2710 COLUMBIA ST	SAN DIEGO	CA	92103	RESID. SINGLE FAMILY
38	451-681-02-00	PARME LAURENCE L & WETTER MONIKA	2750 COLUMBIA ST	SAN DIEGO	CA	92103	9381 MARINA SPRINGS LN	EL CAJON	CA	92021	RESID. MULTIPLE FAMILY
39	451-681-03-00	ZIZZO SALVATORE & MARIA	2737 COLUMBIA ST	SAN DIEGO	CA	92103	2775 COLUMBIA ST	SAN DIEGO	CA	92103	RESID. MULTIPLE FAMILY
40	451-681-04-00	BONGIOVANNI DOMINIC I & ELENA I	2727 COLUMBIA ST	SAN DIEGO	CA	92103	3420 IBIS ST	SAN DIEGO	CA	92103	RESID. MULTIPLE FAMILY
41	451-681-05-00	ALVARADO ANNA LIVING TRUST 09-19-03	2715 COLUMBIA ST	SAN DIEGO	CA	92103	2030 S OCEAN DR #2014	HALLANDALE BCH	FL	33009	RESID. SINGLE FAMILY
42	451-681-06-00	LOCOCO FAMILY TRUST 07-22-94	2703 COLUMBIA ST	SAN DIEGO	CA	92103	2705 COLUMBIA ST	SAN DIEGO	CA	92103	RESID. MULTIPLE FAMILY
43	451-681-13-00	ZIZZO SALVATORE & MARIA	2775 COLUMBIA ST	SAN DIEGO	CA	92103	2775 COLUMBIA ST	SAN DIEGO	CA	92103	RESID. SINGLE FAMILY
44	451-681-14-00	ZIZZO SALVATORE & MARIA	2775 COLUMBIA ST	SAN DIEGO	CA	92103	2775 COLUMBIA ST	SAN DIEGO	CA	92103	VACANT
45	533-011-01-00	V M GENTILE TRUST 10-13-20 A K MARSHALL TRUST 10-13-20	1215 W NUTMEG ST	SAN DIEGO	CA	92101	1215 W NUTMEG ST	SAN DIEGO	CA	92101	INDUSTRIAL
46	533-011-02-00	V M GENTILE TRUST 10-13-20 A K MARSHALL TRUST 10-13-20	1215 W NUTMEG ST	SAN DIEGO	CA	92101	1215 W NUTMEG ST	SAN DIEGO	CA	92101	VACANT
47	533-011-05-00	SAN DIEGO UNIFIED PORT DISTRICT	1215 W NUTMEG ST	SAN DIEGO	CA	92101		SAN DIEGO	CA	92101	NO VALUE
48	533-011-10-00	V M GENTILE TRUST 10-13-20 A K MARSHALL TRUST 10-13-20	1215 W NUTMEG ST	SAN DIEGO	CA	92101	1215 W NUTMEG ST	SAN DIEGO	CA	92101	NO VALUE
49	533-011-11-00	DOUGLAS JOHN CORP	CALIFORNIA ST	SAN DIEGO	CA	92101	8501 WILLIAMS RD	ESTERO	FL	33928	VACANT
50	533-011-12-00	DOLLAR SYSTEMS INC	1120 W LAUREL ST	SAN DIEGO	CA	92101	8501 WILLIAMS RD	ESTERO	FL	33928	COMMERCIAL
51	533-011-13-00	SAN DIEGO UNIFIED PORT DISTRICT	2535 PACIFIC HWY	SAN DIEGO	CA	92101		SAN DIEGO	CA	92101	NO VALUE
52	533-011-14-00	SAN DIEGO UNIFIED PORT DISTRICT	2521 PACIFIC HWY	SAN DIEGO	CA	92101		SAN DIEGO	CA	92101	NO VALUE
53	533-011-15-00	CALIFORNIA STREET CREATIVE HOUSE 1 LLC	2610 CALIFORNIA ST	SAN DIEGO	CA	92101	1824 COLUMBIA ST	SAN DIEGO	CA	92101	VACANT
54	533-011-16-00	CALIFORNIA STREET CREATIVE HOUSE 1 LLC	2594 CALIFORNIA ST	SAN DIEGO	CA	92101	1824 COLUMBIA ST	SAN DIEGO	CA	92101	INDUSTRIAL
55	533-012-01-00	SAN DIEGO METROPOLITAN TRANSIT DEVELOPMENT BOARD		SAN DIEGO	CA	92101		SAN DIEGO	CA	92101	NO VALUE
56	533-012-03-00	SAN DIEGO METROPOLITAN TRANSIT DEVELOPMENT BOARD		SAN DIEGO	CA	92101		SAN DIEGO	CA	92101	NO VALUE
57	533-012-06-00	ALADDIN PARKING LP	2680 KETTNER BLVD	SAN DIEGO	CA	92101	8730 W SUNSET BLVD #400	W HOLLYWOOD	CA	90069	PARKING LOT
58	533-012-07-00	ALADDIN PARKING LP	KETTNER BLVD	SAN DIEGO	CA	92101	8730 W SUNSET BLVD #400	W HOLLYWOOD	CA	90069	VACANT
59	533-012-08-00	ALADDIN PARKING LP	2548 KETTNER BLVD	SAN DIEGO	CA	92101	8730 W SUNSET BLVD #400	WEST HOLLYWOOD	CA	90069	PARKING LOT
60	533-021-01-00	ORAMS ENTERPRISES INC	2499 PACIFIC HWY	SAN DIEGO	CA	92101	9189 VISTA ENTRADA	LAKESIDE	CA	92040	AUTOMOTIVE USES
61	533-021-02-00	KUSHARA FAMILY TRUST 03-11-19	2401 PACIFIC HWY	SAN DIEGO	CA	92101	4988 CONCANNON CT	SAN DIEGO	CA	92130	RESTAURANT
62	533-021-03-00	DENENBERG TRUST 10-30-86 DENENBERG STEVEN L TRUST 05-27-99	2401 PACIFIC HWY	SAN DIEGO	CA	92101	666 LIPAS ST #1605	SAN DIEGO	CA	92103	COMMERCIAL
63	533-021-04-00	KARSHIMA HOSPITALITY INC ROGERS DIANE	2353 PACIFIC HWY	SAN DIEGO	CA	92101	2353 PACIFIC HWY	SAN DIEGO	CA	92101	RESID. HOTEL/MOTEL/RESORTS
64	533-022-01-00	SAN DIEGO METROPOLITAN TRANSIT DEVELOPMENT BOARD	CALIFORNIA ST	SAN DIEGO	CA	92101		SAN DIEGO	CA	92101	NO VALUE
65	533-022-02-00	14TH PLACE HOLDINGS LLC	1025 W LAUREL ST	SAN DIEGO	CA	92101	888 S FIGUEROA ST #1900	LOS ANGELES	CA	90017	PARKING LOT

66	533-022-03-00	ALLIED EQUITY L L C	2400 KETTNER BLVD	SAN DIEGO	CA	92101	468 N CAMDEN DR #300	BEVERLY HILLS	CA	90210	COMMERCIAL
67	533-022-05-00	SAN DIEGO METROPOLITAN TRANSIT DEVELOPMENT BOARD	CALIFORNIA ST	SAN DIEGO	CA	92101		SAN DIEGO	CA	92101	NO VALUE
68	533-022-06-00	SAN DIEGO METROPOLITAN TRANSIT DEVELOPMENT BOARD	CALIFORNIA ST	SAN DIEGO	CA	92101		SAN DIEGO	CA	92101	NO VALUE
69	533-031-02-00	VASSALLO AGATA REVOCABLE TRUST 01-15-10	2443 KETTNER BLVD	SAN DIEGO	CA	92101	11422 HOLLY FERN CT	SAN DIEGO	CA	92131	RESID. SINGLE FAMILY
70	533-031-03-00	STAR ARMS LLC	2427 KETTNER BLVD	SAN DIEGO	CA	92101	4550 KEARNY VILLA RD #111	SAN DIEGO	CA	92123	RESID. MULTIPLE FAMILY
71	533-031-04-00	SCHEN LINA L TRUST 12-01-06	2419 KETTNER BLVD	SAN DIEGO	CA	92101	909 COAST BLVD #7	LA JOLLA	CA	92037	RESID. SINGLE FAMILY
72	533-031-05-00	SCALICE ELIZABETH A	2401 KETTNER BLVD	SAN DIEGO	CA	92101	3819 PRINGLE ST	LA JOLLA	CA	92103	INDUSTRIAL
73	533-031-06-00	GODDARD PERSONAL TRUST 07-16-97	2400 INDIA ST	SAN DIEGO	CA	92101	1637 E VALLEY PKWY #235	ESCONDIDO	CA	92166	RESID. MULTIPLE FAMILY
74	533-031-07-00	CRESCI FAMILY TRUST 02-28-91	2418 INDIA ST	SAN DIEGO	CA	92101	P O BOX 6282	SAN DIEGO	CA	92123	RESID. MULTIPLE FAMILY
75	533-031-08-00	STAR ARMS LLC	2424 INDIA ST	SAN DIEGO	CA	92101	4550 KEARNY VILLA RD #111	SAN DIEGO	CA	92123	RESID. MULTIPLE FAMILY
76	533-031-09-00	GIMBER LIZ FAMILY IRREVOCABLE TRUST 02-04-21	2428 INDIA ST	SAN DIEGO	CA	92101	1110 LOMA AVE	CORONADO	CA	92118	RESID. MULTIPLE FAMILY
77	533-031-15-00	BESPOKE PARTNERS INVESTMENTS LLC	909 W LAUREL ST	SAN DIEGO	CA	92101	909 W LAUREL ST	SAN DIEGO	CA	92101	COMMERCIAL
78	533-032-02-00	R3 BUILDING LLC	2425 INDIA ST	SAN DIEGO	CA	92101	2870 4TH AVE #108	SAN DIEGO	CA	92103	COMMERCIAL
79	533-040-01-00	PACIFICA FOX LP	KETTNER BLVD	SAN DIEGO	CA	92101	1775 HANCOCK ST #200	SAN DIEGO	CA	92101	VACANT
80	533-040-06-00	NIKOU CO	2559 KETTNER BLVD	SAN DIEGO	CA	92101	1595 ALTA LA JOLLA DR	LA JOLLA	CA	92037	COMMERCIAL
81	533-040-07-00	WALIA BHUPENDRA & POONAM	2555 KETTNER BLVD	SAN DIEGO	CA	92101	2557 KETTNER BLVD	SAN DIEGO	CA	92101	RESID. MULTIPLE FAMILY
82	533-040-10-00	GATZOLIS FAMILY TRUST Q. 03-04-91	2501 KETTNER BLVD	SAN DIEGO	CA	92101	2221 VISTA RODEO DR	EL CAJON	CA	92019	COMMERCIAL
83	533-040-11-00	GATZOLIS FAMILY TRUST Q. 03-04-91	2504 KETTNER BLVD	SAN DIEGO	CA	92101	2221 VISTA RODEO DR	EL CAJON	CA	92019	RESID. MULTIPLE FAMILY
84	533-040-12-00	GATZOLIS FAMILY TRUST Q. 03-04-91	2518 INDIA ST	SAN DIEGO	CA	92101	2221 VISTA RODEO DR	EL CAJON	CA	92019	RESID. MULTIPLE FAMILY
85	533-040-13-00	GATZOLIS FAMILY TRUST Q. 03-04-91	2528 INDIA ST	SAN DIEGO	CA	92101	2221 VISTA RODEO DR	EL CAJON	CA	92019	RESID. MULTIPLE FAMILY
86	533-040-15-00	NIKOU CO	2552 INDIA ST	SAN DIEGO	CA	92101	1595 ALTA LA JOLLA	LA JOLLA	CA	92037	RESID. MULTIPLE FAMILY
87	533-040-16-00	NIKOU CO	1021 W MAPLE ST	SAN DIEGO	CA	92101	1595 ALTA LA JOLLA DR	LA JOLLA	CA	92037	COMMERCIAL
88	533-040-21-00	PACIFICA FOX LP	2727 KETTNER BLVD	SAN DIEGO	CA	92101	1775 HANCOCK ST #200	SAN DIEGO	CA	92110	INDUSTRIAL
89	533-040-22-00	PACIFICA FOX LP	2727 KETTNER BLVD	SAN DIEGO	CA	92101	1775 HANCOCK ST #200	SAN DIEGO	CA	92110	COMMERCIAL
90	533-040-25-01	2535 KETTNER ASSOCIATES LTD	2535 KETTNER BLVD	SAN DIEGO	CA	92101	2535 KETTNER BLVD #1A3	SAN DIEGO	CA	92101	OFFICE
91	533-040-25-02	2535 KETTNER ASSOCIATES LTD	2535 KETTNER BLVD	SAN DIEGO	CA	92101	2535 KETTNER BLVD #1A3	SAN DIEGO	CA	92101	OFFICE
92	533-040-25-03	2535 KETTNER ASSOCIATES LTD	2535 KETTNER BLVD	SAN DIEGO	CA	92101	2535 KETTNER BLVD #1A3	SAN DIEGO	CA	92101	OFFICE
93	533-040-25-04	2535 KETTNER ASSOCIATES LTD	2535 KETTNER BLVD	SAN DIEGO	CA	92101	2535 KETTNER BLVD #1A3	SAN DIEGO	CA	92101	OFFICE
94	533-040-25-05	CARROLL THOMAS J FAMILY TRUST 05-10-90	2535 KETTNER BLVD	SAN DIEGO	CA	92101	2535 KETTNER BLVD #3A1	SAN DIEGO	CA	92101	OFFICE
95	533-040-25-06	KASED NATHAN & ALLISON	2535 KETTNER BLVD	SAN DIEGO	CA	92101	2535 KETTNER BLVD #2A2	SAN DIEGO	CA	92101	OFFICE
96	533-040-25-07	T D C FAMILY L L C	2535 KETTNER BLVD #2A3	SAN DIEGO	CA	92101	158 HUMMINGBIRD HILL	ENCINITAS	CA	92024	OFFICE
97	533-040-25-08	AGREDANO ARTURO MENA CESAR A M	2535 KETTNER BLVD #2-A4	SAN DIEGO	CA	92101	14009 LAKE POWAY RD	POWAY	CA	92064	OFFICE
98	533-040-25-09	2535-2A5 KETTNER L L C	2535 KETTNER BLVD #2A5	SAN DIEGO	CA	92101	3232 PETUNIA CT	SAN DIEGO	CA	92117	OFFICE
99	533-040-25-10	HERNANDEZ-HOME SERVICES LLC	2535 KETTNER BLVD	SAN DIEGO	CA	92101	629 26TH ST	SAN DIEGO	CA	92102	OFFICE
100	533-040-25-11	MARKMAN FAMILY TRUST 12-19-13	2535 KETTNER BLVD	SAN DIEGO	CA	92101	11347 LUXEMBOURG WAY	SAN DIEGO	CA	92131	OFFICE
101	533-040-25-12	COLLINS KYLE & LAUREN	2535 KETTNER BLVD	SAN DIEGO	CA	92101	P O BOX 371158	SAN DIEGO	CA	92137	OFFICE
102	533-040-25-13	DIAZ MARISOL	2535 KETTNER BLVD	SAN DIEGO	CA	92101	1648 SUNSET POINT CT	CHULA VISTA	CA	91911	OFFICE
103	533-040-25-14	KASED LAW GROUP A P C	2535 KETTNER BLVD	SAN DIEGO	CA	92101	2535 KETTNER BLVD #2A2	SAN DIEGO	CA	92101	OFFICE
104	533-040-25-15	ERSON MEHMET E	2535 KETTNER BLVD	SAN DIEGO	CA	92101	25311 TERRENO DR	MISSION VIEJO	CA	92691	OFFICE
105	533-040-25-16	BL J R E HOLDINGS LLC	2535 KETTNER BLVD	SAN DIEGO	CA	92101	120 WINTERCREEK PL	SANTEE	CA	92071	OFFICE
106	533-040-25-17	MADRUGA BONNIE W	2535 KETTNER BLVD	SAN DIEGO	CA	92101	3326 WINDBREAK CT	SAN DIEGO	CA	92130	OFFICE
107	533-040-25-18	MASAR IRREVOCABLE TRUST 11-03-10	2535 KETTNER BLVD #3A4	SAN DIEGO	CA	92101	MEXICO DR CP 06140	DELEGACION CUAUHT	CA	92101	OFFICE
108	533-040-25-19	VANNES DAVID	2535 KETTNER BLVD	SAN DIEGO	CA	92101	2535 KETTNER BLVD #3A5	SAN DIEGO	CA	92101	OFFICE
109	533-040-25-20	CARROLL THOMAS J FAMILY TRUST 05-10-90	2535 KETTNER BLVD	SAN DIEGO	CA	92101	2535 KETTNER BLVD #3A1	SAN DIEGO	CA	92101	OFFICE
110	533-040-25-21	MOURITZEN FAMILY TRUST 05-10-90	2535 KETTNER BLVD	SAN DIEGO	CA	92101	2535 KETTNER BLVD #3A1	SAN DIEGO	CA	92101	OFFICE
111	533-040-25-22	MCKOSKEY PETER & BARBARA 2004 TRUST	2535 KETTNER BLVD #3B3	SAN DIEGO	CA	92101	2535 KETTNER BLVD #3B3	SAN DIEGO	CA	92101	OFFICE
112	533-040-25-23	BIG RIVER INVESTMENTS LLC	2535 KETTNER BLVD	SAN DIEGO	CA	92101	170 MOOSENECK HILL RD	WEST GREENWICH	RI	2817	OFFICE
113	533-040-25-24	BIG RIVER INVESTMENTS LLC	2535 KETTNER BLVD #02A1	SAN DIEGO	CA	92101	170 MOOSENECK HILL RD	WEST GREENWICH	RI	2817	OFFICE
114	533-051-01-00	MOURITZEN FAMILY TRUST 04-01-80	2669 COLUMBIA ST	SAN DIEGO	CA	92103	2552 CHATSWORTH BLVD	SAN DIEGO	CA	92106	RESID. SINGLE FAMILY
115	533-051-02-00	MOURITZEN FAMILY TRUST 04-01-80	2653 COLUMBIA ST	SAN DIEGO	CA	92103	2552 CHATSWORTH BLVD	SAN DIEGO	CA	92106	RESID. MULTIPLE FAMILY
116	533-051-03-00	JOCIS DAVID	2659 COLUMBIA ST	SAN DIEGO	CA	92103	705 ZANZIBAR CT	SAN DIEGO	CA	92109	RESID. MULTIPLE FAMILY
117	533-051-04-00	5TH & WALNUT LLC	2629 COLUMBIA ST	SAN DIEGO	CA	92103	5580 LA JOLLA BLVD #30	LA JOLLA	CA	92037	RESID. MULTIPLE FAMILY
118	533-051-05-00	BARNHORST ZACHARY & MOTTIS COURTNEY J BARNHORST MARNIE W	2619 COLUMBIA ST	SAN DIEGO	CA	92103	2619 COLUMBIA ST	SAN DIEGO	CA	92103	RESID. MULTIPLE FAMILY
119	533-051-06-00	ROBBINS ROSARIO M 2010 TRUST 09-02-10	2601 COLUMBIA ST	SAN DIEGO	CA	92103	2603 COLUMBIA ST	SAN DIEGO	CA	92103	RESID. MULTIPLE FAMILY
120	533-055-01-00	RIVERA LLC	2565 COLUMBIA ST	SAN DIEGO	CA	92103	2810 CAMINO DEL RIO S #200	SAN DIEGO	CA	92108	RESID. MULTIPLE FAMILY
121	533-055-04-00	SANCHEZ ROCIO	2535 COLUMBIA ST	SAN DIEGO	CA	92103	2535 COLUMBIA ST	SAN DIEGO	CA	92103	RESID. MULTIPLE FAMILY
122	533-630-01-00	RANGI'S TOM & JEN FAMILY TRUST 04-09-18	2491 KETTNER BLVD	SAN DIEGO	CA	92101	2293 SAN JUAN RD	SAN DIEGO	CA	92103	COMMERCIAL
123	533-630-02-00	KENNELLY FAMILY TRUST 06-01-16	2487 KETTNER BLVD	SAN DIEGO	CA	92101	2487 KETTNER BLVD	SAN DIEGO	CA	92101	COMMERCIAL
124	533-630-03-00	P A S PARTNERS LLC	2483 KETTNER BLVD	SAN DIEGO	CA	92101	2483 KETTNER BLVD	SAN DIEGO	CA	92101	COMMERCIAL
125	533-630-04-00	WEST LAUREL STUDIOS L P	2479 KETTNER BLVD	SAN DIEGO	CA	92101	125 MOZART AVE	CARDIFF	CA	92007	COMMERCIAL
126	533-630-05-00	KETTNER & LAUREL LLC	2475 KETTNER BLVD	SAN DIEGO	CA	92101	2475 KETTNER BLVD	SAN DIEGO	CA	92101	COMMERCIAL
127	533-630-06-00	C O A L INVESTMENTS LLC	979 W LAUREL ST	SAN DIEGO	CA	92101	888 W E ST #3601	RAMONA	CA	92065	COMMERCIAL
128	533-630-07-00	LUCA GROUP & ESTATE INVESTMENTS L L C	975 W LAUREL ST	SAN DIEGO	CA	92101	15839 MULSEY GRADE RD	RAMONA	CA	92065	COMMERCIAL
129	533-630-08-00	D B PROPERTIES LLC	967 W LAUREL ST	SAN DIEGO	CA	92101	548 MARKET ST #37005	SAN FRANCISCO	CA	94104	COMMERCIAL
130	533-630-09-00	WEST LAUREL STUDIOS L P	961 W LAUREL ST	SAN DIEGO	CA	92101	125 MOZART AVE	CARDIFF	CA	92007	COMMERCIAL
131	533-630-10-00	WEST LAUREL STUDIOS L P	985 W LAUREL ST	SAN DIEGO	CA	92101	125 MOZART AVE	CARDIFF	CA	92007	COMMERCIAL

132	760-005-00-02	INFORMATION ONLY(SAN DIEGO UNIFIED PORT DISTRICT)	SAN DIEGO	SAN DIEGO	CA	92101	SAN DIEGO	CA	92101	NO VALUE	
133	760-005-25-00	SAN DIEGO UNIFIED PORT DISTRICT	3125 PACIFIC HWY	SAN DIEGO	CA	92101	SAN DIEGO	CA	92101	COMMERCIAL	
134	760-006-00-02	INFORMATION ONLY(SAN DIEGO UNIFIED PORT DISTRICT)	SAN DIEGO	SAN DIEGO	CA	92101	SAN DIEGO	CA	92101	NO VALUE	
135	760-006-02-00	ORAMS ENTERPRISES INC	2499 PACIFIC HWY COR OF LAURE	SAN DIEGO	CA	92101	9189 VISTA ENTRADA	LAKESIDE	CA	92040	VACANT
136	760-006-25-00	TESORO REFINING AND MARKETING COMPANY	2521 PACIFIC HWY	SAN DIEGO	CA	92101	19100 RIDGEWOOD PKY	SAN ANTONIO	TX	78259	AUTOMOTIVE USES
137	760-006-46-00	SAN DIEGO UNIFIED PORT DISTRICT	2535 PACIFIC HWY	SAN DIEGO	CA	92101		SAN DIEGO	CA	92101	PARKING LOT
138	760-007-00-01	INFORMATION ONLY(SAN DIEGO UNIFIED PORT DISTRICT)	SAN DIEGO	SAN DIEGO	CA	92101		SAN DIEGO	CA	92101	NO VALUE
139	760-007-15-00	SAN DIEGO UNIFIED PORT DISTRICT	LAUREL ST FT OF & HARBOR DR	SAN DIEGO	CA	92101		SAN DIEGO	CA	92101	NO VALUE
140	760-216-85-00	SAN DIEGO UNIFIED PORT DISTRICT	2970 CALIFORNIA ST	SAN DIEGO	CA	92101		SAN DIEGO	CA	92101	NO VALUE
141	760-216-86-00	BW-BUDGET-SDA LLC	1420 W PALM ST	SAN DIEGO	CA	92101	3355 ADMIRAL BOLAND WAY #R176	SAN DIEGO	CA	92101	PARKING LOT
142	760-216-87-00	CLEAR CHANNEL OUTDOOR INC	1411 W PALM ST	SAN DIEGO	CA	92101	19320 HARBORGATE WAY	TORRANCE	CA	90501	VACANT
143	760-216-89-00	CALIBER BODYWORKS INC	1410 W PALM ST	SAN DIEGO	CA	92101	401 E CORPORATE DR #150	LEWISVILLE	TX	75057	AUTOMOTIVE USES
144	760-216-93-00	SAN DIEGO UNIFIED PORT DISTRICT	1410 W PALM ST	SAN DIEGO	CA	92101		SAN DIEGO	CA	92101	NO VALUE

100 & 1000-FOOT RADIUS MAP SPREADSHEET

NO RESIDENTS OR RESIDENTIAL PROPERTIES FOUND WITHIN 100FT								
#	USE DESCRIPTION	SITE ADDRESS	CITY	STATE	ZIP	PARCEL NUMBER	OWNER NAME	NOTES
1	NO VALUE	1411 W PALM ST	SAN DIEGO	CA	92101	451-651-03-00	CALIBER COLLISION CENTERS	
2	INDUSTRIAL	1215 W NUTMEG ST	SAN DIEGO	CA	92101	533-011-01-00	1215 W NUTMEG ST	
3	VACANT	1215 W NUTMEG ST	SAN DIEGO	CA	92101	533-011-02-00	V M GENTILE TRUST 10-13-20 A K MARSHALL TRUST 10-13-20	
4	VACANT	1215 W NUTMEG ST	SAN DIEGO	CA	92101	533-011-10-00	V M GENTILE TRUST 10-13-20 A K MARSHALL TRUST 10-13-20	
5	VACANT	2610 CALIFORNIA ST	SAN DIEGO	CA	92101	533-011-15-00	CALIFORNIA STREET CREATIVE HOUSE 1 LLC	
6	NO VALUE		SAN DIEGO	CA	92101	533-012-01-00	SAN DIEGO METROPOLITAN TRANSIT DEVELOPMENT BOARD	
7	PARKING LOT	2680 KETTNER BLVD	SAN DIEGO	CA	92101	533-012-06-00	ALADDIN PARKING LP	
8	PARKING LOT	2548 KETTNER BLVD	SAN DIEGO	CA	92101	533-012-08-00	ALADDIN PARKING L P	
9	NO VALUE		SAN DIEGO	CA	92101	760-006-00-02	INFORMATION ONLY(SAN DIEGO UNIFIED PORT DISTRICT)	
10	VACANT	2499 PACIFIC HWY	SAN DIEGO	CA	92101	760-006-02-00	ORAMS ENTERPRISES INC	
11	AUTOMOTIVE USES	2521 PACIFIC HWY	SAN DIEGO	CA	92101	760-006-25-00	TESORO REFINING AND MARKETING COMPANY	
12	PARKING LOT	2535 PACIFIC HWY	SAN DIEGO	CA	92101	760-006-46-00	SAN DIEGO UNIFIED PORT DISTRICT	
13	AUTOMOTIVE USES	1411 W PALM ST	SAN DIEGO	CA	92101	760-216-89-00	CALIBER COLLISION CENTERS	

NO CONSIDERATION POINTS OR SENSITIVE USES WITHIN 1,000FT								
#	USE DESCRIPTION	SITE ADDRESS	CITY	STATE	ZIP	PARCEL NUMBER	OWNER/BUSINESS NAME	NOTES
1	NO VALUE	PUBLIC AGENCY	SAN DIEGO	CA	92101	451-621-06-00	SAN DIEGO UNIFIED PORT DISTRICT	
2	PARKING LOT	KETTNER BLVD	SAN DIEGO	CA	92101	451-622-17-00	PACIFICA KETTNER L P	
3	PARKING LOT	2942 KETTNER BLVD	SAN DIEGO	CA	92101	451-625-16-00	ALAMO RENT A CAR INC	
4	PARKING LOT	3066 KETTNER BLVD	SAN DIEGO	CA	92101	451-625-16-00	PACIFICA KETTNER L P	
5	NO VALUE	KETTNER BLVD	SAN DIEGO	CA	92101	451-625-17-00	SAN DIEGO METROPOLITAN TRANSIT DEVELOPMENT BOARD	
6	NO VALUE	1411 W PALM ST	SAN DIEGO	CA	92101	451-651-03-00	CALIBER COLLISION CENTERS	
7	PARKING LOT	PALM ST	SAN DIEGO	CA	92103	451-652-01-00	RUSHALL ALBERT H (DCSD) TR	
8	NO VALUE	2801 CALIFORNIA ST	SAN DIEGO	CA	92101	451-652-02-00	SAN DIEGO METROPOLITAN TRANSIT DEVELOPMENT BOARD	
9	COMMERCIAL	2804 KETTNER BLVD	SAN DIEGO	CA	92101	451-652-05-00	DENDE ARTS AND CULTURAL CENTER	
10	NO VALUE		SAN DIEGO	CA	92101	451-652-06-00	SAN DIEGO GAS & ELECTRIC CO	
11	COMMERCIAL	2730 KETTNER BLVD	SAN DIEGO	CA	92101	451-653-05-00	NEYENESCH PRINTERS INC	
12	COMMERCIAL	2750 KETTNER BLVD	SAN DIEGO	CA	92101	451-653-05-00	NEYENESCH PRINTERS INC	
13	NO VALUE	PALM ST	SAN DIEGO	CA	92103	451-653-06-00	SAN DIEGO METROPOLITAN TRANSIT DEVELOPMENT BOARD	
14	VACANT		SAN DIEGO	CA	92101	451-654-02-00	PACIFICA FOX LP	
15	COMMERCIAL	2869 INDIA ST	SAN DIEGO	CA	92103	451-661-17-00	ESTEY AND BOMBERGER ATTORNEYS	
16	COMMERCIAL	2801 INDIA ST	SAN DIEGO	CA	92103	451-661-18-00	BUDGET RENT A CAR SYSTEM INC	
17	COMMERCIAL	1125 W OLIVE ST	SAN DIEGO	CA	92103	451-663-01-00	CHAMPION CREDIT CORPORATION	
18	INDUSTRIAL	1215 W NUTMEG ST	SAN DIEGO	CA	92101	533-011-01-00	1215 W NUTMEG ST	
19	VACANT	1215 W NUTMEG ST	SAN DIEGO	CA	92101	533-011-02-00	V M GENTILE TRUST 10-13-20 A K MARSHALL TRUST 10-13-20	
20	NO VALUE		SAN DIEGO	CA	92101	533-011-05-00	SAN DIEGO UNIFIED PORT DISTRICT	
21	VACANT	1215 W NUTMEG ST	SAN DIEGO	CA	92101	533-011-10-00	V M GENTILE TRUST 10-13-20 A K MARSHALL TRUST 10-13-20	
22	VACANT	CALIFORNIA ST	SAN DIEGO	CA	92101	533-011-11-00	DOUGLAS JOHN CORP	
23	COMMERCIAL	1120 W LAUREL ST	SAN DIEGO	CA	92101	533-011-12-00	FIREFLY CAR RENTAL	
24	NO VALUE	2535 PACIFIC HWY	SAN DIEGO	CA	92101	533-011-13-00	SAN DIEGO UNIFIED PORT DISTRICT	
25	NO VALUE	2521 PACIFIC HWY	SAN DIEGO	CA	92101	533-011-14-00	CLEAN ENERGY	
26	VACANT	2610 CALIFORNIA ST	SAN DIEGO	CA	92101	533-011-15-00	CALIFORNIA STREET CREATIVE HOUSE 1 LLC	
27	INDUSTRIAL	2554 CALIFORNIA ST	SAN DIEGO	CA	92101	533-011-16-00	CALIFORNIA STREET CREATIVE HOUSE 1 LLC	
28	NO VALUE		SAN DIEGO	CA	92101	533-012-01-00	SAN DIEGO METROPOLITAN TRANSIT DEVELOPMENT BOARD	
29	NO VALUE		SAN DIEGO	CA	92101	533-012-03-00	SAN DIEGO METROPOLITAN TRANSIT DEVELOPMENT BOARD	
30	PARKING LOT	2680 KETTNER BLVD	SAN DIEGO	CA	92101	533-012-06-00	ALADDIN PARKING LP	
31	VACANT	KETTNER BLVD	SAN DIEGO	CA	92101	533-012-07-00	ALADDIN PARKING LP	
32	PARKING LOT	2548 KETTNER BLVD	SAN DIEGO	CA	92101	533-012-08-00	ALADDIN PARKING L P	
33	AUTOMOTIVE USES	2499 PACIFIC HWY	SAN DIEGO	CA	92101	533-021-01-00	ENTERPRISE RENT-A-CAR	
34	RESTAURANT	2431 PACIFIC HWY	SAN DIEGO	CA	92101	533-021-02-00	FAIRWAY GOLF SHOP	
35	COMMERCIAL	2401 PACIFIC HWY	SAN DIEGO	CA	92101	533-021-03-00	DOLLAR RENT A CAR, INC.	
36	RESID. HOTEL/MOTEL/RESORTS	2353 PACIFIC HWY	SAN DIEGO	CA	92101	533-021-04-00	MOUJAES & WEHBE, INC.	
37	NO VALUE	CALIFORNIA ST	SAN DIEGO	CA	92101	533-022-01-00	SAN DIEGO METROPOLITAN TRANSIT DEVELOPMENT BOARD	
38	PARKING LOT	1025 W LAUREL ST STE 105	SAN DIEGO	CA	92101	533-022-02-00	LAUREL TRAVEL CENTER	
39	PARKING LOT	1025 W LAUREL ST STE 106	SAN DIEGO	CA	92101	533-022-02-00	RICLIN ASSOCIATES	
40	COMMERCIAL	2400 KETTNER BLVD	SAN DIEGO	CA	92101	533-022-03-00	ALLIED EQUITY L L C	
41	COMMERCIAL	2400 KETTNER BLVD STE 101	SAN DIEGO	CA	92101	533-022-03-00	EAGLERIDER, INC.	
42	COMMERCIAL	2400 KETTNER BLVD STE 102	SAN DIEGO	CA	92101	533-022-03-00	KLASSIK	
43	COMMERCIAL	2400 KETTNER BLVD STE 103	SAN DIEGO	CA	92101	533-022-03-00	ALLIED EQUITY L L C	
44	COMMERCIAL	2400 KETTNER BLVD STE 104	SAN DIEGO	CA	92101	533-022-03-00	MEYER FINE ART INC	
45	COMMERCIAL	2400 KETTNER BLVD STE 105	SAN DIEGO	CA	92101	533-022-03-00	ALLIED EQUITY L L C	
46	COMMERCIAL	2400 KETTNER BLVD STE 106	SAN DIEGO	CA	92101	533-022-03-00	T&G ASSOCIATES INC	
47	COMMERCIAL	2400 KETTNER BLVD STE 107	SAN DIEGO	CA	92101	533-022-03-00	SAN DIEGO HEADSHOTS	
48	COMMERCIAL	2400 KETTNER BLVD STE 108	SAN DIEGO	CA	92101	533-022-03-00	MARIA M LEON	
49	COMMERCIAL	2400 KETTNER BLVD STE 109	SAN DIEGO	CA	92101	533-022-03-00	COLOSSEUM FINE ARTS, INC.	
50	COMMERCIAL	2400 KETTNER BLVD STE 110	SAN DIEGO	CA	92101	533-022-03-00	98 BOTTLES	
51	COMMERCIAL	2400 KETTNER BLVD STE 112	SAN DIEGO	CA	92101	533-022-03-00	ALLIED EQUITY L L C	
52	COMMERCIAL	2400 KETTNER BLVD STE 113	SAN DIEGO	CA	92101	533-022-03-00	JACQUELINE LAVENU STUDIO & GAL	
53	COMMERCIAL	2400 KETTNER BLVD STE 114	SAN DIEGO	CA	92101	533-022-03-00	KIM GRANT DESIGN INC	
54	COMMERCIAL	2400 KETTNER BLVD STE 115	SAN DIEGO	CA	92101	533-022-03-00	INFINITE YOGA	
55	COMMERCIAL	2400 KETTNER BLVD STE 206	SAN DIEGO	CA	92101	533-022-03-00	ALLIED EQUITY L L C	
56	COMMERCIAL	2400 KETTNER BLVD STE 207	SAN DIEGO	CA	92101	533-022-03-00	IAN CUMMINGS PHOTOGRAPHY	
57	COMMERCIAL	2400 KETTNER BLVD STE 208	SAN DIEGO	CA	92101	533-022-03-00	CI KUHL GALLERY	
58	COMMERCIAL	2400 KETTNER BLVD STE 212	SAN DIEGO	CA	92101	533-022-03-00	ALLIED EQUITY L L C	
59	COMMERCIAL	2400 KETTNER BLVD STE 213	SAN DIEGO	CA	92101	533-022-03-00	IAN CUMMINGS PHOTOGRAPHY	
60	COMMERCIAL	2400 KETTNER BLVD STE 214	SAN DIEGO	CA	92101	533-022-03-00	MONIQUE STRAUB STUDIO/GALLERY	
61	COMMERCIAL	2400 KETTNER BLVD STE 215	SAN DIEGO	CA	92101	533-022-03-00	DAEMON STUDIO	
62	COMMERCIAL	2400 KETTNER BLVD STE 216	SAN DIEGO	CA	92101	533-022-03-00	ATHENS CONSTANCE M	
63	COMMERCIAL	2400 KETTNER BLVD STE 218	SAN DIEGO	CA	92101	533-022-03-00	ALLIED EQUITY L L C	
64	COMMERCIAL	2400 KETTNER BLVD STE 219	SAN DIEGO	CA	92101	533-022-03-00	ALLIED EQUITY L L C	
65	COMMERCIAL	2400 KETTNER BLVD STE 220	SAN DIEGO	CA	92101	533-022-03-00	SUNTOUCH DESIGN	
66	COMMERCIAL	2400 KETTNER BLVD STE 221	SAN DIEGO	CA	92101	533-022-03-00	KATHRYN ALISON WEBB	
67	COMMERCIAL	2400 KETTNER BLVD STE 223	SAN DIEGO	CA	92101	533-022-03-00	ALLIED EQUITY L L C	
68	COMMERCIAL	2400 KETTNER BLVD STE 224	SAN DIEGO	CA	92101	533-022-03-00	PROJECT X MEDIA	
69	COMMERCIAL	2400 KETTNER BLVD STE 225	SAN DIEGO	CA	92101	533-022-03-00	ALLIED EQUITY L L C	
70	COMMERCIAL	2400 KETTNER BLVD STE 226	SAN DIEGO	CA	92101	533-022-03-00	ALLIED EQUITY L L C	
71	COMMERCIAL	2400 KETTNER BLVD STE 227	SAN DIEGO	CA	92101	533-022-03-00	ALLIED EQUITY L L C	
72	COMMERCIAL	2400 KETTNER BLVD STE 228	SAN DIEGO	CA	92101	533-022-03-00	ALLIED EQUITY L L C	
73	COMMERCIAL	2400 KETTNER BLVD STE 229	SAN DIEGO	CA	92101	533-022-03-00	ROUND TWO CREATIVE GROUP	
74	COMMERCIAL	2400 KETTNER BLVD STE 230	SAN DIEGO	CA	92101	533-022-03-00	ALLIED EQUITY L L C	
75	COMMERCIAL	2400 KETTNER BLVD STE 231	SAN DIEGO	CA	92101	533-022-03-00	ALLIED EQUITY L L C	
76	COMMERCIAL	2400 KETTNER BLVD STE 233	SAN DIEGO	CA	92101	533-022-03-00	DIAMOND EDITIONS PUBLISHING L.P.	
77	COMMERCIAL	2400 KETTNER BLVD STE 234	SAN DIEGO	CA	92101	533-022-03-00	UNREAL ART OF STACY D'AGUIAR	
78	COMMERCIAL	2400 KETTNER BLVD STE 235	SAN DIEGO	CA	92101	533-022-03-00	ALLIED EQUITY L L C	
79	COMMERCIAL	2400 KETTNER BLVD STE 236	SAN DIEGO	CA	92101	533-022-03-00	WILD SIDE TRAVEL LLC	
80	COMMERCIAL	2400 KETTNER BLVD STE 237	SAN DIEGO	CA	92101	533-022-03-00	ALLIED EQUITY L L C	
81	COMMERCIAL	2400 KETTNER BLVD STE 238	SAN DIEGO	CA	92101	533-022-03-00	ENOKI EVENTS LLC	
82	COMMERCIAL	2400 KETTNER BLVD STE 239	SAN DIEGO	CA	92101	533-022-03-00	GARDYNE CAROL STUDIOS	

83	COMMERCIAL	2400 KETTNER BLVD STE 246	SAN DIEGO	CA	92101	533-022-03-00	PRIVATE HENLEY LLC	
84	COMMERCIAL	2400 KETTNER BLVD STE 247	SAN DIEGO	CA	92101	533-022-03-00	Q SWIMWEAR	
85	COMMERCIAL	2400 KETTNER BLVD STE 248	SAN DIEGO	CA	92101	533-022-03-00	ALLIED EQUITY L L C	
86	COMMERCIAL	2400 KETTNER BLVD STE 249	SAN DIEGO	CA	92101	533-022-03-00	THE MANCHETTE STUDIO	
87	COMMERCIAL	2400 KETTNER BLVD STE 250	SAN DIEGO	CA	92101	533-022-03-00	3DTN FAIRFAX, LLC	
88	COMMERCIAL	2400 KETTNER BLVD STE 251	SAN DIEGO	CA	92101	533-022-03-00	ORVAR USA CORPORATION	
89	COMMERCIAL	2400 KETTNER BLVD STE 252	SAN DIEGO	CA	92101	533-022-03-00	JOHN ALLEN WOODWARD LEATHER	
90	COMMERCIAL	2400 KETTNER BLVD STE 253	SAN DIEGO	CA	92101	533-022-03-00	ALLIED EQUITY L L C	
91	NO VALUE	CALIFORNIA ST	SAN DIEGO	CA	92101	533-022-05-00	SAN DIEGO METROPOLITAN TRANSIT DEVELOPMENT BOARD	
92	NO VALUE	CALIFORNIA ST	SAN DIEGO	CA	92101	533-022-06-00	SAN DIEGO METROPOLITAN TRANSIT DEVELOPMENT BOARD	
93	INDUSTRIAL	2401 KETTNER BLVD	SAN DIEGO	CA	92101	533-031-05-00	ARCHITECTURAL SALVAGE OF SAN DIEGO	
94	AGRICULTURAL PRESERVE	2400 INDIA ST	SAN DIEGO	CA	92101	533-031-06-00	CAMINO RIVIERA	
95	COMMERCIAL	909 W LAUREL ST STE 200	SAN DIEGO	CA	92101	533-031-15-00	BESPOKE PARTNERS INVESTMENTS LLC	
96	COMMERCIAL	2425 INDIA ST	SAN DIEGO	CA	92101	533-032-02-00	STATE AND FIR, LLC	
97	VACANT	KETTNER BLVD	SAN DIEGO	CA	92101	533-040-01-00	PACIFICA FOX LP	
98	COMMERCIAL	2559 KETTNER BLVD	SAN DIEGO	CA	92101	533-040-06-00	A1 RENT A CAR	
99	COMMERCIAL	2595 KETTNER BLVD	SAN DIEGO	CA	92101	533-040-06-00	EXPRESS RENT A CAR	
100	COMMERCIAL	2501 KETTNER BLVD	SAN DIEGO	CA	92101	533-040-10-00	CASBAH ROCK INC	
101	COMMERCIAL	1021 W MAPLE ST	SAN DIEGO	CA	92101	533-040-16-00	LABOR READY SOUTHWEST INC	
102	INDUSTRIAL	2727 KETTNER BLVD	SAN DIEGO	CA	92101	533-040-21-00	PACIFICA FOX LP	
103	COMMERCIAL	2727 KETTNER BLVD	SAN DIEGO	CA	92101	533-040-22-00	PACIFICA FOX LP	
104	OFFICE	2535 KETTNER BLVD STE 1A1	SAN DIEGO	CA	92101	533-040-25-01	SEOHAUS LLC	
105	OFFICE	2535 KETTNER BLVD STE 1A2	SAN DIEGO	CA	92101	533-040-25-01	US RESORTS MARKETING	
106	OFFICE	2535 KETTNER BLVD STE 1A3	SAN DIEGO	CA	92101	533-040-25-01	BREAK-AWAY TOURS	
107	OFFICE	2535 KETTNER BLVD STE 1A4	SAN DIEGO	CA	92101	533-040-25-01	CAMERON ELEANOR ANDERSON	
108	OFFICE	2535 KETTNER BLVD STE 1A5	SAN DIEGO	CA	92101	533-040-25-01	RUTTKAY DEVELOPMENT COMPANY, INC.	
109	OFFICE	2535 KETTNER BLVD STE 1B1	SAN DIEGO	CA	92101	533-040-25-01	2535 KETTNER ASSOCIATES LTD	
110	OFFICE	2535 KETTNER BLVD STE 1B2	SAN DIEGO	CA	92101	533-040-25-01	JAEGER CAPITAL GROUP,LTD	
111	OFFICE	2535 KETTNER BLVD STE 1B3	SAN DIEGO	CA	92101	533-040-25-01	GARCIA ROBERTS ADVERTISING, INC.	
112	OFFICE	2535 KETTNER BLVD STE 1C1	SAN DIEGO	CA	92101	533-040-25-01	HOLNBACK DIANE M/ESHELMAN TADZIA A	
113	OFFICE	2535 KETTNER BLVD STE 2A1	SAN DIEGO	CA	92101	533-040-25-01	BLOOMINGTON ASSOCIATES NO. 322, LTD.,	
114	OFFICE	2535 KETTNER BLVD STE 2A2	SAN DIEGO	CA	92101	533-040-25-01	PLAYERS VACATION CLUB I	
115	OFFICE	2535 KETTNER BLVD STE 2A3	SAN DIEGO	CA	92101	533-040-25-01	CALIFORNIA ENVIRONMENTAL CO INC	
116	OFFICE	2535 KETTNER BLVD STE 2A4	SAN DIEGO	CA	92101	533-040-25-01	WESTERN COMMERCIAL INVESTMENTS, INC.	
117	OFFICE	2535 KETTNER BLVD STE 2A5	SAN DIEGO	CA	92101	533-040-25-01	ARK 2000 HOSPITALITY GROUP, INC.	
118	OFFICE	2535 KETTNER BLVD STE 2B1	SAN DIEGO	CA	92101	533-040-25-01	INDAMEX ENTERPRISES, INC.	
119	OFFICE	2535 KETTNER BLVD STE 2B2	SAN DIEGO	CA	92101	533-040-25-01	INGLESINA USA INC	
120	OFFICE	2535 KETTNER BLVD STE 2B3	SAN DIEGO	CA	92101	533-040-25-01	CERTAPET	
121	OFFICE	2535 KETTNER BLVD STE 2C1	SAN DIEGO	CA	92101	533-040-25-01	ALLSTATE	
122	OFFICE	2535 KETTNER BLVD STE 2C2	SAN DIEGO	CA	92101	533-040-25-01	TAX LAW CENTER	
123	OFFICE	2535 KETTNER BLVD STE 3A1	SAN DIEGO	CA	92101	533-040-25-01	KELLOGG EDUCATION FOUNDATION	
124	OFFICE	2535 KETTNER BLVD STE 3A2	SAN DIEGO	CA	92101	533-040-25-01	INTIER CORPORATION	
125	OFFICE	2535 KETTNER BLVD STE 3A3	SAN DIEGO	CA	92101	533-040-25-01	SITETUNERS.COM, INC.	
126	OFFICE	2535 KETTNER BLVD STE 3A4	SAN DIEGO	CA	92101	533-040-25-01	CLARA JARAMILLO INC.	
127	OFFICE	2535 KETTNER BLVD STE 3A5	SAN DIEGO	CA	92101	533-040-25-01	OCEAN'S BEST SEAFOOD, INC.	
128	OFFICE	2535 KETTNER BLVD STE 3B1	SAN DIEGO	CA	92101	533-040-25-01	THE MESSAGE CENTER GROUP INC.	
129	OFFICE	2535 KETTNER BLVD STE 3B2	SAN DIEGO	CA	92101	533-040-25-01	KEGEL TOBIN & TRUCE APC	
130	OFFICE	2535 KETTNER BLVD STE 3B3	SAN DIEGO	CA	92101	533-040-25-01	BINDDESK INSURANCE SERVICES	
131	COMMERCIAL	2491 KETTNER BLVD	SAN DIEGO	CA	92101	533-630-01-00	STILE SALON	
132	COMMERCIAL	2487 KETTNER BLVD	SAN DIEGO	CA	92101	533-630-02-00	PANOCH VALLEY, LLC	
133	COMMERCIAL	2483 KETTNER BLVD	SAN DIEGO	CA	92101	533-630-03-00	POWERHOUSE CAPITAL LLC	
134	COMMERCIAL	2479 KETTNER BLVD	SAN DIEGO	CA	92101	533-630-04-00	HOLLIS BRAND COMMUNICATIONS	
135	COMMERCIAL	2475 KETTNER BLVD	SAN DIEGO	CA	92101	533-630-05-00	KETTNER MODERN LLC	
136	COMMERCIAL	979 W LAUREL ST	SAN DIEGO	CA	92101	533-630-06-00	J. JP & R., INTERNATIONAL, INC.	
137	COMMERCIAL	973 W LAUREL ST	SAN DIEGO	CA	92101	533-630-07-00	ZIBA CA	
138	COMMERCIAL	967 W LAUREL ST	SAN DIEGO	CA	92101	533-630-08-00	KATANA LLC	
139	COMMERCIAL	961 W LAUREL ST	SAN DIEGO	CA	92101	533-630-09-00	WEDDING BOKEH	
140	COMMERCIAL	985 W LAUREL ST	SAN DIEGO	CA	92101	533-630-10-00	WEST LAUREL STUDIOS L P	
141	NO VALUE		SAN DIEGO	CA	92101	760-005-00-02	INFORMATION ONLY(SAN DIEGO UNIFIED PORT DISTRICT)	
142	COMMERCIAL	3125 PACIFIC HWY	SAN DIEGO	CA	92101	760-005-25-00	SAN DIEGO UNIFIED PORT DISTRICT	
143	NO VALUE		SAN DIEGO	CA	92101	760-006-00-02	INFORMATION ONLY(SAN DIEGO UNIFIED PORT DISTRICT)	
144	VACANT	2499 PACIFIC HWY COR OF LAURE	SAN DIEGO	CA	92101	760-006-02-00	ORAMS ENTERPRISES INC	
145	AUTOMOTIVE USES	2521 PACIFIC HWY	SAN DIEGO	CA	92101	760-006-25-00	TESORO REFINING AND MARKETING COMPANY	
146	PARKING LOT	2535 PACIFIC HWY	SAN DIEGO	CA	92101	760-006-46-00	SAN DIEGO UNIFIED PORT DISTRICT	
147	NO VALUE		SAN DIEGO	CA	92101	760-007-00-01	INFORMATION ONLY(SAN DIEGO UNIFIED PORT DISTRICT)	
148	NO VALUE	LAUREL ST FT OF & HARBOR DR	SAN DIEGO	CA	92101	760-007-15-00	SAN DIEGO UNIFIED PORT DISTRICT	
149	NO VALUE	2970 CALIFORNIA ST	SAN DIEGO	CA	92101	760-216-85-00	SAN DIEGO UNIFIED PORT DISTRICT	
150	PARKING LOT	1420 W PALM ST	SAN DIEGO	CA	92101	760-216-86-00	BW-BUDGET-SDA LLC	
151	VACANT	1420 W PALM ST	SAN DIEGO	CA	92101	760-216-87-00	CLEAR CHANNEL OUTDOOR INC	
152	AUTOMOTIVE USES	1411 W PALM ST	SAN DIEGO	CA	92101	760-216-89-00	CALIBER COLLISION CENTERS	
153	NO VALUE	1410 W PALM ST	SAN DIEGO	CA	92101	760-216-93-00	SAN DIEGO UNIFIED PORT DISTRICT	



13520 Scarsdale Way
San Diego, CA 92128
www.titleprois.com

CERTIFICATION

I SEAN WILSON/ TITLE PRO INFORMATION SYSTEMS HEREBY CERTIFY THAT THE ATTACHED LIST CONTAINS THE NAMES, ADDRESSES AND PARCEL NUMBERS OF ALL PERSONS TO WHOM ALL PROPERTY IS ASSESSED AS THEY APPEAR ON THE LATEST AVAILABLE ASSESSMENT ROLL OF THE COUNTY WITHIN THE AREA DESCRIBED AND REQUESTED BY YOU THE CLIENT, THE REQUIRED RADIUS MEASURED FROM THE EXTERIOR BOUNDARIES OF THE PROPERTY REQUESTED AND DESCRIBED AS:

APN(S): 533-011-10 100FT & 1000FT

PLAT DATE: 03/02/2022

COUNTY OF: SAN DIEGO

CITY OF: SAN DIEGO

Sean Wilson

SEAN WILSON

TITLE PRO INFORMATION SYSTEMS

DATE:

03/02/2022

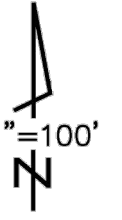
1000-FOOT VICINITY/AREA MAP





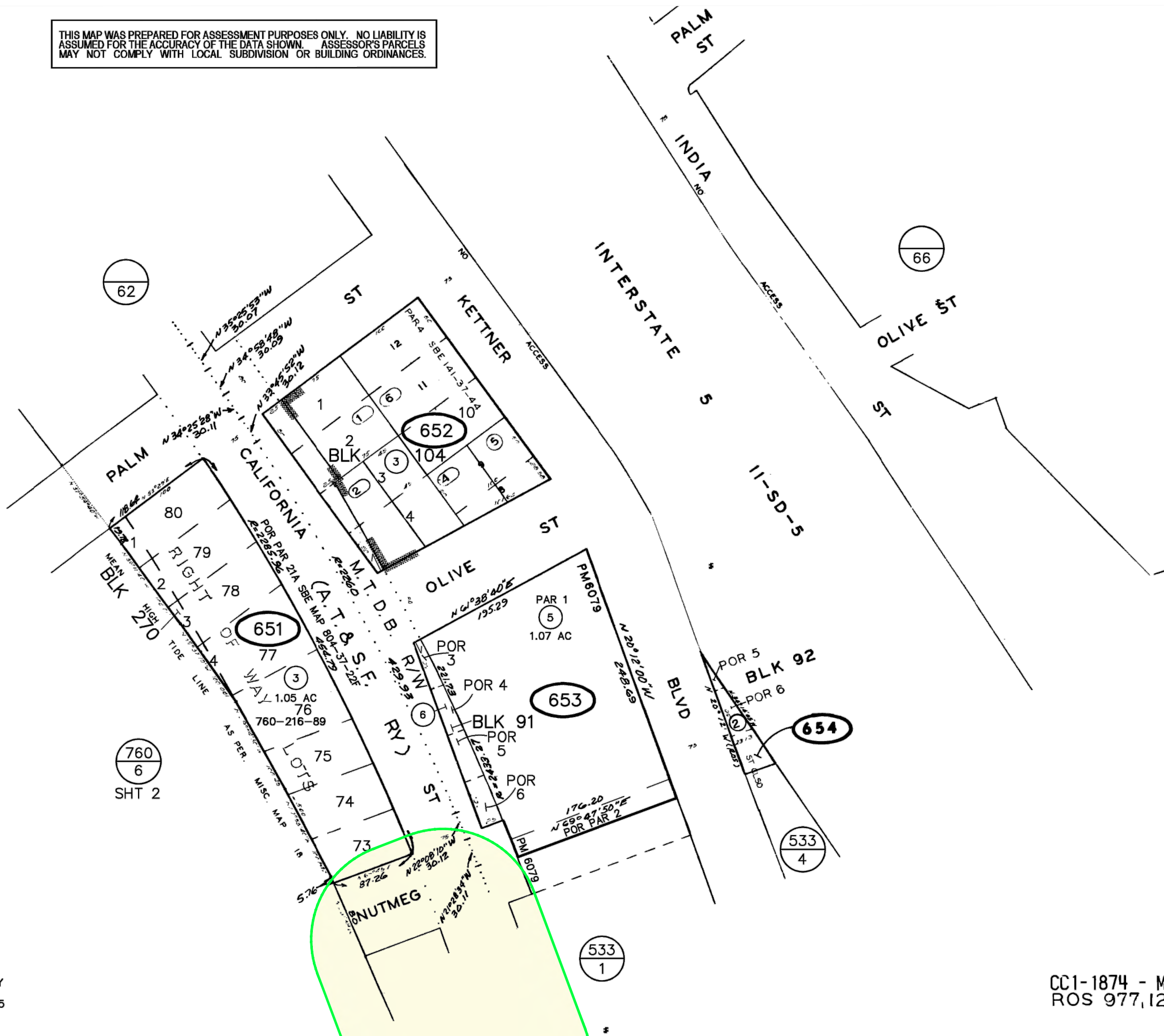
ONE SET OF MAPS

THIS MAP WAS PREPARED FOR ASSESSMENT PURPOSES ONLY. NO LIABILITY IS ASSUMED FOR THE ACCURACY OF THE DATA SHOWN. ASSESSOR'S PARCELS MAY NOT COMPLY WITH LOCAL SUBDIVISION OR BUILDING ORDINANCES.



02/22/06 AU

CHANGES				
BLK	OLD	NEW	YR	CUT
654	1	2	65	4474
653	PICK UP	2	68	1036
652	PICK UP	7	68	1037
653	SPLIT SA E	SAME	78	5544
653	1	3 & 4	78	1477
653	3 & 4	5	82	2253
651	1 & 2	3		
653	2 & -852-07	6	06	2157



62

66

651

653

654

533
1

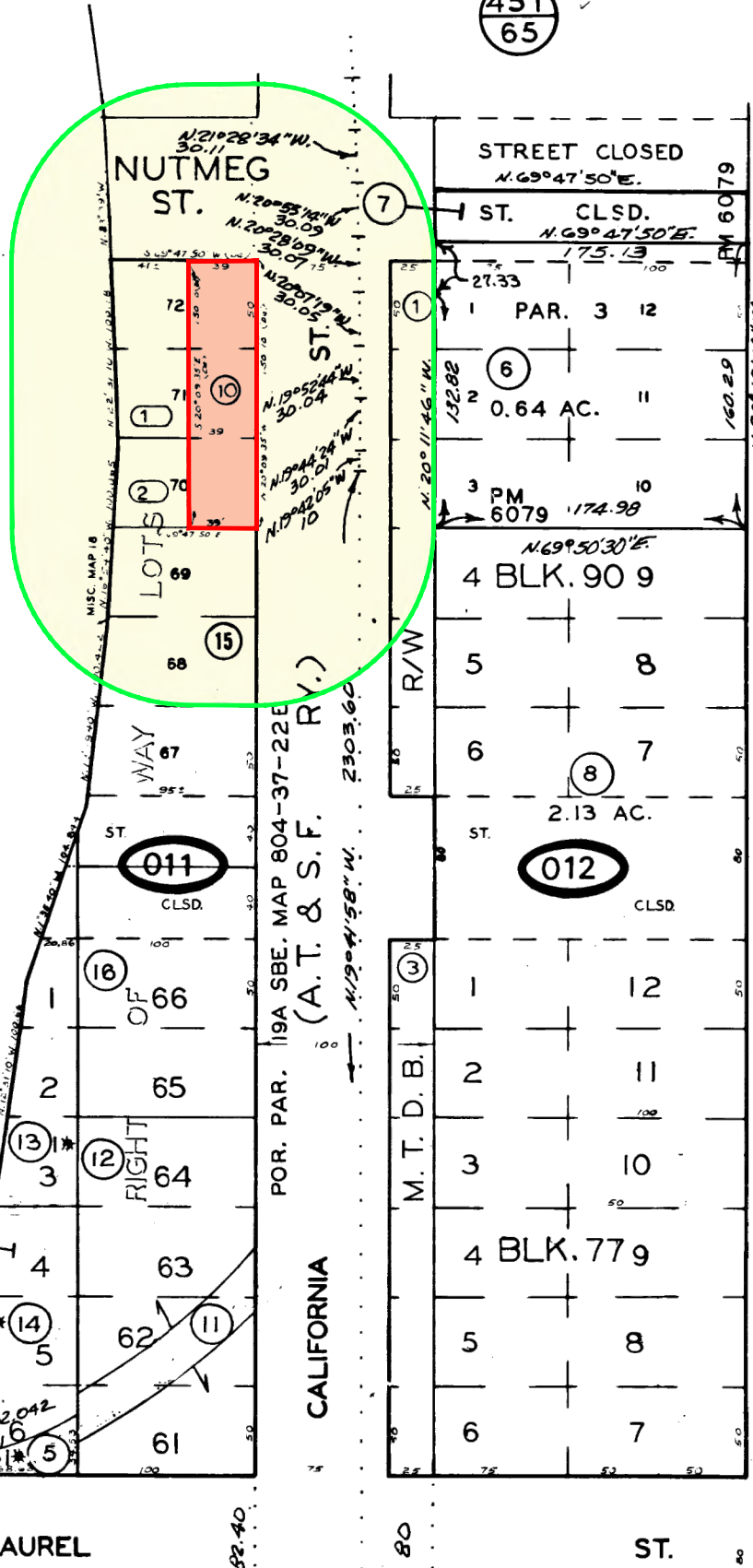
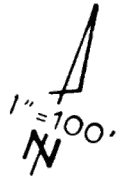
533
4

760
6

SHT 2

81
9-6-14

SAN DIEGO COUNTY
ASSESSOR'S MAP
BOOK 451 PAGE 65



760
6
SHT. 2

1* - FOR LEASES
SEE 760-008
SHT. 2

BLK. 272

011
CLSD.

012
CLSD.

BLVD.
KETTNER

MAPLE ST.

451
65

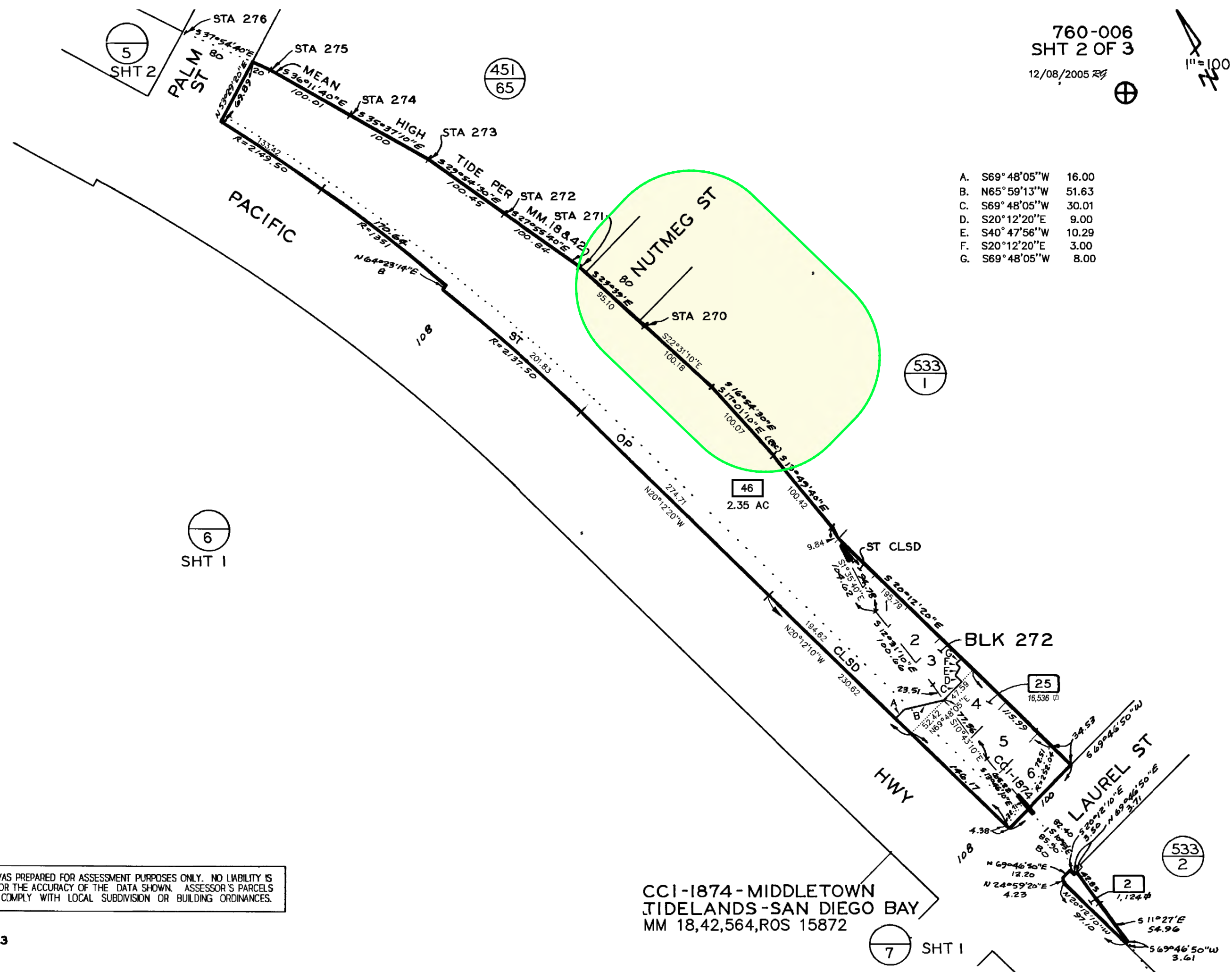
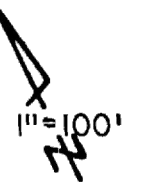
4

2

SAN DIEGO COUNTY
ASSESSOR'S MAP
BOOK 533, PAGE 01

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CHANGES				
BLK	OLD	NEW	YR	CUT
011	9	15, 16	75	1313
011	13 & 15	BL Change	76	2024
012	ST. CLSD. #2	SAME	78	5544
012	2	6 & 7	78	1477
011	11	RED TO BLACK	84	5685
012	4 & 5	8	88	1659

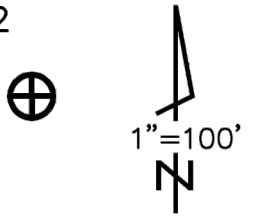


- A. S69°48'05"W 16.00
- B. N65°59'13"W 51.63
- C. S69°48'05"W 30.01
- D. S20°12'20"E 9.00
- E. S40°47'56"W 10.29
- F. S20°12'20"E 3.00
- G. S69°48'05"W 8.00

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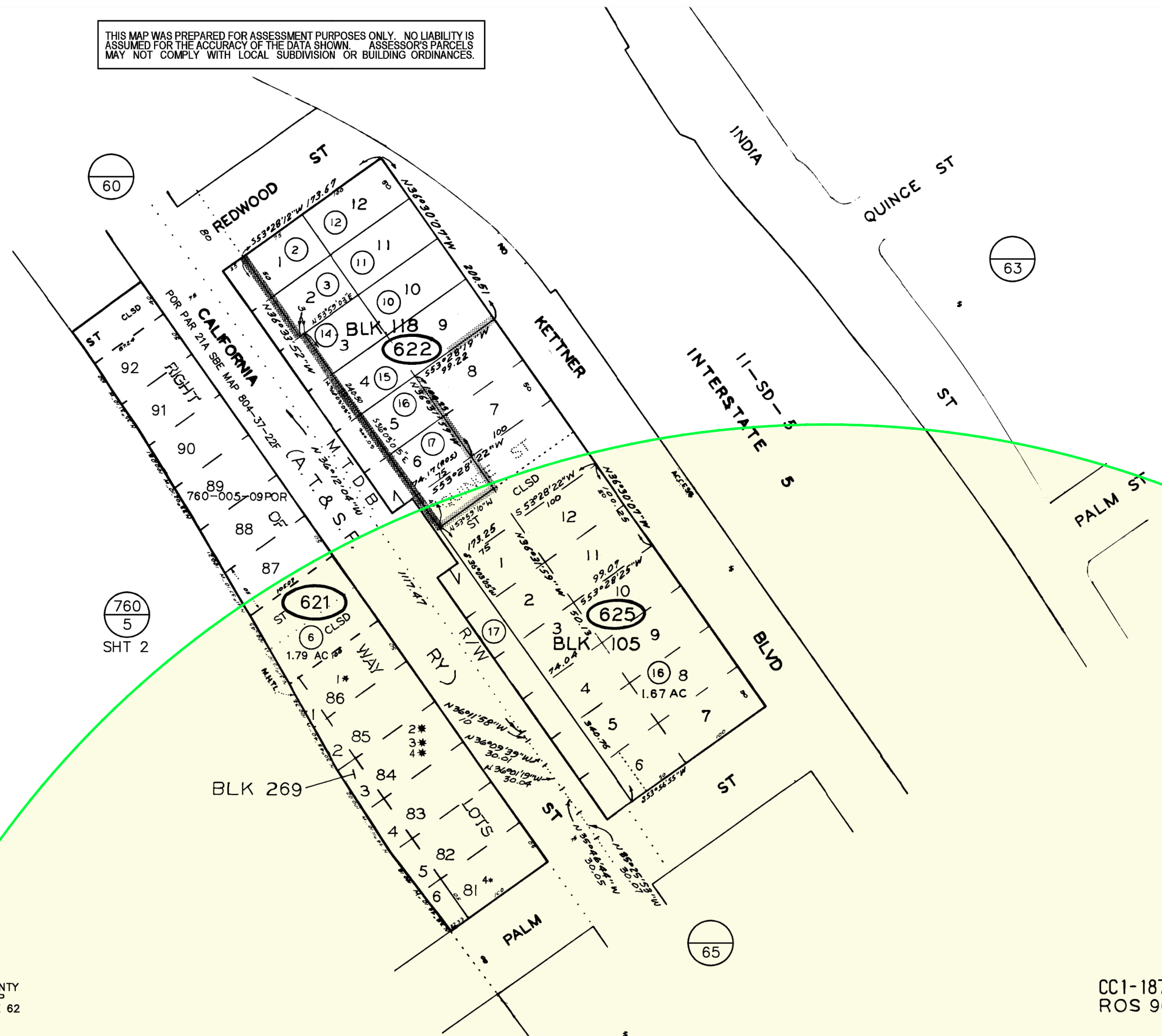
CCI-1874 - MIDDLETOWN
TIDELANDS - SAN DIEGO BAY
MM 18,42,564, ROS 15872

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02/16/06 AU

451-621-622 & 625



CHANGES

BLK	OLD	NEW	CUT
622	PickUP	13	
625	PickUP	13	68 1032
622	7&8 ST CLSD	SAME	
625	2&12 ST CLSD	SAME	87 5734
622	8&9	88	2348
625	2-12	14	
622	4-7	14-18	94 1163 CANC
625	14	15&16	95 1855 CANC
621	1-5	6	
625	13,15&-622-13&18	17	06 1582

- 1* 760-216-85
- 2* 760-216-86
- 3* 760-216-87
- 4* 760-216-93

60

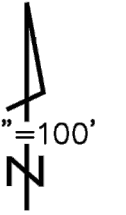
63

760
5
SHT 2

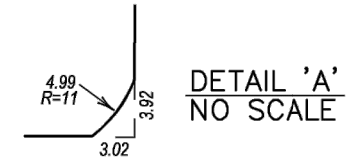
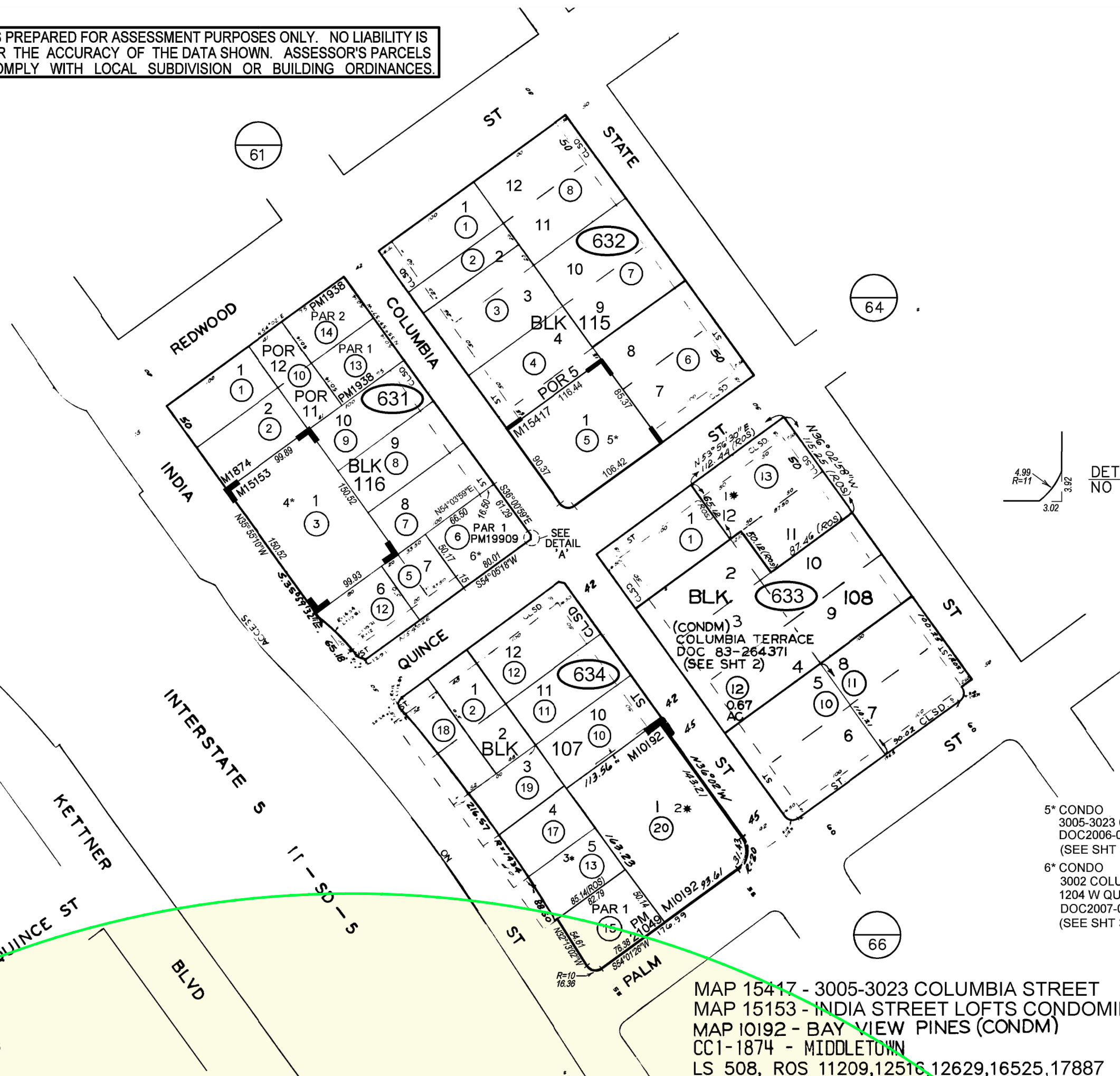
65

BT
9-6-74

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451-631-634

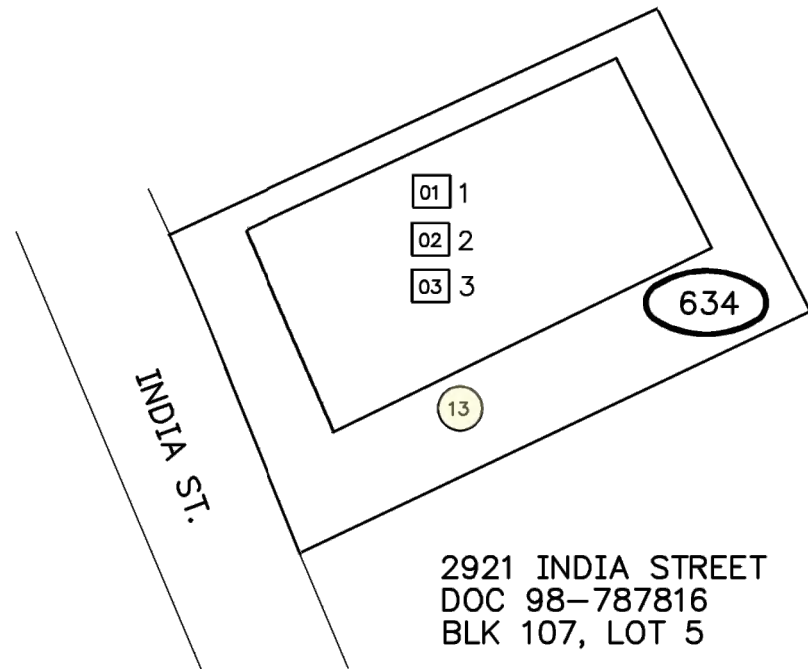


08/16/13 DEP

CHANGES				
BLK	OLD	NEW	YR	CUT
631	11	13,14	66	276
634	19	19	66	5088
633	10-11	10-11	70	1436
634	SAME	81	5778	
634	7-9	20	82	163
633	2,5,6	12	84	616
633	1-9	19	89	729
634	20	CONDM	92	553
634	13		00	593
631	3	CONDO	06	727
632	5	SAME & ST OP	07	5563
632	5	CONDO	08	547
631	6	CONDO	09	607
634	15	SAME & ST OP	14	4612

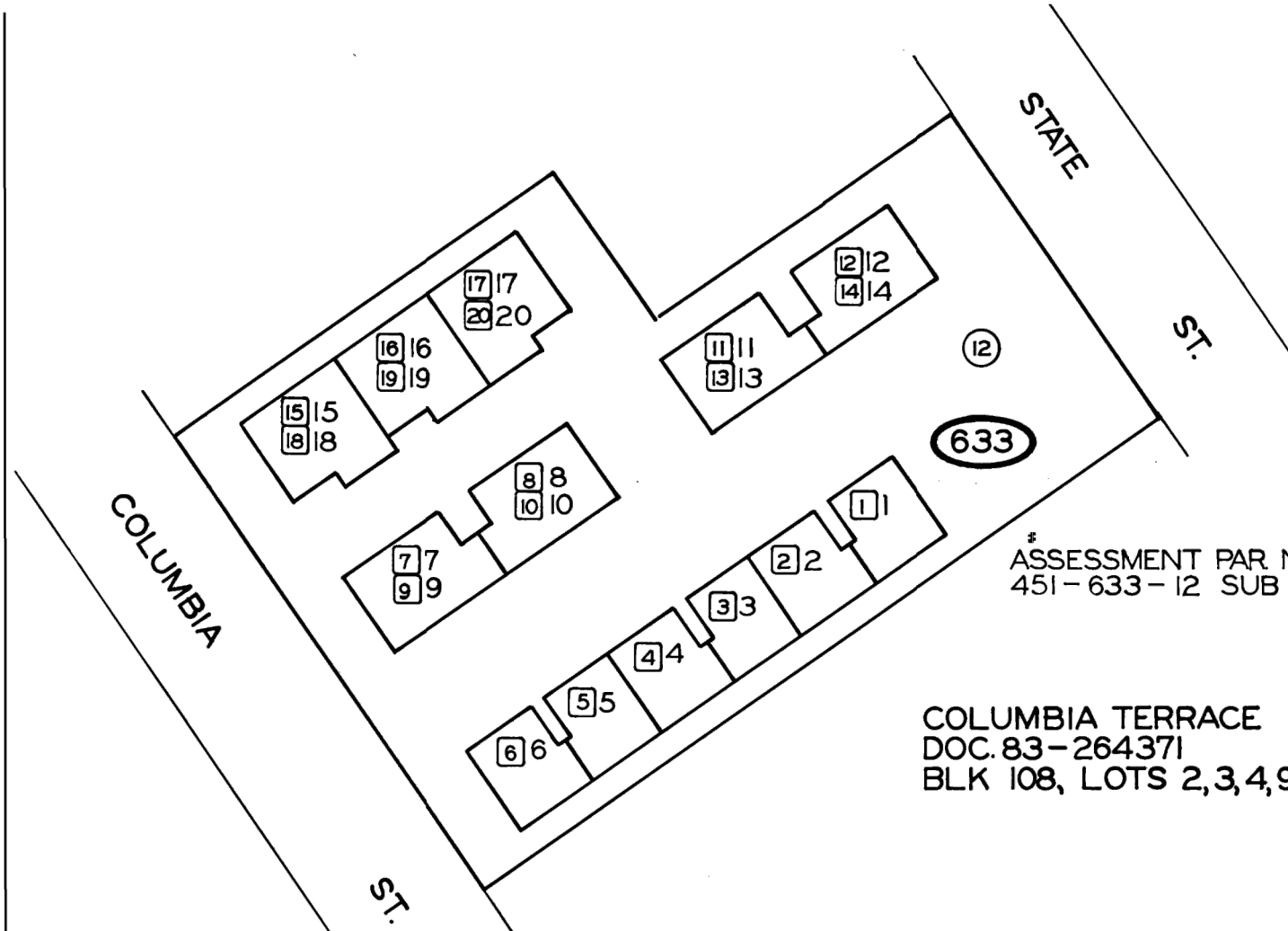
- 5* CONDO
3005-3023 COLUMBIA STREET
DOC2006-0669938
(SEE SHT 3)
- 6* CONDO
3002 COLUMBIA &
1204 W QUINCE
DOC2007-0512818
(SEE SHT 3)
- 1* CONDM
WEST QUINCE STREET
DOC 89-107712
(SEE SHEET 2)
- 2* CONDM
COLUMBIA CREST
DOC91-145231
(SEE SHT 3)
- 3* CONDO
2921 INDIA STREET
DOC98-787816
(SEE SEET 2)
- 4* CONDO
MOD DOM
DOC 05-958187
(SEE SHT 3)

MAP 15417 - 3005-3023 COLUMBIA STREET
MAP 15153 - INDIA STREET LOFTS CONDOMINIUMS
MAP 10192 - BAY VIEW PINES (CONDM)
CC1-1874 - MIDDLETOWN
LS 508, ROS 11209,12516,12629,16525,17887



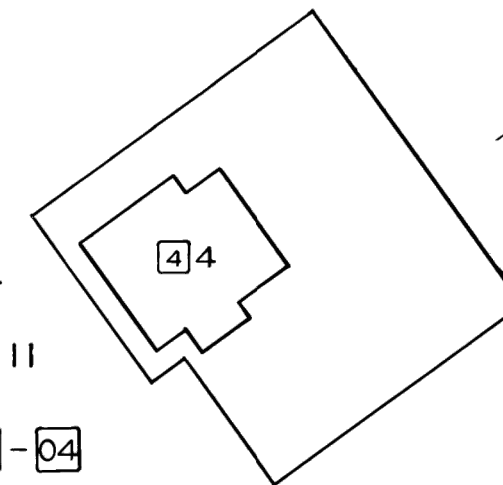
2921 INDIA STREET
 DOC 98-787816
 BLK 107, LOT 5

ASSESSMENT PAR NO
 451-634-13 SUB ID 01 - 03



* ASSESSMENT PAR NO.
 451-633-12 SUB ID 01 - 20

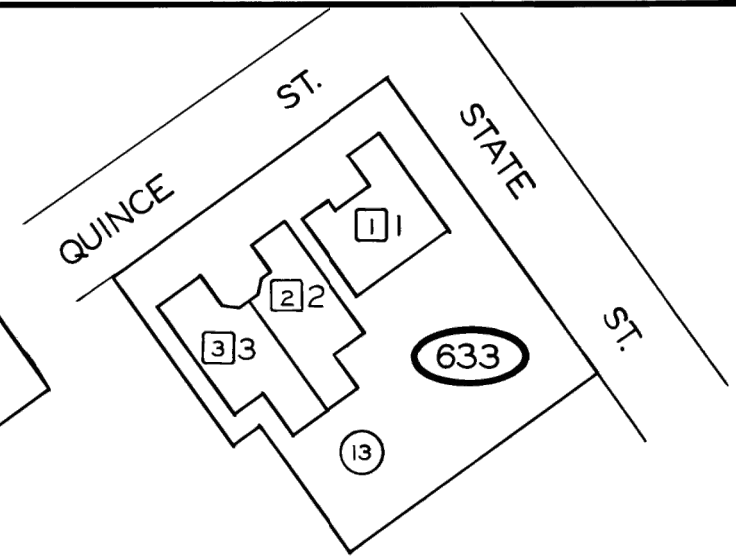
COLUMBIA TERRACE
 DOC. 83-264371
 BLK 108, LOTS 2,3,4,9,10 & POR 11



WEST QUINCE STREET
 DOC 89-107712
 BLK 108, LOT 12 & POR 11

ASSESSMENT PAR NO
 451-633-13 SUB ID 01 - 04

SECOND FLOOR



FIRST FLOOR

NOTE: EACH SUB ID INCLUDES AN
 UND INT IN ITS RESPECTIVE
 COMMON AREA.

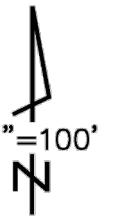
THIS MAP WAS PREPARED FOR ASSESSMENT PURPOSES ONLY. NO LIABILITY IS
 ASSUMED FOR THE ACCURACY OF THE DATA SHOWN. ASSESSOR'S PARCELS
 MAY NOT COMPLY WITH LOCAL SUBDIVISION OR BUILDING ORDINANCES.

CONDOMINIUMS
 CCI - 1874 - MIDDLETOWN



SAN DIEGO COUNTY
 ASSESSOR'S MAP
 BOOK 451 PAGE 63 SHT. 2
 MAPPED FOR ASSESSMENT PURPOSES ONLY

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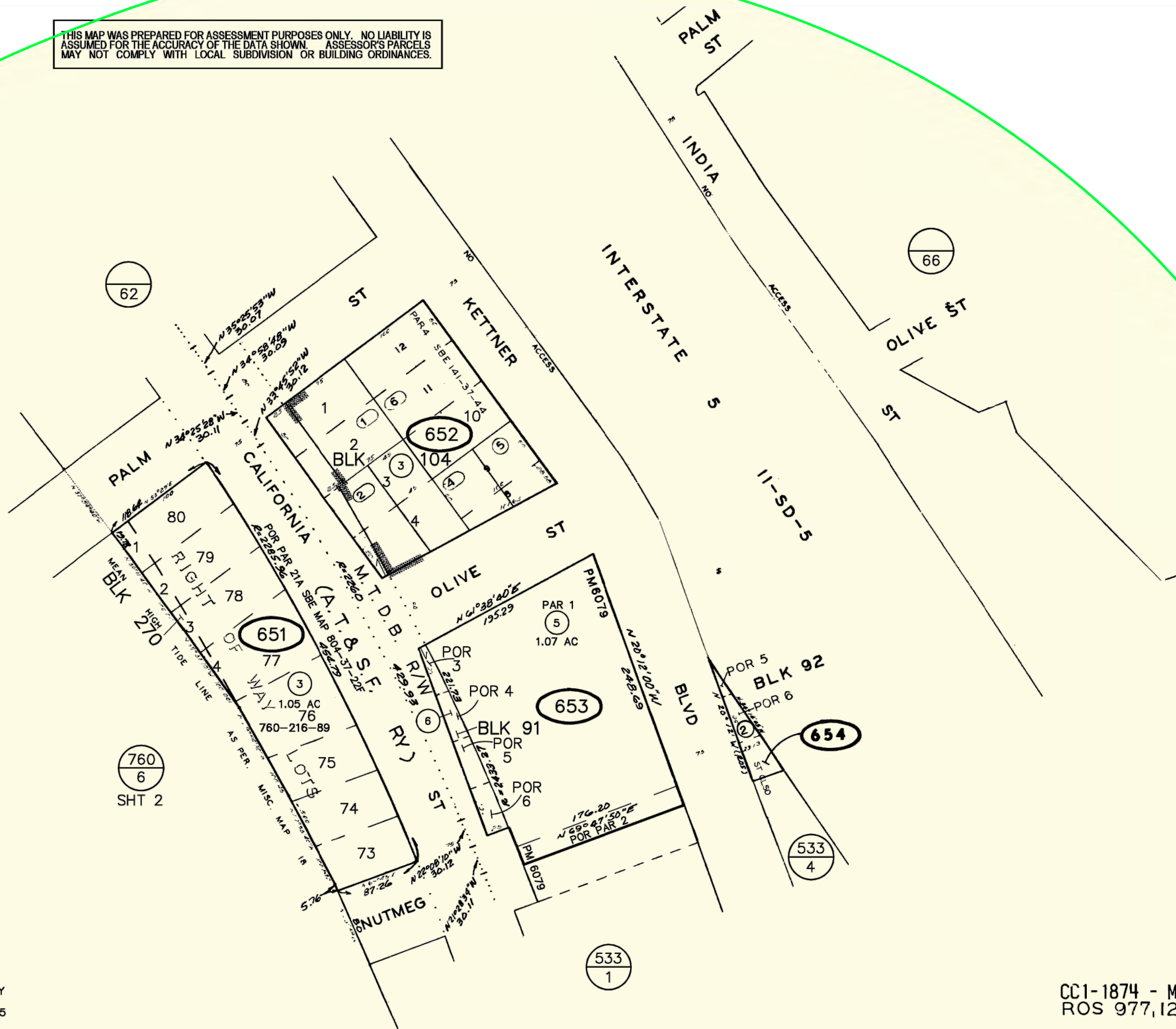


L 451-651-653

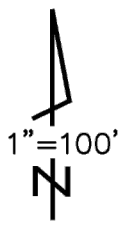
02/22/06 AN

CHANGES

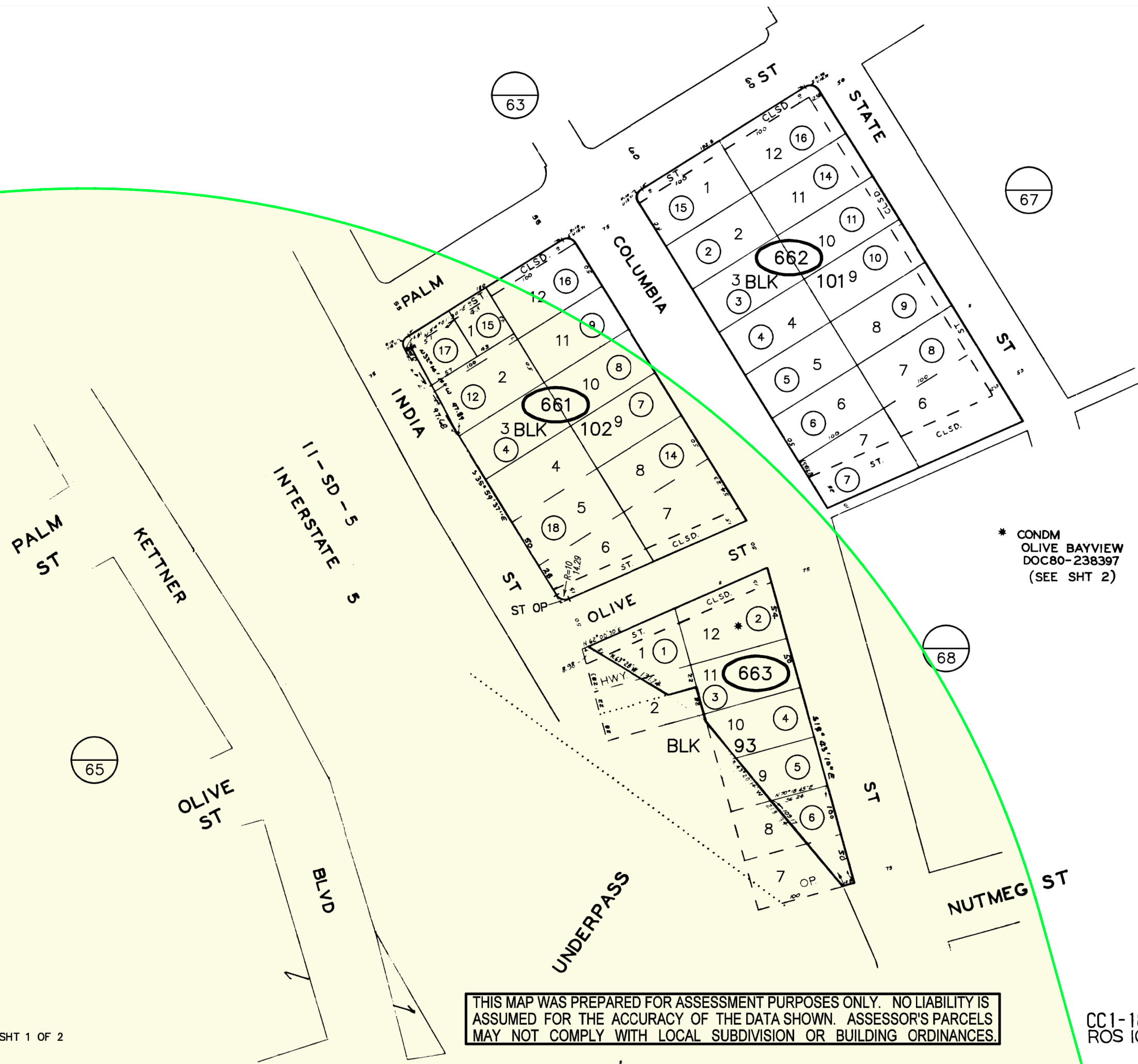
BLK	OLD	NEW	YR	CUT
654	1	2	65	4474
653	PICK UP	2	68	1036
652	PICK UP	7	68	1037
653	SECT 1	SAME	78	5544
653	1	3 & 4	78	1477
653	3 & 4	5	82	2253
651	1 & 2	3	06	2157
653	2 & 652-07	6		



BT
9-6-14



451-661-663



11/23/19 MGC

CHANGES				
BLK	OLD	NEW	YR	CUT
663	PICK UP	6	64	3798
662	ST. CLSD	15-16	70	1436
661	ST. CLSD	18	70	4050
663	2	CONDM	81	593
661	18	SAME & ST OP	20	4659

* CONDM
 OLIVE BAYVIEW
 DOC80-238397
 (SEE SHT 2)

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ST
 9-6-74
 SAN DIEGO COUNTY
 ASSESSOR'S MAP
 BOOK 451 PAGE 66 SHT 1 OF 2

CC1-1874 - MIDDLETOWN
 ROS 10851,23286

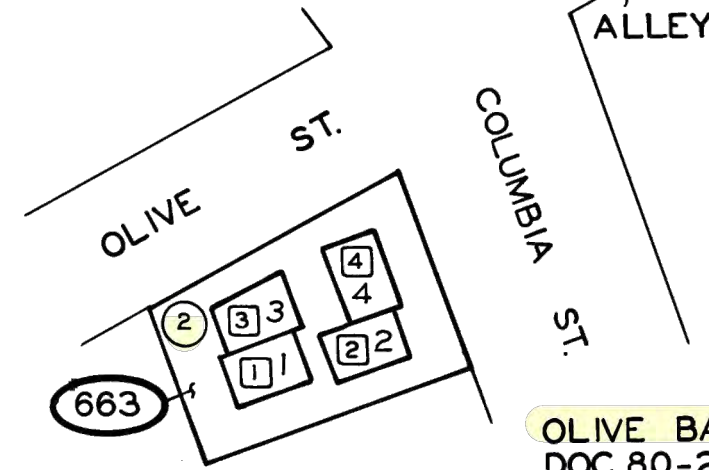
451-661-663

451-66
SHT 2

NO SCALE



12-29-80
LCA



OLIVE BAYVIEW
DOC 80-238397
BLK 93-LOT 12

ASSESSMENT PAR NO.
451-663-02 SUB ID 01 - 04
NOTE- EACH SUB ID INCLUDES AN
UND INT IN COMMON AREA

12
12-29-80

SAN DIEGO COUNTY
ASSESSOR'S MAP
BOOK 451...PAGE 66 SHT 2
MAPPED FOR ASSESSMENT PURPOSES ONLY

CONDOMINIUM
CCI-1874 - MIDDLETOWN

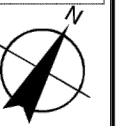
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08

SAN DIEGO COUNTY ASSESSOR'S MAP



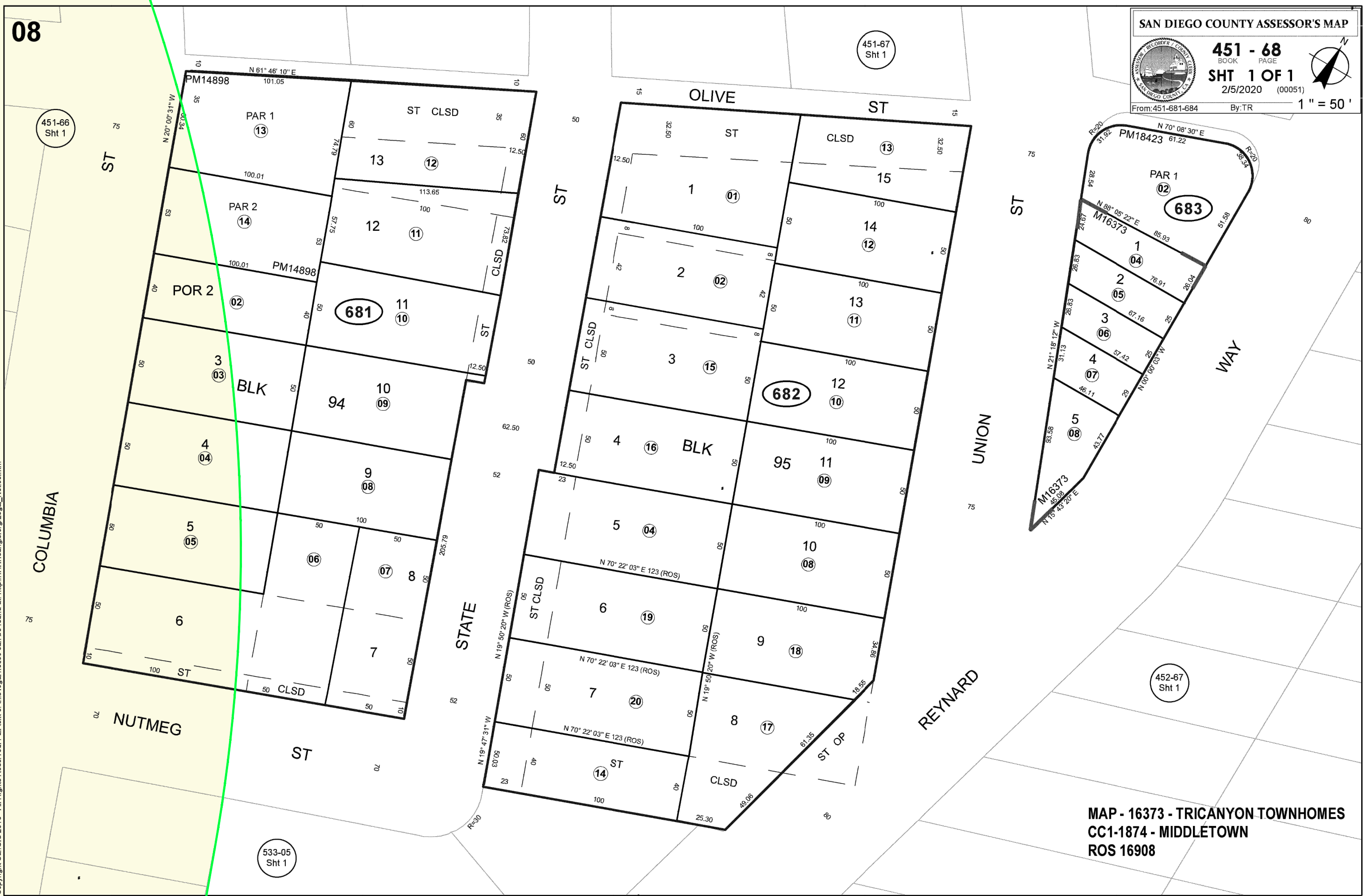
451 - 68
BOOK PAGE
SHT 1 OF 1
2/5/2020 (00051)



From: 451-681-684

By: TR

1" = 50'



451-66
Sht 1

451-67
Sht 1

683

682

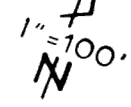
681

452-67
Sht 1

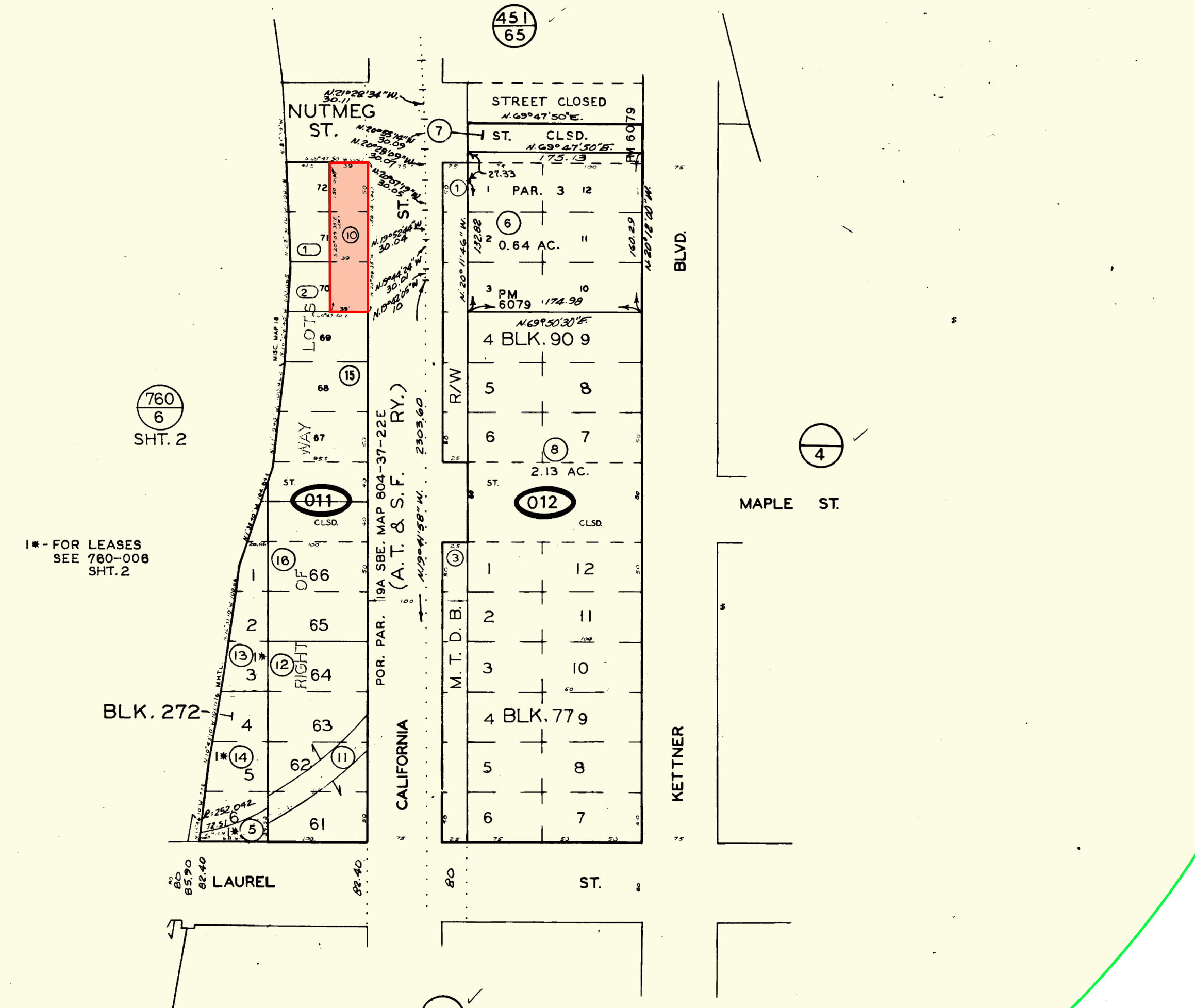
533-05
Sht 1

MAP - 16373 - TRICANYON TOWNHOMES
CC1-1874 - MIDDLETOWN
ROS 16908

ATTACHMENT 6



08



760 / 6
SHT. 2

* - FOR LEASES
SEE 760-008
SHT. 2

CHANGES				
BLK	OLD	NEW	YR	CUT
011	9	15,16	73	1313
011	13&15	BL Change	74	2024
012	ST. CLSD. #2	SAME	78	554.4
012	2	6&7	78	1477
011	11	RED TO BLACK	81	5685
012	4&5	8	83	1659

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SAN DIEGO COUNTY
ASSESSOR'S MAP
BOOK 533, PAGE 01

2 Barnes
12/10/78

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SAN DIEGO COUNTY
ASSESSOR'S MAP
BOOK 533 PAGE 02



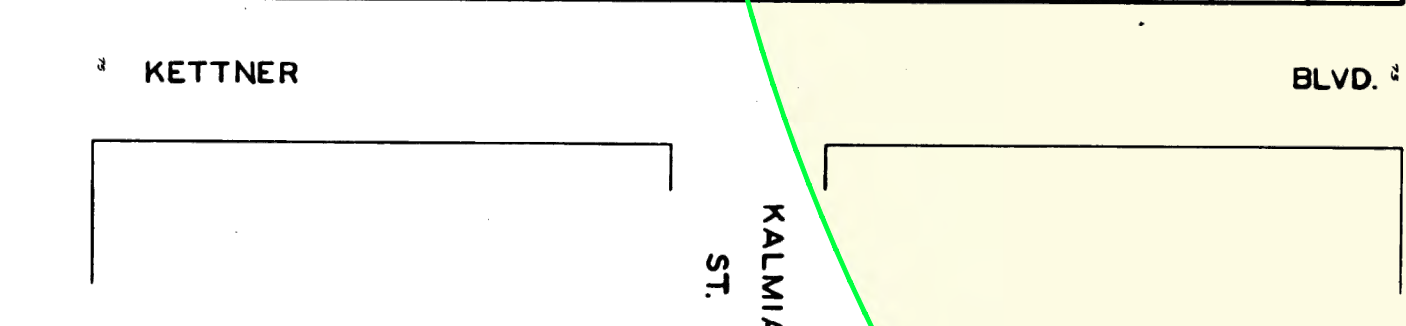
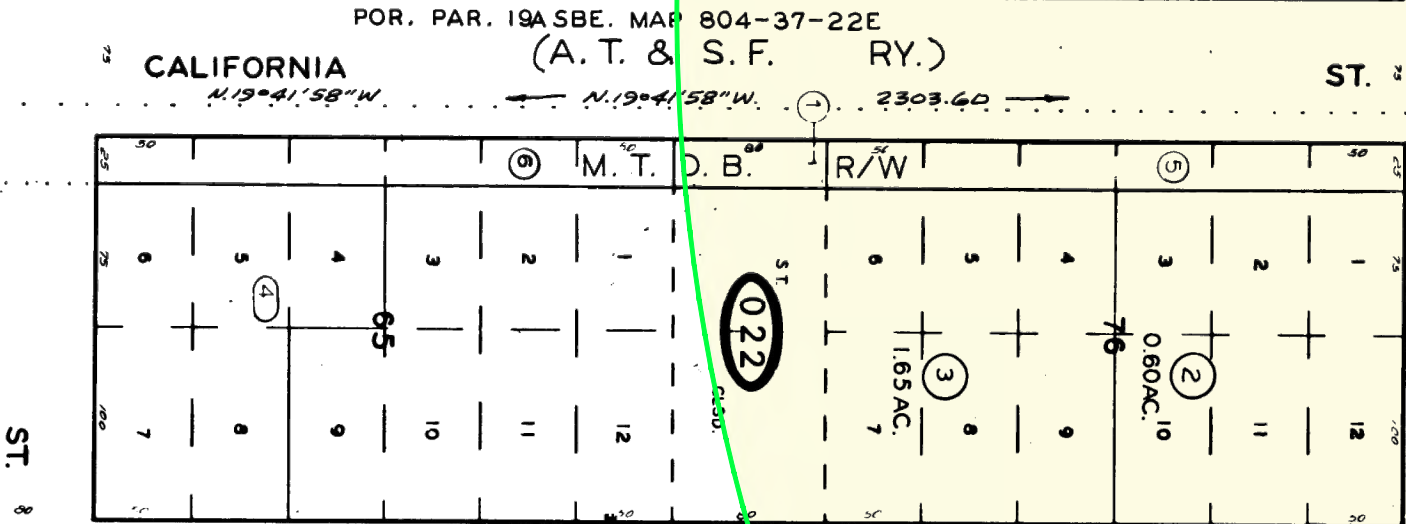
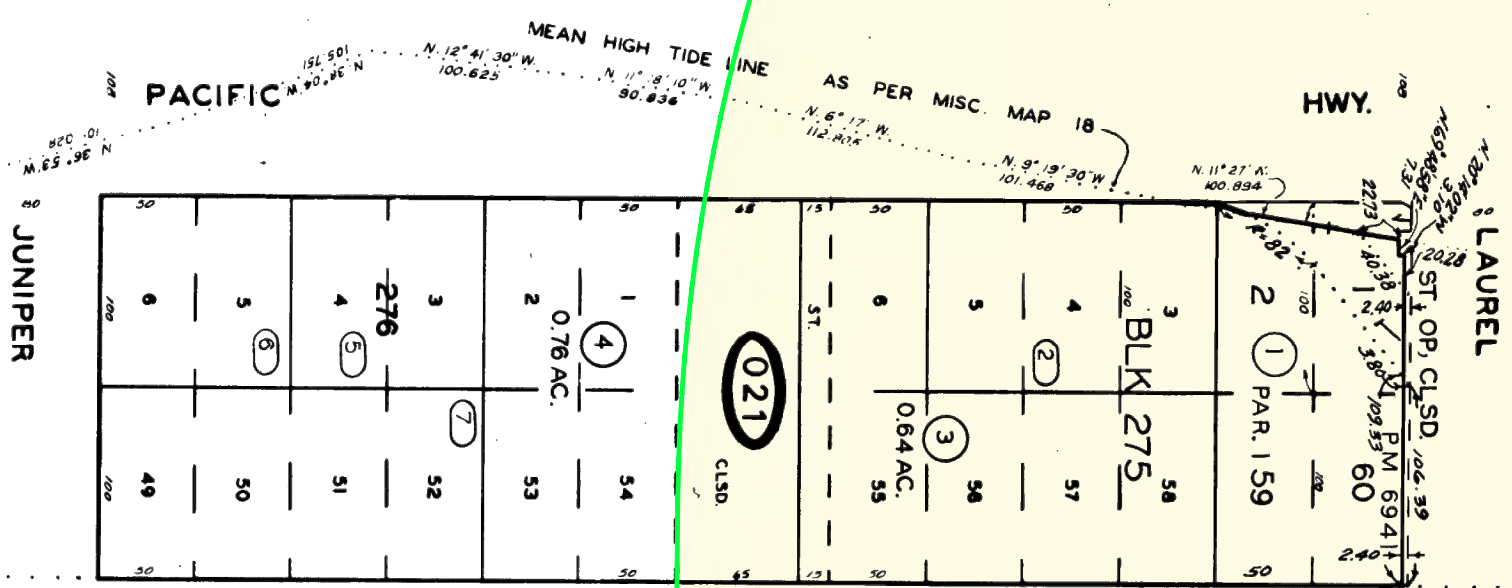
760
7
SHT. 1

760
6
SHT. 2

760
1

760
11

760
3

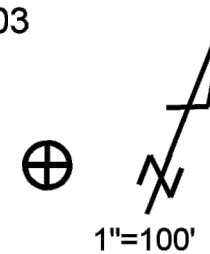


CHANGES

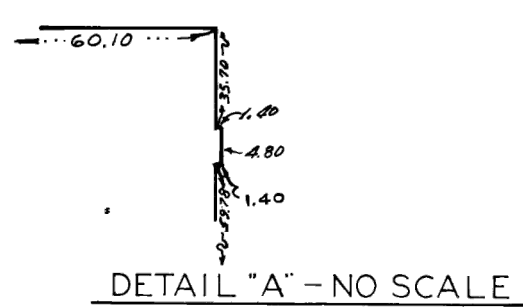
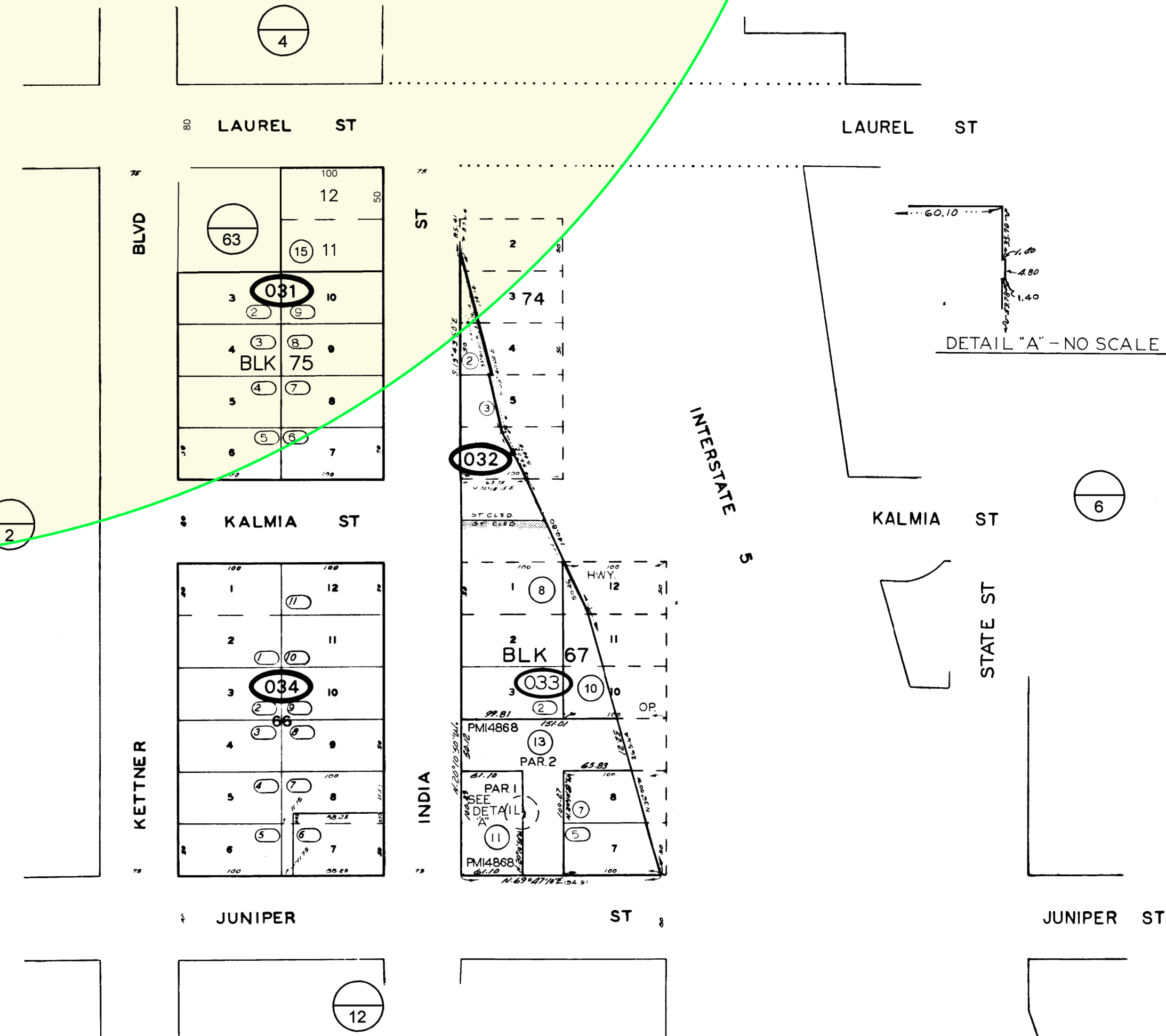
BLK	OLD	NEW	CUT
022	UP	5, 6, 67	1328
021	1	SAME	78, 5995
021	1	SAME	79, 3015

10-20-21-MS

1" = 100'



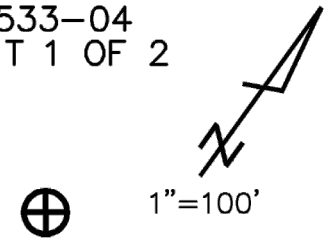
533-031-034



04/26/2013 KJA

CHANGES			
BLK	OLD	NEW	CUT
032	1 & 2 ST CLSD	3	
033	1 & 2 ST CLSD	8	380
033	6	9, 10	492
031	10 & 11	12	2934
033	4 & 5 ST 20'S	11 & 12 ST 20'S	2099
033	3 & 4	13	1142
031	12	13 & 14	1692
031	13 & 14	15	1904
031	01	PG 63	08 120

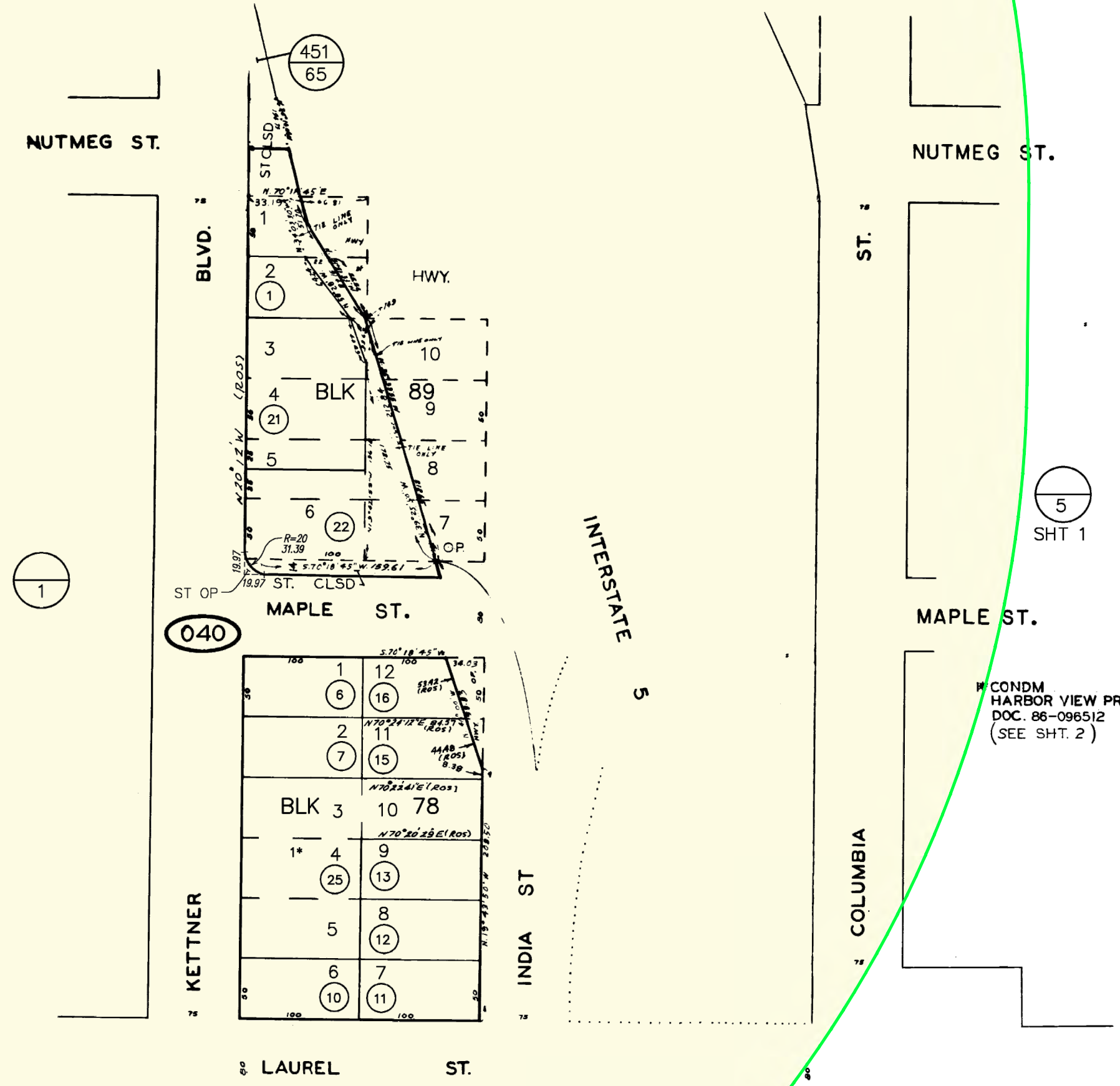
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08/21/2017 DJJ

CHANGES

BLK	OLD	NEW	CUT
040	2,3,4	21	
	5, 18, 26	22	72 7569
	ST CLSD & 22	SAME	76 5529
	8 & 9	23	82 2399
	14 & 23	24	85 705
	24 & S.I.D.'S	AMD. CONDM	87 5105
	24 & S.I.D.'S	25 CONDM	89 678
	24 & S.I.D.'S	25 & S.I.D.'S	89 10060
	22	SAME & ST OP	18 4651



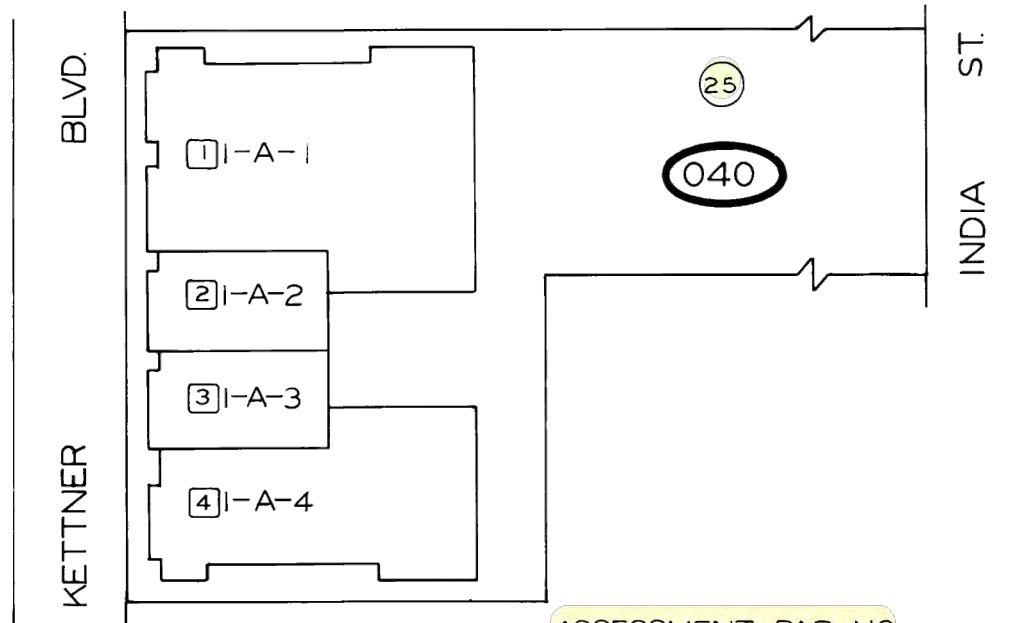
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03

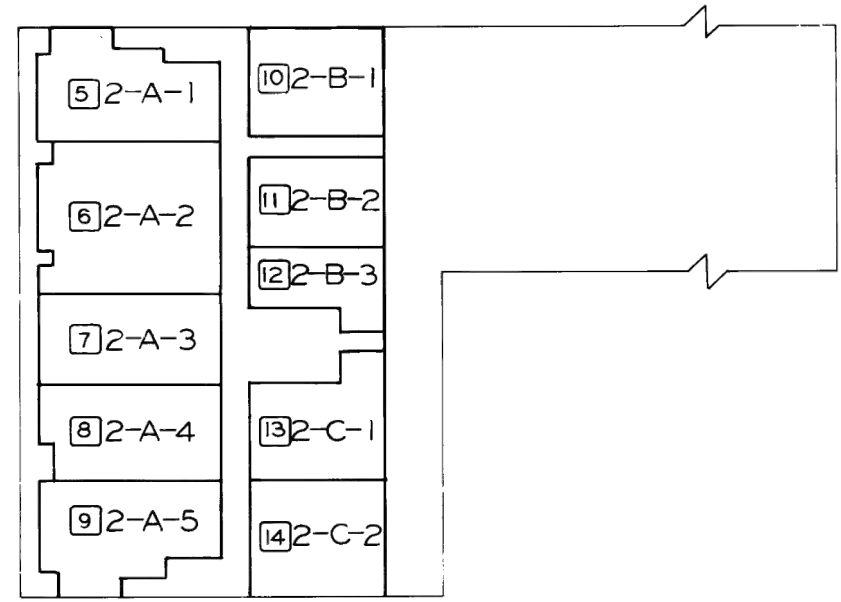
533-04
SHT. 2



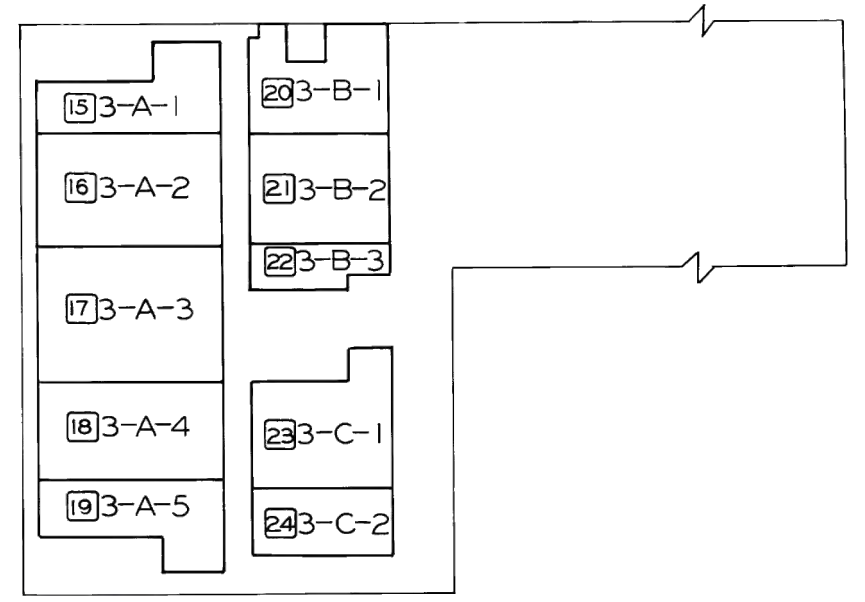
2-13-89 UAC



ASSESSMENT PAR. NO. 533-040-25 SUB ID 01 - 24



HARBOR VIEW PROFESSIONAL PLAZA
DOC 86-096512/550188
BLK 78-LOTS 3-5 & 10

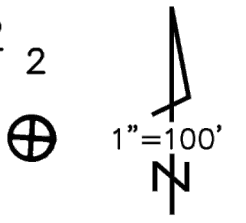


N. H. C.
2-13-89

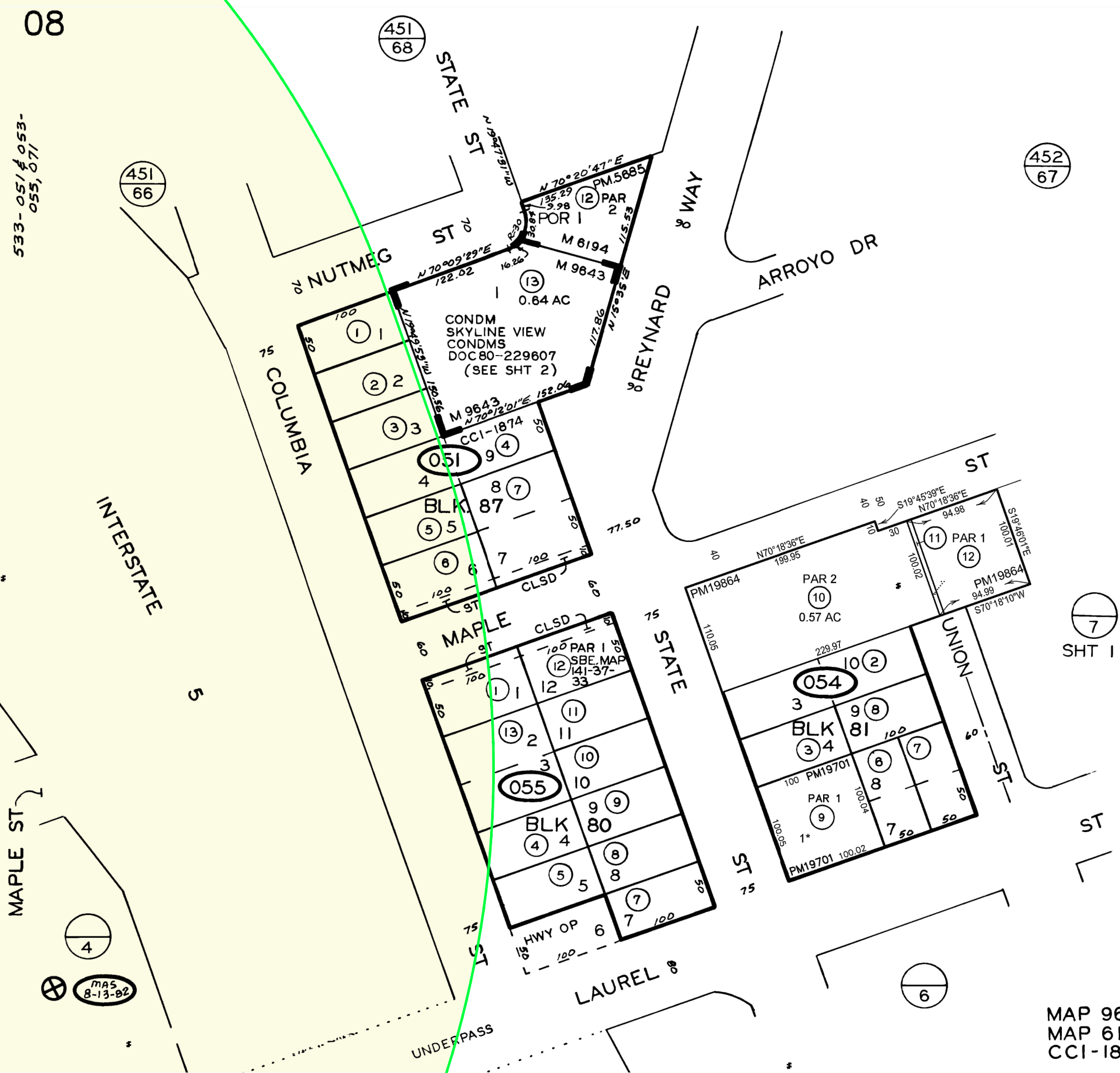
MAP FOR ASSESSMENT PURPOSES
533-04-04 SHT. 2

NOTE: EACH SUB ID INCLUDES AN UND INT IN ITS RESPECTIVE COMMON AREA

CONDOMINIUMS
CCI - MIDDLETOWN



533-05/053-055,071



2/25/2006 SM

CHANGES				
BLK	OLD	NEW	YR	CUT
053	6	11	06	3580
053	3-5	9	07	835
051	8	9		
	052-1	10	09	138
055	2	3	13	4024
053	2	12	13	1015
051	10	11	12	1481
051	11	13	81	50
053	10	SAME	81	5783
053	PICK-UP	14	81	1334
051	13	COND	81	782
053	071-3	15	83	10038
053	1, 7, 8, 10, 12, 13	12-17	85	10146
053	11, 14, 15, 18, 22	SAME	85	1949
054	1	SAME	94	5568
054	4&5	9	06	1436
054	1	10&11	06	2039
054	-072-12	12	06	10016
054	9	CONDO	06	704

1* CONDO
STATE & LAUREL VILLAS
DOC05-065557
(SEE SHT 2)

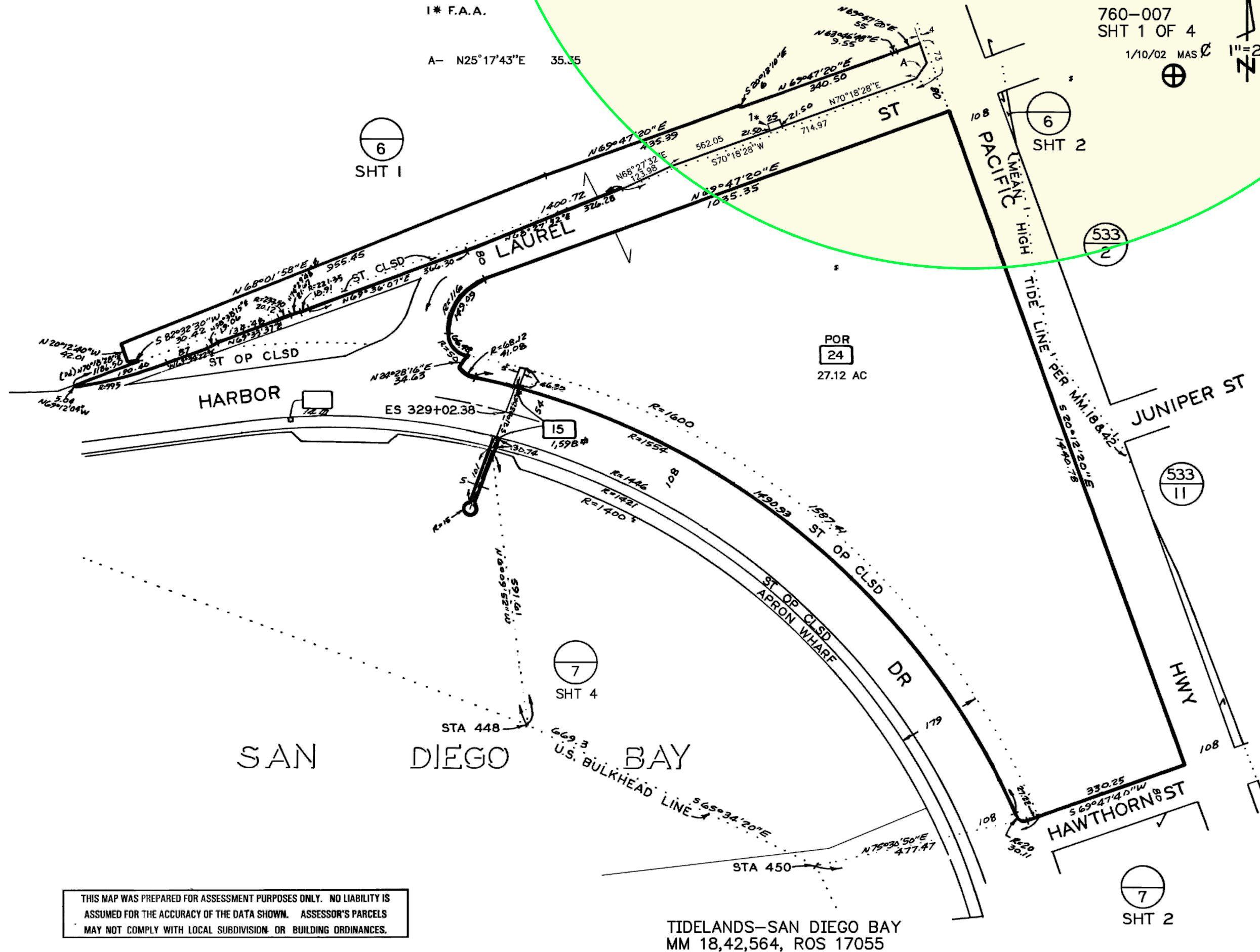
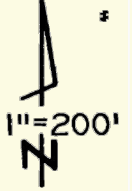
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MAP 9643-SKYLINE VIEW CONDOMINIUMS
MAP 6194-LIND HEIGHTS
CCI-1874 - MIDDLETOWN

1* F.A.A.

A- N25°17'43"E 35.35

760-007
SHT 1 OF 4
1/10/02 MAS



6
SHT 1

6
SHT 2

533
2

POR
24
27.12 AC

533
11

7
SHT 4

7
SHT 2

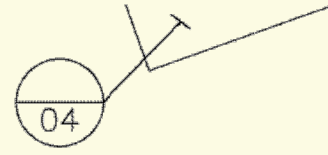
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TIDELANDS-SAN DIEGO BAY
MM 18,42,564, ROS 17055

MAS
1-26-84

SAN DIEGO COUNTY
ASSESSOR'S MAP
BOOK 760, PAGE 007, SHT 1 OF 4

08



SAN DIEGO COUNTY ASSESSOR'S MAP
533 - 63
1" = 20'

Drawn: 10/19/07 By: DEP From: 533-031

CHANGES

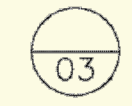
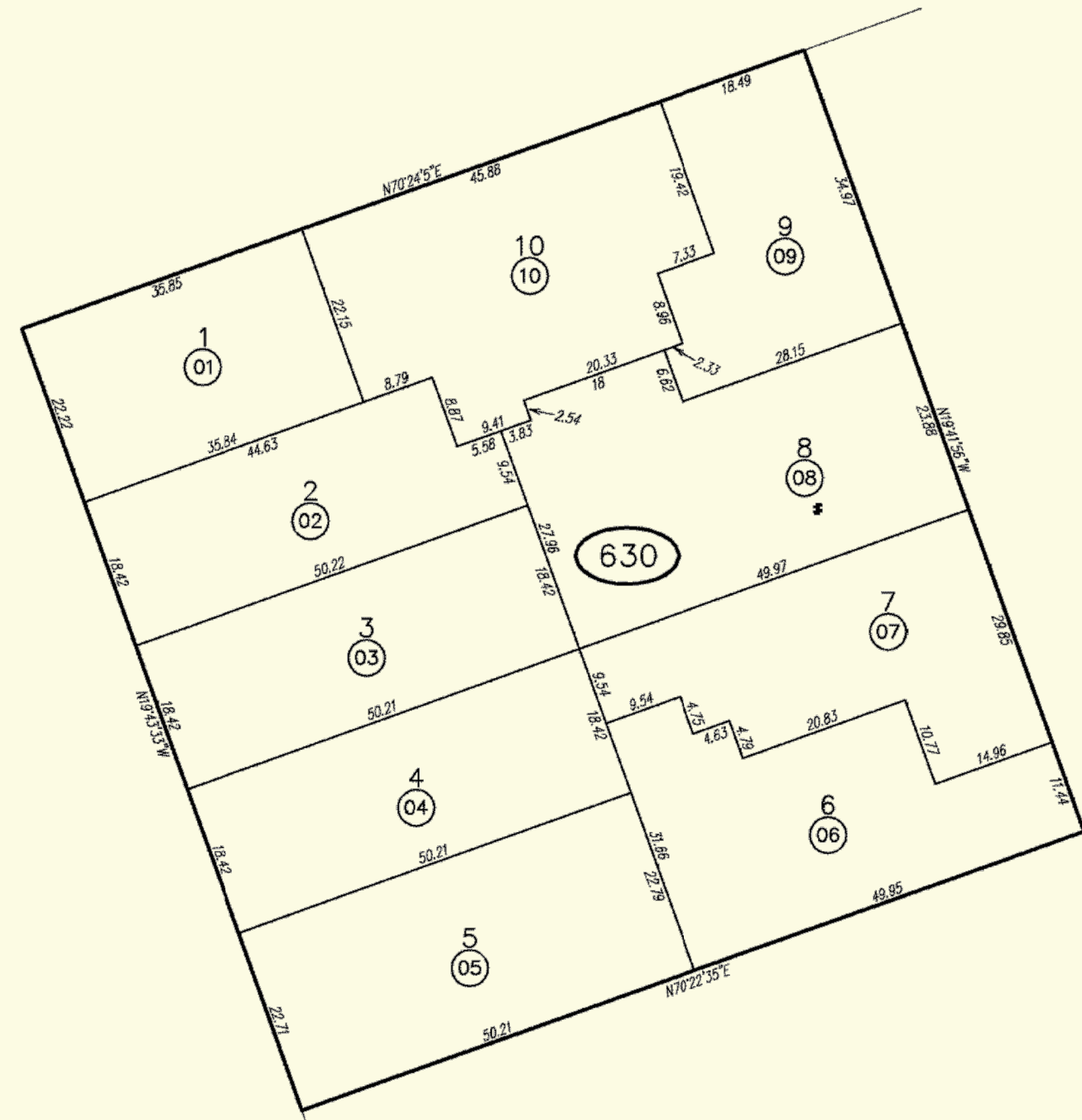
BLK	PRIOR APN	NEW APN	YR	CUT NO.
630		01 THRU 10	08	120

.48

.15

KETTNER BLVD

LAUREL ST



MAP 15620 - WEST LAUREL STUDIOS

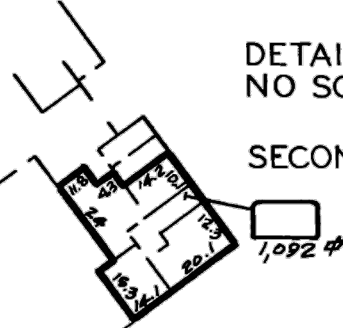
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10/18/2006 ESW

760-005
SHT 2 OF 2

- A. N53°30'20"E 7.81
- B. N53°30'20"E 23.83
- C. S34°28'40"E 11.21
- D. S37°54'40"E 2.48

DETAIL "A"
NO SCALE
SECOND FLOOR - POR



12/26/2014 CS

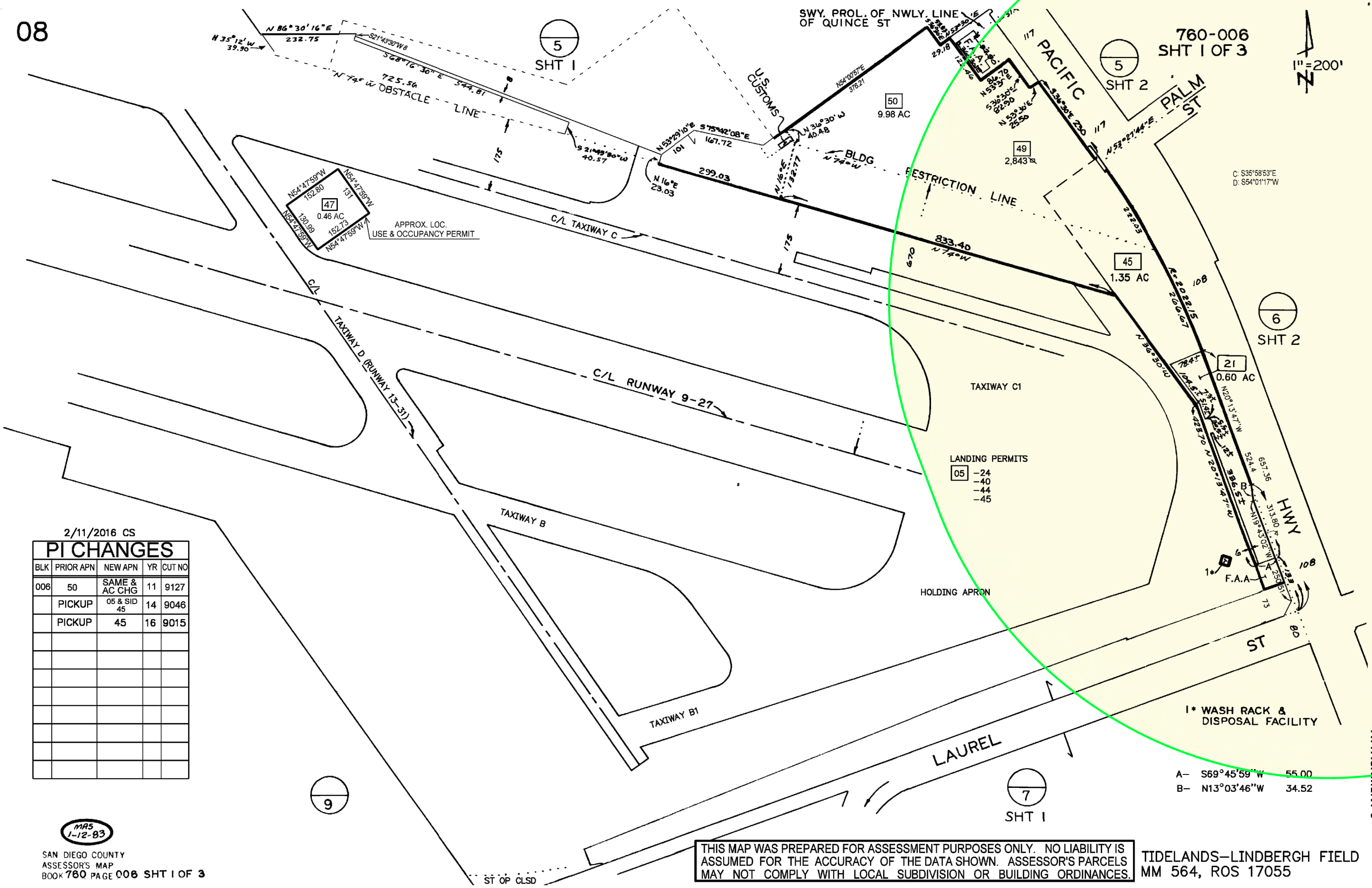
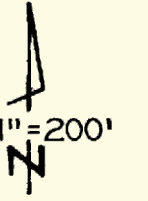
PL CHANGES			
BLK	PRIOR APN	NEW APN	YR CUT NO.
	40	KILL	079037
	10	SAME & AC CHG	150026

I* ASSESSED AS 760-001-2 POR
VENDING MACHINE PERMIT
SEE PG 018

CCI-1874-MIDDLETOWN
TIDELANDS-SAN DIEGO BAY
MM.18,42,564

SWY. PROL. OF NWLY. LINE OF QUINCE ST

760-006 SHT 1 OF 3



5 SHT 1

5 SHT 2

6 SHT 2

9

7 SHT 1

2/11/2016 CS

PI CHANGES				
BLK	PRIOR APN	NEW APN	YR	CUT NO
006	50	SAME & AC CHG	11	9127
	PICKUP	05 & SID 45	14	9046
	PICKUP	45	16	9015

- LANDING PERMITS
- 05 -24
 - 40
 - 44
 - 45

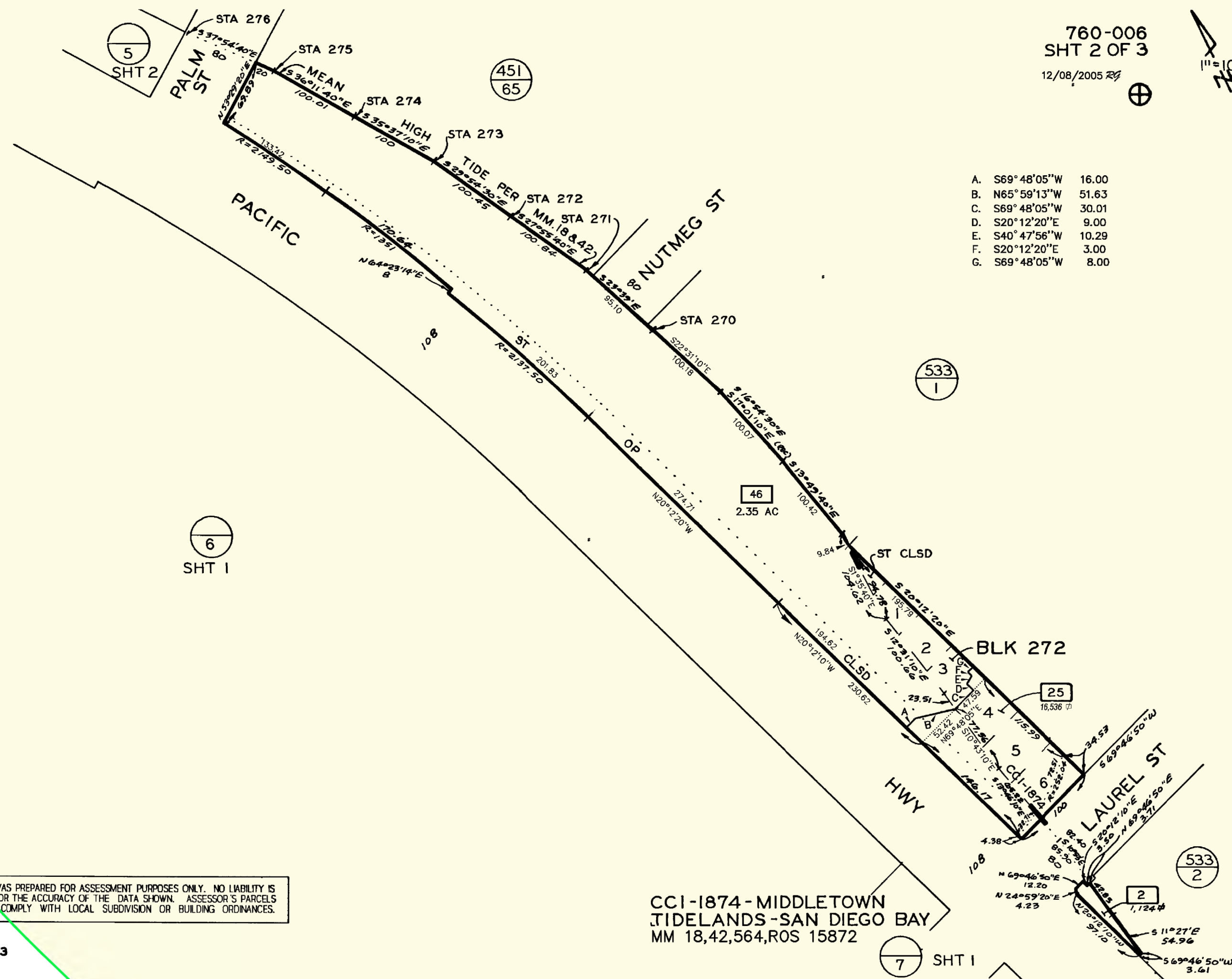
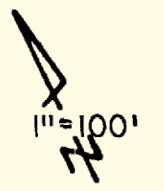
1* WASH RACK & DISPOSAL FACILITY

- A- S69°45'59" W 55.00
- B- N13°03'46" W 34.52

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TIDELANDS-LINDBERGH FIELD MM 564, ROS 17055

12/08/2005



A.	S69°48'05"W	16.00
B.	N65°59'13"W	51.63
C.	S69°48'05"W	30.01
D.	S20°12'20"E	9.00
E.	S40°47'56"W	10.29
F.	S20°12'20"E	3.00
G.	S69°48'05"W	8.00

6
SHT 1

533
1

46
2.35 AC

BLK 272

25
16,536

HWY

LAUREL ST

533
2

CCI-1874 - MIDDLETOWN
TIDELANDS - SAN DIEGO BAY
MM 18,42,564, ROS 15872

7
SHT 1

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MAS
1-17-84

Midway-Pacific Highway Community Planning Group Minutes

Date: Wednesday, November 16, 2022

Location: Zoom Virtual Meeting - San Diego, CA 92110

1. Call to Order: 3:05pm. Quorum present: Dike, Karen, Judy, Rebecca, Jason, Amy, Quentin.
2. Approval of Minutes: Dike motioned to approve June's minutes. Rebecca seconded. Motion passed unanimously. Dike motioned to approve October's minutes. Judy seconded. Motion passed unanimously- Karen abstained as she did not attend October's meeting.
3. Public Comment:
 - Becky Rapp- SD resident and public health expert, concerned about social equity plan and available cannabis permits. Against raising the cap on number of cannabis CUP's.
 - Mike: homeowner in the area concerned about street paving in his area.
4. Government Office Reports
 - a. Mayor's Office, Kohta Zaiser: not present.
 - b. Council District 2's Office, Makana Rowan: His last meeting as D2 contact. Working on completing budget if we have any questions or comments.
 - c. Planning Department, Nancy Graham: not present.
 - d. Police Department, Officer David Surwilo: not present.
 - e. Housing Commission, Lisa Jones:
 - Casey Shell on behalf of Lisa: Harm reduction shelter at 43 of 45 beds occupied. 345 people at county site- 70% from Midway area or 241. Didn't have stats on folks who had exited. Margaret and Judy also requested additional stats on exits. Casey said those stats are not typically tracked but their team is keeping track especially for our group. Casey pulled up sheet showing 12 went into permanent house.
 - f. Regional Airport Authority, TBD: not present.
 - g. County Supervisor District 3 Office, Rebecca Smith: not present but emailed statement to Chair.
 - Board of Supervisors voted to budget \$100 million towards holding pharmaceutical companies responsible for opioid addiction problems. Voted last month to increase fentanyl education and strengthen harm reduction for young people. The County of San Diego health professionals are sounding the alarm about a triple threat of illnesses that could have a severe impact this fall and winter.
 - h. State Senator Toni Atkins Office, Cole Reed: not present.
 - i. Assemblymember Chris Ward, Miki Holmes:
 - District lines are changing and Midway is no longer in Chris Ward's district starting in 2023 but he's still available to meet.
 - j. Congressman Scott Peters Office, Samantha Keosoukanh: not present.
 - k. SANDAG, Jack Christensen: not present.
 - l. Naval Base Point Loma, Muska Laiq: Navy issued RFP/RFQ yesterday (email went out - more details at <https://navwar-revitalization.com/>). Dike asked about opportunity for public feedback - rep said still too early and no project to evaluate yet. Key Dates as follows:
 - Solicitation release: November 15, 2022
 - Deadline for proposers to submit questions to possibly be addressed at the Pre-Proposal Conference: November 30, 2022
 - Deadline to register for the Pre-Proposal Conference: December 2, 2022
 - Pre-Proposal Conference: December 7, 2022
 - Deadline for proposers to submit questions for the solicitation: January 24, 2023
 - Deadline for proposers to submit Statement of Qualifications: February 7, 2023
 - m. MCRD, Jim Gruny: not present.
5. Information Items
 - a. Post-Measure C Discussion- So Now What?
 - Our group doesn't meet in December so Dike wanted to bring up a few potential topics for 2023. As of today Measure C Yes votes sit at 51.12%. Jen Campbell looks to have won reelection. Sports Arena redevelopment landscape seems to be coming along with Midway Rising group. Joe Lacava's CPG's modifications will take effect soon - will be opportunity to revisit our bylaws.
 - *Shelby Jordan* with Legends/Midway Rising said team currently focused on entertainment venue. Next few months they will continue to engage with city to begin due diligence will be long process through the end of 2023. Onsite environmental, CEQA, EIR can take up to 1 year and should start Summer 2023. Reiterated how they plan to stay engaged with the community and offer a framework for discussions moving forward.
 - Dike brought up we should continue to work towards improving and bettering our neighborhood to continue the

momentum after so many starts and stops. Judy talked about the history of delays we've seen over the years. Talk about subcommittees and how useful they can be to get things done at the city. Also talked about how we can help engage with government reps.

6. Action Items:

a. Conditional Use Permit PRJ-1054172: 1215 W Nutmeg St

-Kim Kantrud (consultant) proposing remodeling 6,200 SF existing building to be used as cannabis outlet. 10 parking spaces, improved lighting. Removing some unpermitted structures to create parking. Noted project complied with IS-1-1 existing zoning with CUP. Confirmed access is off Palm Street South onto California Street. Thinks they're #3 in line to the 2 open permits. Discussed parking in the area. Aaron Megavney is applicant.

-Dike made a motion to support the applicant's permit, Karen seconded. There was some discussion about the cul de sac, nearby rail lines, lighting, street parking. Board voted 6-1 to pass motion.

7. CPC Report: none.

8. Chair Report: touched upon his thoughts during discussion in item 5. DIF fund balance also came up.

9. New Business: none.

10. Old Business: none.

Adjournment: 4:55pm.



THE CITY OF SAN DIEGO

Date of Notice: March 20, 2023

NOTICE OF RIGHT TO APPEAL ENVIRONMENTAL DETERMINATION DEVELOPMENT SERVICES DEPARTMENT

SAP or I.O. No. 24009185

PROJECT NAME / NUMBER: Cannabis Outlet Facility 1215 Nutmeg/ PRJ 1054172

COMMUNITY PLAN AREA: Midway/Pacific Highway Community Plan

COUNCIL DISTRICT: 2

LOCATION: 1215 West Nutmeg Street, San Diego, CA 82101

PROJECT DESCRIPTION: The project proposes a Conditional Use Permit (CUP) for a new Cannabis Outlet (CO) in an existing 3,062 square-foot (sf) tenant space in a 6,208 sf building, on a 0.26-acre site. The project is in the IS-1-1 (Industrial- Small Scale) Zone of the Midway-Pacific Highway Community Plan, Coastal Height Limitation Overlay Zone, Parking Standards Transit Priority Area, Transit Priority Area, Transit Area Overlay Zone, Parking Impact Overlay Zone (Coastal Impact), North Bay Redevelopment Project, Airport Land Use Compatibility Overlay Zone, Airport Approach Overlay Zone, Airport Influence Area (San Diego International Airport (SDIA) and NAS North Island, Review Areas 1 and 2), 75+ Airport Noise Contours (CNEL), Airport Safety Zones, Airport Approach Overlay Zone, and the Federal Aviation Administration (FAA) Part 77 Notification Area (SDIA and NAS North Island).

ENTITY CONSIDERING PROJECT APPROVAL: City of San Diego Hearing Officer

ENVIRONMENTAL DETERMINATION: Categorically exempt from CEQA pursuant to CEQA State Guidelines, Section 15301, Existing Facilities.

ENTITY MAKING ENVIRONMENTAL DETERMINATION: City of San Diego Development Services Department

STATEMENT SUPPORTING REASON FOR ENVIRONMENTAL DETERMINATION: The City of San Diego conducted an environmental review and determined that the project would qualify to be categorically exempt from CEQA pursuant to Section 15301 (Existing Facilities). Section 15301 allows for the operation, repair, maintenance, permitting, leasing, licensing, or minor alteration of existing facilities (public or private), involving negligible or no expansion of use beyond that existing at the time of the determination. Since the project would only permit the partial conversion of an existing space for a CO which would not expand the use the exemption was deemed appropriate. The project is located on a developed site and no environmental impacts would occur and none of the exceptions described in CEQA Guidelines Section 15300.2 apply.

DEVELOPMENT PROJECT MANAGER: Francisco Mendoza
MAILING ADDRESS: 1222 First Avenue, MS 501, San Diego, CA 92101-4153
PHONE NUMBER / EMAIL: (619) 446-5292/ FJMendoza@sandiego.gov

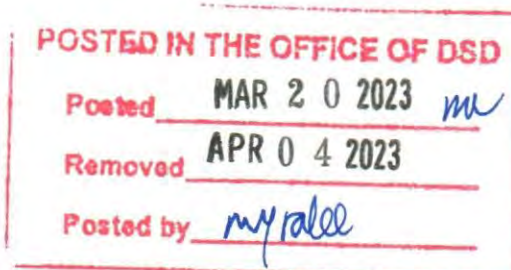
On March 20, 2023, the City of San Diego made the above-referenced environmental determination pursuant to the California Environmental Quality Act (CEQA). This determination is appealable to the City Council. If you have any questions about this determination, contact the City Development Project Manager listed above.

Applications to appeal CEQA determination made by staff (including the City Manager) to the City Council must be filed in the office of the City Clerk by 5:00pm within ten (10) business days from the date of the posting of this Notice (April 4, 2023). Appeals to the City Clerk must be filed by email or in-person as follows:

- 1) **Appeals filed via E-mail:** The Environmental Determination Appeal Application Form [DS-3031](#) can be obtained at <https://www.sandiego.gov/sites/default/files/legacy/development-services/pdf/industry/forms/ds3031>. Send the completed appeal form (including grounds for appeal and supporting documentation in pdf format) by email to Hearings1@sandiego.gov by 5:00p.m. on the last day of the appeal period; your email appeal will be acknowledged within 24 business hours. You must separately mail the appeal fee by check payable to the City Treasurer to: City Clerk/Appeal, MS 2A, 202 C Street, San Diego, CA 92101. The appeal filing fee must be United States Postal Service (USPS) postmarked) before or on the final date of the appeal. Please include the project number on the memo line of the check.
- 2) **Appeals filed in person:** Environmental Determination Appeal Application Form [DS-3031](#) can be obtained at <https://www.sandiego.gov/sites/default/files/legacy/development-services/pdf/industry/forms/ds3031.pdf>. Bring the fully completed appeal application [DS-3031](#) (including grounds for appeal and supporting documentation) to the City Administration Building—Public Information Counter (Open 8:00am to 5:00pm Monday through Friday excluding City-approved holidays), 1st Floor Lobby, located at 202 C Street, San Diego, CA 92101, by 5:00pm on the last day of the appeal period. The completed appeal form shall include the required appeal fee, with a check payable to: City Treasurer.

The appeal application can also be obtained from the City Clerk, 202 'C' Street, Second Floor, San Diego, CA 92101.

This information will be made available in alternative formats upon request.



	<p>City of San Diego Development Services 1222 First Ave., MS 302 San Diego, CA 92101 (619) 446-5000</p> <p style="text-align: center;">Ownership Disclosure Statement</p>	<p style="text-align: center;">FORM DS-318</p> <p style="text-align: center;">October 2017</p>
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Approval Type: Check appropriate box for type of approval(s) requested: Neighborhood Use Permit Coastal Development Permit
 Neighborhood Development Permit Site Development Permit Planned Development Permit Conditional Use Permit Variance
 Tentative Map Vesting Tentative Map Map Waiver Land Use Plan Amendment Other _____

Project Title: 1215 W Nutmeg **Project No. For City Use Only:** _____

Project Address: 1215 W Nutmeg St, San Diego CA 92101

Specify Form of Ownership/Legal Status (please check):

Corporation Limited Liability -or- General - What State? _____ Corporate Identification No. _____
 Partnership Individual

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter will be filed with the City of San Diego on the subject property with the intent to record an encumbrance against the property. Please list below the owner(s), applicant(s), and other financially interested persons of the above referenced property. A financially interested party includes any individual, firm, co-partnership, joint venture, association, social club, fraternal organization, corporation, estate, trust, receiver or syndicate with a financial interest in the application. If the applicant includes a corporation or partnership, include the names, titles, addresses of all individuals owning more than 10% of the shares. If a publicly-owned corporation, include the names, titles, and addresses of the corporate officers. (A separate page may be attached if necessary.) If any person is a nonprofit organization or a trust, list the names and addresses of **ANY** person serving as an officer or director of the nonprofit organization or as trustee or beneficiary of the nonprofit organization. A signature is required of at least one of the property owners. Attach additional pages if needed. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

Property Owner

Name of Individual: ALAN MARSHALL AND VERONICA GENTILE Owner Tenant/Lessee Successor Agency

Street Address: 1215 W Nutmeg

City: San Diego State: CA Zip: 92101

Phone No.: _____ Fax No.: _____ Email: _____

Signature:  Date: 3/28/2022 2/28/22

Additional pages Attached: Yes No

Applicant

Name of Individual: Aaron Magagna COSDD21, LLC Owner Tenant/Lessee Successor Agency

Street Address: 3639 Midway Dr Suite B #132

City: San Diego State: CA Zip: 92110

Phone No.: 619-405-0298 Fax No.: _____ Email: aaronmagagna@gmail.com

Signature:  Date: 2/25/2022

Additional pages Attached: Yes No

Other Financially Interested Persons

Name of Individual: _____ Owner Tenant/Lessee Successor Agency

Street Address: _____

City: _____ State: _____ Zip: _____

Phone No.: _____ Fax No.: _____ Email: _____

Signature: _____ Date: _____

Additional pages Attached: Yes No

REVISIONS	BY
11-21-2022	QQ
11-28-2022	QQ
12-06-2022	QQ
12-28-2022	QQ
01-11-2023	QQ
01-23-2023	QQ
02-06-2023	QQ

CONDITIONAL USE PERMIT FOR A CANNABIS OUTLET (CO) 1215 W. NUTMEG ST., SAN DIEGO, CA. 92101

**CONDITIONAL USE PERMIT FOR A
CANNABIS OUTLET (CO)**

 1215 W. NUTMEG ST., SAN DIEGO, CA. 92101

SITE PLAN NOTE:

- TRANSIT STOPS. EXISTING BUS STOP IS 0.3 MILE AWAY FROM THE PROPERTY & TROLLEY MIDDLETOWN STATION 0.1 MILES
- VISIBILITY TRIANGLE:
NO PERMITS INCLUDING LANDSCAPING OR SOLID WALL WITHIN THE VISIBILITY AREA SHALL EXCEED 36" HIGH. IN ACCORDANCE WITH SDMCS1514.0406, SIGN PLANS SHALL BE A REQUIRED ELEMENT OF SAN DIEGO DEVELOPMENT PERMIT APPLICATION SUBMITTALS AND SIGNAGE SHALL BE IN CONFORMANCE WITH LAND DEVELOPMENT CODE CHAPTER 12, ARTICLE 9 DIVISION 8 (SIGN PERMIT PROCEDURES) AND ARTICLE 9 DIVISION 8 (SIGN PERMIT PROCEDURES) AND CHAPTER 14, ARTICLE 2 DIVISION 12, SDMC 141.0614 MMCC (SIGN REGULATIONS)
- ALL USES OF THIS PROPERTY MAY BE ANY USE PERMITTED IN THE CC-2-3 ZONE.
- THIS PROJECT PROPOSES NO DEVELOPMENT IMPROVEMENT OUTSIDE THE EXISTING BUILDING FOOTPRINT FOR THIS AND THEREFORE DOES NOT REQUIRE ANY PERMANENT STORM WATER BEST MANAGEMENT PRACTICES (BMP'S).
- NO PERMANENT STRUCTURE IS ALLOWED WITHIN THE EASEMENT LIMITS.
- NO GRADING IS PROPOSED FOR THIS PROJECT.
- HOURS OF OPERATION: 7:00 AM. TO 9:00 PM, SEVEN DAYS OF WEEK.
- SDMC 141.0614 PROHIBITS THE USE OF VENDING MACHINES WHICH ALLOW ACCESS TO CANNABIS EXCEPT BY A RESPONSIBLE PERSON, AS DEFINED IN SAN DIEGO MUNICIPAL CODE SECTION 42.1502. A VENDING MACHINE IS ANY DEVICE WHICH ALLOWS ACCESS TO CANNABIS WITHOUT A HUMAN INTERMEDIARY.
- CANNABIS SHALL NOT BE CONSUMED ANYWHERE WITHIN THE SITE.
- THE OWNER/PERMITEE OR OPERATOR SHALL POST ANTI-LOITERING SIGNS NEAR ALL ENTRANCES OF THE MMCC.
- EXISTING SERVICES WILL REMAIN.
- THE FACILITY SHALL PROVIDE A SUFFICIENT ODOR ABSORBING VENTILATION AND EXHAUST SYSTEM CAPABLE OF ELIMINATING EXCESSIVE OR OFFENSIVE ODORS CAUSING DISCOMFORT OR ANNOYANCE TO ANY REASONABLE PERSON OF NORMAL SENSITIVITIES STANDING OUTSIDE OF THE STRUCTURAL ENVELOPE OF THE PERMITTED FACILITY IN COMPLIANCE WITH SDMC SECTION 142.0710. CARBON FILTERS OR EQUAL WILL BE INSTALLED IN ALL HVAC UNITS TO LIMIT ODORS
- ALL EQUIPMENT AND STORAGE SHALL BE ALSO LOCATED WITHIN A SECURE STRUCTURE.
- SECURITY GUARDS SHALL BE LICENSED BY THE STATE OF CALIFORNIA AND BE PRESENT ON THE PREMISES DURING BUSINESS HOURS. THE SECURITY GUARD SHALL ONLY BE ENGAGED IN ACTIVITIES RELATED TO PROVIDING SECURITY FOR THE FACILITY, EXCEPT ON AN INCIDENTAL BASIS.
- THE SALE OF CANNABIS AND CANNABIS PRODUCTS SHALL ONLY BE CONDUCTED BY A CANNABIS OUTLET IN ACCORDANCE WITH SECTION 141.0504.
- CANNABIS DISPENSARY FACILITY, ADJACENT PUBLIC SIDEWALKS, AND AREAS UNDER THE CONTROL OF THE CANNABIS PRODUCTION FACILITY SHALL BE MAINTAINED FREE OF LITTER AND GRAFFITI AT ALL TIMES.
- ALL NEW ROOF EQUIPMENT SHALL BE SCREENED (NO NEW EQUIPMENT PROPOSED)
- NO LANDSCAPING WILL BE REMOVED
- PRIOR TO THE ISSUANCE OF ANY BUILDING PERMITS, THE OWNER / PERMITTEE SHALL INCORPORATE CONSTRUCTION AND PERMANENT STORM WATER BEST MANAGEMENT PRACTICES NECESSARY TO COMPLY WITH CURRENT CITY OF SAN DIEGO STORM WATER STANDARDS MANUAL AND WITH CHAPTER 14, ARTICLE 2, DIVISION 1 (GRADING REGULATION) OF THE SDMC, INTO THE CONSTRUCTION PLANS OR SPECIFICATIONS, SATISFACTORY TO THE CITY ENGINEER.
- I AM THE DESIGNER/OWNER IN RESPONSIBLE CHARGE OF THIS TENANT IMPROVEMENT PROJECT. I HAVE INSPECTED THE DETERMINED TOILET AND BATHING FACILITIES FOR MEN AND WOMEN, AND DETERMINED THAT THE CONDITIONS ARE IN FULL COMPLIANCE WITH CURRENT ACCESSIBILITY REQUIREMENTS TO THE EXTENT REQUIRED BY LAW.

PRINT NAME: ALAN AUSTIN SIGNATURE: *Alan Austin* DATE: 02-28-2022

- LOCATIONS AND CLASSIFICATIONS OF EXTINGUISHERS SHALL BE IN ACCORDANCE WITH CFC 906 AND CALIFORNIA CODE OF REGULATIONS (CCR), TITLE 19.
- DURING CONSTRUCTION, AT LEAST ONE EXTINGUISHER SHALL BE PROVIDED ON EACH FLOOR LEVEL AT EACH STAIRWAY. IN ALL STORAGE AND CONSTRUCTION SHEDS, IN LOCATIONS WHERE FLAMMABLE OR COMBUSTIBLE LIQUIDS ARE STORED OR USED, AND WHERE OTHER SPECIAL HAZARDS ARE PRESENT PER CFC SECTION 3315.1.
- ADDRESS IDENTIFICATION SHALL BE PROVIDED FOR ALL NEW AND EXISTING BUILDINGS IN A LOCATION THAT IS PLAINLY VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. WHERE ACCESS IS BY WAY OF A PRIVATE ROAD AND THE BUILDING ADDRESS CANNOT BE VIEWED FROM THE PUBLIC WAY, AND APPROVED SIGN OR MEANS SHALL BE USED TO IDENTIFY THE STRUCTURE. PREMISES IDENTIFICATION SHALL CONFORM TO CBC SECTION 501.2." CFC 505.
- WALL, FLOOR AND CEILING FINISHES AND MATERIALS SHALL NOT EXCEED THE INTERIOR FINISH CLASSIFICATIONS IN CBC TABLE 803.11 AND SHALL MEET THE FLAME PROPAGATION PERFORMANCE CRITERIA OF THE CALIFORNIA CODE OF REGULATIONS, TITLE 19, DIVISION 1. DECORATIVE MATERIALS SHALL BE PROPERLY TREATED BY A PRODUCT OR PROCESS APPROVED BY THE STATE FIRE MARSHAL WITH APPROPRIATE DOCUMENTATION PROVIDED TO THE CITY OF SAN DIEGO.
- KEY BOXES SHALL BE PROVIDED FOR ALL HIGH-RISE BUILDINGS, POOL ENCLOSURES, GATES IN THE PATH OF FIREFIGHTER TRAVEL TO STRUCTURES, SECURED PARKING LEVELS, DOORS GIVING ACCESS TO ALARM PANELS AND / OR ANNUNCIATORS, AND ANY OTHER STRUCTURES OR AREAS WHERE WHERE ACCESS TO AN AREA IS RESTRICTED AND SHALL BE INSTALLED PER CFC 506.
- DUMPSTERS AND TRASH CONTAINERS EXCEEDING 1.5 CUBIC YARDS SHALL NOT BE STORED IN BUILDINGS OR PLACED WITHIN 5 FEET OF COMBUSTIBLE WALLS, OPENINGS OR COMBUSTIBLE ROOF EAVE LINES UNLESS PROTECTED BY AN APPROVED SPRINKLER SYSTEM OR LOCATED IN A TYPE I OR 11A STRUCTURE SEPARATED BY 10 FEET FROM OTHER STRUCTURES. CONTAINERS LARGER THAN 1 CUBIC YARD SHALL BE OF NON-OR LIMITED-COMBUSTIBLE MATERIALS OR SIMILARLY PROTECTED OR SEPARATED. CFC 304.3
- EXITS, EXIT SIGNS, FIRE ALARM PANELS, HOSE CABINETS, FIRE EXTINGUISHER LOCATIONS, AND STANDPIPE CONNECTIONS SHALL NOT BE CONCEALED BY CURTAINS, MIRRORS, OR OTHER DECORATIVE MATERIAL.
- OPEN FLAMES, FIRE, AND BURNING ON ALL PROMISES IS PROHIBITED EXCEPT AS SPECIFICALLY PERMITTED BY THE CITY OF SAN DIEGO AND CFC 308.
- THE AGGRESS PATH SHALL REMAIN FREE AND CLEAR OF ALL OBSTRUCTIONS AT ALL TIMES. NO STORAGE IS PERMITTED IN ANY EGRESS PATHS.
- THE MEANS OF EGRESS WILL BE ILLUMINATED TO A LEVEL OF NOT LESS THAN ONE FOOT-CANDLE AT THE WALKING SURFACE AT ALL TIMES THE BUILDING SPACE SERVED BY THE MEANS OF EGRESS IS OCCUPIED. (CBC 1008.1)
- THE EXIT SIGNS SHALL BE READILY VISIBLE FROM ANY DIRECTION OF EGRESS TRAVEL AND CLEARLY INDICATE THE DIRECTION OF EGRESS TRAVEL. (CBC 1013)
- THE EXIT SIGNS SHALL BE INTERNALLY ILLUMINATED AT ALL TIMES AND SHALL BE CONNECTED TO AN EMERGENCY POWER SYSTEM (BATTERIES, UNIT EQUIPMENT OR AN ON-SITE GENERATOR) THAT WILL AUTOMATICALLY ILLUMINATE THE EXIT SIGNS FOR A DURATION OF NOT LESS THAN 90 MINUTES. (CBC 1013)
- ONLY APPROVED DSA-AC DETECTABLE WARNING PRODUCTS AND DIRECTIONAL SURFACES SHALL BE INSTALLED AS PROVIDED IN THE CALIF. CODE (CCR) TITLE 24, PART 1, CHP. 5, ART. 2.3 AND 4, (CBC, SEC. 11 B - 705.3)
- AT HAZARDOUS VEHICULAR AREAS, DETECTABLE WARNING SURFACES SHALL BE YELLOW CONFORMING TO FS 33538 OF FEDERAL STANDARD 595C. (CBC, SEC. 11B-705.1.1.3)
- NO EXTRACTION OPERATIONS WILL BE CONDUCTED PER SCOPE OF WORK
- ADEQUATE NOISE ATTENUATION WILL BE PROVIDED TO ENSURE AN INTERIOR NOISE LEVEL OF 50 dB CNEL FOR ALL HABITABLE ROOMS
- NUTMEG STREET PUBLIC IMPROVEMENT PER DEFERRED IMPROVEMENT AGREEMENT

SHEET INDEX

- C_ TITLE SHEET
- SP_ EXISTING SITE PLAN / DEMO.
- P_ PROPOSED SITE PLAN
- A-1_ PROPOSED & SECURITY FLOOR PLAN
- A-2_ ELEVATION
- A-3_ ROOF PLAN
- LDP-1_ LANDSCAPE DEVELOPMENT PLAN

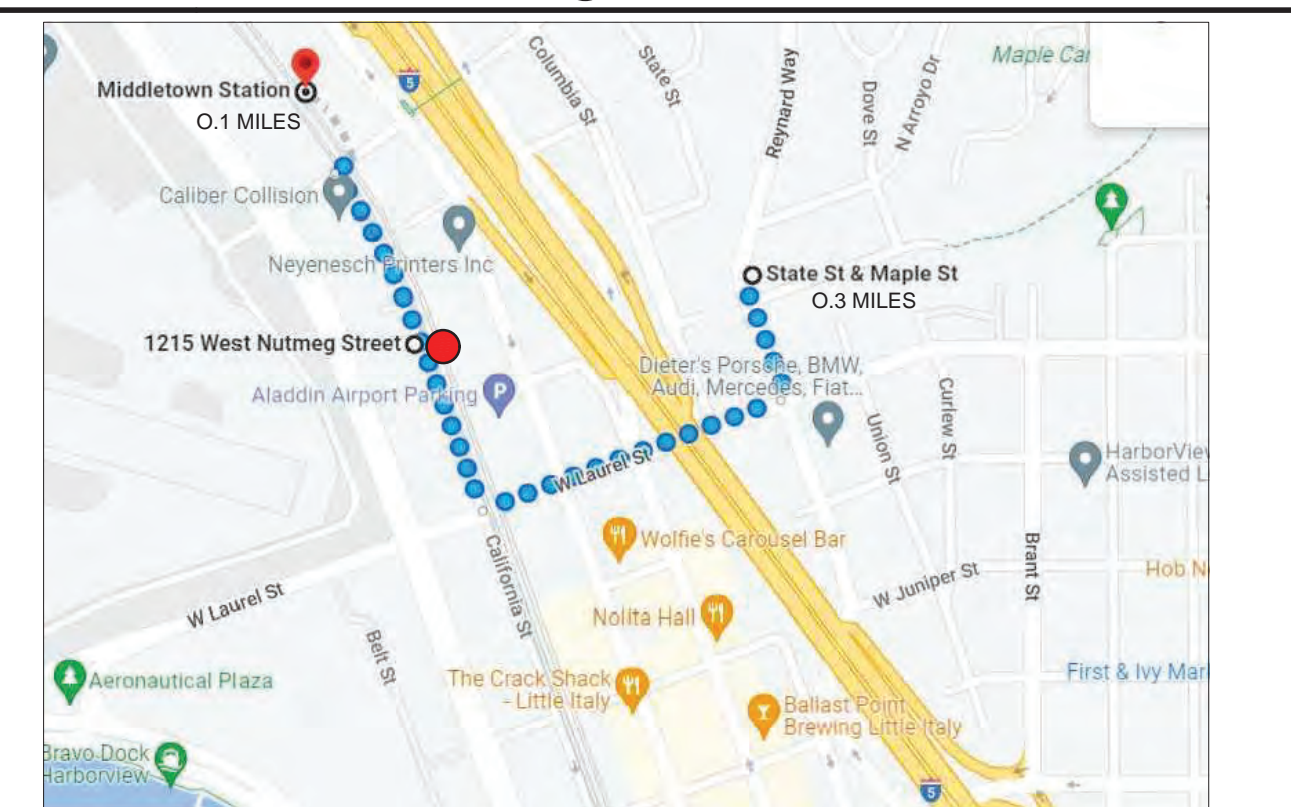
LEGAL DESCRIPTION

APN 533-011-01, 02 & 10-00
 LOTS 71 & 72 RW /EXC ELY 39 FT/ TR CC1-1874
 LOT 70 RW /EXC E 39 FT THF/ TRCC1-1874
 LOT 72 DOC 275891 REC 71 IN R/W LOT 70 THRU TR CC1-1874

PARKING TABLE

STANDARD SPACE: 8 FT 3 INCHES X 18 FT
 ADA SPACE: 9 FT X 18 FT
 ADA OFFLOAD: 8 FT X 18 FT
PARKING PROVIDED:
 PER SECTION 142.0540 AND TABLE 142-05H UNDER "SMALL LOT EXEMPTION" SMALL LOT EXCEPTION
 STANDARD SPACES: 9
 ADA SPACES: 1
 TOTAL: 10 SPACES PROVIDED
 CARPOOL / EV / ZOV: RATIO 0-9 FOR REQUIRED PARKING SPACES = 0 PROVIDED
 PER SECTION 142.0530(d)(1)
 MOTORCYCLE PARKING: 2% OF REQUIRED AUTOMOTIVE PARKING (MIN. REQ. 2)
 PER SECTION 142.0530(g)
SHORT TERM BICYCLE SPACES: (MIN. REQUIRED 2) 3 PROVIDED

VICINITY MAP



SITE DATA

SITE DATA:
 ZONE: IS-1-1, INDUSTRIAL SMALL LOT ZONE
 LOT SIZE: 11,427 SF / 0.26 ACRES
 BUILDING AREA: 6208 SF (BUILDING 1=3354 SF, BUILDING 2=2854 SF)
 YEAR BUILT: 1946, NOTICE OF COMPLETION CAN NOT BE LOCATED
 EXISTING USE: CABINET SHOP
 PROPOSED USE: CANNABIS OUTLET (CO) STORAGE NOT A PART OF THIS PROJECT
 INDUSTRIAL-SMALL LOT (IS-1-1) (IS-1-1, LAND USE CODE: MARIJUANA OUTLETS, SAN DIEGO INTERNATIONAL AIRPORT-AIRPORT SAFETY ZONE 3, COAST HEIGHT LIMITATION OVERLAY (CHLOZ), TRANSIT AREA OVERLAY (TAOZ), AIRPORT ENVIRONS OVERLAY (AEOZ), MIDWAY- PACIFIC HIGHWAY CUMMUNITY PLAN, PARKING, STANDARDS TRANSIT PRIORITY AREA, PARKING IMPACT OVERLAY (PIOZ), AIRPORT APPROACH OVERLAY (AAOZ), SAN DIEGO UNIFIED SCHOOL DISTRICT (SDUSD), CITY COASTAL OVERLAY (COZ)-N-APP-2, TRANSIT PRIORITY AREA (TPA), SAN DIEGO INTERNATIONAL AIRPORT-AIRPORT INFLUENCE AREA (AIA), COUNCIL DISTRICT 2, AIRPORTS: FAA HEIGHT NOTIFICATION, GEOLOGICAL HAZARD CATEGORY 52, NOISE CONTOURS-80+(D) CNEL) MOBILITY ZONE 2
SETBACKS:
 FRONT: 10 FEET, ACTUAL 0, PREVIOUSLY CONFORMING
 STREET SIDE: 10 FEET
 SIDE: 5/0 FEET, ACTUAL 0, PREVIOUSLY CONFORMING
 REAR: 10 FEET, ACTUAL 0, PREVIOUSLY CONFORMING
 HEIGHT: NONE
 FAR: 2.0 = 22,854 SF, ACTUAL 0.54 FAR
 EXISTING OCCUPANCY CLASSIFICATION: F-1
 PROPOSED OCCUPANCY CLASSIFICATION: M/S
 EXISTING CONSTRUCTION TYPE: V B, NO SPRINKLERS
 PROPOSED CONSTRUCTION TYPE: V B, NO SPRINKLERS

SCOPE OF WORK

A CONDITIONAL USE PERMIT TO LEGALLY OPERATE A CANNABIS OUTLET (CO)
 IN A SINGLE STORY COMMERCIAL BUILDING (6208 SF), BUILDING SIZE TO BE REDUCED TO (5916 SF), DISPENSARY 3,062 SF & STORGE 2,854 SF
 THE PROJECT WILL CONSIST OF INTERIOR REMODEL (TENANT FINISH) AND STRIPING OF THE PARKING LOT
 PLANTING 4 TREES

PROPERTY OWNER

VM GENTILE / AK MARSHALL TRUST / GENTILE VERONICA MARY / MARSHALL ALAN K
 A K MARSHALL TRUST 10-13-20 / V M GENTILE TRUST 10-13-20
 MARSHALL FAMILY TRUST 06-13-02

PROJECT TEAM

PROJECT DESIGNER: ALAN LLOYD AUSTIN
 AUSTIN & ASSOCIATES
 1622 PIONEER WAY
 EL CAJON, CA. 92020
 PH. (619) 440-3624
 EMAIL:
 AUSTINASSOCIATES1622@GMAIL.COM

PROJECT LANDSCAPE

SAM WADE LANDSCAPE ARCHITECT
 2204 GARNET AVENUE, SUITE 205
 SAN DIEGO, CA. 92109
 PH. (858) 270-8688
 AZ LIC. No. 26705 - CA. LIC. No. 3703

ZONING

ZONE: IS-1-1

APPLICABLE CODES

THE CURRENT PREVAILING BUILDING AND CONSTRUCTION CODES
 2019 CALIFORNIA BUILDING CODE (CBC), PART 2, TITLE 24 C.C.R.
 2019 CALIFORNIA MECHANICAL CODE (CMC), PART 4, TITLE 24 C.C.R.
 2019 CALIFORNIA PLUMBING CODE (CPC), PART 5, TITLE 24 C.C.R.
 2019 CALIFORNIA ELECTRICAL CODE (CEC), PART 3, TITLE 24 C.C.R.
 2019 CALIFORNIA GREEN BUILDING STANDARDS CODE
 2019 CALIFORNIA ENERGY EFFICIENCY STANDARDS
 2019 CALIFORNIA ELEVATOR SAFETY CONSTRUCTION CODE, PART 7, TITLE 24 C.C.R.
 2019 CALIFORNIA HISTORICAL BUILDING CODE, PART 8, TITLE 24 C.C.R.
 2019 CALIFORNIA FIRE CODE, PART 9, TITLE 24 C.C.R.
 2019 CALIFORNIA REFERENCED STANDARDS, PART 12, TITLE 24 C.C.R.

APPLICANT:

AARON MAGAGNA
 3629 MIDWAY DRIVE, STE B132
 SAN DIEGO, CA 92110
 PHONE: 619-405-0298
 Email: aaronmagana@gmail.com

PRJ-1054172

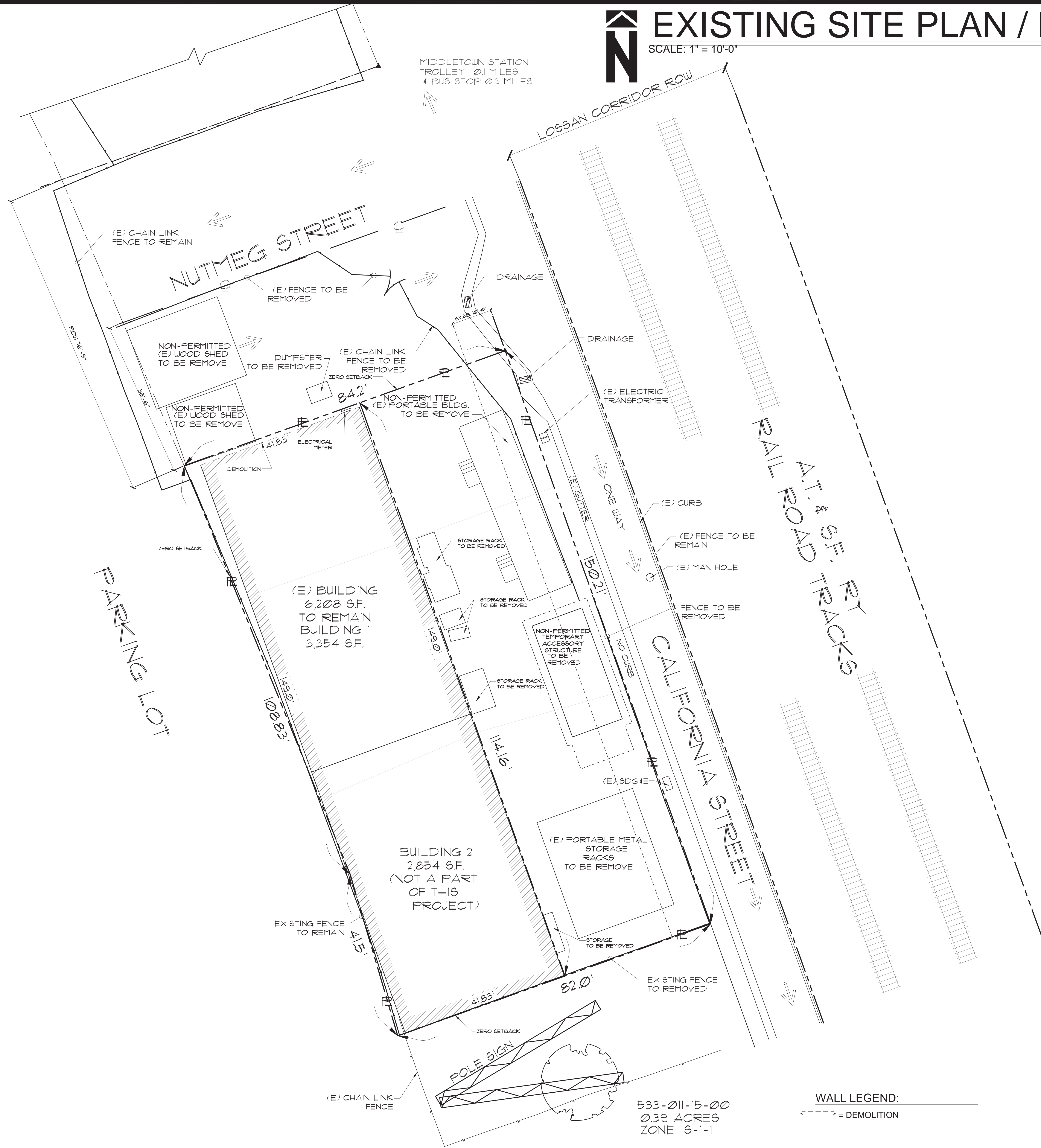
AUSTIN & ASSOCIATES
 ALAN LLOYD AUSTIN
 1622 PIONEER WAY EL CAJON, CA. 92020
 Ph. (619) 440-3624
 RESIDENTIAL & COMMERCIAL PLANNING AND DESIGN
 MEMBER: AMERICAN INSTITUTE OF BUILDING DESIGN
Alan Austin

DRAWN BY:
 CHECKED BY:
 ALA
 DATE:
 SCALE:
 AS NOTED
 JOB NO.



EXISTING SITE PLAN / DEMO.

SCALE: 1" = 10'-0"



MIDDLETOWN STATION
TROLLEY 0.1 MILES
& BUS STOP 0.3 MILES

LOSSAN CORRIDOR ROW

RAIL ROAD
A.T. & S.F. TRACKS

CALIFORNIA STREET

NUTMEG STREET

PARKING LOT

(E) BUILDING
6,208 S.F.
TO REMAIN
BUILDING 1
3,354 S.F.

BUILDING 2
2,854 S.F.
(NOT A PART
OF THIS
PROJECT)

WALL LEGEND:
[Symbol] = DEMOLITION

533-011-15-00
0.39 ACRES
ZONE IS-1-1

REVISIONS	BY
11-21-2022	OO
11-28-2022	OO
12-06-2022	OO

CONDITIONAL USE PERMIT FOR A
CANNABIS OUTLET (CO)
1215 W. NUTMEG ST., SAN DIEGO, CA. 92101

AUSTIN & ASSOCIATES
ALAN LLOYD AUSTIN
A I B D
1622 PIONEER WAY EL CAJON, CA. 92020 Ph. (619)440-3624
RESIDENTIAL & COMMERCIAL PLANNING AND DESIGN
MEMBER: AMERICAN INSTITUTE OF BUILDING DESIGN

Alan Austin

DRAWN BY:
CHECKED BY: ALA DATE:
SCALE: AS NOTED JOB NO.:

SP

PRJ-1054172

PROPOSED SITE PLAN

SCALE: 1" = 10'-0"



SITE DATA:

ZONE: IS-1-1, INDUSTRIAL SMALL LOT ZONE
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 BUILDING AREA: 6208 SF (BUILDING 1=3354 SF, BUILDING 2=2854 SF)
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 *PER SECTION 142.0540 AND TABLE 142.05H UNDER "SMALL LOT EXEMPTION"
 SMALL LOT EXCEPTION
 STANDARD SPACES: 9
 ADA SPACES: 1
 TOTAL: 10 SPACES PROVIDED
 CARPOOL / EV / ZOV: RATIO 0-9 FOR REQUIRED PARKING SPACES = 0 PROVIDED
 PER SECTION 142.0530(d)(1)
 MOTORCYCLE PARKING: 2% OF REQUIRED AUTOMOTIVE PARKING (MIN. REQ. 2)
 PER SECTION 142.0530(g)
SHORT TERM BICYCLE SPACES: (MIN. REQUIRED 2) 3 PROVIDED

LANDSCAPE AREA:

345 SF
PLANTING 4 TREES ON-SITE
 LANDSCAPE FRONTAGE:
 MIN. LANDSCAPE FRONTAGE IS 80% OF STREET FRONTAGE.
 80% OF 150 FT = 120 FT.
 PROPOSED LANDSCAPE FRONTAGE 121 FEET.

DISTURBED AREA:

400 SF

IMPERVIOUS AREAS:

EXISTING: 11,427, ENTIRE LOT
 PROPOSED NEW IMPERVIOUS AREA: NONE
 PROPOSED IMPERVIOUS AREA TO BE USED FOR LANDSCAPING: 160 SF
 IMPERVIOUS AREA REMAINING: 11,267 SF

SCOPE OF WORK:

A CONDITIONAL USE PERMIT TO LEGALLY OPERATE A CANNABIS OUTLET (CO) IN A SINGLE STORY COMMERCIAL BUILDING (6208 SF), BUILDING SIZE TO BE REDUCED TO (5916 SF), DISPENSARY 3,062 SF & STORAGE 2,854 SF
 THE PROJECT WILL CONSIST OF INTERIOR REMODEL (TENANT FINISH) AND STRIPING OF THE PARKING LOT
PLANTING 4 TREES

LEGAL DESCRIPTION:

APN 533-011-01, 02 & 10-00
 LOTS 71 & 72 RW /EXC ELY 39 FT/ TR CC1-1874
 LOT 70 RW /EXC E 39 FT THF/ TRCC1-1874
 LOT 72 DOC 275891 REC 71 IN RW LOT 70 THRU TR CC1-1874

PROPERTY OWNER:

VM GENTILE / AK MARSHALL TRUST / GENTILE VERONICA MARY / MARSHALL ALAN K
 A K MARSHALL TRUST 10-13-20 / V M GENTILE TRUST 10-13-20
 MARSHALL FAMILY TRUST 06-13-02

APPLICANT:

AARON MAGAGNA
 3629 MIDWAY DRIVE, STE B132
 SAN DIEGO, CA 92110
 PHONE: 619-405-0298
 Email: aaronmagana@gmail.com

PRJ-1054172

REVISIONS	BY
11-21-2022	QQ
11-28-2022	QQ
12-06-2022	QQ
12-28-2022	QQ
01-11-2023	QQ
01-23-2023	QQ
02-06-2023	QQ

CONDITIONAL USE PERMIT FOR A CANNABIS OUTLET (CO)
 1215 W. NUTMEG ST., SAN DIEGO, CA. 92101

AUSTIN & ASSOCIATES
 ALAN LLOYD AUSTIN
 1622 PIONEER WAY EL CAJON CA. 92020 Ph. (619)440-3624
 RESIDENTIAL & COMMERCIAL PLANNING AND DESIGN
 MEMBER: AMERICAN INSTITUTE OF BUILDING DESIGN
A I I B D

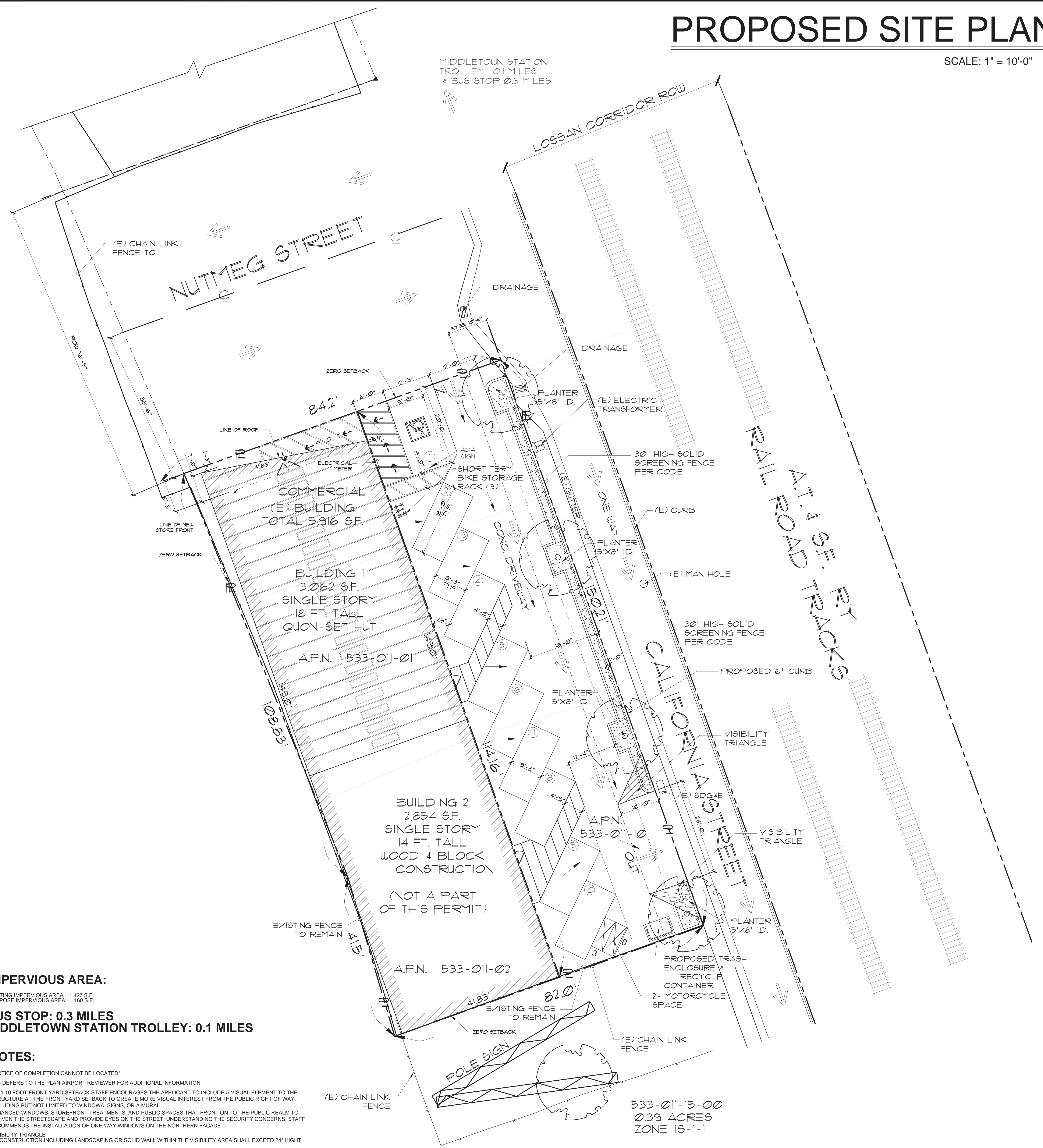
Alan Austin

CHECKED BY:
ALA
DATE:
SCALE:
A5 NOTED
JOB NO:

P

IMPERVIOUS AREA:
 EXISTING IMPERVIOUS AREA: 11,427 S.F.
 PROPOSED IMPERVIOUS AREA: 160 S.F.
BUS STOP: 0.3 MILES
MIDDLETOWN STATION TROLLEY: 0.1 MILES

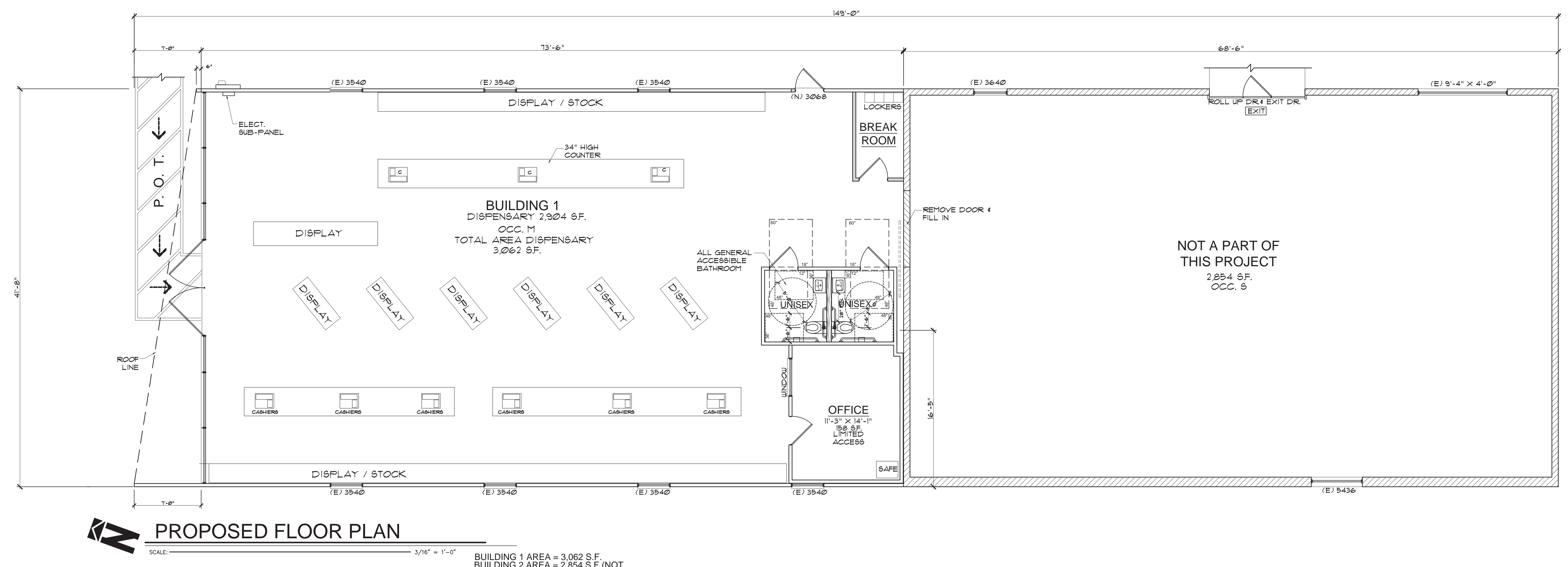
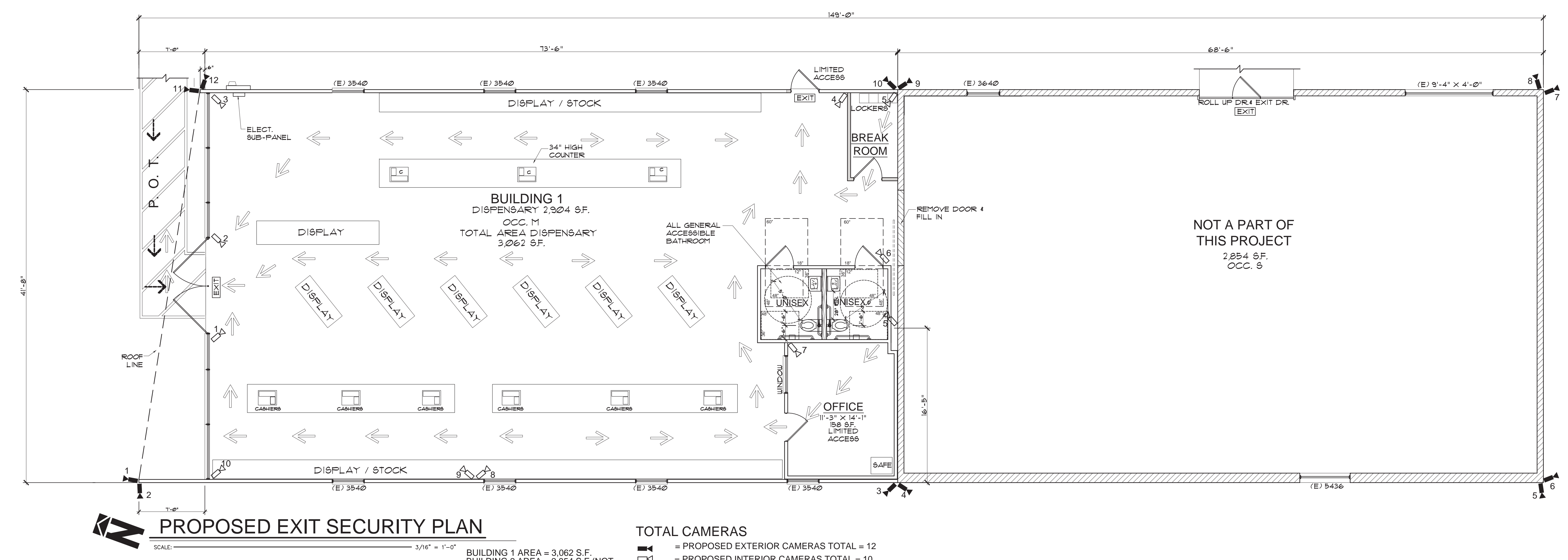
NOTES:
 * NOTICE OF COMPLETION CANNOT BE LOCATED*
 EAS DEFERS TO THE PLAN-AIRPORT REVIEWER FOR ADDITIONAL INFORMATION
 S-11 10 FOOT FRONT YARD SETBACK STAFF ENCOURAGES THE APPLICANT TO INCLUDE A VISUAL ELEMENT TO THE STRUCTURE AT THE FRONT YARD SETBACK TO CREATE MORE VISUAL INTEREST FROM THE PUBLIC RIGHT OF WAY, INCLUDING BUT NOT LIMITED TO WINDOW, SIGNS, OR A MURAL.
 ENHANCED WINDOWS, STOREFRONT TREATMENTS, AND PUBLIC SPACES THAT FRONT ON TO THE PUBLIC REALM TO ENLIVEN THE STREETScape AND PROVIDE EYES ON THE STREET. UNDERSTANDING THE SECURITY CONCERNS, STAFF RECOMMENDS THE INSTALLATION OF ONE-WAY WINDOWS ON THE NORTHERN FACADE.
 VISIBILITY TRIANGLE
 NO CONSTRUCTION INCLUDING LANDSCAPING OR SOLID WALL WITHIN THE VISIBILITY AREA SHALL EXCEED 24" HIGH.



533-011-15-00
 0.39 ACRES
 ZONE IS-1-1

REVISIONS	BY
11-21-2022	OQ
11-28-2022	OQ
12-06-2022	OQ

CONDITIONAL USE PERMIT FOR A
CANNABIS OUTLET (CO)
1215 W. NUTMEG ST., SAN DIEGO, CA. 92101



AUSTIN & ASSOCIATES
ALAN LLOYD AUSTIN
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RESIDENTIAL & COMMERCIAL PLANNING AND DESIGN
MEMBER: AMERICAN INSTITUTE OF BUILDING DESIGN

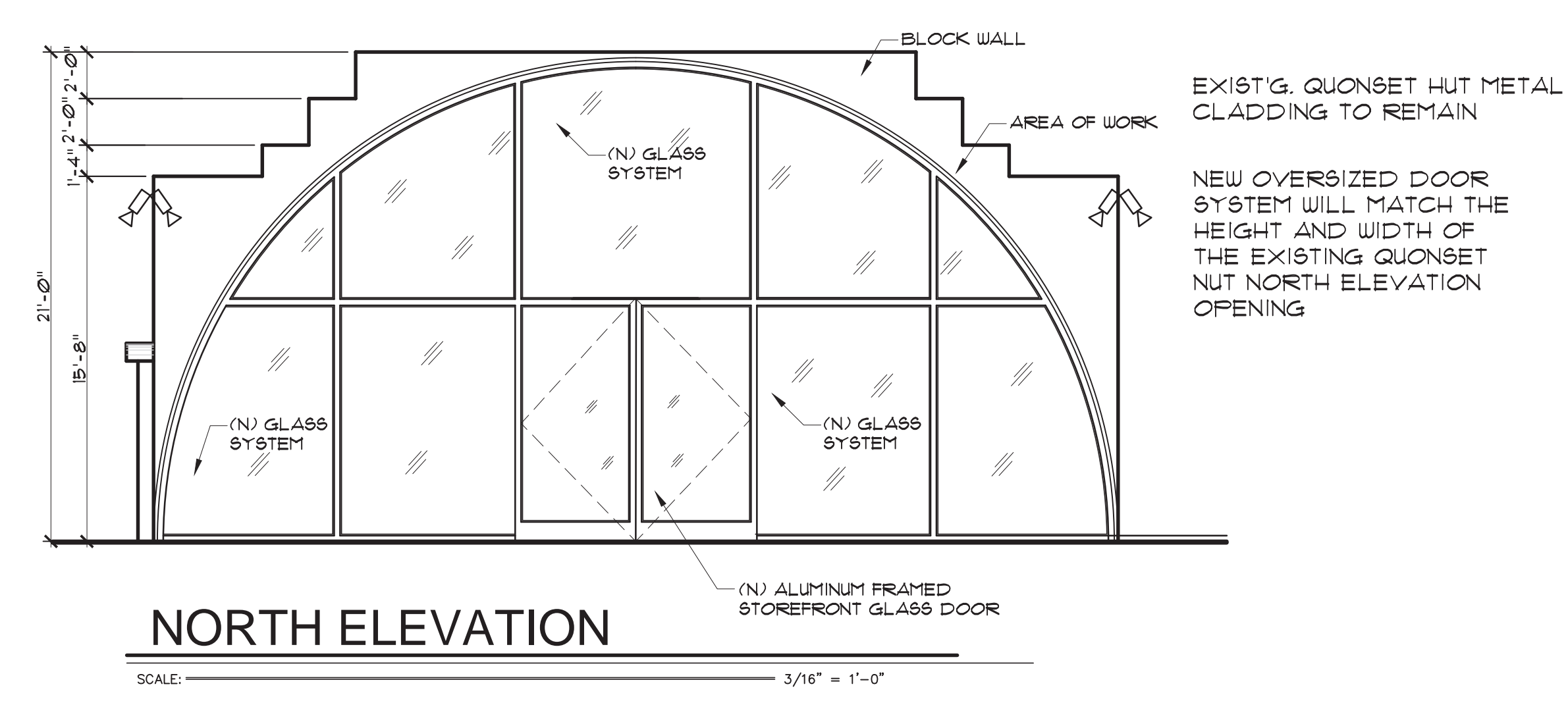
Ph. (619) 440-3624

Alan Austin

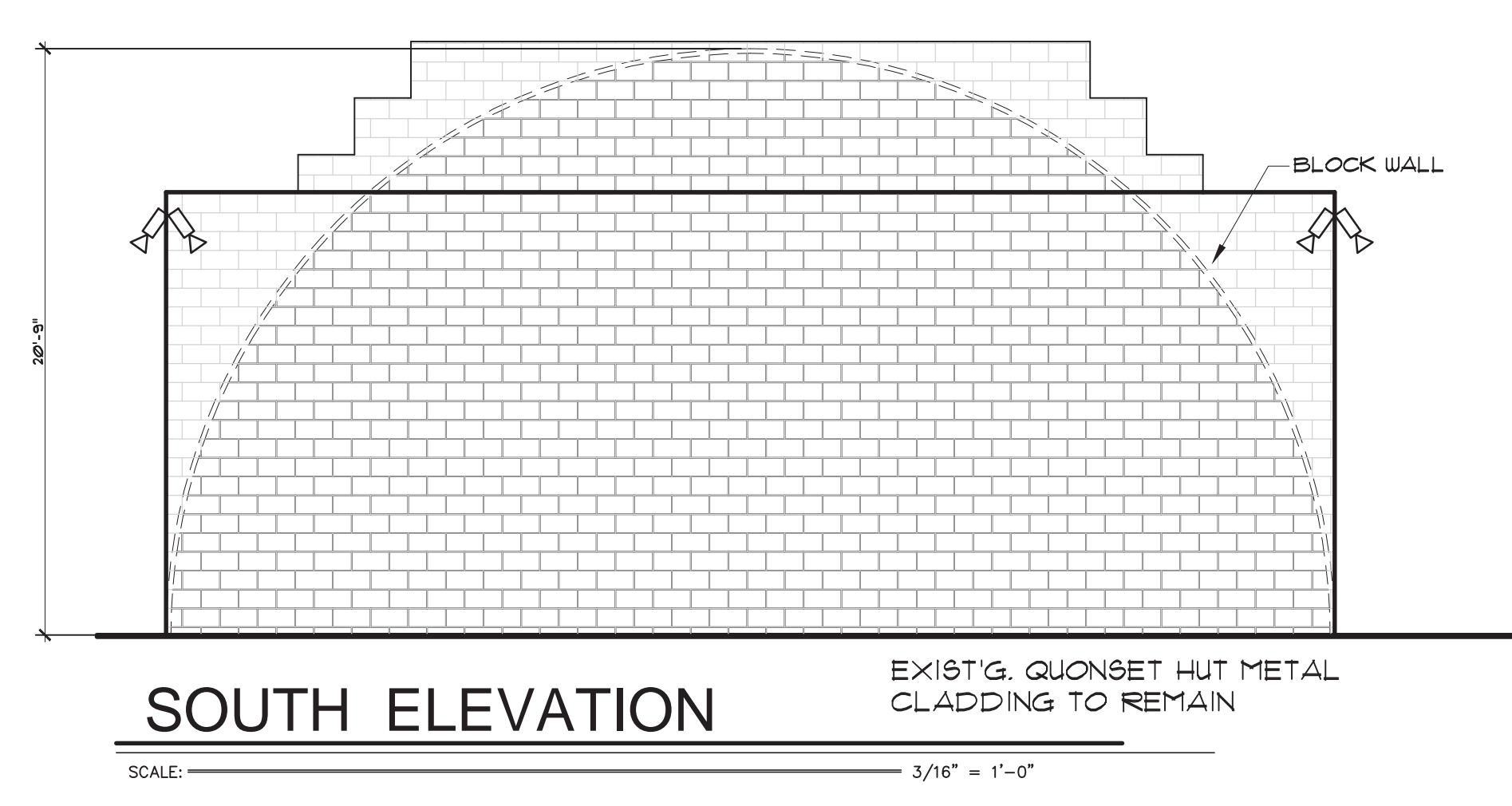
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DATE:	
SCALE:	AS NOTED
JOB NO.:	

A1

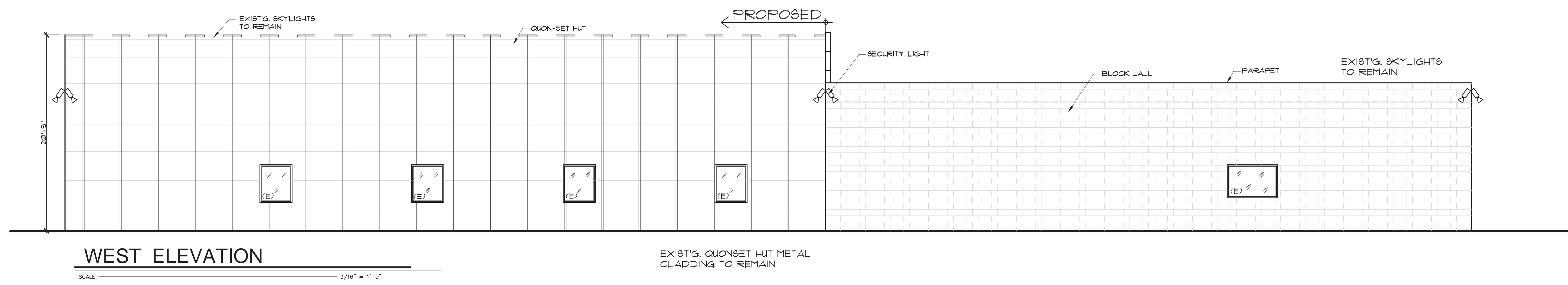
REVISIONS	BY
11-21-2022	QQ
11-28-2022	QQ
12-06-2022	QQ
12-28-2022	QQ



NORTH ELEVATION

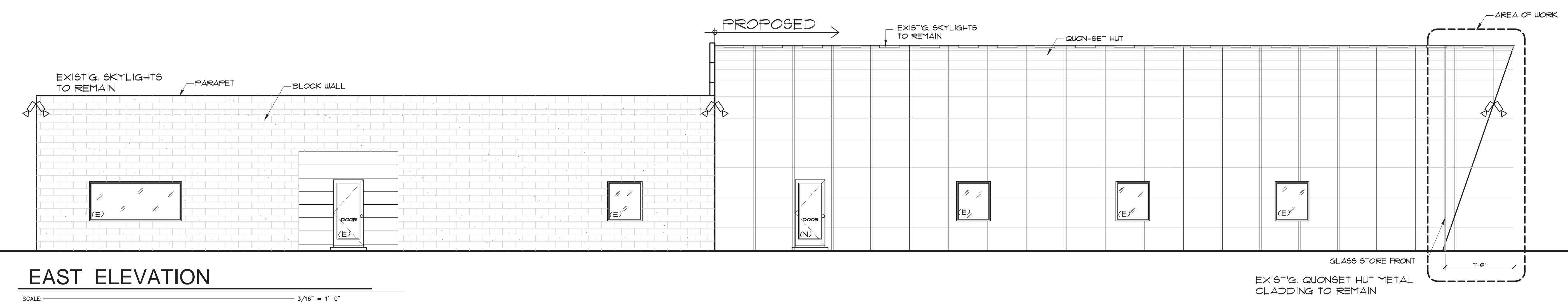


SOUTH ELEVATION



WEST ELEVATION

EXIST'G. QUONSET HUT METAL CLADDING TO REMAIN



EAST ELEVATION

CONDITIONAL USE PERMIT FOR A
CANNABIS OUTLET (CO)

1215 W. NUTMEG ST., SAN DIEGO, CA. 92101

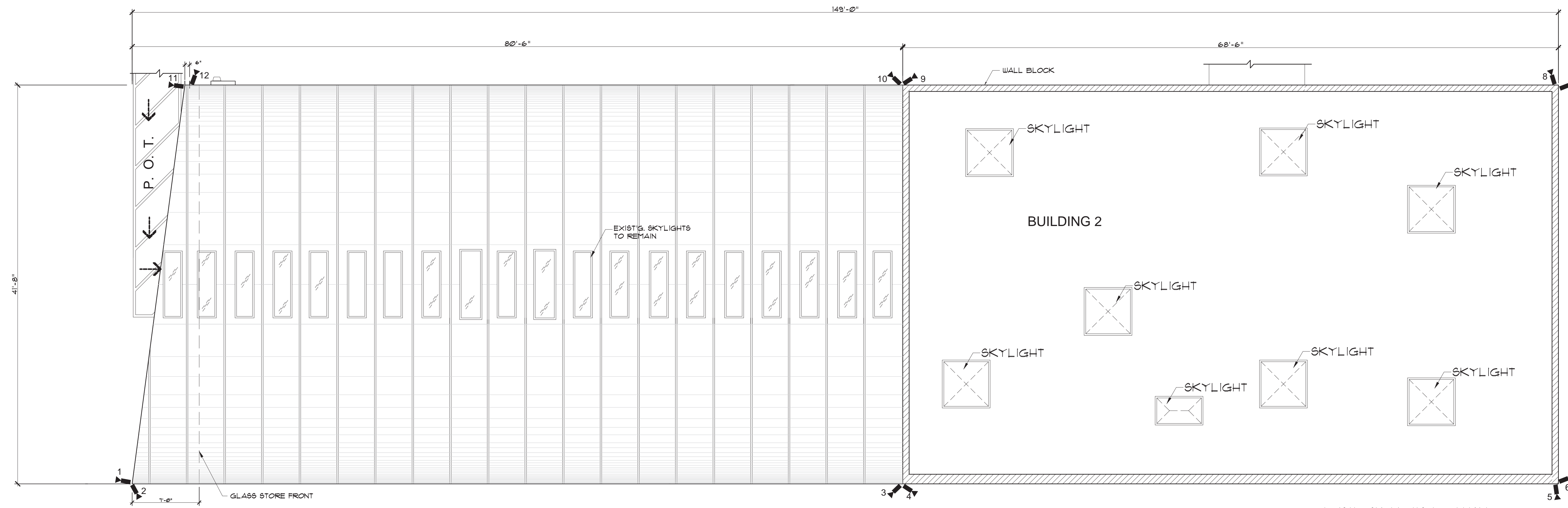
AUSTIN & ASSOCIATES
ALAN LLOYD AUSTIN
1622 PIONEER WAY EL CAJON CA. 92020 Ph. (619)440-3624
RESIDENTIAL & COMMERCIAL PLANNING AND DESIGN
MEMBER: AMERICAN INSTITUTE OF BUILDING DESIGN

Alan Austin

DRAWN BY:
CHECKED BY: ALA
DATE:
SCALE: AS NOTED
JOB NO.:

A2

REVISIONS	BY
11-21-2022	QQ
11-28-2022	QQ
12-06-2022	QQ
12-28-2022	QQ



PROPOSED ROOF PLAN

SCALE: 3/16" = 1'-0"

BUILDING 1 AREA = 3,062 S.F.
 BUILDING 2 AREA = 2,854 S.F. (NOT APART OF THIS PROJECT)

- WALL LEGEND:**
- = NEW WALLS, 2x4 STUDS @ 16" O/C
 - = NEW WALLS 2x6 STUDS @ 16" O/C
 - = NEW WALLS 2x8 STUDS @ 16" O/C

- = EXIT SIGN
- = EXIT DIRECTION ARROW

TOTAL CAMERAS

- = PROPOSED EXTERIOR CAMERAS TOTAL = 12
- = PROPOSED INTERIOR CAMERAS TOTAL = 10

CONDITIONAL USE PERMIT FOR A
 CANNABIS OUTLET (CO)

1215 W. NUTMEG ST., SAN DIEGO, CA. 92101

AUSTIN & ASSOCIATES
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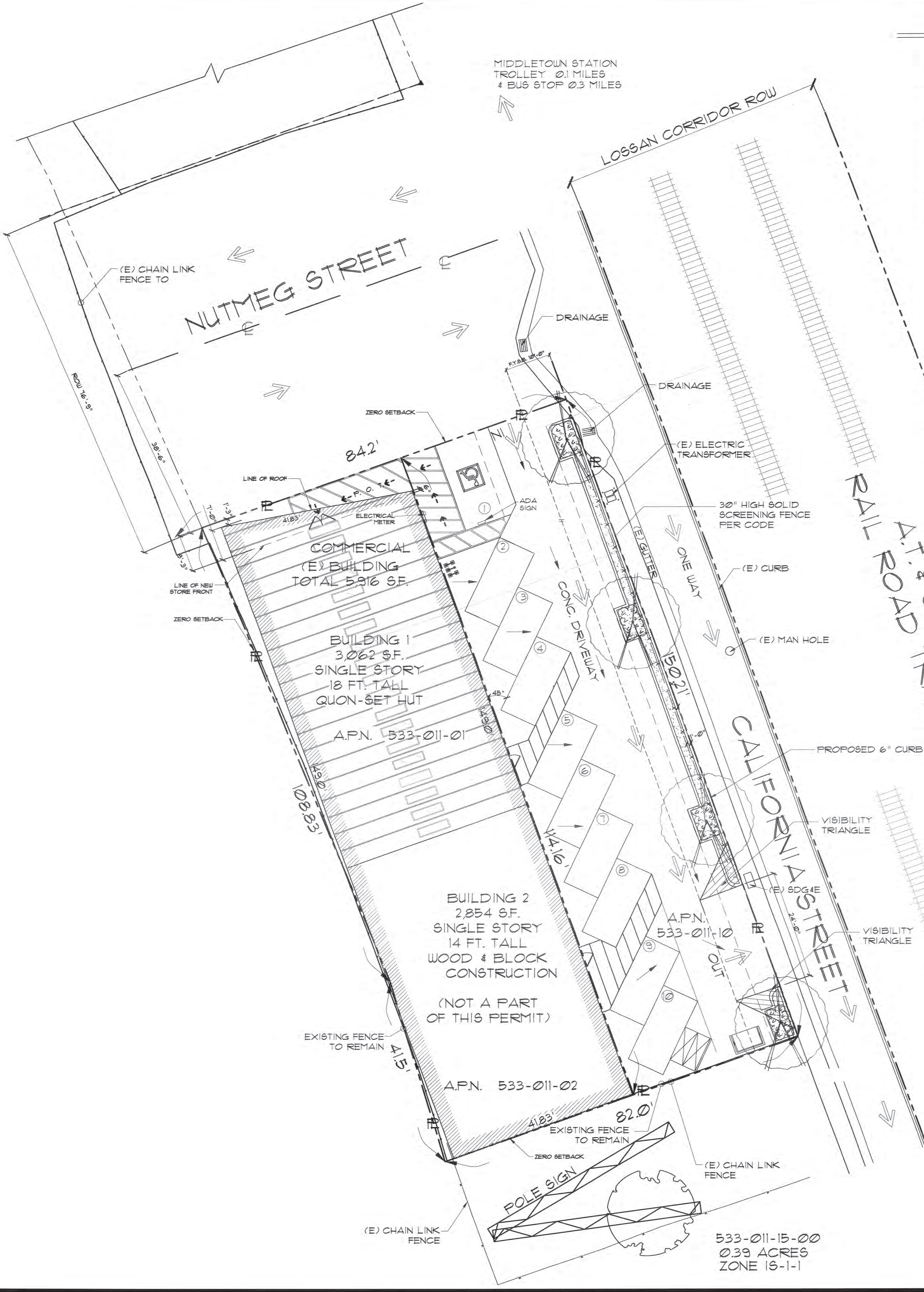
Alan Austin

DRAWN BY:
CHECKED BY: ALAN AUSTIN
DATE:
SCALE: AS NOTED
JOB NO.:

A-3

LANDSCAPE DEVELOPMENT PLAN

REVISIONS	BY
11-21-2022	OQ
11-28-2022	OQ
12-06-2022	OQ
12-28-2022	OQ
01-11-2023	OQ
01-23-2023	OQ
02-06-2023	OQ



PLANTING LEGEND

SYMBOL	BOTANICAL NAME / COMMON NAME	QTY.	SIZE	HT., W.DTH.	FORM / FUNCTION	WUCOLS	POINTS
Vehicular Use Area (Outside Street Yard)							
Proposed Trees							
	Tipuana tipu Tipu Tree	4	36" box	20' x 20'	Upright / Shade	M	200
Alt. - <i>Cassia leptophylla</i> Gold Medallion Tree							
Proposed Shrubs							
	Westringia f. 'Morning Light' M. L. Coastal Rosemary	32	5 gal.	2' x 3'	Mounding / Foliage	L	160
Alt. - <i>Westringia f. 'Grey Box'</i> Dwarf Coast Rosemary							
Bark Mulch							
For all site planting areas (level) use "Walk on Bark", applied in a continuous 3" layer; do not apply bark in tree, shrub or groundcover watering basins (refer to planting detail for specific mulch application in watering basins).							

SUMMARY OF LANDSCAPE CALCULATIONS

Urban Industrial (UI) Development, IS-1-1 Base Zone / 1215 W. Nutmeg Street
Midway-Pacific Highway Community Plan

VEHICULAR USE AREA (VUA) (< 6,000 s.f.)

Total Area 5,513 s.f.
Note: Allow 40 s.f. Per Tree

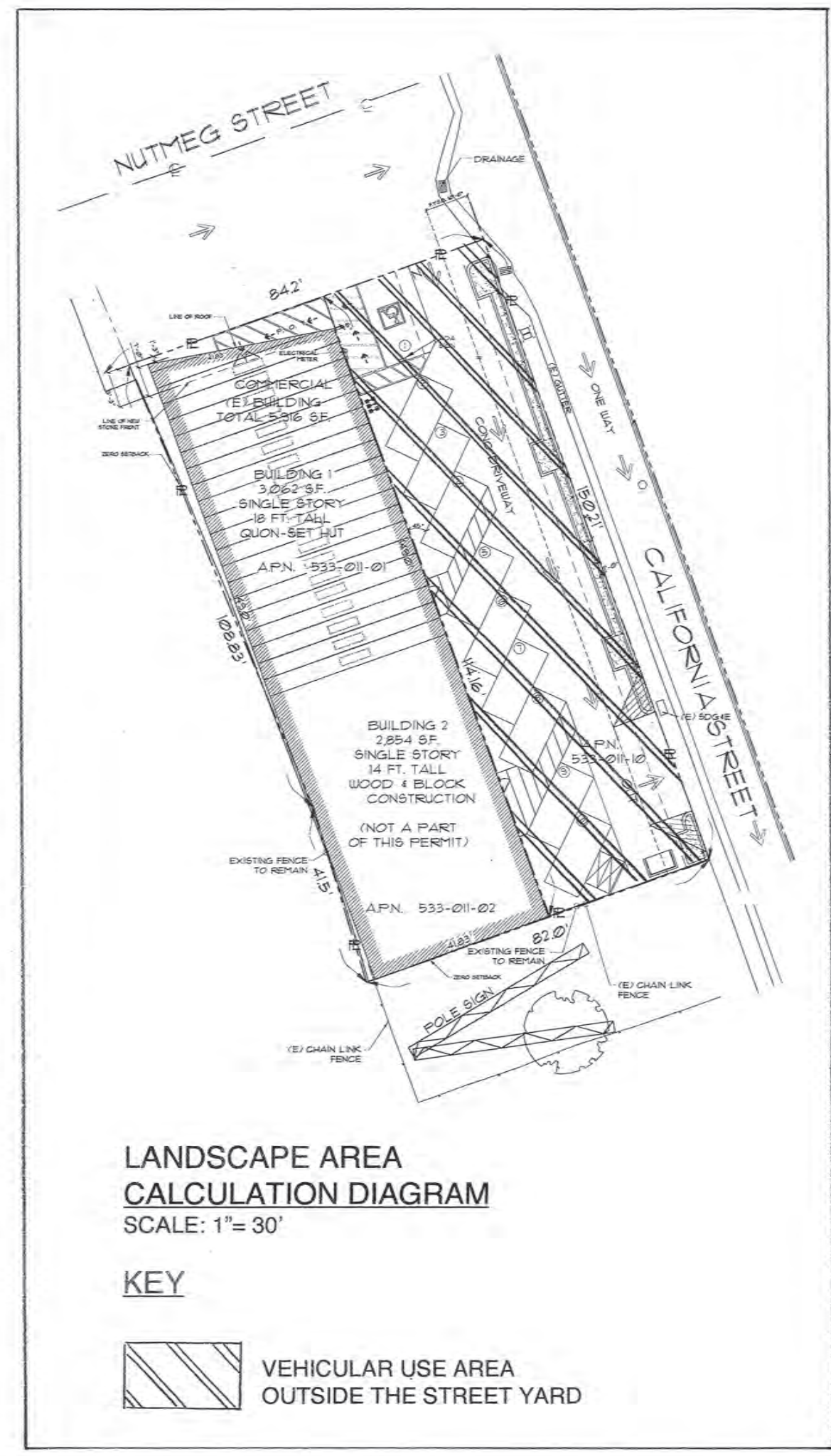
VUA INSIDE STREET YARD

None

VUA OUTSIDE STREET YARD

Planting Points Required 276 Provided 360 Excess Points Provided 84

Points Achieved Through Trees 200



- ### CITY OF SAN DIEGO NOTES
- ALL LANDSCAPE AND IRRIGATION SHALL CONFORM TO THE STANDARDS OF THE CITY-WIDE LANDSCAPE REGULATIONS AND THE CITY OF SAN DIEGO LAND DEVELOPMENT MANUAL LANDSCAPE STANDARDS AND ALL OTHER LANDSCAPE RELATED CITY AND REGIONAL STANDARDS.
 - IRRIGATION: AN AUTOMATIC, ELECTRICALLY CONTROLLED DRIP IRRIGATION SYSTEM SHALL BE PROVIDED AS REQUIRED BY LDC §142.0403(c) FOR PROPER IRRIGATION, DEVELOPMENT, AND MAINTENANCE OF THE VEGETATION IN A HEALTHY, DISEASE-RESISTANT CONDITION. THE DESIGN OF THE SYSTEM SHALL PROVIDE ADEQUATE SUPPORT FOR THE VEGETATION SELECTED.
 - A MINIMUM ROOT ZONE OF 40 SQUARE FEET (S.F.) IN AREA SHALL BE PROVIDED FOR ALL TREES. THE MINIMUM DIMENSION FOR THIS AREA SHALL BE 5 FEET, PER SDMC 142.0403(b)(5).
 - TREES SHALL BE MAINTAINED SO THAT ALL BRANCHES OVER PEDESTRIAN WALKWAYS ARE 6 FEET ABOVE THE WALKWAY GRADE AND BRANCHES OVER VEHICULAR TRAVEL WAYS ARE 16 FEET ABOVE THE TRAVEL WAY PER SDMC 142.0403(b)(10).
 - TREE ROOT BARRIERS SHALL BE INSTALLED WHERE TREES ARE PLACED WITHIN 5 FEET OF PUBLIC IMPROVEMENTS INCLUDING WALKS, CURBS, OR STREET PAVEMENTS OR WHERE NEW PUBLIC IMPROVEMENTS ARE PLACED ADJACENT TO EXISTING TREES. THE ROOT BARRIER WILL NOT WRAP AROUND THE ROOT BALL. ALL PER SDMC 142.0403(b).
 - MULCH: ALL REQUIRED PLANTING AREAS AND EXPOSED SOIL AREAS WITHOUT VEGETATION SHALL BE COVERED WITH MULCH TO A MINIMUM DEPTH OF 3 INCHES, EXCLUDING SLOPES REQUIRING REVEGETATION PER SDMC 142.0411.
 - IF ANY REQUIRED LANDSCAPE INDICATED ON THE APPROVED CONSTRUCTION DOCUMENT PLANS IS DAMAGED OR REMOVED DURING DEMOLITION OR CONSTRUCTION, IT SHALL BE REPAIRED AND/OR REPLACED IN KIND AND EQUIVALENT SIZE PER THE APPROVED DOCUMENTS TO THE SATISFACTION OF THE DEVELOPMENT SERVICES DEPARTMENT WITHIN 30 DAYS OF DAMAGE.
 - THE APPLICANT AGREES TO COMPLY WITH THE REQUIREMENTS OF THE PRESCRIPTIVE COMPLIANCE OPTION TO THE MODEL WATER EFFICIENT LANDSCAPE ORDINANCE (MWELO) IN ACCORDANCE WITH STATE LAW AND LAND DEVELOPMENT CODE SECTION 142.0413(f) AND WILL PROVIDE THE RECORD OWNER AT THE TIME OF FINAL INSPECTION WITH A CERTIFICATE OF COMPLETION, CERTIFICATE OF INSTALLATION, IRRIGATION SCHEDULE, AND SCHEDULE OF LANDSCAPE AND IRRIGATION MAINTENANCE.
 - ALL PRUNING SHALL COMPLY WITH THE STANDARDS OF THE AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI) FOR TREE CARE OPERATIONS AND THE INTERNATIONAL SOCIETY OF ARBORICULTURE (ISA) FOR TREE PRUNING. TOPPING OF TREES IS NOT PERMITTED.

LONG-TERM SITE LANDSCAPE MAINTENANCE

ALL REQUIRED LANDSCAPE AREAS SHALL BE MAINTAINED BY THE PROPERTY OWNER. LANDSCAPE AND IRRIGATION AREAS IN THE PUBLIC RIGHT-OF-WAY SHALL ALSO BE MAINTAINED BY THE PROPERTY OWNER. THE LANDSCAPE AREAS SHALL BE MAINTAINED FREE OF DEBRIS AND LITTER, AND ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION. DISEASED OR DEAD PLANT MATERIAL SHALL BE SATISFACTORILY TREATED OR REPLACED PER THE CONDITIONS OF THE PERMIT.

ROOT BARRIERS

NON-BIODEGRADABLE ROOT BARRIERS SHALL BE INSTALLED AROUND ALL NEW STREET TREES. ROOT BARRIERS MAY BE ELIMINATED WHERE THE COMBINATION OF TREE SPECIES, SOIL TYPE, SOIL AREA AND DRAINAGE CONDITIONS CAN BE SHOWN TO AFFORD EQUIVALENT PROTECTION AGAINST TREE ROOT DAMAGE TO PUBLIC IMPROVEMENTS. (LDC 142.0403)

MINIMUM TREE SEPARATION DISTANCE

IMPROVEMENT / MINIMUM DISTANCE TO STREET TREE:

TRAFFIC SIGNALS / STOP SIGNS - 20 FEET
UNDERGROUND UTILITY LINES - 5 FEET (10 FEET FOR SEWER)
ABOVE GROUND UTILITY STRUCTURES - 10 FEET
DRIVEWAY (ENTRIES) - 10 FEET
INTERSECTIONS (INTERSECTING CURB LINES OF TWO STREETS) - 25 FEET

SAM WADE
Landscape Architect

2204 Garnet Ave, Suite 205
San Diego, CA 92109
Tel: 858-270-8688
samw@samwadelandscapearchitect.com
AZ LIC. #26705 | CA LIC. #3703

SEAL OF THE STATE OF CALIFORNIA
Landscape Architect
SAMPL WADE
LIC. #3703
EXPIRES
7-31-23
2-16-23
SRT

Sam Wade Landscape Architect
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North Arrow

SCALE: 1" = 10'-0"

PRJ-1054172

CONDITIONAL USE PERMIT FOR A
CANNABIS OUTLET (CO)

1215 W. NUTMEG ST., SAN DIEGO, CA. 92101

AUSTIN & ASSOCIATES
ALAN LLOYD AUSTIN
A U B D

1622 PIONEER WAY EL CAJON, CA. 92020 Ph. (619)440-3624
RESIDENTIAL & COMMERCIAL PLANNING AND DESIGN
MEMBER: AMERICAN INSTITUTE OF BUILDING DESIGN

DRAWN BY: SW
CHECKED BY: SW
DATE: 2/16/23
SCALE: AS NOTED
JOB NO.

LDP-1

IMPROVEMENT PLAN FOR: 1215 W NUTMEG STREET

OWNER/APPLICANT

AARON MAGAGNA
3639 MIDWAY DRIVE, SUITE B132, SAN DIEGO, CA 92110
(619) 405-0298

SITE ADDRESS

1215 W. NUTMEG STREET, SAN DIEGO, CA 92101

LEGAL DESCRIPTION

ALL THOSE PORTIONS OF RIGHT OF WAY LOTS 70, 71, AND 72 MIDDLETOWN, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO THE PARTITION MAP OF SAID MIDDLETOWN, MADE BY J.E. JACKSON ON FILE IN THE OFFICE OF THE COUNTY CLERK OF THE SAID SAN DIEGO COUNTY.

ASSESSORS PARCEL NUMBER

433-011-01, 433-011-02 & 433-011-10

WORK TO BE DONE

THE IMPROVEMENTS CONSIST OF THE FOLLOWING WORK TO BE DONE ACCORDING TO THESE PLANS AND THE SPECIFICATIONS AND STANDARD DRAWINGS OF THE CITY OF SAN DIEGO.

STANDARD SPECIFICATIONS:

DOCUMENT NO.	DESCRIPTION
PWPI010119-01	STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (GREENBOOK), 2018 EDITION
PWPI010119-02	CITY OF SAN DIEGO STANDARD SPECIFICATIONS FOR PUBLICWORKS CONSTRUCTION (WHITEBOOK), 2021 EDITION
PWPI010119-04	CITYWIDE COMPUTER AIDED DESIGN AND DRAFTING (CADD) STANDARDS, 2021 EDITION
PWPI060121-10	CALIFORNIA DEPARTMENT OF TRANSPORTATION MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (REVISION 6), 2014 EDITION
PWPI030119-05	CALIFORNIA DEPARTMENT OF TRANSPORTATION U.S. CUSTOMARY STANDARD SPECIFICATIONS, 2018 EDITION

STANDARD DRAWINGS:

DOCUMENT NO.	DESCRIPTION
ECPI010122-03	CITY OF SAN DIEGO STANDARD DRAWINGS FOR PUBLIC WORKS CONSTRUCTION, 2021 EDITION
ECPI010122-03	CALIFORNIA DEPARTMENT OF TRANSPORTATION U.S. CUSTOMARY STANDARD PLANS, 2018 EDITION

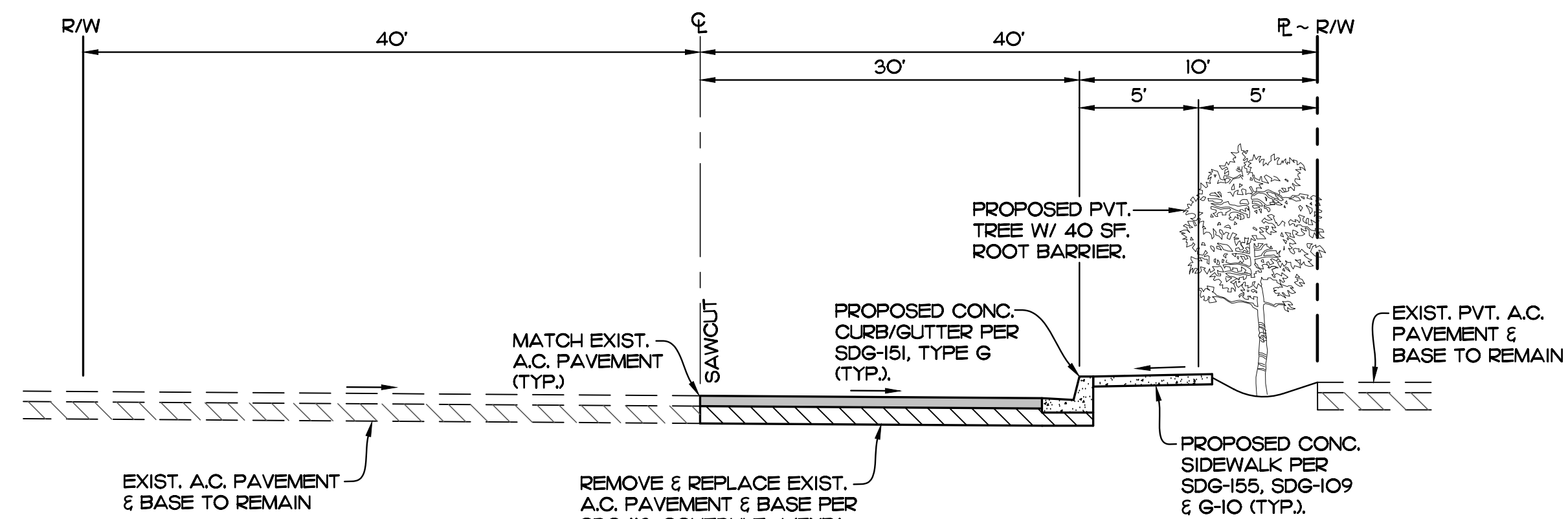
LEGEND

PROPOSED PRIVATE IMPROVEMENTS

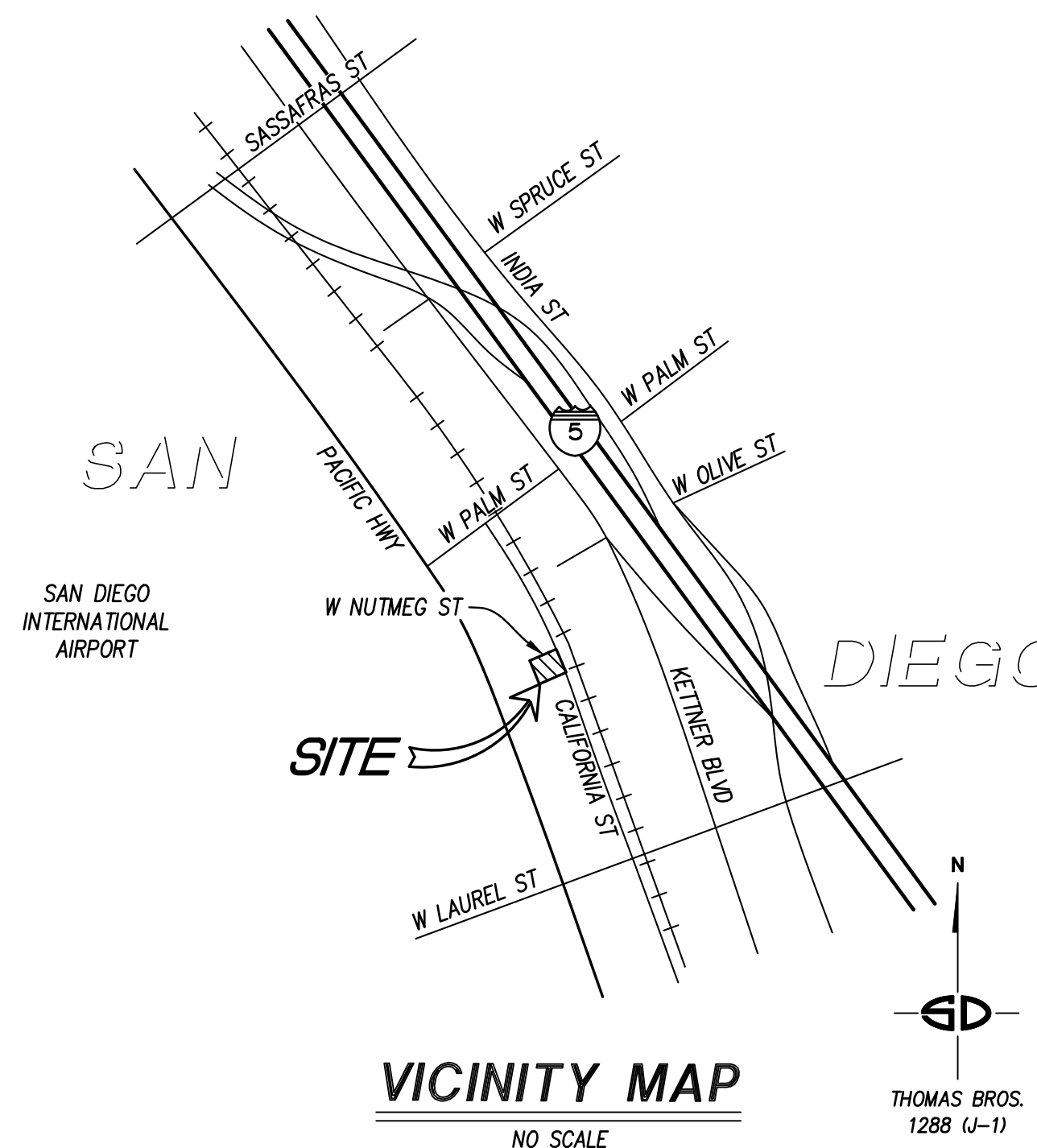
IMPROVEMENT	STANDARD DWGS.	SYMBOL	QUANTITIES
PROPOSED CONC. SIDEWALK	SDG-155, G-10	[Symbol]	392.5 SF.
PROPOSED A.C. PAVEMENT & BASE	SDG-113, SCHEDULE J	[Symbol]	2,573 SF.
PROPOSED A.C. GRIND & OVERLAY		[Symbol]	269.5 SF.
PROPOSED 6" CONCRETE CURB/GUTTER TYPE G	SDG-151	[Symbol]	93.5 LF.
PROPOSED CONCRETE DRIVEWAY (COMMERCIAL USE) (SIZE INDICATED ON PLAN)	SDG-159	[Symbol]	127.5 SF.
PROPOSED PVT. 12" CATCH BASIN		[Symbol]	2 EA.
PROPOSED PVT. STORM DRAIN CLEANOUT		[Symbol]	1 EA.
PROPOSED PVT. 4" PVC SDR-35 STORM DRAIN		[Symbol]	82.5 LF.
PROPOSED PVT. TREE W/ 40 SF. ROOT BARRIER		[Symbol]	2 EA.
SAWCUT		[Symbol]	132.5 LF.

EXISTING IMPROVEMENTS

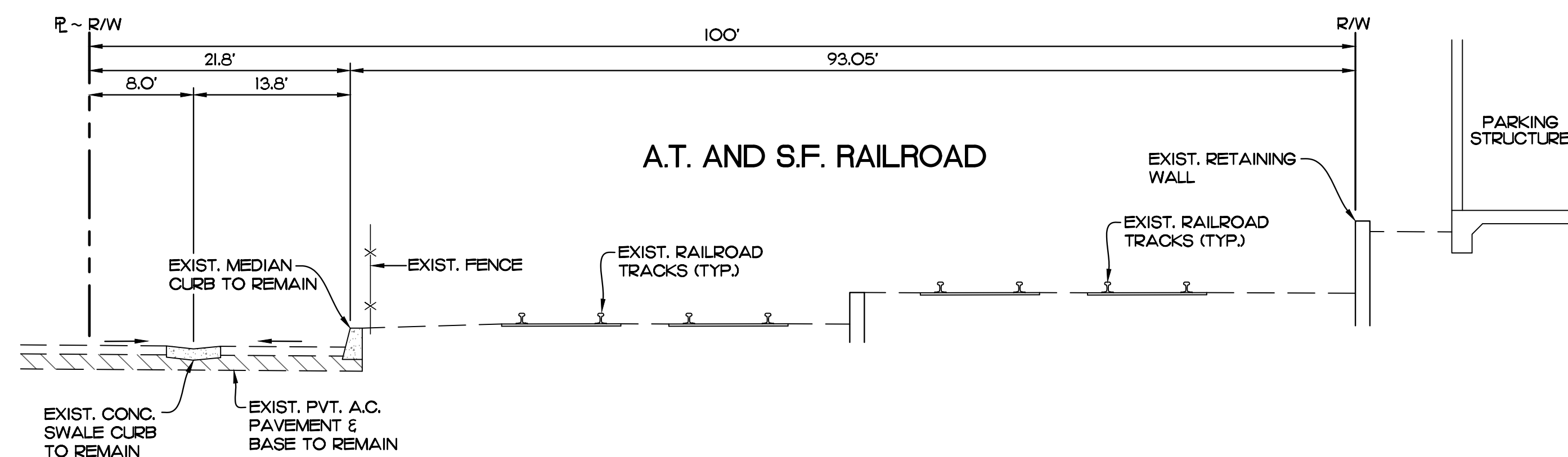
IMPROVEMENT	SYMBOL
EXIST. ASPHALT SURFACE	[Symbol]
EXIST. CONC. CURB	[Symbol]
EXIST. CATCH BASIN	[Symbol]
EXIST. FENCE	[Symbol]
RIGHT-OF-WAY	R/W
PROPERTY LINE	P
CENTERLINE	C



TYPICAL SECTION - NUTMEG STREET
NO SCALE



VICINITY MAP
NO SCALE



TYPICAL SECTION - CALIFORNIA STREET
NO SCALE

CUP PRJ-1054172, I.O. NO. 24009185

PRIVATE CONTRACT

WARNING
0 1/2 1
IF THIS BAR DOES NOT MEASURE 1" THEN DRAWING IS NOT TO SCALE.

IMPROVEMENT PLAN FOR:
1215 W NUTMEG STREET CUP
W/O CALIFORNIA STREET

ENGINEER OF WORK
Snipes-Dye associates
civil engineers and land surveyors
8348 CENTER DRIVE, STE. G, LA MESA, CA 91942
TELEPHONE (619) 697-9234 FAX (619) 460-2033

Tom P. Nguyen 2/14/23
SON P. NGUYEN R.C.E. 86249
EXPIRES 03-31-25

The City of **SAN DIEGO**

DEVELOPMENT SERVICES DEPARTMENT
SHEET 1 OF 2 SHEETS

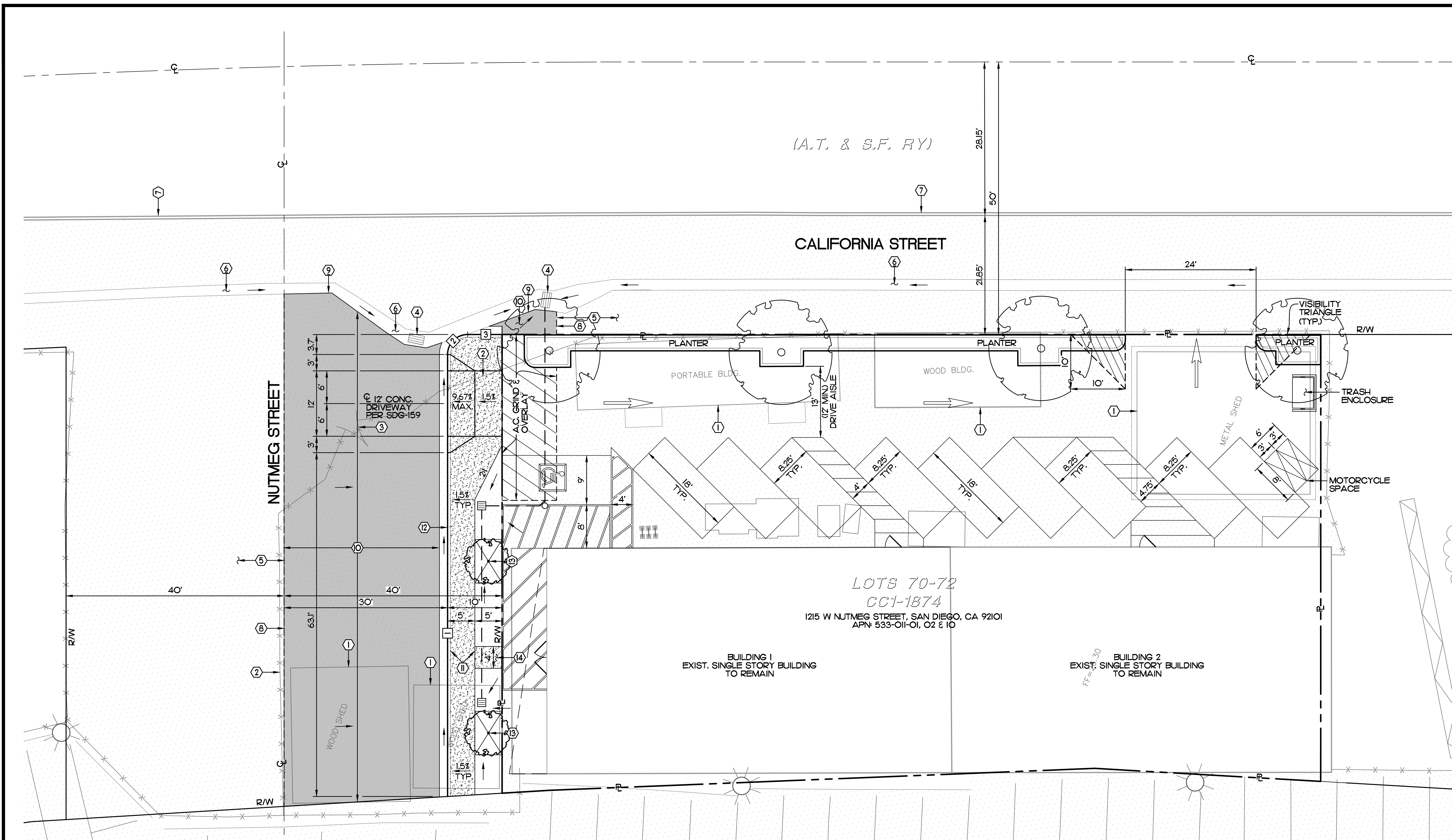
FOR CITY APPROVAL

APPROVED: _____ DATE _____

DESCRIPTION	BY	APPROVED	DATE
ORIGINAL	SDA		
AS BUILTS			

CONTRACTOR _____ DATE STARTED _____
INSPECTOR _____ DATE COMPLETED _____

PMT NO. _____
PRJ NO. _____
18.46-6275
NAD83 COORDINATES
206-1715
LAMBERT COORDINATES
DRAWING NO. **C001**
-1-D



KEY NOTES

- ① EXIST. STRUCTURES TO BE REMOVED.
- ② EXIST. FENCE TO BE REMOVED.
- ③ EXIST. GATE TO BE REMOVED.
- ④ EXIST. CATCH BASIN TO REMAIN.
- ⑤ EXIST. A.C. PAVEMENT TO REMAIN (TYP.).
- ⑥ EXIST. CONC. SWALE TO REMAIN (TYP.).
- ⑦ EXIST. CONC. CURB TO REMAIN (TYP.).
- ⑧ SAWCUT & MATCH EXIST. PAVEMENT (TYP.).
- ⑨ MATCH EXIST. PAVEMENT (TYP.).
- ⑩ REMOVE & REPLACE EXIST. A.C. PAVEMENT & BASE PER SDG-113, SCHEDULE J (TYP.).
- ⑪ PROPOSED CONC. SIDEWALK PER SDG-155, SDG-109 & G-10 (TYP.).
- ⑫ PROPOSED CONC. CURB/GUTTER PER SDG-151, TYPE G (TYP.).
- ⑬ PROPOSED PVT. TREE W/ 40 SF. ROOT BARRIER.
- ⑭ PROPOSED PVT. PEDESTRIAN WALKWAY 4" MIN. THICKNESS, 520-C-2500 CONCRETE.

CAUTION:
 LOCATION OF EXISTING UTILITIES ON THIS PLAN ARE APPROXIMATE AND SHALL BE VERIFIED BY CONTRACTOR PRIOR TO CONSTRUCTION.

(A.T. & S.F. RY)

CALIFORNIA STREET

NUTMEG STREET

LOTS 70-72
 CC-1874

1215 W NUTMEG STREET, SAN DIEGO, CA 92101
 APN 533-011-01, 02 & 10

EXIST. BUILDING 1
 SINGLE STORY BUILDING
 TO REMAIN

EXIST. BUILDING 2
 SINGLE STORY BUILDING
 TO REMAIN

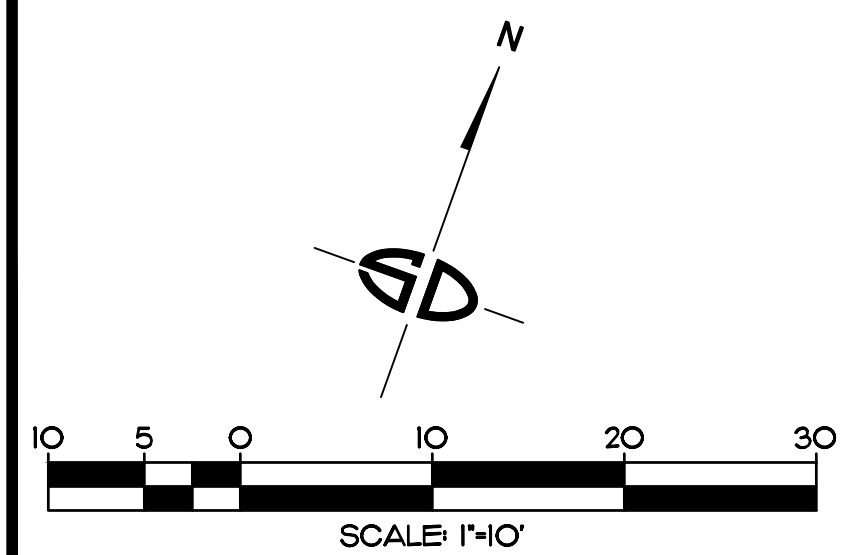
CUP PRJ-1054172, I.O. NO. 24009185

CURB/GUTTER DATA				
NO.	DELTA/BRG	RADIUS	LENGTH	REMARK
1	N 70°17'04" E	--	81.09'	6" CURB/GUTTER PER SDG-151, TYPE G
2	Δ-90°00'00"	3.67'	5.76'	6" CURB/GUTTER PER SDG-151, TYPE G
3	N 19°42'56" W	--	6.33'	6" CURB/GUTTER PER SDG-151, TYPE G

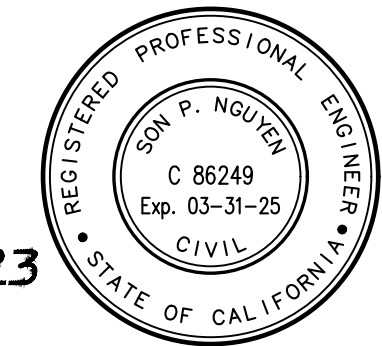
PRIVATE CONTRACT

WARNING
 0 1/2 1
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IMPROVEMENT PLAN FOR:
1215 W NUTMEG STREET CUP
 W/O CALIFORNIA STREET



ENGINEER OF WORK
Snipes-Dye associates
 civil engineers and land surveyors
 8348 CENTER DRIVE, STE. G, LA MESA, CA 91942
 TELEPHONE (619) 697-9234 FAX (619) 460-2033
 Son P. Nguyen 2/14/23
 R.C.E. 86249
 EXPIRES 03-31-25



The City of
SAN DIEGO
 FOR CITY APPROVAL

DEVELOPMENT SERVICES DEPARTMENT				PMT NO. _____
SHEET 2 OF 2 SHEETS				PRJ NO. _____
FOR CITY ENGINEER		DATE		18.46-6275 NAD83 COORDINATES
DESCRIPTION	BY	APPROVED	DATE	
ORIGINAL	SDA			206-1715 LAMBERT COORDINATES
AS BUILTS				
CONTRACTOR		DATE STARTED		DRAWING NO. C002
INSPECTOR		DATE COMPLETED		

-2-D

**DEFERRED IMPROVEMENT AGREEMENT NO. [INSERT DIA NUMBER]
WITH COSDD21, LLC, VM GENTILE TRUST 10-13-20, and AK MARSHALL
TRUST 10-13-20 FOR THE 1215 W. NUTMEG STREET CANNABIS OUTLET
PROJECT IN THE MIDWAY-PACIFIC HIGHWAY COMMUNITY PLAN AREA –
PROJECT NO. PRJ-1054172**

THIS DEFERRED IMPROVEMENT AGREEMENT (Agreement) is made and entered into between the City of San Diego, a municipal corporation (City), and COSDD21, a Limited Liability Company, VM Gentile Trust 10-13-20, and AK Marshall Trust 10-13-20, (Developer) (collectively, the “Parties”).

RECITALS

1. VM Gentile Trust 10-13-20 and AK Marshall Trust 10-13-20 hold the title to that certain real property located in the City of San Diego, the legal description of which is set forth as Exhibit “A” attached hereto (Property). COSDD21, LLC, is the applicant for a Conditional Use Permit to operate a Cannabis Outlet at the Property.
2. On April 19, 2023, the Hearing Officer of the City of San Diego adopted Resolution No. HO-xxxx approving Conditional Use Permit No. 3162252 (Approval) for the Property, subject to the conditions of approval attached to said resolution and made a part thereof.
3. Pursuant to Condition No. 15 of the Approval, Developer is required to complete the 1215 W. Nutmeg Street improvements (Required Improvements) in the following manner:

Prior to the issuance of any building permit, the Owner/Permittee shall assure by permit and bond the construction of standard curb, gutter, and 10-foot-wide parkway (including 5-foot-wide contiguous sidewalk and 5-foot-wide landscaping), and 12-foot-wide driveway, satisfactory to the City Engineer. All improvements shall be operational prior to occupancy. Alternatively, these improvements may be assured via a Deferred Improvement Agreement.

The Required Improvements are shown on Exhibit “B” and described in Exhibit “C.”

4. Consistent with Condition No. 15 of the Approval, Developer desires to enter into a Deferred Improvement Agreement for the Required Improvements.

ARTICLE 1 – SUBJECT AND DURATION OF AGREEMENT

- 1.1. **Required Improvements.** The above-listed recitals are true and correct and are hereby incorporated by reference. Developer shall complete the Required Improvements as set forth in this Agreement.
- 1.2. **Term of Agreement.** This Agreement shall be effective upon the date it is executed by the City Attorney in accordance with San Diego Charter section 40 and shall be effective until Final Completion (as defined in Section 5.3) of all Required Improvements to the satisfaction of the City Engineer and accepted by the City.

ARTICLE 2 – DESIGN AND CONSTRUCTION

- 2.1 **Completion Date.** Developer shall complete the Required Improvements no later than six (6) months after notification by the City Engineer that improvements are required, or earlier if required by the City Engineer in accordance with this Article (Required Completion Date).
- 2.1.1 **Early Completion Date.** If the City Engineer requires the completion of the Required Improvements prior to the time set forth above in Section 2.1, the City Engineer shall provide written notice to Developer indicating the date by which the Required Improvements must be completed.
- 2.1.2 **No Waiver.** In no event shall City's failure to enforce the Required Completion Date set forth in Section 2.1 act as a release of Developer's obligation to construct or complete the Required Improvements in accordance with this Agreement. Neither acceptance of work, nor any use or occupancy of the Required Improvements or any part thereof by City, nor any act of acceptance by City, nor any failure to do an act, nor any review of a drawing or submittal, will constitute an acceptance of work, which is not in accordance with this Agreement.
- 2.1.3 **Notice to Commence Construction.** The City may, at any time, following the Required Completion Date set forth in Section 2.1, deliver a Notice to Commence Construction to the Developer. In the event that the City delivers a Notice to Commence Construction, the Developer shall commence construction of the Required Improvements within 60 days of delivery of the Notice to Commence Construction, regardless of the amount of time which has passed since the Required Completion Date has elapsed. Failure of the Developer to commence construction of the Required Improvements within the time specified in the Notice to Commence Construction shall be a material breach of this Agreement.
- 2.1.4 **Extensions of Required Completion Date.** The Required Completion Date may be extended with the written consent of the City provided that the Developer is in compliance with all other terms of this Agreement, including bonding, and the City Engineer determines that the Required Improvements will not be needed prior to the Required Completion Date initially established.
- 2.2 **Design.** Developer shall design the Required Improvements in a manner satisfactory to the City Engineer and in accordance with Condition No. 15.
- 2.3 **Construction.** Developer shall construct the Required Improvements in accordance with the applicable construction permit(s) and approved plans to the satisfaction of the City Engineer.
- 2.3.1 **Permits.** Developer shall obtain applicable construction permit(s) in accordance with San Diego Municipal Code Chapter 12, Article 9, and any other necessary permits prior to commencing construction of the Required Improvements.
- 2.3.2 **As-Builts.** Developer shall prepare as-built plans for the Required Improvements to the satisfaction and approval of the City Engineer.
- 2.4 **Lien.** In the event of default in performance of the obligations specified in this Agreement, the City may elect to design, perform and/or construct the Required

Improvements specified herein. Should City elect to take such curative steps, it shall serve written notice of its intent to enter the property subject to this Agreement for this purpose. Such notice shall be served personally, or by certified mail, return receipt requested, upon the owner(s) of the property subject to this Agreement at the last known address of such owner(s), or at such address as shown on the tax rolls, at least twenty (20) days in advance of the date when City intends to enter the property for the purpose of designing, performing, or constructing the Required Improvements.

- 2.4.1 City may perform such work or cause the design, performance, or construction of the Required Improvements as it determines reasonably necessary and proper to fulfill the obligations for construction and completion of the Required Improvements pursuant to this Agreement. City may act either through its own employees or through independent contractor(s). In either event, the performance of such work shall be at the sole cost and expense of Developer and/or the property owner(s) within the subdivision, as determined by the City. All expenses and administrative costs incurred by the City in construction and completion of the Required Improvements required by this Agreement shall constitute a lien upon the property. The lien shall attach to all lots within the subdivision of the Property described herein.
- 2.4.2 The lien shall be the cost incurred by the City in constructing the Required Improvements, which cost shall include all administrative costs associated with such construction and enforcement of this obligation.
- 2.4.3 Property owners for each named lot and each successor owner of a named lot vest in and delegate to City or its duly authorized representatives the right and power to bring all actions at law or lien foreclosures against Developer and any owner for the collection of the cost for completing and installing the Required Improvements and waive any objection to the enforcement thereof. Any lien arising pursuant to this paragraph must be enforced by trustee sale of the lot(s) under the lien foreclosure provision of the California Civil Code.

ARTICLE 3 – FINANCIAL SURETY

- 3.1 **Duty to Post a Performance Bond.** Prior to the execution of this Agreement, Developer shall post a performance and payment bond (Performance Bond) in the amount of \$53,737 for costs identified on Exhibit “D,” Cost Estimate, and provide proof thereof to the City. The Performance Bond shall guarantee the faithful performance of this Agreement. In lieu of a bond, the Developer may provide other security acceptable to the City Engineer in an amount equal to the required bond. A copy of the executed Financial Surety is attached as Exhibit “E.”
- 3.1.1 **Form of Bond.** The Performance Bond shall be in a form acceptable to the City Attorney.
- 3.1.2 **Bond Term.** The Performance Bond shall remain in full force and effect for the term of this Agreement, and until such time as the City in writing affirmatively releases Developer from its bond obligation.

- 3.1.3 Certificate of Agency. All bonds signed by an agent must be accompanied by a certified copy of such agent's authority to act.
- 3.1.4 Licensing and Rating. The Performance Bond shall be duly executed by responsible surety companies admitted to do business in the State of California, licensed or authorized in the jurisdiction in which the Required Improvements are located to issue bonds for the limits required by this Agreement, secured through an authorized agent with an office in California, and have a minimum AM Best rating of "A-" to an amount not to exceed ten percent (10%) of its capital and surplus.
- 3.1.5 Insolvency or Bankruptcy. If the surety on any bond furnished by Developer is declared bankrupt or becomes insolvent or its right to do business is terminated in any state where any part of the Required Improvements are located, Developer shall within seven (7) calendar days thereafter substitute or require the substitution of another bond and surety, acceptable to the City.
- 3.1.6 Increase in Amount of Performance Bond. If, at any time, following the execution of this Agreement, the estimated costs of the Required Improvements exceed, or are anticipated to exceed, the Cost Estimate, Developer shall, within thirty (30) calendar days, increase the amount of the Performance Bond by the change in the Cost Estimate.
- 3.1.7 Attorney's Fees. In the event the City prevails in an action upon any bond posted, the City shall be entitled to reasonable attorney's fees to be fixed by a court.
- 3.1.8 Early Release of Bond. Any time following the execution of this Agreement, the bond for this Agreement may be released or reduced if a subsequent bond is provided for the construction of the Required Improvements that satisfies this Agreement, to the satisfaction of the City Engineer.

ARTICLE 4. - INDEMNITY & DUTY TO DEFEND

- 4.1 **Indemnification and Hold Harmless Agreement**. The Developer, its successors and assigns, agree to defend, indemnify, protect, and hold harmless the City, its agents, officers, employees and contractors, from and against any and all claims, demands, causes of action and administrative, legal or equitable actions brought or asserted by anyone before any venue, including but not limited to administrative, legal, judicial or equitable proceedings, mediators or arbiters, for any and all alleged or proven liabilities, damages, losses, costs, attorneys fees, injuries or equitable relief caused by, connected with, associated with, related to, or inferred from any and all actions or inactions of Developer, its agents, officers, employees, representatives, contractors or assigns, including, but not limited to, any and all obligations or responsibilities, alleged or otherwise, arising out of or relating to this Agreement, the Required Improvements, and any and all permits or approvals issued by the City for the Required Improvements [referred to herein collectively as the Indemnification Obligation]. The Indemnification Obligation specifically includes, but is not limited to, claims arising from deferring construction of the Required Improvements, the construction of the Required Improvements, and any other work performed under this Agreement. If City chooses, at

its own election, to conduct its own defense, participate in its own defense or obtain independent legal counsel in defense of any Indemnification Obligation, Developer agrees to pay reasonable attorneys' fees and all of City's reasonable costs.

- 4.1.1 The liabilities protected against under this Indemnification Obligation include any and all liability or claim for damage, injury or loss of any kind allegedly suffered, incurred, or threatened, including personal injury, death, property damage, inverse condemnation, or any combination of these, and regardless of whether or not such liability, claim, loss, or damage was unforeseeable at any time before City approved the Required Improvement plan or accepted Required Improvements as completed, and including the defense of any suit(s), action(s), or other proceeding(s) concerning these.
- 4.1.2 The actions or inactions causing liability under this Indemnification Obligation are any act or omission (negligent or non-negligent) in connection with the matters covered by this Agreement and attributable to, or alleged to be attributable to, the Developer, contractor, subcontractor, or any officer, agent, or employee of one (1) or more of them. This Indemnification Obligation is not conditioned or dependent on whether or not the City, its employees, agents, officers or representatives, have prepared, supplied, or approved any plan(s) or specification(s) in connection with the Required Improvement or subdivision, or has insurance or other indemnification covering any of these matters.
- 4.1.3 This Indemnification Obligation includes, but is not limited to, any and all claims, demands, causes of action, liability or loss asserted or established by any of Developer's employees, agents, officers, contractors or assigns. This Indemnification Obligation includes, but is not limited to, any and all judgments, injunctions, decisions or orders, including administrative and equitable, arising directly or indirectly out of obligations, work or services performed under, arising out of, relating to, or inferred from, this Agreement.
- 4.1.4 This Indemnification Obligation includes, but is not limited to, claims, demands, causes of action, liability or loss arising from, connected with, caused by, or claimed to be caused by the active or passive negligent acts or omissions of the City, its agents, officers, or employees which may or may not be in combination with the negligence of the Developer, its employees, agents, contractors, officers, assigns, or any other third party.
- 4.1.5 This Indemnification Obligation includes, but is not limited to, any and all claims, demands, causes of action, liability or loss arising from, connected with, caused by, or claimed to be caused by the diversion of waters resulting from the design, construction or maintenance of drainage systems, streets or other improvements.
- 4.1.6 The Developer's duty to defend, indemnify, protect and hold harmless shall not include any claims or liabilities arising from the established sole gross negligence or sole willful misconduct of the City, its agents, officers, employees, representatives or contractors.

- 4.2. **Indemnification for Professional Services.** To the fullest extent permitted by law, with respect to the performance of design professional services in any way related to or connected with the Required Improvements or this Agreement, Developer shall defend, indemnify, protect, and hold harmless the City, its agents, officers, representatives, employees and contractors from and against any and all liability, claims, costs, and damages, including but not limited to, attorney fees, and losses or payments for injury to any person or property, caused directly or indirectly by the acts, errors or omissions of the design professional, or their employees, contractors, agents, representatives or officers. The Developer shall require its architects, engineers, or other design professionals to defend, indemnify, protect, and hold harmless the City, its agents, officers, employees, representatives and contractors from and against any and all liability, claims, costs, and damages, including but not limited to, attorneys, fees, and losses or payments for injury to any person or property, caused directly or indirectly from the acts, errors or omissions of the design and its employees, representatives, agents, officers, or contractors.
- 4.3. **Indemnification for Liens and Stop Notices.** The Developer shall keep the Required Improvements and the Property free of any mechanics liens and immediately secure the release of any stop notices. The Developer shall defend, indemnify, protect, and hold harmless, the City, its agents, officers, employees, contractors and representatives from and against any and all liability, claims, costs, and damages, including but not limited to, attorney fees, arising from or attributable to any failure to pay claimants. Developer shall be responsible for payment to all persons and entities entitled to assert liens and stop notices.
- 4.4. **Enforcement Costs.** The Developer agrees to pay any and all costs, including attorney's fees, the City incurs to enforce the indemnity and defense provisions set forth in this Article.
- 4.5. **No Assumption of Liability.** Acceptance by City of the Required Improvements shall not constitute an assumption by City of any responsibility for such damage or taking. City shall not be an insurer or surety for the design or construction of the Improvements pursuant to the approved improvement plans.
- 4.6. **Full Force and Effect.** This Article shall remain in full force and effect for ten (10) years following Final Completion (as defined in Section 5.3).

ARTICLE 5 - INSPECTION AND FINAL COMPLETION

- 5.1 **Inspection by City.** When Developer determines that the Required Improvements are complete in accordance with the approved construction permit(s), the Developer shall notify the City and schedule an inspection. The Required Improvements must pass inspection by City prior to acceptance by City.
- 5.2 **Lien and Material Releases.** Developer shall cause all contractors and subcontractors to provide lien and material releases as to the Required Improvements and all related work and provide copies of such lien and material releases to the City Engineer or, upon approval of City which shall not be unreasonably withheld, provide bonds in lieu of the lien and material releases in a form reasonably acceptable to City.

- 5.3 **Final Completion.** Final Completion of the Required Improvements shall be deemed to occur upon: (i) submission and approval of all documents required to be supplied by Developer to City pursuant to this Agreement, including, but not limited to, all as-built drawings, as-graded reports, warranties, operating and maintenance manuals, and other deliverables; (ii) City signature and sign off as final approval on all construction permits; (iii) issuance of any required certificate of occupancy; (iv) the occurrence of any required property transfers; or (v) other agency approval(s) related to the Required Improvements, whichever occurs last.

ARTICLE 6 - RECORDS AND AUDITS

- 6.1 **Retention of Records.** Developer, contractors, and subcontractors shall maintain data and records related to the Required Improvements and this Agreement for a period of not less than three (3) years following date of Final Completion of the Required Improvements.
- 6.2 **Audit of Records.** At any time during normal business hours and as often as the City deems necessary, Developer and any or all contractors or subcontractors shall make available to the City for examination at reasonable locations within the City/County of San Diego all of the data and records with respect to all matters covered by this Agreement. Developer and all contractors and subcontractors shall permit the City to make audits of all invoices, materials, payrolls, records of personnel, and other data and media relating to all matters covered by this Agreement. If records are not made available within the City/County of San Diego, then Developer shall pay all the City's travel related costs to audit the records associated with this Agreement at the location where the records are maintained.

ARTICLE 7 - NOTICES

- 7.1 **Writing.** Any demand upon or notice required or permitted to be given by one Party to the other Party shall be in writing.
- 7.2 **Effective Date of Notices.** Except as otherwise provided by law, any demand upon or notice required or permitted to be given by one Party to the other Party shall be effective: (i) on personal delivery; (ii) on the second business day after mailing by certified or registered U.S. Mail, return receipt requested; (iii) on the succeeding business day after mailing by Express Mail or after deposit with a private delivery service of general use (e.g., Federal Express) postage or fee prepaid as appropriate; or (iv) upon documented successful transmission of facsimile.
- 7.3 **Recipients.** All demands or notices required or permitted to be given shall be sent to all of the following:

To the City:	City of San Diego Development Services Department Engineering Division Attn: George Ghossain 1222 First Avenue, 5th Floor (MS 501) San Diego, California 92101
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To the Developer: COSDD21, LLC
 Attn: Aaron Magana, Managing Partner
 3639 Midway Drive, Suite B #132
 San Diego, CA 92110

ARTICLE 8 - MISCELLANEOUS

- 8.1 **Headings**. All article headings are for convenience only and shall not affect the interpretation of this Agreement.
- 8.2 **Gender & Number**. Whenever the context requires, the use herein of (i) the neuter gender includes the masculine and the feminine genders and (ii) the singular number includes the plural number.
- 8.3 **Reference to Paragraphs**. Each reference in this Agreement to a section refers, unless otherwise stated, to a section this Agreement.
- 8.4 **Incorporation of Recitals**. All recitals herein are incorporated into this Agreement and are made a part hereof.
- 8.5 **Covenants and Conditions**. All provisions of this Agreement expressed as either covenants or conditions on the part of the City or the Developer shall be deemed to be both covenants and conditions.
- 8.6 **Integration**. This Agreement and the Exhibits and references incorporated into this Agreement fully express all understandings of the Parties concerning the matters covered in this Agreement. No change, alteration, or modification of the terms or conditions of this Agreement, and no verbal understanding of the Parties, their officers, agents, or employees shall be valid unless made in the form of a written change agreed to in writing by both Parties or an amendment to this Agreement agreed to by both Parties. All prior negotiations and agreements are merged into this Agreement.
- 8.7 **Severability**. The unenforceability, invalidity, or illegality of any provision of this Agreement shall not render any other provision of this Agreement unenforceable, invalid, or illegal.
- 8.8 **Drafting Ambiguities**. The Parties agree that they are aware that they have the right to be advised by counsel with respect to the negotiations, terms and conditions of this Agreement, and the decision of whether or not to seek advice of counsel with respect to this Agreement is a decision which is the sole responsibility of each Party. This Agreement shall not be construed in favor of or against either Party by reason of the extent to which each Party participated in the drafting of the Agreement.
- 8.9 **Conflicts Between Terms**. If an apparent conflict or inconsistency exists between the main body of this Agreement and the Exhibits, the main body of this Agreement shall control. If a conflict exists between an applicable federal, state, or local law, rule, regulation, order, or code and this Agreement, the law, rule, regulation, order, or code shall control. Varying degrees of stringency among the main body of this Agreement, the Exhibits, and laws, rules, regulations, orders, or codes are not deemed conflicts, and the

most stringent requirement shall control. Each Party shall notify the other immediately upon the identification of any apparent conflict or inconsistency concerning this Agreement.

- 8.10 **Prompt Performance.** Time is of the essence of each covenant and condition set forth in this Agreement.
- 8.11 **Good Faith Performance.** The parties shall cooperate with each other in good faith, and assist each other in the performance of the provisions of this Agreement.
- 8.12 **Further Assurances.** City and Developer each agree to execute and deliver such additional documents as may be required to effectuate the purposes of this Agreement.
- 8.13 **Exhibits.** Each of the following Exhibits is attached hereto and incorporated herein by this reference:
- | | | |
|-----------|---|--------------------------------------|
| Exhibit A | - | Legal Description |
| Exhibit B | - | Drawing of Required Improvements |
| Exhibit C | - | Description of Required Improvements |
| Exhibit D | - | Cost Estimate |
| Exhibit E | - | Financial Surety |
- 8.14 **Compliance with Controlling Law.** The Developer shall comply with all laws, ordinances, regulations, and policies of the federal, state, and local governments applicable to this Agreement. In addition, the Developer shall comply immediately with all directives issued by the City or its authorized representatives under authority of any laws, statutes, ordinances, rules, or regulations. The laws of the State of California shall govern and control the terms and conditions of this Agreement.
- 8.15 **Jurisdiction, Venue, and Attorney Fees.** The venue for any suit or proceeding concerning this Agreement, the interpretation or application of any of its terms, or any related disputes shall be in the County of San Diego, State of California. The prevailing Party in any such suit or proceeding shall be entitled to a reasonable award of attorney fees in addition to any other award made in such suit or proceeding.
- 8.16 **Municipal Powers.** Nothing contained in this Agreement shall be construed as a limitation upon the powers of the City as a chartered city of the State of California.
- 8.17 **Hazardous Materials.** Hazardous Materials constitute any hazardous waste or hazardous substance as defined in any federal, state, or local statute, ordinance, rule, or regulation applicable to Property, including, without limitation the Comprehensive Environmental Response, Compensation, and Liability Act of 1980, as amended (42 U.S.C. §§ 9601-9675), the Resource Conservation and Recovery Act (42 U.S.C. §§ 6901-6992k), the Carpenter Presley-Tanner Hazardous Substance Account Act (California Health and Safety Code sections 25300-25395.15), and the Hazardous Waste Control Law (California Health and Safety Code sections 25100-25250.25). Developer agrees to comply with all applicable state, federal and local laws and regulations pertaining to Hazardous Materials.

- 8.18 **Third Party Relationships.** Nothing in this Agreement shall create a contractual relationship between City and any third party; however, the Parties understand and agree that City, to the extent permitted by law, is an intended third party beneficiary of all Developer's contracts, purchase orders and other contracts between Developer and third party services. Developer shall incorporate this provision into its contracts, supply agreements and purchase orders.
- 8.19 **Non-Assignment.** The Developer shall not assign the obligations under this Agreement, whether by express assignment or by sale of the company, nor any monies due or to become due, without the City's prior written approval. Any assignment in violation of this paragraph shall constitute a Default and is grounds for immediate termination of this Agreement, at the sole discretion of the City. In no event shall any putative assignment create a contractual relationship between the City and any putative assignee.
- 8.20 **Successors in Interest.** This Agreement and all rights and obligations created by this Agreement shall be in force and effect whether or not any Parties to the Agreement have been succeeded by another entity, and all rights and obligations created by this Agreement shall be vested and binding on any Party's successor in interest.
- 8.20 **Approval.** Where the consent or approval of a party is required or necessary under this Agreement, the consent or approval shall not be unreasonably withheld. However, nothing in this Section shall in any way bind or limit any future action of the City Council.
- 8.21 **No Waiver.** No failure of either the City or the Developer to insist upon the strict performance by the other of any covenant, term or condition of this Agreement, nor any failure to exercise any right or remedy consequent upon a breach of any covenant, term, or condition of this Agreement, shall constitute a waiver of any such breach of such covenant, term or condition. No waiver of any breach shall affect or alter this Agreement, and each and every covenant, condition, and term hereof shall continue in full force and effect to any existing or subsequent breach.
- 8.22 **Signing Authority.** The representative for each Party signing on behalf of a corporation, partnership, joint venture or governmental entity hereby declares that authority has been obtained to sign on behalf of the corporation, partnership, joint venture, or entity and agrees to hold the other Party or Parties hereto harmless if it is later determined that such authority does not exist.

IN WITNESS WHEREOF, this Agreement is executed by the City of San Diego, acting by and through the Mayor or designee, pursuant to the San Diego Municipal Code, and by Developer.

THE CITY OF SAN DIEGO

A Municipal Corporation

By: _____

Director
Development Services Department

COSDD21, LLC

By: _____

Aaron Magagna
Managing Partner

VM GENTILE TRUST 10-13-20

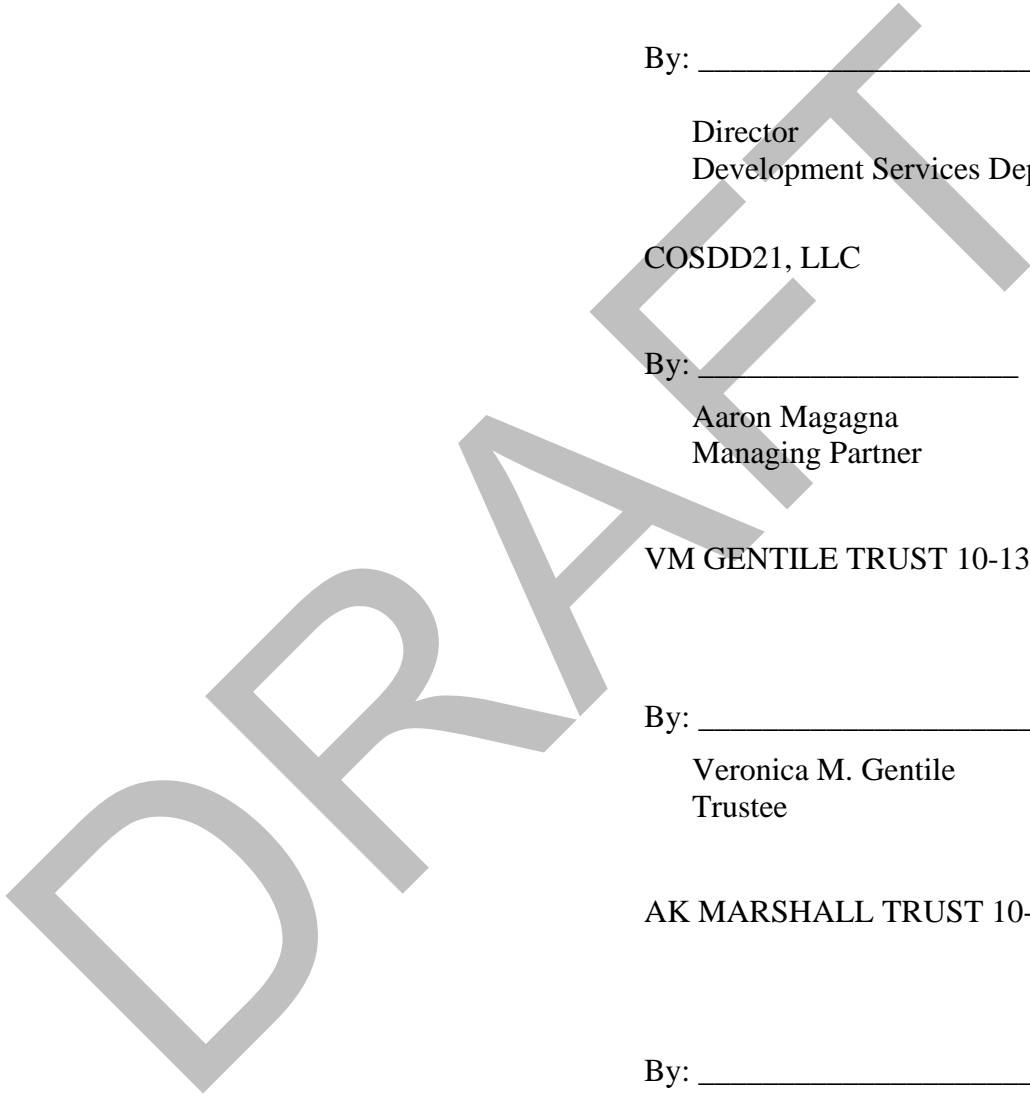
By: _____

Veronica M. Gentile
Trustee

AK MARSHALL TRUST 10-13-20

By: _____

Alan K. Marshall
Trustee



This Agreement was approved as to form and correctness by the City Attorney this day of _____, 20____, and this date shall constitute the effective date of this Agreement.

MARA W. ELLIOTT, City Attorney

By: _____

Jeanne MacKinnon

Deputy City Attorney

Amount: \$53,737

PTS Project No.: PRJ-1054172

NOTARY ACKNOWLEDGMENTS

MUST BE ATTACHED - CIVIL CODE § SEC. 1180, et. seq.

DRAFT

EXHIBIT "A"

LEGAL DESCRIPTION

DRAFT

005430

EXHIBIT "A"

PARCEL 1: THAT PORTION OF RIGHT OF WAY LOTS 71 AND 72 OF MIDDLETOWN, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO THE PARTITION MAP OF SAID MIDDLETOWN, MADE BY J. E. JACKSON ON FILE IN THE OFFICE OF THE COUNTY CLERK OF THE SAID SAN DIEGO COUNTY, DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT ON THE SOUTH LINE OF NUTMEG STREET, DISTANT THEREON SOUTH $69^{\circ} 47' 50''$ WEST, 39 FEET FROM THE NORTHEAST CORNER OF SAID LOT 72; THENCE SOUTH $20^{\circ} 12' 10''$ EAST PARALLEL WITH AND 39 FEET DISTANT FROM THE EASTERLY LINE OF SAID LOTS 71 AND 72, A DISTANCE OF 100 FEET TO THE SOUTHERLY LINE OF SAID LOT 71; THENCE SOUTH $69^{\circ} 47' 50''$ WEST ALONG SAID SOUTHERLY LINE OF SAID LOT 71 A DISTANCE OF 41.35 FEET TO THE MEAN HIGH TIDE LINE OF BAY OF SAN DIEGO; THENCE ALONG SAID MEAN HIGH TIDE LINE NORTH $22^{\circ} 31' 10''$ WEST 91.20 FEET, AND NORTH $23^{\circ} 39'$ WEST 8.88 FEET TO SAID SOUTHERLY LINE OF NUTMEG STREET, THENCE NORTH $69^{\circ} 47' 50''$ EAST ALONG SAID SOUTHERLY LINE OF NUTMEG STREET 45.57 FEET TO THE POINT OF BEGINNING.

EXCEPTING THEREFROM THOSE PORTIONS NOW OR HERETOFORE LYING BELOW THE LINE OF THE ORDINARY HIGH TIDE OF THE BAY OF SAN DIEGO.

PARCEL 2:

THAT PORTION OF RIGHT OF WAY LOT 70 OF MIDDLETOWN, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO THE PARTITION MAP THEREOF MADE BY J. E. JACKSON ON FILE IN THE OFFICE OF THE COUNTY CLERK OF SAN DIEGO COUNTY, STATE OF CALIFORNIA, DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT IN THE NORTH LINE OF RIGHT OF WAY LOT 70 OF SAID MIDDLETOWN, DISTANT THEREON 39 FEET SOUTH $69^{\circ} 47' 50''$ WEST FROM THE NORTHEAST CORNER OF SAID LOT 70 AND RUNNING THENCE FROM SAID POINT OF BEGINNING ALONG A LINE PARALLEL WITH AND 39 FEET DISTANT WESTERLY AT RIGHT ANGLES FROM THE EASTERLY LINE OF SAID LOT 70, SOUTH $20^{\circ} 12' 10''$ EAST 50 FEET MORE OR LESS TO A POINT IN THE SOUTHERLY LINE OF SAID LOT 70, DISTANT THEREON 39 FEET SOUTH $69^{\circ} 47' 50''$ WEST FROM THE SOUTHEAST CORNER THEREOF; THENCE ALONG THE SOUTHERLY LINE OF SAID LOT 70 SOUTH $69^{\circ} 47' 50''$ WEST TO AN INTERSECTION WITH THE MEAN HIGH TIDE LINE OF THE BAY OF SAN DIEGO; THENCE ALONG SAID MEAN HIGH TIDE LINE IN A NORTHWESTERLY DIRECTION TO AN INTERSECTION WITH THE NORTHERLY LINE OF SAID LOT 70; THENCE ALONG THE NORTHERLY LINE OF SAID LOT 70 IN AN EASTERLY DIRECTION TO THE POINT OF BEGINNING.

005431

EXCEPTING THEREFROM THOSE PORTIONS NOW OR HERETOFORE LYING BELOW THE LINE OF THE ORDINARY HIGH TIDE OF THE BAY OF SAN DIEGO.

PARCEL 3:

ALL THOSE PORTIONS OF RIGHT OF WAY LOTS 70, 71, AND 72 OF MIDDLETOWN, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO THE PARTITION MAP OF SAID MIDDLETOWN, MADE BY J. E. JACKSON ON FILE IN THE OFFICE OF THE COUNTY CLERK OF SAID SAN DIEGO COUNTY, DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHEASTERLY CORNER OF SAID LOT 72; THENCE SOUTH $69^{\circ} 47' 50''$ WEST ALONG THE NORTHERLY LINE THEREOF 39.00 FEET TO THE NORTHEASTERLY CORNER OF LAND DESCRIBED UNDER PARCEL 1 OF DEED TO GEORGE F. WICK AND HOPE HAZARD WICK, HUSBAND AND WIFE AS COMMUNITY PROPERTY, RECORDED APRIL 6, 1961, AS FILE/PAGE NO. 59747, OFFICIAL RECORDS OF SAID SAN DIEGO COUNTY; THENCE SOUTH $20^{\circ} 09' 35''$ EAST ALONG THE EASTERLY LINE THEREOF TO AND ALONG THE EASTERLY LINE OF PARCEL 2 OF SAID WICK'S LAND, A TOTAL DISTANCE OF 150.10 FEET TO THE SOUTHERLY LINE OF SAID LOT 70; THENCE NORTH $69^{\circ} 47' 50''$ EAST ALONG SAID SOUTHERLY LINE 39.00 FEET TO THE SOUTHEASTERLY CORNER OF SAID LOT 70; THENCE NORTH $20^{\circ} 09' 35''$ WEST ALONG THE EASTERLY LINES OF SAID LOTS 70, 71 AND 72, A TOTAL DISTANCE OF 150.10 FEET TO THE POINT OF BEGINNING:

EXCEPTING THEREFROM THOSE PORTIONS NOW OR HERETOFORE LYING BELOW THE LINE OF THE ORDINARY HIGH TIDE LINE OF THE BAY OF SAN DIEGO.

APN: 533-011-01

EXHIBIT "B"

DRAWING OF REQUIRED IMPROVEMENTS

DRAFT

IMPROVEMENT PLAN FOR: 1215 W NUTMEG STREET

OWNER/APPLICANT

AARON MAGAGNA
3639 MIDWAY DRIVE, SUITE B132, SAN DIEGO, CA 92110
(619) 405-0298

SITE ADDRESS

1215 W. NUTMEG STREET, SAN DIEGO, CA 92101

LEGAL DESCRIPTION

ALL THOSE PORTIONS OF RIGHT OF WAY LOTS 70, 71, AND 72 MIDDLETOWN, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO THE PARTITION MAP OF SAID MIDDLETOWN, MADE BY J.E. JACKSON ON FILE IN THE OFFICE OF THE COUNTY CLERK OF THE SAID SAN DIEGO COUNTY.

ASSESSORS PARCEL NUMBER

433-011-01, 433-011-02 & 433-011-10

WORK TO BE DONE

THE IMPROVEMENTS CONSIST OF THE FOLLOWING WORK TO BE DONE ACCORDING TO THESE PLANS AND THE SPECIFICATIONS AND STANDARD DRAWINGS OF THE CITY OF SAN DIEGO.

STANDARD SPECIFICATIONS:

DOCUMENT NO.	DESCRIPTION
PWPI010119-01	STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (GREENBOOK), 2018 EDITION
PWPI010119-02	CITY OF SAN DIEGO STANDARD SPECIFICATIONS FOR PUBLICWORKS CONSTRUCTION (WHITEBOOK), 2021 EDITION
PWPI010119-04	CITYWIDE COMPUTER AIDED DESIGN AND DRAFTING (CADD) STANDARDS, 2021 EDITION
PWPI060121-10	CALIFORNIA DEPARTMENT OF TRANSPORTATION MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (REVISION 6), 2014 EDITION
PWPI030119-05	CALIFORNIA DEPARTMENT OF TRANSPORTATION U.S. CUSTOMARY STANDARD SPECIFICATIONS, 2018 EDITION

STANDARD DRAWINGS:

DOCUMENT NO.	DESCRIPTION
ECPI010122-03	CITY OF SAN DIEGO STANDARD DRAWINGS FOR PUBLIC WORKS CONSTRUCTION, 2021 EDITION
ECPI010122-03	CALIFORNIA DEPARTMENT OF TRANSPORTATION U.S. CUSTOMARY STANDARD PLANS, 2018 EDITION

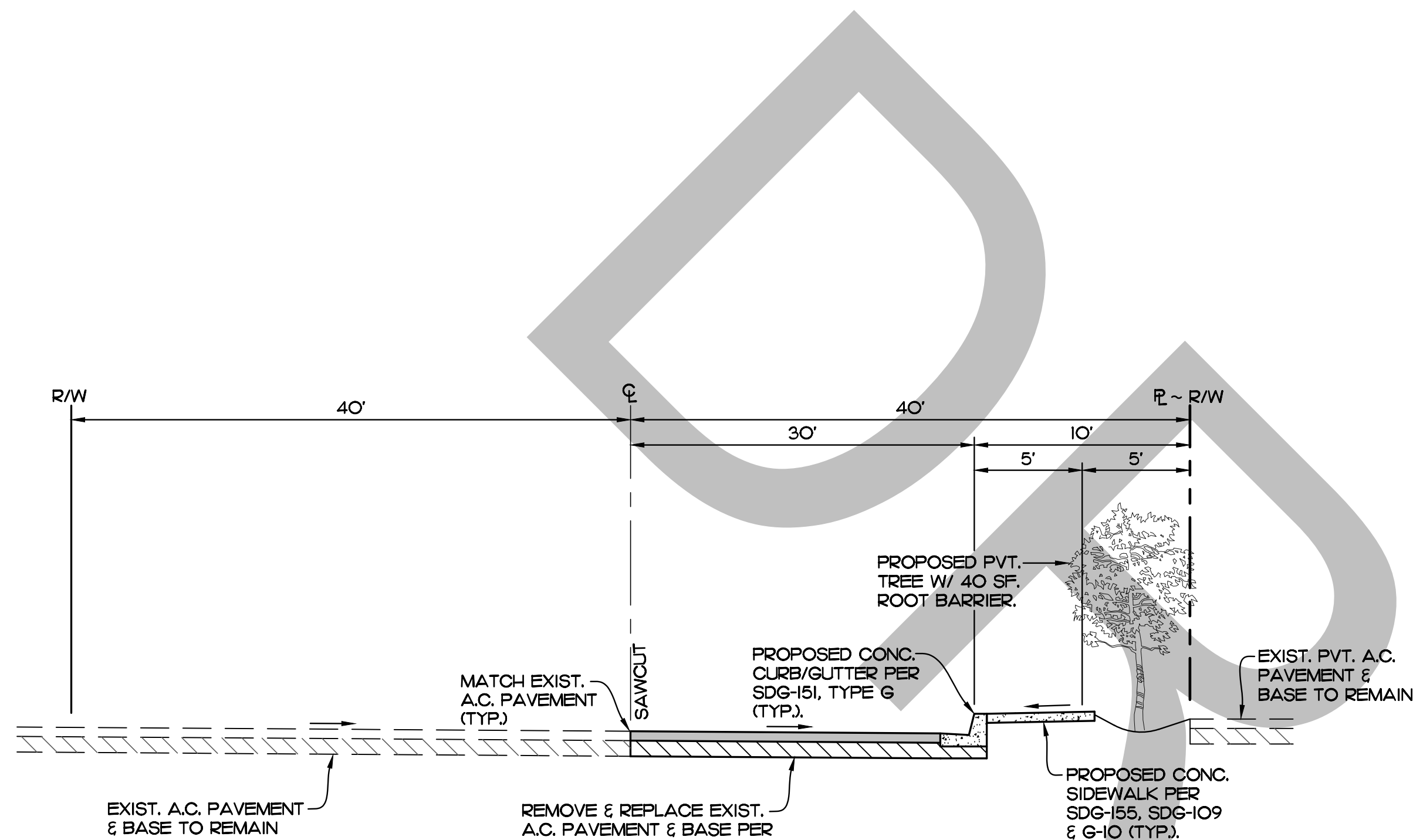
LEGEND

PROPOSED PRIVATE IMPROVEMENTS

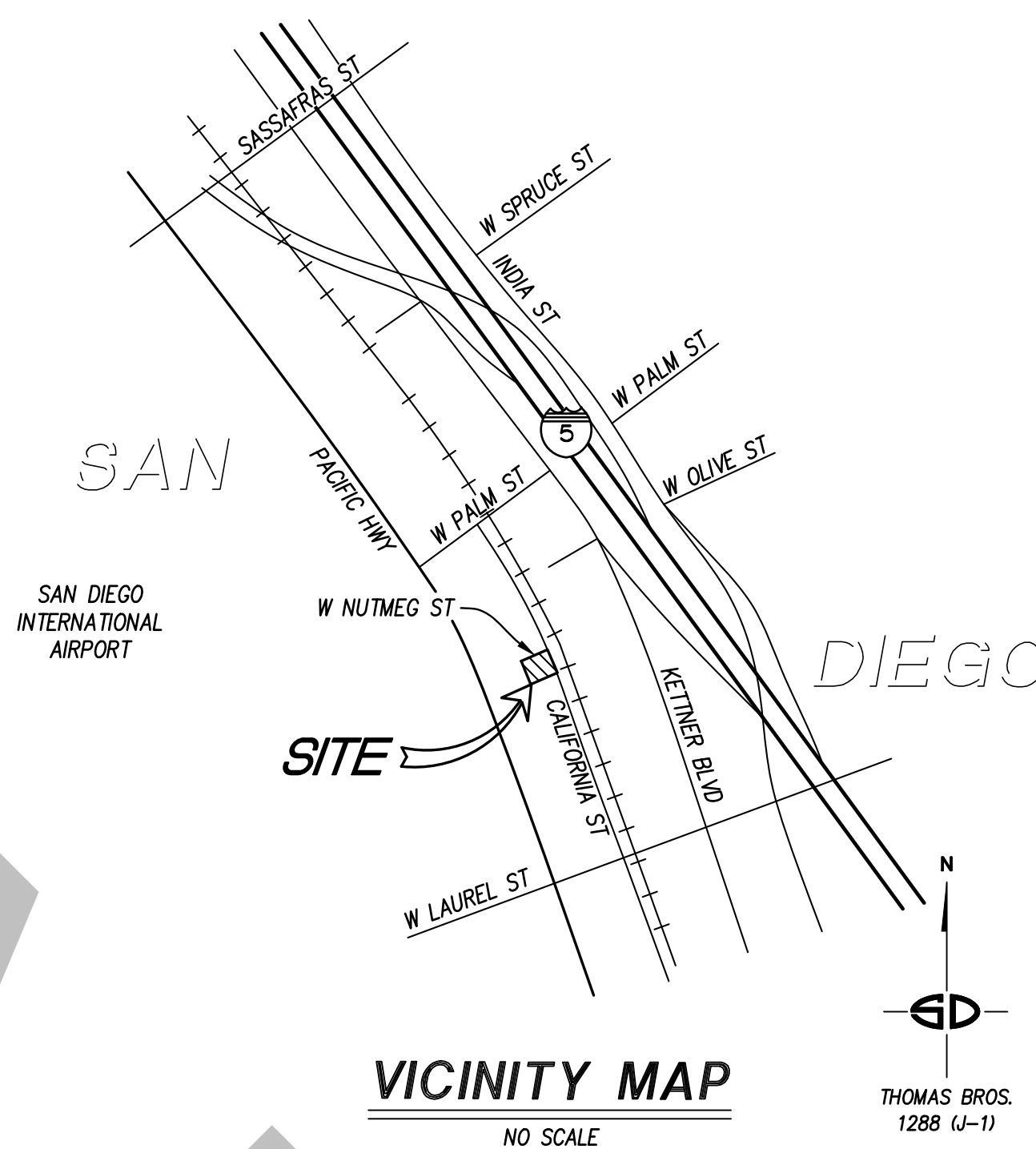
IMPROVEMENT	STANDARD DWGS.	SYMBOL	QUANTITIES
PROPOSED CONC. SIDEWALK	SDG-155, G-10		392.5 SF.
PROPOSED A.C. PAVEMENT & BASE	SDG-113, SCHEDULE J		2,573 SF.
PROPOSED A.C. GRIND & OVERLAY			269.5 SF.
PROPOSED 6" CONCRETE CURB/GUTTER TYPE G	SDG-151		93.5 LF.
PROPOSED CONCRETE DRIVEWAY (COMMERCIAL USE)	SDG-159		127.5 SF. (SIZE INDICATED ON PLAN)
PROPOSED PVT. 12" CATCH BASIN			2 EA.
PROPOSED PVT. STORM DRAIN CLEANOUT			1 EA.
PROPOSED PVT. 4" PVC SDR-35 STORM DRAIN			82.5 LF.
PROPOSED PVT. TREE W/ 40 SF. ROOT BARRIER			2 EA.
SAWCUT			132.5 LF.
DIRECTION OF DRAINAGE			

EXISTING IMPROVEMENTS

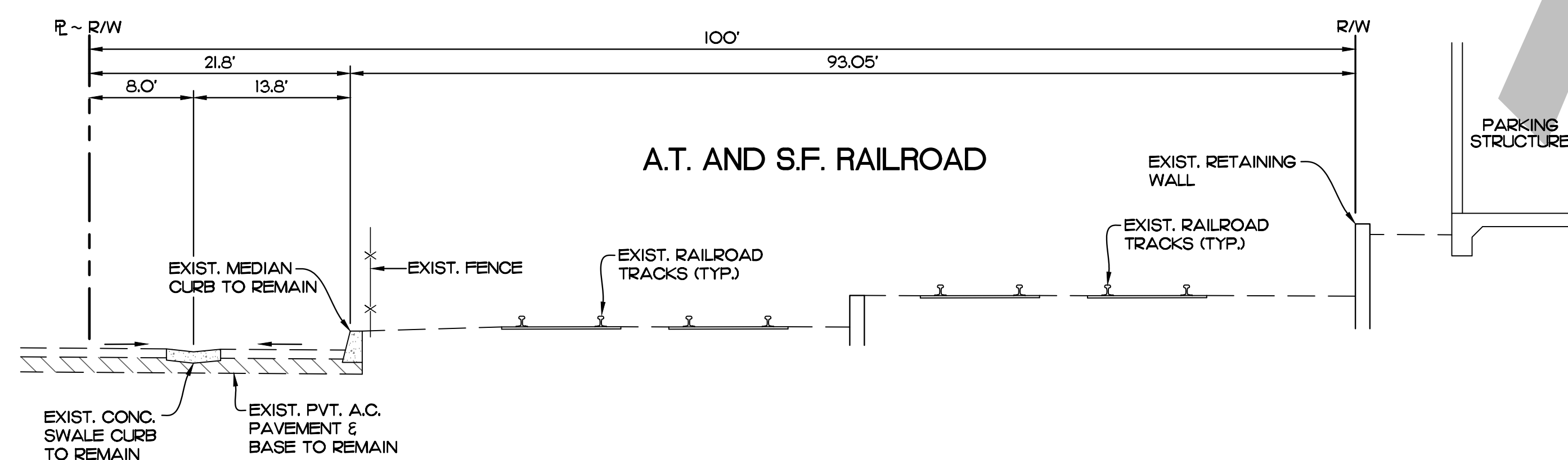
IMPROVEMENT	SYMBOL
EXIST. ASPHALT SURFACE	
EXIST. CONC. CURB	
EXIST. CATCH BASIN	
EXIST. FENCE	
RIGHT-OF-WAY	
PROPERTY LINE	
CENTERLINE	



TYPICAL SECTION - NUTMEG STREET
NO SCALE



VICINITY MAP
NO SCALE



TYPICAL SECTION - CALIFORNIA STREET
NO SCALE

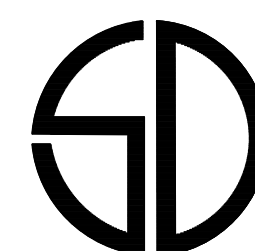
CUP PRJ-1054172, I.O. NO. 24009185

PRIVATE CONTRACT

WARNING
0 1/2 1
IF THIS BAR DOES NOT MEASURE 1" THEN DRAWING IS NOT TO SCALE.

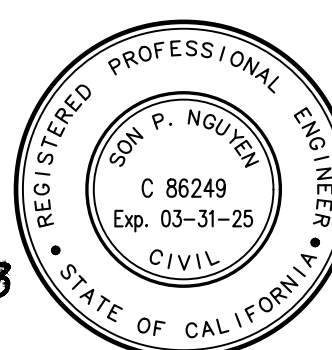
IMPROVEMENT PLAN FOR:
1215 W NUTMEG STREET CUP
W/O CALIFORNIA STREET

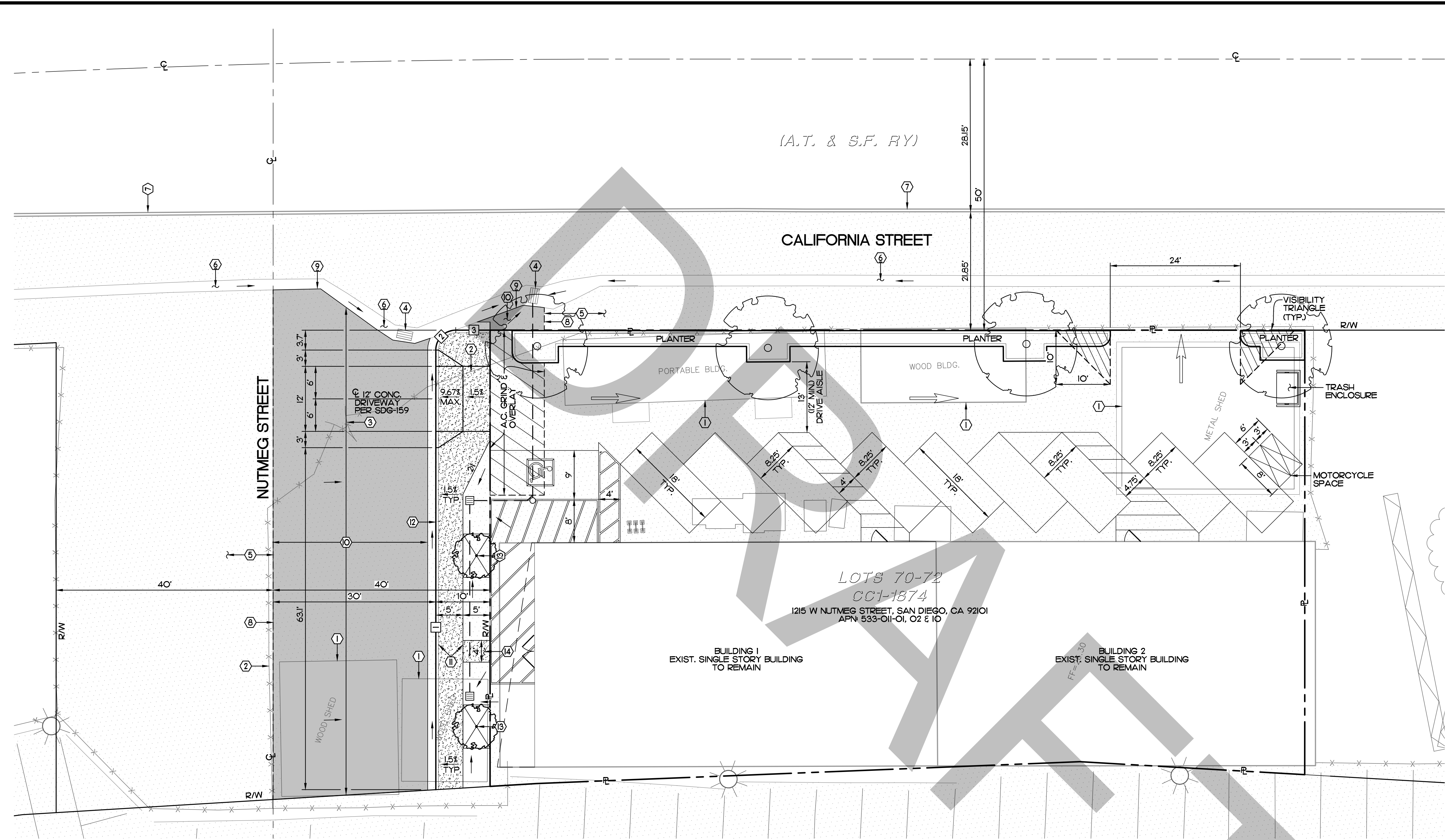
The City of SAN DIEGO	DEVELOPMENT SERVICES DEPARTMENT SHEET 1 OF 2 SHEETS		PMT NO. _____
	FOR CITY APPROVAL		PRJ NO. _____
APPROVED:	FOR CITY ENGINEER _____	DATE _____	18.46-6275 NAD83 COORDINATES
DESCRIPTION	BY	APPROVED	DATE
ORIGINAL	SDA		
AS BUILTS			
CONTRACTOR	DATE STARTED	DRAWING NO. 206-1715 LAMBERT COORDINATES	
INSPECTOR	DATE COMPLETED	DRAWING NO. C001	



ENGINEER OF WORK
Snipes-Dye associates
civil engineers and land surveyors
8348 CENTER DRIVE, STE. G, LA MESA, CA 91942
TELEPHONE (619) 697-9234 FAX (619) 460-2033

Tom P. Nguyen 2/14/23
SON P. NGUYEN R.C.E. 86249
EXPIRES 03-31-25





- ### KEY NOTES
- ① EXIST. STRUCTURES TO BE REMOVED.
 - ② EXIST. FENCE TO BE REMOVED.
 - ③ EXIST. GATE TO BE REMOVED.
 - ④ EXIST. CATCH BASIN TO REMAIN.
 - ⑤ EXIST. A.C. PAVEMENT TO REMAIN (TYP.).
 - ⑥ EXIST. CONC. SWALE TO REMAIN (TYP.).
 - ⑦ EXIST. CONC. CURB TO REMAIN (TYP.).
 - ⑧ SAWCUT & MATCH EXIST. PAVEMENT (TYP.).
 - ⑨ MATCH EXIST. PAVEMENT (TYP.).
 - ⑩ REMOVE & REPLACE EXIST. A.C. PAVEMENT & BASE PER SDG-113, SCHEDULE J (TYP.).
 - ⑪ PROPOSED CONC. SIDEWALK PER SDG-155, SDG-109 & G-10 (TYP.).
 - ⑫ PROPOSED CONC. CURB/GUTTER PER SDG-151, TYPE G (TYP.).
 - ⑬ PROPOSED PVT. TREE W/ 40 SF. ROOT BARRIER.
 - ⑭ PROPOSED PVT. PEDESTRIAN WALKWAY 4" MIN. THICKNESS, 520-C-2500 CONCRETE.

CAUTION:
 LOCATION OF EXISTING UTILITIES ON THIS PLAN ARE APPROXIMATE AND SHALL BE VERIFIED BY CONTRACTOR PRIOR TO CONSTRUCTION.

(A.T. & S.F. RY)

CALIFORNIA STREET

NUTMEG STREET

LOTS 70-72
 CC-1874
 125 W NUTMEG STREET, SAN DIEGO, CA 92101
 APN 533-011-01, 02 & 10

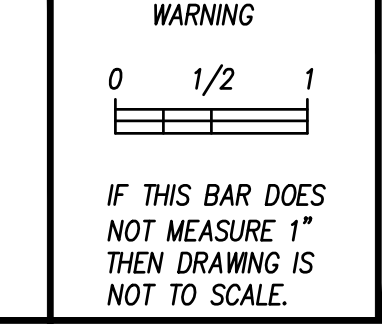
EXIST. BUILDING 1
 SINGLE STORY BUILDING
 TO REMAIN

EXIST. BUILDING 2
 SINGLE STORY BUILDING
 TO REMAIN

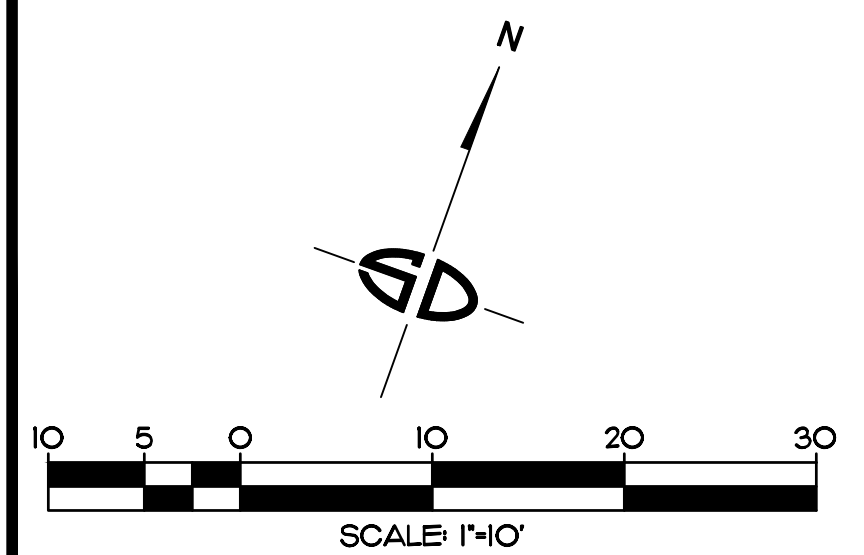
CUP PRJ-1054172, I.O. NO. 24009185

CURB/GUTTER DATA				
NO.	DELTA/BRG	RADIUS	LENGTH	REMARK
1	N 70°17'04" E	--	81.09'	6" CURB/GUTTER PER SDG-151, TYPE G
2	Δ 90°00'00"	3.67'	5.76'	6" CURB/GUTTER PER SDG-151, TYPE G
3	N 19°42'56" W	--	6.33'	6" CURB/GUTTER PER SDG-151, TYPE G

PRIVATE CONTRACT



IMPROVEMENT PLAN FOR:
1215 W NUTMEG STREET CUP
 W/O CALIFORNIA STREET



ENGINEER OF WORK
Snipes-Dye associates
 civil engineers and land surveyors
 8348 CENTER DRIVE, STE. G, LA MESA, CA 91942
 TELEPHONE (619) 697-9234 FAX (619) 460-2033
 Son P. Nguyen 2/14/23
 SON P. NGUYEN R.C.E. 86249
 EXPIRES 03-31-25



The City of
SAN DIEGO
 FOR CITY APPROVAL

DEVELOPMENT SERVICES DEPARTMENT				PMT NO. _____
SHEET 2 OF 2 SHEETS				PRJ NO. _____
FOR CITY ENGINEER		DATE		18.46-6275 NAD83 COORDINATES
DESCRIPTION	BY	APPROVED	DATE	
ORIGINAL	SDA			206-1715 LAMBERT COORDINATES
AS BUILTS				
CONTRACTOR		DATE STARTED		DRAWING NO. -2-D C002
INSPECTOR		DATE COMPLETED		

EXHIBIT "C"

DESCRIPTION OF REQUIRED IMPROVEMENTS

DRAFT

1215 W NUTMEG STREET IMPROVEMENTS

SNIPES-DYE ASSOCIATES
 8348 CENTER DR, SUITE G
 LA MESA, CA 91942
 (619) 697-9234
 (619) 460-2033

INTERNAL ORDER NO: XXXXXXXX
 DRAWING NO: XXXXX-D
 PROJECT NO: XXXXXX
 0

DESCRIPTION	UNIT	LUMP SUM	TOTAL QUANTITY	UNIT PRICE	TOTAL COST
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SECTION 3-SURFACE IMPROVEMENTS

CURB AND GUTTER

6" CURB & GUTTER PER G-2 (TYPE G)	LF		93.50	\$ 22.00	\$ 2,057
SUBTOTAL:					\$ 2,057

PAVEMENT

PAVEMENT DESIGN, PER SDG-113 (SCHEDULE J)	SF		2573.00	\$ 8.40	\$ 21,613
AC PAVEMENT REMOVAL	SF		3,547	\$ 3.36	\$ 11,918
SUBTOTAL:					\$ 33,531

CURB RAMPS & SIDEWALK

4" PCC SIDEWALK, PER G-7	SF		393	\$ 8.00	\$ 3,140
SUBTOTAL:					\$ 3,140

MISCELLANEOUS SURFACE IMPROVEMENTS

DRIVEWAY, PER G-14A,B,C, & SDG-114	SF		127.50	\$ 11.55	\$ 1,473
SUBTOTAL:					\$ 1,473

SECTION 3 TOTAL: \$ 40,201

SECTION 6-MISCELLANEOUS

MISCELLANEOUS ITEMS

SAW CUT EXISTING (AC/PCC)	LF		143.00	\$ 5.12	\$ 732
SUBTOTAL:					\$ 732

SECTION 6 TOTAL: \$ 732

SECTION 7-LANDSCAPE & IRRIGATION

LANDSCAPE PLANTING

TREE (24" BOX)	EA		2	\$ 250.00	\$ 500
SUBTOTAL:					\$ 500
SECTION 7 TOTAL: \$ 500					

SECTION 8-PRIVATE DRAINAGE

PRIVATE PVC/CMPHDPE CULVERTS

4"-6" PVC STORM DRAIN	LF		82.50	\$ 26.00	\$ 2,145.00
SUBTOTAL:					\$ 2,145.00

MISCELLANEOUS PRIVATE DRAINAGE

12"x12" BOX INLET	EA		1.00	\$ 2,400.00	\$ 2,400.00
SD CLEANOUT	EA		1.00	\$ 250.00	\$ 250.00
CONNECT TO EXIST. S.D.	EA		1.00	\$ 320.00	\$ 320.00
AC GRIND & OVERLAY	SF		304.50	\$ 0.74	\$ 225.33
SUBTOTAL:					\$ 3,195.33

SECTION 8 TOTAL: \$ 5,340

EXHIBIT "D"

COST ESTIMATE

DRAFT

CITY OF SAN DIEGO-BOND ESTIMATE TEMPLATE

1215 W NUTMEG STREET IMPROVEMENTS

INTERNAL ORDER NO: XXXXXX

SNIPES-DYE ASSOCIATES
8348 CENTER DR, SUITE G
LA MESA, CA 91942

(619) 697-9234 (Phone)
(619) 460-2033 (Fax)

DRAWING NO: XXXXX-D
PROJECT NO: XXXXXX

PUBLIC IMPROVEMENT TOTALS

DRAINAGE IMPROVEMENTS.....	\$	-
WATER & WASTEWATER UTILITIES.....	\$	-
SURFACE IMPROVEMENTS.....	\$	40,201
TRAFFIC.....	\$	-
MISCELLANEOUS.....	\$	732
SUBTOTAL - IMPROVEMENTS.....	\$	40,933
TRAFFIC CONTROL..... (5% of Subtotal-Improvements)	\$	2,047
TOTAL PUBLIC IMPROVEMENTS (w/o Contingency).....	\$	42,980
10% Contingency.....	\$	4,298
TOTAL PUBLIC IMPROVEMENT:	\$	47,278

Son P. Nguyen
Engineer of Work

Date: 2-9-23

RCE Expiration: 3-31-23

LAND DEVELOPMENT TOTALS

EARTHWORK TOTAL.....	\$	-
100% of First \$5,000 of Earthwork Total.....	\$	-
50% of Earthwork Total from \$5,000 to \$50,000.....	\$	-
25% of of Earthwork Total Over \$50,000.....	\$	-
PRIVATE DRAINAGE IMPROVEMENTS.....	\$	5,340
LANDSCAPE & IRRIGATION TOTAL.....	\$	500
50% of Landscape & Irrigation Total.....	\$	250
#VALUE!	\$	870
TOTAL LAND DEVELOPMENT:	\$	1,120



RCE SEAL

COST ESTIMATE-LDR: \$ 49,689

TOTAL BOND AMOUNT: \$ 53,737

INITIAL INSPECTION DEPOSIT: \$ 3,700

Bond Required: A Bond in the amount of \$ 53,737 is required per San Diego Municipal Code Section 129.0119.

Control Engineer: _____ Date: _____

Bond Waived: The Bond requirement is waived.

Control Engineer: _____ Date: _____

Note: Unit prices are based on available City of San Diego Land Development Review Division, Cost Estimate Unit Price List, January 2009.

(THIS TEMPLATE IS CURRENT TO 12/21/09)

EXHIBIT "E"

FINANCIAL SURETY

TO BE DETERMINED DURING MINISTERIAL REVIEW

DRAFT