



THE CITY OF SAN DIEGO

Report to the Hearing Officer

DATE ISSUED: April 26, 2023 REPORT NO. HO-23-021

HEARING DATE: May 10, 2023

SUBJECT: VINES. Process Three Decision

PROJECT NUMBER: [696766](#)

OWNER/APPLICANT: Vines Family Trust

SUMMARY

Issue: Should the Hearing Officer approve the remodel of an existing two-story, 4,042-square-foot single dwelling unit and the construction of a two-story, 1,987-square-foot addition located at 8457 Prestwick Drive in the La Jolla Community Plan and Local Coastal Program area?

Staff Recommendation: Approve an application for Coastal Development Permit No. 2583828 and Site Development Permit No. 2583866.

Community Planning Group Recommendations: On May 5, 2022, the La Jolla Community Planning Association voted 15/0/1 (Chair abstaining) to recommend approval of the proposed project without recommendations.

On February 16, 2022, the La Jolla Shores Planned District Advisory Board voted 4/0/0 to recommend approval of the proposed project without recommendations.

Environmental Review: This project was determined to be categorically exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA section 15301 (e)(1), Existing Facilities. This project is not pending an appeal of the environmental determination. The environmental exemption determination for this project was made on April 13, 2023, and the opportunity to appeal that determination ended April 27, 2023.

BACKGROUND

The 0.46-acre project site is located at 8457 Prestwick Drive, in the La Jolla Shores Planned District-Single Family (LJSPD-SF) Base Zone, Coastal (Non-Appealable), Coastal Height Limitation, Geologic Formations / Paleontology (Ardath Shale & Very old paralic deposits, Unit 11), Geologic Hazards (26 & 53), Sensitive Vegetation, Steep Slopes, Parking Impact (Coastal & Campus), and Fire: Brush

Management; Brush Zones with 300 Foot Buffer; Very High Fire Hazard Severity Overlay Zones of the La Jolla Community Plan and Local Coastal Program Land Use Plan (Community Plan). The site is currently developed with an existing 4,042-square-foot dwelling, with attached three-car garage. The development proposes to remodel the existing dwelling and construct an addition of 1,987 square feet to existing first and second stories.

The Community Plan land use designation for the site is Residential Very Low Density (0-5 dwelling units per acre). The 0.46-acre site could yield one to two dwelling units based on the land use designation. The proposed project with one existing dwelling unit to be remodeled and the construction of a two-story addition is consistent with the land use. Further, the site is within the La Jolla Shores Planned District-Single Family (LJSPD-SF) Base Zone. The LJSPD-SF density regulation states, "...no lot or parcel shall be developed or occupied by more dwelling units than the average dwelling unit density (units per acre) of the developed SF Zone within 300 feet." The project vicinity is developed with one and two-story single dwelling units, limiting the proposed development to one dwelling unit. Further, the site contains Environmentally Sensitive Lands as defined by SDMC Section 143.0110 in the form of Sensitive Vegetation - Diegan Coastal Sage Scrub, Steep Hillside and Brush Management.

DISCUSSION

Project Discussion

The proposed project is the remodel of an existing two-story 4,042-square-foot single dwelling unit and the construction of a two-story, 1,987-square-foot addition with on-site parking. A portion of the site was previously graded for the development of the existing dwelling, hardscape, and landscape. The elevation of the graded portion of the site is 350.0 feet average median sea level (AMSL) in the front yard to 355.5 feet AMSL in the usable rear yard area. Vegetated steep slope is also onsite, falling from 355.5 feet AMSL in the rear yard to a low point of 285 feet AMSL at the northeast corner of the site. The site contains Environmentally Sensitive Lands as defined by SDMC Section 143.0110 in the form of Sensitive Vegetation - Diegan Coastal Sage Scrub, Steep Hillside and Brush Management. The project will be conditioned to record a Covenant of Easement over the ESL portion of the site. The covenant is designed to ensure preservation of the steep slopes and sensitive vegetation in its natural state.

The site is within the Fire: Brush Management, Brush Zones with 300 Foot Buffer, and Very High Fire Hazard Severity Overlay Zones. A Brush Management plan has been developed for the site. Brush Management Zone One shall extend from the existing dwelling out to the top of slope a distance of 33 to 35 linear feet. Brush Management Zone Two shall extend from the top of slope out towards the property line for a distance of 65-73 linear feet. Plants within Zone One shall be primarily low-growing, low-fuel, and fire-resistive with the exception of trees, which shall be located at least 10 feet away from structures. Structures in Zone One shall be of noncombustible, one-hour fire-rated or Type IV heavy timber construction. Brush Management Zone Two shall be trimmed to reduce fuel load consistent with the San Diego Municipal Code Landscape Standards and maintained seasonally to minimize the potential damage or loss of property from brush fires and other natural hazards such as erosion and slope failures.

The LJSPD-SF base zone does not include prescriptive setbacks but rather requires development to be in general conformity to the building setbacks in the 300-foot vicinity of the site. In accordance

with the survey of area setbacks the project shall observe a front setback of 26.6 feet, where the dwellings in the vicinity range from 4.5 feet to 34.3 feet. Side setbacks of 11.6 feet and 10.3 feet, where dwellings in the vicinity range from 0.5 feet to 31.8 feet. The proposed Floor Area Ratio (FAR) of the dwelling is 0.30, whereas the dwellings in the vicinity range from 0.14 FAR to 0.36 FAR. The proposed setbacks and FAR are in conformity with those in the vicinity, in accordance with the LJSPD regulations. The proposed maximum building height is 29 feet, below the Coastal Height Limit maximum of 30 feet.

The dwelling onsite was constructed in 1970 but is not an individually designated resource or located within a designated historic district. Consistent with SDMC Section 143.0212 all structures 45 years old or older are reviewed to determine whether a potentially significant historical resource exists on site. The dwelling at 8457 Prestwick Drive does not meet local designation criteria as an individually significant resource under any adopted Historical Resources Board Criteria and no historical research report was required.

Community Plan Analysis,

Community Plan Residential Element Goals include, "provide a high-quality residential environment in La Jolla that respects its relationship to the sea, to hillsides and to open space." The remodel and two-story addition to the existing dwelling is designed to avoid encroachment onto the environmentally sensitive lands. Further, the project will be conditioned to record a Covenant of Easement over the ESL portion of the site. The covenant is designed to ensure preservation of the steep slopes and sensitive vegetation in its natural state. The project avoidance and preservation of the steep slope and sensitive vegetation is consistent with the Community Plan Residential Goal.

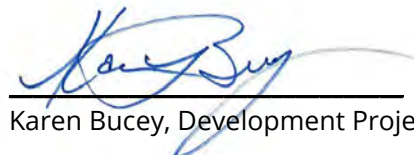
Conclusion

The project does not propose or require any deviations or variances. Review of the project by the Community Planning Groups and multiple-disciplinary review team has found the proposed project consistent with the Community Plan goals and land use, as well as in conformance to implementing zoning and development regulations. The project will protect the onsite Environmentally Sensitive Lands in the form of steep slope and sensitive vegetation through the recordation of a covenant of easement and adherence to a brush management plan for reducing fire load, reduction of non-native vegetation, and seasonal maintenance.

ALTERNATIVES

1. Approve Coastal Development Permit No. 2583828 and Site Development Permit No. 2583866, with modifications.
2. Deny Coastal Development Permit No. 2583828 and Site Development Permit No. 2583866, if the findings required to approve the project cannot be affirmed.

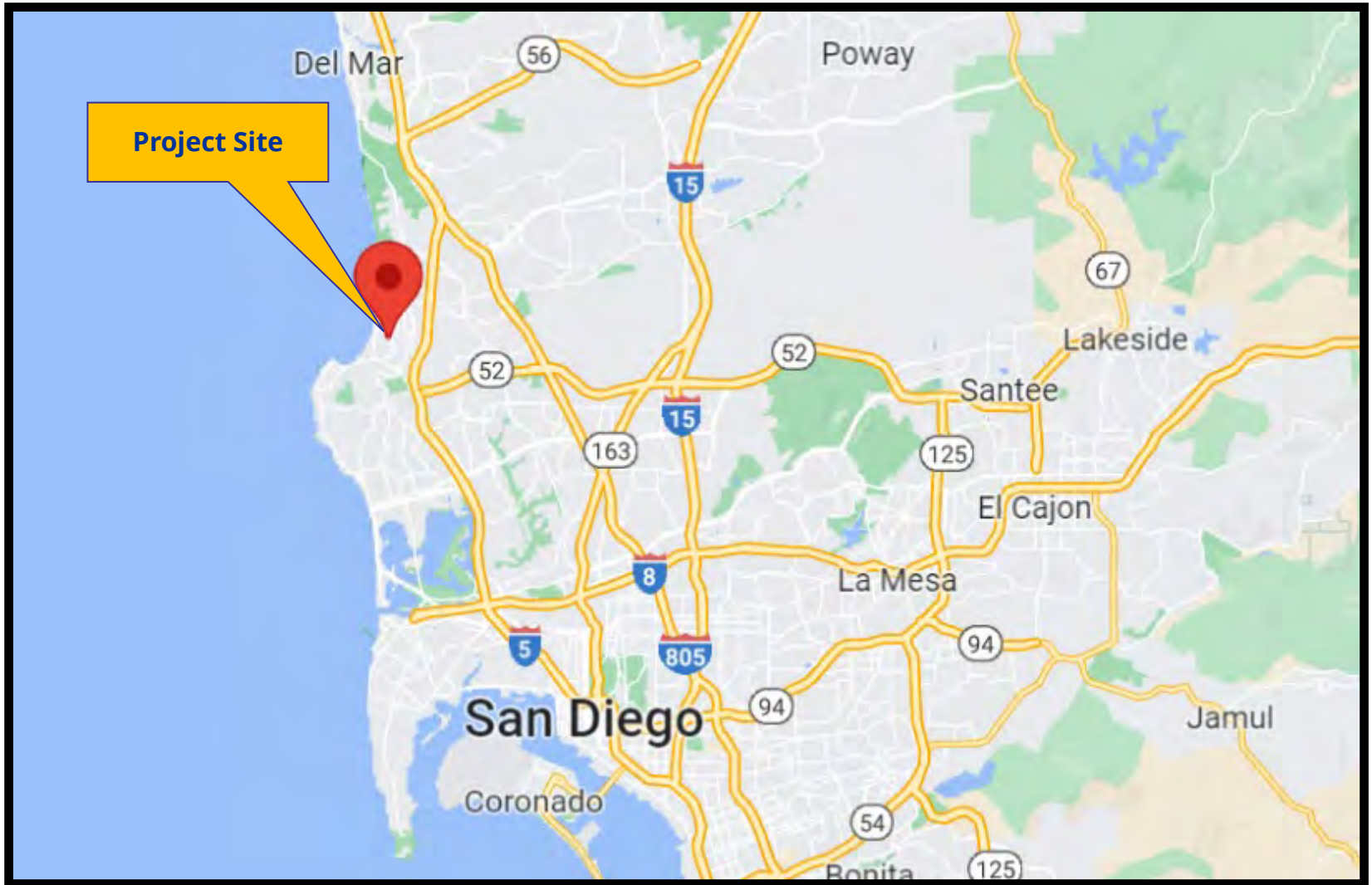
Respectfully submitted,



Karen Bucey, Development Project Manager

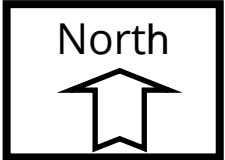
Attachments:

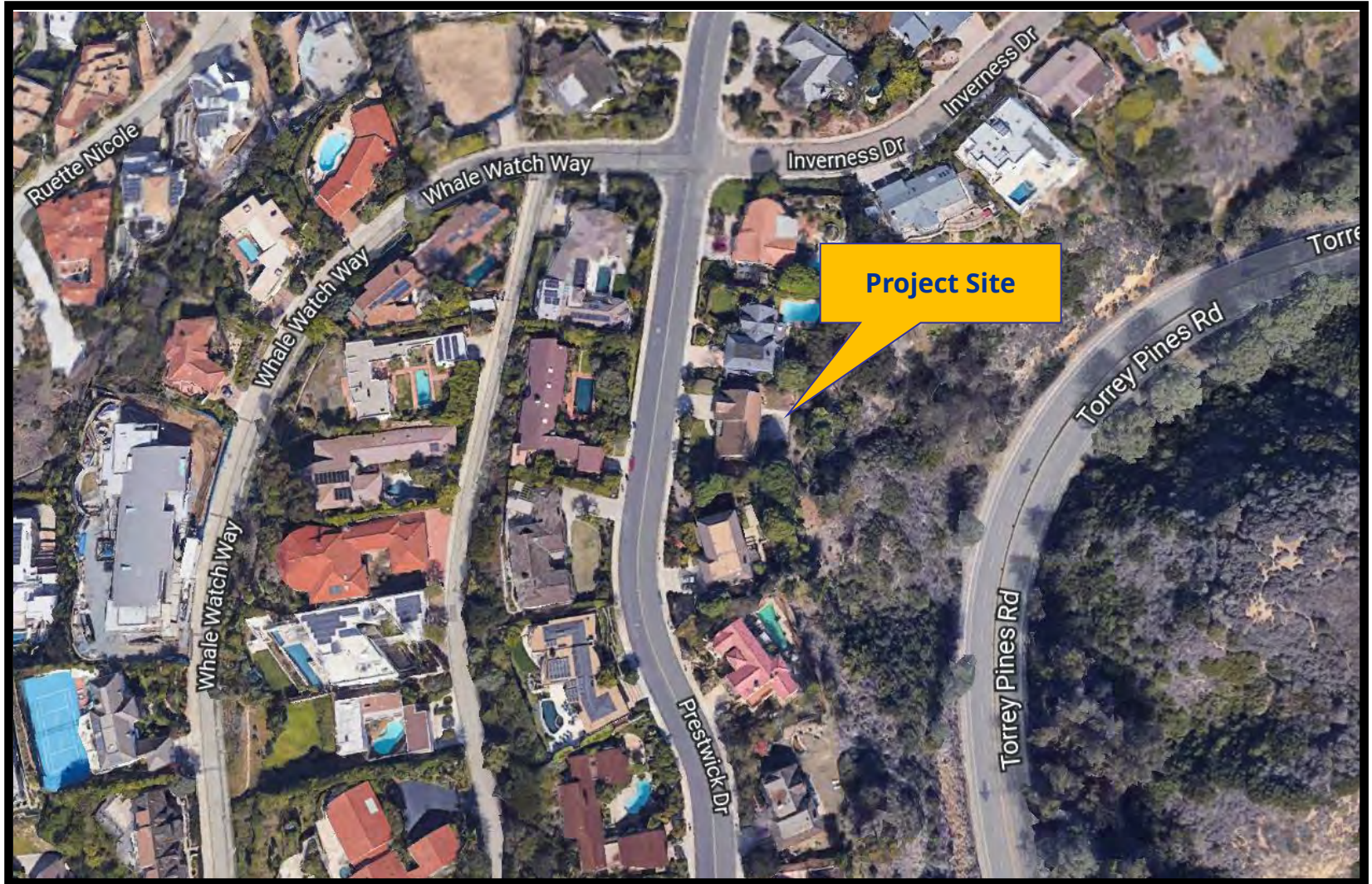
1. Project Location Map
2. Aerial Photograph
3. Draft Resolution
4. Draft Permit
5. NORA Environmental Exemption
6. La Jolla Community Planning Association Recommendation
7. La Jolla Shores Advisory Board Recommendation
8. Ownership Disclosure Statement
9. Project Plans



Project Location Map

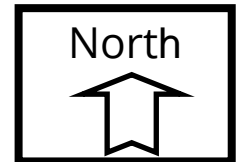
Vines CDP/SDP; Project No. 696766
8457 Prestwick Drive





Aerial Photo

Vines CDP/SDP; Project No. 696766
8457 Prestwick Drive



HEARING OFFICER RESOLUTION NO. _____
COASTAL DEVELOPMENT PERMIT NO. 2583828
SITE DEVELOPMENT PERMIT NO. 2583866
VINES PROJECT NO. 696766

WHEREAS, Vines Family Trust, Owner/Permittee, filed an application with the City of San Diego for permits to remodel an existing two-story, 4,042-square-foot single dwelling unit and the construction of a two-story, 2,230-square-foot addition (as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Permit No.'s 2583828 and 2583866) on portions of a 0.46-acre site;

WHEREAS, the project site is located at 8457 Prestwick Drive in the La Jolla Shores Planned District-Single Family (LJSPD-SF) Base Zone, Coastal (Non-Appealable), Coastal Height Limitation, Parking Impact (Coastal & Campus), and Fire: Brush Management Overlay Zones, of the La Jolla Community Plan and Local Coastal Program;

WHEREAS, the project site is legally described as: The real property in the City of San Diego, County of San Diego, State of California, described as: Lot 47 of Prestwick Estates Unit No. 1, in the City of San Diego, County of San Diego, State of California according to Map thereof No. 4392, filed In the Office of the County Recorder of San Diego, November 13, 1959.

WHEREAS, on April 13, 2023, the City of San Diego, as Lead Agency, through the Development Services Department, made and issued an Environmental Determination that the project is exempt from the California Environmental Quality Act (CEQA) (Public Resources Code Section 21000 et seq.) under CEQA Guideline Section 15301(e)(1);

WHEREAS, on May 10, 2023, the Hearing Officer of the City of San Diego considered Coastal Development Permit No. 2583828 and Site Development Permit No. 2583866 pursuant to the Land Development Code of the City of San Diego; NOW, THEREFORE,

BE IT RESOLVED by the Hearing Officer of the City of San Diego, that it adopts the following findings with respect to Coastal Development Permit No. 2583828 and Site Development Permit No. 2583866:

A. COASTAL DEVELOPMENT PERMIT (SDMC Section 126.0708)

1. Findings for all Coastal Development Permits:

- a. The proposed coastal development will not encroach upon any existing physical accessway that is legally used by the public or any proposed public accessway identified in a Local Coastal Program land use plan; and the proposed coastal development will enhance and protect public views to and along the ocean and other scenic coastal areas as specified in the Local Coastal Program land use plan.**

The 0.46-acre project site is located at 8457 Prestwick Drive, in the La Jolla Shores Planned District-Single Family (LJSPD-SF) Base Zone, Coastal (Non-Appealable), Coastal Height Limitation, Steep Slopes, Parking Impact (Coastal & Campus), and Fire: Brush Management Overlay Zones of the La Jolla Community Plan and Local Coastal Program Land Use Plan (Community Plan). The site is currently developed with an existing 4,042-square-foot dwelling unit, with attached three-car garage. The development proposes to remodel the existing dwelling unit and construct an addition of 2,656-square-foot addition to existing first and second stories.

The proposed development is located upslope, 0.5 miles from the sea and Kellogg Park-La Jolla Shores Beach, the nearest public access way and does not contain a view corridor/scenic overlook. The site does not contain any physical accessway or scenic overlook used by the public or any proposed public accessway identified in the Community Plan. Therefore, the proposed coastal development will not encroach upon any existing physical accessway that is legally used by the public or any proposed public accessway identified in a Local Coastal Program land use plan; and the proposed coastal development will enhance and protect public views to and along the ocean and other scenic coastal areas as specified in the Local Coastal Program land use plan.

- b. The proposed coastal development will not affect environmentally sensitive lands.**

A portion of the site was previously graded for the existing two-story 4,042 square foot single dwelling, hardscape, and landscape. The elevation of the graded portion of the site is 350.0 feet average median sea level (AMSL) in the front yard to 355.5 feet AMSL in the usable rear yard area. Vegetated steep slope is also onsite, falling from 355.5 feet AMSL in the rear yard to a low point of 285 feet AMSL at the northeast corner of the site. The site contains Environmentally Sensitive Lands as defined by SDMC Section 143.0110 in the form of Sensitive Vegetation - Diegan Coastal Sage Scrub, Steep Hillside and Brush Management.

Community Plan Residential Element Goals include, “provide a high-quality residential environment in La Jolla that respects its relationship to the sea, to hillsides and to open space.” The remodel and two-story addition to the existing dwelling unit is designed to avoid encroachment onto ESL. Further, the project will be conditioned to record a Covenant of Easement over the ESL portion of the site. The covenant is designed to ensure preservation of the steep slopes and sensitive vegetation in its natural state. The project avoidance and preservation of the steep slope and sensitive vegetation is consistent with the Community Plan Residential Goal.

The site is within the Fire: Brush Management, Brush Zones with 300 Foot Buffer, and Very High Fire Hazard Severity Overlay Zones. A Brush Management plan has been developed for the site. Brush Management Zone One shall extend from the existing dwelling out to the top of slope, a distance of 33 to 35 linear feet. Brush Management Zone Two shall extend from the top of slope out towards the property line, a distance of 65-73 linear feet. Plants within Zone One shall be primarily low-growing, low-fuel, and fire-resistive, with the exception of trees, which shall be located at least 10 feet away from structures. Structures in Zone One shall be of noncombustible, one-hour fire-rated or Type IV heavy timber construction. Brush Management Zone Two shall be trimmed to reduce fuel load consistent with the San Diego Municipal Code Landscape Standards and maintained seasonally to minimize the potential damage or loss of property from brush fires and other natural hazards such as erosion and slope failures.

The project avoidance, preservation of slopes and natural vegetation, and ongoing brush management will assure the proposed coastal development will not affect environmentally sensitive lands.

c. The proposed coastal development is in conformity with the certified Local Coastal Program land use plan and complies with all regulations of the certified Implementation Program.

The Community Plan land use designation for the site is Residential Very Low Density (0-5 dwelling units per acre). The 0.46-acre site could yield one to two dwelling units based on the land use designation. The proposed project with one existing dwelling unit to be remodeled and the construction of a two-story addition is consistent with the land use. Further, the site is within the La Jolla Shores Planned District-Single Family (LJSPD-SF) Base Zone. The LJSPD-SF density regulation states, “...no lot or parcel shall be developed or occupied by more dwelling units than the average dwelling unit density (units per acre) of the developed SF Zone within 300 feet.” The project vicinity is developed with one and two-story single dwelling units, limiting the proposed development to one dwelling unit.

The Community Plan Residential Element, Community Character Policies include: “The City should apply the development recommendations ... in order avoid extreme and intrusive changes to the residential scale of La Jolla's neighborhoods and to promote good design and harmony within the visual relationships and transitions

between new and older structures.”

The LJSPD-SF base zone does not include prescriptive setbacks but rather requires development to be in general conformity to the building setbacks in the 300-foot vicinity of the site. In accordance with the survey of area setbacks the project shall observe a front setback of 26.6 feet, where the dwellings in the vicinity range from 4.5 feet to 34.3 feet. Side setbacks of 11.6 feet and 10.3 feet, where dwellings in the vicinity range from 0.5 feet to 31.8 feet. The proposed Floor Area Ratio (FAR) of the dwelling is 0.31, whereas the dwellings in the vicinity range from 0.14 FAR to 0.36 FAR. The proposed setbacks and FAR are in conformity with those in the vicinity, in accordance with the LJSPD regulations. The proposed maximum building height is 29 feet, below the Coastal Height Limit maximum of 30 feet.

The dwelling onsite was constructed in 1970 but is not an individually designated resource or located within a designated historic district. Consistent with SDMC Section 143.0212 all structures 45 years old or older are reviewed to determine whether a potentially significant historical resource exists on site. The dwelling at 8457 Prestwick Drive does not meet local designation criteria as an individually significant resource under any adopted Historical Resources Board Criteria and no historical research report was required.

The project as proposed is in conformance with the Community Plan land use, and SDMC regulations for density, setbacks, FAR, and coastal height. Further the structures onsite were determined not to meet local historic designation criteria. Therefore, proposed coastal development is in conformity with the certified Local Coastal Program land use plan and complies with all regulations of the certified Implementation Program.

- d. For every Coastal Development Permit issued for any coastal development between the nearest public road and the sea or the shoreline of any body of water located within the Coastal Overlay Zone the coastal development is in conformity with the public access and public recreation policies of Chapter 3 of the California Coastal Act.**

The subject property is approximately 0.5 miles from the Pacific Ocean and is not located between the sea and the first public roadway paralleling the sea. Further, the project site does not contain a public access way, recreational resources, or view corridors and would not encroach upon beaches or the coastline access way or recreational areas. Therefore, the project is in conformance with the public access and public recreation policies of Chapter 3 of the California Coastal Act.

B. SITE DEVELOPMENT PERMIT (SDMC Section 126.0505)**1. Findings for all Site Development Permits:****a. The proposed development will not adversely affect the applicable land use plan.**

The Community Plan land use designation for the site is Residential Very Low Density (0-5 dwelling units per acre). The 0.46-acre site could yield one to two dwelling units based on the land use designation. The proposed project with one existing dwelling unit to be remodeled and the construction of a two-story addition is consistent with the land use. Further, the site is within the La Jolla Shores Planned District-Single Family (LJSPD-SF) Base Zone. The LJSPD-SF density regulation states, "...no lot or parcel shall be developed or occupied by more dwelling units than the average dwelling unit density (units per acre) of the developed SF Zone within 300 feet." The project vicinity is developed with one and two-story single dwelling units, limiting the proposed development to one dwelling unit.

Community Plan Residential Element, Community Character Policies include, "The City should apply the development recommendations ... in order to avoid extreme and intrusive changes to the residential scale of La Jolla's neighborhoods and to promote good design and harmony within the visual relationships and transitions between new and older structures."

The project is currently a 4,042-square-foot two story dwelling unit with a proposed two-story addition of 2,230 square feet for a dwelling unit size of 6,272-square-feet and a floor area ratio (FAR) of 0.31. The site is within the La Jolla Shores Planned District that does not contain prescribed floor area ratios (FAR) or setback, but rather, requires development to be in general conformity with the setbacks and FAR of development in a 300-foot vicinity of the project site. The dwelling units in the immediate vicinity of the project site are one- and two-story dwellings that range in size from 2,812 square feet to 6,997 square feet with an FAR range of 0.14 to 0.36. The proposed project with addition is consistent with the dwelling unit sizes and floor area ratio of the immediate area. Additionally, the proposed front setback is 26.56-feet, and the side setbacks are 11-feet on the north and 12.26-feet to the south. The setbacks in the vicinity vary from a front setback of 4.42-feet to 34.25-feet, 0.67-feet to 31.67-feet on the north and 0.42-feet to 20.42-feet on the south. The proposed project is in general conformity with the FAR and setbacks of the area and therefore consistent with the La Jolla Shores Planned District regulations. Further, the project is contemporary in style and is designed with articulating planes on each of the sides, varying roof planes as well as covered and uncovered decks which help to reduce the bulk and scale of the project design and therefore avoids extreme and intrusive changes to the residential scale of the La Jolla neighborhood.

The project as proposed is in conformance with the Community Plan land use, and SDMC regulations for residential development. Therefore, the proposed development will not adversely affect the applicable land use plan.

b. The proposed development will not be detrimental to the public health, safety, and welfare.

The permit for the project includes various conditions and referenced exhibits of approval relevant to achieving project compliance with the applicable regulations of the SDMC in effect for this project. Such conditions are necessary to avoid adverse impacts upon the health, safety and general welfare of persons residing or working in the surrounding area. The project shall comply with the development conditions in effect for the subject property and other regulations and guidelines pertaining to the subject property per the SDMC. Therefore, the proposed development will not be detrimental to the public health, safety, and welfare.

c. The proposed development will comply with the regulations of the Land Development Code including any allowable deviations pursuant to the Land Development Code.

The site is within the La Jolla Shores Planned District-Single Family (LJSPD-SF) Base Zone. The LJSPD-SF base zone does not include prescriptive setbacks but rather requires development to be in general conformity to the building setbacks in the 300-foot vicinity of the site. In accordance with the survey of area setbacks the project shall observe a front setback of 26.6 feet, where the dwellings in the vicinity range from 4.5 feet to 34.3 feet. Side setbacks of 11.6 feet and 10.3 feet, where dwellings in the vicinity range from 0.5 feet to 31.8 feet. The proposed Floor Area Ratio (FAR) of the dwelling is 0.31, whereas the dwellings in the vicinity range from 0.14 FAR to 0.36 FAR. The proposed setbacks and FAR are in conformity with those in the vicinity, in accordance with the LJSPD regulations. The proposed maximum building height is 29 feet below the Coastal Height Limit maximum of 30 feet. Further, the dwelling onsite was constructed in 1970 but is not an individually designated resource or located within a designated historic district. Consistent with SDMC Section 143.0212 all structures 45 years old or older are reviewed to determine whether a potentially significant historical resource exists on site. The dwelling at 8457 Prestwick Drive does not meet local designation criteria as an individually significant resource under any adopted Historical Resources Board Criteria and no historical research report was required.

The project does not require any deviations. Therefore, the proposed development will comply with the regulations of the Land Development Code including any allowable deviations pursuant to the Land Development Code.

2. Supplemental Findings--Environmentally Sensitive Lands

a. The proposed project will not disturb environmentally sensitive lands.

A portion of the site was previously graded for the existing two-story 4,042 square foot single dwelling unit, hardscape, and landscape. The site contains Environmentally Sensitive Lands as defined by SDMC Section 143.0110 in the form of sensitive biological resources, Steep Hillside and Brush Management.

The remodel and two-story addition to the existing dwelling is designed to avoid encroachment onto the environmentally sensitive lands. Further, the project will be conditioned to record a Covenant of Easement over the ESL portion of the site. The covenant is designed to ensure preservation of the steep slopes and sensitive vegetation in its natural state.

The site is within the Fire: Brush Management, Brush Zones with 300 Foot Buffer, and Very High Fire Hazard Severity Overlay Zones. A Brush Management plan has been developed for the site. Brush Management Zone One shall extend from the existing dwelling out to the top of slope, a distance of 33 to 35 linear feet. Brush Management Zone Two shall extend from the top of slope out towards the property line, a distance of 65 to 73 linear feet. Plants within Zone One shall be primarily low-growing, low-fuel, and fire-resistive with the exception of trees, which shall be located at least 10 feet away from structures. Structures in Zone One shall be of noncombustible, one-hour fire-rated or Type IV heavy timber construction. Brush Management Zone Two shall be trimmed to reduce fuel load consistent with the San Diego Municipal Code Landscape Standards and maintained seasonally to minimize the potential damage or loss of property from brush fires and other natural hazards such as erosion and slope failures.

The project avoidance, preservation of slopes and natural vegetation, and ongoing brush management will assure the proposed project will not disturb environmentally sensitive lands.

b. The proposed project will not alter natural landforms, therefore minimizing risk of geologic and erosional forces, flood, or fire hazards.

A portion of the site was previously graded for the existing two-story dwelling, hardscape, and landscape. The previously graded and developed pad is within Geologic Hazard Zone 53, known as level or sloping terrain, potentially unfavorable geologic structure, low to moderate risk. The rear portion of the lot consisting of steep slopes and ESL vegetation is within Geologic Hazard Zone 26, known as slide prone formation, Ardath; potentially unfavorable geologic structure. A geologic study and review were not required for the proposed scope of work.

The proposed addition will require 9,355 square feet of additional grading within the southern side yard and eastern front yard areas. No grading is proposed on the Geologic Hazard Zone 26 and ESL portions of the lot containing steep slopes and sensitive vegetation.

The site is within the Fire: Brush Management, Brush Zones with 300-Foot Buffer, and Very High Fire Hazard Severity Overlay Zones. A Brush Management plan has been developed for the site with Brush Management Zones One and two on the east of the site. Zone One shall extend from the existing dwelling out to the top of slope a distance of 33 to 35 linear feet. Brush Management Zone Two shall extend from the top of slope out towards the property line for a distance of 65 to 73 linear feet. Zone One may be planted with primarily low-growing, low-fuel, and fire-resistive with the

exception of trees, which shall be located at least 10 feet away from structures. Brush Management Zone Two shall be trimmed to reduce fuel load and maintained seasonally to minimize the potential damage or loss of property from brush fires and other natural hazards such as erosion and slope failures.

The site is within geologic hazard zones 53 and 26 but development is only on previously graded portions of the site and away from steep slopes and sensitive vegetation. The project is conditioned for brush management and ongoing maintenance to reduce fire hazards. The site is not within a floodway. Therefore, the proposed project will not alter natural landforms, therefore minimizing risk of geologic and erosional forces, flood, or fire hazards.

c. The proposed design is consistent with the City of San Diego Multiple Species Conservation Program.

The site is not within the Multiple Species Conservation Program, however the onsite lands defined as ESL steep slopes and sensitive vegetation will not be encroached on and will be protected through a Covenant of Easement and a Brush Management Plan. Therefore, the proposed design is consistent with the City of San Diego Multiple Species Conservation Program.

The above findings are supported by the minutes, maps and exhibits, all of which are incorporated herein by this reference.

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the Hearing Officer, Coastal Development Permit No. 2583828 Site Development Permit No. 2583866 Is hereby GRANTED by the Hearing Officer to the referenced Owner/Permittee, in the form, exhibits, terms and conditions as set forth in Permit No.'s 2583828 and 2583866 a copy of which is attached hereto and made a part hereof.



Karen Bucey
Development Project Manager
Development Services

Adopted on May 10, 2023

IO#: 24009060

**RECORDING REQUESTED BY
CITY OF SAN DIEGO
DEVELOPMENT SERVICES
PERMIT INTAKE, MAIL STATION
501**

**RECORDING REQUESTED BY
CITY OF SAN DIEGO
DEVELOPMENT SERVICES
PERMIT INTAKE, MAIL STATION
501**

INTERNAL ORDER NUMBER: 24009060

SPACE ABOVE THIS LINE FOR RECORDER'S USE

COASTAL DEVELOPMENT PERMIT NO. 2583828

SITE DEVELOPMENT PERMIT NO. 2583866

VINES PROJECT NO. 696766

HEARING OFFICER

This Coastal Development Permit No. 2583828 and Site Development Permit No. 2583866 is granted by the Hearing Officer of the City of San Diego to Vines Family Trust Applicant and Permittee, pursuant to San Diego Municipal Code (SDMC) Section 126.0707 for development in the coastal overlay zone and Site Development Permit per SDMC Section 126.0505 for a scope of work that is not considered minor in the La Jolla Shores Planned District Ordinance as well as Environmentally Sensitive Lands in the form of Sensitive Vegetation, Steep Hillside, and Brush Management. The 0.46-acre site is located at 8457 Prestwick Drive in the La Jolla Shores Planned District-Single Family (LJSPD-SF) Base Zone, Coastal (Non-Appealable), Coastal Height Limitation, Brush Management, High Fire Severity, and the Parking Impact (Campus) Overlay Zones of the La Jolla Community Plan and Local Coastal Program. The project site is legally described as: The real property in the City of San Diego, County of San Diego, State of California, described as: Lot 47 of Prestwick Estates Unit No. 1, in the City of San Diego, County of San Diego, State of California according to Map thereof No. 4392, filed in the Office of the County Recorder of San Diego, November 13, 1959.

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner/Permittee for the remodel of an existing two-story 4,042 square foot single dwelling and the addition of 1987 square feet (Exhibit "A") described and identified by size, dimension, quantity, type, and location on the approved exhibits dated May 10, 2023, on file in the Development Services Department. The dwelling will consist of five bedrooms (including office), gym, bike storage, dining, living room, kitchen remodel, laundry room, second-floor family room, roof deck, and three-car garage. The project will preserve the remaining steep slopes onsite in their natural state through a covenant of easement consistent with SDMC Section 143.0152.

The project shall include:

ATTACHMENT 4

- a. The remodel of an existing two-story 4,042 square foot single dwelling and an addition of 1987 square feet;
- b. The project will preserve the remaining steep slopes onsite in their natural state through a covenant of easement consistent with SDMC Section 143.0152;
- c. Landscaping (planting, irrigation, and landscape related improvements);
- d. Off-street parking;
- e. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act (CEQA) and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

STANDARD REQUIREMENTS:

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36-month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by May 25, 2026.
2. This Coastal Development Permit shall become effective on the eleventh working day following receipt by the California Coastal Commission of the Notice of Final Action or following all appeals.
3. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
 - a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
 - b. The Permit is recorded in the Office of the San Diego County Recorder.
4. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.
5. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.

ATTACHMENT 4

6. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.

7. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 (ESA) and any amendments thereto (16 U.S.C. § 1531 et seq.).

8. In accordance with authorization granted to the City of San Diego from the United States Fish and Wildlife Service (USFWS) pursuant to Section 10(a) of the federal Endangered Species Act (ESA) and by the California Department of Fish and Wildlife (CDFW) pursuant to California Fish and Wildlife Code section 2835 as part of the Multiple Species Conservation Program (MSCP), the City of San Diego through the issuance of this Permit hereby confers upon Owner/Permittee the status of Third Party Beneficiary as provided for in Section 17 of the City of San Diego Implementing Agreement (IA), executed on July 16, 1997, and on file in the Office of the City Clerk as Document No. OO-18394. Third Party Beneficiary status is conferred upon Owner/Permittee by the City: (1) to grant Owner/Permittee the legal standing and legal right to utilize the take authorizations granted to the City pursuant to the MSCP within the context of those limitations imposed under this Permit and the IA, and (2) to assure Owner/Permittee that no existing mitigation obligation imposed by the City of San Diego pursuant to this Permit shall be altered in the future by the City of San Diego, USFWS, or CDFW, except in the limited circumstances described in Sections 9.6 and 9.7 of the IA. If mitigation lands are identified but not yet dedicated or preserved in perpetuity, maintenance and continued recognition of Third-Party Beneficiary status by the City is contingent upon Owner/Permittee maintaining the biological values of any and all lands committed for mitigation pursuant to this Permit and of full satisfaction by Owner/Permittee of mitigation obligations required by this Permit, in accordance with Section 17.1D of the IA.

9. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.

10. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.

11. All of the conditions contained in this Permit have been considered and were determined necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" conditions(s) back to the discretionary body which approved the Permit for a determination by that body as to

ATTACHMENT 4

whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

12. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify the Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by the Owner/Permittee.

CLIMATE ACTION PLAN REQUIREMENTS:

13. Owner/Permittee shall comply with the Climate Action Plan (CAP) Consistency Checklist stamped as Exhibit "A." Prior to issuance of any construction permit, all CAP strategies shall be noted within the first three (3) sheets of the construction plans under the heading "Climate Action Plan Requirements" and shall be enforced and implemented to the satisfaction of the Development Services Department.

ENGINEERING REQUIREMENTS:

14. Prior to the issuance of any building permit the Owner/Permittee shall assure by permit and bond removal of existing driveway and construction of a new 12-foot driveway per current City Standards, adjacent to the site on Prestwick Drive.

15. Prior to the issuance of any building permit the Owner/Permittee shall obtain an Encroachment Maintenance Removal Agreement, from the City Engineer, for the proposed curb outlet, existing retaining wall, and landscaping/irrigation in Prestwick Drive Right-of-Way.

16. Prior to the issuance of any construction permit the Owner/Permittee shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be prepared in accordance with the guidelines in Part Two Construction BMP Standards Chapter Four of the City's Storm Water Standards.

LANDSCAPE REQUIREMENTS (La Jolla Shores):

17. Prior to issuance of any construction permits for structures, the Owner/Permittee shall submit complete landscape and irrigation construction documents to the Development Services Department for approval. The construction documents shall be consistent with approved Exhibit "A," the La Jolla Shores Planned District Ordinance, the La Jolla Community Plan, and the Land Development Manual - Landscape Standards.

18. The Owner/Permittee shall be responsible for the maintenance of all landscape improvements shown on the approved plans, including in the right-of-way, unless long-term maintenance of said landscaping will be the responsibility of a Landscape Maintenance District or other approved entity. All required landscape shall be maintained consistent with the Landscape Standards in a disease, weed, and litter free condition at all times. Severe pruning or "topping" of trees is not permitted.

19. If any required landscape (including existing or new plantings, hardscape, landscape features, etc.) indicated on the approved construction document plans is damaged or removed, it shall be repaired and/or replaced in kind and equivalent size per the approved documents to the satisfaction of the Development Services Department within 30 days of damage.

BRUSH MANAGEMENT PROGRAM REQUIREMENTS:

20. The Owner/Permittee shall implement the following requirements in accordance with the Brush Management Program shown on Exhibit "A" on file in the Development Services Department.

21. The Brush Management Program shall consist of a standard Zone One of 35-foot in width, and a Zone Two of 65-foot in width, extending out from the structure towards the native/naturalized vegetation, consistent with §142.0412.

22. Prior to issuance of any grading permit, landscape construction documents required for the engineering permit shall be submitted showing the brush management zones on the property in substantial conformance with Exhibit "A."

23. Prior to issuance of any Building Permits, a complete Brush Management Program shall be submitted for approval to the Development Services Department and shall be in substantial conformance with Exhibit "A" on file in the Development Services Department. The Brush Management Program shall comply with the City of San Diego's Landscape Regulations and the Landscape Standards.

24. Within Zone One, combustible accessory structures (including, but not limited to decks, trellises, gazebos, etc.) shall not be permitted while accessory structures of non-combustible, one-hour fire-rated, and/or Type IV heavy timber construction may be approved within the designated Zone One area subject to Fire Marshal's approval.

25. The Brush Management Program shall be maintained at all times in accordance with the City of San Diego's Landscape Standards.

PLANNING/DESIGN REQUIREMENTS:

26. Owner/Permittee shall maintain a minimum of two off-street parking spaces on the property at all times in the approximate locations shown on the approved Exhibit "A". Parking spaces shall comply at all times with the SDMC and shall not be converted for any other use unless otherwise authorized by the appropriate City decision maker in accordance with the San Diego Municipal Code.
27. Prior to the issuance of any construction permits, the Owner/Permittee shall execute and record a Covenant of Easement which ensures preservation of the Environmentally Sensitive lands that are outside the allowable development are on the premises as shown on Exhibit "A" for Sensitive Biological Resources, in accordance with SDMC section 143.0152. The Covenant of Easement shall include a legal description and an illustration of the premises showing the development area and Environmentally Sensitive Lands as shown on Exhibit "A".
28. All private outdoor lighting shall be shaded and adjusted to fall on the same premises where such lights are located and in accordance with applicable regulations in the SDMC.

INFORMATION ONLY:

- The issuance of this discretionary permit alone does not allow the immediate commencement or continued operation of the proposed use on site. Any operation allowed by this discretionary permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Hearing Officer of the City of San Diego on May 10, 2023, and Resolution No.

ATTACHMENT 4

Coastal Development Permit No. 2583828
Site Development Permit No. 2583866
Date of Approval: May 10, 2023

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES DEPARTMENT

Karen Bucey
Development Project Manager

**NOTE: Notary acknowledgment
must be attached per Civil Code
section 1189 et seq.**

The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of
this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

Vines Family Trust
Owner/Permittee

By _____
Michael J. Vines
Trustee

Vines Family Trust
Owner/Permittee

By _____
Lesley A. Vines
Trustee

**NOTE: Notary acknowledgments
must be attached per Civil Code
section 1189 et seq.**

NOTICE OF EXEMPTION

(Check one or both)

TO: Recorder/County Clerk
P.O. Box 1750, MS A-33
1600 Pacific Hwy, Room 260
San Diego, CA 92101-2400

From: City of San Diego
Development Services Department
1222 First Avenue, MS 501
San Diego, CA 92101

Office of Planning and Research
1400 Tenth Street, Room 121
Sacramento, CA 95814

Project Name/Number: Vines Residence/ 696766

SCH No.: Not Applicable

Project Location-Specific: 8457 Prestwick Drive, San Diego, CA 92037

Project Location-City/County: San Diego/San Diego

Description of nature and purpose of the Project: The project proposes a Coastal Development Permit (CDP), Site Development Permit (SDP) to remodel and add 1,987 square-feet to an existing 4,042 square-feet, two-story residence, for a total of 6,029 square-feet with an attached garage, stair tower, roof deck, associated landscape, hardscape and retaining walls, on a 0.46-acre site. The project site is in the LJSPD-SF Zone, within the La Jolla Community Plan, Coastal Height Limit Overlay Zone, Coastal Overlay Zone (Non-Appealable), Brush Management, Very High Fire Hazard Severity Zones and the Parking Impact Overlay Zone (Coastal Impact/Campus Impact). The community plan designates the site as Very Low Density Residential (0-5 dwelling units per acre).

Name of Public Agency Approving Project: City of San Diego

Name of Person or Agency Carrying Out Project: Mariam Hattab, 2450 Cerro Serrano, El Cajon, CA 92019, (858) 964-8560.

Exempt Status: (CHECK ONE)

- Ministerial (Sec. 21080(b)(1); 15268)
 Declared Emergency (Sec. 21080(b)(3); 15269(a))
 Emergency Project (Sec. 21080(b)(4); 15269 (b)(c))
 Categorical Exemption: Categorically exempt from CEQA pursuant to CEQA State Guidelines, Section 15301 (e) (1), Existing Facilities.

Reasons why project is exempt: The City of San Diego conducted an environmental review that determined the project would not have the potential to cause a significant effect on the environment. The project meets the criteria set forth in CEQA Section 15301 (e) which this exemption include but are not limited to additions to existing structures provided that the addition will not result in an increase of more than (1) 50 percent of the floor area of the structures before the addition, or 2,500 square-feet whichever is less. In addition, the exceptions listed in CEQA Section 15300.2 would not apply.

Lead Agency Contact Person: Rhonda Benally

Telephone: (619) 446-5468

If filed by applicant:

1. Attach certified document of exemption finding.

2. Has a notice of exemption been filed by the public agency approving the project? Yes No

It is hereby certified that the City of San Diego has determined the above activity to be exempt from CEQA

 Senior Planner
Signature/Title

April 28, 2022
Date

Check One:

- Signed By Lead Agency
- Signed by Applicant

Date Received for Filing with County Clerk or OPR:

Page 3	City of San Diego · Information Bulletin 620		August 2018
	City of San Diego Development Services 1222 First Ave., MS-302 San Diego, CA 92101		<h1>Community Planning Committee Distribution Form</h1>
Project Name: 8457 Prestwick Drive		Project Number: 696766	
Community: La Jolla			
<p>For project scope and contact information (project manager and applicant), log into OpenDSD at https://aca.accela.com/SANDIEGO.</p> <p>Select "Search for Project Status" and input the Project Number to access project information.</p>			
<input checked="" type="checkbox"/> Vote to Approve <input type="checkbox"/> Vote to Approve with Conditions Listed Below <input type="checkbox"/> Vote to Approve with Non-Binding Recommendations Listed Below <input type="checkbox"/> Vote to Deny			Date of Vote: May 05, 2022
# of Members Yes 15	# of Members No 0	# of Members Abstain 1	
Conditions or Recommendations:			
<input type="checkbox"/> No Action (Please specify, e.g., Need further information, Split vote, Lack of quorum, etc.)			
NAME: Suzanne Baracchini			
TITLE: LJCPA Trustee/Secretary			DATE: May 05, 2022
<i>Attach additional pages if necessary (maximum 3 attachments).</i>			



THE CITY OF SAN DIEGO

La Jolla Shores Planned District Advisory Board (LJSPDAB)**FINAL** Meeting Minutes for February 16, 2022

Virtual Online Meeting

Trustee	Attendance	Trustee	Attendance
Jane Potter	Present	Herbert Lazerow	Present
Andrea Moser	Present	Suzanne Weissman	Present

1. **Call to Order:** Potter called the meeting to order at 10:00 a.m.
2. **Agenda:** Lazerow/Moser moved to approve, Motion passed 4-0-0.
3. **Approval of November 17, 2021 minutes:** Lazerow/Moser moved to approve. Approved by vote of 4-0-0.
4. **Non-agenda public comment:**
5. **Project Review:**

Action Item A – PTS 693529 – 1851 Spindrift Drive SDP/CDP**Location:** 1851 Spindrift Drive

APN: 346-451-1000

Motion: Lazerow/Potter moved to recommend denial. Motion failed.

No subsequent motions were made, resulting in no action taken by the board.

Action Item B – PTS 691672 – Baylor Residence**Location:** 7951 Paseo Del Ocaso

APN: 346-512-0700

Motion: Moser /Lazerow moved to recommend denial. Motion to deny passed 4-0-0.**Action Item C – PTS 695001 – Lohkemper Residence****Location:** 7736 Moonridge Place

APN: 346-650-0300

Motion: Lazerow/Moser moved to recommend approval as a minor project. Motion passed 4-0-0.

Action Item D – PTS 696766 – Vines SDP/CDP

Location: 8457 Prestwick Drive

APN: 346-151-0500

Description: Remodel and addition to an existing two-story single-family residence on a 0.46-acre lot. The Applicant is seeking a recommendation for approval of a Site Development Permit and Coastal Development Permit from the Advisory Board.

Applicant/Project Contact:

Shani Sparks, EOS Architecture, (858) 459-0575, shani@eosarc.com

Presentation:

- Proposal to add 1,800 sf to existing single-family 2-story residence
- Total sf of 6,700
- Maintaining front yard setback
- Modernizing design
- Side setbacks of 12' and 14'
- Not extending development into canyon in rear of property and not visible from canyon
- Proposed setbacks are consistent with setbacks in the neighborhood
- Small roof deck added for ocean view
- Pitched metal roof design
- 30' height limit observed at ridge of roof
- Exterior material palette includes wood siding, stone, decorative garage door

Board Comment:

- Question raised over what setback is on second level over garage. Presenter said setback on second level was 27'. Setback for garage 30'
- No step back on second story of north side alleged, though it is 15' setback from side. Member suggested stepping back second story 2'. Presenter requested to maintain design as is
- Lack of second story step back has implications for shade to neighbor
- This design is an improvement over old design

Motion:

Moser moved to recommend approval. Weissman seconded. Motion passed 4-0-0.

Next meeting date: March 16, 2022

Adjournment: 12:10 p.m.

Minutes taken by Tony Kempton, Associate Planner, Planning Department



**City of San Diego
Development Services**
1222 First Ave., MS 302
San Diego, CA 92101
(619) 446-5000

Ownership Disclosure Statement

**FORM
DS-318**

October 2017

Approval Type: Check appropriate box for type of approval(s) requested: Neighborhood Use Permit Coastal Development Permit
 Neighborhood Development Permit Site Development Permit Planned Development Permit Conditional Use Permit Variance
 Tentative Map Vesting Tentative Map Map Waiver Land Use Plan Amendment • Other _____

Project Title: _____ **Project No. For City Use Only:** _____

Project Address: _____

Specify Form of Ownership/Legal Status (please check):

Corporation Limited Liability -or- General – What State? _____ Corporate Identification No. _____

Partnership Individual

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter will be filed with the City of San Diego on the subject property with the intent to record an encumbrance against the property. Please list below the owner(s), applicant(s), and other financially interested persons of the above referenced property. A financially interested party includes any individual, firm, co-partnership, joint venture, association, social club, fraternal organization, corporation, estate, trust, receiver or syndicate with a financial interest in the application. If the applicant includes a corporation or partnership, include the names, titles, addresses of all individuals owning more than 10% of the shares. If a publicly-owned corporation, include the names, titles, and addresses of the corporate officers. (A separate page may be attached if necessary.) If any person is a nonprofit organization or a trust, list the names and addresses of **ANY** person serving as an officer or director of the nonprofit organization or as trustee or beneficiary of the nonprofit organization. A signature is required of at least one of the property owners. Attach additional pages if needed. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

Property Owner

Name of Individual: _____ Owner Tenant/Lessee Successor Agency

Street Address: _____

City: _____ State: _____ Zip: _____

Phone No.: _____ Fax No.: _____ Email: _____

Signature: _____ Date: _____

Additional pages Attached: Yes No

Applicant

Name of Individual: _____ Owner Tenant/Lessee Successor Agency

Street Address: _____

City: _____ State: _____ Zip: _____

Phone No.: _____ Fax No.: _____ Email: _____

Signature: _____ Date: _____

Additional pages Attached: Yes No

Other Financially Interested Persons

Name of Individual: _____ Owner Tenant/Lessee Successor Agency

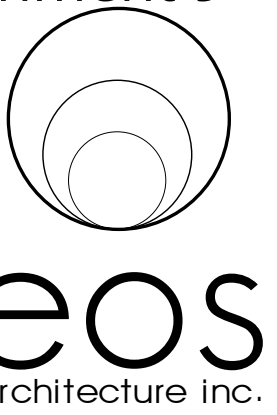
Street Address: _____

City: _____ State: _____ Zip: _____

Phone No.: _____ Fax No.: _____ Email: _____

Signature: _____ Date: _____

Additional pages Attached: Yes No



7542 FAY AVENUE
LA JOLLA, CA 92037
PH: 858.459.0575
EMAIL: eos@eosarc.com

JENNIFER
BOLYN
Architect



All ideas, designs, and arrangements indicated on these drawings are the property of EOS Architecture Inc. and are intended to be used in connection with the specific project and shall not constitute an offer or any future modification without the written consent of the architect. There shall be no changes or deviations from these drawings or the accompanying specifications without the written consent of the architect.

CUSTOM RESIDENCE
8457 PRESTWICK DR
LA JOLLA, CA

COASTAL DEVELOPMENT APPROVAL PERMIT NO. 2583828 /
SITE DEVELOPMENT PERMIT APPROVAL NO. 25838866

CUSTOM RESIDENCE

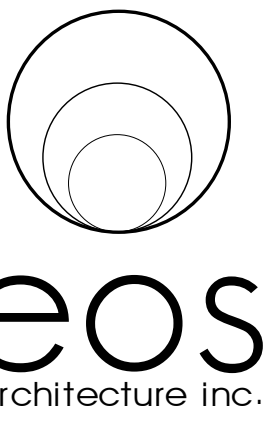
8457 PRESTWICK DR
LA JOLLA, CA

REVISIONS
02-16-2022 CDP/SDP REVIEW
05-25-2022 CDP/SDP REVIEW
08-01-2022 CDP/SDP REVIEW
12-01-2022 CDP/SDP REVIEW

PROJECT DIRECTORY	SHEET INDEX	PROJECT INFORMATION	VICINITY MAP																																	
<p>OWNER CONTACT: MICHAEL AND LESLEY VINES 8457 PRESTWICK DRIVE LA JOLLA, CA 92037 MVINES@GMAIL.COM</p> <p>ARCHITECT EOS ARCHITECTURE INC. CONTACT: JENNIFER BOLYN 7542 FAY AVE. LA JOLLA, CA 92037 JEN@EOSARC.COM (858) 459-0575</p>	<p>LANDSCAPE LINEAR LANDSCAPE ARCHITECTURE CONTACT: JOE DODD 1619 MYRTLE AVENUE SAN DIEGO, CA 92103 JOE@LINEARLANDARCH.COM (812) 350-2997</p> <p>SURVEYOR PASCO LARET SUITER ASSOCIATES CONTACT: GARY MELLOM 535 N HWY 101 SOLANA BEACH, CA 92075 GMELLOM@PLSAENGINEERING.COM 858 259 8212 x128</p>	<p>COASTAL DEVELOPMENT PERMIT APPROVAL NO. 2583828 SITE DEVELOPMENT APPROVAL NO. 25838866</p> <p>PROJECT DESCRIPTION: REMODEL AND ADDITION TO EXISTING 3,423 SF TWO STORY SINGLE FAMILY RESIDENCE, STAIR TOWER AND ROOF DECK, ASSOCIATED LANDSCAPE, HARDSCAPE AND RETAINING WALLS.</p> <p>APN#: 346-151-05-00</p> <p>LEGAL DESCRIPTION: TR 4392 LOT 47*</p> <p>GROSS LOT SIZE: 20,235 SF (0.46 ACRES)</p> <p>EXISTING/PROPOSED USE: SINGLE FAMILY RESIDENCE</p> <p>ZONE : LJSPPD-SF (LA JOLLA SHORES PLANNED DISTRICT:SF)</p> <p>ZONE OVERLAY: CO2- COASTAL OVERLAY ZONE CHL02- COASTAL HEIGHT LIMIT OVERLAY ZONE P102- PARKING IMPACT OVERLAY ZONE</p> <p>OCCUPANCY: R-3</p> <p>CONSTRUCTION TYPE: V-B</p> <p>HEIGHT LIMIT: 30 FT - PLUMB HEIGHT 30 FT - COASTAL/OVERALL STRUCTURE HEIGHT</p> <p>ESL: SENSITIVE VEGETATION/STEEP HILLSIDE HYDROLOGY: ASBS- XX GEOLOGY AND SOLS: GEOLOGICAL HAZARD CATEGORY</p>	<p>TOTAL SQUARE FOOTAGE</p> <table border="1"> <tr> <td>EXISTING SQUARE FOOTAGE</td> <td>4,042 SF</td> </tr> <tr> <td>ADDITION SQUARE FOOTAGE</td> <td>1,987 SF</td> </tr> <tr> <td>TOTAL BUILDING SQUARE FOOTAGE</td> <td>6,079 SF</td> </tr> </table> <p>BUILDING AREA CALCULATION</p> <table border="1"> <tr> <td>FIRST FLOOR</td> <td></td> </tr> <tr> <td>LIVING:</td> <td>2,337 SF</td> </tr> <tr> <td>GARAGE:</td> <td>830 SF</td> </tr> <tr> <td>SECOND FLOOR</td> <td></td> </tr> <tr> <td>LIVING:</td> <td>2,857 SF</td> </tr> <tr> <td>ROOF - STAIRS TOWER</td> <td>55 SF</td> </tr> <tr> <td>TOTAL LIVABLE AREA</td> <td>5,194SF</td> </tr> <tr> <td>TOTAL BUILDING AREA</td> <td>6,079 SF</td> </tr> </table> <p>F.A.R. CALCULATION</p> <table border="1"> <tr> <td>COVERED AREA INCLUDED IN FAR</td> <td>193 SF</td> </tr> <tr> <td>TOTAL BUILDING AREA INCLUDED IN F.A.R.</td> <td>6,079 SF</td> </tr> <tr> <td>TOTAL F.A.R.</td> <td>6.272 SF</td> </tr> <tr> <td>TOTAL LANDSCAPE AREA</td> <td>15,959.6 SF</td> </tr> <tr> <td>TOTAL COVERED PATIO AREA:</td> <td>439 SF</td> </tr> </table>	EXISTING SQUARE FOOTAGE	4,042 SF	ADDITION SQUARE FOOTAGE	1,987 SF	TOTAL BUILDING SQUARE FOOTAGE	6,079 SF	FIRST FLOOR		LIVING:	2,337 SF	GARAGE:	830 SF	SECOND FLOOR		LIVING:	2,857 SF	ROOF - STAIRS TOWER	55 SF	TOTAL LIVABLE AREA	5,194SF	TOTAL BUILDING AREA	6,079 SF	COVERED AREA INCLUDED IN FAR	193 SF	TOTAL BUILDING AREA INCLUDED IN F.A.R.	6,079 SF	TOTAL F.A.R.	6.272 SF	TOTAL LANDSCAPE AREA	15,959.6 SF	TOTAL COVERED PATIO AREA:	439 SF	
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PHASE
PLANNING SET
DATE
09-07-2021
JOB NO.
21-10
COVER SHEET

CS1.0



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LA JOLLA, CA 92037
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EMAIL: eos@eosarc.com

JENNIFER
BOLYN
Architect

DEMO NOTES

1. REMOVE ALL EXISTING ELECTRICAL FIXTURES NOT TO BE USED AND CAP WIRES.
2. REMOVE ALL WIRING NOT TO BE USED. COORDINATE EXTENT OF REMOVAL WITH ALL PLANS.
3. SEE FLOOR PLAN FOR ALL DIMENSIONS, AND ANY ADDITIONAL NOTES.
4. CONTRACTOR TO VERIFY LOCATION OF ALL ELECTRICAL PANELS TO BE REMOVED/RELOCATED.
5. PRIOR TO ANY DEMOLITION WORK, FIELD VERIFY THAT NO CONDUITS, PIPES, ETC. ARE LOCATED IN WALLS, FLOOR SLAB, FOUNDATION, ETC. ALL BUILDING AND SITE DEMOLITION WORK SHALL COMPLY 5 2019 C.B.C.
6. CONTRACTOR SHALL PROVIDE ALL NECESSARY SHORING, BRACING, 6. ETC. UNTIL NEW WORK IS IN PLACE.
7. DURING DEMOLITION THE CONTRACTOR SHALL NOTIFY THE ARCHITECT/ OWNER IN WRITING OF ANY STRUCTURAL FRAMING MEMBERS NOT INDICATED ON THE PLANS DISCOVERED DURING THE COURSE OF WORK. DO NOT REMOVE PRIOR TO ARCHITECTURAL REVIEW.
8. PRIOR TO BID VERIFY WITH OWNER EXTENT OF REMOVAL OF EXISTING LANDSCAPE/HARDSCAPE. VERIFY IN FIELD EXISTING CONDITION PRIOR TO BID.
9. PRIOR TO BID CONTRACTOR SHALL VISIT SITE AND CONFIRM WITH OWNER TO VERIFY EXTENT OF DEMOLITION, FINISH REMOVALS, SURFACE PREP, ETC. AND ALL DEMOLITION SHALL BE INCLUDED IN BID AS REQUIRED TO ACCOMMODATE PROPOSED PLANS AND FINISHES.
10. PROJECT IN PLACE ALL EXISTING FINISHES, WALLS AND FURNISHINGS TO REMAIN, WHERE POSSIBLE CONSERVE AND PROTECT ANY REMOVED FINISHES WHICH MAY BE USED FOR PATCH AND REPAIR WORK.
11. PROVIDE ALL REQUIRED SHORING.
12. SAWCUT AND REMOVE CONCRETE AS REQUIRED FOR NEW PLUMBING FIXTURE LOCATION PER PLAN.

LEGEND

	EXISTING OPENING TO BE FILLED
	EXISTING WALL TO REMAIN
	EXISTING OPENING TO REMAIN
	EXISTING WALL TO BE REMOVED
	EXISTING DOOR/WINDOW TO BE REMOVED

KEYNOTE

- D.1 (E) WALL TO BE REMOVED, PROVIDE TEMPORARY SHORING AS REQUIRED
- D.2 (E) EXTERIOR WALL TO REMAIN, PROTECT IN PLACE
- D.3 (E) RAILING TO BE REMOVED
- D.4 (E) HARDSCAPE TO REMAIN
- D.5 (E) HARDSCAPE TO BE DEMOLISHED
- D.6 (E) DOOR TO BE REMOVED
- D.7 (E) WINDOW TO BE REMOVED
- D.8 (E) COUNTERTOP WITH SINK TO BE DEMOLISHED
- D.9 (E) BUILT-IN CABINET TO BE REMOVED
- D.10 (E) APPLIANCE TO BE REMOVED, NO REUSE
- D.11 (E) EXTERIOR WALL TO BE REMOVED
- D.12 (E) STAIR TO BE REMOVED
- D.13 (E) PREPARE SITE TO RECEIVE NEW SLAB ON GRADE
- D.14 (E) REMOVE LANDSCAPE AND DIRT TO RECEIVE NEW HARDSCAPE PER PROPOSED PLANS
- D.15 (E) FIREPLACE TO BE DEMOLISHED
- D.16 (E) REMOVE CEILING THROUGHOUT
- D.18 PREPARE FLOOR THROUGHOUT TO RECEIVE NEW FINISH PER PLAN
- D.19 (E) FENCE TO BE DEMOLISHED
- D.20 (E) FENCE TO REMAIN
- D.21 (E) GAS METER TO BE REMOVED AND RELOCATED
- D.22 (E) ELECTRIC METER TO BE REMOVED AND RELOCATED
- D.23 (E) CONCRETE DRIVEWAY TO BE ENHANCED, PER LANDSCAPE
- D.24 (E) PLUMBING FIXTURE TO BE REMOVED
- D.25 (E) GATE TO REMOVED AND REPLACED
- D.26 (E) GARAGE DOOR TO BE REMOVED
- D.28 (E) HARDSCAPE TO BE REMOVED
- D.29 (E) SHED TO BE REMOVED

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REVISIONS

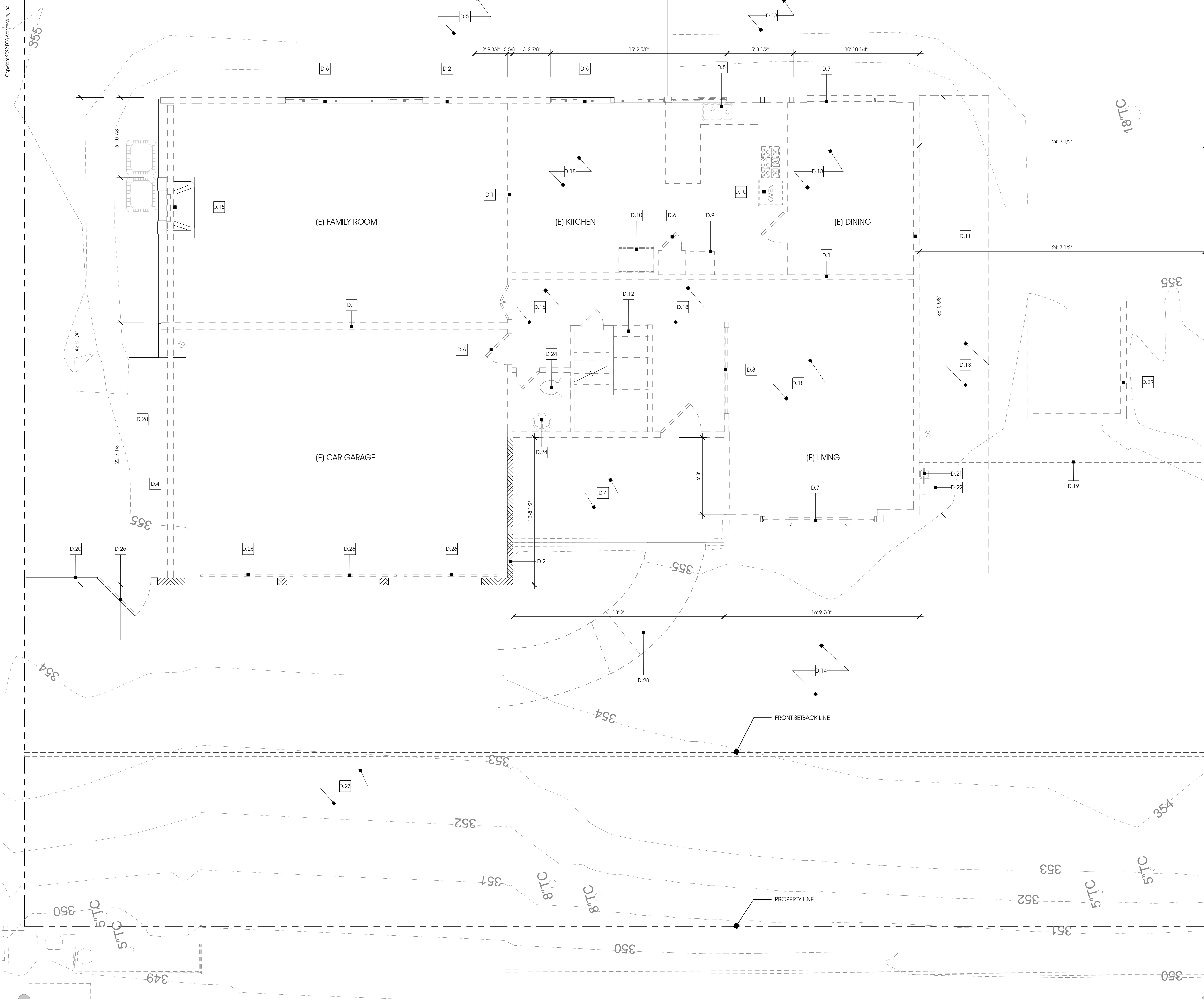
02-16-2022	CDP/SDP REVIEW
05-25-2022	CDP/SDP REVIEW
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PHASE PLANNING SET

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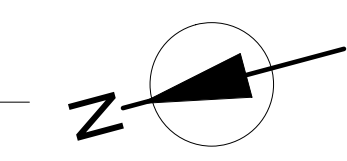
FIRST FLOOR DEMO PLAN

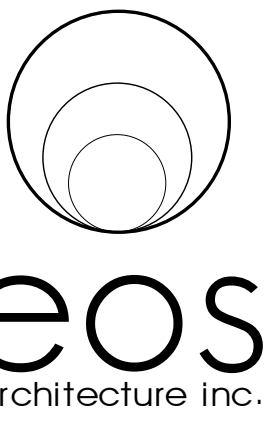
D1



FIRST FLOOR DEMO PLAN

1/4" = 1'-0"





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SECOND FLOOR DEMO
PLAN

D2

DEMO NOTES

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- PROTECT IN PLACE ALL EXISTING FINISHES, WALLS AND FURNISHINGS TO REMAIN, WHERE POSSIBLE CONSERVE AND PROTECT ANY REMOVED FINISHES WHICH MAY BE USED FOR PATCH AND REPAIR WORK.
- PROVIDE ALL REQUIRED SHORING.
- SAWCUT AND REMOVE CONCRETE AS REQUIRED FOR NEW PLUMBING FIXTURE LOCATION PER PLAN.

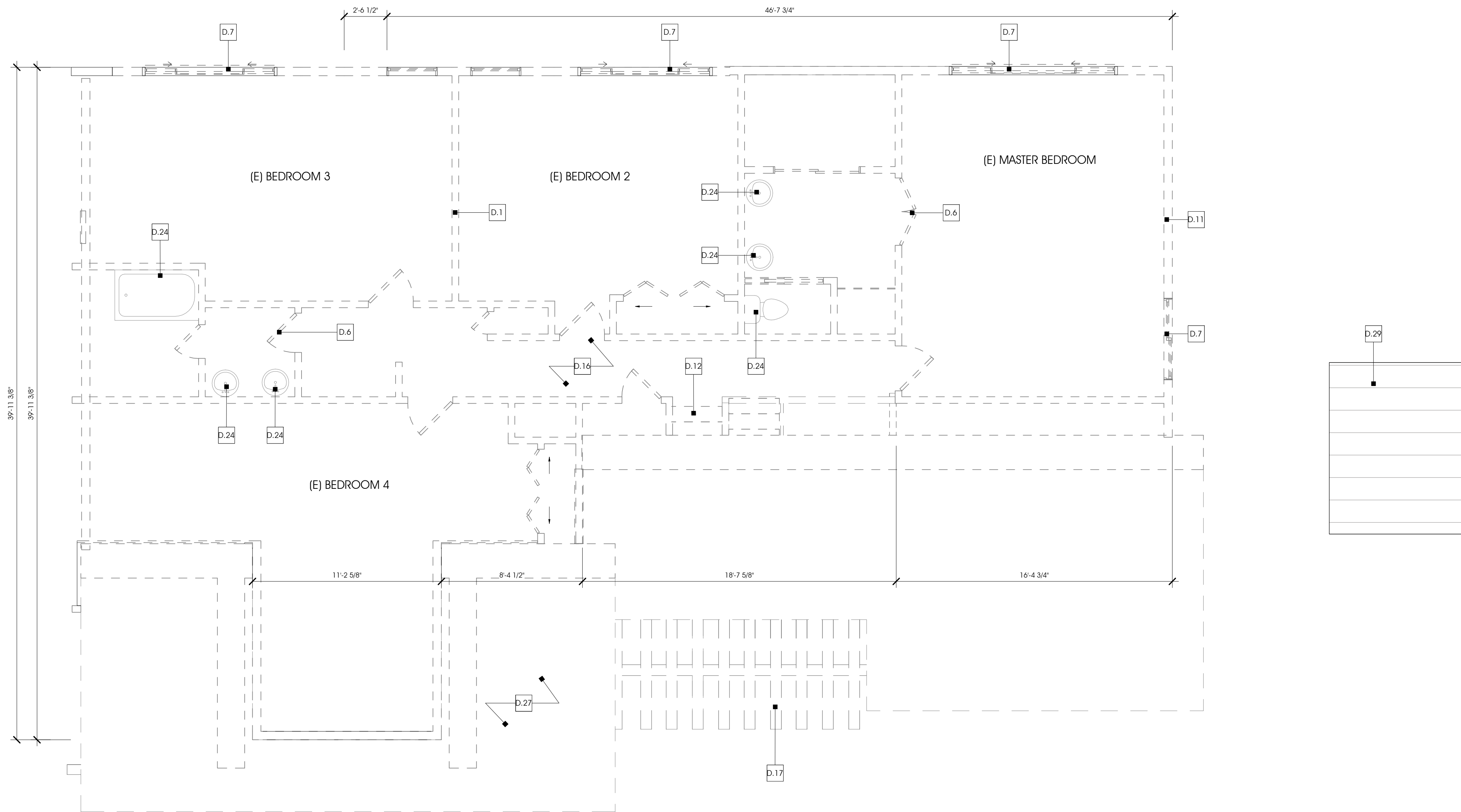
LEGEND

	EXISTING OPENING TO BE FILLED
	EXISTING WALL TO REMAIN
	EXISTING OPENING TO REMAIN
	EXISTING WALL TO BE REMOVED
	EXISTING DOOR/WINDOW TO BE REMOVED

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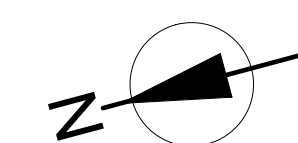
KEYNOTE

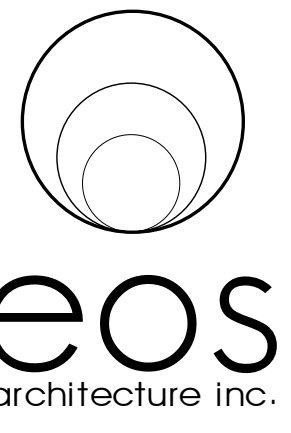
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- D.6 (E) DOOR TO BE REMOVED
- D.7 (E) WINDOW TO BE REMOVED
- D.11 (E) EXTERIOR WALL TO BE REMOVED
- D.12 (E) STAIR TO BE REMOVED
- D.16 (E) REMOVE CEILING THROUGHOUT
- D.17 (E) WOOD TRELLIS TO BE DEMOLISHED
- D.24 (E) PLUMBING FIXTURE TO BE REMOVED
- D.27 (E) ROOF TO BE COMPLETELY DEMOLISHED
- D.29 (E) SHED TO BE REMOVED



SECOND FLOOR DEMO PLAN

1/4" = 1'-0"





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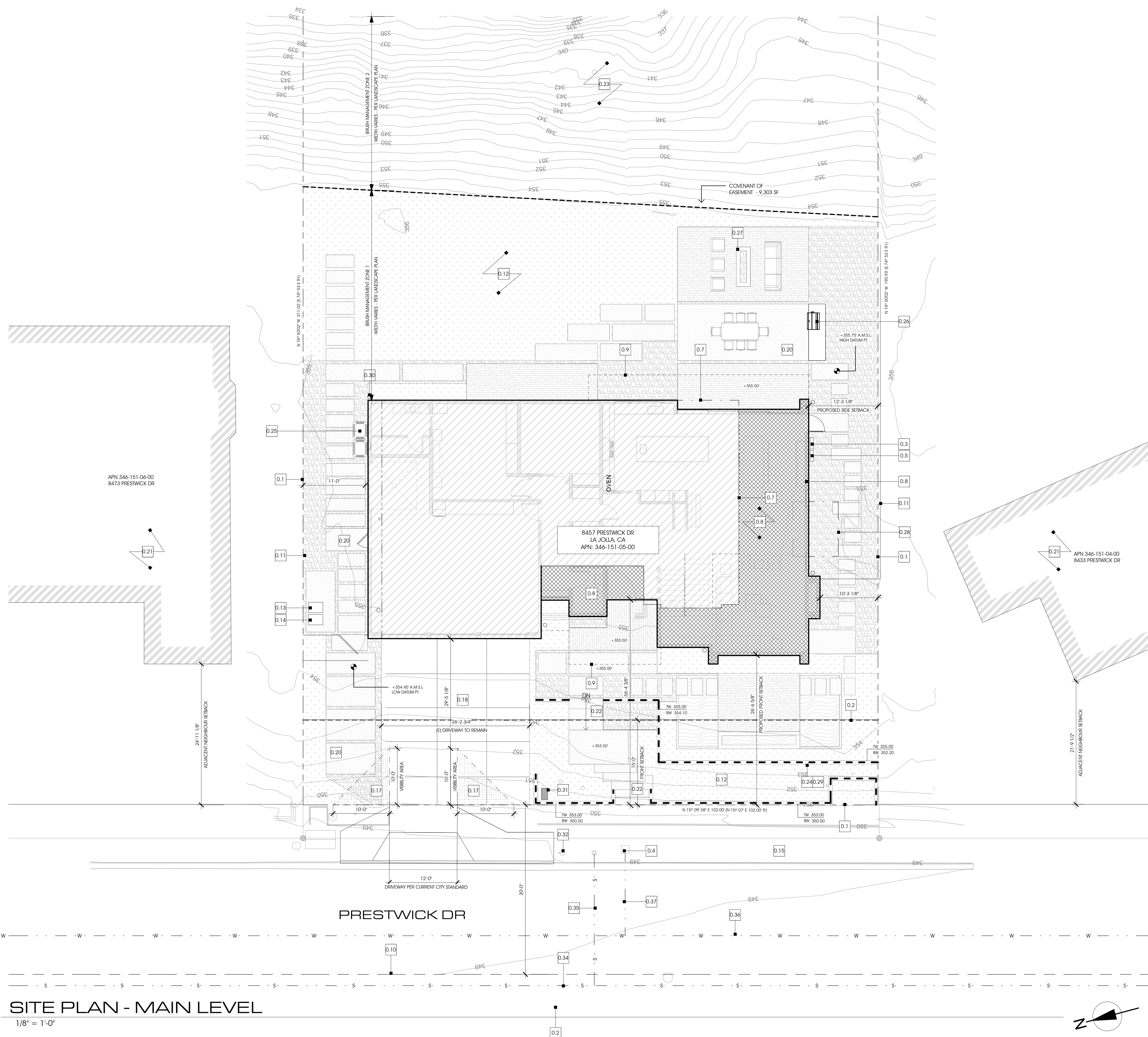
SITE PLAN - MAIN LEVEL

SP1

KEYNOTE

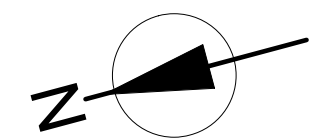
- 0.1 PROPERTY LINE, TYP.
- 0.2 SETBACK LINE, TYP.
- 0.3 EXISTING GAS METER
- 0.4 EXISTING WATER METER
- 0.5 EXISTING ELECTRIC METER
- 0.7 LINE OF EXISTING RESIDENCE
- 0.8 PROPOSED FIRST FLOOR ADDITION
- 0.9 LINE OF PROPOSED SECOND FLOOR ABOVE
- 0.10 CENTER LINE OF STREET
- 0.11 PROPOSED FENCE AND GATE TO BE MAX. HEIGHT 6'-0"
- 0.12 LANDSCAPE PER LANDSCAPE PLANS
- 0.13 RECYCLABLE MATERIAL STORAGE LOCATION, 12 SF MINIMUM, PER SDMC 142.0805
- 0.14 TRASH STORAGE LOCATION
- 0.15 EXISTING CURB, GUTTER AND SIDEWALK TO REMAIN, PROTECT IN PLACER
- 0.17 VISIBILITY AREA PER SDMC 113.0273. NO OBSTRUCTION INCLUDING SOLID WALLS IN THE VISIBILITY AREA SHALL EXCEED 3FT IN HEIGHT. PER SDMC 142.0409(B)(2), PLANT MATERIAL OTHER THAN TREES, LOCATED WITHIN VISIBILITY AREA OR ADJACENT PUBLIC RIGHT-OF-WAY SHALL NOT EXCEED 36" IN HEIGHT, MEASURED FROM THE LOWEST GRADE ADJUTING THE PLANT MATERIAL TO THE TOP OF THE PLANT MATERIAL
- 0.18 ACID ETCHED EXPOSED AGGREGATE COLORED CONCRETE
- 0.20 PROPOSED NEW HARDSCAPE
- 0.21 ADJACENT SITE, NAP
- 0.22 PROPOSED STAIR PER LANDSCAPE
- 0.23 EXISTING ESL - BRUSH MANAGEMENT ZONE 2 TO BE MAINTAINED PER LANDSCAPE PLANS
- 0.24 NEW RETAINING WALL PER CITY STANDARD
- 0.25 AC UNITS
- 0.26 BBQ PER LANDSCAPE PLANS
- 0.27 GAS FIREPIT PER LANDSCAPE PLANS
- 0.28 EXISTING SHED TO BE REMOVED
- 0.29 PROPOSED MASONRY FENCE PER LANDSCAPE PLAN
- 0.30 PROPOSED ROOF DOWNSPOT TO DISCHARGE TO LANDSCAPE AREA
- 0.31 PROPOSED MAILBOX LOCATION
- 0.32 EXISTING MAILBOX TO BE RELOCATED
- 0.34 SEWER MAIN
- 0.35 SEWER LATERAL
- 0.36 WATER MAIN
- 0.37 WATER LATERAL

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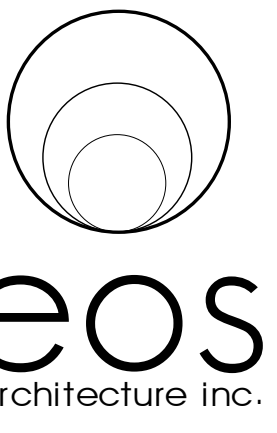
SITE PLAN - MAIN LEVEL

1/8" = 1'-0"



PROJECT INFORMATION		
EXISTING CONDITIONS		
TOTAL LOT SIZE:	20,278 SF (0.46 ACRES)	
EXISTING AMOUNT OF PERVIOUS AREA:	15,218 SF	
EXISTING AMOUNT OF IMPERVIOUS AREA:	5,060 SF	
PROPOSED CONDITIONS:		
PROPOSED AMOUNT OF PERVIOUS AREA:	14,528 SF	
PROPOSED AMOUNT OF IMPERVIOUS AREA:	5,750 SF	
TOTAL DISTURBANCE AREA:	15,090 SF	
IMPERVIOUS AREA % INCREASE:	(+1) 13.6%	
CREATED AND/OR REPLACE IMPERVIOUS AREA:	3,413 SF	
GRADING TABULATIONS		
TOTAL AMOUNT OF SITE TO BE GRADED:	9,355 SF	% OF TOTAL SITE: 46%
AMOUNT OF CUT:	10 CUBIC YARDS	MAXIMUM DEPTH OF CUT: 1 FEET
AMOUNT OF FILL:	55 CUBIC YARDS	MAXIMUM DEPTH OF FILL: 1 FEET
MAXIMUM HEIGHT OF FILL SLOPES:	N/A FEET	SLOPE RATIO: N/A
MAXIMUM HEIGHT OF CUT SLOPES:	N/A FEET	SLOPE RATIO: N/A
AMOUNT OF IMPORT/EXPORT SOIL:	45 CUBIC YARDS	SLOPE RATIO: N/A
RETAINING/CURB WALLS LENGTH:	38 FEET	MAXIMUM HEIGHT: 2 FEET

- NOTES
- THIS PROJECT IS LOCATED WITHIN THE ASBS WATERSHED. THE PERMITEE WILL REUIRGRE TO COMPLY WITH ALL ASBS WATERSHED REQUIREMENTS
 - EXISTING GRADE WILL NOT BE MODIFIED
 - INCREASE IN RUNOFF RESULTING FROM THE DEVELOPMENT OF THE SITE SHALL BE DIRECTED AWAY FROM THE STEEP HILLSIDE AREA AND EITHER INTO AN EXISTING OR NEWLY IMPROVED PUBLIC STORM DRAIN SYSTEM OR ONTO A STREET DEVELOPED WITH A GUTTER SYSTEM OR PUBLIC RIGHT-OF-WAY DESIGNATED TO CARRY SURFACE DRAINAGE RUN-OFF
 - THIS PROJECT WILL NOT DISCHARGE ANY INCREASE IN STORM WATER RUN-OFF ONTO THE EXISTING HILLSIDE
 - BRUSH MANAGEMENT ZONE 1 SHALL NOT EXTEND INTO ESL/STEEP HILLSIDE



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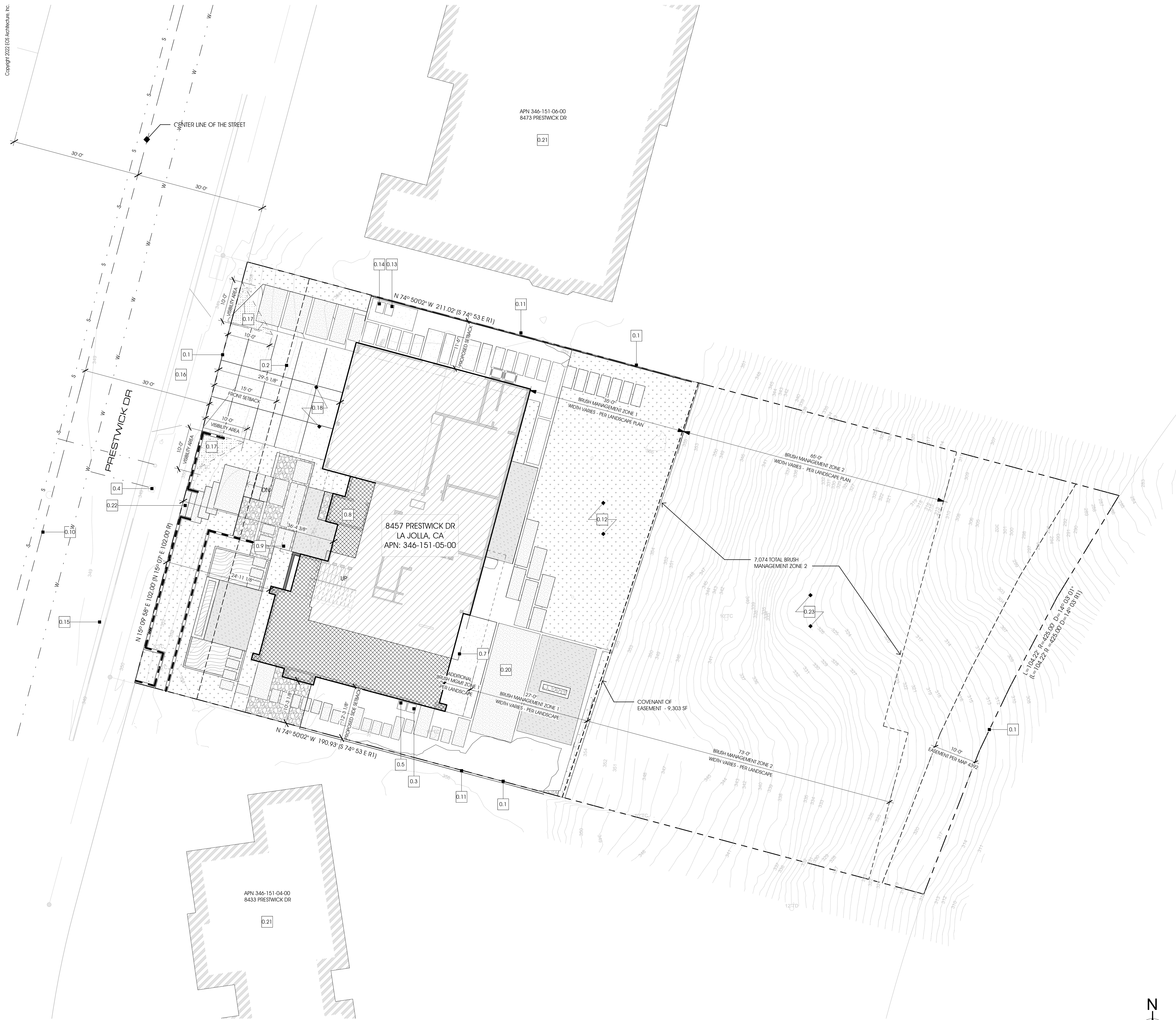
OVERALL SITE PLAN

SP2

KEYNOTE

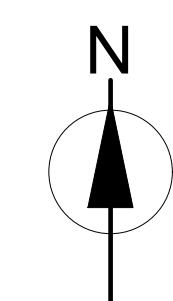
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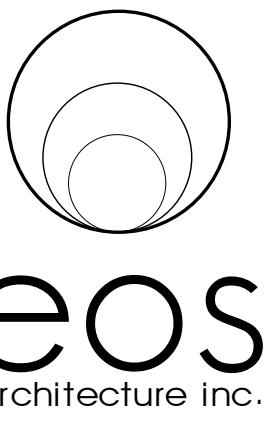
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OVERALL SITE PLAN

3/32" = 1'-0"





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SITE PLAN - SETBACK SURVEY

SP3

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2.3: LA JOLLA SHORES PLANNED DISTRICT
8457 PRESTWICK DR, LA JOLLA, CA 92037
300' RADIUS SURVEY

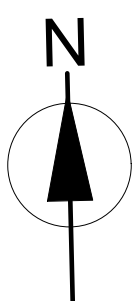
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8419 PRESTWICK DR	346-151-03-00	4,417	5,017	20,319	0.25
8433 PRESTWICK DR	346-151-04-00	3,870	4,470	20,086	0.22
8457 PRESTWICK DR	346-151-05-00	3,423	4,023	20,039	0.20
8473 PRESTWICK DR	346-151-06-00	3,722	4,322	23,522	0.18
8493 PRESTWICK DR	346-151-07-00	2,212	2,812	20,538	0.14
2715 INVERNESS DR	346-680-15-00	2,393	2,993	18,995	0.16
8495 WHALE WATCH WAY	346-152-01-00	6,397	6,997	19,694	0.36
8466 PRESTWICK DR	346-152-02-00	3,505	4,105	19,926	0.21
8444 PRESTWICK DR	346-152-03-00	3,255	3,855	19,923	0.19
8422 PRESTWICK DR	346-152-04-00	5,358	5,958	19,910	0.30
8404 PRESTWICK DR	346-152-05-00	3,090	3,690	19,280	0.19

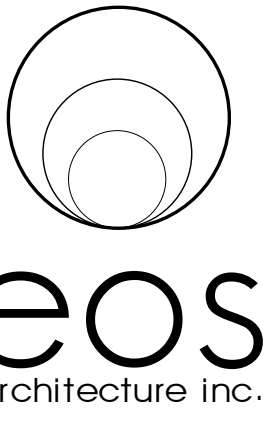
Average setback
Average FAR

0.22

SITE PLAN- SETBACK SURVEY

SCALE: 1" = 40'-0"





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KEYNOTE

- 1.1 PROPERTY LINES, TYP
- 1.2 SETBACK LINE, TYP
- 1.3 EXTERIOR WALL: 2x WOOD STUD FRAMING, EXTERIOR FINISH PER EXTERIOR ELEVATIONS O/ 2 LAYERS MIN, GRADE 'D' BUILDING PAPER, INSIDE 5/8" GWB UCN PER INTERIOR ELEVATIONS
- 1.4 INTERIOR WALL: 2x WOOD STUD FRAMING
- 1.5 CAT DOOR
- 1.6 WINDOW, TYP.
- 1.7 DOOR, TYP.
- 1.8 LINE OF UPPER LEVEL ABOVE
- 1.10 LINE OF EXISTING RESIDENCE
- 1.11 LINE OF BEAM/ SOFFIT/ ROOF ABOVE
- 1.12 APPLIANCE PER OWNER
- 1.14 FIREPLACE
- 1.15 TUB
- 1.17 GARAGE DOOR
- 1.18 SLIDING DOOR
- 1.19 BUILT IN/ CABINETRY
- 1.22 PARKING TO BE 19'-0" X 9'-0" CLEAR
- 1.23 TRASH AND RECYCLING LOCATION
- 1.24 ROOF PER ROOF PLAN
- 1.25 PLUMBING FIXTURE PER OWNER

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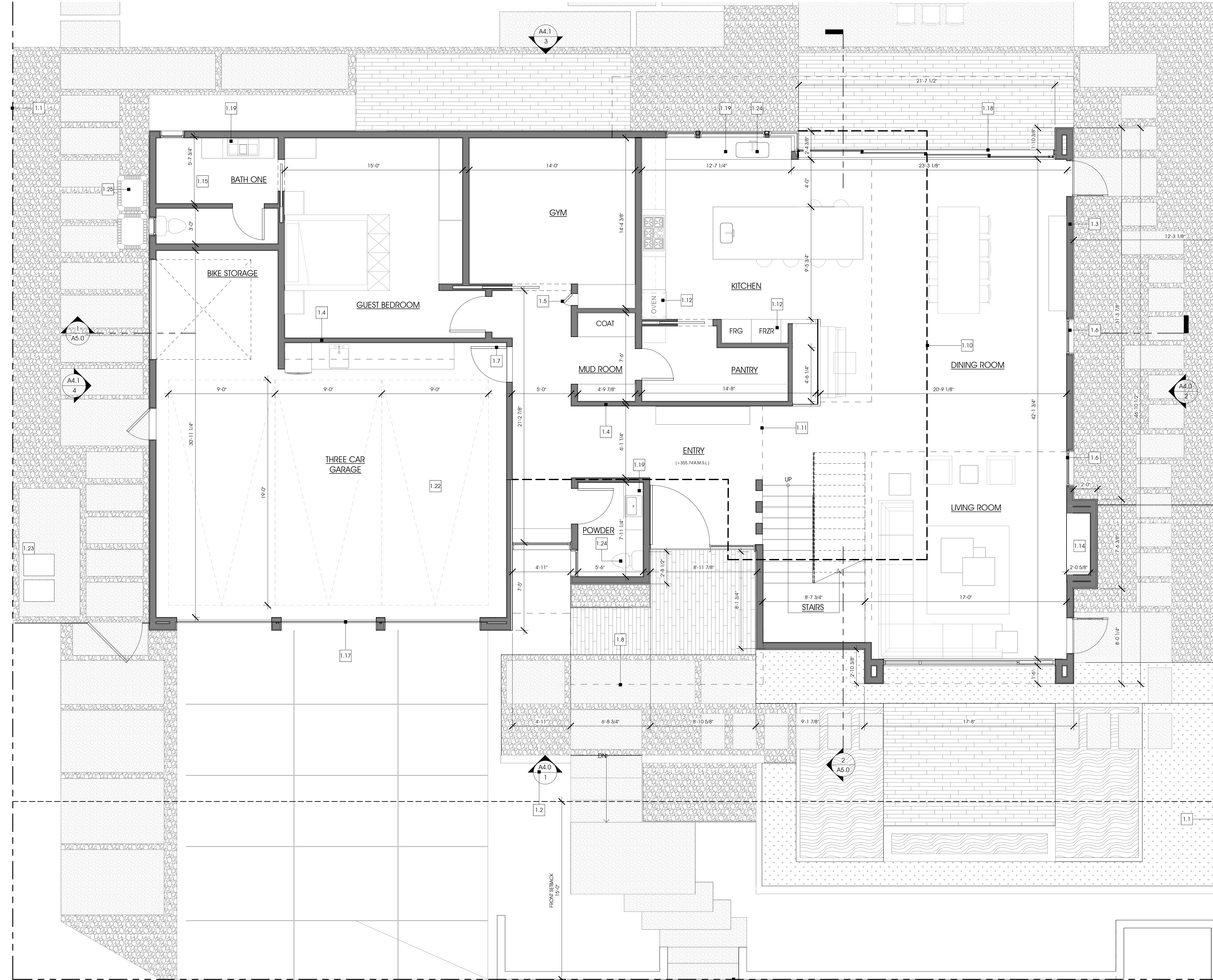
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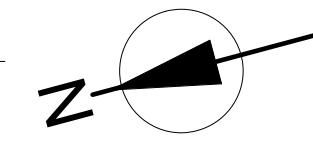
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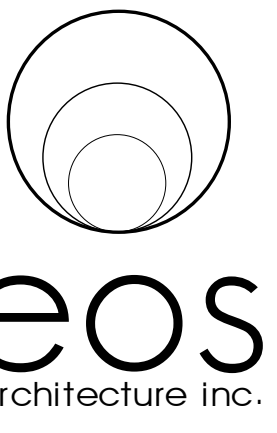
FIRST FLOOR PLAN



FIRST FLOOR PLAN

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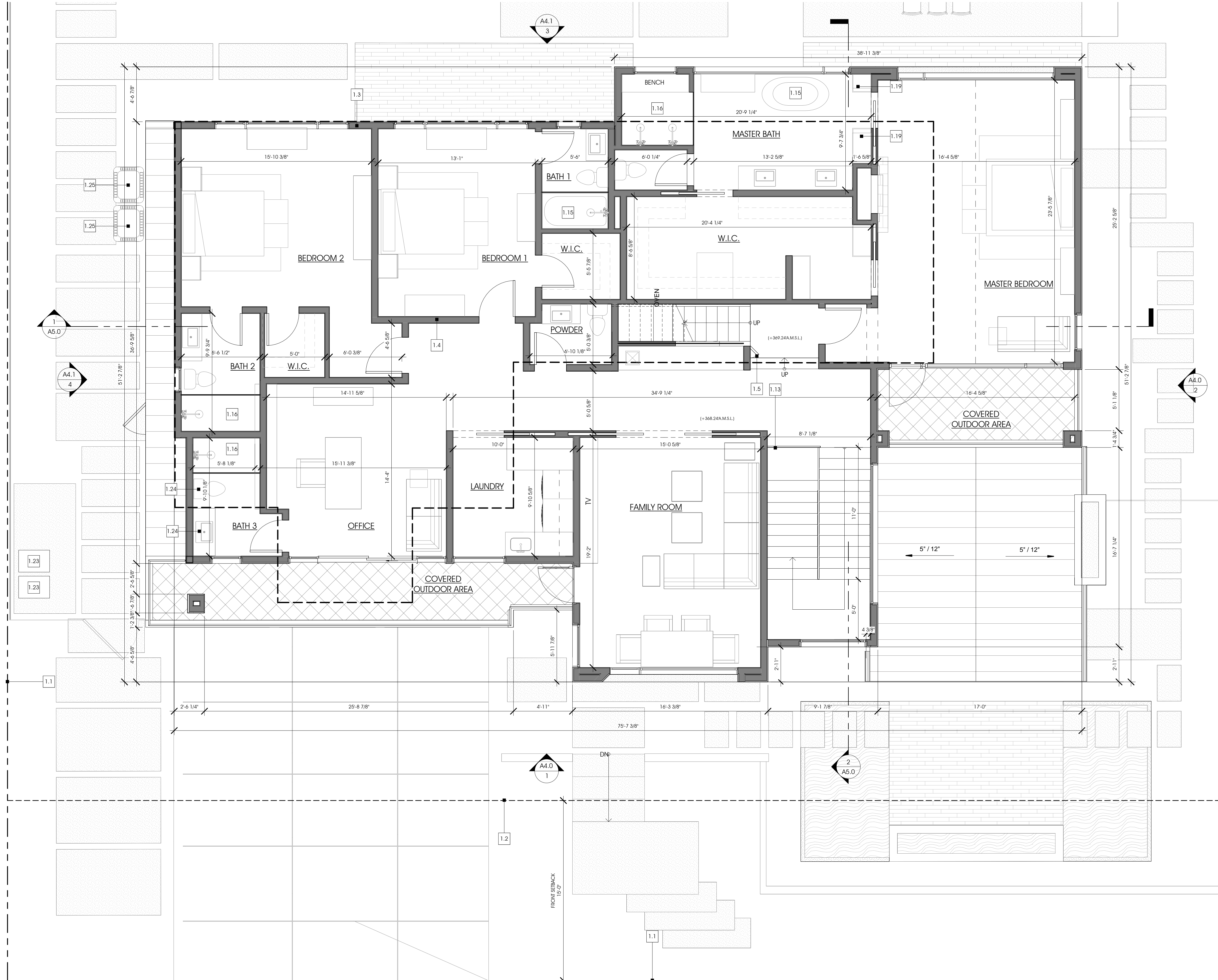
SECOND FLOOR PLAN

A1.1

KEYNOTE

- 1.1 PROPERTY LINES, TYP
- 1.2 SETBACK LINE, TYP
- 1.3 EXTERIOR WALL: 2x WOOD STUD FRAMING. EXTERIOR FINISH PER EXTERIOR ELEVATIONS O/ 2 LAYERS MIN. GRADE 'D' BUILDING PAPER. INSIDE 5/8" GWB UON PER INTERIOR ELEVATIONS
- 1.4 INTERIOR WALL: 2x WOOD STUD FRAMING
- 1.5 CAT DOOR
- 1.13 42" HIGH GUARDRAIL
- 1.15 TUB
- 1.16 WALK-IN SHOWER
- 1.19 BUILT IN CABINETRY
- 1.23 TRASH AND RECYCLING LOCATION
- 1.24 ROOF PER ROOF PLAN
- 1.25 PLUMBING FIXTURE PER OWNER

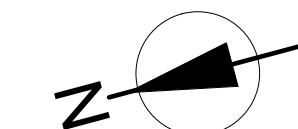
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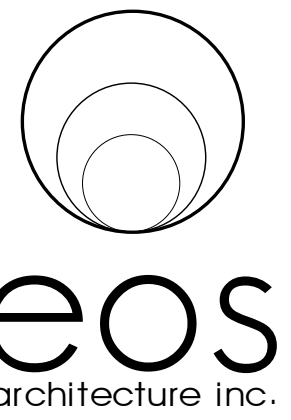


SECOND FLOOR PLAN

1/4" = 1'-0"

- ADD 965 SF. TOTAL: 3,104 SF





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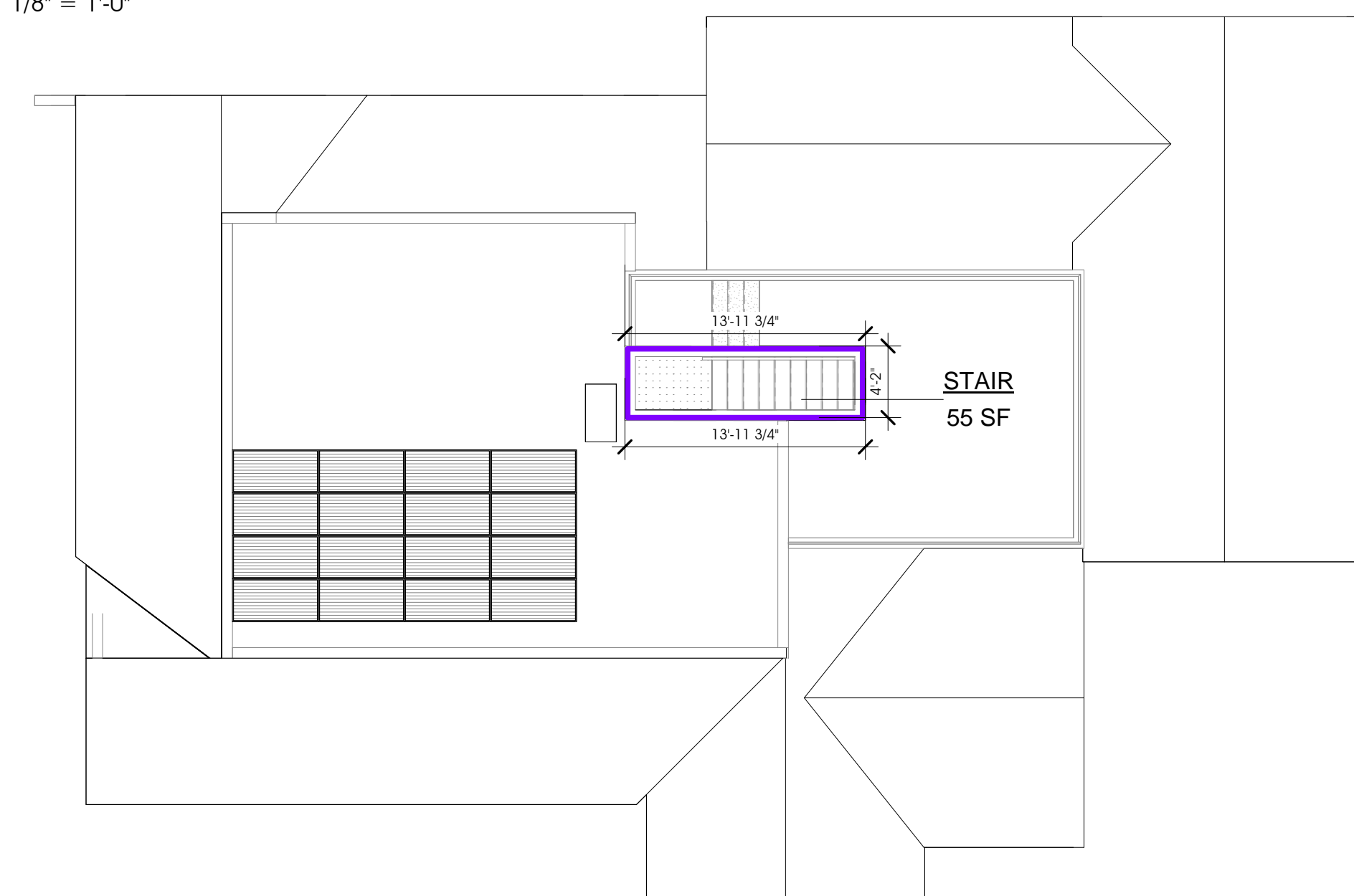
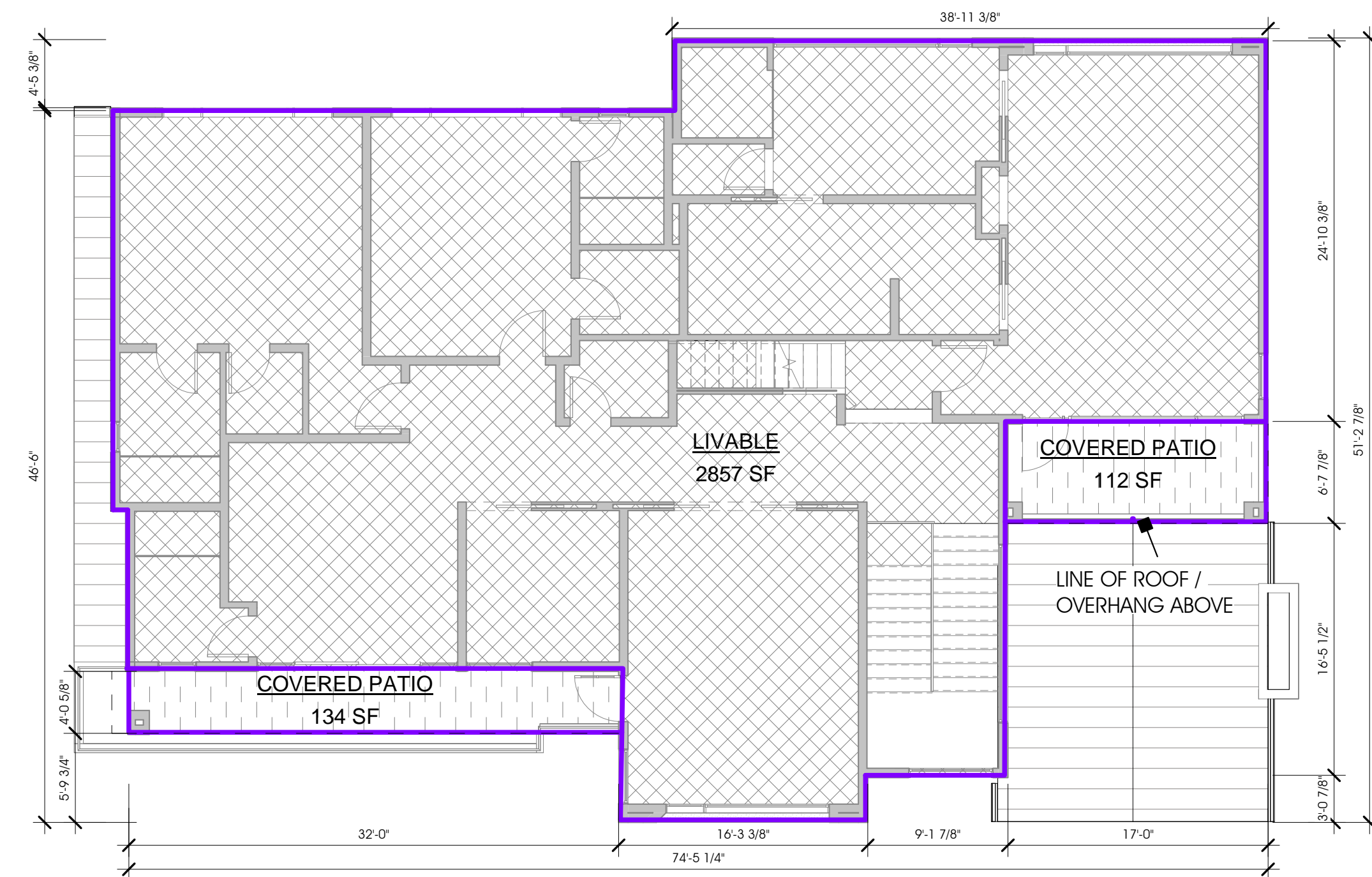
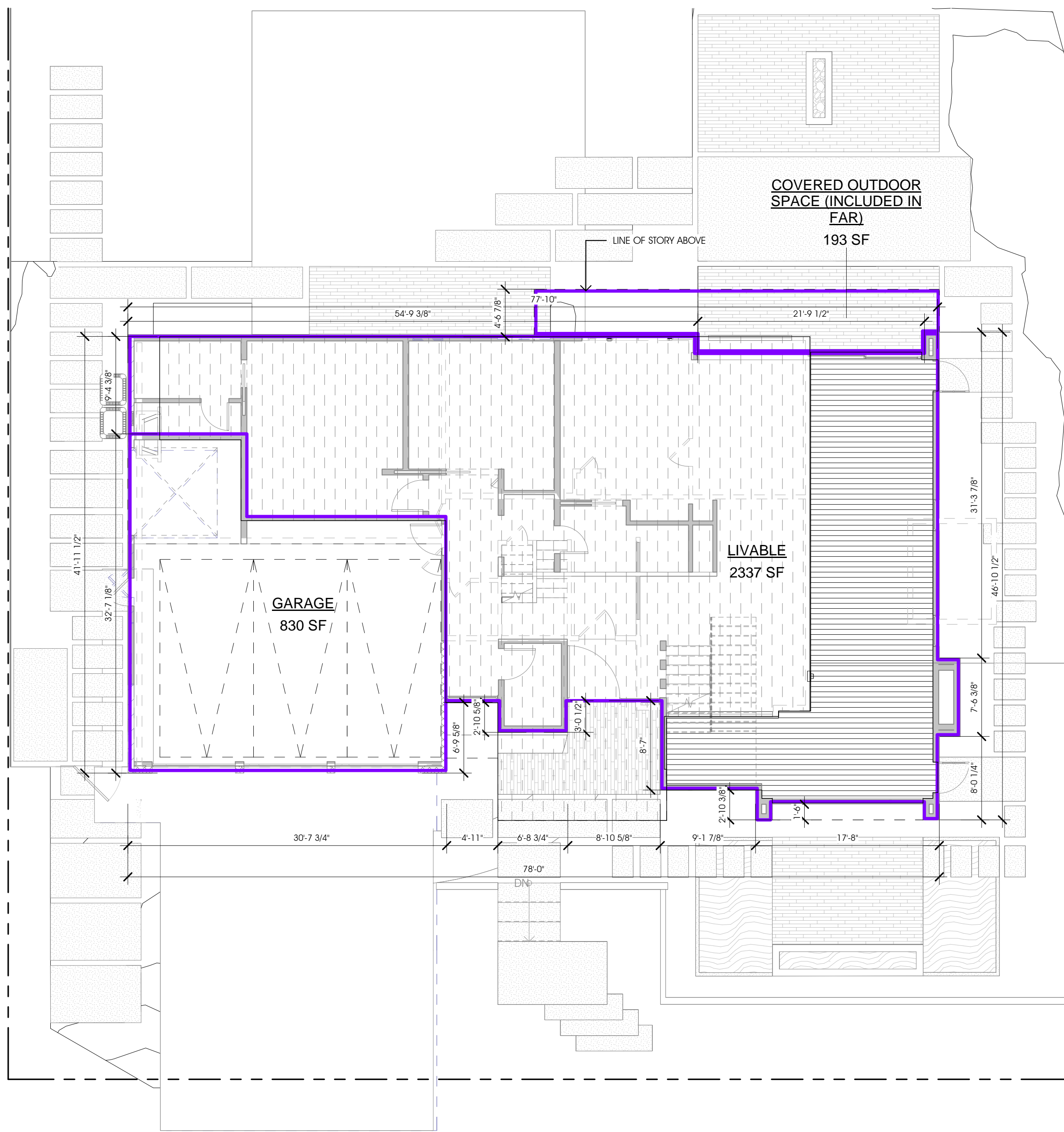
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09-07-2021

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21-10

F.A.R. DIAGRAM

A2.0



FIRST FLOOR FAR DIAGRAM

1/8" = 1'-0"

ROOF DECK FAR DIAGRAM

1/8" = 1'-0"

PROJECT INFORMATION

PROJECT DESCRIPTION:
REMODEL AND ADDITION TO EXISTING 3423 SF TWO STORY SINGLE FAMILY RESIDENCE, STAIR TOWER AND ROOF DECK, ASSOCIATED LANDSCAPE, HARDSCAPE AND RETAINING WALLS.

BUILDING AREA CALCULATION

FIRST FLOOR

LIVING: 2,337 SF
GARAGE: 830 SF

SECOND FLOOR

LIVING: 2,857 SF
ROOF - STAIRS TOWER: 55 SF

TOTAL LIVABLE AREA: 5,194 SF
TOTAL BUILDING AREA: 6,079 SF

F.A.R. CALCULATION

COVERED AREA INCLUDED IN FAR: 193 SF
TOTAL BUILDING AREA INCLUDED IN F.A.R.: 6,079 SF
TOTAL F.A.R.: 6,272 SF

TOTAL LANDSCAPE AREA: 15,959.6 SF
TOTAL COVERED PATIO AREA: 439 SF

APN#: 346-151-05-00
LEGAL DESCRIPTION: TR 4392 LOT 47*
EXISTING USE: SINGLE FAMILY RESIDENCE
PROPOSED USE: SINGLE FAMILY RESIDENCE
ZONE: LJSPD-SF (LA JOLLA SHORES PLANNED DISTRICT:SF)
ZONE OVERLAY: CO2- COASTAL OVERLAY ZONE
CHL02- COASTAL HEIGHT LIMIT OVERLAY ZONE
P102- PARKING IMPACT OVERLAY ZONE
OCCUPANCY: R-3
CONSTRUCTION TYPE: V-B
GROSS LOT SIZE: 20,235 SF (0.46 acres)
HEIGHT LIMIT: 30'-0"/ 30'-0" PROP 'D' HEIGHT LIMIT
ENVIRONMENTALLY SENSITIVE LANDS: SENSITIVE VEGETATION
STEEP HILLSIDE
HYDROLOGY: ASBS- XX
GEOLOGY AND SOLS: GEOLOGICAL HAZARD CATEGORY

F.A.R. CALCULATION

EXISTING SQUARE FOOTAGE

- FIRST FLOOR HABITABLE: 1,704 SF
- SECOND FLOOR: 1,701 SF
- GARAGE: 637 SF

PROPOSED SQUARE FOOTAGE

- FIRST FLOOR: 2,337 SF
- SECOND FLOOR / ROOF DECK ACCESS: 2,912 SF
- GARAGE: 830 SF

TOTAL SQUARE FOOTAGE

- EXISTING SQUARE FOOTAGE: 4,042 SF
- ADDITION SQUARE FOOTAGE: 1,987 SF
- TOTAL BUILDING SQUARE FOOTAGE: 6,079 SF

AREA INCLUDED IN FAR

BUILDING AREA: 6,079 SF
OUTDOOR COVERED AREA: 193 SF
TOTAL AREA: 6,272 SF
PROPOSED FAR: 30.9%
AVERAGE 300' RADIUS FAR: 0.23

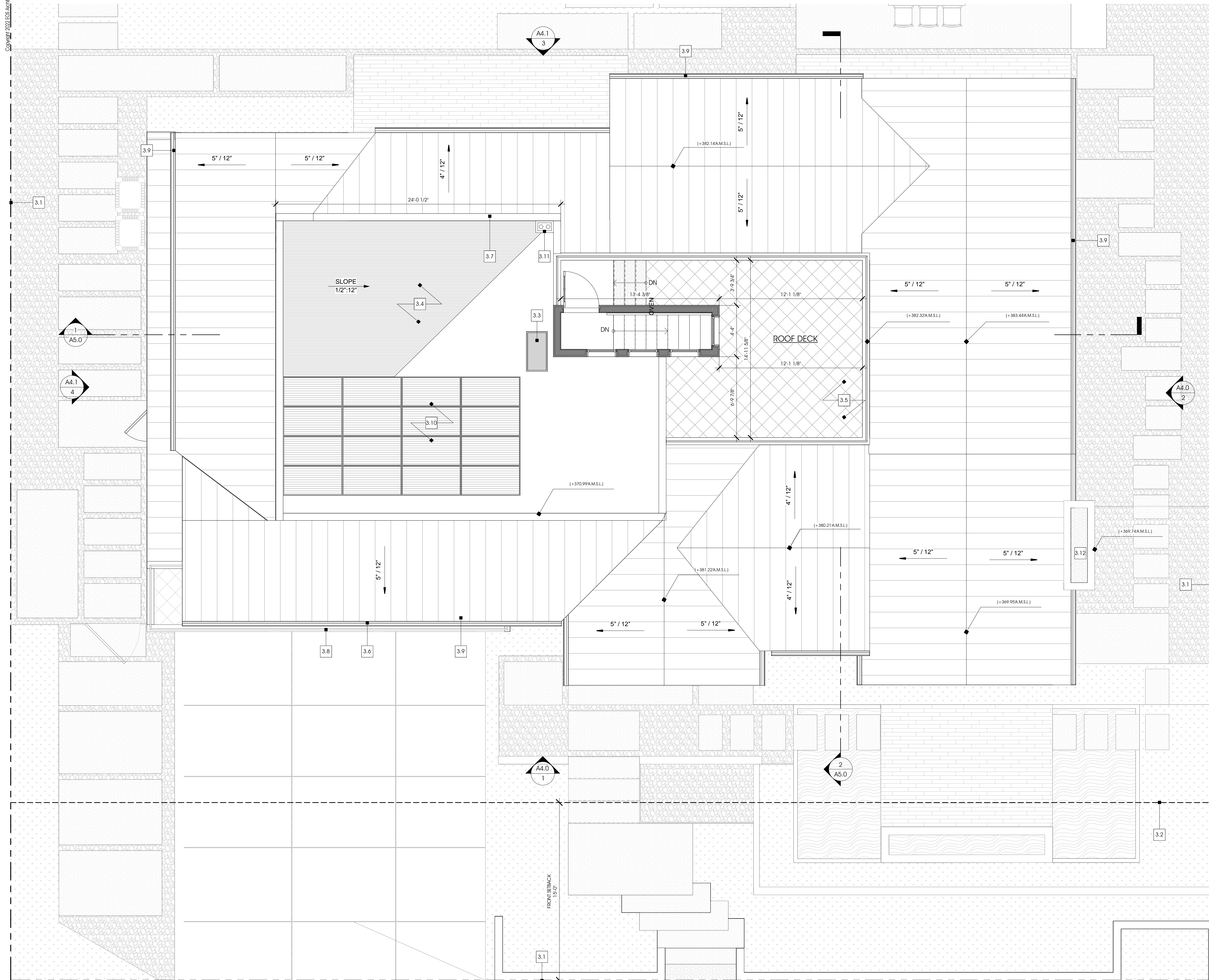
LEGEND

- PRIMARY RESIDENTIAL LIVABLE AREA
- GARAGE AREA
- EXISTING LIVABLE
- PROPOSED LIVABLE

NOTES

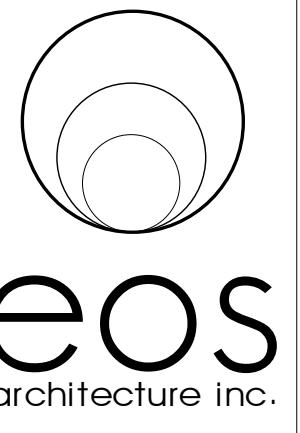
ALL DIMENSIONS ARE MEASURED FROM THE EXTERIOR WALL SURFACES.

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KEYNOTE

- 3.1 PROPERTY LINE, TYP.
- 3.2 SETBACK LINE, TYP.
- 3.3 SKYLIGHT
- 3.4 B.U.R. ROOF
- 3.5 DECK
- 3.6 TILE DECK BELOW
- 3.7 PARAPET WALL
- 3.8 GLASS RAILING BELOW
- 3.9 GUTTER, TYP.
- 3.10 SOLAR PANELS, TYP.
- 3.11 ROOF DRAIN
- 3.12 CHIMNEY



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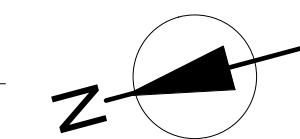
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21-10

ROOF PLAN

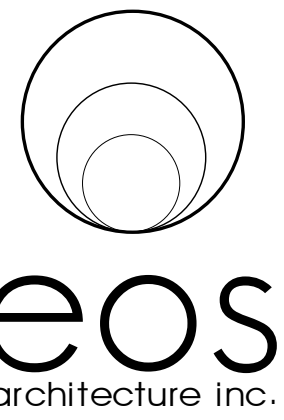
ROOF PLAN

1/4" = 1'-0"



A3.0

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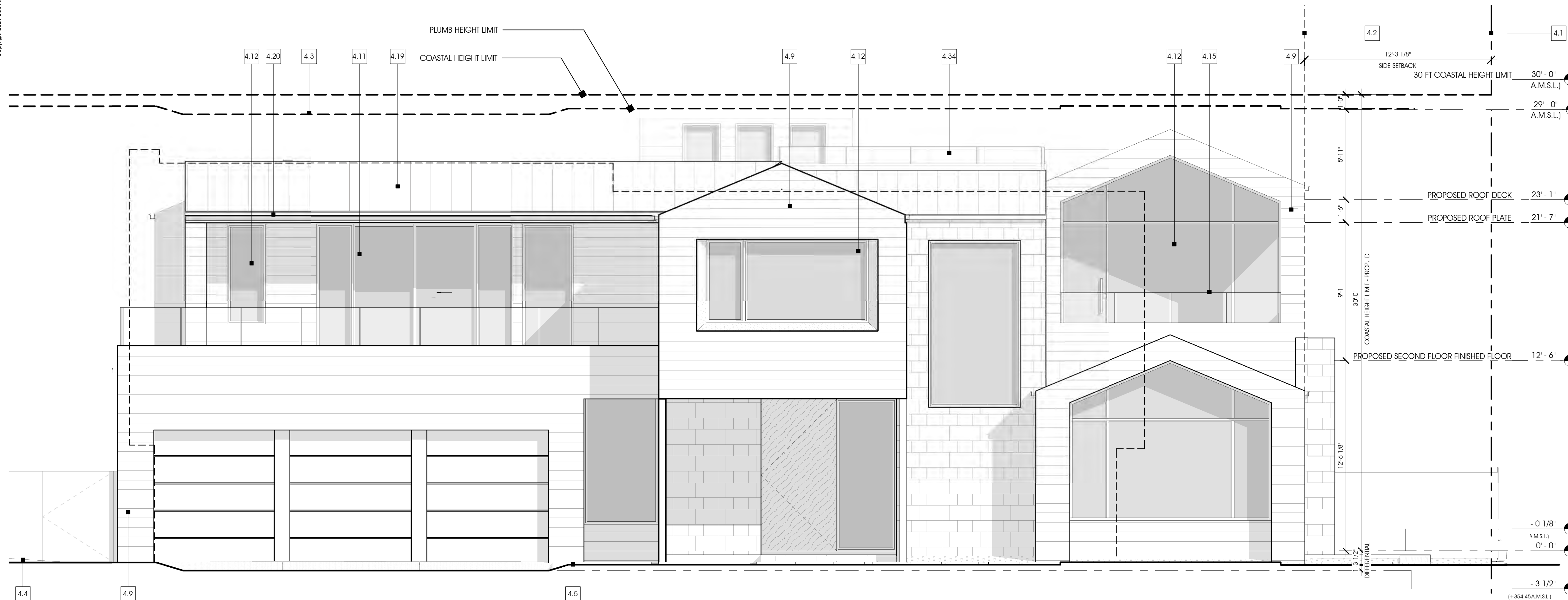
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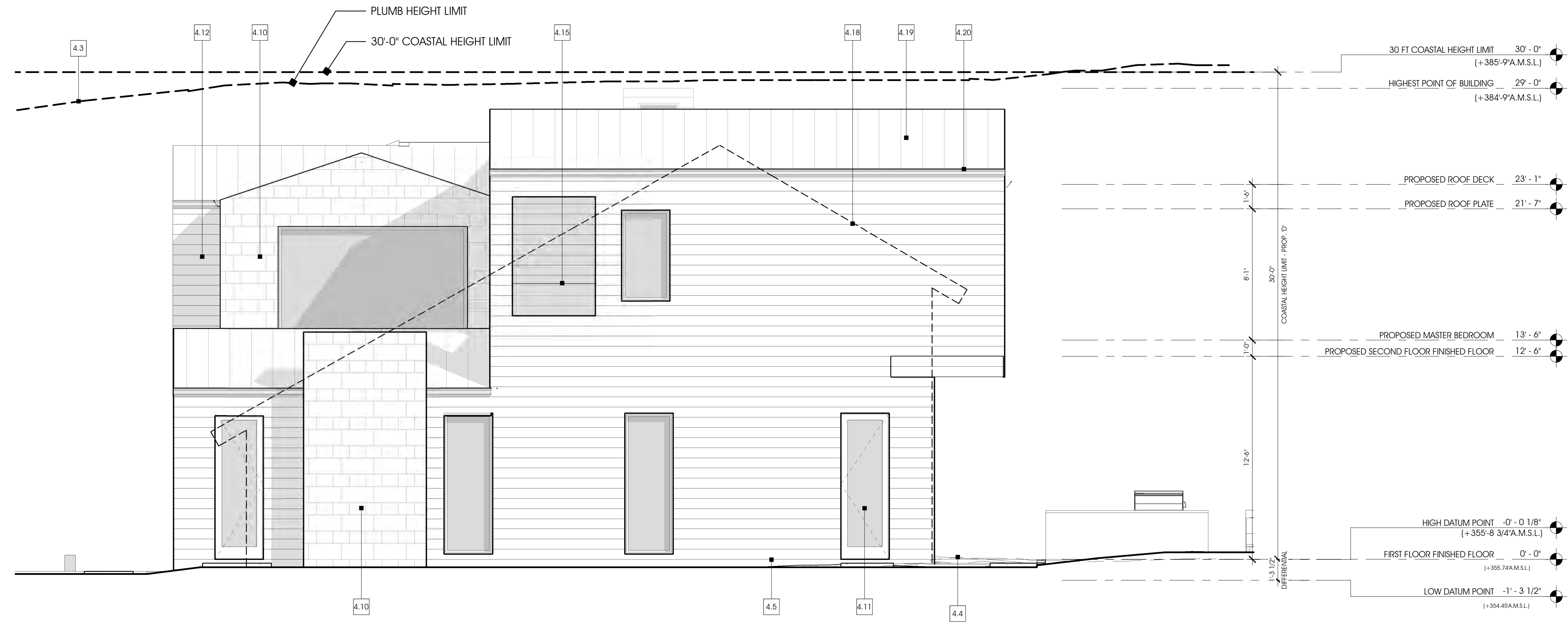
KEYNOTE

- 4.1 PROPERTY LINE, TYP.
- 4.3 PLUMB HEIGHT LIMIT FROM LOWER OF EXISTING OR PROPOSED GRADE
- 4.4 LINE OF EXISTING GRADE, AT BUILDING LINE
- 4.5 LINE OF PROPOSED GRADE AT BUILDING LINE
- 4.9 STUCCO FINISH - SENERGY STUCCO, TWO COAT ACRYLIC FINISH COLOR PER ARCHITECT
- 4.10 STONE VENEER FINISH, PER ARCH
- 4.11 DOOR, TYP.
- 4.12 WINDOW, TYP.
- 4.14 ENTRY DOOR TO BE SELECTED BY OWNER/ ARCHITECT
- 4.15 42" HIGH GLASS GUARDRAIL
- 4.17 GARAGE DOOR
- 4.18 LINE OF EXISTING BUILDING
- 4.19 METAL ROOF PER ROOF PLAN
- 4.20 GUTTER TYP.

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1 WEST ELEVATION
1/4" = 1'-0"



2 SOUTH ELEVATION
1/4" = 1'-0"

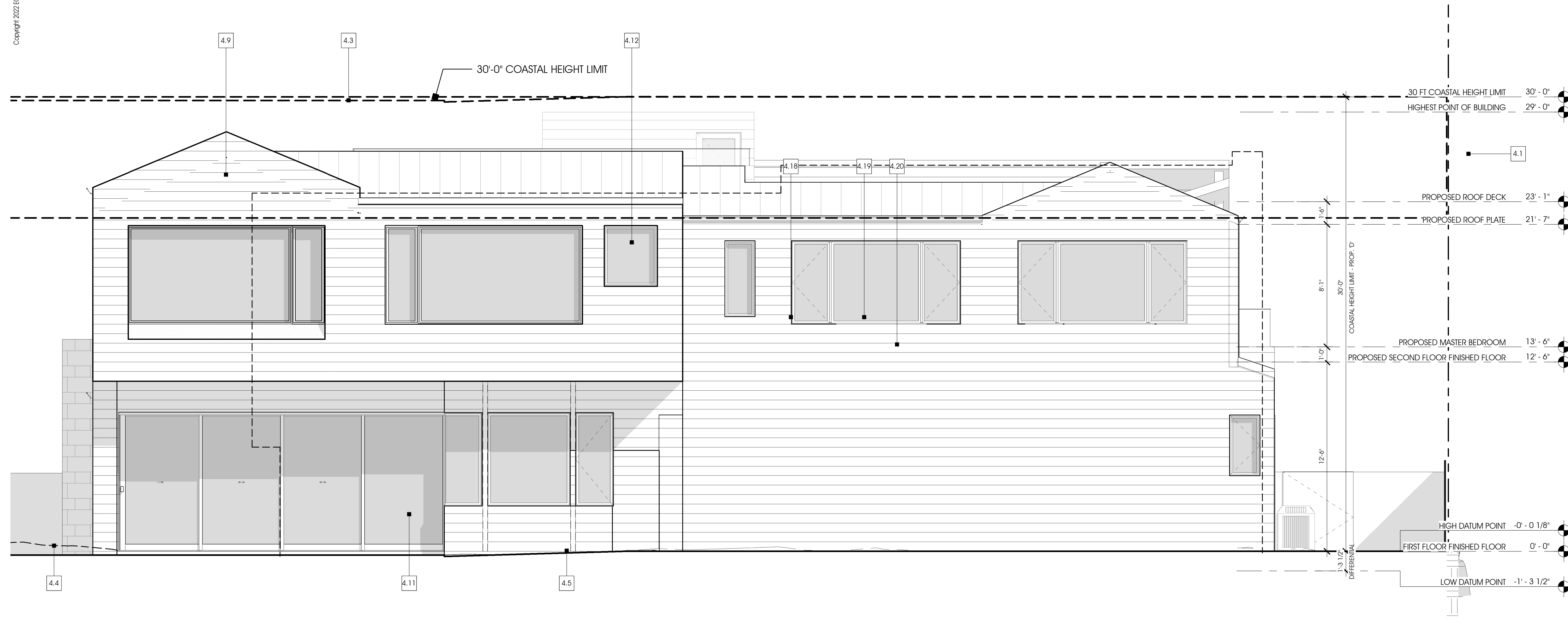
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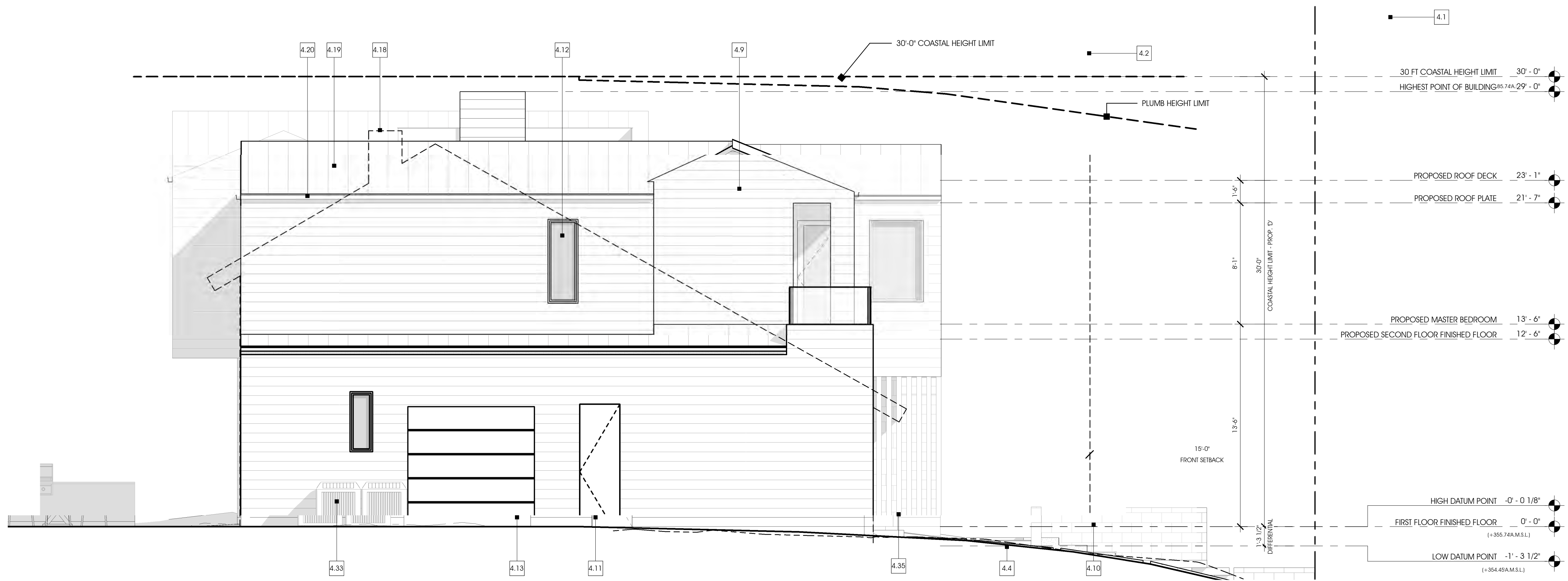
BUILDING EXTERIOR ELEVATIONS

A4.0

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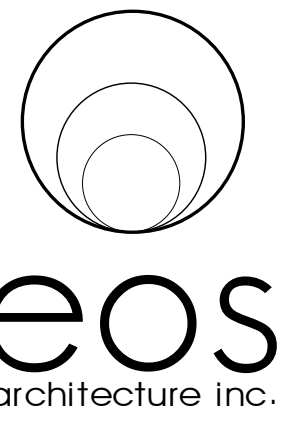
3 EAST ELEVATION
1/4" = 1'-0"



4 NORTH ELEVATION
1/4" = 1'-0"

KEYNOTE

- 4.1 PROPERTY LINE, TYP.
- 4.3 PLUMB HEIGHT LIMIT FROM LOWER OF EXISTING OR PROPOSED GRADE
- 4.4 LINE OF EXISTING GRADE, AT BUILDING LINE
- 4.5 LINE OF PROPOSED GRADE AT BUILDING LINE
- 4.9 STUCCO FINISH - SENERGY STUCCO, TWO COAT ACRYLIC FINISH COLOR PER ARCHITECT
- 4.11 DOOR, TYP.
- 4.12 WINDOW, TYP.
- 4.18 LINE OF EXISTING BUILDING
- 4.19 METAL ROOF PER ROOF PLAN
- 4.20 GUTTER TYP.
- 4.33 AC UNITS



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PHASE

PLANNING SET

DATE

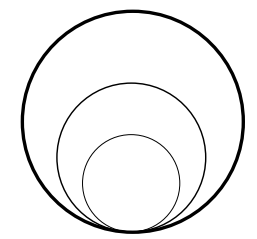
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JOB NO.

21-10

BUILDING EXTERIOR
ELEVATIONS

A4.1



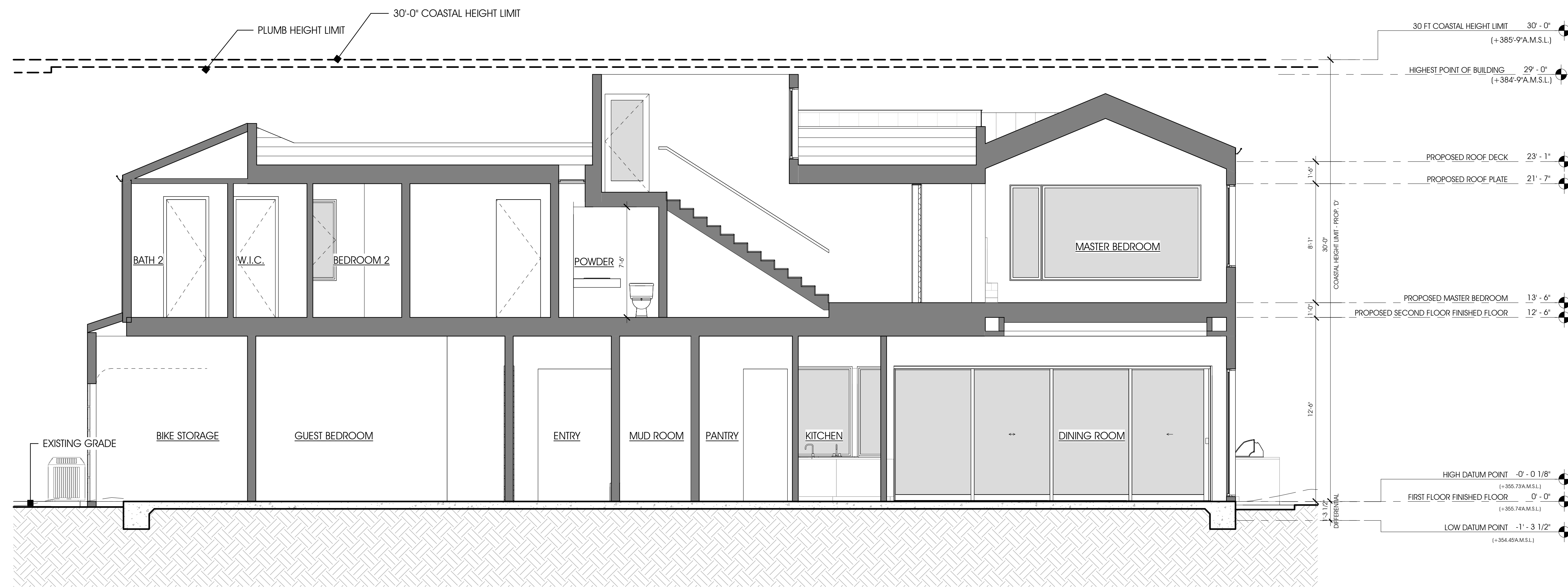
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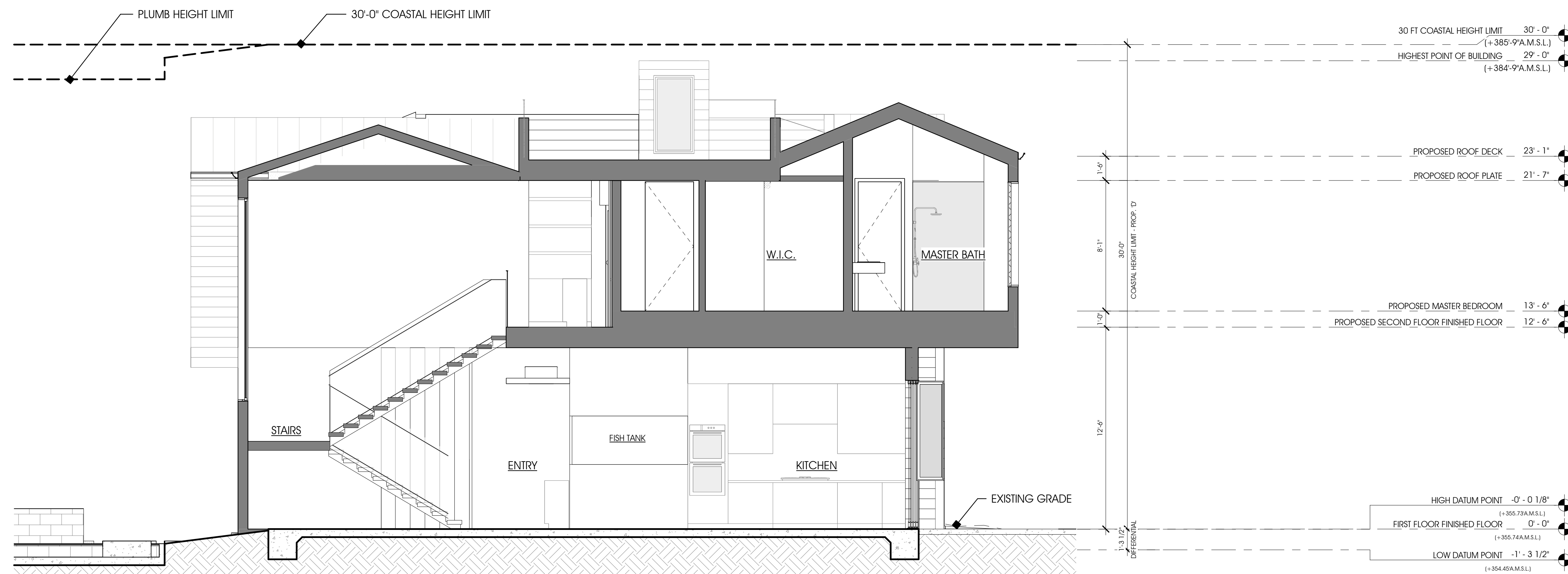
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1 SECTION
1/4" = 1'-0"



2 SECTION
1/4" = 1'-0"

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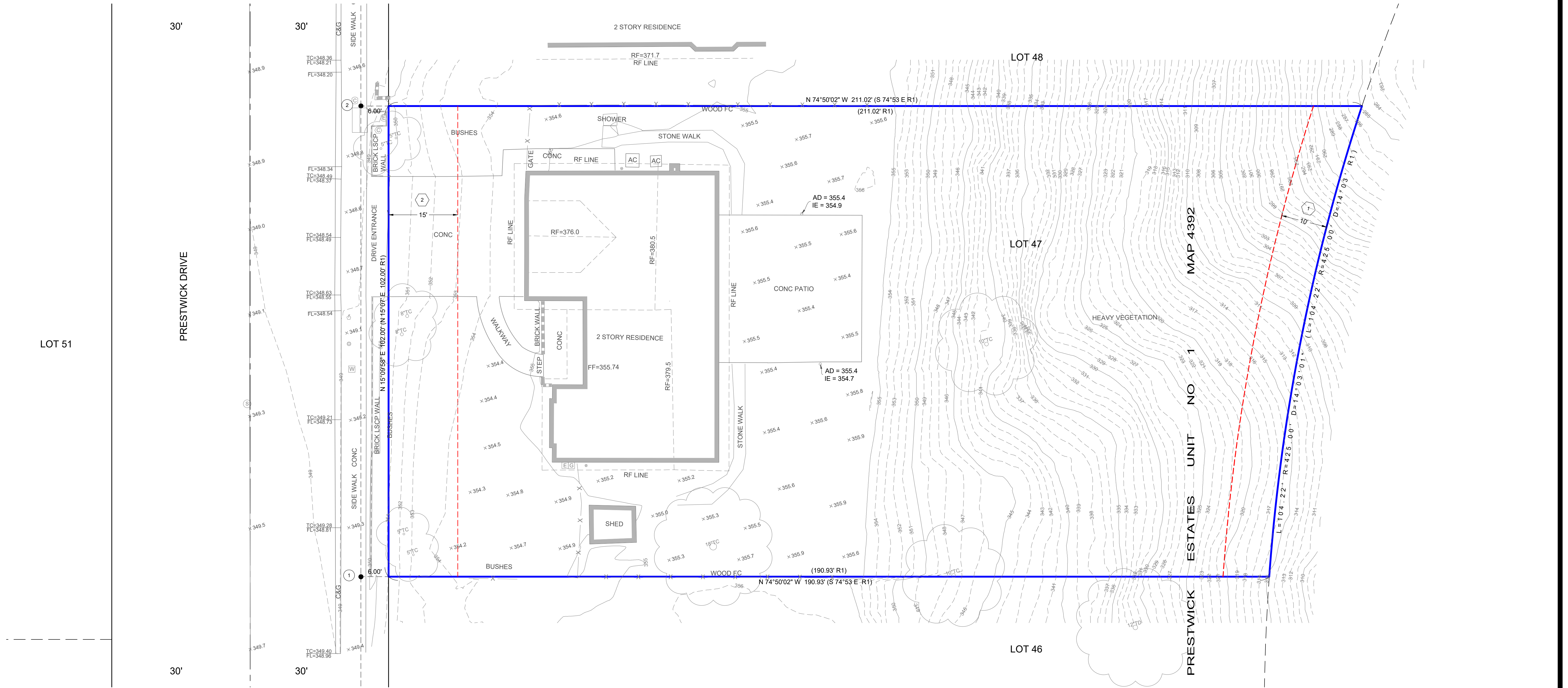
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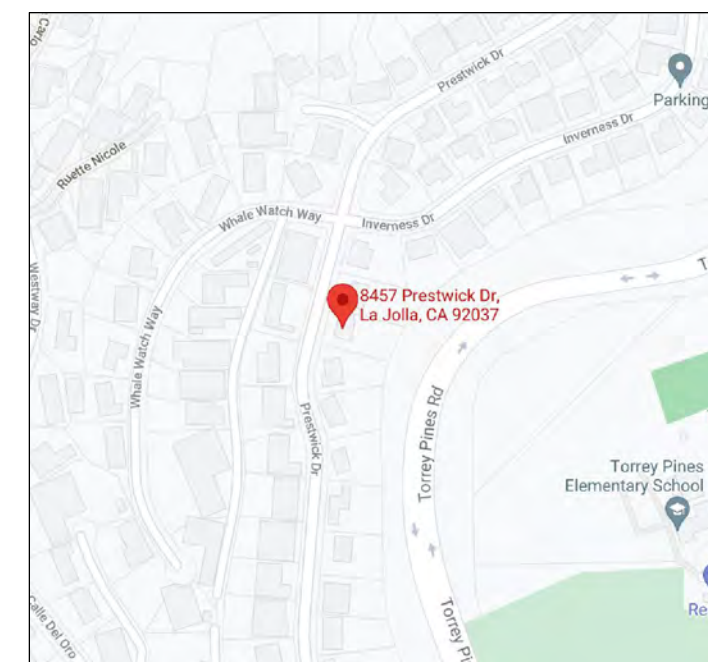
BUILDING SECTIONS

A5.0

TOPOGRAPHIC SURVEY MAP -- 8457 PRESTWICK DRIVE



VICINITY MAP



PROJECT INFORMATION

CLIENT: MICHAEL AND LESLEY VINES
 ADDRESS: 8457 PRESTWICK DRIVE, LA JOLLA, CA, 92037
 APN: 346-151-05

ABBREVIATED LEGAL DESCRIPTION

LOT 47 OF PRESTWICK ESTATES, UNIT NO. 1, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 4392, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO, NOVEMBER 13, 1959.

REFERENCES

- R1 - MAP 4392
- R2 - CR 45287

FOUND MONUMENTS

- 1 FOUND LEAD AND DISK STAMPED "RCE 9822" PER R1.
- 2 FOUND LEAD AND DISK STAMPED "LS 8785" PER R2.

EASEMENTS OF RECORD

- 1 EASEMENT AS SHOWN ON MAP 4392 RECORDED NOVEMBER 13, 1959 PER DOCUMENT NO 236319 OF OFFICIAL RECORDS. EASEMENT ARE DEDICATED FOR SEWER, WATER DRAINAGE, AND PUBLIC UTILITIES BUT THE EASEMENT ARE NOT NAMED ON THE MAP SHEETS AS TO WHICH THEY ARE.
- 2 BUILDING SETBACK LINE PER MAP 4392

SURVEY NOTES

- THE BOUNDARIES AND DIMENSIONS OF THE SURVEYED PARCEL(S) SHOWN HEREON ARE BASED ON A FIELD SURVEY. RECORD DIMENSIONS MAY VARY. THE BOUNDARIES OF ADJOINING PARCELS WERE COMPILED FROM RECORDED OR FILED DATA, AND ARE TO BE USED FOR PLANNING PURPOSES ONLY. FULL PROCEDURE OF SURVEY NOT SHOWN HEREON.
- THE BASIS OF BEARINGS FOR THIS SURVEY IS THE CALIFORNIA COORDINATE SYSTEM, NAD 83 (CCS83) EPOCH 2017.50, ZONE 6, AS DETERMINED LOCALLY BY A LINE BETWEEN CONTINUOUS OPERATING REFERENCE STATIONS (CORS) P475 AND S105 BEING A GRID BEARING OF N 1°30' W AS DERIVED FROM GEODETIC VALUES PUBLISHED BY THE CALIFORNIA SPATIAL REFERENCE CENTER (CSRC).
- ELEVATIONS SHOWN HEREON ARE BASED ON A BRASS PLUG FOUND IN THE TOP OF CURB AT THE SOUTHEASTERLY CORNER OF PRESTWICK DRIVE AND INVERNESS DRIVE, AS SHOWN IN THE CITY OF SAN DIEGO VERTICAL CONTROL BENCHBOOK, ELEVATION: 347.411' (NGVD 29).
- THE LOCATIONS OF UNDERGROUND UTILITY LINES AND/OR STRUCTURES AS SHOWN HEREON ARE BASED ON OBSERVED ABOVE GROUND EVIDENCE AND RECORD INFORMATION PROVIDED TO THE SURVEYOR. NO EXCAVATIONS WERE MADE DURING THE COURSE OF THIS SURVEY TO LOCATE UNDERGROUND UTILITIES. LOCATIONS OF UNDERGROUND UTILITIES MAY VARY FROM LOCATIONS SHOWN HEREON. ADDITIONAL UNDERGROUND UTILITIES MAY EXIST.
- TITLE COMMITMENT PROVIDED BY CALIFORNIA TITLE COMPANY, ORDER NO. 400-2009829-37 DATED MAY 29, 2019.

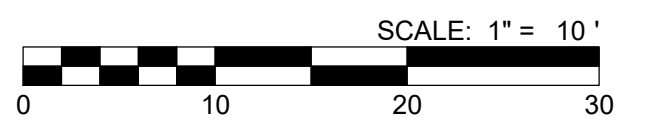
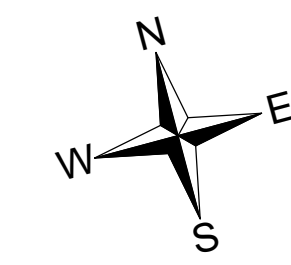
LEGEND

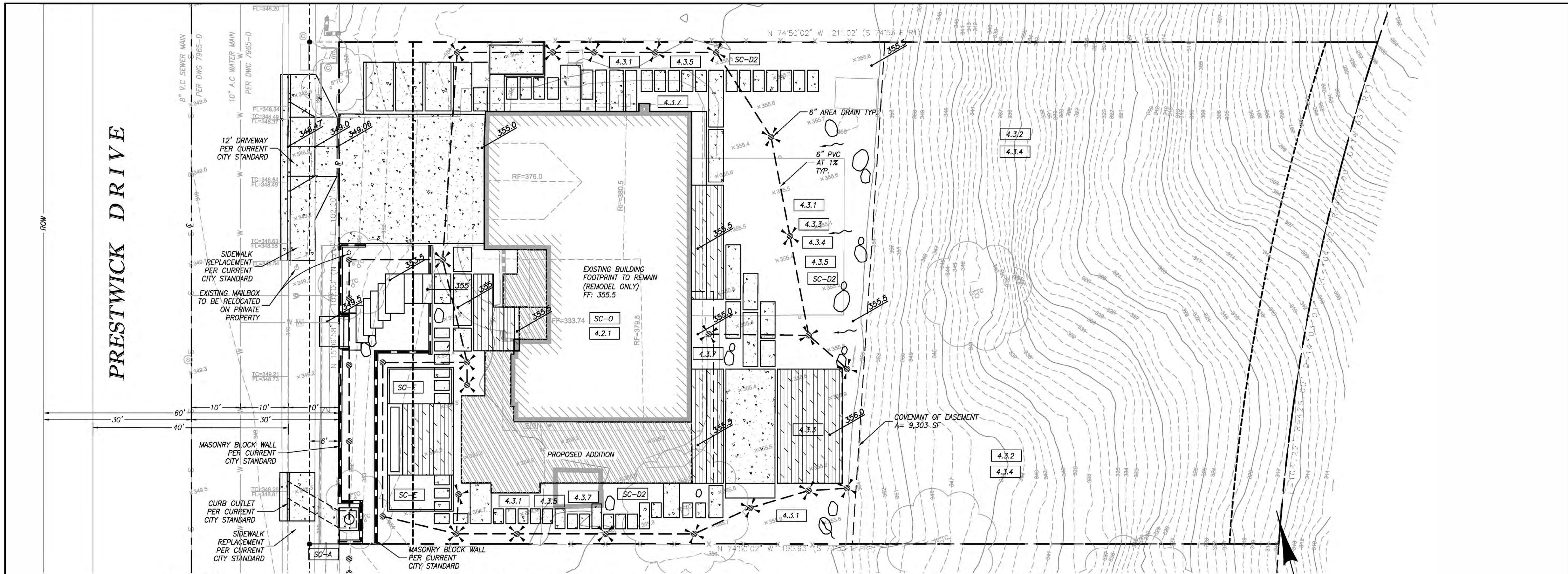
- FOUND MONUMENT AS INDICATED
- () RECORD BOUNDARY DATA AS INDICATED
- PROPERTY LINE
- RIGHT-OF-WAY LINE
- CENTER LINE
- ADJOINING PROPERTY LINE
- TIE LINE / REFERENCE LINE
- - - EASEMENT LINE
- X - X - FENCE
- WALL
- BUILDING OUTLINE
- BUILDING OVERHANG
- INDEX CONTOUR LINE
- INTERMEDIATE CONTOUR LINE
- x60.4 SPOT ELEVATION
- M METER - WATER
- E METER - ELECTRIC
- G METER - GAS
- V VAULT
- o VALVE - IRRIGATION
- o CLEANOUT
- o MH - SANITARY
- o AREA DRAIN
- o PULLBOX - COMMUNICATION
- o PULLBOX - ELECTRIC
- o RISER - COMMUNICATION
- o MAILBOX
- o BOLLARD
- o TREE - DECIDUOUS
- o TREE - CONIFEROUS
- FF FINISH FLOOR
- RF ROOF

SURVEYOR'S STATEMENT

THIS MAP CORRECTLY REPRESENTS A SURVEY MADE BY ME OR UNDER MY DIRECTION IN CONFORMANCE WITH THE REQUIREMENTS OF THE PROFESSIONAL LAND SURVEYORS' ACT ON MAY 7, 2021.

Gary D. Mellom 09/02/2021
 GARY D. MELLOM, PLS 8537 DATE





LEGEND

DESCRIPTION	STD DWG	SYMBOL
PROPERTY LINE (RECORD)		N45°45'45"W
STREET CENTERLINE		— —
EASEMENT LINE		- - - - -
EXISTING WATER MAIN		W
EXISTING SEWER—MAIN		S
EXISTING CONTOUR		90
PROPOSED CONTOUR		90
SPOT ELEVATION		100.00
DRAINAGE SWALE OR DIRECTION OF FLOW		→
BUILDING FOOTPRINT (PER SEPARATE PERMIT)		▬
RETAINING WALL (PER SEPARATE PERMIT)		▬▬▬▬▬▬
BUILDING STEMWALL (PER ARCHITECT PLAN)		▬▬▬▬▬▬
(PVT.) 6" PVC DRAIN LINE		- - - - -
(PVT.) 4" PERFORATED SUBDRAIN PIPE		- - - - -
(PVT.) DRAINAGE SWALE		→
(PVT.) DOWNSPOUT LOCATION		DS
(PVT.) 12x12 BROOKS BOX (OR SIM) W/GRATE		□
(PVT.) 6" LANDSCAPE DRAIN		○

ABBREVIATIONS

AC	ASPHALTIC CONCRETE	FLD BK	FIELD BOOK
A.C.	ASBESTOS CEMENT	H	HIGH
BLK	BLOCK	ICV	IRRIGATION CONTROL VALVE
BRK	BRICK	L.P.	LOW PRESSURE
BW	GRADE AT BOTTOM OF WALL	PLTR	PLANTER
€	CENTER LINE	PVMT	PAVEMENT
C.	CONC	SCO	SEWER CLEANOUT
C.O.	CLEANOUT	SMH	SEWER MANHOLE
EL	ELECTRIC	TEL	TELEPHONE
ELEV	ELEVATION	TW	GRADE AT TOP OF WALL
€	FLOW LINE	TYP	TYPICAL
		WM	WATER METER

SOURCE CONTROL BMPs

4.2.1	PREVENTION OF ILLICIT DISCHARGES INTO THE MS4
SC-A	ONSITE STORM DRAIN INLETS
SC-E	POOLS, SPAS, PONDS, DECORATIVE FOUNTAINS, AND OTHER WATER FEATURES
SC-O	MISCELLANEOUS DRAIN OR WASH WATER; FOR ROOFING, GUTTERS, AND TRIM
SC-D2	LANDSCAPE / OUTDOOR PESTICIDE USE

THE SOURCE CONTROL BMP(S) LISTED ABOVE SHALL BE IMPLEMENTED PER THE CRITERIA OUTLINED IN APPENDIX E: BMP DESIGN FACT SHEETS AS DESCRIBED IN THE CITY OF SAN DIEGO STORM WATER STANDARDS BMP DESIGN MANUAL (JANUARY 2018) AND IN ACCORDANCE WITH THE SELECTED SOURCE CONTROL BMPs LISTED IN FORM I-4A FOR A STANDARD DEVELOPMENT PROJECT.

SITE DESIGN BMPs

4.3.1	IMPERVIOUS AREA DISPERSION
4.3.2	CONSERVE NATURAL AREAS, SOILS, AND VEGETATION
4.3.3	MINIMIZE IMPERVIOUS AREA
4.3.4	MINIMIZE SOIL COMPACTION
4.3.5	IMPERVIOUS AREA DISPERSION
4.3.7	LANDSCAPING WITH NATIVE/DROUGHT TOLERANT SPECIES

THE SOURCE CONTROL BMP(S) LISTED ABOVE SHALL BE IMPLEMENTED PER THE CRITERIA OUTLINED IN APPENDIX E: BMP DESIGN FACT SHEETS AS DESCRIBED IN THE CITY OF SAN DIEGO STORM WATER STANDARDS BMP DESIGN MANUAL (JANUARY 2018) AND IN ACCORDANCE WITH THE SELECTED SOURCE CONTROL BMPs LISTED IN FORM I-5A FOR A STANDARD DEVELOPMENT PROJECT.

NOTES

- NO WORK SHALL BE PERFORMED IN THE RIGHT-OF-WAY.
- WPCP HAS BEEN PREPARED AND SHALL BE PROVIDED ON SITE.

PROJECT INFORMATION

- EXISTING CONDITIONS:**
- TOTAL LOT SIZE = 20,278 S.F. (0.466 ACRES)
 - EXISTING AMOUNT OF PERVIOUS AREA = 15,218 S.F.
 - EXISTING AMOUNT OF IMPERVIOUS AREA = 5,060 S.F.
- PROPOSED CONDITIONS:**
- PROPOSED AMOUNT OF PERVIOUS AREA = 14,528 S.F.
 - PROPOSED AMOUNT OF IMPERVIOUS AREA = 5,750 S.F.
 - TOTAL DISTURBANCE AREA = 12,050 S.F.
 - IMPERVIOUS AREA % INCREASE = (+)13.6%
 - CREATED AND/OR REPLACED IMPERVIOUS AREA = 3,413 S.F.
- NOTE:** IMPERVIOUS AREA SHALL INCLUDE: ROOF, SIDEWALK, PARKING AREA, WALKWAYS, POOLS, POOL DECKS, ETC.

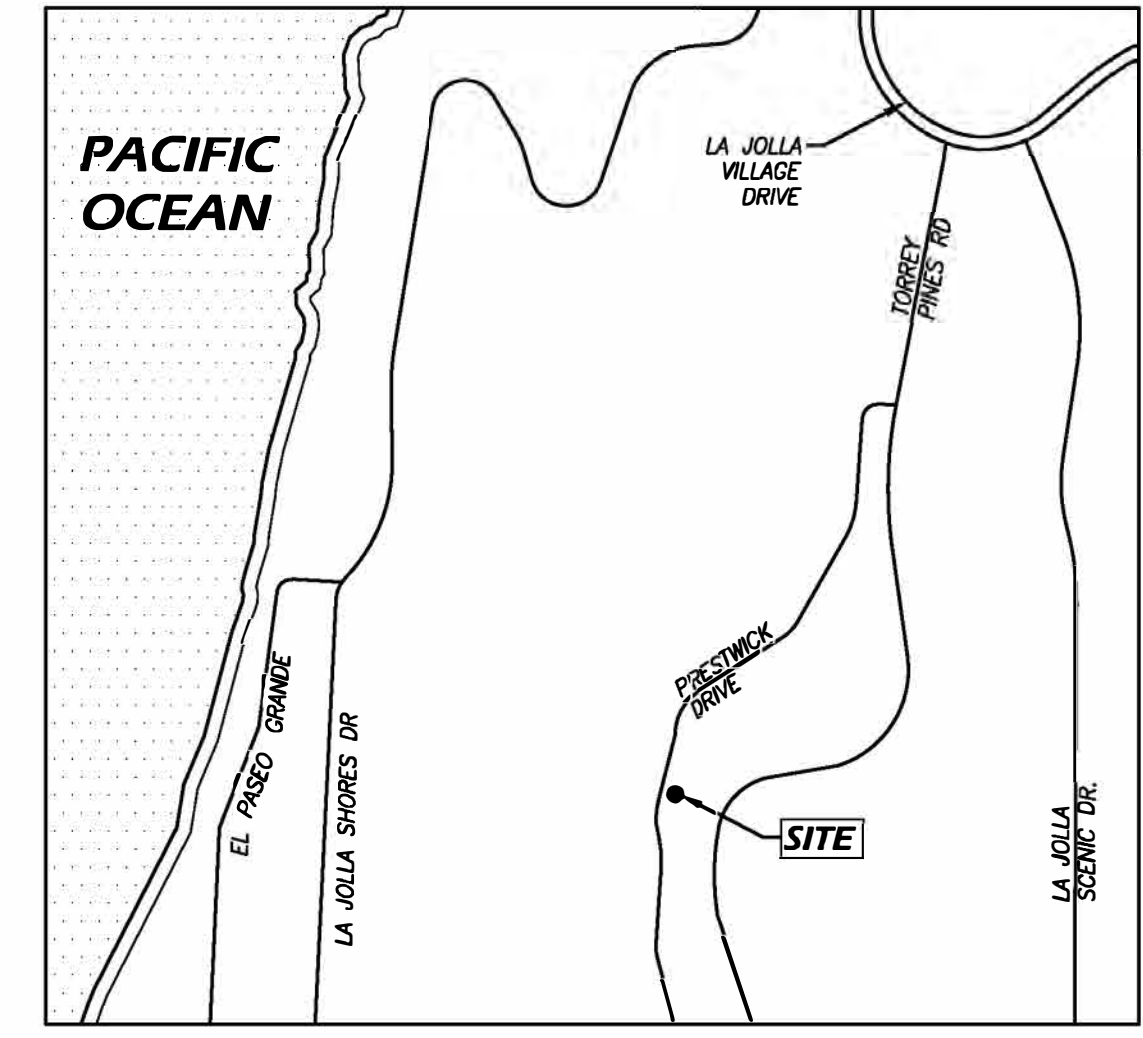
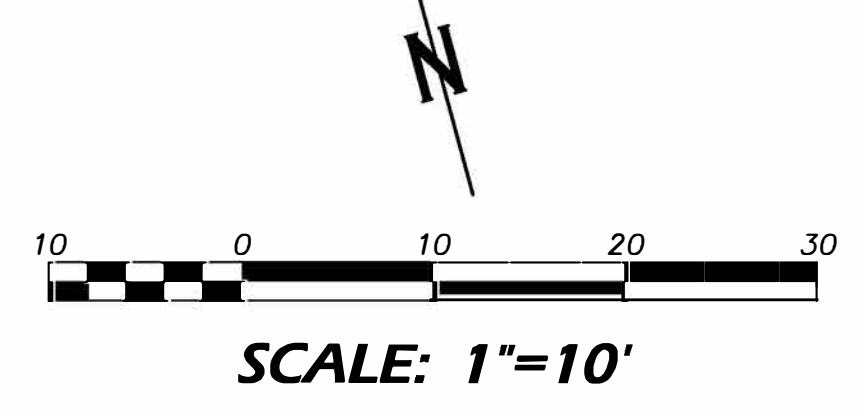
DRAINAGE NOTES

- ALL MAIN DRAIN LINES SHOWN TO BE 6" PVC @ 1% MINIMUM SLOPE UNLESS OTHERWISE NOTED.
- ALL CATCH BASIN LEADS TO BE 6" PVC @ 2% MINIMUM SLOPE UNLESS OTHERWISE NOTED.
- HARDSCAPE GRADES TO BE 1% MINIMUM TO DRAINS AND AWAY FROM STRUCTURE.
- SOFTSCAPE GRADES TO BE 2% MINIMUM TO DRAINS (1% WHERE FLOW IS CONCENTRATED) AND 2% MINIMUM AWAY FROM STRUCTURE.
- SOIL COVER ABOVE DRAIN LINES SHALL BE 18" UNLESS OTHERWISE NOTED.
- NOTIFY CIVIL ENGINEER IF ANY NON-DRAINING SUMP CONDITIONS BECOME APPARENT DURING CONSTRUCTION.
- ALL PRIVATE STORM WATER RUNOFF WILL BE ROUTED TO LANDSCAPE OR PLANTER BOXES PRIOR TO REACHING THE PUBLIC DRAINAGE SYSTEM.

***GRADING TABULATIONS**

TOTAL AMOUNT OF SITE TO BE GRADED:	9,355 SF	% OF TOTAL SITE:	46%
AMOUNT OF CUT:	10 CUBIC YARDS	MAXIMUM DEPTH OF CUT:	1 FEET
AMOUNT OF FILL:	55 CUBIC YARDS	MAXIMUM DEPTH OF FILL:	1 FEET
MAXIMUM HEIGHT OF FILL SLOPE(S):	N/A FEET	SLOPE RATIO:	N/A
MAXIMUM HEIGHT OF CUT SLOPE(S):	N/A FEET	SLOPE RATIO:	N/A
AMOUNT OF IMPORT/EXPORT SOIL:	45 CUBIC YARDS		
RETAINING/ CRIB WALLS:	LENGTH 38 FEET	MAXIMUM HEIGHT:	2 FEET

* TABULATIONS ARE FOR PERMIT PURPOSES ONLY. THE CONTRACTOR IS RESPONSIBLE FOR DOING THEIR OWN QUANTITY TAKE OFFS. THIS PROJECT DOES NOT PROPOSE ANY REMEDIAL GRADING. A MAT SLAB FOUNDATION SHALL BE CONSTRUCTED FOR THE PROPOSED BUILDING.



VICINITY MAP
THOMAS BROS. MAP 1227-J4
NO SCALE

COFFEY ENGINEERING, INC.
9666 BUSINESSPARK AVENUE, SUITE 210, SAN DIEGO, CA 92131 PH (619)831-0111 FAX (619)831-0179

PRELIMINARY
MICHEL C. KERR
REGISTERED PROFESSIONAL ENGINEER
CIVIL
STATE OF CALIFORNIA
01/31/2022

VINES RESIDENCE
8457 PRESTWICK DRIVE
LA JOLLA, CA 92037

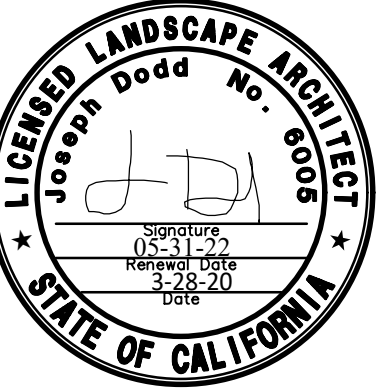
DRAWN BY:	MK
CHECKED BY:	MK
ORIGINAL	03/07/2022
REVISION 1	
REVISION 2	
REVISION 3	
REVISION 4	
REVISION 5	

Grading and Drainage Plan

SCALE: 1"=10'

C.1

SHT 1 OF 1 SHTS



VINES RESIDENCE
8457 PRESTWICK DR
LA JOLLA, CA

**CONCEPTUAL
LANDSCAPE PLAN**

PREPARED FOR

LESLEY & MICHAEL
VINES
8457 PRESTWICK DR
LA JOLLA, CA

PREPARED BY

LINEAR LANDSCAPE
ARCHITECTURE
JOE DODD, ASLA
1619 MYRTLE AVE
SAN DIEGO, CA 92103
P | 888.203.6628

CDP:
01 AUG 31 2021
02 FEB 5 2022
03 JULY 6 2022
04 DEC 5 2022

L-01

DESIGN INTENT:

THE INTENT OF THE LANDSCAPE DESIGN IS TO PROVIDE A CONTEMPORARY LOOK THAT COMPLIMENTS THE DESIGN OF THE ARCHITECTURE WHILE AT THE SAME TIME CREATING CURB APPEAL AND USING PLANT MATERIAL AND BUILDING MATERIALS THAT COMPLIMENTS THE AESTHETIC OF THE NEIGHBORHOOD. THE PLANTING DESIGN CONSISTS OF DROUGHT TOLERANT PLANT MATERIAL WHICH UTILIZE LOW FLOW IRRIGATION. NO PROPOSED TREES OR PROPOSED TREE REMOVAL ALONG STREET FRONTAGE

IRRIGATION DESIGN:

AN AUTOMATIC, ELECTRICALLY CONTROLLED IRRIGATION SYSTEM SHALL BE PROVIDED AS REQUIRED BY LDC 142.0402(C) FOR PROPER IRRIGATION, DEVELOPMENT, AND MAINTENANCE OF THE VEGETATION IN A HEALTHY, DISEASE-RESISTANT CONDITION. THE DESIGN OF THE SYSTEM SHALL PROVIDE ADEQUATE SUPPORT FOR THE VEGETATION SELECTED.

MAINTENANCE:

ALL REQUIRED LANDSCAPE AREAS SHALL BE MAINTAINED BY THE HOMEOWNER. LANDSCAPE AND IRRIGATION AREAS IN THE PUBLIC RIGHT OF WAY SHALL BE MAINTAINED BY THE HOMEOWNER. THE LANDSCAPE AREAS SHALL BE MAINTAINED FREE OF DEBRIS AND LITTER, AND ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION. DISEASED OR DEAD PLANT MATERIAL SHALL BE SATISFACTORILY TREATED OR REPLACED PER THE CONDITIONS OF THE PERMIT

LOW IMPACT DEVELOPMENT BMP:

THIS DESIGN UTILIZES PRECAST AND POURED IN PLACE CONCRETE WITH POUROUS JOINTS. ROOF DRAINS WILL DISCHARGE BY UNDERGROUND PIPE AT THE STREET.

MINIMUM TREE SEPARATION DISTANCE

- IMPROVEMENT/ MINIMUM DISTANCE TO STREET TREE TRAFFIC SIGNALS (STOP SIGN) - 20 FEET
- UNDERGROUND UTILITY LINES - 5 FEET (10' FOR SEWER)
- ABOVE GROUND UTILITY STRUCTURES - 10 FEET
- DRIVEWAY (ENTRIES) - 10 FEET
- INTERSECTIONS (INTERSECTING CURB LINES OF TWO STREETS) - 25 FEET

NO TREES OR SHRUBS EXCEEDING THREE (3) FEET IN HEIGHT AT MATURITY SHALL EXIST WITHIN FIVE (5) FEET OF ANY PUBLIC WATER FACILITIES, OR WITHIN TEN (10) FEET OF ANY PUBLIC SEWER FACILITIES

NOTE: A MINIMUM ROOT ZONE OF 40SF IN AREA SHALL BE PROVIDED FOR ALL TREES. THE MINIMUM DIMENSION FOR THIS AREA SHALL BE 5 FEET, PER SDMC 142.0403(B)(5)

NOTES

ALL MEASUREMENTS ARE APPROXIMATE. CONTRACTOR TO VERIFY DIMENSIONS AND FINISH ELEVATIONS IN THE FIELD. MINOR ADJUSTMENTS IN LAYOUT OR FINISH ELEVATIONS MAY OCCUR DUE TO FIELD CONDITIONS OR AT THE DISCRETION OF THE OWNER.

THIS PLAN IS DIAGRAMMATIC ONLY. THE INTENT IS TO PORTRAY LANDSCAPE INFORMATION ONLY. THESE PLANS DO NOT PROVIDE SOLUTIONS TO ALL LANDSCAPE RELATED PROBLEMS.

MINOR ADJUSTMENTS IN LAYOUT OR FINISH ELEVATIONS MAY OCCUR DUE TO FIELD CONDITIONS OR AT THE DISCRETION OF THE OWNER. THE CONTRACTOR IS TO BEAR FULL RESPONSIBILITY OF OBTAINING ALL PERMITS AND PLAN APPROVALS THROUGH PERTINENT BUILDING DEPARTMENTS PRIOR TO CONSTRUCTION

THE CONTRACTOR IS TO BEAR FULL RESPONSIBILITY OF OBTAINING ALL PERMITS AND PLAN APPROVALS THROUGH PERTINENT BUILDING DEPARTMENTS PRIOR TO CONSTRUCTION.

CONTRACTOR TO PROVIDE CLIENT WITH SAMPLES OF ALL STONE MATERIAL, DECOMPOSED GRANITE, AND GROUT. CLIENT AND DESIGNER SHALL APPROVE SAMPLES BEFORE ORDERING MATERIALS

ALL MEASUREMENTS ARE APPROXIMATE. CONTRACTOR TO VERIFY DIMENSIONS AND FINISH ELEVATIONS IN THE FIELD. MINOR ADJUSTMENTS IN LAYOUT OR FINISH ELEVATIONS MAY OCCUR DUE TO FIELD CONDITIONS OR AT THE DISCRETION OF THE OWNER.

1. BEFORE START OF ANY EXCAVATION OR TRENCHING IN LOCATION ON PROJECT SITE, CONTRACTOR SHALL VERIFY LOCATIONS OF ALL UNDERGROUND UTILITIES. CONTACT UNDERGROUND SERVICE ALERT FOR LOCATION OF RIGHT OF WAY UTILITIES AT 1-800-422-4133 AND PROPERTY OWNER FOR ON SITE UTILITIES A MINIMUM OF 48 WORKING HOURS PRIOR TO START OF ANY EXCAVATION. DO NOT COMMENCE ANY EXCAVATION UNTIL UTILITIES HAVE BEEN LOCATED.

2. CONTRACTOR AND/OR OWNER BUILDER IS TO BEAR FULL RESPONSIBILITY FOR OBTAINING ALL PERMITS AND PLAN APPROVALS THROUGH THE PERTINENT BUILDING DEPT. FOR THIS PROJECT.

3. CONTRACTOR SHALL ADHERE TO ALL PREVAILING BUILDING CODES, ZONING REQUIREMENTS AND SETBACKS RELATED TO THE PROJECT.

4. IN ADDITION, THE CONTRACTOR SHALL TAKE NOTE OF ANY UNUSUAL SITE CONDITIONS EFFECTING COST OR CONSTRUCTION FEASIBILITY AND WILL NOTIFY OWNER AND/OR LANDSCAPE DESIGNER PRIOR TO COMMENCEMENT OF WORK.

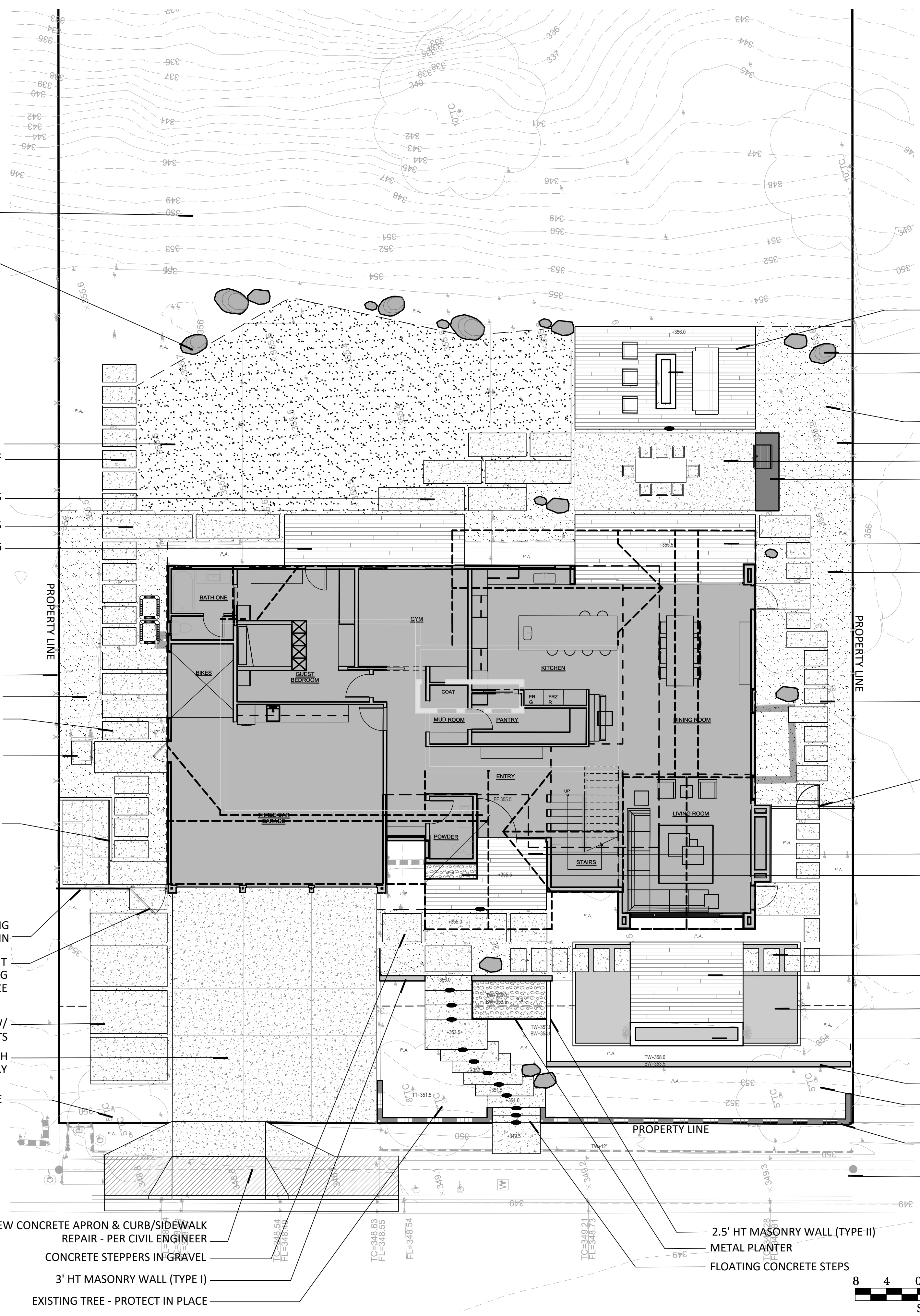
5. CONTRACTOR TO INSPECT SITE PRIOR TO START OF CONSTRUCTION AND VERIFY ALL SPECIAL CONDITIONS WHICH MIGHT INVOLVE ADDED COST, I.E. SITE PREP, DEMOLITION, HAULING COST, ETC. PROVIDE OWNER WITH WRITTEN ESTIMATE OF ALL ANTICIPATED COSTS.

6. CONTRACTOR TO VERIFY ALL PROPERTY LINES, EASEMENTS, AND SETBACKS IN THE FIELD PRIOR TO INSTALLATION OF WORK.

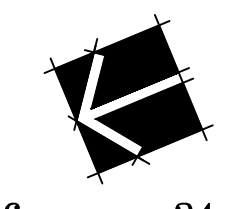
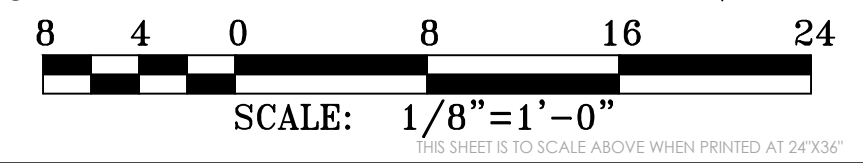
SYMBOL LEGEND

	SAWCUT SCORELINE
	EXPANSION JOINT
	STEP UP
	P.A. PLANTING AREA (PER PLANTING PLAN)
	T.A. TURF AREA (PER PLANTING PLAN)

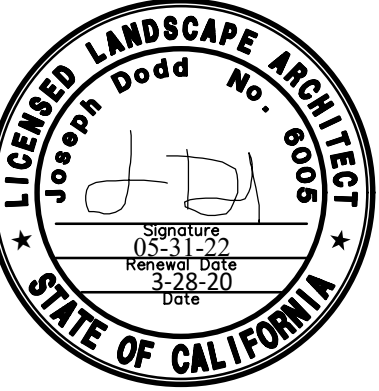
- EXISTING PLANTING AT SLOPE TO BE PROTECTED IN PLACE
- DECORATIVE BOULDERS
- LAWN - SEE PLANTING PLAN
- CONCRETE STEPPERS IN TURF
- CONCRETE PADS WITH TURF JOINTS
- CONCRETE PADS WITH GRAVEL JOINTS
- AT-GRADE IPE DECKING
- FENCE & VINE PLANTING TO REMAIN
- DECORATIVE GRAVEL
- CONCRETE PAVING
- EXISTING SHOWER TO REMAIN
- 5' HT WOODEN TRASH ENCLOSURE
- FENCE & VINE PLANTING TO REMAIN
- NEW WOODEN GATE - HT TO MATCH EXISTING FENCE
- CONCRETE PADS W/ GRAVEL JOINTS
- ENHANCED FINISH CONCRETE DRIVEWAY
- EXISTING TREE - PROTECT IN PLACE
- NEW CONCRETE APRON & CURB/SIDEWALK REPAIR - PER CIVIL ENGINEER
- CONCRETE STEPPERS IN GRAVEL
- 3' HT MASONRY WALL (TYPE I)
- EXISTING TREE - PROTECT IN PLACE



- 8" RAISED IPE DECK
- DECORATIVE BOULDERS
- NATURAL GAS FIREPI W/ SMOOTH STUCCO FINISH
- EXISTING TREE - PROTECT IN PLACE
- DECORATIVE GRAVEL
- CONCRETE PAVING
- MASONRY BBQ COUNTER
- AT-GRADE IPE DECKING
- DECORATIVE GRAVEL
- CONCRETE PAVING
- NEW 6' HT WOOD FENCE & GATE
- RAISED IPE DECKING
- 2' HT METAL PLANTERS
- FLOATING CONCRETE STEPPERS
- AT GRADE IPE DECKING OVER WATER FEATURE
- CONCRETE WATER BASIN FEATURE (12" DEPTH MAX)
- 2' HT WATER TROUGH FEATURE WITH TILE VENEER & (2) SPILLWAYS
- 4.5' HT MASONRY WALL (TYPE I)
- EXISTING TREE - PROTECT IN PLACE
- 12" HT CONCRETE CURB WALL
- EXISTING SIDEWALK TO PROTECT IN PLACE
- 2.5' HT MASONRY WALL (TYPE II)
- METAL PLANTER
- FLOATING CONCRETE STEPS



NOT FOR CONSTRUCTION



VINES RESIDENCE

8457 PRESTWICK DR
LA JOLLA, CA

CONCEPTUAL
LANDSCAPE PLAN

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01 AUG 31 2021
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L-2

SHT

02 OF 05

CONCEPT PLANT SCHEDULE

PROPOSED PLANTS						
QTY	BOTANICAL NAME	COMMON NAME	FORM	FUNCTION	MATURE SPREAD X HEIGHT SIZE	
29	FOUNDATIONS/SCREENING SHRUBS					
	PRUNUS CAROLINIANA 'COMPACTA'	CAROLINA CHERRY	COLUMNAR	EVERGREEN/FOUNDATION	5' X 10'	
	LIGUSTRUM TEXANUM	TEXAS PRIVET	UPRIGHT	EVERGREEN/FOUNDATION	6' X 9'	
	PITTOSPORUM TENUIFOLIUM 'SILVER SHEEN'	PITTOSPORUM	COLUMNAR	EVERGREEN/FOUNDATION	5' X 12'	
	PODOCARPUS MACROPHYLLUS MAKI	SHRUBBY YEW	COLUMNAR	EVERGREEN/FOUNDATION	4' X 12'	
BAMBUS MULTIFLEX 'GOLDEN GODDESS'	GOLDEN GODDESS BAMBOO	UPRIGHT	EVERGREEN/FOUNDATION	3' X 10'		
30	MEDIUM SHRUBS					
	ROSMARINUS 'TUSCAN BLUE'	ROSEMARY	ROUNDED	EVERGREEN/MASSING	4' X 5'	
	ACANTHUS MOLLIS	BEARS BREECH	ROUNDED	EVERGREEN/MASSING	3' X 3'	
	OLEA EUROPEA 'LITTLE OLLIE'	DWARF OLIVE	ROUNDED	EVERGREEN/MASSING	6' X 6'	
	WESTRINGIA FRUTICOSA 'MORNING LIGHT'	COAST ROSEMARY	ROUNDED	EVERGREEN/MASSING	6' X 4'	
ASPIDISTRA ELATIOR	CAST IRON PLAN	UPRIGHT	EVERGREEN/MASSING	4' X 4'		
82	ORNAMENTAL GRASSES					
	CHONDROPETALUM TECTORUM 'EL CAMPO'	CAPE RUSH	CAPE RUSH	MASSING	4' X 3'	
	PENNISETUM 'FAIRY TALES'	FAIRY TALE GRASS	FULL	MASSING	3' X 3'	
	LEYMUS CONDENSATUS 'CANYON PRINCE'	NATIVE BLUE RYE	SWORD SHAPED	MASSING	3' X 4'	
	LOMANDRA LONGIFOLIA 'BREEZE'	DWARF MAT RUSH	WEeping	MASSING	3' X 3'	
	MUHLENBERGIA CAPILLARIS 'REGAL MIST'	MUHL GRASS	FULL	MASSING	3' X 3'	
	BOUTELLOIA GRACILIS 'BLONDE AMBITION'	BLUE GRAMA GRASS	FULL	MASSING	3' X 3'	
	JUNCUS 'ELK BLUE'	COMMON RUSH	FULL	MASSING	3' X 3'	
	12	ACCENT SHRUBS				
		ALOE VERA	ALOE	VASE SHAPED	ACCENT/COLOR	2' X 2'
		ALOE 'HERCULES'	ALOE TREE	WEeping	ACCENT/COLOR	2' X 2'
		AGAVE ATTENUATA	FOXTAIL AGAVE	RADIAL	ACCENT/COLOR	4' X 3'
PHORMIUM X 'YELLOW WAVE'		NEW ZEALAND FLAX	SWORD SHAPED	ACCENT/COLOR	3' X 3'	
AGAVE DESMETIANNIA		AGAVE	VASE SHAPED	ACCENT/COLOR	3' X 3'	
CORDYLINAE SOLEDAD		SOLEDAD CORDYLINAE	VASE SHAPED	ACCENT/COLOR	3' X 6'	
FURCRAEA MACDOUGALI		MACDOUGAL CENTURY PLANT	VASE SHAPED	ACCENT/COLOR	4' X 6'	
RHAPIS HUMILIS		LADY PALM	UPRIGHT	ACCENT/COLOR	4' X 6'	
88		SMALL SHRUBS				
		ASPARAGUS MEYERI	FOXTAIL FERN	SWORD SHAPED	ACCENT/COLOR	2' X 2'
		CALLISTEMON VIMINALIS 'LITTLE JOHN'	DWARF BOTTLEBRUSH	MOUNDING	ACCENT/COLOR	4' X 4'
	DIANELLA TASMANICA	FLAX LILY	SWORD SHAPED	ACCENT/COLOR	2' X 2'	
	HEUCHERA 'PURPLE PALACE'	CORAL BELLS	MOUNDING	ACCENT/COLOR	1' X 1'	
	ANIGOZANTHOS FLAVIDUS 'BIG RED'	KANGAROO PAW	VASE SHAPED	ACCENT/COLOR	2' X 2'	
	GRAFTOPETALUM PARAGUAYENSE	GHOST PLAN	SPREADING	ACCENT/COLOR	3' X 1'	
	AEONIUM HAWWORTHII	PINWHEEL AEONIUM	MOUNDING	ACCENT/COLOR	2' X 2'	
	PENSTEMON SSP	PENSTEMON	UPRIGHT/FLOWER	ACCENT/COLOR	2' X 2'	
	PITTOSPORUM 'WHEELERS DWARF'	WHEELERS DWARF PITT.	MOUNDING	EVERGREEN/MASSING	4' X 2'	
	PITTOSPORUM 'GOLF BALL'	GOLF BALL PITTOSPORUM	SPHERICAL	EVERGREEN SHRUB	2' X 2'	
	CAREX TUMULICOLA	BERKELEY SEDGE	CLUMPING	MASSING	18" X 18"	
TURF GRASS						
	MARATHON II	MARATHON II SOD	SOD	GROUNDCOVER	N/A SOD/ 100%	
LOW GROWING GROUNDCOVER						
	CAREX TUMULICOLA	BERKELEY SEDGE	CLUMPING	GROUNDCOVER	18" X 18" 1 GAL/ 100%	
	FESTUCA RUBRA	CREeping RED FESCUE	CLUMPING	GROUNDCOVER	6" X 12" SOD/ 100%	
	BACCHARIS FILLULARIS 'TWIN PEAKS'	DWARF COYOTE BUSH	SPREADING	GROUNDCOVER	8" X 12" 1 GAL/ 100%	
	JUNIPERUS HORIZONTALIS 'BLUE CHIP'	JUNIPER	SPREADING	GROUNDCOVER	2' X 1'	
DORYCNium HIRSUTUM	HAIRY CANARY FLOWER	SPREADING	GROUNDCOVER	3' X 2'	FLATS/ 100%	

EXISTING PLANT LEGEND

	BOTANICAL NAME	COMMON NAME	CALIPER	CONDITION
①	PINUS THUNBERGII	BLACK PINE	25" (MULTI)	PROTECT IN PLACE
②	PINUS TORREYANA	TORREY PINE	60"	PROTECT IN PLACE
③	ARAUCARIA HETEROPHYLLA	NORFOLK ISLAND PINE	80"	TO BE REMOVED
④	LEPTOSPERMUM SSP	TEA TREE	12"	PROTECT IN PLACE

NOTES

MAINTENANCE: ALL REQUIRED LANDSCAPE AREAS AND IRRIGATION IN P/ROW SHALL BE MAINTAINED ABUTTING PREMISE OWNER. THE LANDSCAPE AREAS SHALL BE MAINTAINED FREE OF DEBRIS AND LITTER, AND ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION. DISEASED OR DEAD PLANT MATERIAL SHALL BE SATISFACTORILY TREATED OR REPLACED PER THE CONDITIONS OF THE PERMIT, OR WITHIN 30 DAYS OF A FINAL LANDSCAPE INSPECTION

NOTE: ALL LANDSCAPE AND IRRIGATION SHALL CONFORM TO THE STANDARDS OF THE CITY WIDE LANDSCAPE REGULATIONS AND THE CITY OF SAN DIEGO LAND DEVELOPMENT MANUAL LANDSCAPE STANDARDS AND ALL OTHER LANDSCAPE RELATED CITY AND REGIONAL STANDARDS

NOTE: A MINIMUM ROOT ZONE OF 40SF IN AREA SHALL BE PROVIDED FOR ALL TREES. THE MINIMUM DIMENSION FOR THIS AREA SHALL BE 5 FEET, PER SDMC 142.0403(B)(5)

TREES SHALL BE MAINTAINED SO THAT ALL BRANCHES OVER PEDESTRIAN WALKWAYS ARE 6 FEET ABOVE THE WALKWAY GRADE AND BRANCHES OVER EHCULAR TRAVEL WAYS ARE 16 FEET ABOVE THE GRADE OF THE TRAVEL WAY PER THE SAN DIEGO MUNICIPAL CODE, SECTION 142.0403

IF ANY REQUIRED LANDSCAPE INDICATED ON THE APPROVED CONSTRUCTION DOCUMENT PLANS IS DAMAGED OR REMOVED, IT SHALL BE REPAIRED AND/OR REPLACED IN KIND AND EQUIVALENT SIZE PER THE APPROVED DOCUMENTS TO THE SATISFACTION OF THE DEVELOPMENT SERVICES DEPARTMENT WITHIN 30 DAYS OF DAMAGE

NOTE: FOR ALL OTHER STREET CLASSIFICATIONS, STREET TREES SHALL BE LOCATED NO CLOSER THAN 30-INCHES TO THE FACE OF CURB OR WITHIN MEDIAN ISLANDS NO CLOSER THAN 4 FT TO THE FACE OF CURB

MINIMUM TREE SEPARATION DISTANCE
IMPROVEMENT/ MINIMUM DISTANCE TO STREET TREE
TRAFFIC SIGNALS (STOP SIGN) - 20 FEET
UNDERGROUND UTILITY LINES - 5 FEET (10' FOR SEWER)
ABOVE GROUND UTILITY STRUCTURES - 10 FEET
DRIVEWAY (ENTRIES) - 10 FEET
INTERSECTIONS (INTERSECTING CURB LINES OF TWO STREETS) - 25 FEET

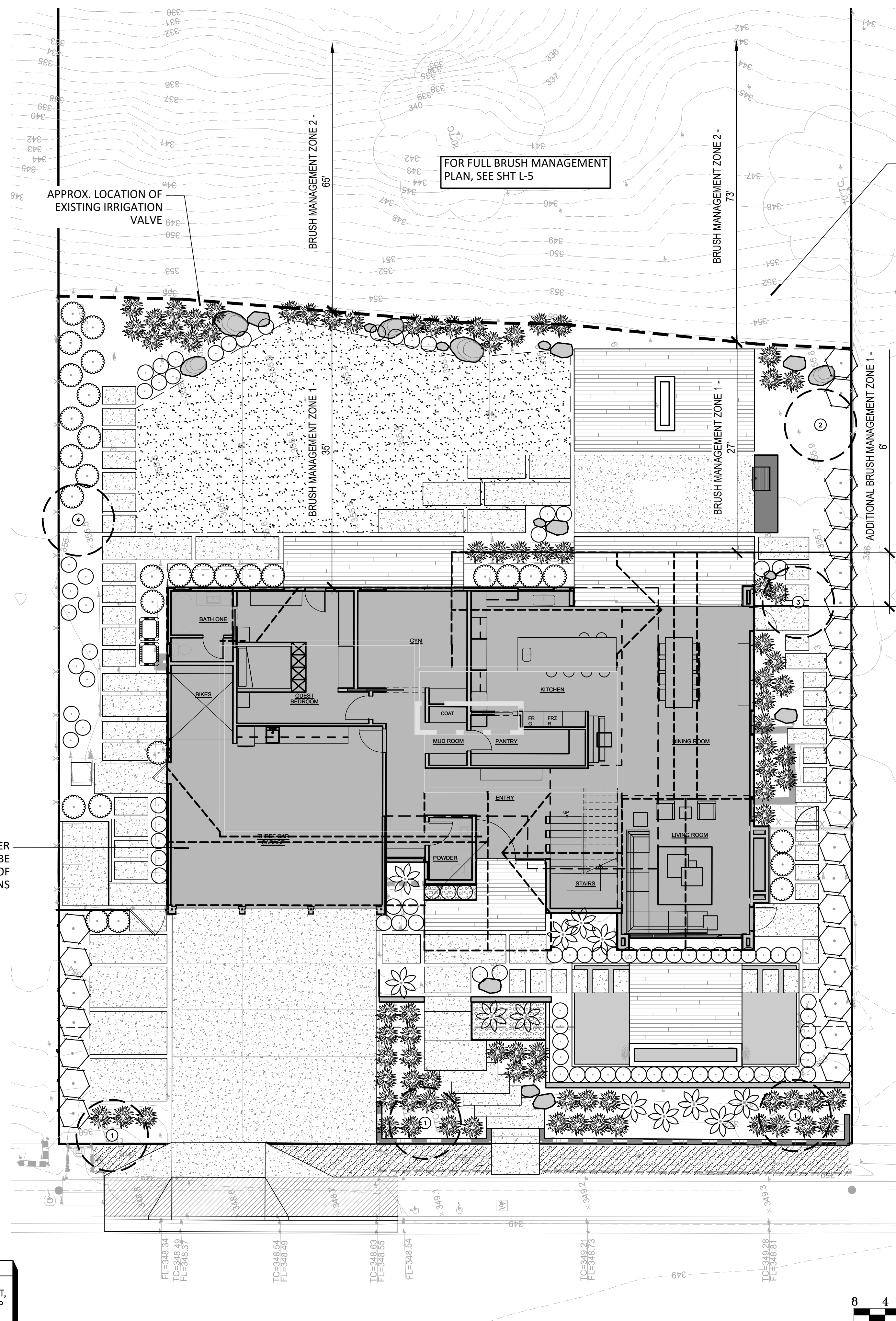
MAINTENANCE NOTE

ALL LANDSCAPING/BRUSH MANAGEMENT WITHIN THE BRUSH MANAGEMENT ZONES AS SHOWN ON THESE PLANS SHALL BE THE RESPONSIBILITY OF THE OWNER (MICHAEL VINES). THE BRUSH MANAGEMENT ZONE AREAS SHALL BE MAINTAINED FREE OF DEBRIS AND LITTER AND ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION.

ROOT BARRIER NOTE:

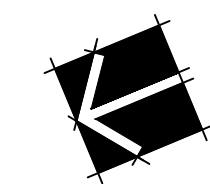
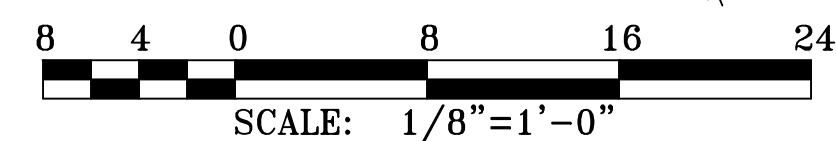
ALL TREES PLANTED WITHIN 5' OF ANY CURB, WALL, HARDSCAPE ELEMENT, BUILDING, FIRE HYDRANT, UTILITY VAULT, OR LIGHT FIXTURE SHALL RECEIVE A 10' LENGTH OF 24" DEEP ROOT BARRIER. NO ROOT BARRIER SHALL ENCIRCLE THE ROOT BALL

NEW CONTROLLER LOCATION TO BE PROPOSED AS PART OF BLDG PERMIT PLANS



EXISTING NATURALIZED CHAPARRAL SLOPE PLANTING SUCH AS BACCHARIS, RHUS, CEANOTHOS TO REMAIN. SEE BRUSH MANAGEMENT NOTES (L-3) FOR MAINTENANCE

NOT FOR CONSTRUCTION



BRUSH MANAGEMENT NOTES:

SECTION 142.0412 BRUSH MANAGEMENT

G. ZONE 1 REQUIREMENTS

1. THE REQUIRED ZONE ONE WIDTH SHALL BE PROVIDED BETWEEN NATIVE OR NATURALIZED VEGETATION AND ANY STRUCTURE AND SHALL BE MEASURED FROM THE EXTERIOR OF THE STRUCTURE TO THE VEGETATION
2. ZONE 1 SHALL CONTAIN NO HABITABLE STRUCTURE, STRUCTURES THAT ARE DIRECTLY ATTACHED TO HABITABLE STRUCTURE, OR OTHER COMBUSTIBLE CONSTRUCTION THAT PROVIDES A MEANS FOR TRANSMITTING FIRE TO THE HABITABLE STRUCTURES. STRUCTURES SUCH AS FENCES, WALL, PALAPAS, PLAY STRUCTURES, AND NON-HABITABLE GAZEBOS THAT ARE LOCATED WITHIN BRUSH MANAGEMENT ZONE ONE SHALL BE OF NON COMBUSTIBLE, ON HOUR FIRE-RATED OR HEAVY TIMBER CONSTRUCTION.
- 3 . PLANTS WITHIN ZONE 1 SHALL BE PRIMARILY LOW GROWING AND LESS THAN 4 FEET IN HEIGHT WITH THE EXCEPTION OF TREES. PLANTS SHALL BE LOW FUEL AND FIRE RESISTIVE
4. TREES WITHIN ZONE 1 SHALL BE LOCATED AWAY FROM STRUCTURES TO A MINIMUM DISTANCE OF 10 FEET AS MEASURED FROM THE STRUCTURE TO THE DRIP LINE OF THE TREE AT MATURITY IN ACCORDANCE WITH THE LANDSCAPE STANDARD OF THE LAND DEVELOPMENT MANUAL.
5. PERMANENT IRRIGATION IS REQUIRED FOR ALL PLANTING AREAS WITHIN ZONE 1 EXCEPT AS FOLLOWS;
 - A)WHEN PLANTING AREAS CONTAIN ONLY SPECIES THAT DO NOT GROW TALLER THAN 24 INCHES IN HEIGHT, OR
 - B)WHEN PLANTING AREAS CONTAIN ONLY NATIVE OR NATURALIZED SPECIES THAT ARE NOT SUMMER-DORMANT AND HAVE A MAXIMUM HEIGHT AT PLANT MATURITY OF LESS THAN 24 INCHES.
6. ZONE 1 IRRIGATION OVERSPRAY AND RUNOFF SHALL NOT BE ALLOWED INTO ADJACENT AREAS OF NATIVE OR NATURALIZED VEGETATION.
7. ZONE 1 SHALL BE MAINTAINED ON A REGULAR BASIS BY PRUNING AND THINNING PLANTS, CONTROLLING WEEDS, AND MAINTAINING IRRIGATION SYSTEMS.

H. ZONE 2 REQUIREMENTS

1. THE REQUIRED ZONE TWO WIDTH SHALL BE PROVIDED BETWEEN ZONE ONE AND THE UNDISTURBED, NATIVE VEGETATION, AND SHALL BE MEASURED FROM THE EDGE OF ZONE ONE THAT IS FARTHEST FROM THE HABITABLE STRUCTURE, TO THE EDGE OF UNDISTURBED VEGETATION.
2. NO STRUCTURES SHALL BE CONSTRUCTED IN ZONE TWO
3. WITHIN ZONE TWO, 50% OF THE PLANTS OVER 24 INCHES IN HEIGHT SHALL BE CUT AND CLEARED TO A HEIGHT OF 6".
4. WITHIN ZONE TWO, ALL PLANTS REMAINING AFTER 50% ARE REDUCED IN HEIGHT, SHALL BE PRUNED FUEL LOADING IN ACCORDANCE WITH THE LANDSCAPE STANDARDS IN THE LAND DEVELOPMENT MANUAL. NON-NATIVE PLANTS SHALL BE PRUNED BEFORE NATIVE PLANTS ARE PRUNED.
5. THE FOLLOWING STANDARDS SHALL BE USED WHERE ZONE TWO IS IN AN AREA PREVIOUSLY GRADED AS PART OF LEGAL DEVELOPMENT ACTIVITY AND IS PROPOSED TO BE PLANTED WITH NEW PLANT MATERIAL INSTEAD OF CLEARING EXISTING NATIVE OR NATURALIZED VEGETATION:
 - A. ALL NEW PLANT MATERIAL FOR ZONE TWO SHALL BE NATIVE, LOW-FUEL, AND FIRE-RESISTIVE. NO NON-NATIVE PLANT MATERIAL MAY BE PLANTED IN ZONE TWO EITHER INSIDE THE MHPA OR IN THE COASTAL OVERLAY ZONE, ADJACENT TO AREAS CONTAINING SENSITIVE BIOLOGICAL RESOURCES.
 - B. NEW PLANTS SHALL BE LOW-GROWING WITH A MAXIMUM HEIGHT AT MATURITY OF 24". SINGLE SPECIMENS OF FIRE RESISTIVE NATIVE TREES AND TREE FORM SHRUBS MAY EXCEED THIS LIMITATION IF THEY ARE LOCATED TO REDUCE THE CHANCE OF TRANSMITTING FIRE FROM NATIVE OF NATURALIZED VEGETATION TO HABITABLE STRUCTURES AND IF THE VERTICAL DISTANCE BETWEEN THE LOWEST BRANCHES OF THE TREES AND THE TOP OF ADJACENT PLANTS ARE THREE TIMES THE HEIGHT OF THE ADJACENT PLANTS TO REDUCE THE SPREAD OF FIRE THROUGH LADDER FUELING.
 - C. ALL NEW ZONE TWO PLANTINGS SHALL IRRIGATED TEMPORARILY UNTIL ESTABLISHED TO THE SATISFACTION OF THE CITY MANAGER. ONLY LOW-FLOW, LOW GALLONAGE SPRAY HEADS MAY BE USED IN ZONE TWO. OVERSPRAY AND RUNOFF FROM THE IRRIGATION SHALL NOT DRIFT OR FLOW INTO ADJACENT AREAS OF NATIVE OR NATURALIZED VEGETATION. TEMPORARY IRRIGATION SYSTEMS SHALL BE REMOVED UPON APPROVED ESTABLISHMENT OF THE PLANTINGS. PERMANENT IRRIGATION IS NOT ALLOWED IN ZONE TWO.
 - D. WHERE ZONE TWO IS BEING REVEGETATED AS A REQUIREMENT OF SECTION 142.0411(a), REVEGETATION SHALL COMPLY WITH THE SPACING STANDARDS IN THE LAND DEVELOPMENT MANUAL. 50% OF THE PLANTING AREA SHALL BE PLANTED WITH MATERIAL THAT DOES NOT GROW TALLER THAN 24". THE REMAINING PLANTING AREA MAY BE PLANTED WITH TALLER MATERIAL, BUT THIS MATERIAL SHALL BE MAINTAINED IN ACCORDANCE WITH THE REQUIREMENTS FOR EXISTING PLANT MATERIAL IN ZONE TWO.
6. ZONE TWO SHALL BE MAINTAINED ON A REGULAR BASIS BY PRUNING AND THINNING PLANTS, REMOVING INVASIVE SPECIES AND CONTROLLING WEEDS.
7. EXCEPT AS PROVIDED IN SECTION 142.0412(i) WHERE THE REQUIRED ZONE ONE WIDTH SHOWN IN TABLE 142-04h CANNOT BE PROVIDED ON PREMISES WITH EXISTING STRUCTURES, THE REQUIRED ZONE TWO WIDTH SHALL BE INCREASED BY ONE FOOT FOR EACH FOOT OF REQUIRED ZONE ONE WIDTH THAT CANNOT BE PROVIDED.

SECTION III: BRUSH MANAGEMENT

- 3-1. BRUSH MANAGEMENT – DESCRIPTION
FIRE SAFETY IN THE LANDSCAPE IS ACHIEVED BY REDUCING THE READILY FLAMMABLE FUEL ADJACENT TO STRUCTURES. THIS CAN BE ACCOMPLISHED BY PRUNING AND THINNING OF NATIVE AND NATURALIZED VEGETATION, REVEGETATION WITH LOW FUEL VOLUME PLANTING OR A COMBINATION OF THE TWO. IMPLEMENTING BRUSH MANAGEMENT IN AN ENVIRONMENTALLY APPROPRIATE MANNER REQUIRES A REDUCTION IN THE AMOUNT AND CONTINUITY OF HIGHLY FLAMMABLE FUEL WHILE MAINTAINING PLANT COVERAGE FOR SOIL PROTECTION SUCH A TRANSITION WILL MINIMIZE THE VISUAL, BIOLOGICAL, AND EROSION IMPACTS WHILE REDUCING THE RISKS OF WILDLAND FIRES.
- 3-2 BRUSH MANAGEMENT REQUIREMENTS
 - 3.2-1 BASIC REQUIREMENTS – ALL ZONES
 - 3.2-1.01 FOR ZONE TWO, PLANTS SHALL NOT BE CUT BELOW SIX INCHES
 - 3.2-1.02 DEBRIS AND TRIMMINGS PRODUCED BY THINNING AND PRUNING SHALL BE REMOVED FROM THE SITE OR IF LEFT, SHALL BE CONVERTED INTO MULCH BY A CHIPPING MACHINE AND EVENLY DISPERSED, NON-IRRIGATION, TO A MAXIMUM DEPTH OF 6 INCHES
 - 3.2-1.03 TREES AND LARGE TREE FORM SHRUBS (E.G. OAKS, SUMAC, TOYON) WHICH ARE BEING RETAINED SHALL BE PRUNED TO PROVIDE CLEARANCE OF THREE TIMES THE HEIGHT OF THE UNDER STORY PLANT MATERIAL SIX FEET WHICHEVER IS HIGHER. DEAD AND EXCESSIVELY TWIGGY GROWTH SHALL ALSO BE REMOVED.
 - 3.2-1.04 ALL PLANTS OR PLANT GROUPINGS EXCEPT CACTI, SUCCULENTS, TREES AND TREE-FORM SHRUBS SHALL BE SEPARATED BY A DISTANCE THREE TIMES THE HEIGHT OF THE TALLEST ADJACENT PLANTS
 - 3.2-1.05 MAXIMUM COVERAGE AND AREA LIMITATIONS AS STATED HEREIN SHALL NOT APPLY TO INDIGENOUS NATIVE TREE SPECIES
 - 3.2-2 ZONE 1 REQUIREMENTS – ALL STRUCTURES
 - 3.2-2.01 DO NOT USE, AND REMOVE IF NECESSARY, HIGHLY FLAMMABLE PLANT MATERIALS (SEE APPENDIX B)
 - 3.2-2.02 TREES SHOULD NOT BE LOCATED ANY CLOSER TO A STRUCTURE THAN A DISTANCE EQUAL TO THE TREES MATURE SPREAD
 - 3.2-2.03 MAINTAIN ALL PLANTINGS IN A SUCCULENT CONDITION
 - 3.2-2.04 NON-IRRIGATED PLANT GROUPINGS OVER SIX INCHES IN HEIGHT MAY BE RETAINED PROVIDED THEY DO NOT EXCEED 100 SQUARE FEET IN AREA AND THEIR COMBINED COVERAGE DOES NOT EXCEED 10 PERCENT OF THE TOTAL ZONE 1 AREA

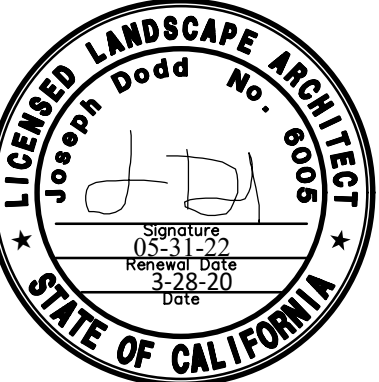
BRUSH MANAGEMENT MAINTENANCE NOTES

1. GENERAL MAINTENANCE - REGULAR INSPECTIONS AND LANDSCAPE MAINTENANCE ARE NECESSARY TO MINIMIZE THE POTENTIAL DAMAGE OR LOSS OF PROPERTY FROM BRUSH FIRES AND OTHER NATURAL HAZARDS SUCH AS EROSION AND SLOPE FAILURES. BECAUSE EACH PROPERTY IS UNIQUE ESTABLISHING A PRECISE MAINTENANCE SCHEDULE IS NOT FEASIBLE. FOR EFFECTIVE FIRE AND WATERSHED MANAGEMENT, HOWEVER, PROPERTY OWNERS SHOULD EXPECT TO PROVIDE MAINTENANCE ACCORDING TO EACH BRUSH MANAGEMENT ZONE. ZONE 1: YEAR ROUND MAINTENANCE. ZONE 2: SEASONAL MAINTENANCE. BRUSH MANAGEMENT ACTIVITIES ARE PROHIBITED WITHIN COASTAL SAGE SCRUB, MARITIME SUCCULENT SCRUB, AND COSTAL SAGE-CHAPARRAL HABITATS FROM MARCH 1 THROUGH AUGUST 15, EXCEPT WHERE DOCUMENT TO THE SATISFACTION OF THE CITY MANAGER THAT THE THINNING WOULD BE CONSISTENT WITH CONDITIONS OF SPECIES COVERAGE DESCRIBED IN THE CITY OF SAN DIEGO MSCP SUBAREA PLAN.
2. BRUSH MANAGEMENT ZONE 1 - THIS IS THE MOST CRITICAL AREA FOR FIRE AND WATERSHED SAFETY. ALL ORNAMENTAL PLANTINGS SHOULD BE KEPT WELL WATERED AND ANY IRRIGATION RUN-OFF SHOULD DRAIN TOWARD THE STREET. RAIN GUTTERS AND DRAINAGE PIPES SHOULD BE CLEANED REGULARLY AND ALL LEAVES REMOVED FROM THE ROOF BEFORE THE FIRE SEASON BEGINS. ALL PLANTING, PARTICULARLY NON-IRRIGATED NATIVES AND LARGE TREES SHOULD BE REGULARLY PRUNED TO ELIMINATE DEAD FUELS, TO REDUCE EXCESSIVE FUEL AND TO PROVIDE ADEQUATE SPACE BETWEEN PLANTS AND STRUCTURES.
3. BRUSH MANAGEMENT ZONE 2 - SEASONAL MAINTENANCE IN THIS ZONE SHOULD INCLUDE REMOVAL OF DEAD WOODY PLANTS, ERADICATION OF WEEDY SPECIES AND PERIODIC PRUNING AND THINNING OF TREES AND SHRUBS. THE USE OF WEED TRIMMERS OR OTHER TOOLS WHICH RETAIN SHORT STUBBLE THAT PROTECTS THE SOIL IS RECOMMENDED. NATIVE SHRUBS SHOULD BE PRUNED IN THE SUMMER AFTER THE MAJOR PLANT GROWTH OCCURS. WELL PRUNED HEALTHY SHRUBS SHOULD TYPICALLY REQUIRE SEVERAL YEARS TO BUILD UP EXCESSIVE LIVE AND DEAD FUEL. ON SLOPES ALL DRAINAGE DEVICES MUST BE KEPT CLEAR. RE-INSPECT AFTER EACH MAJOR STORM SINCE MINOR SOIL SLIPS CAN BLOCK DRAINS. VARIOUS GROUNDCOVERS SHOULD BE PERIODICALLY SHEERED AND THATCH REMOVED. DISEASED AND DEAD WOOD SHOULD BE PRUNED FROM TREES. FERTILIZING TREES AND SHRUBS IS NOT TYPICALLY RECOMMEND AS THIS MAY STIMULATE EXCESSIVE GROWTH.
4. LONG-TERM MAINTENANCE RESPONSIBILITY - ALL LANDSCAPING/BRUSH MANAGEMENT WITHIN THE BRUSH MANAGEMENT ZONES AS SHOWN ON THESE PLANS SHALL BE THE RESPONSIBILITY OF (MICHAEL VINES, HOMEOWNER) THE BRUSH MANAGEMENT ZONE AREAS SHALL BE MAINTAINED FREE OF DEBRIS AND LITTER AND ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION.

ADDITIONAL BRUSH MANAGEMENT NOTES:

1. OFFSITE BRUSH MANAGEMENT SHALL BE THE RESPONSIBILITY OF ADJACENT PROPERTY OWNERS. FOR FUEL-LOAD MAINTENANCE ISSUES, CONTACT THE FIRE-RESCUE DEPARTMENT'S FIRE HAZARD ADVISOR – BRUSH/WEED COMPLAINT LINE AT: (619) 533-4444

NOT FOR CONSTRUCTION



VINES RESIDENCE

8457 PRESTWICK DR
LA JOLLA, CA

BRUSH MANAGEMENT NOTES

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PREPARED BY

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L-3

SHT

03 OF 05

LANDSCAPE AREA

REQUIRED LANDSCAPE AREA PROVIDED - 3941 SF (30%)
 3,730SF PROPOSED ORNAMENTAL LANDSCAPE + 9465 SF EXISTING NATURALIZED SLOPE PLANTING
 MIN. REQUIRED LANDSCAPE = 65% = 13,195 SF
 LOT AREA: 20,235 SF
 HOUSE FOOTPRINT: 3,110 SF
 TOTAL HARDSCAPE: 2543 SF

NOTE: PLANT SYMBOLS SHOWN FOR REFERENCE ONLY. REFER TO SHT L-2 FOR PLANTING PLAN AND PLANTING SCHEDULE

WATER BUDGET

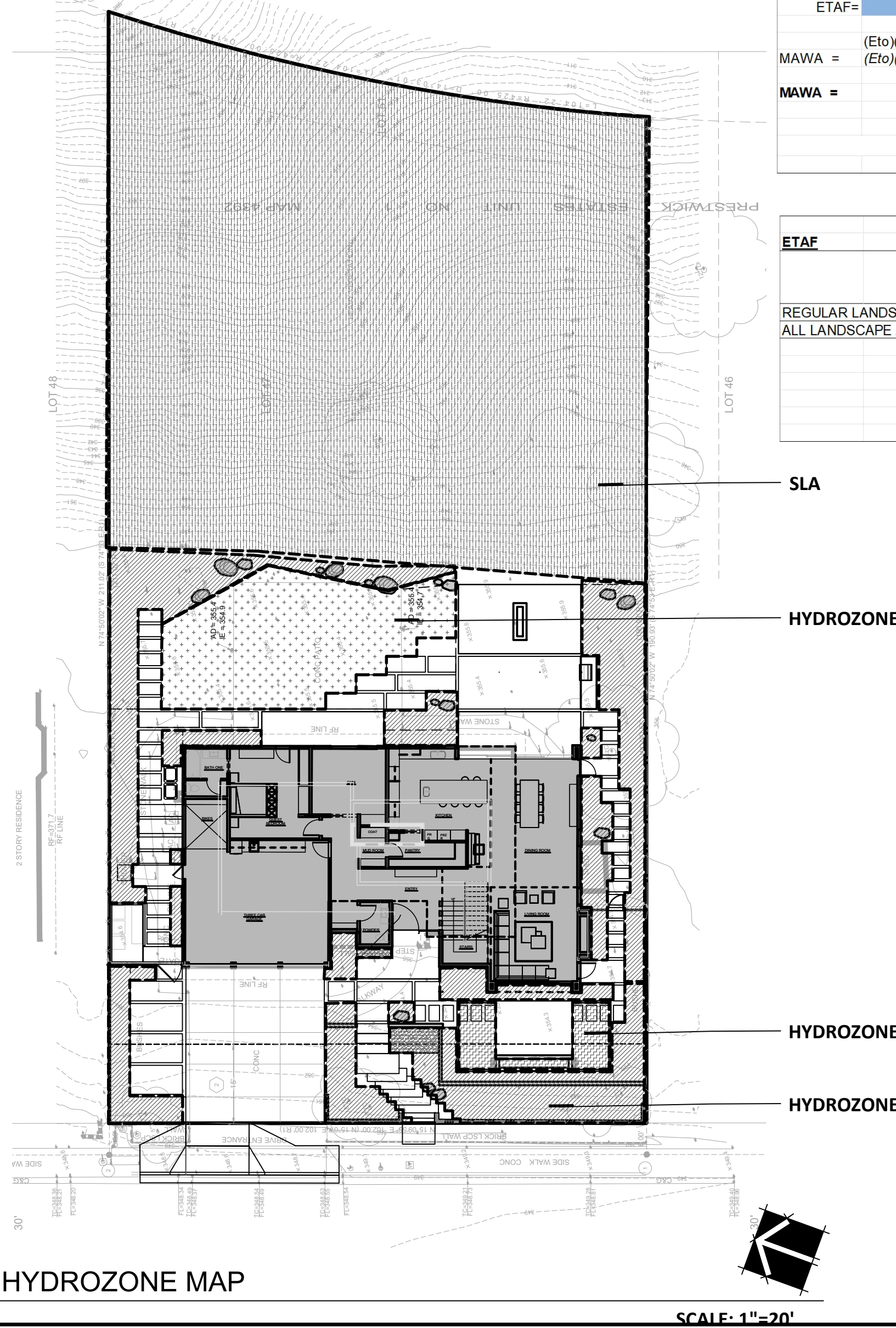
WATER EFFICIENT LANDSCAPE WORKSHEET							
Irrigation Point of Connection (P.O.C.) 1							
Hydro zone #	Planting Description	Plant Factor (average) (PF)	Irrigation Method	Irrigation Efficiency (IE)	ETAF (PF/IE)	Landscape Area (sq ft)	ETAF x Area (ETWU)
REGULAR LANDSCAPE AREAS							
1	MEDIUM WATER	0.50	DRIP	0.81	0.62	3943	2433.95
2	HIGH WATER	0.80	ROTATORS	0.70	1.14	1100	1257.14
3	HIGH WATER	1.00	POOL	1.00	1.00	205	205.00
TOTAL						5248	3896.09
SPECIAL LANDSCAPE AREAS							
TOTAL						9465	9465.00
ETWU TOTAL						99039	
MAXIMUM WATER ALLOWANCE (MAWA)						181642	
IRRIGATION EFFICIENCY (IE) AVERAGE						73.1	

Hydrozone Category	PF-Plant Factor
High Water Use	0.7-1.0
Moderate Water Use	0.4-0.6
Low Water Use	0.1-0.3
Very Low Water Use	0-0.1
Special Landscape Area	1.00
Reclaimed water = Special Landscape Area	
*Artificial Turf & Temporary Irrigated areas = low water u	

Irrigation Method Code	IE - Irrigation Efficiency
Filler Pipe for Pools/Spa	1.00
Drip/Subsurface	0.90
Bubblers	0.85
Rotors	0.75
Rotators	0.70
Overhead Spray	0.60

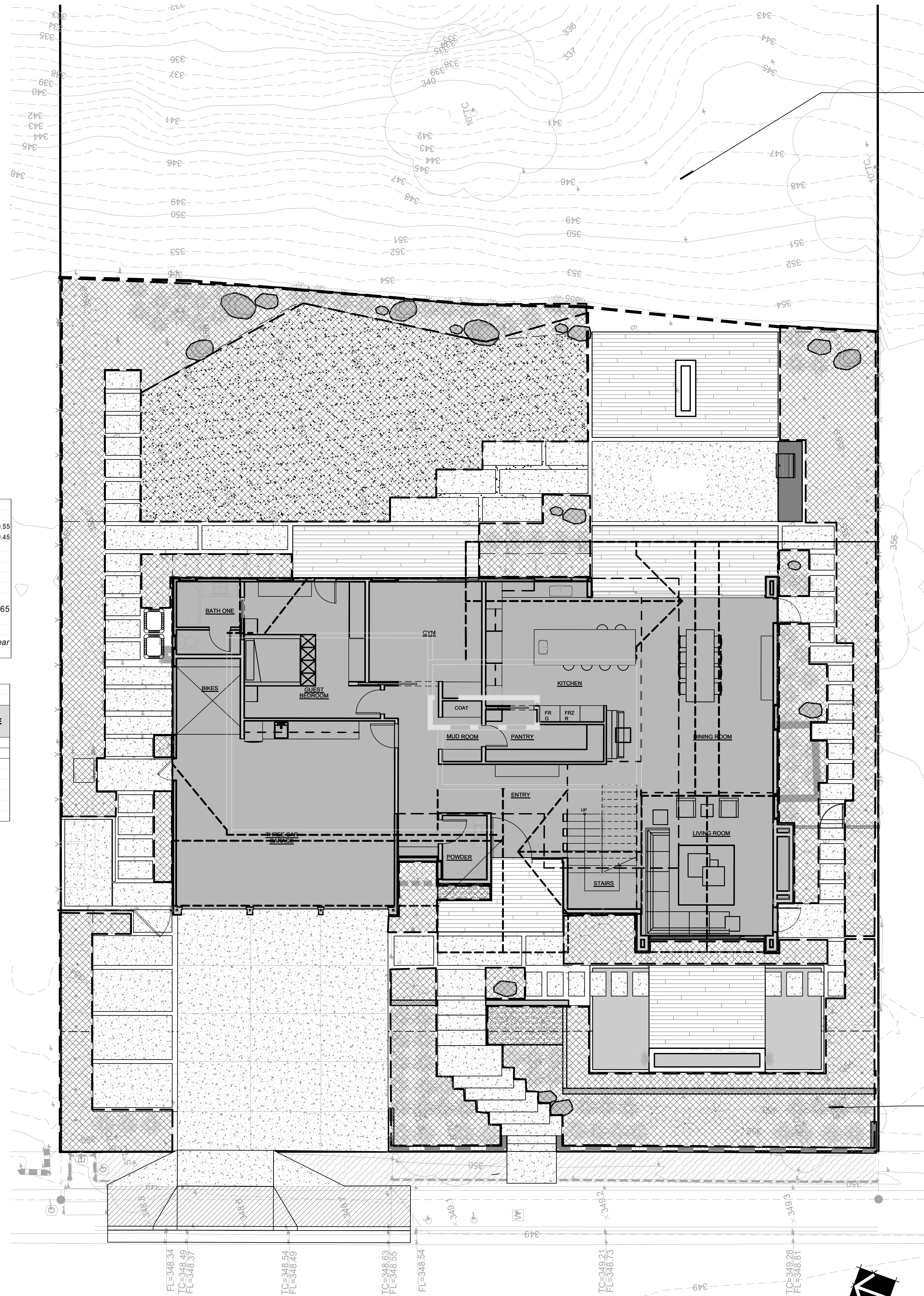
MAXIMUM APPLIED WATER ALLOWANCE (MAWA)		
ET o =	41 in/yr	RESIDENTIAL 0.55
LA =	5248 sq ft	NON RESIDENTIAL 0.45
SLA =	9465 sq ft	
ETAF =	0.55	
MAWA = (Eto)(0.62)(ETAF x LA) + (1 - ETAF) x SLA		
(Eto)(0.62)(0.55 x LA) + (1 - 0.55) x SLA		
MAWA =	41 (0.62)(0.55 x 5248) + 0.45 x 9465	
MAXIMUM APPLIED WATER ALLOWANCE = 181642.4 gal. per year		

ETAF	TOTAL ETAF x AREA	TOTAL AREA	AVERAGE ETAF	SITEWIDE ETAF
REGULAR LANDSCAPE AREAS	3896.09	5248	0.74	
ALL LANDSCAPE AREAS	13361.09	14713	n/a	0.91



HYDROZONE MAP

SCALE: 1"=20'



LANDSCAPE DIAGRAM

SCALE: 1/8"=1'-0"

3730 SF TOTAL OF PROPOSED ORNAMENTAL LANDSCAPE

NON-IRRIGATED NATURALIZED SLOPE PLANTING

NOT FOR CONSTRUCTION

LINEAR
 LANDSCAPE ARCHITECTURE
 IRRIGATION DESIGN + CONSULTING
 1619 MYRTLE AVENUE
 SAN DIEGO, CA 92103
 WWW.LINEARLANDARCH.COM



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 LA JOLLA, CA

LANDSCAPE DIAGRAM & HYDROZONE MAP

PREPARED FOR

LESLEY & MICHAEL
 VINES
 8457 PRESTWICK DR
 LA JOLLA, CA

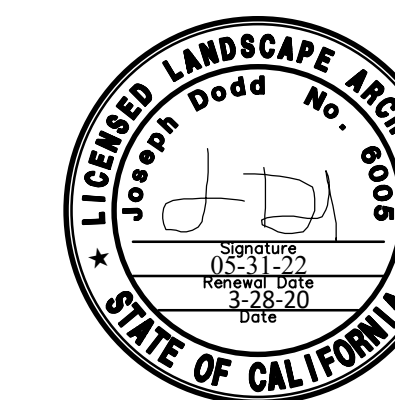
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BRUSH MANAGEMENT PLAN

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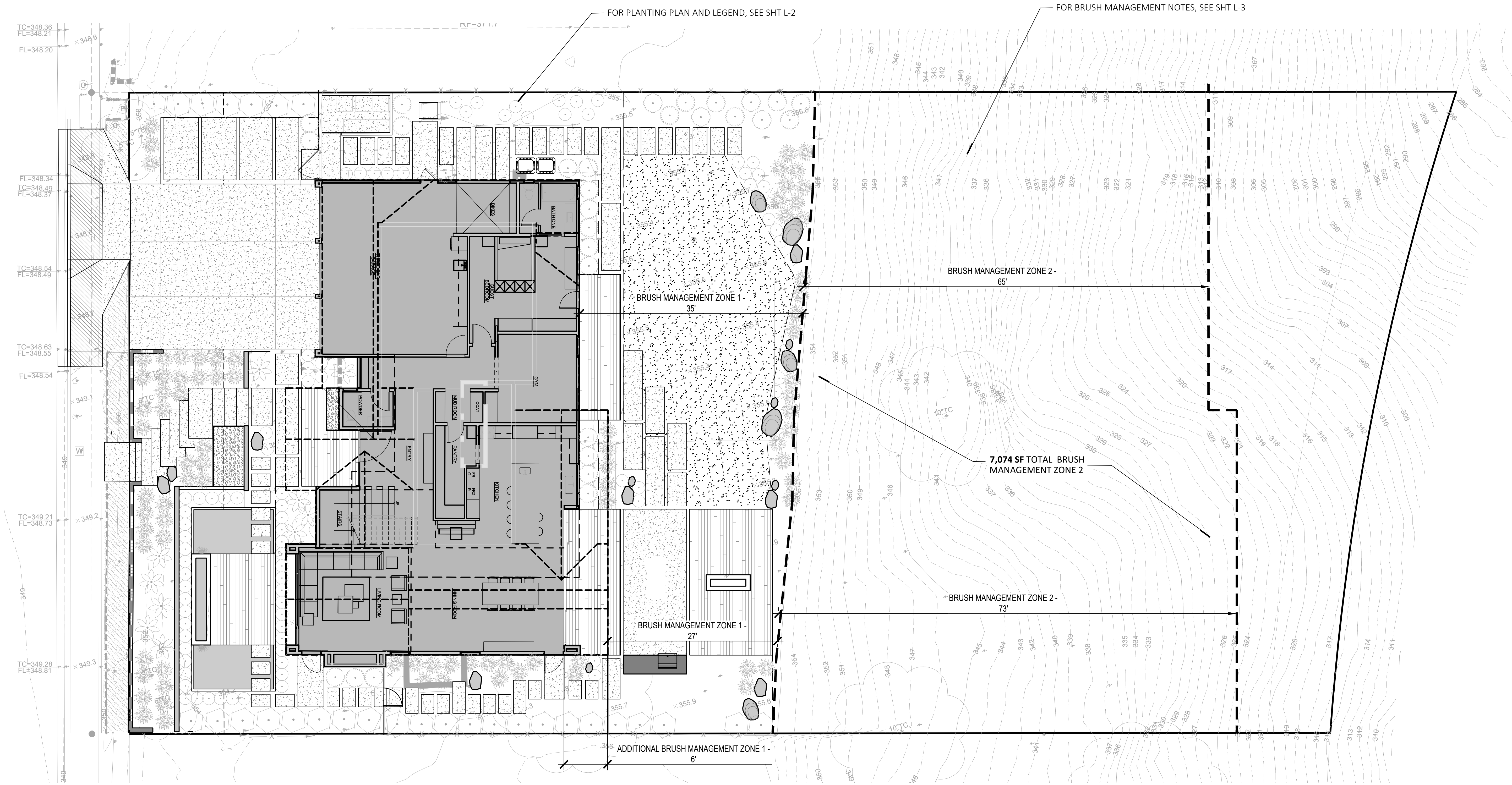
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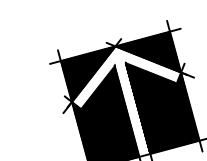
L-5

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FOR PLANTING PLAN AND LEGEND, SEE SHT L-2

FOR BRUSH MANAGEMENT NOTES, SEE SHT L-3



SCALE: 1/8" = 1'-0"

BRUSH MANAGEMENT PLAN

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