



THE CITY OF SAN DIEGO

Report to the Hearing Officer

DATE ISSUED: August 2, 2023 REPORT NO. HO 23-032
HEARING DATE: August 9, 2023
SUBJECT: 5268 LA JOLLA BOULEVARD – Process Three Decision
PROJECT NUMBER: [PRJ-1061390](#)
OWNER/APPLICANT: Nhan Quyen Nguyen and Doc Lap Nguyen/Terry Montello

SUMMARY

Should the Hearing Officer approve a Coastal Development Permit for the construction and remodel of an existing 2,216-square-foot, two-story residence with an existing 420-square-foot detached garage into a 3,605-square-foot, two-story residence, located at 5268 La Jolla Boulevard within the La Jolla Community Planning area?

Staff Recommendations:

1. APPROVE Coastal Development Permit No. PMT-3159758.

Community Planning Group Recommendation: On December 13, 2022, the La Jolla Community Planning Association voted 4-1-1 to recommend approval of the proposed project without conditions.

Environmental Review: The project was determined to be categorically exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines Section 15301 (Existing Facilities). The environmental exemption determination for this project was made on January 20, 2023, and the opportunity to appeal that determination ended on February 3, 2023.

BACKGROUND

The 0.16-acre project site contains an existing 2,216-square-foot (sf) single-family dwelling unit located at 5268 La Jolla Boulevard in the RS-1-7 Base Zone, the Coastal Overlay Zone (Appealable and Non-Appealable Area 2), the First Public Roadway (La Jolla Boulevard), Parking Impact Overlay Zone (Beach and Coastal), Transit Area Overlay Zone, and the Transit Priority Area within the La Jolla Community Plan and Council District 1.

The site is an interior lot on the west side of La Jolla Boulevard, surrounded by a fully developed single-dwelling unit neighborhood. The Community Plan designates the site for 5-9 Dwelling Units per Acre (DU/AC) Low-Density Residential.

A Coastal Development Permit is required for coastal development within the appealable Coastal Overlay Zone, per SDMC section 126.0702 with a decision by the Hearing Officer, appealable to the Planning Commission. The City's final decision on the project is also appealable to the Coastal Commission. Information on Coastal Commission appeals may be found in [SDMC section 126.0710](#).

Permit Required	Reason
Coastal Development Permit, Process Three	Required for coastal development within the Coastal Overlay Zone per SDMC section 126.0702 .

DISCUSSION

The proposed project includes remodeling and additions to a 2,216-square-foot two-story residence. Proposed additions include: a 55-square-foot first floor living room expansion, a 222-square-foot, second story bedroom and bath, and a 1,112-square-foot roof deck, lounge, mechanical room, and storage. The additions total 1,389 square feet, resulting in a 3,605-square-foot two-story residence with an existing 420-square-foot detached garage.

The La Jolla Community Plan and Local Coastal Program Land Use Plan (Community Plan) contains Residential Land Use Goals which state that development should "Maintain the character of La Jolla's residential areas by ensuring that redevelopment occurs in a manner that protects natural features, preserves existing streetscape themes and allows a harmonious visual relationship to exist between the bulk and scale of new and older structures." The architectural form proposed is consistent with surrounding homes and includes minimal changes in building material, proportional roof lines, and varied building height. Materials include stucco with corner stone details, similar finishes the existing structure, off-white walls, and black window trim. Project architecture is similar in nature to homes in the vicinity. From the public right-of-way, the roof height is increased by 4'-3" from the current 23'-3" to approximately 27'-6" at the parapet. Maximum structure height is approximately 29'-6" at the center of the property, which complies with the coastal height limitation of 30 feet.

A survey of the neighborhood demonstrates that the proposed residence is in general conformity with adjacent development patterns with regard to architectural compatibility and bulk and scale. The proposed development will observe setbacks to all property lines consistent with other properties within the vicinity. Adjacent development does not follow a single or common architectural theme; however, the proposed project architecture and materials are harmonious with adjacent development. The proposed structure height from the public right-of-way is perceived as a two-story dwelling, and the increase of 4'-3" feet in height does constitute a substantial increase in height when compared to existing development. Therefore, the proposed project generally conforms with the Community Plan and surrounding area.

Conclusion:

Staff has reviewed the proposed project and all issues identified through the review process have been resolved in conformance with the adopted City Council policies and regulations (SDMC) section [126.0708](#). The Project is designed in general conformity with setbacks, bulk and scale, and general design regulations as required by the Community Plan and the RS-1-7 base zone and as recommended by the Community Plan. Staff supports the determination that the project meets the regulations of the SDMC and conforms to the recommendations of the Community Plan. With the provided draft findings and draft permit conditions, staff recommends the Hearing Officer approve the project as proposed.

ALTERNATIVES

1. Approve Coastal Development Permit No. PMT-3159758, with modifications.
2. Deny Approve Coastal Development Permit No. PMT-3159758, if the findings required to approve the project cannot be affirmed.

Respectfully submitted,

Will Rogers

Will Rogers, Development Project Manager
Development Services Department

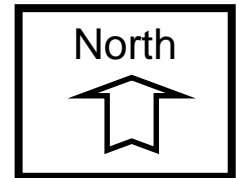
Attachments:

1. Aerial Photograph
2. Community Plan Land Use Map
3. Draft Permit Resolution with Findings
4. Draft Permit with Conditions
5. Community Planning Group Recommendation
6. Ownership Disclosure Statement
7. Project Plans



Aerial Photograph

5268 La Jolla Boulevard / CDP
Project No.1061390



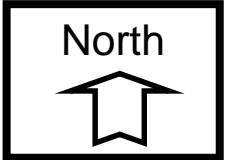


Project Site



Land Use Map

5268 La Jolla Boulevard / CDP Project
 No.1061390



HEARING OFFICER RESOLUTION NO. CM-XXXX
COASTAL DEVELOPMENT PERMIT NO. PMT-3159758
5268 LA JOLLA BOULEVARD - PROJECT NO. PRJ-1061390
HEARING OFFICER

WHEREAS, NHAN QUYEN NGUYEN and DOC LAP NGUYEN, Owners/Permittees, filed an application with the City of San Diego for a 1,389 square foot expansion and remodel of an existing 2,216-square-foot two-story residence into a 3,605-square-foot two-story residence with an existing 420-square-foot detached garage, as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Coastal Development Permit No. PMT-3159758, on portions of a 0.16-acre site;

WHEREAS, the 0.16-acre site is located at 5268 La Jolla Boulevard in the RS-1-7 Zone, the Coastal Overlay Zone (Appealable and Non-Appealable area 2), the First Public Roadway (La Jolla Boulevard), the Parking Impact Overlay Zone (Beach and Coastal), the Transit Area Overlay Zone, and the Transit Priority Area within the La Jolla Community Plan and City Council District 1;

WHEREAS, the project site is legally described as Lot 13, Block 3 of Pacific Riviera Villas Unit No. 1, in the City of San Diego, County of San Diego, State of California, according to Map thereof No. 2531, filed in the Office of the County Recorder of San Diego County, December 23, 1941, APN 415-061-0500.

WHEREAS, on January 20, 2023, the City of San Diego, as Lead Agency, through the Development Services Department, made and issued an Environmental Determination that the project is exempt from the California Environmental Quality Act (CEQA) (Public Resources Code Section 21000 et seq.) under CEQA Guidelines Section 15301 (Existing Facilities); and there was no appeal of the Environmental Determination filed within the time period provided by San Diego Municipal Code Section 112.0520;

WHEREAS, on August 9, 2023, the Hearing Officer of the City of San Diego considered Coastal Development Permit No. PMT-3159758 pursuant to the Land Development Code of the City of San Diego;

A. COASTAL DEVELOPMENT PERMIT [SDMC Section 126.0708]

1. Findings for all Coastal Development Permits:

- a. The proposed coastal development will not encroach upon any existing physical accessway that is legally used by the public or any proposed public accessway identified in a Local Coastal Program land use plan; and the proposed coastal development will enhance and protect public views to and along the ocean and other scenic coastal areas as specified in the Local Coastal Program land use plan.**

The project proposes an addition and remodel of an existing 2,216-square-foot two-story residence, resulting in a 3,605-square-foot two-story residence with an existing 420-square-foot detached garage on a 0.16-acre site. A survey of the surrounding neighborhood shows that the project conforms to the scale, mass and height of all surrounding properties. The project is approximately 300 feet from the Pacific Ocean and the La Jolla Community Plan and Local Coastal Program Land Use Plan (Community Plan) does not identify any public accessways across the site, and there is no physical accessway legally used by the public on this property. Since the project and associated improvements will be located completely within private property, there will be no encroachments upon any existing or proposed public physical accessways to the Pacific Ocean as defined in Subarea H in Figure 6 of the Community Plan. The closest accessways are a pathway and stairs extending to the Bird Rock Waterfront from Linda Way and Tourmaline Park. From the public right-of-way, the roof height is increased by 4'-3" from the current 23'-3" to an approximately 27'-3" height at the parapet. Maximum structure height is approximately 29'-6" at the center of the property, which complies with the City's 30-foot coastal height limitation. There are no public views identified in the Community Plan impacted by the project. Therefore, the project is consistent with the goals of protecting the scenic public coastal views and public accessways as specified in the Community Plan.

- b. The proposed coastal development will not adversely affect environmentally sensitive lands.**

The project site is previously graded and developed with an existing single-family dwelling unit. A review of resource maps, and aerial and street-level photography shows that the project site does not contain any environmentally sensitive lands. The project site does not contain, nor is it adjacent to, Multi-Habitat Planning Area (MHPA)-designated lands of the City of San Diego's (City) Multiple Species Conservation Program. The project site is a previously graded and developed

subdivision that does not contain steep hillsides or floodplains. In addition, the project site is in a developed subdivision with no drainage impacts to adjacent properties and the project has been conditioned to comply with Storm Water Regulations that will reduce runoff impacts to the Pacific Ocean. Therefore, the project will not adversely affect environmentally sensitive lands.

c. The proposed coastal development is in conformity with the certified Local Coastal Program land use plan and complies with all regulations of the certified Implementation Program.

The proposed development conforms with the La Jolla Community Plan and Local Coastal Program Land Use Plan (Community Plan) and complies with all regulations and goals identified in the Community Plan including Residential Land Use Goals which state that development should “maintain the character of La Jolla's residential areas by ensuring that redevelopment occurs in a manner that protects natural features, preserves existing streetscape themes and allows a harmonious visual relationship to exist between the bulk and scale of new and older structures.” The proposed residence is in general conformity with adjacent development patterns with regard to architectural compatibility and bulk and scale. The proposed development will observe setbacks to all property lines consistent with other properties within the vicinity. The project site is designated for low density residential (5-9 dwelling units per acre) per the Community Plan (Figure 1). The project includes one single-family dwelling unit on one lot totaling approximately 6,900 square feet (0.16 acres) in lot area, resulting in a density consistent with the Community Plan of approximately 6.25 dwelling units per acre. The project implements a key policy of the Community Plan, which is to maintain La Jolla as a primarily residential and recreational oriented community by protecting its residential areas. Therefore, this project is consistent with implementing the goals found in the Community Plan.

d. For every Coastal Development Permit issued for any coastal development between the nearest public road and the sea or the shoreline of any body of water located within the Coastal Overlay Zone the coastal development is in conformity with the public access and public recreation policies of Chapter 3 of the California Coastal Act.

The project is 300 feet from the Pacific Ocean and is located west of La Jolla Boulevard, which is the nearest public road to the sea. It is located in both the Appealable and Non- Appealable areas of the Coastal Overlay Zone. The project site is close to public open space for the use of parks and recreation. The project is adjacent to the La Jolla Boulevard Bike Path and is approximately 300 feet from Bird Rock Neighborhood Park. No public access or public recreation facilities exist on the project site and no public access or public recreation facilities adjacent to or near the project site would be impacted by the proposed project. Therefore, the proposed project is in conformity with the public access and public recreation policies of Chapter 3 of the California Coastal Act.

BE IT FURTHER RESOLVED that, based on these findings adopted by the Hearing Officer, COASTAL DEVELOPMENT PERMIT NO. PMT-3159758 is hereby GRANTED by the Hearing Officer to the referenced Owner/Permittee, in the form, exhibits, terms and conditions as set forth in Coastal Development Permit No. PMT-3159758, a copy of which is attached hereto and made a part hereof.

Will Rogers
Development Project Manager
Development Services

Adopted on: August 9, 2023

IO#: 24009270

DRAFT

RECORDING REQUESTED BY
CITY OF SAN DIEGO
DEVELOPMENT SERVICES
PERMIT INTAKE, MAIL STATION
501

PROJECT MANAGEMENT
PERMIT CLERK
MAIL STATION 501

INTERNAL ORDER NUMBER: 24009270

SPACE ABOVE THIS LINE FOR RECORDER'S USE

COASTAL DEVELOPMENT PERMIT NO. PMT-3159758
5268 LA JOLLA BOULEVARD - PROJECT NO. PRJ-1061390
HEARING OFFICER

This Coastal Development Permit No. PMT-3159758 is granted by the Hearing Officer of the City of San Diego to NHAN QUYEN NGUYEN, a single man, and DOC LAP NGUYEN, a single man as joint tenants, Owners/Permittees, pursuant to San Diego Municipal Code (SDMC) section 126.0708. The 0.16-acre site is located at 5268 La Jolla Boulevard in the RS-1-7 zone, Coastal Overlay (Appealable and Non-Appealable area 2), the First Public Roadway (La Jolla Boulevard), Parking Impact Overlay Zone (Beach and Coastal), Transit Area Overlay Zone, and the Transit Priority Area within the La Jolla Community Plan area in Council District 1. The project site is legally described as: LOT 13, BLOCK 3 OF PACIFIC RIVIERA VILLAS UNIT NO. 1, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 2531, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, ON DECEMBER 23, 1941, APN 415-061-0500.

Subject to the terms and conditions set forth in this Permit, permission is granted to Owners/Permittees for a 1,389 square foot expansion to an existing 2,216-square-foot two-story residence with an existing 420-square-foot detached garage, as described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated August 9, 2023, on file in the Development Services Department.

The project shall include:

- a. A 55-square-foot first floor expansion, a 222-square-foot second-story expansion, and a 1,112-square-foot roof deck, lounge, mechanical room, and storage for a total addition of 1,389 square feet;
- b. Two off-street parking spaces; and
- c. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act [CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

STANDARD REQUIREMENTS:

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36-month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by August 23, 2026.

2. This Coastal Development Permit shall become effective on the eleventh working day following receipt by the California Coastal Commission of the Notice of Final Action or following resolution of all appeals.

3. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:

- a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
- b. The Permit is recorded in the Office of the San Diego County Recorder.

4. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.

5. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.

6. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.

7. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 (ESA) and any amendments thereto (16 U.S.C. § 1531 et seq.).

8. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.

9. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.

10. All of the conditions contained in this Permit have been considered and were determined necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

11. If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

12. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

CLIMATE ACTION PLAN REQUIREMENTS:

13. Owner/Permittee shall comply with the Climate Action Plan (CAP) Consistency Checklist stamped as Exhibit "A." Prior to issuance of any construction permit, all CAP strategies shall be noted within the first three (3) sheets of the construction plans under the heading "Climate Action Plan Requirements" and shall be enforced and implemented to the satisfaction of the Development Services Department.

ENGINEERING REQUIREMENTS:

14. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, the reconstruction of the damaged sidewalk adjacent to the site on La Jolla Boulevard, satisfactory to the City Engineer.

15. Prior to the issuance of any building permit, the Owner/Permittee shall obtain an Encroachment Maintenance and Removal Agreement for the private rocks, landscape lights, trees and irrigation within the La Jolla Boulevard right-of-way, satisfactory to the City Engineer.
16. Prior to the issuance of any construction permit, the Owner/Permittee shall incorporate any construction Best Management Practices necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the San Diego Municipal Code into the construction plans or specifications, satisfactory to the City Engineer.
17. Prior to the issuance of any construction permit, the Owner/Permittee shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be drafted in accordance with Part 2, Chapter 4.2 and Appendix 'D' of the City of San Diego Storm Water Standards Manual.

PLANNING/DESIGN REQUIREMENTS:

18. The automobile, motorcycle and bicycle parking spaces must be constructed in accordance with the requirements of the SDMC. All on-site parking stalls and aisle widths shall be in compliance with requirements of the City's Land Development Code and shall not be converted and/or utilized for any other purpose, unless otherwise authorized in writing authorized by the appropriate City decision maker in accordance with the SDMC.
19. A topographical survey conforming to the provisions of the SDMC may be required if it is determined, during construction, that there may be a conflict between the building(s) under construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Owner/Permittee.
20. All private outdoor lighting shall be shaded and adjusted to fall on the same premises where such lights are located and in accordance with the applicable regulations in the SDMC.

INFORMATION ONLY:

- The issuance of this discretionary permit alone does not allow the immediate commencement or continued operation of the proposed use on site. Any operation allowed by this discretionary permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Development Services Department of the City of San Diego on August 9, 2023, and Resolution Number **XXXX**

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES DEPARTMENT

Will Rogers
Development Project Manager

**NOTE: Notary acknowledgment
must be attached per Civil Code
section 1189 et seq.**

The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of
this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

Nhan Quyen Nguyen
Owner/Permittee

By _____
Nhan Quyen Nguyen

Doc Lap Nguyen
Owner/Permittee

By _____
Doc Lap Nguyen

**NOTE: Notary acknowledgments
must be attached per Civil Code
section 1189 et seq.**

LA JOLLA DEVELOPMENT PERMIT REVIEW COMMITTEE
LA JOLLA COMMUNITY PLANNING ASSOCIATION
2ND AND 3RD TUESDAYS; 4:00PM

This meeting will be held online. You must register in advance to attend. Instructions and links are at <https://lajollacpa.org/ljcpa-online-meeting-instructions/>

Presentation materials will be made available in advance of the meeting through links on <https://lajollacpa.org/2022-agendas/> Applicants (or opposition) please send all materials to the DPR chair (brianljcpa@gmail.com) no later than **24 hours before the meeting**. This should include the following:

- Your submitted drawings in a single PDF (required)
- Your most recent Assessment Letter and Cycle Issues combined in a single pdf (required)
- Your presentation slides (if to be presented) in a single pdf (optional)

-
1. *Public comments are an opportunity to share your opinion with the committee members. Comments should not be directed at the applicant team*
 2. *Plans are available for in-depth review 24 hours before the meeting on the LJCPA website or by contacting the project manager at the city's Development Services Department before the meeting.*
 3. *Public comments will be strictly limited to **2 minutes per person**. Please review the following meeting minutes. It is not necessary to repeat previous comments.*
-

COMMITTEE MEMBER ATTENDANCE:

NON-AGENDA PUBLIC COMMENT:

- **Will** – consider code update that uses similar incentives as low-income housing to encourage low-profit services and/or neighborhood basic services. Will to draft letter for potential code change and share with PDO.

POSSIBLE ACTIONS ITEMS:

ITEM 1: FINAL REVIEW 12/13/2022

Project Name: 5268 La Jolla Blvd
Applicant: Frank Piermarini
Project Info: PRJ-1061390

LA JOLLA (Process 3) Coastal Development Permit for proposed first, second, and third floor additions to an existing residence. The property located at 5268 La Jolla Blvd. The 0.16-acre site is located in the RS-1-7 zone and the Coastal (Appealable) Overlay zone within the La Jolla Community Plan and Council District 1.

11/8/22 Applicant Presentation

- Existing 2-story house, proposing addition and roof deck.
- Small addition on 1st floor, new bedroom and bath added on second floor
- Roof deck shielded from street view by sloping roof and mechanical space used within
- Existing roof tops out at 24-25', new roof increases to close to 30' height limit.

11/8/22 Discussion:

- Rasmussen – concerned with total square footage served by spiral stairs: Bedroom + Roof deck (applicant 222sf +326sf=548sf total)
- Fremdling – Concerned with neighbor privacy from roof deck. Perhaps move back or solid parapet wall
- Costello – Have you talked to neighbors? (applicant: not yet)
- Kane – What is rear setback? (applicant: 12'-7") What is rear elevation as viewed by neighbor? How much hardscape (applicant: mostly permeable)
- Leira – Do you have a landscape plan? (applicant: no, not required) There is some vegetation

11/8/22 Deliverables

- Landscape Plan
- Consider stepping back roof deck, and solid parapet
- Present to neighbors
- Consider square footage served by spiral stair

12/13/22 Applicant Presentation

- Refresher
- Presented Landscape
- Spiral Staircase conforms
- Neighbor Privacy – proposing obscured/etched glass in lower half of glass rail
- Minimal view from street on Chelsea looking East, barely see project.
- City mailer and public meetings are adequate in owner's view.

12/13/22 Discussion

- Kane – Like the obscured glass, Appreciate landscape plan, Did vegetation come up in climate action plan review (applicant: not triggered in this review), would have preferred to see what it looks like from neighbors on Chelsea back yard.
- Leira – What is permeable hardscape made of? (app: permeable pavers) What plants are you planning? Prefer not grass. (app: not defined yet)
- Merten – The occupancy of the third floor level may require a second egress path.

12/13/22 Action

- MOTION – Recommend that Findings CAN (Jackson/Rasmussen)
 - Call the vote
 - Fremdling – yes
 - Jackson – yes
 - Kane - no
 - Leira – Abstain
 - Rasmussen – yes
 - Williams – yes
 - Will – Abstain
 - **PASSES – 4-1-1**

	City of San Diego Development Services 1222 First Ave., MS 302 San Diego, CA 92101 (619) 446-5000	<h1>Ownership Disclosure Statement</h1>	FORM
			DS-318
			October 2017

Approval Type: Check appropriate box for type of approval(s) requested: Neighborhood Use Permit Coastal Development Permit
 Neighborhood Development Permit Site Development Permit Planned Development Permit Conditional Use Permit Variance
 Tentative Map Vesting Tentative Map Map Waiver Land Use Plan Amendment • Other _____

Project Title: QUYEN NGUYEN **Project No. For City Use Only:** _____

Project Address: 5268 LA JOLLA BLVD, LA JOLLA, CA 92037

Specify Form of Ownership/Legal Status (please check):

Corporation Limited Liability -or- General - What State? _____ Corporate Identification No. _____
 Partnership Individual

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter will be filed with the City of San Diego on the subject property with the intent to record an encumbrance against the property. Please list below the owner(s), applicant(s), and other financially interested persons of the above referenced property. A financially interested party includes any individual, firm, co-partnership, joint venture, association, social club, fraternal organization, corporation, estate, trust, receiver or syndicate with a financial interest in the application. If the applicant includes a corporation or partnership, include the names, titles, addresses of all individuals owning more than 10% of the shares. If a publicly-owned corporation, include the names, titles, and addresses of the corporate officers. (A separate page may be attached if necessary.) If any person is a nonprofit organization or a trust, list the names and addresses of **ANY** person serving as an officer or director of the nonprofit organization or as trustee or beneficiary of the nonprofit organization. A signature is required of at least one of the property owners. Attach additional pages if needed. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

Property Owner

Name of Individual: QUYEN NGUYEN Owner Tenant/Lessee Successor Agency

Street Address: 5268 LA JOLLA BLVD

City: LA JOLLA State: CA Zip: 92037

Phone No.: 504-319-7861 Fax No.: _____ Email: quyen99ufl@gmail.com

Signature:  Date: 5/16/2022

Additional pages Attached: Yes No

Applicant

Name of Individual: QUYEN NGUYEN Owner Tenant/Lessee Successor Agency

Street Address: 5268 LA JOLLA BLVD

City: LA JOLLA State: CA Zip: 92037

Phone No.: 504-319-7861 Fax No.: _____ Email: quyen99ufl@gmail.com

Signature:  Date: 5/16/2022

Additional pages Attached: Yes No

Other Financially Interested Persons

Name of Individual: _____ Owner Tenant/Lessee Successor Agency

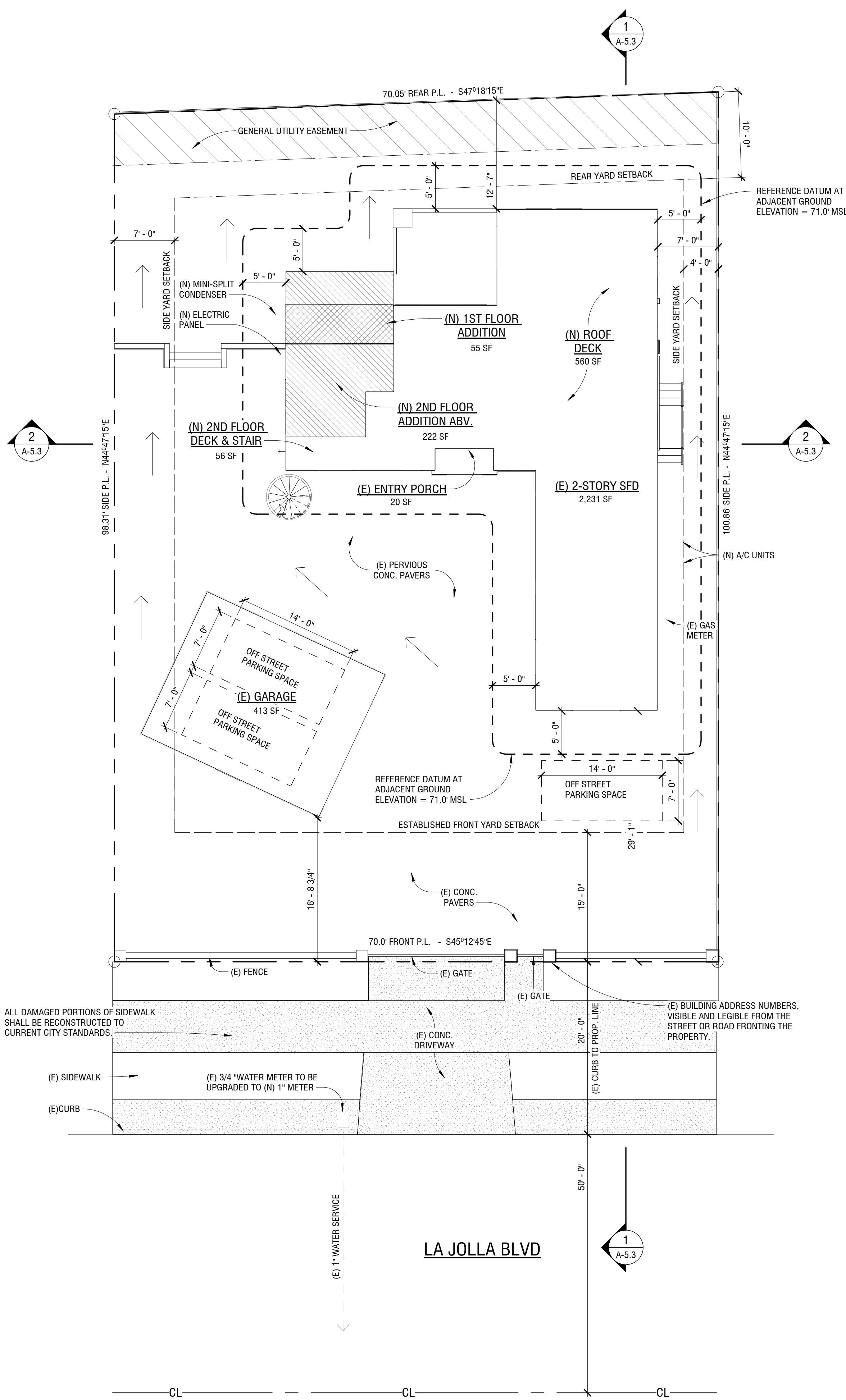
Street Address: _____

City: _____ State: _____ Zip: _____

Phone No.: _____ Fax No.: _____ Email: _____

Signature: _____ Date: _____

Additional pages Attached: Yes No



SITE PLAN
1/8" = 1'-0"

PROJECT DATA

PROJECT NUMBER: PTS-0684466
SITE DATA:
 APN #: 415-061-05-00
 LEGAL DESCRIPTION: MAP# 2531 TR 2531, BLK 3, LOT 13 PACIFIC RIVERA VILLAS UNIT NO.1
 LOT AREA: 6,900 SQ FT
 YEAR BUILT: 1967
ZONING DATA:
 ZONE = RS-1-7
 SETBACKS = FRONT = 25', SIDES = .08 X 70' = 5'-6" EACH SIDE OR 4'-0"/7'-0", REAR = 10' (100.86' + 98.31' = 199.17' / 2 = 99.6')
 HEIGHT LIMIT = 24/30' FEET FROM EXISTING GRADE
 MAX F.A.R. ALLOWED = 4,002 SQ FT/6,900 = .58
 TOTAL F.A.R. PROPOSED = 3,189 SQ FT/6,900 = .49
OCCUPANCY:
 DWELLING w/ ATTACHED GARAGE = R-3/U
CONSTRUCTION TYPE:
 TYPE VB - DWELLING w/ ATTACHED GARAGE
 FIRE SPRINKLED - NO
GEOLOGIC HAZARD CATEGORY:
 53
BUILDING DATA:
 FIRST FLOOR
 EXISTING FIRST FLOOR = 1,332 SQ FT
 EXISTING BASEMENT = 0 SQ FT
 PROPOSED NEW = 55 SQ FT
 TOTAL FIRST FLOOR = 1,387 SQ FT
 SECOND FLOOR
 EXISTING SECOND FLOOR = 884 SQ FT
 PROPOSED NEW = 222 SQ FT
 TOTAL SECOND FLOOR = 1,104 SQ FT
 ROOF
 PROPOSED LOUNGE & MECH ROOM (PENTHOUSE) = 326 SQ FT
 PROPOSED STORAGE (PENTHOUSE) = 170 SQ FT
 DECKS
 PROPOSED ROOF DECK = 560 SQ FT
 PROPOSED 2ND FLOOR DECK & STAIR = 56 SQ FT
 GARAGE
 EXISTING GARAGE = 420 SQ FT
 REMODEL
 PROPOSED REMODEL OF EXISTING = 538 SQ FT
TOTALS TOWARDS F.A.R.
 FIRST, SECOND & ROOF DECK STORAGE/LOUNGE = 2,987 SQ FT
 GARAGE = 420 SQ FT
 TOTAL FLOOR AREA = 3,407 SQ FT (4,002 SQ FT MAX)

SHEET INDEX

NO.	SHEET DESCRIPTION
ARCHITECTURAL	
A-1.1	PROJECT DATA & SITE PLAN
A-1.2	STORMWATER BMP FORM DS-560 & 570
A-1.5	PHOTO KEY MAP
A-1.6	BMP-PLAN
A-1.7	ERIMA
A-2.1	COASTAL DEVELOPMENT DEMO PLAN
A-3.2	PROPOSED FIRST FLOOR PLAN
A-3.3	PROPOSED SECOND FLOOR & ROOF DECK PLANS
A-3.4	DIMENSIONED PLANS
A-4.1	EXTERIOR ELEVATIONS
A-4.2	EXTERIOR ELEVATIONS
A-4.3	EXTERIOR PERSPECTIVES
A-4.4	EXTERIOR PERSPECTIVES
A-5.1	BUILDING SECTIONS
A-5.2	BUILDING SECTIONS
A-5.3	SITE SECTIONS
A-6.1	ROOF PLAN
A-8.1	ARCHITECTURAL DETAILS
GENERAL NOTES	
GN-1.1	GENERAL NOTES
SHEET COUNT: 19	

SCOPE OF WORK

- EXTEND LIVING ROOM WITH NEW ADDITION ON 1ST FLOOR
- NEW SPIRAL STAIR TO ACCESS 2ND FLOOR
- NEW BEDROOM ADDITION w/FULL BATHROOM ON 2ND FLOOR
- NEW STAIR TO ACCESS 3RD STORY
- NEW 3RD STORY DECK WITH ENCLOSED STORAGE ROOM, LOUNGE ROOM & MECHANICAL ROOM
- 3RD STORY DECK TO INCLUDE BUILT-IN BBQ AREA

ENGINEERING REQUIREMENTS

TOTAL DISTURBANCE AREA: **135 SQ FT**
 EXISTING AMOUNT OF IMPERVIOUS AREA: **2,492 SQ FT**
 PROPOSED AMOUNT OF IMPERVIOUS AREA: **105 SQ FT**
 TOTAL IMPERVIOUS AREA: **2,597 SQ FT**
 IMPERVIOUS % INCREASE: **4 %**
 IMPERVIOUS AREA SHALL INCLUDE: ROOF, SIDEWALK, PARKING AREA, WALKWAYS, POOLS, POOL DECKS, ETC.

EARTHWORK QUANTITIES	
A. CUT QUANTITIES:	7 CYD
B. FILL QUANTITIES:	0 CYD
C. IMPORT/EXPORT:	7 CYD
D. MAX CUT DEPTH:	2 FT
E. MAX FILL DEPTH:	8 FT

NOTE: ALL STORMWATER RUNOFF FROM PROPOSED AND/OR REPLACED IMPERVIOUS AREAS SHALL BE ROUTED TO PERVIOUS SURFACES OR LANDSCAPING PRIOR TO REACHING THE PUBLIC DRAIN SYSTEM.

GOVERNING CODE:

1. ALL CONSTRUCTION, INCLUDING MATERIALS AND WORKMANSHIP SHALL COMPLY WITH THE 2019 CALIFORNIA BUILDING CODE, 2019 CALIFORNIA RESIDENTIAL CODE, THE 2019 CALIFORNIA MECHANICAL CODE, THE 2019 CALIFORNIA PLUMBING CODE, THE 2019 CALIFORNIA ELECTRICAL CODE, THE 2019 CALIFORNIA GREEN BUILDING STANDARDS CODE, THE 2019 ENERGY CODE WITH CALIFORNIA ENERGY EFFICIENCY STANDARDS, AND THE 2019 CALIFORNIA FIRE CODE WITH THE GOVERNING CITY MUNICIPAL CODE AMENDMENTS. AND THE 2019 CALIFORNIA FIRE CODE WITH THE GOVERNING CITY MUNICIPAL CODE AMENDMENTS.
 2. THE MODEL CODES NEC, UPC, UMC, ARE AMENDED TO BECOME CALIFORNIA CODES CEC, CPC, CMC.

PROJECT DIRECTORY

OWNER:
 QUYEN NGUYEN
 5268 LA JOLLA BLVD
 LA JOLLA, CA 92037
DESIGNER/CONTRACTOR:
 STEL BUILDERS
 7950 DUNBROOK RD
 SAN DIEGO, CA 92126
STRUCTURAL ENGINEER:
 MIKE SURPRENANT AND ASSOCIATES
 9975 BUSINESS PARK AVE. SUITE 'A'
 SAN DIEGO, CALIFORNIA 92131
TITLE 24'S:
 D&R CALCS
 14107 IPAVA DRIVE
 POWAY, CA 92064

SOILS NOTE

THE STRUCTURE WILL BE LOCATED ENTIRELY ON NATIVE/UNDISTURBED SOIL.
 SIGNATURE: *Frank Keenan*
 (LICENSED ENGINEER / ARCHITECT, OR HOME OWNERS' AGENT OF RECORD)
 IF THE BUILDING INSPECTOR SUSPECTS FILL, EXPANSIVE SOILS OR ANY GEOLOGIC INSTABILITY BASED UPON OBSERVATION OF THE FOUNDATION EXCAVATION, A SOILS OR GEOLOGICAL REPORT, AND RESUBMITTAL OF PLANS TO PLAN CHECK TO VERIFY THAT THE REPORT RECOMMENDATIONS HAVE BEEN INCORPORATED, MAY BE REQUIRED.

NOTICES

NOTICE TO THE CONTRACTOR/BUILDER/INSTALLER/SUB-CONTRACTOR/OWNER BUILDER. BY USING THIS PERMITTED CONSTRUCTION DRAWINGS FOR CONSTRUCTION/INSTALLATION OF WORK SPECIFIED HEREIN, YOU ACKNOWLEDGE AND ARE AWARE OF THE REQUIREMENTS CONTAINED IN THE STATEMENT OF SPECIAL INSPECTION. YOU AGREE TO COMPLY WITH THE CITY OF SAN DIEGO FOR SPECIAL INSPECTIONS, STRUCTURAL OBSERVATION, CONSTRUCTION MATERIAL TESTING AND OFF-SITE FABRICATION OF BUILDING COMPONENTS CONTAINED IN THE STATEMENT OF SPECIAL INSPECTIONS AND AS REQUIRED BY THE CALIFORNIA CONSTRUCTION CODES.
NOTICE TO THE APPLICANT/OWNER/OWNER'S AGENT/ARCHITECT OR ENGINEER OF RECORD. BY USING THIS PERMITTED CONSTRUCTION DRAWINGS FOR CONSTRUCTION/INSTALLATION OF WORK SPECIFIED HEREIN, YOU AGREE TO COMPLY WITH THE REQUIREMENTS OF THE CITY OF SAN DIEGO FOR SPECIAL INSPECTIONS, STRUCTURAL OBSERVATION, CONSTRUCTION MATERIAL TESTING AND OFF-SITE FABRICATION OF BUILDING COMPONENTS CONTAINED IN THE STATEMENT OF SPECIAL INSPECTIONS AND AS REQUIRED BY THE CALIFORNIA CONSTRUCTION CODES

NOTES

1. NO TRANSIT STOPS ADJACENT TO THE PROJECT.
2. NO EXISTING FIRE HYDRANTS WITHIN 600' OF THE PROJECT.
3. NO PROPOSED WORK IN THE PUBLIC RIGHT OF WAY.
4. 5'-0" CONTINUOUS WALL/FENCE SURROUNDING PROPERTY.
5. LANDSCAPE AREA - 4,109.98 SQ. FT.

COASTAL HEIGHT

A PRE-CONSTRUCTION INSPECTION IS REQUIRED DUE TO THE HEIGHT OF THE PROPOSED STRUCTURE BEING WITHIN ONE FOOT OF THE MAXIMUM HEIGHT ALLOWED IN THE COASTAL HEIGHT LIMIT OVERLAY ZONE (PROPOSITION D).

SITE LEGEND

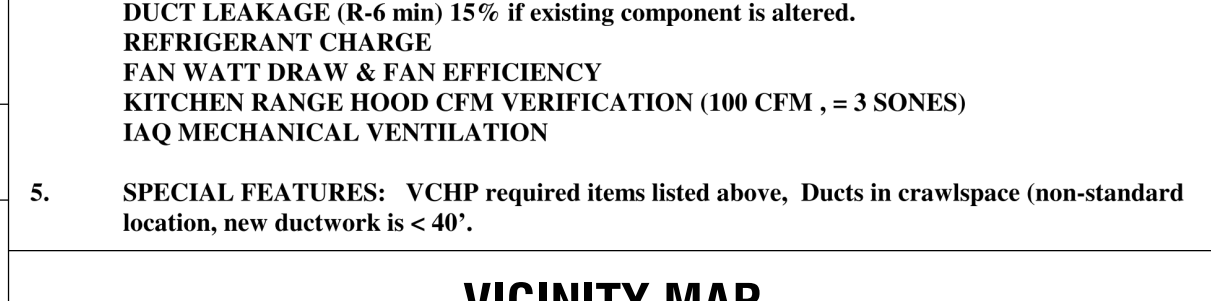
	EXISTING FLOOR AREA AS NOTED		NEW INTERIOR REMODELED AREA
	PROPOSED 1st FLOOR AREA		PROPOSED 1st & 2nd FLOOR AREA
	PROPOSED 2nd FLOOR AREA		SITE DRAINAGE SLOPE ARROW AS NOTED

HERS NOTES

HERS NOTES

1. PROPERLY COMPLETED AND ELECTRONICALLY SIGNED CERTIFICATE OF INSTALLATION (CFIR FORMS) SHALL BE POSTED WEATHER PROTECTED WITHIN BUILDING FOR REVIEW BY INSPECTORS - EES 10-103(a)3, 10-103(b)1A - BY THE INSTALLING CONTRACTOR AND SUBMITTED TO THE FIELD INSPECTOR DURING CONSTRUCTION AT THE SITE. FOR PROJECTS REQUIRING HERS VERIFICATION, THE CFIR FORMS SHALL BE REGISTERED WITH A CALIFORNIA APPROVED HERS PROVIDER DATA REGISTRY WITH ITS OWN UNIQUE 21 DIGIT REGISTRATION NUMBER LOCATED AT THE BOTTOM OF EACH PAGE. THE FIRST 12 DIGITS WILL MATCH THE REGISTRATION NUMBER ASSOCIATED WITH THE CFIR FORM. CERTIFICATE OF OCCUPANCY WILL NOT BE ISSUED UNTIL THE CFIR FORMS ARE REVIEWED AND APPROVED.
2. PROPERLY COMPLETED & ELECTRONICALLY SIGNED AND REGISTERED CERTIFICATE(S) OF FIELD VERIFICATION AND DIAGNOSTIC TESTING (CF3R) SHALL BE POSTED WEATHER PROTECTED WITHIN THE BUILDING SITE BY A CERTIFIED HERS RATER. A REGISTERED CF3R WILL HAVE A UNIQUE 25 DIGIT REGISTRATION NUMBER LOCATED AT THE BOTTOM OF EACH PAGE. THE FIRST 20 DIGITS OF THE NUMBER WILL MATCH THE REGISTRATION NUMBER ASSOCIATED WITH THE CF2R. CERTIFICATE OF OCCUPANCY WILL NOT BE ISSUED UNTIL THE CF3R IS REVIEWED AND APPROVED. EES 10-103(a)3, 10-103(b)1A. CF3R REGISTRATION FORMS ARE LOCATED ON THE PLANS. IF REGISTRATION IS REQUIRED, A WATER-MARK AND REGISTRATION NUMBER WILL BE VISIBLE. HERS TESTS REQUIRED FOR THIS PROJECT ARE:
 VARIABLE CAPACITY HEAT PUMP - Ductless units located in conditioned space, Airflow in habitable rooms, wall mounted thermostat and Verify heat pump rated capacity and Refrigerant charge.
 DUCT LEAKAGE (R-6 min) 15% if existing component is altered.
 REFRIGERANT CHARGE
 FAN WATT DRAW & FAN EFFICIENCY
 KITCHEN RANGE HOOD CFM VERIFICATION (100 CFM, = 3 SONES)
 IAQ MECHANICAL VENTILATION
3. SPECIAL FEATURES: VCHIP required items listed above, Ducts in crawlspace (non-standard location, new ductwork is < 40'.

VICINITY MAP



REVISIONS

NO.	DESCRIPTION
1	

2ND SUBMITTAL

3-8-2021

DRAWN BY
D.F. PIEMARINI

SHEET NUMBER:
A-1.1

THE DRAWINGS, IDEAS, AND EMBODIED DESIGNS HEREBY ARE THE PROPERTY OF STEL BUILDERS INC. AND SHALL NOT BE COPIED, REPRODUCED, DISSEMINATED OR USED IN CONNECTION WITH ANY WORK OTHER THAN THE SPECIFIED PROJECT FOR WHICH THEY HAVE BEEN PREPARED. IN WHOLE OR IN PART, WITHOUT THE WRITTEN AUTHORIZATION OF STEL BUILDERS INC.

STEL BUILDERS
 DESIGN • BUILD • INTEGRATION
 7950 DUNBROOK RD, SAN DIEGO, CA 92126
 (619) 334-3322 • Lic# 877267

QUYEN NGUYEN
 5268 LA JOLLA BLVD, LA JOLLA, CA 92037
 SHEET TITLE:
 PROJECT DATA & SITE PLAN



FORM DS-560 September 2021 Stormwater Requirements Applicability Checklist

Project Address: 5268 LA JOLLA BLVD, LA JOLLA, CA 92037 Project Number:

SECTION 1: Construction Stormwater Best Management Practices (BMP) Requirements

All construction sites are required to implement construction BMPs per the performance standards in the Stormwater Standards Manual.

For all projects, complete Part A - If the project is required to submit a Stormwater Pollution Prevention Plan (SWPPP) or Water Pollution Control Plan (WPCP), continue to Part B.

PART A - Determine Construction Phase Stormwater Requirements

- 1. Is the project subject to California's statewide General National Pollutant Discharge Elimination System (NPDES) permit for Stormwater Discharges Associated with Construction Activities...
2. Does the project propose construction or demolition activity, including but not limited to, clearing, grading, grubbing, excavation, or any other activity resulting in ground disturbance and/or contact with stormwater?
3. Does the project propose routine maintenance to maintain the original line and grade, hydraulic capacity, or original purpose of the facility?
4. Does the project only include the following Permit types listed below?

- Electrical Permit, Fire Alarm Permit, Fire Sprinkler Permit, Plumbing Permit, Sign Permit, Mechanical Permit, Spa Permit, Individual Right of Way Permits that exclusively include only ONE of the following activities: water service, sewer lateral, or utility service.
Right of Way Permits with a project footprint less than 150 linear feet that exclusively include only ONE of the following activities: curb ramp, sidewalk and driveway apron replacement, potholing, curb and gutter replacement, and retaining wall encroachments.

Check one of the boxes below and continue to Part B

- If you checked "Yes" for question 1, an SWPPP is REQUIRED - continue to Part B
If you checked "No" for question 1 and checked "Yes" for question 2 or 3, a WPCP is REQUIRED. If the project proposes less than 5,000 square feet of ground disturbance AND has less than a 5-foot elevation change over the entire project area, a Minor WPCP may be required instead. Continue to Part B
If you check "No" for all questions 1-3 and checked "Yes" for question 4, Part B does not apply, and no document is required. Continue to Section 2.

More information on the City's construction BMP requirements as well as CGP requirements can be found at: https://www.sandiego.gov/water/regulations/index.html

CLEAR FORM

P1

PART B - Determine Construction Site Priority

This prioritization must be completed within this form, noted on the plans, and included in the SWPPP or WPCP. The city reserves the right to adjust the priority of projects both before and after construction. Construction projects are assigned an inspection frequency based on if the project has a "high threat to water quality." The City has aligned the local definition of "high threat to water quality" to the risk determination approach of the State Construction General Permit (CGP).

Complete Part B and continue to Section 2

- 1. ASBS
A. Projects located in the ASBS watershed.
2. High Priority
A. Projects that qualify as Risk Level 2 or Risk Level 3 per the Construction General Permit (CGP) and are not located in the ASBS watershed.
B. Projects that qualify as LUP Type 2 or LUP Type 3 per the CGP and are not located in the ASBS watershed.
3. Medium Priority
A. Projects that are not located in an ASBS watershed or designated as a High priority site.
B. Projects that qualify as Risk Level 1 or LUP Type 1 per the CGP and are not located in an ASBS watershed.
C. WPCP projects (>5,000 square feet of ground disturbance) located within the Los Peñasquitos watershed management area.
4. Low Priority
A. Projects not subject to a Medium or High site priority designation and are not located in an ASBS watershed.

Section 2: Construction Stormwater BMP Requirements

Additional information for determining the requirements is found in the Stormwater Standards Manual.

PART C - Determine if Not Subject to Permanent Stormwater Requirements

Projects that are considered maintenance or otherwise not categorized as "new development projects" or "redevelopment projects" according to the Stormwater Standards Manual are not subject to Permanent Stormwater BMPs.

- If "yes" is checked for any number in Part C: Proceed to Part F and check "Not Subject to Permanent Stormwater BMP Requirements."
If "no" is checked for all the numbers in Part C: Continue to Part D.
1. Does the project only include interior remodels and/or is the project entirely within an existing enclosed structure and does not have the potential to contact stormwater?
2. Does the project only include the construction of overhead or underground utilities without creating new impervious surfaces?
3. Does the project fall under routine maintenance? Examples include but are not limited to roof or exterior structure surface replacement, resurfacing or reconfiguring surface parking lots or existing roadways without expanding the impervious footprint, and routine replacement of damaged pavement (grinding, overlay and pothole repair).

CLEAR FORM

P2

PART D - PDP Exempt Requirements

PDP Exempt projects are required to implement site design and source control BMPs.

- If "yes" is checked for any questions in Part D, continue to Part F and check the box labeled "PDP Exempt."
If "no" is checked for all questions in Part D, continue to Part E.

- 1. Does the project ONLY include new or retrofit sidewalks, bicycle lanes, or trails that:
Are designed and constructed to direct stormwater runoff to adjacent vegetated areas, or other non-erodible permeable areas? Or:
Are designed and constructed to be hydraulically disconnected from paved streets and roads? Or:
Are designed and constructed with permeable pavements or surfaces in accordance with the Green Streets guidance in the City's Stormwater Standards manual?
2. Does the project ONLY include retrofitting or redeveloping existing paved alleys, streets or roads designed and constructed in accordance with the Green Streets guidance in the City's Stormwater Standards Manual?
3. Does the project ONLY include interior remodels and/or is the project entirely within an existing enclosed structure and does not have the potential to contact stormwater?

PART E - Determine if Project is a Priority Development Project (PDP)

Projects that match one of the definitions below are subject to additional requirements, including preparation of a Stormwater Quality Management Plan (SWQMP).

- If "yes" is checked for any number in Part E, continue to Part F and check the box labeled "Priority Development Project."
If "no" is checked for every number in Part E, continue to Part F and check the box labeled "Standard Development Project."

- 1. New development that creates 10,000 square feet or more of impervious surfaces collectively over the project site. This includes commercial, industrial, residential, mixed-use, and public development projects on public or private land.
2. Redevelopment project that creates and/or replaces 5,000 square feet or more of impervious surfaces on an existing site of 10,000 square feet or more of impervious surfaces. This includes commercial, industrial, residential, mixed-use, and public development projects on public or private land.
3. New development or redevelopment of a restaurant. Facilities that sell prepared foods and beverages for consumption, including stationary lunch counters and refreshment stands selling prepared foods and drinks for immediate consumption (Standard Industrial Classification (SIC) 5812), and where the land development creates and/or replaces 5,000 square feet or more of impervious surface.
4. New development or redevelopment on a hillside. The project creates and/or replaces 5,000 square feet or more of impervious surface (collectively over the project site) and where the development will grade on any natural slope that is twenty-five percent or greater.
5. New development or redevelopment of a parking lot that creates and/or replaces 5,000 square feet or more of impervious surface (collectively over the project site).
6. New development or redevelopment of streets, roads, highways, freeways, and driveways. The project creates and/or replaces 5,000 square feet or more of impervious surface (collectively over the project site).

CLEAR FORM

P3

NOTES:

THIS PROJECT SHALL COMPLY WITH ALL REQUIREMENTS OF THE STATE PERMIT, CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD (SRWQCB), SAN DIEGO MUNICIPAL STORM WATER PERMIT, THE CITY OF SAN DIEGO LAND DEVELOPMENT CODE, AND THE STORM WATER STANDARDS MANUAL.

PRIOR TO ANY SOIL DISTURBANCE, TEMPORARY SEDIMENT CONTROL SHALL BE INSTALLED BY THE CONTRACTOR OR QUALIFIED PERSON(S) AS INDICATED BELOW:

- 1. ALL REQUIREMENTS OF THE CITY OF SAN DIEGO "STORM WATER STANDARDS MANUAL" MUST BE INCORPORATED INTO THE DESIGN AND CONSTRUCTION OF THE PROPOSED GRADING IMPROVEMENTS CONSISTENT WITH THE APPROVED STORM WATER POLLUTION PREVENTION PLAN (SWPPP) AND/OR WATER POLLUTION CONTROL PLAN (WPCP) FOR CONSTRUCTION LEVEL BMPs AND, IF APPLICABLE, THE STORM WATER QUALITY MANAGEMENT PLAN (SWQMP) FOR POST-CONSTRUCTION BMPs.
2. THE CONTRACTOR SHALL INSTALL AND MAINTAIN ALL STORM DRAIN INLET PROTECTION. STORM DRAIN INLET PROTECTION IN THE PUBLIC RIGHT-OF-WAY MUST BE TEMPORARILY REMOVED PRIOR TO A RAIN EVENT TO ENSURE NO FLOODING OCCURS AND REINSTALLED AFTER RAIN IS OVER.
3. ALL CONSTRUCTION BMPs SHALL BE INSTALLED AND PROPERLY MAINTAINED THROUGHOUT THE DURATION OF CONSTRUCTION.
4. THE CONTRACTOR SHALL ONLY GRADE, INCLUDING CLEARING AND GRUBBING, AREAS FOR WHICH THE CONTRACTOR OR QUALIFIED CONTACT PERSON CAN PROVIDE EROSION AND SEDIMENT CONTROL MEASURES.
5. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ALL SUB-CONTRACTORS AND SUPPLIERS ARE AWARE OF ALL STORM WATER BMPs AND IMPLEMENT SUCH MEASURES. FAILURE TO COMPLY WITH THE APPROVED SWPPP/WPCP WILL RESULT IN THE ISSUANCE OF CORRECTION NOTICES, CITATIONS, CIVIL PENALTIES AND/OR STOP WORK NOTICES.
6. THE CONTRACTOR OR QUALIFIED CONTACT PERSON SHALL BE RESPONSIBLE FOR CLEANUP OF ALL SILT, DEBRIS, AND MUD ON AFFECTED AND ADJACENT STREET(S) AND WITHIN STORM DRAIN SYSTEM DUE TO CONSTRUCTION VEHICLES/ EQUIPMENT AND CONSTRUCTION ACTIVITY AT THE END OF EACH WORK DAY.
7. THE CONTRACTOR SHALL PROVIDE NEW AND EXISTING STORM WATER CONVEYANCE SYSTEMS FROM SEDIMENTATION, CONCRETE RINSE, OR OTHER CONSTRUCTION-RELATED DEBRIS AND DISCHARGES WITH THE APPROPRIATE BMPs THAT ARE ACCEPTABLE TO THE CITY RESIDENT ENGINEER AND AS INDICATED IN THE SWPPP/WPCP.
8. THE CONTRACTOR OR QUALIFIED CONTACT PERSON SHALL CLEAR DEBRIS, SILT AND MUD FROM ALL DITCHES AND SWALES PRIOR TO AND WITHIN 3 BUSINESS DAYS AFTER EACH RAIN EVENT OR PRIOR TO THE NEXT RAIN EVENT, WHICHEVER IS SOONER.
9. IF A NON-STORM WATER DISCHARGE LEAVES THE SITE, THE CONTRACTOR SHALL IMMEDIATELY STOP THE ACTIVITY AND REPAIR THE DAMAGES. THE CONTRACTOR SHALL NOTIFY THE CITY RESIDENT ENGINEER OF THE DISCHARGE, PRIOR TO RESUMING CONSTRUCTION ACTIVITY, ANY AND ALL WASTE MATERIAL, SEDIMENT, AND DEBRIS FROM EACH NON-STORM WATER DISCHARGE SHALL BE REMOVED FROM THE STORM DRAIN CONVEYANCE SYSTEM AND PROPERLY DISPOSED OF BY THE CONTRACTOR.
10. EQUIPMENT AND WORKERS FOR EMERGENCY WORK SHALL BE MADE AVAILABLE AT ALL TIMES. ALL NECESSARY MATERIALS SHALL BE STOCKPILED ONSITE AT CONVENIENT LOCATIONS TO FACILITATE RAPID DEPLOYMENT OF CONSTRUCTION BMPs WHEN RAIN IS IMMINENT.
11. THE CONTRACTOR SHALL RESTORE AND MAINTAIN ALL EROSION AND SEDIMENT CONTROL BMPs TO WORKING ORDER YEAR-ROUND.
12. THE CONTRACTOR SHALL INSTALL ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES DUE TO UNFORESEEN CIRCUMSTANCES TO PREVENT NON-STORM WATER AND SEDIMENT-ADJEN DISCHARGES.
13. THE CONTRACTOR SHALL BE RESPONSIBLE AND SHALL TAKE NECESSARY PRECAUTIONS TO PREVENT PUBLIC TRESPASS ONTO AREAS WHERE IMPOUNDED WATERS CREATE A HAZARDOUS CONDITION.
14. ALL EROSION AND SEDIMENT CONTROL MEASURES PROVIDED PER THE APPROVED SWPPP/WPCP SHALL BE INSTALLED AND MAINTAINED. ALL EROSION AND SEDIMENT CONTROLS FOR INTERIM CONDITIONS SHALL BE PROPERLY DOCUMENTED AND INSTALLED TO THE SATISFACTION OF THE CITY RESIDENT ENGINEER.
15. AS NECESSARY, THE CITY RESIDENT ENGINEER SHALL SCHEDULE MEETINGS FOR THE PROJECT TEAM (GENERAL CONTRACTOR, QUALIFIED CONTACT PERSON, EROSION CONTROL SUBCONTRACTOR IF ANY, ENGINEER OF WORK, OWNER/DEVELOPER, AND THE CITY RESIDENT ENGINEER) TO EVALUATE THE ADEQUACY OF THE EROSION AND SEDIMENT CONTROL MEASURES AND OTHER BMPs RELATIVE TO ANTICIPATED CONSTRUCTION ACTIVITIES.
16. THE CONTRACTOR OR QUALIFIED CONTACT PERSON SHALL CONDUCT VISUAL INSPECTIONS AND MAINTAIN ALL BMPs DAILY AND AS NEEDED. VISUAL INSPECTIONS AND MAINTENANCE OF ALL BMPs SHALL BE CONDUCTED BEFORE, DURING, AND AFTER EVERY RAIN EVENT AND EVERY 24 HOURS DURING ANY PROLONGED RAIN EVENT. THE CONTRACTOR SHALL MAINTAIN AND REPAIR ALL BMPs AS SOON AS POSSIBLE AS SAFETY ALLOWS.
17. CONSTRUCTION ENTRANCE AND EXIT AREA. TEMPORARY CONSTRUCTION ENTRANCE AND EXITS SHALL BE CONSTRUCTED IN ACCORDANCE WITH CASQA FACT SHEET TC-10R CALTRANS FACT SHEET TC-01 TO PREVENT TRACKING OF SEDIMENT AND OTHER POTENTIAL POLLUTANTS ONTO PAVED SURFACES AND TRAVELED WAYS. WIDTH SHALL BE 10' OR THE MINIMUM NECESSARY TO ACCOMMODATE VEHICLES AND EQUIPMENT WITHOUT BY-PASSING THE ENTRANCE. (a) NON-STORM WATER DISCHARGES SHALL BE EFFECTIVELY MANAGED PER THE SAN DIEGO MUNICIPAL CODE CHAPTER 4, ARTICLE 3, DIVISION 3 "STORM WATER MANAGEMENT AND DISCHARGE CONTROL".

THE DRAWINGS, IDEAS, AND EMBODIED DESIGNS HEREIN ARE THE PROPERTY OF STEEL BUILDERS INC. AND SHALL NOT BE COPIED, REPRODUCED, DISSEMINATED OR USED IN CONNECTION WITH ANY WORK OTHER THAN THE SPECIFIED PROJECT FOR WHICH THEY HAVE BEEN PREPARED. IN WHOLE OR IN PART, WITHOUT THE PRIOR WRITTEN AUTHORIZATION OF STEEL BUILDERS INC.



7950 DUNBROOK RD, SAN DIEGO, CA 92126 (619) 334-3322 • Lic# 877267

QUYEN NGUYEN

5268 LA JOLLA BLVD, LA JOLLA, CA 92037

STORMWATER BMP FORM DS-560 & 570

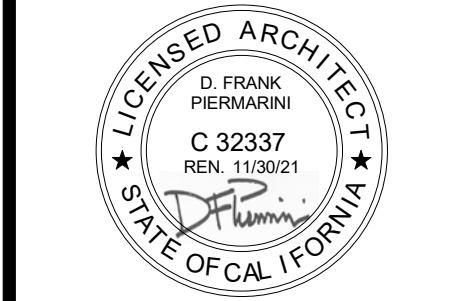


Table with 2 columns: Revisions, Description. Row 1: 1, [Blank]

2ND SUBMITTAL 3-8-2021 DRAWN BY D.F. PIERMARINI

SHEET NUMBER: A-1.2

- 7. New development or redevelopment discharging directly to an environmentally sensitive area. The project creates and/or replaces 2,500 square feet of impervious surface (collectively over the project site), and discharges directly to an Environmentally Sensitive Area (ESA). "Discharging directly to" includes flow that is conveyed overland a distance of 200 feet or less from the project to the ESA, or conveyed in a pipe or open channel any distance as an isolated flow from the project to the ESA (i.e. not commingled with flows from adjacent lands).
8. New development or redevelopment projects of retail gasoline outlet (RGO) that create and/or replaces 5,000 square feet of impervious surface. The development project meets the following criteria: (a) 5,000 square feet or more or (b) has a projected Average Daily Traffic (ADT) of 100 or more vehicles per day.
9. New development or redevelopment projects of an automotive repair shop that creates and/or replaces 5,000 square feet or more of impervious surfaces. Development projects categorized in any one of Standard Industrial Classification (SIC) codes 5013, 5014, 5041, 7532-7534 or 7536-7539.
10. Other Pollutant Generating Project. These projects are not covered in any of the categories above but involve the disturbance of one or more acres of land and are expected to generate post-construction phase pollutants, including fertilizers and pesticides. This category does not include projects creating less than 5,000 square feet of impervious area and projects containing landscaping without a requirement for the regular use of fertilizers and pesticides (such as a slope stabilization project using native plants). Impervious area calculations need not include linear pathways for infrequent vehicle use, such as emergency maintenance access or bicycle and pedestrian paths if the linear pathways are built with pervious surfaces or if runoff from the pathway sheet flows to adjacent pervious areas.

PART F - Select the appropriate category based on the outcomes of Part C through Part E

- 1. The project is NOT SUBJECT TO PERMANENT STORMWATER REQUIREMENTS
2. The project is a STANDARD DEVELOPMENT PROJECT. Site design and source control BMP requirements apply. See the Stormwater Standards Manual for guidance.
3. The Project is PDP EXEMPT. Site design and source control BMP requirements apply. Refer to the Stormwater Standards Manual for guidance.
4. The project is a PRIORITY DEVELOPMENT PROJECT. Site design, source control and structural pollutant control BMP requirements apply. Refer to the Stormwater Standards Manual for guidance on determining if the project requires hydromodification plan management.

Name of Owner or Agent D. FRANK PIERMARINI Title ARCHITECT

Signature [Signature] Date 2-26-2021

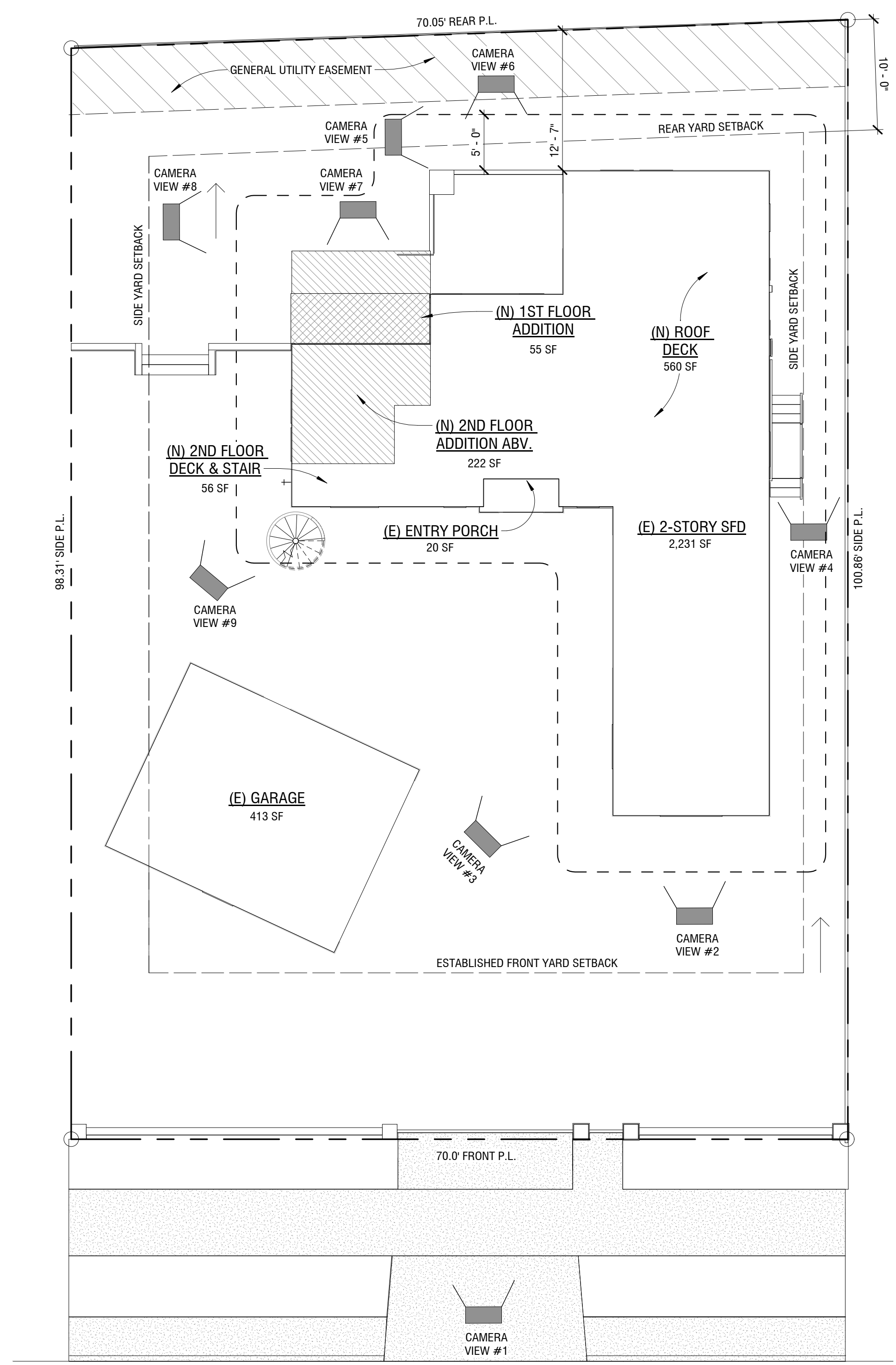
CLEAR FORM

P4

THE DRAWINGS, IDEAS, AND EMBODIED DESIGNS HEREIN ARE THE PROPERTY OF STEEL BUILDERS INC. AND SHALL NOT BE COPIED, REPRODUCED, DISCLOSED TO OTHERS OR USED IN CONNECTION WITH ANY WORK OTHER THAN THE SPECIFIED PROJECT FOR WHICH THEY HAVE BEEN PREPARED. IN WHOLE OR IN PART, WITHOUT THE PRIOR WRITTEN AUTHORIZATION OF STEEL BUILDERS INC.

STEEL BUILDERS
DESIGN • BUILD • INTEGRATION

1650 HOTEL CIR N Ste 215, SAN DIEGO, CA 92108
(619)334-3322 • Lic# 877267



LA JOLLA BLVD

PHOTO KEY

1/8" = 1'-0"

QUYEN NGUYEN

5268 LA JOLLA BLVD, LA JOLLA, CA 92037

SHEET TITLE:
PHOTO KEY MAP

REVISIONS	
▲	

2ND SUBMITTAL
3-8-2021
DRAWN BY
D.F. PIERMARINI

SHEET NUMBER:
A-1.5

BMP LEGEND

BMP LEGEND:
 DIRECTION OF LOT DRAINAGE → →

MATERIALS & WASTE MANAGEMENT CONTROL BMPs:

- WM-1 MATERIAL DELIVERY & STORAGE
- WM-4 SPILL PREVENTION AND CONTROL
- WM-8 CONCRETE WASTE MANAGEMENT
- WM-5 SOLID WASTE MANAGEMENT
- WM-9 SANITARY WASTE MANAGEMENT
- WM-6 HAZARDOUS WASTE MANAGEMENT

TEMPORARY RUNOFF CONTROL BMPs:

- SS-2 PRESERVATION OF EXISTING VEGETATION
- SS-6 / SS-8 STRAW OR WOOD MULCH
- SC-1 SILT FENCE
- SC-5 FIBER ROLLS
- SC-6 / SC-8 GRAVEL OR SAND BAGS
- TC-1 STABILIZED CONSTRUCTION ENTRANCE

THE DRAWINGS, IDEAS, AND EMBODIED DESIGNS HEREIN ARE THE PROPERTY OF STEEL BUILDERS INC. AND SHALL NOT BE COPIED, REPRODUCED, DISCLOSED TO OTHERS OR USED IN CONNECTION WITH ANY WORK OTHER THAN THE SPECIFIED PROJECT FOR WHICH THEY HAVE BEEN PREPARED. IN WHOLE OR IN PART, WITHOUT THE PRIOR WRITTEN AUTHORIZATION OF STEEL BUILDERS INC.

STEEL BUILDERS
 DESIGN • BUILD • INTEGRATION

7950 DUNBROOK RD., SAN DIEGO, CA 92126
 (619) 334-3322 • Lic# 877267

QUYEN NGUYEN
 5268 LA JOLLA BLVD., LA JOLLA, CA 92037

SHEET TITLE:
BMP-PLAN



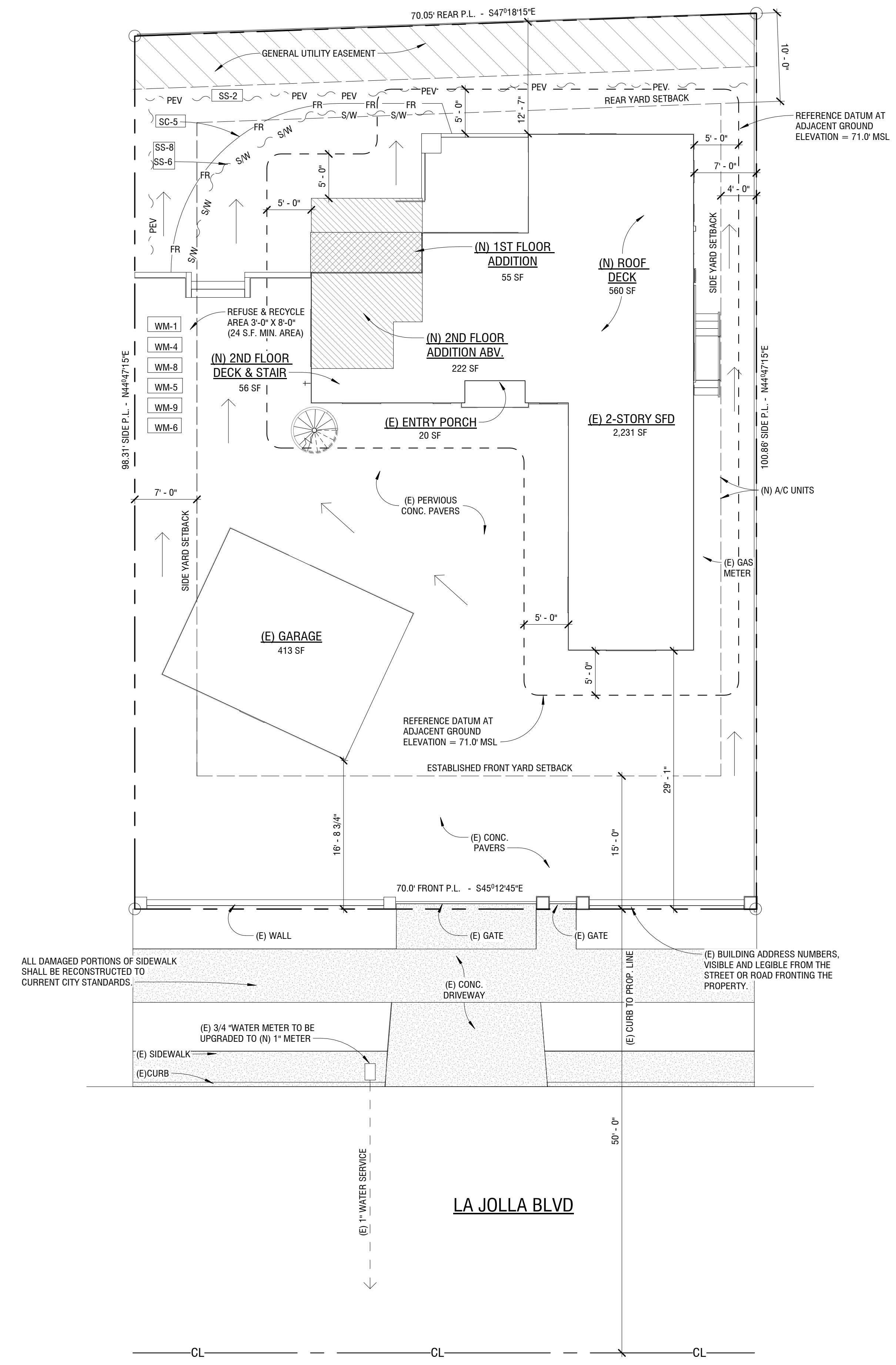
REVISIONS	
1	

2ND SUBMITTAL
 3-8-2021

DRAWN BY
 D.F. PIERMARINI

SHEET NUMBER:

A-1.6



SITE PLAN
 1/8" = 1'-0"

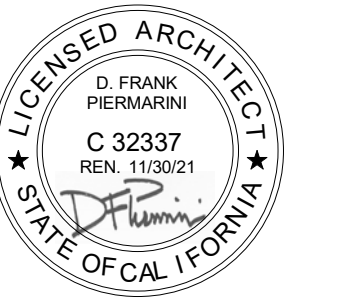
THE DRAWINGS, IDEAS, AND EMBODIED DESIGNS HEREBY ARE THE PROPERTY OF STEEL BUILDERS INC. AND SHALL NOT BE COPIED, REPRODUCED, DISSEMINATED OR USED IN CONNECTION WITH ANY WORK OTHER THAN THE SPECIFIED PROJECT FOR WHICH THEY HAVE BEEN PREPARED. IN WHOLE OR IN PART, WITHOUT THE PRIOR WRITTEN AUTHORIZATION OF STEEL BUILDERS INC.

STEEL BUILDERS
DESIGN • BUILD • INTEGRATION

7950 DUNBROOK RD, SAN DIEGO, CA 92126
(619) 334-3322 • Lic# 877267

QUYEN NGUYEN
5268 LA JOLLA BLVD., LA JOLLA, CA 92037

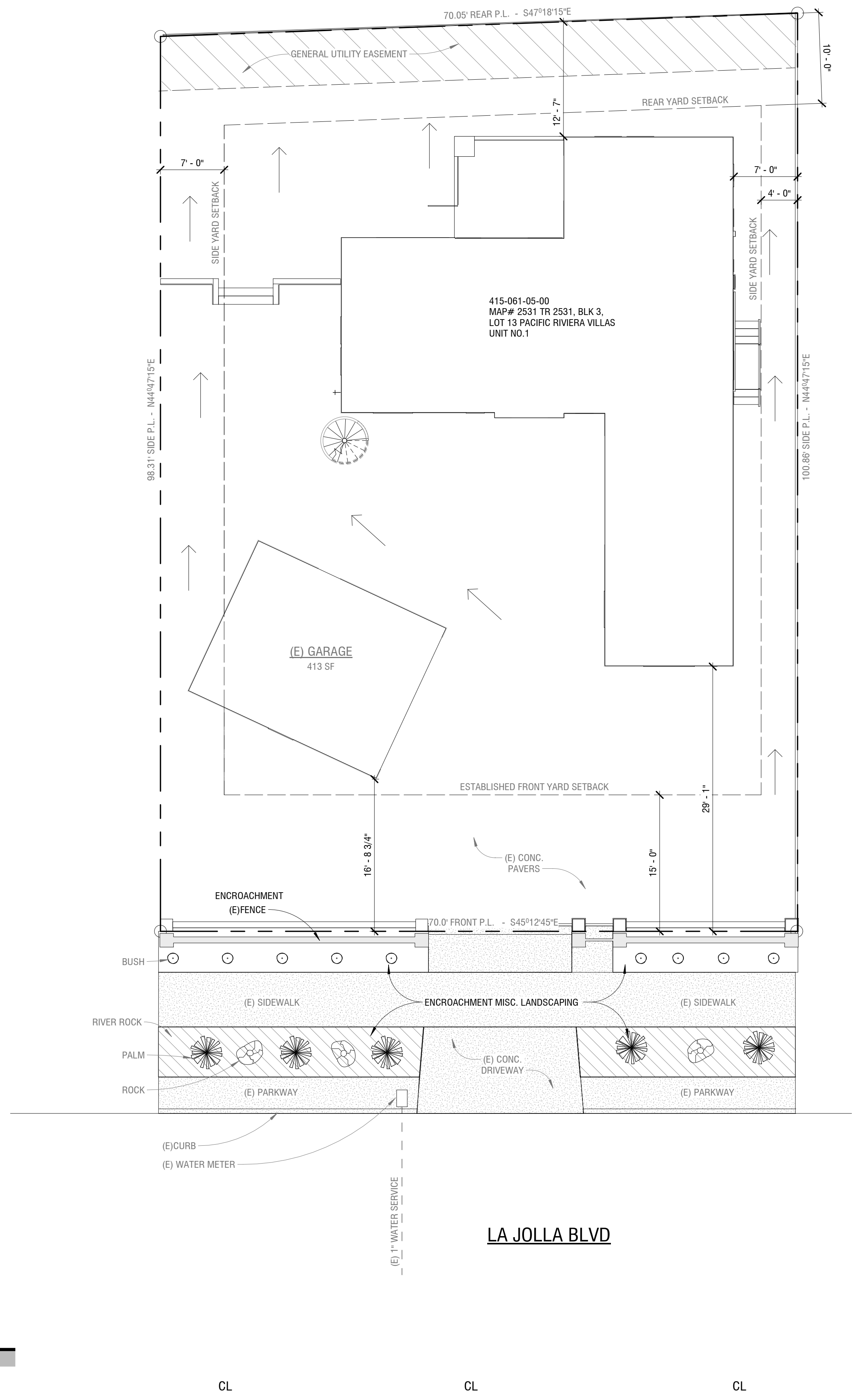
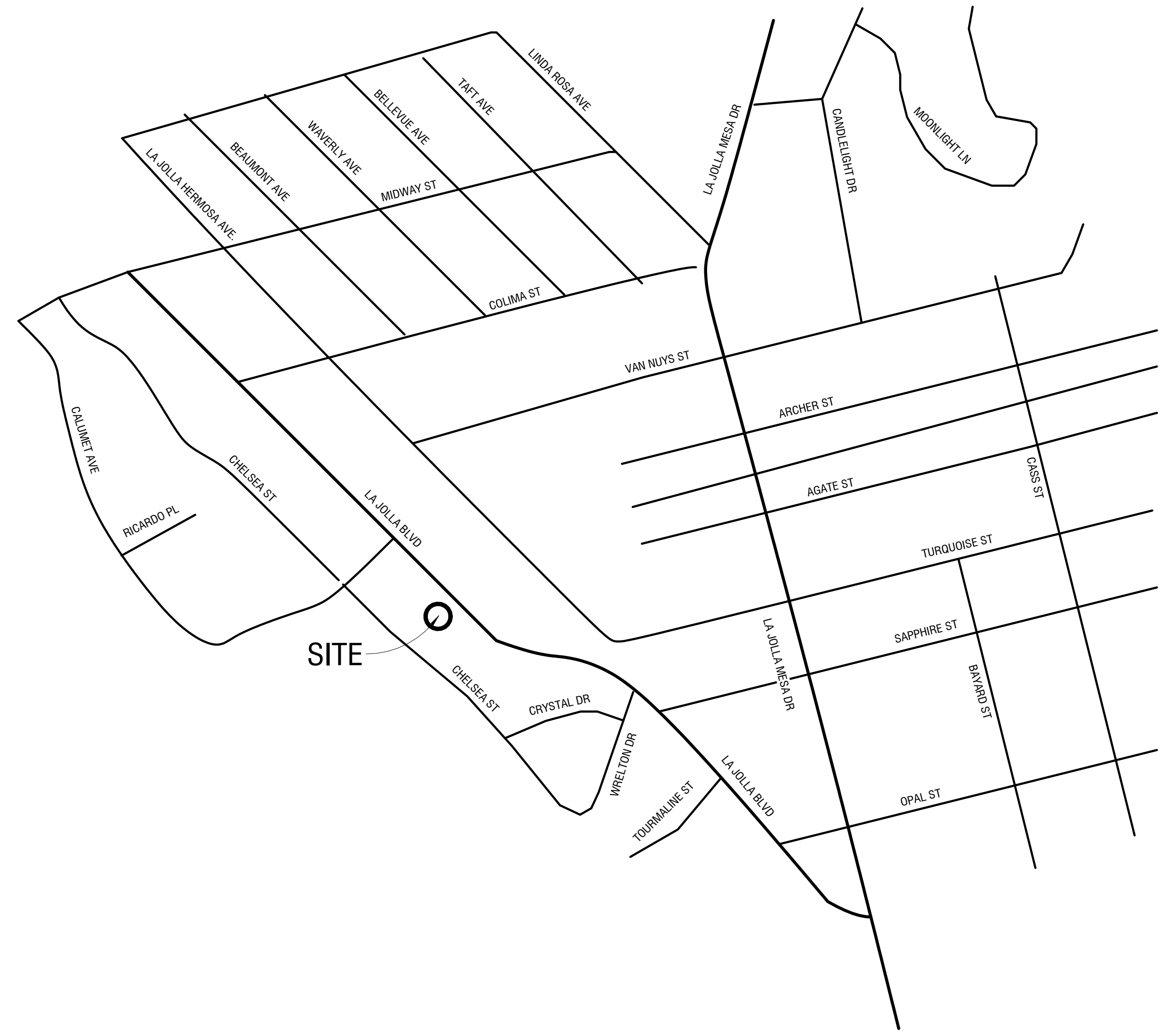
SHEET TITLE:
ERMA



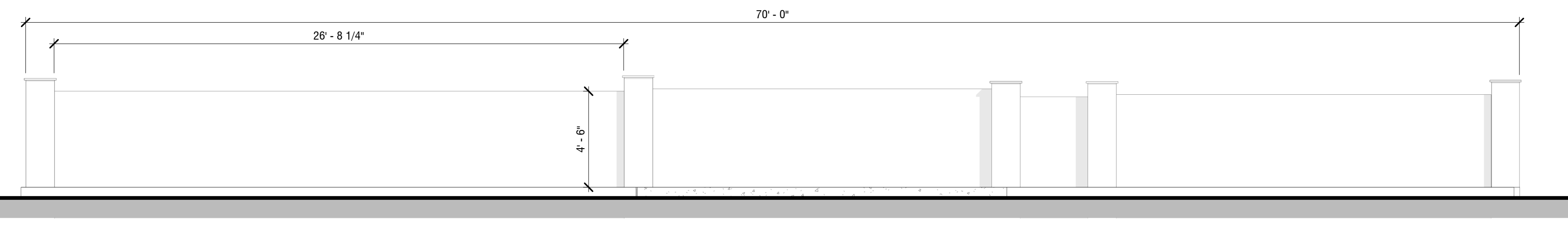
REVISIONS	
1	

2ND SUBMITTAL
3-8-2021
DRAWN BY
D.F. PIERMARINI

SHEET NUMBER:
A-1.7

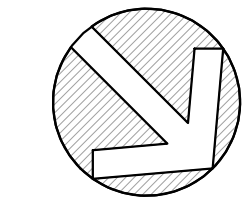


(E) FENCE PER SECTION 142.0310CC DIAGRAM 142-03B



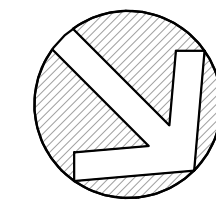
FENCE ELEVATION

1/4" = 1'-0"



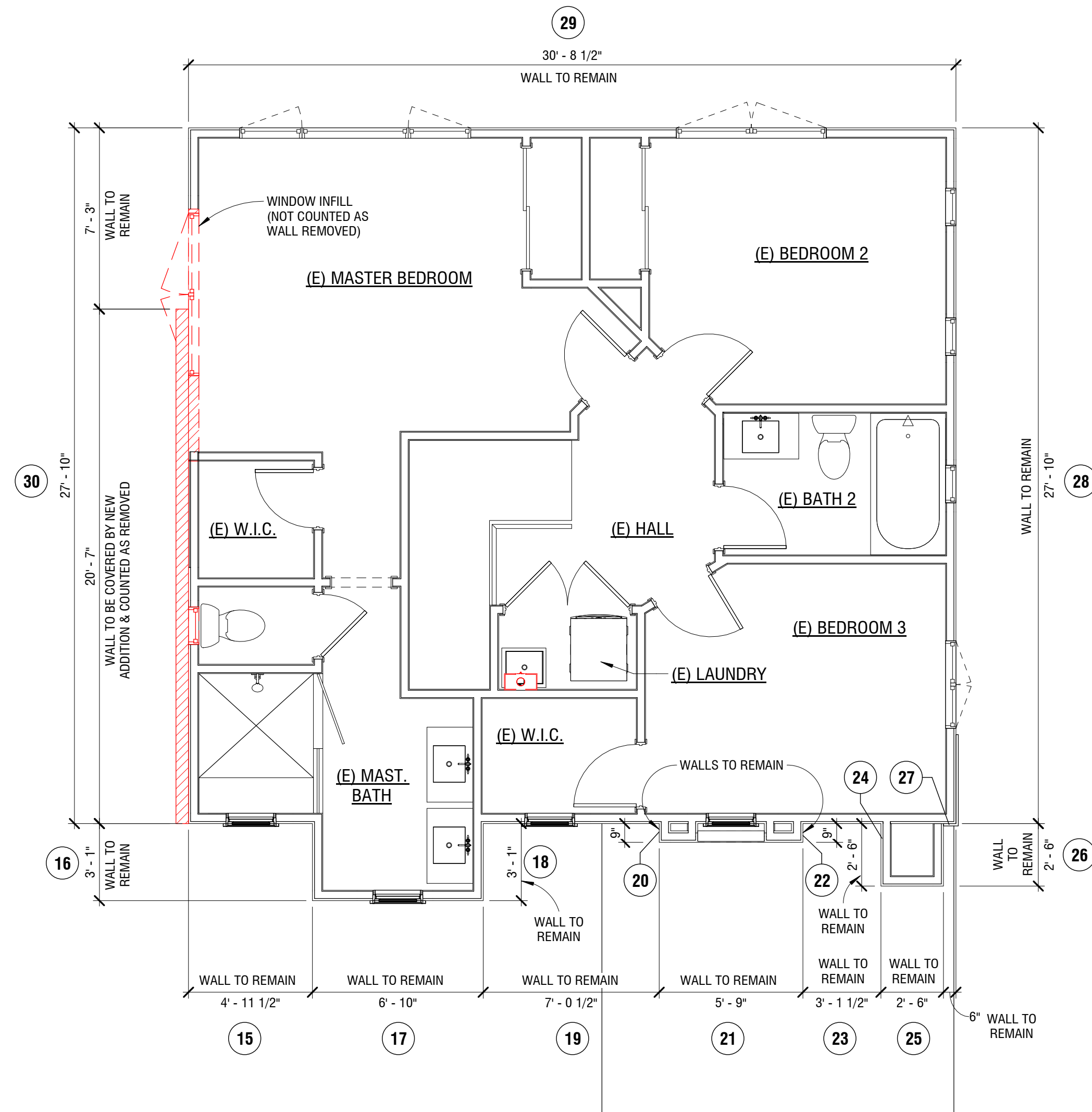
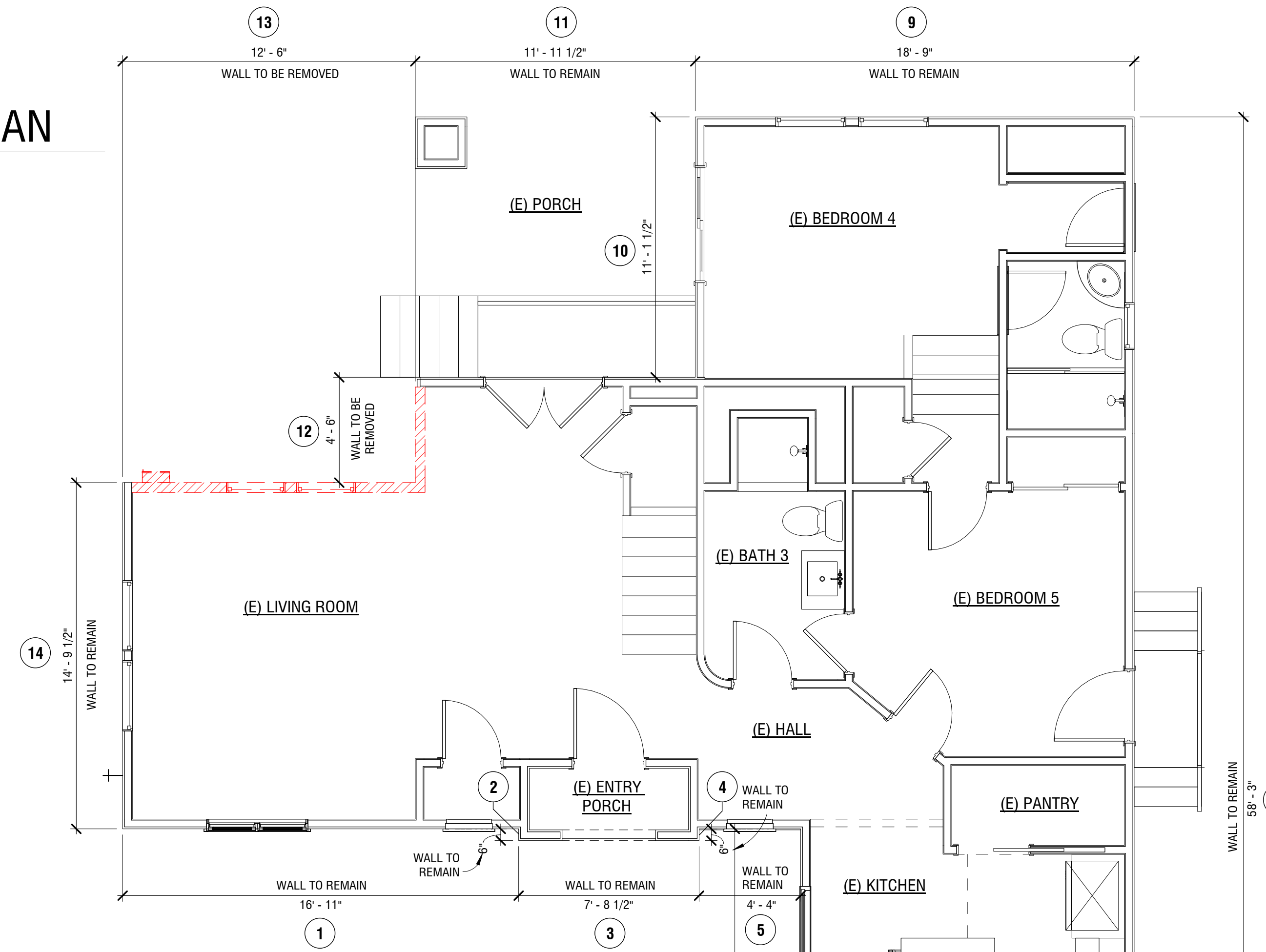
SITE PLAN

1/8" = 1'-0"



FIRST FLOOR COASTAL DEMO PLAN

1/4" = 1'-0"



SECOND FLOOR COASTAL DEMO PLAN

1/4" = 1'-0"

COASTAL WALL MATRIX

WALL NUMBER	EXISTING WALL LENGTH	REMOVED WALL LENGTH	REMAINING WALL
1	16'-11"	0'-0"	16'-11"
2	0'-6"	0'-0"	0'-6"
3	7'-8 1/2"	0'-0"	7'-8 1/2"
4	0'-6"	0'-0"	0'-6"
5	4'-4"	0'-0"	4'-4"
6	27'-10"	0'-0"	27'-10"
7	14'-3"	0'-0"	14'-3"
8	58'-3"	0'-0"	58'-3"
9	18'-9"	0'-0"	18'-9"
10	11'-1 1/2"	0'-0"	11'-1 1/2"
11	11'-11 1/2"	0'-0"	11'-11 1/2"
12	4'-6"	4'-6"	0'-0"
13	12'-6"	12'-6"	0'-0"
14	14'-9 1/2"	0'-0"	14'-9 1/2"
15	4'-11 1/2"	0'-0"	4'-11 1/2"
16	3'-1"	0'-0"	3'-1"
17	6'-10"	0'-0"	6'-10"
18	3'-1"	0'-0"	3'-1"
19	7'-0 1/2"	0'-0"	7'-0 1/2"
20	0'-9"	0'-0"	0'-9"
21	5'-9"	0'-0"	5'-9"
22	0'-9"	0'-0"	0'-9"
23	3'-1 1/2"	0'-0"	3'-1 1/2"
24	2'-6"	0'-0"	2'-6"
25	2'-6"	0'-0"	2'-6"
26	2'-6"	0'-0"	2'-6"
27	0'-6"	0'-0"	0'-6"
28	27'-10"	0'-0"	27'-10"
29	30'-0 1/2"	7'-3"	22'-7 1/2"
30	27'-10"	7'-3"	20'-7"
TOTAL	333'-0"	24'-3"	308'-9"

COASTAL WALL MATRIX SUMMARY

TOTAL EXISTING WALL LENGTH: 333'-0" FT
 TOTAL REMAINING WALL: 308'-9" FT

93 % OF THE EXISTING WALLS IS TO REMAIN
 (MINIMUM OF 50% OF EXISTING WALL TO REMAIN)

NOTE: THIS PROJECT IS EXEMPT FROM COASTAL FROM COASTAL DEVELOPMENT PERMIT REQUIREMENTS PER 126 0704 (a) (5)

GENERAL COASTAL EXEMPTION NOTES

- IN ORDER TO QUALIFY FOR COASTAL DEVELOPMENT PERMIT (CDP) EXEMPTION, 50% OF THE EXISTING EXTERIOR WALLS OF THE RESIDENCE MUST BE MAINTAINED.
- IF PROPOSED DEMOLITION IS BETWEEN 40%-50%, A PRE-DEMOLITION INSPECTION WILL BE REQUIRED PRIOR TO SIGN-OFF.
- ALL EXISTING WOOD TO BE SAVED.

THE DRAWINGS, IDEAS, AND EMBODIED DESIGNS HEREIN ARE THE PROPERTY OF STEEL BUILDERS INC. AND SHALL NOT BE COPIED, REPRODUCED, DISCLOSED TO OTHERS OR USED IN CONNECTION WITH ANY WORK OTHER THAN THE SPECIFIED PROJECT FOR WHICH THEY HAVE BEEN PREPARED. IN WHOLE OR IN PART, WITHOUT THE PRIOR WRITTEN AUTHORIZATION OF STEEL BUILDERS INC.



7950 DUNBROOK RD, SAN DIEGO, CA 92126
 (619) 334-3322 • Lic# 877267

QUYEN NGUYEN

5268 LA JOLLA BLVD, LA JOLLA, CA 92037

COASTAL DEVELOPMENT DEMO PLAN



REVISIONS	
1	

WALL LEGEND

- WALL LEGEND
- WALL REMOVAL PER DEFINITION OF CITY OF SAN DIEGO
 - NO CHANGE TO EXISTING EXTERIOR WALL

ABBREVIATIONS

- (E) - EXISTING NOTED FEATURE
- (D) - EXISTING NOTED FEATURE TO BE DEMOLISHED
- (N) - PROPOSED NOTED FEATURE
- (R) - REMODELED ROOM / AREA
- (R. & R.) - REMOVE AND REPLACE NOTED FEATURE

2ND SUBMITTAL
 3-8-2021
 DRAWN BY
 D.F. PIERMARINI

SHEET NUMBER:

A-2.1

THE DRAWINGS, IDEAS, AND EMBODIED DESIGNS HEREBY ARE THE PROPERTY OF STEEL BUILDERS INC. AND SHALL NOT BE COPIED, REPRODUCED, DISSEMINATED OR USED IN CONNECTION WITH ANY WORK OTHER THAN THE SPECIFIC PROJECT FOR WHICH THEY HAVE BEEN PREPARED. IN WHOLE OR IN PART, WITHOUT THE WRITTEN AUTHORIZATION OF STEEL BUILDERS INC.

STEEL BUILDERS
DESIGN • BUILD • INTEGRATION

7950 DUNBROOK RD., SAN DIEGO, CA 92126
(619) 334-3322 • Lic# 877267

QUYEN NGUYEN
5268 LA JOLLA BLVD., LA JOLLA, CA 92037

SHEET TITLE:
PROPOSED FIRST FLOOR PLAN

DOOR SCHEDULE - PROPOSED

MARK	WIDTH	HEIGHT	DOOR TYPE	ROOM LOCATION	TEMPERED GLAZING	SHGC	U-FACTOR	COMMENTS
LEVEL 1								
9	2'-6"	6'-8"	HINGED - SINGLE					
10	16'-0"	7'-0"	GARAGE DOOR	GARAGE				
11	3'-0"	6'-8"	HINGED - SINGLE					
12	2'-6"	6'-8"	HINGED - SINGLE					
13	16'-0"	7'-0"	GARAGE DOOR					
14	6'-0"	6'-8"	HINGED - DOUBLE					
LEVEL 2								
1	2'-8"	8'-0"	HINGED - SINGLE - FRENCH	BEDROOM 6	Yes	0.23	0.30	
2	2'-6"	6'-8"	HINGED - SINGLE	BEDROOM 6				
3	2'-4"	6'-8"	HINGED - SINGLE	BEDROOM 6				

WINDOW SCHEDULE - PROPOSED

MARK	WIDTH	HEIGHT	WINDOW TYPE	ROOM LOCATION	HEADER HT	SILL HT	TEMPERED	SHGC	U-FACTOR	COMMENTS
LEVEL 3 - ROOF DECK										
1	12'-0"	6'-8"	SLIDING GLASS DOOR	LOUNGE	Yes		0.23	0.30		VERIFY FINAL SIZE BASED ON HEADER HEIGHT
2	8'-0"	5'-0"	XOXX W/ SLIDES	LIVING ROOM	6'-8"	1'-8"		0.23		VERIFY FINAL SIZE BASED ON HEADER HEIGHT
3	3'-0"	4'-0"	SINGLE HUNG		6'-8"	2'-8"				
4	3'-0"	4'-0"	SINGLE HUNG		6'-8"	2'-8"				
5	3'-0"	4'-0"	SINGLE HUNG		6'-8"	2'-8"				
TOTAL WINDOWS: 12										

SPIRAL STAIR MID RISE										
21	6'-0"	5'-0"	FIXED		5'-6"	6"				
22	4'-0"	5'-0"	FIXED		5'-6"	6"				
23	4'-0"	5'-0"	FIXED	STORAGE	5'-6"	6"				

LEVEL 2										
2	5'-0"	5'-6"	DOUBLE CASEMENT	BEDROOM 6	8'-0"	2'-6"		0.23	0.30	
3	5'-0"	5'-6"	DOUBLE CASEMENT	BEDROOM 6	8'-0"	2'-6"		0.23	0.30	
4	7'-6"	5'-6"	XOXX W/ CASEMENTS	BEDROOM 6	8'-0"	2'-6"		0.23	0.30	

LEVEL 3 - ROOF DECK										
5	5'-0"	2'-0"	DBL FX		2'-10"	10"	Yes	0.23	0.30	
6	5'-0"	2'-0"	DBL FX		2'-10"	10"	Yes	0.23	0.30	
TOTAL WINDOWS: 12										

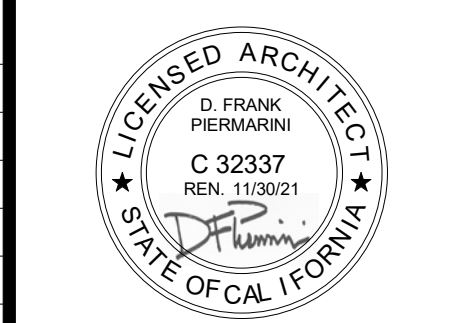
M.E.P. LEGEND

SYMBOL	REMARKS	SYMBOL	REMARKS
⊞	SINGLE POLE SWITCH	⊞	J BOX / WALL MOUNTED FIXTURE
⊞	THREE WAY SWITCH	⊞	J BOX / SECURITY FLOOD LIGHT
⊞	FOUR WAY SWITCH	⊞	J-BOX / EXTERIOR WALL MOUNTED FIXTURE - HIGH EFFICIENCY OR HAVE A PHOTOCELL CONTROL / MOTION SENSOR COMBO
⊞	DIMMER SWITCH	⊞	MANUAL / OCCUPANCY SWITCH
⊞	MANUAL / OCCUPANCY SWITCH	⊞	110 VOLT OUTLET
⊞	110 VOLT OUTLET	⊞	220 VOLT OUTLET
⊞	220 VOLT OUTLET	⊞	G.F.C.I. 110 VOLT OUTLET
⊞	G.F.C.I. 110 VOLT OUTLET	⊞	SWITCHED 110 VOLT OUTLET
⊞	SWITCHED 110 VOLT OUTLET	⊞	USB / 110 OUTLET COMBO
⊞	USB / 110 OUTLET COMBO	⊞	WATERPROOF G.F.C.I. OUTLET
⊞	WATERPROOF G.F.C.I. OUTLET	⊞	FLOOR MOUNTED OUTLET
⊞	FLOOR MOUNTED OUTLET	⊞	FLOOR MOUNTED QUAD OUTLET
⊞	FLOOR MOUNTED QUAD OUTLET	⊞	4" L.E.D. CAN LIGHT
⊞	4" L.E.D. CAN LIGHT	⊞	4" DIRECTIONAL L.E.D. CAN LIGHT
⊞	4" DIRECTIONAL L.E.D. CAN LIGHT	⊞	6" L.E.D. CAN LIGHT
⊞	6" L.E.D. CAN LIGHT	⊞	6" DIRECTIONAL L.E.D. CAN LIGHT
⊞	6" DIRECTIONAL L.E.D. CAN LIGHT	⊞	PUCK LIGHT
⊞	PUCK LIGHT	⊞	UNDER CABINET LIGHTING
⊞	UNDER CABINET LIGHTING	⊞	UNDER CABINET TAPE LIGHTING
⊞	UNDER CABINET TAPE LIGHTING	⊞	J BOX / PENDANT LIGHT
⊞	J BOX / PENDANT LIGHT	⊞	J BOX / MINI PENDANT LIGHT
⊞	J BOX / MINI PENDANT LIGHT		

HIGH EFFICACY = FLUORESCENT COMPLETE WITH ELECTRONIC BALLAST

WALL LEGEND

	EXISTING WALL TO REMAIN
	EXISTING WALL TO BE REMOVED
	PROPOSED STUD WALL
	CMU WALL

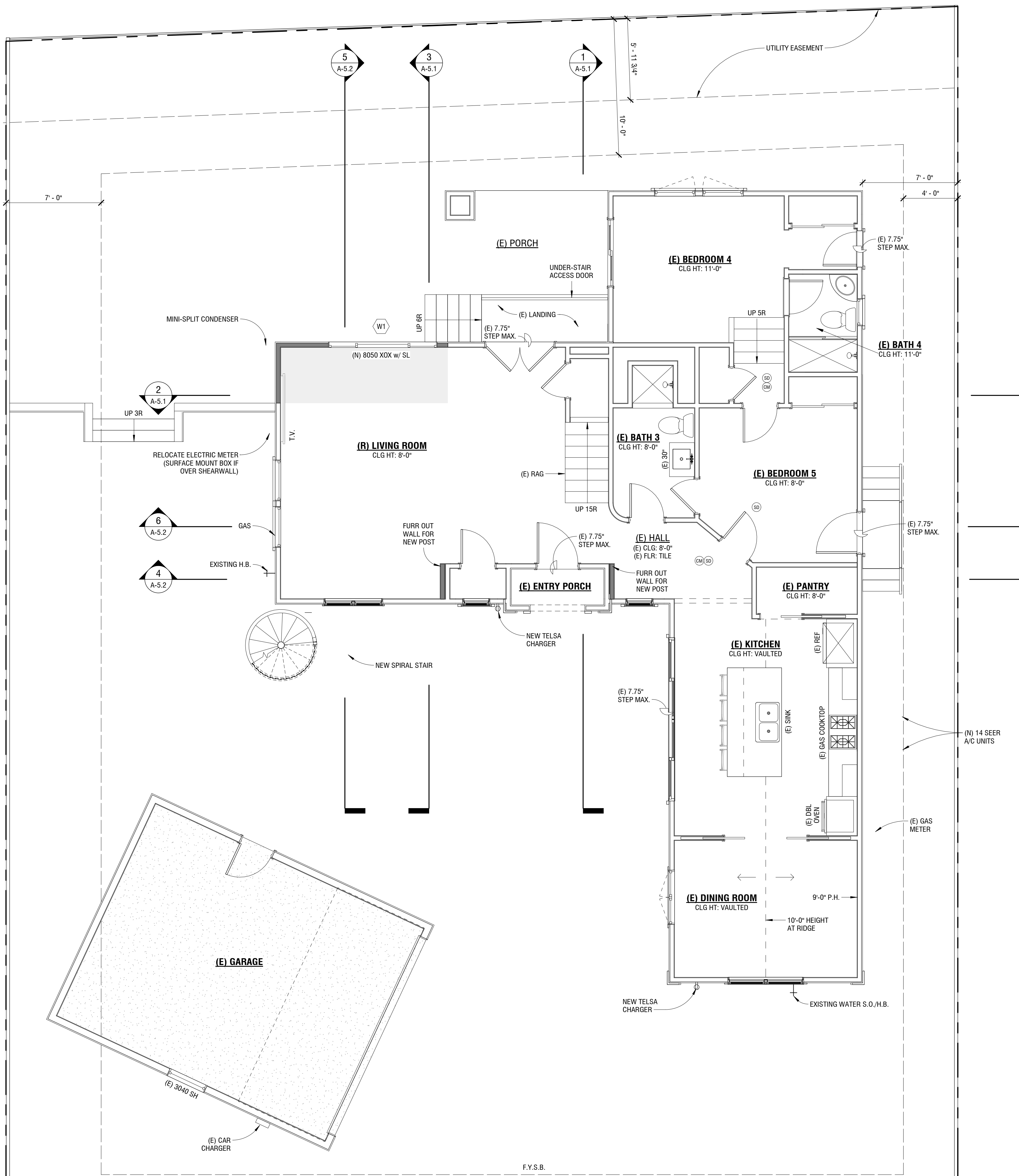


REVISIONS	
1	

2ND SUBMITTAL
3-8-2021
DRAWN BY
D.F. PIERMARINI

SHEET NUMBER:
A-3.2

PRINT DATE: 1/4/2023 3:32:45 PM



PROPOSED FIRST FLOOR
1/4" = 1'-0"

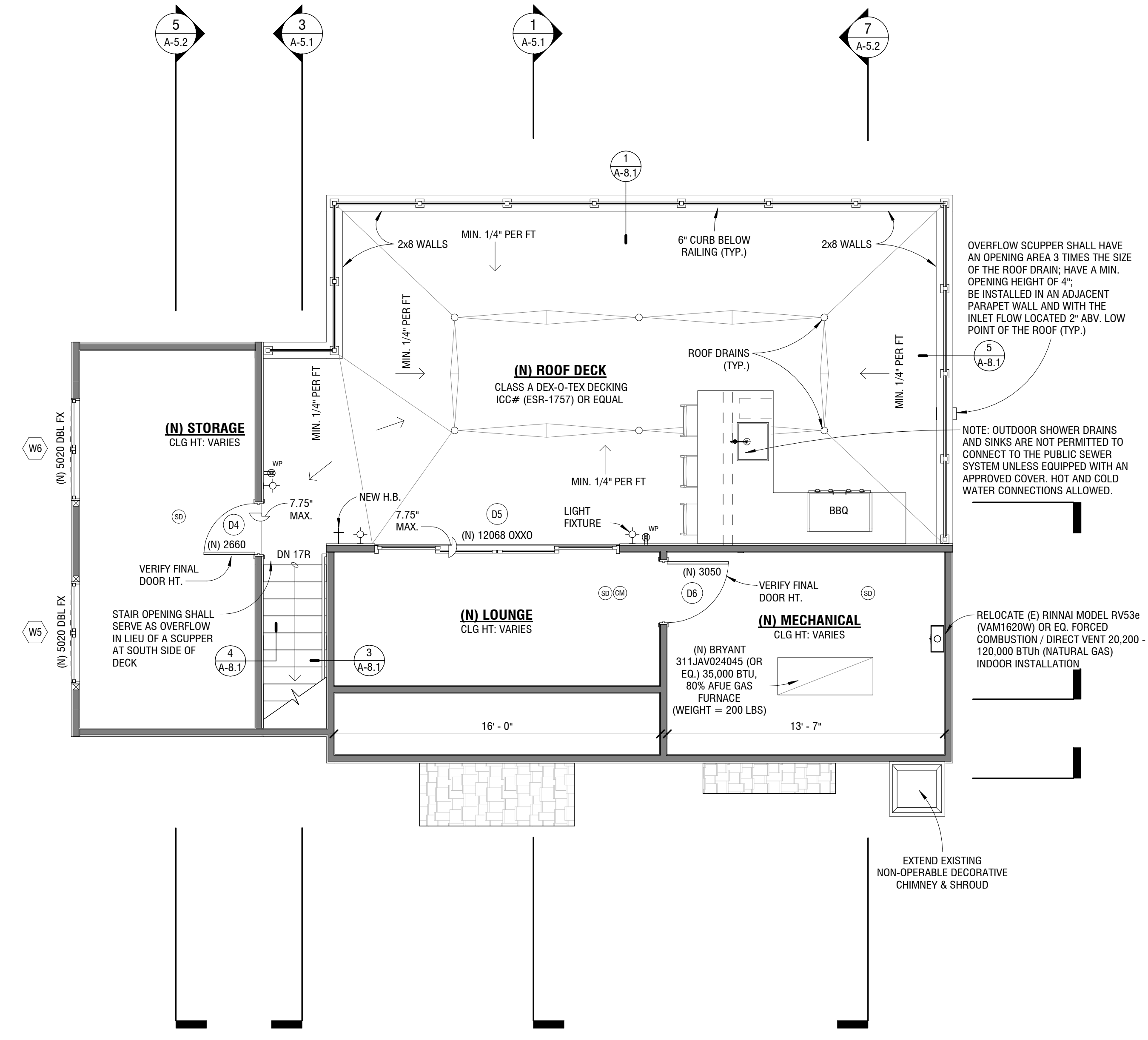
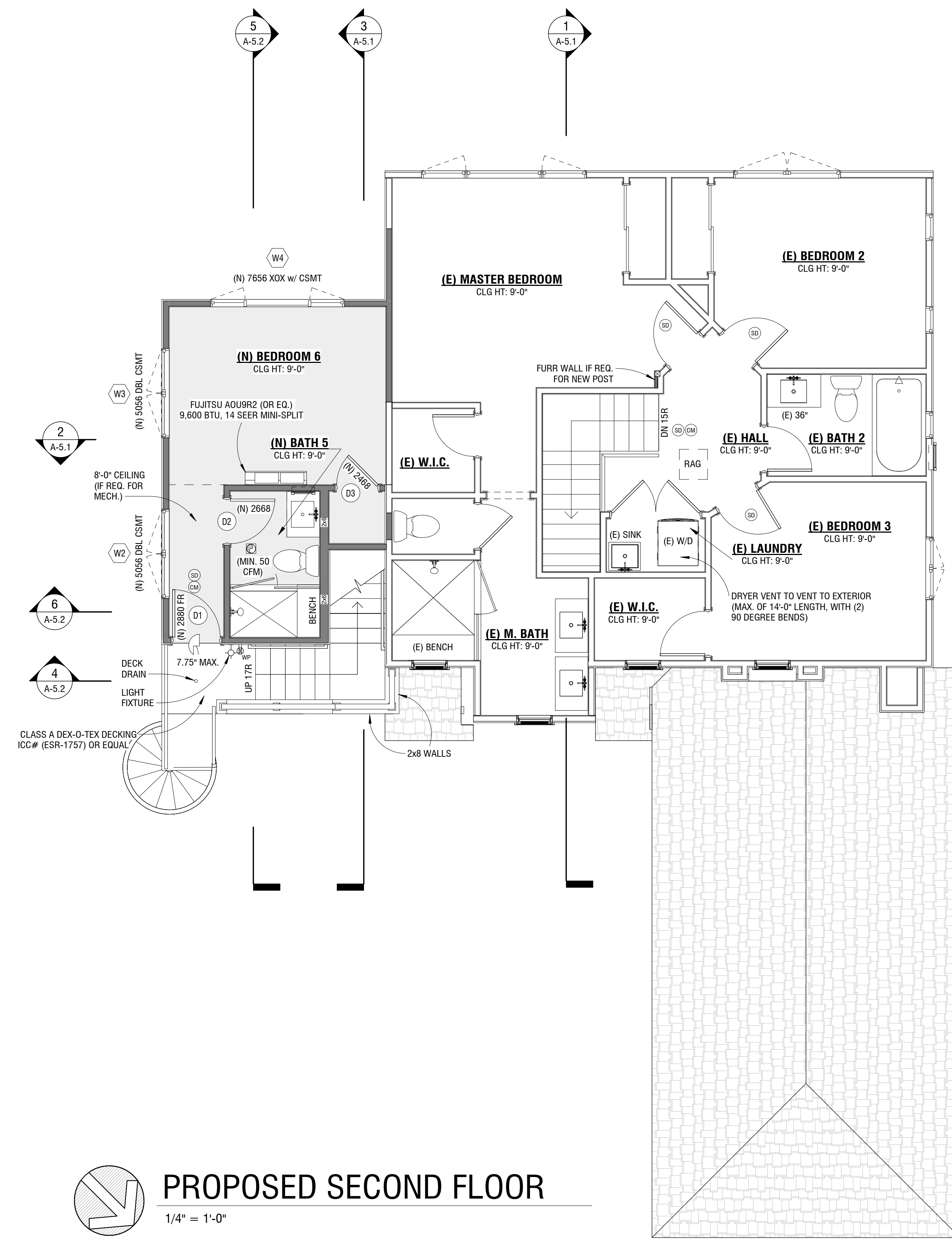
THE DRAWINGS, IDEAS, AND EMBODIED DESIGNS HEREIN ARE THE PROPERTY OF STEEL BUILDERS INC. AND SHALL NOT BE COPIED, REPRODUCED, DISSEMINATED OR USED IN CONNECTION WITH ANY WORK OTHER THAN THE SPECIFIED PROJECT FOR WHICH THEY HAVE BEEN PREPARED. IN WHOLE OR IN PART, WITHOUT THE PRIOR WRITTEN AUTHORIZATION OF STEEL BUILDERS INC.

STEEL BUILDERS
DESIGN • BUILD • INTEGRATION

7950 DUNBROOK RD, SAN DIEGO, CA 92126
(619) 334-3322 • Lic# 877267

QUYEN NGUYEN
5268 LA JOLLA BLVD, LA JOLLA, CA 92037

SHEET TITLE:
PROPOSED SECOND FLOOR & ROOF DECK PLANS



PROPOSED ROOF DECK

1/4" = 1'-0"

PROPOSED SECOND FLOOR
1/4" = 1'-0"

M.E.P. LEGEND			
SYMBOL	REMARKS	SYMBOL	REMARKS
⊞	SINGLE POLE SWITCH	⊞	J BOX / WALL MOUNTED FIXTURE
⊞	THREE WAY SWITCH	⊞	J BOX / SECURITY FLOOD LIGHT
⊞	FOUR WAY SWITCH	⊞	J-BOX / EXTERIOR WALL MOUNTED FIXTURE - HIGH EFFICIENCY OR HAVE A PHOTOCELL CONTROL / MOTION SENSOR COMBO
⊞	DIMMER SWITCH	⊞	MANUAL / OCCUPANCY SWITCH
⊞	110 VOLT OUTLET	⊞	SMOKE ALARM
⊞	220 VOLT OUTLET	⊞	CARBON MONOXIDE/SMOKE ALARM
⊞	G.F.C.I. 110 VOLT OUTLET	⊞	FIRE SPRINKLER HEAD
⊞	SWITCHED 110 VOLT OUTLET	⊞	TELEPHONE SYSTEM
⊞	USB / 110 OUTLET COMBO	⊞	TELEVISION SYSTEM
⊞	WATERPROOF G.F.C.I. OUTLET	⊞	CATS CABLE OUTLET
⊞	FLOOR MOUNTED OUTLET	⊞	CAT7 CABLE OUTLET
⊞	FLOOR MOUNTED QUAD OUTLET	⊞	EXHAUST FAN (50 CFM)
⊞	4" L.E.D. CAN LIGHT	⊞	CEILING MOUNTED HEATER
⊞	4" DIRECTIONAL L.E.D. CAN LIGHT	⊞	THERMOSTAT
⊞	6" L.E.D. CAN LIGHT	⊞	HOSE BIB
⊞	6" DIRECTIONAL L.E.D. CAN LIGHT	⊞	GAS STUB OUT
⊞	PUCK LIGHT	⊞	PLUMBING CLEAN-OUT
⊞	UNDER CABINET LIGHTING	⊞	MAIN ELECTRICAL PANEL
⊞	UNDER CABINET TAPE LIGHTING	⊞	SUB ELECTRICAL PANEL
⊞	J BOX / PENDANT LIGHT	⊞	GAS METER
⊞	J BOX / MINI PENDANT LIGHT		

HIGH EFFICACY = FLUORESCENT COMPLETE WITH ELECTRONIC BALLAST

WALL LEGEND	
	EXISTING WALL TO REMAIN
	EXISTING WALL TO BE REMOVED
	PROPOSED STUD WALL
	CMU WALL



REVISIONS	
1	

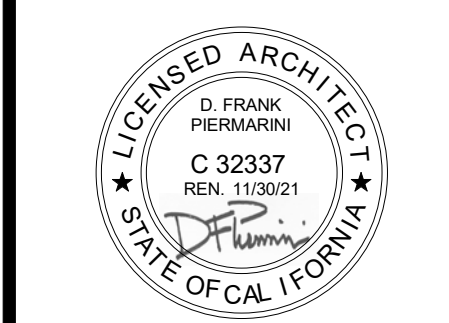
2ND SUBMITTAL 3-8-2021
DRAWN BY D.F. PIERMARINI
SHEET NUMBER: A-3.3

THE DRAWINGS, IDEAS, AND EMBODIED DESIGNS HEREIN ARE THE PROPERTY OF STEEL BUILDERS INC. AND SHALL NOT BE COPIED, REPRODUCED, DISSEMINATED OR USED IN CONNECTION WITH ANY WORK OTHER THAN THE SPECIFIED PROJECT FOR WHICH THEY HAVE BEEN PREPARED. IN WHOLE OR IN PART, WITHOUT THE PRIOR WRITTEN AUTHORIZATION OF STEEL BUILDERS INC.

STEEL BUILDERS
DESIGN • BUILD • INTEGRATION

7950 DUNBROOK RD., SAN DIEGO, CA 92126
(619) 334-3322 • Lic# 877267

QUYEN NGUYEN
5268 LA JOLLA BLVD., LA JOLLA, CA 92037



REVISIONS	
1	

2ND SUBMITTAL
3-8-2021
DRAWN BY
D.F. PIERMARINI

SHEET NUMBER:
A-3.4

DOOR SCHEDULE - PROPOSED

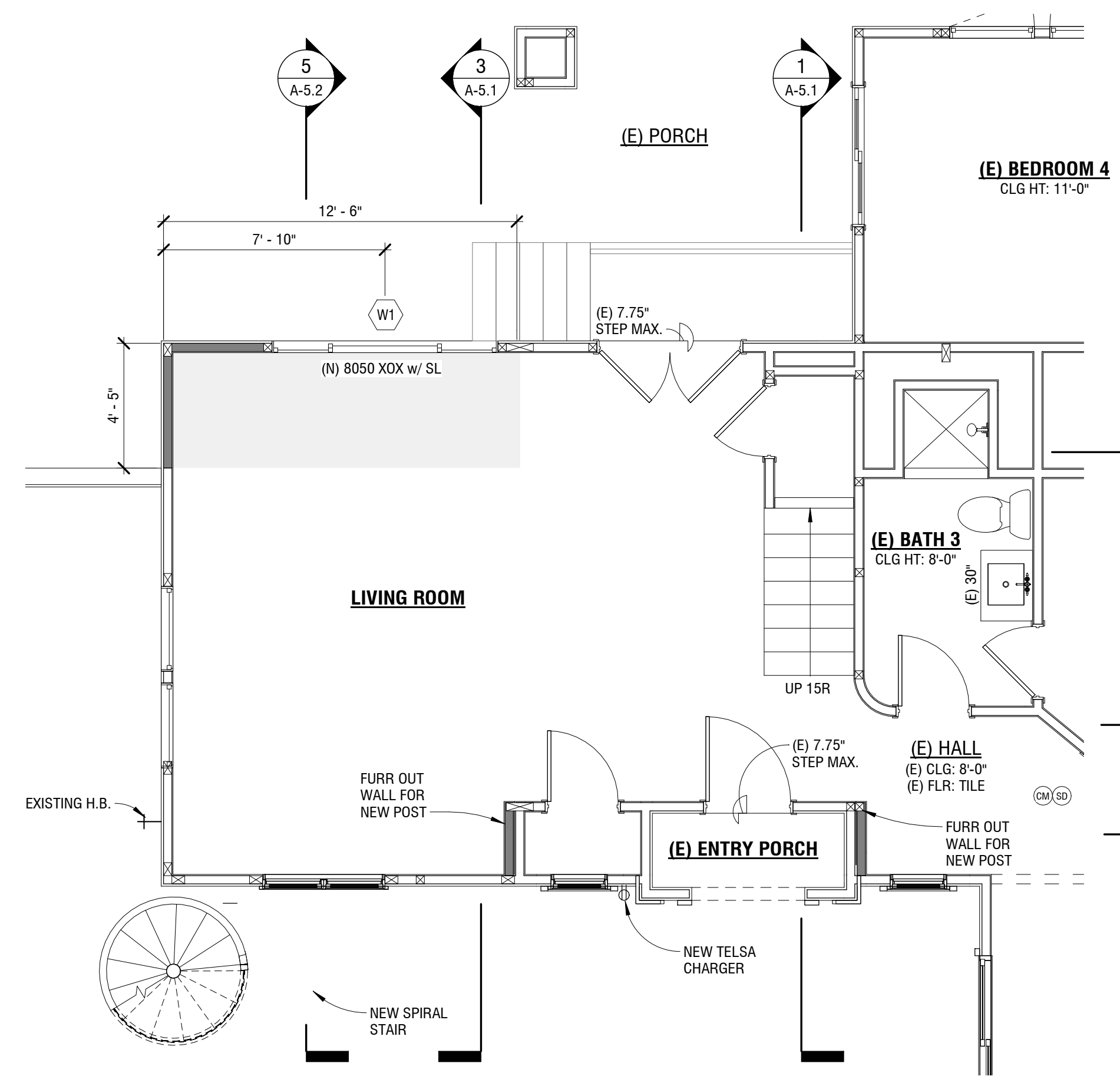
MARK	WIDTH	HEIGHT	DOOR TYPE	ROOM LOCATION	TEMPERED GLAZING	SHGC	U-FACTOR	COMMENTS
LEVEL 1								
9	2'-6"	6'-8"	HINGED - SINGLE					
10	16'-0"	7'-0"	GARAGE DOOR	GARAGE				
11	3'-0"	6'-8"	HINGED - SINGLE					
12	2'-6"	6'-8"	HINGED - SINGLE					
13	16'-0"	7'-0"	GARAGE DOOR					
14	6'-0"	6'-8"	HINGED - DOUBLE					
LEVEL 2								
1	2'-8"	8'-0"	HINGED - SINGLE - FRENCH	BEDROOM 6	Yes	0.23	0.30	
2	2'-6"	6'-8"	HINGED - SINGLE	BEDROOM 6				
3	2'-4"	6'-8"	HINGED - SINGLE	BEDROOM 6				
LEVEL 3 - ROOF DECK								
4	2'-6"	6'-0"	HINGED - SINGLE					VERIFY FINAL SIZE BASED ON HEADER HEIGHT
5	12'-0"	6'-8"	SLIDING GLASS DOOR	LOUNGE	Yes	0.23	0.30	
6	3'-0"	5'-0"	HINGED - SINGLE	LOUNGE				VERIFY FINAL SIZE BASED ON HEADER HEIGHT

TOTAL DOORS: 12

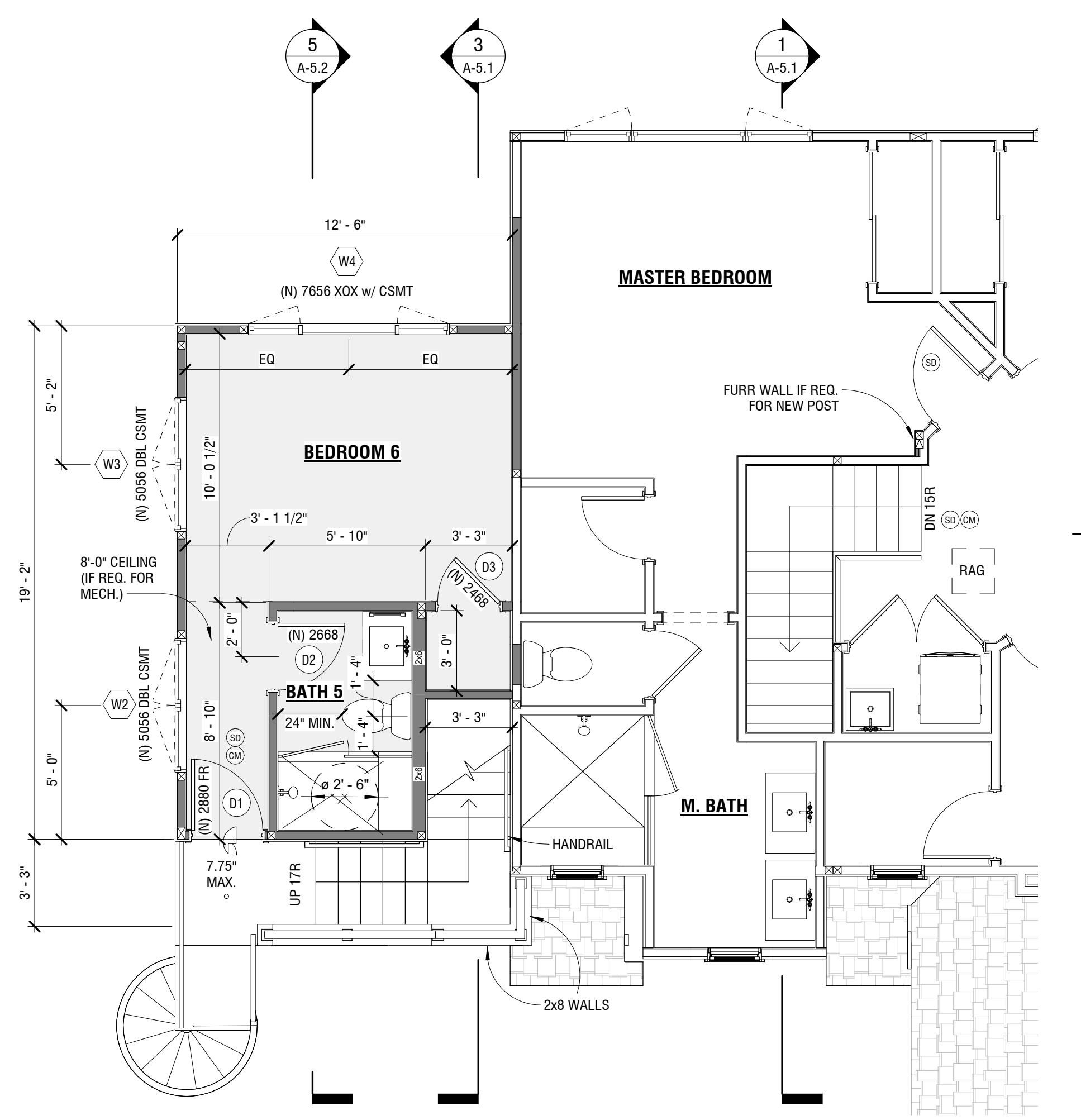
WINDOW SCHEDULE - PROPOSED

MARK	WIDTH	HEIGHT	WINDOW TYPE	ROOM LOCATION	HEADER HT	SILL HT	TEMPERED	SHGC	U-FACTOR	COMMENTS
LEVEL 1										
1	8'-0"	5'-0"	XOX w/ SLIDERS	LIVING ROOM	6'-8"	1'-8"		0.23	0.30	
15	3'-0"	4'-0"	SINGLE HUNG		6'-8"	2'-8"				
18	3'-0"	4'-0"	SINGLE HUNG		6'-8"	2'-8"				
19	3'-0"	4'-0"	SINGLE HUNG		6'-8"	2'-8"				
SPIRAL STAIR MID RISE										
21	6'-0"	5'-0"	FIXED		5'-6"	6"				
22	4'-0"	5'-0"	FIXED		5'-6"	6"				
23	4'-0"	5'-0"	FIXED		5'-6"	6"				
LEVEL 2										
2	5'-0"	5'-6"	DOUBLE CASEMENT	BEDROOM 6	8'-0"	2'-6"		0.23	0.30	
3	5'-0"	5'-6"	DOUBLE CASEMENT	BEDROOM 6	8'-0"	2'-6"		0.23	0.30	
4	7'-6"	5'-6"	XOX w/ CASEMENTS	BEDROOM 6	8'-0"	2'-6"		0.23	0.30	
LEVEL 3 - ROOF DECK										
5	5'-0"	2'-0"	DBL FX		2'-10"	10"	Yes	0.23	0.30	
6	5'-0"	2'-0"	DBL FX		2'-10"	10"	Yes	0.23	0.30	

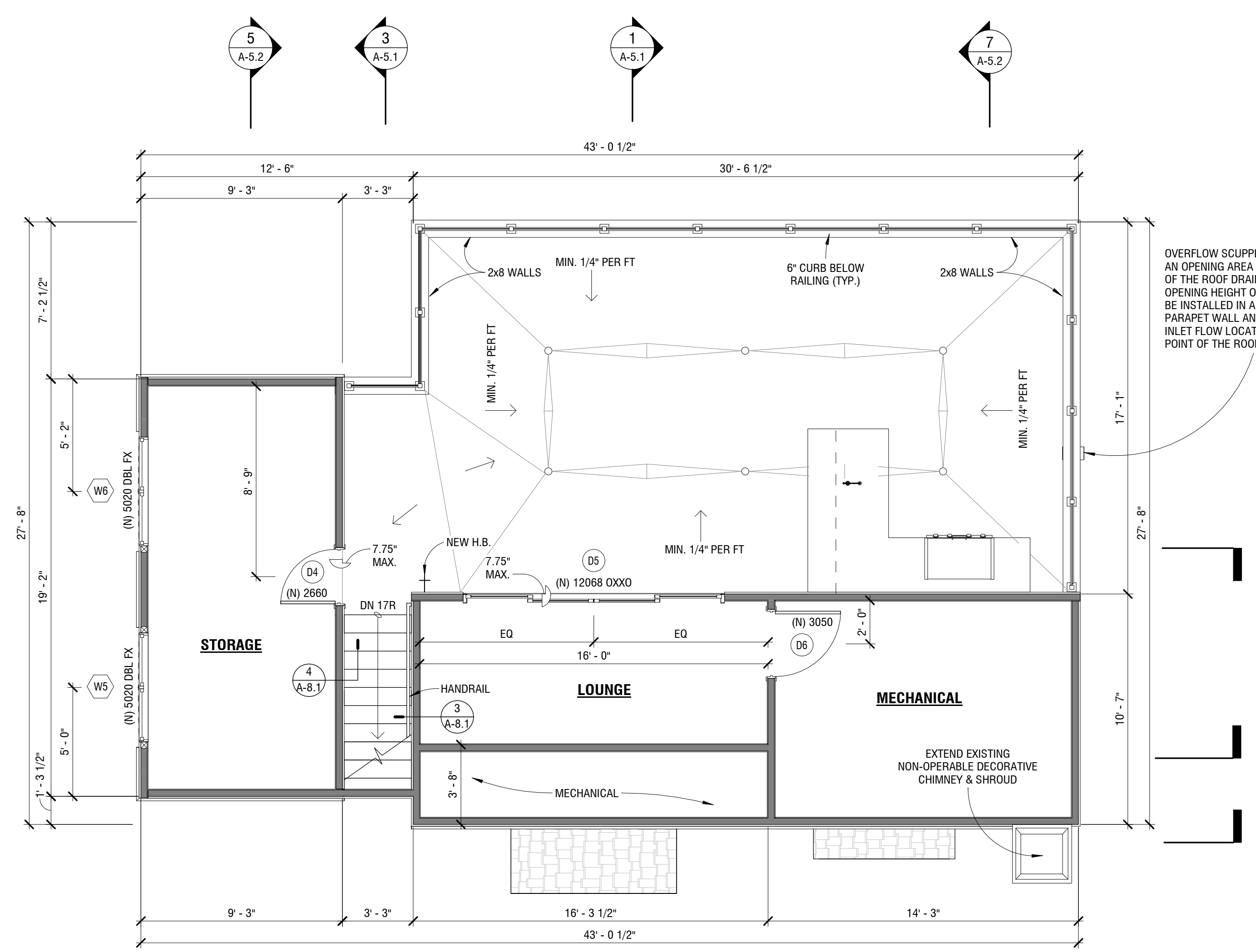
TOTAL WINDOWS: 12



PROPOSED FIRST FLOOR - DIMENSIONED
1/4" = 1'-0"



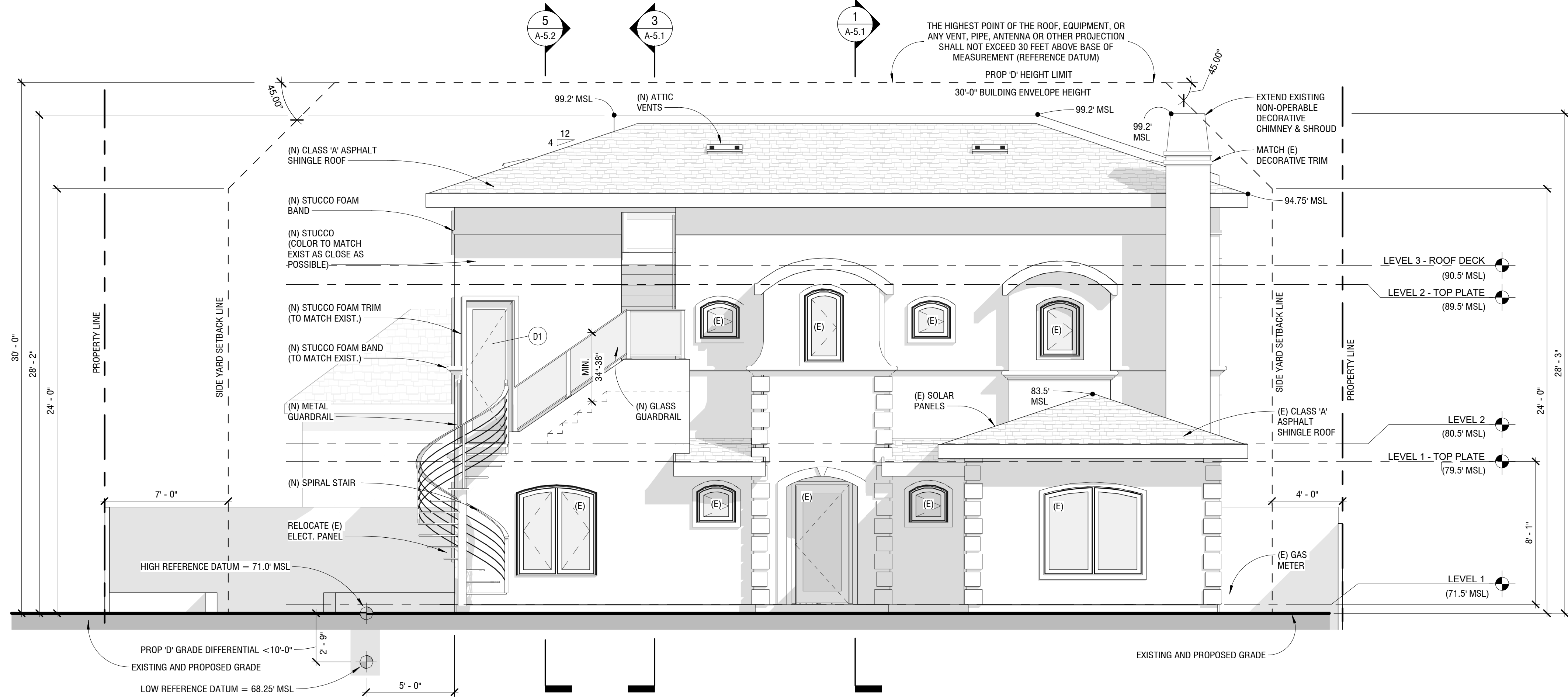
PROPOSED SECOND FLOOR - DIMENSIONED
1/4" = 1'-0"



PROPOSED ROOF DECK - DIMENSIONED
1/4" = 1'-0"

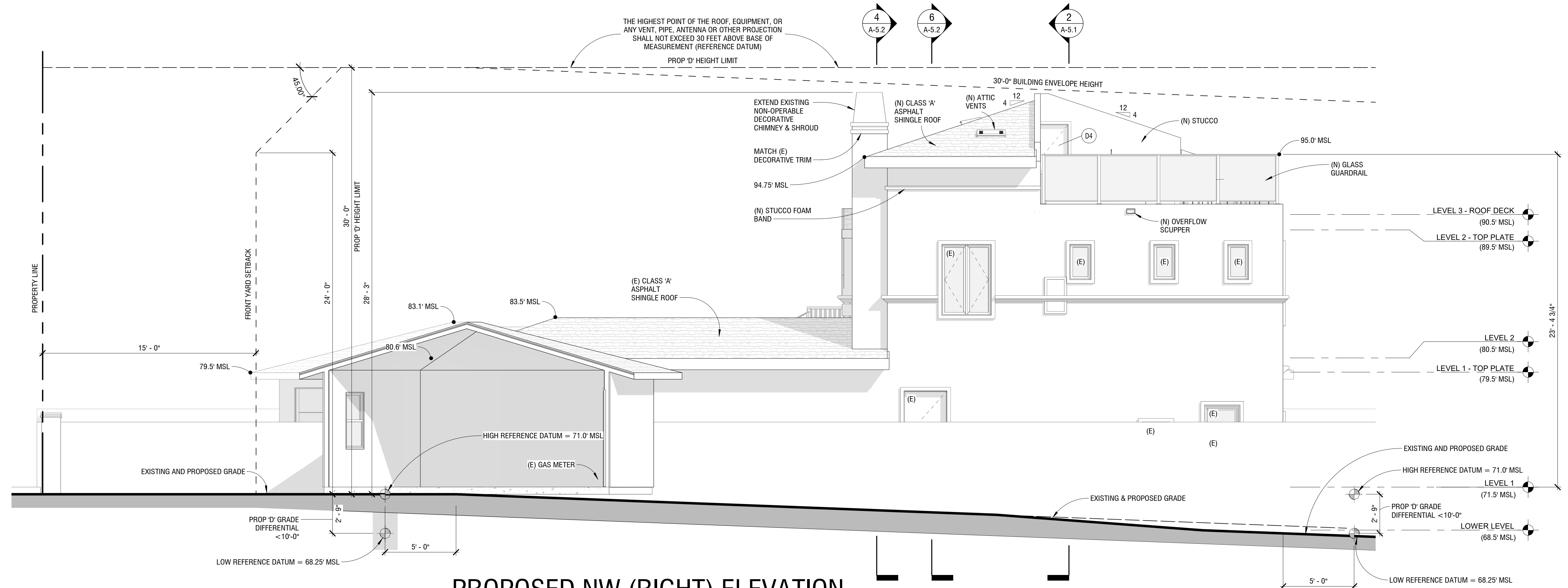
WALL LEGEND

	EXISTING WALL TO REMAIN
	EXISTING WALL TO BE REMOVED
	PROPOSED STUD WALL
	CMU WALL



PROPOSED NE (FRONT) ELEVATION

1/4" = 1'-0"



PROPOSED NW (RIGHT) ELEVATION

1/4" = 1'-0"

LEGEND

- PLASTER / STUCCO
- HORIZONTAL WOOD SIDING
- VERTICAL WOOD SIDING
- FINISH WOOD
- LEVEL / HEIGHT
- KEYNOTE
- D1 DOOR SYMBOL
- W1 WINDOW SYMBOL

THE DRAWINGS, IDEAS, AND EMBODIED DESIGNS HEREIN ARE THE PROPERTY OF STEEL BUILDERS INC. AND SHALL NOT BE COPIED, REPRODUCED, DISCLOSED TO OTHERS OR USED IN CONNECTION WITH ANY WORK OTHER THAN THE SPECIFIED PROJECT FOR WHICH THEY HAVE BEEN PREPARED. IN WHOLE OR IN PART, WITHOUT THE PRIOR WRITTEN AUTHORIZATION OF STEEL BUILDERS INC.

STEEL BUILDERS
DESIGN • BUILD • INTEGRATION

7950 DUNBROOK RD, SAN DIEGO, CA 92126
(619) 334-3322 • Lic# 877267

QUYEN NGUYEN
5268 LA JOLLA BLVD, LA JOLLA, CA 92037

SHEET TITLE:
EXTERIOR ELEVATIONS



REVISIONS	
1	

2ND SUBMITTAL
3-8-2021
DRAWN BY
D.F. PIERMARINI

SHEET NUMBER:
A-4.1

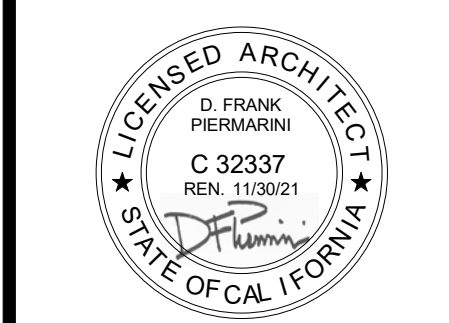
THE DRAWINGS, IDEAS, AND EMBODIED DESIGNS HEREBY ARE THE PROPERTY OF STEEL BUILDERS INC. AND SHALL NOT BE COPIED, REPRODUCED, DISSEMINATED OR USED IN CONNECTION WITH ANY WORK OTHER THAN THE SPECIFIED PROJECT FOR WHICH THEY HAVE BEEN PREPARED. IN WHOLE OR IN PART, WITHOUT THE PRIOR WRITTEN AUTHORIZATION OF STEEL BUILDERS INC.

STEEL BUILDERS
DESIGN • BUILD • INTEGRATION

7950 DUNBROOK RD, SAN DIEGO, CA 92126
(619) 334-3322 • Lic# 877267

QUYEN NGUYEN
5268 LA JOLLA BLVD, LA JOLLA, CA 92037

SHEET TITLE:
EXTERIOR ELEVATIONS



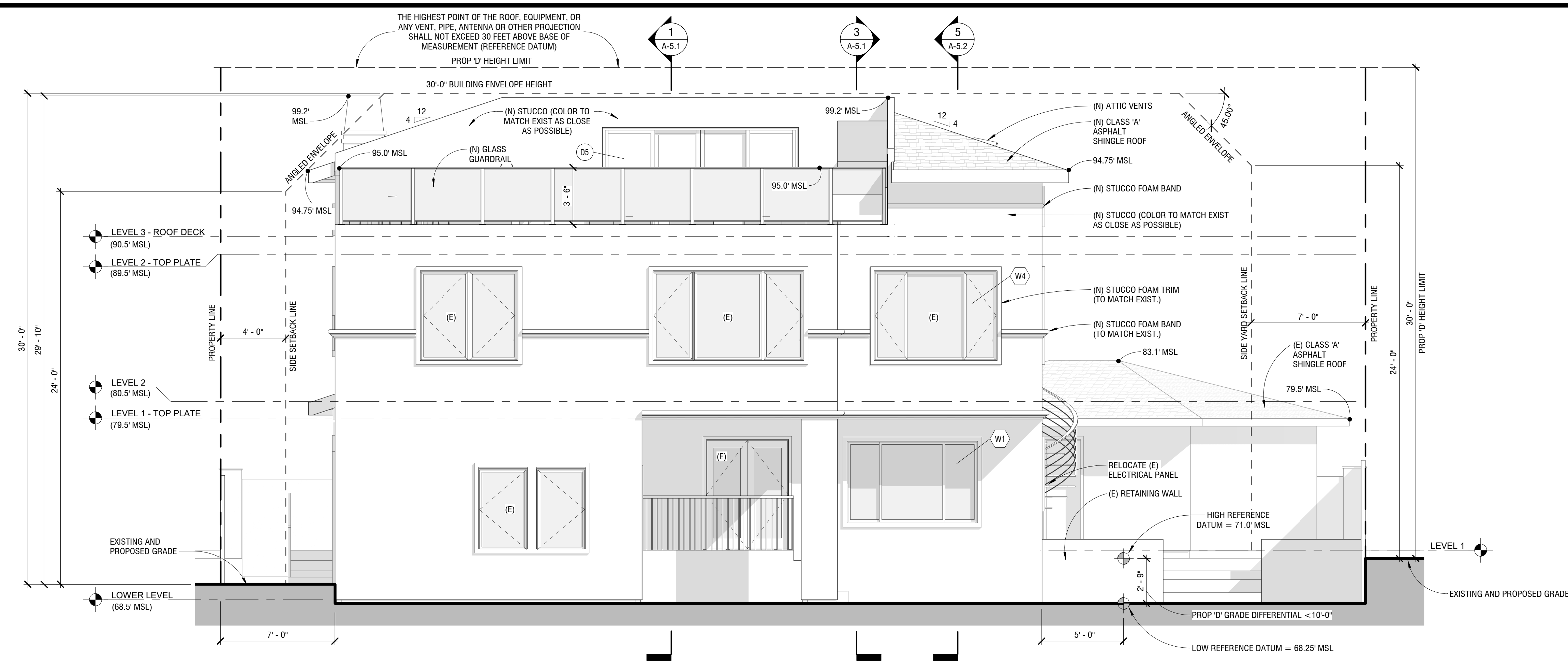
REVISIONS	
1	

2ND SUBMITTAL
3-8-2021
DRAWN BY
D.F. PIERMARINI
SHEET NUMBER:

A-4.2

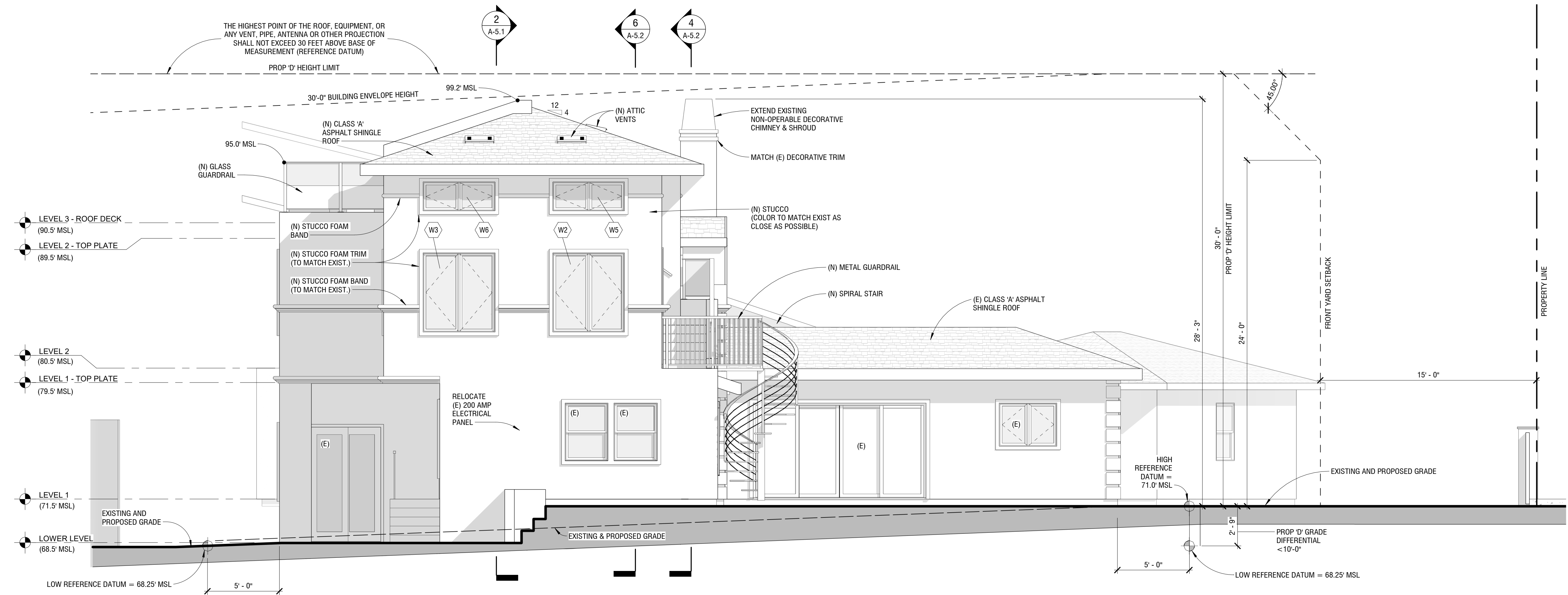
LEGEND

- PLASTER / STUCCO
- HORIZONTAL WOOD SIDING
- VERTICAL WOOD SIDING
- FINISH WOOD
- LEVEL / HEIGHT
- KEYNOTE
- D1 DOOR SYMBOL
- W1 WINDOW SYMBOL



PROPOSED SW (REAR) ELEVATION

1/4" = 1'-0"



PROPOSED SE (LEFT) ELEVATION

1/4" = 1'-0"

THE DRAWINGS, IDEAS, AND EMBODIED DESIGNS
HEREIN ARE THE PROPERTY OF STEEL BUILDERS INC.
AND SHALL NOT BE COPIED, REPRODUCED,
DISCLOSED TO OTHERS OR USED IN CONNECTION
WITH ANY WORK OTHER THAN THE SPECIFIED
PROJECT FOR WHICH THEY HAVE BEEN PREPARED.
IN WHOLE OR IN PART, WITHOUT THE PRIOR
WRITTEN AUTHORIZATION OF STEEL BUILDERS INC.

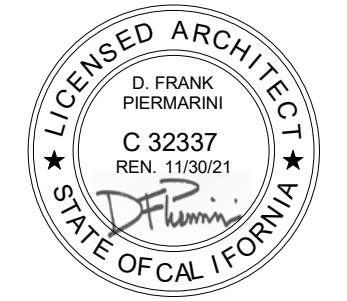
STEEL BUILDERS
DESIGN • BUILD • INTEGRATION

7950 DUNBROOK RD, SAN DIEGO, CA 92126
(619) 334-3322 • Lic# 877267



QUYEN NGUYEN
5268 LA JOLLA BLVD, LA JOLLA, CA 92037

SHEET TITLE:
EXTERIOR PERSPECTIVES



REVISIONS	
1	

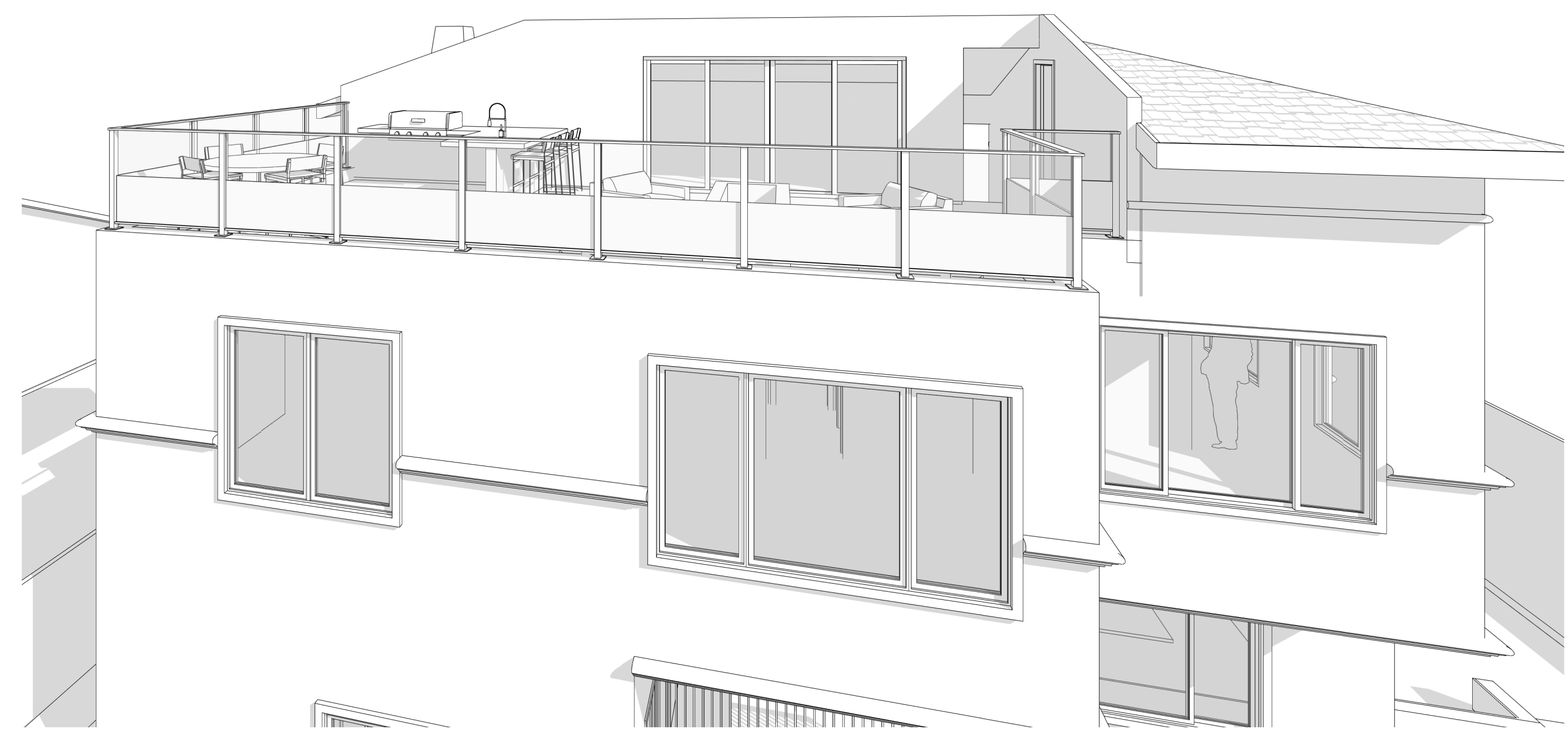
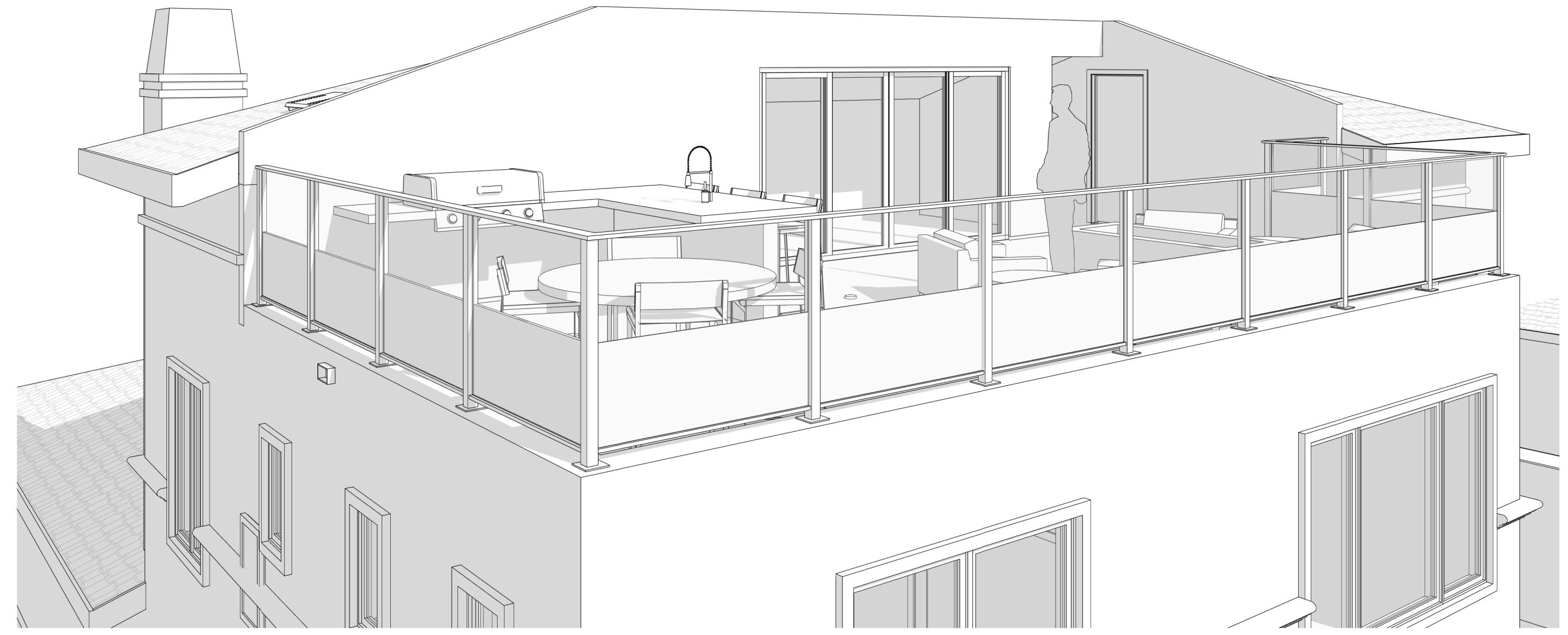
2ND SUBMITTAL
3-8-2021
DRAWN BY
D.F. PIERMARINI

SHEET NUMBER:
A-4.3

THE DRAWINGS, IDEAS, AND EMBODIED DESIGNS HEREIN ARE THE PROPERTY OF STEEL BUILDERS INC. AND SHALL NOT BE COPIED, REPRODUCED, DISCLOSED TO OTHERS OR USED IN CONNECTION WITH ANY WORK OTHER THAN THE SPECIFIED PROJECT FOR WHICH THEY HAVE BEEN PREPARED. IN WHOLE OR IN PART, WITHOUT THE PRIOR WRITTEN AUTHORIZATION OF STEEL BUILDERS INC.

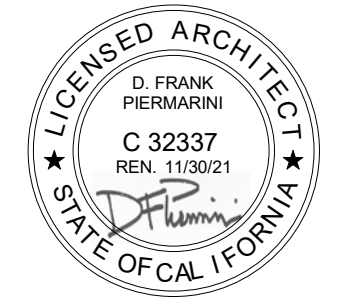
STEEL BUILDERS
DESIGN • BUILD • INTEGRATION

7950 DUNBROOK RD, SAN DIEGO, CA 92126
(619) 334-3322 • Lic# 877267



QUYEN NGUYEN
5268 LA JOLLA BLVD, LA JOLLA, CA 92037

SHEET TITLE:
EXTERIOR PERSPECTIVES



REVISIONS	
1	

2ND SUBMITTAL
3-8-2021
DRAWN BY
D.F. PIERMARINI

SHEET NUMBER:
A-4.4

THE DRAWINGS, IDEAS, AND EMBODIED DESIGNS HEREIN ARE THE PROPERTY OF STEEL BUILDERS INC. AND SHALL NOT BE COPIED, REPRODUCED, DISSEMINATED OR USED IN CONNECTION WITH ANY WORK OTHER THAN THE SPECIFIED PROJECT FOR WHICH THEY HAVE BEEN PREPARED. IN WHOLE OR IN PART, WITHOUT THE PRIOR WRITTEN AUTHORIZATION OF STEEL BUILDERS INC.

STEEL BUILDERS
DESIGN • BUILD • INTEGRATION

7950 DUNBROOK RD., SAN DIEGO, CA 92126
(619) 334-3322 • Lic# 877267

QUYEN NGUYEN
5268 LA JOLLA BLVD., LA JOLLA, CA 92037

SHEET TITLE:
BUILDING SECTIONS



REVISIONS	
1	

2ND SUBMITTAL
3-8-2021
DRAWN BY
D.F. PIERMARINI

SHEET NUMBER:
A-5.1

LEGEND

	CONCRETE		WOOD/CONTINUOUS
	GYPSUM BOARD		WOOD BLOCKING
	GROUT / MORTAR PLASTER / STUCCO		PLYWOOD
	SOILS / GRADE		STEEL/METAL
	FINISH WOOD		BATT INSULATION
	CEILING TILE		RIGID INSULATION

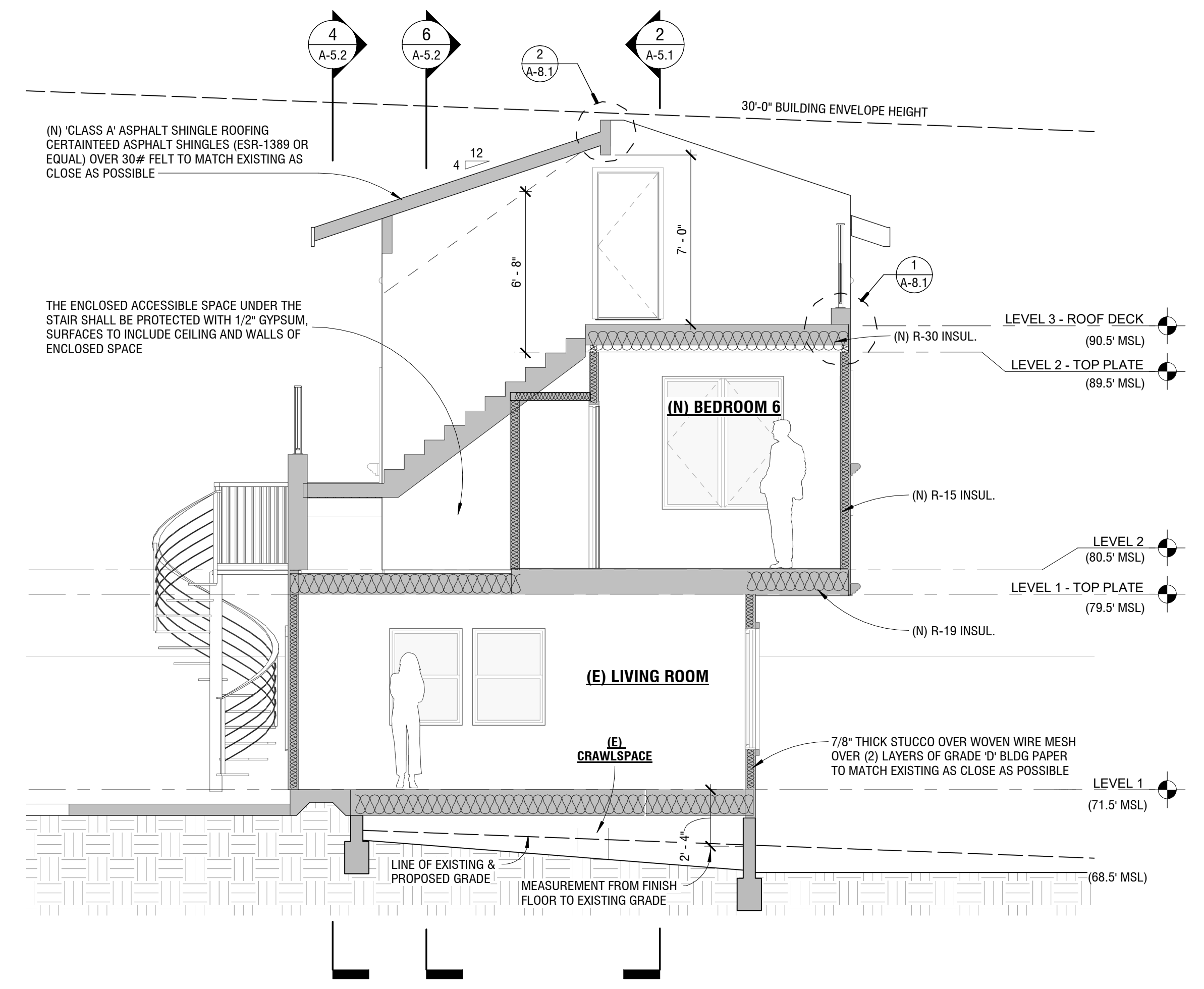
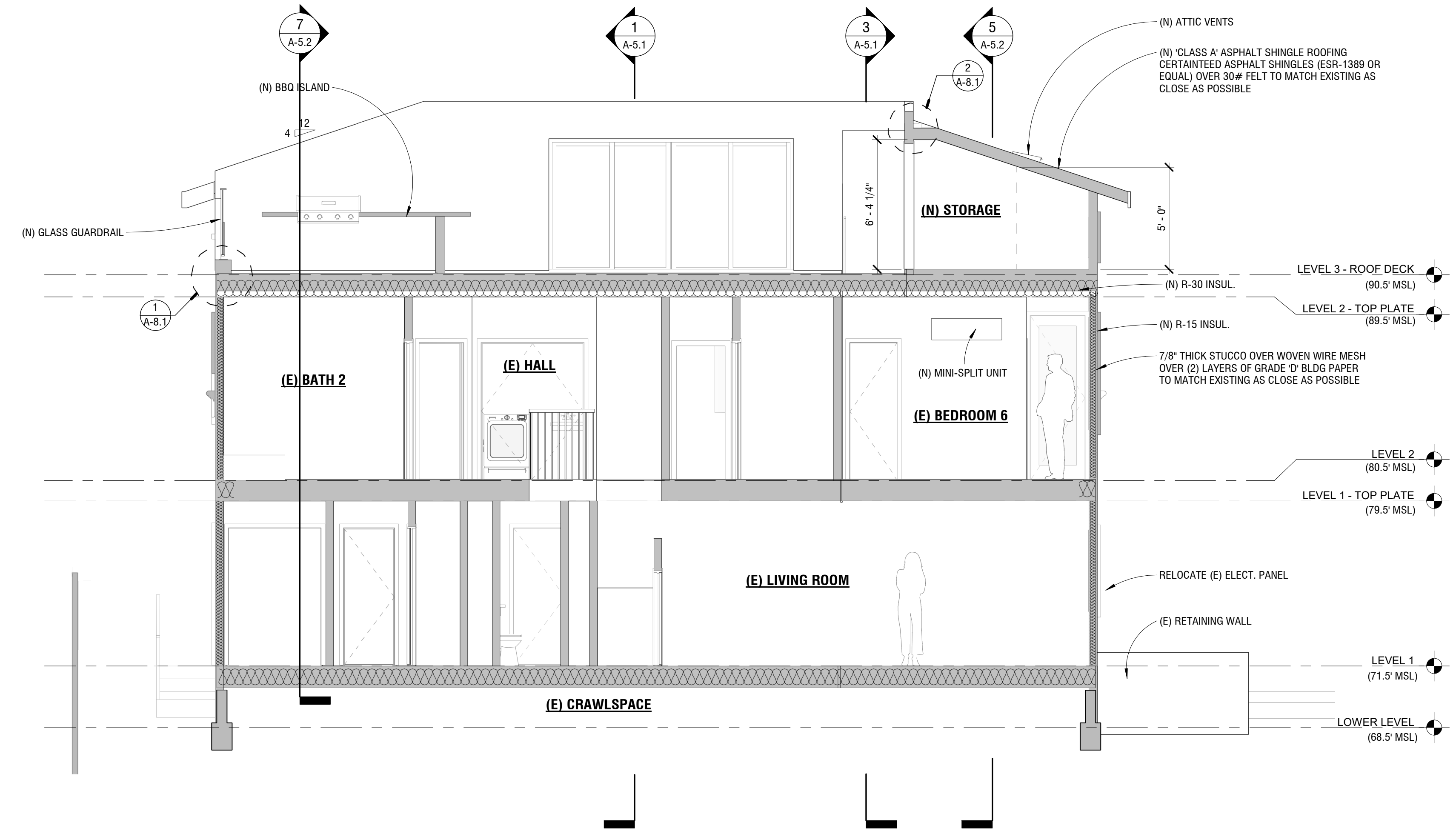
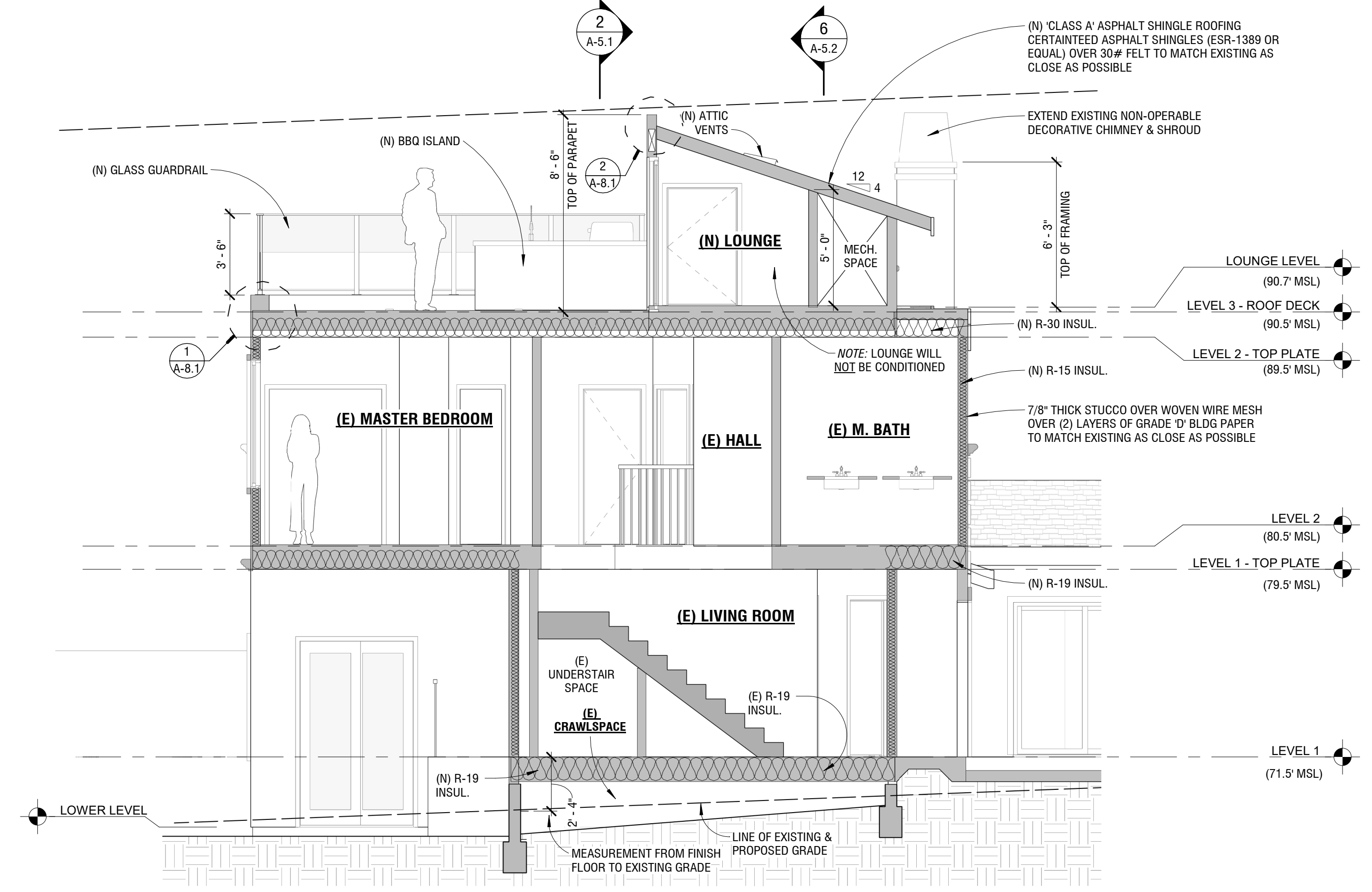
DETAIL:

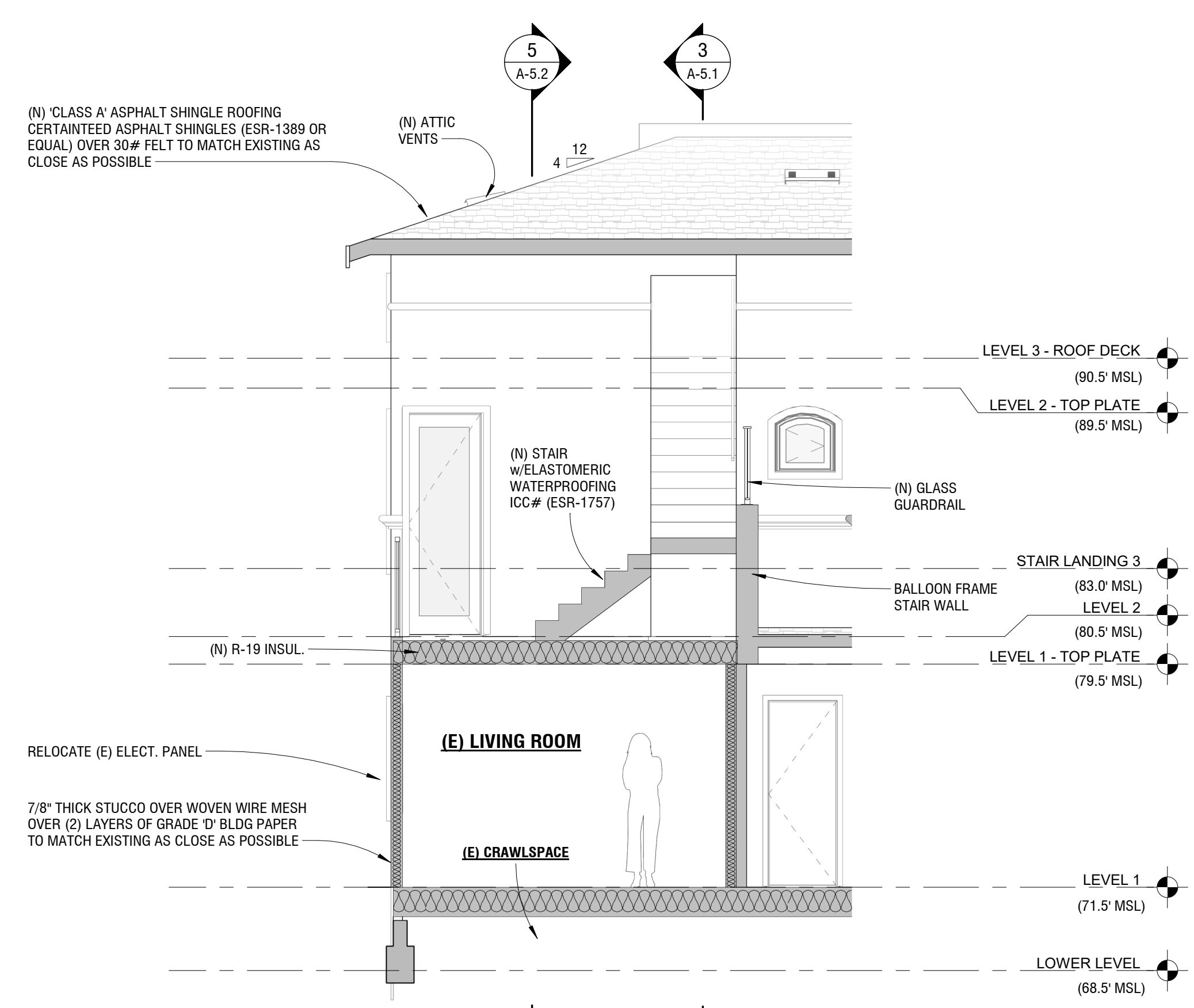
1 A1.3 DETAIL NUMBER SHEET WHERE DRAWN

D3 A7.8 BUILDING SECTION: SECTION NUMBER SHEET WHERE DRAWN

ELEVATION

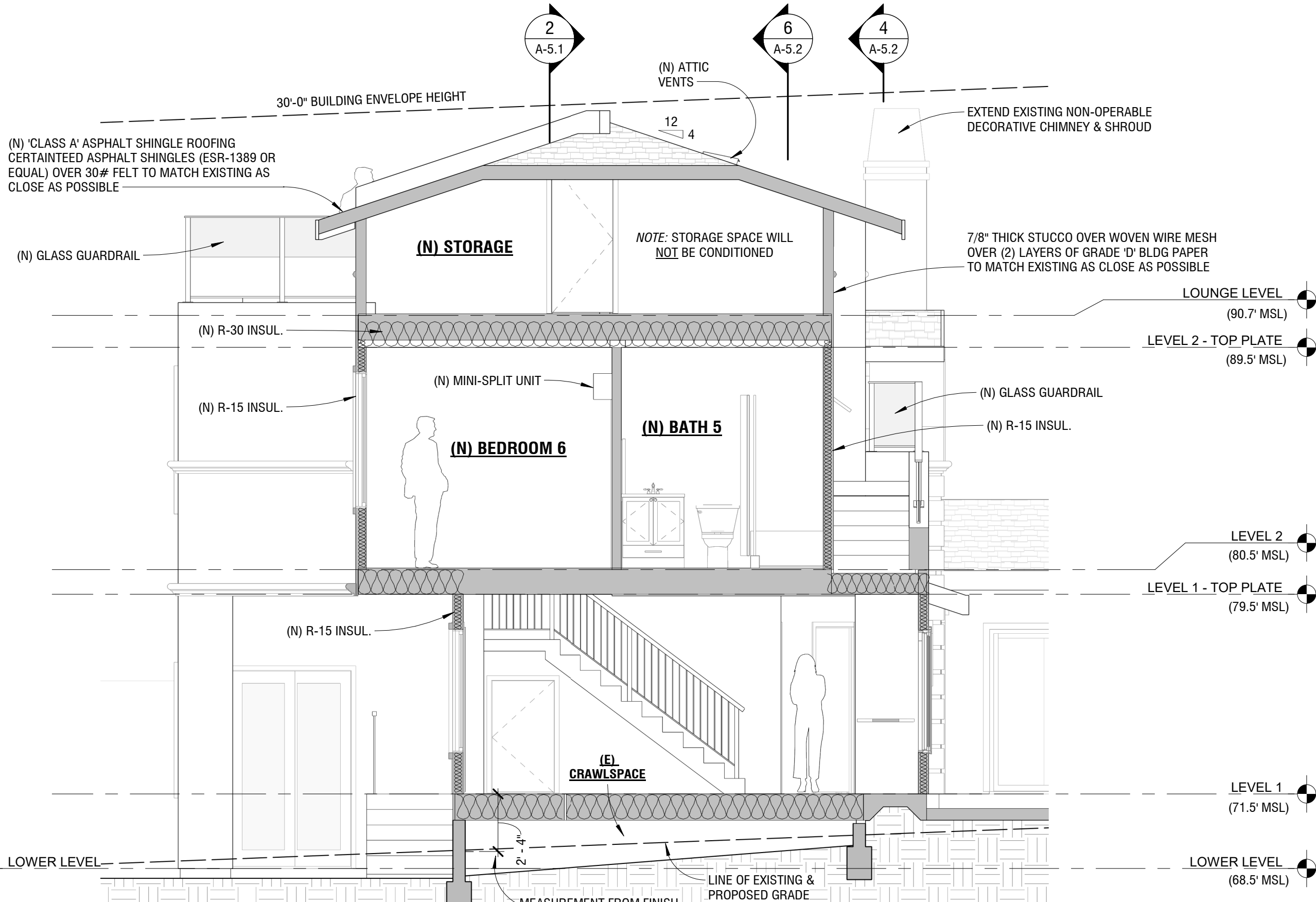
KEYNOTE





SECTION 4

1/4" = 1'-0"



SECTION 5

1/4" = 1'-0"

LEGEND

	CONCRETE		WOOD/CONTINUOUS
	GYPSUM BOARD		WOOD BLOCKING
	GROUT / MORTAR PLASTER / STUCCO		PLYWOOD
	SOILS / GRADE		STEEL/METAL
	FINISH WOOD		BATT INSULATION
	CEILING TILE		RIGID INSULATION

DETAIL:

1 A1.3 DETAIL NUMBER SHEET WHERE DRAWN

D3 A7.8 BUILDING SECTION: SECTION NUMBER SHEET WHERE DRAWN

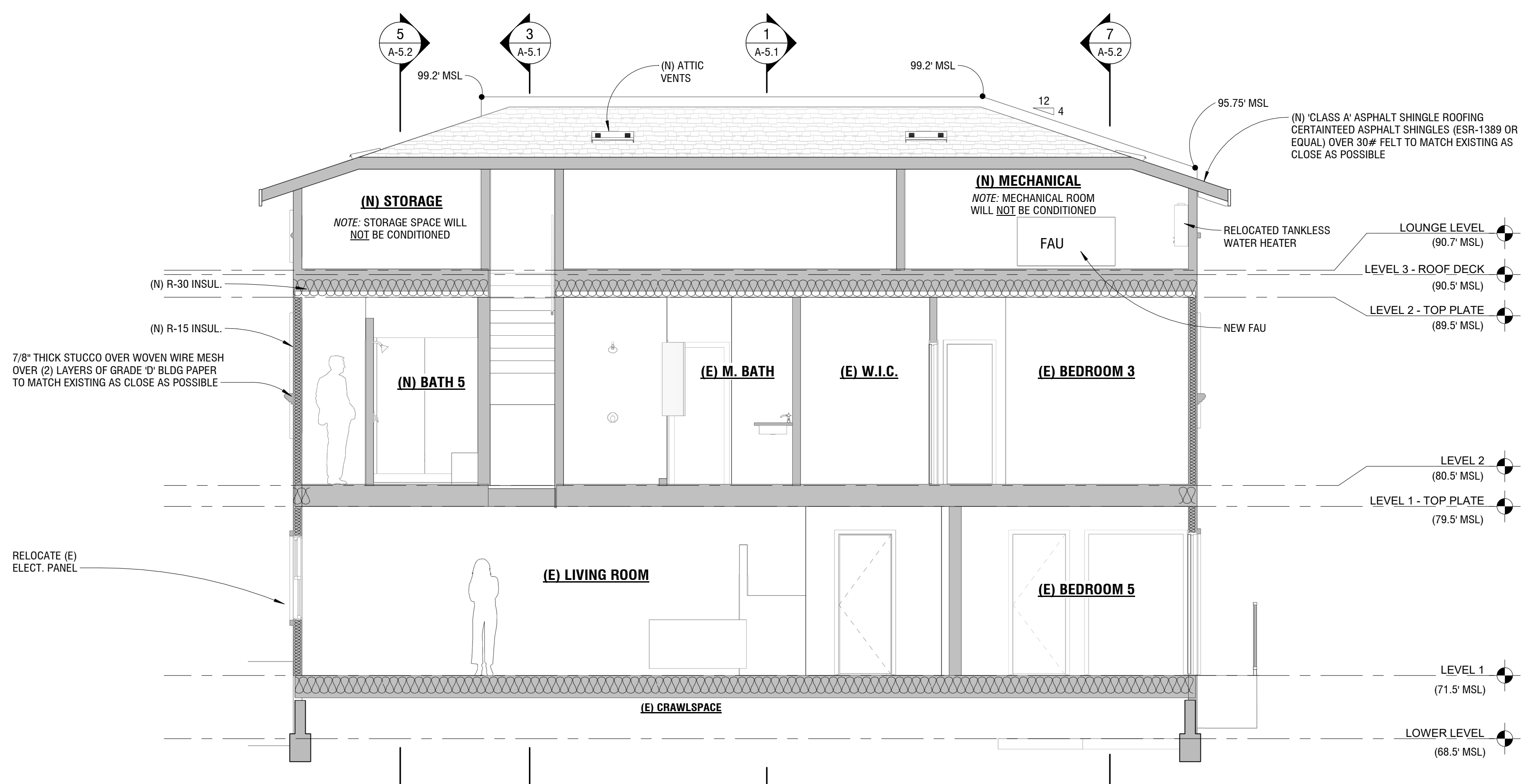
ELEVATION

KEYNOTE

THE DRAWINGS, IDEAS, AND EMBODIED DESIGNS HEREIN ARE THE PROPERTY OF STEEL BUILDERS INC. AND SHALL NOT BE COPIED, REPRODUCED, DISSEMINATED OR USED IN CONNECTION WITH ANY WORK OTHER THAN THE SPECIFIED PROJECT FOR WHICH THEY HAVE BEEN PREPARED. IN WHOLE OR IN PART, WITHOUT THE PRIOR WRITTEN AUTHORIZATION OF STEEL BUILDERS INC.

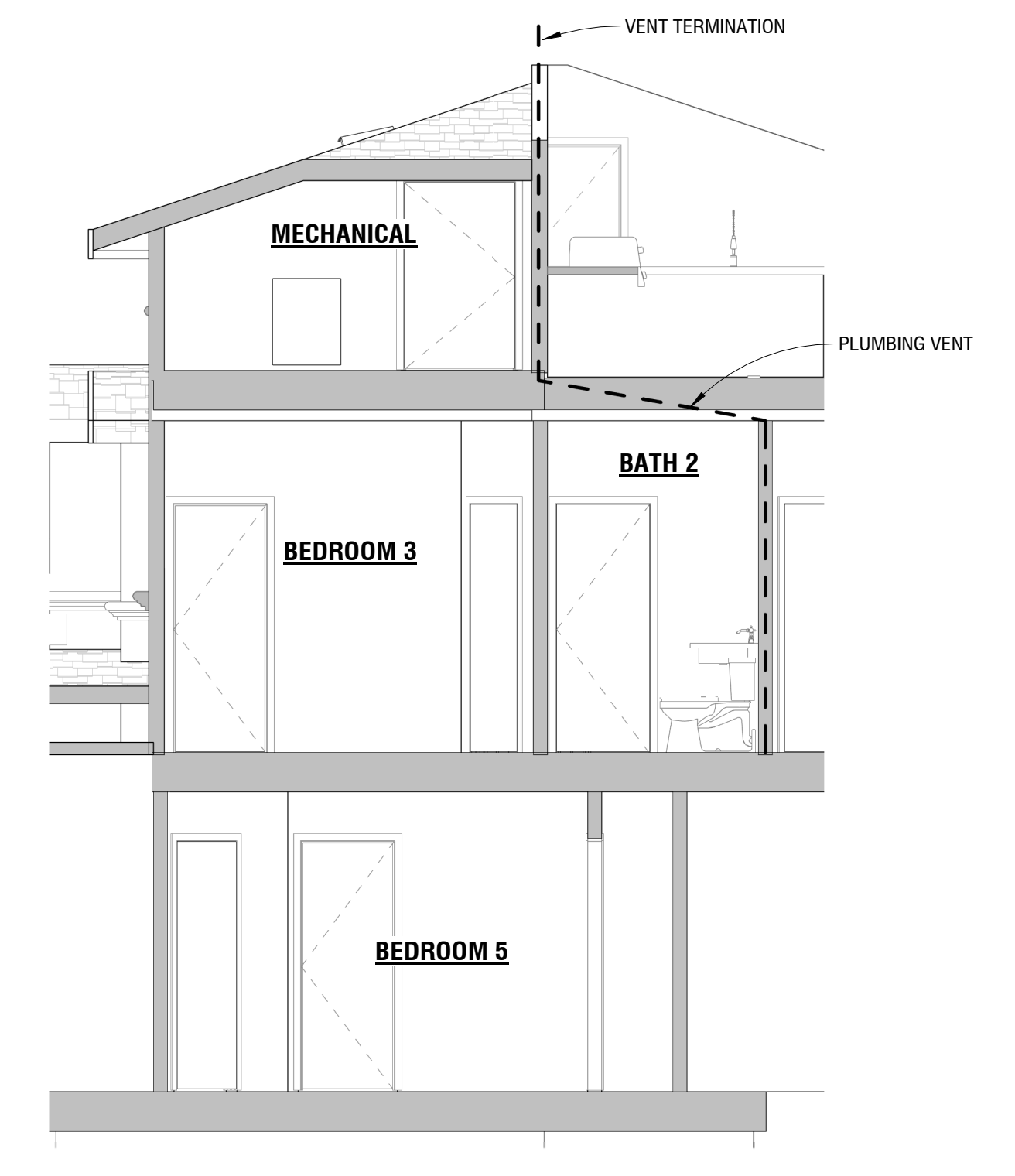
STEEL BUILDERS
DESIGN • BUILD • INTEGRATION

7950 DUNBROOK RD., SAN DIEGO, CA 92126
(619) 334-3322 • Lic# 877267



SECTION 6

1/4" = 1'-0"



SECTION 7 (PLUMBING VENT ROUTING)

1/4" = 1'-0"

QUYEN NGUYEN

5268 LA JOLLA BLVD., LA JOLLA, CA 92037

SHEET TITLE:
BUILDING SECTIONS



REVISIONS	
1	

2ND SUBMITTAL
3-8-2021
DRAWN BY
D.F. PIERMARINI

SHEET NUMBER:
A-5.2

THE DRAWINGS, IDEAS, AND EMBODIED DESIGNS HEREIN ARE THE PROPERTY OF STEEL BUILDERS INC. AND SHALL NOT BE COPIED, REPRODUCED, DISCLOSED TO OTHERS OR USED IN CONNECTION WITH ANY WORK OTHER THAN THE SPECIFIED PROJECT FOR WHICH THEY HAVE BEEN PREPARED, IN WHOLE OR IN PART, WITHOUT THE PRIOR WRITTEN AUTHORIZATION OF STEEL BUILDERS INC.

STEEL BUILDERS
DESIGN • BUILD • INTEGRATION

7950 DUNBROOK RD, SAN DIEGO, CA 92126
(619) 334-3322 • Lic# 877267

QUYEN NGUYEN
5268 LA JOLLA BLVD, LA JOLLA, CA 92037

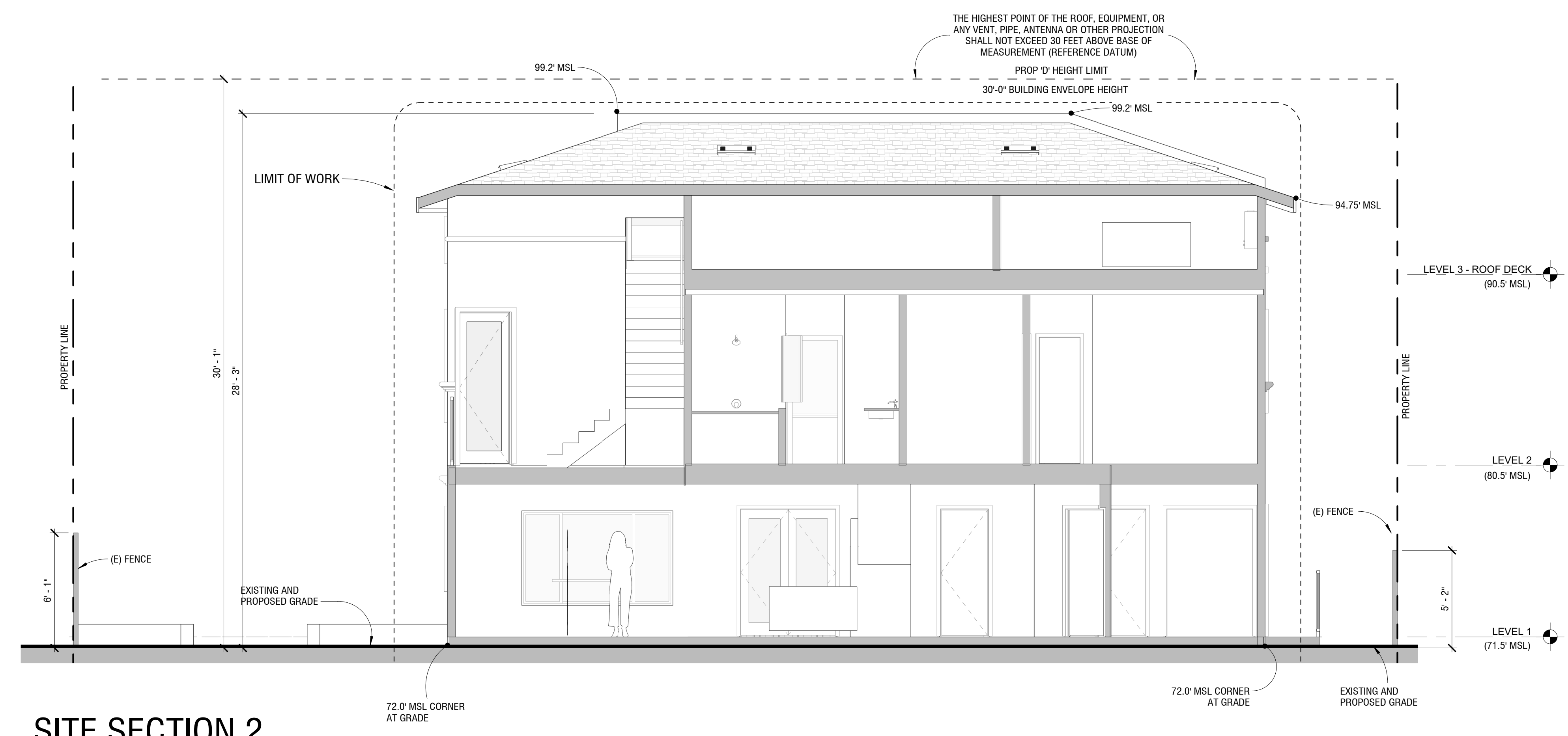
SHEET TITLE:
SITE SECTIONS



REVISIONS	
1	

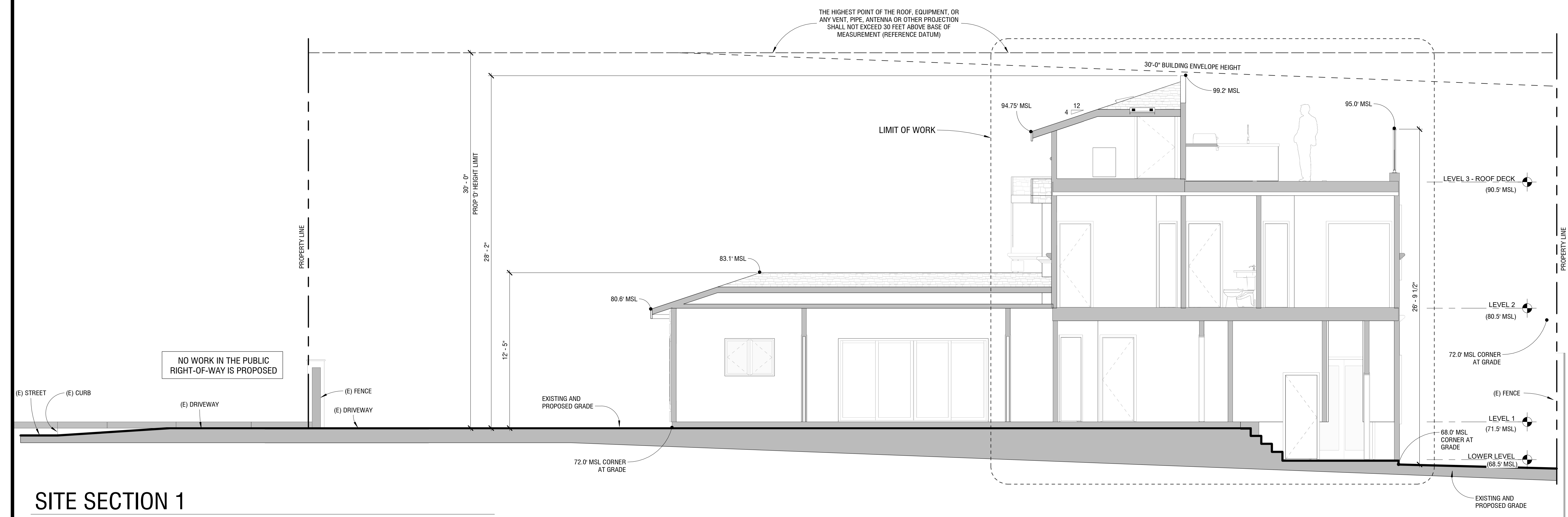
2ND SUBMITTAL
3-8-2021
DRAWN BY
D.F. PIERMARINI
SHEET NUMBER:

A-5.3



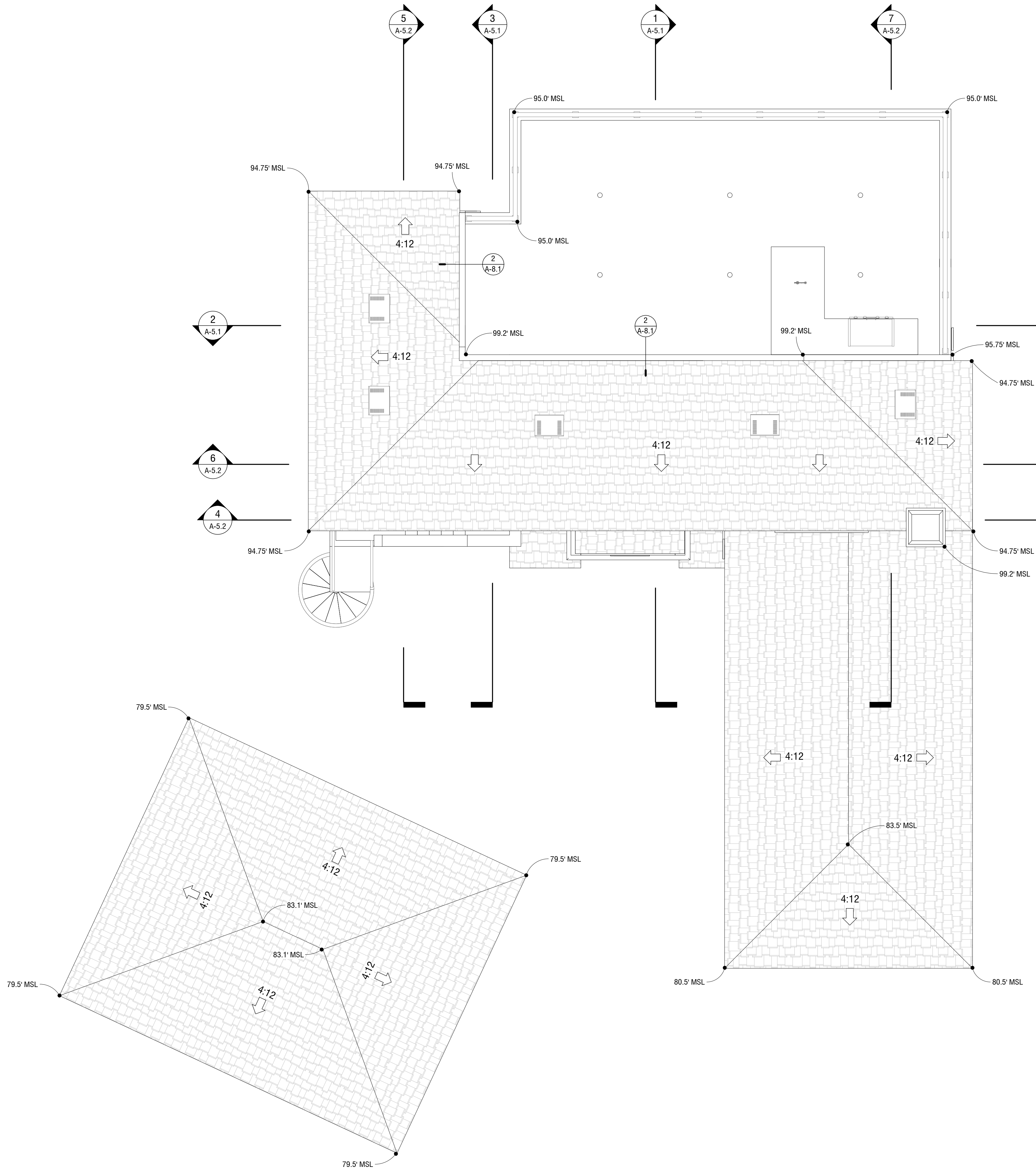
SITE SECTION 2

1/4" = 1'-0"



SITE SECTION 1

1/4" = 1'-0"



ROOF PLAN
1/4" = 1'-0"

GENERAL NOTES:

1. FIELD VERIFY EXISTING ROOF PITCH AND MATCH. COORDINATE WITH TRUSS MANUFACTURER PRIOR TO ORDERING ANY TRUSSES.
2. FRAMER TO FIELD VERIFY ALL CONDITIONS AND COORDINATE WHERE NEW AND EXISTING FRAMING ALIGN. COORDINATE AND ALIGN WHEN POSSIBLE.
3. NO SCREENING ELEMENTS PROPOSED

ATTIC VENTILATION NOTES

1. THE MINIMUM VENT AREA IS 1/150 OF ATTIC AREA (OR 1/300 OF ATTIC AREA IF AT LEAST 40% BUT NOT MORE THAN 50% OF THE REQUIRED VENT IS LOCATED NO MORE THAN 3' BELOW THE RIDGE.
2. ATTIC VENTS TO BE LOCATED TO PROVIDE CROSS VENTILATION, INCLUDING HIGH AND LOW LOCATIONS WHEN APPLICABLE.
3. ATTIC VENTILATION OPENINGS SHALL BE COVERED WITH CORROSION-RESISTANT METAL MESH WITH 1/16" MINIMUM TO 1/8" MAXIMUM OPENINGS)

ATTIC VENT CALCULATIONS

STORAGE ROOM ABOVE OFFICE

PROPOSED ATTIC AREA = $\frac{160}{160}$ SQ FT
 ATTIC CALCULATION: $160 \times 144 = 23,040$ SQ. IN. /150 = 154 SQ. IN.
 REQUIRED VENT AREA = 154 SQ. IN.
 VENT ARE PROVIDED = PROVIDE OHAGIN CLOAKED
 154 SQ. IN. / 98.75 SQ. IN. = 2 VENTS
 PLACE VENTS ON THE UPPER 1/3 OF ROOF AND SCREENED 2" DIA. HOLED VENTS IN THE EAVE TO PROVIDE FOR 154 SQ. IN. OF VENTING. EVENLY SPACE THROUGH-OUT

LOUNGE AND MECHANICAL ROOM

PROPOSED ATTIC AREA = $\frac{330}{330}$ SQ FT
 ATTIC CALCULATION: $330 \times 144 = 47,520$ SQ. IN. /150 = 317 SQ. IN.
 REQUIRED VENT AREA = 317 SQ. IN.
 VENT ARE PROVIDED = PROVIDE OHAGIN CLOAKED
 317 SQ. IN. / 98.75 SQ. IN. = 3 VENTS
 PLACE VENTS ON THE UPPER 1/3 OF ROOF AND SCREENED 2" DIA. HOLED VENTS IN THE EAVE TO PROVIDE FOR 317 SQ. IN. OF VENTING. EVENLY SPACE THROUGH-OUT

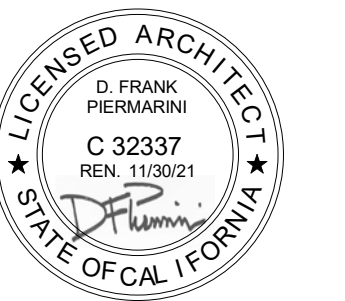
THE DRAWINGS, IDEAS, AND EMBODIED DESIGNS HEREIN ARE THE PROPERTY OF STEEL BUILDERS INC. AND SHALL NOT BE COPIED, REPRODUCED, DISCLOSED TO OTHERS OR USED IN CONNECTION WITH ANY WORK OTHER THAN THE SPECIFIED PROJECT FOR WHICH THEY HAVE BEEN PREPARED. IN WHOLE OR IN PART, WITHOUT THE WRITTEN AUTHORIZATION OF STEEL BUILDERS INC.

STEEL BUILDERS
DESIGN • BUILD • INTEGRATION

7950 DUNBROOK RD, SAN DIEGO, CA 92126
(619) 334-3322 • Lic# 877267

QUYEN NGUYEN
5268 LA JOLLA BLVD, LA JOLLA, CA 92037

SHEET TITLE:
ROOF PLAN



REVISIONS

NO.	DESCRIPTION
1	

SYMBOL LEGEND

- (N) ROOF LINEAR RIDGE VENT VENTILATION (TYP.)
- (N) ROOF VENT PER VENTILATION CALCS (TYP.)
- ↔ DIRECTION OF ROOF SLOPE
- 4:12 PITCH AT ROOF SLOPE (SEE ROOF PLAN AND EXTERIOR ELEVATIONS) FOR ADDITIONS TO MATCH SLOPE FIELD VERIFY EXISTING CONDITIONS

2ND SUBMITTAL

3-8-2021

DRAWN BY

D.F. PIERMARINI

SHEET NUMBER:

A-6.1

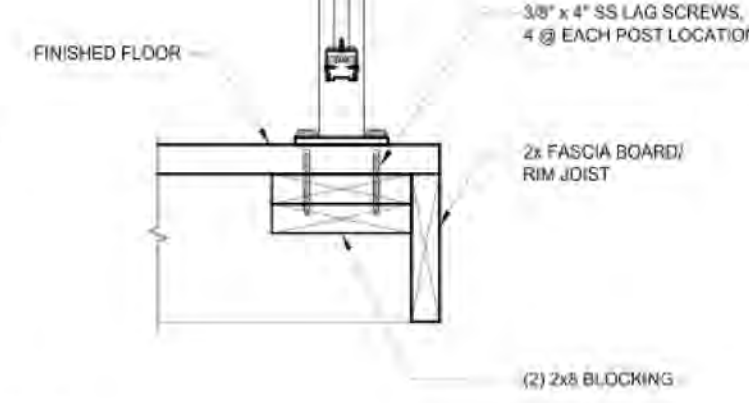
GUARDRAIL CALCULATIONS

CR LAURENCE ALUMINUM RAIL SYSTEM (ARS) Page 16 of 68 04/04/2018

BASE PLATE MOUNTED TO WOOD - SINGLE FAMILY RESIDENCE

36" GUARDS
For 200# top load and 36" post height: $M = 200 \times 36 = 7,200 \text{#}$
 $T_{200} = \frac{7,200}{2 \times 4.375} = 823 \text{#}$

Adjustment for wood bearing:
Bearing Area Factor:
 $C_u = (5'' + 0.375) / 5'' = 1.075$
 $a = 2 \times 823 / (1.075 \times 62.5 \text{psi} \times 5'') = 0.49''$
 $T = 7,200 / (2 \times (4.375 - 0.49 / 2)) = 872 \text{#}$



Required embed depth:
Lag screw strength calculated according to NDS 2015.
Assume $G=0.43$
 $W = 243 \text{pli}$
 $C_u = 1.6$ for wind load or for guard live loads
 $C_u = 0.7$ when wood substrate is not protected from moisture
 $W = 243 \text{pli} \times 1.6 = 389 \text{pli}$ for protected condition
 $W = 243 \text{pli} \times 1.6 \times 0.7 = 272 \text{pli}$ for unprotected condition

For protected installations the minimum embedment is:
 $l_e = 872 \text{#} / 389 \text{#} / \text{in} = 2.24''$; +7/32" for tip = 2.46"
4X blocking recommended, may require thicker blocking

For weather exposed installations the minimum embedment is:
 $l_e = 872 \text{#} / 272 \text{#} / \text{in} = 3.21''$; +7/32" for tip = 3.42"
FOR 36" HIGH WEATHER EXPOSED INSTALLATIONS USE 5" LAG SCREWS AND INCREASE BLOCKING TO 4.5" MINIMUM THICKNESS.

42" HIGH GUARDS

For 200# top load and 42" post height: $M = 200 \times 42 = 8,400 \text{#}$
 $T_{200} = \frac{8,400}{2 \times 4.375} = 960 \text{#}$

Adjustment for wood bearing:
 $a = 2 \times 960 / (1.075 \times 62.5 \text{psi} \times 5'') = 0.572''$
 $T = 8,400 / (2 \times (4.375 - 0.572 / 2)) = 1,027 \text{#}$

Required embed depth:
For protected installations the minimum embedment is:
 $l_e = 1,027 \text{#} / 389 \text{#} / \text{in} = 2.64''$; +7/32" for tip = 2.86"
4.5" minimum lag length.

For weather exposed installations the minimum embedment is:
 $l_e = 1,027 \text{#} / 272 \text{#} / \text{in} = 3.78''$; +7/32" for tip = 3.99"

FOR 42" HIGH WEATHER EXPOSED INSTALLATIONS USE 6" LAG SCREWS AND INCREASE BLOCKING TO 5.5" MINIMUM THICKNESS.

EDWARD C. ROBISON, PE
10012 Creviston Dr NW
Gig Harbor, WA 98329
253-858-0855/Fax 253-858-0856 elrobison@narrows.com

CR LAURENCE ALUMINUM RAIL SYSTEM (ARS) Page 17 of 68 04/04/2018

SOLID WOOD BLOCKING THICKNESS SHALL BE ADEQUATE FOR FULL LAG LENGTH.

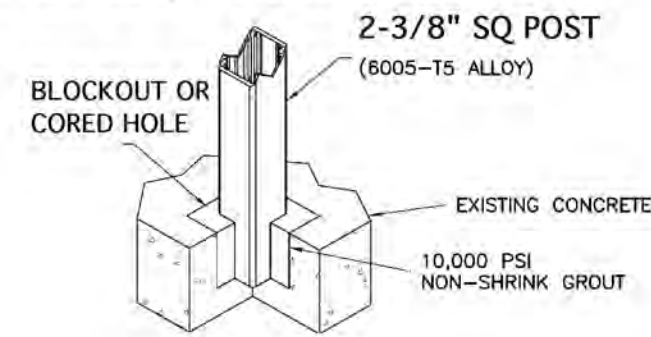
THROUGH BOLTING OPTION

3/8" Stainless steel bolts with heavy washers bearing on the wood may be used through the solid wood blocking with a minimum 3" nominal thickness.

CORE MOUNTED POSTS

Mounted in either 4"x4"x4" blockout, or 2-3/8" to 6" dia by 4" deep cored hole.
Assumed concrete strength 2,500 psi for existing concrete

Max load - 6" x 50 plf = 300#
 $M = 300 \times 42 = 12,600 \text{#}$



Check grout reactions
From $\Sigma M_{PI} = 0$

$P_U = \frac{12,600 \text{#} + 300 \text{#} \times 3.33''}{2.67''} = 5,093 \text{#}$

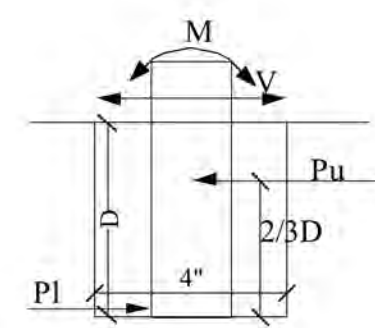
$f_{Bmax} = \frac{5,093 \text{#} \times 2 \times 1 / 0.85}{2 \times 2.375''} = 2,523 \text{ psi post to grout}$

$f_{Bconc} = 2,523 \times 2 / 4'' = 1,262 \text{ psi grout to concrete}$

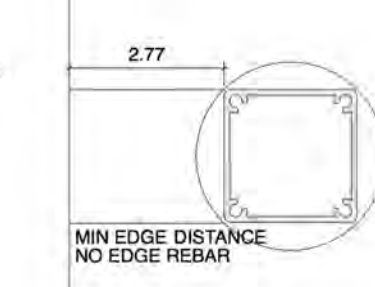
Core mount okay for 6" post spacing

MINIMUM EDGE DISTANCE:

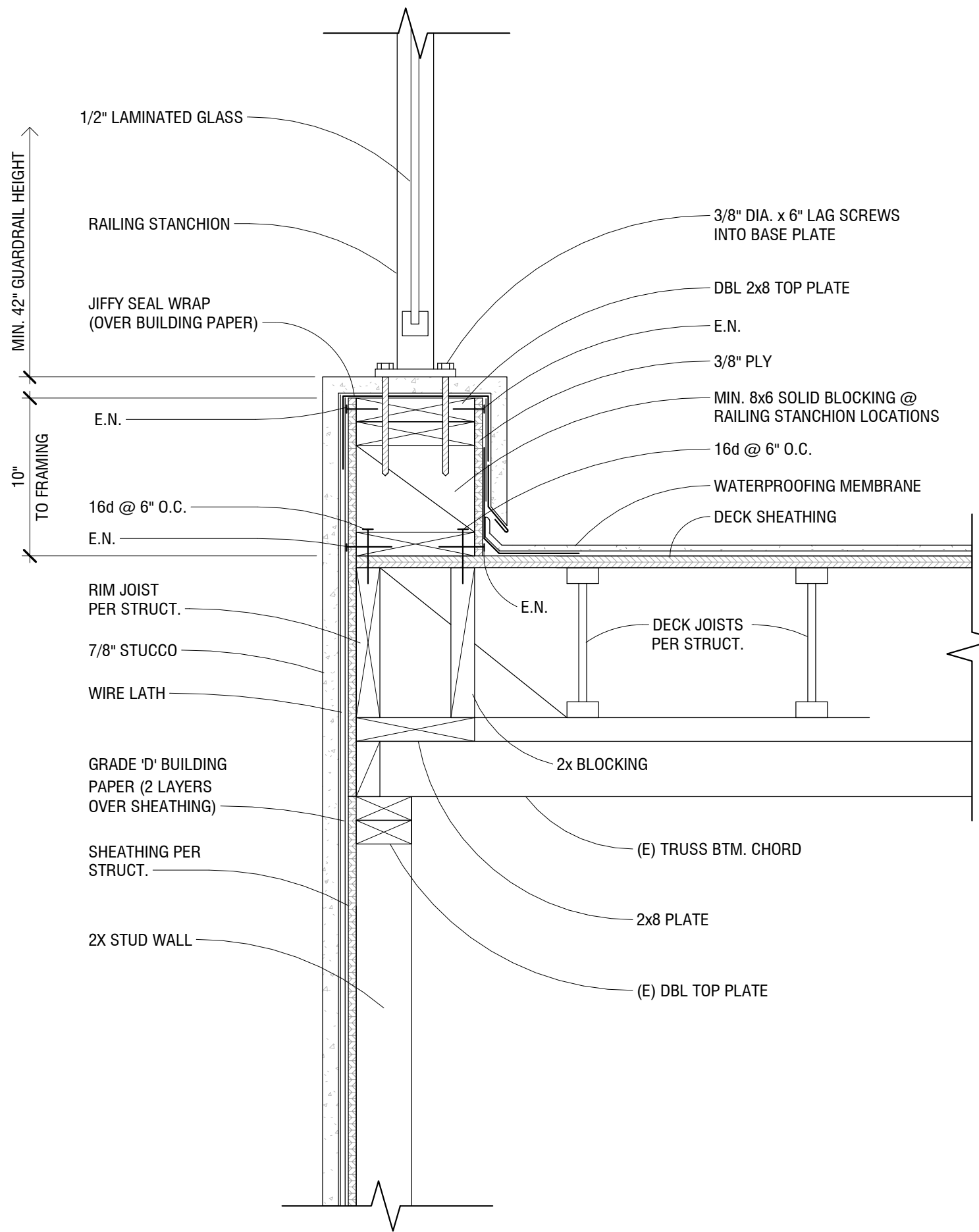
When #4 or larger rebar is installed along slab edge between the post and slab edge the minimum edge distance from edge of hole to slab edge is 1-1/4".



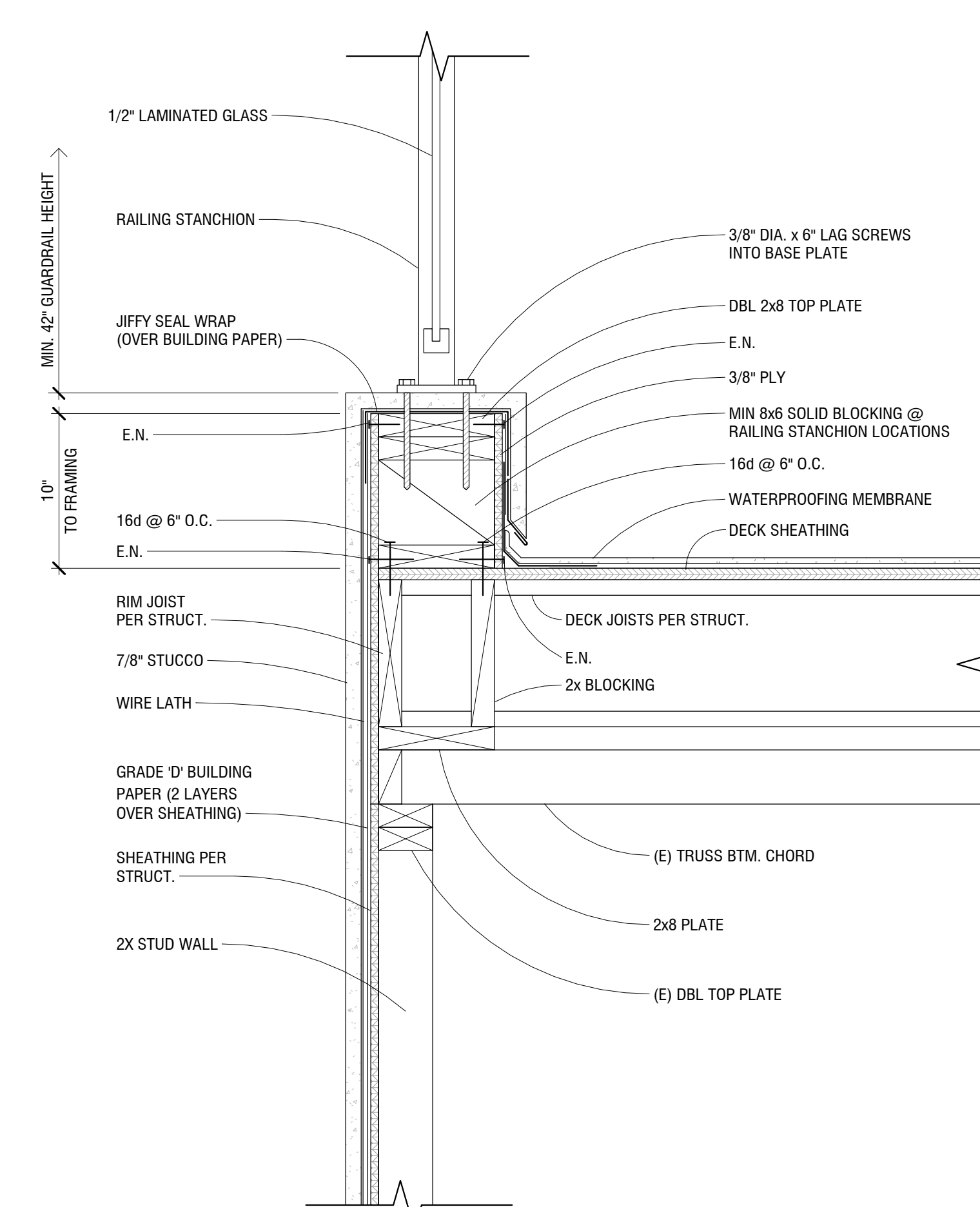
When no rebar is present required edge distance:
Assume that embed is only near one edge and that slab thickness is greater than 1.5C₁



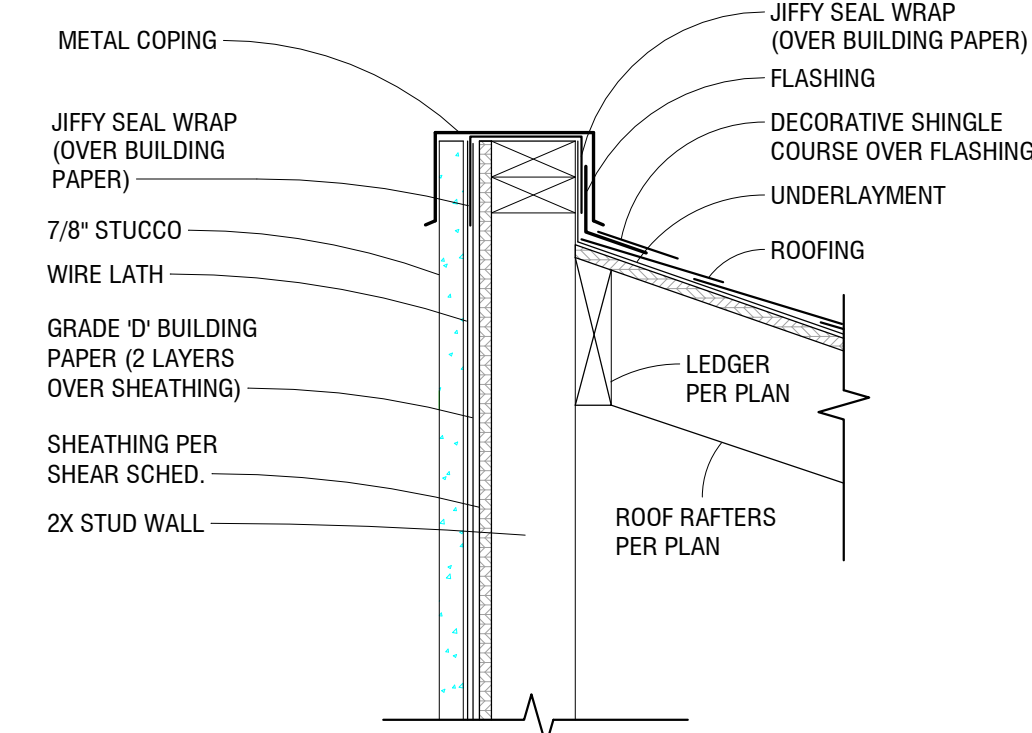
EDWARD C. ROBISON, PE
10012 Creviston Dr NW
Gig Harbor, WA 98329
253-858-0855/Fax 253-858-0856 elrobison@narrows.com



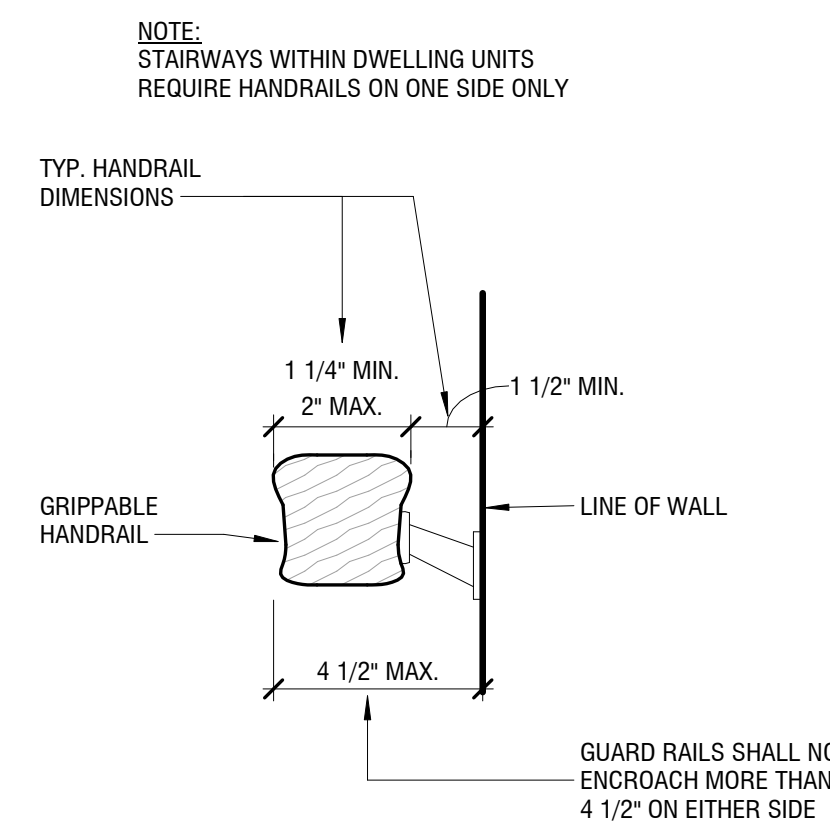
1 DECK PARAPET & RAILING ATTACHMENT
1 1/2" = 1'-0"



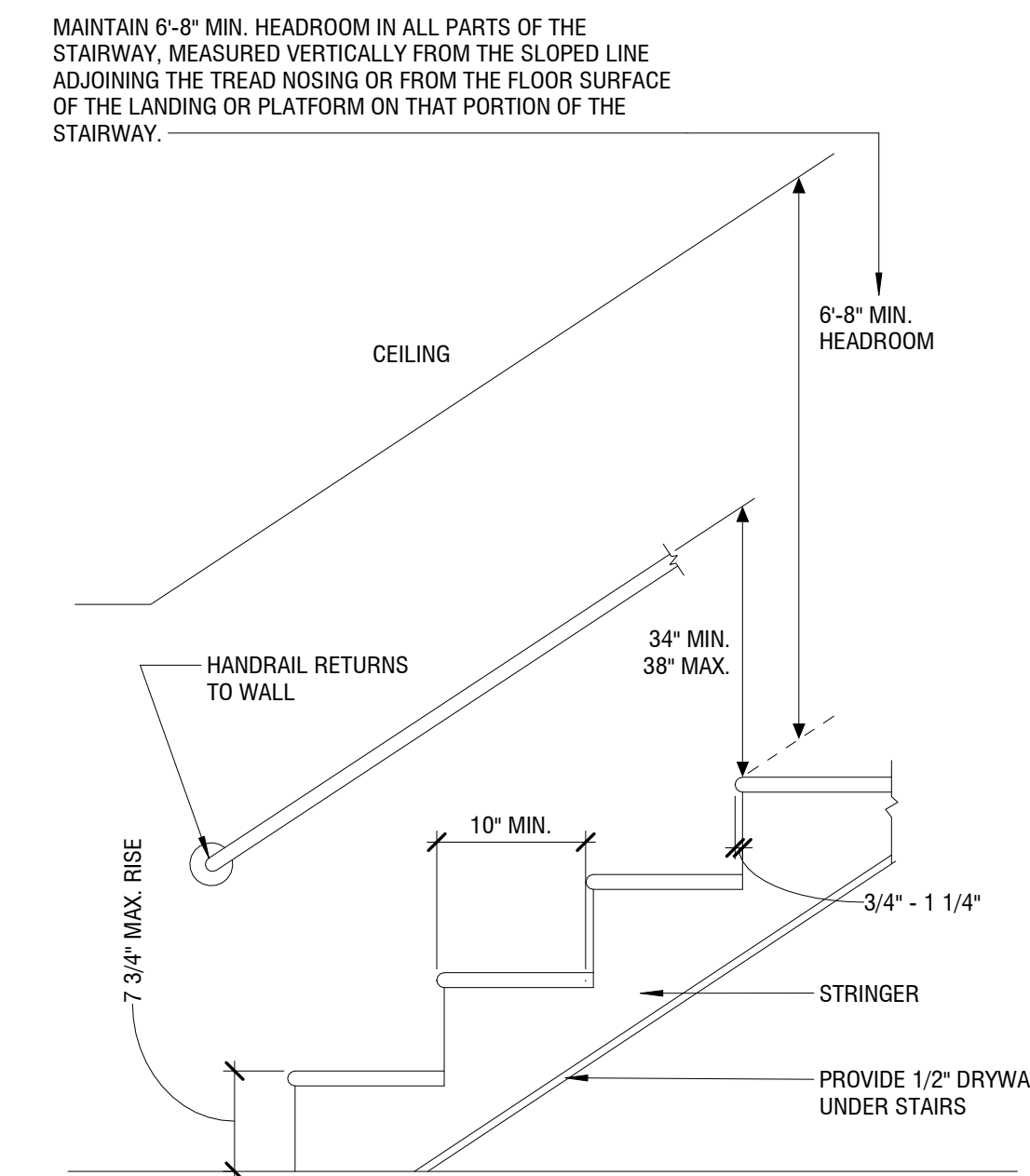
5 DECK PARAPET & RAILING ATTACHMENT
1 1/2" = 1'-0"



2 COPING DETAIL
1" = 1'-0"



3 TYP. HAND RAIL
3" = 1'-0"



4 TYP. STAIR
1" = 1'-0"

THE DRAWINGS, IDEAS, AND EMBODIED DESIGNS HEREIN ARE THE PROPERTY OF STEEL BUILDERS INC. AND SHALL NOT BE COPIED, REPRODUCED, DISSEMINATED OR USED IN CONNECTION WITH ANY WORK OTHER THAN THE SPECIFIED PROJECT FOR WHICH THEY HAVE BEEN PREPARED. IN WHOLE OR IN PART, WITHOUT THE PRIOR WRITTEN AUTHORIZATION OF STEEL BUILDERS INC.

STEEL BUILDERS
DESIGN • BUILD • INTEGRATION
7950 DUNBROOK RD, SAN DIEGO, CA 92126
(619) 334-3322 • Lic# 877267

QUYEN NGUYEN
5268 LA JOLLA BLVD, LA JOLLA, CA 92037
SHEET TITLE:
ARCHITECTURAL DETAILS

REGISTERED ARCHITECT
D. FRANK PIERMARINI
C 32337
REN. 11/20/21
STATE OF CALIFORNIA

REVISIONS	
1	

2ND SUBMITTAL
3-8-2021
DRAWN BY
D.F. PIERMARINI
SHEET NUMBER:

A-8.1

