



THE CITY OF SAN DIEGO

Report to the Hearing Officer

DATE ISSUED: JULY 19, 2023 REPORT NO. HO-23-033

HEARING DATE: JULY 26, 2023

SUBJECT: 6309 & 6311 SKYLINE DRIVE, Process Three Decision

PROJECT NUMBER: [688232](#)

OWNER/APPLICANT: JOHN VO AND MYLY THI DANG, Owners/Applicants

SUMMARY

Issue: Should the Hearing Officer approve the subdivision of one parcel into four parcels and the construction of two new single-family dwelling units and two future accessory dwelling units with deviations to minimum lot frontage, minimum lot depth, and minimum side setbacks at 6309 and 6311 Skyline Drive in the Encanto Neighborhoods Plan area?

Proposed Action:

1. Approve Tentative Map No. 2554126 and Neighborhood Development Permit No. 2554128.

Fiscal Considerations: There are no City expenditures being approved with this action. All processing costs are paid through a deposit account by the applicant.

Community Planning Group Recommendation: On November 21, 2022, the Chollas Valley Community Planning Group voted 8-0 with no abstentions to recommend approval of the proposed project without conditions/recommendations.

Environmental Impact: This project was determined to be categorically exempt from the California Environmental Quality Act (CEQA) pursuant to section 15332 (In-Fill Development Projects). This project is not pending an appeal of the environmental determination. The environmental exemption determination for this project was made on May 2, 2023, and the opportunity to appeal that determination ended May 16, 2023.

BACKGROUND

The 0.86-acre project site is located at 6309 & 6311 Skyline Drive in the RS-1-7 zone and the Encanto Neighborhoods Community Plan (ENCP), which designates the site Residential-Low (5-9 dwelling

units per acre [du/ac]). The project is also within the following overlay zones: Airport Land Use Compatibility Noise Contours (San Diego International Airport), Airport Influence Area (San Diego International Airport, Review Area 1), Very High Fire Hazard Severity Zone, Parking Standards Transit Priority Area, and Transit Priority Area (TPA).

The project site is within a developed, urban neighborhood and is surrounded by similarly zoned and designated single-family development. It fronts Skyline Drive to the north, single-family homes along Omeara Street to the west, and the Martin Luther King Jr. Recreation Center and Park to the east and south. An existing bus stop is located along the project frontage on Skyline Drive (Attachments 1 and 2).

The existing 38,374-square-foot (SF) project site has been previously impacted by development and grading. Two existing one-story single family dwelling units, to remain, are situated on the southerly half of the parcel. Both units are currently served by an existing shared private driveway that runs north and south along the west side of the parcel from Skyline Drive. The northerly half of the parcel is currently undeveloped (Figure 1).

The project site is not located within or adjacent to the Multiple Habitat Planning Area (MHPA) of the City's Multiple Species Conservation Program and does not contain Environmentally Sensitive Lands (ESL) as defined in San Diego Municipal Code section (SDMC) [113.0103](#).

DISCUSSION

The project requires a Process Three Tentative Map (TM) per SDMC section [125.0410](#) to subdivide one parcel into four parcels, with the Hearing Officer as the decision maker per SDMC section [125.0430](#).

The project also requests several deviations from the SDMC Development Regulations section [131.0431, Table 131-04D](#) to minimum lot frontage, minimum lot depth, and minimum side setbacks. Typically, development that does not comply with all applicable development regulations may be requested with a Planned Development Permit (PDP) decided in accordance with Process Four, with the Planning Commission as the decision maker. However, per SDMC section [126.0603](#), the deviations required to approve the subdivision may be permitted with a Process Two Neighborhood Development Permit (NDP), with staff as the decision maker, because the project is an infill project as described in SDMC section [143.0915\(b\)\(2\)](#) which is a residential or mixed-use development within a Sustainable Development Area.

The TM and NDP are consolidated for Hearing Officer decision pursuant to SDMC section [112.0103](#), with appeal rights to the Planning Commission.

Project Description:

The project proposes to subdivide the existing 38,374 SF parcel into four parcels for the purpose of new development, with two existing houses to remain.

Parcels One and Two:

Parcels One and Two each propose a new 2,098-square-foot single-family dwelling unit and opportunity for a future accessory dwelling unit (ADU), to be processed under a separate future permit. Parcel One will have frontage on Skyline Drive. A 20-foot-wide shared driveway and four-foot sidewalk will provide pedestrian and vehicular access from Skyline Drive to Parcels One and Two (see DW1 in Figure 1 below). A 24-foot-wide private utility and access easement is proposed over this private drive. As the resident of Parcel Two would be required to access their parcel via the private drive through Parcel One, the owner/permittee will be required to record a private access agreement across Parcels One in favor of Parcel Two. During project review, staff determined that the proposed development complies with floor area ratio (Parcel One: 0.56 allowed, 0.24 actual, Parcel Two: 0.58 allowed, 0.31, actual per SDMC [Table 131-04j](#)), off-street parking (two spaces required per parcel per SDMC [Table 142-05B](#), two spaces provided for each parcel), and landscaping.

Parcels Three and Four:

Parcels Three and Four each contain an existing one-story single family dwelling unit to remain and are accessed by an existing shared private driveway (see DW2 in Figure 1 below) on an existing access easement to the west. The existing easement exists in this area for ingress and egress, pipelines, drainage, and/or public utilities and incidental purposes and will remain to continue to provide pedestrian and vehicular access from Skyline Drive. Parcel Four requests a deviation to the north interior side yard setback. No additional development is proposed for Parcels Three and Four.

Figure 1



Deviations:

The project requests three deviations from the SDMC Development Regulations section [131.0431, Table 131.04D](#):

1. Deviations to allow Parcels Two, Three, and Four to provide no street frontage where a minimum 50 feet of street frontage is required in the RS-1-7 zone;
2. Deviations to allow Parcel One to provide a lot depth of 66.69 feet, Parcel Two to provide a lot depth of 56.50 feet, and Parcel Four to provide a lot depth of 88.79 feet, where a minimum lot depth of 95 feet is required in the RS 1-7 zone;
3. A deviation to allow Parcel Four to have a 7.4-foot interior side setback where a minimum interior side setback of 9.59 feet is required in the RS-1-7 zone.

The neighborhood consists of a variety of access points and diverse driveways and, in order to continue the development pattern of the properties just to the west of these parcel. This configuration allows for similar development patterns. In addition, the existing bus stop located along the project's frontage prevents the installation of two new curb cuts on Skyline Drive. The three requested deviations will provide an opportunity for the subdivision, giving each dwelling unit the ability to occupy a separate lot, and creating infill development in support of the ENCP housing policies and goals by increasing the number and types of housing that can be developed on the site, while still providing access to transit in support of the ENCP's Active Transportation goals, complying with the RS-1-7 minimum lot size requirements and remaining within the density range allocated by the ENCP's Residential-Low (5-9 du/ac) designation.

Since Parcels Two, Three, and Four cannot provide a minimum 50 feet of street frontage as proposed, the applicant will mitigate deviation one by providing a 20 foot-wide shared driveway and 4-foot-wide sidewalk that will abut Parcels One and Two, and provide pedestrian and vehicular access from Skyline Drive to said Parcels; the access point to this driveway from Skyline Drive can be seen in Figure 1, labeled DW1. An existing shared private driveway on the existing access easement to the west will continue to provide pedestrian and vehicular access from Skyline Drive to Parcels Three and Four; the access point to this driveway from Skyline Drive can be seen in Figure 1, labeled DW2.

The existing one-story single-family dwelling units on Parcels Three and Four currently have interior side setbacks. No additional development is proposed on these parcels and the existing separation distance between the structures will be maintained. Qualified staff reviewed separation distance from the adjacent structures to ensure fire safety. Deviation three will allow Parcel Four to have a 7.4-foot interior side setback where a minimum interior side setback of 9.59 feet is required, this will provide the opportunity for the subdivision into four parcels while maintaining the current configuration of the existing single family dwelling units located at the rear of the parcel.

The RS-1-7 Zone is a single dwelling residential zone with a minimum 5,000-square-foot lot size. The proposed parcels exceed this requirement. The ENCP designates the site as Low density residential at 5 to 9 du/ac (Attachment 3). The proposed project conforms to the allowed density.

Proposed public improvements include: public right-of-way dedication along Skyline Drive to provide a 14-foot parkway with a non-contiguous 4-foot wide sidewalk, re-construction of an existing two-way driveway on Skyline Drive on the western side of the project site to 14-feet wide, and

construction of a new 20-foot wide two-way driveway on the eastern side of the project site on Skyline Drive. The project will relocate the existing bus stop bench and sign on the project frontage will and construct a new bus stop slab on Skyline Drive along the project frontage. With the exception of the requested deviations described above, the project complies with zoning regulations and setback requirements from adjacent structures to ensure fire safety. The site is within a developed neighborhood with existing infrastructure and served by existing emergency response services.

Conclusion:

Staff has reviewed the proposed project, and all issues identified through the review process have been resolved in conformance with adopted City Council policies, Land Development Code regulations, and the Subdivision Map Act. The requested deviations proposed are appropriate for the project site, and the project conforms to the ENCP and General Plan. Staff has provided draft findings and Permit and Tentative Map conditions (Attachments 4-7) and recommends the Hearing Officer APPROVE Tentative Map No. 2554126 and Neighborhood Development Permit No. 2554128.

ALTERNATIVES

1. Approve Tentative Map No. 2554126 and Neighborhood Development Permit No. 2554128, with modifications.
2. Deny Tentative Map No. 2554126 and Neighborhood Development Permit No. 2554128, if the findings required to approve the project cannot be affirmed.

Respectfully submitted,



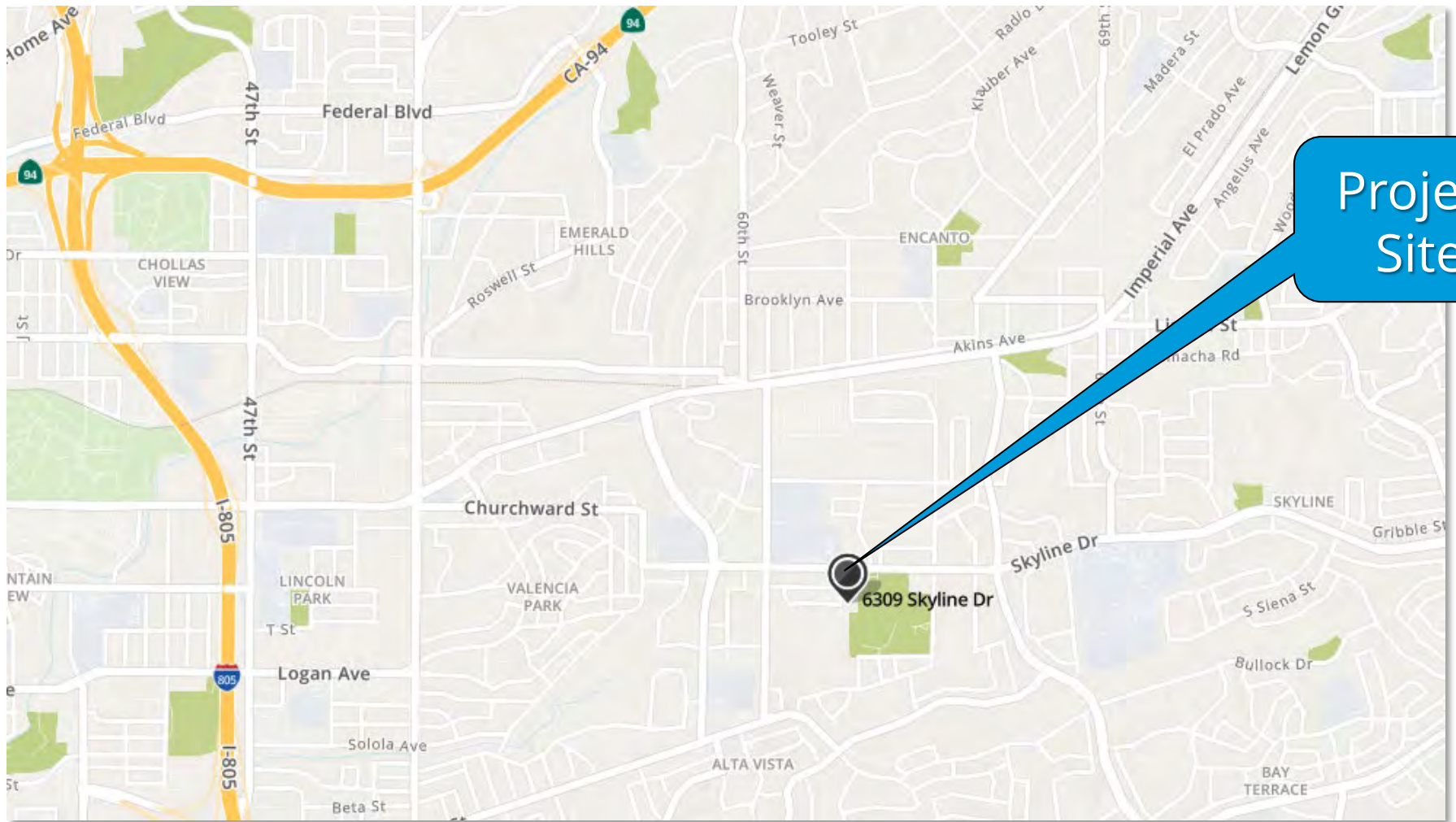
Carrie Lindsay, Development Project Manager

Attachments:

1. Project Location Map
2. Aerial Photograph
3. Community Plan Land Use Map
4. Draft Permit Resolution with Findings
5. Draft Permit with Conditions
6. Draft Tentative Map Resolution with Findings
7. Draft Tentative Map Conditions
8. Environmental Exemption
9. Community Planning Group Recommendation
10. Ownership Disclosure Statement
11. Development Plans and Tentative Map



Project Location Map



6309 and 6311 Skyline Dr - Project Number 669397



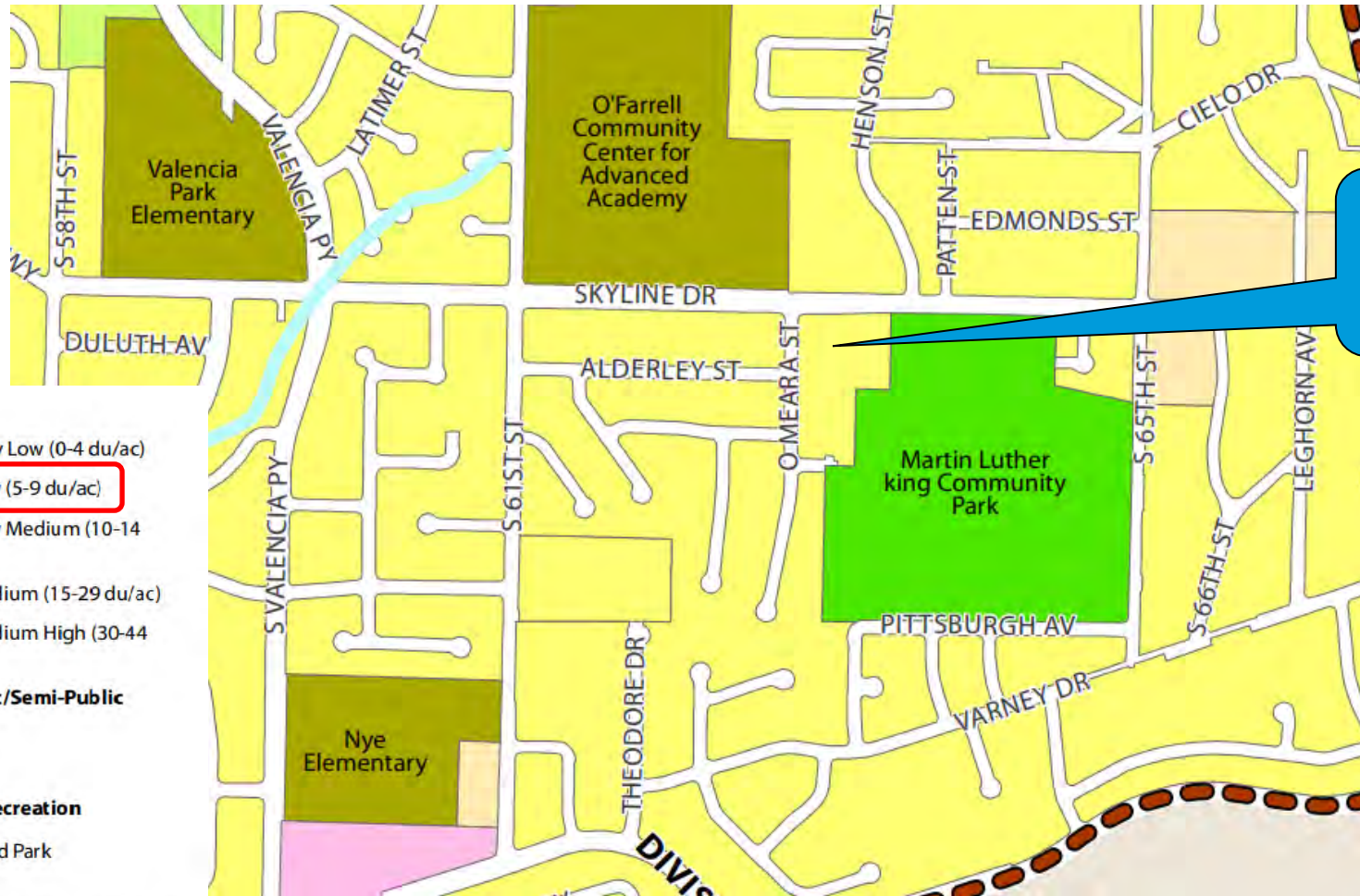
Aerial Photo



6309 and 6311 Skyline Dr - Project Number 669397

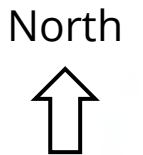


Encanto Neighborhoods Community Plan



- Residential**
- Residential - Very Low (0-4 du/ac)
 - Residential - Low (5-9 du/ac)**
 - Residential - Low Medium (10-14 du/ac)
 - Residential - Medium (15-29 du/ac)
 - Residential - Medium High (30-44 du/ac)
- Institutional and Public/Semi-Public Facilities**
- Institutional
- Parks, Open Space & Recreation**
- Population-based Park
 - Open Space
 - Encanto Neighborhoods Community Plan Boundary

Project Site



6309 and 6311 Skyline Dr - Project Number 669397

HEARING OFFICER RESOLUTION NO. _____
NEIGHBORHOOD DEVELOPMENT PERMIT NO. 2554128
6309 and 6311 SKYLINE DRIVE - PROJECT NO. 688232

WHEREAS, JOHN VO and MYLY THI DANG, Owners/Permittees, filed an application with the City of San Diego for a for Neighborhood Development Permit No. 2554128, and to allow deviations to minimum lot frontage, minimum lot depth, and minimum side setbacks on the four parcels created by associated Tentative Map No. 2554126. Proposed Parcels One and Two each propose a 2,098-square-foot single-family dwelling unit and a future accessory dwelling unit (ADU) (processed under a separate permit). Proposed Parcels Three and Four will each contain an existing single dwelling unit to remain (as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Neighborhood Development Permit No. 2554128), on portions of a 0.86-acre site;

WHEREAS, the project site is located at 6309 and 6311 Skyline Drive (Assessor's Parcel Number [APN] 549-420-1200) in the RS-1-7 zone within the Encanto Neighborhoods Community Plan (ENCP) and the following overlay zones: Airport Land Use Compatibility Noise Contours (San Diego International Airport), Airport Influence Area (San Diego International Airport, Review Area 1), Very High Fire Hazard Severity Zone, Parking Standards Transit Priority Area, and Transit Priority Area (TPA);

WHEREAS, the project site is legally described as: THE EASTERLY 120 FEET IN THE WESTERLY 145 FEET OF THE NORTHERLY 330 FEET OF LOT "C" OF ENCANTO, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA ACCORDING TO MAP THEREOF NO. 749 FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, MAY 6, 1893, EXCEPTING THE NORTH 10 FEET THEREOF; ALSO A RIGHT OF WAY FOR ROAD PURPOSES OVER AND ACROSS THE WEST 25 FEET OF THE NORTH 330 FEET EXCEPTING THE NORTH IO FEET THEREOF OF SAID LOT "C";

WHEREAS, on May 2, 2023, the City of San Diego, as Lead Agency, through the Development Services Department, made and issued an Environmental Determination that the project is exempt from the California Environmental Quality Act (CEQA) (Public Resources Code Section 21000 et seq.) under CEQA Guideline Section 15332 (In-Fill Development) and there was no appeal of the Environmental Determination filed within the time period provided by San Diego Municipal Code Section 112.0520; and

WHEREAS, on July 26, 2023, the Hearing Officer of the City of San Diego considered Neighborhood Development Permit No. 2554128 (and the associated Tentative Map No. 2554126) pursuant to the Land Development Code of the City of San Diego;

BE IT RESOLVED by the Hearing Officer of the City of San Diego, that it adopts the following findings with respect to Neighborhood Development Permit No. 2554128:

A. NEIGHBORHOOD DEVELOPMENT PERMIT [San Diego Municipal Code Section 126.0404]

1. Findings for all Neighborhood Development Permits:

a. The proposed development will not adversely affect the applicable land use plan.

The 0.86-acre project site is located at 6309 and 6311 Skyline Drive (APN 549-420-1200) in the RS-1-7 (Residential – Single Unit) zone, and within the Airport Land Use Compatibility Noise Contours (San Diego International Airport), Airport Influence Area (San Diego International Airport, Review Area 1), Very High Fire Hazard Severity Zone, Parking Standards Transit Priority Area, and Transit Priority Area (TPA) Overlays of ENCP area.

The existing 38,374-square-foot (SF) project site contains two existing one-story single family dwelling units, to remain, situated on the southerly half of the parcel. Both units are currently served by an existing shared private driveway that runs north and south along the west side of the parcel from Skyline Drive. The northerly half of the parcel is vacant and has been previously graded.

The associated Tentative Map No. 2554126 proposes to subdivide the existing 38,374 SF parcel into four parcels. Parcels One and Two each propose a 2,098 square-foot single-family dwelling unit and opportunity for a future accessory dwelling unit (ADU), processed under a separate permit. Parcels Three and Four each contain an existing single-family dwelling unit to remain.

The project requests several deviations from the San Diego Municipal Code (SDMC) Development Regulations section 131.0431, Table 131-04D including:

1. Deviations to allow Parcels Two, Three, and Four to provide no street frontage where a minimum 50 feet of street frontage is required in the RS-1-7 zone;
2. Deviations to allow Parcel One to provide a lot depth of 66.69 feet, Parcel Two to provide a lot depth of 56.50 feet, and Parcel Four to provide a lot depth of 88.79 feet, where a minimum lot depth of 95 feet is required in the RS 1-7 zone;
3. A deviation to allow Parcel Four to have a 7.4-foot interior side setback where a minimum interior side setback of 9.59 feet is required in the RS-1-7 zone.

The ENCP designates the project site as Residential-Low density (5-9 du/ac). This designation is intended for areas with predominantly single-family residential development on small lots. Single-family homes may be arranged as standalone detached units, with modest front, rear, and side yards. The ENCP contains several policies related to the preservation of single-family residential neighborhoods. Although the project site has already been developed, the 38,374 square foot parcel provides an opportunity for infill development through the construction of new single-family dwelling units and opportunity for future ADUs on the lower density residential sites.

Policy P-LU-17 states that the City should encourage higher densities within a half mile of transit that accommodates a range of housing types and provides support for increased transit service. The project will provide two new single-family dwelling units and opportunity for future ADUs, increasing the number of, and types of housing on the existing 38,374 square-foot parcel near transit because the project site is within the Transit Priority Area (TPA) and an existing transit stop is located along the project frontage on Skyline Drive which will benefit from conditioned public improvements in the right-of-way as a result of the project.

Policy P-LU-20 states that the City should preserve the existing stable, well-maintained single-family neighborhoods surrounding the transit corridors. The project is consistent with the density of the underlying zone and conforms to this policy. The ENCP designates the site as Low density residential at 5 to 9 du/ac which the project conforms; the proposed residential use is conforming.

Policy P-LU-25 states that the City should support the development of companion housing units in lower density areas to provide additional residential units, opportunities for co-generational habitation, and a tool for low-income homeowners to meet their mortgage obligations. Because the project facilitates opportunity for future development of ADUs, it supports this policy.

Policy P-LU-28 suggests balancing new development with the rehabilitation of high-quality older residential development, the subdivision of a single parcel into four parcels that will retain two existing single-family dwelling units and propose development of two new single-family dwelling units and opportunity for two future ADUs supports this policy.

The RS-1-7 Zone is a single dwelling residential zone and requires a minimum 5,000-square-foot lot per residential unit. The proposed parcel sizes exceed this requirement, proposed Parcel One: 8,613 square-feet, proposed Parcel Two: 6,775 square-feet, proposed Parcel Three: 11,552 square-feet, proposed Parcel Four: 10,680 square-feet.

The neighborhood consists of a variety of access points and diverse driveways and, in order to continue the development pattern of the properties just to the west of these parcel. This configuration allows for similar development patterns. In addition, the existing bus stop located along the project's frontage prevents the installation of two new curb cuts on Skyline Drive. The three requested deviations will provide an opportunity for the subdivision, giving each dwelling unit the ability to occupy a separate lot, and creating infill development in support of the ENCP housing policies and goals by increasing the number and types of housing that can be developed on the site, while still providing access to transit in support of the ENCP's Active Transportation goals, complying with the RS-1-7 minimum lot size requirements and remaining within the density range allocated by the ENCP's Residential-Low (5-9 du/ac) designation; therefore, the proposed development will not adversely affect the applicable land use plan.

b. The proposed development will not be detrimental to the public health, safety, and welfare.

The permit controlling the development and use of the proposed project for this site contains specific conditions addressing compliance with the City's codes, policies, regulations and other regional, state, and federal regulations to prevent detrimental impacts to the health, safety and general welfare of persons residing and/or working in the area. Conditions of approval require the review and approval of all construction plans by staff prior to construction to confirm the construction of the project will comply with all applicable regulations. The construction will be inspected by certified building and engineering inspectors to assure construction is in accordance with the approved plans and with all applicable regulations.

The project includes conditions and corresponding exhibits of approval that will enhance the area include installation of public improvements in order to achieve compliance with the regulations of the SDMC including: public right-of-way dedication along Skyline Drive to provide a 14-foot parkway with non-contiguous 4-foot-wide sidewalk, re-construction of an existing two-way driveway on Skyline Drive on the existing access easement to the west to 14-feet wide, and construction of a new 20-foot wide two-way driveway on the eastern side of the project site on Skyline Drive, installation of new planting, irrigation and landscape related improvements, implementation of a Water Pollution Control Plan, storm water construction best

management practices, and new water and sewer service(s). The project will relocate the existing bus stop bench and sign on the project frontage and construct a new bus stop slab on Skyline Drive along the project frontage.

The geotechnical investigation prepared by Advanced Geotechnical Solutions, Inc. dated November 9, 2021, indicated that the site has been previously impacted by development with previous grading of the northernly portion having occurred around 1971 as shown in a 1971 aerial photograph. Prior to the issuance of any grading or building permit, the project has been conditioned to submit a geotechnical investigation report that specifically addresses the proposed construction plans.

With exception of the requested deviations, the project complies with zoning regulations and setback requirements from adjacent structures to ensure fire safety. The site is within a developed neighborhood with existing infrastructure and served by existing emergency response services. Therefore, the proposed development will not be detrimental to the public health, safety, and welfare.

c. The proposed development will comply with the applicable regulations of the Land Development Code including any allowable deviations pursuant to the Land Development Code.

The project proposes to subdivide the existing 38,374 SF parcel into four parcels. Parcels One and Two each propose a 2,098-square-foot single-family dwelling unit and opportunity for a future ADU, processed under a separate permit. Parcels Three and Four each contain an existing single-family dwelling unit to remain.

The project requests several deviations from the SDMC Development Regulations section 131.0431, Table 131-04D including:

1. Deviations to allow Parcels Two, Three, and Four to provide no street frontage where a minimum 50 feet of street frontage is required in the RS-1-7 zone;
2. Deviations to allow Parcel One to provide a lot depth of 66.69 feet, Parcel Two to provide a lot depth of 56.50 feet, and Parcel Four to provide a lot depth of 88.79 feet, where a minimum lot depth of 95 feet is required in the RS 1-7 zone;
3. A deviation to allow Parcel Four to have a 7.4-foot interior side setback where a minimum interior side setback of 9.59 feet is required in the RS-1-7 zone.

Per SDMC 126.0602(b)(1), Development that does not comply with all base zone regulations, or all development regulations may be requested with a Planned Development Permit (PDP) decided in accordance with Process Four. However, per SDMC 126.0603, an exemption from a PDP is applicable because the project is an infill project as described in section 143.0915(b)(2) which is a residential or mixed-use

development within a Sustainable Development Area. The project site is within the Transit Priority Area (TPA), Mobility Zone 2 and has a bus transit stop along the project frontage, meeting the definition of a Sustainable Development Area per SDMC 113.0103. Therefore, the deviations required to approve the subdivision may be permitted with a Process Two Neighborhood Development Permit.

The neighborhood consists of a variety of access points and diverse driveways and, in order to continue the development pattern of the properties just to the west of these parcel. This configuration allows for similar development patterns. In addition, the existing bus stop located along the project's frontage prevents the installation of two new curb cuts on Skyline Drive. The three requested deviations will provide an opportunity for the subdivision, giving each dwelling unit the ability to occupy a separate lot, and creating infill development in support of the ENCP housing policies and goals by increasing the number and types of housing that can be developed on the site, while still providing access to transit in support of the ENCP's Active Transportation goals, complying with the RS-1-7 minimum lot size requirements and remaining within the density range allocated by the ENCP's Residential-Low (5-9 du/ac) designation.

Since Parcels Two, Three, and Four cannot provide a minimum 50 feet of street frontage as proposed, the applicant will mitigate deviation one by providing a 20 foot-wide shared driveway and 4-foot-wide sidewalk that will abut Parcels One and Two, and provide pedestrian and vehicular access from Skyline Drive to Parcels One and Two. A 24-foot-wide private utility and access easement is proposed over this private drive. As the resident of Parcel Two would be required to access their parcel via the private drive through Parcel One, the owner/permittee will be required to record a private access agreement across Parcels One in favor of Parcel Two.

The proposed development complies with floor area ratio (Parcel One: 0.56 allowed, 0.24 actual, Parcel Two: 0.58 allowed, 0.31, actual per SDMC Table 131-04J), off-street parking (two spaces required per parcel per SDMC Table 142-05B, two spaces provided for each parcel), and landscaping.

An existing shared private driveway that is located within an existing access easement to the west will continue to provide pedestrian and vehicular access from Skyline Drive to Parcels Three and Four. The existing one-story single-family dwelling units on Parcels Three and Four currently have interior side setbacks. No additional development is proposed on these parcels and the existing separation distance between the structures will be maintained. Qualified staff reviewed separation distance from the adjacent structures to ensure fire safety. Deviation three will allow Parcel Four to have a 7.4-foot interior side setback where a minimum interior side setback of 9.59 feet is required. This will provide the opportunity for the subdivision into four parcels while maintaining the current configuration of the existing single family dwelling units located at the rear of the parcel.

The site is located in an existing residential community that can be adequately serviced by all required utilities and public services. Therefore, the proposed

development will comply with the applicable regulations of the Land Development Code including any allowable deviations pursuant to the Land Development Code.

2. Supplemental Findings -- Affordable Housing, In-Fill Projects, or Sustainable Buildings Deviation:

a. The development will materially assist in accomplishing the goal of providing affordable housing, in-fill projects, or sustainable buildings opportunities.

The project proposes to subdivide the existing 38,374 SF parcel into four parcels. Parcels One and Two each propose a 2,098-square-foot single-family dwelling unit and opportunity for a future ADU, processed under a separate permit. Parcels Three and Four each contain an existing single-family dwelling unit to remain.

The ENCP designates the project site as Residential-Low (5-9 du/ac). This designation is intended for areas with predominantly single-family residential development on small lots. Single-family homes may be arranged as standalone detached units, with modest front, rear, and side yards. The ENCP contains several policies related to the preservation of single-family residential neighborhoods. Although the project site has already been impacted and graded, the 38,374 square foot parcel provides an opportunity for infill development through the construction of new single-family dwelling units and future ADUs on the lower density residential sites.

The requested deviations facilitate project compliance with the density required by the ENCP, and the proposed project qualifies as an infill development as described in SDMC section 143.0915(b)(2) which is a residential or mixed-use development within a Sustainable Development Area. The project site is within the Transit Priority Area (TPA), Mobility Zone 2 and has a bus transit stop along the project frontage, meeting the definition of a Sustainable Development Area per SDMC 113.0103.

The project proposes two 2,098-square-foot single-family dwelling units and opportunity for two future ADUs alongside existing single-family units that will remain, which supports the housing policies and goals of the ENCP as described in Finding A.1.a above, which is hereby incorporated by reference. Therefore, the development will materially assist in accomplishing the goal of providing affordable housing, in-fill projects, or sustainable buildings opportunities.

b. Any proposed deviations are appropriate for the proposed location.

The project requests several deviations from the SDMC Development Regulations section 131.0431, Table 131-04D to minimum lot frontage, minimum lot depth, and minimum side setbacks in the RS-1-7 zone, as described in Finding A.1.c.

The neighborhood consists of a variety of access points and diverse driveways and, in order to continue the development pattern of the properties just to the west of these parcel. This configuration allows for similar development patterns. In addition, the existing bus stop located along the project's frontage prevents the installation of two new curb cuts on Skyline Drive. The three requested deviations will provide an

opportunity for the subdivision, giving each dwelling unit the ability to occupy a separate lot, and creating infill development in support of the ENCP housing policies and goals by increasing the number and types of housing that can be developed on the site, while still providing access to transit in support of the ENCP's Active Transportation goals, complying with the RS-1-7 minimum lot size requirements and remaining within the density range allocated by the ENCP's Residential-Low (5-9 du/ac) designation.

Since Parcels Two, Three, and Four cannot provide a minimum 50 feet of street frontage as proposed, the applicant will mitigate deviation one by providing a 20-foot-wide shared driveway and 4-foot-wide sidewalk that will abut Parcels One and Two, and provide pedestrian and vehicular access from Skyline Drive to Parcels One and Two. A 24-foot-wide private utility and access easement is proposed over this private drive. As the resident of Parcel Two would be required to access their parcel via the private drive through Parcel One, the owner/permittee will be required to record a private access agreement across Parcels One in favor of Parcel Two.

The proposed development on Parcels One and Two complies with floor area ratio (Parcel One: 0.56 allowed, 0.24 actual, Parcel Two: 0.58 allowed, 0.31, actual per SDMC Table 131-04J), off-street parking (two spaces required per parcel per SDMC Table 142-05B, two spaces provided for each parcel), and landscaping.

An existing shared private driveway adjacent to the westerly side of the parcel will continue to provide pedestrian and vehicular access from Skyline Drive to Parcels Three and Four. The existing one-story single-family dwelling units on Parcels Three and Four currently have interior side setbacks. No additional development is proposed on these parcels and the existing separation distance between the structures will be maintained. Qualified staff reviewed separation distance from the adjacent structures to ensure fire safety. Deviation three will allow Parcel Four to have a 7.4-foot interior side setback where a minimum interior side setback of 9.59 feet is required. This will provide the opportunity for the subdivision into four parcels while maintaining the current configuration of the existing single family dwelling units located at the rear of the parcel. Therefore, the proposed deviations are appropriate for the proposed location.

The above findings are supported by the minutes, maps and exhibits, all of which are incorporated herein by this reference.

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the Hearing Officer, Neighborhood Development Permit No. 2554128 is hereby GRANTED by the Hearing Officer to the referenced Owner/Permittee, in the form, exhibits, terms and conditions as set forth in

Neighborhood Development Permit No. 2554128, a copy of which is attached hereto and made a part hereof.

Carrie Lindsay
Development Project Manager
Development Services

Adopted on: July 26, 2023

IO#: 24009066

DRAFT

RECORDING REQUESTED BY
CITY OF SAN DIEGO
DEVELOPMENT SERVICES
PERMIT INTAKE, MAIL STATION
501

WHEN RECORDED MAIL TO
PROJECT MANAGEMENT
PERMIT CLERK
MAIL STATION 501

INTERNAL ORDER NUMBER: 24009066

SPACE ABOVE THIS LINE FOR RECORDER'S USE

NEIGHBORHOOD DEVELOPMENT PERMIT NO. 2554128
6309 AND 6311 SKYLINE DRIVE - PROJECT NO. 688232
HEARING OFFICER

This Neighborhood Development Permit No. 2554128 is granted by the Hearing Officer of the City of San Diego to JOHN VO and MYLY THI DANG, Owners/Permittee, pursuant to San Diego Municipal Code [SDMC] section 126.0402. The 0.86-acre project site is located at 6309 and 6311 Skyline Drive (Assessor's Parcel Number [APN] 549-420-1200) in the RS-1-7 zone, and within the Airport Land Use Compatibility Noise Contours (San Diego International Airport), Airport Influence Area (San Diego International Airport, Review Area 1), Very High Fire Hazard Severity Zone, Parking Standards Transit Priority Area, and Transit Priority Area (TPA) Overlays of the Encanto Neighborhoods Community Plan area. The project site is legally described as: THE EASTERLY 120 FEET IN THE WESTERLY 145 FEET OF THE NORTHERLY 330 FEET OF LOT "C" OF ENCANTO, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA ACCORDING TO MAP THEREOF NO. 749 FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, MAY 6, 1893, EXCEPTING THE NORTH 10 FEET THEREOF; ALSO A RIGHT OF WAY FOR ROAD PURPOSES OVER AND ACROSS THE WEST 25 FEET OF THE NORTH 330 FEET EXCEPTING THE NORTH 10 FEET THEREOF OF SAID LOT "C".

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner/Permittee to allow deviations to minimum lot frontage, minimum lot depth, and minimum side setbacks on the four parcels created by associated Tentative Map No. 2554126, described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated July 26, 2023, on file in the Development Services Department.

The project shall include:

- a. The subdivision of one parcel into four parcels served by private driveways, consistent with Tentative Map No. 2554126;
- b. Development of a new 2,098-square-foot single-dwelling unit (and a new future accessory dwelling unit (ADU), processed under a separate permit) on Parcels One and Two; for a total of two new single-dwelling units and two new ADUs;

- c. Parcels Three and Four each contain an existing single dwelling unit to remain, for a total of two existing housing units to remain;
- d. Deviations from San Diego Municipal Code Development Regulations Section 131.0431, Table 131-04D, including:
 - a. Deviations to allow Parcels Two, Three, and Four to provide no street frontage where a minimum 50 feet of street frontage is required in the RS-1-7 zone;
 - b. Deviations to allow Parcel One to provide a lot depth of 66.69 feet, Parcel Two to provide a lot depth of 56.50 feet, and Parcel Four to provide a lot depth of 88.79 feet, where a minimum lot depth of 95 feet is required in the RS-1-7 zone;
 - c. A deviation to allow Parcel Four to have a 7.4-foot interior side setback where a minimum interior side setback of 9.59 feet is required in the RS-1-7 zone;
- e. Landscaping (planting, irrigation and landscape related improvements);
- f. Off-street parking; and
- g. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act [CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

STANDARD REQUIREMENTS:

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36-month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by August 9, 2026.
2. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
 - a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
 - b. The Permit is recorded in the Office of the San Diego County Recorder.
3. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.

4. This permit shall comply with the conditions of the associated Tentative Map No. 2554126.

5. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.

6. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.

7. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).

8. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.

9. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.

10. All of the conditions contained in this Permit have been considered and were determined necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

11. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to

conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

CLIMATE ACTION PLAN REQUIREMENTS:

12. Owner/Permittee shall comply with the Climate Action Plan (CAP) Consistency Checklist stamped as Exhibit "A." Prior to issuance of any construction permit, all CAP strategies shall be noted within the first three (3) sheets of the construction plans under the heading "Climate Action Plan Requirements" and shall be enforced and implemented to the satisfaction of the Development Services Department.

ENGINEERING REQUIREMENTS:

13. The Neighborhood Development Permit shall comply with the conditions of Tentative Map No. 2554126, satisfactory to the City Engineer.

14. Prior to the issuance of any building permit, the Owner/Permittee shall obtain an Encroachment Maintenance Removal Agreement for the curb outlet, driveway, landscape and irrigation located in the City's right-of-way, satisfactory to the City Engineer.

15. Prior to the issuance of any construction permit, the Owner/Permittee shall incorporate any construction Best Management Practices necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the SDMC, into the construction plans or specifications.

16. Prior to the issuance of any construction permit, the Owner/Permittee shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be drafted in accordance with Part 2, Chapter 4.2 and Appendix 'D' of the City of San Diego Storm Water Standards Manual.

LANDSCAPE REQUIREMENTS:

17. Prior to issuance of any construction permit for grading, the Owner/Permittee shall submit complete construction documents for the revegetation and hydro-seeding of all disturbed land in accordance with the City of San Diego Landscape Standards, Storm Water Design Manual, and to the satisfaction of the Development Services Department. All plans shall be in substantial conformance to this permit (including Environmental conditions) and Exhibit "A," on file in the Development Services Department.

18. Prior to issuance of any construction permit for public improvements, the Owner/Permittee shall submit complete landscape construction documents for right-of-way improvements to the Development Services Department for approval. Improvement plans shall show, label, and

dimension a 40-square-foot area around each tree which is unencumbered by utilities. Driveways, utilities, drains, water and sewer laterals shall be designed so as not to prohibit the placement of street trees.

19. Prior to issuance of any construction permit for building (including shell), the Owner/Permittee shall submit complete landscape and irrigation construction documents, which are consistent with the Landscape Standards, to the Development Services Department for approval. The construction documents shall be in substantial conformance with Exhibit "A," Landscape Development Plan, on file in the Development Services Department. Construction plans shall provide a 40-square-foot area around each tree that is unencumbered by hardscape and utilities unless otherwise approved per SDMC §142.0403(b)6.

20. In the event that a foundation-only permit is requested by the Owner/Permittee, a site plan or staking layout plan, shall be submitted to the Development Services Department identifying all landscape areas consistent with Exhibit "A," Landscape Development Plan, on file in the Development Services Department. These landscape areas shall be clearly identified with a distinct symbol, noted with dimensions, and labeled as 'landscaping area.'

21. The Owner/Permittee shall be responsible for the maintenance of all landscape improvements shown on the approved plans, including in the right-of-way, unless long-term maintenance of said landscaping will be the responsibility of another entity approved by the Development Services Department. All required landscape shall be maintained consistent with the Landscape Standards in a disease, weed, and litter free condition at all times. Severe pruning or "topping" of trees is not permitted.

22. If any required landscape (including existing or new plantings, hardscape, landscape features, etc.) indicated on the approved construction documents is damaged or removed, the Owner/Permittee shall repair and/or replace in kind and equivalent size per the approved documents to the satisfaction of the Development Services Department within 30 days of damage or Certificate of Occupancy.

PLANNING/DESIGN REQUIREMENTS:

23. A topographical survey conforming to the provisions of the SDMC may be required if it is determined, during construction, that there may be a conflict between the building(s) under construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Owner/Permittee.

24. All private outdoor lighting shall be shaded and adjusted to fall on the same premises where such lights are located and in accordance with the applicable regulations in the SDMC.

TRANSPORTATION REQUIREMENTS:

25. All automobile, motorcycle and bicycle parking spaces must be constructed in accordance with the requirements of the SDMC. All on-site parking stalls and aisle widths shall be in compliance with requirements of the City's Land Development Code and shall not be converted and/or utilized for

any other purpose, unless otherwise authorized in writing by the appropriate City decision maker in accordance with the SDMC.

26. Prior to the issuance of any building permit, the Owner/Permittee shall dedicate 5 feet for public right of way purposes along the project's Skyline Drive frontage and assure by permit and bond the construction of a 14-foot parkway (with a 5.5-foot landscape buffer, non-contiguous 4-foot wide sidewalk, and 4.5-foot wide landscape buffer), per Exhibit "A", satisfactory to the City Engineer.

27. Prior to the issuance of any building permit, the Owner/Permittee shall assure by permit and bond the re-construction of an existing two-way driveway to 14 feet on the existing access easement to the west on Skyline Drive, satisfactory to the City Engineer. All improvements shall be completed and operational by the City Engineer prior to first occupancy.

28. Prior to the issuance of any building permit, the Owner/Permittee shall assure by permit and bond the construction of a 20-foot wide, two-way driveway on the eastern side of the project site on Skyline Drive, satisfactory to the City Engineer. All improvements shall be completed and operational by the City Engineer prior to first occupancy.

29. Prior to the issuance of any construction permit, the Owner/Permittee shall record a private access agreement across Parcel 1 in favor of Parcel 2 as shown on Exhibit "A", to the satisfaction of the City Engineer.

30. Prior to the issuance of any building permit, the Owner/Permittee shall assure by permit and bond the relocation of the existing bus stop, bench, and sign along the project site on Skyline Drive, satisfactory to the City Engineer and Metropolitan Transit System, and construct a new bus slab per SDG-102 on Skyline Drive per Exhibit "A". All improvements shall be completed and operational by the City Engineer prior to first occupancy.

PUBLIC UTILITIES:

31. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, the design and construction of new water and sewer service(s) outside of any driveway or drive aisle and the abandonment of any existing unused water and sewer services within the right-of-way adjacent to the project site, in a manner satisfactory to the Public Utilities Department and the City Engineer.

32. Owner/Permittee shall apply for a plumbing permit for the installation of appropriate private back flow prevention device(s), on each water service (domestic, fire and irrigation), in a manner satisfactory to the Public Utilities Department and the City Engineer. Back flow prevention device(s) shall be located above ground on private property, in line with the service and immediately adjacent to the right-of-way.

33. The project will be required to record private sewer and water easement for cross-lot private water and sewer mains from one lot to another.

34. The Owner/Permittee will be required to file Covenants, Conditions and Restrictions (CC&R's), written to the satisfaction of the Public Utilities Department to ensure the future operation and maintenance of all private water and sewer facilities that serve more than a single condominium unit or lot.

35. Prior to the issuance of any building permits, the Owner/Permittee shall obtain an Encroachment Maintenance Removal Agreement, from the City Engineer, for the private sewer main encroaching into the Public Right-of-Way.

GEOLOGY:

36. Prior to the issuance of any construction permits (either grading or building permit), the Owner/Permittee shall submit a geotechnical investigation report prepared in accordance with the City's "Guidelines for Geotechnical Reports" that specifically addressed the proposed construction plans. The geotechnical investigation report shall be reviewed for adequacy by the Geology Section of Development Services prior to the issuance of any construction permit.

INFORMATION ONLY:

- The issuance of this discretionary permit alone does not allow the immediate commencement or continued operation of the proposed use on site. Any operation allowed by this discretionary permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Hearing Officer of the City of San Diego on July 26, 2023, by Resolution No.

_____.

Neighborhood Development Permit No. 2554128
Date of Approval: July 26, 2023

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES DEPARTMENT

Carrie Lindsay
Development Project Manager

**NOTE: Notary acknowledgment
must be attached per Civil Code
section 1189 et seq.**

The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of
this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

JOHN VO
Owner/Permittee

By _____

MYLY THI DANG
Owner/Permittee

By _____

**NOTE: Notary acknowledgments
must be attached per Civil Code
section 1189 et seq.**

HEARING OFFICER RESOLUTION NUMBER _____
TENTATIVE MAP NO. 2554126
6309 AND 6311 SKYLINE DRIVE - PROJECT NO. 688232

WHEREAS, JOHN VO and MYLY THI DANG , Subdividers, and DARRELL BEGLEY, Surveyor, submitted an application to the City of San Diego for a Tentative Map No. 2554126 to subdivide one parcel into four parcels and for deviations to minimum lot frontage, minimum lot depth, and minimum side setbacks. Proposed Parcels One and Two each propose a 2,098-square-foot single-family dwelling unit and a future accessory dwelling unit (ADU) (processed under a separate permit). Proposed Parcels Three and Four will each contain an existing single dwelling unit to remain. The project site is located at 6309 and 6311 Skyline Drive (Assessor's Parcel Number [APN] 549-420-1200) in the RS-1-7 zone within the Encanto Neighborhoods Community Plan (ENCP) and the following overlay zones: Airport Land Use Compatibility Noise Contours (San Diego International Airport), Airport Influence Area (San Diego International Airport, Review Area 1), Very High Fire Hazard Severity Zone, Parking Standards Transit Priority Area, and Transit Priority Area (TPA);

WHEREAS, The property is legally described as: THE EASTERLY 120 FEET IN THE WESTERLY 145 FEET OF THE NORTHERLY 330 FEET OF LOT "C" OF ENCANTO, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA ACCORDING TO MAP THEREOF NO. 749 FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, MAY 6, 1893, EXCEPTING THE NORTH 10 FEET THEREOF; ALSO A RIGHT OF WAY FOR ROAD PURPOSES OVER AND ACROSS THE WEST 25 FEET OF THE NORTH 330 FEET EXCEPTING THE NORTH 10 FEET THEREOF OF SAID LOT "C"; and

WHEREAS, the Tentative Map proposes the Subdivision of one 0.86-acre site into four parcels; and

WHEREAS, on May 2, 2023, the City of San Diego, as Lead Agency, through the Development Services Department, made and issued an Environmental Determination that the project is exempt

from the California Environmental Quality Act [CEQA] (Public Resources Code section 21000 et. seq.) under CEQA Guideline Section 15332 (In-Fill Development) and there was no appeal of the Environmental Determination filed within the time period provided by San Diego Municipal Code Section (SDMC) 112.0520; and

WHEREAS, on July 26, 2023 the Hearing Officer of the City of San Diego considered Tentative Map No. 2554126, (and the associated Neighborhood Development Permit No. 2554128), and pursuant to San Diego Municipal Code section 125.0440 and the Subdivision Map Act section 66428, received for its consideration written and oral presentations, evidence having been submitted, and testimony having been heard from all interested parties at the public hearing, and the Hearing Officer having fully considered the matter and being fully advised concerning the same; NOW THEREFORE,

BE IT RESOLVED by the Hearing Officer of the City of San Diego, that it adopts the following findings with respect to Tentative Map No. 2554126:

1. The proposed subdivision and its design or improvement are consistent with the policies, goals, and objectives of the applicable land use plan.

The 0.86-acre project site is located at 6309 and 6311 Skyline Drive (APN 549-420-1200) in the RS-1-7 (Residential – Single Unit) zone, and within the Airport Land Use Compatibility Noise Contours (San Diego International Airport), Airport Influence Area (San Diego International Airport, Review Area 1), Very High Fire Hazard Severity Zone, Parking Standards Transit Priority Area, and Transit Priority Area (TPA) Overlays of the ENCP.

The existing 38,374-square-foot (SF) project site contains two existing one-story single family dwelling units, to remain, situated on the southerly half of the parcel. Both units are currently served by an existing shared private driveway that runs north and south along the west side of the parcel from Skyline Drive. The northerly half of the parcel is vacant and has been previously graded.

The project proposes a Tentative Map to subdivide the existing 38,374 SF parcel into four parcels. Parcels One and Two each propose a 2,098-square-foot single-family dwelling unit and opportunity for a future ADU, processed under a separate permit. Parcels Three and Four each contain an existing single-family dwelling unit to remain.

The project requests several deviations from the San Diego Municipal Code (SDMC) Development Regulations section 131.0431, Table 131-04D including:

1. Deviations to allow Parcels Two, Three, and Four to provide no street frontage where a minimum 50 feet of street frontage is required in the RS-1-7 zone;
2. Deviations to allow Parcel One to provide a lot depth of 66.69 feet, Parcel Two to provide a lot depth of 56.50 feet, and Parcel Four to provide a lot depth of 88.79 feet, where a minimum lot depth of 95 feet is required in the RS 1-7 zone;
3. A deviation to allow Parcel Four to have a 7.4-foot interior side setback where a minimum interior side setback of 9.59 feet is required in the RS-1-7 zone.

The ENCP designates the project site as Residential-Low (5-9 du/ac). This designation is intended for areas with predominantly single-family residential development on small lots. Single-family homes may be arranged as standalone detached units, with modest front, rear, and side yards. The ENCP contains several policies related to the preservation of single-family residential neighborhoods. Although the project site has already been developed, the 38,374-square-foot parcel provides an opportunity for infill development through the construction of new single-family dwelling units and opportunity for future ADUs on the lower density residential sites.

Policy P-LU-17 states that the City should encourage higher densities within a half mile of transit that accommodates a range of housing types and provides support for increased transit service. The project will provide two new single-family dwelling units and opportunity for future ADUs, increasing the number of, and types of housing on the existing 38,374-square-foot parcel near transit because the project site is within the Transit Priority Area (TPA) and an existing transit stop is located along the project frontage on Skyline Drive which will benefit from conditioned public improvements in the right-of-way as a result of the project.

Policy P-LU-20 states that the City should preserve the existing stable, well-maintained single-family neighborhoods surrounding the transit corridors. The project is consistent with the density of the underlying zone and conforms to this policy. The ENCP designates the site as Low density residential at 5 to 9 du/ac which the project conforms; the proposed residential use is conforming.

Policy P-LU-25 states that the City should support the development of companion housing units in lower density areas to provide additional residential units, opportunities for co-generational habitation, and a tool for low-income homeowners to meet their mortgage obligations. Because the project facilitates opportunity for future development of ADUs, it supports this policy.

Policy P-LU-28 suggests balancing new development with the rehabilitation of high-quality older residential development, the subdivision of a single parcel into four parcels that will retain two existing single-family dwelling units and propose development of two new single-family dwelling units and opportunity for two future ADUs supports this policy.

The RS-1-7 Zone is a single dwelling residential zone and requires a minimum 5,000-square-foot lot per residential unit. The proposed parcel sizes exceed this requirement, proposed Parcel One: 8,613 square-feet, proposed Parcel Two: 6,775 square-feet, proposed Parcel Three: 11,552 square-feet, proposed Parcel Four: 10,680 square-feet.

The neighborhood consists of a variety of access points and diverse driveways and, in order to continue the development pattern of the properties just to the west of these parcel. This configuration allows for similar development patterns. In addition, the existing bus stop located along the project's frontage prevents the installation of two new curb cuts on Skyline Drive. The three requested deviations will provide an opportunity for the subdivision, giving each dwelling unit the ability to occupy a separate lot, and creating infill development in support of the ENCP housing policies and goals by increasing the number and types of housing that can be developed on the site, while still providing access to transit in support of the ENCP's Active Transportation goals, complying with the RS-1-7 minimum lot size requirements and remaining within the density range allocated by the ENCP's Residential-Low (5-9 du/ac) designation. Therefore, the proposed subdivision and its design or improvement are consistent with the policies, goals, and objectives of the applicable land use plan.

2. The proposed subdivision complies with the applicable zoning and development regulations of the Land Development Code, including any allowable deviations pursuant to the land development code.

The project proposes to subdivide the existing 38,374 SF parcel into four parcels. Parcels One and Two each propose a 2,098-square-foot single-family dwelling unit and opportunity for a future ADU, processed under a separate permit. Parcels Three and Four each contain an existing single-family dwelling unit to remain.

The project requests several deviations from the SDMC Development Regulations section 131.0431, Table 131-04D including:

1. Deviations to allow Parcels Two, Three, and Four to provide no street frontage where a minimum 50 feet of street frontage is required in the RS-1-7 zone;
2. Deviations to allow Parcel One to provide a lot depth of 66.69 feet, Parcel Two to provide a lot depth of 56.50 feet, and Parcel Four to provide a lot depth of 88.79 feet, where a minimum lot depth of 95 feet is required in the RS 1-7 zone;
3. A deviation to allow Parcel Four to have a 7.4-foot interior side setback where a minimum interior side setback of 9.59 feet is required in the RS-1-7 zone.

Per SDMC 126.0602(b)(1), Development that does not comply with all base zone regulations, or all development regulations may be requested with a Planned Development Permit (PDP) decided in accordance with Process Four. However, per SDMC 126.0603, an exemption from a PDP is applicable because the project is an infill project as described in section 143.0915(b)(2) which is a residential or mixed-use development within a Sustainable Development Area. The project site is within the Transit Priority Area (TPA), Mobility Zone 2 and has a bus transit stop along the project frontage, meeting the definition of a Sustainable Development Area per SDMC 113.0103. Therefore, the deviations required to approve the subdivision may be permitted with a Process Two Neighborhood Development Permit, Neighborhood Development Permit No. 2554128 is being consolidated and processed with this Tentative Map.

The neighborhood consists of a variety of access points and diverse driveways and, in order to

continue the development pattern of the properties just to the west of these parcel. This configuration allows for similar development patterns. In addition, the existing bus stop located along the project's frontage prevents the installation of two new curb cuts on Skyline Drive. The three requested deviations will provide an opportunity for the subdivision, giving each dwelling unit the ability to occupy a separate lot, and creating infill development in support of the ENCP housing policies and goals by increasing the number and types of housing that can be developed on the site, while still providing access to transit in support of the ENCP's Active Transportation goals, complying with the RS-1-7 minimum lot size requirements and remaining within the density range allocated by the ENCP's Residential-Low (5-9 du/ac) designation.

Since Parcels Two, Three, and Four cannot provide a minimum 50 feet of street frontage as proposed, the applicant will mitigate deviation one by providing a 20-foot-wide shared driveway and 4-foot-wide sidewalk that will abut Parcels One and Two, and provide pedestrian and vehicular access from Skyline Drive to Parcels One and Two. A 24-foot-wide private utility and access easement is proposed over this private drive. As the resident of Parcel Two would be required to access their parcel via the private drive through Parcel One, the owner/permittee will be required to record a private access agreement across Parcels One in favor of Parcel Two.

The proposed development on Parcels One and Two complies with floor area ratio (Parcel One: 0.56 allowed, 0.24 actual, Parcel Two: 0.58 allowed, 0.31, actual per SDMC Table 131-04J), off-street parking (2 spaces required per parcel per SDMC Table 142-05B, 2 spaces provided for each parcel), and landscaping.

An existing shared private driveway on the existing access easement to the west will continue to provide pedestrian and vehicular access from Skyline Drive to Parcels Three and Four. The existing one-story single-family dwelling units on Parcels Three and Four currently have interior side setbacks. No additional development is proposed on these parcels and the existing separation distance between the structures will be maintained. Qualified staff reviewed separation distance from the adjacent structures to ensure fire safety. Deviation three will allow Parcel Four to have a 7.4-foot interior side setback where a minimum interior side setback of 9.59 feet is required. This will provide the opportunity for the subdivision into four parcels while maintaining the current configuration of the existing single family dwelling units located at the rear of the parcel.

The site is located in an existing residential community that can be adequately serviced by all required utilities and public services. Therefore, the proposed subdivision complies with the applicable zoning and development regulations of the Land Development Code, including any allowable deviations pursuant to the land development code.

3. The site is physically suitable for the type and density of development.

The 0.86-acre project site is located at 6309 and 6311 Skyline Drive (APN 549-420-1200) in the RS-1-7 zone of the ENCP Area. The existing 38,374 SF project site has been previously impacted by development and grading. Two existing one-story single family dwelling units, to remain, and situated on the southerly half of the parcel. Both units are currently served by an existing shared private driveway that runs north and south along the west side of the parcel from Skyline Drive. The northerly half of the parcel is undeveloped.

The project proposes a Tentative Map to subdivide the existing 38,374 SF parcel into four parcels. Parcels One and Two each propose a 2,098-square-foot single-family dwelling unit and opportunity for a future ADU, processed under a separate permit. Parcels Three and Four each contain an existing single-family dwelling unit to remain. Access to all created parcels will take place via private driveways on the site, which currently accommodates two dwelling units and can continue to accommodate all utilities and access onsite.

The geotechnical investigation prepared by Advanced Geotechnical Solutions, Inc. dated November 9, 2021, indicated that the site has been previously impacted by development with previous grading of the northerly portion having occurred around 1971 as shown in a 1971 aerial photograph. The project site is not located within or adjacent to the Multiple Habitat Planning Area (MHPA) of the City's Multiple Species Conservation Program and does not contain Environmentally Sensitive Lands (ESL) as defined in SDMC section 113.0103.

The RS-1-7 Zone is a single dwelling residential zone and requires a minimum 5,000-square-foot lot per residential unit. The proposed parcel sizes exceed this requirement, proposed Parcel One: 8,613 square-feet, proposed Parcel Two: 6,775 square-feet, proposed Parcel Three: 11,552 square-feet, proposed Parcel Four: 10,680 square-feet.

The ENCP designates the site as Low density residential at 5 to 9 du/ac which the project conforms; the proposed residential use is conforming. Therefore, the site is physically suitable for the type and density of development.

4. The design of the subdivision or the proposed improvements are not likely to cause substantial environmental damage or substantially and avoidably injure fish or wildlife or their habitat.

The project site has been previously impacted by development and grading. The infill project is in a developed, urban neighborhood with no Environmentally Sensitive Lands (ESL) or Multi-Habitat Planning Area (MHPA) lands located on or adjacent to the site. Because the project site has been previously impacted by development and grading, the site has no value as habitat for endangered, rare or threatened species. The project is conditioned to implement a Water Pollution Control Plan and storm water construction best management practices. Project review by qualified staff has determined that the project would not result in any significant effects related to air quality, noise, traffic, or water quality.

The site is located in an existing residential community that can be adequately serviced by all required utilities and public services. Therefore, the design of the subdivision or the proposed improvements are not likely to cause substantial environmental damage or substantially and avoidably injure fish or wildlife or their habitat.

5. The design of the subdivision or the type of improvement will not be detrimental to the public health, safety, and welfare.

The permit controlling the development and use of the proposed project for this site contains specific conditions addressing compliance with the City's codes, policies, regulations and other regional, state, and federal regulations to prevent detrimental impacts to the health, safety and general welfare of persons residing and/or working in the area. Conditions of approval require the

review and approval of all construction plans by staff prior to construction to confirm the construction of the project will comply with all applicable regulations. The construction will be inspected by certified building and engineering inspectors to assure construction is in accordance with the approved plans and with all applicable regulations.

The overall project, to also include the requirements of the associated Neighborhood Development Permit No. 2554128, includes conditions and corresponding exhibits of approval that will enhance the area include installation of public improvements in order to achieve compliance with the regulations of the SDMC including: public right-of-way dedication along Skyline Drive to provide a 14-foot parkway with non-contiguous 4-foot-wide sidewalk, re-construction of an existing two-way driveway on Skyline on the existing access easement to the west to 14-foot wide, and construction of a new 20-foot wide two-way driveway on the eastern side of the project site on Skyline Drive, installation of new planting, irrigation and landscape related improvements, implementation of a Water Pollution Control Plan, storm water construction best management practices, and new water and sewer service(s). The project will relocate the existing bus stop bench and sign on the project frontage and construct a new bus stop slab on Skyline Drive along the project frontage.

The geotechnical investigation prepared by Advanced Geotechnical Solutions, Inc. dated November 9, 2021, indicated that the site has been previously impacted by development with previous grading of the northernly portion having occurred around 1971 as shown in a 1971 aerial photograph. Prior to the issuance of any grading or building permit, the project has been conditioned to submit a geotechnical investigation report that specifically addresses the proposed construction plans.

With the exception of the deviations requested as part of the associated Neighborhood Development Permit No. 2554128, the project complies with zoning regulations and setback requirements from adjacent structures to ensure fire safety. The site is within a developed neighborhood with existing infrastructure and served by existing emergency response services. Therefore, the design of the subdivision or the type of improvement will not be detrimental to the public health, safety, and welfare.

6. The design of the subdivision or the type of improvements will not conflict with easements acquired by the public at large for access through or use of property within the proposed subdivision.

Four existing easements are located on or adjacent to the project site that will remain and not be affected by the proposed Subdivision, these include: an existing easement in favor of the City of San Diego for Public Street along Skyline Drive, an existing easement on parcel One of Parcel Map No. 4245, for ingress and egress, pipelines, drainage, and/or public utilities and incidental purposes located along the western property line, an existing easement in favor of the City of San Diego for road purposes along the southern along the southern portion of the parcel, and an existing easement in favor of SDG&E for public utility purposes along the southern portion of the parcel.

The Project is conditioned to dedicate a new public right-of-way along Skyline Drive to provide a 14-foot parkway with a non-contiguous 4-foot wide sidewalk. The project proposes a 20-foot-wide shared driveway and 4-foot-wide sidewalk that will provide pedestrian and vehicular access from Skyline Drive to Parcels One and Two. A 24-foot-wide private utility and access easement is proposed over this private drive.

The Tentative Map also requires the Subdivider to ensure Covenants, Conditions and Restrictions (CC&R's) to the satisfaction of the Public Utilities Department, to ensure the future operation and maintenance of all private water and sewer facilities that serve more than one unit. Therefore, the design of the subdivision or the type of improvements will not conflict with easements acquired by the public at large for access through or use of property within the proposed subdivision.

7. The design of the proposed subdivision provides, to the extent feasible, for future passive or natural heating and cooling opportunities.

The proposed Tentative Map will not impede or inhibit any future passive or natural heating and cooling opportunities as the purpose of the subdivision is the opportunity to create single-family dwelling units. The design of the subdivision and the proposed placement of the single-family dwelling units, future ADUs on Parcels One and Two, and the existing placement of the dwelling units on Parcels Three and Four have taken into account the best use of the land and ensures adequate natural light and air movement between the structures. Future development must comply with all applicable building and zoning reviews and requirements, including setbacks, building materials, site orientation, architectural treatments and landscaping, including any deviations proposed by associated Neighborhood Development Permit No. 2554128, to provide for future passive or natural heating and cooling opportunities in those dwelling units. Therefore, the design of the proposed subdivision provides, to the extent feasible, for future passive or natural heating and cooling opportunities.

8. The decision maker has considered the effects of the proposed subdivision on the housing needs of the region and that those needs are balanced against the needs for public services and the available fiscal and environmental resources.

The ENCP designates the project site as Residential-Low (5-9 du/ac). This designation is intended for areas with predominantly single-family residential development on small lots. Single-family homes may be arranged as standalone detached units, with modest front, rear, and side yards. The ENCP contains several policies related to the preservation of single-family residential neighborhoods. Although the project site has already been impacted and graded, the 38,374 square foot parcel provides an opportunity for infill development through the construction of new single-family

The project proposes two 2,098-square-foot single-family dwelling units and opportunity for two future ADUs alongside existing single-family units that will remain, which supports the housing policies and goals of the ENCP as described in Finding 1, which is hereby incorporated by reference.

The site is located in an existing residential community with existing infrastructure that can be adequately serviced by all required utilities, emergency response services, and other public services.

The decision maker has reviewed the administrative record including the project plans, environmental documentation, and public testimony to determine the effects of the proposed subdivision on the housing needs of the region. Those needs were balanced against the needs for public services and available fiscal and environmental resources and found that the proposed subdivision will contribute to alleviating the housing needs of the ENCP.

ATTACHMENT 6

The above findings are supported by the minutes, maps, and exhibits, all of which are herein incorporated by reference.

BE IT FURTHER RESOLVED, that based on the Findings hereinbefore adopted by the Hearing Officer, Tentative Map No. 2554126, is hereby granted to JOHN VO and MYLY THI DANG, subject to the attached conditions which are made a part of this resolution by this reference.

By _____
Carrie Lindsay
Development Project Manager
Development Services Department

ATTACHMENT: Tentative Map Conditions

Internal Order No. 24009066

DRAFT

HEARING OFFICER
CONDITIONS FOR TENTATIVE MAP NO. 2554126
6309 AND 6311 SKYLINE DRIVE - PROJECT NO. 688232
ADOPTED BY RESOLUTION NO. _____ ON _____

GENERAL:

1. This Tentative Map will expire August 9, 2026.
2. Compliance with all of the following conditions shall be completed and/or assured, to the satisfaction of the City Engineer, prior to the recordation of the Parcel Map, unless otherwise noted.
3. Prior to the expiration of the Tentative Map, a Parcel Map to subdivide the 0.86 acres property into four (4) Parcels shall be recorded at the San Diego County Recorder's Office.
4. Prior to the recordation of the Parcel Map, taxes must be paid or bonded for this property pursuant to section 66492 of the Subdivision Map Act. A current original tax certificate, recorded in the office of the San Diego County Recorder, must be provided to satisfy this condition. If a tax bond is required as indicated in the tax certificate, ensure that it is paid or posted at the County Clerk of the Board of Supervisors Office and supply proof prior to the recordation of the Parcel Map.
5. The Tentative Map shall conform to the provisions of Neighborhood Development Permit No. 2554128.
6. The Subdivider shall defend, indemnify, and hold the City (including its agents, officers, and employees [together, "Indemnified Parties"]) harmless from any claim, action, or proceeding, against the City and/or any Indemnified Parties to attack, set aside, void, or annul City's approval of this project, which action is brought within the time period provided for in Government Code section 66499.37. City shall promptly notify Subdivider of any claim, action, or proceeding and shall cooperate fully in the defense. If City fails to promptly notify Subdivider of any claim, action, or proceeding, or if City fails to cooperate fully in the defense, Subdivider shall not thereafter be responsible to defend, indemnify, or hold City and/or any Indemnified Parties harmless. City may participate in the defense of any claim, action, or proceeding if City both bears its own attorney's fees and costs, City defends the action in good faith, and Subdivider is not required to pay or perform any settlement unless such settlement is approved by the Subdivider.

ENGINEERING:

7. Compliance with all conditions shall be assured, to the satisfaction of the City Engineer, prior to the recordation of the Parcel Map, unless otherwise noted.
8. The Tentative Map shall comply with the conditions of Neighborhood Development Permit No. 2554128, satisfactory to the City Engineer.

9. The drainage system proposed for this development, as shown on Exhibit 'A', is subject to approval by the City Engineer.
10. The Subdivider shall obtain a bonded grading permit for the grading proposed for this project. All grading shall conform to the requirements of the City of San Diego Municipal Code.
11. The Subdivider shall comply with all current street lighting standards according to the City of San Diego Street Design Manual and Council Policy 200-18. This includes (but not be limited to) upgrading light from low pressure to high pressure sodium vapor and/or upgrading wattage, per approved Exhibit 'A'.
12. The subdivider shall underground existing overhead utility as shown on "Exhibit 'A' and proposed public utility systems and service facilities in accordance with the San Diego Municipal Code.

TRANSPORTATION:

13. Prior to the issuance of any building permit, the Owner/Permittee shall dedicate 5 feet for public right of way purposes along the project's Skyline Drive frontage and assure by permit and bond the construction of a 14-foot parkway (with a 5.5-foot landscape buffer, non-contiguous 4-foot-wide sidewalk, and 4.5-foot wide landscape buffer), per Exhibit "A", satisfactory to the City Engineer.

MAPPING:

14. The Parcel Map shall be based on field survey and all lot corners must be marked with durable survey monuments pursuant to Section 144.0311(d) of the City of San Diego Land Development Codes and Subdivision Map Act Section 66495.

All survey monuments shall be set prior to the recordation of the Parcel Map, unless the setting of monuments is deemed impractical due to the proposed improvements and/or grading associated with the project, in which case, delayed monumentation may be applied on the Parcel Map in accordance with Section 144.0130 of the City of San Diego Land Development Codes.

15. All subdivision maps in the City of San Diego are required to be tied to the California Coordinate System of 1983 (CCS83), Zone 6 pursuant to section 8801 through 8819 of the California Public Resources Code.
16. The Parcel Map shall:
 - a. Use the California Coordinate System for its "Basis of Bearings" and express all measured and calculated bearing values in terms of said system. The angle of grid divergence from a true meridian (theta or mapping angle) and the north point of said map shall appear on each sheet thereof. Establishment of said Basis of Bearings may be by use of existing Horizontal Control stations or astronomic observations.

- b. Show two measured ties from the boundary of the map to existing Horizontal Control stations having California Coordinate values of First Order accuracy. These tie lines to the existing control shall be shown in relation to the California Coordinate System (i.e., grid bearings and grid distances). All other distances shown on the map are to be shown as ground distances. A combined factor for conversion of grid-to-ground shall be shown on the map.

PUBLIC UTILITIES:

17. Prior to the issuance of any building permits, the Subdivider shall obtain an Encroachment Maintenance Removal Agreement, from the City Engineer, for the private sewer main encroaching into the Public Right-of-Way.
18. The Project will be required to record a private sewer and water easement for cross-lot private water and sewer mains from one lot to another.
19. The Subdivider will be required to file Covenants, Conditions & Restrictions (CC&Rs), written to the satisfaction of the Public Utilities Department to ensure the future operation and maintenance of all private water and sewer facilities that serve more than a single condominium unit or lot.

INFORMATION:

- The approval of this Tentative Map by the Hearing Officer of the City of San Diego does not authorize the subdivider to violate any Federal, State, or City laws, ordinances, regulations, or policies including but not limited to, the Federal Endangered Species Act of 1973 and any amendments thereto (16 USC § 1531 et seq.).
- If the Subdivider makes any request for new water and sewer facilities (including services, fire hydrants, and laterals), the Subdivider shall design and construct such facilities in accordance with established criteria in the most current editions of the City of San Diego water and sewer design guides and City regulations, standards and practices pertaining thereto. Off-site improvements may be required to provide adequate and acceptable levels of service and will be determined at final engineering.
- Subsequent applications related to this Tentative Map will be subject to fees and charges based on the rate and calculation method in effect at the time of payment.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of the Tentative Map, may protest the imposition within ninety days of the approval of this Tentative Map by filing a written protest with the San Diego City Clerk pursuant to Government Code sections 66020 and/or 66021.
- Where in the course of development of private property, public facilities are damaged or removed, the Subdivider shall at no cost to the City, obtain the required

permits for work in the public right-of-way, and repair or replace the public facility to the satisfaction of the City Engineer (San Diego Municipal Code § 142.0607.

Internal Order No. 24009066

DRAFT

NOTICE OF EXEMPTION

ATTACHMENT 8

(Check one or both)

TO: RECORDER/COUNTY CLERK
P.O. BOX 1750, MS A-33
1600 PACIFIC HWY, ROOM 260
SAN DIEGO, CA 92101-2422

FROM: CITY OF SAN DIEGO
DEVELOPMENT SERVICES DEPARTMENT
1222 FIRST AVENUE, MS 501
SAN DIEGO, CA 92101

OFFICE OF PLANNING AND RESEARCH
1400 TENTH STREET, ROOM 121
SACRAMENTO, CA 95814

Project No.: 688232

Project Title: Skyline Drive

PROJECT LOCATION-SPECIFIC: The project is located at 6309 Skyline Drive, San Diego, CA 92114

PROJECT LOCATION-CITY/COUNTY: San Diego/San Diego

DESCRIPTION OF NATURE AND PURPOSE OF THE PROJECT: A Tentative Map and Neighborhood Development Permit (NDP) to subdivide one parcel into four parcels served by a private driveway. Parcels One and Two will each contain one new single-dwelling unit and one new accessory dwelling unit (ADU), for a total of four new dwelling units. Parcels Three and Four each contain existing single-dwelling units which would remain. The Project is located at 6309 Skyline Drive. The 0.86-acre site is in the RS-1-7 zone within the Encanto Neighborhoods Plan area. Council District 4. The .86-acre site currently consists of developed residential properties and a vacant lot adjacent to Skyline Drive. The project complies with all height and bulk regulations and is located on a site that is currently developed with the public utilities in place to serve the facility.

NAME OF PERSON OR AGENCY CARRYING OUT PROJECT: John Vo, 3321 Altadena Avenue, San Diego, CA 92105. (619) 808-9510

EXEMPT STATUS: (CHECK ONE)

- MINISTERIAL (SEC. 21080(b)(1); 15268);
- DECLARED EMERGENCY (SEC. 21080(b)(3); 15269(a));
- EMERGENCY PROJECT (SEC. 21080(b)(4); 15269 (b)(c)..
- CATEGORICAL EXEMPTION: 15332 (In-Fill)
- STATUTORY EXEMPTION:

REASONS WHY PROJECT IS EXEMPT: The City of San Diego conducted an environmental review and determined that the Project is exempt from CEQA pursuant to Section 15332 (In-Fill). The In-Fill exemption has five criteria that must be met in order to use the exemption. The project has met all five criteria; 1. The development is consistent with the applicable general plan designation and all applicable general plan policies as well as with the applicable zoning designation and regulations. 2. The .86-acre site occurs within city limits on a project site of no more than 5 acres and is substantially surrounded by urban uses. 3. Because the project site has been previously impacted by development the site has no value as habitat for endangered, rare or threatened species. 4. Project review by qualified staff has determined that the project would not result in any significant effects related to air quality, noise, traffic or water quality. 5. The site is located in an existing residential community and can be adequately serviced by all required utilities and public services.

ATTACHMENT 8

LEAD AGENCY CONTACT PERSON: Jeffrey Szymanski

TELEPHONE: 619 446-5324

IF FILED BY APPLICANT:

1. ATTACH CERTIFIED DOCUMENT OF EXEMPTION FINDING.
2. HAS A NOTICE OF EXEMPTION BEEN FILED BY THE PUBLIC AGENCY APPROVING THE PROJECT?
() YES () NO

IT IS HEREBY CERTIFIED THAT THE CITY OF SAN DIEGO HAS DETERMINED THE ABOVE ACTIVITY TO BE EXEMPT FROM CEQA

Jeff Szymanski /SENIOR PLANNER
SIGNATURE/TITLE


JUNE 6, 2023
DATE

CHECK ONE:

(X) SIGNED BY LEAD AGENCY

DATE RECEIVED FOR FILING WITH COUNTY


CLERK OR OPR:

Page 3	City of San Diego · Information Bulletin 620		August 2018
	City of San Diego Development Services 1222 First Ave., MS-302 San Diego, CA 92101		<h2 style="text-align: center;">Community Planning Committee Distribution Form</h2>
Project Name: 6309 Skyline 92114		Project Number: PTS 688232	
Community: Encanto Neighborhoods			
<p style="text-align: center;">For project scope and contact information (project manager and applicant), log into OpenDSD at https://aca.accela.com/SANDIEGO.</p> <p style="text-align: center;">Select "Search for Project Status" and input the Project Number to access project information.</p>			
<input checked="" type="checkbox"/> Vote to Approve <input type="checkbox"/> Vote to Approve with Conditions Listed Below <input type="checkbox"/> Vote to Approve with Non-Binding Recommendations Listed Below <input type="checkbox"/> Vote to Deny			Date of Vote: November 21, 2022
# of Members Yes 8	# of Members No 0	# of Members Abstain 0	
Conditions or Recommendations: To subdivide an existing lot with two existing single dwelling units into four lots, at 6309 Skyline Drive. The 0.86-acre site is in the RS-1-7 zone within the Encanto Neighborhoods Plan area. Council District 4			
<input type="checkbox"/> No Action (Please specify, e.g., Need further information, Split vote, Lack of quorum, etc.)			
NAME: Marry Young CVCPG			
TITLE: Chair Chollas Valley CPG		DATE: January 09, 2023	
<i>Attach additional pages if necessary (maximum 3 attachments).</i>			

Visit our web site at www.sandiego.gov/development-services.

Upon request, this information is available in alternative formats for persons with disabilities.

DS-5620 (08-18) ONLINE FORM

	City of San Diego Development Services 1222 First Ave., MS 302 San Diego, CA 92101 (619) 446-5000	<h1>Ownership Disclosure Statement</h1>	FORM
			DS-318
			October 2017

Approval Type: Check appropriate box for type of approval(s) requested: Neighborhood Use Permit Coastal Development Permit
 Neighborhood Development Permit Site Development Permit Planned Development Permit Conditional Use Permit Variance
 Tentative Map Vesting Tentative Map Map Waiver Land Use Plan Amendment Other _____

Project Title: 6309 Skyline Dr **Project No. For City Use Only:** _____

Project Address: 6309 Skyline Dr, San diego, CA 92114

Specify Form of Ownership/Legal Status (please check):

Corporation Limited Liability -or- General - What State? _____ Corporate Identification No. _____

Partnership Individual

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter will be filed with the City of San Diego on the subject property with the intent to record an encumbrance against the property. Please list below the owner(s), applicant(s), and other financially interested persons of the above referenced property. A financially interested party includes any individual, firm, co-partnership, joint venture, association, social club, fraternal organization, corporation, estate, trust, receiver or syndicate with a financial interest in the application. If the applicant includes a corporation or partnership, include the names, titles, addresses of all individuals owning more than 10% of the shares. If a publicly-owned corporation, include the names, titles, and addresses of the corporate officers. (A separate page may be attached if necessary.) If any person is a nonprofit organization or a trust, list the names and addresses of **ANY** person serving as an officer or director of the nonprofit organization or as trustee or beneficiary of the nonprofit organization. A signature is required of at least one of the property owners. Attach additional pages if needed. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

Property Owner

Name of Individual: John Vo Owner Tenant/Lessee Successor Agency

Street Address: 3321 Altadena Ave

City: San Diego **State:** CA **Zip:** 92105

Phone No.: (619) 808-9510 **Fax No.:** _____ **Email:** johnvo2009@yahoo.com

Signature: _____ **Date:** 11/11/2021

Additional pages Attached: Yes No

Applicant

Name of Individual: John Vo Owner Tenant/Lessee Successor Agency

Street Address: 3321 Altadena Ave

City: San Diego **State:** CA **Zip:** 92105

Phone No.: (619) 808-9510 **Fax No.:** _____ **Email:** johnvo2009@yahoo.com

Signature: _____ **Date:** 11/11/2021

Additional pages Attached: Yes No

Other Financially Interested Persons

Name of Individual: Myly Thi Dang Owner Tenant/Lessee Successor Agency

Street Address: 3321 Altadena Ave

City: San Diego **State:** CA **Zip:** 92105

Phone No.: (619) 808 9510 **Fax No.:** _____ **Email:** _____

Signature: _____ **Date:** 11/11/2021

Additional pages Attached: Yes No

CONSULTANTS

OWNER

6309-6311 Skyline Dr,
 San Diego, CA 92114

John Vo & Myly Thi Dang
 3321 Altadena Ave,
 San Diego, CA 92105

01	03.19.21	TM 1st Submittal
02	11.16.21	TM 2nd Submittal
03	12.10.21	TM 3rd Submittal
04	04.25.22	TM 4th Submittal
05	08.16.22	TM 5th Submittal
06	12.05.22	TM 6th Submittal
07	03.15.23	TM 7th Submittal
08	06.23.23	TM 8th Submittal
MARK	DATE	DESCRIPTION

PROJECT NO: 2018
 CAD DWG FILE: G001 - G002 COVER SHEET.DWG
 DRAWN BY: A.S., B.P., C.G., S.V., D.C.
 CHK'D BY: A.S.
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SHEET TITLE
COVER SHEET

G001
 SHEET 1 OF 16

6309-6311 Skyline Dr., San Diego, CA92114

TENTATIVE PARCEL MAP

ARCHITECTURAL DRAWINGS

PROJECT INFORMATION		6309-6311 Skyline Dr.	
PROJECT ADDRESS:	6309-6311 Skyline Dr. San Diego, CA 92114		
ASSESSORS PARCEL NUMBER:	549-420-12-00		
LEGAL DESCRIPTION:	PM 4245 LOT NO PAR 1 PARCEL MAP NO 04245		
YEAR BUILT:	N/A		
BUILDING CODE:	CALIFORNIA BUILDING CODE (CBC), 2022 EDITION CALIFORNIA RESIDENTIAL CODE (CBC), 2022 EDITION CALIFORNIA ELECTRICAL CODE (CEC), 2022 EDITION CALIFORNIA MECHANICAL CODE (CMC), 2022 EDITION CALIFORNIA PLUMBING CODE (CPC), 2022 EDITION City of San Diego Municipal Code		
OCCUPANCY TYPE:	R3		
CONSTRUCTION TYPE (Existing):	Vacant		
CONSTRUCTION TYPE (Proposed):	Vb - Sprinklered		
NUMBER OF STORIES:	2		
PROPOSED BUILDING HEIGHTS:			
PARCEL 1:	23'-5"		
PARCEL 2:	23'-5"		
LOT AREAS:			
PARCEL 1:	8,613.0 S.F. 0.20 ACRES		
PARCEL 2:	6,775.0 S.F. 0.16 ACRES		

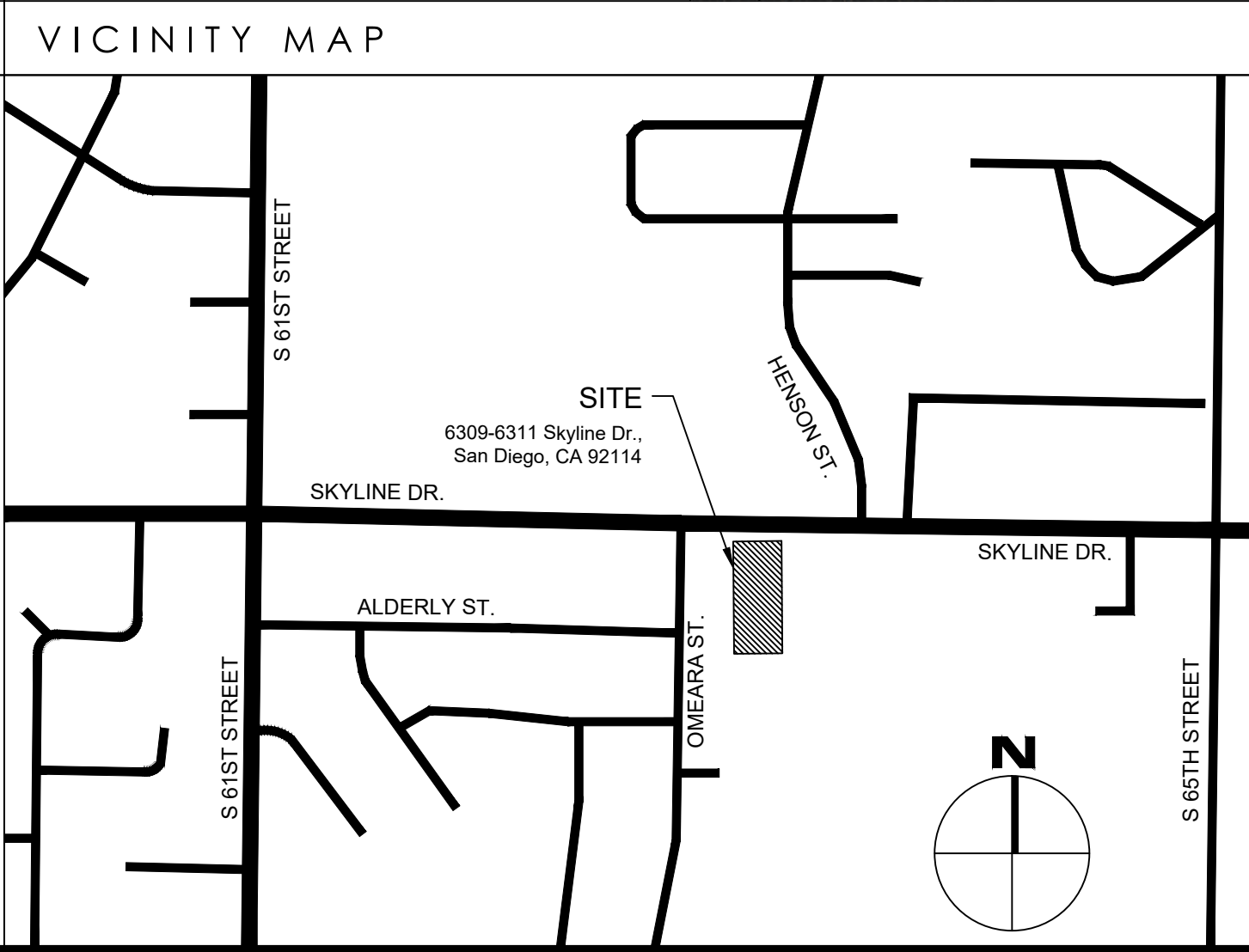
ZONING INFORMATION		6309-6311 Skyline Dr.	
ZONING DESIGNATION:	RS-1-7		
OVERLAY ZONES:	Parking Standards Transit Priority Area, Transit Priority Area (TPA), Community Plan - ENCANTO, San Diego Unified School District (SDUSD), Geological Hazard Category 27, Council District 4, San Diego International Airport - Airport Influence Area (AIA)		
SETBACKS:	<i>(per SDMC Table 131-04D)</i>		
Parcel #1:	REQUIRED	PROVIDED	
FRONT:	15.00'	16.6'	
INTERIOR WEST SIDE:	9.6'	36.7'	
INTERIOR EAST SIDE:	9.6'	43.2'	
REAR:	9.6'	19.8'	
Parcel #2:			
INTERIOR NORTH SIDE:	9.6'	11.8'	
INTERIOR WEST SIDE:	9.6'	36.8'	
INTERIOR EAST SIDE:	9.6'	43.2'	
INTERIOR SOUTH SIDE:	9.6'	15.5'	
Parcel #3:			
INTERIOR NORTH SIDE:	9.6'	41.7'	
INTERIOR WEST SIDE:	9.6'	19.0'	
INTERIOR EAST SIDE:	9.6'	61.4'	
INTERIOR SOUTH SIDE:	9.6'	15.0'	
Parcel #4:			
INTERIOR NORTH SIDE:	9.6'	7.6'	
INTERIOR WEST SIDE:	9.6'	19.0'	
INTERIOR EAST SIDE:	9.6'	68.7'	
INTERIOR SOUTH SIDE:	9.6'	40.7'	
DEVIATIONS:	REQUIRED	PROVIDED	
Parcel #1:			
LOT DEPTH	95.00'	63.50'	
Parcel #2:			
LOT DEPTH	95.00'	56.50'	
STREET FRONTAGE	50.00'	0'	
Parcel #3:			
STREET FRONTAGE	50.00'	0'	
Parcel #4:			
LOT DEPTH	95.00'	88.79'	
STREET FRONTAGE	50.00'	0'	
INTERIOR EAST SIDE	9.59'	7.60'	

BUILDING HEIGHT LIMIT:	24'/30'		
MAXIMUM FAR:			
PARCEL 1:	0.56	4,823.28 sf	(SDMC Table 131-04J)
PARCEL 2:	0.58	3,929.50 sf	(SDMC Table 131-04J)
EXISTING FAR:	0.00		
PROPOSED FAR:			
PARCEL 1:	0.24	2,098.87 sf	
PARCEL 2:	0.31	2,098.87 sf	
	Parking Required		
REQUIRED AND PROPOSED PARKING SPACES	2.0 (SDMC Table 142-05B) Off Street Parking Required		

BUILDING AREAS		Proposed	
RESIDENTIAL AREA			
PARCEL 1 & 2:			
First Floor		685.28	sf
Second Floor		1,046.56	sf
Gross Habitable Floor Area		1,731.84	sf
Garage		367.03	sf
TOTAL GROSS FLOOR AREA:		2,098.87	sf

SHEET INDEX

#	SHEET NAME
G001	Cover Sheet
G002	General Notes
A101	Site Plan - Existing
A102	Site Plan - Proposed
A102a	Key Site Plan - Proposed
A103	First Floor Plan - Proposed
A104	Second Floor Plan - Proposed
A105	Roof Plan - Proposed
A201	Exterior Elevations - Proposed
A301	Building Sections - Proposed
A302	Building Sections - Proposed
A901	Conceptual Rendering - Proposed
#	CIVIL
	Tentative Parcel Map
	Tentative Parcel Map
#	LANDSCAPE
L1.0	Landscape Concept Plan
L1.1	Landscape Calculations



SCOPE OF WORK

The project consist of a Tentative Map to split 1 existing vacant parcel into 4 new parcels. Each parcel will contact 1 single-family dwelling.

The projects proposes 1 single-family dwelling, with a gross floor area of 2,098.87sf GFA and an ADU on each of parcels #1 and #2.

Refer to Civil Engineering Drawings for full scope of site work and Tentative Map information.

PROJECT TEAM

APPLICANT:
 Cindy Phan
 3855 Avocado Blvd., Suite 150
 La Mesa, CA 91941

DESIGN FIRM:
 TECHNE
 2934 Lincoln Ave., San Diego, CA 92104
 Contact: Abhay Schweitzer
 Phone #: 619-940-5814
 email: abhay@techne-us.com

CIVIL ENGINEER:
 Lundstrom Engineering and Surveying, Inc.
 5333 Mission Center Road, Ste 115
 San Diego, CA 92108
 Contact: Jeff Lundstrom

LANDSCAPE ARCHITECT:
 SOTELO LANDSCAPE ARCHITECTS
 Contact: Angelina Sotelo
 2643 FOURTH AVENUE
 SAN DIEGO CA 92103
 Phone #: 619-544-1977
 Email: angelina@sotelo.com

APPLICABLE CODES

- City of San Diego Municipal Code
- 2019 California Building Code
- 2019 California Residential Code
- 2019 California Plumbing Code
- 2019 California Electrical Code
- 2019 California Mechanical Code

ABBREVIATIONS

Table of abbreviations with columns for symbol, description, and unit. Includes categories like electrical, plumbing, and structural abbreviations.

Project General Notes

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Site Preparation

- 8. Prior to excavation, General Contractor shall confirm location of underground utilities. In the event that utilities or concealed structures are discovered during construction at exposed or unexposed locations, the General Contractor shall stop work immediately in that area and question or notify TECHNE and/or utility company immediately.

Demolition

- 16. All excavation and grading shall comply with OSHA and other governing regulations. 17. Shoring shall be provided where demolition of support structures occur.

Framing

- 27. Provide solid blocking in wall framing for all cabinets, countertops, mirrors, shelving, light fixtures, and miscellaneous wall and ceiling mounted or recessed items.

Finish

- 35. Install Duroc Tile Backer Board by the United States Gypsum or equal on all interior walls, countertops and ceilings to receive tile. Install Duroc according to the manufacturer's recommended specifications.

Roofing

- 40. Roofing shall be installed in accordance with manufacturer's specific installation instructions. Provide all required sheet metal flashing and caulking. All roofing shall be Class A assembly.

Plumbing

- 42. Provide shower heads with a maximum flow of 2.0 gallons per minute. 43. Provide lavatory faucets with a maximum flow of 1.2 gallons per minute (GPM).

- 44. All ABS and PVC piping and fittings shall be enclosed within walls and floors covered with "Type X gypsum board" or similar assemblies that provide the same level of fire protection. Protection of membrane penetrations is not required.

- 46. All mechanical and electrical systems shall be installed in accordance with approved plans, required setback lines to all new or existing building walls, easements (if any), and existing grade locations, finish floor elevations, existing site utilities, and any other new or existing site items which could affect in any way the construction of the building. Flag or otherwise mark all property lines, easements (if any), underground utilities or any other items as needed.

- 48. All thermostats shall be of the automatic changeover type to sequence heating or cooling. Set point range shall be up to 10 degrees Fahrenheit between full heating and cooling. Adjustable temperature differential shall be one and one-half degrees Fahrenheit.

- 49. Equipment shall have the capacity of terminating all cooling at a temperature of not more than 78 degrees Fahrenheit. 51. At least one automatic space temperature control device shall be provided for each zone.

- 54.1. Exhaust fans which terminate outside the building shall be provided in every bathroom that contains a shower or tub. Unless functioning as part of a whole house ventilation system, fans must be controlled by a humidistat which can be adjusted between 50 and 80 percent.

- 62. All Plumbing Fixtures and Fittings will be water conserving and will comply with the 2016 CGBC Sec 4.303.1. 63. Multiple Shower Heads: Per 2019 CGBC Sec 4.303.1.3.2, when a shower is served by more than one showerhead, the combined flow rate of all showerheads and/or other shower outlets controlled by a single valve shall not exceed 2.0 gallons per minute at 80 psi, or the shower shall be designed to allow only one shower outlet to be in operation at a time.

- 64. Per 2019 CGBC Sec 4.303.2, plumbing fixtures (water closets and urinals) and fittings (faucets and showerheads) shall be installed in accordance with the California Plumbing Code (CPC) and Table 1401.1.1 of the CPC.

- 65.1. Controllers shall be weather- or soil moisture-based controllers that automatically adjust irrigation in response to changes in plants' needs as weather conditions change.

- 66. Per 2019 Green Code Sec 4.503.1 Any installed gas fireplace shall be a direct-vent sealed-combustion type. Any installed woodstove or pellet stove shall comply with U.S. EPA Phase II emission limits where applicable. Woodstoves, pellet stoves and fireplaces shall also comply with applicable local ordinances.

- 67.1. Fans shall be ENERGY STAR compliant and be ducted to terminate outside the building. 67.2. Unless functioning as a component of a whole house ventilation system, fans must be controlled by a humidistat which shall be readily accessible. Humidistat controls shall be capable of adjustment between a relative humidity of 50 to 80 percent.

- 68. Toilets: All water closets shall have an effective flush volume of not more than 1.28 gallons per flush. Tank type water closets shall be certified to the performance criteria of the U.S. EPA WaterSense Specification for Tank-type Toilets.

- 69.2.0. Residential lavatory faucets shall have a maximum flow rate of 1.2 gallons per minute at 60psi and a minimum flow rate of not less than 0.5 gallons per minute at 20psi. Faucets in Common Use Areas; Faucets in common and public use areas (outside of dwellings or sleeping units) in residential buildings must have a maximum flow rate of 0.5 gallons per minute at 60psi.

- 70. Kitchen Faucets: Kitchen faucets shall have a maximum flow rate of 1.8 gallons per minute at 60psi. Kitchen faucets may temporarily increase the flow rate to a maximum of 2.2 gallons at 60 psi but must default back to the 1.8 gallons per minute.

- 71. Plumbing Fixture Certification: A plumbing fixture certification must be completed and signed by either a licensed general contractor, or a plumbing contractor, or the building owner certifying the flow rate of the fixtures installed. A copy of the certification can be obtained from the Development Services Department of the City of San Diego.

- 72.1. Fans shall be ENERGY STAR compliant and be ducted to terminate outside the building. 72.2. Unless functioning as a component of a whole house ventilation system, fans must be controlled by a humidistat which shall be readily accessible. Humidistat controls shall be capable of adjustment between a relative humidity of 50 to 80 percent.

- 73.1. Controllers shall be weather- or soil moisture-based controllers that automatically adjust irrigation in response to changes in plants' needs as weather conditions change.

- 81. A certification shall be completed and signed by either the general contractor of subcontractor, or the building owner certifying that the paint, stain and adhesives, carpets with the requirements of the California Green Building Standards Code.

TECHNE DESIGN | DEVELOPMENT 2934 Lincoln Ave., San Diego, CA 92104 techne.us.com sustainablearchitect.org 619-940-5814 m 313-595-5814

CONSULTANTS

- A. Existing Conditions: 1. Verify all existing conditions and dimensions before starting work. Report all discrepancies involving existing conditions to the TECHNE, prior to construction.

- B. Submittals: 1. All submittals, shop drawings, product samples, etc. shall be reviewed and accepted by TECHNE prior to final submittal to fabricator or suppliers.

- C. Construction Quality: 1. All construction shall be of the highest standards for materials and methods of installation.

- D. Substitutions: 1. No substitutions of specified materials shall be made without written notification to TECHNE and the Owner and their written acceptance of the substitution.

- E. Clean Up: 1. The Contractor shall keep the premises free from accumulation of waste material and/or rubbish caused by their work. At the completion of each day's work, remove all rubbish from and about the building. All tools, scaffolding and surplus materials shall be stored, flagged, or removed, leaving the job site broom clean.

6309-6311 Skyline Dr, San Diego, CA 92114 John Vo & Myly Thi Dang 3321 Altadena Ave, San Diego, CA 92105

Table with columns: 01, 02, 03, 04, 05, 06, 07, 08, 09, 10. Rows: 01 03.19.21 TM 1st Submittal, 02 11.16.21 TM 2nd Submittal, 03 12.10.21 TM 3rd Submittal, 04 04.25.22 TM 4th Submittal, 05 08.16.22 TM 5th Submittal, 06 12.05.22 TM 6th Submittal, 07 03.15.23 TM 7th Submittal, 08 06.23.23 TM 8th Submittal

PROJECT NO: 2018

CAD DWG FILE: G001 - G002 COVER SHEET.DWG

DRAWN BY: A.S., B.P., C.G., S.V., D.C.

CHK'D BY: A.S.

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SHEET TITLE

GENERAL NOTES G002 SHEET 2 OF 16

CONSULTANTS

6309-6311 Skyline Dr,
 San Diego, CA 92114

OWNER

John Vo & Myly Thi Dang
 3321 Altadena Ave,
 San Diego, CA 92105

SITE PLAN LEGEND

- PROPERTY LINE
- PROPOSED DWELLING UNITS
- PROPOSED HARDSCAPE
- PROPOSED IMPERVIOUS ROOF SURFACE
- PROPOSED LANDSCAPE
- EXISTING EASEMENT
- SITE DRAINAGE PATTERN
- PROPOSED RETAINING WALL
- VEHICULAR CIRCULATION
- PROPOSED PEDESTRIAN CIRCULATION FROM ROW TO RESIDENTIAL DWELLING UNITS

SITE PLAN NOTES

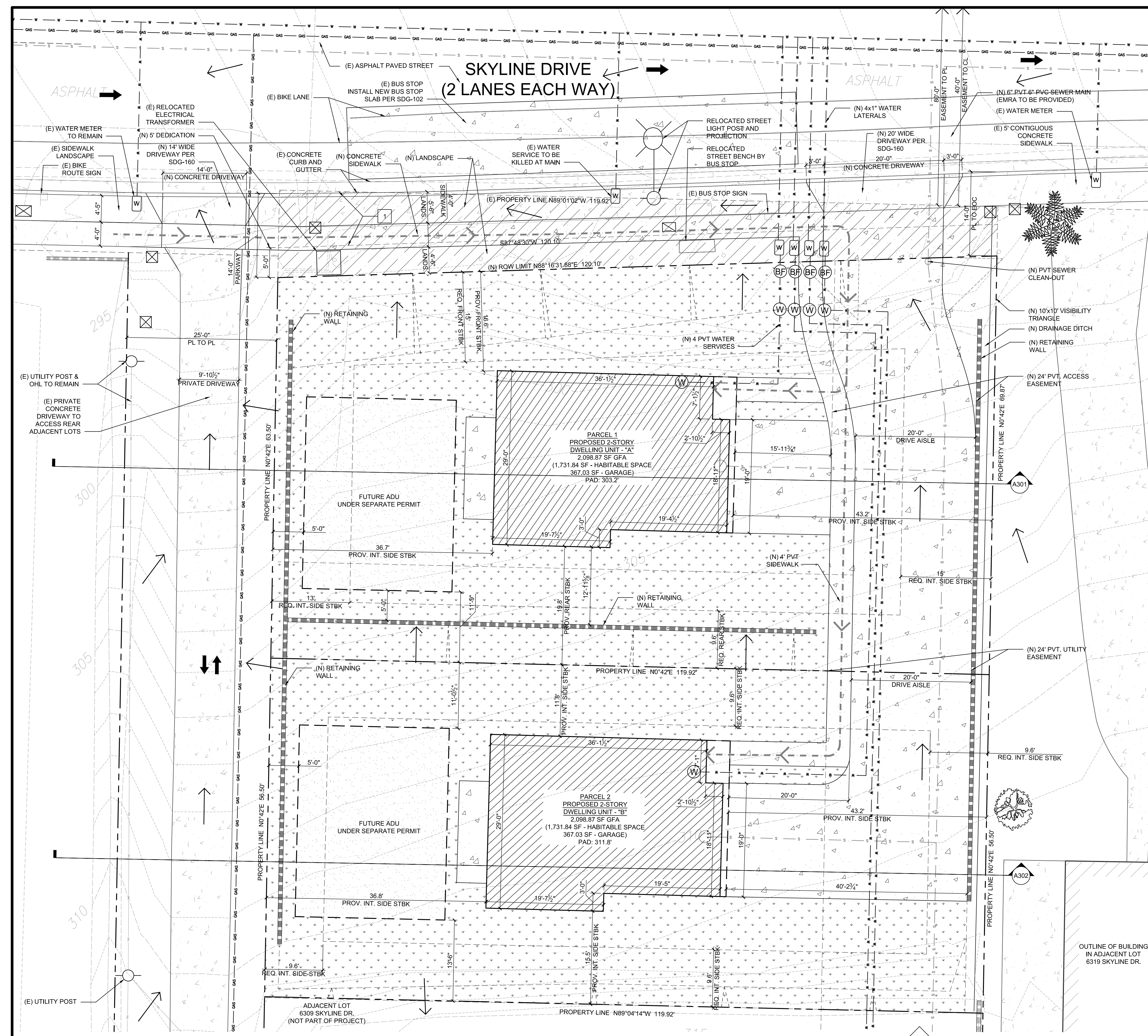
- A. Refer to other construction documents for complete scope of work.
- B. Before commencing any site foundation or slab cutting or excavation, the contractor shall verify and mark locations of all site utilities, dimensions and conditions. These include but are not limited to property lines, setback location to all new or existing walls, easements (if any), existing site utilities, including water, sewer, gas and electrical lines and any other new or existing site items which could affect in any way the construction of the building. Flag or otherwise mark all locations of site property lines, easements (if any), underground utilities, and indicate utility type.
- C. The Contractor or subcontractor shall notify TECHNE if any conflicts or discrepancy occurs between the information on this plan and actual field conditions. Do not proceed with work in conflict with these drawing until written or verbal instructions are issued by TECHNE.
- D. Coordinate with other tenants the temporary shutoff of any site utilities.
- E. Refer to Topographic Survey for additional information.

EASEMENTS KEYNOTES

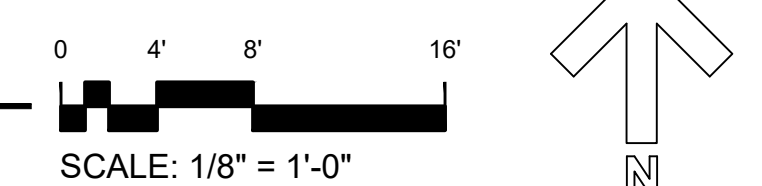
1. Indicates existing easement in favor of the City of San Diego for public street purposes as per document recorded august 20, 1964, as document no. 150968 of official records.

ADDITIONAL SITE PLAN NOTES

- a. The owner/Permittee will be required to file CC&Rs, written to the satisfaction of the Public Utilities Department to ensure the future operation and maintenance of all private water and sewer facilities that serve more than a single condominium unit or lot.



1 SITE PLAN - PROPOSED
 SCALE: 1/8" = 1'-0"



MARK	DATE	DESCRIPTION
01	03.19.21	TM 1st Submittal
02	11.16.21	TM 2nd Submittal
03	12.10.21	TM 3rd Submittal
04	04.26.22	TM 4th Submittal
05	08.16.22	TM 5th Submittal
06	12.05.22	TM 6th Submittal
07	03.15.23	TM 7th Submittal
08	06.23.23	TM 8th Submittal

PROJECT NO: 2018
 CADD DWG FILE: A102 SITE PLAN - PROPOSED - C.DWG
 DRAWN BY: A.S., B.P., C.G., S.V., D.C.
 CHK'D BY: A.S.

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SHEET TITLE

SITE PLAN - PROPOSED



2934 Lincoln Ave., San Diego, CA 92104
 techne-us.com sustainablearchitect.org
 619-940-5814 313-595-5814

CONSULTANTS

OWNER

6309-6311 Skyline Dr,
 San Diego, CA 92114

OWNER

John Vo & Myly Thi Dang
 3321 Altadena Ave,
 San Diego, CA 92105

SITE PLAN LEGEND

- PROPERTY LINE
- PROPOSED DWELLING UNITS
- PROPOSED HARDSCAPE
- PROPOSED IMPERVIOUS ROOF SURFACE
- PROPOSED LANDSCAPE
- EXISTING EASEMENT
- SITE DRAINAGE PATTERN
- PROPOSED RETAINING WALL
- VEHICULAR CIRCULATION

SITE PLAN NOTES

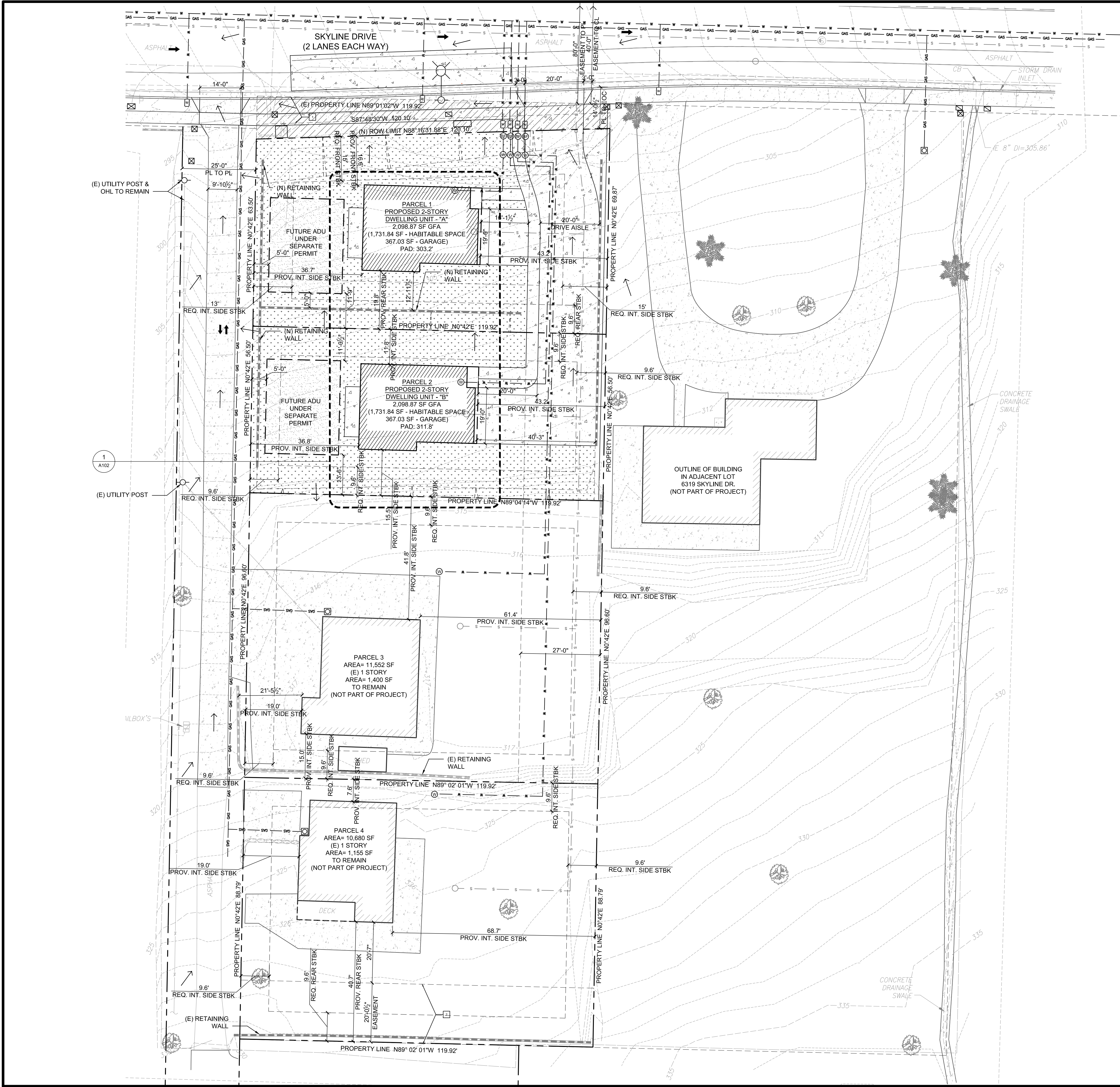
- A. Refer to other construction documents for complete scope of work.
- B. Before commencing any site foundation or slab cutting or excavation, the contractor shall verify and mark locations of all site utilities, dimensions and conditions. These include but are not limited to property lines, setback location to all new or existing walls, easements (if any), existing site utilities, including water, sewer, gas and electrical lines and any other new or existing site items which could affect in any way the construction of the building. Flag or otherwise mark all locations of site property lines, easements (if any), underground utilities, and indicate utility type.
- C. The Contractor or subcontractor shall notify TECHNE if any conflicts or discrepancy occurs between the information on this plan and actual field conditions. Do not proceed with work in conflict with these drawing until written or verbal instructions are issued by TECHNE.
- D. Coordinate with other tenants the temporary shutoff of any site utilities.
- E. Refer to Topographic Survey for additional information.

EASEMENTS KEYNOTES

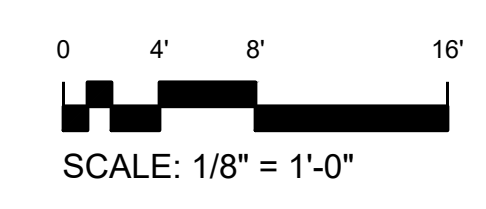
1. Indicates existing easement in favor of the City of San Diego for public street purposes as per document recorded August 20, 1964, as document no. 150968 of official records.
2. Indicates existing easement in favor of the City of San Diego for road purposes as per document recorded May 6, 1948 in BK. 2786, PG. 101 of official records

ADDITIONAL SITE PLAN NOTES

- a. The owner/Permittee will be required to file CC&Rs, written to the satisfaction of the Public Utilities Department to ensure the future operation and maintenance of all private water and sewer facilities that serve more than a single condominium unit or lot.



1 KEY SITE PLAN - PROPOSED
 SCALE: 1/8" = 1'-0"



01	03.19.21	TM 1st Submittal
02	11.16.21	TM 2nd Submittal
03	12.10.21	TM 3rd Submittal
04	04.25.22	TM 4th Submittal
05	08.16.22	TM 5th Submittal
06	12.05.22	TM 6th Submittal
07	03.15.23	TM 7th Submittal
08	06.23.23	TM 8th Submittal
MARK DATE	DESCRIPTION	
06/29/23 11:45 PM		

PROJECT NO: 2018
 CAD DWG FILE: A102A SITE KEY PLAN - PROPOSED DWG
 DRAWN BY: A.S, B.P, C.G, S.V., D.C.
 CHK'D BY: A.S.
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SHEET TITLE
 KEY SITE PLAN - PROPOSED

CONSULTANTS

6309-6311 Skyline Dr,
 San Diego, CA 92114

OWNER

John Vo & Myly Thi Dang
 3321 Altadena Ave,
 San Diego, CA 92105

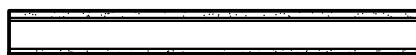
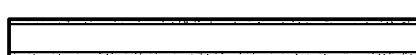


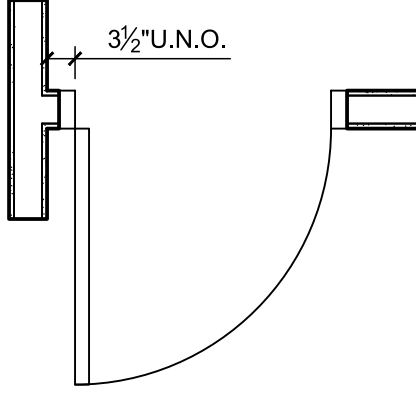
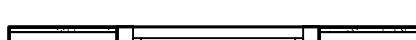
FLOOR PLAN NOTES

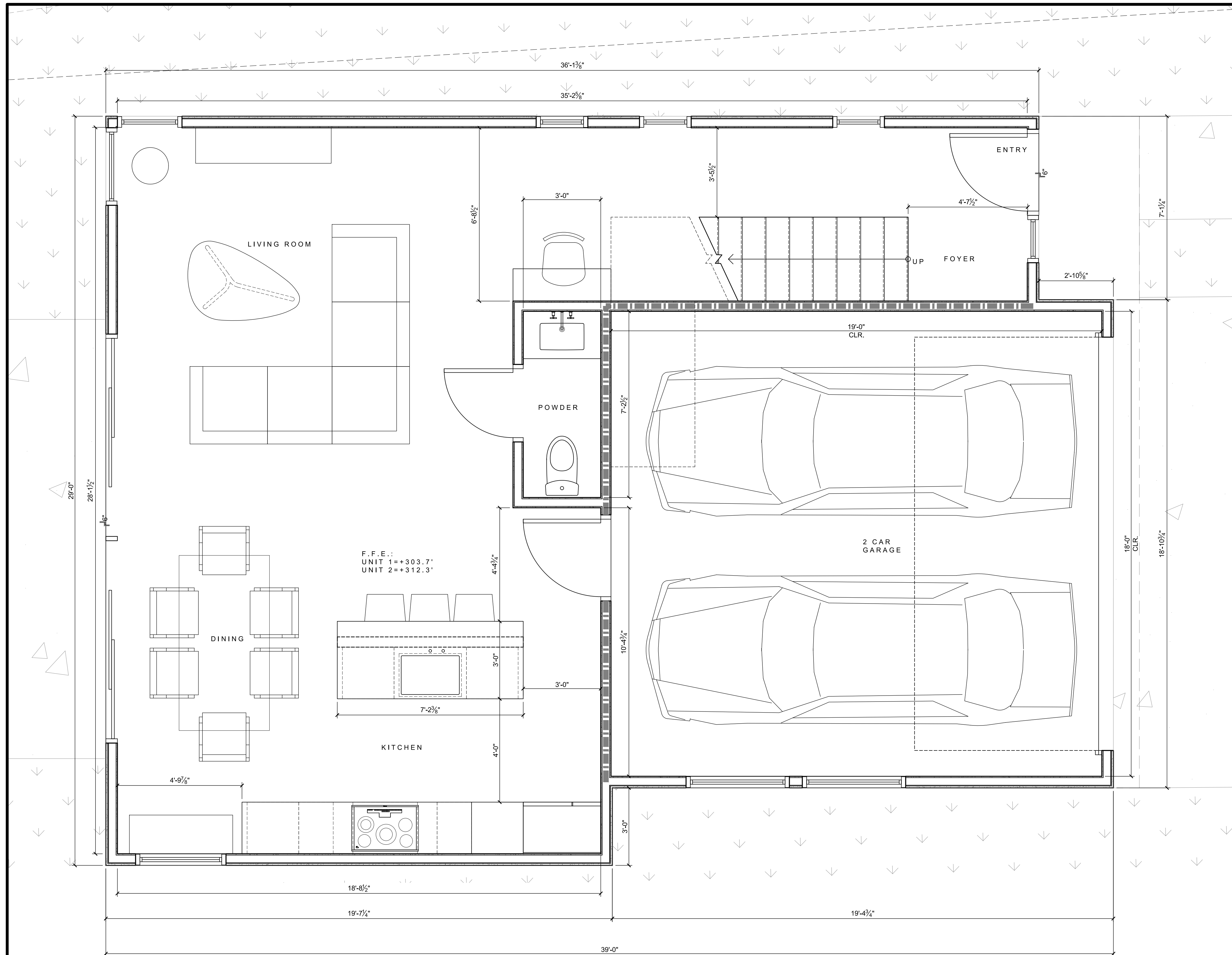
- A. The General Contractor or Sub-Contractor shall verify all conditions or dimensions on these plans in the field with actual site conditions.
- B. Written dimensions shall take precedence over scaled dimensions and shall be verified on the job site. On-site verification of all dimensions and conditions shall be the sole responsibility of the General Contractor and Sub-Contractors.
- C. The Contractor or sub-contractor shall notify TECHNE if any conflicts or discrepancy occurs between this information on this plan and actual field conditions.
- D. Any discrepancies with this drawing affecting project layout shall be brought to the attention of TECHNE. Do not proceed with work until written or verbal instructions are issued by TECHNE.
- E. INSULATION (U.N.O. in T-24 Report)
 - R-19 Batt Insulation at all Exterior 2 X 6 Walls.
 - R-15 Batt Insulation at all accessible interior walls for sound control.
 - R-30 Batt Insulation at Ceiling, Raised Floor & Roof Areas.
 - R-4.5 Insulation Wrap on all New Hot Water Piping.
 - R-8 Insulation Wrap on all New Supply Ducts.
- F. SMOKE DETECTORS: Shall be installed in each bedroom, in access points to each sleeping area and in each story and basements. Detector shall have an alarm audible in all sleeping areas of the unit. Smoke alarms are required to be interconnected in such a manner that the activation of an alarm will activate all the alarms in the individual unit. Units shall be permanently wired to the building wiring and equipped with battery backup.
- G. CARBON MONOXIDE DETECTORS: Shall be interconnected and hard-wired with battery back-up located outside of each separate dwelling unit sleeping area in the immediate vicinity of the bedroom [CRC R315]
- H. SHOWER COMPARTMENTS: Shower compartments and bathtubs with installed shower heads shall be finished with a nonabsorbent surface that extends to a height of not less than 6 feet above the floor. CRC R307.2
- I. TEMPERATURE LIMITING DEVICES: Temperature limiting devices shall be provided at soaking tubs in conformance with the 2016 CPC section 414.5. The maximum hot water temperature discharging from the bathtub and whirlpool bathtub filler that be limited to 120°F (49°C) by a device that conforms to ASSE 1070, Standard For Water Temperature Limiting Devices, or CSAB125.3, Standard for Plumbing Fittings. The water heater shall not be considered for meeting this provision.

DIMENSIONS

- EXTERIOR WALL DIMENSIONS TO FACE OF FINISH (U.N.O.)
- INTERIOR WALL DIMENSIONS TO CENTER LINE OF STUD (U.N.O.)
- CLEARANCE DIMENSIONS ARE TO FACE OF FINISH MATERIALS, NOTED WITH CLR.

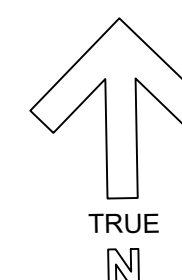
FLOOR PLAN LEGEND

-  PROPOSED EXTERIOR WALL: 2X4 wood stud @ 16" O.C. with 1 layer of 5/8" gypsum board inside, 1/2" sheathing + 3/8" stucco on outside.
-  PROPOSED INTERIOR WALL: 2X4 wood stud @ 16" O.C. with 1 layer of 5/8" gypsum board on each side.
-  1 HOUR FIRE RATED PROPOSED INTERIOR WALL: 2X4 wood stud @ 16" O.C. with 1 layer of 5/8" gypsum board on each side.
-  WALL OPENING: 80" high u.n.o. Finished with 5/8" gypsum board with square corners.
-  DOOR: 3 1/2" U.N.O.
-  WINDOW.



1 FIRST FLOOR PLAN - PROPOSED
 SCALE: 1/2" = 1'-0"

0 1' 2' 4'
 SCALE: 1/2" = 1'-0"



MARK	DATE	DESCRIPTION
01	03.19.21	TM 1st Submittal
02	11.16.21	TM 2nd Submittal
03	12.10.21	TM 3rd Submittal
04	04.26.22	TM 4th Submittal
05	08.16.22	TM 5th Submittal
06	12.05.22	TM 6th Submittal
07	03.15.23	TM 7th Submittal
08	06.23.23	TM 8th Submittal

PROJECT NO: 2018

CAD DWG FILE: A103 FIRST FLOOR PLAN - PROPOSED DWG

DRAWN BY: A.S., B.P., C.G., S.V., D.C.

CHK'D BY: A.S.

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SHEET TITLE

FIRST FLOOR PLAN
 - PROPOSED

A103

CONSULTANTS

6309-6311 Skyline Dr,
 San Diego, CA 92114

OWNER

John Vo & Myly Thi Dang
 3321 Altadena Ave,
 San Diego, CA 92105


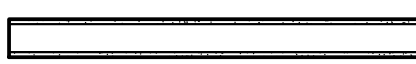
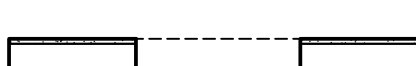
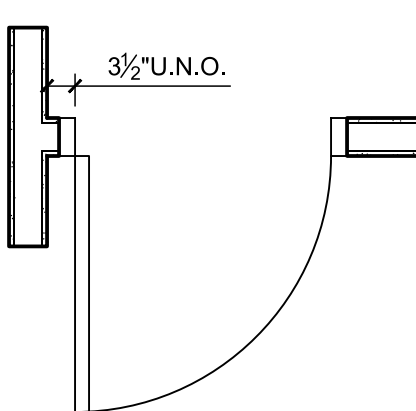
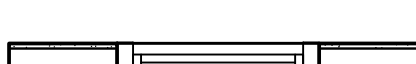
FLOOR PLAN NOTES

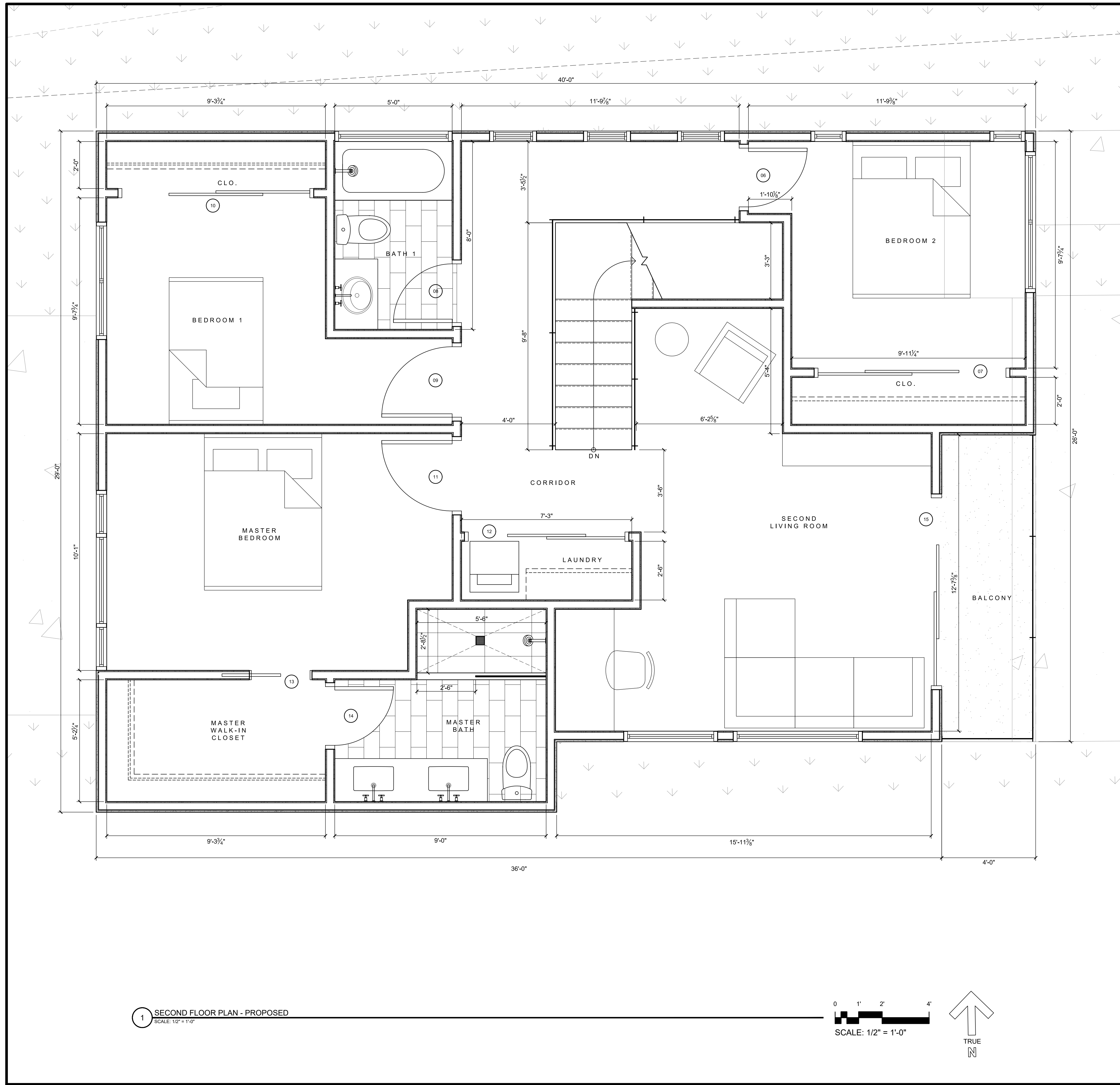
- A. The General Contractor or Sub-Contractor shall verify all conditions or dimensions on these plans in the field with actual site conditions.
- B. Written dimensions shall take precedence over scaled dimensions and shall be verified on the job site. On-site verification of all dimensions and conditions shall be the sole responsibility of the General Contractor and Sub-Contractors.
- C. The Contractor or sub-contractor shall notify TECHNE if any conflicts or discrepancy occurs between this information on this plan and actual field conditions.
- D. Any discrepancies with this drawing affecting project layout shall be brought to the attention of TECHNE. Do not proceed with work until written or verbal instructions are issued by TECHNE.
- E. INSULATION (U.N.O. in T-24 Report)
 - R-19 Batt Insulation at all Exterior 2 X 6 Walls.
 - R-15 Batt Insulation at all accessible interior walls for sound control.
 - R-30 Batt Insulation at Ceiling, Raised Floor & Roof Areas.
 - R-4.5 Insulation Wrap on all New Hot Water Piping.
 - R-8 Insulation Wrap on all New Supply Ducts.
- F. SMOKE DETECTORS: Shall be installed in each bedroom, in access points to each sleeping area and in each story and basements. Detector shall have an alarm audible in all sleeping areas of the unit. Smoke alarms are required to be interconnected in such a manner that the activation of an alarm will activate all the alarms in the individual unit. Units shall be permanently wired to the building wiring and equipped with battery backup.
- G. CARBON MONOXIDE DETECTORS: Shall be interconnected and hard-wired with battery back-up located outside of each separate dwelling unit sleeping area in the immediate vicinity of the bedroom [CRC R315]
- H. SHOWER COMPARTMENTS: Shower compartments and bathtubs with installed shower heads shall be finished with a nonabsorbent surface that extends to a height of not less than 6 feet above the floor. CRC R307.2
- I. TEMPERATURE LIMITING DEVICES: Temperature limiting devices shall be provided at soaking tubs in conformance with the 2016 CPC section 414.5. The maximum hot water temperature discharging from the bathtub and whirlpool bathtub filler that be limited to 120°F (49°C) by a device that conforms to ASSE 1070, Standard For Water Temperature Limiting Devices, or CSAB125.3, Standard for Plumbing Fittings. The water heater shall not be considered for meeting this provision.

DIMENSIONS

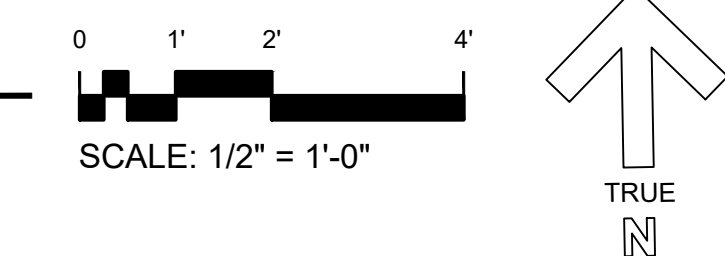
- EXTERIOR WALL DIMENSIONS TO FACE OF FINISH (U.N.O.)
- INTERIOR WALL DIMENSIONS TO CENTER LINE OF STUD (U.N.O.)
- CLEARANCE DIMENSIONS ARE TO FACE OF FINISH MATERIALS, NOTED WITH CLR.

FLOOR PLAN LEGEND

-  PROPOSED EXTERIOR WALL: 2X4 wood stud @ 16" O.C. with 1 layer of 5/8" gypsum board inside, 1/2" sheathing + 3/8" stucco on outside.
-  PROPOSED INTERIOR WALL: 2X4 wood stud @ 16" O.C. with 1 layer of 5/8" gypsum board on each side.
-  WALL OPENING: 80" high u.n.o. Finished with 3/8" gypsum board with square corners.
-  3 1/2" U.N.O. DOOR.
-  WINDOW.



1 SECOND FLOOR PLAN - PROPOSED
 SCALE: 1/2" = 1'-0"



MARK	DATE	DESCRIPTION
01	03.19.21	TM 1st Submittal
02	11.16.21	TM 2nd Submittal
03	12.10.21	TM 3rd Submittal
04	04.26.22	TM 4th Submittal
05	08.16.22	TM 5th Submittal
06	12.05.22	TM 6th Submittal
07	03.15.23	TM 7th Submittal
08	06.23.23	TM 8th Submittal

PROJECT NO: 2018
 CAD DWG FILE: A104 SECOND FLOOR PLAN - PROPOSED.DWG
 DRAWN BY: A.S., B.P., C.G., S.V., D.C.
 CHK'D BY: A.S.

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SHEET TITLE

SECOND FLOOR PLAN - PROPOSED

CONSULTANTS

OWNER

6309-6311 Skyline Dr,
 San Diego, CA 92114

OWNER

John Vo & Myly Thi Dang
 3321 Altadena Ave,
 San Diego, CA 92105

OWNER

OWNER

OWNER

OWNER

OWNER

OWNER

OWNER

OWNER

OWNER




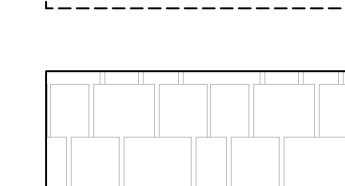
OWNER

OWNER

OWNER

OWNER

ROOF PLAN LEGEND

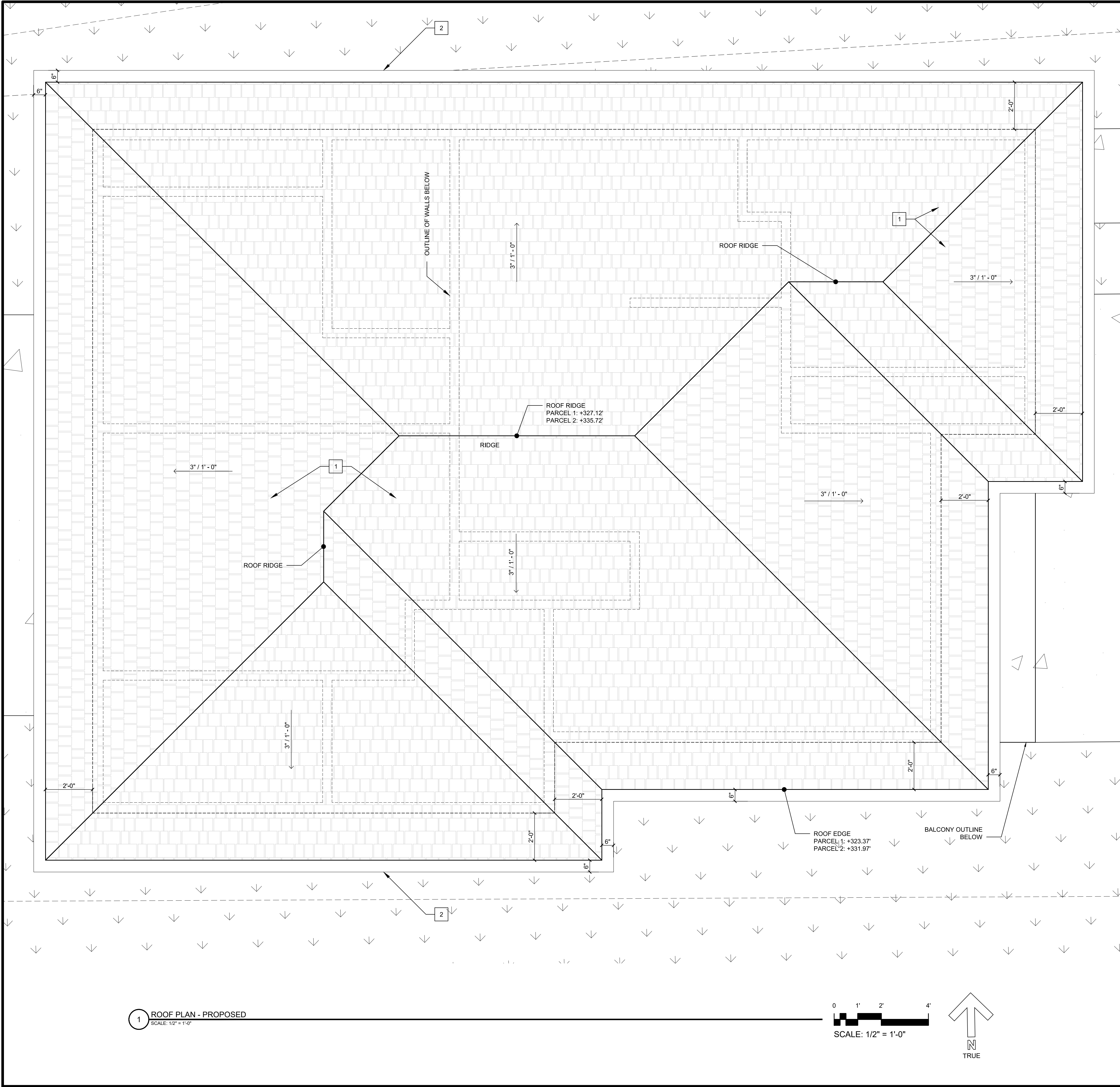
-  SLOPE
-  ROOF SLOPE INDICATOR
-  OUTLINE OF SECOND FLOOR WALLS BELOW ROOF
-  OUTLINE OF PROPOSED ASPHALT SHINGLE ROOF SYSTEM "CERTAIN TEED" WEATHERED WOOD OR EQUAL.

ROOF PLAN NOTES

- A. The General Contractor or Sub-Contractor shall verify all conditions or dimensions on these plans in the field with actual site conditions.
- B. Written dimensions shall take precedence over scaled dimensions and shall be verified on the job site. On-site verification of all dimensions and conditions shall be the sole responsibility of the General Contractor and Sub-Contractors.
- C. The Contractor or sub-contractor shall notify TECHNE if any conflicts or discrepancy occurs between the information on this plan and actual field conditions.
- D. Any discrepancies with this drawing affecting project layout shall be brought to the attention of TECHNE. Do not proceed with work until written or verbal instructions are issued by TECHNE.

ROOF PLAN KEYNOTES

1. COMPOSITE SHINGLE ROOFING - "CERTAIN TEED" LANDMARK SERIES. UL CLASS A ASSEMBLY. ICC-ESR-1389 & ESR-3537.
2. PROPOSED GUTTERS AND DOWNSPOUTS



1 ROOF PLAN - PROPOSED
 SCALE: 1/2" = 1'-0"



01	03.19.21	TM 1st Submittal
02	11.16.21	TM 2nd Submittal
03	12.10.21	TM 3rd Submittal
04	04.26.22	TM 4th Submittal
05	08.16.22	TM 5th Submittal
06	12.05.22	TM 6th Submittal
07	03.15.23	TM 7th Submittal
08	06.23.23	TM 8th Submittal
MARK	DATE	DESCRIPTION

PROJECT NO: 2018
 CAD DWG FILE: A105 ROOF PLAN - PROPOSED.DWG
 DRAWN BY: A.S., B.P., C.G., S.V., D.C.
 CHK'D BY: A.S.

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SHEET TITLE

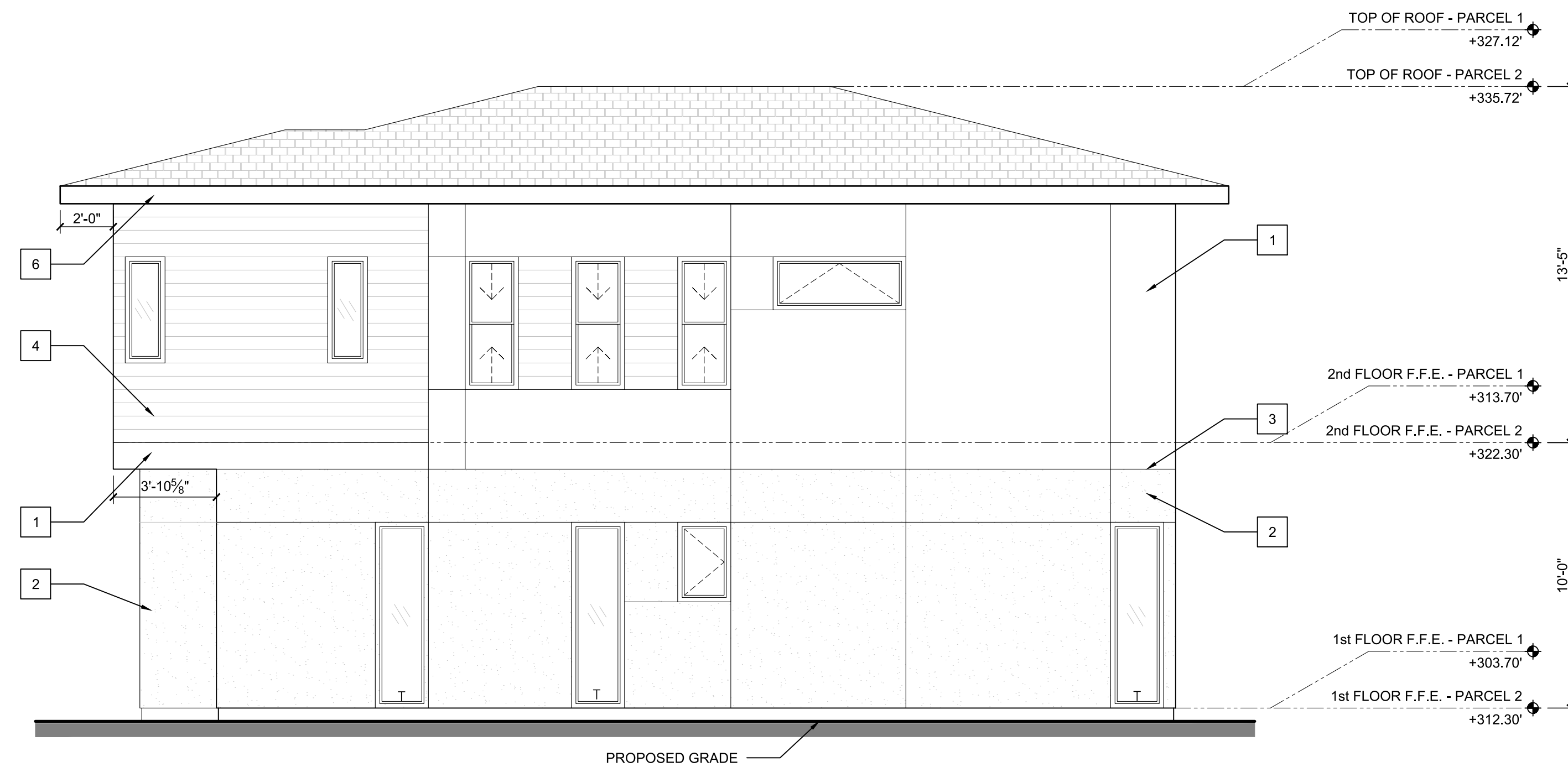
ROOF PLAN - PROPOSED

CONSULTANTS

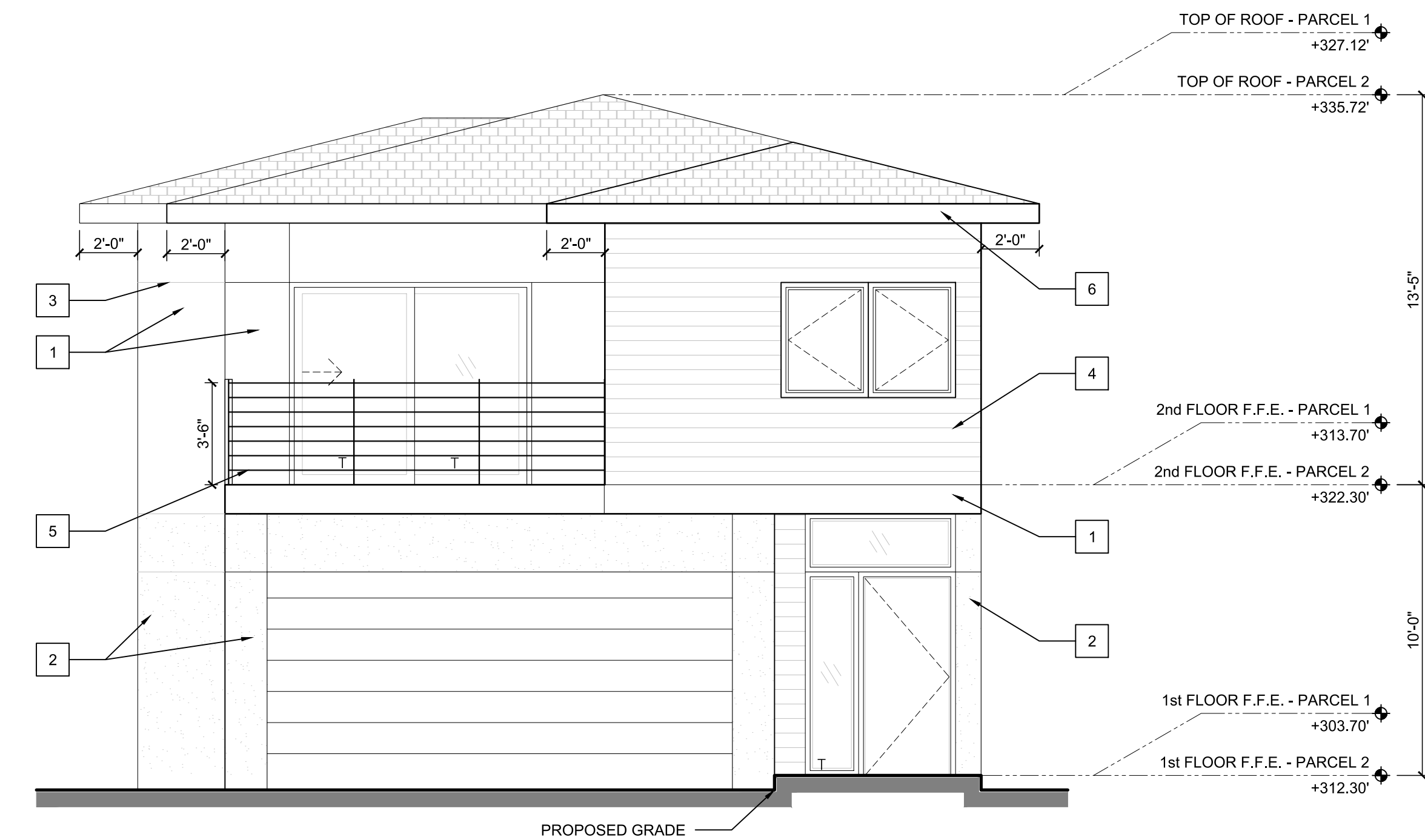
OWNER

6309-6311 Skyline Dr,
 San Diego, CA 92114

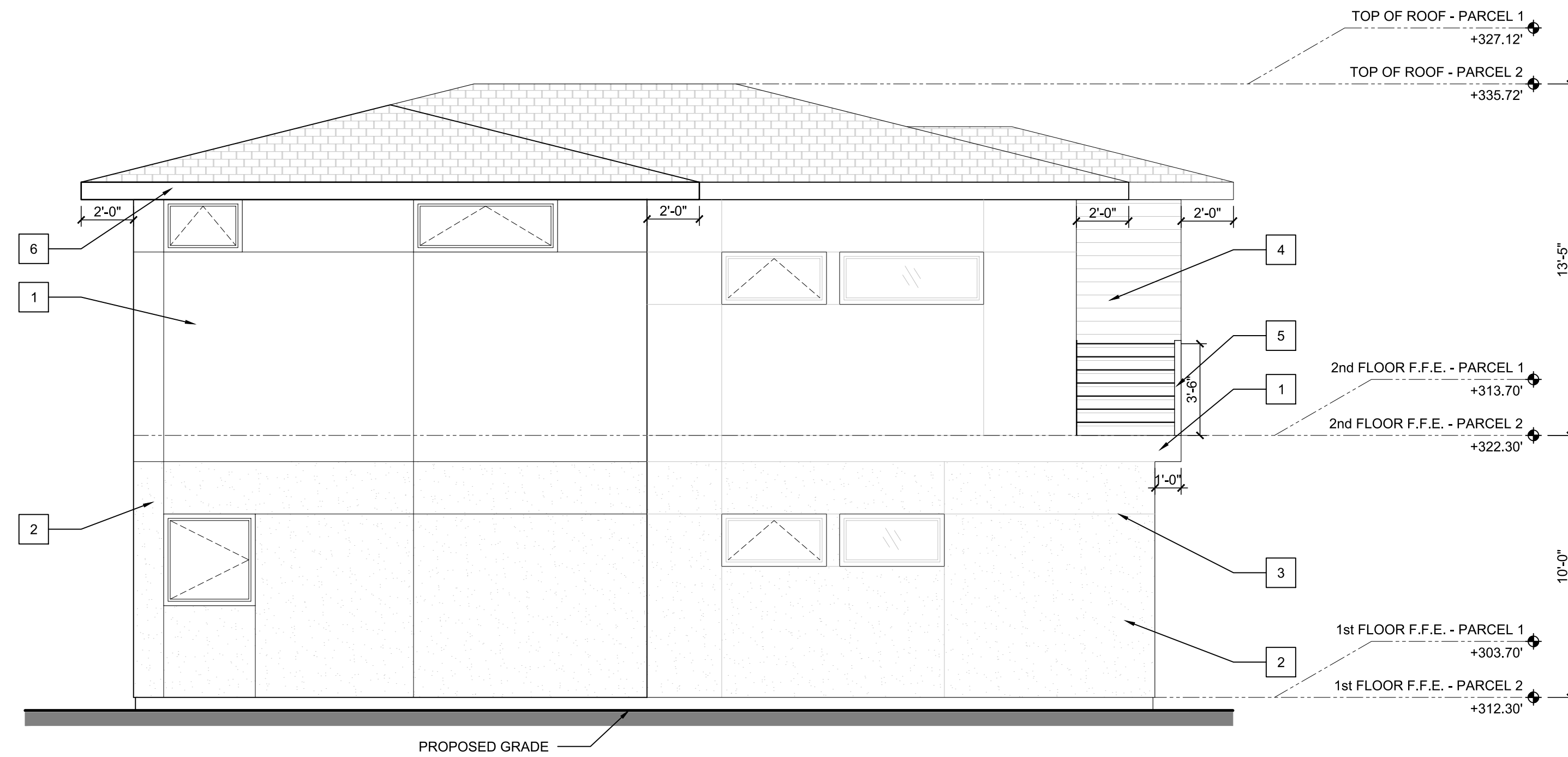
John Vo & Myly Thi Dang
 3321 Altadena Ave,
 San Diego, CA 92105



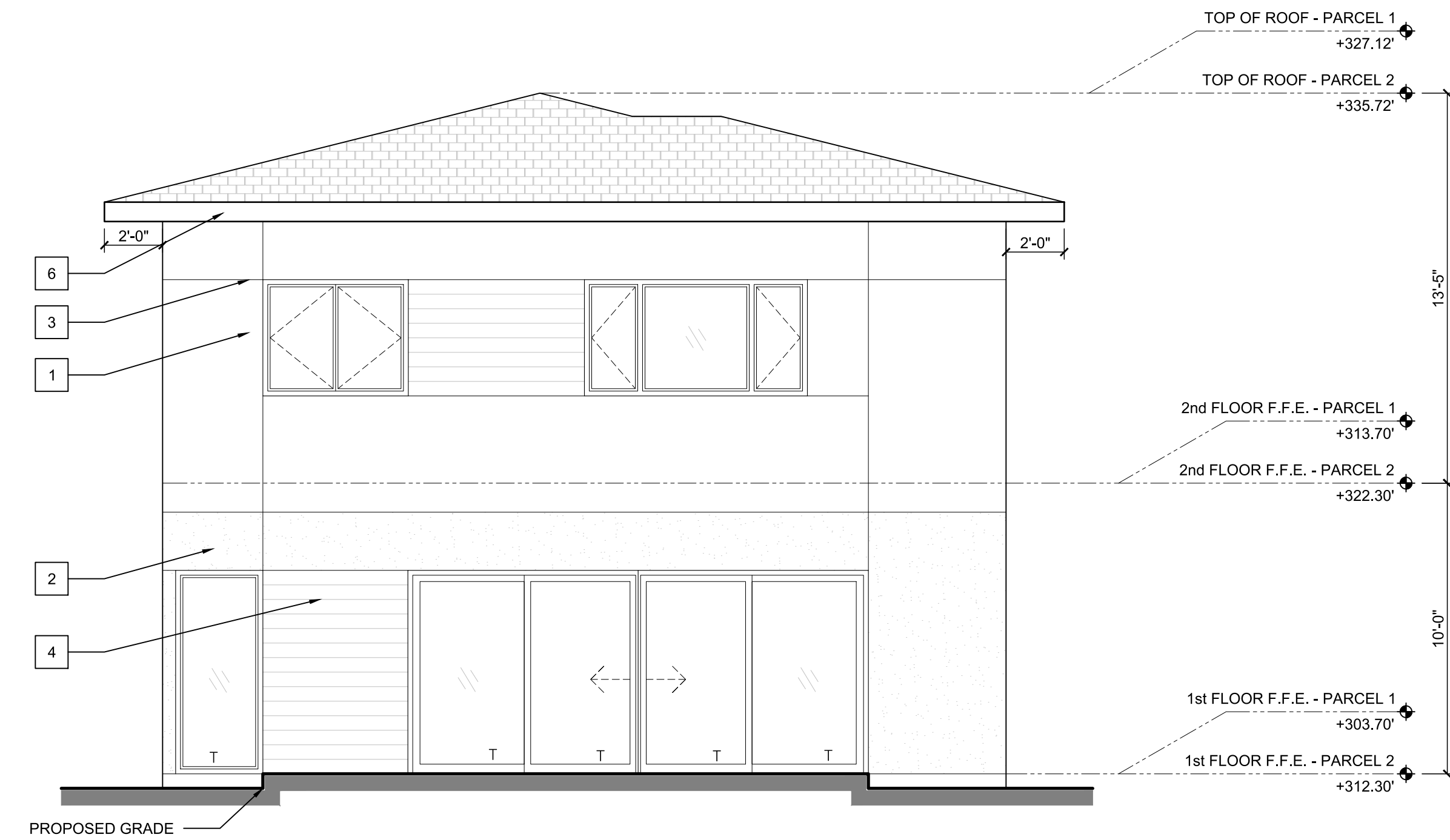
2 NORTH ELEVATION - PROPOSED
 SCALE: 1/4"=1'-0"



1 WEST ELEVATION - PROPOSED
 SCALE: 1/4"=1'-0"



4 SOUTH ELEVATION - PROPOSED
 SCALE: 1/4"=1'-0"



3 EAST ELEVATION - PROPOSED
 SCALE: 1/4"=1'-0"

ELEVATION NOTES

- a. Typical single-family dwelling depicted.
- b. Refer to site section and roof plan drawings for additional elevations.
- c. Elevations shown are from top of slab (tosl) or top of structural sheathing / diaphragm (loss).
- d. (T) TEMPERED GLAZING: See Window and Door Schedule & Notes

ELEVATION KEYNOTES

- 1. STUCCO 1: 7/8" thick 3-coat Portland Cement Stucco: Smooth finish; finish coat to be hand applied. Color: White.
- 2. STUCCO 2: 7/8" thick 3-coat Portland Cement Stucco: Smooth finish; finish coat to be hand applied. Color: Light gray.
- 3. STUCCO EXPANSION JOINT: vinyl expansion joint where indicated.
- 4. Light brown composite siding finish.
- 5. Metal guardrail.
- 6. Roof system fascia to match composite siding.

MARK	DATE	DESCRIPTION
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03	12.10.21	TM 3rd Submittal
04	04.25.22	TM 4th Submittal
05	08.16.22	TM 5th Submittal
06	12.05.22	TM 6th Submittal
07	03.15.23	TM 7th Submittal
08	06.23.23	TM 8th Submittal

PROJECT NO:	2018
CAD DWG FILE:	A201 EXTERIOR ELEVATIONS - PROPOSED DWG
DRAWN BY:	A.S., B.P., C.G., S.V., D.C.
CHK'D BY:	A.S.
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SHEET TITLE
 EXTERIOR
 ELEVATION -
 PROPOSED

A201



DESIGN | DEVELOPMENT

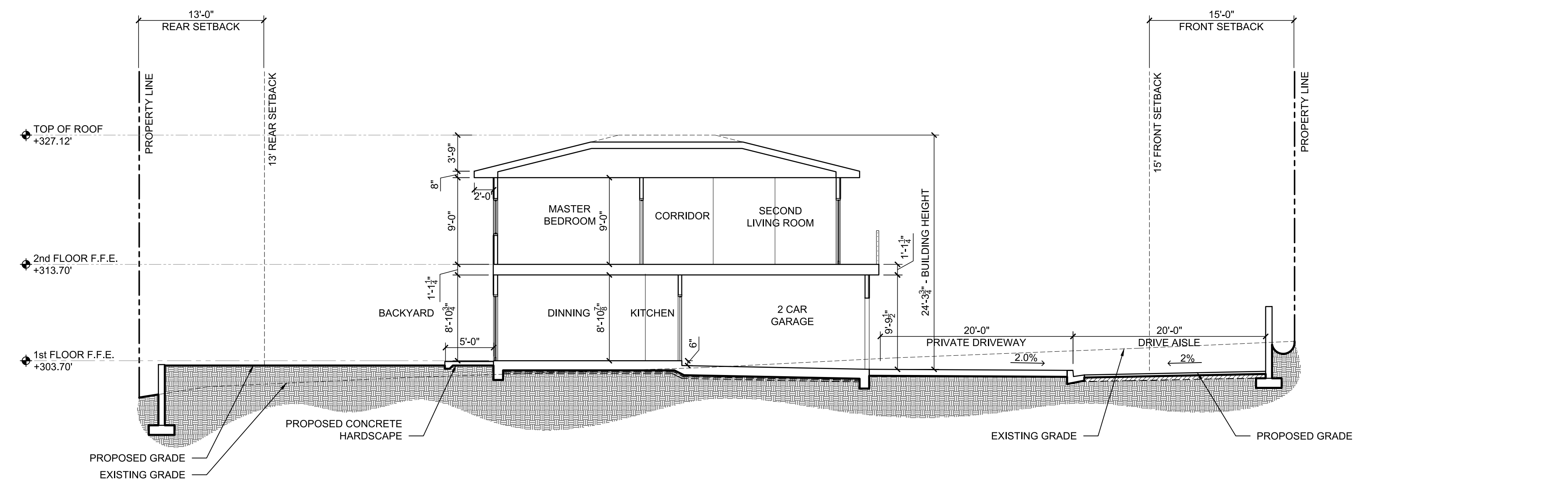
2934 Lincoln Ave., San Diego, CA 92104
 techne-us.com sustainablearchitect.org
 619-940-5814 313-595-5814

CONSULTANTS

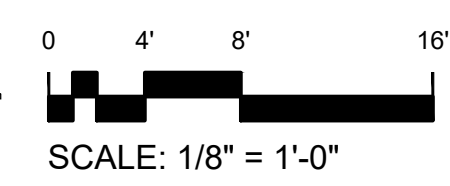
6309-6311 Skyline Dr,
 San Diego, CA 92114

OWNER

John Vo & Myly Thi Dang
 3321 Altadena Ave,
 San Diego, CA 92105



1 SITE SECTION - PARCEL 1 - PROPOSED
 SCALE: 1/8" = 1'-0"



SECTION NOTES

- A. This Building Section drawing is schematic in nature and not for construction.
- B. All elevations are based on the Topographic Survey found within this set of drawings.
- C. Refer to Site Plan drawing for additional information.
- D. All structural components such as foundations, walls, etc... are shown for reference only.

DIMENSIONS

- EXTERIOR WALL DIMENSIONS TO FACE OF FINISH (U.N.O.)
- INTERIOR WALL DIMENSIONS TO CENTER LINE OF STUD (U.N.O.)
- CLEARANCE DIMENSIONS ARE TO FACE OF FINISH MATERIALS, NOTED WITH CLR

01	03.19.21	TM 1st Submittal
02	11.16.21	TM 2nd Submittal
03	12.10.21	TM 3rd Submittal
04	04.25.22	TM 4th Submittal
05	08.16.22	TM 5th Submittal
06	12.05.22	TM 6th Submittal
07	03.15.23	TM 7th Submittal
08	06.23.23	TM 8th Submittal
MARK	DATE	DESCRIPTION

PROJECT NO: 2018
 CAD DWG FILE: A301-A302 BUILDING SITE SECTION.DWG
 DRAWN BY: A.S., B.P., C.G., S.V., D.C.
 CHK'D BY: A.S.
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SHEET TITLE
SITE SECTION - PROPOSED

A301



DESIGN | DEVELOPMENT

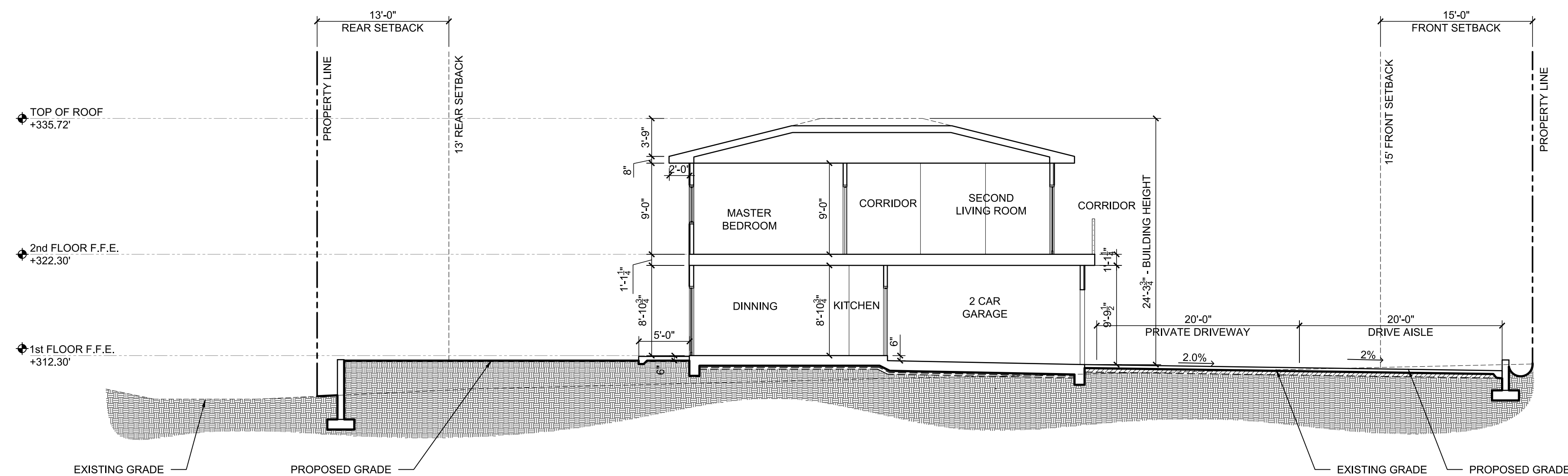
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CONSULTANTS

6309-6311 Skyline Dr,
 San Diego, CA 92114

OWNER

John Vo & Myly Thi Dang
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 San Diego, CA 92105



1 SITE SECTION - PARCEL 2 - PROPOSED
 SCALE: 1/8" = 1'-0"



SECTION NOTES

- A. This Building Section drawing is schematic in nature and not for construction.
- B. All elevations are based on the Topographic Survey found within this set of drawings.
- C. Refer to Site Plan drawing for additional information.
- D. All structural components such as foundations, walls, etc... are shown for reference only.

DIMENSIONS

- EXTERIOR WALL DIMENSIONS TO FACE OF FINISH (U.N.O.)
- INTERIOR WALL DIMENSIONS TO CENTER LINE OF STUD (U.N.O.)
- CLEARANCE DIMENSIONS ARE TO FACE OF FINISH MATERIALS, NOTED WITH CLR

01	03.19.21	TM 1st Submittal
02	11.16.21	TM 2nd Submittal
03	12.10.21	TM 3rd Submittal
04	04.26.22	TM 4th Submittal
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06	12.05.22	TM 6th Submittal
07	03.15.23	TM 7th Submittal
08	06.23.23	TM 8th Submittal
MARK	DATE	DESCRIPTION

PROJECT NO: 2018
 CAD DWG FILE: A301-A302 BUILDING SITE SECTION.DWG
 DRAWN BY: A.S., B.P., C.G., S.V., D.C.
 CHK'D BY: A.S.

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SHEET TITLE
 SITE SECTION - PROPOSED

A302

TECHNE

DESIGN | DEVELOPMENT

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CONSULTANTS

6309-6311 Skyline Dr,
 San Diego, CA 92114

OWNER

John Vo & Myly Thi Dang
 3321 Altadena Ave,
 San Diego, CA 92105



MARK	DATE	DESCRIPTION
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06	12.05.22	TM 6th Submittal
07	03.15.23	TM 7th Submittal
08	06.23.23	TM 8th Submittal
11/20/23 3:52:28 PM		

PROJECT NO: 2018
 CAD DWG FILE: A901 RENDERING - PROPOSED DWG
 DRAWN BY: A.S., B.P., C.G., S.V., D.C.
 CHK'D BY: A.S.

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SHEET TITLE
**CONCEPTUAL
 RENDERING -
 PROPOSED**

A901
 SHEET 12 OF 16

TENTATIVE PARCEL MAP NO. 2554126, NEIGHBORHOOD DEVELOPMENT PERMIT NO. 2554128

6309 SKYLINE DRIVE, SAN DIEGO, CA

LEGEND

- PROPERTY LINE/TM BOUNDARY
- EXISTING TOPO CONTOUR
- GARAGE FLOOR
- PAD ELEVATION
- SLOPE (2:1 MAX)
- PERCENT OF GRADE
- STREET ELEVATION
- EXIST. SEWER MAIN
- EXIST. WATER MAIN
- EXIST. FIRE HYDRANT
- EXIST. STREET LIGHT
- SETBACK LINE
- EASEMENT LINE
- EASEMENT CALLOUT
- PROPOSED DOMESTIC METERS AND BACKFLOWS
- PROPOSED SEWER LATERALS
- FOUND LEAD AND DISC (LS7729)
- FOUND IRON PIPE (LS7729)
- FOUND IRON PIPE (RCE16099 PER PM NO. 4245)

GENERAL NOTES

1. COMMUNITY PLANNING AREA- ENCANTO
2. ASSESSOR'S PARCEL NUMBER: 549-420-12
3. GROSS LOT AREA 38,374 SF 0.881 AC
4. NET LOT AREA 37,609 SF 0.863 AC
5. DENSITY: 4.65 DU/AC (4 UNITS / 0.863AC = 4.63)
6. EXISTING ZONING: RS-1 EXISTING LAND USE: 2 SINGLE FAMILY RESIDENCES
7. WATER SYSTEMS TO BE INSTALLED IN ACCORDANCE WITH THE STANDARDS OF THE CITY OF SAN DIEGO. THE ONSITE WATER SYSTEM SHALL BE A PRIVATE SYSTEM.
8. ALL ONSITE STORM DRAINS SHALL BE PRIVATELY MAINTAINED.
9. SANITARY SEWER TO BE INSTALLED IN ACCORDANCE WITH THE STANDARDS OF THE CITY OF SAN DIEGO. THE ONSITE SEWER SYSTEM SHALL BE PRIVATE SYSTEM.
10. NEW DRY AND WET UTILITIES SHALL BE UNDERGROUND WITH APPROPRIATE PERMITS. EASEMENTS TO BE PROVIDED AS NECESSARY.
11. SUBDIVIDER TO PROVIDE APPROVED STREET LIGHT STANDARDS AND FIXTURES IN THE TYPE AND NUMBER APPROVED BY THE CITY ENGINEER.
12. SLOPE PLANTING SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE CITY OF SAN DIEGO.
13. GRADING SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE GRADING ORDINANCE OF THE CITY OF SAN DIEGO.
14. ALL WORK WITHIN PUBLIC RIGHT OF WAY SHALL BE DONE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, THE SAN DIEGO AREA REGIONAL STANDARD DRAWINGS AND THE DESIGN AND CONSTRUCTION STANDARDS OF THE CITY OF SAN DIEGO.
15. FIRE HYDRANTS TO BE INSTALLED AND ACCESS PROVIDED IN ACCORDANCE WITH THE CITY OF SAN DIEGO "FIRE ACCESS ROADWAYS, CFC SECTION 503".
16. GRADING SHOWN HEREON IS PRELIMINARY AND SUBJECT TO CHANGE IN FINAL DESIGN.
17. TRASH PICKUP SHALL BE INDIVIDUAL PICKUP ONCE A WEEK.
18. SOURCE OF TOPOGRAPHY: FIELD SURVEY PREPARED BY LUNDSTROM ENGINEERING AND SURVEYING, DATED: OCTOBER 2020.
19. REQUIRED SETBACKS ARE AS FOLLOWS:
FRONT SETBACK FEET MINIMUM, 15 FEET
SIDE YARD SETBACK - 4 FEET MINIMUM
STREET SIDE YARD SETBACK - 10 FEET
REAR YARD SETBACK - 13 FEET.
20. RETAINING WALLS: NONE
21. THERE IS A BUS STOP ADJACENT TO PROPOSED PARCEL 1 ALONG SKYLINE DR.
22. GEOLOGIC HAZARDS: NONE
23. L.C.=194-1749, NAD83=1834-6309
24. SCOPE: SUBDIVISION, GRADING AND DEVELOPMENT OF ONE PARCEL INTO FOUR PARCELS FOR SINGLE FAMILY RESIDENTIAL.
25. ADEQUATE NOISE ATTENUATION WILL BE PROVIDED TO ENSURE INTERIOR NOISE LEVEL OF 45 DECIBEL FOR ALL HABITABLE ROOMS.

EASEMENT LEGEND

- ① INDICATES EXISTING EASEMENT, ON PARCEL 1 OF PARCEL MAP NO. 4245, FOR INGRESS AND EGRESS, PIPELINES, DRAINAGE, AND/OR PUBLIC UTILITIES AND INCIDENTAL PURPOSES THERETO OVER, UNDER, ALONG, AND ACROSS THE EASEMENT.
- ② INDICATES EXISTING EASEMENT IN FAVOR OF SD&E FOR PUBLIC UTILITY PURPOSES AS PER DOCUMENT RECORDED OCTOBER 8, 1945 IN BK. 1949, PG. 441 OF OFFICIAL RECORDS. (ALONG THE SOUTHERLY LINE, NO WIDTH SPECIFIED).
- ③ INDICATES EXISTING EASEMENT IN FAVOR OF THE CITY OF SAN DIEGO FOR ROAD PURPOSES AS PER DOCUMENT RECORDED MAY 6, 1948 IN BK. 2786, PG. 101 OF OFFICIAL RECORDS.
- ④ INDICATES EXISTING EASEMENT IN FAVOR OF THE CITY OF SAN DIEGO FOR PUBLIC STREET PURPOSES AS PER DOCUMENT RECORDED AUGUST 20, 1964, AS DOCUMENT NO. 150968 OF OFFICIAL RECORDS.

BASIS OF BEARING

EASTERLY LINE OF CASA BONITA MAP NO. 4736, HAVING A BEARING OF N00°42'00"E.

BENCH MARK

ELEVATIONS FOR THIS PROJECT DERIVED FROM CITY OF SAN DIEGO SURVEY CONTROL BENCHMARK LOCATED AT THE SOUTHEAST CORNER OF SKYLINE DRIVE & 58TH STREET.
BRASS PLUG IN TOP OF CURB RETURN, NORTH SIDE OF SKYLINE DRIVE
ELEVATION=293.22' MSL

LEGAL DESCRIPTION

THE EASTERLY 120 FEET OF THE WESTERLY 145 FEET OF THE NORTHERLY 330 FEET OF LOT "C" OF ENCANTO, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP NO. 749, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, MAY 06, 1893, EXCEPTING THE NORTH 10 FEET THEREOF.

ALSO, A RIGHT OF WAY FOR ROAD PURPOSES OVER AND ACROSS THE WEST 25 FEET OF THE NORTH 330 FEET, EXCEPTING THE NORTH 10 FEET THEREOF OF SAID LOT "C"

GRADING DATA

- a. CUT QUANTITIES: 500 CYD
- b. FILL QUANTITIES: 500 CYD
- c. IMPORT/EXPORT: 0 CYD
- d. MAX CUT DEPTH UNDER BUILDING FOOTPRINT: 8 FT
- e. MAX CUT DEPTH OUTSIDE BUILDING FOOTPRINT: 8 FT
- f. MAX FILL DEPTH UNDER BUILDING FOOTPRINT: 11 FT
- g. MAX FILL DEPTH OUTSIDE BUILDING FOOTPRINT: 11 FT

PLEASE SEE SDMC SECTION 129.0602 FOR MORE INFORMATION REGARDING GRADING PERMIT REGULATIONS.

- b. EXISTING AMOUNT OF IMPERVIOUS AREA: 7,300 SF
- c. PROPOSED/REPLACED AMOUNT OF IMPERVIOUS AREA: 7,500 SF
- d. EXISTING AMOUNT OF PERVIOUS AREA: 30,309 SF
- e. PROPOSED AMOUNT OF PERVIOUS AREA: 22,809 SF
- f. TOTAL IMPERVIOUS AREA: 14,800 SF
- g. IMPERVIOUS % INCREASE: 20%

VISIBILITY AREA TRIANGLES

NO OBSTRUCTION INCLUDING LANDSCAPING & SOLID WALLS IN THE VISIBILITY AREA SHALL EXCEED 24 FEET IN HEIGHT.
PLANT MATERIAL, OTHER THAN TREES, WITHIN THE PUBLIC RIGHT-OF-WAY THAT IS LOCATED WITHIN VISIBILITY AREAS SHALL NOT EXCEED 24 INCHES IN HEIGHT, MEASURED FROM THE TOP OF THE ADJACENT CURB.

DEVIATIONS

- PARCEL 1:**
1. LOT DEPTH REQUIRED 95.00' (63.50' PROVIDED)
- PARCEL 2:**
1. LOT DEPTH REQUIRED 95.00' (56.50' PROVIDED)
2. STREET FRONTAGE REQUIRED 120.00' (119.92' PROVIDED)
- PARCEL 3:**
1. STREET FRONTAGE REQUIRED 120.00' (119.92' PROVIDED)
- PARCEL 4:**
1. LOT DEPTH REQUIRED 95.00' (88.79' PROVIDED)
2. STREET FRONTAGE REQUIRED 120.00' (119.92' PROVIDED)
3. INTERIOR EAST SIDE SETBACK REQUIRED 9.59' (7.60' PROVIDED)

OWNER

JOHN VO AND MYLY THI DANG, HUSBAND AND WIFE AS JOINT TENANTS
5333 MISSION CENTER ROAD, STE 115
SAN DIEGO, CA 92108
(619) 787-0333

[Signature] 02/28/2023
DATE

APPLICANT

BARTLETT ASSOCIATES
5333 MISSION CENTER ROAD, STE 115
SAN DIEGO, CA 92108
(619) 787-0333

PROFESSIONAL LAND SURVEYOR

LUNDSTROM ENGINEERING AND SURVEYING, INC.
3333 CAMINO DEL RIO SOUTH, SUITE 330
SAN DIEGO, CALIFORNIA, 92108
(619) 814-1220

[Signature] DATE: 03-15-2023

PUBLIC UTILITIES

- SEWER CITY OF SAN DIEGO
- WATER CITY OF SAN DIEGO
- STORM DRAIN PRIVATE H.O.A.
- TELEPHONE (UNDERGROUND) PACIFIC BELL
- GAS AND ELECTRIC (UNDERGROUND) SD&E
- CABLE T.V. (UNDERGROUND) COX CABLE
- POLICE & FIRE CITY OF SAN DIEGO

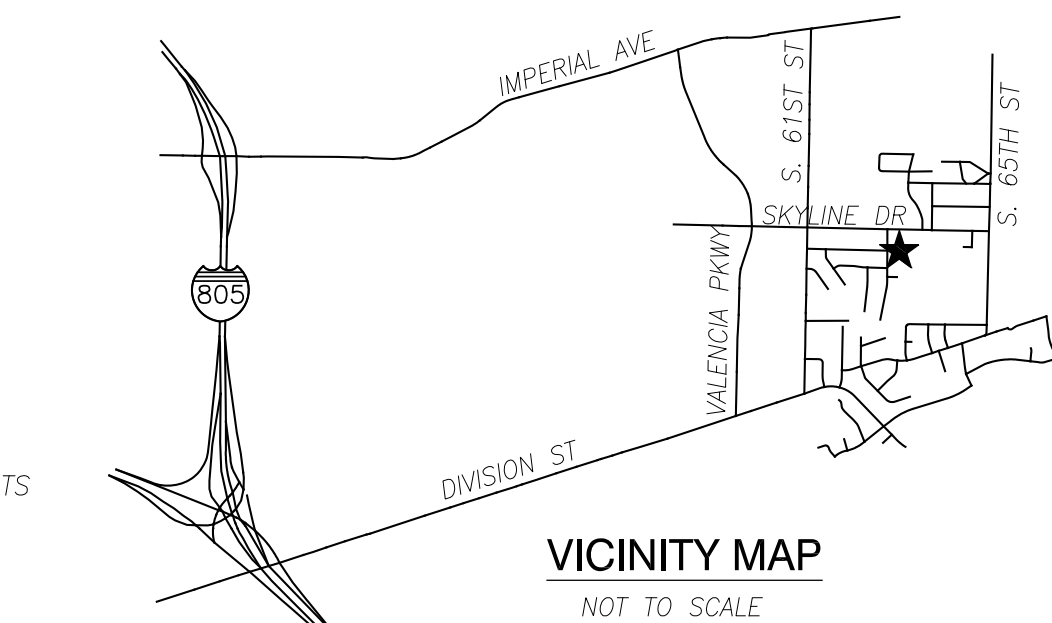
NOTE: THE SUBDIVIDER SHALL ENSURE THAT ALL ONSITE UTILITIES SERVING THE SUBDIVISION SHALL BE UNDERGROUND WITH THE APPROPRIATE PERMITS.

MAPPING NOTE

A PARCEL MAP SHALL BE FILED AT THE COUNTY RECORDERS OFFICE PRIOR TO THE EXPIRATION OF THE TENTATIVE MAP, IF APPROVED, A DETAILED PROCEDURE OF SURVEY SHALL BE SHOWN ON THE PARCEL MAP AND ALL PROPERTY CORNERS SHALL BE MARKED WITH DURABLE SURVEY MONUMENTS.

NOTE

THE OWNER/PERMITEE WILL BE REQUIRED TO FILE CC&RS, WRITTEN TO THE SATISFACTION OF THE PUBLIC UTILITIES DEPARTMENT, TO ENSURE THE FUTURE OPERATION AND MAINTENANCE OF ALL PRIVATE WATER AND SEWER FACILITIES THAT SERVE MORE THAN A SINGLE CONDOMINIUM UNIT OR LOT.

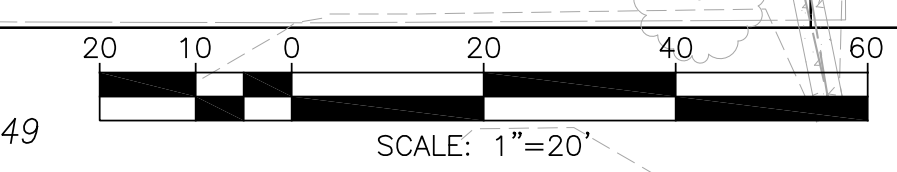
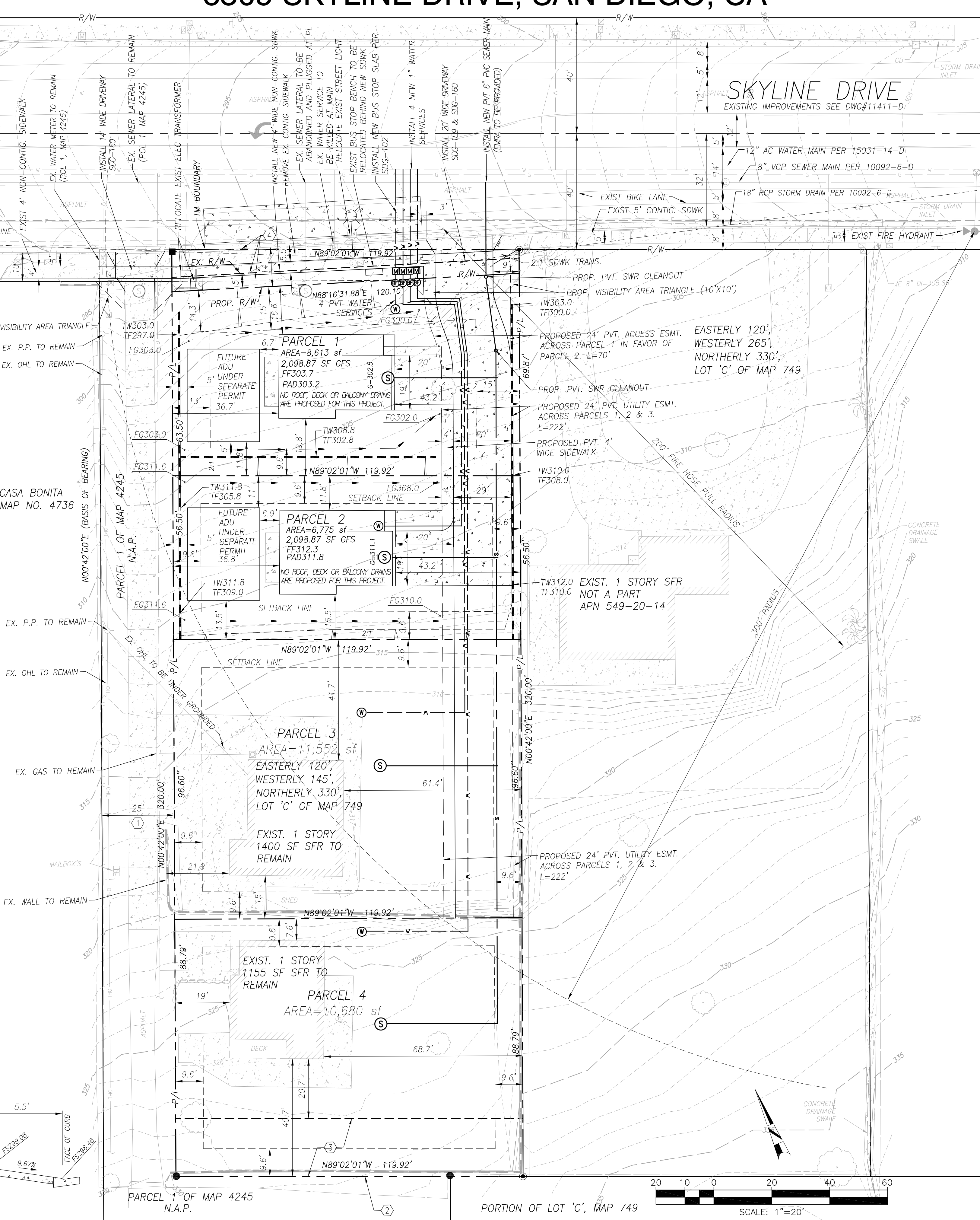
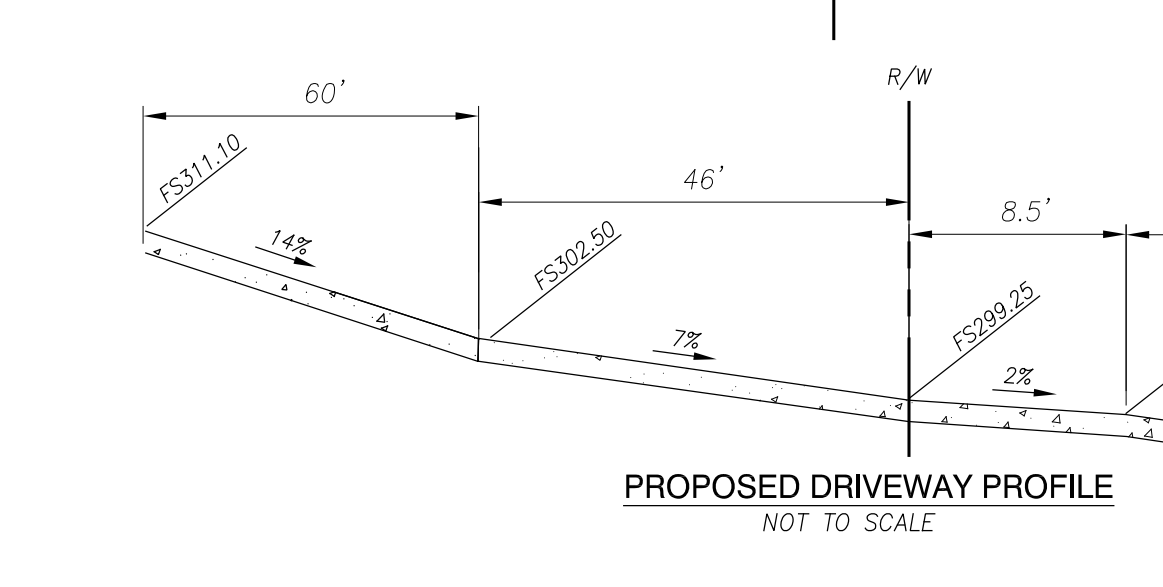
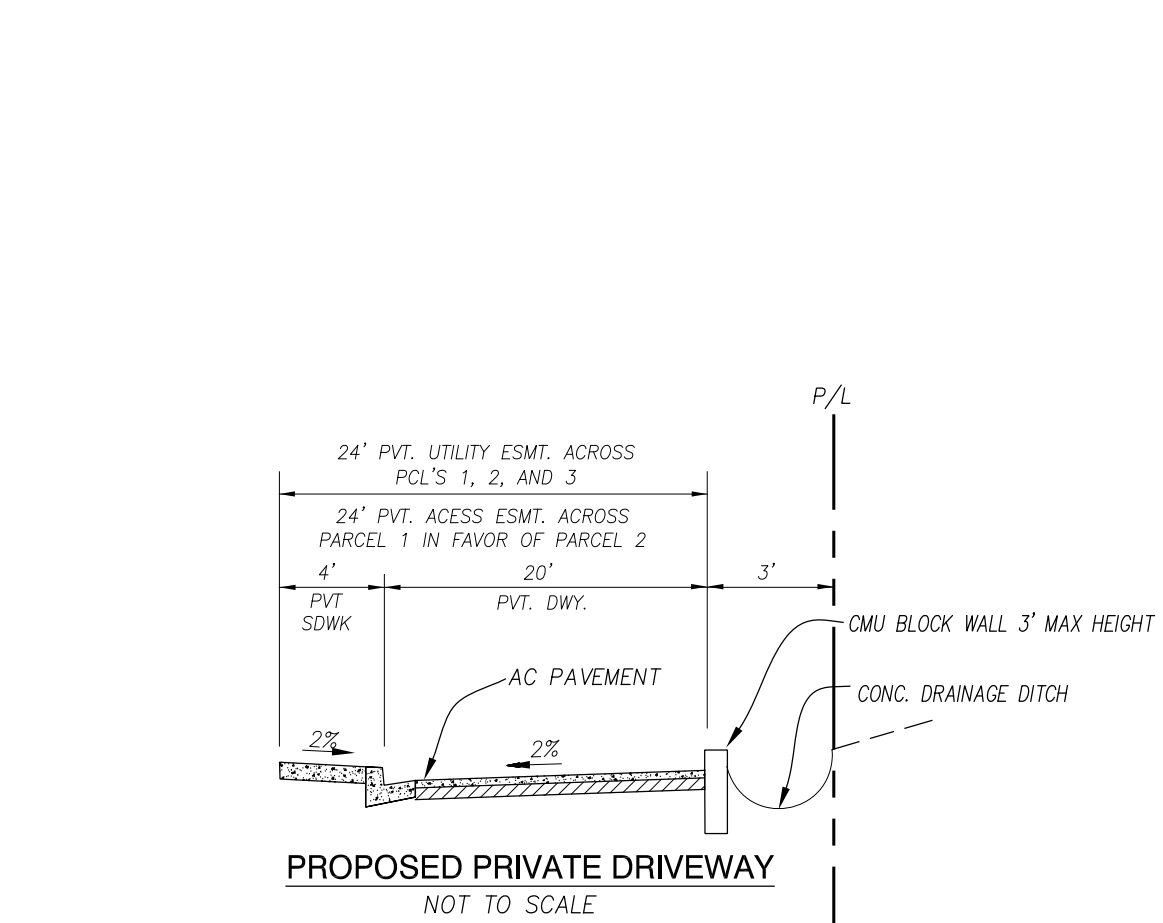
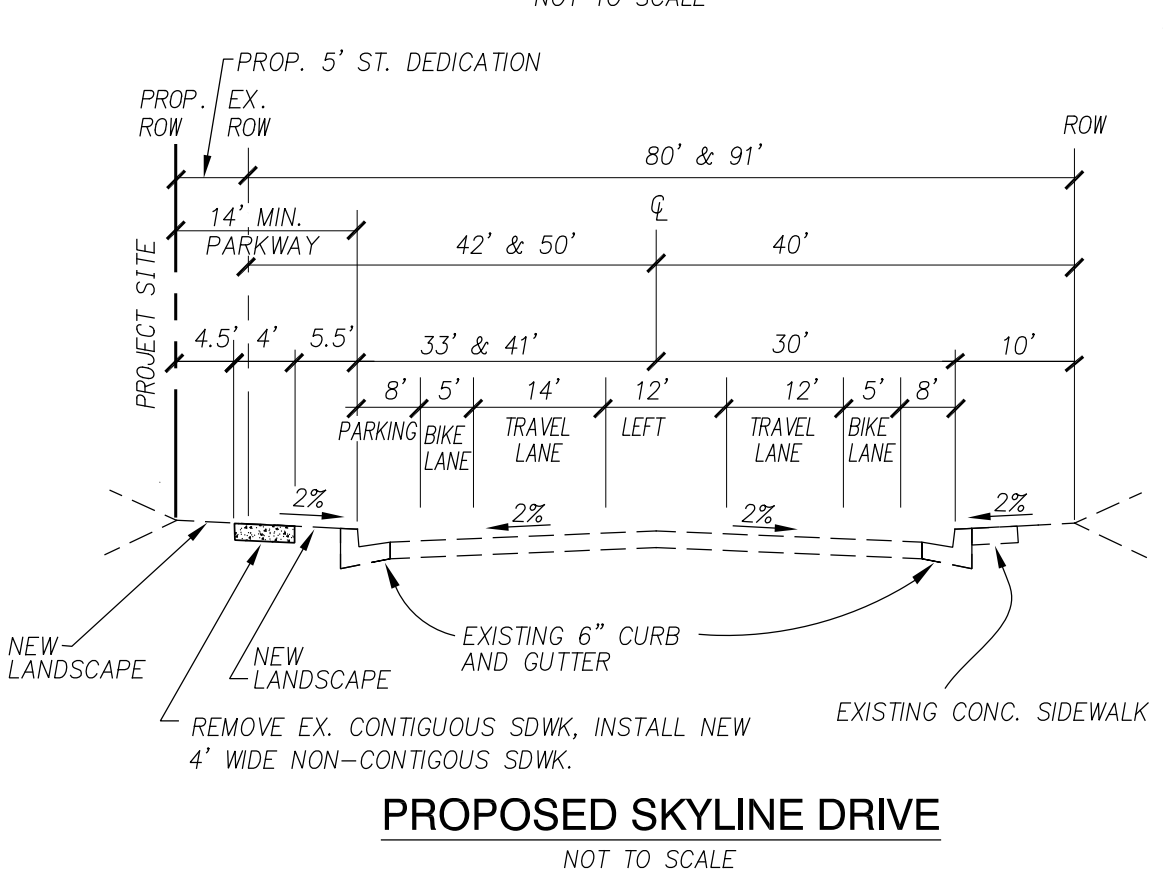
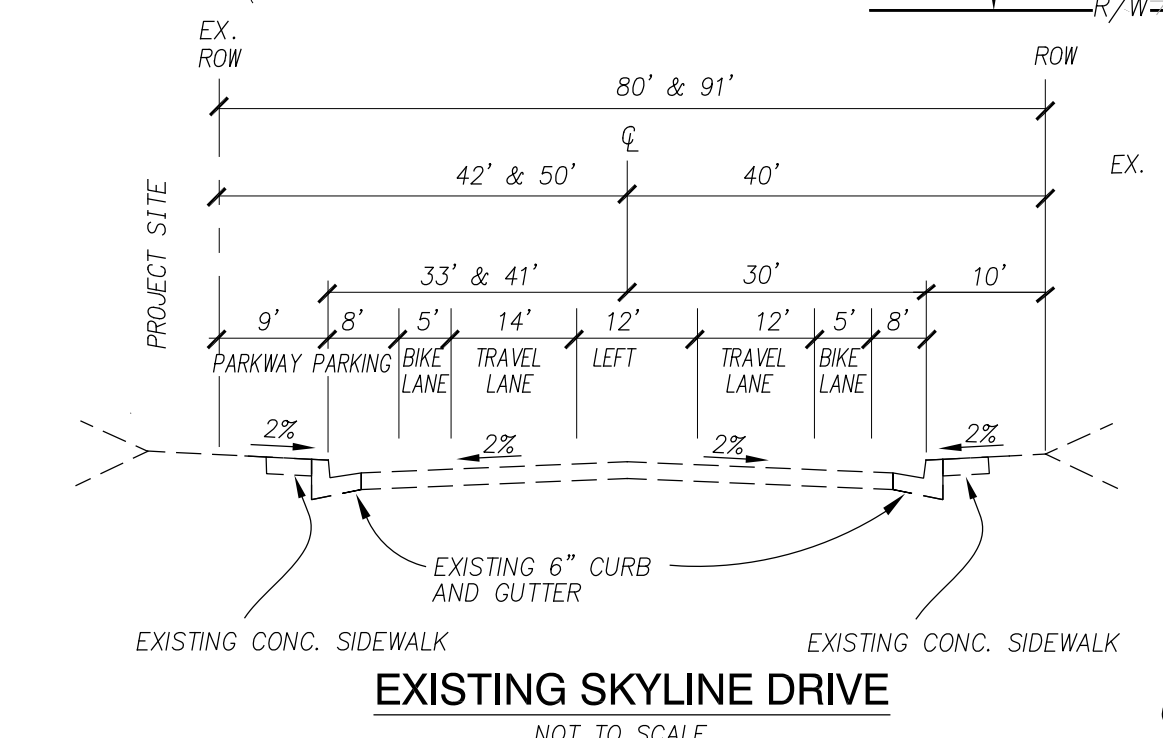


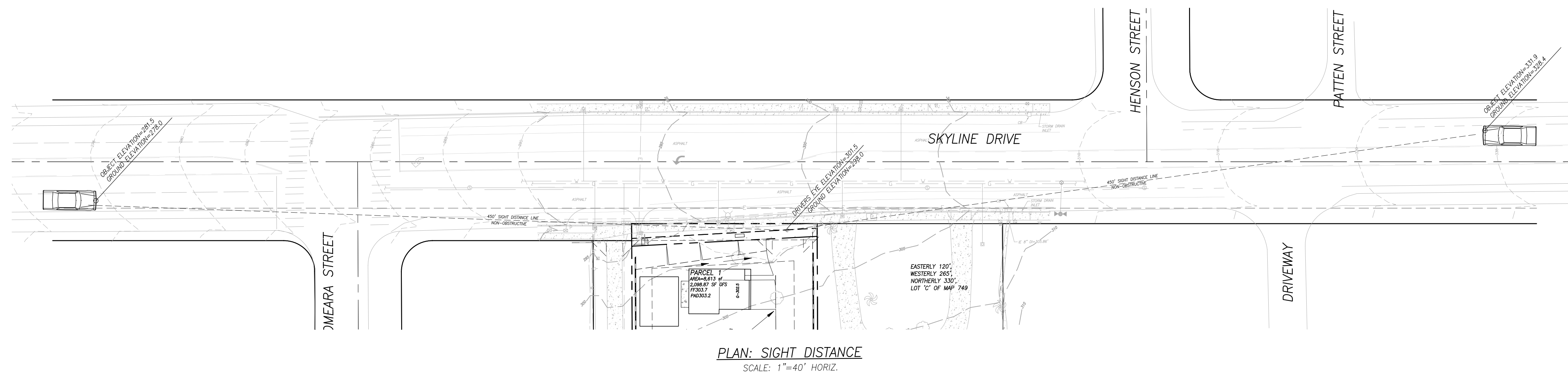
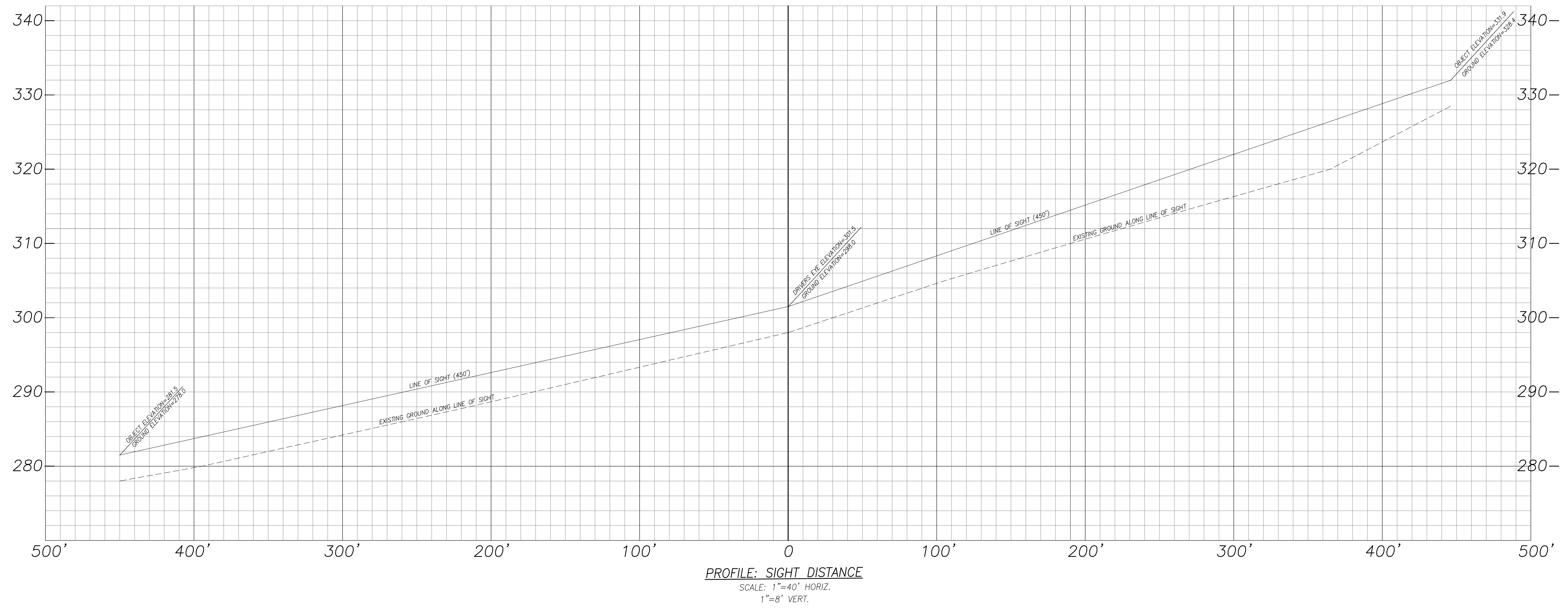
VICINITY MAP NOT TO SCALE

PREPARED BY:	NO.	REVISIONS	DATE	BY
	1			
	2			
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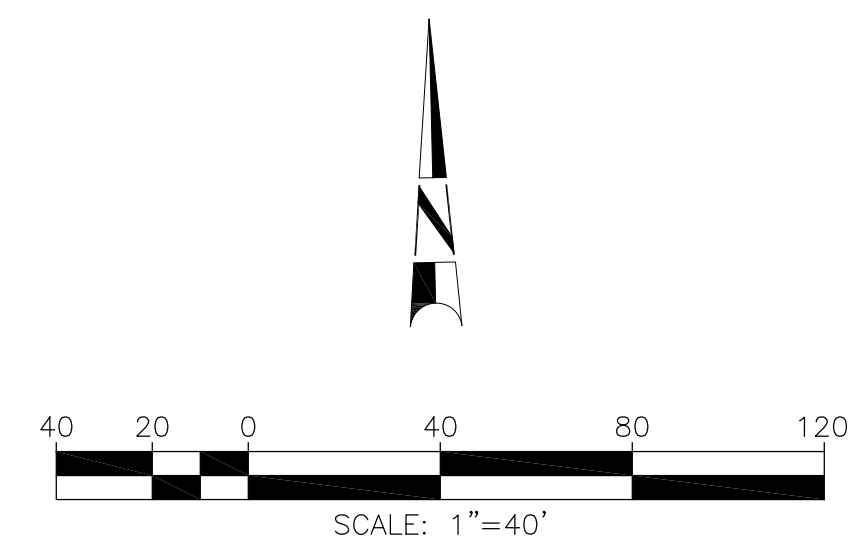
TENTATIVE PARCEL MAP & NEIGHBORHOOD DEVELOPMENT PERMIT
6309 SKYLINE DRIVE
CITY OF SAN DIEGO, CALIFORNIA
PTS688232

SHEET
13
OF
16





POSTED SPEED LIMIT = 35 MPH
 CORNER SIGHT DISTANCE = $1.47 \times V_m \times T_g = 441'$
 DESIGN SPEED $V_m = 40$ MPH
 $T_g = 7.5$ SECONDS



PREPARED BY: Lundstrom Engineering and Surveying, Inc. 3333 Camino Del Rio South, #330 • San Diego, CA 92108 Phone (619) 584-2200 • Fax (619) 648-0900	NO. 1 2 3 4 5 6 7	REVISIONS	DATE	BY
JOB NO. L400-54	TENTATIVE PARCEL MAP & NEIGHBORHOOD DEVELOPMENT PERMIT 6309 SKYLINE DRIVE CITY OF SAN DIEGO, CALIFORNIA PTS688232			SHEET 14 OF 16

GENERAL NOTES

ALL PROPOSED IRRIGATION SYSTEMS WILL USE AN APPROVED RAIN SENSOR SHUTOFF DEVICE, [142.0403].

TREE ROOT BARRIERS SHALL BE INSTALLED WHERE TREES ARE PLACED WITHIN 5 FEET OF PUBLIC IMPROVEMENTS INCLUDING WALKS, CURBS, OR STREET PAVEMENTS OR WHERE NEW PUBLIC IMPROVEMENTS ARE PLACED ADJACENT TO EXISTING TREES. THE ROOT BARRIER WILL NOT WRAP AROUND THE ROOT BALL.

IRRIGATION: AN AUTOMATIC, ELECTRICALLY CONTROLLED IRRIGATION SYSTEM SHALL BE PROVIDED AS REQUIRED FOR PROPER IRRIGATION, DEVELOPMENT, AND MAINTENANCE OF THE VEGETATION IN A HEALTHY, DISEASE-RESISTANT CONDITION. THE DESIGN OF THE SYSTEM SHALL PROVIDE ADEQUATE SUPPORT FOR THE VEGETATION SELECTED.

ALL LANDSCAPE AND IRRIGATION SHALL CONFORM TO THE STANDARDS OF THE CITY-WIDE LANDSCAPE REGULATIONS AND THE CITY OF SAN DIEGO LAND DEVELOPMENT MANUAL LANDSCAPE STANDARDS AND ALL OTHER LANDSCAPE RELATED CITY AND REGIONAL STANDARDS.

MINIMUM TREE SEPARATION DISTANCE
 TRAFFIC SIGNALS (STOP SIGN) - 20 FEET
 UNDERGROUND UTILITY LINES - 5 FEET
 ABOVE GROUND UTILITY STRUCTURES - 10 FEET
 DRIVEWAY (ENTRIES) - 10 FEET
 INTERSECTIONS (INTERSECTING CURB LINES OF TWO STREETS) - 25 FEET
 SEWER LINES - 10 FEET

MAINTENANCE: ALL REQUIRED LANDSCAPE AREAS SHALL BE MAINTAINED BY THE OWNER. LANDSCAPE AND IRRIGATION AREAS IN THE PUBLIC RIGHT-OF-WAY SHALL BE MAINTAINED BY THE OWNER. THE LANDSCAPE AREAS SHALL BE MAINTAINED FREE OF DEBRIS AND LITTER AND ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION. DISEASED OR DEAD PLANT MATERIAL SHALL BE SATISFACTORILY TREATED OR REPLACED PER THE CONDITIONS OF THE PERMIT.

MULCH: ALL REQUIRED PLANTING AREAS AND ALL EXPOSED SOIL AREAS WITHOUT VEGETATION SHALL BE COVERED WITH MULCH TO A MINIMUM DEPTH OF 3 INCHES, PER SDMC 142.0413(c), EXCLUDING SLOPES REQUIRING REVEGETATION PER SDMC 142.0411.

A MINIMUM ROOT ZONE OF 40SF IN AREA SHALL BE PROVIDED FOR ALL TREES. THE MINIMUM DIMENSION FOR THIS AREA SHALL BE 5 FEET, PER SDMC 142.0403(b)(6).

TREE ROOT BARRIERS SHALL BE INSTALLED WHERE TREES ARE PLACED WITHIN 5 FEET OF PUBLIC IMPROVEMENTS INCLUDING WALKS, CURBS, OR STREET PAVEMENTS OR WHERE NEW PUBLIC IMPROVEMENTS ARE PLACED ADJACENT TO EXISTING TREES. THE ROOT BARRIER WILL NOT WRAP AROUND THE ROOT BALL. PLEASE CLEARLY IDENTIFY THE INSTALLATION OF ROOT BARRIERS IN THE LOCATIONS SUBJECT TO THESE CONDITIONS PER 142.0403(b).

ALL LANDSCAPE AND IRRIGATION SHALL CONFORM TO THE CITY OF SAN DIEGO LANDSCAPE REGULATIONS, THE LAND DEVELOPMENT MANUAL LANDSCAPE STANDARDS, AND ALL OTHER CITY AND REGIONAL STANDARDS.

TREES SHALL BE MAINTAINED SO THAT ALL BRANCHES OVER PEDESTRIAN WALKWAYS ARE 6 FEET ABOVE THE WALKWAY GRADE AND BRANCHES OVER VEHICULAR TRAVEL WAYS ARE 16 FEET ABOVE THE GRADE OF THE TRAVEL WAY PER THE SDMC 142.0403(b)(11).

LANDSCAPE AREAS FOR TREES: THE OPENINGS FOR TREES PLANTED IN PAVED AREAS SHALL BE A MINIMUM 40 SQUARE FEET IN AREA AND WATER PERMEABLE. UNCONSOLIDATED MULCH MATERIALS MUST BE COVERED BY TREE GRATES OR UNATTACHED PAVERS.

MAINTENANCE CRITERIA

TREES SHALL BE WATERED DEEPLY, BUT INFREQUENTLY, TO PROMOTE DEEPER ROOTING, AND SHALL BE FERTILIZED AS REQUIRED BY SOUND HORTICULTURAL PRACTICES.

PLANTS SHALL BE PRUNED IN ACCORDANCE WITH PROFESSIONAL TRIMMING STANDARDS TO MAINTAIN THEIR INTENDED SHAPES AND SIZES, AND TO INSURE THE HEALTH OF THE SPECIMEN AND THE SAFETY OF THE PUBLIC.

TREE GUYS AND STAKE TIES SHALL BE INSPECTED AND ADJUSTED PERIODICALLY, AND REMOVED WHEN NECESSARY, TO INSURE THAT THEY ARE ADEQUATELY SURROUNDING THE TREE WITHOUT GIRDLING TRUNKS OR BRANCHES.

PLANTS SHALL BE PRUNED TO AVOID BLOCKING WALLS, PASSAGEWAYS AND SIGHT DISTANCE VIEWS FOR VEHICULAR TRAFFIC.

DEAD PLANTS SHALL BE REPLACED, DAMAGED BRANCHES SHALL BE REMOVED, AND OVERGROWN AREAS SHALL BE THINNED BY THE SELECTIVE REMOVAL OF UNNECESSARY PLANTS.

SHRUBS AND VINES USED FOR SCREENING TRASH ENCLOSURES AND SERVICE AREAS SHALL BE PRUNED TO MAXIMIZE SCREENING WHILE ALLOWING ACCESS TO THE STORAGE/SERVICE AREAS.

SHRUBS, TREES, AND VINES USED TO MEET THE "REMAINING YARD RESIDENTIAL BUFFERING" REQUIREMENT OR FOR SCREENING ADJACENT PROPERTIES SHALL BE KEPT PRUNED SO THEY DO NOT INTERFERE WITH PEDESTRIAN TRAFFIC AND DO NOT ENCRoACH EXCESSIVELY ONTO THE ADJACENT PROPERTY.

MAINTENANCE NOTES

LANDSCAPE MAINTENANCE SHALL BE PERFORMED ON ALL IMPROVED AREAS OF THE SITE, PER THE CRITERIA OF THE CITY OF SAN DIEGO LANDSCAPE REGULATIONS, THE LAND DEVELOPMENT MANUAL LANDSCAPE STANDARDS, AS WELL AS THE REQUIREMENTS OF THE MAINTENANCE MANUAL.

- PERMANENTLY IRRIGATED SLOPES SHALL BE MAINTAINED FOR A PERIOD NO LESS THAN 90 DAYS.
- NONPERMANENTLY IRRIGATED AREAS SHALL BE MAINTAINED FOR A PERIOD NOT LESS THAN 25 MONTHS.
- ALL REVEGETATED AREAS SHALL BE MAINTAINED BY THE PERMITTEE UNTIL FINAL APPROVAL BY THE CITY MANAGER. THE MAINTENANCE PERIOD BEGINS ON THE FIRST DAY FOLLOWING ACCEPTANCE AND MAY BE EXTENDED AT THE DETERMINATION OF THE CITY MANAGER.
- PRIOR TO FINAL APPROVAL, THE CITY MANAGER MAY REQUIRE CORRECTIVE ACTION INCLUDING BUT NOT LIMITED TO, REPLANTING, THE PROVISION OR MODIFICATION OF IRRIGATION SYSTEMS, AND THE REPAIR OF ANY SOIL EROSION OR SLOPE SLIPPAGE.

DESIGN STATEMENT

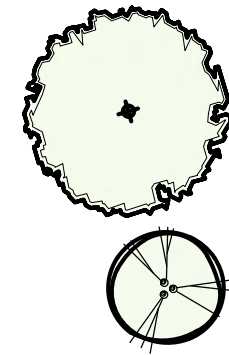
THE PROPOSED LANDSCAPE PROVIDES A MIXED MEDIUM AND LOW WATER USE MEDITERRANEAN PLANT PALETTE TO MEET THE MINIMUM LANDSCAPE REQUIREMENTS. THE DESIGN PROPOSES A HEDGE SEPARATING THE PROPERTIES, GROUNDCOVERS TO COVER ALL DISTURBED SOIL AREAS, PLANT CLUSTERS, AND REQUIRED STREET TREES.

IRRIGATION NOTES

ALL PLANTED AREAS SHALL BE IRRIGATED WITH A PERMANENT, AUTOMATICALLY CONTROLLED IRRIGATION SYSTEM USING LOW PRECIPITATION AND PRECIPITATION MATCHED HEADS. LAWN AREAS SHALL HAVE SEPARATE SYSTEMS. ALL SPRINKLER HEADS IN THE RIGHT-OF-WAY OR WITHIN TWO FEET OF THE SIDEWALK SHALL HAVE EXCESS FLOW VALVES IN THEM AND BE ON VALVES CONTROLLED FROM WITHIN THE PROPERTY.

PLANT PALETTE

ABBR	SIZE	SCIENTIFIC NAME	COMMON NAME	HEIGHT/SPREAD	WUCOLS
STREET TREES - 40% 36" BOX & 60% 24" BOX					
JAC. MIM.	24" BOX	JACARANDA MIMOSIFOLIA	JACARANDA	50FT X 30FT	L
ACCENT TREES - 100% 36" BOX					
ARB. MAR.	36" BOX	ARBUTUS MARINA-MULTI	MARINA STRAWBERRY TREE	30FT X 20FT	L
LAG. FAU.	24" BOX	LAGERSTROEMIA FAURIEI 'TUSCARORA'	HYBRID CRAPE MYRTLE	25FT X 18FT	M
UPRIGHT SHRUBS - 100% 5 GAL.					
LIG. TEX.	5 GAL.	LIGUSTRUM J. 'TEXANUM'	TEXAS PRIVET	8FT X 6FT	M
ROS. O.P.	5 GAL.	ROSMARINUS OFFICINALIS PROSTRATUS	PROSTRATE ROSEMARY	2FT X 6FT	VL
ACCENT SHRUBS - 100% 5 GAL.					
AGA. K.S.	5 GAL.	AGAVE ATENUATTA 'KARA'S STRIPES'	KARA'S STRIPES FOX TAIL AGAVE	4FT X 4FT	L
CHO. TEC.	5 GAL.	CHONDROPETALUM TECTORUM	SMALL CAPE RUSH	3FT X 4FT	L
LOM. T.B.	5 GAL.	LOMANDRA TROPIC BELLE	TROPIC BELLE MAT RUSH	3FT X 4FT	L
PHO. A.C.	5 GAL.	PHORNIUM ATROPURPUREUM COMPACTUM	PURPLE NEW ZEALAND FLAX	5FT X 3FT	L
MEDIUM FLOWERING SHRUBS - 100% 5 GAL.					
SAL. S.B.	5 GAL.	SALVIA SANTA BARBARA	SANTA BARBARA SAGE	3FT X 4FT	L
WES. M.L.	5 GAL.	WESTRINGIA FRUTICOSA 'MORNING LIGHT'	MORNING LIGHT COAST ROSEMARY	4FT X 4FT	L
GROUNDCOVERS - 50% 1 GAL, 50% FLATS					
MYO. PAR.	1 GAL.	MYOPORUM PARVIFOLIUM	MYOPORUM	<1FT X 12FT	L
SEN. MAN.	FLATS	SENECIO MANDRILASCAS	BLUE ICE PLANT	3FT X 3FT	L

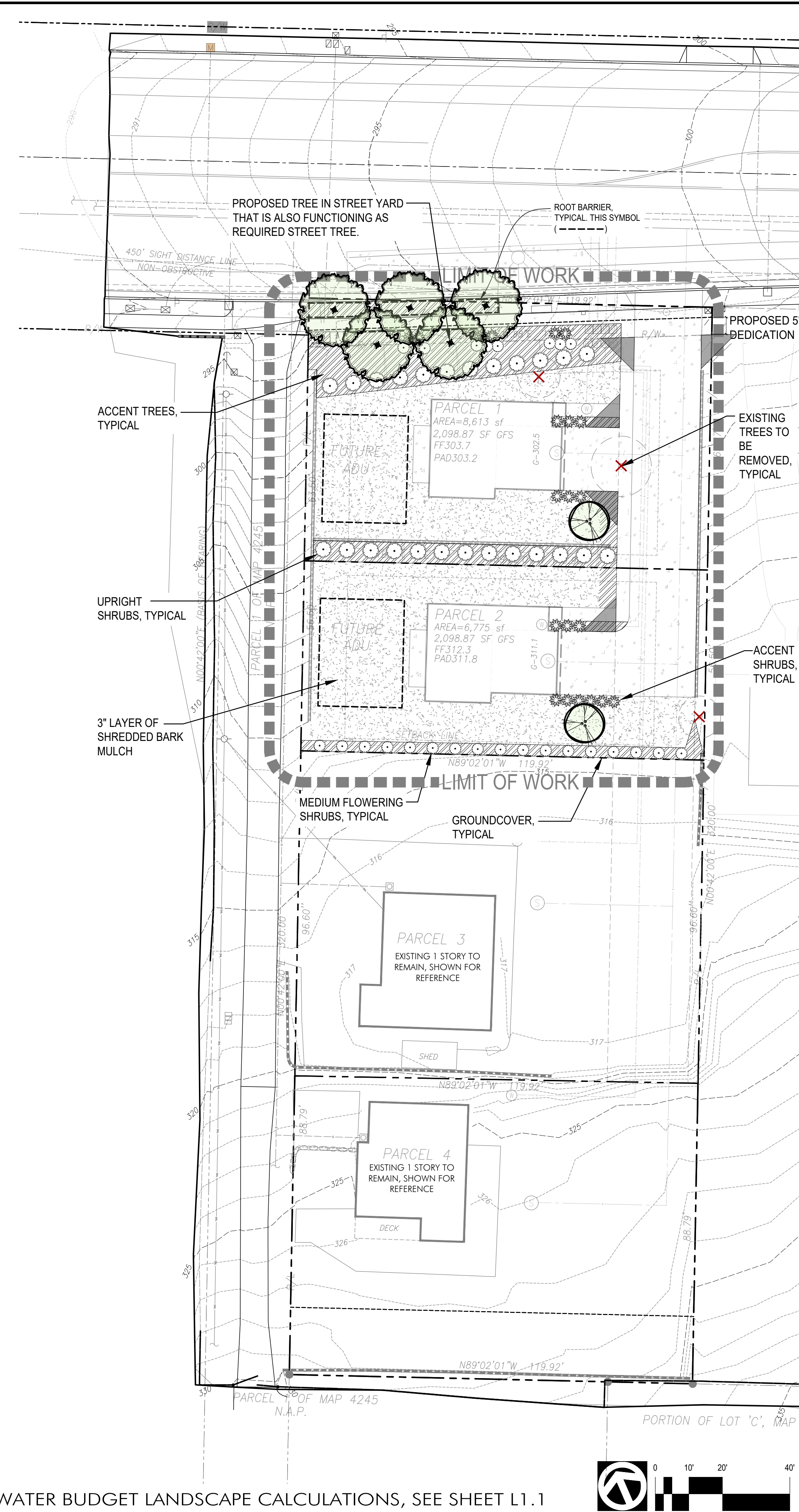


CANOPY TREE GAIN - PARCEL 1

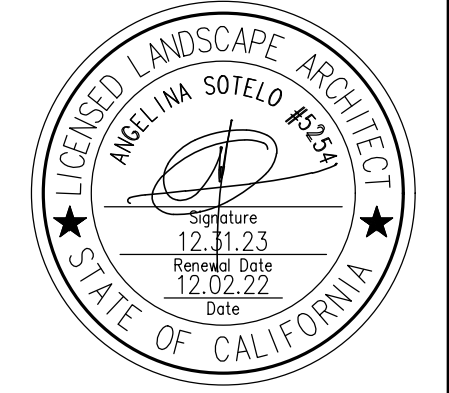
EXISTING TREE CANOPY TO REMAIN	0
EXISTING TREE CANOPY TO BE REMOVED	2
PROPOSED NEW CANOPY TREES ON SITE	3
CANOPY TREE GAIN TOTAL	3

CANOPY TREE GAIN - PARCEL 2

EXISTING TREE CANOPY TO REMAIN	0
EXISTING TREE CANOPY TO BE REMOVED	1
PROPOSED NEW CANOPY TREES ON SITE	1
CANOPY TREE GAIN TOTAL	1



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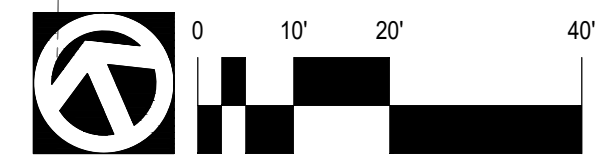


6309 SKYLINE
 6309 SKYLINE DRIVE
 SAN DIEGO, CA 92114

DD SUBMITTAL	04.05.22
DD SUBMITTAL	06.03.22
DD SUBMITTAL	07.18.22
DD SUBMITTAL	12.02.22

LANDSCAPE CONCEPT PLAN

SHEET
L1.0



ALL DESIGN, DESIGN ARRANGEMENTS AND PLANS INDICATED OR REPRESENTED BY THIS DRAWING ARE OWNED BY AND THE PROPERTY OF SOTELO LANDSCAPE ARCHITECTS AND WERE CREATED, DEVELOPED AND REVISED FOR THE USE ON AND IN CONNECTION WITH THE SPECIFIC PROJECT, NONE OF WHICH SHALL BE USED BY OR DISCLOSED TO ANY PERSON, FIRM OR CORPORATION FOR ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN PERMISSION OF SOTELO LANDSCAPE ARCHITECTS.

PARCEL 1 & PARCEL 2

	City of San Diego Development Services 1222 First Ave., MS-501 San Diego, CA 92101	Landscape Calculations Worksheet Multiple Dwelling Unit Residential & Residential Components of Mixed-Use Development	FORM DS-6 August 2020
	Provide the following information on the Landscape Plans. The Landscape Calculations determine the planting area and plant points required by the Landscape Regulations, Chapter 14, Article 2, Division 4 of the Land Development Code. Refer to §142.0403 Table 142-04B for proposed and existing plant point schedule.		
<ul style="list-style-type: none"> At least one-half of the required planting points shall be achieved with trees. If any of the requirements of Landscape Regulations, Section 142.0405(a) 1, 2, and 3 apply to your project, provide a written summary explaining how requirements are being met. 			
STREET YARD [§142.0404 - §142.0405] - All Multiple Dwelling Unit Residential Development			
Planting area in the public right-of-way is not counted towards fulfillment of the required street yard planting area.			
Planting Area Required	Planting Area Provided	Excess Area Provided	
Total Area $(A) = 2,478.61$ sq. ft. x 50% = $(B) = 1,239.30$ sq. ft.	$(C) = 1,729.15$ sq. ft.	$(D) = 489.85$ sq. ft.	
Plant Points Required	Plant Points Provided	Excess Points Provided	
Total Area $(A) = 2,478.61$ sq. ft. x 0.05 = $(B) = 123.93$ points	$(C) = 142$ points	$(D) = 18$ points	
(2) 36 BOX TREE X 50 = 100 POINTS (21) 5 GAL SHRUB X 2 = 42 POINTS	Plant Points Achieved with Trees (50%)		
	$(E) = 100$ points		

Page 2 of 3 City of San Diego - Development Services Department - DS-6

REMAINING YARD [§142.0404 - §142.0405] - 4 Dwelling Units or Less
 A minimum of 60 points per residential structure. Planting shall be distributed within a 10-foot offset from the structural envelope or within the remaining yard.

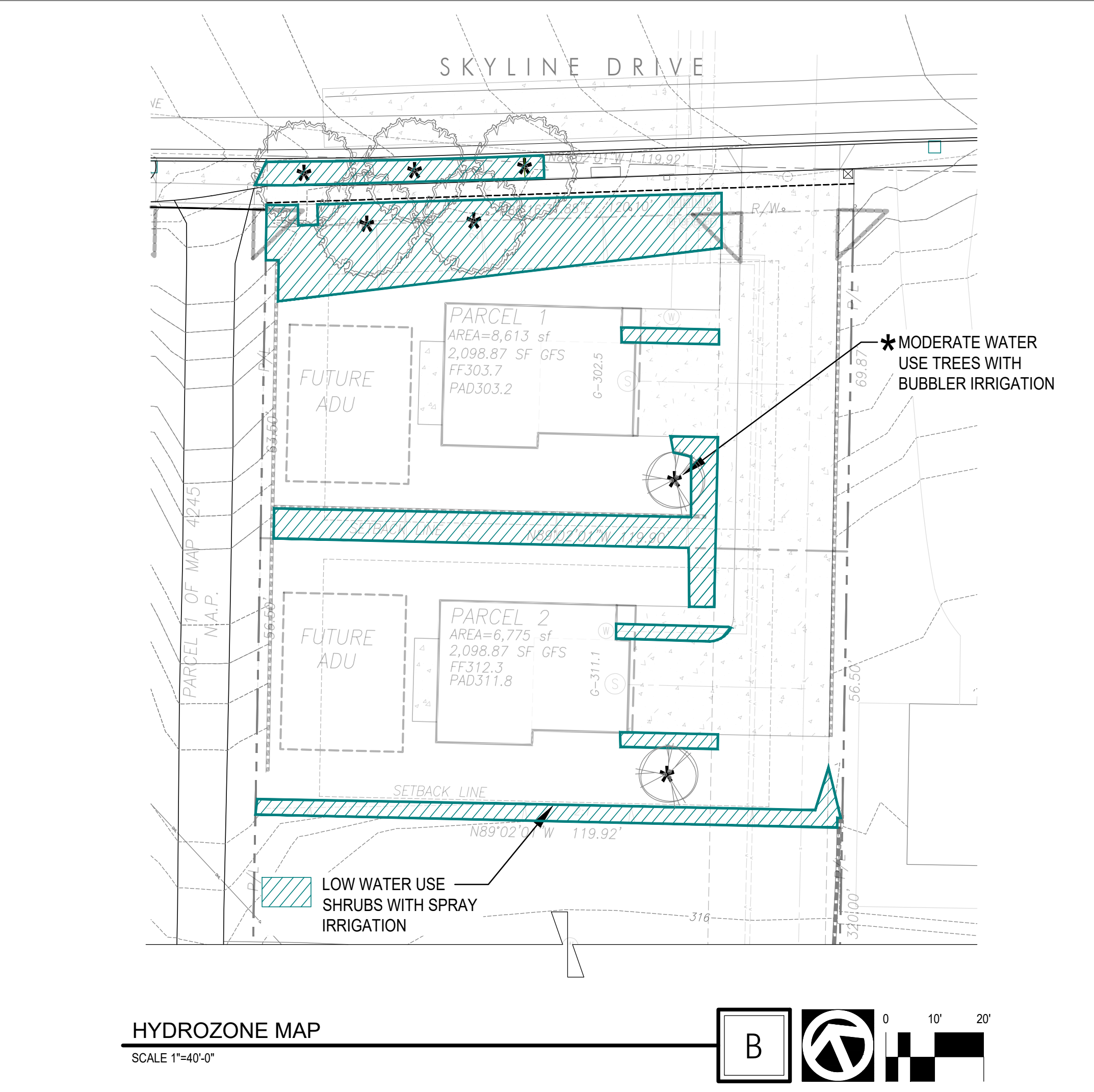
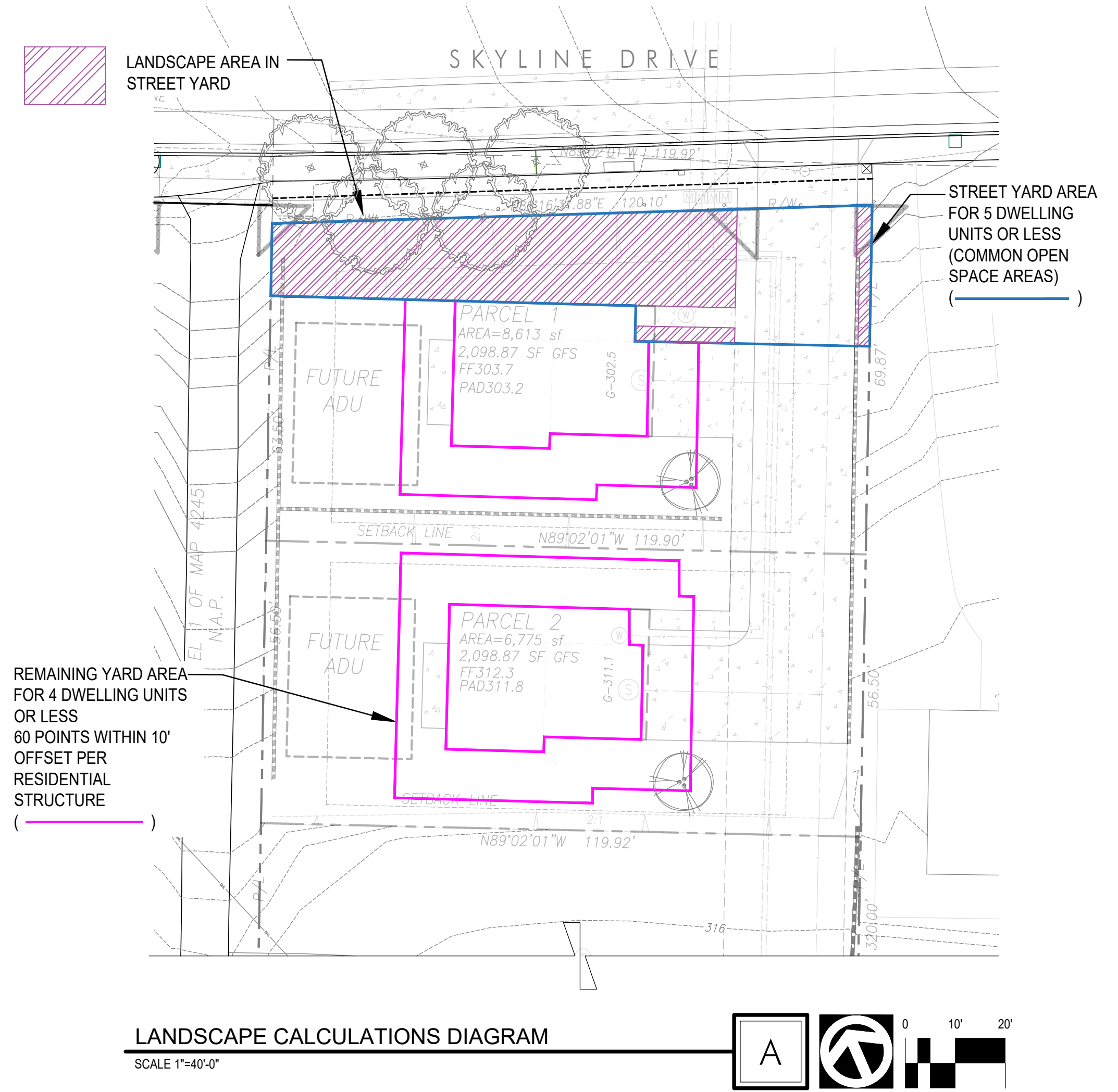
Plant Points Required	Plant Points Provided	Excess Points Provided
60 points x 2 # of residential structures	124 sq. ft.	4 sq. ft.
(2) 36 BOX TREES X 50 = 100 POINTS (12) 5 GAL SHRUBS X 2 = 24 POINTS	Plant Points Achieved with Trees (50%)	
	$(E) = 100$ points	

PARCEL 1 & PARCEL 2

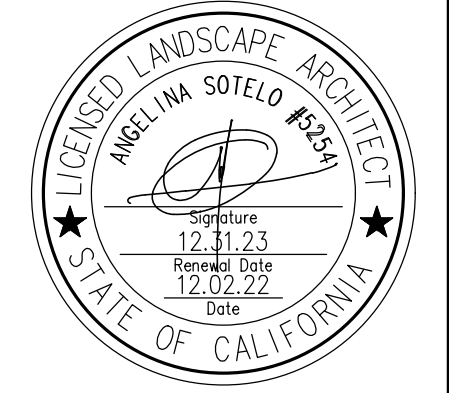
MAXIMUM ALLOWABLE WATER ALLOWANCE (MAWA):
 $(ET_o) \times (0.62) \times [(0.55) \times LA]$
 $(46.5) \times (0.62) \times [(0.55) \times 3,118.9] = 49,454.83$

ESTIMATED TOTAL WATER USE (ETWU):
 $(ET_o) \times (0.62) \times [(PF \times HA)/IE]$

HYDROZONE 1 LOW WATER USE SHRUBS WITH SPRAY IRRIGATION $(46.5) \times (0.62) \times [(0.2 \times 3,006.90)/0.81] = 21,404.67$	
* HYDROZONE 2 MODERATE WATER USE TREES WITH BUBBLER IRRIGATION $(46.5) \times (0.62) \times [(0.5 \times 112)/0.75] = 2,152.64$	
	23,557.31
<hr/> ETWU = 23,557.31 < MAWA = 49,454.83	



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LANDSCAPE CALCULATIONS

SHEET
 L1.1