



THE CITY OF SAN DIEGO

Report to the Hearing Officer

DATE ISSUED: July 19, 2023 REPORT NO. HO-23-035

HEARING DATE: July 26, 2023

SUBJECT: Ninth & Island Interim Surface Parking Lot; Process Three Decision

PROJECT NUMBER: [1063620](#)

OWNER/APPLICANT: EV Project, LLC – Owner/Applicant

SUMMARY

Issue: Should the Hearing Officer approve a Conditional Use Permit for an interim surface parking lot (“Project”) at the 5,621 square-foot (sf) site at [923 Island Avenue](#) on the south side of Island Avenue, between Ninth and Tenth Avenues in the East Village neighborhood of the Downtown Community Plan area (Council District 3)?

Staff Recommendation: APPROVE Conditional Use Permit (CUP) No. 3171946.

Community Planning Group Recommendation: On October 19, 2022, the Downtown Community Planning Council voted 10-2 to recommend denial of the Project for the reasons explained in their letter, included as Attachment 6.

Environmental Review: The Development Services Department completed a California Environmental Quality Act (CEQA) review for the Project. On August 3, 2022, the Environmental Analysis Section (EAS) determined that the Project is consistent with the previously certified City of San Diego Downtown Environmental Impact Report (SCH# 2003041001). Development within the Downtown Community Planning area is covered under the following documents, referred to collectively as the “Downtown FEIR”: (1) Final Environmental Impact Report (FEIR) for the San Diego Downtown Community Plan (DCP), Centre City Planned District Ordinance, and 10th Amendment to the Centre City Redevelopment Plan, certified by the former Redevelopment Agency (“Former Agency”) and the City Council on March 14, 2006 (Resolutions R-04001 and R-301265, respectively); (2) Subsequent Addenda to the FEIR certified by the Former Agency and City Council on: August 3, 2007 (Resolution R-04193 and R-302932, respectively); April 13, 2010 (Council Resolution R-305759); April 21, 2010 (Former Agency Resolutions R-04509 and R-04510); August 3, 2010 (Former Agency Resolution R-04544 and Council Resolution R-30614); February 12, 2014 (City Council Resolution R-308724); July 14, 2014 (City Council Resolution R-309115); and (3) Final Supplemental Environmental Impact

Report for the Downtown San Diego Mobility Plan certified by the City Council on June 21, 2016 (Resolution R-310561).

Development within the DCP area is also covered under the following documents, referred to collectively as the "CAP FEIR": FEIR for the City of San Diego Climate Action Plan (CAP) Project No. 416603/SCH No. 2015021053, certified by the City Council on December 15, 2015 (City Council Resolution R-310176), and the Addendum to the CAP, certified by the City Council on July 12, 2016 (City Council Resolution R- 310595).

The Downtown FEIR and CAP FEIR are "Program EIRs" prepared in compliance with California Environmental Quality Act (CEQA) Guidelines Section 15168. The information contained in the Downtown FEIR and CAP FEIR reflects the independent judgment of the City of San Diego as the Lead Agency. The environmental impacts of the Project were adequately addressed in the Downtown FEIR and CAP FEIR; the Project is within the scope of the development program described in the Downtown FEIR and CAP FEIR and is adequately described within each document for the purposes of CEQA; and, none of the conditions listed in CEQA Guidelines Section 15162 exist. Therefore, no further environmental documentation or review is required under CEQA. All environmental documents for the [DCP area](#), as well as the [CAP FEIR](#), are available on the City of San Diego website.

Fiscal Impact Statement: No fiscal impact; Project is privately owned and funded.

Code Enforcement Impact: None; no active code enforcement cases on the property.

Housing Impact Statement: The Project proposes to construct an interim surface parking lot on a site that currently contains a two-story building containing three vacant residential dwelling units. Separately and not within the scope of this action, a Process 1 Demolition Permit application was submitted to the City on October 5, 2022 and currently in-review to demolish the existing building, which will result in a net loss of three residential dwelling units.

BACKGROUND

The Project is located at 923 Island Avenue on a 5,621-sf site on the south side of Island Avenue, between Ninth and Tenth Avenues in the East Village neighborhood of the Downtown Community Plan area and within the Employment/Residential Mixed-Use land use district of the Centre City Planned District Ordinance (CCPDO) (Attachment 2). The site is surrounded by a mix of uses, including high-rise hotel to the north, high-rise residential buildings to the south, a two-story restaurant/brewery to the west, and multiple three-level residential condominiums to the east. There are several major Downtown attractions within walking distance of the site, including Gallagher Square and PETCO Park one block to the south, the Park & Market Trolley Station three blocks to the east, the San Diego Central Library three blocks to the southeast, and the Gaslamp Quarter four blocks to the west (Attachment 3).

The Project site currently contains a 3,250 sf, two-story building, constructed in 1913, that most recently contained three now-vacant residential dwelling units. Since its construction, the building was used for industrial uses, retail, and for most of its operation, a hotel. Its designation as a



historical resource was considered by the City of San Diego Historical Resources Board (HRB) on February 28, 2019, but ultimately, the HRB did not vote to designate. A Process 1 Demolition Permit application was submitted to the City on October 5, 2022 to demolish the building, which is a separate, ministerial process and not within the scope of this CUP action. A development permit for the construction of a 14-story, 140-foot tall hotel comprised of 132 hotel guest rooms was approved for the Project site by the Planning Commission on September 3, 2019 under Centre City Development Permit/Planned Development Permit/Neighborhood Use Permit No. 2017-30 and [Report No. PC-19-084](#).

Per Table 146-0310-A of the CCPDO, interim surface parking lots that are not operated for a period of more than two years are permitted in the Employment/Residential Mixed-Use land use district of the CCPDO with approval of a CUP and compliance with San Diego Municipal Code (SDMC) Section 156.0313(h)(1) to install appropriate safety and security improvements per City standards. The decision on the application for a CUP shall be made by the City Hearing Officer in accordance with Process Three. The decision may be appealed to the Planning Commission in accordance with SDMC Section 112.0506.

DISCUSSION

Project Description

The Project, as proposed, will be located on the 5,621 sf property at the on the south side of Island Avenue, between Ninth and Tenth Avenues in the East Village neighborhood of the Downtown Community Plan area to serve as public parking on an interim basis, not to exceed two years, preceding the construction of the previously approved 14-story, 132 guest room hotel development. The interim surface parking lot will be a private lot that will provide 16 parking spaces, including one accessible stall, as required, and one zero-emissions vehicle stall. Per SDMC Section 156.0313(h)(1), the lot will be paved and striped to City standards and lit by three new light poles for added security. Other improvements to the lot include erecting a five-foot chain link fence along the interior property lines of the site and the reconstruction of the driveway in the public right-of-way to City standards. The proposed plans are included as Attachment 8.

Community Plan Analysis

East Village is one of downtown's largest, fastest-changing, and most diverse neighborhoods. This area will develop as a primarily residential district complemented by Neighborhood Centers, employment areas, flexible use zones, and public spaces. The DCP envisions a mix of residential, office, commercial, and convention center growth, while retaining light industrial uses and commercial services. New uses will exist in close proximity to existing ones in mixed commercial zones, creating a diverse urban environment, with residential uses throughout. The DCP envisions the Ballpark sub-district of the East Village neighborhood as a downtown-wide entertainment and cultural attraction as well as a residential and commercial district with supporting amenities.

The following are some of the key applicable DCP Goals and Policies:

- 3.1-G-2 Provide an overall balance of uses—employment, residential, cultural, government, and destination—as well as a full compendium of amenities and services.
- 6.5-G-1 Guide [the Ballpark sub-district of the East Village neighborhood] evolution into a multi-use district with a regional entertainment and cultural focus.
- 7.4-G-1 Promote quality of life and business viability by allowing the provision of parking to serve growing needs, while avoiding excessive supplies that discourage transit ridership and disrupt urban fabric.
- 7.4-G-4 Locate public parking resource(s) near each Neighborhood Center to provide short-term parking for merchants and businesses.

Project-Related Issues

While the CCPDO allows for interim surface parking lots with a CUP, staff acknowledges that there are competing DCP goals that must be closely evaluated to determine the appropriateness of surface parking lots in the Downtown area. Contrary to some of the applicable goals and policies of the DCP, surface parking lots do not contribute to the creation of engaging pedestrian environments, provide rich visual experiences, encourage alternative modes of transportation, or contribute to the desired synergy and sustainability of Downtown, but staff also recognizes that parking is an issue in the Downtown area. City staff would not support permitting a permanent surface parking lot in this location, which would restrict redevelopment opportunities that are consistent with the goals and policies of the DCP.

However, because there is a development permit approved for this property, the parking lot is planned to be an interim, temporary use preceding the construction of the proposed hotel development. While the Applicant prepares construction drawings and processes all necessary building permit submittals for the hotel development, a temporary surface parking lot in the interim at this location, subject to conditions of approval, is not viewed to have a significant adverse impact on the goals and policies of the DCP, as explained in the required findings in the draft resolution (Attachment 4). As proposed by City staff in the draft permit (Attachment 5), operation of the proposed surface parking lot at the site would be limited to no more than two years, with no options to renew or extend the terms of the CUP. Additionally, site improvements will be required to improve safety and security on the site, including upgrades to the driveway and right-of-way and on-site lighting.

Conclusion

Staff has reviewed the Applicant's proposal and considered the potential impacts resulting from the proposed use. Based on the draft findings (Attachment 4), Staff recommends that the City Hearing Officer approve CUP No. 3171946 to allow an interim surface parking lot at 923 Island Avenue, subject to conditions in the draft permit (Attachment 5).

ALTERNATIVES

1. Approve CUP No. 3171946, with modifications.
2. Deny CUP No. 3171946, if the findings required to approve the project cannot be affirmed.

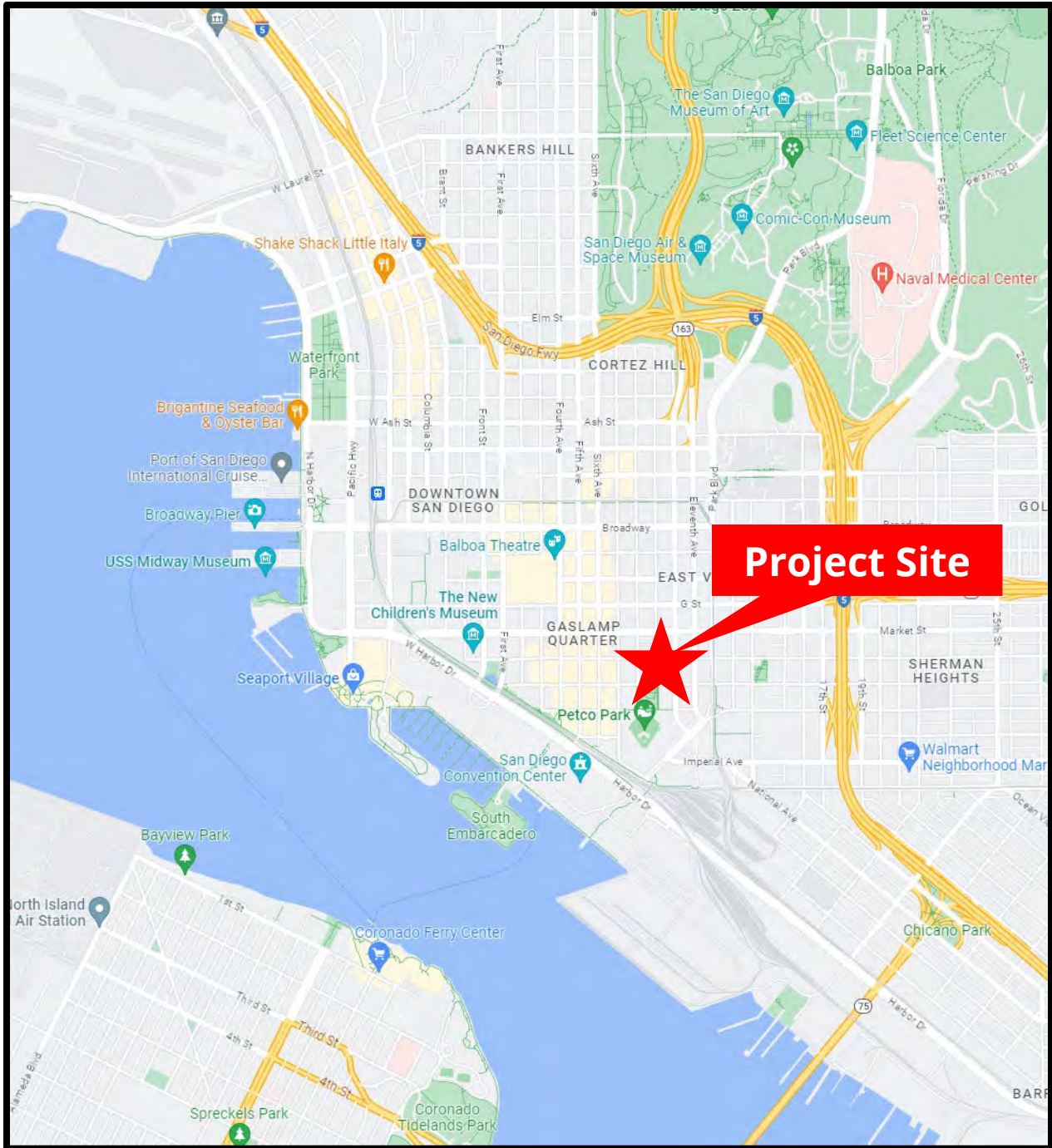
Respectfully submitted,



James Alexander
Senior Planner, Urban Division
Development Services Department

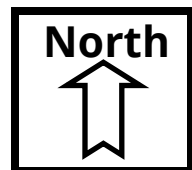
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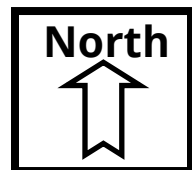
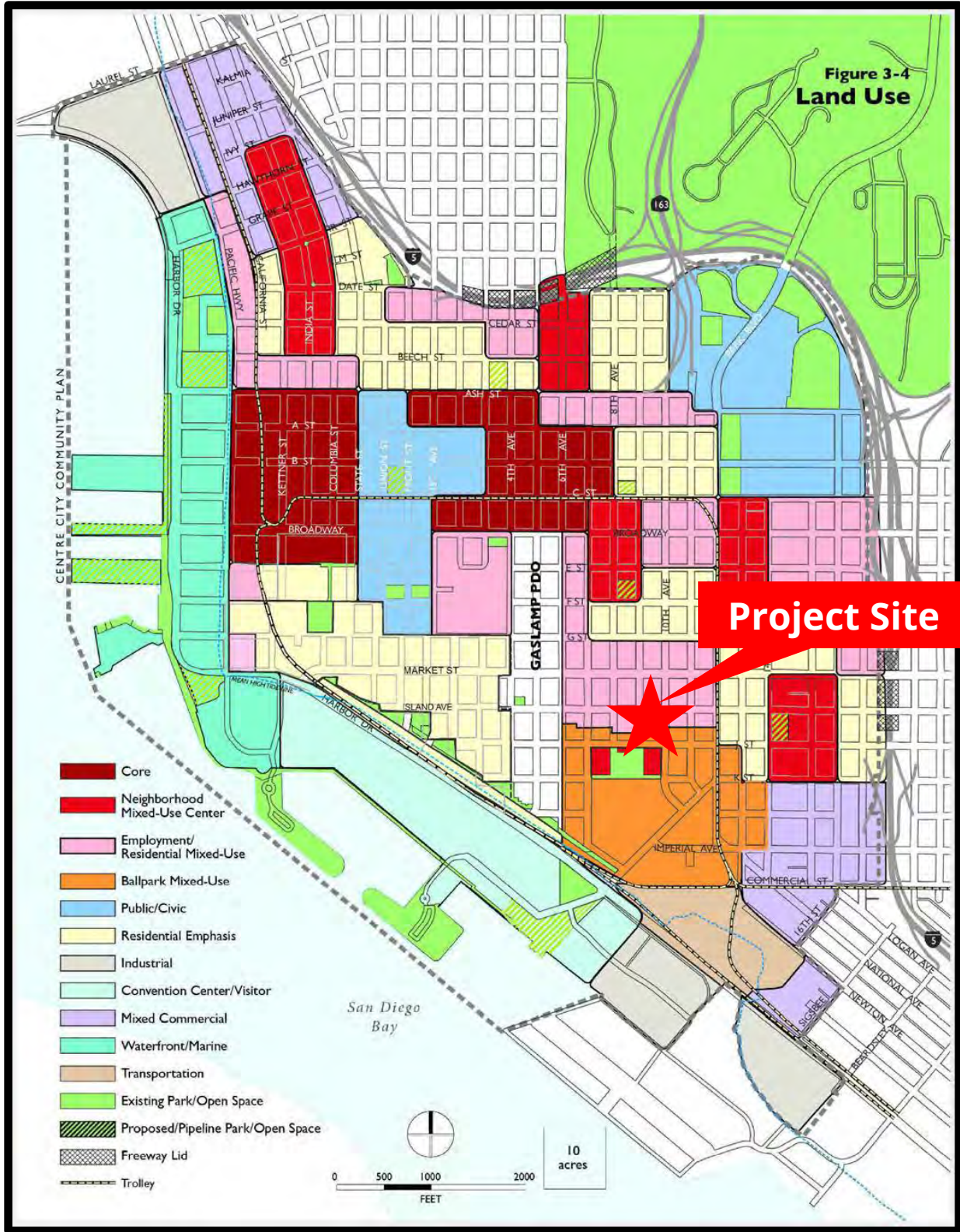
1. Project Location Map
2. Community Plan Land Use Map
3. Aerial Photo
4. Draft Resolution with Findings
5. Draft Permit with Conditions
6. Community Planning Group Recommendation
7. Ownership Disclosure Statement
8. Project Plans



Project Location Map

**Ninth & Island Parking Lot, Project No. 1063620
923 Island Avenue**

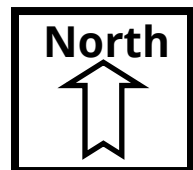






Aerial Photo

Ninth & Island Parking Lot, Project No. 1063620
923 Island Avenue



HEARING OFFICER
RESOLUTION NO. _____

CONDITIONAL USE PERMIT NO. 3171946

NINETH & ISLAND INTERIM SURFACE PARKING LOT - PROJECT NO. PRJ-1063620

WHEREAS, EV PROJECT, LLC, Owner/Permittee, filed an application with the City of San Diego ("City") for a permit to allow an interim surface parking lot on a 5,621 square-foot site (as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Conditional Use Permit (CUP) No. 3171946);

WHEREAS, the Project site is located at 923 Island Avenue in the Employment/Residential Mixed-Use land use district of the Centre City Planned District and within the East Village neighborhood of the Downtown Community Plan (DCP) area;

WHEREAS, the Project site is legally described as Lots A and B in Block 109 of Horton's Addition, in the City of San Diego, County of San Diego, State of California, according to map thereof made by L.L. Lockling, filed in the Office of the County Recorder of said county, as further described in Parel 2 of document recorded May 9, 2017, as Instrument No. 2017-0206403;

WHEREAS, on June 7, 2023, the City determined that the Project is consistent with the previously certified Downtown Final Environmental Impact Report (SCH# 2003041001);

WHEREAS, development within the Downtown Community Planning area is covered under the following documents, referred to collectively as the "Downtown FEIR": (1) Final Environmental Impact Report (FEIR) for the San Diego Downtown Community Plan, Centre City Planned District Ordinance, and 10th Amendment to the Centre City Redevelopment Plan, certified by the former Redevelopment Agency ("Former Agency") and the City Council on March 14, 2006 (Resolutions R-04001 and R-301265, respectively); (2) subsequent addenda to the FEIR certified by the Former Agency and City Council on: August 3, 2007 (Resolution R-04193 and R-302932, respectively); April 13, 2010 (Council Resolution R-305759); April 21, 2010 (Former Agency Resolutions R-04509 and R-

04510); August 3, 2010 (Former Agency Resolution R-04544 and Council Resolutions R-30614), February 12, 2014 (City Council Resolution R-308724); July 14, 2014 (City Council Resolution R-309115); and (3) Final Supplemental Environmental Impact Report for the Downtown San Diego Mobility Plan certified by the City Council on June 21, 2016 (Resolution R-310561);

WHEREAS, development within the DCP area is also covered under the following documents, referred to collectively as the "CAP FEIR": FEIR for the City's Climate Action Plan (CAP), certified by the City Council on December 15, 2015 (City Council Resolution R-310176), and the Addendum to the CAP, certified by the City Council on July 12, 2016 (City Council Resolution R-310595);

WHEREAS, the Downtown FEIR and CAP FEIR are "Program EIRs" prepared in compliance with California Environmental Quality Act (CEQA) Guidelines Section 15168; the information contained in the Downtown FEIR and CAP FEIR reflects the independent judgment of the City the Lead Agency; the environmental impacts of the Project were adequately addressed in the Downtown FEIR and CAP FEIR; the Project is within the scope of the development program described in the Downtown FEIR and CAP FEIR and is adequately described within each document for the purposes of CEQA; and none of the conditions listed in CEQA Guidelines Section 15162 exist;

WHEREAS, based on the foregoing, no further environmental documentation or review is required under CEQA.

WHEREAS, on July 26, 2023, the Hearing Officer of the City of San Diego considered CUP No. 3171946 pursuant to the City Land Development Code; NOW THEREFORE,

BE IT RESOLVED by the Hearing Officer of the City of San Diego, that it adopts the following findings with respect to CUP No. 3171946:

A. CONDITIONAL USE PERMIT [SDMC Section 126.0305]

1. Findings for all Conditional Use Permits:

a. The proposed development will not adversely affect the applicable land use plan.

The proposed use, an interim surface parking lot, within the Employment/Residential Mixed-Use land use district of the Centre City Planned District, will not adversely affect the applicable land use plan as Table 156-0308-A of the Centre City Planned District Ordinance (CCPDO) of the San Diego Municipal Code (SDMC) allows for parking facilities such as surface parking lots with approval of a CUP in accordance with Process 3, and installation of appropriate safety and security measures, such as paving, striping, and lighting (SDMC Sec. 156.0313(h)(1)), which are included as conditions of approval in the CUP. The proposed plans demonstrate compliance with these requirements.

The Project site is located within the Ballpark sub-district of the East Village neighborhood of the Downtown Community Plan (DCP) area. The DCP describes the Ballpark sub-district as a multi-use district with a regional entertainment and cultural focus (DCP Goal 6.5-G-1). An interim surface parking lot provides parking to access the nearby entertainment and cultural uses of the Ballpark sub-district, such as Gallagher Square and PETCO Park one block to the south, the San Diego Central Library three blocks to the southeast, and the Gaslamp Quarter four blocks to the west. The DCP states that parking should be allowed to serve the growing needs of Downtown and promote the quality of life and business vitality, while avoiding excessive supplies that discourage transit ridership and disrupt the urban fabric (DCP Goal 7.4-G-1). The proposed parking lot is on a small lot, approximately 5,627 sf with about 53 feet of frontage on Island Avenue, so the parking supply is not excessive and the narrow street frontage in the middle of the block does not disrupt the urban fabric of the area. Additionally, the Project site is about three blocks to the west of the Park & Market Trolley Station, which is a major public transit stop within walking distance of the site. The DCP also states that parking resources should be located near Neighborhood Centers, as established in Figure D of the CCPDO, to provide short-term parking for merchants and businesses (DCP Goal 7.4-G-4). The Project site is located within walking distance of three different Neighborhood Centers, the closest being just one block away on J Street.

The Project complies with the provisions of the CCPDO for interim surface parking lots and required safety and security improvements, as well as aligns with the DCP's goals for the type and location of parking resources in the Ballpark sub-district, close to attractions, businesses, and transit. Therefore, the proposed use will not adversely affect the applicable land use plan.

b. The proposed development will not be detrimental to the public health, safety, and welfare.

The proposed use, an interim surface parking lot, will not be detrimental to the public health, safety and welfare of the community because it is an interim use that will improve the condition of the site. The existing building on the site is currently

vacant, which creates opportunities for vandalism and other public nuisances that are typical for vacant buildings. A development permit for the construction of a 14-story, 140-foot-tall hotel comprised of 132 hotel guest rooms was approved for the Project site by the Planning Commission on September 3, 2019 under Centre City Development Permit/Planned Development Permit/Neighborhood Use Permit No. 2017-30, but the hotel development is not yet ready to start construction. The proposed Project will be an interim use of the site, not to exceed two years, in order to activate it in the interim period preceding the construction of the previously approved hotel. The interim surface parking lot will contain three new light posts to illuminate the lot at night and the site will be required to be maintained clean and free of litter. Additionally, a condition of approval is for the Owner to file a Letter of Agency with the San Diego Police Department to allow enforcement of security of the site. The activation of the site with the interim surface parking lot and its associated security improvements and maintenance will be an improvement to the neighborhood over the existing condition. Therefore, the proposed use will not be detrimental to the public health, safety, and welfare for residents and visitors of the Downtown community.

c. The proposed development will comply with the regulations of the Land Development Code including any allowable deviations pursuant to the Land Development Code.

The proposed use, an interim surface parking lot, complies with all applicable land use regulations, including those of the CCPDO for interim surface parking lots. As required in SDMC Sec. 156.0313(h)(1), the Project proposes to install paving and striping pursuant to City standards for parking space design in the Land Development Code. Additionally, three new light posts are proposed to be installed for security to illuminate the parking lot throughout the night. The interim surface parking lot is limited to no more than two years of operation, as is stated in SDMC Sec. 156.0313(h)(1). No deviations to these code provisions are proposed as part of the Project. Conditions of approval are in place to ensure compliance with these provisions, including maintaining the interim surface parking lot clean and free of litter at all times with daily clean-ups and filing a Letter of Agency with the San Diego Police Department to allow enforcement of security on the site. The Project will comply with SDMC Sec. 156.0313(h)(1) of the CCPDO and the conditions of approval. Any proposed changes would be required to be reviewed by the City and obtain all necessary governmental approvals. Therefore, the proposed interim surface parking lot complies with the regulations of the Land Development Code.

d. The proposed use is appropriate at the proposed location.

The Project site is located within the Ballpark sub-district of the East Village neighborhood of the DCP area. The DCP describes the Ballpark sub-district as a multi-use district with a regional entertainment and cultural focus (DCP Goal 6.5-G-1). The site is surrounded by several major Downtown entertainment cultural attractions, such as Gallagher Square and PETCO Park one block to the south, the San Diego Central Library three blocks to the southeast, and the Gaslamp

Quarter four blocks to the west. An interim surface parking lot provides parking to access the nearby entertainment and cultural uses of the Ballpark sub-district. Additionally, the Project site is about three blocks to the west of the Park & Market Trolley Station, which is a major public transit stop within walking distance of the site. The DCP also states that parking resources should be located near Neighborhood Centers, as established in Figure D of the CCPDO, to provide short-term parking for merchants and businesses (DCP Goal 7.4-G-4). The Project site is located very close to three different Neighborhood Centers, the closest being just one block away on J Street. The proposed Project reinforces the Ballpark sub-district as a multi-use district per the goals of the DCP because it provides access to many attractions and amenities that are within walking distance of the site. Therefore, the interim surface parking lot is appropriate at the proposed location.

The above findings are supported by the minutes, maps and exhibits, all of which are incorporated herein by this reference.

BE IT FURTHER RESOLVED that, based on these findings adopted by the Hearing Officer, CUP No. 3171946 is hereby GRANTED by the Hearing Officer to the referenced Owner/Permittee, in the form, exhibits, terms and conditions as set forth in CUP No. 3171946, a copy of which is attached hereto and made a part hereof.

James Alexander
Senior Planner, Urban Division
Development Services Department

Adopted on: July 26, 2023

IO#: 24009310

RECORDING REQUESTED BY
CITY OF SAN DIEGO
DEVELOPMENT SERVICES
PERMIT INTAKE, MAIL STATION
501

PROJECT MANAGEMENT
PERMIT CLERK
MAIL STATION 501

INTERNAL ORDER NUMBER: 24009310

SPACE ABOVE THIS LINE FOR RECORDER'S USE

CONDITIONAL USE PERMIT NO. 3171946

NINTH & ISLAND INTERIM SURFACE PARKING LOT - PROJECT NO. PRJ-1063620

HEARING OFFICER

This Conditional Use Permit (CUP) No. 3171946 is granted by the Hearing Officer of the City of San Diego ("City") to EV Project, LLC, Owner/Permittee, pursuant to San Diego Municipal Code (SDMC) Section 126.0304 to allow an interim surface parking lot ("Project") at the 5,621 square-foot site at 923 Island Avenue on the south side of Island Avenue, between Ninth and Tenth Avenues in the East Village neighborhood of the Downtown Community Plan area. The Project site is legally described as Lots A and B in Block 109 of Horton's Addition, in the City of San Diego, County of San Diego, State of California, according to map thereof made by L.L. Lockling, filed in the Office of the County Recorder of said county, as further described in Parcel 2 of document recorded May 9, 2017, as Instrument No. 2017-0206403.

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner/Permittee to allow an interim surface parking lot, subject to the City's land use regulations described and identified by size, dimension, quantity, type, and location on the approved exhibits (Exhibit "A") dated December 5, 2022, on file in the Development Services Department (DSD).

The Project shall include:

- a. An interim surface parking lot located at 923 Island Avenue;
- b. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act (CEQA) and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

STANDARD REQUIREMENTS:

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36-month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and

applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by **August 9, 2026**.

2. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
 - a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
 - b. The Permit is recorded in the Office of the San Diego County Recorder.
3. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.
4. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.
5. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
6. Issuance of this Permit by the City does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 (ESA) and any amendments thereto (16 U.S.C. § 1531 et seq.).
7. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.
8. All of the conditions contained in this Permit have been considered and were determined necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.
9. If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de

novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

10. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

PLANNING/DESIGN REQUIREMENTS:

11. This Permit shall expire two years after the date of initial operation of the interim surface parking lot. There shall be no options to renew or extend this Permit. The Owner/Permittee shall notify the City of the date of initial operation of the interim surface parking lot.
12. The following improvements shall be installed on the Project site:
 - a. Paving and striping pursuant to City standards of the Land Development Code.
 - b. On-site lighting to maintain security and safety within the interim surface parking lot. All lighting shall be shielded from surrounding uses and shall not obstruct the drive aisles.
 - c. At least one four-by-four foot square for every vehicular access point that is an internally illuminated cabinet sign clearly visible to pedestrians and motorists with the international parking symbol: a white letter "P" on a green background.
 - d. A minimum of one sign on the interim surface parking lot noticing that open alcohol containers, alcohol consumption, and tailgating are not permitted by law.
13. Wheel stops shall be provided for any parking spaces along the street frontage.
14. The Permittee shall be responsible for maintaining the interim surface parking lot clean and free of litter at all times and shall be responsible for daily clean-up of all debris and trash on-site.

15. The Owner/Permittee shall file a Letter of Agency (Trespass Arrest Authorization) with the San Diego Police Department and shall provide the City with a copy.
16. The Permittee shall respond to complaints pertaining to this Permit by members of the community within 24 hours of receiving the complaint. A current point of contact shall be maintained with the City for the premises to ensure full compliance with this condition.
17. This Permit may be revoked by the City if there is a material breach or default in any of the conditions of this permit. If the business creates a nuisance to the surrounding neighborhood, based on a determination of the City, this permit may be revoked after the holding of a public hearing.

CLIMATE ACTION PLAN REQUIREMENTS:

18. Prior to issuance of any construction permit, Climate Action Plan (CAP) strategies shall be noted within the first three sheets of the construction plans under the heading "Climate Action Plan Requirements" and shall be enforced and implemented to the satisfaction of DSD.

ENGINEERING REQUIREMENT:

19. Prior to the issuance of any construction permit, the Owner/Permittee shall incorporate any construction Best Management Practices necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the SDMC, into the construction plans or specifications, satisfactory to the City Engineer.
20. Prior to the issuance of any construction permit, the Owner/Permittee shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be drafted in accordance with Part 2, Chapter 4.2 and Appendix 'D' of the City of San Diego Storm Water Standards Manual.
21. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, the closure of existing driveway and replacement with City Standard sidewalk, curb & gutter, adjacent to the site on Island Avenue, satisfactory to the City Engineer.
22. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, the construction of a new City Standard 20' wide driveway, adjacent to the site on Island Avenue, satisfactory to the City Engineer.
23. Prior to the issuance of any building permit, the Owner/Permittee shall obtain an Encroachment Maintenance and Removal Agreement, for the private curb outlet and enhanced paving within the Island Avenue right-of-way, satisfactory to the City Engineer.

PUBLIC UTILITIES REQUIREMENTS:

24. Prior to the issuance of any building permits, if it is determined during the building permit review process the existing water and sewer service will not be adequate to serve the proposed project, the Owner/Permittee shall, assure by permit and bond, the design and construction of

new water and sewer service(s) outside of any driveway or drive aisle and the abandonment of any existing unused water and sewer services within the right-of-way adjacent to the Project site, in a manner satisfactory to the Public Utilities Department and the City Engineer.

25. No trees or shrubs exceeding three feet in height at maturity shall be installed within ten feet of any sewer facilities and five feet of any water facilities.

TRANSPORTATION:

26. All automobile, motorcycle and bicycle parking spaces must be constructed in accordance with the requirements of the SDMC. All on-site parking stalls and aisle widths shall be in compliance with requirements of the City's Land Development Code and shall not be converted and/or utilized for any other purpose, unless otherwise authorized in writing by the appropriate City decision maker in accordance with the SDMC.

INFORMATION ONLY:

- The issuance of this discretionary permit alone does not allow the immediate commencement or continued operation of the proposed use on site. Any operation allowed by this discretionary permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.

ATTACHMENT 5

APPROVED by the Hearing Officer of the City of San Diego on July 26, 2023 and Resolution No. ____.

Permit Type/Approval No.: CUP No. 3171946

Date of Approval: July 26, 2023

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES DEPARTMENT

James Alexander
Senior Planner, Urban Division
Development Services Department

NOTE: Notary acknowledgment must be attached per Civil Code section 1189 et seq.

The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.


EV Project, LLC
Owner/Permittee

By _____
(Signature)

PRINT NAME:

TITLE:

NOTE: Notary acknowledgments must be attached per Civil Code section 1189 et seq.

Page 3	City of San Diego · Information Bulletin 620		August 2018
	City of San Diego Development Services 1222 First Ave., MS-302 San Diego, CA 92101		<h2 style="text-align: center;">Community Planning Committee Distribution Form</h2>
Project Name: 9th & Island Parking Lot Conditional Use permit		Project Number: PRJ-1063620	
Community: Downtown			
<p style="text-align: center;">For project scope and contact information (project manager and applicant), log into OpenDSD at https://aca.accela.com/SANDIEGO.</p> <p style="text-align: center;">Select "Search for Project Status" and input the Project Number to access project information.</p>			
<input type="checkbox"/> Vote to Approve <input type="checkbox"/> Vote to Approve with Conditions Listed Below <input type="checkbox"/> Vote to Approve with Non-Binding Recommendations Listed Below <input checked="" type="checkbox"/> Vote to Deny			Date of Vote: October 19, 2022
# of Members Yes 10	# of Members No 2	# of Members Abstain	
Conditions or Recommendations: Please see attached letter.			
<input type="checkbox"/> No Action (Please specify, e.g., Need further information, Split vote, Lack of quorum, etc.)			
NAME: Manny Rodriguez			
TITLE: Executive Secretary, Downtown Community Planning		DATE: October 25, 2022	
<i>Attach additional pages if necessary (maximum 3 attachments).</i>			

Visit our web site at www.sandiego.gov/development-services.

Upon request, this information is available in alternative formats for persons with disabilities.

DS-5620 (08-18) ONLINE FORM



Downtown Community Planning Council San Diego

RE: 9th & Island Conditional Use Permit (CUP)

Dear Development Services Department (DSD),

This CUP was for an interim parking lot on 923 Island that would be in place for a few years until hotel construction begins on site. **DCPC denied the permit** for reasons we will detail below.

Please note that DCPC is aware the applicant, Taylor Jacobs, has already been approved for a hotel on the site. **DCPC does not oppose the hotel.**

Reasons given by board members to deny the CUP:

- **The site is in a vibrant area of Downtown** (across the street from the ballpark) and **a parking lot would detract from that.**
- The board prefers a park, plaza, community garden, a food truck site (with seating), or something akin to Quartyard as an alternative interim use on the site.
- More cars and parking lots in Downtown are not wanted. Parking lots create more traffic.
- There is a greater risk of collisions with pedestrians considering the high foot traffic in this area. Curb cuts are dangerous for pedestrians.
- **If the hotel does not materialize** (e.g. investors back out) or is continuously delayed then this vibrant area of **East Village is left with an underutilized lot and a hole in the urban fabric.**
 - Jacobs explained the hotel has already been delayed and they are still working to make sure it happens, so this concern is legitimate.

Jacobs expressed openness to other interim uses for the site in our October board meeting and was willing to continue meeting with DCPC. With this in mind, DCPC encourages DSD to give Jacobs an opportunity to present new ideas.

Thanks,

Manny Rodriguez
Executive Secretary
Downtown Community Planning Council

	City of San Diego Development Services 1222 First Ave., MS 302 San Diego, CA 92101 (619) 446-5000	FORM DS-318 October 2017
---	---	---

Approval Type: Check appropriate box for type of approval(s) requested: Neighborhood Use Permit Coastal Development Permit
 Neighborhood Development Permit Site Development Permit Planned Development Permit Conditional Use Permit Variance
 Tentative Map Vesting Tentative Map Map Waiver Land Use Plan Amendment • Other _____

Project Title: _____ **Project No. For City Use Only:** _____

Project Address: _____

Specify Form of Ownership/Legal Status (please check):

Corporation Limited Liability -or- General – What State? _____ Corporate Identification No. _____
 Partnership Individual

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter will be filed with the City of San Diego on the subject property with the intent to record an encumbrance against the property. Please list below the owner(s), applicant(s), and other financially interested persons of the above referenced property. A financially interested party includes any individual, firm, co-partnership, joint venture, association, social club, fraternal organization, corporation, estate, trust, receiver or syndicate with a financial interest in the application. If the applicant includes a corporation or partnership, include the names, titles, addresses of all individuals owning more than 10% of the shares. If a publicly-owned corporation, include the names, titles, and addresses of the corporate officers. (A separate page may be attached if necessary.) If any person is a nonprofit organization or a trust, list the names and addresses of **ANY** person serving as an officer or director of the nonprofit organization or as trustee or beneficiary of the nonprofit organization. A signature is required of at least one of the property owners. Attach additional pages if needed. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

Property Owner

Name of Individual: _____ Owner Tenant/Lessee Successor Agency

Street Address: _____

City: _____ State: _____ Zip: _____

Phone No.: _____ Fax No.: _____ Email: _____

Signature: Taylor Jacobs Date: _____

Additional pages Attached: Yes No

Applicant

Name of Individual: _____ Owner Tenant/Lessee Successor Agency

Street Address: _____

City: _____ State: _____ Zip: _____

Phone No.: _____ Fax No.: _____ Email: _____

Signature: Taylor Jacobs Date: _____

Additional pages Attached: Yes No

Other Financially Interested Persons

Name of Individual: _____ Owner Tenant/Lessee Successor Agency

Street Address: _____

City: _____ State: _____ Zip: _____

Phone No.: _____ Fax No.: _____ Email: _____

Signature: _____ Date: _____

Additional pages Attached: Yes No

SPECIAL NOTES

THE FOLLOWING NOTES ARE PROVIDED TO GIVE DIRECTIONS TO THE CONTRACTOR BY THE ENGINEER OF WORK. THE CITY ENGINEER'S SIGNATURE ON THESE PLANS DOES NOT CONSTITUTE APPROVAL OF ANY OF THESE NOTES AND THE CITY WILL NOT BE RESPONSIBLE FOR THEIR ENFORCEMENT.

- CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR THE JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND THAT THE CONTRACTORS SHALL DEFEND, INDEMNIFY, AND HOLD THE OWNER, ENGINEER AND GEOLOGIST HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN THE CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROPERTY, EXCEPTING FOR LIABILITY ARISING FROM SOLE NEGLIGENCE OF THE OWNER OR ENGINEER.
- THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING FACILITIES (ABOVEGROUND AND UNDERGROUND) WITHIN THE PROJECT SITE AND MAKE EXPLORATORY EXCAVATIONS SUFFICIENTLY AHEAD OF CONSTRUCTION TO PERMIT THE REVISION OF THE CONSTRUCTION PLANS IF IT IS FOUND THE ACTUAL LOCATIONS ARE IN CONFLICT WITH THE PROPOSED WORK.
- DURING CONSTRUCTION: THE CONTRACTOR SHALL PROPERLY GRADE ALL EXCAVATED SURFACES TO PROVIDE POSITIVE DRAINAGE AND PREVENT PONDING OF WATER. HE SHALL CONTROL SURFACE WATER TO AVOID DAMAGE TO ADJOINING PROPERTIES OR TO FINISHED WORK ON THE SITE.
- NASLAND ENGINEERING WILL NOT BE RESPONSIBLE FOR, OR LIABLE FOR UNAUTHORIZED CHANGES TO OR USES OF THESE PLANS. ALL PROPOSED CHANGES TO THE PLANS MUST BE IN WRITING AND MUST BE APPROVED BY NASLAND ENGINEERING.
- WORK PERFORMED WITHOUT BENEFIT OF TESTING AND/OR INSPECTION SHALL BE SUBJECT TO REJECTION AND REMOVAL.
- THE EXISTENCE AND LOCATION OF UTILITY STRUCTURES AND FACILITIES SHOWN ON THE CONSTRUCTION PLANS WERE OBTAINED BY A SEARCH OF THE AVAILABLE RECORDS. ATTENTION IS CALLED TO THE POSSIBLE EXISTENCE OF OTHER UTILITY FACILITIES OR STRUCTURES NOT KNOWN OR IN A LOCATION DIFFERENT FROM THAT SHOWN ON THE PLANS. THE CONTRACTOR IS REQUIRED TO TAKE DUE PRECAUTIONARY MEASURES TO PROTECT THE UTILITIES SHOWN ON THE PLANS AND ANY OTHER EXISTING FACILITIES OR STRUCTURES THAT MAY NOT BE SHOWN.
- ALL GRADES SHOWN ON THIS PLAN WERE DESIGNED AT OR BELOW MAXIMUMS ALLOWED BY THE AMERICANS WITH DISABILITY ACT (A.D.A.). IT IS CONTRACTORS' RESPONSIBILITY TO FAMILIARIZE THEMSELVES WITH THE DISABILITY ACT GUIDELINES (A.D.A.A.G.) IN THE EVENT THAT A DESIGN QUESTION SHOULD ARISE, OR A FIELD CONDITION PRESENT ITSELF THAT IS DIFFERENT FROM THOSE SHOWN ON THESE PLANS, WORK SHALL CEASE AND THE ENGINEER SHALL BE NOTIFIED SO THAT AN ACCEPTABLE SOLUTION CAN BE DETERMINED.
- THE CONTRACTOR IS ADVISED TO CAREFULLY CHECK ALL PHASES OF WORK RELATING TO A.D.A.A.G. ACCESS FOR THIS PROJECT. SINCE THE CODE DOES NOT ALLOW FOR CONSTRUCTION TOLERANCE, ANY CONSTRUCTION THAT EXCEEDS MAXIMUM OR MINIMUM DIMENSIONS AND SLOPES AS CALLED OUT BY A.D.A.A.G. ARE SUBJECT TO REJECTION AND MAY BE REQUIRED TO BE REMOVED AND REPLACED, AT THE CONTRACTORS' EXPENSE.
- SINCE THE CIVIL ENGINEER OR SURVEYOR CANNOT CONTROL THE EXACT METHODS OR MEANS USED BY THE GENERAL CONTRACTOR OR THEIR SUBCONTRACTORS DURING GRADING AND CONSTRUCTION OF THE PROJECT, THE CIVIL ENGINEER OR SURVEYOR ASSUMES NO RESPONSIBILITY FOR THE FINAL ACCEPTANCE OF A.D.A.A.G. RELATED ITEMS BY THE CITY, ANY OTHER AUTHORITY, OR OTHER AFFECTED PARTIES.

DECLARATION OF RESPONSIBLE CHARGE

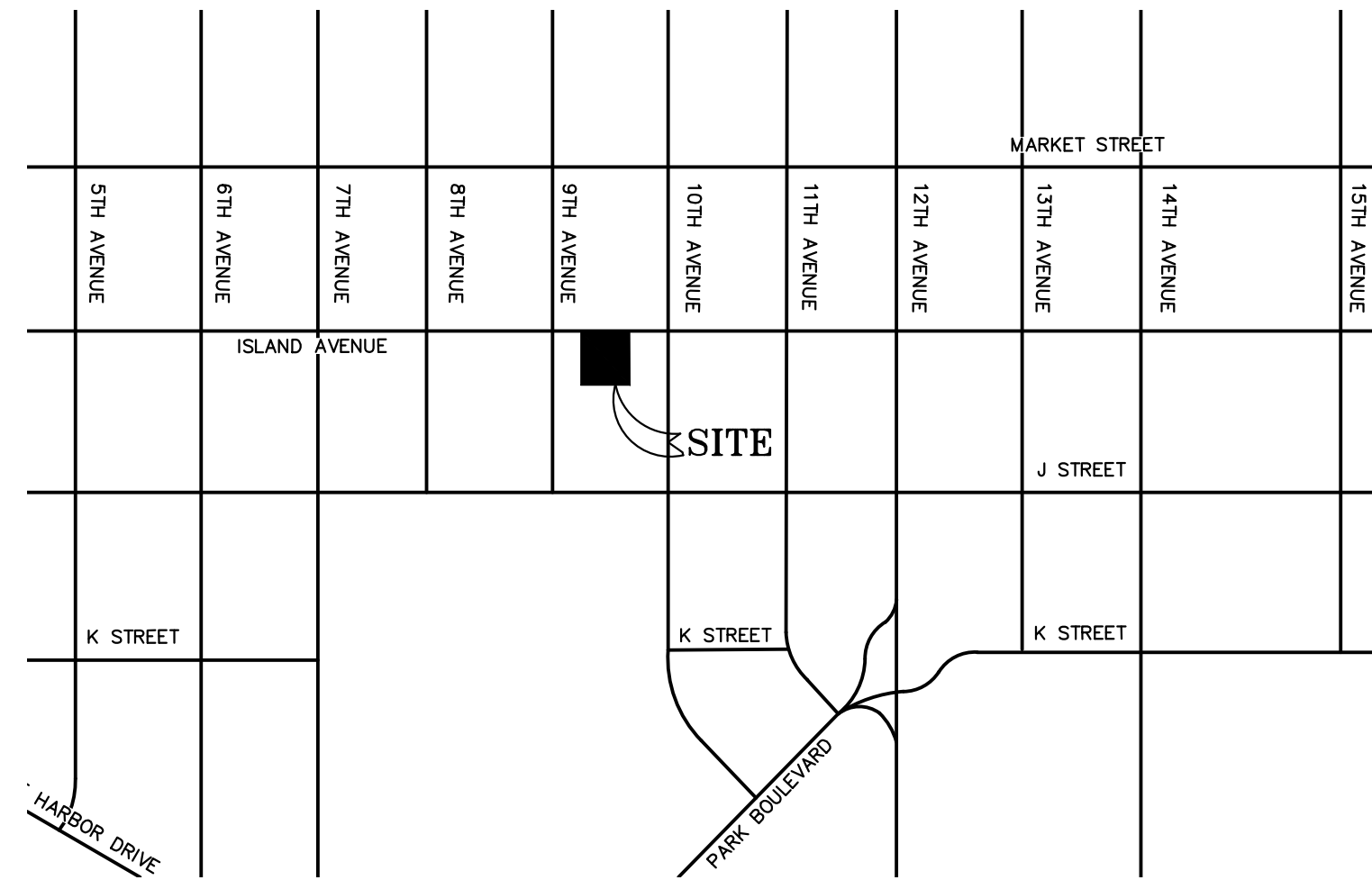
I HEREBY DECLARE THAT I AM THE ENGINEER OF WORK FOR THIS PROJECT, THAT I HAVE EXERCISED RESPONSIBLE CHARGE OVER THE DESIGN OF THE PROJECT AS DEFINED IN SECTION 6703 OF THE BUSINESS AND PROFESSIONS CODE, AND THAT THE DESIGN IS CONSISTENT WITH CURRENT STANDARDS.

I UNDERSTAND THAT THE CHECK OF PROJECT DRAWINGS AND SPECIFICATIONS BY THE CITY OF SAN DIEGO IS CONFINED TO A REVIEW ONLY AND DOES NOT RELIEVE ME, AS ENGINEER OF WORK, OF MY RESPONSIBILITIES FOR PROJECT DESIGN.

Daniel Quinones
 DANIEL QUINONES R.C.E. NO. 92310 EXP. 06-30-23 6/26/23 DATE



**CONDITIONAL USE PERMIT FOR:
9TH AND ISLAND**



VICINITY MAP

NO SCALE

SHEET INDEX

SHEET DESCRIPTION	SHEET #/RANGE
TITLE SHEET	1
SITE PLAN	2
BMP PLAN	3
DETAILS	4
LIGHTING PLAN	5-11

OWNER/APPLICANT

EV PROJECT, LLC
 321 7TH AVENUE, SAN DIEGO, CA 92101
 619-541-3304

REFERENCE DRAWINGS

29709-4-D, 29709-11-D, 29839-09-D, 29839-10-D,
 29839-23-D

SITE ADDRESS

923 ISLAND AVENUE, SAN DIEGO, CA 92101

BENCHMARK

CITY OF SAN DIEGO VERTICAL CONTROL BENCHMARK
 LOCATION: NORTHWEST BRASS PLUG AT F STREET AND NINTH AVENUE
 ELEVATION: 55.931 FEET
 DATUM: NGVD 29

LEGAL DESCRIPTION

PARCEL 1 AND 2, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 21969 FILED SEPTEMBER 15, 2022 OF BOOK OF PARCEL MAPS.

ASSESSORS PARCEL NUMBER

5351261900, 5351261800

DISCIPLINE CODE (DC)

GENERAL G
 CIVIL C

CONSTRUCTION STORM WATER PROTECTION NOTES

- TOTAL SITE DISTURBANCE AREA (ACRES) 0.13
 WATERSHED: SAN DIEGO BAY
 HYDRAULIC SUB AREA NAME AND NUMBER: CHOLLAS (308.22)
 - THE PROJECT SHALL COMPLY WITH THE REQUIREMENTS OF THE
 - WPCP
 THE PROJECT IS SUBJECT TO MUNICIPAL STORM WATER PERMIT NUMBER R9-2013-0001 AND SUBSEQUENT AMENDMENTS..
 - SWPPP
 THE PROJECT IS SUBJECT TO MUNICIPAL STORM WATER PERMIT NUMBER R9-2013-0001 AND CONSTRUCTION GENERAL PERMIT ORDER NUMBER 2009-009-DWQ AS AMENDED BY ORDER 2010-0014 DWQ AND 2012-0006-DWQ
- TRADITIONAL: RISK LEVEL 1 2 3
 LUP RISK LEVEL 1 2 3
 WQID NO: _____
- CONSTRUCTION SITE PRIORITY
 ASBS HIGH MEDIUM LOW

LOT SIZE

AREA = 5,621 SF (0.13 AC)

CENTRE CITY DEVELOPMENT PERMIT

NO. 2017-30

WORK TO BE DONE

THE PUBLIC IMPROVEMENTS SHOWN ON THESE PLANS SHALL BE CONSTRUCTED ACCORDING TO THE FOLLOWING STANDARD SPECIFICATIONS AND STANDARD DRAWINGS OF THE CITY OF SAN DIEGO.

STANDARD SPECIFICATIONS:	DOCUMENT NO.	DESCRIPTION
	PWPI010119-01	STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (GREENBOOK), 2018 EDITION
	PWPI010119-02	CITY OF SAN DIEGO STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (WHITEBOOK), 2018 EDITION
	PWPI010119-04	CITYWIDE COMPUTER AIDED DESIGN AND DRAFTING (CADD) STANDARDS, 2018 EDITION
	PWP1060121-10	CALIFORNIA MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES REVISION 6)CA MUTCD REV6)
	PWP1030119-05	CALIFORNIA DEPARTMENT OF TRANSPORTATION U.S. CUSTOMARY STANDARD SPECIFICATIONS, 2018 EDITION
STANDARD DRAWINGS:	DOCUMENT NO.	DESCRIPTION
	PWPI010119-03	CITY OF SAN DIEGO STANDARD DRAWINGS FOR PUBLIC WORKS CONSTRUCTION, 2018 EDITION
	PWPI030119-06	CALIFORNIA DEPARTMENT OF TRANSPORTATION U.S. CUSTOMARY STANDARD PLANS, 2018 EDITION

LEGEND

PROPOSED IMPROVEMENTS

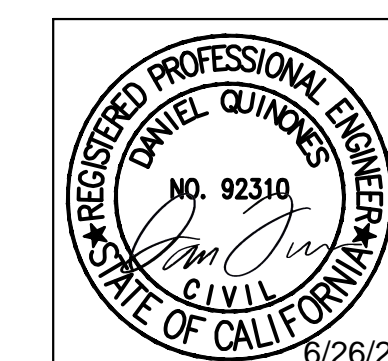
IMPROVEMENT	STANDARD DWGS.	SYMBOL
6" CURB & GUTTER TYPE 'G'	SDG-151, SDG-156	
SAWCUT LINE		
TRENCH RESURFACING	SDG-107	
SIDEWALK	SDG-155, SDG-156	
PLANTING AREA		

EXISTING IMPROVEMENTS

ITEM	SYMBOL
RIGHT-OF-WAY	
EXISTING SEWER	
EXISTING WATER	
EXISTING ELECTRIC	
EXISTING CURB	
EXISTING CURB AND GUTTER	
EXISTING STREET LIGHT	
EXISTING SURVEY MONUMENT	
EXISTING FENCE	
EXISTING SIGN	

**SITE IMPROVEMENT PLANS FOR:
923 ISLAND AVENUE**

**TITLE SHEET
SHEETS 1 OF 11**

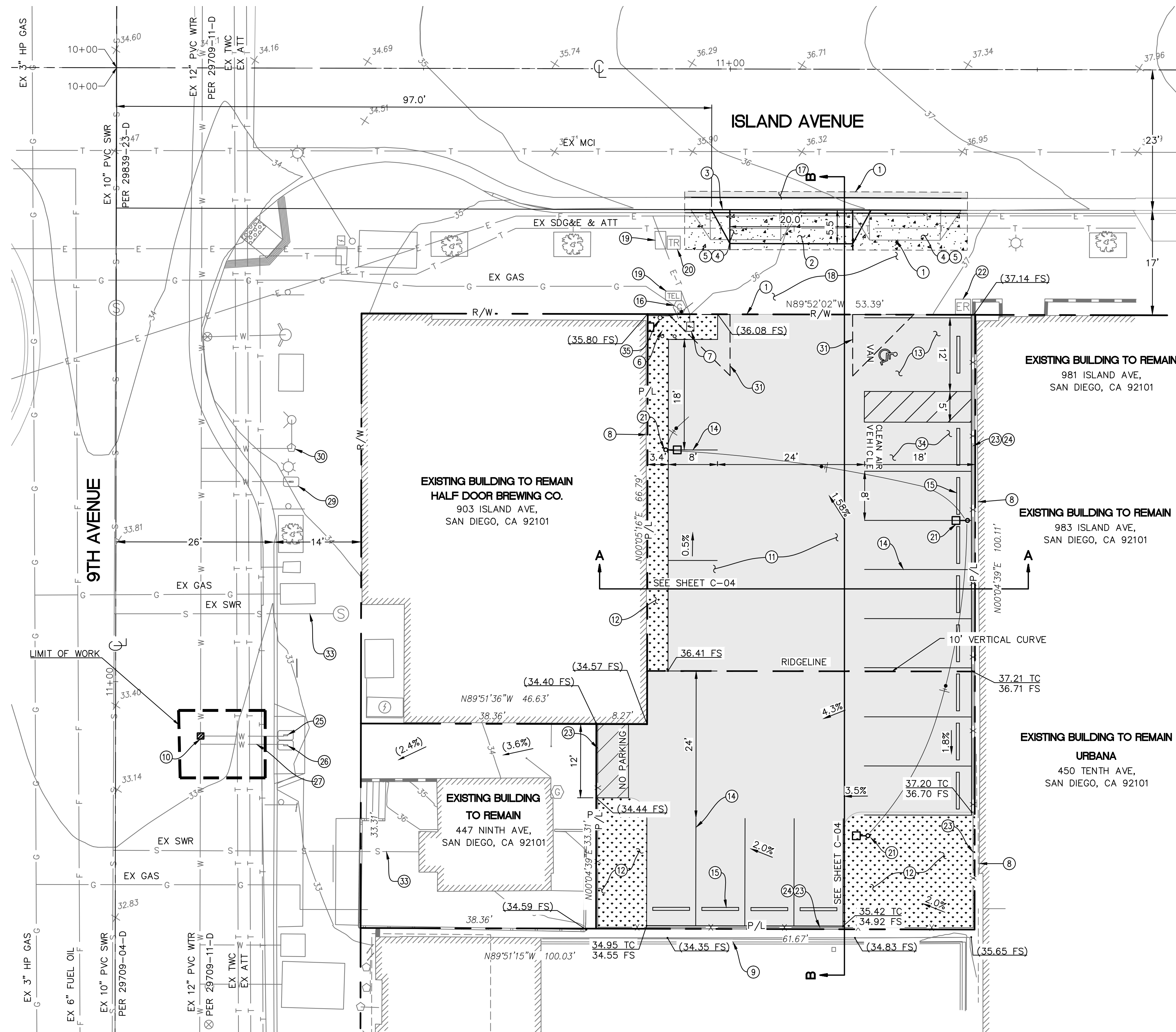


DATE 6/26/23
 JOB NO. 122-019.1
 DRAWN EF
 CHECKED DQ

SHEET
 C01

PRELIMINARY - NOT FOR CONSTRUCTION

PRELIMINARY - NOT FOR CONSTRUCTION



PLAN VIEW
SCALE: 1" = 10'

CONSTRUCTION NOTES

1. PROPOSED SAWCUT LINE, REMOVE TO NEAREST JOINT. MATCH EXISTING ELEVATIONS.
2. PROPOSED 20' DRIVEWAY PER SDG 159.
3. PROPOSED CURB AND GUTTER PER SDG-151.
4. DEMOLISH EXISTING DRIVEWAY.
5. PROPOSED SIDEWALK PAVING PER CENTRE CITY STREETScape MANUAL-FIGURE T-11
6. PROPOSED PARKING KIOSK.
7. PROPOSED ELECTRIC METER, CONNECT TO EXISTING ELECTRICAL LATERAL.
8. EXISTING FACE OF BUILDING.
9. EXISTING WALL TO REMAIN AND BE PROTECTED IN PLACE.
10. EXISTING 3/4" DOMESTIC WATER SERVICE AND METER TO BE REMOVED. EXISTING WATER SERVICE SHALL BE KILLED AT WATER MAIN AND RESURFACED PER SDG-107 (TYPE 1).
11. PROPOSED AC PAVEMENT (3" AC/9" CLASS II BASE)
12. PROPOSED PERVIOUS AREA.
13. PROPOSED ADA VAN ACCESSIBLE PARKING STALL PER SDM-117.
14. PROPOSED 4" WIDE PAINTED WHITE LINES PER SAN DIEGO PARKING DESIGN MANUAL.
15. PROPOSED WHEEL STOP.
16. EXISTING GAS METERS TO BE REMOVED.
17. PROPOSED AC PAVEMENT PER SDG-113.
18. EXISTING SIDEWALK TO REMAIN AND BE PROTECTED IN PLACE.
19. EXISTING COX HANDHOLE TO BE REMOVED.
20. EXISTING ATT PEDESTAL TO BE REMOVED.
21. PROPOSED LIGHT PER SEPARATE PLAN.
22. EXISTING ELECTRICAL METER TO BE REMOVED.
23. PROPOSED 5' CHAIN LINK FENCE PER SDM-112.
24. PROPOSED 6" CURB PER SDG-150.
25. EXISTING METER #15174992 TO REMAIN AND BE PROTECTED IN PLACE.
26. EXISTING METER #15177217 TO REMAIN AND BE PROTECTED IN PLACE.
27. EXISTING LATERAL TO REMAIN AND BE PROTECTED IN PLACE.
28. EXISTING WATER METER TO REMAIN AND BE PROTECTED IN PLACE.
29. EXISTING BACKFLOW TO REMAIN AND BE PROTECTED IN PLACE.
30. EXISTING BACKFLOW TO REMAIN AND BE PROTECTED IN PLACE.
31. NO OBSTRUCTION INCLUDING SOLID WALLS IN THE VISIBILITY AREA SHALL EXCEED 3 FEET IN HEIGHT, PER SDMC SECTION 142.0409 (b)(2). PLANT MATERIAL OTHER THAN TREES, LOCATED WITHIN VISIBILITY AREAS OR THE ADJACENT PUBLIC RIGHT-OF-WAY SHALL NOT EXCEED 36 INCHES IN HEIGHT MEASURED FROM THE LOWEST GRADE ABUTTING THE PLANT MATERIAL TO THE TOP OF THE PLANT MATERIAL.
33. EXISTING SEWER LATERAL TO REMAIN AND BE PROTECTED IN PLACE.
34. INSTALL PARKING STALL MARKING PER CALIFORNIA BUILDING CODE PER 5.106.5.2.1.
35. PROPOSED 4'X4' INTERNALLY ILLUMINATED CABINET SIGN PER SAN DIEGO MUNICIPAL CODE PER SECTION 156.0313(H)(3).

LEGEND:

DESCRIPTION	SYMBOL
RIGHT OF WAY LINE	--- ---
PROPERTY LINE	====
PROPOSED PARKING STRIPE	====
PROPOSED PERVIOUS AREA
PROPOSED AC PAVEMENT	=====

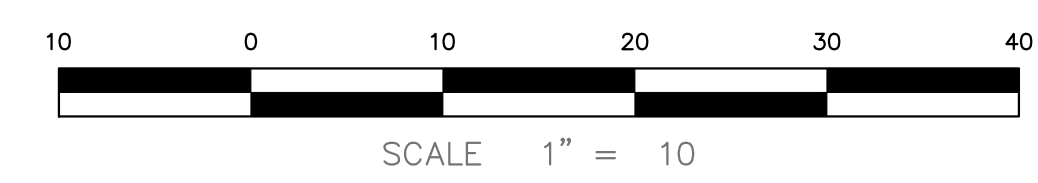
PARKING DATA:
 TOTAL STALLS: 16
 STANDARD STALLS: 14
 ADA STALLS: 1
 ZERO EMISSION STALLS: 1

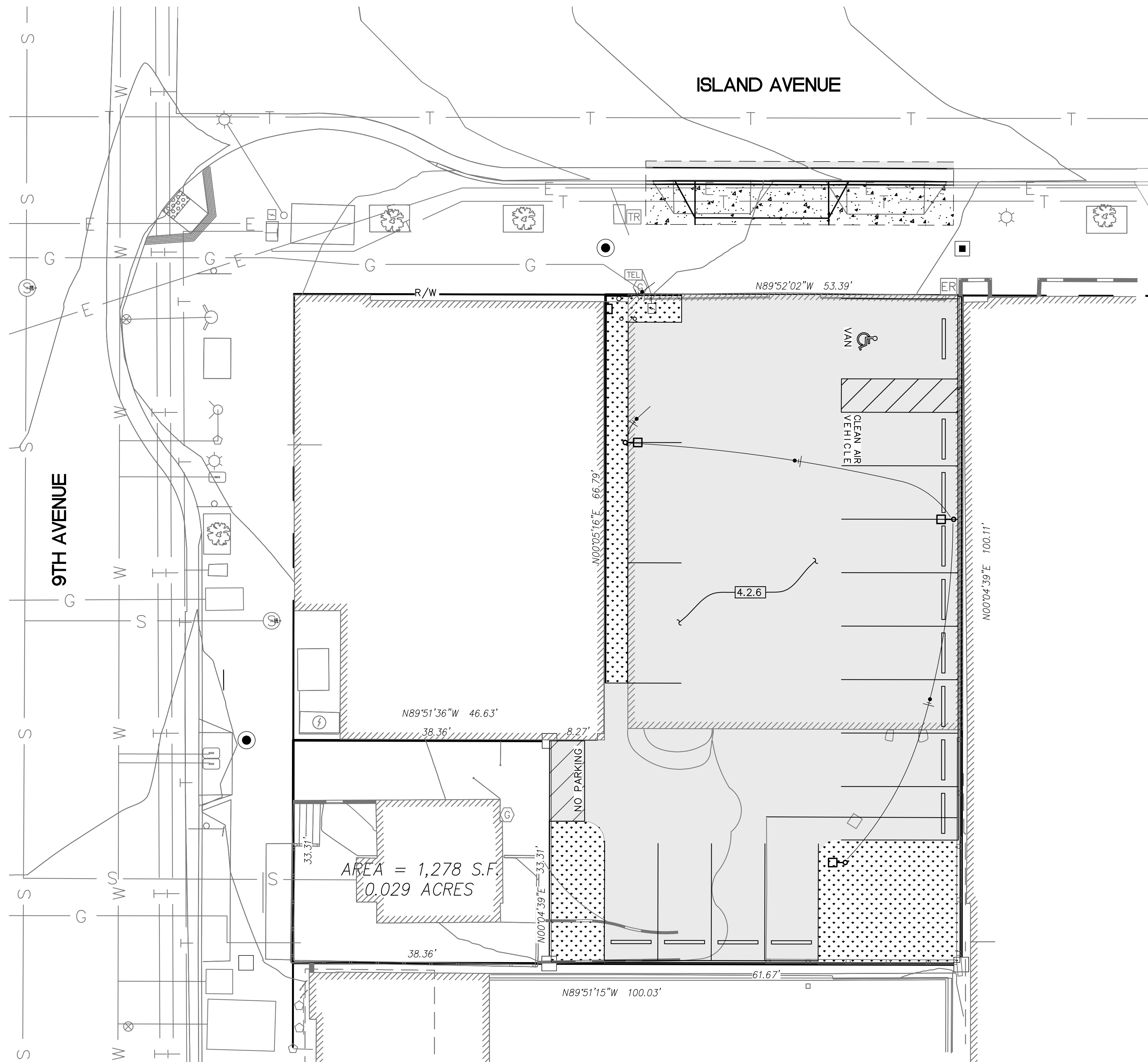
NOTE:
 1. FOR LOT LINE ADJUSTMENT, REFER TO PTS 656679.
 2. ALL WORK WITHIN RIGHT OF WAY SHALL REQUIRE A SEPARATE PERMIT.
 3. ALL DEMOLITION WORK REQUIRES A SEPARATE PERMIT.
 4. CONTRACTOR SHALL OBTAIN A TRAFFIC CONTROL PERMIT PRIOR TO IMPLEMENTING DEMOLITION AND WATER KILL SET UP AREA IN PUBLIC RIGHT OF WAY.
 5. ALL EXISTING UNUSED SEWER LATERALS SHALL BE PLUGGED AT EDGE OF THE RIGHT OF WAY.
 6. PROJECT SHALL COMPLY WITH OFC CHAPTER 33-"FIRE SAFETY REQUIREMENTS DURING CONSTRUCTION/ DEMOLITION."

SITE IMPROVEMENT PLANS FOR:
923 ISLAND AVENUE
 SITE PLAN
 SHEETS 2 OF 11

	DATE 12/5/22	SHEET
	JOB NO. 122-019.1	C02
	DRAWN EF	
	CHECKED DQ	

Nasland Civil Engineering
 Surveying
 Land Planning
 T (858) 292-7770
 4740 Ruffer Street
 San Diego, CA 92111
 nasland.com





PLAN VIEW
SCALE: 1" = 10'

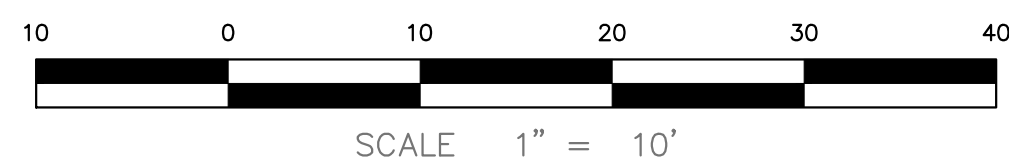
AREA TABULATION:

EXISTING IMPERVIOUS AREA: 5,621 SF
 NEW IMPERVIOUS AREA: 0 SF
 REPLACED IMPERVIOUS AREA: 5,621 SF
 TOTAL NEW AND REPLACED IMPERVIOUS AREA: 4,810 SF

NOTE:

1. THE PROPOSED PROJECT WILL COMPLY WITH ALL THE REQUIREMENTS OF THE CURRENT CITY OF SAN DIEGO STORM WATER STANDARDS MANUAL BEFORE A GRADING OR BUILDING PERMIT IS ISSUED. IT IS THE RESPONSIBILITY OF THE OWNER/DESIGNER/APPLICANT TO ENSURE THAT THE CURRENT STORM WATER PERMANENT BMP DESIGN STANDARDS ARE INCORPORATED INTO THE PROJECT.

Nasland Civil Engineering
 Surveying
 Land Planning
 T (858) 292-7770
 4740 Ruffner Street
 San Diego, CA 92111
 nasland.com



SOURCE CONTROL BMP CHECKLIST FOR STANDARD PROJECTS FORM I-4A

ALL DEVELOPMENT PROJECTS MUST IMPLEMENT SOURCE CONTROL BMP'S. REFER TO CHAPTER 4 AND APPENDIX E OF THE BMP DESIGN MANUAL FOR INFORMATION TO IMPLEMENT BMP'S SHOWN IN THIS CHECKLIST
 NOTE: ALL SELECTED BMP'S MUST BE SHOWN ON THE CONSTRUCTION PLANS

SOURCE CONTROL REQUIREMENT	APPLIED?		
4.2.1 PREVENTION OF ILLICIT DISCHARGES INTO THE MS4	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
4.2.2 STORM DRAIN STENCILING OR SIGNAGE	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
4.2.3 PROTECT OUTDOOR MATERIALS STORAGE AREAS FROM RAINFALL, RUN-ON, RUNOFF, AND WIND DISPERSAL	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
4.2.4 PROTECT MATERIALS STORED IN OUTDOOR WORK AREAS FROM RAINFALL, RUN-ON, RUNOFF, AND WIND DISPERSAL	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
4.2.5 PROTECT TRASH STORAGE AREAS FROM RAINFALL, RUN-ON, RUNOFF, AND WIND DISPERSAL	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
4.2.6 BMP'S BASED ON POTENTIAL SOURCES OF RUNOFF POLLUTANTS			
ON-SITE STORM DRAIN INLETS	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
INTERIOR FLOOR DRAINS AND ELEVATOR SHAFT SUMP PUMPS	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
INTERIOR PARKING GARAGES	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
NEED FOR FUTURE INDOOR & STRUCTURAL PEST CONTROL	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
LANDSCAPE/OUTDOOR PESTICIDE USE	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
POOLS, SPAS, PONDS, DECORATIVE FOUNTAINS, AND OTHER WATER FEATURES	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
FOOD SERVICE	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
REFUSE AREAS	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
INDUSTRIAL PROCESSES	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
OUTDOOR STORAGE OF EQUIPMENT OR MATERIALS	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
VEHICLE/EQUIPMENT REPAIR AND MAINTENANCE	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
FUEL DISPENSING AREA	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
LOADING DOCKS	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
FIRE SPRINKLER TEST WATER	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
MISCELLANEOUS DRAIN OR WASH WATER	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
PLAZAS, SIDEWALKS, AND PARKING LOTS	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
SC-6A: LARGE TRASH GENERATING FACILITIES	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
SC-6B: ANIMAL FACILITIES	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
SC-6C: PLANT NURSERIES AND GARDEN CENTERS	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
SC-6D: AUTOMOTIVE-RELATED USES	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

DISCUSSION / JUSTIFICATION FOR ALL "NO" ANSWERS SHOWN ABOVE:

SITE DESIGN BMP CHECKLIST FOR STANDARD PROJECTS FORM I-5A

ALL DEVELOPMENT PROJECTS MUST IMPLEMENT SITE DESIGN BMP'S. REFER TO CHAPTER 4 AND APPENDIX E OF THE BMP DESIGN MANUAL FOR INFORMATION TO IMPLEMENT BMP'S SHOWN IN THIS CHECKLIST
 NOTE: ALL SELECTED BMP'S MUST BE SHOWN ON THE CONSTRUCTION PLANS

SITE DESIGN REQUIREMENT	APPLIED?		
4.3.1 MAINTAIN NATURAL DRAINAGE PATHWAYS AND HYDROLOGIC FEATURES	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
4.3.2 CONSERVE NATURAL AREAS, SOILS, AND VEGETATION	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
4.3.3 MINIMIZE IMPERVIOUS AREA	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
4.3.4 MINIMIZE SOIL COMPACTION	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
4.3.5 IMPERVIOUS AREA DISPERSION	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
4.3.6 RUNOFF COLLECTION	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
4.3.7 LANDSCAPING WITH NATIVE OR DROUGHT TOLERANT SPECIES	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
4.3.8 HARVESTING AND USING PRECIPITATION	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

DISCUSSION / JUSTIFICATION FOR ALL "NO" ANSWERS SHOWN ABOVE:

LEGEND:

DESCRIPTION	SYMBOL
RIGHT OF WAY LINE	---
PROPERTY LINE	====
PROPOSED PERVIOUS AREA	[Stippled Pattern]
PROPOSED AC PAVEMENT	[Horizontal Line Pattern]
BMP'S BASED ON POTENTIAL SOURCES OF RUNOFF POLLUTANTS (PLAZAS, SIDEWALKS, AND PARKING LOTS.....)	[Stippled Pattern] 4.2.6

SITE IMPROVEMENT PLANS FOR:
923 ISLAND AVENUE

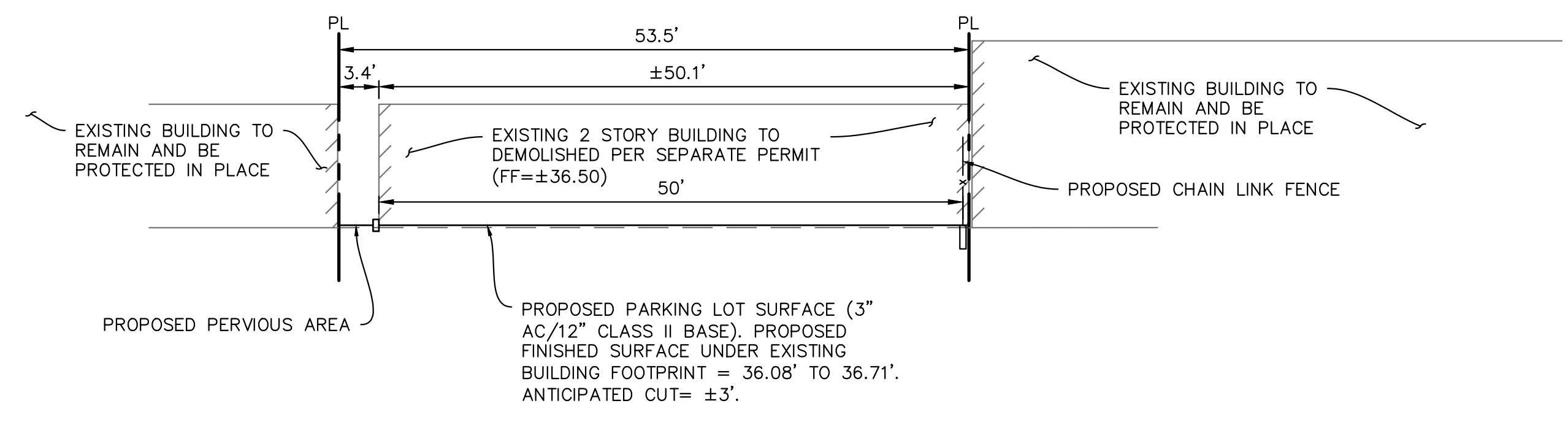
BMP PLAN
 SHEETS 3 OF 11



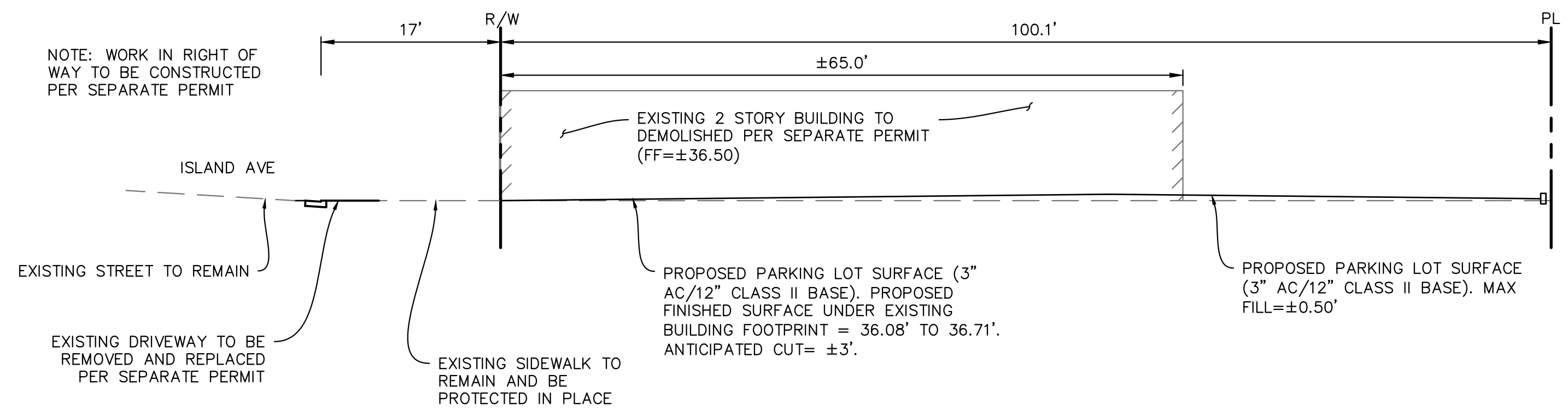
DATE 12/5/22
 JOB NO. 122-019.1
 DRAWN EF
 CHECKED DQ

SHEET

003



SECTION A-A
NOT TO SCALE



SECTION B-B
NOT TO SCALE

SITE IMPROVEMENT PLANS FOR:
923 ISLAND AVENUE

DETAILS
SHEETS 4 OF 11

	DATE 12/5/22	SHEET
	JOB NO. 122-019.1	C04
	DRAWN EF	
	CHECKED DQ	

POWER LEGEND	
	GFCI = GROUND FAULT CIRCUIT INTERRUPTER
	IG = ISOLATED GROUND
	S = SURGE SUPPRESSOR
	H = HORIZONTAL MOUNTED
	AC = MOUNT ABOVE COUNTER PER ARCHITECT ELEVATION
	USB = PROVIDED WITH INTEGRAL USB PORTS
	RC = RECEPTACLE CONTROLLED PER TITLE 24 2019 SECTION 130.5(4)
	C = CLOCK TYPE
	HALF SHADED WIRING INDICATES CONTROLLED RECEPTACLE PER TITLE 24 SECTION 130.5(4)
	FLUSH MOUNTED SINGLE RECEPTACLE MOUNTED AT +15" AFF TO BOTTOM OF BOX U.O.N
	SURFACE MOUNTED SINGLE RECEPTACLE MOUNTED AT +15" AFF TO BOTTOM OF BOX U.O.N
	FLUSH MOUNTED HALF HOT DUPLEX RECEPTACLE MOUNTED AT +15" AFF TO BOTTOM OF BOX U.O.N
	SURFACE MOUNTED DUPLEX RECEPTACLE MOUNTED AT +15" AFF TO BOTTOM OF BOX U.O.N
	FLUSH MOUNTED DUPLEX RECEPTACLE MOUNTING HEIGHT TO BOTTOM OF BOX PER ARCHITECT ELEVATION
	FLUSH MOUNTED QUAD RECEPTACLE MOUNTED AT +15" AFF TO BOTTOM OF BOX U.O.N
	SURFACE MOUNTED QUAD RECEPTACLE MOUNTING HEIGHT TO BOTTOM OF BOX PER ARCHITECT ELEVATION
	SURFACE MOUNTED DUPLEX RECEPTACLE MOUNTED AT COUNTER LEVEL PER ARCHITECT ELEVATION
	SURFACE MOUNTED QUAD RECEPTACLE MOUNTED AT +15" AFF TO BOTTOM OF BOX U.O.N
	SURFACE MOUNTED DUPLEX RECEPTACLE MOUNTING TO BOTTOM OF BOX PER ARCHITECT ELEVATION
	SURFACE MOUNTED SPECIAL NEMA CONFIGURATION RECEPTACLE MOUNTED AT +15" AFF TO BOTTOM OF BOX U.O.N
	FLUSH MOUNTED SPECIAL NEMA CONFIGURATION RECEPTACLE MOUNTED AT +15" AFF TO BOTTOM OF BOX U.O.N
	CEILING MOUNTED SPECIAL NEMA CONFIGURATION RECEPTACLE
	FLOOR MOUNTED SPECIAL NEMA CONFIGURATION RECEPTACLE
	CEILING MOUNTED DUPLEX RECEPTACLE
	CEILING MOUNTED QUAD RECEPTACLE
	FLUSH FLOOR BOX WITH DUPLEX RECEPTACLE
	FLUSH FLOOR BOX WITH QUAD RECEPTACLE
	FLUSH FLOOR BOX WITH COMBINATION DUPLEX RECEPTACLE AND DATA OUTLET
	FLUSH FLOOR BOX WITH COMBINATION QUAD RECEPTACLE AND DATA OUTLET
	FIRE RATED POKE THRU WITH DUPLEX RECEPTACLE
	FIRE RATED POKE THRU WITH QUAD RECEPTACLE
	FIRE RATED POKE THRU WITH DUPLEX RECEPTACLE AND DATA OUTLET
	FIRE RATED POKE THRU WITH QUAD RECEPTACLE AND DATA OUTLET
	RECEPTACLE POWER PACK MOUNTED IN ACCESSIBLE CEILING SPACE FOR AUTOMATIC CONTROL OF RECEPTACLE DEVICE
	FLUSH MOUNTED JUNCTION BOX MOUNTED AT +15" AFF TO BOTTOM OF BOX U.O.N
	SURFACE MOUNTED JUNCTION BOX MOUNTED AT +15" AFF TO BOTTOM OF BOX U.O.N
	FLUSH FLOOR MOUNTED JUNCTION BOX
	CEILING MOUNTED JUNCTION BOX

SECURITY LEGEND	
	ALARM CONTACT
	CARD READER
	KEYPAD
	GLASS BREAK
	MOTION SENSOR
	ELECTRIC DOOR STRIKE
	DOOR CONTACT
	REMOTE DOOR RELEASE
	ELECTRONIC LOCK
	VIBRATION DETECTOR
	DOOR BREACH ALARM
	PANIC BUTTON / DURESS ALARM
	REQUEST TO EXIT
	ELECTRONIC HOLD OPEN
	ELECTRONIC PANIC HARDWARE
	ELECTRONIC MAGNETIC LOCK
	FIXED POSITION VIDEO CAMERA
	PAN, TILT, ZOOM VIDEO CAMERA

WIRING LEGEND	
	BRANCH CIRCUIT RACEWAY TO BE DEMOLISH
	BRANCH CIRCUIT RACEWAY CONCEALED IN WALL OR CEILING
	BRANCH CIRCUIT RACEWAY CONCEALED IN FLOOR OR UNDERGROUND
	RACEWAY EXPOSED
	RACEWAY TURNED UP
	RACEWAY TURNED DOWN
	RACEWAY CAPPED AND STUBBED PROVIDE PERMANENT GROUND MARKER FOR UNDERGROUND INSTALLATIONS
	BRANCH CIRCUIT RACEWAY HOME RUN BACK TO ELECTRICAL EQUIPMENT AS NOTED
	BRANCH CIRCUIT RACEWAY WITH 3#12, 1#12N, 1#12GND, 3/4" MAXIMUM THREE BRANCH CIRCUITS PER HOME RUN, U.O.N.
	BRANCH CIRCUIT RACEWAY WITH 3#10, 1#10N, 1#10GND, 3/4" MAXIMUM THREE BRANCH CIRCUITS PER HOME RUN, U.O.N.
	POINT OF CONNECTION TO EQUIPMENT
	CABLE TRAY
	SURFACE MOUNTED WIRE MOLD RACEWAY SYSTEM.
	X = 1, 2 OR 3 CHANNEL RACEWAY

SINGLE LINE BREAKER LEGEND	
	DRAWOUT CIRCUIT BREAKER
	CIRCUIT BREAKER
	FUSED SWITCH
	ENCLOSED CIRCUIT BREAKER
	TRANSFORMER
	FUSE
	GROUNDING ELECTRODE
	ELECTRONIC METERING UNIT
	CURRENT TRANSFORMER
	POTENTIAL TRANSFORMER
	NORMALLY OPEN CONTACT
	NORMALLY CLOSED CONTACT
	COIL
	SHUNT TRIP
	SOLID STATE
	TRANSIENT VOLTAGE SURGE SUPPRESSION
	FEEDER TAG
	AUTOMATIC TRANSFER SWITCH
	PACKAGE ENGINE GENERATOR
	PANEL BOARD
	STRINGER INVERTER

SIGNAL LEGEND	
	FLUSH MOUNTED TELECOM OUTLET MOUNTED AT +15" AFF TO BOTTOM OF BOX U.O.N. PROVIDE 1" C. TO ACCESSIBLE CEILING SPACE WITH PULL STRING, U.O.N.
	SURFACE MOUNTED TELECOM OUTLET MOUNTED AT +15" AFF TO BOTTOM OF BOX U.O.N. PROVIDE 1" C. TO ACCESSIBLE CEILING SPACE WITH PULL STRING, U.O.N.
	FLUSH MOUNTED WALL PHONE OUTLET MOUNTED AT +44" AFF TO TOP OF BOX U.O.N
	FLUSH MOUNTED TELEVISION OUTLET MOUNTED AT +15" AFF TO BOTTOM OF BOX U.O.N
	FLUSH FLOOR BOX WITH TELECOM OUTLET
	FIRE RATED POKE THRU WITH TELECOM OUTLET
	WIRELESS ACCESS POINT
	CEILING MOUNTED TELECOM OUTLET
	PUSH BUTTON
	BUZZER
	BELL
	WALL MOUNTED SPEAKER
	CEILING MOUNTED SPEAKER

ABBREVIATIONS AND DESCRIPTIONS			
A / AMP	AMPERE	KW	KILOWATT
AC	ALTERNATING CURRENT	KWH	KILOWATT HOUR
A/C	AIR CONDITIONING	LBS	POUNDS
ABV	ABOVE	LF	LINEAR FEET
ADA	AMERICAN WITH DISABILITIES ACT	LTG / LTS	LIGHTING
AF	AMPERE FRAME, AMPERE FUSE	LV	LOW VOLTAGE
AFF / A.F.F.	ABOVE FINISH FLOOR	M	METER
AFG, A.F.G.	ABOVE FINISH GRADE	MAX	MAXIMUM
AIC / A.I.C.	AMPERE INTERRUPTING CAPACITY	MCA	MINIMUM CIRCUIT AMPERES
AL	ALUMINUM	MCB	MAIN CIRCUIT BREAKER
AS	AMPERE SWITCH	MCC	MOTOR CONTROL CENTER
AT	AMPERE TRIP	MDF	MAIN DISTRIBUTION FRAME
ATS	AUTOMATIC TRANSFER SWITCH	MECH	MECHANICAL
AVG	AVERAGE	MFR	MANUFACTURER
AWG	AMERICAN WIRE GAUGE	MH	MANHOLE
BKR	BREAKER	MIN	MINIMUM
BLDG	BUILDING	MLO	MAIN LUGS ONLY
BR	BRANCH	MOCPP	MAXIMUM OVERCURRENT CIRCUIT PROTECTION
C	CONDUIT	MTD	MOUNTED
CATV	CABLE TELEVISION	MTG	MOUNTING
CCTV	CLOSED CIRCUIT TELEVISION	MV	MERCURY VAPOR
CB	CIRCUIT BREAKER	N / NEUT	NEUTRAL
CBC	CALIFORNIA BUILDING CODE	NC	NORMALLY CLOSED
CEC	CALIFORNIA ELECTRIC CODE	NEC	NATIONAL ELECTRICAL CODE
CFC	CALIFORNIA FIRE CODE	NEMA	NATIONAL ELECTRICAL MFR ASSOCIATION
CIRC / CKT	CIRCUIT	NF	NON-FUSED
CL	CENTER LINE	NFPA	NATIONAL FIRE PROTECTION ASSOCIATION
CLG	CEILING	NIC	NOT IN CONTRACT
CO / C.O.	CONDUIT ONLY	NL	NIGHT LIGHT
CONN	CONNECTED	NO	NORMALLY OPEN
COMM	COMMUNICATIONS	NO. / #	NUMBER
CPT	CONTROL POWER TRANSFORMER	NTS	NOT TO SCALE
CSFM	CALIFORNIA STATE FIRE MARSHALL	OC	ON CENTER
CT	CONTROL TRANSFORMER	OFCI	OWNER FURNISH, CONTRACTOR INSTALLED
CTR	CENTER	P	POLE
CU	COPPER	PA	PUBLIC ADDRESS
(D)	DEMOLISH	PB	PULL BOX
DC	DIRECT CURRENT	PC	PHOTOCELL
DET	DETAIL	PDU	POWER DISTRIBUTION UNIT
DIA	DIAMETER	PF	POWER FACTOR
DIM	DIMENSION	PH / ø	PHASE
DISC	DISCONNECT	PNL	PANEL
DIST	DISTRIBUTION	PRIMARY	OVER 600 VOLTS
DP	DISTRIBUTION PANEL	PROVIDE	FURNISH, INSTALL AND/OR CONNECT
DWG	DRAWING	PT	POTENTIAL TRANSFORMER
(E)	EXISTING	PVC	POLYVINYL CHLORIDE
EA	EACH	PWR	POWER
EC	ELECTRICAL CONTRACTOR	QTY	QUANTITY
ED	EXTRA-DUTY	REC	RECESSED
EF	EXHAUST FAN	RECEPT	RECEPTACLE
EG	EQUIPMENT GROUND	REQD	REQUIRED
ELEC	ELECTRICAL	REQT(S)	REQUIREMENT(S)
EM	EMERGENCY	REFRIG	REFRIGERATOR
EMS	EMERGENCY MANAGEMENT CONTROL SYSTEM	RGS	RIGID GALVANIZED STEEL CONDUIT
EMT	ELECTRICAL METALLIC TUBING	RM	ROOM
ENT	ELECTRICAL NON-METALLIC TUBING	RMS	ROOT MEAN SQUARE
EOL	END OF LINE RESISTOR	SCC	SHORT CIRCUIT CURRENT
EP	EXPLOSION PROOF	SECONDARY	600 VOLTS AND LESS
EPO / E.P.O	EMERGENCY POWER OFF	SFD	SMOKE FIRE DAMPER
EQP	EQUIPMENT	SHT	SHEET
EXO	DISCONNECT SWITCH	SPEC	SPECIFICATIONS
FA	FIRE ALARM	SQ	SQUARE
FACP	FIRE ALARM CONTROL PANEL	STC	SIGNAL TERMINAL CABINET
FATC	FIRE ALARM TERMINAL CABINET	SW	SWITCH
FIN	FINISH	SWBD	SWITCHBOARD
FL	FLOOR	SWGR	METAL CLAD SWITCHGEAR
FLA	FULL LOAD AMPS	TC	TIMECLOCK
FT / '	FEET	TEL	TELEPHONE
G / GND	GROUND	TELOAT	TELEPHONE AND DATA
GALV	GALVANIZED	TEMP	TEMPERATURE OR TEMPORARY
GC	GENERAL CONTRACTOR	TV	TELEVISION
GFCI	GROUND FAULT CIRCUIT INTERRUPTER	TVSS	TRANSIENT VOLTAGE SURGE SUPPRESSION
GFP	GROUND FAULT PROTECTION	TYP	TYPICAL
GEC	GROUNDING ELECTRODE CONDUCTOR	UGPS	UNDERGROUND PULL SECTION
H / HGT	HEIGHT	UL	UNDERWRITERS LABORATORIES
HACR	HEATING AIR CONDITIONING REFRIGERATION	UON / U.O.N.	UNLESS OTHERWISE NOTED
HID	HIGH INTENSITY DISCHARGE	UPS	UNINTERRUPTIBLE POWER SUPPLY
HOA	HAND OFF AUTO	V	VOLTAGE
HP	HORSEPOWER	VA	VOLT AMPERES
HR	HOUR OR HOME RUN	VAV	VARIABLE AIR VOLUME
HVAC	HEATING, VENTILATING AND AIR CONDITIONING	VD	VOLTAGE DROP
HZ	HERTZ	VFD	VARIABLE FREQUENCY DRIVE
IC	INTERCOM	W	WATTAGE OR WIRE
IDF	INTERMEDIATE DISTRIBUTION FRAME	WAP	WIRELESS ACCESS POINT
IG	ISOLATED GROUND	WH	WATER HEATER
IMC	INTERMEDIATE METAL CONDUIT	WP	WEATHERPROOF
IN / "	INCHES	WR	WEATHER RESISTANT
IP	INTERNET PROTOCOL	WT	WEIGHT
JB / JBOX	JUNCTION BOX	X / (X)	EXISTING
KAIC	KILOAMPERE INTERRUPTING CAPACITY	XFMR	TRANSFORMER
KCML / MCM	THOUSAND CIRCULAR MILS	XL / (XL)	EXISTING TO BE RELOCATED
KS	KNEE SPACE	XN / (XN)	EXISTING NEW LOCATION
KV	KILOVOLT	XR / (XR)	EXISTING TO BE REMOVED
KVA	KILOVOLT AMPERE	%Z	PERCENTAGE IMPEDANCE

SHEET INDEX	
SHEET NUMBER	SHEET TITLE
E001	COVER SHEET
E002	LIGHTING SCHEDULE & TITLE 24 FORMS
E050	SITE PLAN
E051	GENERAL CALCULATIONS
E701	DETAILS
E702	DETAILS
E801	SINGLE LINE DIAGRAM

GENERAL PROJECT NOTES

- CONTRACTOR TO OBTAIN PERMISSION FOR ACCESS TO THE SITE FROM THE OWNER OR DESIGNATED OWNER REPRESENTATIVE TO VISIT THE SITE INCLUDING ALL AREAS OF WORK PRIOR TO BID. CONTRACTOR TO BE FAMILIARIZED WITH EXISTING CONDITIONS, VERIFY SAID CONDITIONS, DIMENSIONS, AND ROUTINGS PRIOR TO START OF CONSTRUCTION. REPORT ANY DISCREPANCIES TO OWNER / ARCHITECT / ENGINEER WITHIN 48 HOURS OF DISCREPANCIES FOUND.
- CONTRACTOR SHALL CONFIRM ACCURACY OF PANEL BOARD INFORMATION PRIOR TO START OF WORK. REPORT ANY DISCREPANCIES TO OWNER / ARCHITECT / ENGINEER WITHIN 48 HOURS OF DISCREPANCIES FOUND.
- ALL WORK SHOWN IS NEW UNLESS OTHERWISE NOTED.
- ALL AREAS OUTSIDE THE SCOPE OF WORK SHALL BE PROTECTED IN PLACE AND REMAIN INTACT, U.O.N.
- CONTRACTOR TO COORDINATE WITH OWNER ANY SHUTDOWN OF ELECTRICAL EQUIPMENT WITH 7 DAYS NOTIFICATION. CONTRACTOR TO INCLUDE OFF HOURS IN PRICING FOR THIS WORK.
- ALL ELECTRICAL MATERIAL AND EQUIPMENT SHALL BE NEW BEARING A UL LISTING OR ACCEPTABLE NRTL LISTING FROM THE LOCAL AREA JURISDICTION.
- CONTRACTOR SHALL COMPLY WITH THE CURRENT VERSION OF THE NATIONAL ELECTRICAL CODE 2019, STATE, LOCAL CODES, ORDINANCES, AND REGULATIONS.
- WORK SHALL BE PERFORMED IN A SAFE MANNER AND NOT DISTURB OR AFFECT EXISTING BUILDING UTILITIES, OCCUPANTS, OR FINISHES WITHOUT PRIOR NOTICE AND APPROVAL FROM OWNER.
- ALL CONDUIT RUN SHALL BE FIELD COORDINATED. LOCATE CONDUITS CLEAR OF OTHER TRADES, DOOR ACCESS, OR OTHER OBSTRUCTIONS. COORDINATE CONDUIT RUNS WITH OTHER TRADES PRIOR TO COMMENCEMENT OF WORK.
- RUN ALL CONDUITS CONCEALED IN CEILING SPACES, U.O.N. TO BE SURFACE MOUNTED. ALL CONDUIT PATHWAYS MUST MAINTAIN 6 INCHES CLEAR OF SOURCES OF HEAT, SUPPORT CONDUITS FROM STRUCTURE.
- ALL BRANCH CIRCUITS TO BE PROVIDED WITH SEPARATE GREEN GROUND INSULATED CONDUCTOR.
- ALL BRANCH CIRCUITS TO BE PROVIDED WITH SEPARATE WHITE NEUTRAL INSULATED CONDUCTOR. SHARED NEUTRAL IS ACCEPTABLE IF COMMON HANDLE THE CIRCUIT BREAKER ARE UTILIZED TO SIMULTANEOUSLY DISCONNECT ALL UNGROUNDED CONDUCTORS PER NEC 210.4(B).
- PROVIDE IDENTIFICATION TAGS FOR ALL WIRING. INSTALL TAGS AT END OF RUNS, INTERMEDIATE PULL BOXES, JUNCTION BOXES, CABINETS, ETC.
- BRANCH CIRCUIT VOLTAGE DROP NOT TO EXCEED 3% FROM PANEL BOARD SOURCE.
- LABEL ALL CIRCUIT BREAKERS IN ALL ELECTRICAL DISTRIBUTION PANELS AND SWITCHBOARDS. PROVIDE TYPE WRITTEN CIRCUIT DIRECTORY CARDS FOR ANY PANEL BOARD HAVING CIRCUIT MODIFICATIONS.
- PROVIDE P-TOUCH LABELS ON ALL NEW LIGHT FIXTURES. ELECTRICAL EQUIPMENT, OUTLETS COVERS, RACKS, PLUG MOLD, AND SWITCHES.
- ALL CONDUITS PENETRATING ELECTRICAL/MECHANICAL SPACES OF RATED WALLS SHALL BE SEALED AND FIRE STOPPED.
- ALL ELECTRICAL PENETRATIONS INTO COOLER OR FREEZER UNITS SHALL BE SEALED PER SECTION 300-7 OF THE NEC.
- NO PIPING, DUCTS OR EQUIPMENT FOREIGN TO ELECTRICAL EQUIPMENT SHALL BE PERMITTED TO BE LOCATED WITHIN THE DEDICATED SPACE ABOVE THE ELECTRICAL EQUIPMENT PER NEC 110.26(E) (1).
- THE ENGINEER OF RECORD TAKES NO EXCEPTION TO THE USE OF MC CABLE WHERE ALLOWED BY THE CEC 330 AND PROVIDE MC CABLE IS ACCEPTABLE WITH BUILDING OWNERSHIP.



Consulting Engineers, Inc.
DEVELOP DESIGN DELIVER
1044 PIONEER WAY, SUITE E
EL CAJON, CA 92020
TEL: 619.334.6020

SITE IMPROVEMENT PLANS FOR:
923 ISLAND AVENUE

COVER SHEET
SHEETS 5 OF 11



DATE	11/18/22
JOB NO.	122-019.1
DRAWN	LE/JF
CHECKED	RB

SHEET
E001

CALLOUT	SYMBOL	DESCRIPTION	LAMP	FIXTURE LUMENS	EGRESS LUMENS	COLOR TEMP	CRI	MANUFACTURER	MODEL	MOUNTING	NOTES	INPUT WATTS	VOLTS	DIMMING	QTY.
SL-1		SMALL AREA LED POST TOP, ARM MOUNT, TYPE 4 DISTRIBUTION, BACK LIGHT CONTROL, PHOTOCONTROL, BUTTON, ROUND STRAIGHT ALUMINUM 12 POLE, .125" WALL THICKNESS.	(1) 40W LED	5637	0	3000K	70	GARDCO	ECF-S-32L-365-WW-G2-AR-4-UNV-PCB-FINISH HIS-32-H/ SRA-CA-4-125-10-D1-DT5-FINISH	POLE		40	120V 1P 2W	0-10V	2
SL-2		SMALL AREA LED POST TOP, ARM MOUNT, TYPE 4 DISTRIBUTION, PHOTOCONTROL, BUTTON, STRAIGHT ROUND ALUMINUM 12 POLE, .125" WALL THICKNESS.	(1) 40W LED	5637	0	3000K	70	GARDCO	ECF-S-32L-365-WW-G2-AR-4-UNV-PCB-FINISH/ SRA-CA-4-125-10-D1-DT5-FINISH	POLE		40	120V 1P 2W	0-10V	1

- QUANTITY COLUMN SHOWN IS FOR REFERENCE ONLY. CONTRACTOR TO CONFIRM COUNTS PRIOR TO ORDER.
- CONTRACTOR TO VERIFY DIMMING COMPATIBILITY OF ALL FIXTURE TYPES WITH OWNER SELECTED DIMMING CONTROLS.
- CONTRACTOR TO PROVIDE ALL REMOTE POWER SUPPLIES AND MOUNTING ACCESSORIES REQUIRED TO INSTALL A COMPLETE AND OPERATIONAL SYSTEM.
- VERIFY ALL MOUNTING HEIGHTS AND FIXTURE LENGTHS WITH ARCHITECTURAL ELEVATIONS PRIOR TO ORDERING.
- ALL LINEAR FIXTURES TO BE SEAMLESS WITH FULLY ILLUMINATED SECTIONS AND MATCH PATTERN PER ARCHITECTURAL PLANS.
- BATTERY PACKS IN EMERGENCY LIGHT FIXTURES TO BE TITLE 20 COMPLIANT.

1 LIGHTING SCHEDULE
SCALE: NONE

STATE OF CALIFORNIA
Outdoor Lighting
NRC-470-E CALIFORNIA ENERGY COMMISSION

CERTIFICATE OF COMPLIANCE NRC-470-E
Project Name: 923 ISLAND AVE PARKING LOT Report Page: (Page 4 of 7)
Project Address: 923 ISLAND AVE Date Prepared: 11/17/2022

A. GENERAL INFORMATION

01 Project Location (city): SAN DIEGO 04 Total Illuminated Hardscape Area (ft²): 5608
02 Climate Zone: 7
03 Outdoor Lighting Zone per Title 24 Part 1.10.118 or as designated by Authority Having Jurisdiction (AHJ):
 L2-0: Very Low - Undeveloped Parkland L2-2: Moderate - Rural Areas L2-4: High - Must be reviewed by CA Energy Commission for Approval
 L2-1: Low - Developed Parkland L2-3: Moderately High - Urban Areas

B. PROJECT SCOPE
This table includes outdoor lighting systems that are within the scope of the permit application and are demonstrating compliance using the prescriptive path outlined in §140.7 or §141.0(b)(2), for alterations.

My Project Consists of:

01 New Lighting System Must Comply with Allowances from §140.7
02 Altered Lighting System Is your alteration increasing the connected lighting load (Watts)? Yes No
03 % of Existing Luminaires Being Altered* Sum Total of Luminaires Being Added or Altered Calculation Method
 < 10% ≥ 10% and < 50% ≥ 50%

Please proceed to Table F, Outdoor Lighting Fixture Schedule to define the project's luminaires.
* FOOTNOTES: % of Existing Luminaires Being Altered = (Sum Total of Luminaires Being Added or Altered / Existing Luminaires within the Scope of the Permit Application) x 100.

STATE OF CALIFORNIA
Outdoor Lighting
NRC-470-E CALIFORNIA ENERGY COMMISSION

C. COMPLIANCE RESULTS
Results in this table are automatically calculated from data input and calculations in Tables F through I. Note: If any cell on this table says "COMPLIES with Exceptional Conditions" refer to Table D. Exceptional Conditions for guidance or see applicable Table referenced below.

Calculations of Total Allowed Lighting Power (Watts) §140.7 or §141.0(b)(2)					Compliance Results				
01	02	03	04	05	06	07	08	09	10
General Hardscape Allowance §140.7(d)(1) (See Table I)	Per Application Allowance §140.7(d)(2) (See Table J)	Sales Frontage Allowance §140.7(d)(2) (See Table K)	Ornamental Allowance §140.7(d)(2) (See Table L)	Per Specific Area Allowance §140.7(d)(2) (See Table M)	Existing Power Allowance §143.0(b)(2) (See Table N)	Total Allowed (Watts)	Total Actual (Watts)	07 must be ≥ 08	09
570.95	+	---	+	---	OR	570.95	≥	120	COMPLIES
Cutoff Compliance (See Table G for Details)					N/A				
Controls Compliance (See Table H for Details)									
COMPLIES									

D. EXCEPTIONAL CONDITIONS
This table is auto-filled with useable comments because of selections made or data entered in tables throughout the form.

E. ADDITIONAL REMARKS
This table includes remarks made by the permit applicant to the Authority Having Jurisdiction.

STATE OF CALIFORNIA
Outdoor Lighting
NRC-470-E CALIFORNIA ENERGY COMMISSION

F. OUTDOOR LIGHTING FIXTURE SCHEDULE
For new or altered lighting systems demonstrating compliance with §140.7, all new luminaires being installed and any existing luminaires remaining or being moved within the spaces covered by the permit application are included in the Table below. For altered lighting systems using the Existing Power method per §141.0(b)(2), only new luminaires being installed and replacement luminaires being installed as part of the project scope are included (i.e., existing luminaires remaining or existing luminaires being moved are not included).

Designated Wattage:

01	02	03	04	05	06	07	08	09	10
Name or Item Tag	Complete Luminaire Description	Watts per luminaire ¹⁾	How is Wattage determined	Total number luminaires ²⁾	Luminaire Status ³⁾	Excluded per §140.7(i)	Design Watts	Cutoff Req. > 6,200 initial lumens output §130.2(b) 4	Field Inspector
SL1	SL1-40W LED <input type="checkbox"/> Linear	40	Mfr. Spec	2	New	<input type="checkbox"/>	80	NA: < 6200 lumens	<input type="checkbox"/> Pass <input type="checkbox"/> Fail
SL2	SL2-40W LED <input type="checkbox"/> Linear	40	Mfr. Spec	1	New	<input type="checkbox"/>	40	NA: < 6200 lumens	<input type="checkbox"/> Pass <input type="checkbox"/> Fail
							Total Design Watts:	120	

* NOTES: Selections with a "*" require a note in the space below explaining how compliance is achieved.
1) Ex: Luminaire of lighting fixture. EXCEPTION 2 to §130.2(b).
2) FOOTNOTES: Authority Having Jurisdiction may ask for Luminaire cut sheets to confirm wattage used for compliance per §130.05.
3) For linear luminaires, wattage should be indicated as W/ft instead of Watts/luminaire. Total linear feet should be indicated in column 05 instead of number of luminaires.
4) Select "New" for new luminaires in a new outdoor lighting project, or for added luminaires in an alteration. Select "Altered" for replacement luminaires in an alteration. Select "Existing to Remain" for existing luminaires within the project scope that are not being altered and are remaining. Select "Existing Reinstalled" for existing luminaires which are being removed and reinstalled as part of the project scope.
5) Compliance with mandatory cutoff requirements is required for luminaires with initial lumens output > 6,200 unless exempted by §130.2(b).

G. CUTOFF REQUIREMENTS (BUG)
This section does not apply to this project.

STATE OF CALIFORNIA
Outdoor Lighting
NRC-470-E CALIFORNIA ENERGY COMMISSION

H. OUTDOOR LIGHTING CONTROLS
This table demonstrates compliance with controls requirements for all new or altered luminaires installed as part of the permit application. For alteration projects, luminaires which are existing to remain (ie untouched) and luminaires which are removed and reinstalled (wiring only) do not need to be included in this table even if they are within the spaces covered by the permit application. When an option having a "*" is selected, the notes section of this table must be completed. The lighting controls section of the Compliance Summary Table on the first page will show "DOES NOT COMPLY" if the notes are left blank.

Mandatory Controls

01	02	03	04	05
Area Description	Shut-Off §130.2(c)(1)	Auto-Schedule §130.2(c)(2)	Motion Sensor §130.2(c)(3)	Field Inspector
PARKING LOT	Photocontrol	Yes	Yes	<input type="checkbox"/> Pass <input type="checkbox"/> Fail

* NOTES: Controls with a "*" require a note in the space below explaining how compliance is achieved.
05: Not permitted by health & safety to be turned off. EXCEPTION 1 to §130.2(c).

Registration Number: CA Building Energy Efficiency Standards - 2019 Nonresidential Compliance
Registration Date/Time: 2019.1.003 Schema Version: rev 20200601
Registration Provider: Energysoft
Report Generated: 2022-11-11 07:34:21

Registration Number: CA Building Energy Efficiency Standards - 2019 Nonresidential Compliance
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I. LIGHTING POWER ALLOWANCE (per §140.7)
This table includes areas using allowance calculations per §140.7. General Hardscape Allowance is per Table 140.7-A while "Use it or lose it" Allowances are per Table 140.7-B. Indicate which allowances are being used to expand sections for user input. Luminaires that qualify for one of the "Use it or lose it" allowances shall not qualify for another "Use it or lose it" allowance.

01 "Use it or lose it" Allowance (select all that apply) (select all that apply)
 General Hardscape Allowance Table J (below) Per Application Table J Sales Frontage Table K Ornamental Table L Per Specific Area Table M

Calculated General Hardscape Lighting Power Allowance per Table 140.7-A (L2.0, 1 & 4)
Calculated General Hardscape Lighting Power Allowance per Table 140.7-A (L2.2 & 3)

02	03	04	05	06	07	08	09	10
Area Description	Surface Type	Illuminated Area (ft²)	Area Wattage Allowance (AWA) Allowed Density (W/ft²)	Area Wattage Allowance (AWA) Allowed Density (W/ft²)	Perimeter Length (ft)	Linear Allowance (Watts)	Total General AWA + LWA (Watts)	Total General AWA + LWA (Watts)
PARKING LOT	Asphalt	5608	0.025	140.2	323	0.2	90.8	221
Initial Wattage Allowance for Entire Site (Watts):							350	
Total General Hardscape Allowance (Watts):							571	

J. LIGHTING ALLOWANCE: PER APPLICATION
This section does not apply to this project.

K. LIGHTING ALLOWANCE: SALES FRONTAGE
This section does not apply to this project.

L. LIGHTING ALLOWANCE: ORNAMENTAL
This section does not apply to this project.

M. LIGHTING ALLOWANCE: PER SPECIFIC AREA
This section does not apply to this project.

STATE OF CALIFORNIA
Outdoor Lighting
NRC-470-E CALIFORNIA ENERGY COMMISSION

N. EXISTING CONDITIONS POWER ALLOWANCE (alterations only)
This section does not apply to this project.

O. DECLARATION OF REQUIRED CERTIFICATES OF INSTALLATION
Selections have been made based on information provided in this document. If any selection have been changed by permit applicant, an explanation should be included in Table E. Additional Remarks. These documents must be provided to the building inspector during construction and can be found online at https://www.energy.ca.gov/title24/2019standards/2019_compliance_documents/Nonresidential_Documents/NRC/

Form/Title	Field Inspector
NRCI-LTO-01-E - Must be submitted for all buildings	<input type="checkbox"/> Pass <input type="checkbox"/> Fail
NRCI-LTO-02-E - Must be submitted for a lighting control system, or for an Energy Management Control System (EMCS), to be recognized for compliance.	<input type="checkbox"/> Pass <input type="checkbox"/> Fail

P. DECLARATION OF REQUIRED CERTIFICATES OF ACCEPTANCE
Selections have been made based on information provided in this document. If any selection have been changed by permit applicant, an explanation should be included in Table E. Additional Remarks. These documents must be provided to the building inspector during construction and must be completed through an Acceptance Test Technician Certification Provider (ATTCP). For more information visit: <http://www.energy.ca.gov/title24/energyorders.html>

Form/Title	Systems/Spaces To Be Field Verified	Field Inspector
NRCI-LTO-02-A - Must be submitted for all outdoor lighting controls except for alterations where controls are added to <= 30 luminaires.	<input type="checkbox"/>	<input type="checkbox"/> Pass <input type="checkbox"/> Fail

STATE OF CALIFORNIA
Outdoor Lighting
NRC-470-E CALIFORNIA ENERGY COMMISSION

DOCUMENTATION AUTHOR'S DECLARATION STATEMENT
I certify that this Certificate of Compliance documentation is accurate and complete.

Documentation Author Name: RYAN BERTALAN
Signature: [Signature]
Highway Date: 2022-11-11
Company: RB Consulting Engineers, Inc.
Address: 1044 PIONEER WAY, STE. E EL CAJON CA 92020
City/State/Zip: EL CAJON CA 92020
Phone: 619-334-6020

RESPONSIBLE PERSON'S DECLARATION STATEMENT
I certify the following under penalty of perjury, under the laws of the State of California:
1. The information provided on this Certificate of Compliance is true and correct.
2. I am eligible under Division 3 of the Business and Professions Code to accept responsibility for the building design or system design identified on this Certificate of Compliance (responsible designer).
3. The energy features and performance specifications, materials, components, and manufactured devices for the building design or system design identified on this Certificate of Compliance conform to the requirements of Title 24, Part 1, and Part 6 of the California Code of Regulations.
4. The building design features or system design features identified on this Certificate of Compliance are consistent with the information provided on other applicable compliance documents, worksheets, calculations, plans and specifications submitted to the enforcement agency for approval with this building permit application.
5. I will ensure that a completed signed copy of this Certificate of Compliance shall be made available with the building permit(s) issued for the building, and made available to the enforcement agency for all applicable inspections. I understand that a completed signed copy of this Certificate of Compliance is required to be included with the documentation the builder provides to the building owner at occupancy.

Responsible Designer Name: RYAN BERTALAN
Signature: [Signature]
Highway Date: 2022-11-11
Company: RB CONSULTING ENGINEERS
Address: 1044 PIONEER WAY SUITE E EL CAJON CA 92020
City/State/Zip: EL CAJON CA 92020
Phone: 619-334-6020

Registration Number: CA Building Energy Efficiency Standards - 2019 Nonresidential Compliance
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2 TITLE 24 FORMS
SCALE: NONE

SITE IMPROVEMENT PLANS FOR:
923 ISLAND AVENUE

LIGHTING SCHEDULE + TITLE 24 FORMS
SHEETS 6 OF 11

DATE: 11/18/22
JOB NO.: 122-019.1
DRAWN: LE/JF
CHECKED: RB

SHEET
E002

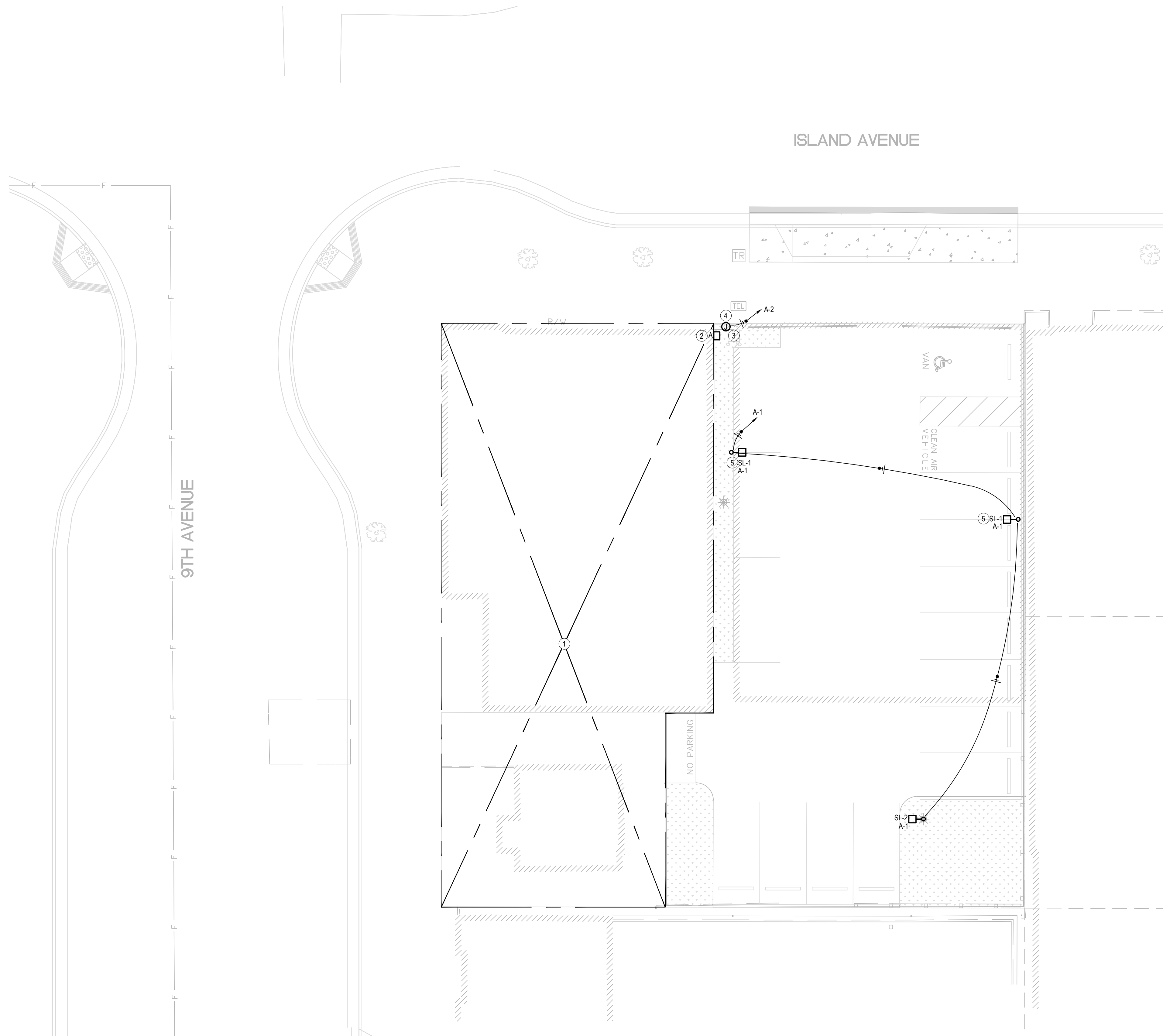
Professional Engineer Seal: RYAN BERTALAN, E19124, Exp. 06/30/24, STATE OF CALIFORNIA, RBCE JOB #2022-0189

GENERAL NOTES

1. CONTRACTOR TO PROVIDE UTILITY LOCATING SERVICES TO LOCATE ALL UNDERGROUND UTILITIES PRIOR TO COMMENCEMENT OF NEW WORK.
2. UNDERGROUND RACEWAY TO BE PVC SCHEDULE 40.
3. SEE SINGLE LINE DIAGRAM ON SHEET E801 FOR CONDUIT AND CONDUCTOR REQUIREMENTS.
4. SEE SITE UTILITY DRAWINGS FOR SDG&E AND COMMUNICATION INTERCONNECTIONS AND ADDITIONAL REQUIREMENTS.
5. SEE SITE LANDSCAPING DRAWINGS FOR ADDITIONAL REQUIREMENTS.
6. CONDUIT TO BE INSTALLED MINIMUM +24" BELOW SURFACE PER CEC TABLE 300.5.
7. CONTRACTOR TO COORDINATE UNDERGROUND ELECTRICAL INSTALLATIONS WITH OTHER KNOWN UTILITIES FOR PROPER SEPARATION.
8. PRIOR TO ANY EXCAVATION, CONTRACTOR SHALL HAVE AN UNDERGROUND CABLE/CONDUIT/WATER-LINE LOCATING COMPANY SCAN THE PROPOSED UNDERGROUND CONDUIT ROUTE FOR POSSIBLE EXISTING SYSTEMS. IF ANY EXISTING SYSTEM IS IDENTIFIED, CONTRACTOR SHALL HAND DIG TO EXPOSE EXISTING UTILITY PRIOR TO EXCAVATION IN THAT AREA.
9. CONTRACTOR TO FIELD VERIFY CONDUIT AND CONDUCTORS ROUTING WITH ARCHITECT PRIOR TO ROUGH IN.

KEYNOTES

- ① EXISTING AREA TO REMAIN. NOT IN SCOPE OF WORK.
- ② APPROXIMATE LOCATION OF NEW SDG&E METER. SEE SHEET E701 FOR DETAIL.
- ③ APPROXIMATE LOCATION OF SOLAR PARKING KIOSKO.
- ④ APPROXIMATE LOCATION OF INTERNALLY ILLUMINATED CABINET SIGN.
- ⑤ POLE LIGHT WITH HOUSE SIDE SHIELD.



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SITE IMPROVEMENT PLANS FOR:
923 ISLAND AVENUE

SITE PLAN
SHEETS 7 OF 11



DATE	11/18/22
JOB NO.	122-019.1
DRAWN	LE/JF
CHECKED	RB

SHEET
E050

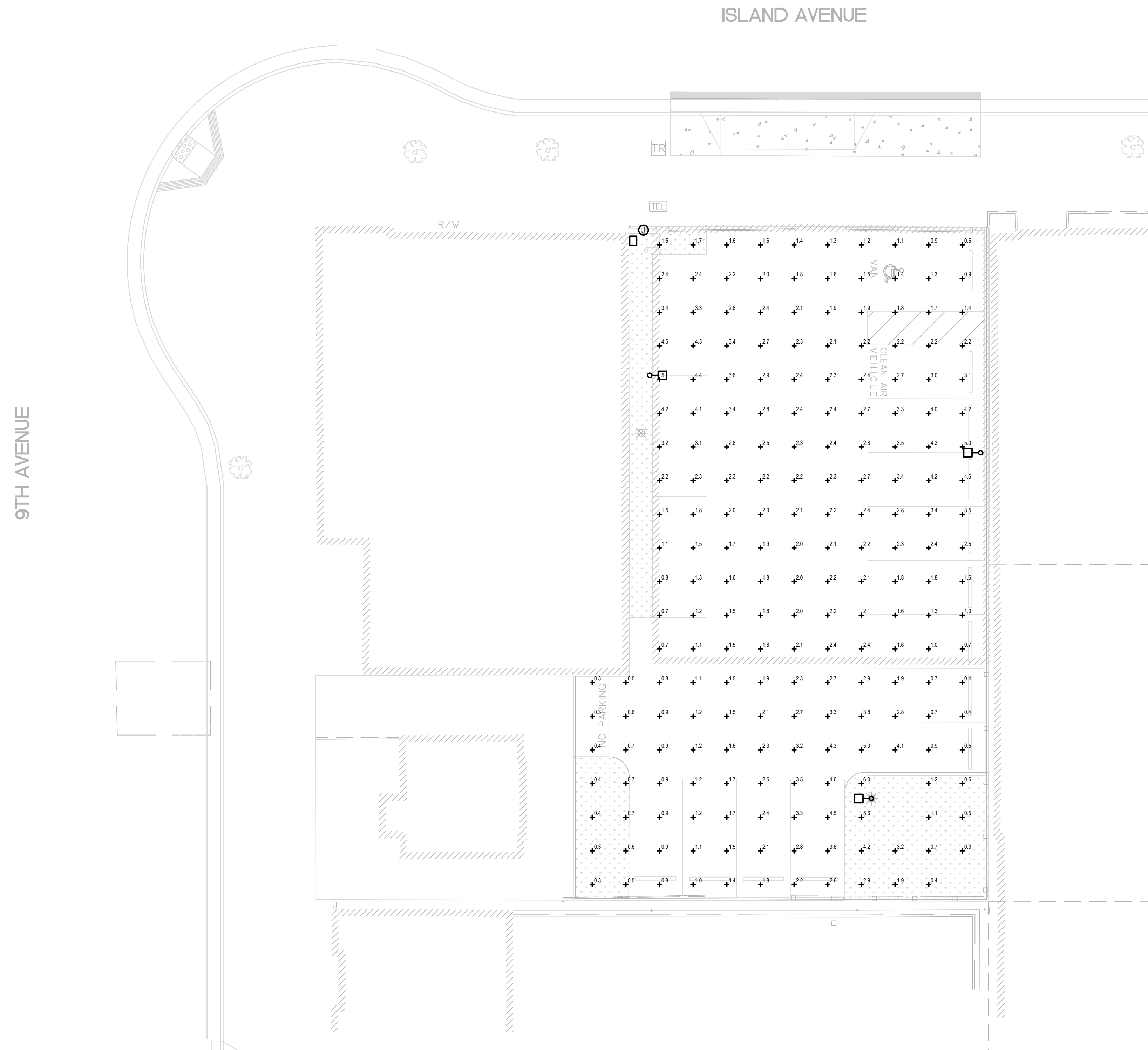


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1 SITE PLAN
SCALE: 1" = 10'

**GENERAL
PHOTOMETRIC
SCHEDULE**

CALCULATION ZONE #1 - SITE LIGHTING	
AVERAGE	2.10 fc
MAXIMUM	6.00 fc
MINIMUM	0.30 fc
MINIMUM TO MAXIMUM	20.00 fc



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**SITE IMPROVEMENT PLANS FOR:
923 ISLAND AVENUE**

GENERAL CALCULATIONS
SHEETS 8 OF 11



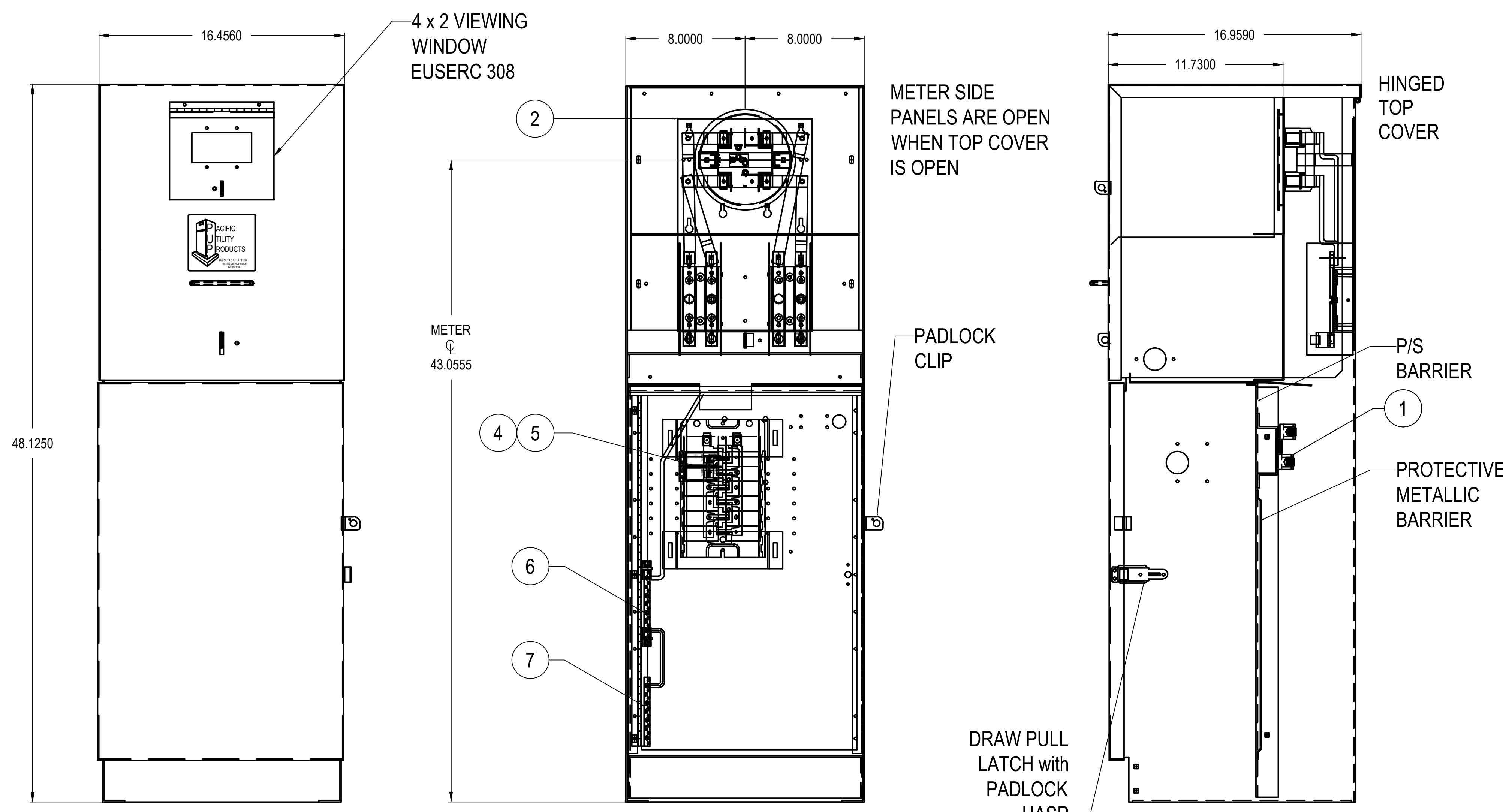
DATE 11/18/22
JOB NO. 122-019.1
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SHEET
E051



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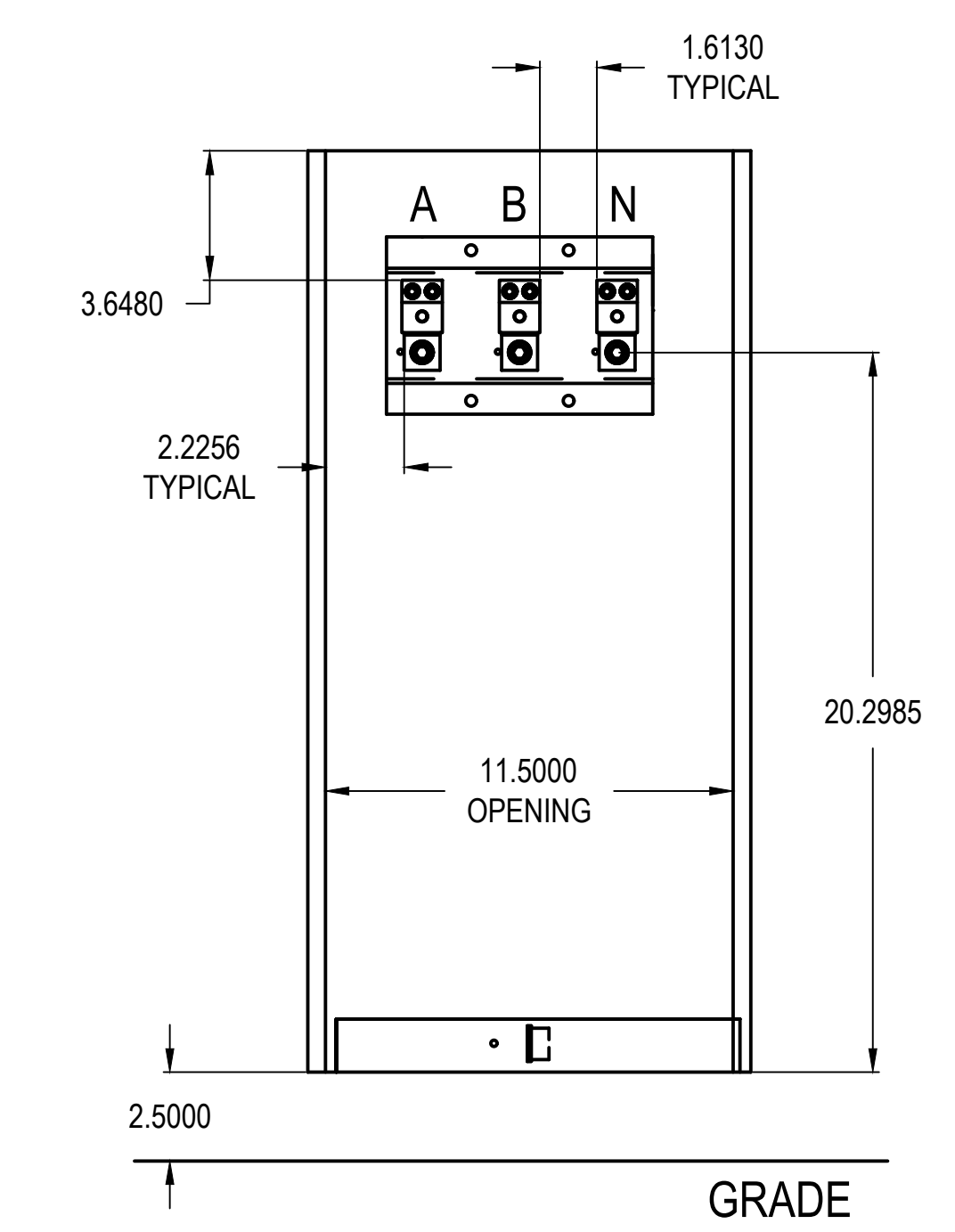
1 GENERAL CALCULATIONS
SCALE: 1" = 10'



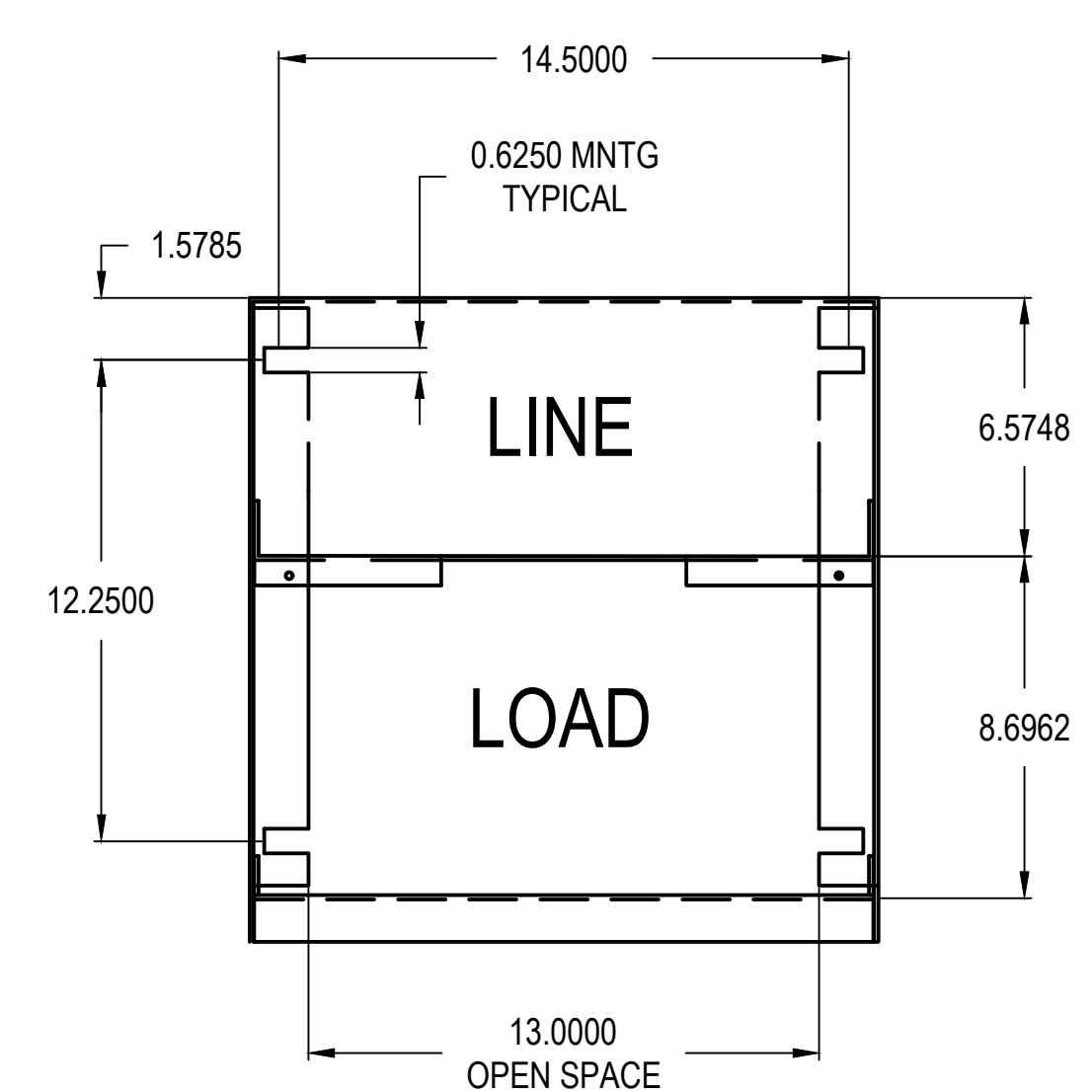
FRONT VIEW

FRONT VIEW
SHOWN WITHOUT TOP, DOOR & DEADFRONT

SIDE VIEW



PULL SECTION
DETAIL



PLAN VIEW

GENERAL NOTES

1. SES ENCLOSURE IS INTENDED FOR OUTDOOR APPLICATION. ENCLOSURE AND METER PANEL CONFIGURATION WILL BE SIMILAR TO FIGURE 1 OF EUSERC DWG. No.354.
2. DOORS SHALL HAVE A THREE-POINT LATCHING SYSTEM. DOOR HANDLES ARE ZINC-PLATED, PADLOCKABLE.
3. THE METER PANEL SHALL COMPLY WITH THE 15-HINGED METER PANEL SHOWN AT EUSERC DWG.332. METER PANEL IS HINGED ON THE LEFT SIDE AS DEPICTED ON EUSERC DWG. No.354.
4. PULL SECTION COVERS ARE REMOVABLE, SEALABLE, PROVIDED WITH TWO LIFTING HANDLES, AND LIMITED TO A MAXIMUM OF 9 SQUARE FEET AREA.
5. METER SOCKET BASE WILL BE 15-JAW 20A TRANSFORMER-RATED 277/480-VOLTS, BACK-CONNECTION. THE METER SOCKET WILL BE ATTACHED WITH MACHINE SCREWS.
6. SES ENCLOSURE SHALL COMPLY WITH EUSERC DWG. Nos. 314 AND 329B FOR INSTRUMENT RATED SYSTEM.
7. METER PANEL & 300A SERVICE DISCONNECT / MAIN CIRCUIT BREAKER ARE SHOWN. ENCLOSURE DIMENSIONS ARE CONSIDERED MINIMUM AND MAY VARY DEPENDING UPON THE REQUIRED DEVICE(S) AT THE REAR OR CUSTOMER SECTION.

KEYNOTES

- ① LUG LANDING 250KCML - 6 PER PHASE
- ② METER SOCKET 200A 4-JAW with TB
- ③ MAIN CB 100A 2P 120/240VAC 42KAIC BRHH
- ④ MAIN CB 100A 2P 120/240VAC 42KAIC BRHH
- ⑤ INSULATED NEUTRAL
- ⑥ GROUND BUS

SPECIFICATIONS

1. COMPLIES WITH EUSERC 308.
2. 12 GA. NEMA 3R CONSTRUCTION.
3. FABRICATED FROM CORROSION- RESISTANT ZINC COATED STEEL.
4. FACTORY WIRING 600 VOLT RATED COPPER.
5. COLOR: SEAFOAM / LIGHT GREEN UNLESS OTHERWISE SPECIFIED.
6. POLYESTER POWDER-COATED FINISH EXCEEDS ASTM B-117 SPECIFICATIONS.
7. ALL EXTERIOR HINGES CONTINUOUS PIANO TYPE STAINLESS STEEL.
8. ALL COMPONENTS ARE U.L. LISTED.



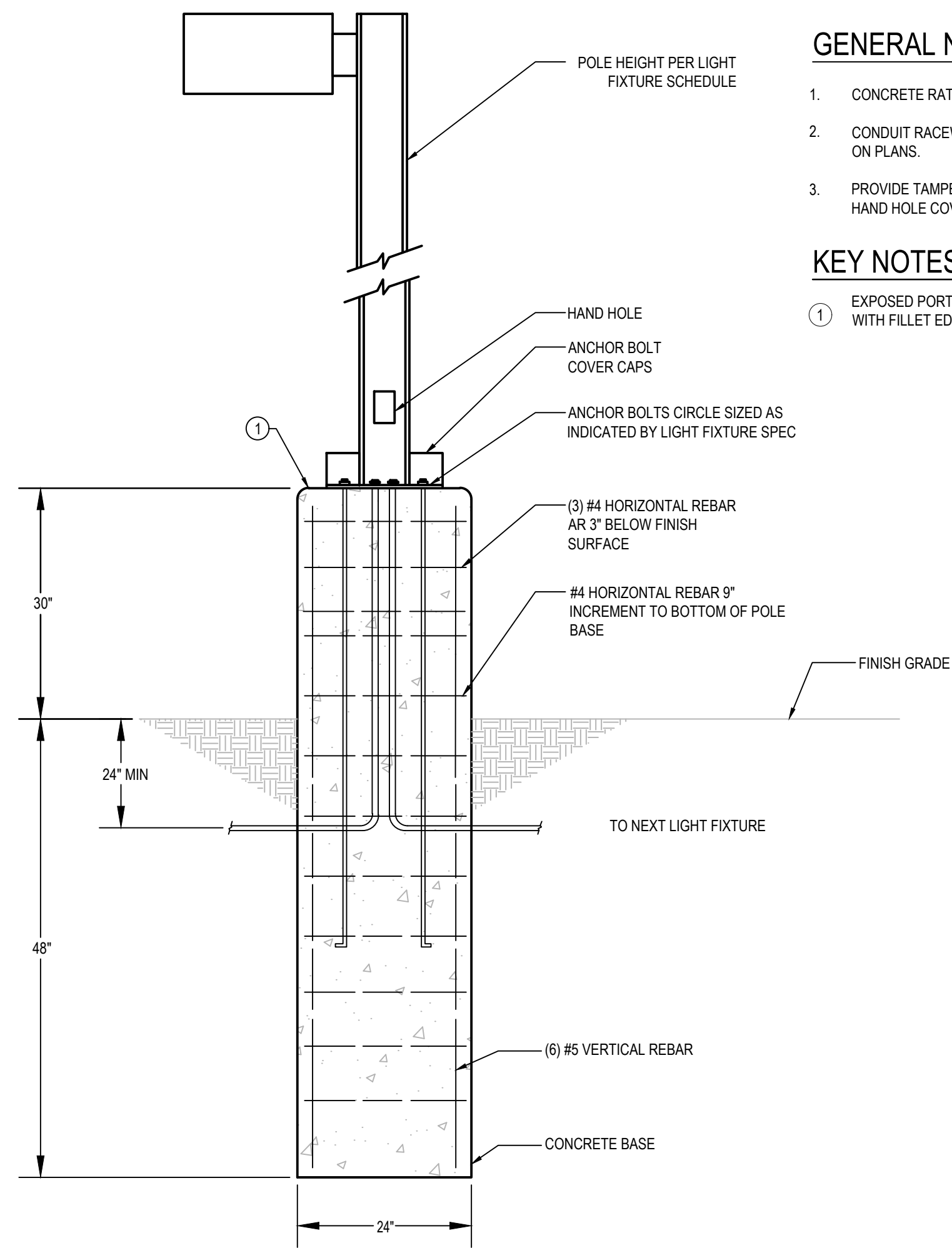
SITE IMPROVEMENT PLANS FOR:
923 ISLAND AVENUE

DETAILS
SHEETS 9 OF 11



DATE 11/18/22
JOB NO. 122-019.1
DRAWN LE/JF
CHECKED RB

SHEET
E701

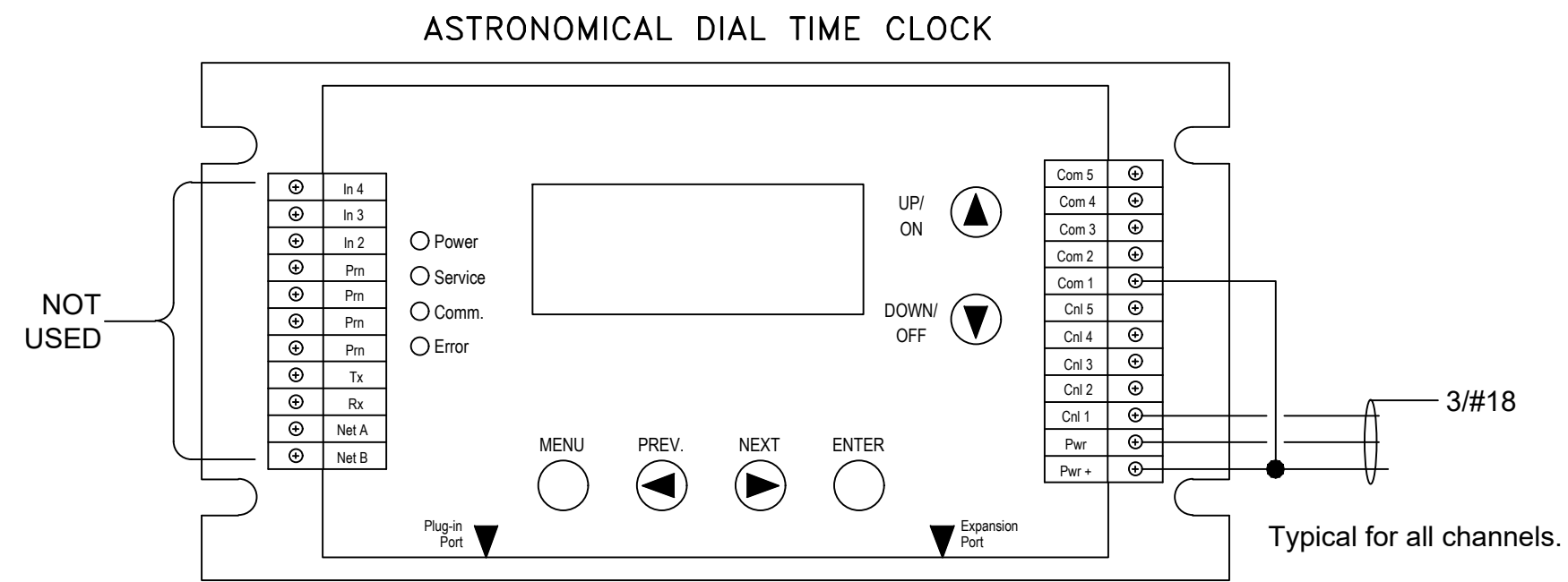


GENERAL NOTES:

1. CONCRETE RATED FOR 3,000 PSI.
2. CONDUIT RACEWAY DIAMETER AS INDICATED ON PLANS.
3. PROVIDE TAMPER PROOF SCREW ON POLE HAND HOLE COVER.

KEY NOTES:

- ① EXPOSED PORTION TO HAVE RUBBED FINISH WITH FILLET EDGES.



① PEDESTRIAN POLE BASE DETAIL
SCALE: NONE

② TYPICAL ASTRONOMICAL TIME CLOCK DETAIL
SCALE: NONE



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SITE IMPROVEMENT PLANS FOR:
923 ISLAND AVENUE

DETAILS
SHEETS 10 OF 11



DATE 11/18/22

JOB NO. 122-019.1

DRAWN LE/JF

CHECKED RB

SHEET

E702

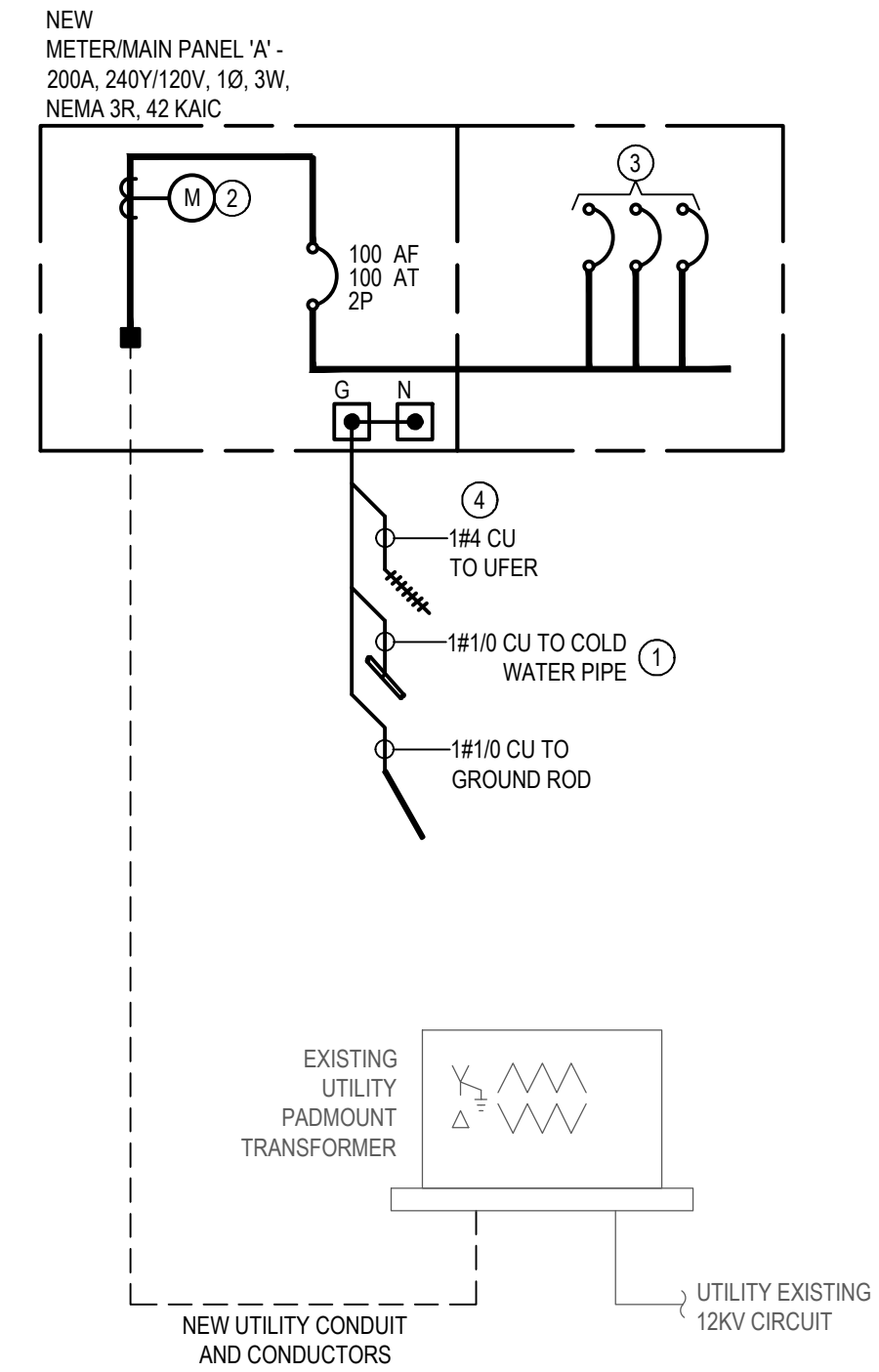


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① DETAILS
SCALE: NONE

PANEL: A											
ROOM		EXTERIOR		VOLTS		208Y120V 3P 4W		AIC		42,000	
MOUNTING		SURFACE		BUS AMPS		100		MAIN BKR		MLO	
FED FROM		UTILITY		NEUTRAL		100%		LUGS		STANDARD	
NOTE: NEW, NEMA 3R											
CKT #	CKT BKR	LOAD KVA	CIRCUIT DESCRIPTION	CKT #	CKT BKR	LOAD KVA	CIRCUIT DESCRIPTION				
1	20/1	0.12	POLE LTG	a 2	20/1	0.18	ILLUMINATED CABINET SIGN REC				
3	20/1	0	SPACE	b 4	20/1	0	SPACE				
5	20/1	0	SPACE	c 6	20/1	0	SPACE				
7	20/1	0	SPACE	a 8	20/1	0	SPACE				
9	20/1	0	SPACE	b 10	20/1	0	SPACE				
11	20/1	0	SPACE	c 12	20/1	0	SPACE				
13	20/1	0	SPACE	a 14	20/1	0	SPACE				
15	20/1	0	SPACE	b 16	20/1	0	SPACE				
17	20/1	0	SPACE	c 18	20/1	0	SPACE				
19	20/1	0	SPACE	a 20	20/1	0	SPACE				
21	20/1	0	SPACE	b 22	20/1	0	SPACE				
23	20/1	0	SPACE	c 24	20/1	0	SPACE				
25	20/1	0	SPACE	a 26	20/1	0	SPACE				
27	20/1	0	SPACE	b 28	20/1	0	SPACE				
29	20/1	0	SPACE	c 30	20/1	0	SPACE				
31	20/1	0	SPACE	a 32	20/1	0	SPACE				
33	20/1	0	SPACE	b 34	20/1	0	SPACE				
35	20/1	0	SPACE	c 36	20/1	0	SPACE				
37	20/1	0	SPACE	a 38	20/1	0	SPACE				
39	20/1	0	SPACE	b 40	20/1	0	SPACE				
41	20/1	0	SPACE	c 42	20/1	0	SPACE				

	CONN KVA	CALC KVA		CALC KVA
LIGHTING	0.12	0.15	(125%)	
RECEPTACLES	0.18	0.18	(50%*10)	
TOTAL LOAD				0.33
BALANCED 3-PHASE LOAD				0.916 A
PHASE A				300%
PHASE B				0%
PHASE C				0%



GENERAL NOTES

- ALL ELECTRICAL DEVICE SHOWN ARE NEW U.O.N.
- ALL ELECTRICAL FEEDER CONDUIT AND CONDUCTORS ARE NEW U.O.N.
- NEW CONDUIT SHALL BE EMT WITH SET SCREW FITTINGS FOR INTERIOR APPLICATIONS AND RAIN TIGHT COMPRESSION FITTINGS FOR EXTERIOR APPLICATIONS.
- NEW CONDUCTORS SHALL BE THWN-2/THHN-2 INSULATION, COPPER MATERIAL.
- NEW UNDERGROUND CONDUIT RACEWAY TO BE PVC SCHEDULE 40.
- NEW PANEL BOARDS TO BE FULLY RATED, SERIES RATED IS PROHIBITED.
- PROVIDE SERVICE ENTRANCE ELECTRICAL EQUIPMENT PER ELECTRICAL FRANCHISE UTILITY STANDARDS.
- SEE ELECTRICAL FRANCHISE UTILITY UNDERGROUND STANDARD AND SITE SPECIFIC INSTALLATION DRAWINGS FOR ADDITIONAL REQUIREMENTS.
- UNIT LOAD CENTERS TO HAVE BRANCH AND ASSOCIATED UPSTREAM FEEDER CIRCUIT BREAKER WITH UL LISTED SERIES COMBINATION. PROVIDE ALL APPLICABLE LABELING ON UNIT LOAD CENTERS AS REQUIRED FOR A UL LISTED SERIES COMBINATION ELECTRICAL DISTRIBUTION SYSTEM PER CEC SECTION 110.22
- UNIT LOAD CENTERS PROVIDED WITH ALUMINUM BUSSING.

KEYNOTES

- THE GROUNDING CONNECTION TO THE INTERIOR METAL WATER PIPE SHALL BE MADE WITHIN THE FIRST FIVE FEET OF THE WATER PIPE ENTRANCE TO THE BUILDING PER CEC 250.68(C)(1).
- NEW SD&E METER. SEE SHEET E701 FOR DETAIL.
- SEE PANEL SCHEDULE ON SHEET E801 FOR ADDITIONAL BRANCH CIRCUIT BREAKERS.
- RECONNECT NEW BONDING JUMPER TO EXISTING CONCRETE-ENCASED ELECTRODE.

VOLTAGE DROP SCHEDULE							
DEVICE	FEEDER			BRANCH CIRCUIT			TOTAL VOLTAGE DROP
	VOLTAGE DROP	WIRE SIZE	LENGTH	MAX VOLTAGE DROP	WIRE SIZE	LENGTH	
A	0%	#2	-	0.27% (CKT 1)	#12	157'	0.27%

FEEDER LENGTHS INDICATED ON VOLTAGE DROP SCHEDULE ARE FOR CALCULATION PURPOSES ONLY. CONTRACTOR IS RESPONSIBLE FOR ACTUAL FIELD ROUTING CONDITIONS AND MEASUREMENTS AND SHALL BE INCLUDED IN CONTRACTORS BID. NOTIFY ENGINEER OF RECORD IF ACTUAL MEASUREMENTS ARE GREATER THAN CALCULATED MEASUREMENTS IN EXCESS OF 5% PRIOR TO INSTALLATION.

FAULT CURRENT SCHEDULE														
DEVICE	FAULT	AIC RATING	L-N VOLTS	UTILITY	FED FROM			FEEDER				TOTAL MOTOR	DIRECTLY CONNECTED MOTOR LOAD	
					FAULT	DEVICE	FAULT	SIZE	X / 1000'	R / 1000'	LENGTH		FAULT	KVA
A	42,000	42,000	120V	42,000			#2	0.045	0.19					



**SITE IMPROVEMENT PLANS FOR:
923 ISLAND AVENUE**

SINGLE LINE DIAGRAM
SHEETS 11 OF 11

	DATE	11/18/22	SHEET
	JOB NO.	122-019.1	
	DRAWN	LE/JF	
	CHECKED	RB	

E801