

Report to the Hearing Officer

DATE ISSUED: August 2, 2023 REPORT NO. HO-23-042

HEARING DATE: August 9, 2023

SUBJECT: Calle Del Cielo Residence; Process Three Decision

PROJECT NUMBER: <u>682249</u>

OWNER/APPLICANT: Ghassan Kassab / Will and Fosch Associated

SUMMARY

Should the Hearing Officer approve a Coastal Development Permit and Site Development Permit to demolish an existing 4,545-square-foot single-family residence and construct a new 11,754-square-foot single-family residence located at 8305 Calle Del Cielo in the La Jolla Community Planning Area?

Proposed Actions:

1. APPROVE Coastal Development Permit No. 2524357 and Site Development Permit No. 2524356.

<u>Community Planning Group Recommendation:</u> On July 6, 2023, the La Jolla Community Planning Association voted 17-0-1 to support the project.

<u>La Jolla Shores Advisory Board Recommendation:</u> On May 17, 2023, the La Jolla Shores Planned District Advisory Board vote of 5-1-0 recommended approval of the project on the condition that the northern elevation be set back an additional three feet.

Environmental Impact: The project was determined to be categorically exempt from California Environmental Quality Act pursuant to CEQA Guidelines Section 15302 (Replacement or Reconstruction). This project is not pending an appeal of the environmental determination. The environmental exemption determination for this project was made on March 16, 2023, and the opportunity to appeal that determination ended on March 30, 2023.

BACKGROUND

The 0.69-acre site is located at 8305 Calle Del Cielo in the La Jolla Shores Planned District SF Zone of the La Jolla Shores Planned District, the Coastal Overlay Zone (Non-Appealable) and the Coastal Height Limitation Overlay Zone in the La Jolla Community Planning Area and Council District 1.

Pursuant to San Diego Municipal Code (SDMC) Section <u>126.0702(a)</u>, the project requires a Coastal Development Permit, Process Two, with staff as the decision maker. Pursuant to SDMC Section <u>1510.0201</u>, the project requires a Site Development Permit, Process Three, with the Hearing Officer as the decision maker. These actions are consolidated for decision by the Hearing Officer pursuant to SDMC Section <u>112.0103</u>.

DISCUSSION

The project site is currently developed with an existing 4,545-square-foot single-family residence to be demolished. The project will construct a new, 11,754-square-foot single-family residence with 733-square-foot attached garage, 1,391-square-foot detached garage, and sport court. The new residence will be built on the eastern portion of the site, which is located approximately half a mile from the Pacific Ocean. The proposed project is contained within the existing lot area and will not encroach upon any existing or proposed physical access to the coast.

The site does not include any coastal views identified in Figure 9 (Identified Public Vantage Points) in the La Jolla Community Plan (Community Plan). Based on a submitted neighborhood survey of the existing development patterns, and bulk and scale comparisons within the neighborhood, the proposed project was determined to be in general conformance with setbacks and bulk and scale, as specified in the La Jolla Shores Planned District Ordinance (LJSPDO), SDMC Section 1510.0304, including a building height of 27 feet, which is below the 30-foot height limit.

The project site is currently developed with a single-family residence and does not contain sensitive biological resources. No impacts to biological resources are expected on-site and the site is not in or adjacent to the City's Multiple Species Conservation Plan and Multi-Habitat Planning Area.

The proposed project conforms to the "Very Low Density" 0-5 dwelling units per net residential acre (Figure 16) of the La Jolla Community Plan by proposing a single-family residence on a 29,248-square-foot site in the LJSPD-SF zone.

CONCLUSION

City staff has determined the project is consistent with the Community Plan and regulations of the Land Development Code as described above. Staff has provided draft findings and conditions to support approval of the project (Attachment 4 and 5) and recommends the Hearing Officer APPROVE Coastal Development Permit No. 2524357 and Site Development Permit No. 2524356.

ALTERNATIVES

- 1. Approve Coastal Development Permit No. 2524357 and Site Development Permit No. 2524356, with modifications.
- 2. Deny Coastal Development Permit No. 2524357 and Site Development Permit No. 2524356, if the findings required to approve the project cannot be affirmed.

Respectfully submitted,

Hector Rios

Hector Rios

Development Project Manager Development Services Department

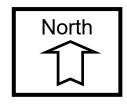
Attachments:

- 1. Project Location Map
- 2. Community Plan Land Use Map
- 3. Aerial Photograph
- 4. Draft Resolution with Findings
- 5. Draft Permit with Conditions
- 6. Environmental Exemption
- 7. Community Planning Group Recommendation
- 8. La Jolla Shores Planned District Advisory Board Recommendation
- 9. Ownership Disclosure Statement
- 10. Project Plans



Project Location Map

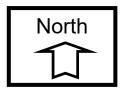
<u>Calle Del Cielo Residence</u> Project No. 682249 - 8305 Calle Del Cielo





Land Use Map

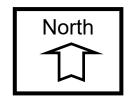
<u>Calle Del Cielo Residence</u> Project No. 682249 - 8305 Calle Del Cielo





Aerial Photograph

<u>Calle Del Cielo Residence</u> Project No. 682249 - 8305 Calle Del Cielo



HEARING OFFICER RESOLUTION NO. COASTAL DEVELOPMENT PERMIT NO. 2524357
SITE DEVELOPMENT PERMIT NO. 2524356
CALLE DEL CIELO RESIDENCE - PROJECT NO. 682249

WHEREAS, Ghassan Kassab, and Ghada Kassab, Husband and Wife as Joint Tenants,

Owner/Permittee, filed an application with the City of San Diego for a permit to demolish an existing

4,545-square-foot single family residence and construct a new 11,754-square-foot single-family

residence with 733-square-foot attached garage, 1,391-square-foot detached garage, and sport

court (as described in and by reference to the approved Exhibits "A" and corresponding conditions

of approval for the associated Coastal Development Permit No. 2524357 and Site Development

Permit No. 2524356, on portions of a 0.69-acre site;

WHEREAS, the project site is located at 8305 Calle Del Cielo in the La Jolla Shores Planned District Ordinance Single Family Zone (LJSPD)-SF Zone, the Coastal Overlay Zone (Non-Appealable), and the Coastal Height Limitation Overlay Zone in the La Jolla Community Planning Area;

WHEREAS, the project site is legally described as Lot 1 of La Jolla Shores Terrace, in the City of San Diego, County of San Diego, State of California, according to Map thereof No. 2996, filed in the Office of the County Recorder of San Diego County, May 29, 1953; APN: 346 – 190 - 0100;

WHEREAS, on March 16, 2023, the City of San Diego, as Lead Agency, through the Development Services Department, made and issued an Environmental Determination that the project is exempt from the California Environmental Quality Act (CEQA) (Public Resources Code Section 21000 et seq.) under CEQA Guidelines Section 15302 (Replacement or Reconstruction) and there was no appeal of the Environmental Determination filed within the time period provided by San Diego Municipal Code Section 112.0520;

WHEREAS, on August 9, 2023, the Hearing Officer of the City of San Diego considered COASTAL DEVELOPMENT PERMIT No. 2524357 and SITE DEVELOPMENT PERMIT No. 2524356 pursuant to the Land Development Code of the City of San Diego; NOW THEREFORE,

BE IT RESOLVED by the Hearing Officer of the City of San Diego, that it adopts the following findings with respect to COASTAL DEVELOPMENT PERMIT No. 2524357 and SITE DEVELOPMENT PERMIT No. 2524356:

A. COASTAL DEVELOPMENT PERMIT [SDMC Section 126.0708]

- 1. <u>Findings for all Coastal Development Permits:</u>
 - a. The proposed coastal development will not encroach upon any existing physical accessway that is legally used by the public or any proposed public accessway identified in a Local Coastal Program land use plan; and the proposed coastal development will enhance and protect public views to and along the ocean and other scenic coastal areas as specified in the Local Coastal Program land use plan.

The 0.69-acre project site is currently developed with an existing 4,545-square-foot single-family residence to be demolished. The project will construct a new, 11,754-square-foot single-family residence with a 733-square-foot attached garage, 1,391-square-foot detached garage, pool, spa, and sport court. The new residence will be built on the eastern portion of the site, which is located approximately half a mile from the Pacific Ocean. There is no identified public view on or adjacent to the project site. The proposed project is contained within the existing lot area and will not encroach upon any existing or proposed physical access to the coast identified by the La Jolla Community Plan and Local Coastal Program Land Use Plan (Community Plan).

The site does not include any coastal views identified in Figure 9 (Identified Public Vantage Points) in the Community Plan. Based on a submitted neighborhood survey of the existing development patterns, and bulk and scale comparisons within the neighborhood, the proposed project was determined to be in general conformance with setbacks and bulk and scale, as specified in the La Jolla Shores Planned Development Ordinance (LJSPDO), SDMC Section 1510.0304 Single Family Development Zone Regulations, including a building height of 27 feet, which is below the 30-foot height limit. Therefore, the project will not encroach upon any existing physical accessway that is legally used by the public or any proposed public accessway identified in a Local Coastal Program land use plan, and the proposed project will not impact public views to and along the ocean and other scenic coastal areas as specified in the Local Coastal Program Land Use Plan.

b. The proposed development will not adversely affect environmentally sensitive lands.

The project site is currently developed with a single-family residence and does not contain any environmentally sensitive lands. No impacts to sensitive biological resources are expected on-site and the site is not in or adjacent to the City's Multiple Species Conservation Plan and Multi-Habitat Planning Area.

An environmental determination was made that the project is exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines Section 15302 (Replacement or Reconstruction). Therefore, the proposed development will not adversely affect environmentally sensitive lands as none are present on the site.

c. The proposed coastal development is in conformity with the certified Local Coastal Program land use plan and complies with all regulations of the certified Implementation Program.

The proposed project conforms to the "Very Low Density" 0-5 dwelling units per net residential acre (Figure 16) of the Community Plan by proposing a single-family residence on a 29,248-square-foot site in the LJSPD-SF zone. Per San Diego Municipal Code (SDMC) Section 1510.0304(a), the project conforms with the dwelling unit density regulations in the La Jolla Shores Planned District Ordinance relating to Single Family Zone development.

The project is designed to comply with all the applicable development regulations, including those of the LJSPD-SF Zone. The proposed residence will be approximately 27 feet in height, in compliance with the maximum 30-foot height limit. The proposed project is located within the previously developed portions of the property. Based on a submitted neighborhood survey of the existing development patterns, and bulk and scale comparisons within the neighborhood, the proposed project was determined to be in general conformance with setbacks and bulk and scale, as specified in the LJSPDO – SF. There is no identified public view on or adjacent to the project site. Therefore, the proposed development will comply with the certified Local Coastal Program land use plan and with all applicable regulations of the Land Development Code.

d. For every Coastal Development Permit issued for any coastal development between the nearest public road and the sea or the shoreline of any body of water located within the Coastal Overlay Zone the coastal development is in conformity with the public access and public recreation policies of Chapter 3 of the California Coastal Act.

The project site is not located between the first public roadway and the Pacific Ocean. This finding does not apply.

B. <u>SITE DEVELOPMENT PERMIT [SDMC Section 126.0505]</u>

1. Findings for all Site Development Permits:

a. The proposed development will not adversely affect the applicable land use plan.

As discussed in finding A.1.c. above, incorporated here by reference, the proposed development will comply with the applicable regulations of the Land Development Code and the Community Plan. Therefore, this residential dwelling unit construction will not adversely affect the Community Plan.

b. The proposed development will not be detrimental to the public health, safety and welfare.

The project will not be detrimental to the public health, safety, and welfare. The project site does not contain any sensitive vegetation, is not in a designated floodway, and is not located within or adjacent to the City's Multiple Species Conservation Program/Multiple Habitat Planning Area. City staff has reviewed and accepted a preliminary geotechnical report prepared for the site that concluded that the project adequately addresses the site's soil and geologic conditions. The Owner/Permittee shall submit a geotechnical investigation report or update letter that specifically addresses the proposed construction plans. The geotechnical investigation report or update letter shall be reviewed for adequacy by the Geology Section of the Development Services Department prior to the issuance of any construction permits. Also, the Owner/Permittee shall submit an as-graded geotechnical report prepared in accordance with the City's "Guidelines for Geotechnical Reports" following the completion of grading. The as-graded geotechnical report shall be reviewed for adequacy by the Geology Section of the Development Services Department prior to the release or discharge of the required bond (described below) and grading permit close-out.

The project permit also contains specific requirements to ensure compliance with the regulations of the Land Development Code, including those adopted to protect the public health, safety and welfare. Permit requirements include: assuring by permit and bond the replacement of the existing curb with City standard curb and gutter on Calle Del Cielo; obtaining a bonded grading permit for the proposed grading for the project; landscape maintenance; implementing stormwater construction best management practices (BMPs); and entering into a Maintenance Agreement for ongoing permanent BMP maintenance. Therefore, the project will not be detrimental to the public, health, safety, and welfare.

The proposed development will comply with the regulations of the Land Development Code including any allowable deviations pursuant to the Land Development Code.

The project as discussed in finding A.1.c. above, incorporated here by reference, will comply with the applicable regulations of the Land Development Code and the Community Plan Therefore, this residential dwelling unit construction will not adversely affect the Community Plan and no deviations are required.

ATTACHMENT 4

The above findings are supported by the minutes, maps and exhibits, all of which are

incorporated herein by this reference.

BE IT FURTHER RESOLVED that, based on these findings adopted by the Hearing Officer,

COASTAL DEVELOPMENT PERMIT No. 2524357 and SITE DEVELOPMENT PERMIT No. 2524356 are

hereby GRANTED by the Hearing Officer to the referenced Owner/Permittee, in the form, exhibits,

terms and conditions as set forth in Permit No. 2524357 and Permit No. 2524356, a copy of which is

attached hereto and made a part hereof.

Hector Rios

Development Project Manager

Development Services

Adopted on: August 9, 2023

10#:24008915

RECORDING REQUESTED BY

CITY OF SAN DIEGO DEVELOPMENT SERVICES PERMIT INTAKE, MAIL STATION 501

WHEN RECORDED MAIL TO PROJECT MANAGEMENT PERMIT CLERK MAIL STATION 501

INTERNAL ORDER NUMBER: 24008915

SPACE ABOVE THIS LINE FOR RECORDER'S USE

COASTAL DEVELOPMENT PERMIT NO. 2524357 SITE DEVELOPMENT PERMIT NO. 2524356 CALLE DEL CIELO RESIDENCE - PROJECT NO. 682249 HEARING OFFICER

This Coastal Development Permit No. 2524357 and Site Development Permit No. 2524356 are granted by the Hearing Officer of the City of San Diego to GHASSAN KASSAB and GHADA KASSAB, Husband and Wife as Joint Tenants, Owner/Permittee, pursuant to San Diego Municipal Code [SDMC] section 126.0702 and 126.0502. The 0.69-acre site is located at 8305 Calle Del Cielo in the LJSPD-SF Zone, Coastal Height Limitation Overlay Zone, and the Coastal (Non-Appealable) Overlay Zone in the La Jolla Community Planning Area and Council District 1. The project site is legally described as: Lot 1 of La Jolla Shores Terrace, in the City of San Diego, County of San Diego, State of California, according to Map thereof No. 2996, filed in the office of the County Recorder of San Diego County, May 29, 1953, APN: 346–190-0100.

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner/Permittee to demolish an existing single-family residence and construct a new single-family residence, described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated August 9, 2023, on file in the Development Services Department.

The project shall include:

- a. Demolition of an existing 4,545-square-foot single-family residence and construction of a new 11,754-square-foot single-family residence with 733-square-foot attached garage and 1,391-square-foot detached garage; and sports court.
- b. Landscaping (planting, irrigation, and landscape-related improvements);
- c. Six off-street parking spaces;
- d. Associated retaining walls, fences, lighting, recreational facilities; and

e. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act [CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

STANDARD REQUIREMENTS:

- 1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36-month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision-maker. This permit must be utilized by August 23, 2026.
- 2. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
 - a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
 - b. The Permit is recorded in the Office of the San Diego County Recorder.
- 3. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.
- 4. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.
- 5. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
- 6. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).
- 7. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.

- 8. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.
- 9. All of the conditions contained in this Permit have been considered and were determined necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

10. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

CLIMATE ACTION PLAN REQUIREMENTS:

11. Owner/Permittee shall comply with the Climate Action Plan (CAP) Consistency Checklist stamped as Exhibit "A." Prior to issuance of any construction permit, all CAP strategies shall be noted within the first three (3) sheets of the construction plans under the heading "Climate Action Plan Requirements" and shall be enforced and implemented to the satisfaction of the Development Services Department.

ENGINEERING REQUIREMENTS:

- 12. Prior to the issuance of any building permit, the Owner/Permittee shall obtain an Encroachment Maintenance Removal Agreement for the curb outlet, wall, non-standard driveway, landscape, and irrigation located within the Calle Del Cielo's right-of-way, satisfactory to the City Engineer.
- 13. Prior to the issuance of any building permits, the Owner/Permittee shall assure by permit and bond the replacement of the existing curb with City standard curb and gutter, on Calle Del Cielo, satisfactory to the City Engineer.
- 14. The drainage system proposed for this development, as shown on the site plan, is private and subject to approval by the City Engineer.
- 15. Prior to the issuance of any building permits, the Owner/Permittee shall obtain a bonded grading permit for the grading proposed for this project. All grading shall conform to the requirements of the City of San Diego Municipal Code in a manner satisfactory to the City Engineer.
- 16. Prior to the issuance of any construction permit, the Owner/Permittee shall enter into a Maintenance Agreement for the ongoing permanent Best Management Practices maintenance, satisfactory to the City Engineer.
- 17. Prior to the issuance of any construction permit, the Owner/Permittee shall incorporate any construction Best Management Practices necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the SDMC, into the construction plans or specifications.
- 18. Prior to the issuance of any construction permit the Owner/Permittee shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be prepared in accordance with the guidelines in Part 2 Construction BMP Standards Chapter 4 of the City's Storm Water Standards.
- 19. Prior to the issuance of any construction permit, the applicant shall submit a Technical Report that will be subject to final review and approval by the City Engineer, based on the Storm Water Standards in effect at the time of the construction permit issuance.

LANDSCAPE REQUIREMENTS:

- 20. Prior to issuance of any construction permit for public improvements, the Owner/Permittee shall submit complete landscape construction documents for right-of-way improvements to the Development Services Department for approval. Improvement plans shall show, label, and dimension a 40-square-foot area around each tree which is unencumbered by utilities. Driveways, utilities, drains, water and sewer laterals shall be designed so as not to prohibit the placement of street trees.
- 21. Prior to issuance of any construction permit for structures, the Owner/Permittee shall submit complete landscape and irrigation construction documents to the Development Services Department for approval. The construction documents shall be consistent with approved Exhibit "A,"

the La Jolla Shores Planned District Ordinance, the La Jolla Community Plan, and the Land Development Manual - Landscape Standards. Unplanted recreational areas, walks (areas used for access whether paved, mulched, steppingstone, ground cover, or similar), and driveways may not count towards the minimum landscape area.

- 22. The Owner/Permittee shall be responsible for the maintenance of all landscape improvements shown on the approved plans, including in the right-of-way, unless long-term maintenance of said landscaping will be the responsibility of a Landscape Maintenance District or other approved entity. All required landscape shall be maintained consistent with the Landscape Standards in a disease, weed, and litter free condition at all times. Severe pruning or "topping" of trees is not permitted.
- 23. If any required landscape (including existing or new plantings, hardscape, landscape features, etc.) indicated on the approved construction document plans is damaged or removed, it shall be repaired and/or replaced in kind and equivalent size per the approved documents to the satisfaction of the Development Service Department within 30 days of damage.

WATER AND SEWER REQUIREMENTS:

- 24. All proposed private water and sewer facilities located within a single lot are to be designed to meet the requirements of the California Plumbing Code and will be reviewed as part of the building permit plan check.
- 25. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, the design and construction of new water and sewer service(s) outside of any driveway or drive aisle and the abandonment of any existing unused water and sewer services within the public right-of-way adjacent to the project site, in a manner satisfactory to the Public Utilities Department and the City Engineer.
- 26. Prior to the issuance of any building permits, if it is determined during the building permit review process the existing sewer service will not be adequate to serve the proposed project, the Owner/Permittee shall, assure by permit and bond, the design and construction of new sewer service outside of any driveway or drive aisle and the abandonment of any existing unused sewer services within the right-of-way adjacent to the project site, in a manner satisfactory to the Public Utilities Department and the City Engineer.
- 27. Prior to the issuance of any building permits, the Owner/Permittee shall apply for a plumbing permit for the installation of appropriate private back flow prevention device(s) (BFPDs), on each water service (domestic, fire and irrigation), in a manner satisfactory to the Public Utilities Department and the City Engineer. BFPDs shall be located above ground on private property, in line with the service and immediately adjacent to the right-of-way.
- 28. Prior to final inspection, all public water and sewer facilities shall be complete and operational in a manner satisfactory to the Public Utilities Department and the City Engineer.

- 29. The Owner/Permittee shall design and construct all proposed public water and sewer facilities, in accordance with established criteria in the current edition of the City of San Diego Water and Sewer Facility Design Guidelines and City regulations, standards and practices.
- 30. No trees or shrubs exceeding three feet in height at maturity shall be installed within ten feet of any sewer facilities and five feet of any water facilities.

PLANNING/DESIGN REQUIREMENTS:

- 31. The automobile, motorcycle and bicycle parking spaces must be constructed in accordance with the requirements of the SDMC. All on-site parking stalls and aisle widths shall be in compliance with requirements of the City's Land Development Code and shall not be converted and/or utilized for any other purpose, unless otherwise authorized in writing by the appropriate City decision maker in accordance with the SDMC.
- 32. A topographical survey conforming to the provisions of the SDMC may be required if it is determined, during construction, that there may be a conflict between the building(s) under construction and a condition of this Permit or regulation of the underlying zone. The cost of any such survey shall be borne by the Owner/Permittee.
- 33. The sports court shall not be lit between 10:00 p.m. and dawn.
- 34. All private outdoor lighting shall be shaded and adjusted to fall on the same premises where such lights are located and in accordance with the applicable regulations in the SDMC.

GEOLOGY REQUIREMENTS

- 35. The Owner/Permittee shall submit a geotechnical investigation report or update letter that specifically addresses the proposed construction plans. The geotechnical investigation report or update letter shall be reviewed for adequacy by the Geology Section of the Development Services Department prior to issuance of any construction permits.
- 36. The Owner/Permittee shall submit an as-graded geotechnical report prepared in accordance with the City's "Guidelines for Geotechnical Reports" following completion of the grading. The asgraded geotechnical report shall be reviewed for adequacy by the Geology Section of the Development Services Department prior to release or discharge of the bond and grading permit close-out.

INFORMATION ONLY:

The issuance of this discretionary permit alone does not allow the immediate commencement
or continued operation of the proposed use on site. Any operation allowed by this
discretionary permit may only begin or recommence after all conditions listed on this permit
are fully completed and all required ministerial permits have been issued and received final
inspection.

ATTACHMENT 5

- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Hearing Officer of the City of San Diego on August 9, 2023, and [Approved Resolution Number].



ATTACHMENT 5

COASTAL DEVELOPMENT PERMIT NO. 2524357 SITE DEVELOPMENT PERMIT NO. 2524356 Date of Approval: August 9, 2023

AUTHENTICATED BY THE CITY OF SAI	N DIEGO DEVELOPMENT SERVICES DEPARTMENT
Hector Rios	
Development Project Manager	
NOTE: Notary acknowledgment must be attached per Civil Code section 1189 et seq.	
	e , by execution hereof, agrees to each and every condition of each and every obligation of Owner/Permittee hereunder.

Owner/Permittee
By Ghassan Kassab
Owner/Permittee
By Ghada Kassab

NOTE: Notary acknowledgments must be attached per Civil Code section 1189 et seq.



THE CITY OF SAN DIEGO

Date of Notice March 16, 2023

NOTICE OF RIGHT TO APPEAL ENVIRONMENTAL DETERMINATION

DEVELOPMENT SERVICES DEPARTMENT

SAP No. 24008915

PROJECT NAME/NUMBER: Calle Del Cielo /682249

COMMUNITY PLAN AREA: La Jolla

COUNCIL DISTRICTS: 1

LOCATION: The project is located at 8305 Calle Del Cielo, La Jolla, CA 92037

PROJECT DESCRIPTION: Site Development Permit (SDP) and Coastal Development Permit (CDP) to demolish an existing 4,545 square foot single family residence and attached garage and construct a new 11,754 square- foot single family residence. In addition to the residence the project would construct a 733 square-foot garage and a 1,391 square-foot detached four car garage, and also a sports area. The 0.68-acre site is located in the LJSPD-SF Zone and the Coastal (Non-App) Overlay, Coastal Height Limit Overlay, and Coastal (Non-Appealable) Overlay Zones in the La Jolla Community Planning Area and Council District 1. The project complies with all height and bulk regulations and is located on a site that is currently developed with the public utilities in place to serve the facility.

ENTITY CONSIDERING PROJECT APPROVAL: City of San Diego, Hearing Officer

ENVIRONMENTAL DETERMINATION: Section 15302 (Replacement or Reconstruction)

ENTITY MAKING ENVIRONMENTAL DETERMINATION: City of San Diego, Development Services Department

statement supporting reason for environmental determined that the proposed project is exempt from CEQA pursuant to CEQA Guidelines Section 15302. CEQA Section 15302 allows for the replacement or reconstruction of existing structures and facilities where the new structure will be located on the same site and will have substantially the same purpose and capacity as the structure being replaced. The proposed project is demolishing a single-family residence and would replace it with a new single-family residence which would not expand the use of the project. Since the project would occur on the same developed site as the existing residence no environmental impacts would occur and none of the exceptions described in CEQA Guidelines Section 15300.2 apply.

DEVELOPMENT PROJECT MANAGER:

MAILING ADDRESS:

Hector Rios

PHONE NUMBER/EMAIL:

1222 First Avenue, MS 501, San Diego, CA 92101-4153

(619) 619-446-5236/ Hrios@sandiego.gov

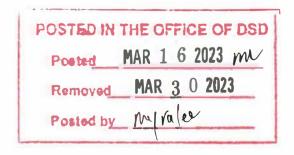
On March 16, 2023 the City of San Diego made the above-referenced environmental determination pursuant to the California Environmental Quality Act (CEQA). This determination is appealable to the City Council. If you have any questions about this determination, contact the City Development Project Manager listed above.

Applications to appeal CEQA determinations made by staff (including the City Manager) to the City Council must be filed in the office of the City Clerk within 10 business days from the date of the posting of this Notice so the final day to file an appeal is March 30, 2023. Appeals to the City Clerk must be filed by email or in-person as follows:

- 1) Appeals filed via E-mail: The Environmental Determination Appeal Application Form DS-3031 can be obtained at https://www.sandiego.gov/sites/default/files/legacy/developmentservices/pdf/industry/forms/ds3031. Send the completed appeal form (including grounds for appeal and supporting documentation in pdf format) by email to Hearings1@sandiego.gov by 5:00p.m. on the last day of the appeal period; your email appeal will be acknowledged within 24 business hours. You must separately mail the appeal fee by check payable to the City Treasurer to: City Clerk/Appeal, MS 2A, 202 C Street, San Diego, CA 92101. The appeal filing fee must be United States Postal Service (USPS) postmarked) before or on the final date of the appeal. Please include the project number on the memo line of the check.
- 2) Appeals filed in person: Environmental Determination Appeal Application Form DS-3031 can be obtained at https://www.sandiego.gov/sites/default/files/legacy/developmentservices/pdf/industry/forms/ds3031.pdf, Bring the fully completed appeal application DS-3031 (including grounds for appeal and supporting documentation) to the City Administration Building— Public Information Counter (Open 8:00am to 5:00pm Monday through Friday excluding Cityapproved holidays), 1st Floor Lobby, located at 202 C Street, San Diego, CA 92101, by 5:00pm on the last day of the appeal period. The completed appeal form shall include the required appeal fee, with a check payable to: City Treasurer.

The appeal application can also be obtained from the City Clerk, 202 'C' Street, Second Floor, San Diego, CA 92101.

This information will be made available in alternative formats upon request.



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City of San Diego · Information Bulletin 620

August 2018



City of San Diego

Community Planning

SD	Developmen 1222 First Av San Diego, C	e., MS-302	Commit	tee i	Form
Project Name: 8305 Calle Del Cie	lo		Project Numbe 682249/Fotsch	r:	
Community: La Jo	olla		·		
•	log into Op	enDSD at <u>https</u>	mation (project mass://aca.accela.com	/SANDIE	
Vote to Approv Vote to Approv Vote to Approv Vote to Deny	e with Conditi		w endations Listed E	Below	Date of Vote: July 06, 2023
# of Members Yes 17		# of Members	No 0	# of Me	embers Abstain 1
Conditions or Reco	mmendations	::			
☐ No Action (Please specify, e.g	., Need further inf	formation, Split vot	e, Lack of quorum, etc.	.)	
NAME: Suzanne B	aracchini				
TITLE: Trustee/Se	cretary			DATE:	July 11, 2023
	Attach additio	onal pages if nec	essary (maximum 3	attachi	ments).

Visit our web site at www.sandiego.gov/development-services. Upon request, this information is available in alternative formats for persons with disabilities. DS-5620 (08-18) ONLINE FORM

Rios, Hector

From: Pangilinan, Marlon

Sent: Monday, July 24, 2023 2:48 PM

To: Rios, Hector; Justin Palacios; Gianchandani, Anisha

Cc: Andy Fotsch

Subject: RE: [EXTERNAL] Re: 682249_Calle Del Cielo Residence

Hi Hector,

The La Jolla Shores Planned District Advisory Board has been adjourned since June due to a lack of projects to review and so, have not been able to approve the May 17, 2023 meeting minutes at a subsequent meeting. In lieu of the approved minutes, please see the following account of the project at the meeting:

PTS 682249 – 8305 Calle Del Cielo "Calle Del Cielo Residence" was heard before the La Jolla Shores Planned District Advisory Board on Wednesday, May 17, 2023.

All members of the Advisory Board were in attendance.

The project was presented by Andy Fotsch, Will & Fotsch Architects.

Public comment on this project was provided by David Odmark, neighbor.

After asking several clarifying questions of the applicant, the Advisory Board made the following comments:

- The proposed pool in the front yard could create a precedent given that no other properties have a pool in the front yard.
- The location of the project creates a different character, given that other existing buildings are closer to the street.
- It was suggested that the whole upper-story could be setback to lessen bulk and scale.
- The setback on the northern elevation could be moved in more by 3 feet in consideration of the neighbor's concern.

RECOMMENDATION: The La Joila Shores Planned District Advisory Board recommended approval of the Site Development Permit and Coastal Development Permit and for the project to increase its setback from the north elevation wall by 3 feet. Motion approved: 5-1-0.

Sincerely,

Marlon I. Pangilinan

Interim Program Coordinator City of San Diego City Planning Department

T (619) 235-5293 sandiego.gov/planning

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This electronic mail message and any attachments are intended only for the use of the addressee(s) named above and may contain information that is privileged, confidential and exempt from disclosure under applicable law. If you are not an intended recipient, or the employee or agent responsible for delivering this e-mail to the intended recipient, you are hereby notified that any dissemination, distribution or copying of this communication is strictly prohibited. If you received this e-mail message in error, please immediately notify the sender by replying to this message or by telephone. Thank you.



City of San Diego Development Services 1222 First Ave., MS 302 San Diego, CA 92101 (619) 446-5000

Ownership Disclosure Statement

FORM

DS-318

October 2017

Approval Type: Check appropriate Check appropri	it Permit 🛭 Site D	evelopment Permit 🗖 P	lanned Development Per	rmit	□ Conditional Use P	
Project Title: KASSAB RESIDENCE			Proje	ct N	o. For City Use Only	:
Project Address: 8305 CALLE DEL C						
4		- D				
Specify Form of Ownership/	Legal Status (plea	ase check):			2-	
☐ Corporation ☐ Limited Liab	oility -or- 🗖 Gener	al - What State?	Corporate Identifi	catio	n No	10. 10. 10. 10. 10. 10. 10. 10. 10. 10.
☐ Partnership ဩ Individual						
By signing the Ownership Disc with the City of San Diego or owner(s), applicant(s), and oth individual, firm, co-partnershi with a financial interest in the individuals owning more than officers. (A separate page may ANY person serving as an off A signature is required of at notifying the Project Manager ownership are to be given to accurate and current ownersh	n the subject prop ner financially inte p, joint venture, as application. If the 10% of the share y be attached if ne ficer or director of least one of the p of any changes ithe Project Manag	perty with the intent to rested persons of the a ssociation, social club, for a publicant includes a constant of a publicly-owned copies and the nonprofit organ person or owners, attact or ownership during the least thirty days personal property owners.	record an encumbrance bove referenced propert raternal organization, co orporation or partnersh orporation, include the risa nonprofit organization or as trustee or additional pages if need the application is the application or as properties or the application is the application is pror to any public hearing the application is provided the application is pro	e agai cy. A rpora ip, in name on or bene ded. being	inst the property. If financially intereste ation, estate, trust, reclude the names, ties, titles, and addres a trust, list the name ficiary of the nonpotes. The application of the processed or consistent and the second of the s	Please list below the d party includes any eceiver or syndicate tles, addresses of all ses of the corporate les and addresses of profit organization. It is responsible for sidered. Changes in
Property Owner					- AND THE STREET STREET	
Name of Individual: Ghassan a	nd Ghada Kassab		S Ow	ner	☐ Tenant/Lessee	☐ Successor Agency
Street Address: 2505 Hidden Va	lley Place	THE STATE OF THE S	1177			
City: La Jolla			The state of the s	_	State: <u>CA</u>	Zip:92037
Phone No.: 858-999-5235		,Fax No.:	Email	gka	ssab@calmi2.org	
Signature: Ghassan Kassab	myh	Olghally signed by Ghassan Kassab OSTR-002 0.12:28 11:56-55 -08'00'	Date:	12/2	8/2020	Th:
Additional pages Attached:	☐ Yes	□ No				
Applicant						100
Name of Individual:				ner	☐ Tenant/Lessee	☐ Successor Agency
Street Address:			****		A11	
City:					State:	Zip:
Phone No.:		Fax No.:	Email:	20		
Signature:		ACM/Accepting	Date:			
Additional pages Attached:	Yes	□ No		2		,
Other Financially Interested I	Persons					
Name of Individual:			Ow	ner	☐ Tenant/Lessee	☐ Successor Agency
Street Address:		Will 18 10 10 10 10 10 10 10 10 10 10 10 10 10			13330	
City:					State:	Zip:
Phone No.:						
Signature:	20-10-1111					
Additional pages Attached	П Уде					

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CENTERLINE

EXISTING

ABOVE

ARFA DRAIN

ADJUSTABLE

ALUMINUM

ALUMINUM

ACOUS. ACOUSTICAL

AGGR; AGGREGATE

APPROX. APPROXIMATE

BLDG. BUILDING

BOT.

CEM.

CLR.

C.M.U.

CNTE.

COL.

CTR.

CTSK.

D.O.

DWR.

FIXED

F.O.F.

FURR.

GFCI

HDR.

INSUL. INT.

FUT.

BUILT-IN

BLOCK

BOLT

BEAM

воттом

CONDUI

CEMENT

CEILING

CLOSET

COUNTER

COLUMN

CONC. CONCRETE

CONN. CONNECTION

CONT. CONTINUOUS

CONSTR. CONSTRUCTION

CENTER

COUNTERSINK

DEPARTMENT

DIAMETER

DIMENSION

DOWNSPOUT

DRAWER

ELEVATION

ELECTRICAL

ENCLOSED

EQUIPMENT

EXPOSED

EXTERIOR

FORCED AIR UNIT

FLOOR DRAIN

FOUNDATION

FINISH FLOOR

FINISH GRADE

FIRE HYDRANT

FIXED WINDOW

FACE OF CONCRETE

FACE OF FINISH

FOOT OR FEET

FOOTING

FURRING

FUTURE

GAS

GAUGE

GALVANIZED

GARBAGE DISPOSAL

GROUND FAULT CURRENT INTERUPTER T.V.

H.V.A.C. HEATING VENTILATING AIR CONDITIONINCWTR. WATER

GRAB BAR

GROUND

GYP.BD. GYPSUM BOARD

HOSE BIB

HOLLOW METAL

HEADER

HDWD. HARDWOOD

HORIZ. HORIZONTAL

HORZ. HORIZONTAL

HOUR

HFIGHT

INSULATION

INTERIOR

LAMINATE

LOW VOLTAGE

MEDICINE CABINET

MAXIMUN

MECH MECHANICAL

HDWE. HARDWARE

FINISH

FLOOW

F.O.M. FACE OF MULLION

FRAM'G FRAMING

FLASHING

EQUAL

EACH EXPANSION JOI

DWG'S DRAWINGS

DISH WASHER

DOOR OPENING

CONCRETE MASONRY UNIT

CASEMENT WINDOW

CLEAR

BLOCKING

EXIST'G EXISTING

ABV.

DIAMETER OR ROUND

ABOVE FINISH FLOOR

ADJACENT FINISH GRADE

ABBREVIATIONS

MEMB. MEMBRANE

MFG MANUFACTURING

METAL

NORTH

N.I.C. NOT IN CONTRACT

N.T.P. NOTICE TO PROCEED

MUL. MULLION

NO. OR # NUMBER

NOM. NOMINAL

OBS. O.C.

N.T.S. NOT TO SCALE

OVER

OVERALL

OBSCURE

OFFICE

PL/SH POLE AND SHELF

PL. LAM. PLASTIC LAMINATE

PLANTING POKET

OPNG. OPENING

PLSTR. PLASTER

PLUMB. PLUMBING

PNL. PANEL

PNTRY. PANTRY

PRCST PRECAST

PREFAB. PREFABRICATED

PATITION

PAINTED

RADIUS

REFR. REFRIGERATOR

RGTR. REGISTER

REQ. REQUIRED

RESIL. RESILIENT

REVERSE REINF REINFORCE, REINFORCED

R.O. ROUGH OPENING

SOUTH

SCHED. SCHEDULE

SOLID CORE

STORM DRAIN

SQUARE FEET SHELF

SL.DR. SLIDING GLASS DOOR

STAINLESS STEEL

STAINLESS STEEL

SLOPE/SLIDER (WINDOW)

SECTION

SHOWER

SHEET

SPEC. SPECIFICATIONS

SQUARE

STONE

STOR. STORAGE

STRUCT'S STRUCTURAL

STRUCT STRUCTURE

SUSP. SUSPENDED

THNK. THICK

UNF.

T.O.C. TOP OF CURB

SYM. SYMMETRICAL

TREAD

TOWEL BAR

TELEPHONE

THRESHOLD

TELEVISION

UNFINISHED

U.N.O. UNLESS NOTED OTHERWISE

VAPOR PROOF

WATER CLOSET

UDG. UNDERGROUND

WOOD

W.H. WATER HEATER

W.P. WATERPROOF

W/O WITHOUT

VERT VERTICAL

TOP OF WALL TYPICAL

TEMPERED GLASS T.&G. TONGUE AND GROOVE

TRASH COMPACTOR

TOILET PAPER DISPENSER

STANDARD

SIM. SIMILAR

SKYLT. SKYLIGHT

ROOF DRAIN

REFERENCE

RISER **RADIUS**

PR. PAIR

P.P

PLYWD. PLYWOOD

OVERHEAD

O.H.C. OVERHEAD CABINET

ON CENTER

OUTSIDE DIAMETER

OVERFLOW DRAIN

PROPERTY LITE OR PLATE

MANHOLE

MANUFACTORED

MISCELLANEOUS

CALLE DEL CIELO CDP/SDP SET

ELEVATION MARKER

DETAIL MARKER

SECTION MARKER

DIRECTION OF VIEW

SHEET THAT DETAIL APPEARS ON

SHEET THAT SECTION APPEARS ON

WINDOW TYPE INDICATOR

MATCH LINE/DATUM POINT

REVISION INDICATOR

REVISION NUMBER

<u>OTHER</u>

GLASS

PLYWOOD

CONT. WOOD BLKG., BLKG. BETWEEN MEMBERS

[[] [] INSULATION (BATT OR BLANKET)

PLASTER OR GYPBOARD (AS NOTED)

TILE (GLAZED,UNGLAZED OR PAVER)

EXISTING WALL TO REMAIN

2 X 6 STUD WALL U.N.O.

CONCRETE

STEEL STUD WALLS

INSULATION (RIGID)

METAL

SOIL

<u>WALLS</u>

GRAVEL OR AGGREGATE BASE COURSE (ABC)

WINDOW TYPE NUMBER

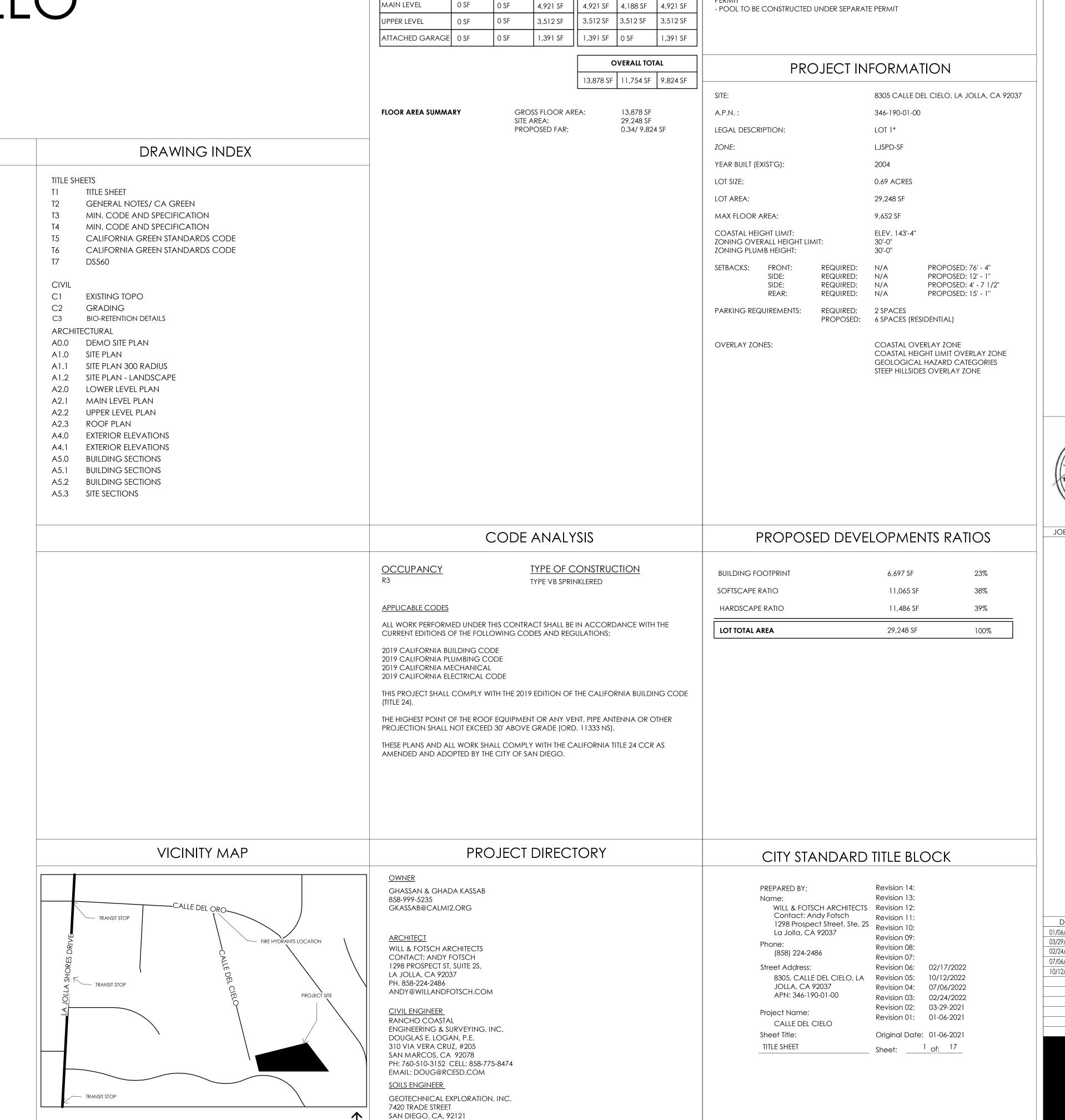
- SHEET THAT ELEVATION APPEARS ON

SYMBOLS AND LEGEND

DETAIL LETTER, CORRESPONDS TO COORDINATES ON THE BORDER OF THE DRAWING

DETAIL LETTER, CORRESPONDS TO COORDINATES ON THE BORDER OF THE DRAWING

2 DETAIL LETTER, CORRESPONDS TO COORDINATES ON THE BORDER OF THE DRAWING



(858) 549-7222

GEOTECH@GELSD.COM

F.A.R. CALCULATIONS

BUILDING AREA CALCULATION

4,054 SF

GFA HABITABLE FOR FAR

4,054 SF 4,054 SF

EXISTING | REMOVED | ADDITION |

LOWER LEVEL

 \mathbb{W} . ARCHITECTS

PROJECT DATA

- SITE DEVELOPMENT PERMIT AND COASTAL DEVELOPMENT TO DEMOLISH EXISTING SINGLE

11,754 SF WITH 733 SF TWO CAR GARAGE AND ONE 1,391 FOUR CAR DETACHED GARAGE,

WITH SPORTS COURT. ALL RELATED SITE WORK AND RETAINING WALLS TO BE A PART OF THIS

FAMILY RESIDENCE OF 4,545 SF AND CONSTRUCT A NEW SINGLE FAMILY RESIDENCE OF

PROJECT SCOPE:

 ∞

Ш Δ \Box

ISSUE:

01/06/2021 CDP 1ST SUBMITTAL 03/29/2021 FULL SUBMITTAL 02/24/2022 2ND SUBMITTAL 07/06/2022 3RD SUBMITTAL 10/12/2022 4TH SUBMITTAL



5. DUCT OPENINGS AND OTHER RELATED AIR DISTRIBUTION COMPONENT OPENINGS SHALL BE COVERED DURING CONSTRUCTION (CGBSC 4.504.1).

6. ADHESIVES, SEALANTS, AND CAULKS SHALL BE COMPLIANT WITH VOC AND OTHER TOXIC COMPOUND LIMITS (CGBSC 4.504.1).

7.PAINTS, STAINS AND OTHER COATINGS SHALL BE COMPLIANT WITH VOC LIMITS (CGBSC 4.504.2.2).

8. AEROSOL PAINTS AND COATINGS SHALL BE COMPLANT WITH PRODUCT WEIGHTED MIR LIMITS FOR VOC AND OTHER TOXIC COMPOUNDS (CGBSC 4.504.2.3).

9. CARPET AND CARPET SYSTEMS SHALL COMPLY WITH COV LIMITS. A LETTER FROM THE CONTRACTOR AND OR THE BUILDING OWNER CERTIFYING WHAT MATERIAL HAS BEEN USED AND ITS COMPLIANCE WITH THE CODE MUST BE SUBMITTED TO THE BUILDING INSPECTOR (CGBSC 4.504.3).

10. DOCUMENTATION SHALL BE PROVIDED TO VERIFY THAT COMPLIANT VOC LIMIT FINISH MATERIALS HAVE BEEN USED. A LETTER FROM THE CONTRACTOR AND OR THE BUILDING OWNER CERTIFYING WHAT MATERIALS HAS BEEN USED AND ITS COMPLIANCE WITH THE CODE MUST BE SUBMITTED TO THE BUILDING INSPECTOR (CGBSC 4.504.3).

11. FIFTY PERCENT OF THE FLOOR AREA RECEIVING RESILIENT FLOORING SHALL COMPLY WITH THE VOC EMISSION LIMITS DEFINED IN THE COLLABORATIVE FOR HIGH PERFORMANCE SCHOOLS (CHPS) LOW-EMITTING MATERIALS LIST OR BE CERTIFIED UNDER THE RESILIENT FLOOR COVERING INSTITUTE (RCFI) FLOOR SCORE PROGRAM (CGBSC 4.504.4).

12. PARTICLEBOARD, MEDIUM DENSITY FIBERBOARD (MDF) AND HARDWOOD PLYWOOD USED IN INTERIOR FINISH SYSTEMS SHALL COMPLY WITH LOW FORMALDEHYDE EMISSION STANDARDS. A LETTER FROM THE INSTALLER AND OR THE BUILDING OWNER CERIFYING WHAT MATERIAL HAS BEEN USED AND DOCUMENTING ITS COMPLIANCE WITH THE CODE MUST BE SUBMITTED TO THE BUILDING INSPECTROR (CGBSB 4.504.5).

13. BUILDING MATERIALS WITH VISIBLE SIGNS OF WATER DAMAGE SHALL NOT BE INSTALLED. WALL AND FLOOR FRAMING SHALL NOT BE ENCLOSED WHEN FRAMING MEMBERS EXCEED 19% MOISTURE CONTENT.

14. THE MOISTURE CONTENT OF BUILDING MATERIALS USED IN WALL AND FLOOR FRAMING IS CHECKED BEFORE ENCLOSURE. MOISTURE CONTENT SHALL BE VERIFIED BY EITHER A PROBE TYPE OR CONTACT TYPE MOISUTRE METER. A CERTIFICATE OF COMPLIANCE INDICATING DATE OF TEST, LOCATION AND RESULTS ISSUED BY THE FRAMER SUBCONTRACTOR OR GENERAL CONTRACTOR MUST BE SUMBITTED TO THE BUILDING INSPECTOR (CGBSC 4.503.3).

15. EXHAUST FANS WHICH TERMINATE OUTSIDE THE BUILDING ARE PROVIDED IN EVERY BATHROOM THAT CONTAINS A SHOWER OR TUB, CAPABLE OF PROVIDING 5 CHANGES PER HOUR.

16. WHEN SINGLE SHOWER FIXTURES ARE SERVED BY MORE THAN ONE SHOWERHEAD, THE COMBINED FLOW RATE OF ALL THE SHOWERHEADS SHALL NOT EXCEED THE MAXIMUM FLOW RATES SPECIFIED IN THE 20% REDUCTION COLUMN CONTAINED IN TABLE 4.303.2 OR THE SHOWER SHALL BE DESIGNED TO ONLY ALLOW ONE SHOWERHEAD TO BE IN OPERATION AT A TIME (CGBSC 4.303.3) EXCEPTION: THE MAXIMUM FLOW RATE FOR SHOWERHEADS WHEN USING THE CALCULATION METHOD SPECIFIED IN SECTION 4,303.1, ITEM 2,

17. PLUMBING FIXTURES (WATER CLOSETS AND URINALS) AND FITTINGS (FAUCETS AND SHOWERHEADS) SHALL MEET THE STANDARDS REFERENCED IN

18. ANY INSTALLED GAS FIREPLACE SHALL BE A DIRECT-VENT SEALED-COMBUSTION TYPE. ANY INSTALLED WOODSTOVE OR PELLET STOVE SHALL COMPLY WITH THE U.S. EPA PHASE II EMISSION LIMITS WHERE APPLICABLE. WOODSTOVES, PELLET STOVES, AND FIREPLACES SHALL ALSO COMPLY WITH APPLICABLE LOCAL ORDINANCES (CGSBC 4.503.1).

19. MECHANICAL EXHAUST FANS WHICH EXHAUST DIRECTLY FROM BATHROOMS SHALL COMPLY WITH THE FOLLOWINGS: A. FANS SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE OUTSIDE THE BUILDING.

TABLE 4.303.3 (SEE CHARTS TO LEFT) (CGBSC 4.303.3).

B. UNLESS FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILLATION SYSTEM, FANS MUST BE CONTROLLED BY A HUMIDISTAT WHICH SHALL BE READILY ACCESSIBLE. HUMIDISTAT CONTROLS SHALL BE CAPABLE OF ADJUSTMENT BETWEEN A REALTIVE HUMIDITIY RANGE OF 50-80%.

20. HVAC SYSTEMS WERE SIZED AND SELECTED BASED ON SQUARE FOOTAGE AND ZONING. SEE TITLE-24 REPORT FOR ADDITIONAL INFORMATION. NOTE: A SIGNED AFFIDAVIT FROM INSTALLER STATING METHOD USED FOR SELECTION OF HEATING AND AIR CONDITIONING EQUIPMENT AND THAT SUCH EQUIPMENT WAS INSTALLED IN ACCORDANCE TO THAT METHOD IS REQUIRED. THIS AFFIDAVIT SHALL BE PRESNETED TO THE BUILDING INSPECTOR BEFORE FINAL INSPECTION.

21. PER 2016 CGBSC, PLUMBING FIXTURES (WC AND URINALS) AND FITTINGS (FAUCETS AND SHOWERHEADS) SHALL BE INSTALLED IN ACCORDANCE WITH THE CALIFORNIA PLUMBING CODE.

TABLE 4.303.2 FIXTURE FLOW RATES

22. ALL PLUMBING FIXTURES AND FITTINGS WILL BE WATER CONSERVING AND WILL COMPLY WITH THE 2016 CGBSC.

1. ALL CONSTRUCTION AND PROCEDURES SHALL CONFORM TO ALL APPLICABLE CODES AS OUTLINED ON THE TITLE SHEET.

2. DO NOT SCALE DRAWINGS. IF DIMENSIONAL DISCREPANCIES OCCUR BETWEEN PLANS AND EXISTING CONDITIONS, CONTACT ARCHITECT IMMEDIATELY TO RESOLVE CONFLICT PRIOR TO CONTUNIATION OF

GENERAL CONSTRUCTION NOTES

3. COORDINATE WITH ARCHITECT TO PROVIDE BLOCKING IN WALLS WHERE ACCESSORY ITEMS ARE INSTALLED TYPICAL: GRAB BARS, TOLIET PAPER DISPENSERS, ETC.

4. STAIRS: PROVIDE A MINIMUM 6'8" HEAD CLEARANCE, 7.75" MAX RISER, 10" MAX TREAT WITH 3'0' MIINIMUM WIDTH FOR RESIDENTIAL STAIR CONSTRUCTION. PROVIDE MINIMUM 36" HIGH HANDRAIL (MEASURED FROM TREAD NOSING) AND MINIMUM 3'0" HIGH GUARDRAIL WITH A MAXIMUM 4" BETWEEN BALUSTERS. PER 2019 CRC.

5. ALL UNENCLOSED FLLOR AND ROOF OPENINGS, OPEN AND GLAZEDD SIDES OF STAIRWAYS, LANDING AND RAMPS, BALCONIES OR PORCHES WHICH ARE MORE THAN 30" ABOVE GRADE OR FLOOR BELOW, AND ROOFS USED FOR OTHER THAN SERVICE OF THE BUILDING, SHALL BE PROTECTED BY A GUARDRAIL NOT LESS THAN 42" IN HEIGHT WITH A MAXIMUM OF 4" BETWEEN BALUSTERS. PER 2019 CRC.

6. SAFETY GLAZING PER PER 2019 CRC FOR:

BE FULLY TEMPERED.

A. WINDOWS ADJACENT TO TUBS OR SHOWERS AND WITHIN 60" OF TUB OR SHOWER FLOOR B. WINDOWS WITHIN 24" ARC OF DOORS C. WINDOWS WITHIN 18" OF WALKING SURFACE. ALL GLASS SHOWER AND TUB ENCLOSURES SHALL

7. ALL EXTERIOR DOORS AND WINDOWS SHALL BE FULLY WEATHER STRIPPED; MANUFACTURED UNTIS SHALL MEET ANSI AND TITLE 24 STANDARDS FOR AIR INFILTRATION.

8. ALL JOINTS AND PENETRATIONS IN THE BUILDING ENVELOPE SHALL BE CAULKED AND SEALED.

9. ALL EXHAUST FANS SHALL HAVE AUTOMATIC OR BACK DRAT DAMPERS.

10. ALL FIREPLACES SHALL HAVE TIGHT FITTING FLUE DAMPER. FIREPLACES LOCATED ON EXTERIOR WALLS OR WITHIN BEDROOMS AND/OR BATHROOMS SHALL HAVE A MINIMUM SIX SQUARE INCHES OF COMBUSTION AIR TAKE.

11. ALL FIREPLACES TO BE SUPPLIED WITH GAS LOG LIGHTER AND VALUE.

12. PROVIDE SHOWER BENCH WHERE SHOWN ON DRAWINGS 18" HIGH MINIMUM WITH FULL TILE FACE OF WALL BENEATH BENCH.

13. PROVIDE ATTIC ACCESS MINIMUM SIZE 24' X 30" UON. SIZE OF ACCESS TO ENABLE REMOVAL OF HEATING EQUIPMENT.

14. PROVIDEDEAD BOLT LOCKS AT EXTERIOR DOORS UON MOUNTED BELOW LATCH SET.

15. GARAGES REQUIRE ONE-HOUR FIRE SEPARATION ON THE GARAGE SIDE OF WALLS AND CEILING COMMON TO THE DWELLING. TABLE 3B, SECTION 302.4.

16. PROVIDE R-19 INSULATION OF EXTERIOR WALLS AND R-30 INSULATION IN ALL NEW ATTICS.

17. PROVIDE R-13 INSULATION AT ALL INTERIOR PLUMBING WALLS FOR SOUND INSTALLATION.

18. ALL FIREPLACES SHALL CONFORM TO THE REQUIREMENTS OF CBC, CRC, AND CMC.

19. FIREBLOCKING: IN COMBUSTIBLE CONSTRUCTION, FIREBLOCKING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS (BOTH VERTIFCAL AND HORIZONTAL) AND TO FORM AN EFFECTIE FIRE

BARRIER BETWEEN STORIES, AND BETWEEN A TOP STORY AND THE ROOF SPACE. 20. FIREBLOCKING SHALL BE PROVIDED IN WOOD-FRAME COSNTRUCTION IN THE FOLLOWING LOCATIONS:

A. IN CONCELAED SACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES AND PARALLEL ROWS OF STUDS OR STAGGERED STUDS, AS FOLLOWS: A1. VERTICALLY AT THE CELING AND FLOOR LEVELS.

A2. HORIZONTALLY AT INTERTVALS NOT EXXCEEDING 10 FT (3048 M). A3. AT ALL INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES SUCH AS SOFFITS, DROP CEILINGS, AND COVE CEILINGS.

A4. IN CONCEALED SPACES BETWEEN STAIR STRINGERS AT THE TOP AND BOTTOM OF THE RUN. ENCLOSED SPACES UNDER STAIRS SHALL COMPLY WITH SECTION R302.7. A5. AT OPENINGS AROUND CENTS, PIPES, DUCTS, CABLES, AND WIRES AT CEILING AND FLOOR LEVEL WITH AN APPROVED MATERIAL TO RESIST THE FREE PASSAGE OF FLAME AND PRODUITS OF COMBUSTION. THE MATERIAL FILLING THIS ANNULAR SPACE SHALL NOT BE REQUIRED TO MEET ATSM E 136

REUQIREMENTS A6. FOR THE FIREBLOCKING OF CHIMNEYS AND FIREPLACES, SEE SECTION R1003.19.

FOUNDATION NOTES

FIXTURE TYPE REDUCTION	FLOW RATE	MAXIMUM FLOW RATE AT ≥ 20
SHOWERHEADS	2.5 gpm @ 80 psi	2 gpm @ 80 psi
LAVATORY FAUCETS, RESIDENTIAL	1.2 gpm @ 60 psi	1.2 gpm @ 60 psi2
KITCHEN FAUCETS	2.2 gpm @ 60 psi	1.8 gpm @ 60 psi
GRAVITY TANK-TYPEWATER CLOSET	1.28 gallons/flush	1.28 gallons/flush1
FLUSHOMETER TANKWATER CLOSET	1.28 gallons/flush	1.28 gallons/flush1
FLUSHOMETER VALVEWATER CLOSET	1.28 gallons/flush	1.28 gallons/flush1
ELECTROMECHANICAL		
HYDRAULIC WATER CLOSET	1.28 gallons/flush	1.28 gallons/flush1
URINALS	1.0 gallon/flush	0.5 gallon/flush

1. INCLUDES SINGLE AND DUAL FLUSH WATER CLOSETS WITH AN EFFECTIVE FLUSH OF 1.28 GALLONS OR LESS.

SINGLE FLUSH TOLIETS - THE EFFECTIVE FLUSH VOLUME SHALL NOT EXCEED 1.28 GALLONS (4.8 LITERS). THE EFFECTIVE FLUSH VOLUME IS THE AVERAGE FLUSH VOLUME WHEN TESTED IN ACCORDANCE WITH ASME A112.19.233.2.

DUAL FLUSH TOLIETS - THE EFFECTIVE FLUSH VOLUME SHALL NOT EXCEED 1.28 GALLONS (4.8 LITERS). THE EFFECTIVE FLUSH VOLUME IS DEFINED AS THE COMPOSITE, AVERAGE FLUSH VOLUME OF TWO REDUCED FLUSHES AND ONE FULL FLUSH.

FLUSH VOLUMES WILL BE TESTED IN ACCORDANCE WITH ASME A112.19.2 AND ASME A112.19.14.

2. LAVATORY FAUCETS SHALL NOT HAVE A FLOW RATE LESS THAN 0.8 GMP AT 20 PSI.

3. LAVATORY FAUCETS SHALL HAVE A MAXIMUM FLOW OF 1.2 GPM.

TABLE 4.303.3 STANDARDS FOR PLUMBING FIXTURES & FITTINGS

FIXTURE		required standards
WATER CLOSETS - SINGLE FLUSHOMETI	ER	ASME A 112.19.2/CSA B45.1 - 1.28 gal (4.8 L)
WATER CLOSETS - DUAL FLUSHOMETER	•	ASME A 112.19.14 and U.S. EPA WaterSense Tank-Type y Toilet Specification - 1.28 gal (4.8 L).
WATER CLOSETS - TANK TYPE	Specification	U.S. EPA WaterSense Tank-Type High-Efficiency Toilet
URINALS, MAXIMUM FLUSH VOLUME		ASME A 112.19.2/CSA B45.1 - 0.5 gal (1.9 L)
URINALS, NONWATER URINALS		ASME A 112.19.19 (vitreous china)
PUBLIC LAVATORY FAUCETS: MAXIMUM FLOW RATE - 0.5 gpm (1.9	L/min)	ANSI Z124.9-2004 or IAPMO Z124.9 (plastic) ASME A 112.18.1/CSA B125.1
PUBLIC METERING SELF-CLOSING FAU MAXIMUM FLOW RATE - 0.25 gal (1.0)		ASME A 112.18.1/CSA B125.1
RESIDENTIAL BATHROOM LAVATORY S MAXIMUM FLOW RATE - 1.5 gpm (5.7		ASME A 112.18.1/CSA B125.1

1. ALL FOOTING DEPTHS INDICATED ON PLANS ARE DEPTHS BELOW TOP OF UNDISTURBED SOIL OR TOP OF ENGINEERED CERTIFIED COMPACTED FILL.

2. SOIL SHALL BE DAMPENED PRIOR TO PLACING CONCRETE IN FOOTINGS.

3. SUB-GRADE FOR SLABS SHALL BE UNDISTURBED ATIVE SOIL OR COMPACTED FILL.

4. FILL SOILS (IF USED) SHALL BE COMPACTED TO AT LEAST 90% MAXIMUM DRY DENSITY.

5. SLOPE GRADE AWAY FROM FOUNDATION WALLS A MINIMUM OF 2% TYPICAL FOR DISTANCE OF 5 FEET

6. ALL HOLD DOWN ANCHORS AND BASE PLATE ANCHORS TO BE TIED IN PLACE PRIOR TO CALLING

7. CONCRETE SLABS: 4" ACTUAL THICKNESS WITH 6 X 6 WI. 4 WELDED WIRE MESH AND MID HEIGHT OF SLAB. THE SLAB TO BE 3" THICK SAND ON 6 MIL. VAPOR BARRIER ON SAND BASE (OMIT VAPOR BARRIER AT EXTERIOR SLABS) UON. SLAB SUBSOIL SHALL BE THOROUGHLY MOISTENED PRIOR TO PLACEMENT OF VAPOR BARRIER AND CONCRETE.

8. ALL CONCRETE 2500 PSI@28 DAYS MINIMUM COMPRESSIVE STRENGTH UON ON PLANS.

9. WHERE 3000 PSI CONC. IS INDICATED ON PLANS SPECIAL INSPECTION IS REQUIRED.

10. PROVIDE NECESSARY OPENINGS IN STUD FRAME SHEAR WALLS AT CRAWL SPACE FOR DUCTWORK, ACCESS, ETC.

11. WATERPROOF EXTERIOR STEM FOUNDATION WALLS TO CRAWL SPACE, PROTECT WATERPROOF MEMBRANE DURING BACKFILLING.

12. PROVIDE 4" DIAMETER PERFORATED FRENCH DRAIN TO DAYLIGHT AWAY FROM FOUNDATION WALLS, BACKFILL WITH 1/2" DIAMETER GRAVEL FOR 15" WIDTH.

13. ALL REINFORCING SHALL BE PROVIDED WITH THE FOLLOWING MINIMUM CONCRETE COVER: A. FOOTING CAST AGAINST EARTH: 3" B. CONCRETE EXPOSED TO WEATHER OR EARTH: 2"

14. LAPS AT BAR SPLICES SHALL BE: 30 BAR DIAMETERS (12" MINIMUM) FOR GRADE 40 RE-BAR, 36 BAR DIAMETERS FOR GRADE 60 RE-BAR.

15. CONCRETE SLABS ON GRADE:

C. SLABS (4" AND SMALLER): 3/4"

A. LANDINGS AT ALL DOOR LOCATIONS SHALL HAVE A MINIMUM SLOPE OF 1/4" PER FOOT (SEC. B. SEAL ALL VOIDS AROUND PENETRATIONS THROUGH FLLOR SLABS (UPC SEC.313.1 AND UMC SEC.328.2 AS AMD).

16. CRAWL SPACES: PROVIDE CRAWL SPACE ACCESS MINIMUM 18" X 24" PER UBC.SEC.2317.5. PROVIDE CRAWL SPACE VENTS AT NEW CONCRETE STEM WALLS MINIMUM VENT AREA PER SECTION R408 OF THE 2013 CRC. VERIFY EXISITING VENTILLATION IS ADEQUATE.

17. PROVIDE SIMPSON POST BASE AT ISOLATED POST LOCATIONS.

1. PROVIDE ONE UTILITY DUPLEX OUTLET AT ALL WATER HEATER LOCATIONS WITHIN 5'0" OF UNIT.

MECHANICAL NOTES

2. PROVIDE SWITCHED INCANDESCENT LIGHT AT ALL FAU AND WH LOCATIONS.

3. ALL FIXTURES WITH HOSE OUTLETS (HOSE BIBS) AND LANDSCAPE IRRIGATION SHALL BE PROTECTED WITH BACKFLOW PREVENTERS (VACUUM BREAKERS) UPC.SEC.603.3.7.

4. THE MINIMUM CEILING INSULATION MUST BE R-30, UON.

5. THE MINIMUM WALL INSULATION SHALL BE R-19 IN FRAME WALLS, UON.

6. HVAC DUCTS SHALLS BE CONSTRUCTED, INSTALLED AND INSULATED PER CHAPTER 6 OF THE UMC.

7. DOORS AND WINDOWS BETWEEN CONDITIONED AND UNCONDITIONED SPACE SHALL BE FULLY WEATHERSTRIPPED.

8. EXHAUST FANS SHALL HAVE BACK-DRAFT DAMPERS OR AUTOMATIC DAMPERS.

9. A NIGHT SETBACK THERMOSTAT SHALL BE INSTALLED THAT CAN AUTOMATICALLY SET BACK THE THERMOSTATE SET POINTS FOR AT LEAST TWO PERIODS IN 24 HOURS.

10. THE HVAC EQUIPMENT INSTALLED SHALL BE A TYPE CERTIFIED BY THE CEC.

11. THE HOT WATER HEATER SHALL BE WRAPPED WITH AN R-12 EXTERNAL BLANKET.

12. FULLY INSULATE HOT WATER SUPPLY LINES. THE HOT WATER HEATER INLET AND OUTLET PIPE SHALL BE INSULATED TO R-13 OR GREATER FOR THE FIRST 5FEET IN UNCONDITIONAL SPACE.

13. THE WATER HEATING EQUIPMENT, SHOWER HEADS AND FAUCETS INSTALLED SHALL BE OF A TYPE CERTIFIED BY THE CEC.

14. INTERIOR WATER SUPPLY ALL COPPER PIPE, INSULATE.

15. PROVIDE GAS SUPPLY AT FAU AND WH LOCATIONS AND ALL APPLIANCE LOCATIONS INDICATED ON

16. MAIN HOUSE: WATER HEATER: EXISTING TO REMAIN.

17. MAIN HOUSE: HVAC: EXISTING TO REMAIN.

ACCORDANCE WITH UPC.SEC.608.5.

18. ALL GAS FIRED FURNACES AND GAS FIRD COOKING APPLIANCES SHALL BE EQUIPPED WITH AN APPROVED INTERMITTENT IGNITION DEVICE.

19. PROVIDE VAPOR BARRIERS FOR COLD CLIMATE ZONES 1, 14, AND 16.

20. ALL DUCTING AND JOINTS SHALL BE SEALED WITH PRESSURE SENSITIVE TAPE AND SHALL BE INSULATED TO CONFORM TO THE PROVISIONS OF UMC.

21. SHOWER HEADS AND FAUCETS SHALL BE EQUIPPED WITH FLOW RESTRICTIORS AS OUTLINED IN THE APPLIANCE EFFICIENCY STANDARDS AND SHALL BE CERTIFIED TO THE ENERGY COMMISSION.

ACCORDANCE WITH UMC.SEC.324.1. 23. APPROVED SPARK ARRESTORS SHALL BE INSTALLED ON ALL CHIMNEYS IN ACCORDANCE WITH SECTION

22. FAU CLOSET OR ALCOVE MUST BE 12" WIDER THAN THE FURNACE OR FURNACES BEING INSTALLED IN

R1006 OF THE 2019 CRC. 24. COMBUSTION AIR FOR FUEL BURNING WATER HEATERS WILL BE PROVIDED IN ACCORDANCE WITH THE

UNIFORM PLUMBING CODE. 25. PROVIDE T ANDP VALVE AT WATER HEATER. ROUTE DISCHARGE LINE TO EXTERIOR WALL AT GRADE IN

26. WATER HEATER MUST BE ADEQUATELY BRACED TO RESIST SEISMIC FORCES. PROVIDE TWO STRAPS (ONE STRAP AT TOP 1/3 OF THE TANK AND ONE STRAP AT BOTTOM 1/3 OF THE TANK). UPC. SEC.510.0. GAS-FIRED WATER HEATERS LOCATED IN GARAGESSHALL BE INSTALLED WITH THE BASE +18" ABOVE FINISHED FLOOR. UPC.SEC.510.1N& UMC.SEC.308.2.

27. IN SHOWER AND BATH TUB COMBINATIONS, CONTROL VALVES MUST BE PRESSURE BALANCED OR THERMOSTATIC MIXING VALVES UPC.SEC.410.7.

28. THE DISCHARGE POINT FOR EXHAUST AIR WILL BE AT LEAST 3 FEET FROM ANY OPENING WHICH ALLOWS AIR ENTRY INTO OCCUPIED PORTIONS OF THEBUILDING PER 2019 CMC, TITLE 24, PART 4.

29. DUCTLESS FANS CAN NOT BE USED IN BATHROOMS IF A TUB OR SHOWER IS PRESENT PER 2016 CRC.

30. SHOWER COMPONENTS AND BATHTUBS WITH INSTALLED SHOWER HEADS SHALL BE FINISHED WITH A NONABSORBANT SURFACE THAT EXTENDS TO A HEIGHT OF NOT LESS THAN 6 FEET ABOVE THE FLOOR [CRC

31. SHOWER ENCLOSURES SHALL BE SHOWER RODS, TEMPERED GLASS OR APPROVED EQUAL PER 2016 CRC.

32. GENERAL PLUMBING NOTES: A. SOLDERS AND FLUX HAVING A LEAD CONTENT IN EXCESS OF TWO TENTHS OF ONE PERCENT SHALL NOT BE USED IN THE INSTALLATION OR REPAIR OFANY PLUMBING IN RESIDENTAIL OR NON-RESIDENTIAL FACILITIES PROVIDING WATER FOR HUMAN CONSUMPTIONS WHICH ARE

CONNECTED TO PUBLIC WATER SYSTEMS PER 2016 CRC APPENDIX P. B. PLUMBING FIXTURES SHALL BE AS FOLLOWS:

B1. WATER CLOSETS: PROVIDE ULTRA LOW FLUSH TOLIETS B2. GRAVITY: 1.28 GAL. PER FLUSH (MAX)

B3. FLUSH VALVES: 3.5 GAL. PER FLUSH (MAX)

B4. URINALS: 1.0 GAL. PER FLUSH (MAX) B5. SHOWER HEADS: 2.0 GAL PER MINUTE (MAX)

B6. LAVATORY SINK FAUCETS: 1.2 GAL. PER MINUTE (MAX) C. HOT WATER SHALL BE THE LEFT FITTING AT ALL FAUCETS.

D. HOSE BIBS: PERMANENT VACUUM BREAKERS SHALL BE INCLUDED WITH ALL NEW HOSE BIBS.

33. PROVIDE 4" DIAMETER DRYER EXHAUST TO EXTERIOR 14' MAXIMUM LENTH PER 2016 CRC APPENDIX P.

34. PROVIDE DISHWASHER WITH AN APPROVEDD AIR CAP PER 2019 CRC.

35. PROVIDE FIRE SPRINKLERS PER 2016 CRC REQUIREMENTS AS AMENDED.

36. ALL MECHANICAL WORK TO COMPLY WITH THE 2015 EDITION OF THE UMC.

38. INSTALL FLOOR DRAIN WHERE INDICATED PER CODE TO REMAIN IN FULL VIEW AND TIE INTO SANITARY SEWER.

37. PRIMARY CONDENSATE WASTE WILL ROUTE TO TRAPPED PLUMBING FIXTURE FOR DISPOSAL.

39. STATE HEALTH AND SAFETY CODE SEC.17921.9 BANS THE USE OF CLORINATED POLYVINYL CLORIDE (CPVC) FOR INTERIOR WATER – SUPPLYING PIPING.

40. PROVIDE 5 AIR CHANGES PER HOUR FOR BATHROOM AND LAUNDRY ROOM VENTILLATION, DISCHARCHING TO THE EXTERIOR OF THE BUILDING NOT CLOSER THAN 3' FROM ANY EXTERIOR OPENING.

41. ENVIORNMENT AIR DUCTS AND EXHAUST TERMINATES SHALL OCCUR NOT LESS THAN 3' FROM A PROPERTY LINE A 3' FROM OPENINGS INTO THE BUIDLING.

42. THE MINIMUM ALLOWABLE OPENING FOR ATTTIC ACCESS SHALL BE 30" X 30". A. EXCEPTION: THE MINUMUM OPENING SIZE MAY BE 22" X 30" IF THE FOLLOWING NOTE IS ADDED

"THE LARGEST PIECE OF EQUIPMENT CAN BE MOVED THROUGH THE OPENING". 43. ATTIC/UNDERFLOOR INSTALLATION MUST COMPLY WITH SECTIONS904, 908, 909 OF THE CMC (CALIFORNIA MECHANICAL CODE).

FIRE DEPARTMENT NOTES

 FIRE PROTECTION, INCLUDING FIRE APPARATUS ACCESS ROADS AND WATER SUPPLIES FOR FIRE PROTECTION, SHALL BE INSTALLED AND MADE SERVICEABLE PRIOR TO AND DURING THE TIME OF CONSTRUCTION (CFC APPENDIX C&D, INTERNATIONAL FIRE CODE).

2. BUILDINGS UNDERGOING CONSTRUCTION, ALTERATION OR DEMOLITION SHALLBE IN ACCORDANCE WITH CFC CHAPTER 13. (CFC 1401)

3. DECORATIVE MATERIALS SHALL BE MAINTAINED IN A FLAME-RETARDANT CONDITION.

4. COMPLETE PLANS AND SPECIFICATIONS FOR FIRE ALARM SYSTEMS; FIRE SYSTEMS, INCLUDING AUTOMATIC SPRINKLERS AND WET AND DRY STANDPIPES, HALON SYSTEMS AND OTHER SPECIAL TYPES OF AUTOMATIC FIRE SYSTEMS, BASEMENT PIPE INLETS, AND OTHER FIRE SYSTEMS AND APPURTENANCES THERETO SHALL BE SUBMITTED TO FIRE AND LIFE SAFETY FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION IN ACCORDANCE

5. FIRE SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH CBC.901.4.

6. COMPLETE PLANS AND SPECIFICATIONS FOR FIRE ALARM SYSTEMS SHALL BE SUBMITTED TO FIRE AND LIFE SAFETY FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION IN ACCORDNACE WITH CFC 901.2.

7. INSTALLATION OF FIRE ALARM SYSTEMS SHALL BE IN ACCORDANCE WITH CFC 903.3.

8. AN APPROVED AUDIBLE SPRINKER FLOW ALARM SHALL BE PROVIDED ON THE EXTERIOR OF THE BUILDING IN AN APPROVED LOCATION. AN APPROVED AUDIBLE SPRINKLER FLOW ALARM TO ALERT THE OCCUPANTS SHALL BE PROVIDED IN THE INTERIOR OF THE BUILDING IN A NORMALLY OCCUPIED LOCATION IN ACCORDANCE WITH CFC 903.4.2.

9. AN APPROVED VEHICLE STROBE DETECTOR SYSTEM, WITH KNOX KEY SWITCH OVERRIDE, SATISFACTORY TO THE FIRE MARSHALL, SHALL BE PROVIDED ON ALL VEHICLE MAIN ENTRY AND EMERGENCY ENTRY POINTS TO

10. DURING CONSTRUCTION, AT LEAST ONE EXTINGUISHER SHALL BE PROVIDED ON EACH FLOOR LEVEL AT EACH STAIRWAY, IN ALL STORAGE AND CONSTRUCTION SHEDS, IN LOCATIONS WHERE FLAMMABLE OR COMBUSTIBLE LIQUIDS ARE USED OR STORED, AND WHERE EVER OTHER SPECIAL HAZARDS AE PRESENT PER CFC. SECTION.3315.1.

11. BUILDINGS UNDERGOING CONSTRUCTON, ALTERATION OR DEMOLITION SHALL CONFORM TO CFC CHAPTER 33. WELDING, CUTTING AND OTHER HOT WORK SHALL BE IN CONFORMANCE WITH CFC CHAPTER 35.

12. ADDRESS IDENTIFICATION SHALL BE PROVIDED FOR ALL NEW AND EXISTING BUILDINGS IN A LOCATION THAT IS PLAINLY VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. WHERE ACCESS IS BY WAY OF PRIVATE ROAD AND THE BUILDING ADDRESS CANNOT BE VIEWED FROM THE PUBLIC WAY, AN APPROVEDSIGN OR MEANS SHALL BE USED TO IDENTIFY THE STRUCTURE. PREMISES IDENTIFICATION SHALL CONFORM TO CBC SECTION 501.2.

13. WALL, FLOOR AND CEILING FINISHES AND MATERIALS SHALL NOT EXCEED THE INTERIOR FINISH CLASSIFICATIONS IN CBC TABLE 803.9 AND SHALL MEET THE FLAME PROPAGATION PERFORMANCE CRITERIA OF THE CALIFORNIA CODE OF REGULATIONS, TITLE 19, DIVISION 1. DECORATIVE MATERIALS SHALL BE PROPERLY TREATED BY A PRODUCT OR PROCESS APPROVED BY THE STATE FIRE MARSHALL WITH APPROPRIATE DOCUMENTATION PROVIDED TO THE COUNTY OF SAN DIEGO.

14. DUMPSTERS AND TRASH CONTAINERS EXCEEDING 1.5 CUBIC YARDS SHALL NOT BE STORED IN BUILDINGS OR PLACED WITHIN 5 FEET OF COMBUSTIBLE WALLS, OPENINGS, OR COMBUSTIBLE ROOF EAVE LINES UNLESS PROTECTED BY AND APPROVED SPRINKLER SYSTEM OR LOCATED IN A TYPE I OR IIA STRUCTURE SEPERATED BY 10 FEET FROM THE OTHER STRUCTURES. CONTAINERS LARGER THAN 1 CUBIC YARD SHALL BE OF NON-OR LIMITED-COMBUSTIBLE MATERIALS OR SIMILARLY PROTECTED OR SEPERATED IN ACCORDANCE WITH CFC.304.3.

15. OPEN FLAMES, FIRE, AND BURNING ON ALL PREMISES IS PROHIBITED EXCEPT AS SPECIFCIALLY PERMITTED BY THE COUNTY OF SAN DIEGO AND CFC 308.

D. SHALL BE INSTALLED NOT LESS THAN 3' HORIZONTALLY FROM THE OPENING OF A BATHROOM THAT

16. PROVIDE A SPARK ARRESTORY THAT MEETS ALL THE REQUIREMENTS SET FORTH IN SECTION R1003.9.2.

17. PROVIDE SMOKE ALARMS, INTERCONNECTED AND HARD-WIRED WITH BATTERY BACK-UP:

A. WITHIN EACH SLEEPING ROOM. B. OUTSIDE EACH SEPARATE SLEEPING AREA IN IMMENDIATE VICINITY OF BEDROOMS. C. EACH STORY OF THE DWELLING, INCLUDING BASEMENTS AND HABITABLE ATTICS.

CONTAINS A BATH ORSHOWER. 18. PROVIDE CARBON MONOXIDE ALARMS, INTERCONNECTED AND HARD-WIRED WITH BATTERY BACK-UP: A. OUTSIDE EACH SEPARATE DWELLING UNIT SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE

BEDROOMS. B. ON EVERY LEVEL OF A DWELLING UNIT INCLUDING BASEMENTS.

SUPPORTING THE FLOOR/CEILING ASSEMBLY PER CRC TABLE R302.6.

HONEYOMB-CORE, 20-MINUTE FIRE-RATED.

C. WHERE A FUELD BURNING APPLIANCE IS LOCATED WITHIN A BEDROOM OR ATTACHED BATHROOM.

BUILDING NOTES

1. PROVIDE A MINIMUM 1/2" GYPSUM BOARD APPLIED TO THE GARAGE SIDE OF WALLS SEPARATING THE GARAGE FROM THE DWELLING AND ATTACS PER CRC TABLE R302.6.

2. PROVIDE A MINIMUM 5/8" TYPE X GYPSUM BOARD ON THE GARAGE SIDE OF THE FLOOR/CEILING ASSEMBLY SUPPORTING HABITABLE ROOMS ABOVE THE GARAGE PER CRC TABLE R302.6.

3. PROVIDE A MINUMUM 1/2" GYPSUM BOARD IN ORDER TO PROTECT THE STRUCTURAL ELEMENTS

4. PROVIDE A SELF-CLOSING AND SELF-LATCHING DOOR AT THE OPENING BETWEEN THE GARAGE AND SPRINKLERED DWELLING UNIT. THE DOOR TYPE SHALL MEET ONE OF THE FOLLOWING REQUIREMENTS PER CRC R302.5. 1: MINIMUM 1-3/8" THICK SOLID WOOD, MINIMUM 1-3/8" THICK STEEL DOOR WITH

5. PROVIDE A MINIMUM 36" CLEAR WIDTH FOR THE STAIRS. PER CRC R311.7.1, HANDRAILS SHOULD NOT PROJECT MORE THAN 4.5 INCHES ON EITHER SIDE OF A STAIRWAY.

6. PROTECT THE ENCLOSED ACCESSIBLE SPACE UNDER THE STAIRS WITH ½" GYPSUM BOARD ON THE CLOSED SIDE PER CRC R302.7.

7. THIS PROJECT SHALL COMPLY WITH 2019 CA GREEN BUILDING STANDARDS CODE.

SPECIAL INSPECTIONS

NOTICE TO THE APPLICANT/OWNDER/OWNER'S AGENT/ARCHITECT/ENGINEER OF RECORD: BY USING THIS SET OF PERMITTED CONSTRUCTION DRAWINGS FOR CONSTRUCTION/INSTALLATION OF THE WORK SPECIFIED HERIN, YOU AGREE TO COMPLY WITH THE REQUIREMENTS OF THE COUNTY OF SAN DIEGO FOR SPECIAL INSPECTIONS, STRUCTURAL OBSERVATIONS, CONSTRUCTION MATERIAL TESTING AND OFF-SITE FABRICATION OF BUILDING COMPONENTS, CONTAINED IN THE STATEMENT OF SPECIAL INSPECTIONS AND, AS REQUIRED BY THE CALIFORNIA CONSTRUCTION CODES.

NOTICE TO THE CONTRACTOR/BUILDER/INSTALLER/SUB-CONTRACTORS/OWNER-BUILDER:

BY USING THIS SET OF PERMITTED CONSTRUCTION DRAWINGS FOR CONSTRUCTION/INSTALLATION OF THE WORK SPECIFIED HERIN, YOU AGREE TO COMPLY WITH THE REQUIREMENTS OF THE COUNTY OF SAN DIEGO FOR SPECIAL INSPECTIONS, STRUCTURAL OBSERVATIONS, CONSTRUCTION MATERIAL TESTING AND OFF-SITE FABRICATION OF BUILDING COMPONENTS, CONTAINED IN THE STATEMENT OF SPECIAL INSPECTIONS AND, AS REQUIRED BY THE CALIFORNIA CONSTRUCTION CODES.

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CA GREEN

Electrical, Plumbing, and Mechanical

- **Exterior lighting.** All projects shall comply with the County of San Diego lighting ordinance. GFCI outlets. Ground Fault Circuit Interrupter (GFCI) outlets are required in bathrooms, at kitchen
- laundry and wet bar sinks, in garages, in crawlspaces, in unfinished basements, countertops, at and outdoors. (CEC 210.8) 3. AFCI outlets. Electrical circuits in bedrooms, living rooms, dining rooms, dens, closets, hallways, or similar
- be protected by Arc Fault Circuit Interrupters (AFCI). (CEC 210.12) rooms must Luminaire requirements. Installed luminaires shall meet the efficacy and fixture requirements of CBEES 150.0(k).
 - Smoke detectors in building remodels. Smoke detectors are required in each existing sleeping room, outside each separate sleeping area in the immediate vicinity of sleeping rooms, and on each story of a dwelling including basements. Battery-operated detectors are acceptable in existing areas with no construction taking place and in alterations not resulting in removal of interior wall or ceiling finishes and seismic loads. (CRC R602.10.1. without access via an attic, crawl space, or basement. (CRC R314.3)
 - 6. Carbon monoxide detectors in building remodels. Carbon monoxide detectors are required outside sleeping area in the immediate vicinity of sleeping rooms and on each story of a dwelling including basements. Battery-operated detectors are acceptable in existing areas with no construction taking place and in alterations not resulting in removal of interior wall or ceiling finishes and without access via an attic, crawl space, or basement. (CRC R315.3)
 - 7. Water heater seismic strapping. Minimum two 3/4-inch-by-24-gauge straps required around water heaters, with 1/4- inch-by-3-inch lag bolts attached directly to framing. Straps shall be at points within upper third and lower third of water heater vertical dimension. Lower connection shall occur minimum 4 inches above controls. (CPC 507.2)
- 8. Gas appliances in garages. Water heaters and heating/cooling equipment capable of igniting flammable vapors shall be placed on minimum 18-inch-high platform unless listing report number provided showing ignition-resistant appliance. (CPC 507.13 and CMC 305.1) Impact protection of appliances. Water heaters and heating/cooling equipment subject to vehicular
- impact shall be protected by bollards or an equivalent measure. (CPC 507.13.1 and CMC 305.11) Water closet clearance. Minimum 30-inch-wide by 24-inch-deep clearance required at front of water closets. (CPC
- 11. **Shower size.** Shower compartments shall have minimum area of 1024 square inches and be able to inch-diameter circle. Shower doors shall have a minimum 22-inch unobstructed width. encompass a 30-(CPC 408.5 and CPC 408.6)
- 12. Fireplace appliances. Fireplaces with gas appliances are required to have the flue damper permanently fixed in the open position and fireplaces with LPG appliances are to have no 'pit' or 'sump' configurations. (CMC 303.7.1)
- 13. Chimney clearance. Minimum 2-foot chimney clearance required above building within 10-foot horizontally of chimney. The chimney shall extend minimum 3 feet above highest point where chimney passes through roof. (CRC

Mechanical Ventilation and Indoor Air Quality (ASHRAE 62.2-2010)

- **Transfer air.** Ventilation air shall be provided directly from the outdoors and not as transfer air from adjacent dwelling units or other spaces, such as garages, unconditioned crawlspaces, or unconditioned attics. (CBEES 150.0(o) **Instructions and labeling.** Ventilation system controls shall be labeled and the home owner shall be
- instructions on how to operate the system. CBEES 150.0(o)) provided with Combustion and solid-fuel burning appliances. Combustion appliances shall be properly vented and
- air systems shall be designed to prevent back drafting. (CBEES 150.0(o)) Garages. The wall and openings between occupiable spaces and the garage shall be sealed. HVAC systems that include air handlers or return ducts located in garages shall have total air leakage of
- no more than 6% of total fan flow when measured at 0.1 in. w.c. using California Title 24 or equivalents. (CBEES 150.0(o)) Minimum filtration. Mechanical systems supplying air to occupiable space through ductwork shall be
- filter having a minimum efficiency of MERV 6 or better. (CBEES 150.0(o)) provided with a Air inlets. Air inlets (not exhaust) shall be located away from known contaminants. (CBEES 150.0(o)) Air moving equipment. Air moving equipment used to meet either the whole-building ventilation requirement or the local ventilation exhaust requirement shall be rated in terms of airflow and sound. (CBEES 150.0(o))
 - All continuously operating fans shall be rated at a maximum of 1.0 sone. Intermittently operated whole-building ventilation fans shall be rated at a maximum of 1.0
- sone. Intermittently operated local exhaust fans shall be rated at maximum of 3.0 sone. Remotely located air-moving equipment (mounted outside of habitable spaces) need not

meet sound

Foundation reinforcement. Continuous footings and stem walls shall be provided with a minimum two longitudinal No. 4 bars, one at the top and one at the bottom of the footing. (CRC R403.1.3.3) **Shear wall foundation support.** Shear walls shall be supported by continuous foundations. (CRC 403.1.2)

requirements if at least 4 feet of ductwork between fan and intake grill.

- Concrete slabs-on-grade. Slabs-on-grade shall be minimum 3-1/2-inches thick. (CRC R506.1) Vapor retarder. A 6-mil polyethylene or approved vapor retarder with joints lapped minimum 6 inches shall be placed between a concrete slab-on-grade and the base course or subgrade. (CRC 506.2.3) 5. Anchor bolts and sills. Foundation plates or sills shall be bolted or anchored to the foundation or
- foundation wall per the following (CRC R403.1.6 and CRC R602.11.1): Minimum 1/2-inch-diameter steel bolts
- Bolts embedded at least 7 inches into concrete or masonry Bolts spaced maximum 6 feet on center
- Minimum two bolts per plate/sill piece with one bolt located maximum 12 inches and minimum the cut
- 7 bolt diameters from each end of each sill plate/piece Minimum 3-inch by 3-inch by 0.299-inch steel plate washer between sill and nut on each bolt
- **Hold-downs.** All hold-downs must be tied in place prior to foundation inspection. Protection of wood against decay. Naturally durable or preservative-treated wood shall be provided in
- the following locations (CRC R317.1): All wood in contact with ground, embedded in concrete in direct contact with ground, or
- embedded in concrete exposed to weather Wood joists within 18 inches and wood girders within 12 inches of the exposed ground in crawl spaces shall be of naturally durable or preservative-treated wood
- Wood framing members that rest on concrete or masonry exterior foundation walls and are less than 8 inches from exposed earth shall be of naturally durable or preservative-treated wood Wood framing, sheathing, and siding on the exterior of the building and having clearance less from the exposed ground or less than 2 inches vertically from concrete steps, than 6 inches
- porch slabs, patio slabs, and similar horizontal surface exposed to weather Sills and sleepers on concrete or masonry slab in direct contact with ground unless separated by impervious moisture barrier from such slab
- Ends of wood girders entering masonry or concrete walls with clearances less than 1/2 inch or tops, sides, and Wood structural members supporting moisture-permeable floors or roofs exposed to weather,
- concrete or masonry slabs, unless separated from such floors or roofs by an such as impervious moisture barrier
- Wood furring strips or other wood framing members attached directly to interior of exterior masonry walls below grade except where vapor retarder applied between concrete or wall and furring strips or framing **Underfloor ventilation.** Underfloor areas shall have ventilation openings through foundation walls or exterior walls, with minimum net area of ventilation openings of 1 square foot for each 150 square feet of underfloor area. On such
- (CRC R408.1) **Underfloor access.** Underfloor areas shall be provided with a minimum 18-inch by 24-inch access opening. (CRC

Wood Framing

- Fastener requirements. The number, size, and spacing of fasteners connecting wood members/elements shall not be less than that set forth in CRC Table R602.3(1). (CRC R502.9, CRC R602.3, and CRC R802.2)
- 2. Stud size, height, and spacing. The size, height, and spacing of studs shall be in accordance with CRC Table R602.3(5). 3. Sill plate. Studs shall have full bearing on nominal 2-inch thick or larger sill plate with width at least
- equal to stud width. (CRC R602.3.4) **4. Bearing studs.** Where joists, trusses, or rafters are spaced more than 16 inches on center and the bearing studs below are spaced 24 inches on center, such members shall bear within 5 inches of the studs
- beneath. (CRC R602.3.3) 5. **Drilling and notching of studs.** Any stud in an exterior wall or bearing partition may be cut or notched to a depth not exceeding 25% of its width. Studs in nonbearing partitions may be notched to a depth not to stud width. Any stud may be bored or drilled, provided the diameter of the exceed 40% of a single resulting hole is no more than 60% of the stud width, the edge of the hole is no more than 5/8 inch to the edge of the stud, and the hole is not located in the same section as a cut or notch.
- Studs located in exterior wall or bearing partitions drilled over 40% and up to 60% shall also be doubled with no more than two successive studs bored. (CRC R602.6)
- **6. Top plate.** Wood stud walls shall be capped with a double top plate installed to provide overlapping at corners and at intersections with other partitions. End joints in double top plates shall be offset at least 24 need not occur over studs. Plates shall be minimum nominal 2 inches thick and | points of bearing at inches. Joints in plates have width at least equal to width of studs. (CRC R602.3.2)
- **Top plate splices.** Top plate lap splices shall be face-nailed with minimum 8 16d nails on each side of splice. (CRC

- **Drilling and notching of top plate.** When piping or ductwork is placed in or partly in an exterior wall or interior load- bearing wall, necessitating cutting, drilling, or notching of the top plate by more than 50% of its width, a galvanized metal tie not less than 0.054-inch thick and 1-1/2-inches wide shall be fastened across and to the plate at each side of the opening with not less than 8 10d nails having a minimum length of 1-1/2 inches at each side or equivalent. The metal tie must extend minimum 6 inches past the opening. (CRC
- **Cripple walls.** Foundation cripple walls shall be framed of studs not less in size than the studding above. Cripple walls more than 4 feet in height shall have studs sized as required for an additional story. Cripple walls with stud height less than 14 inches shall be sheathed on at least one side with a wood structural panel fastened to both the top and bottom plates in accordance with Table R602.3(1), or the cripple walls shall be constructed of solid blocking. Cripple walls shall be supported on continuous foundations. (CRC R602.9)
- 10. Wall bracing. Buildings shall be braced in accordance with the methods allowed per CRC R602.10.2,
- CRC R602.10.4, and/or CRC R602.10.5. 11. Braced wall line spacing. Spacing between braced wall lines shall not exceed 20 feet or alternate provisions of CRC
- 12. Shear wall cumulative length. The cumulative length of shear walls within each braced wall line shall meet the provisions of CRC Table R602.10.3(1) for wind loads and CRC Table R602.10.3(2) for
- **Shear wall spacing.** Shear walls shall be located not more than 25 feet on center. (CRC R602.10.2.2) 14. Shear wall offset. Shear walls may be offset out-of-plan not more than 4 feet from the designated and not more than 8 feet from any other offset wall considered part of the braced wall line
- same braced wall line. (CRC R602.10.1.2) 15. Shear wall location. Shear walls shall be located at the ends of each braced wall line or meet the of CRC R602.10.2.2. alternate provisions
 - Individual shear wall length. Shear walls shall meet minimum length requirements of CRC R602.10.6.5.1.
 - Cripple wall bracing. Cripple walls shall be braced per CRC R602.10.11 Shear wall and diaphragm nailing. All shear walls, roof diaphragms, and floor diaphragms shall be
- supporting construction per CRC Table R602.3(1). (CRC R604.3) nailed to 19. **Shear wall joints.** All vertical joints in shear wall sheathing shall occur over, and be fastened to, Horizontal joints in shear walls shall occur over, and be fastened to, minimum common studs -1/2-inch-thick blocking. (CRC R602.10.10)
- Framing over openings. Headers, double joists, or trusses of adequate size to transfer loads to vertical members shall be provided over window and door openings in load-bearing walls and partitions. (CBC 2304.3.2)
- 21. Joists under bearing partitions. Joists under parallel bearing partitions shall be of adequate size to Double joists, sized to adequately support the load, that are separated to support the load. permit the installation of piping or vents shall be full-depth solid-blocked with minimum 2-inch nominal lumber spaced at maximum 4 feet on center. Bearing partitions perpendicular to joists shall not be offset from supporting girders, walls, or partitions more than the joist depth unless such joists are of sufficient size to carry the additional load. (CRC R502.4)
 - 22. Joists above or below shear walls. Where joists are perpendicular to a shear wall above or below, a rim joist, band joist, or blocking shall be provided along the entire length of the shear wall. Where joists are parallel to a shear wall above or below, a rim joist, end joist, or other parallel framing shall be provided directly above and/or below the shear wall. Where a parallel framing member cannot be located directly above and/or below the shear wall, full-depth blocking at 16-inch spacing shall be provided between the parallel framing members to each side of the shear wall. (CRC R602.10.8)
- 23. Floor member bearing. The ends of each floor joist, beam, or girder shall have minimum 1-1/2 inches of wood or metal and minimum 3 inches of bearing on masonry or concrete except where supported on a 1-inch-by-4inch ribbon strip and nailed to the adjoining stud or by the use of approved joist hangers. (CRC R502.6)
- 24. Floor joist lap. Floor joists framing opposite sides over a bearing support shall lap minimum 3 inches and shall be nailed together within minimum 3 10d face nails. A wood or metal splice with strength equal to or provided by the lap is permitted. (CRC R502.6.1) greater than that
- **25.** Floor joist-to-girder support. Floor joists framing into the side of a wood girder shall be supported by approved framing anchors or on ledger strips minimum nominal 2 inches by 2 inches. (CRC R502.6.2) **26.** Floor joist lateral restraint. Floor joists shall be supported laterally at ends and each intermediate support by minimum 2- inch full-depth blocking, by attachment to full-depth header, band joist, or rim joist, to an adjoining stud, or shall be otherwise provided with lateral support to prevent rotation. (CRC
- 27. Floor joist bridging. Floor joists exceeding nominal 2 inches by 12 inches shall be supported laterally by diagonal bridging (wood or metal), or a continuous 1-inch-by-3-inch strip nailed across the solid blocking, perpendicular to joists at maximum 8-foot intervals. (CRC R502.7.1) bottom of joists **27. Floor joist bridging.** Floor joists exceeding nominal 2 inches by 12 inches shall be supported laterally by diagonal bridging (wood or metal), or a continuous 1-inch-by-3-inch strip nailed across the solid blockina, perpendicular to joists at maximum 8-foot intervals. (CRC R502.7.1)
 - 28. Framing of floor openings. Openings in floor framing shall be framed with a header and trimmer joists. When the header joist span does not exceed 4 feet, the header joist may be a single member the same size as the floor joist. Single trimmer joists may be used to carry a single header joist located within 3 feet of the trimmer joist bearing. When the header joist span exceeds 4 feet, the trimmer joists and header joist shall be doubled and of sufficient cross section to support the floor joists framing into the header. Approved hangers shall be used for the header-joist-to-trimmer-joist connections when the header joist span exceeds 6 feet. Tail joists over 12 feet long shall be supported at the header by
 - framing anchors or on ledger strips minimum 2 inches by 2 inches. (CRC R502.10) 29. Girders. Girders for single-story construction or girders supporting loads from a single floor shall not be less than 4 inches by 6 inches for spans 6 feet or less, provided that girders are spaced not more than 8 feet on center. Other girders shall be designed to support the loads specified in the CBC. Girder end joints shall occur over supports. When a girder is spliced over a support, an adequate tie shall be provided. The ends of beams or girders supported on masonry or concrete shall not have less than 3 inches of
- **Ridges**, hips, and valleys. Rafters shall be framed to a ridge board or to each other with a gusset plate as a tie. Ridge boards shall be minimum 1-inch nominal thickness and not less in depth than the cut end of the rafter. At all valley and hips, there shall be a valley or hip rafter not less than 2-inch nominal thickness and not less in depth than end of the rafter. Hip and valley rafters shall be supported at the ridge by a brace to a bearing partition or be designed to carry and distribute the specific load at that point. Where the roof pitch is less than 3:12 slope (25% gradient), structural members that support rafters and ceilings joists, such as ridges, hips, and valleys, shall be designed as beams. (CRC R802.3)

Wood Framing (Continued)

space. Collar ties

- 31. Ceiling joist and rafter connections. Ceiling joists and rafters shall be nailed to each other per CRC Table R802.5.1(9), and the rafter shall be nailed to the wall top plate per CRC Table R602.3(1). Ceiling joists shall be continuous or securely joined per CRC Table R802.5.1(9) where they meet over interior partitions and are nailed to adjacent rafters — to provide a continuous — tie plate, joists connected higher in the attic shall be installed as rafter ties, or rafter ties shall be installed to provide a continuous tie. Where ceiling joists are not parallel to rafters, rafter ties shall be installed. Rafter ties shall be minimum 2 inches by 4 inches nominal, installed per CRC Table R802.5.1(9), or connections of equivalent capacities shall be provided. Where ceilings joists or rafter ties are not provided, the ridge formed by these rafters shall be supported by a wall | G. or engineer-designed girder. (CRC R802.3.1)
- Ceiling joists lapped. Ends of ceiling joists shall be lapped minimum 3 inches or butted over bearing beams and toenailed to the bearing element. Where ceiling joists provide shall be nailed together per CRC Table R602.3(1) and resistance to rafter thrust, lapped joists butted joists shall be tied together in a manner to resist such thrust. (CRCR802.3.2) 33. Collar ties. Collar ties or ridge straps to resist wind uplift shall be connected in the upper third of the attic shall be a minimum 1 inch by 4 inches nominal and spaced at maximum 4 feet
- on center. (CRC R802.3.1) **34. Purlins.** Purlins installed to reduce the span of rafters shall be sized not less than the required size of the rafters they support. Purlins shall be continuous and shall be supported by 2-inch-by-4-inch nominal ventilating opening shall be within 3 feet of each corner of the building. | braces installed to bearing walls at a minimum 45-degree slope from horizontal. The braces shall be spaced maximum 4 feet on center with a maximum 8-foot unbraced length. (CRC R802.5.1)
 - **35.** Roof/ceiling member bearing. The ends of each rafter or ceiling joist shall have not less than 1-1/2 inches or metal and not less than 3 inches of bearing on masonry or concrete. (CRC R802.6) of bearing on wood 36. Roof/ceiling member lateral support. Roof framing members and ceiling joists with a nominal depth-tothickness ratio exceeding 5:1 shall be provided with lateral support at points of bearing to prevent
 - rotation. (CRC R802.8) 37. Roof/ceiling bridging. Rafters and ceiling joists with a nominal depth-to-thickness ratio exceeding 6:1 shall be supported laterally by solid blocking, diagonal bridging (wood or metal), or a continuous 1inch-by-3-inch wood strip nailed across the rafters or ceiling joists at maximum 8-foot intervals. (CRC
 - **38.** Framing of roof/ceiling openings. Openings in roof and ceiling framing shall be framed with a header and trimmer joists. When the header joist span does not exceed 4 feet, the header joist may be a single member the same size as the ceiling joist or rafter. Single trimmer joists may be used to carry a single header joist located within 3 feet of the trimmer joist bearing. When the header joist span exceeds 4 feet, the trimmer joists and header joist shall be doubled and of sufficient cross section to support the ceiling joists or rafters framing into the header. Approved hangers shall be used for the header-joist-to-trimmer- joist connections when the header joist span exceeds 6 feet. Tail joists over 12 feet long shall be supported at the header by
 - framing anchors or on ledger strips minimum 2 inches by 2 inches. (CRC R502.10) **39.** Roof framing above shear walls. Rafters or roof trusses shall be connected to top plates of shear walls between the rafters or trusses. (CRC R602.10.8) with blockina
 - **Roof diaphragm under fill framing.** Roof plywood shall be continuous under California fill framing. Roof diaphragm at ridges. Minimum 2-inch nominal blocking required for roof diaphragm nailing at **42. Blocking of roof trusses.** Minimum 2-inch nominal blocking required between trusses at ridge lines and at
 - 43. Truss clearance. Minimum 1/2-inch clearance required between top plates of interior non-bearing partitions and bottom chords of trusses.

exterior walls.

- 44. Drilling, cutting, and notching of roof/floor framing. Notches in solid lumber joists, rafters, blocking, and beams shall not exceed one-sixth the member depth, shall be not longer than one-third the member depth, and shall not be located in the middle one-third of the span. Notches at member ends shall not exceed one-fourth the member depth. The tension side of members 4 inches or greater in nominal thickness shall not be notched except at member ends. The diameter of holes bored or cut into members shall not exceed one-third the member depth. Holes shall not be closer than 2 inches to the top or bottom of the member or to any other hole located in the member. Where the member is also notched, the hole shall not be closer than 2 inches to the notch. (CRC R502.8.1)
- **45. Exterior landings, decks, balconies, and stairs.** Such elements shall be positively anchored to the both vertical and lateral forces or shall be designed to be selfprimary structure to resist supporting. Attachment shall not be accomplished by use of toenails or nails subject to withdrawal.
- (CRC R311.3) Fireblocking. Fireblocking shall be provided in the following locations (CRC R302.11 and CRC R1003.19): a. In concealed spaces of stud walls and partitions, including furred spaces, and parallel rows of
 - studs or staggered studs, as follows: Vertically at the ceiling and floor levels Horizontally at intervals not exceeding 10 feet
 - **b.** At all interconnections between concealed vertical and horizontal spaces such as occur at soffits, drop ceilings, and cove ceilings
 - **c.** In concealed spaces between stair stringers at the top and bottom of the run At openings around vents, pipes, ducts, cables and wires at ceiling and floor level, with an approved material to resist the free passage of flame and products of combustion
 - At chimneys and fireplaces per item E.49 Cornices of a two-family dwelling at the line of dwelling-unit separation
 - Fireblocking materials. Except as otherwise specified in items E.48 and E.49, fireblocking shall consist of the following materials with the integrity maintained (CRC R302.11.1):
 - Two-inch nominal lumber Two thicknesses of one-inch nominal lumber with broken lap joints
 - One thickness of 23/32-inch wood structural panel with joints backed by 23/32-inch wood structural panel
 - One thickness of 3/4-inch particleboard with joints backed by 3/4-inch particleboard
 - 1/2-inch gypsum board 1/4-inch cement-based millboard
- Batts or blankets of mineral or glass fiber of other approved materials installed in such a manner as to be securely retained in place. Batts or blankets of mineral or glass fiber or other approved non-rigid materials shall be permitted for compliance with the 10-foot horizontal fireblocking in walls constructed using parallel rows of studs or staggered
- Unfaced fiberglass batt insulation used as fireblocking shall fill the entire cross-section of the wall cavity to a minimum height of 16 inches measured vertically. When piping, conduit, or similar obstructions are insulation shall be packed tightly around the obstruction. Loose-fill insulation material shall not be used as a fireblock unless specifically tested in the form and manner intended for use to demonstrate its ability to remain in place and to retard the spread
 - Fireblocking at openings around vents, pipes, ducts, cables, and wires at ceiling & floor level. Such openings shall be fireblocked with an approved material to resist the free passage of flame and products of combustion. (CRC R302.11)
- **49. Fireblocking of chimneys and fireplaces.** All spaces between chimneys and floors and Ceilings through which chimneys pass shall be fireblocked with noncombustible material securely fastened in place. The fireblocking of spaces between chimneys and wood joists, beams, or headers shall be selfsupporting or be placed on strips of metal or metal lath

 laid across the spaces between combustible material and the chimney. (CRC R1003.19) **50. Draftstopping.** In combustible construction where there is usable space both above and below the
- concealed space of a floor/ceiling assembly, draftstops shall be installed so that the area of the concealed space does not exceed 1000 square feet. Draftstopping shall divide the concealed space into approximately equal areas. Where the assembly is enclosed by a floor membrane above and a ceiling membrane below, draftstopping shall be provided in **a.** Ceiling is suspended under the floor framing
- **b.** Floor framing is constructed of truss-type open-web or perforated members 51. Draftstopping materials. Draftstopping shall not be less than 1/2-inch gypsum board, 3/8-inch wood structural panels, or other approved materials adequately supported. Draftstopping shall be installed parallel to the floor framing members unless otherwise approved by the building official. The integrity of draftstops shall be maintained. (CRC R302.12.1) **52. Combustible insulation clearance.** Combustible insulation shall be separated minimum 3 inches from
- General Material Specifications

of fire and hot gases

Lumber. All joists, rafters, beams, and posts 2-inches to 4-inches thick shall be No. 2 grade Douglas Fir-Larch or better. All posts and beams 5 inches and thicker shall be No. 1 grade Douglas Fir-Larch or better. Studs not more than 8 feet long shall be stud-grade Douglas Fir-Larch or better when supporting not

recessed luminaires, fan motors, and other heat-producing devices. (CRC R302.14)

- 2. Concrete. Concrete shall have a minimum compressive strength of 2,500 psi at 28 days and shall consist of 1 part cement, 3 parts sand, 4 parts 1-inch maximum size rock, and not more than 7-1/2 gallons of water per sack of cement. (CRC R402.2)
- **3. Mortar.** Mortar used in construction of masonry walls, foundation walls, and retaining walls shall conform to ASTM C 270 and shall consist of 1 part portland cement, 2-1/4 to 3 parts sand, and 1/4 to 1/2 part hydrated lime. (CBC 2103.2) **4. Grout.** Grout shall conform to ASTM C 476 and shall consist of 1 part portland cement, 1/10 part hydrated lime, 2-1/4 to 3 parts sand, and 1 to 2 parts gravel. Grout shall attain a minimum compressive
- strength of 2,000 psi at 28 days. (CBC 2103.3) 5. Masonry. Masonry units shall comply with ASTM C 90 for load-bearing concrete masonry units. (CBC
- **6. Reinforcing steel.** Reinforcing steel used in construction of reinforced masonry or concrete structures shall be deformed and comply with ASTM A 615. (CBC 2103.4) 7. Structural steel. Steel used as structural shapes such as wide-flange sections, channels, plates, and angles shall comply with ASTM A36. Pipe columns shall comply with ASTM A53. Structural tubes shall
- comply with ASTM A500, Grade B. **8. Fasteners for preservative-treated wood.** Fasteners for preservative-treated and fire-retardant-treated wood - including nuts and washers -- shall be of hot dipped zinc-coated galvanized steel, stainless steel,
- silicon bronze, or copper. (CRC R317.3.1) **Exception:** 1/2-inch diameter or greater steel bolts Exception: Fasteners other than nails and timber rivets may be of mechanically deposited zinccoating weights in accordance with ASTM B 695, Class 55 minimum
- **Exception:** Plain carbon steel fasteners acceptable in SBX/DOT and zinc borate preservativetreated wood in an interior, dry environment **9. Fasteners for fire-retardant-treated wood.** Fasteners for fire-retardant-treated wood used in exterior
- applications or wet or damp locations shall be of hot dipped zinc-coated galvanized steel, stainless steel, silicon bronze, or copper. (CRC R317.3.3)
- Roofing and Weatherproofing
- **Roof covering.** All roof covering shall be installed per applicable requirements of CBC 1507. Roof coverings shall be at least Class A rated in accordance with ASTM E 108 or UL 790, which shall include coverings of slate, clay or concrete roof tile, exposed concrete roof deck, ferrous or copper shingles or sheets. (County Building Code 92.1.1505.1)
- 2. Roof flashing. Flashing shall be installed at wall and roof intersections, at gutters, wherever there is a change in roof slope or direction, and around roof openings. Where flashing is of metal, the metal shall be corrosion-resistant with a thickness of not less than 0.019 inch (No. 26 galvanized sheet). (CRC R903.2.1) 3. Crickets and saddles. A cricket or saddle shall be installed on the ridge side of any chimney or penetration more than 30 inches wide as measured perpendicular to the slope. Cricket or saddle covering shall be sheet metal or the same material as the roof covering. (CRCR903.2.2) **Water-resistive barrier.** A minimum of one layer of No. 15 asphalt felt shall be attached to studs or sheathing of all exterior walls. Such felt or material shall be applied horizontally, with and building

5. Wall flashing. Approved corrosion-resistant flashing shall be applied shingle fashion at the following

- locations to prevent entry of water into the wall cavity or penetration of water to the building structural framing components (CRC R703.8): **a.** Exterior door and window openings, extending to the surface of the exterior wall finish or to the water-resistive barrier for subsequent drainage
 - **b.** At the intersection of chimneys or other masonry construction with frame or stucco walls, with projecting lips on both sides under stucco copings

appendages in a manner to maintain a weather- resistant exterior wall envelope. (CRC R703.2)

- **c.** Under and at the ends of masonry, wood, or metal copings and sills Continuously above all projecting wood trim
- Where exterior porches, decks, or stairs attach to a wall or floor assembly of woodconstruction At wall and roof intersections At built-in gutters
- shall be installed on the exterior surface of the wall, and shall extend from the top of the footing to finished grade. (CRC R406.1) 7. Weep screed. A minimum 0.019-inch (No. 26 galvanized sheet gage), corrosion-resistant weep screed or plastic weep screed with a minimum vertical attachment flange of 3-1/2 inches shall be provided at

or below the foundation plate line on exterior stud walls in accordance with ASTM C 92. The weep

Dampproofing. Dampproofing materials for foundation walls enclosing usable space below grade

Grading and soils Grading permit. Grading permit required if volume of earth moved exceeds 200 cubic yards or if any cuts or fills exceed 8 feet in height/depth. (County Grading Ordinance 202) 2. Compaction report. Compaction report required for fill material 12 inches or more in depth. (CBC 1803.5.8)

screed shall be placed a minimum 4 inches above the earth or 2 the building. (CRC R703.7)

ITEM	DESCRIPTION OF BUILDING ELEMENTS	NUMBER AND TYPE OF FASTENER ^{A,b,c}	SPACING AND LOCATIO
		Roof	
1	Blocking between ceiling joists or rafters to top plate	4-8d box (2 ¹ / ₂ "× 0.113") or 3-8d common (2 ¹ / ₂ "× 0.131"); or 3-10d box (3 "× 0.128"); or 3-3 "× 0.131" nails	Toe nail
2	Ceiling joists to top plate	4-8d box (2 ¹ / ₂ "× 0.113 "); or 3-8d common (2 ¹ / ₂ "× 0.131 "); or 3-10d box (3 "× 0.128 "); or 3-3 "× 0.131 "nails	Per joist, toe nail
3	Ceiling joist not attached to parallel rafter, laps over partitions [see Sections R802.3.1, R802.3.2 and Table R802.5.1(9)]	4-10d box (3 "× 0.128"); or 3-16d common (3 ¹ / ₂ "× 0.162 "); or 4-3 "× 0.131 "nails	Face nail
4	Ceiling joist attached to parallel rafter (heel joint) [see Sections R802.3.1 and R802.3.2 and Table R802.5.1(9)]	Table R802.5.1(9)	Face nail
5	Collar tie to rafter, face nail or $1^{1/4}$ " \times 20 ga. ridge strap to rafter	4-10d box (3 "× 0.128"); or 3-10d common (3 "× 0.148"); or 4-3 "× 0.131" nails	Face nail each rafter
6	Rafter or roof truss to plate	3-16d box nails (3 ¹ / ₂ "× 0.135"); or 3-10d common nails (3 "× 0.148"); or 4-10d box (3 "× 0.128"); or 4-3 "× 0.131" nails	2 toe nails on one side and 1 on opposite side of each rafte truss
7	Roof rafters to ridge, valley or hip rafters or roof rafter	4-16d (3 ¹ / ₂ "× 0.135"); or 3-10d common (3 ¹ / ₂ "× 0.148"); or 4-10d box (3 "× 0.128"); or 4-3 "× 0.131 "nails	Toe nail
j	to minimum 2" ridge beam	3-16d box 3 ¹ / ₂ "× 0.135"); or 2-16d common (3 ¹ / ₂ "× 0.162"); or 3-10d box (3 "× 0.128"); or 3-3 "× 0.131" nails	End nail
		Wall	
		16d common (3 ¹ / ₂ "× 0.162")	24 "o.c. face nail
8	Stud to stud (not at braced wall panels)	10d box (3 "× 0.128"); or 3 "× 0.131 "nails	16 "o.c. face nail
9	Stud to stud and abutting studs at intersecting wall corners (at braced wall panels)	16d box (3 ¹ / ₂ "× 0.135 "); or 3 "× 0.131 " nails	12 "o.c. face nail
	(at oldeed was passes)	16d common (3 ¹ / ₂ "× 0.162")	16 "o.c. face nail
10	Built-up header (2" to 2" header with 1/2" spacer)	16d common (3 ¹ / ₂ "× 0.162")	16 "o.c. each edge face i
	Date of Manage (2 to 2 manage manage)	16d box (3 ¹ / ₂ "× 0.135")	12 "o.c. each edge face i
11	Continuous header to stud	5-8d box (2 ¹ / ₂ "× 0.113 "); or 4-8d common (2 ¹ / ₂ "× 0.131 "); or 4-10d box (3 "× 0.128 ")	Toe nail
	200 CT 8420 00 000 0460 CT	16d common (3 ¹ / ₂ "× 0.162")	16 "o.c. face nail
12	Top plate to top plate	10d box (3 "× 0.128"); or 3 "× 0.131 " nails	12 "o.c. face nail
13	Double top plate splice for SDCs A-D ₂ with seismic braced wall line spacing < 25'	8-16d common (3 ¹ / ₂ "× 0.162 "); or 12-16d box (3 ¹ / ₂ "× 0.135 "); or 12-10d box (3 "× 0.128 "); or 12-3 "× 0.131 "nails	Face nail on each side of end (minimum 24 "lap splice leng side of end joint)
	Double top plate splice SDCs D_0 , D_1 , or D_2 ; and braced wall line spacing $\geq 25'$	12-16d (3 ¹ / ₂ "× 0.135 ")	Side of end joint)

29 ITEM	DESCRIPTION		NUMBER AND	SPACING OF	FASTENERS Intermediate
29			Aug Co.		
	Bridging to joist		2-10d (3 "× 0.128 ")	Each end,	toe nail
28	Ledger strip supporting joists or rafters	3-16d con		At each joist or 1	
	any van	3-10d box 3-3 "× 0.1		Face nail at ends ar	nd at each splic
27	Built-up girders and beams, 2-inch lumber layers	3"× 0.13	3 "× 0.128"); or "nails	24" o.c. face nail at staggered on oppos	top and botto
			ga. staples, 7 ₁₆ crown non (4 "× 0.192"); or	Nail each layer as f at top and bottom a	
26	Band or rim joist to joist	3-16d con 4-10 box (4-3 "× 0.1	nmon $(3^{1/2}" \times 0.162")$ $(3" \times 0.128")$, or (31" nails; or (31" nails; or) (31" nails; or)	End	nail
25	2 "planks (plank & beam—floor & roof)	3-16d box	(3 ¹ / ₂ "× 0.135 "); or nmon (3 ¹ / ₂ "× 0.162 ")	At each beari	ng, face nail
24	2 "subfloor to joist or girder	3-16d box	x (3 ¹ / ₂ "× 0.135 "); or nmon (3 ¹ / ₂ "× 0.162 ")	Blind and	face nail
ITEM	DESCRIPTION OF BUILDING ELEMENTS	NUM	BER AND TYPE OF FASTENER ^{a, b, c}	SPACING AND	LOCATION
23	1 "× 6" subfloor or less to each joist	3-10d box 2 staples,	(2 ¹ / ₂ "×0.113"); or mon (2 ¹ / ₂ "×0.131"); or x (3"×0.128"); or 1 "crown, 16 ga., 1 ³ / ₄ "long	Face	
22	Rim joist, band joist or blocking to sill or top plate (roof applications also)	8d common (2 ¹ / ₂ "× 0.131 "); or 10d box (3 "× 0.128 "); or 3 "× 0.131 "nails		6 "o.c. toe nail	
		3-3 "× 0.1	131 "nails 1/2 "× 0.113")	4"o.c.1	toe nail
21	Joist to sill, top plate or girder	3-8d com	Floor (2 ¹ / ₂ "× 0.113 "); or mon (2 ¹ / ₂ "× 0.131 "); or x (3 "× 0.128 "); or	Toe	nail
		3-8d com 3-10d box	mon (2 ¹ / ₂ " × 0.131"); or x (3" × 0.128"); or 1" crown, 16 ga., 1 ³ / ₄ " long		
20	1 " \times 8 "and wider sheathing to each bearing	3-8d com 3-10d box 3 staples, Wider the 4-8d box	(2 ¹ / ₂ "×0.113"); or mon (2 ¹ / ₂ "×0.131"); or x (3"×0.128"); or 1 "erown, 16 ga., 1 ³ / ₄ "long on 1"×8" (2 ¹ / ₂ "×0.113"); or	Face	nail
19	1 "× 6 "sheathing to each bearing	2-8d com 2-10d box 2 staples,	$(2^{1}/_{2}$ "× 0.113"); or mon $(2^{1}/_{2}$ "× 0.131"); or x (3 "× 0.128"); or 1 "crown, 16 ga., $1^{3}/_{4}$ "long	Face	nail
18	1 "brace to each stud and plate	2-8d com 2-10d box 2 staples		Face	nail
17	Top plates, laps at corners and intersections	2-16d cor	c (3 "× 0.128 "); or nmon (3 1/2 "× 0.162 "); or 131 "nails	Face	nail
16	Top or bottom plate to stud	3-16d box 2-16d cor 3-10d box	(31', 2" × 0.135"); or mmon (3 ¹ / ₂ " × 0.162"); or (3" × 0.128"); or (31" nails	End	nail
		3-16d box 4-8d com 4-10d box	(2 ¹ / ₂ "× 0.113 "); or x (3 ¹ / ₂ "× 0.135 "); or mon (2 ¹ / ₂ "× 0.131 "); or x (3 "× 0.128 "); or 131 "nails	Toe	nail
15	Bottom plate to joist, rim joist, band joist or blocking (at braced wall panel)	2-16d cor	x (3½ "× 0.135"); or mmon (3½ "× 0.162"); or 131 "nails	3 each 16 " c 2 each 16 " c 4 each 16 " c	c. face nail
14	blocking (not at braced wall panels)	16d box (3"× 0.13	3 ¹ / ₂ "× 0.135 "); or 1 "nails	12 "o.c.	
1.4	Bottom plate to joist, rim joist, band joist or		non (3 ¹ / ₂ "× 0.162")	16 "o.c.	face nail
ITEM	DESCRIPTION OF BUILDING ELEMENTS	NU	MBER AND TYPE OF FASTENER ^{4,b,c}	SPACING AN	D LOCATION
13 I	Double top plote oplice SDCs D. D. or D.; and broad wall		12-10d box (3 "× 0.128"), or 12-3 "× 0.131 "nails 12-16d (3 ¹ / ₂ "× 0.135")	Face nail on each side of end join (minimum 24 "lap splice length e side of end joint)	

For SI: 1 inch = 25.4 mm, 1 foot = 304.8 mm, 1 mile per hour = 0.447 m/s; 1 ksi = 6.895 MPa. 1. Nails are smooth-common, box or deformed shanks except where otherwise stated. Nails used for framing and sheathing connections shall have minimum average bending yield strengths as shown: 80 ksi for shank diameter of 0.192 inch (20d common nail), 90 ksi for shank diameters larger than 0.142 inch but not larger than 0.177 inch, and 100 ksi for shank diameters of 0.142 inch or less. Staples are 16 gage wire and have a minimum ⁷/_{1s}-inch on diameter crown width.

d common $(2^1/, "\times 0.131")$ nail (roof)

ommon nail (21/, "× 0.131")

l common (3 "× 0.148") nail; or

meter, or 1 "crown staple 16 ga., 11/4 "long

"galvanized roofing nail; staple galvanized

r, or 1 "crown staple 16 ga., 11/, "long

long; 11/4 "screws, Type W or S

long; 15/, "screws, Type W or S

d common (21/, " \times 0.131") nail

8d deformed (21/2 "× 0.120") nail

d deformed $(2^{1/2}" \times 0.120")$ nail

0d common (3 "× 0.148") nail; or

d (21/2 "× 0.131") deformed nail

Other wall sheathing

c. Nails shall be spaced at not more than 6 inches on center at all supports where spans are 48 inches or greater.

32 11/8"-11/4"

37 3/4 and less

39 11/8"-11/4"

sheathing

"structural cellulosic

fiberboard sheathing

1/2 "gypsum sheathingd

"gypsum sheathingd

Spacing of fasteners not included in this table shall be based on Table R602.3(2). f. Where the ultimate design wind speed is 130 mph or less, nails for attaching wood structural panel roof sheathing to gable end wall framing shall be spaced 6 inches on center. Where the ultimate design wind speed is greater than 130 mph, nails for attaching panel roof sheathing to intermediate supports shall be spaced 6 inches on center for minimum 48-inch distance from ridges, eaves and gable end walls, and 4 inches on center to gable end wall framing. . Gypsum sheathing shall conform to ASTM C 1396 and shall be installed in accordance with GA 253. Fiberboard sheathing shall conform to ASTM C 208. . Spacing of fasteners on floor sheathing panel edges applies to panel edges supported by framing members and required blocking and at floor perimeters on

supported by framing members or solid blocking. . Where a rafter is fastened to an adjacent parallel ceiling joist in accordance with this schedule, provide two toe nails on one side of the rafter and toe nails from he ceiling joist to top plate in accordance with this schedule. The toe nail on the opposite side of the rafter shall not be require

pacing of fasteners on roof sheathing panel edges applies to panel edges supported by framing members and required blocking. Blocking of roof or floor

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Installation Adhesives: Low VOC.

Metal edge strips. 1.4 INTERIOR TILE INSTALLATION SCHEDULE

Interior Floors on Concrete:

Elastomeric Sealants: One-part, mildew-resistant silicone and low VOC.

Grout: Polymer-modified sanded grout.

Mortar: Dry-set Portland cement mortar bond coat.

1. F111: Cement mortar bed with cleavage membrane.

F112: Cement mortar bed bonded to concrete.

Grout: Polymer-modified sanded.

Mortar: Dry-set.

Open-Cell Spray Polyurethane Foam: Minimum density of 0.4 lb/cu.ft.

Sheet Radiant Barriers: Vacuum metallizing on substrate.

Vapor Retarders: Reinforced polyethylene.

Building Paper: Asphalt-saturated kraft building paper.

Eave ventilation troughs.

Insulation fasteners.

Auxiliary Insulating Materials:

SECTION 072500 - WEATHER BARRIERS

Building wrap.

Building-wrap tape.

MATERIALS

3. F113: Thin-set mortar. Mortar: Dry-set Grout: Polymer-modified unsanded grout. 4. F121: Cement mortar bed on waterproof membrane. Mortar: Dry-set Portland cement mortar bond coat. Grout: Polymer-modified unsanded grout. F125A: Thin-set mortar on crack isolation membrane. Mortar: Medium-bed, latex-Portland cement mortar. Grout: Polymer-modified unsanded grout. Interior Walls, Wood Studs or Furring: W221: Cement mortar bed over waterproof membrane on solid backing. Mortar: Dry-set Portland cement mortar bond coat. Grout: Polymer-modified unsanded grout. W231: Cement mortar bed. Mortar: Dry-set Portland cement mortar bond coat. Grout: Polymer-modified unsanded grout. W243: Thin-set mortar on gypsum board. Mortar: Dry-set Portland cement mortar. Grout: Polymer-modified unsanded grout. Bathtub Walls, Wood Studs or Furring: B413: Thin-set mortar on water-resistant gypsum board. Mortar: Dry-set Portland cement mortar. Grout: Polymer-modified unsanded grout. Shower Receptor and Walls, Wood Studs or Furring: B421: Thin-set mortar on waterproof membrane over cementitious backer units or fiber cement underlayment. Mortar: Latex-portland cement mortar. Grout: Polymer-modified unsanded grout. SECTION 096340 - STONE FLOORING 1.1 QUALITY ASSURANCE Mockup of exterior paving and interior flooring. 1.2 MATERIALS Stone Types: Per plan and schedules. Setting Mortar: Portland cement-lime. Bond Coat: Portland cement. Pointing Mortar: Pigmented. Grout: Job-mixed, sand-portland cement. Waterproof Membranes: fluid-applied membrane. Accessories: Floor sealer. **FABRICATION** Stone Thickness: 3/4 inch unless otherwise indicated. Stone Pattern: Per plan and or schedule. 1.4 INSTALLATION Stone Directly over Concrete: Set on unreinforced mortar setting bed with grouted joints. Stone over Waterproofing: Set on reinforced mortar setting bed with grouted joints. Stone Thresholds: Set in mortar setting bed where adjacent to stone paving and flooring. latex-portland cement mortar where mortar bed would otherwise be exposed. Where not adjacent to stone paving and flooring, set in thin-set, latex-D. Stone Stair Treads and Risers: Set in thin-set, latex-Portland cement mortor **SECTION 099113 - EXTERIOR PAINTING** 1.1 QUALITY ASSURANCE Mockups for each color and finish. 1.2 EXTERIOR PAINTING SCHEDULE Concrete Substrates, Non-traffic Surfaces: Latex system. Galvanized-Metal Substrates: Latex system. Aluminum Substrates: Latex system. Wood Substrates: Including wood trim, architectural woodwork, doors, exposed beams. Latex over alkyd primer system **SECTION 099123 - INTERIOR PAINTING** 1.1 QUALITY ASSURANCE Mockups for each color and finish. 1.2 INTERIOR PAINTING SCHEDULE Wood Substrates: Including wood trim, architectural woodwork, doors, windows. Latex over alkyd primer system. Gypsum Board Substrates: Latex system. SECTION 099300 - STAINING AND TRANSPARENT FINISHING 1.1 QUALITY ASSURANCE A. Mockups for each color and finish. 1.2 EXTERIOR WOOD-FINISH-SYSTEM SCHEDULE Wood substrates, nontraffic surfaces, including wood trim, architectural woodwork, Semitransparent stain system. Clear, two-component polyurethane varnish over stain system. 1.3 INTERIOR WOOD-FINISH-SYSTEM SCHEDULE Wood substrates, nontraffic surfaces, including doors, exposed beams. Polyurethane varnish over stain system. Danish oil system. **SECTION 221116 - DOMESTIC WATER PIPING** 1.1 UNDER-BUILDING-SLAB, DOMESTIC WATER, BUILDING SERVICE PIPING A. Pipe NPS 3 and Smaller: Soft copper tube; wrought-copper, solder-joint fittings; and brazed joints. Pipe NPS 4 to NPS 8 and Larger: Soft copper tube; wrought-copper, solder-joint fittings; and brazed joints. 1.2 UNDER-BUILDING-SLAB, DOMESTIC WATER PIPING Pipe NPS 2 and Smaller: Hard or soft copper tube; wrought-copper, solder-joint fittings; and brazed joints. 1.3 ABOVEGROUND DOMESTIC WATER PIPING Pipe NPS 2 and Smaller: Hard copper tube; wrought-copper, solder-joint fittings; and soldered MANUFACTURED UNITS Hot-Water Circulation Piping, Balancing Duty: Memory-stop balancing valves. Flexible Connectors: Stainless-steel hose. 1.5 PRODUCTS A. Wall Penetrations below Grade: Sleeve and sleeve seal. **SECTION 221119 - DOMESTIC WATER PIPING SPECIALTIES** 1.1 PRODUCTS Vacuum Breakers: Hose-Connection Vacuum Breakers: Rough-bronze finish. Backflow Preventers: Intermediate Atmospheric-Vent Backflow Preventers: a. End Connections: Solder joint. Finish: Rough bronze. Hose-connection backflow preventers. Water Pressure-Reducing Valves: Water Regulators: Body: Bronze for NPS 2 and smaller; cast iron for NPS 2-1/2 and End Connections: Threaded for NPS 2 and smaller; flanged for NPS 2-1/2 and Water Control Valves: Main Valve Body: Angle-valve design. End Connections: Threaded for NPS 2 and smaller; flanged for NPS 2-1/2 and larger. Outlet Boxes: Clothes Washer Outlet Boxes: a. Material and Finish: Enameled-steel, epoxy-painted-steel, or plastic box and Icemaker Outlet Boxes: Enameled-steel or epoxy-painted-steel or plastic box and

faceplate.

Hose Stations:

1. Single-Temperature-Water Hose Stations:

Finish: Rough bronze

Mounting: Wall, with reinforcement.

Body: Bronze

Vacuum Breaker: Integral or field installation. Finish for Service Areas: Rough bronze. Operation for Service Areas: Wheel handle. Water Hammer Arresters: Copper tube with piston.

SECTION 221319 - SANITARY WASTE PIPING SPECIALTIES 1.1 QUALITY ASSURANCE

Quality Standard for Plastic Piping: NSF 14. 1.2 PRODUCTS Backwater Valves: Horizontal, cast iron.

> Floor Drains: Stainless-Steel Floor Drains: Dimensions of Top or Strainer: 4" square bronze grate.

Cleanouts: Cast iron, wall.

Seepage Flange: Required. Anchor Flange: Not required. Miscellaneous Sanitary Drainage Piping Specialties:

Cast-iron or bronze deep-seal traps. Flashing Materials:

Copper sheet.

SECTION 221423 - STORM DRAINAGE PIPING SPECIALTIES

1.1 PRODUCTS Α. Metal Roof Drains:

Cast-Iron Roof Drains: Sump: Medium. Body Material: Cast iron.

Combination Flashing Ring and Gravel Stop: Required. Outlet: Bottom.

Dome Material: Cast iron.

Water Dam at overflows: 2 inches high. Metal, Cornice and Gutter Roof Drains:

Outlet: Bottom.

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> MIN. CODE AND **SPECIFICATION**

used for perimeter and inlet controls.

4.106 SITE DEVELOPMENT

RESIDENTIAL MANDATORY MEASURES, SHEET 1 (January 2020, Includes August 2019 Supplement) Y N/A RESPON. CHAPTER 3 **GREEN BUILDING SECTION 301 GENERAL** 301.1 SCOPE. Buildings shall be designed to include the green building measures specified as mandatory in the application checklists contained in this code. Voluntary green building measures are also included in the application checklists and may be included in the design and construction of structures covered by this code, but are not required unless adopted by a city, county, or city and county as specified in Section 101.7. 301.1.1 Additions and alterations. [HCD] The mandatory provisions of Chapter 4 shall be applied to additions or alterations of existing residential buildings where the addition or alteration increases the building's conditioned area, volume, or size. The requirements shall apply only to and/or within the specific area of the addition or alteration. Note: On and after January 1, 2014, residential buildings undergoing permitted alterations, additions, or improvements shall replace noncompliant plumbing fixtures with water-conserving plumbing fixtures. Plumbing fixture replacement is required prior to issuance of a certificate of final completion, certificate of occupancy or final permit approval by the local building department. See Civil Code Section 1101.1 et seq., for the definition of a noncompliant plumbing fixture, types of residential buildings affected and 301.2 LOW-RISE AND HIGH-RISE RESIDENTIAL BUILDINGS. [HCD] The provisions of individual sections of CALGreen may apply to either low-rise residential buildings high-rise residential buildings, or both. Individual sections will be designated by banners to indicate where the section applies specifically to low-rise only (LR) or high-rise only (HR). When the section applies to both low-rise and high-rise buildings, no banner will be used. SECTION 302 MIXED OCCUPANCY BUILDINGS 302.1 MIXED OCCUPANCY BUILDINGS. In mixed occupancy buildings, each portion of a building shall comply with the specific green building measures applicable to each specific occupancy. ABBREVIATION DEFINITIONS: Department of Housing and Community Development California Building Standards Commission Division of the State Architect, Structural Safety OSHPD Office of Statewide Health Planning and Development Low Rise Additions and Alterations **CHAPTER 4** RESIDENTIAL MANDATORY MEASURES **DIVISION 4.1 PLANNING AND DESIGN SECTION 4.102 DEFINITIONS** The following terms are defined in Chapter 2 (and are included here for reference) FRENCH DRAIN. A trench, hole or other depressed area loosely filled with rock, gravel, fragments of brick or similar pervious material used to collect or channel drainage or runoff water. WATTLES. Wattles are used to reduce sediment in runoff. Wattles are often constructed of natural plant materials such as hay, straw or similar material shaped in the form of tubes and placed on a downflow slope. Wattles are also

4.106.1 GENERAL. Preservation and use of available natural resources shall be accomplished through evaluation

I.106.2 STORM WATER DRAINAGE AND RETENTION DURING CONSTRUCTION. Projects which disturb less

Retention basins of sufficient size shall be utilized to retain storm water on the site. 2. Where storm water is conveyed to a public drainage system, collection point, gutter or similar

than one acre of soil and are not part of a larger common plan of development which in total disturbs one acre

Note: Refer to the State Water Resources Control Board for projects which disturb one acre or more of soil, or

manage all surface water flows to keep water from entering buildings. Examples of methods to manage surface

5. Other water measures which keep surface water away from buildings and aid in groundwater

4.106.4.1, 4.106.4.2, or 4.106.4.3 to facilitate future installation and use of EV chargers. Electric vehicle supply

1. On a case-by-case basis, where the local enforcing agency has determined EV charging and

1.2 Where there is evidence substantiating that meeting the requirements will alter the local

2. Accessory Dwelling Units (ADU) and Junior Accessory Dwelling Units (JADU) without additional

utility infrastructure design requirements on the utility side of the meter so as to increase the utility side cost to the homeowner or the developer by more than \$400.00 per

infrastructure are not feasible based upon one or more of the following conditions:

4.106.4.1 New one- and two-family dwellings and townhouses with attached private garages. For each dwelling unit, install a listed raceway to accommodate a dedicated 208/240-volt branch circuit. The raceway

shall not be less than trade size 1 (nominal 1-inch inside diameter). The raceway shall originate at the main service or subpanel and shall terminate into a listed cabinet, box or other enclosure in close proximity to the

proposed location of an EV charger. Raceways are required to be continuous at enclosed, inaccessible or

concealed areas and spaces. The service panel and/or subpanel shall provide capacity to install a 40-ampere

minimum dedicated branch circuit and space(s) reserved to permit installation of a branch circuit overcurrent

4.106.4.2 New multifamily dwellings. If residential parking is available, ten (10) percent of the total number of

spaces (EV spaces) capable of supporting future EVSE. Calculations for the required number of EV spaces shall

1. Construction documents are intended to demonstrate the project's capability and capacity for

4.106.4.2.1 Electric vehicle charging space (EV space) locations. Construction documents shall

shall be located in the common use parking area and shall be available for use by all residents.

2. There is no requirement for EV spaces to be constructed or available until EV chargers are installed

indicate the location of proposed EV spaces. Where common use parking is provided at least one EV space

parking spaces on a building site, provided for all types of parking facilities, shall be electric vehicle charging

4.106.4.1.1 Identification. The service panel or subpanel circuit directory shall identify the overcurrent protective device space(s) reserved for future EV charging as "EV CAPABLE". The raceway termination

disposal method, water shall be filtered by use of a barrier system, wattle or other method approved

or more, shall manage storm water drainage during construction. In order to manage storm water drainage during construction, one or more of the following measures shall be implemented to prevent flooding of adjacen

management of storm water drainage and erosion controls shall comply with this section.

3. Compliance with a lawfully enacted storm water management ordinance.

Exception: Additions and alterations not altering the drainage path.

1.1 Where there is no commercial power supply.

location shall be permanently and visibly marked as "EV CAPABLE".

are part of a larger common plan of development which in total disturbs one acre or more of soil.

(Website: https://www.waterboards.ca.gov/water_issues/programs/stormwater/construction.html)

4.106.3 GRADING AND PAVING. Construction plans shall indicate how the site grading or drainage system will

4.106.4 Electric vehicle (EV) charging for new construction. New construction shall comply with Sections

equipment (EVSE) shall be installed in accordance with the California Electrical Code, Article 625.

property, prevent erosion and retain soil runoff on the site

by the enforcing agency

water include, but are not limited to, the following:

French drains

Water retention gardens

be rounded up to the nearest whole number.

2. Water collection and disposal systems

dwelling unit.

and careful planning to minimize negative effects on the site and adjacent areas. Preservation of slopes,

4.106.4.2.1.1 Electric Vehicle Charging Stations (EVCS) When EV chargers are installed, EV spaces required by Section 4.106.2.2, Item 3, shall comply with at least one of the following options: 1. The EV space shall be located adjacent to an accessible parking space meeting the requirements of the California Building Code, Chapter 11A, to allow use of the EV charger from the accessible parking space. 2. The EV space shall be located on an accessible route, as defined in the California Building Code, Chapter 2, to the building.

Exception: Electric vehicle charging stations designed and constructed in compliance with the California Building Code, Chapter 11B, are not required to comply with Section 4.106.4.2.1.1 and

Note: Electric Vehicle charging stations serving public housing are required to comply with the California Building Code, Chapter 11B.

4.106.4.2.2 Electric vehicle charging space (EV space) dimensions. The EV space shall be designed to comply with the following

. The minimum length of each EV space shall be 18 feet (5486 mm). The minimum width of each EV space shall be 9 feet (2743 mm).

3. One in every 25 EV spaces, but not less than one EV space, shall have an 8-foot (2438 mm) wide minimum aisle. A 5-foot (1524 mm) wide minimum aisle shall be permitted provided the minimum width of the EV space is 12 feet (3658 mm).

a. Surface slope for this EV space and the aisle shall not exceed 1 unit vertical in 48 units horizontal (2.083 percent slope) in any direction.

4.106.4.2.3 Single EV space required. Install a listed raceway capable of accommodating a 208/240volt dedicated branch circuit. The raceway shall not be less than trade size 1 (nominal 1-inch inside diameter). The raceway shall originate at the main service or subpanel and shall terminate into a listed cabinet, box or enclosure in close proximity to the proposed location of the EV space. Construction documents shall identify the raceway termination point. The service panel and/or subpanel shall provide capacity to install a 40-ampere minimum dedicated branch circuit and space(s) reserved to permit installation of a branch circuit overcurrent protective device.

4.106.4.2.4 Multiple EV spaces required. Construction documents shall indicate the raceway termination point and proposed location of future EV spaces and EV chargers. Construction documents shall also provide information on amperage of future EVSE, raceway method(s), wiring schematics and electrical load calculations to verify that the electrical panel service capacity and electrical system, including any on-site distribution transformer(s), have sufficient capacity to simultaneously charge all EVs at all required EV spaces at the full rated amperage of the EVSE. Plan design shall be based upon a 40-ampere minimum branch circuit. Required raceways and related components that are planned to be installed underground, enclosed, inaccessible or in concealed areas and spaces shall be installed at the

4.106.4.2.5 Identification. The service panel or subpanel circuit directory shall identify the overcurrent protective device space(s) reserved for future EV charging purposes as "EV CAPABLE" in accordance

4.106.4.3 New hotels and motels. All newly constructed hotels and motels shall provide EV spaces capable of supporting future installation of EVSE. The construction documents shall identify the location of the EV spaces.

1. Construction documents are intended to demonstrate the project's capability and capacity or facilitating future EV charging

2. There is no requirement for EV spaces to be constructed or available until EV chargers

4.106.4.3.1 Number of required EV spaces. The number of required EV spaces shall be based on the total number of parking spaces provided for all types of parking facilities in accordance with Table 4.106.4.3.1. Calculations for the required number of EV spaces shall be rounded up to the nearest whole number.

TOTAL NUMBER OF PARKING SPACES	NUMBER OF REQUIRED EV SPACES
0-9	0
10-25	1
26-50	2
51-75	4
76-100	5
101-150	7
151-200	10
201 and over	6 percent of total

4.106.4.3.2 Electric vehicle charging space (EV space) dimensions. The EV spaces shall be designed to

 The minimum length of each EV space shall be 18 feet (5486mm). 2. The minimum width of each EV space shall be 9 feet (2743mm)

4.106.4.3.3 Single EV space required. When a single EV space is required, the EV space shall be designed

4.106.4.3.4 Multiple EV spaces required. When multiple EV spaces are required, the EV spaces shall be designed in accordance with Section 4.106.4.2.4.

4.106.4.3.5 Identification. The service panels or sub-panels shall be identified in accordance with Section

4.106.4.3.6 Accessible EV spaces. In addition to the requirements in Section 4.106.4.3, EV spaces for hotels/motels and all EVSE, when installed, shall comply with the accessibility provisions for the EV charging stations in the California Building Code, Chapter 11B.

DIVISION 4.2 ENERGY EFFICIENCY

4.201.1 SCOPE. For the purposes of mandatory energy efficiency standards in this code, the California Energy Commission will continue to adopt mandatory standards.

DIVISION 4.3 WATER EFFICIENCY AND CONSERVATION

4.303 INDOOR WATER USE 4.303.1 WATER CONSERVING PLUMBING FIXTURES AND FITTINGS. Plumbing fixtures (water closets and urinals) and fittings (faucets and showerheads) shall comply with the sections 4.303.1.1, 4.303.1.2, 4.303.1.3,

buildings affected and other important enactment dates.

Note: All noncompliant plumbing fixtures in any residential real property shall be replaced with water-conserving plumbing fixtures. Plumbing fixture replacement is required prior to issuance of a certificate of final completion, certificate of occupancy, or final permit approval by the local building department. See Civil Code Section 1101.1, et seq., for the definition of a noncompliant plumbing fixture, types of residential

4.303.1.1 Water Closets. The effective flush volume of all water closets shall not exceed 1.28 gallons per flush. Tank-type water closets shall be certified to the performance criteria of the U.S. EPA WaterSense Specification for Tank-type Toilets.

Note: The effective flush volume of dual flush toilets is defined as the composite, average flush volume of two reduced flushes and one full flush.

4.303.1.2 Urinals. The effective flush volume of wall mounted urinals shall not exceed 0.125 gallons per flush. The effective flush volume of all other urinals shall not exceed 0.5 gallons per flush.

4.303.1.3.1 Single Showerhead. Showerheads shall have a maximum flow rate of not more than 1.8 gallons per minute at 80 psi. Showerheads shall be certified to the performance criteria of the U.S. EPA WaterSense Specification for Showerheads.

4.303.1.3.2 Multiple showerheads serving one shower. When a shower is served by more than one showerhead, the combined flow rate of all the showerheads and/or other shower outlets controlled by a single valve shall not exceed 1.8 gallons per minute at 80 psi, or the shower shall be designed to only allow one shower outlet to be in operation at a time

Note: A hand-held shower shall be considered a showerhead.

4.303.1.4 Faucets.

4.303.1.4.1 Residential Lavatory Faucets. The maximum flow rate of residential lavatory faucets shall not exceed 1.2 gallons per minute at 60 psi. The minimum flow rate of residential lavatory faucets shall not be less than 0.8 gallons per minute at 20 psi.

4.303.1.4.2 Lavatory Faucets in Common and Public Use Areas. The maximum flow rate of lavatory faucets installed in common and public use areas (outside of dwellings or sleeping units) in residential buildings shall not exceed 0.5 gallons per minute at 60 psi.

4.303.1.4.3 Metering Faucets. Metering faucets when installed in residential buildings shall not deliver more than 0.2 gallons per cycle.

4.303.1.4.4 Kitchen Faucets. The maximum flow rate of kitchen faucets shall not exceed 1.8 gallons per minute at 60 psi. Kitchen faucets may temporarily increase the flow above the maximum rate, but not to exceed 2.2 gallons per minute at 60 psi, and must default to a maximum flow rate of 1.8 gallons per

Note: Where complying faucets are unavailable, aerators or other means may be used to achieve reduction.

4.303.2 STANDARDS FOR PLUMBING FIXTURES AND FITTINGS. Plumbing fixtures and fittings shall be installed in accordance with the California Plumbing Code, and shall meet the applicable standards referenced in Table 1701.1 of the California Plumbing Code.

> THIS TABLE COMPILES THE DATA IN SECTION 4.303.1, AND IS INCLUDED AS A CONVENIENCE FOR THE USER.

FIXTURE TYPE	FLOW RATE
SHOWER HEADS (RESIDENTIAL)	1.8 GMP @ 80 PSI
LAVATORY FAUCETS (RESIDENTIAL)	MAX. 1.2 GPM @ 60 PS MIN. 0.8 GPM @ 20 PS
LAVATORY FAUCETS IN COMMON & PUBLIC USE AREAS	0.5 GPM @ 60 PSI
KITCHEN FAUCETS	1.8 GPM @ 60 PSI
METERING FAUCETS	0.2 GAL/CYCLE
WATER CLOSET	1.28 GAL/FLUSH
URINALS	0.125 GAL/FLUSH

4.304 OUTDOOR WATER USE

4.304.1 OUTDOOR POTABLE WATER USE IN LANDSCAPE AREAS. Residential developments shall comply with a local water efficient landscape ordinance or the current California Department of Water Resources' Model Water Efficient Landscape Ordinance (MWELO), whichever is more stringent.

DISCLAIMER: THIS DOCUMENT IS PROVIDED AND INTENDED TO BE USED ON AN INDIVIDUAL NEEDS. THE END USER ASSUMES ALL RESPONSIBILITY ASSOCIATED WITH THE USE OF THIS DOCUMENT, INCLUDING VERIFICATION WITH THE FULL CODE.

1. The Model Water Efficient Landscape Ordinance (MWELO) is located in the California Code Regulations, Title 23, Chapter 2.7, Division 2. MWELO and supporting documents, including water budget calculator, are available at: https://www.water.ca.gov/

DIVISION 4.4 MATERIAL CONSERVATION AND RESOURCE **EFFICIENCY**

4.406 ENHANCED DURABILITY AND REDUCED MAINTENANCE 4.406.1 RODENT PROOFING. Annular spaces around pipes, electric cables, conduits or other openings in sole/bottom plates at exterior walls shall be protected against the passage of rodents by closing such openings with cement mortar, concrete masonry or a similar method acceptable to the enforcing

4.408 CONSTRUCTION WASTE REDUCTION, DISPOSAL AND RECYCLING 4.408.1 CONSTRUCTION WASTE MANAGEMENT. Recycle and/or salvage for reuse a minimum of 65 percent of the non-hazardous construction and demolition waste in accordance with either Section 4.408.2, 4.408.3 or 4.408.4, or meet a more stringent local construction and demolition waste management ordinance.

. Excavated soil and land-clearing debris.

- 2. Alternate waste reduction methods developed by working with local agencies if diversion or recycle facilities capable of compliance with this item do not exist or are not located reasonably
- 3. The enforcing agency may make exceptions to the requirements of this section when isolated jobsites are located in areas beyond the haul boundaries of the diversion facility.
- 4.408.2 CONSTRUCTION WASTE MANAGEMENT PLAN. Submit a construction waste management plan in conformance with Items 1 through 5. The construction waste management plan shall be updated as

necessary and shall be available during construction for examination by the enforcing agency.

- 1. Identify the construction and demolition waste materials to be diverted from disposal by recycling, reuse on the project or salvage for future use or sale.
- 2. Specify if construction and demolition waste materials will be sorted on-site (source separated) or bulk mixed (single stream).
- 3. Identify diversion facilities where the construction and demolition waste material collected will be
- 4. Identify construction methods employed to reduce the amount of construction and demolition waste
- 5. Specify that the amount of construction and demolition waste materials diverted shall be calculated by weight or volume, but not by both.

4.408.3 WASTE MANAGEMENT COMPANY. Utilize a waste management company, approved by the enforcing agency, which can provide verifiable documentation that the percentage of construction and demolition waste material diverted from the landfill complies with Section 4.408.1.

Note: The owner or contractor may make the determination if the construction and demolition waste materials will be diverted by a waste management company.

4.408.4 WASTE STREAM REDUCTION ALTERNATIVE [LR]. Projects that generate a total combined weight of construction and demolition waste disposed of in landfills, which do not exceed 3.4 lbs./sq.ft. of the building area shall meet the minimum 65% construction waste reduction requirement in

4.408.4.1 WASTE STREAM REDUCTION ALTERNATIVE. Projects that generate a total combined weight of construction and demolition waste disposed of in landfills, which do not exceed 2 pounds per square foot of the building area, shall meet the minimum 65% construction waste reduction requirement in Section 4.408.1

4.408.5 DOCUMENTATION. Documentation shall be provided to the enforcing agency which demonstrates compliance with Section 4.408.2, items 1 through 5, Section 4.408.3 or Section 4.408.4...

1. Sample forms found in "A Guide to the California Green Building Standards Code (Residential)" located at www.hcd.ca.gov/CALGreen.html may be used to assist in

documenting compliance with this section. 2. Mixed construction and demolition debris (C & D) processors can be located at the California Department of Resources Recycling and Recovery (CalRecycle).

4.410 BUILDING MAINTENANCE AND OPERATION

disc, web-based reference or other media acceptable to the enforcing agency which includes all of the following shall be placed in the building:

1. Directions to the owner or occupant that the manual shall remain with the building throughout the

life cycle of the structure. 2. Operation and maintenance instructions for the following:

Equipment and appliances, including water-saving devices and systems, HVAC systems,

photovoltaic systems, electric vehicle chargers, water-heating systems and other major appliances and equipment.

b. Roof and yard drainage, including gutters and downspouts c. Space conditioning systems, including condensers and air filters.

d. Landscape irrigation systems.

e. Water reuse systems. 3. Information from local utility, water and waste recovery providers on methods to further reduce

resource consumption, including recycle programs and locations. Public transportation and/or carpool options available in the area.

5. Educational material on the positive impacts of an interior relative humidity between 30-60 percent

and what methods an occupant may use to maintain the relative humidity level in that range. 6. Information about water-conserving landscape and irrigation design and controllers which conserve

7. Instructions for maintaining gutters and downspouts and the importance of diverting water at least 5

feet away from the foundation 8. Information on required routine maintenance measures, including, but not limited to, caulking,

painting, grading around the building, etc.

Information about state solar energy and incentive programs available. 10. A copy of all special inspections verifications required by the enforcing agency or this code.

4.410.2 RECYCLING BY OCCUPANTS. Where 5 or more multifamily dwelling units are constructed on a building site, provide readily accessible area(s) that serves all buildings on the site and are identified for the depositing, storage and collection of non-hazardous materials for recycling, including (at a minimum) paper, corrugated cardboard, glass, plastics, organic waster, and metals, or meet a lawfully enacted local recycling

Exception: Rural jurisdictions that meet and apply for the exemption in Public Resources Code Section 42649.82 (a)(2)(A) et seq. are note required to comply with the organic waste portion of

DIVISION 4.5 ENVIRONMENTAL QUALITY

SECTION 4.501 GENERAL

ordinance, if more restrictive.

The provisions of this chapter shall outline means of reducing the quality of air contaminants that are odorous, irritating and/or harmful to the comfort and well being of a building's installers, occupants and neighbors.

SECTION 4.502 DEFINITIONS 5.102.1 DEFINITIONS

The following terms are defined in Chapter 2 (and are included here for reference)

AGRIFIBER PRODUCTS. Agrifiber products include wheatboard, strawboard, panel substrates and door cores, not including furniture, fixtures and equipment (FF&E) not considered base building elements.

COMPOSITE WOOD PRODUCTS. Composite wood products include hardwood plywood, particleboard and medium density fiberboard. "Composite wood products" does not include hardboard, structural plywood, structural panels, structural composite lumber, oriented strand board, glued laminated timber, prefabricated

wood I-joists or finger-jointed lumber, all as specified in California Code of regulations (CCR), title 17, Section

DIRECT-VENT APPLIANCE. A fuel-burning appliance with a sealed combustion system that draws all air for combustion from the outside atmosphere and discharges all flue gases to the outside atmosphere.

CALIFORNIA STANDARDS CODE

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2019 CALIFORNIA GREEN BUILDING STANDARDS CODE

RESIDENTIAL MANDATORY MEASURES, SHEET 1 (January 2020, Includes August 2019 Supplement)

INSTALLER & SPECIAL INSPECTOR QUALIFICATIONS

702.1 INSTALLER TRAINING. HVAC system installers shall be trained and certified in the proper installation of HVAC systems including ducts and equipment by a nationally or regionally recognized training or certification program. Uncertified persons may perform HVAC installations when under the direct supervision and

Examples of acceptable HVAC training and certification programs include but are not limited to the following:

702.2 SPECIAL INSPECTION [HCD]. When required by the enforcing agency, the owner or the

considered by the enforcing agency when evaluating the qualifications of a special inspector:

project they are inspecting for compliance with this code.

shall be closely related to the primary job function, as determined by the local agency.

1. Certification by a national or regional green building program or standard publisher.

3. Successful completion of a third party apprentice training program in the appropriate trade.

homes in California according to the Home Energy Rating System (HERS).

[BSC] When required by the enforcing agency, the owner or the responsible entity acting as the owner's agent shall

this code. Special inspectors shall demonstrate competence to the satisfaction of the enforcing agency for the

employ one or more special inspectors to provide inspection or other duties necessary to substantiate compliance with

particular type of inspection or task to be performed. In addition, the special inspector shall have a certification from a

recognized state, national or international association, as determined by the local agency. The area of certification

Note: Special inspectors shall be independent entities with no financial interest in the materials or the

703.1 DOCUMENTATION. Documentation used to show compliance with this code shall include but is not

limited to, construction documents, plans, specifications, builder or installer certification, inspection reports, or other

documentation or special inspection is necessary to verify compliance, that method of compliance will be specified in

methods acceptable to the enforcing agency which demonstrate substantial conformance. When specific

responsible entity acting as the owner's agent shall employ one or more special inspectors to provide inspection or

other duties necessary to substantiate compliance with this code. Special inspectors shall demonstrate competence to the satisfaction of the enforcing agency for the particular type of inspection or task to be performed. In addition to other certifications or qualifications acceptable to the enforcing agency, the following certifications or education may be

2. Certification by a statewide energy consulting or verification organization, such as HERS raters, building

1. Special inspectors shall be independent entities with no financial interest in the materials or the

HERS raters are special inspectors certified by the California Energy Commission (CEC) to rate

responsibility of a person trained and certified to install HVAC systems or contractor licensed to install HVAC systems.

. Training programs sponsored by trade, labor or statewide energy consulting or verification organizations.

CHAPTER 7

702 QUALIFICATIONS

State certified apprenticeship programs.

4. Programs sponsored by manufacturing organizations.

performance contractors, and home energy auditors.

Other programs acceptable to the enforcing agency.

project they are inspecting for compliance with this code.

the appropriate section or identified applicable checklist.

703 VERIFICATIONS

Other programs acceptable to the enforcing agency.

Public utility training programs

MAXIMUM INCREMENTAL REACTIVITY (MIR). The maximum change in weight of ozone formed by adding a compound to the "Base Reactive Organic Gas (ROG) Mixture" per weight of compound added, expressed to hundredths of a gram (g O3/g ROC). Note: MIR values for individual compounds and hydrocarbon solvents are specified in CCR, Title 17, Sections 94700 MOISTURE CONTENT. The weight of the water in wood expressed in percentage of the weight of the oven-dry wood. PRODUCT-WEIGHTED MIR (PWMIR). The sum of all weighted-MIR for all ingredients in a product subject to this article. The PWMIR is the total product reactivity expressed to hundredths of a gram of ozone formed per gram of product (excluding container and packaging). Note: PWMIR is calculated according to equations found in CCR, Title 17, Section 94521 (a). REACTIVE ORGANIC COMPOUND (ROC). Any compound that has the potential, once emitted, to contribute to VOC. A volatile organic compound (VOC) broadly defined as a chemical compound based on carbon chains or rings with vapor pressures greater than 0.1 millimeters of mercury at room temperature. These compounds typically contain hydrogen and may contain oxygen, nitrogen and other elements. See CCR Title 17, Section 94508(a). 4.503.1 GENERAL. Any installed gas fireplace shall be a direct-vent sealed-combustion type. Any installed woodstove or pellet stove shall comply with U.S. EPA New Source Performance Standards (NSPS) emission limits as applicable, and shall have a permanent label indicating they are certified to meet the emission limits. Woodstoves, pellet stoves and fireplaces shall also comply with applicable local ordinances. 4.504 POLLUTANT CONTROL 4.504.1 COVERING OF DUCT OPENINGS & PROTECTION OF MECHANICAL EQUIPMENT DURING CONSTRUCTION. At the time of rough installation, during storage on the construction site and until final startup of the heating, cooling and ventilating equipment, all duct and other related air distribution component openings shall be covered with tape, plastic, sheet metal or other methods acceptable to the enforcing agency to reduce the amount of water, dust or debris which may enter the system. 4.504.2 FINISH MATERIAL POLLUTANT CONTROL. Finish materials shall comply with this section. 4.504.2.1 Adhesives, Sealants and Caulks. Adhesives, sealant and caulks used on the project shall meet the requirements of the following standards unless more stringent local or regional air pollution or air quality management district rules apply: 1. Adhesives, adhesive bonding primers, adhesive primers, sealants, sealant primers and caulks shall comply with local or regional air pollution control or air quality management district rules where applicable or SCAQMD Rule 1168 VOC limits, as shown in Table 4.504.1 or 4.504.2, as applicable. Such products also shall comply with the Rule 1168 prohibition on the use of certain toxic compounds (chloroform, ethylene dichloride, methylene chloride, perchloroethylene and tricloroethylene), except for aerosol products, as specified in Subsection 2 below. 2. Aerosol adhesives, and smaller unit sizes of adhesives, and sealant or caulking compounds (in units of product, less packaging, which do not weigh more than 1 pound and do not consist of more than 16 fluid ounces) shall comply with statewide VOC standards and other requirements, including prohibitions on use of certain toxic compounds, of California Code of Regulations, Title 17,

> 4.504.2.2 Paints and Coatings. Architectural paints and coatings shall comply with VOC limits in Table 1 of the ARB Architectural Suggested Control Measure, as shown in Table 4.504.3, unless more stringent local limits apply. The VOC content limit for coatings that do not meet the definitions for the specialty coatings categories listed in Table 4.504.3 shall be determined by classifying the coating as a Flat, Nonflat or Nonflat-High Gloss coating, based on its gloss, as defined in subsections 4.21, 4.36, and 4.37 of the 2007 California Air Resources Board, Suggested Control Measure, and the corresponding Flat, Nonflat or Nonflat-High Gloss VOC limit in

4.504.2.3 Aerosol Paints and Coatings. Aerosol paints and coatings shall meet the Product-weighted MIR Limits for ROC in Section 94522(a)(2) and other requirements, including prohibitions on use of certain toxic compounds and ozone depleting substances, in Sections 94522(e)(1) and (f)(1) of California Code of Regulations, Title 17, commencing with Section 94520; and in areas under the jurisdiction of the Bay Area Air Quality Management District additionally comply with the percent VOC by weight of product limits of Regulation

4.504.2.4 Verification. Verification of compliance with this section shall be provided at the request of the enforcing agency. Documentation may include, but is not limited to, the following:

Manufacturer's product specification. Field verification of on-site product containers.

commencing with section 94507.

TABLE 4.504.1 - ADHESIVE VOC LIMIT_{1,2} (Less Water and Less Exempt Compounds in Grams per Liter) ARCHITECTURAL APPLICATIONS INDOOR CARPET ADHESIVES CARPET PAD ADHESIVES OUTDOOR CARPET ADHESIVES WOOD FLOORING ADHESIVES RUBBER FLOOR ADHESIVES SUBFLOOR ADHESIVES 65 CERAMIC TILE ADHESIVES VCT & ASPHALT TILE ADHESIVES DRYWALL & PANEL ADHESIVES COVE BASE ADHESIVES MULTIPURPOSE CONSTRUCTION ADHESIVE 100 STRUCTURAL GLAZING ADHESIVES 250 SINGLE-PLY ROOF MEMBRANE ADHESIVES OTHER ADHESIVES NOT LISTED SPECIALTY APPLICATIONS 510 **PVC WELDING** CPVC WELDING 490 **ABS WELDING** 325 250 PLASTIC CEMENT WELDING ADHESIVE PRIMER FOR PLASTIC CONTACT ADHESIVE 250 SPECIAL PURPOSE CONTACT ADHESIVE STRUCTURAL WOOD MEMBER ADHESIVE TOP & TRIM ADHESIVE 250 SUBSTRATE SPECIFIC APPLICATIONS METAL TO METAL PLASTIC FOAMS POROUS MATERIAL (EXCEPT WOOD)

1. IF AN ADHESIVE IS USED TO BOND DISSIMILAR SUBSTRATES TOGETHER. THE ADHESIVE WITH THE HIGHEST VOC CONTENT SHALL BE ALLOWED.

2. FOR ADDITIONAL INFORMATION REGARDING METHODS TO MEASURE THE VOC CONTENT SPECIFIED IN THIS TABLE, SEE SOUTH COAST AIR QUALITY MANAGEMENT DISTRICT RULE 1168.

(Less Water and Less Exempt Compounds in G	rams per Liter)
SEALANTS	VOC LIMIT
ARCHITECTURAL	250
MARINE DECK	760
NONMEMBRANE ROOF	300
ROADWAY	250
SINGLE-PLY ROOF MEMBRANE	450
OTHER	420
SEALANT PRIMERS	
ARCHITECTURAL	
NON-POROUS	250
POROUS	775
MODIFIED BITUMINOUS	500
MARINE DECK	760
OTHER	750

TABLE 4.504.3 - VOC CONTENT LIMITS FOR

GRAMS OF VOC PER LITER OF COATING, LESS WATER & LESS EXEMPT

50

100

400

ARCHITECTURAL COATINGS2,3

NONFLAT-HIGH GLOSS COATINGS

COMPOUNDS

FLAT COATINGS

COATING CATEGORY

NON-FLAT COATINGS

SPECIALTY COATINGS

ALUMINUM ROOF COATINGS

BASEMENT SPECIALTY COATINGS	400
BITUMINOUS ROOF COATINGS	50
BITUMINOUS ROOF PRIMERS	350
BOND BREAKERS	350
CONCRETE CURING COMPOUNDS	350
CONCRETE/MASONRY SEALERS	100
DRIVEWAY SEALERS	50
DRY FOG COATINGS	150
FAUX FINISHING COATINGS	350
FIRE RESISTIVE COATINGS	350
FLOOR COATINGS	100
FORM-RELEASE COMPOUNDS	250
GRAPHIC ARTS COATINGS (SIGN PAINTS)	500
HIGH TEMPERATURE COATINGS	420
INDUSTRIAL MAINTENANCE COATINGS	250
LOW SOLIDS COATINGS1	120
MAGNESITE CEMENT COATINGS	450
MASTIC TEXTURE COATINGS	100
METALLIC PIGMENTED COATINGS	500
MULTICOLOR COATINGS	250
PRETREATMENT WASH PRIMERS	420
PRIMERS, SEALERS, & UNDERCOATERS	100
REACTIVE PENETRATING SEALERS	350
RECYCLED COATINGS	250
ROOF COATINGS	50
RUST PREVENTATIVE COATINGS	250
SHELLACS	
CLEAR	730
OPAQUE	550
SPECIALTY PRIMERS, SEALERS & UNDERCOATERS	100
STAINS	250
STONE CONSOLIDANTS	450
SWIMMING POOL COATINGS	340
TRAFFIC MARKING COATINGS	100
TUB & TILE REFINISH COATINGS	420
WATERPROOFING MEMBRANES	250
WOOD COATINGS	275
WOOD PRESERVATIVES	350
ZINC-RICH PRIMERS	340

2. THE SPECIFIED LIMITS REMAIN IN EFFECT UNLESS REVISED LIMITS

ARE LISTED IN SUBSEQUENT COLUMNS IN THE TABLE. 3. VALUES IN THIS TABLE ARE DERIVED FROM THOSE SPECIFIED BY THE CALIFORNIA AIR RESOURCES BOARD, ARCHITECTURAL COATINGS SUGGESTED CONTROL MEASURE, FEB. 1, 2008. MORE INFORMATION IS AVAILABLE FROM THE AIR RESOURCES BOARD.

MAXIMUM FORMALDEHYDE EMISSIONS IN PAR	RTS PER MILLION
PRODUCT	CURRENT LIMIT
HARDWOOD PLYWOOD VENEER CORE	0.05
HARDWOOD PLYWOOD COMPOSITE CORE	0.05
PARTICLE BOARD	0.09
MEDIUM DENSITY FIBERBOARD	0.11
THIN MEDIUM DENSITY FIBERBOARD2	0.13

1. VALUES IN THIS TABLE ARE DERIVED FROM THOSE SPECIFIED BY THE CALIF. AIR RESOURCES BOARD, AIR TOXICS CONTROL MEASURE FOR COMPOSITE WOOD AS TESTED IN ACCORDANCE WITH ASTM E 1333. FOR ADDITIONAL INFORMATION, SEE CALIF. CODE OF REGULATIONS, TITLE 17, SECTIONS 93120 THROUGH

2. THIN MEDIUM DENSITY FIBERBOARD HAS A MAXIMUM THICKNESS OF 5/16" (8 MM).

DIVISION 4.5 ENVIRONMENTAL QUALITY (continued) 4.504.3 CARPET SYSTEMS. All carpet installed in the building interior shall meet the testing and product requirements of at least one of the following:

- 1. Carpet and Rug Institute's Green Label Plus Program. 2. California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers" Version 1.1, February 2010 (also known as Specification 01350).
- 4. Scientific Certifications Systems Indoor Advantageтм Gold.

resilient flooring shall comply with one or more of the following:

NSF/ANSI 140 at the Gold level.

4.504.3.1 Carpet cushion. All carpet cushion installed in the building interior shall meet the requirements of the Carpet and Rug Institute's Green Label program.

4.504.3.2 Carpet adhesive. All carpet adhesive shall meet the requirements of Table 4.504.1 4.504.4 RESILIENT FLOORING SYSTEMS. Where resilient flooring is installed, at least 80% of floor area receiving

1. Products compliant with the California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.1, February 2010 (also known as Specification 01350), certified as a CHPS Low-Emitting Material

- in the Collaborative for High Performance Schools (CHPS) High Performance Products Database. 2. Products certified under UL GREENGUARD Gold (formerly the Greenguard Children & Schools program). Certification under the Resilient Floor Covering Institute (RFCI) FloorScore program.
- 4. Meet the California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers", Version 1.1,

4.504.5 COMPOSITE WOOD PRODUCTS. Hardwood plywood, particleboard and medium density fiberboard composite wood products used on the interior or exterior of the buildings shall meet the requirements for formaldehyde as specified in ARB's Air Toxics Control Measure for Composite Wood (17 CCR 93120 et seq.), by or before the dates specified in those sections, as shown in Table 4.504.5

4.504.5.1 Documentation. Verification of compliance with this section shall be provided as requested by the enforcing agency. Documentation shall include at least one of the following:

Product certifications and specifications. . Chain of custody certifications.

February 2010 (also known as Specification 01350).

- 3. Product labeled and invoiced as meeting the Composite Wood Products regulation (see
- CCR, Title 17, Section 93120, et seq.). 4. Exterior grade products marked as meeting the PS-1 or PS-2 standards of the Engineered Wood Association, the Australian AS/NZS 2269, European 636 3S standards, and Canadian CSA 0121, CSA 0151, CSA 0153 and CSA 0325 standards.
- Other methods acceptable to the enforcing agency.

4.505 INTERIOR MOISTURE CONTROL 4.505.1 General. Buildings shall meet or exceed the provisions of the California Building Standards Code.

4.505.2 CONCRETE SLAB FOUNDATIONS. Concrete slab foundations required to have a vapor retarder by California Building Code, Chapter 19, or concrete slab-on-ground floors required to have a vapor retarder by the California Residential Code, Chapter 5, shall also comply with this section.

4.505.2.1 Capillary break. A capillary break shall be installed in compliance with at least one of the

- 1. A 4-inch (101.6 mm) thick base of 1/2 inch (12.7mm) or larger clean aggregate shall be provided with a vapor barrier in direct contact with concrete and a concrete mix design, which will address bleeding, shrinkage, and curling, shall be used. For additional information, see American Concrete Institute,
- . Other equivalent methods approved by the enforcing agency. A slab design specified by a licensed design professional.

4.505.3 MOISTURE CONTENT OF BUILDING MATERIALS. Building materials with visible signs of water damage shall not be installed. Wall and floor framing shall not be enclosed when the framing members exceed 19 percent moisture content. Moisture content shall be verified in compliance with the following:

- 1. Moisture content shall be determined with either a probe-type or contact-type moisture meter. Equivalent moisture verification methods may be approved by the enforcing agency and shall satisfy requirements
- found in Section 101.8 of this code. 2. Moisture readings shall be taken at a point 2 feet (610 mm) to 4 feet (1219 mm) from the grade stamped end of each piece verified.
- 3. At least three random moisture readings shall be performed on wall and floor framing with documentation acceptable to the enforcing agency provided at the time of approval to enclose the wall and floor framing.
- Insulation products which are visibly wet or have a high moisture content shall be replaced or allowed to dry prior to

enclosure in wall or floor cavities. Wet-applied insulation products shall follow the manufacturers' drying recommendations prior to enclosure.

4.506 INDOOR AIR QUALITY AND EXHAUST 4.506.1 Bathroom exhaust fans. Each bathroom shall be mechanically ventilated and shall comply with the

1. Fans shall be ENERGY STAR compliant and be ducted to terminate outside the building.

- 2. Unless functioning as a component of a whole house ventilation system, fans must be controlled by a
- a. Humidity controls shall be capable of adjustment between a relative humidity range less than or equal to 50% to a maximum of 80%. A humidity control may utilize manual or automatic means of
- b. A humidity control may be a separate component to the exhaust fan and is not required to be integral (i.e., built-in)

acceptable.

DISCLAIMER: THIS DOCUMENT IS PROVIDED AND INTENDED TO BE USED AS A MEANS TO INDIVIDUAL NEEDS. THE END USER ASSUMES ALL RESPONSIBILITY ASSOCIATED WITH THE 2016 CALIFORNIA GREEN BUILDING STANDARDS (CALGREEN) CODE. DUE TO THE VARIABLES BETWEEN BUILDING STANDARDS (CALGREEN) CODE. DUE TO THE VARIABLES BETWEEN BUILDING STANDARDS (CALGREEN) CODE. DUE TO THE VARIABLES BETWEEN BUILDING STANDARDS (CALGREEN) CODE. DUE TO THE VARIABLES BETWEEN BUILDING STANDARDS (CALGREEN) CODE. DUE TO THE VARIABLES BETWEEN BUILDING STANDARDS (CALGREEN) CODE. DUE TO THE VARIABLES BETWEEN BUILDING STANDARDS (CALGREEN) CODE. DUE TO THE VARIABLES BETWEEN BUILDING DEPARTMENT JURISDICTIONS, THIS CHECKLIST IS TO BE USED AND INDIVIDUAL PROJECT BASIS AND MAY BE MODIFIED BY THE END USER ASSUMES ALL RESPONSIBILITY ASSOCIATED WITH THE 2016 CALIFORNIA GREEN BUILDING STANDARDS (CALGREEN) CODE. DUE TO THE VARIABLES BETWEEN BUILDING STANDARDS (CALGREEN) CODE. DUE TO THE VARIABLES BETWEEN BUILDING STANDARDS (CALGREEN) CODE. DUE TO THE VARIABLES BETWEEN BUILDING STANDARDS (CALGREEN) CODE. DUE TO THE VARIABLES BETWEEN BUILDING STANDARDS (CALGREEN) CODE. DUE TO THE VARIABLES BETWEEN BUILDING STANDARDS (CALGREEN) CODE. DUE TO THE VARIABLES BETWEEN BUILDING STANDARDS (CALGREEN) CODE. DUE TO THE VARIABLES BETWEEN BUILDING STANDARDS (CALGREEN) CODE. DUE TO THE VARIABLES BETWEEN BUILDING STANDARDS (CALGREEN) CODE. DUE TO THE VARIABLES BETWEEN BUILDING STANDARDS (CALGREEN) CODE. DUE TO THE VARIABLES BETWEEN BUILDING STANDARDS (CALGREEN) CODE. DUE TO THE VARIABLES BETWEEN BUILDING STANDARDS (CALGREEN) CODE. DUE TO THE VARIABLES BETWEEN BUILDING STANDARDS (CALGREEN) CODE. DUE TO THE VARIABLES BETWEEN BUILDING STANDARDS (CALGREEN) CODE. DUE TO THE VARIABLES BETWEEN BUILDING STANDARDS (CALGREEN) CODE. DUE TO THE VARIABLES BETWEEN BUILDING STANDARDS (CALGREEN) CODE. DUE TO THE VARIABLES BETWEEN BUILDING STANDARDS (CALGREEN) CODE. DUE TO THE VARIABLE BUILDING STANDARDS (CALGREEN) CODE. DUE TO THE VARIABLE BUILDING STANDARDS (CALGREEN) CODE. DUE TO THE VARIABLE BUILDING

- 1. For the purposes of this section, a bathroom is a room which contains a bathtub, shower or
- 2. Lighting integral to bathroom exhaust fans shall comply with the California Energy Code.

4.507 ENVIRONMENTAL COMFORT 4.507.2 HEATING AND AIR-CONDITIONING SYSTEM DESIGN. Heating and air conditioning systems shall be sized, designed and have their equipment selected using the following methods:

- 1. The heat loss and heat gain is established according to ANSI/ACCA 2 Manual J 2011 (Residential
- Load Calculation), ASHRAE handbooks or other equivalent design software or methods. Duct systems are sized according to ANSI/ACCA 1 Manual D - 2014 (Residential Duct Systems),
- ASHRAE handbooks or other equivalent design software or methods.
- 3. Select heating and cooling equipment according to ANSI/ACCA 3 Manual S 2014 (Residential Equipment Selection), or other equivalent design software or methods.

Exception: Use of alternate design temperatures necessary to ensure the system functions are



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STANDARDS CODE

Storm Water Requirements Applicability Checklist November 2018

	Project Address:	9205	CALLE	DEI	CIEI	$\overline{}$
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SECTION 1. Construction Storm Water BMP Requirements: All construction sites are required to implement construction BMPs in accordance with the performance standards in the <u>Storm Water Standards Manual</u>. Some sites are additionally required to obtain coverage under the State Construction General Permit (CGP)¹, which is administered by the State Regional Water Quality Control Board.

For all projects complete PART A: If project is required to submit a SWPPP or WPCP, continue to PART B.

PART A: Determine Construction Phase Storm Water Requirements.

1. Is the project subject to California's statewide General NPDES permit for Storm Water Discharges Associated with Construction Activities, also known as the State Construction General Permit (CGP)? (Typically projects with land disturbance greater than or equal to 1 acre.)

Yes; SWPPP required, skip questions 2-4 No; next question

Does the project propose construction or demolition activity, including but not limited to, clearing, grading, grubbing, excavation, or any other activity resulting in ground disturbance and/or contact with storm water?

Yes; WPCP required, skip questions 3-4 No; next question

3. Does the project propose routine maintenance to maintain original line and grade, hydraulic capacity, or original purpose of the facility? (Projects such as pipeline/utility replacement)

Yes; WPCP required, skip question 4 No; next question

4. Does the project only include the following Permit types listed below? Electrical Permit, Fire Alarm Permit, Fire Sprinkler Permit, Plumbing Permit, Sign Permit, Mechanical Permit,

Individual Right of Way Permits that exclusively include only ONE of the following activities: water service,

sewer lateral, or utility service. Right of Way Permits with a project footprint less than 150 linear feet that exclusively include only ONE of the following activities: curb ramp, sidewalk and driveway apron replacement, pot holing, curb and gutter replacement, and retaining wall encroachments.

Yes; no document required

Check one of the boxes below, and continue to PART B:

If you checked "Yes" for question 1, a SWPPP is REQUIRED. Continue to PART B

If you checked "No" for question 1, and checked "Yes" for question 2 or 3, a WPCP is REQUIRED. If the project proposes less than 5,000 square feet of ground disturbance AND has less than a 5-foot elevation change over the entire project area, a Minor WPCP may be required instead. Continue to PART B.

If you checked "No" for all questions 1-3, and checked "Yes" for question 4 PART B does not apply and no document is required. Continue to Section 2.

1. More information on the City's construction BMP requirements as well as CGP requirements can be found at:

Printed on recycled paper. Visit our web site at www.sandiego.gov/development-services Upon request, this information is available in alternative formats for persons with disabilities. DS-560 (11-18)

environmentally et of impervious surface entally Sensitive erland a distance of 200 n channel any distance with flows from adjacent e outlet (RGO) that The development (b) has a projected repair shops that surfaces. Development SIC) codes 5013, 5014, the categories above, ed to generate pollutants clude projects creating ig does not require regula we plants. Calculation of hways that are for infrequ trian use, if they are built	
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Page 2 of 4	City of San Diego	Development Services	Storm Water Requirements	Applicability Checklist

PART B: Determine Construction Site Priority

This prioritization must be completed within this form, noted on the plans, and included in the SWPPP or WPCP. The city reserves the right to adjust the priority of projects both before and after construction. Construction projects are assigned an inspection frequency based on if the project has a "high threat to water quality." The City has aligned the local definition of "high threat to water quality" to the risk determination approach of the State Construction General Permit (CGP). The CGP determines risk level based on project specific sediment risk and receiving water risk. Additional inspection is required for projects within the Areas of Special Biological Significance (ASBS) watershed. **NOTE:** The construction priority does **NOT** change construction BMP requirements that apply to projects; rather, it determines the frequency of inspections that will be conducted by city staff.

Complete PART B and continued to Section	n	
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1.	ASBS
	a. Projects located in the ASBS watershed.

a. Projects that qualify as Risk Level 2 or Risk Level 3 per the Construction General Permit (CGP) and not located in the ASBS watershed. b. Projects that qualify as LUP Type 2 or LUP Type 3 per the CGP and not located in the ASBS watershed.

Medium Priority a. Projects that are not located in an ASBS watershed or designated as a High priority site.

b. Projects that qualify as Risk Level 1 or LUP Type 1 per the CGP and not located in an ASBS

c. WPCP projects (>5,000sf of ground disturbance) located within the Los Penasquitos watershed management area.

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a. Projects not subject to a Medium or High site priority designation and are not located in an ASBS

SECTION 2. Permanent Storm Water BMP Requirements.

Additional information for determining the requirements is found in the Storm Water Standards Manual.

PART C: Determine if Not Subject to Permanent Storm Water Requirements. Projects that are considered maintenance, or otherwise not categorized as "new development projects" or "redevelopment projects" according to the Storm Water Standards Manual are not subject to Permanent Storm Water

If "yes" is checked for any number in Part C, proceed to Part F and check "Not Subject to Permanent Storm Water BMP Requirements".

If "no" is checked for all of the numbers in Part C continue to Part D.

1.	Does the project only include interior remodels and/or is the project entirely within an existing enclosed structure and does not have the potential to contact storm water?	Yes	⊠ No
2.	Does the project only include the construction of overhead or underground utilities without creating new impervious surfaces?	Yes	⊠ No

Does the project fall under routine maintenance? Examples include, but are not limited to: roof or exterior structure surface replacement, resurfacing or reconfiguring surface parking lots or existing roadways without expanding the impervious footprint, and routine replacement of damaged pavement (grinding, overlay, and pothole repair).

Yes X No

ARCHITECTS

Yes □ No

X Yes No

Yes 🗵 No

☐ Yes 🗵 No

Yes 🗷 No

☐ Yes ☒ No

Page 3 of 4 City of San Diego • Development Services • Storm Water Requirements Applicability Checklist

PDP Exempt projects are required to implement site design and source control BMPs.

1. Does the project ONLY include new or retrofit sidewalks, bicycle lanes, or trails that:

If "no" was checked for all questions in Part D, continue to Part E.

Yes; PDP exempt requirements apply No; project not exempt.

PART E: Determine if Project is a Priority Development Project (PDP).

If "yes" was checked for any questions in Part D, continue to Part F and check the box labeled

• Are designed and constructed to direct storm water runoff to adjacent vegetated areas, or other

• Are designed and constructed to be hydraulically disconnected from paved streets and roads? Or;

No; next question

Are designed and constructed with permeable pavements or surfaces in accordance with the Green Streets guidance in the City's Storm Water Standards manual?

Does the project ONLY include retrofitting or redeveloping existing paved alleys, streets or roads designed and constructed in accordance with the Green Streets guidance in the City's Storm Water Standards Manual?

Projects that match one of the definitions below are subject to additional requirements including preparation of

If "yes" is checked for any number in PART E, continue to PART F and check the box labeled "Pri-

If "no" is checked for every number in PART E, continue to PART F and check the box labeled

New Development that creates 10,000 square feet or more of impervious surfaces

Redevelopment project that creates and/or replaces 5,000 square feet or more of

surfaces. This includes commercial, industrial, residential, mixed-use, and public

impervious surfaces on an existing site of 10,000 square feet or more of impervious

New development or redevelopment of a restaurant. Facilities that sell prepared foods

prepared foods and drinks for immediate consumption (SIC 5812), and where the land

development creates and/or replace 5,000 square feet or more of impervious surface.

the development will grade on any natural slope that is twenty-five percent or greater.

New development or redevelopment of a parking lot that creates and/or replaces 5,000 square feet or more of impervious surface (collectively over the project site).

driveways. The project creates and/or replaces 5,000 square feet or more of impervious

New development or redevelopment of streets, roads, highways, freeways, and

New development or redevelopment on a hillside. The project creates and/or replaces 5,000 square feet or more of impervious surface (collectively over the project site) and where

and drinks for consumption, including stationary lunch counters and refreshment stands selling

collectively over the project site. This includes commercial, industrial, residential,

mixed-use, and public development projects on public or private land.

PART D: PDP Exempt Requirements.

non-erodible permeable areas? Or;

Yes; PDP exempt requirements apply

a Storm Water Quality Management Plan (SWQMP).

development projects on public or private land.

surface (collectively over the project site).

ority Development Project".

"Standard Development Project".

"PDP Exempt."



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CITY STANDARD TITLE BLOCK

PREPARED BY:	Revision 14:	
Name:	Revision 13:	
WILL & FOTSCH ARCHITECTS	Revision 12:	
Contact: Andy Fotsch	Revision 11:	
1298 Prospect Street, Ste. 2S	Revision 10:	
La Jolla, CA 92037	Revision 09:	
Phone:	Revision 08:	
(858) 224-2486	Revision 07:	
Street Address:	Revision 06:	02/17/2022
8305, CALLE DEL CIELO, LA	Revision 05:	10/12/2022
JOLLA, CA 92037	Revision 04:	07/06/2022
APN: 346-190-01-00	Revision 03:	02/24/2022
	Revision 02:	03-29-2021
Project Name:	Revision 01:	01-06-2021

CALLE DEL CIELO

Sheet Title:

DS-560

02/24/2022 2ND SUBMITTAL 07/06/2022 3RD SUBMITTAL 10/12/2022 4TH SUBMITTAL

ISSUE:

FULL SUBMITTAL

01/06/2021 CDP 1ST SUBMITTAL

03/29/2021

Original Date: 01-06-2021

Sheet: ____2_of:__17_



CITY OF SAN DIEGO.

ON THE PLANS.

SHALL BE INSTALLED.

- 2. UPON ISSUANCE OF A PERMIT, NO WORK WILL BE PERMITTED ON WEEKENDS OR HOLIDAYS UNLESS APPROVED BY TRAFFIC CONTROL PERMIT FROM THE DEVELOPMENT SERVICES DEPARTMENT
- 3. THE APPROVAL OF THIS PLAN OR ISSUANCE OF A PERMIT BY THE CITY OF SAN DIEGO DOES NOT AUTHORIZE THE PERMIT HOLDER OR OWNER TO VIOLATE ANY FEDERAL, STATE OR CITY LAWS, ORDINANCES, REGULATIONS, OR POLICIES.
- 4. IMPORTANT NOTICE: SECTION 4216 OF THE GOVERNMENT CODE REQUIRES A DIG ALERT IDENTIFICATION NUMBER ISSUED BEFORE A "PERMIT TO EXCAVATE" WILL BE VALID. FOR YOUR DIG ALERT I.D. NUMBER, CALL UNDERGROUND SERVICE ALERT. TOLL FREE (800) 422-4133, TWO DAYS BEFORE YOU DIG.
- 5. CONTRACTOR SHALL BE RESPONSIBLE FOR POTHOLING AND LOCATING ALL EXISTING UTILITIES THAT CROSS THE PROPOSED TRENCH LINE WHILE MAINTAINING A 1 FOOT VERTICAL CLEARANCE
- 6. "PUBLIC IMPROVEMENT SUBJECT TO DESUETUDE OR DAMAGE." IF REPAIR OR REPLACEMENT OF SUCH PUBLIC IMPROVEMENTS IS REQUIRED, CONTRACTOR SHALL OBTAIN THE REQUIRED PERMITS FOR WORK IN THE PUBLIC RIGHT-OF-WAY, SATISFACTORY TO THE PERMIT ISSUING AUTHORITY.
- 7. DEVIATIONS FROM THESE SIGNED PLANS WILL NOT BE ALLOWED UNLESS A CONSTRUCTION CHANGE IS APPROVED BY THE CITY ENGINEER OR THE CHANGE IS REQUIRED BY THE RESIDENT ENGINEER.
- 8. CONTRACTOR SHALL REPLACE OR REPAIR ALL TRAFFIC SIGNAL LOOPS, CONDUITS, AND LANE STRIPING DAMAGED DURING CONSTRUCTION.
- 9. PRIOR TO SITE DISTURBANCE, CONTRACTOR SHALL MAKE ARRANGEMENTS FOR A PRECONSTRUCTION MEETING WITH THE CITY OF SAN DIEGO. CONSTRUCTION MANAGEMENT AND FIELD SERVICES DIVISION (858) 627-3200.
- 10. CONTRACTOR SHALL ONLY PERFORM SITE SURVEY AND UTILITY MARK OUT SERVICES PRIOR TO THE PRECONSTRUCTION MEETING.
- 11. CONTRACTOR SHALL IMPLEMENT AN EROSION CONTROL PROGRAM DURING THE PROJECT CONSTRUCTION ACTIVITIES. THE PROGRAM SHALL COMPLY WITH ALL APPLICABLE REQUIREMENTS OF THE STATE WATER RESOURCE CONTROL BOARD.
- 12. CONTRACTOR SHALL HAVE EMERGENCY MATERIAL AND EQUIPMENT ON HAND FOR UNFORESEEN SITUATIONS, SUCH AS DAMAGE TO UNDERGROUND WATER, SEWER, AND STORM DRAIN FACILITIES WHERE FLOW MAY GENERATE EROSION AND SEDIMENT POLLUTION.
- 13. AN AS-GRADED GEOTECHNICAL REPORT AND SET OF THE REDLINE "AS-BUILT" GRADING PLANS SHALL BE SUBMITTED ONLINE TO THE CITY OF SANDIEGO DEVELOPMENT SERVICE DEPARTMENT WITHIN 30 CALENDAR DAYS OF THE COMPLETION OF GRADING. THE SUBMITTED INFORMATION SHALL BE REVIEWED FOR ADEQUACY BY THE GEOLOGY SECTION OF DEVELOPMENT SERVICES
- PRIOR TO PROJECT CLOSE OUT. 14. "AS-BUILT" DRAWINGS MUST BE SUBMITTED TO THE RESIDENT ENGINEER PRIOR TO ACCEPTANCE OF THIS PROJECT BY THE
- 15. MANHOLES, VAULTS AND PULL BOX COVERS SHALL BE LABELED WITH THE "NAME OF COMPANY"AND HAVE A SLIP RESISTANT LID WITH A MINIMUM STATIC COEFFICIENT OF FRICTION OF 0.5.
- 16. CONTRACTOR SHALL PROVIDE RED-LINES DRAWINGS IN ACCORDANCE WITH 2-5.4 OF THE WHITEBOOK, "RED-LINES AND RECORD DOCUMENTS."
- 17. CONTRACTOR SHALL MAINTAIN A MINIMUM OF 1 FOOT VERTICAL SEPARATION TO ALL UTILITIES UNLESS OTHERWISE SPECIFIED
- 18. CONTRACTOR SHALL REMOVE AND REPLACE ALL UTILITY BOXES SERVING AS HANDHOLES THAT ARE NOT IN "AS-NEW" CONDITION IN PROPOSED SIDEWALK, DAMAGED BOXES, OR THOSE THAT ARE NOT IN COMPLIANCE WITH CURRENT CODE SHALL BE REMOVED AND REPLACED WITH NEW BOXES, INCLUDING WATER, SEWER, TRAFFIC SIGNALS, STREET LIGHTS, DRY UTILITIES-SDG&E, COX, ETC. ALL NEW METAL LIDS SHALL BE SLIP RESISTANT AND INSTALLED FLUSH WITH PROPOSED SIDEWALK GRADE. IF A SLIP RESISTANT METAL LID IS NOT COMMERCIALLY AVAILABLE FOR THAT USE, NEW BOXES AND LIDS
- 19. THE AREA WHICH IS DEFINED AS A NON GRADING AREA AND WHICH IS NOT TO BE DISTURBED SHALL BE STAKED PRIOR TO START OF THE WORK. THE PERMIT APPLICANT AND ALL OF THEIR REPRESENTATIVES OR CONTRACTORS SHALL COMPLY WITH THE REQUIREMENTS FOR PROTECTION OF THIS AREA AS REQUIRED BY ANY APPLICABLE AGENCY. ISSUANCE OF THE CITY'S GRADING PERMIT SHALL NOT RELIEVE THE APPLICANT OR ANY OF THEIR REPRESENTATIVES OR CONTRACTORS FROM COMPLYING WITH ANY STATE OR FEDERAL REQUIREMENTS BY AGENCIES INCLUDING BUT NOT LIMITED TO CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD, CALIFORNIA DEPARTMENT OF FISH AND GAME. COMPLIANCE MAY INCLUDE OBTAINING PERMITS, OTHER AUTHORIZATIONS, OR COMPLIANCE WITH MANDATES BY ANY APPLICABLE STATE OR FEDERAL AGENCY.
- 20. PRIOR TO CONSTRUCTION, SURVEY MONUMENTS (HORIZONTAL AND VERTICAL) THAT ARE LOCATED IN THE CONSTRUCTION AREA SHALL BE TIED-OUT AND REFERENCED BY A LAND SURVEYOR.
- 21. UPON COMPLETION OF CONSTRUCTION, ALL DESTROYED SURVEY MONUMENTS ARE REQUIRED TO BE REPLACED, AND A CORNER RECORD OR RECORD OF SURVEY SHALL BE PREPARED AND FILED WITH THE COUNTY SURVEYOR AS REQUIRED BY THE PROFESSIONAL LAND SURVEYOR ACT, SECTION 8771 OF THE BUSINESS AND PROFESSIONS CODE OF THE STATE OF CALIFORNIA.

GROUND WATER DISCHARGE NOTES

ALL GROUND WATER EXTRACTION AND SIMILAR WASTE DISCHARGES TO SURFACE WATERS NOT TRIBUTARY TO THE SAN DIEGO BAY ARE PROHIBITED UNTIL IT CAN BE DEMONSTRATED THAT THE OWNER HAS APPLIED AND OBTAINED AUTHORIZATION FROM THE STATE OF CALIFORNIA VIA AN OFFICIAL "ENROLLMENT LETTER" FROM THE REGIONAL WATER QUALITY CONTROL BOARD IN ACCORDANCE WITH THE TERMS, PROVISIONS AND CONDITIONS OF STATE ORDER NO R9-2015-0013 NPDES CAG919003.

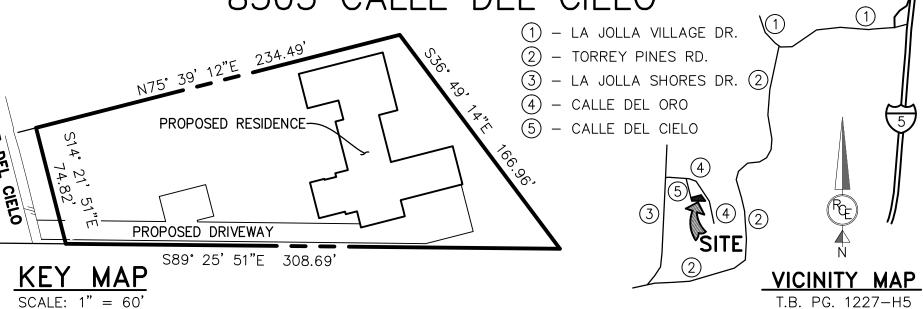
2. THE ESTIMATED MAXIMUM DISCHARGE RATES MUST NOT EXCEED THE LIMITS SET IN THE OFFICIAL "ENROLLMENT LETTER" FROM THE REGIONAL BOARD UNLESS PRIOR NOTIFICATION AND SUBSEQUENT AUTHORIZATION HAS BEEN OBTAINED, AND DISCHARGE OPERATIONS MODIFIED TO ACCOMMODATE THE INCREASED RATES.

3. ALL GROUND WATER EXTRACTIONS AND SIMILAR WASTE DISCHARGES TO SURFACE WATERS TRIBUTARY TO THE SAN DIEGO BAY ARE PROHIBITED UNTIL IT CAN BE DEMONSTRATED THAT THE OWNER HAS APPLIED AND OBTAINED AUTHORIZATION FROM THE STATE OF CALIFORNIA VIA AN OFFICIAL "ENROLLMENT LETTER" FROM THE REGIONAL WATER QUALITY CONTROL BOARD IN ACCORDANCE WITH THE TERMS, PROVISIONS AND CONDITIONS OF STATE ORDER NO R9-2015-0013 NPDES NO. CAG919003.

SITE DESIGN, SOURCE CONTROL AND POLLUTANT CONTROL BMP OPERATION + MAINTENANCE PROCEDURE							
STORM WATER MANAGEMENT AND DISCHARGE CONTROL MAINTENANCE AGREEMENT APPROVAL NO.:							
O&M RESPONSIBLE PARTY DESIG	NEE: GHASSAN &	GHADA KASSAB (OR CURRENT PROPERTY OWNER)				
BMP DESCRIPTION	INSPECTION FREQUENCY	MAINTENANCE FREQUENCY	MAINTENANCE METHOD	QUANTITY	INCLUDEL O&M MAN		SHEET NUMBER(S)
SITE DESIGN ELEMENTS					YES	NO	
DESCRIPTION: LANDSCAPE	MONTHLY	BI-ANNUALLY	TYP. LANDSCAPE MAINT.	SITE			G002 & G003
SOURCE CONTROL ELEMENTS					YES	NO	
DESCRIPTION: IRRIGATION	MONTHLY	BI-ANNUALLY	CHECK IRRIGATION	SITE			G002 & G003
POLLUTANT CONTROL BMP(S)					YES	NO	
DESCRIPTION: BIOFILTRATION	MONTHLY	BI-ANNUALLY	REM. DEBRIS/RE EST. VEG.	3			G002 & G003
HMP FACILITY (IF SEPARATE)			,		YES	NO	
DESCRIPTION: N/A	N/A	N/A	N/A	_			_
HMP EXEMPT YES							

GRADING PLANS FOR:

8305 CALLE DEL CIELO



GRADING & GEOTECHNICAL SPECIFICATIONS

1. ALL GRADING SHALL BE CONDUCTED UNDER THE OBSERVATION AND TESTING BY A QUALIFIED PROFESSIONAL ENGINEER AND, IF REQUIRED, A QUALIFIED PROFESSIONAL GEOLOGIST. ALL GRADING MUST BE PERFORMED IN ACCORDANCE WITH APPLICABLE CITY ORDINANCE AND THE RECOMMENDATIONS AND SPECIFICATIONS SET FORTH IN THE PRELIMINARY GEOTECHNICAL INVESTIGATION REPORT(S) ENTITLED

TITLE: PLANNING PHASE REPORT OF INFILTRATION FEASIBILITY FOR PROPOSED STORM WATER BMPs PROVIDED BY: GEOTECHNICAL EXPLORATION, INC

THESE DOCUMENTS WILL BE FILED IN THE RECORDS SECTION OF DEVELOPMENT SERVICES UNDER THE PROJECT NUMBER INDICATED IN THE TITLE BLOCK OF THESE PLANS

2. ALL FILL SOIL SHALL BE COMPACTED TO A MINIMUM OF 90% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY THE MOST RECENT VERSION OF A.S.T.M. D-1557 OR AN APPROVED ALTERNATIVE STANDARD.

3. AT THE COMPLETION OF THE GRADING OPERATIONS FOR THE EARTHWORK SHOWN ON THIS PLAN, AN AS-GRADED GEOTECHNICAL REPORT SHALL BE PREPARED IN ACCORDANCE WITH THE MOST RECENT EDITION OF THE CITY OF SAN DIEGO GUIDELINES FOR GEOTECHNICAL REPORTS. THE FINAL "AS-GRADED" GEOTECHNICAL REPORT WILL BE SUBMITTED IN ACCORDANCE WITH THE GENERAL NOTES ON THESE PLANS WITHIN 30 DAYS OF THE COMPLETION OF GRADING. WHERE GEOLOGIC INSPECTION IS INDICATED IN THE PERMIT, PLANS, SPECIFICATIONS, OR GEOTECHNICAL REPORT(S), THE FINAL "AS-GRADED" GEOTECHNICAL REPORT MUST ALSO BE REVIEWED AND SIGNED BY A QUALIFIED PROFESSIONAL GEOLOGIST.

4. THE COMPANY OR COMPANIES REPRESENTED BY THE INDIVIDUALS SIGNING ITEM NO. 5 OF THIS CERTIFICATE IS/ARE THE GEOTECHNICAL CONSULTANT(S) OF RECORD. IF THE GEOTECHNICAL CONSULTANT OF RECORD IF CHANGED FOR THE PROJÈCT, THE WORK SHALL BE STOPPED UNTIL THE REPLACEMENT HAS SUBMITTED AN ACCEPTABLE TRANSFER OF GEOTECHNICAL CONSULTANT OF RECORD DECLARATION PREPARED IN ACCORDANCE WITH THE MOST RECENT EDITION OF TEH CITY OF SAN DIEGO GUIDELINES FOR GEOTECHNICAL REPORTS. IT SHALL BE THE DUTY OF THE PERMITTEE TO NOTIFY THE RESIDENT ENGINEER AND THE GEOLOGY SECTION OF DEVELOPMENT SERVICES IN WRITING OF SUCH CHANGE PRIOR TO THE RECOMMENCEMENT OF GRADING.

5. THESE GRADING PLANS HAVE BEEN REVIEWED BY THE UNDERSIGNED AND FOUND TO BE IN CONFORMANCE WITH THE RECOMMENDATIONS AND SPECIFICATIONS CONTAINED IN THE REFERENCED GEOTECHNICAL REPORT(S) PREPARED FOR THIS PROJECT.

GE 2007 Exp. 9/30/23 JAIME A. CERROS G.E. 2007 DATE

HECTOR G. ESTRELLA C.E.G. 2656 DATE GEOTECHNICAL EXPLORATION, INC. 7420 TRADE STREET SAN DIEGO, CA 92121

*IF THE PROFESSIONAL ENGINEER (R.C.E. OR G.E.) AND CERTIFIED GEOLOGIST (P.F. OR C.E.G.) SIGNING THIS STATEMENT ARE NOT FROM THE SAME COMPANY, BOTH COMPANY NAMES AND PHONE NUMBERS MUST BE PROVIDED.

DECLARATION OF RESPONSIBLE CHARGE

I HEREBY DECLARE THAT I AM THE ENGINEER OF WORK FOR THIS PROJECT, THAT I HAVE EXERCISED RESPONSIBLE CHARGE OVER THE DESIGN OF THE PROJECT AS DEFINED IN SECTION 6703 OF THE BUSINESS AND PROFESSIONS CODE, AND THAT THE DESIGN IS CONSISTENT WITH CURRENT STANDARDS.

I UNDERSTAND THAT THE CHECK OF PROJECT DRAWINGS AND SPECIFICATIONS BY THE CITY OF SAN DIEGO IS CONFINED TO A REVIEW ONLY AND DOES NOT RELIEVE ME, AS ENGINEER OF WORK, OF MY RESPONSIBILITIES FOR PROJECT DESIGN.

EXP. 12-31-17 DATE

DOUGLAS E. LOGAN

CONSTRUCTION CHANGE **APPROVED** DATE

CHANGE PMT NO. PRJ NO. AFFECTED OR ADDED SHEET NUMBERS

858-549-7222

OWNER/APPLICANT

GHASSAN AND GHADA KASSAB 8305 CALLE DEL CIELO LA JOLLA, CA 92037

REFERENCE DRAWINGS

CITY OF SAN DIEGO DWG. NO. 10774-L & DWG. NO. 30921-14-D

SITE ADDRESS

8305 CALLE DEL CIELO LA JOLLA, CA 92037

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NOT TO SCALE

TOPOGRAPHY SOURCE

RANCHO COASTAL ENGINEERING & SURVEYING, INC. 310 VIA VERA CRUZ SUITE 205

SAN MARCOS, CA 92078 FIELD SHOT TOPOGRAPHY SURVEY ON JULY, 2020

BENCHMARK

DESCRIPTION: A BRASS PLUG SET IN CONCRETE CURB RETURN. LOCATED SOUTHWESTERLY OF THE INTERSECTION OF CALLE DEL ORO & CALLE DEL CIELO IN THE CITY OF LA JOLLA, CA, HAVING A PUBLISHED MEAN SEA LEVEL ELEVATION OF 70.47'.

ASSESSORS PARCEL NUMBER 346-190-01

EXISTING LEGAL DESCRIPTION

LOT 1 OF LA JOLLA SHORES TERRACE IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAF THEREOF NO. 2996, FILED IN THE OFFICE OF TEH COUNTY RECORDER OF SAN DIEGO COUNTY, MAY 29, 1953.

TOTAL DISTURBED AREA

24,829 S.F. / 0.57 AC.

GRADING QUANTITIES

GRADED AREA <u>0.75</u> AC. MAX. CUT DEPTH <u>18</u> FT. CUT QUANTITIES 3,065 C.Y. MAX CUT SLOPE RATIO (2:1MAX) 2:1 FILL QUANTITIES 1,200 C.Y. MAX. FILL DEPTH 8 FT.

THIS PROJECT PROPOSES TO EXPORT 1,865 CUBIC YARDS OF MATERIAL FROM THIS SITE. ALL EXPORT MATERIAL SHALL BE DISCHARGED TO A LEGAL DISPOSAL SITE. THE APPROVAL OF THIS PROJECT DOES NOT ALLOW PROCESSING AND SALE OF THE MATERIAL. ALL SUCH ACTIVITIES REQUIRE A SEPARATE CONDITIONAL USE PERMIT.

SHEET INDEX

TITLE SHEET	SHEET 1
GRADING PLAN	SHEET 2
BIO-RETENTION DETAIL	SHEET 3
EROSION CONTROL PLAN	SHEET 4

PRIVATE WATER & WASTEWATER

THE PRIVATE WATER/SEWER SYSTEM IS DESIGNED IN ACCORDANCE WITH THE CALIFORNIA PLUMBING CODE AND IS SHOWN ON THESE PLANS AS "INFORMATION ONLY". A SEPARATE PLUMBING PERMIT IS REQUIRED FOR CONSTRUCTION AND INSPECTION OF THE SYSTEM.

STORM WATER PROTECTION NOTES

1. TOTAL SITE DISTURBANCE AREA (ACRES) 0.57

HYDROLOGIC UNIT / WATERSHED HYDROLOGIC:_____ HYDRAULIC SUB AREA NAME AND NUMBER: ______

2. PROJECT SHALL COMPLY WITH THE REQUIREMENTS OF THE

■ WPCP

No. 2656

THE PROJECT IS SUBJECT TO MUNICIPAL STORM WATER PERMIT NUMBER R9-2013-0001 AND SUBSEQUENT AMENDMENTS..

■ SWPPP

THE PROJECT IS SUBJECT TO MUNICIPAL STORM WATER PERMIT NUMBER R9-2013-0001 AND CONSTRUCTION GENERAL PERMIT ORDER NUMBER 2009-009-DWQ AS AMENDED BY ORDER 2010-0014 DWQ AND 2012-0006-DWQ

TRADITIONAL: RISK LEVEL □1 🛛 2 □3 RISK LEVEL □ 1 2 □ 3

3. CONSTRUCTION SITE PRIORITY □ ASBS □ HIGH ☑ MEDIUM

□ LOW

WARNING 0 1/2 IF THIS BAR DOES

NOT MEASURE 1"

THEN DRAWING IS

NOT TO SCALE.

TITLE SHEET FOR: CALLE DEL CIELO

1. GRADING AS SHOWN ON THESE PLANS SHALL BE IN CONFORMANCE WITH

AND ACCORDING TO SECTION IV OR THE LAND DEVELOPMENT MANUAL

GROUND COVER, OR EQUIVALENT MATERIAL. SEE SHEET 3 FOR MIX AND

CURRENT STANDARD SPECIFICATIONS AND CHAPTER 14, ARTICLE 2, DIVISION

2. PLANT AND IRRIGATE ALL CUT AND FILL SLOPES AS REQUIRED BY ARTICLE 2

BRIEF LEGAL DESCRIPTION (LOT 1 OF LA JOLLA SHORES TERRACE, MAP NO. 2996)

The	City of	
SA	NA	DIEGO
OR	CITY	APPROVAL

DEVELOPMENT SERVICES DEPARTMENT PMT NO._ SHEET 1 OF 4 SHEETS PRJ NO_ DATE FOR CITY ENGINEER DESCRIPTION APPROVED DATE ORIGINAL XXX XXXX - XXXXNAD83 COORDINATES

WORK TO BE DONE

STANDARD SPECIFICATIONS: DOCUMENT NO.

PWPI010119-01

PWPI010119-02

PWPI010119-04

PWPI060121-10

PWPI030119-05

STANDARD DRAWINGS:

DOCUMENT NO.

PWPI010119-03

PWPI030119-06

LEGEND

<u>IMPROVEMENT</u>

RETAINING WALL

NON-STANDARD DRIVEWAY

BIO-RETENTION BASIN

4" PVC/ABS PIPE (PVT)

5'x5' RIP RAP DISSIPATOR.

BUILDING STEM WALL (NOT-A-PART)

EXISTIN IMPROVEMENTS

6" AREA DRAIN (PVT)

IMPROVEMENT

PROJECT, BOUNDARY,

EDGE OF PAVEMENT

P.C.C. BROW DITCH.

EXIST. CONTOUR.

8" WATER MAIN.

8" SEWER MAIN 1-1/2" GAS LINE.

KEYSTONE WALL

WATER UTILITY.

WATER METER

GRADING NOTES

LANDSCAPE STANDARDS.

SPECIFICATIONS.

OF THE SAN DIEGO MUNICIPAL CODE.

BUILDING.

CONCRETE

LAWN AREA

DECKING

PROPOSED IMPROVEMENTS

THE PUBLIC IMPROVEMENT SHOWN ON THESE PLANS SHALL BE

DESCRIPTION

DESCRIPTION

STANDARD DWGS.

STANDARD DWGS.

SPECIFICATIONS AND STANDARD DRAWINGS OF THE CITY OF SAN DIEGO.

STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (GREENBOOK), 2018 EDITION

CITY OF SAN DIEGO STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (WHITEBOOK), 2018 EDITION

CITYWIDE COMPUTER AIDED DESIGN AND DRAFTING (CADD) STANDARDS, 2018 EDITION

CALIFORNIA DEPARTMENT OF TRANSPORTATION U.S CUSTOMARY STANDARD SPECIFICATIONS, 2018 EDITION

CITY OF SAN DIEGO STANDARD DRAWINGS FOR PUBLIC WORKS CONSTRUCTION, 2018 EDITION

CONSTRUCTED ACCORDING TO THE FOLLOWING STANDARD

XXX-XXXXLAMBERT COORDINATES DRAWING NO. AS BUILTS DATE STARTED_ CONTRACTOR _ INSPECTOR DATE COMPLETED.

R:\Projects\7888 - Will & Fotsch - Calle Del Cielo\ENGINEERING PLANS\7888-GP01.dwg

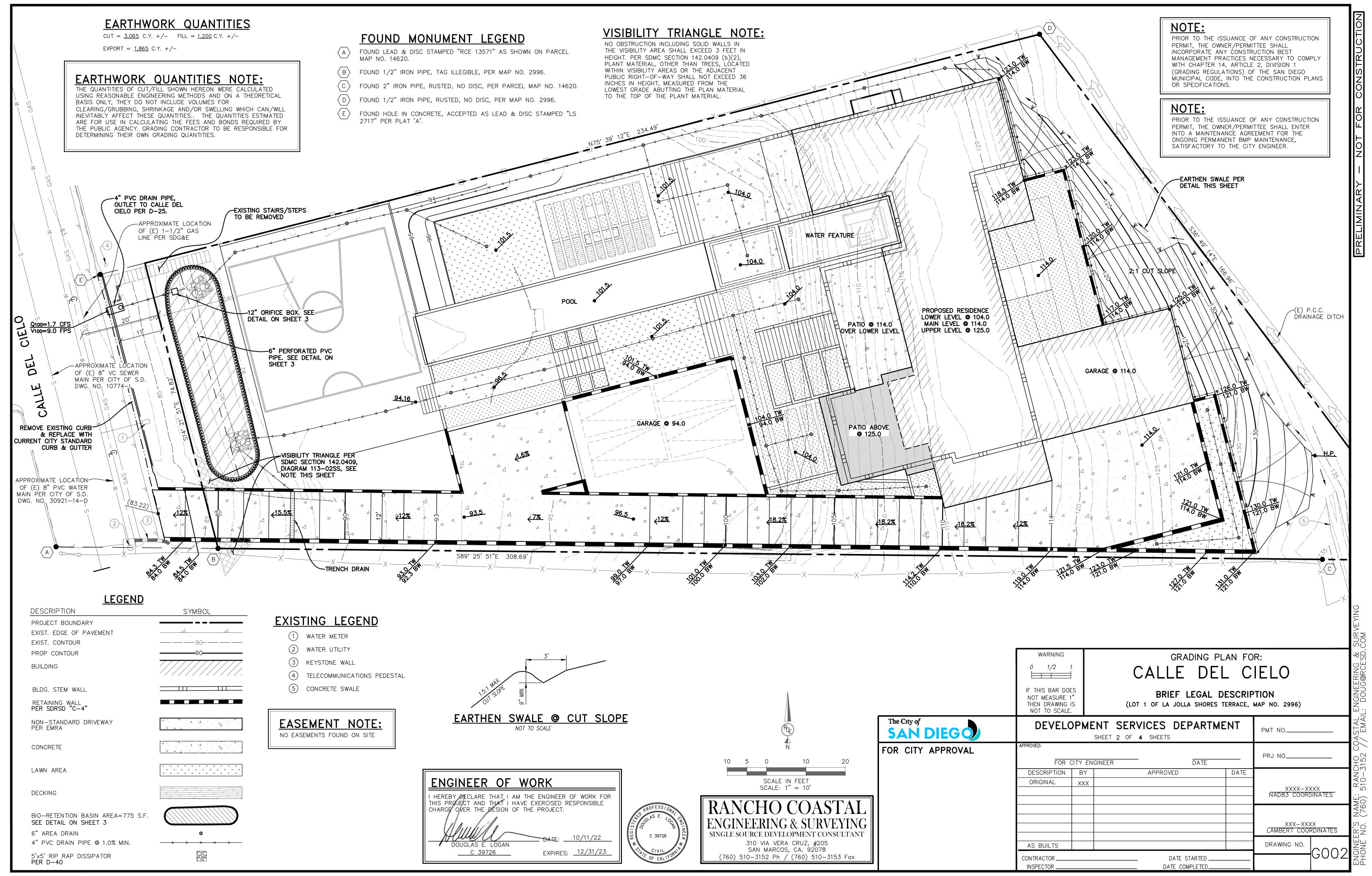
CALIFORNIA MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES REVISION 6(CA MUTCD REV6), 2014 EDITION CALIFORNIA DEPARTMENT OF TRANSPORTATION U.S CUSTOMARY STANDARD PLANS, 2018 EDITION <u>SYMBOL</u>

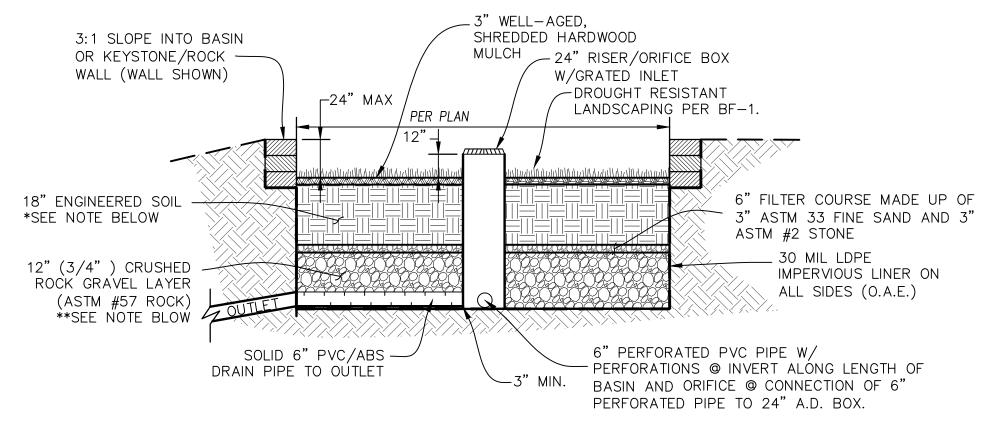
———GAS—

SYMBOL

DIVISION 4, SECTION 142.0411 OF THE SAN DIEGO LAND DEVELOPMENT CODE 3. GRADED, DISTURBED, OR ERODED AREAS THAT WILL NOT BE PERMANENTLY PAVED, COVERED BY STRUCTURE, OR PLANTED FOR A PERIOD OVER 90 DAYS SHALL BE TEMPORARILY RE-VEGETATED WITH A NON-IRRIGATED HYDROSEED MIX,

10/11/2022 10:50 AM





*ENGINEERED SOIL NOTE: LAYER SHALL BE 18" DEEP AND SHALL HAVE VOLUME AND WEIGHT AS FOLLOWS (PER COSD LID MANUAL G.1.1) AND MINIMUM INFILTRATION RATE OF 5.0 IN/HR.:

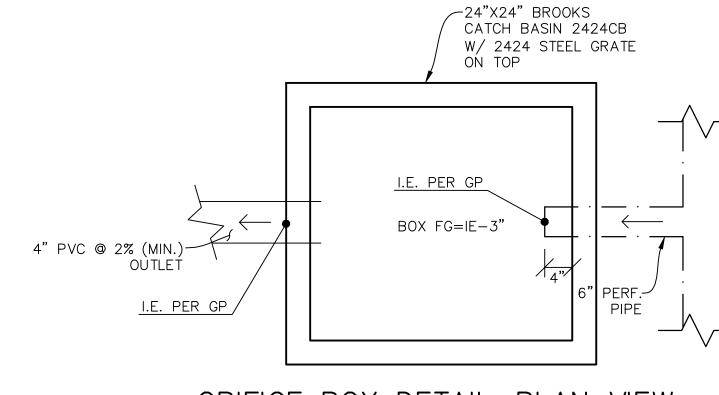
SOIL		SANDY LOAM			
	SAND	SAND	SILT	CLAY	COMPOST
VOLUME	65%		20%		
WEIGHT	75-80%		10% MAX	3% MAX	9% MAX

**12" CRUSHED ROCK LAYER, CL. II PERMEABLE ROCK WITH MIN. 40% POROSITY PER CALTRANS SPEC 68-202F(3).

NUTRIENT SENSITIVE MEDIA NOTE: ALL MEDIA SHALL COMPLY WITH THE NUTRIENT SENSITIVE MEDIA PER RE-2

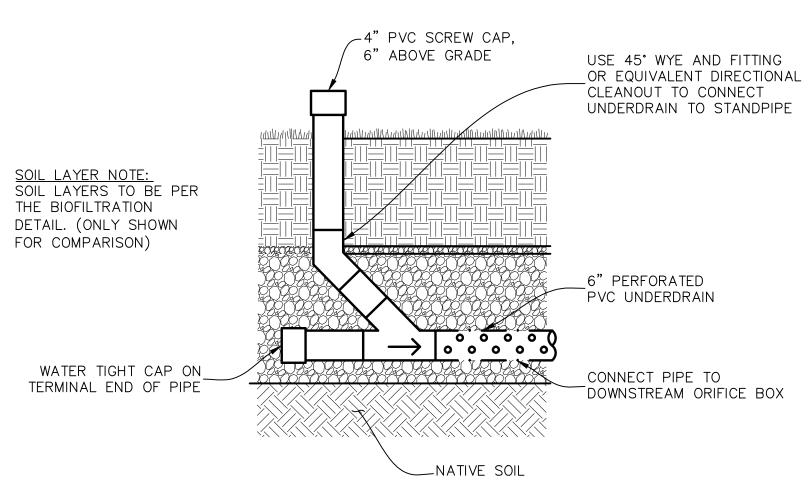
CHECK DAM SPACING: CHECK DAMS SHALL BE PLACED TO FACILITATE A MAXIMUM DEPTH OF 1 FOOT OF STORAGE IN EACH LIFT AS NEEDED.

BIOFILTRATION W/NO INFILTRATION DETAIL FOR BF-1



ORIFICE BOX DETAIL—PLAN VIEW

NOT TO SCALE



BIOFILTRATION UNDERDRAIN CLEANOUT DETAIL

NOT TO SCALE

WARNING

0 1/2 1

IF THIS BAR DOES

NOT MEASURE 1"

THEN DRAWING IS

NOT TO SCALE.

AS BUILTS

CONTRACTOR ___

BIO-RETENTION DETAILS FOR:

CALLE DEL CIELO

BRIEF LEGAL DESCRIPTION
(LOT 1 OF LA JOLLA SHORES TERRACE, MAP NO. 2996)

XXXX-XXXX NAD83 COORDINATES

XXX-XXXX LAMBERT COORDINATES

DRAWING NO.

The City of SAN DIEGO

DEVELOPMENT SERVICES DEPARTMENT
SHEET 3 OF 4 SHEETS

APPROVED:

FOR CITY ENGINEER

DESCRIPTION BY APPROVED DATE

ORIGINAL XXX

NAD83

C 39726

C 39726

C TVIL

OF CALIFORNIA

RANCHO COASTAL
ENGINEERING & SURVEYING
SINGLE SOURCE DEVELOPMENT CONSULTANT
310 VIA VERA CRUZ, #205
SAN MARCOS, CA. 92078
(760) 510–3152 Ph / (760) 510–3153 Fax

DATE STARTED _

DATE COMPLETED_

EROSION AND SEDIMENT CONTROL NOTES

TEMPORARY EROSION/SEDIMENT CONTROL, PRIOR TO COMPLETION OF FINAL IMPROVEMENTS, SHALL BE PERFORMED BY THE CONTRACTOR OR QUALIFIED PERSON AS INDICATED BELOW:

- 1. ALL REQUIREMENTS OF THE CITY OF SAN DIEGO "LAND DEVELOPMENT MANUAL, STORM WATER STANDARDS" MUST BE INCORPORATED INTO THE DESIGN AND CONSTRUCTION OF THE PROPOSED GRADING/IMPROVEMENTS CONSISTENT WITH THE APPROVED STORM WATER POLLUTION PREVENTION PLAN (SWPPP) AND/OR WATER POLLUTION CONTROL PLAN (WPCP) FOR CONSTRUCTION LEVEL BMP'S AND FOR PERMANENT POST CONSTRUCTION TREATMENT CONTROL PERMANENT BMP'S, THE WATER QUALITY TECHNICAL REPORT (WQTR) IF APPLICABLE.
- 2. FOR STORM DRAIN INLETS, PROVIDE A GRAVEL BAG SILT BASIN IMMEDIATELY UPSTREAM OF INLET AS INDICATED ON DETAILS.
- 3. FOR INLETS LOCATED AT SUMPS ADJACENT TO TOP OF SLOPES, THE CONTRACTOR SHALL ENSURE THAT WATER DRAINING TO THE SUMP IS DIRECTED INTO THE INLET AND THAT A MINIMUM OF 1.00' FREEBOARD EXISTS AND IS MAINTAINED ABOVE THE TOP OF THE INLET. IF FREEBOARD IS NOT PROVIDED BY GRADING SHOWN ON THESE PLANS, THE CONTRACTOR SHALL PROVIDE IT VIA TEMPORARY MEASURES, I.E. GRAVEL BAGS OR
- 4. THE CONTRACTOR OR QUALIFIED PERSON SHALL BE RESPONSIBLE FOR CLEANUP OF SILT AND MUD ON ADJACENT STREET(S) AND STORM DRAIN SYSTEM DUE TO CONSTRUCTION ACTIVITY.
- 5. THE CONTRACTOR OR QUALIFIED PERSON SHALL CHECK AND MAINTAIN ALL LINED AND UNLINED DITCHES AFTER EACH RAINFALL.
- 6. THE CONTRACTOR SHALL REMOVE SILT AND DEBRIS AFTER EACH MAJOR RAINFALL.
- 7. EQUIPMENT AND WORKERS FOR EMERGENCY WORK SHALL BE MADE AVAILABLE AT ALL TIMES DURING THE RAINY SEASON. ALL NECESSARY MATERIALS SHALL BE STOCKPILED ON SITE AT CONVENIENT LOCATIONS TO FACILITATE RAPID CONSTRUCTION OF TEMPORARY DEVICES WHEN RAIN IS IMMINENT.
- 8. THE CONTRACTOR SHALL RESTORE ALL EROSION/SEDIMENT CONTROL DEVICES TO WORKING ORDER TO THE SATISFACTION OF THE CITY ENGINEER OR RESIDENT ENGINEER AFTER EACH RUN-OFF PRODUCING RAINFALL.
- 9. THE CONTRACTOR SHALL INSTALL ADDITIONAL EROSION/SEDIMENT CONTROL MEASURES AS MAY BE REQUIRED BY THE RESIDENT ENGINEER DUE TO UNCOMPLETED GRADING OPERATIONS OR UNFORESEEN CIRCUMSTANCES, WHICH MAY ARISE.
- 10. THE CONTRACTOR SHALL BE RESPONSIBLE AND SHALL TAKE NECESSARY PRECAUTIONS TO PREVENT PUBLIC TRESPASS ONTO AREAS WHERE IMPOUNDED WATERS CREATE A HAZARDOUS CONDITION.
- 11. ALL EROSION/SEDIMENT CONTROL MEASURES PROVIDED PER THE APPROVED GRADING PLAN SHALL BE INCORPORATED HEREON. ALL EROSION/SEDIMENT CONTROL FOR INTERIM CONDITIONS SHALL BE DONE TO THE SATISFACTION OF THE RESIDENT ENGINEER
- 12. GRADED AREAS AROUND THE PROJECT PERIMETER MUST DRAIN AWAY FROM THE FACE OF THE SLOPE AT THE CONCLUSION OF EACH WORKING DAY.
- 13. ALL REMOVABLE PROTECTIVE DEVICES SHOWN SHALL BE IN PLACE AT THE END OF EACH WORKING DAY WHEN RAIN IS IMMINENT
- 14. THE CONTRACTOR SHALL ONLY GRADE, INCLUDING CLEARING AND GRUBBING FOR THE AREAS FOR WHICH THE CONTRACTOR OR QUALIFIED PERSON CAN PROVIDE EROSION/SEDIMENT CONTROL MEASURES.
- 15. THE CONTRACTOR SHALL ARRANGE FOR WEEKLY MEETINGS DURING OCTOBER 1ST TO APRIL 30TH FOR PROJECT TEAM (GENERAL CONTRACTOR, QUALIFIED PERSON, EROSION CONTROL SUBCONTRACTOR IF ANY, ENGINEER OF WORK, OWNER/DEVELOPER AND THE RESIDENT ENGINEER) TO EVALUATE THE ADEQUACY OF THE EROSION/SEDIMENT CONTROL MEASURES AND OTHER RELATED CONSTRUCTION ACTIVITIES.

MINIMUM POST-CONSTRUCTION MAINTENANCE PLAN

- AT THE COMPLETION OF THE WORK SHOWN, THE FOLLOWING PLAN SHALL BE FOLLOWED TO ENSURE WATER QUALITY CONTROL IS MAINTAINED FOR THE LIFE OF THE PROJECT:
- 1. STABILIZATION: ALL PLANTED SLOPES AND OTHER VEGETATED AREAS SHALL BE INSPECTED PRIOR TO OCTOBER 1 OF EACH YEAR AND AFTER MAJOR RAINFALL EVENTS (MORE THAN 1/2 INCH) AND REPAIRED AND REPLANTED AS NEEDED UNTIL A NOTICE OF TERMINATION (NOT) IS FILED.
- 2. STRUCTURAL PRACTICES: DESILTING BASINS, DIVERSION DITCHES, DOWNDRAINS, INLETS, OUTLET PROTECTION MEASURES, AND OTHER PERMANENT WATER QUALITY AND SEDIMENT AND EROSION CONTROLS SHALL BE INSPECTED PRIOR TO OCTOBER 1ST OF EACH YEAR AND AFTER MAJOR RAINFALL EVENTS (MORE THAN 1/2 INCH). REPAIRS AND REPLACEMENTS SHALL BE MADE AS NEEDED AND RECORDED IN THE MAINTENANCE LOG IN PERPETUITY.
- 3. OPERATION AND MAINTENANCE, FUNDING: POST-CONSTRUCTION MANAGEMENT MEASURES ARE THE RESPONSIBILITY OF THE DEVELOPER UNTIL THE TRANSFER OF RESPECTIVE SITES TO HOME BUILDERS, INDIVIDUAL OWNERS, HOMEOWNERS ASSOCIATIONS, SCHOOL DISTRICTS, OR LOCAL AGENCIES AND/OR GOVERNMENTS. AT THAT TIME, THE NEW OWNERS SHALL ASSUME RESPONSIBILITY FOR THEIR RESPECTIVE PORTIONS OF THE DEVELOPMENT.

POST-CONSTRUCTION BMP CERTIFICATION REQUIREMENTS

PRIOR TO FINAL INSPECTION, A SELF-CERTIFICATION FORM FOR THE INSTALLATION OF PERMANENT BMP'S WILL BE COMPLETED AND SUBMITTED TO THE BUILDING INSPECTOR OF DEVELOPMENT SEVICES DEPARTMENT. CERTIFICATION BY A REGISTERED CIVIL ENGINEER VERIFIES THE INSPECTION OF FINAL CONSTRUCTION CONDITIONS AND THAT ALL LOW IMPACT DEVELOPMENT (LID) SITE DESIGN, SOURCE CONTROL, TREATMENT CONTROL AND HYDROMODIFICATION CONTROL BMP'S IDENTIFIED WITHIN THE APPROVED WQTR HAVE BEEN CONSTRUCTED IN CONFORMANCE WITH THE APPROVED PLANS AND APPLICABLE SPECIFICATIONS, AND ARE DEEMED FUNCTIONAL FOR THE LEVEL OF TREATMENT QUALITY AND QUANTITY REQUIRED IN NOPES PERMIT NO. CASO108758.

PERMANENT POST-CONSTRUCTION BMP NOTES

1. OPERATION AND MAINTENANCE SHALL BE SECURED BY AN EXECUTED AND RECORDED STORM WATER MANAGEMENT AND DISCHARGE CONTROL MAINTENANCE AGREEMENT (SWMDCMA), OR ANOTHER MECHANISM APPROVED BY THE CITY ENGINEER, THAT ASSURES ALL PERMANENT BMP'S WILL BE MAINTAINED IN PERPETUITY, PER THE LAND DEVELOPMENT MANUAL, STORM WATER STANDARDS.

2. ANY MODIFICATION(S) TO THE PERMANENT POST CONSTRUCTION BMP DEVICES/STRUCTURES SHOWN ON PLAN REQUIRES A CONSTRUCTION CHANGE TO BE PROCESSED AND APPROVED THROUGH DEVELOPMENT SERVICES DEPARTMENT BY THE ENGINEER OF WORK. APPROVAL OF THE CONSTRUCTION CHANGE IS REQUIRED PRIOR TO CONSTRUCTION OF THE PERMANENT BMP.

CONSTRUCTION BMP GENERAL NOTES

PRIOR TO ANY SOIL DISTURBANCE, TEMPORARY EROSION AND SEDIMENT CONTROLSHALL BE INSTALLED BY THE CONTRACTOR OR QUALIFIED PERSON(S) AS INDICATED BELOW:

1. ALL REQUIREMENTS OF THE CITY OF SAN DIEGO "LAND DEVELOPMENT MANUAL, STORM WATER STANDARDS" MUST BE INCORPORATED INTO THE DESIGN AND CONSTRUCTION OF THE PROPOSED GRADING/IMPROVEMENTS CONSISTENT WITH THE APPROVED STORM WATER POLLUTION PREVENTION PLAN (SWPPP) AND/OR WATER POLLUTION CONTROL PLAN (WPCP) FOR CONSTRUCTION LEVEL BMP'S AND, IF APPLICABLE, THE STORM WATER QUALITY MANAGEMENT PLAN (SWQMP) FOR POST CONSTRUCTION TREATMENT CONTROL BMP'S.

2. THE CONTRACTOR SHALL INSTALL AND MAINTAIN ALL STORM DRAIN INLETS. INLET PROTECTION IN THE PUBLIC RIGHT OF WAY MAY BE TEMPORARILY REMOVED WHERE IT IS PRONE TO FLOODING PRIOR TO A RAIN EVENT AND REINSTALLED AFTER RAIN IS OVER.

- 3. ALL CONSTRUCTION BMPS SHALL BE INSTALLED AND PROPERLY MAINTAINED THROUGHOUT THE DURATION OF CONSTRUCTION.
- 4. THE CONTRACTOR SHALL ONLY GRADE, INCLUDING CLEARING AND GRUBBING, AREAS FOR WHICH THE CONTRACTOR OR QUALIFIED PERSON CAN PROVIDE EROSION AND SEDIMENT CONTROL MEASURES.
- 5. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ALL SUB-CONTRACTORS AND SUPPLIERS ARE AWARE OF ALL STORM WATER QUALITY MEASURES AND IMPLEMENT SUCH MEASURES. FAILURE TO COMPLY WITH THE APPROVED SWPPP/WPCP WILL RESULT IN THE ISSUANCE OF CORRECTION NOTICES, CITATIONS, CIVIL PENALTIES AND/OR STOP WORK NOTICES.
- 6. THE CONTRACTOR OR QUALIFIED PERSON SHALL BE RESPONSIBLE FOR CLEANUP OF ALL SILT, DEBRIS AND MUD ON AFFECTED AND ADJACENT STREET(S) AND WITHIN STORM DRAIN SYSTEM DUE TO CONSTRUCTION VEHICLES/EQUIPMENT AND CONSTRUCTION ACTIVITY AT THE END OF EACH WORK DAY.
- 7. THE CONTRACTOR SHALL PROTECT NEW AND EXISTING STORM WATER CONVEYANCE SYSTEMS FROM SEDIMENTATION, CONCRETE RINSE, OR OTHER CONSTRUCTION RELATED DEBRIS AND DISCHARGES WITH THE APPROPRIATE BMPS THAT ARE ACCEPTABLE TO THE ENGINEER AND AS INDICATED IN THE SWPPP/WPCP
- 8. THE CONTRACTOR OR QUALIFIED CONTACT PERSON SHALL CLEAR DEBRIS, SILT, AND MUD FROM ALL DITCHES AND SWALES PRIOR TO AND WITHIN 3 BUSINESS DAYS AFTER EACH RAIN EVENT OR PRIOR TO THE NEXT RAIN EVENT, WHICHEVER IS SOONER.
- 9. IF A NON-STORMWATER DISCHARGE LEAVES THE SITE, THE CONTRACTOR SHALL IMMEDIATELY STOP THE ACTIVITY AND REPAIR THE DAMAGES. THE CONTRACTOR SHALL NOTIFY THE CITY RESIDENT ENGINEER OF THE DISCHARGE, PRIOR TO RESUMING CONSTRUCTION ACTIVITY. ANY AND ALL WASTE MATERIAL, SEDIMENT, AND DEBRIS FROM EACH NON-STORMWATER DISCHARGE SHALL BE REMOVED FROM THE STORM DRAIN CONVEYANCE SYSTEM AND PROPERLY DISPOSED OF BY THE CONTRACTOR.
- 10. EQUIPMENT AND WORKERS FOR EMERGENCY WORK SHALL BE MADE AVAILABLE AT ALL TIMES. ALL NECESSARY MATERIALS SHALL BE STOCKPILED ON SITE AT CONVENIENT LOCATIONS TO FACILITATE RAPID DEPLOYMENT OF CONSTRUCTION BMPS WHEN RAIN IS IMMINENT.
- 11. THE CONTRACTOR SHALL RESTORE AND MAINTAIN ALL EROSION AND SEDIMENT CONTROL BMPS TO WORKING ORDER YEAR ROUND.
- 12. THE CONTRACTOR SHALL INSTALL ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES DUE TO GRADING INACTIVITY OR UNFORESEEN CIRCUMSTANCES TO PREVENT NON-STORM WATER AND SEDIMENT-LADEN DISCHARGES.
- 13. THE CONTRACTOR SHALL BE RESPONSIBLE AND SHALL TAKE NECESSARY PRECAUTIONS TO PREVENT PUBLIC TRESPASS ONTO AREAS WHERE IMPOUNDED WATERS
- 14. ALL EROSION AND SEDIMENT CONTROL MEASURES PROVIDED PER THE APPROVED SWPPP/WPCP SHALL BE INSTALLED AND MAINTAINED. ALL EROSION AND SEDIMENT CONTROL FOR INTERIM CONDITIONS SHALL BE PROPERLY DOCUMENTED AND INSTALLED TO THE SATISFACTION OF THE RESIDENT ENGINEER.
- 15. UPON NOTIFICATION BY THE RESIDENT ENGINEER, THE CONTRACTOR SHALL ARRANGE FOR MEETINGS DURING OCTOBER 1ST TO APRIL 30TH FOR PROJECT TEAM (GENERAL CONTRACTOR, QUALIFIED PERSON, EROSION CONTROL SUBCONTRACTOR IF ANY, ENGINEER OF WORK, OWNER/DEVELOPER AND THE RESIDENT ENGINEER) TO EVALUATE THE ADEQUACY OF THE EROSION AND SEDIMENT CONTROL MEASURES AND OTHER BMPS RELATIVE TO ANTICIPATED CONSTRUCTION ACTIVITIES.
- 16. THE CONTRACTOR SHALL CONDUCT VISUAL INSPECTIONS DAILY AND MAINTAIN ALL BMPS AS NEEDED. VISUAL INSPECTIONS AND MAINTENANCE OF ALL BMPS SHALL BE CONDUCTED BEFORE, DURING AND AFTER EVERY RAIN EVENT AND EVERY 24 HOURS DURING ANY PROLONGED RAIN EVENT. THE CONTRACTOR SHALL MAINTAIN AND REPAIR ALL BMPS AS SOON AS POSSIBLE AS SAFETY ALLOWS.
- 17. CONSTRUCTION ENTRANCE AND EXIT AREA. TEMPORARY CONSTRUCTION ENTRANCE AND EXITS SHALL BE CONSTRUCTED IN ACCORDANCE WITH CASQA FACT SHEET TC-10R CALTRANS FACT SHEET TC-01 TO PREVENT TRACKING OF SEDIMENT AND OTHER POTENTIAL POLLUTANTS ONTO PAVED SURFACES AND TRAVELED WAYS. WIDTH SHALL BE 10' OR THE MINIMUM NECESSARY TO ACCOMMODATE VEHICLES AND EQUIPMENT WITHOUT BY-PASSING THE ENTRANCE.
- (a) NON-STORMWATER DISCHARGES SHALL BE EFFECTIVELY MANAGED PER THE SAN DIEGO MUNICIPAL CODE CHAPTER 4, ARTICLE 3, DIVISION 3 "STORM WATER MANAGEMENT AND DISCHARGE CONTROL".

STORM WATER REQUIREMENTS

- 1. THIS PROJECT IS SUBJECT TO MUNICIPAL CODE SECTION 4303 AND ORDER NO. R9-2013-0001 AS AMENDED BY R9-2015-0001 AND R9-2015-0100
- 2. ALL WORK RELATED TO POST-CONSTRUCTION STORMWATER QUALITY SHALL BE IN ACCORDANCE WITH THE STORM WATER QUALITY MANAGEMENT PLAN ENTITLED PDP/SWQMP FOR CALLE DEL CIELO - 8305 CALLE DEL CIELO; PREPARED BY RANCHO COASTAL ENGINEERING & SURVEYING, INC., REPORT DATE 03-28-2022
- 3. POST-CONSTRUCTION BMPS ARE REQUIRED, SEE THIS

ENVIRONMENTAL/MITIGATION REQUIREMENTS:

A. GENERAL REQUIREMENTS

. PRE-CONSTRUCTION MEETING IS REQUIRED TEN (10) WORKING DAYS PRIOR TO BEGINNING ANY WORK ON THIS PROJECT. THE PERMIT HOLDER IS RESPONSIBLE TO ARRANGE AND PERFORM THIS MEETING BY CONTACTING THE CITY RESIDENT ENGINEER (RE) OF THE THE CONSTRUCTION MANAGEMENT & FIELD SERVICES DIVISION AND CITY STAFF FROM MITIGATION MONITORING COORDINATION (MMC). ATTENDEES MUST ALSO INCLUDE THE PERMIT HOLDER'S REPRESENTATIVE(S), JOB SITE SUPERINTENDENT AND THE FOLLOWING CONSULTANTS:

- RANCHO COASTAL ENGINEERING & SURVEYING, INC. 310 VIA VERA CRUZ #205 SAN MARCOS, CA 92078 CONTACT: DOUG LOGAN PHONE: (858) 775-8474
- GEOTECHNICAL EXPLORATION, INC. 7420 TRADE STREET SAN DIEGO, CA 92121 CONTACT: JAIME A. CERROS PHONE: (858) 549-7222

FAILURE OF ALL RESPONSIBLE PERMIT HOLDER'S REPRESENTATIVES AND CONSULTANTS TO ATTEND SHALL REQUIRE AN ADDITIONAL MEETING WITH ALL PARTIES PRESENT

CONTACT INFORMATION:

a) THE PRIMARY POINT OF CONTACT IS THE RE AT THE CONSTRUCTION MANAGEMENT & FIELD SERVICES DIVISION AT 858-627-3200. b) IT IS ALSO REQUIRED TO CALL THE RE AND MMC AT 858-627-3360 FOR CLARIFICATION OF ENVIRONMENTAL REQUIREMENTS.

2. MMRP COMPLIANCE: THIS PROJECT, PROJECT TRACKING SYSTEM (PTS) # AND/OR ENVIRONMENTAL DOCUMENT # _____, SHALL CONFORM TO THE MITIGATION REQUIREMENTS CONTAINED IN THE ASSOCIATED ENVIRONMENTAL DOCUMENT AND SHALL BE IMPLEMENTED TO THE SATISFACTION OF DSD'S ENVIRONMENTAL DESIGNEE (MMC) AND THE RE. THE REQUIREMENTS MAY NOT BE REDUCED OR CHANGED BUT MAY BE ANNOTATED (I.E. TO EXPLAIN WHEN AND HOW COMPLIANCE IS BEING MET AND LOCATION OF VERIFYING PROOF, ETC.). ADDITIONAL CLARIFYING INFORMATION MAY ALSO BE ADDED TO OTHER RELEVANT PLAN SHEETS AND/OR SPECIFICATIONS AS APPROPRIATE (E.G. SPECIFIC LOCATIONS, TIMES OF MONITORING, METHODOLOGY, ETC.).

PERMIT HOLDER'S REPRESENTATIVES MUST ALERT THE RE AND MMC IF THERE ARE ANY DISCREPANCIES IN THE PLANS, NOTES OR ANY CHANGES DUE TO FIELD CONDITIONS. ALL CONFLICTS MUST BE APPROVED BY THE RE AND MMC <u>BEFORE</u> THE WORK IS PERFORMED.

3. OTHER AGENCY REQUIREMENTS: EVIDENCE OF COMPLIANCE WITH ALL OTHER AGENCY REQUIREMENTS OR PERMITS SHALL BE SUBMITTED TO THE RE AND MMC FOR REVIEW AND ACCEPTANCE PRIOR TO THE BEGINNING OF WORK OR WITHIN ONE (1) WEEK OF THE PERMIT HOLDER OBTAINING DOCUMENTATION OF THOSE PERMITS OR REQUIREMENTS. EVIDENCE SHALL INCLUDE COPIES OF PERMITS, LETTERS OF RESOLUTION OR OTHER DOCUMENTATION ISSUED BY THE RESPONSIBLE AGENCY.

[LIST PROJECT SPECIFIC REQUIRED PERMITS AND CIVIL PENALTY DOCUMENTS HERE]

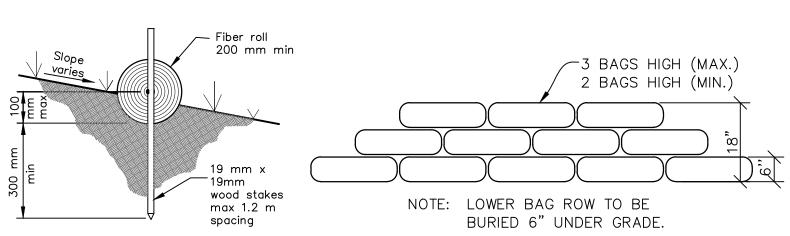
- 4. MONITORING EXHIBITS: <u>ALL CONSULTANTS</u> ARE REQUIRED TO SUBMIT TO THE RE AND MMC, A MONITORING EXHIBIT ON A 11"X17" REDUCTION OF THE APPROPRIATE CONSTRUCTION PLAN
- SUCH AS SITE PLAN, GRADING, LANDSCAPE, ETC. MARKED TO CLEARLY SHOW THE SPECIFIC AREAS INCLUDING THE LIMIT OF WORK, SCOPE
- OF THAT DISCIPLINE'S WORK, AND NOTES INDICATING WHEN IN THE CONSTRUCTION SCHEDULE THAT WORK
- WILL BE PERFORMED. WHEN NECESSARY FOR CLARIFICATION, A DETAILED METHODOLOGY OF HOW THE WORK WILL BE PERFORMED SHALL BE INCLUDED.
- SURETY AND COST RECOVERY WHEN DEEMED NECESSARY BY THE DEVELOPMENT SERVICES DIRECTOR OR CITY MANAGER. THEY MAY REQUIRE ADDITIONAL SURETY INSTRUMENTS OR BONDS FROM THE PERMIT HOLDER TO ENSURE THE LONG TERM PERFORMANCE OR IMPLEMENTATION OF REQUIRED MITIGATION MEASURES OR PROGRAMS. THE CITY IS AUTHORIZED TO RECOVER ITS COST TO OFFSET THE SALARY, OVERHEAD, AND EXPENSES FOR CITY PERSONNEL AND PROGRAMS TO MONITOR QUALIFYING
- 5. OTHER SUBMITTALS AND INSPECTIONS: THE PERMIT HOLDER'S REPRESENTATIVES SHALL SUBMIT ALL REQUIRED DOCUMENTATION, VERIFICATION LETTERS, AND REQUESTS FOR ALL ASSOCIATED INSPECTIONS TO THE RE AND MMC FOR APPROVAL PER THE FOLLOWING SCHEDULE:
- PER SOILS ENGINEER RECOMMENDATIONS

ISSUE AREA	DOCUMENT SUBMITTAL	<u>ASSOC</u>
INSPECTION/APV	NOTES	

- B. SPECIFIC MMRP ISSUE AREA CONDITIONS/REQUIREMENTS
 - [LIST ONLY PROJECT SPECIFIC MMRP ISSUE/CONDITIONS HERE]

ISSUE AREA - CONDITIONS

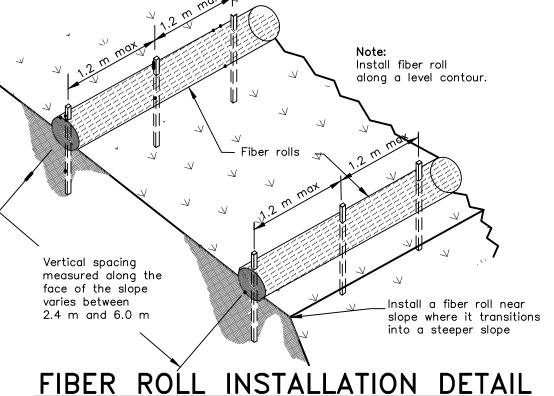
PROJECTS.

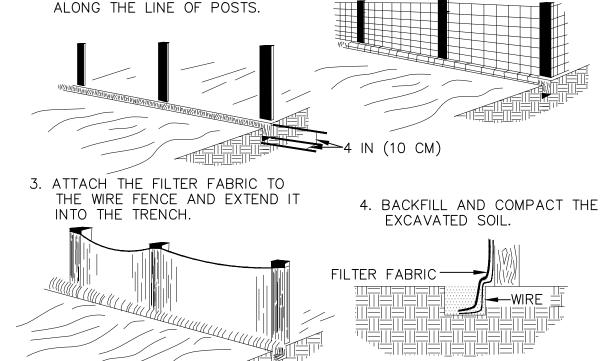


ENTRENCHMENT DETAIL NOT TO SCALE

GRAVEL BAG CHECK DAM NOT TO SCALE

CHECK DAM FIBER ROLLS (TYP.) SILT"FENCE--STABILIZED GRAVEL BAG CONSTRUCTION SILT FENCE CHECK DAM (TYP.) SILT FENCE **ENTRANCE** 1. SET POSTS AND EXCAVATE A 2. STAPLE WIRE FENCING TO

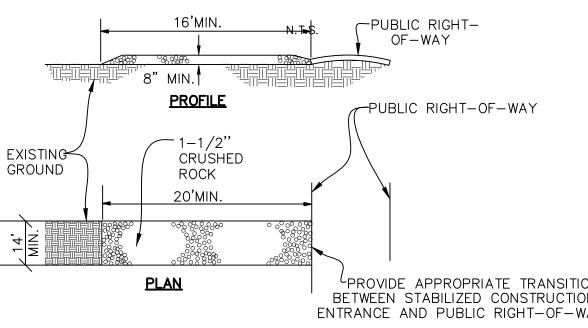




THE POSTS.

4 BY 4 IN (10 BY 10 CM)

TRENCH UPSLOPE FROM AND



-PROVIDE APPROPRIATE TRANSITION BETWEEN STABILIZED CONSTRUCTION ENTRANCE AND PUBLIC RIGHT-OF-WAY STABILIZED CONSTRUCTION ENTRANCE NOT TO SCALE

THEN DRAWING IS

30 15 0 SCALE IN FEET SCALE: 1" = 30'RANCHO COASTAI

(LOT 1 OF LA JOLLA SHORES TERRACE, MAP NO. 2996)

SILT FENCE DETAIL

SC-1

C 39726

ENGINEERING & SURVEYING SINGLE SOURCE DEVELOPMENT CONSULTANT 310 VIA VERA CRUZ, #205 SAN MARCOS, CA. 92078 (760) 510-3152 Ph / (760) 510-3153 Fax

WARNING EROSION CONTROL PLAN FOR: 0 1/2 CALLE DEL CIELO IF THIS BAR DOES BRIEF LEGAL DESCRIPTION NOT MEASURE 1"

NOT TO SCALE. The City of DEVELOPMENT SERVICES DEPARTMENT PMT NO._ SAN DIEGO SHEET 4 OF 4 SHEETS FOR CITY APPROVAL PRJ NO_ DATE FOR CITY ENGINEER APPROVED DATE DESCRIPTION ORIGINAL XXX XXXX - XXXXNAD83 COORDINATES

XXX-XXXXLAMBERT COORDINATES DRAWING NO. AS BUILTS DATE STARTED_ CONTRACTOR_

DATE COMPLETED.

01/06/2021 CDP 1ST SUBMITTAL 03/29/2021 FULL SUBMITTAL 02/24/2022 2ND SUBMITTAL 07/06/2022 3RD SUBMITTAL 10/12/2022 4TH SUBMITTAL

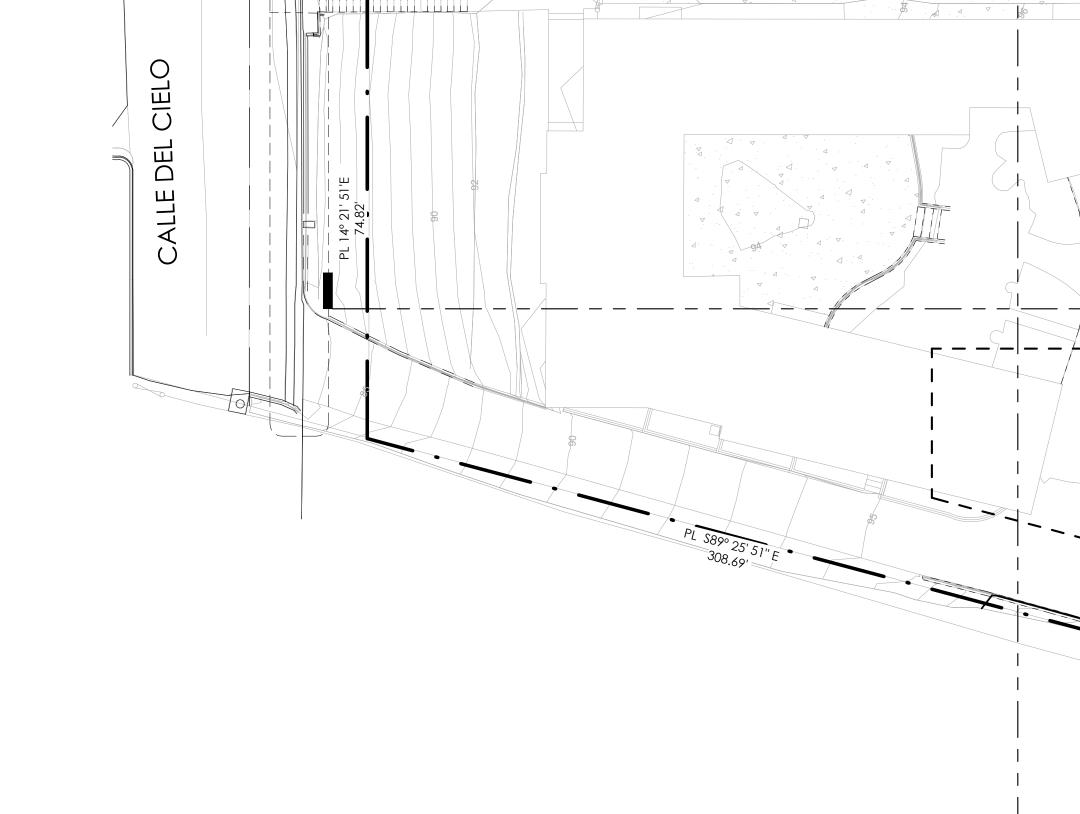
DEMO SITE PLAN

05/17/23

KEYNOTES LEGEND CITY STANDARD TITLE BLOCK HARDSCAPE PREPARED BY: Revision 14: Revision 13: BUILDING FOOTPRINT WILL & FOTSCH ARCHITECTS Revision 12: Contact: Andy Fotsch Revision 11: Revision 11: 1298 Prospect Street, Ste. 2S Revision 10: SOFTSCAPE La Jolla, CA 92037 Revision 09: Phone: Revision 08: (858) 224-2486 Revision 07: Street Address: Revision 06: 02/17/2022 8305, CALLE DEL CIELO, LA Revision 05: 10/12/2022 JOLLA, CA 92037 Revision 04: 07/06/2022 APN: 346-190-01-00 Revision 03: 02/24/2022 Revision 02: 03-29-2021 Project Name: Revision 01: 01-06-2021 CALLE DEL CIELO Original Date: 01-06-2021 Sheet Title: Sheet: ____5_of:__17__ DEMO SITE PLAN

LIMIT OF SLOPE IN EXCESS OF 25% PER DEFININTION, ESL DOES NOT EXIST ON SITE, NO SLOPES GREATER THAN 50'

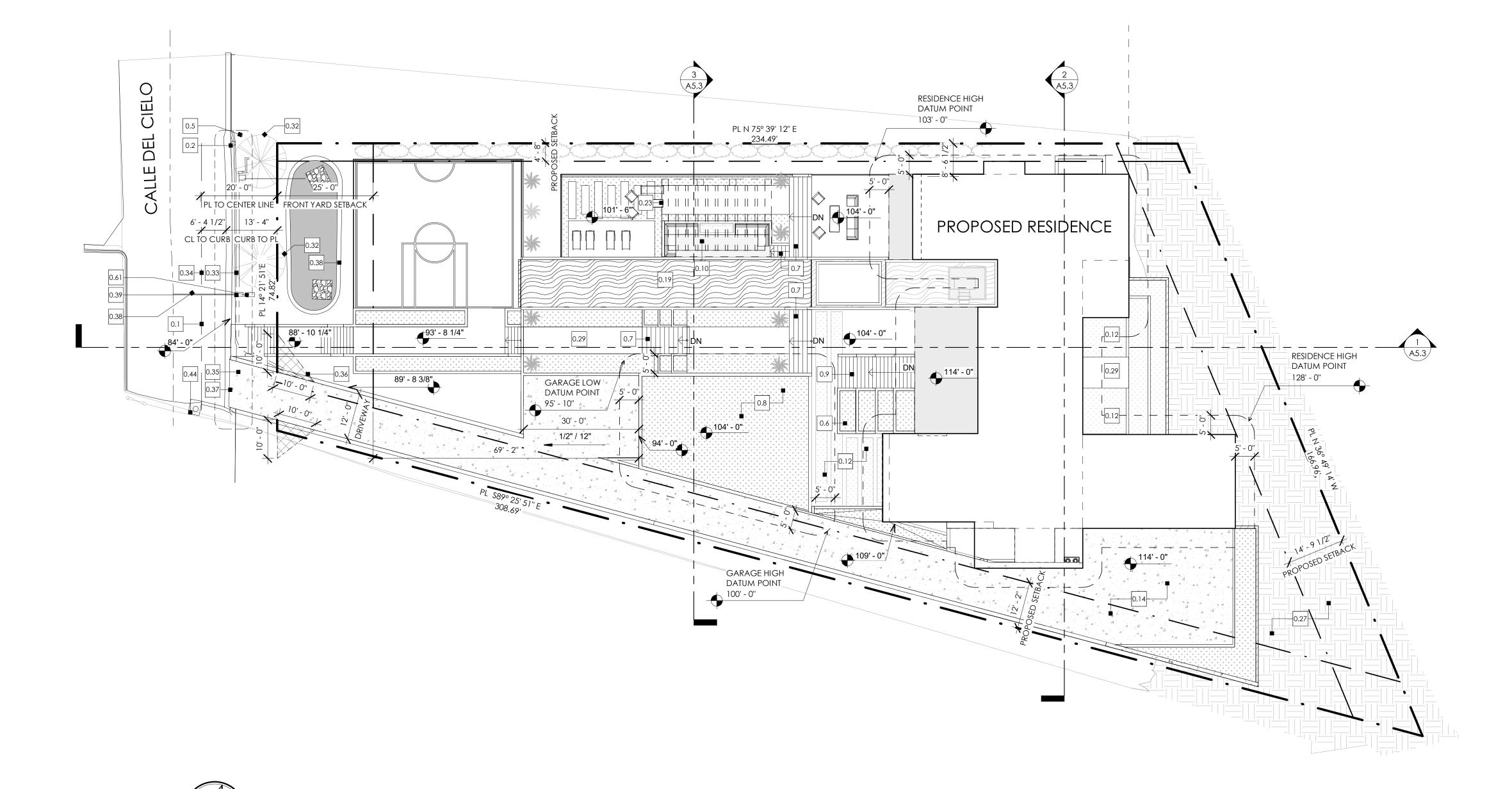
PL N 75° 39' 12" E 234.49'



DEMO SITE PLAN

SCALE = 1/16" = 1'-0"

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THE EXISTING WATER AND SEWER SERVICES WILL REMAIN.

SITE NOTES

SITE PLAN

SCALE = 1/16" = 1'-0"

PER FHPS POLICY P-00-6 (UFC 901.4.4) BUILDING ADDRESS NUMBERS TO BE VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY.

THIS PROJECT MUST COMPLY WITH WITH THE MUNICIPAL CODE REQUIREMENTS FOR MAXIMUM HEIGHT OF THE STRUCTURE NOT TO EXCEED 30 FEET (SDMC, SECTIONS 131.0444 AND 132.0505.) HIGHEST POINT ON ROOF EQUIPMENT, PIPE, VENT, ANTENNA OR OTHER PROJECTION SHALL NOT EXCEED 30 FEET ABOVE GRADE.

ALL PROPOSED SITE LIGHTING SHALL BE SHIELDED SUCH THAT THE LIGHT SOURCE SHALL BE CONCEALED FROM PUBLIC VIEW. per SDMC 1510.0402(h) NO COURT SHALL BE LIGHTED PAST 10PM FIRE HYDRANTS, 1 @ 690'-0" FROM PROPERTY SEE SITE PLAN.

REFER TO SEPARATE GRADING PLAN FOR REQUIRED EMRA, PERMANENT BMPs, AND WCPC. WATER METERS FOR COMBINED DOMESTIC WATER AND FIRE SPRINKLER SYSTEMS SHALL NOT BE INSTALLED UNTIL THE FIRE SPRINKLER SYSTEM HAS BEEN SUBMITTED AND APPROVED BY THE BUILDING OFFICIAL.

Controllers shall be weather or soil moisture-based controllers that automatically adjust irrigation in response to changes in plants' needs as weather conditions change Weather-based controllers without integral rain sensors or communication systems that account for local rainfall shall have a separate wired or wireless rain sensor which connects

NO OBSTRUCTION INCLUDING SOLID WALLS IN THE VISIBILITY AREA SHALL EXCEED 3 FEET IN HEIGHT. PER SDMC SECTION 142.0409 (b) (2), PLANT MATERIAL, OTHER THAN TREES, LOCATED WITHIN VISIBILITY AREAS OR THE ADJACENT PUBLIC RIGHT OF WAY SHALL NOT EXCEED 36 INCHES IN HEIGHT, MEASURED FROM THE LOWEST GRADE ABUTTING THE PLANT MATERIAL TO THE TOP OF THE PLANT MATERIAL.

11. REMOVAL OF EXISTING STAI/STEPS, WALL, LANDSCAPE & IRRIGATION WILL BE IN ROW PERMIT.

0.1 CENTER LINE OF STREET PROPOSED NEW BUILDING AREA LOWER LEVEL

PROPOSED NEW BUILDING AREA MAIN LEVEL

PROPOSED NEW BUILDING AREA UPPER LEVEL

LEGEND

0.2 (E) TELECOMMUNICATIONS PEDESTAL

0.5 (E) FOUND HOLE IN CONCRETE, ACCEPTED AS

LEAD & DISC STAMPED "LS 2717" PER PLAT 'a' 0.6 PROPOSED PLANTER

KEYNOTES

0.7 PROPOSED SITE STAIRS 0.8 DETACHED GARAGE WITH GREEN ROOF ABOVE

0.9 PROPOSED CONCRETE STEPS

0.10 PROPOSED WOOD DECK 0.12 PROPOSED LAWN OR POSSIBLE LIGHTWELL TO

BASEMENT 0.14 PROPOSED DRIVEWAY PER CIVIL DRAWINGS

0.17 FINAL LANDSCAPE AND HARDSCAPE DESIGN TO BE DETERMINED 0.19 PROPOSED POOL UNDER SEPARATE PERMIT

0.23 TRELISS ABOVE

0.27 EXISTING LANDSCAPE AT SLOPE TO REMAIN

0.29 CONCRETE LANDING

0.32 ~25' WIDE MAJESTIC BEAUTY OLIVE TREE (24" BOX MIN.) PER LA JOLLA COMMUNITY PLAN PAGE 130, CANOPY MEETS VISIBILTY TRIANGLE REQUIREMENTS

0.33 REMOVE EXISTING CURB & REPLACE WITH CURRENT CITY STANDARD CURB & GUTTER

0.34 NEW CURRENT CITY STANDARD CURB AND **GUTTER**

0.36 10' x 10' VISIBILITY TRIANGLE

0.35 DRIVEWAY TO BE CONSTRUCTED TO CURRENT CITY STANDARD

0.37 EXISTING DRIVEWAY CURB CUTS TO REMAIN 0.38 BIO-RETENTION BASIN LOCATION. AREA = 775

0.39 BACKFLOW PREVENTER LOCATION 0.44 WATER UTILITY PER CIVIL DRAWINGS 0.61 BACKFLOW PREVENTER TO BE FEBCO 825Y 1" OR EQUIVALENT

Revision 09: Revision 08: (858) 224-2486 Revision 07: Street Address: Revision 06: 02/17/2022 8305, CALLE DEL CIELO, LA Revision 05: 10/12/2022 JOLLA, CA 92037 Revision 04: 07/06/2022 APN: 346-190-01-00 Revision 03: 02/24/2022 Revision 02: 03-29-2021 Project Name: Revision 01: 01-06-2021 CALLE DEL CIELO Sheet Title: Original Date: 01-06-2021 SITE PLAN Sheet: <u>6 of: 17</u>

WILL & FOTSCH ARCHITECTS Revision 12:

1298 Prospect Street, Ste. 2S Revision 10:

Contact: Andy Fotsch

La Jolla, CA 92037

CITY STANDARD TITLE BLOCK

Revision 14:

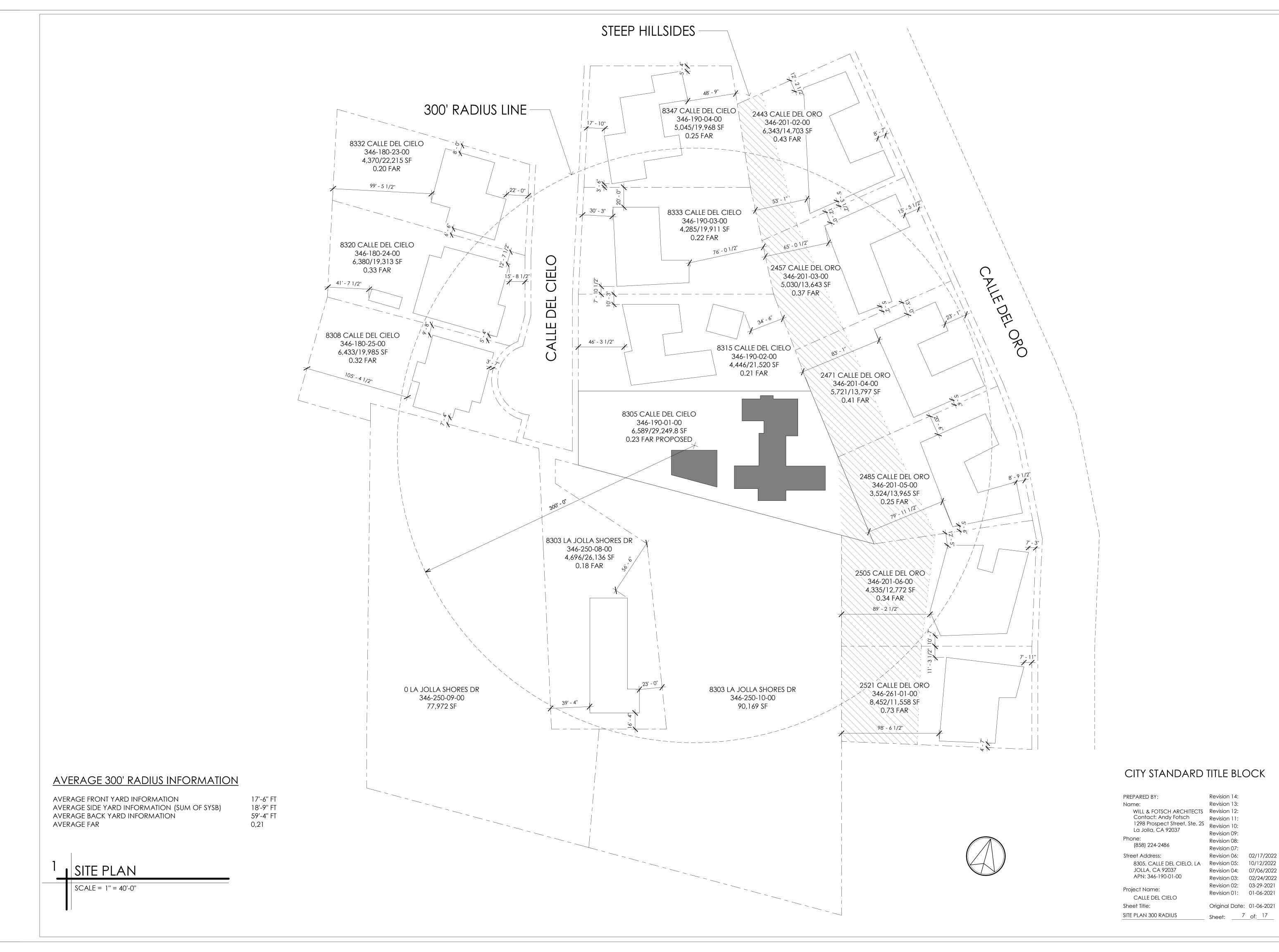
Revision 13:

Revision 11:

THE HIGHEST POINT OF ANY ROOF, EQUIPMENT, OR ANY VENT PIPE, ANTENNA, OR OTHER PROJECTION SHALL NOT EXCEED 30'-0" ABOVE GRADE.

AUTOMATIC IRRIGATION SYSTEM CONTROLLERS FOR LANDSCAPING PROVIDED BY THE BUILDER AND INSTALLED AT THE TIME OF FINAL INSPECTION SHALL COMPLY WITH THE FOLLOWING:

or communicates with the controller(s). Soil moisture-based controllers are not required to have rain sensor input.







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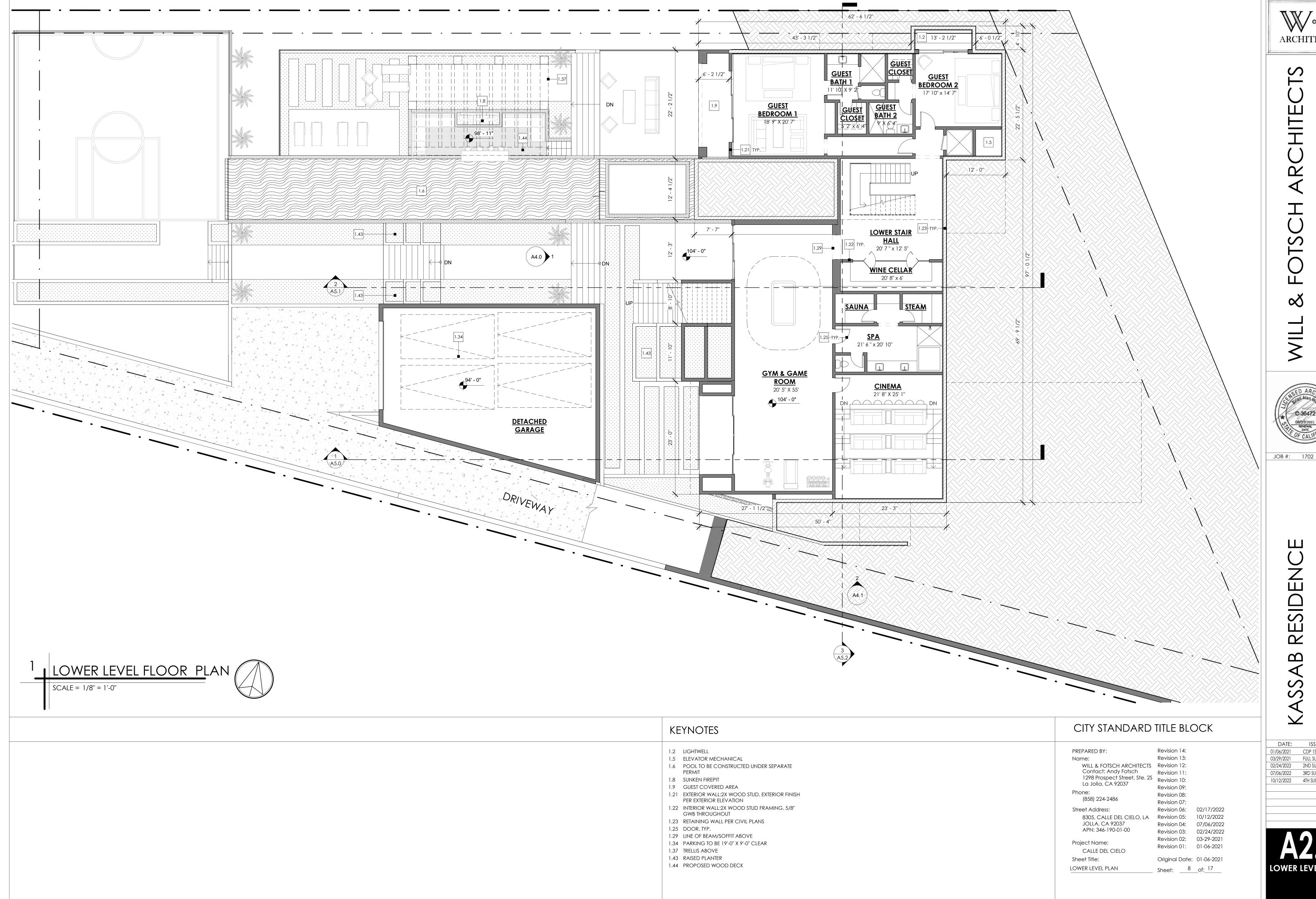
JOB #: 1702

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SITE PLAN 300 **RADIUS**

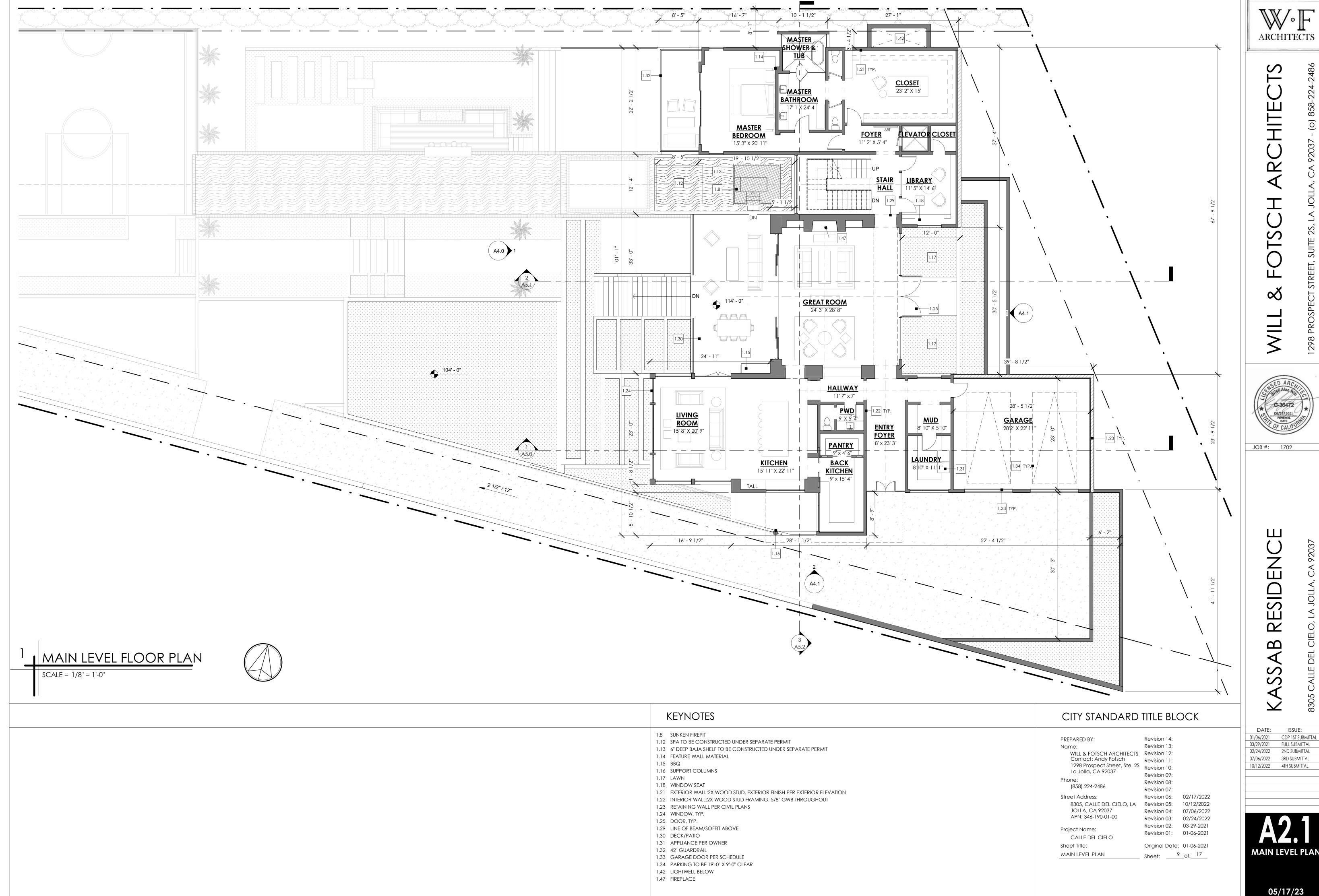


ARCHITECTS

DATE: ISSUE: 01/06/2021 CDP 1ST SUBMITTAL

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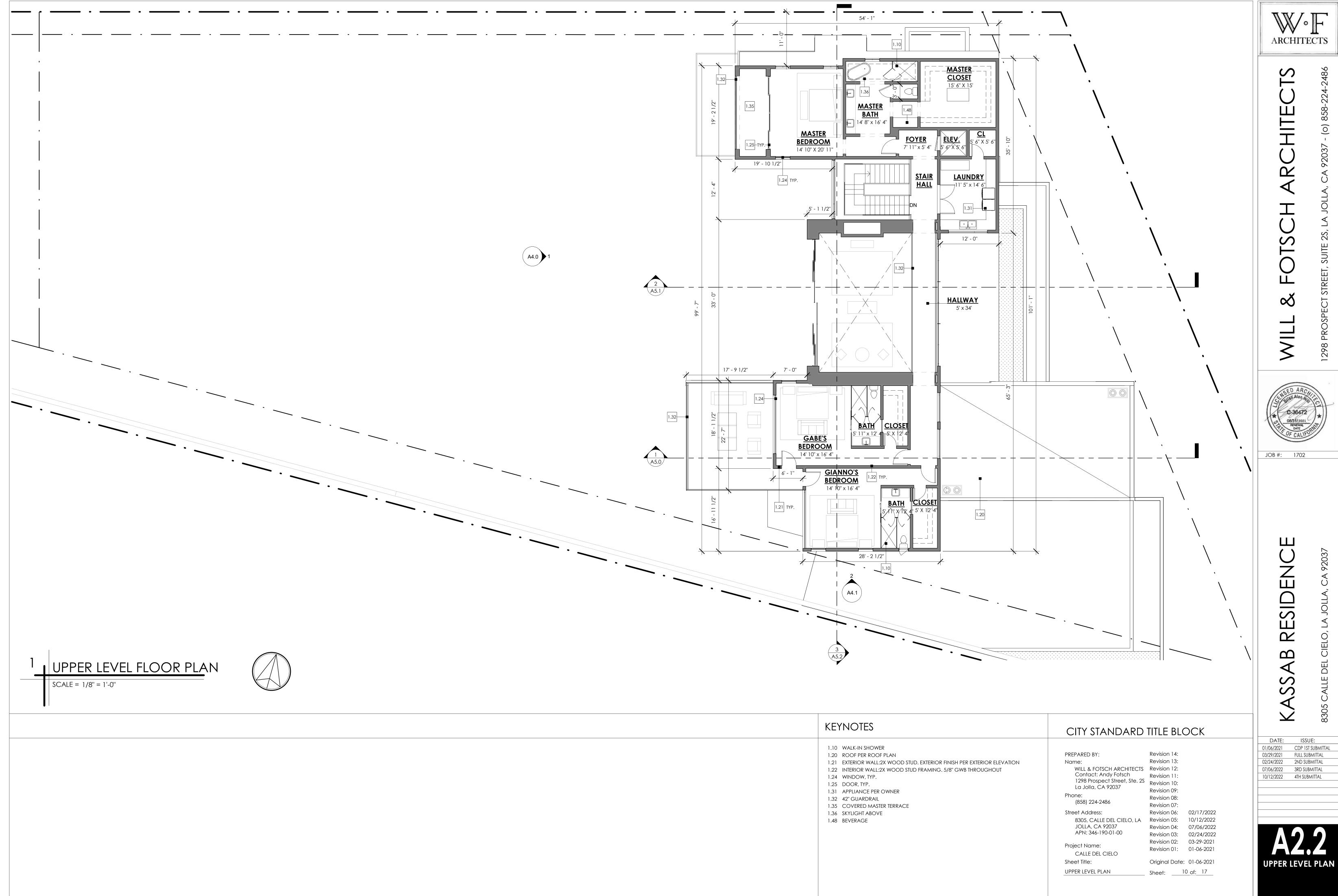
LOWER LEVEL PLAN



W/oF ARCHITECTS

10/12/2022 4TH SUBMITTAL

MAIN LEVEL PLAN

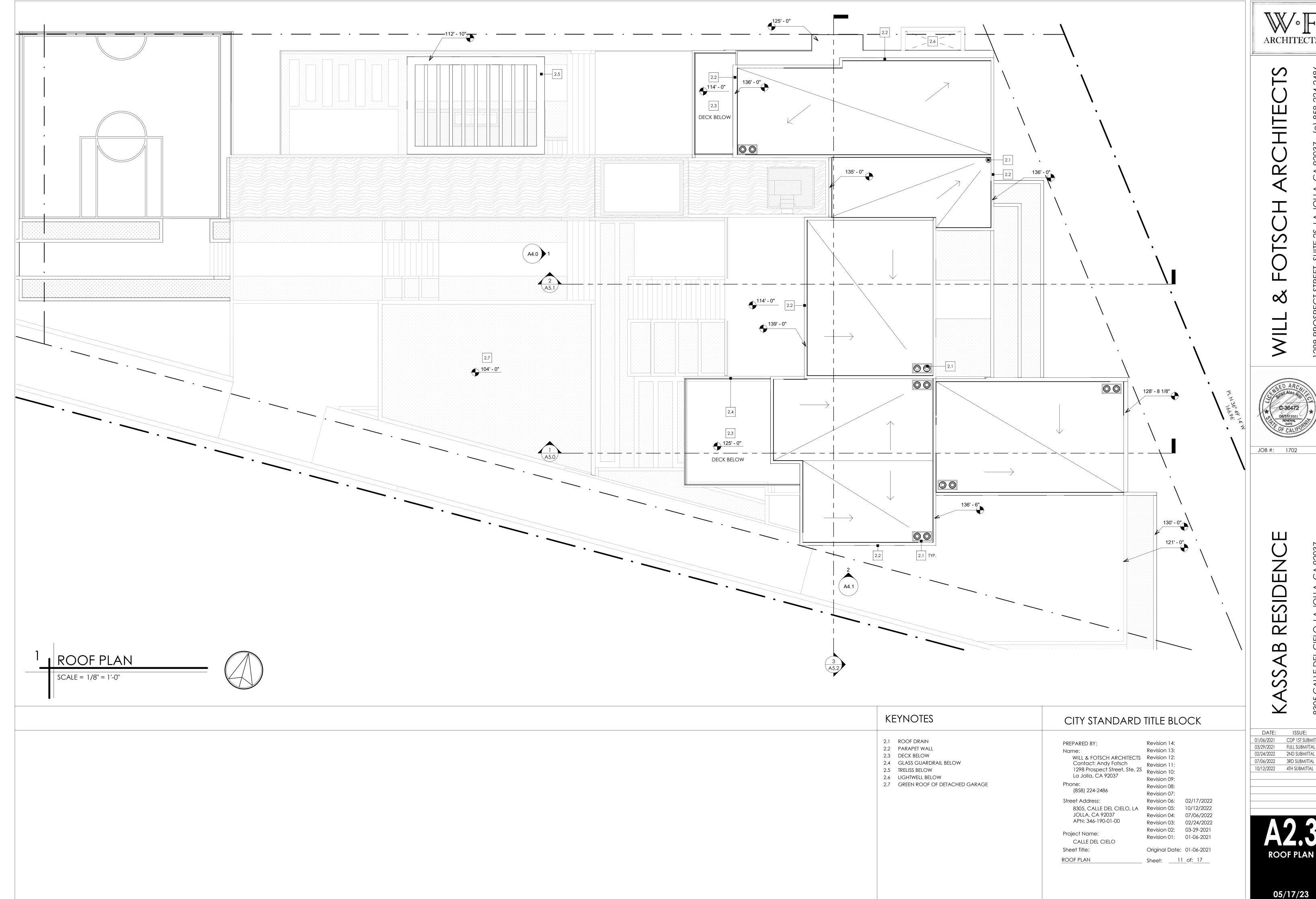


 \mathbb{W} $\cdot \mathbb{F}$ ARCHITECTS

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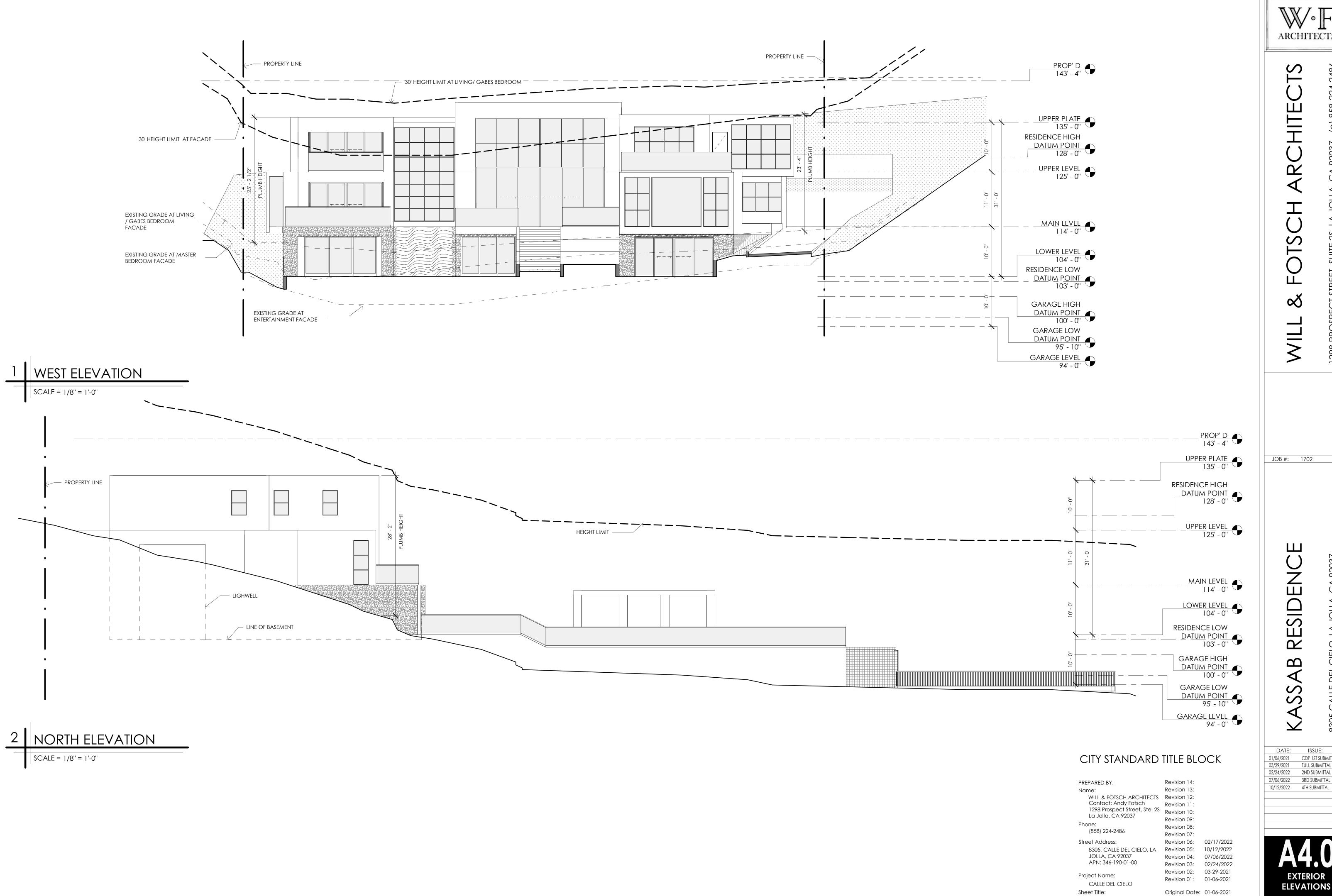


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ROOF PLAN



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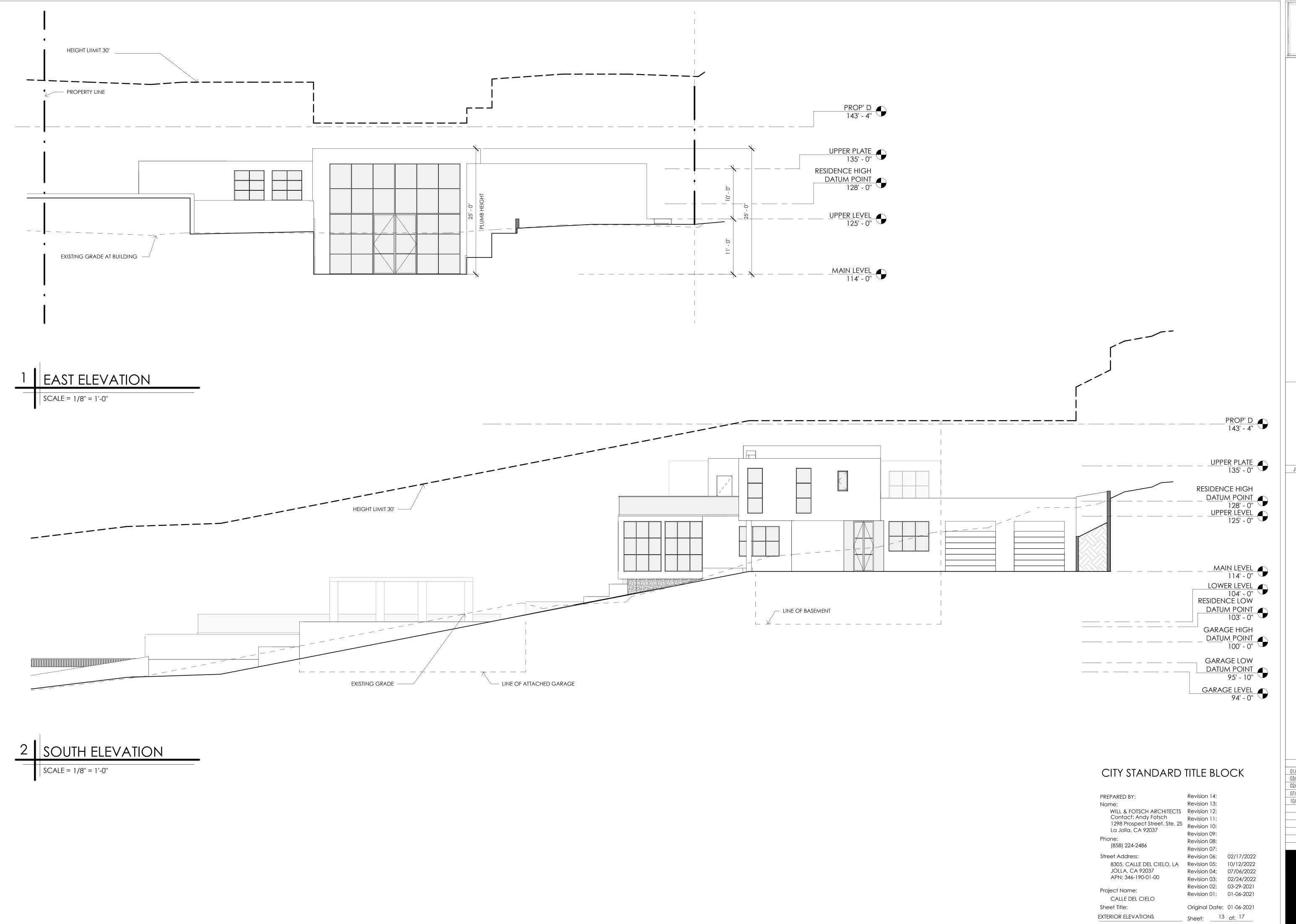
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EXTERIOR ELEVATIONS

05/17/23

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EXTERIOR ELEVATIONS



W/oF ARCHITECTS

MILL & FOTSCH ARCHITECTS

JOB #: 1702

SAB RESIDENCE

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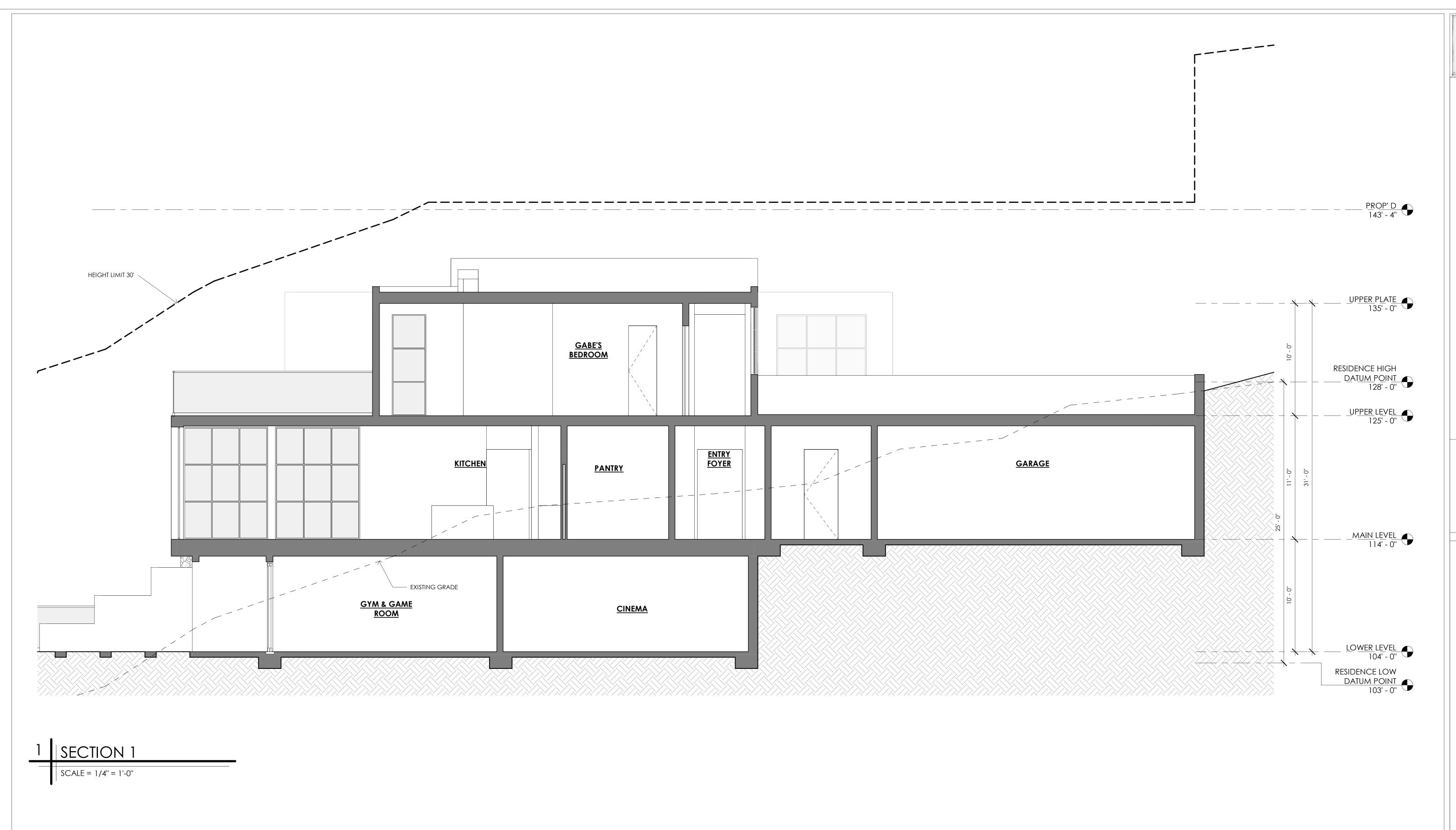
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A4,1
EXTERIOR
ELEVATIONS



CITY STANDARD TITLE BLOCK

PREPARED BY:	Revision 14:	
Name:	Revision 13:	
WILL & FOTSCH ARCHITECTS	Revision 12:	
Contact: Andy Fotsch	Revision 11:	
1298 Prospect Street, Ste. 2S La Jolla, CA 92037	Revision 10:	
	Revision 09:	
Phone:	Revision 08:	
(858) 224-2486	Revision 07:	
Street Address:	Revision 06:	02/17/2022
8305, CALLE DEL CIELO, LA	Revision 05:	10/12/2022
JOLLA, CA 92037	Revision 04:	07/06/2022
APN: 346-190-01-00	Revision 03:	02/24/2022
Project Name:	Revision 02:	03-29-2021
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CALLE DEL CIELO		
Sheet Title:	Original Date:	01-06-2021
BUILDING SECTIONS	Sheet:14	of: 17

W\o F ARCHITECTS

JOB #: 1702

RESIDENCE $\mathbf{\Omega}$

DATE: ISSUE:

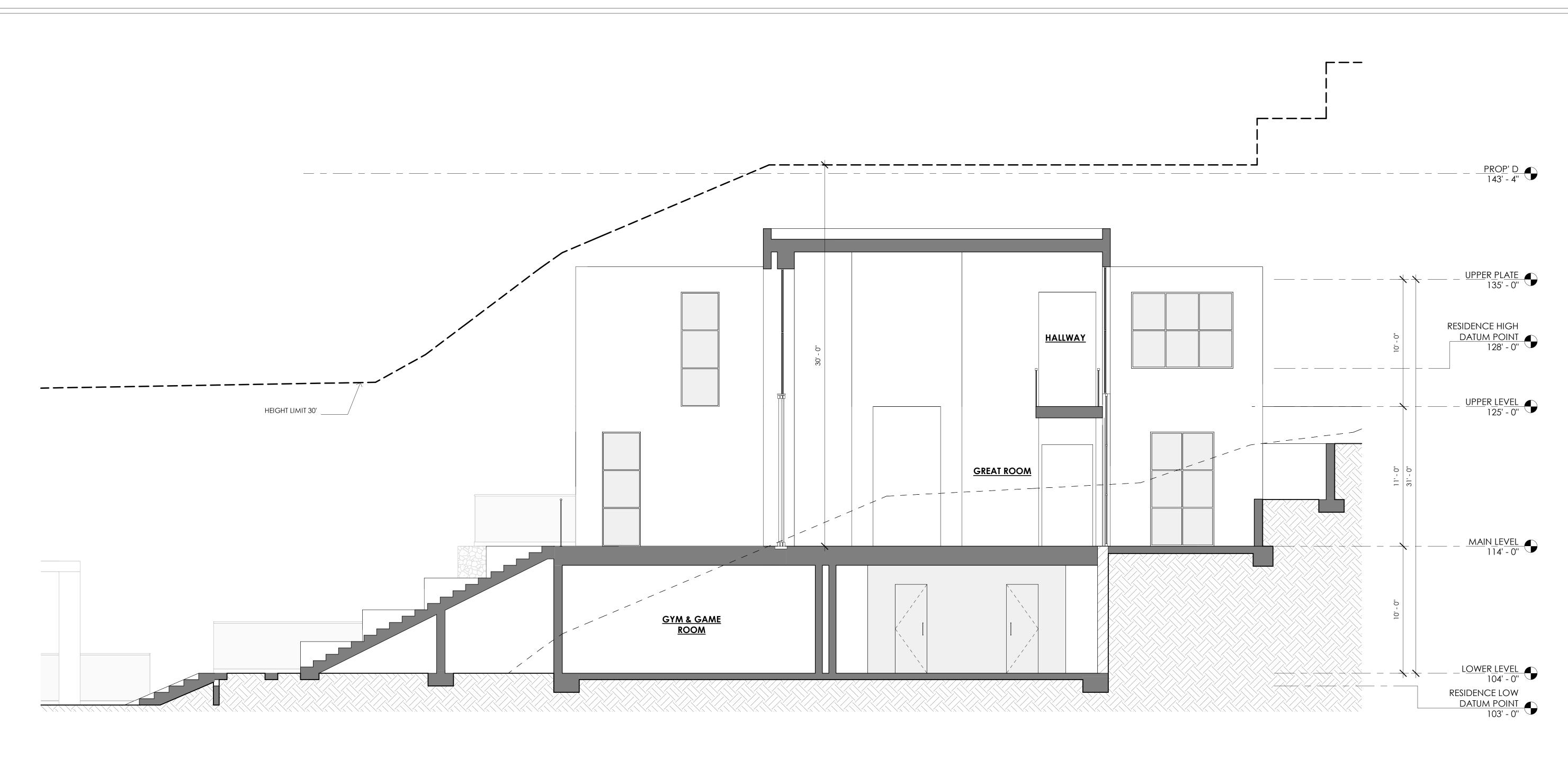
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> **SECTIONS** 05/17/23



2 SECTION 2

| SCALE = 1/4" = 1'-0"

CITY STANDARD TITLE BLOCK

	PREPARED BY:	Revision 14:	
	Name:	Revision 13:	
	WILL & FOTSCH ARCHITECTS	Revision 12:	
	Contact: Andy Fotsch	Revision 11:	
	1298 Prospect Street, Ste. 2S La Jolla, CA 92037	Revision 10:	
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	JOLLA, CA 92037 APN: 346-190-01-00	Revision 04:	07/06/2022
		Revision 03:	02/24/2022
	Drain at Nava a	Revision 02:	03-29-2021
	Project Name:	Revision 01:	01-06-2021
	CALLE DEL CIELO		
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BUILDING SECTIONS

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W%F ARCHITECTS

OTSCH ARCHITECTS

JOB #: 1702

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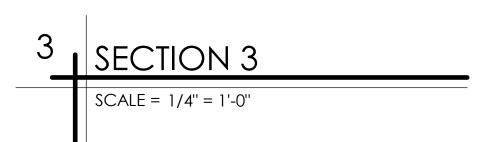
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07/06/2022 3RD SUBMITTAL

10/12/2022 4TH SUBMITTAL

A5.1

BUILDING
SECTIONS



CITY STANDARD TITLE BLOCK

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WILL & FOTSCH ARCHITECTS	Revision 12:	
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BUILDING SECTIONS

W°F ARCHITECTS

WILL & FOTSCH ARCHITECTS

JOB #: 1702

SSAB RESIDENCE

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A5.2

BUILDING
SECTIONS

05/17/23

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CITY STANDARD TITLE BLOCK

	IIILL DLC	
PREPARED BY:	Revision 14:	
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WILL & FOTSCH ARCHITECTS	Revision 12:	
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Project Name:	Revision 01:	01-06-202
CALLE DEL CIELO		
Sheet Title:	Original Date:	01-06-202
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SITE SECTIONS