



THE CITY OF SAN DIEGO

## Report to the Hearing Officer

DATE ISSUED: August 2, 2023 REPORT NO. HO-23-042

HEARING DATE: August 9, 2023

SUBJECT: Calle Del Cielo Residence; Process Three Decision

PROJECT NUMBER: [682249](#)

OWNER/APPLICANT: Ghassan Kassab / Will and Fosch Associated

### SUMMARY

Should the Hearing Officer approve a Coastal Development Permit and Site Development Permit to demolish an existing 4,545-square-foot single-family residence and construct a new 11,754-square-foot single-family residence located at 8305 Calle Del Cielo in the La Jolla Community Planning Area?

### Proposed Actions:

1. APPROVE Coastal Development Permit No. 2524357 and Site Development Permit No. 2524356.

Community Planning Group Recommendation: On July 6, 2023, the La Jolla Community Planning Association voted 17-0-1 to support the project.

La Jolla Shores Advisory Board Recommendation: On May 17, 2023, the La Jolla Shores Planned District Advisory Board vote of 5-1-0 recommended approval of the project on the condition that the northern elevation be set back an additional three feet.

Environmental Impact: The project was determined to be categorically exempt from California Environmental Quality Act pursuant to CEQA Guidelines Section 15302 (Replacement or Reconstruction). This project is not pending an appeal of the environmental determination. The environmental exemption determination for this project was made on March 16, 2023, and the opportunity to appeal that determination ended on March 30, 2023.

### BACKGROUND

The 0.69-acre site is located at 8305 Calle Del Cielo in the La Jolla Shores Planned District SF Zone of the La Jolla Shores Planned District, the Coastal Overlay Zone (Non-Appealable) and the Coastal Height Limitation Overlay Zone in the La Jolla Community Planning Area and Council District 1.

Pursuant to San Diego Municipal Code (SDMC) Section [126.0702\(a\)](#), the project requires a Coastal Development Permit, Process Two, with staff as the decision maker. Pursuant to SDMC Section [1510.0201](#), the project requires a Site Development Permit, Process Three, with the Hearing Officer as the decision maker. These actions are consolidated for decision by the Hearing Officer pursuant to SDMC Section [112.0103](#).

## DISCUSSION

The project site is currently developed with an existing 4,545-square-foot single-family residence to be demolished. The project will construct a new, 11,754-square-foot single-family residence with 733-square-foot attached garage, 1,391-square-foot detached garage, and sport court. The new residence will be built on the eastern portion of the site, which is located approximately half a mile from the Pacific Ocean. The proposed project is contained within the existing lot area and will not encroach upon any existing or proposed physical access to the coast.

The site does not include any coastal views identified in Figure 9 (Identified Public Vantage Points) in the La Jolla Community Plan (Community Plan). Based on a submitted neighborhood survey of the existing development patterns, and bulk and scale comparisons within the neighborhood, the proposed project was determined to be in general conformance with setbacks and bulk and scale, as specified in the La Jolla Shores Planned District Ordinance (LJSPDO), SDMC Section 1510.0304, including a building height of 27 feet, which is below the 30-foot height limit.

The project site is currently developed with a single-family residence and does not contain sensitive biological resources. No impacts to biological resources are expected on-site and the site is not in or adjacent to the City's Multiple Species Conservation Plan and Multi-Habitat Planning Area.

The proposed project conforms to the "Very Low Density" 0-5 dwelling units per net residential acre (Figure 16) of the La Jolla Community Plan by proposing a single-family residence on a 29,248-square-foot site in the LJSPD-SF zone.

## CONCLUSION

City staff has determined the project is consistent with the Community Plan and regulations of the Land Development Code as described above. Staff has provided draft findings and conditions to support approval of the project (Attachment 4 and 5) and recommends the Hearing Officer APPROVE Coastal Development Permit No. 2524357 and Site Development Permit No. 2524356.

## ALTERNATIVES

1. Approve Coastal Development Permit No. 2524357 and Site Development Permit No. 2524356, with modifications.
2. Deny Coastal Development Permit No. 2524357 and Site Development Permit No. 2524356, if the findings required to approve the project cannot be affirmed.

Respectfully submitted,

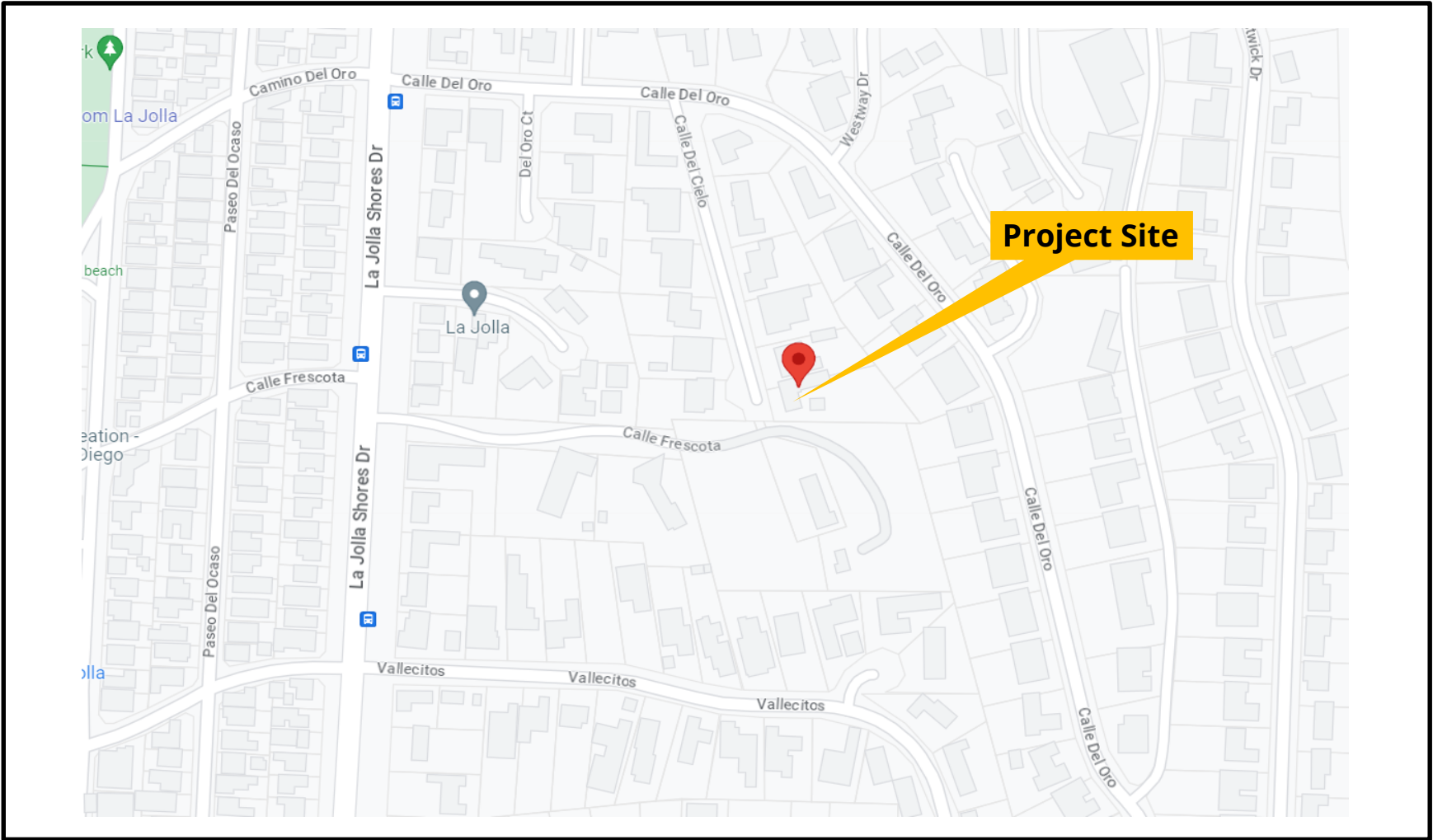
*Hector Rios*

---

Hector Rios  
Development Project Manager  
Development Services Department

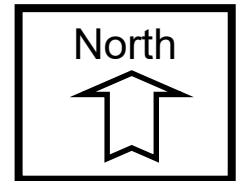
Attachments:

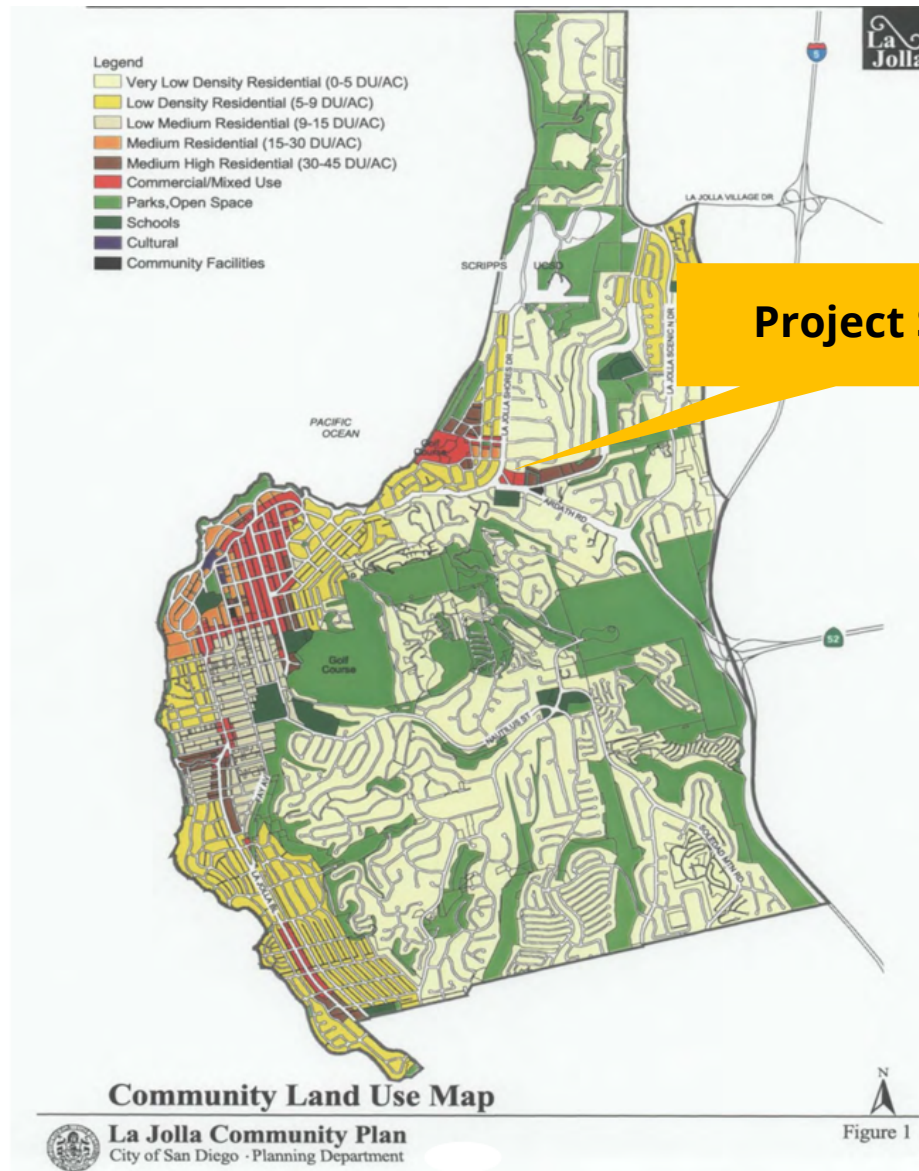
1. Project Location Map
2. Community Plan Land Use Map
3. Aerial Photograph
4. Draft Resolution with Findings
5. Draft Permit with Conditions
6. Environmental Exemption
7. Community Planning Group Recommendation
8. La Jolla Shores Planned District Advisory Board Recommendation
9. Ownership Disclosure Statement
10. Project Plans



## Project Location Map

Calle Del Cielo Residence  
Project No. 682249 - 8305 Calle Del Cielo



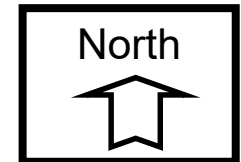


**Project Site**



# Land Use Map

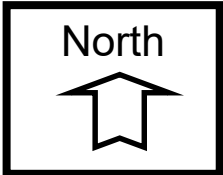
Calle Del Cielo Residence  
 Project No. 682249 - 8305 Calle Del Cielo





## Aerial Photograph

Calle Del Cielo Residence  
Project No. 682249 - 8305 Calle Del Cielo



HEARING OFFICER RESOLUTION NO. [REDACTED]  
COASTAL DEVELOPMENT PERMIT NO. 2524357  
SITE DEVELOPMENT PERMIT NO. 2524356  
CALLE DEL CIELO RESIDENCE - PROJECT NO. 682249

WHEREAS, Ghassan Kassab, and Ghada Kassab, Husband and Wife as Joint Tenants, Owner/Permittee, filed an application with the City of San Diego for a permit to demolish an existing 4,545-square-foot single family residence and construct a new 11,754-square-foot single-family residence with 733-square-foot attached garage, 1,391-square-foot detached garage, and sport court (as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Coastal Development Permit No. 2524357 and Site Development Permit No. 2524356, on portions of a 0.69-acre site;

WHEREAS, the project site is located at 8305 Calle Del Cielo in the La Jolla Shores Planned District Ordinance Single Family Zone (LJSPD)-SF Zone, the Coastal Overlay Zone (Non-Appealable), and the Coastal Height Limitation Overlay Zone in the La Jolla Community Planning Area;

WHEREAS, the project site is legally described as Lot 1 of La Jolla Shores Terrace, in the City of San Diego, County of San Diego, State of California, according to Map thereof No. 2996, filed in the Office of the County Recorder of San Diego County, May 29, 1953; APN: 346 - 190 - 0100;

WHEREAS, on March 16, 2023, the City of San Diego, as Lead Agency, through the Development Services Department, made and issued an Environmental Determination that the project is exempt from the California Environmental Quality Act (CEQA) (Public Resources Code Section 21000 et seq.) under CEQA Guidelines Section 15302 (Replacement or Reconstruction) and there was no appeal of the Environmental Determination filed within the time period provided by San Diego Municipal Code Section 112.0520;

WHEREAS, on August 9, 2023, the Hearing Officer of the City of San Diego considered COASTAL DEVELOPMENT PERMIT No. 2524357 and SITE DEVELOPMENT PERMIT No. 2524356 pursuant to the Land Development Code of the City of San Diego; NOW THEREFORE,

BE IT RESOLVED by the Hearing Officer of the City of San Diego, that it adopts the following findings with respect to COASTAL DEVELOPMENT PERMIT No. 2524357 and SITE DEVELOPMENT PERMIT No. 2524356:

**A. COASTAL DEVELOPMENT PERMIT [SDMC Section 126.0708]**

**1. Findings for all Coastal Development Permits:**

- a. The proposed coastal development will not encroach upon any existing physical accessway that is legally used by the public or any proposed public accessway identified in a Local Coastal Program land use plan; and the proposed coastal development will enhance and protect public views to and along the ocean and other scenic coastal areas as specified in the Local Coastal Program land use plan.**

The 0.69-acre project site is currently developed with an existing 4,545-square-foot single-family residence to be demolished. The project will construct a new, 11,754-square-foot single-family residence with a 733-square-foot attached garage, 1,391-square-foot detached garage, pool, spa, and sport court. The new residence will be built on the eastern portion of the site, which is located approximately half a mile from the Pacific Ocean. There is no identified public view on or adjacent to the project site. The proposed project is contained within the existing lot area and will not encroach upon any existing or proposed physical access to the coast identified by the La Jolla Community Plan and Local Coastal Program Land Use Plan (Community Plan).

The site does not include any coastal views identified in Figure 9 (Identified Public Vantage Points) in the Community Plan. Based on a submitted neighborhood survey of the existing development patterns, and bulk and scale comparisons within the neighborhood, the proposed project was determined to be in general conformance with setbacks and bulk and scale, as specified in the La Jolla Shores Planned Development Ordinance (LJSPDO), SDMC Section 1510.0304 Single Family Development Zone Regulations, including a building height of 27 feet, which is below the 30-foot height limit. Therefore, the project will not encroach upon any existing physical accessway that is legally used by the public or any proposed public accessway identified in a Local Coastal Program land use plan, and the proposed project will not impact public views to and along the ocean and other scenic coastal areas as specified in the Local Coastal Program Land Use Plan.



**b. The proposed development will not adversely affect environmentally sensitive lands.**

The project site is currently developed with a single-family residence and does not contain any environmentally sensitive lands. No impacts to sensitive biological resources are expected on-site and the site is not in or adjacent to the City's Multiple Species Conservation Plan and Multi-Habitat Planning Area.

An environmental determination was made that the project is exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines Section 15302 (Replacement or Reconstruction). Therefore, the proposed development will not adversely affect environmentally sensitive lands as none are present on the site.

**c. The proposed coastal development is in conformity with the certified Local Coastal Program land use plan and complies with all regulations of the certified Implementation Program.**

The proposed project conforms to the "Very Low Density" 0-5 dwelling units per net residential acre (Figure 16) of the Community Plan by proposing a single-family residence on a 29,248-square-foot site in the LJSPD-SF zone. Per San Diego Municipal Code (SDMC) Section 1510.0304(a), the project conforms with the dwelling unit density regulations in the La Jolla Shores Planned District Ordinance relating to Single Family Zone development.

The project is designed to comply with all the applicable development regulations, including those of the LJSPD-SF Zone. The proposed residence will be approximately 27 feet in height, in compliance with the maximum 30-foot height limit. The proposed project is located within the previously developed portions of the property. Based on a submitted neighborhood survey of the existing development patterns, and bulk and scale comparisons within the neighborhood, the proposed project was determined to be in general conformance with setbacks and bulk and scale, as specified in the LJSPDO - SF. There is no identified public view on or adjacent to the project site. Therefore, the proposed development will comply with the certified Local Coastal Program land use plan and with all applicable regulations of the Land Development Code.

**d. For every Coastal Development Permit issued for any coastal development between the nearest public road and the sea or the shoreline of any body of water located within the Coastal Overlay Zone the coastal development is in conformity with the public access and public recreation policies of Chapter 3 of the California Coastal Act.**

The project site is not located between the first public roadway and the Pacific Ocean. This finding does not apply.

**B. SITE DEVELOPMENT PERMIT [SDMC Section 126.0505]**

1. **Findings for all Site Development Permits:**

a. **The proposed development will not adversely affect the applicable land use plan.**

As discussed in finding A.1.c. above, incorporated here by reference, the proposed development will comply with the applicable regulations of the Land Development Code and the Community Plan. Therefore, this residential dwelling unit construction will not adversely affect the Community Plan.

b. **The proposed development will not be detrimental to the public health, safety and welfare.**

The project will not be detrimental to the public health, safety, and welfare. The project site does not contain any sensitive vegetation, is not in a designated floodway, and is not located within or adjacent to the City's Multiple Species Conservation Program/Multiple Habitat Planning Area. City staff has reviewed and accepted a preliminary geotechnical report prepared for the site that concluded that the project adequately addresses the site's soil and geologic conditions. The Owner/Permittee shall submit a geotechnical investigation report or update letter that specifically addresses the proposed construction plans. The geotechnical investigation report or update letter shall be reviewed for adequacy by the Geology Section of the Development Services Department prior to the issuance of any construction permits. Also, the Owner/Permittee shall submit an as-graded geotechnical report prepared in accordance with the City's "Guidelines for Geotechnical Reports" following the completion of grading. The as-graded geotechnical report shall be reviewed for adequacy by the Geology Section of the Development Services Department prior to the release or discharge of the required bond (described below) and grading permit close-out.

The project permit also contains specific requirements to ensure compliance with the regulations of the Land Development Code, including those adopted to protect the public health, safety and welfare. Permit requirements include: assuring by permit and bond the replacement of the existing curb with City standard curb and gutter on Calle Del Cielo; obtaining a bonded grading permit for the proposed grading for the project; landscape maintenance; implementing stormwater construction best management practices (BMPs); and entering into a Maintenance Agreement for ongoing permanent BMP maintenance. Therefore, the project will not be detrimental to the public, health, safety, and welfare.

c. **The proposed development will comply with the regulations of the Land Development Code including any allowable deviations pursuant to the Land Development Code.**

The project as discussed in finding A.1.c. above, incorporated here by reference, will comply with the applicable regulations of the Land Development Code and the Community Plan. Therefore, this residential dwelling unit construction will not adversely affect the Community Plan and no deviations are required.

The above findings are supported by the minutes, maps and exhibits, all of which are incorporated herein by this reference.

BE IT FURTHER RESOLVED that, based on these findings adopted by the Hearing Officer, COASTAL DEVELOPMENT PERMIT No. 2524357 and SITE DEVELOPMENT PERMIT No. 2524356 are hereby GRANTED by the Hearing Officer to the referenced Owner/Permittee, in the form, exhibits, terms and conditions as set forth in Permit No. 2524357 and Permit No. 2524356, a copy of which is attached hereto and made a part hereof.

---

Hector Rios  
Development Project Manager  
Development Services

Adopted on: August 9, 2023

IO#:24008915

**RECORDING REQUESTED BY**  
CITY OF SAN DIEGO  
DEVELOPMENT SERVICES  
PERMIT INTAKE, MAIL STATION  
501

**WHEN RECORDED MAIL TO**  
**PROJECT MANAGEMENT**  
**PERMIT CLERK**  
**MAIL STATION 501**

---

INTERNAL ORDER NUMBER: 24008915

SPACE ABOVE THIS LINE FOR RECORDER'S USE

COASTAL DEVELOPMENT PERMIT NO. 2524357  
SITE DEVELOPMENT PERMIT NO. 2524356  
CALLE DEL CIELO RESIDENCE - PROJECT NO. 682249  
HEARING OFFICER

This Coastal Development Permit No. 2524357 and Site Development Permit No. 2524356 are granted by the Hearing Officer of the City of San Diego to GHASSAN KASSAB and GHADA KASSAB, Husband and Wife as Joint Tenants, Owner/Permittee, pursuant to San Diego Municipal Code [SDMC] section 126.0702 and 126.0502. The 0.69-acre site is located at 8305 Calle Del Cielo in the LJSPD-SF Zone, Coastal Height Limitation Overlay Zone, and the Coastal (Non-Appealable) Overlay Zone in the La Jolla Community Planning Area and Council District 1. The project site is legally described as: Lot 1 of La Jolla Shores Terrace, in the City of San Diego, County of San Diego, State of California, according to Map thereof No. 2996, filed in the office of the County Recorder of San Diego County, May 29, 1953, APN: 346-190-0100.

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner/Permittee to demolish an existing single-family residence and construct a new single-family residence, described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated August 9, 2023, on file in the Development Services Department.

The project shall include:

- a. Demolition of an existing 4,545-square-foot single-family residence and construction of a new 11,754-square-foot single-family residence with 733-square-foot attached garage and 1,391-square-foot detached garage; and sports court.
- b. Landscaping (planting, irrigation, and landscape-related improvements);
- c. Six off-street parking spaces;
- d. Associated retaining walls, fences, lighting, recreational facilities; and

- e. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act [CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

**STANDARD REQUIREMENTS:**

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36-month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision-maker. This permit must be utilized by August 23, 2026.
2. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
  - a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
  - b. The Permit is recorded in the Office of the San Diego County Recorder.
3. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.
4. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.
5. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
6. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).
7. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.

8. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.

9. All of the conditions contained in this Permit have been considered and were determined necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

10. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

**CLIMATE ACTION PLAN REQUIREMENTS:**

11. Owner/Permittee shall comply with the Climate Action Plan (CAP) Consistency Checklist stamped as Exhibit "A." Prior to issuance of any construction permit, all CAP strategies shall be noted within the first three (3) sheets of the construction plans under the heading "Climate Action Plan Requirements" and shall be enforced and implemented to the satisfaction of the Development Services Department.

**ENGINEERING REQUIREMENTS:**

12. Prior to the issuance of any building permit, the Owner/Permittee shall obtain an Encroachment Maintenance Removal Agreement for the curb outlet, wall, non-standard driveway, landscape, and irrigation located within the Calle Del Cielo's right-of-way, satisfactory to the City Engineer.
13. Prior to the issuance of any building permits, the Owner/Permittee shall assure by permit and bond the replacement of the existing curb with City standard curb and gutter, on Calle Del Cielo, satisfactory to the City Engineer.
14. The drainage system proposed for this development, as shown on the site plan, is private and subject to approval by the City Engineer.
15. Prior to the issuance of any building permits, the Owner/Permittee shall obtain a bonded grading permit for the grading proposed for this project. All grading shall conform to the requirements of the City of San Diego Municipal Code in a manner satisfactory to the City Engineer.
16. Prior to the issuance of any construction permit, the Owner/Permittee shall enter into a Maintenance Agreement for the ongoing permanent Best Management Practices maintenance, satisfactory to the City Engineer.
17. Prior to the issuance of any construction permit, the Owner/Permittee shall incorporate any construction Best Management Practices necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the SDMC, into the construction plans or specifications.
18. Prior to the issuance of any construction permit the Owner/Permittee shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be prepared in accordance with the guidelines in Part 2 Construction BMP Standards Chapter 4 of the City's Storm Water Standards.
19. Prior to the issuance of any construction permit, the applicant shall submit a Technical Report that will be subject to final review and approval by the City Engineer, based on the Storm Water Standards in effect at the time of the construction permit issuance.

**LANDSCAPE REQUIREMENTS:**

20. Prior to issuance of any construction permit for public improvements, the Owner/Permittee shall submit complete landscape construction documents for right-of-way improvements to the Development Services Department for approval. Improvement plans shall show, label, and dimension a 40-square-foot area around each tree which is unencumbered by utilities. Driveways, utilities, drains, water and sewer laterals shall be designed so as not to prohibit the placement of street trees.
21. Prior to issuance of any construction permit for structures, the Owner/Permittee shall submit complete landscape and irrigation construction documents to the Development Services Department for approval. The construction documents shall be consistent with approved Exhibit "A,"

the La Jolla Shores Planned District Ordinance, the La Jolla Community Plan, and the Land Development Manual - Landscape Standards. Unplanted recreational areas, walks (areas used for access whether paved, mulched, steppingstone, ground cover, or similar), and driveways may not count towards the minimum landscape area.

22. The Owner/Permittee shall be responsible for the maintenance of all landscape improvements shown on the approved plans, including in the right-of-way, unless long-term maintenance of said landscaping will be the responsibility of a Landscape Maintenance District or other approved entity. All required landscape shall be maintained consistent with the Landscape Standards in a disease, weed, and litter free condition at all times. Severe pruning or "topping" of trees is not permitted.

23. If any required landscape (including existing or new plantings, hardscape, landscape features, etc.) indicated on the approved construction document plans is damaged or removed, it shall be repaired and/or replaced in kind and equivalent size per the approved documents to the satisfaction of the Development Service Department within 30 days of damage.

**WATER AND SEWER REQUIREMENTS:**

24. All proposed private water and sewer facilities located within a single lot are to be designed to meet the requirements of the California Plumbing Code and will be reviewed as part of the building permit plan check.

25. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, the design and construction of new water and sewer service(s) outside of any driveway or drive aisle and the abandonment of any existing unused water and sewer services within the public right-of-way adjacent to the project site, in a manner satisfactory to the Public Utilities Department and the City Engineer.

26. Prior to the issuance of any building permits, if it is determined during the building permit review process the existing sewer service will not be adequate to serve the proposed project, the Owner/Permittee shall, assure by permit and bond, the design and construction of new sewer service outside of any driveway or drive aisle and the abandonment of any existing unused sewer services within the right-of-way adjacent to the project site, in a manner satisfactory to the Public Utilities Department and the City Engineer.

27. Prior to the issuance of any building permits, the Owner/Permittee shall apply for a plumbing permit for the installation of appropriate private back flow prevention device(s) (BFPDs), on each water service (domestic, fire and irrigation), in a manner satisfactory to the Public Utilities Department and the City Engineer. BFPDs shall be located above ground on private property, in line with the service and immediately adjacent to the right-of-way.

28. Prior to final inspection, all public water and sewer facilities shall be complete and operational in a manner satisfactory to the Public Utilities Department and the City Engineer.



29. The Owner/Permittee shall design and construct all proposed public water and sewer facilities, in accordance with established criteria in the current edition of the City of San Diego Water and Sewer Facility Design Guidelines and City regulations, standards and practices.

30. No trees or shrubs exceeding three feet in height at maturity shall be installed within ten feet of any sewer facilities and five feet of any water facilities.

**PLANNING/DESIGN REQUIREMENTS:**

31. The automobile, motorcycle and bicycle parking spaces must be constructed in accordance with the requirements of the SDMC. All on-site parking stalls and aisle widths shall be in compliance with requirements of the City's Land Development Code and shall not be converted and/or utilized for any other purpose, unless otherwise authorized in writing by the appropriate City decision maker in accordance with the SDMC.

32. A topographical survey conforming to the provisions of the SDMC may be required if it is determined, during construction, that there may be a conflict between the building(s) under construction and a condition of this Permit or regulation of the underlying zone. The cost of any such survey shall be borne by the Owner/Permittee.

33. The sports court shall not be lit between 10:00 p.m. and dawn.

34. All private outdoor lighting shall be shaded and adjusted to fall on the same premises where such lights are located and in accordance with the applicable regulations in the SDMC.

**GEOLOGY REQUIREMENTS**

35. The Owner/Permittee shall submit a geotechnical investigation report or update letter that specifically addresses the proposed construction plans. The geotechnical investigation report or update letter shall be reviewed for adequacy by the Geology Section of the Development Services Department prior to issuance of any construction permits.

36. The Owner/Permittee shall submit an as-graded geotechnical report prepared in accordance with the City's "Guidelines for Geotechnical Reports" following completion of the grading. The as-graded geotechnical report shall be reviewed for adequacy by the Geology Section of the Development Services Department prior to release or discharge of the bond and grading permit close-out.

**INFORMATION ONLY:**

- The issuance of this discretionary permit alone does not allow the immediate commencement or continued operation of the proposed use on site. Any operation allowed by this discretionary permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.

## ATTACHMENT 5

- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Hearing Officer of the City of San Diego on August 9, 2023, and [Approved Resolution Number].

DRAFT

**ATTACHMENT 5**

COASTAL DEVELOPMENT PERMIT NO. 2524357  
SITE DEVELOPMENT PERMIT NO. 2524356  
Date of Approval: August 9, 2023

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES DEPARTMENT

\_\_\_\_\_  
Hector Rios  
Development Project Manager

**NOTE: Notary acknowledgment must be attached per Civil Code section 1189 et seq.**

\_\_\_\_\_  
**The undersigned Owner/Permittee**, by execution hereof, agrees to each and every condition of this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

Owner/Permittee

By \_\_\_\_\_  
Ghassan Kassab

Owner/Permittee

By \_\_\_\_\_  
Ghada Kassab

**NOTE: Notary acknowledgments must be attached per Civil Code section 1189 et seq.**



THE CITY OF SAN DIEGO

Date of Notice March 16, 2023

# NOTICE OF RIGHT TO APPEAL ENVIRONMENTAL DETERMINATION

DEVELOPMENT SERVICES DEPARTMENT

SAP No. 24008915

---

**PROJECT NAME/NUMBER:** Calle Del Cielo /682249

**COMMUNITY PLAN AREA:** La Jolla

**COUNCIL DISTRICTS:** 1

**LOCATION:** The project is located at 8305 Calle Del Cielo, La Jolla, CA 92037

**PROJECT DESCRIPTION:** Site Development Permit (SDP) and Coastal Development Permit (CDP) to demolish an existing 4,545 square foot single family residence and attached garage and construct a new 11,754 square-foot single family residence. In addition to the residence the project would construct a 733 square-foot garage and a 1,391 square-foot detached four car garage, and also a sports area. The 0.68-acre site is located in the LJSPD-SF Zone and the Coastal (Non-App) Overlay, Coastal Height Limit Overlay, and Coastal (Non-Appealable) Overlay Zones in the La Jolla Community Planning Area and Council District 1. The project complies with all height and bulk regulations and is located on a site that is currently developed with the public utilities in place to serve the facility.

**ENTITY CONSIDERING PROJECT APPROVAL:** City of San Diego, Hearing Officer

**ENVIRONMENTAL DETERMINATION:** Section 15302 (Replacement or Reconstruction)

**ENTITY MAKING ENVIRONMENTAL DETERMINATION:** City of San Diego, Development Services Department

**STATEMENT SUPPORTING REASON FOR ENVIRONMENTAL DETERMINATION:** The City of San Diego conducted an environmental review which determined that the proposed project is exempt from CEQA pursuant to CEQA Guidelines Section 15302. CEQA Section 15302 allows for the replacement or reconstruction of existing structures and facilities where the new structure will be located on the same site and will have substantially the same purpose and capacity as the structure being replaced. The proposed project is demolishing a single-family residence and would replace it with a new single-family residence which would not expand the use of the project. Since the project would occur on the same developed site as the existing residence no environmental impacts would occur and none of the exceptions described in CEQA Guidelines Section 15300.2 apply.

**DEVELOPMENT PROJECT MANAGER:** Hector Rios  
**MAILING ADDRESS:** 1222 First Avenue, MS 501, San Diego, CA 92101-4153  
**PHONE NUMBER/EMAIL:** (619) 619-446-5236/ Hrios@sandiego.gov

---

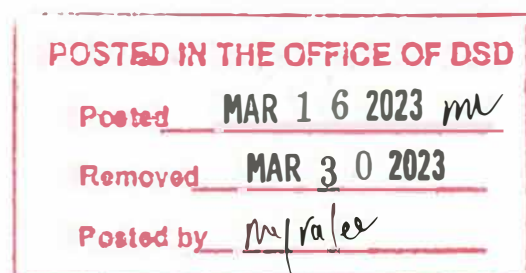
On March 16, 2023 the City of San Diego made the above-referenced environmental determination pursuant to the California Environmental Quality Act (CEQA). This determination is appealable to the City Council. If you have any questions about this determination, contact the City Development Project Manager listed above.

Applications to appeal CEQA determinations made by staff (including the City Manager) to the City Council must be filed in the office of the City Clerk within 10 business days from the date of the posting of this Notice so the final day to file an appeal is March 30, 2023. Appeals to the City Clerk must be filed by email or in-person as follows:

- 1) Appeals filed via E-mail: The Environmental Determination Appeal Application Form [DS-3031](#) can be obtained at <https://www.sandiego.gov/sites/default/files/legacy/development-services/pdf/industry/forms/ds3031>. Send the completed appeal form (including grounds for appeal and supporting documentation in pdf format) by email to [Hearings1@sandiego.gov](mailto:Hearings1@sandiego.gov) by 5:00p.m. on the last day of the appeal period; your email appeal will be acknowledged within 24 business hours. You must separately mail the appeal fee by check payable to the City Treasurer to: City Clerk/Appeal, MS 2A, 202 C Street, San Diego, CA 92101. The appeal filing fee must be United States Postal Service (USPS) postmarked) before or on the final date of the appeal. Please include the project number on the memo line of the check.
- 2) Appeals filed in person: Environmental Determination Appeal Application Form [DS-3031](#) can be obtained at <https://www.sandiego.gov/sites/default/files/legacy/development-services/pdf/industry/forms/ds3031.pdf>. Bring the fully completed appeal application [DS-3031](#) (including grounds for appeal and supporting documentation) to the City Administration Building—Public Information Counter (Open 8:00am to 5:00pm Monday through Friday excluding City-approved holidays), 1st Floor Lobby, located at 202 C Street, San Diego, CA 92101, by 5:00pm on the last day of the appeal period. The completed appeal form shall include the required appeal fee, with a check payable to: City Treasurer.

The appeal application can also be obtained from the City Clerk, 202 'C' Street, Second Floor, San Diego, CA 92101.

This information will be made available in alternative formats upon request.



Page 3		City of San Diego · Information Bulletin 620		August 2018	
		<b>City of San Diego Development Services</b> 1222 First Ave., MS-302 San Diego, CA 92101		<b>Community Planning Committee Distribution Form</b>	
Project Name: 8305 Calle Del Cielo			Project Number: 682249/Fotsch		
Community: La Jolla					
<p>For project scope and contact information (project manager and applicant), log into OpenDSD at <a href="https://aca.accela.com/SANDIEGO">https://aca.accela.com/SANDIEGO</a>.</p> <p>Select "Search for Project Status" and input the Project Number to access project information.</p>					
<input checked="" type="radio"/> Vote to Approve <input type="checkbox"/> Vote to Approve with Conditions Listed Below <input type="checkbox"/> Vote to Approve with Non-Binding Recommendations Listed Below <input type="checkbox"/> Vote to Deny				Date of Vote: July 06, 2023	
# of Members Yes 17		# of Members No 0		# of Members Abstain 1	
Conditions or Recommendations:					
<input type="checkbox"/> No Action (Please specify, e.g., Need further information, Split vote, Lack of quorum, etc.)					
NAME: Suzanne Baracchini					
TITLE: Trustee/Secretary				DATE: July 11, 2023	
<i>Attach additional pages if necessary (maximum 3 attachments).</i>					

Visit our web site at [www.sandiego.gov/development-services](http://www.sandiego.gov/development-services).

Upon request, this information is available in alternative formats for persons with disabilities.

DS-5620 (08-18) ONLINE FORM

**Rios, Hector**

---

**From:** Pangilinan, Marlon  
**Sent:** Monday, July 24, 2023 2:48 PM  
**To:** Rios, Hector; Justin Palacios; Gianchandani, Anisha  
**Cc:** Andy Fotsch  
**Subject:** RE: [EXTERNAL] Re: 682249\_Calle Del Cielo Residence

Hi Hector,

The La Jolla Shores Planned District Advisory Board has been adjourned since June due to a lack of projects to review and so, have not been able to approve the May 17, 2023 meeting minutes at a subsequent meeting. In lieu of the approved minutes, please see the following account of the project at the meeting:

PTS 682249 – 8305 Calle Del Cielo “Calle Del Cielo Residence” was heard before the La Jolla Shores Planned District Advisory Board on Wednesday, May 17, 2023.

All members of the Advisory Board were in attendance.

The project was presented by Andy Fotsch, Will & Fotsch Architects.

Public comment on this project was provided by David Odmark, neighbor.

After asking several clarifying questions of the applicant, the Advisory Board made the following comments:

- The proposed pool in the front yard could create a precedent given that no other properties have a pool in the front yard.
- The location of the project creates a different character, given that other existing buildings are closer to the street.
- It was suggested that the whole upper-story could be setback to lessen bulk and scale.
- The setback on the northern elevation could be moved in more by 3 feet in consideration of the neighbor’s concern.

**RECOMMENDATION:** The La Jolla Shores Planned District Advisory Board recommended approval of the Site Development Permit and Coastal Development Permit and for the project to increase its setback from the north elevation wall by 3 feet. Motion approved: 5-1-0.

Sincerely,

**Marlon I. Pangilinan**  
 Interim Program Coordinator  
 City of San Diego  
 City Planning Department

T (619) 235-5293  
[sandiego.gov/planning](http://sandiego.gov/planning)

**CONFIDENTIAL COMMUNICATION**

This electronic mail message and any attachments are intended only for the use of the addressee(s) named above and may contain information that is privileged, confidential and exempt from disclosure under applicable law. If you are not an intended recipient, or the employee or agent responsible for delivering this e-mail to the intended recipient, you are hereby notified that any dissemination, distribution or copying of this communication is strictly prohibited. If you received this e-mail message in error, please immediately notify the sender by replying to this message or by telephone. Thank you.

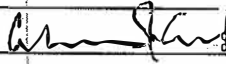
	<p><b>City of San Diego Development Services</b> 1222 First Ave., MS 302 San Diego, CA 92101 (619) 446-5000</p>	<h1 style="margin:0;">Ownership Disclosure Statement</h1>	<p><b>FORM DS-318</b></p> <p>October 2017</p>
---	---	---	---

**Approval Type:** Check appropriate box for type of approval(s) requested:  Neighborhood Use Permit  Coastal Development Permit  
 Neighborhood Development Permit  Site Development Permit  Planned Development Permit  Conditional Use Permit  Variance  
 Tentative Map  Vesting Tentative Map  Map Waiver  Land Use Plan Amendment  Other \_\_\_\_\_

**Project Title:** KASSAB RESIDENCE **Project No. For City Use Only:** \_\_\_\_\_  
**Project Address:** 8305 CALLE DEL CIELO, LA JOLLA, CA 92037

**Specify Form of Ownership/Legal Status (please check):**  
 Corporation  Limited Liability -or-  General - What State? \_\_\_\_\_ Corporate Identification No. \_\_\_\_\_  
 Partnership  Individual

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter will be filed with the City of San Diego on the subject property with the intent to record an encumbrance against the property. Please list below the owner(s), applicant(s), and other financially interested persons of the above referenced property. A financially interested party includes any individual, firm, co-partnership, joint venture, association, social club, fraternal organization, corporation, estate, trust, receiver or syndicate with a financial interest in the application. If the applicant includes a corporation or partnership, include the names, titles, addresses of all individuals owning more than 10% of the shares. If a publicly-owned corporation, include the names, titles, and addresses of the corporate officers. (A separate page may be attached if necessary.) If any person is a nonprofit organization or a trust, list the names and addresses of **ANY** person serving as an officer or director of the nonprofit organization or as trustee or beneficiary of the nonprofit organization. A signature is required of at least one of the property owners. Attach additional pages if needed. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

**Property Owner**  
Name of Individual: Ghassan and Ghada Kassab  Owner  Tenant/Lessee  Successor Agency  
Street Address: 2505 Hidden Valley Place  
City: La Jolla State: CA Zip: 92037  
Phone No.: 858-999-5235 Fax No.: \_\_\_\_\_ Email: gkassab@calmi2.org  
Signature: Ghassan Kassab  Digitally signed by Ghassan Kassab  
DN: cn=2020.12.28 11:56:55 -0800 Date: 12/28/2020  
Additional pages Attached:  Yes  No

**Applicant**  
Name of Individual: \_\_\_\_\_  Owner  Tenant/Lessee  Successor Agency  
Street Address: \_\_\_\_\_  
City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_  
Phone No.: \_\_\_\_\_ Fax No.: \_\_\_\_\_ Email: \_\_\_\_\_  
Signature: \_\_\_\_\_ Date: \_\_\_\_\_  
Additional pages Attached:  Yes  No

**Other Financially Interested Persons**  
Name of Individual: \_\_\_\_\_  Owner  Tenant/Lessee  Successor Agency  
Street Address: \_\_\_\_\_  
City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_  
Phone No.: \_\_\_\_\_ Fax No.: \_\_\_\_\_ Email: \_\_\_\_\_  
Signature: \_\_\_\_\_ Date: \_\_\_\_\_  
Additional pages Attached:  Yes  No



# CALLE DEL CIELO

## CDP/SDP SET

F.A.R. CALCULATIONS

BUILDING AREA CALCULATION						
NAME	EXISTING	REMOVED	ADDITION	GFA	HABITABLE	FOR FAR
LOWER LEVEL	0 SF	0 SF	4,054 SF	4,054 SF	4,054 SF	0 SF
MAIN LEVEL	0 SF	0 SF	4,921 SF	4,921 SF	4,188 SF	4,921 SF
UPPER LEVEL	0 SF	0 SF	3,512 SF	3,512 SF	3,512 SF	3,512 SF
ATTACHED GARAGE	0 SF	0 SF	1,391 SF	1,391 SF	0 SF	1,391 SF

OVERALL TOTAL		
13,878 SF	11,754 SF	9,824 SF

**FLOOR AREA SUMMARY**

GROSS FLOOR AREA:	13,878 SF
SITE AREA:	29,248 SF
PROPOSED FAR:	0.34/ 9,824 SF

PROJECT DATA

**PROJECT SCOPE:**

- SITE DEVELOPMENT PERMIT AND COASTAL DEVELOPMENT TO DEMOLISH EXISTING SINGLE FAMILY RESIDENCE OF 4,545 SF AND CONSTRUCT A NEW SINGLE FAMILY RESIDENCE OF 11,754 SF WITH 733 SF TWO CAR GARAGE AND ONE 1,391 FOUR CAR DETACHED GARAGE WITH SPORTS COURT. ALL RELATED SITE WORK AND RETAINING WALLS TO BE A PART OF THIS PERMIT
- POOL TO BE CONSTRUCTED UNDER SEPARATE PERMIT

PROJECT INFORMATION

SITE: 8305 CALLE DEL CIELO, LA JOLLA, CA 92037

A.P.N.: 346-190-01-00

LEGAL DESCRIPTION: LOT 1\*

ZONE: LJSFD-SF

YEAR BUILT (EXIST'G): 2004

LOT SIZE: 0.69 ACRES

LOT AREA: 29,248 SF

MAX FLOOR AREA: 9,652 SF

COASTAL HEIGHT LIMIT: ELEV. 143'-4"

ZONING OVERALL HEIGHT LIMIT: 30'-0"

ZONING PLUMB HEIGHT: 30'-0"

SETBACKS: FRONT: N/A PROPOSED: 76' - 4"

SIDE: N/A PROPOSED: 12' - 1"

REAR: N/A PROPOSED: 4' - 7 1/2"

PROPOSED: 15' - 1"

PARKING REQUIREMENTS: REQUIRED: 2 SPACES

PROPOSED: 6 SPACES (RESIDENTIAL)

OVERLAY ZONES: COASTAL OVERLAY ZONE  
COASTAL HEIGHT LIMIT OVERLAY ZONE  
GEOLOGICAL HAZARD CATEGORIES  
STEEP HILLSIDES OVERLAY ZONE

ABBREVIATIONS

⊕ CENTERLINE	MEMB. MEMBRANE
∅ DIAMETER OR ROUND	MFG. MANUFACTURING
(E) EXISTING	MFR. MANUFACTURED
ABV ABOVE	MH. MANHOLE
ACOUS. ACOUSTICAL	MIN. MINIMUM
A.D. AREA DRAIN	MIR. MIRROR
ADJ. ADJUSTABLE	MISC. MISCELLANEOUS
A.F.F. ABOVE FINISH FLOOR	MIL. METAL
A.F.G. ADJACENT FINISH GRADE	MUL. MULLION
AGGR. AGGREGATE	N.I.C. NOT IN CONTRACT
AL. ALUMINUM	NO. OR # NUMBER
ALUM. ALUMINUM	NOM. NOMINAL
APPROX. APPROXIMATE	N.I.P. NOTICE TO PROCEED
ARCH. ARCHITECT	N.I.S. NOT TO SCALE
BD. BOARD	O/V OVER
B.I. BUILT-IN	O.A. OVERALL
B.LDG. BUILDING	OBS. OBSCURE
BLK. BLOCK	O.C. ON CENTER
BLKG. BLOCKING	O.D. OUTSIDE DIAMETER
BOLT	O.D. OVERFLOW DRAIN
BM. BEAM	OFF. OFFICE
BOT. BOTTOM	O.H. OVERHEAD
C. CONDUIT	O.H.C. OVERHEAD CABINET
CAB. CABINET	OPNG. OPENING
CEM. CEMENT	OPP. OPPOSITE
CER. CERAMIC	PL. PROPERTY LITE OR PLATE
CLG. CEILING	PL. LAM. PLASTIC LAMINATE
CLO. CLOSET	PLSTR. PLASTER
CLR. CLEAR	PLUMB. PLUMBING
C.M.U. CONCRETE MASONRY UNIT	PLYWD. PLYWOOD
CNTE. COUNTER	PNL. PANEL
COL. COLUMN	PNTRY. PANTRY
CONC. CONCRETE	P.P. PLANTING POCKET
CONN. CONNECTION	PR. PAIR
CONSTR. CONSTRUCTION	PRCST. PRECAST
CONT. CONTINUOUS	PREFAB. PREFABRICATED
CSMT. CASEMENT WINDOW	PT. POINT
CTR. CENTER	PIN. PARTITION
CTSK. COUNTERSINK	PTD. PAINTED
D. DRYER	R. RISER
DBL. DOUBLE	RAD. RADIUS
DEPT. DEPARTMENT	R. RADIUS
DET. DETAIL	R.D. ROOF DRAIN
DIA. DIAMETER	REF. REFERENCE
DIM. DIMENSION	REFR. REFRIGERATOR
DN. DOWN	REV. REVERSE
D.O. DOOR OPENING	REINF. REINFORCE, REINFORCED
DP. DOWNSPOUT	RGTR. REGISTER
DS. DOWNSPOUT	REQ. REQUIRED
DW. DISH WASHER	REST. RESISTANT
DWGS. DRAWINGS	RESIL. RESILIENT
DWR. DRAWER	RM. ROOM
E. EAST	R.O. ROUGH OPENING
E.A. EACH	R.V. ROOF VENT
E.J. EXPANSION JOINT	S. SOUTH
EL. ELEVATION	S.C. SOLID CORE
ELEC. ELECTRICAL	SCHED. SCHEDULE
ENCL. ENCLOSED	S.D. STORM DRAIN
EQ. EQUAL	SECT. SECTION
EQUIP. EQUIPMENT	S.F. SQUARE FEET
EXIST. EXISTING	SH. SHELF
EXP. EXPANSION	SHR. SHOWER
EXPO. EXPOSED	SHT. SHEET
EXT. EXTERIOR	SIM. SIMILAR
FAU. FORCED AIR UNIT	SKYLT. SKYLIGHT
F.D. FLOOR DRAIN	SL. SLOPE/SLIDER (WINDOW)
FDN. FOUNDATION	SLDR. SLIDING GLASS DOOR
F.F. FINISH FLOOR	SPEC. SPECIFICATIONS
F.G. FINISH GRADE	SQ. SQUARE
F.H. FIRE HYDRANT	S.S. STAINLESS STEEL
FIN. FINISH	S.ST. STAINLESS STEEL
FIXED FIXED WINDOW	ST. STONE
FL. FLOOR	STD. STANDARD
FLASH. FLASHING	STL. STEEL
F.O.C. FACE OF CONCRETE	STOR. STORAGE
F.O.F. FACE OF FINISH	STRUCTS. STRUCTURAL
F.O.M. FACE OF MULLION	STRUCT. STRUCTURE
F.O.S. FACE OF STUD	SUSP. SUSPENDED
F.P. FIREPLACE	SYM. SYMMETRICAL
FRF. FIREPROOF	T. TREAD
FRAMG. FRAMING	T.B. TOWEL BAR
FT. FOOT OR FEET	T.C. TRASH COMPACTOR
FIG. FOOTING	TEL. TELEPHONE
FJRR. FURRING	TEMP. TEMPERED GLASS
FUT. FUTURE	T.&G. TONGUE AND GROOVE
G. GAS	THINK. THICK
GA. GAUGE	THR. THRESHOLD
GALV. GALVANIZED	T.O.C. TOP OF CURB
G.B. GRAB BAR	T.P.D. TOILET PAPER DISPENSER
G.D. GARBAGE DISPOSAL	T.V. TELEVISION
GFCI GROUND FAULT CURRENT INTERRUPTER	T.W. TOP OF WALL
GL. GLASS	TYP. TYPICAL
GND. GROUND	UNE. UNFINISHED
GR. GRADE	UDG. UNDERGROUND
GRP. GYPSUM	U.N.O. UNLESS NOTED OTHERWISE
GYP.BD. GYPSUM BOARD	VERT. VERTICAL
H.B. HOSE BIB	V.P. VAPOR PROOF
HDR. HEADER	W. WATER CLOSET
HDWD. HARDWOOD	WD. WOOD
HDWE. HARDWARE	W.H. WATER HEATER
H.M. HOLLOW METAL	W/O WITHOUT
HORIZ. HORIZONTAL	W.P. WATERPROOF
HR. HOUR	WT. WEIGHT
HT. HEIGHT	WTR. WATER
H.V.A.C. HEATING VENTILATING AIR CONDITIONING	
HORIZ. HORIZONTAL	
INSUL. INSULATION	
INT. INTERIOR	
IN. UNEN. UNFINISHED	
LAM. LAMINATE	
LAV. LAVATORY	
LT. LIGHT	
L.V. LOW VOLTAGE	
MAX. MAXIMUM	
M.C. MEDICINE CABINET	
MECH. MECHANICAL	

SYMBOLS AND LEGEND

**ELEVATION MARKER**

DETAIL LETTER, CORRESPONDS TO COORDINATES ON THE BORDER OF THE DRAWING

SHEET THAT ELEVATION APPEARS ON

**DETAIL MARKER**

DETAIL LETTER, CORRESPONDS TO COORDINATES ON THE BORDER OF THE DRAWING

SHEET THAT DETAIL APPEARS ON

**SECTION MARKER**

DETAIL LETTER, CORRESPONDS TO COORDINATES ON THE BORDER OF THE DRAWING

DIRECTION OF CUT

SHEET THAT SECTION APPEARS ON

EXTENT OF CUT

**WINDOW TYPE INDICATOR**

WINDOW TYPE NUMBER

**DOOR TYPE INDICATOR**

DOOR TYPE NUMBER

**MATCH LINE/DATUM POINT**

DATUM POINT

**REVISION INDICATOR**

REVISION NUMBER

**REVISION INDICATOR**

REVISION

**OTHER**

- GLASS
- PLYWOOD
- CONT. WOOD BKG. BKG. BETWEEN MEMBERS
- GRAVEL OR AGGREGATE BASE COURSE (ABC)
- INSULATION (BATT OR BLANKET)
- INSULATION (RIGID)
- METAL
- PLASTER OR GYPSUM BOARD (AS NOTED)
- SOIL
- TILE GLAZED UNGLAZED CUR PAVING

**WALLS**

- EXISTING WALL TO REMAIN
- 2 X 4 STUD WALL UNO.
- TOP OF WALL
- TYPICAL
- UNFINISHED
- UNDERGROUND
- CONCRETE
- STEEL STUD WALLS

DRAWING INDEX

- TITLE SHEETS**
- T1 TITLE SHEET
  - T2 GENERAL NOTES/ CA GREEN
  - T3 MIN. CODE AND SPECIFICATION
  - T4 MIN. CODE AND SPECIFICATION
  - T5 CALIFORNIA GREEN STANDARDS CODE
  - T6 CALIFORNIA GREEN STANDARDS CODE
  - T7 DSS60
- CIVIL**
- C1 EXISTING TOPO
  - C2 GRADING
  - C3 BIO-RETENTION DETAILS
- ARCHITECTURAL**
- A0.0 DEMO SITE PLAN
  - A1.0 SITE PLAN
  - A1.1 SITE PLAN 300 RADIUS
  - A1.2 SITE PLAN - LANDSCAPE
  - A2.0 LOWER LEVEL PLAN
  - A2.1 MAIN LEVEL PLAN
  - A2.2 UPPER LEVEL PLAN
  - A2.3 ROOF PLAN
  - A4.0 EXTERIOR ELEVATIONS
  - A4.1 EXTERIOR ELEVATIONS
  - A5.0 BUILDING SECTIONS
  - A5.1 BUILDING SECTIONS
  - A5.2 BUILDING SECTIONS
  - A5.3 SITE SECTIONS

CODE ANALYSIS

**OCCUPANCY**

R3

**TYPE OF CONSTRUCTION**

TYPE VB SPRINKLERED

**APPLICABLE CODES**

ALL WORK PERFORMED UNDER THIS CONTRACT SHALL BE IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE FOLLOWING CODES AND REGULATIONS:

- 2019 CALIFORNIA BUILDING CODE
- 2019 CALIFORNIA PLUMBING CODE
- 2019 CALIFORNIA MECHANICAL
- 2019 CALIFORNIA ELECTRICAL CODE

THIS PROJECT SHALL COMPLY WITH THE 2019 EDITION OF THE CALIFORNIA BUILDING CODE (TITLE 24).

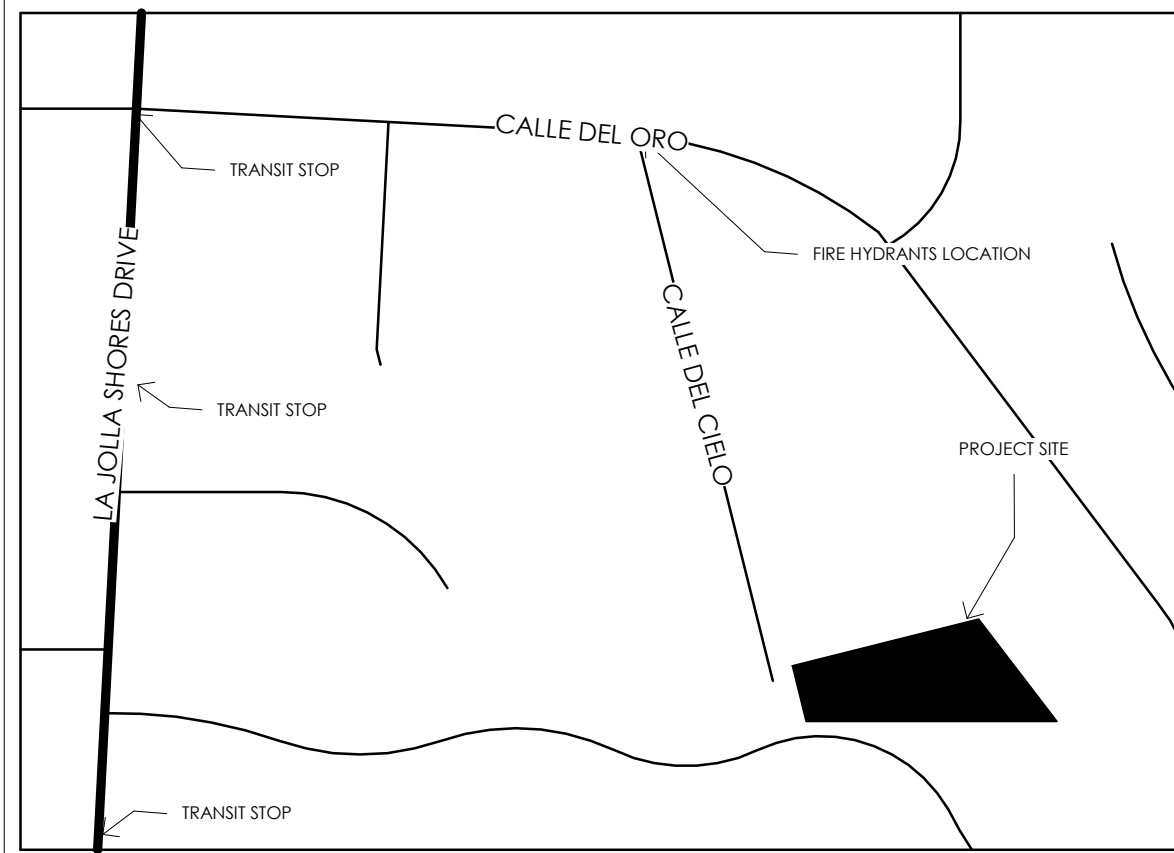
THE HIGHEST POINT OF THE ROOF EQUIPMENT OR ANY VENT, PIPE ANTENNA OR OTHER PROJECTION SHALL NOT EXCEED 30' ABOVE GRADE (ORD. 11333 NS).

THESE PLANS AND ALL WORK SHALL COMPLY WITH THE CALIFORNIA TITLE 24 CCR AS AMENDED AND ADOPTED BY THE CITY OF SAN DIEGO.

PROPOSED DEVELOPMENTS RATIOS

BUILDING FOOTPRINT	6,697 SF	23%
SOFTSCAPE RATIO	11,065 SF	38%
HARDSCAPE RATIO	11,486 SF	39%
<b>LOT TOTAL AREA</b>	<b>29,248 SF</b>	<b>100%</b>

VICINITY MAP



PROJECT DIRECTORY

**OWNER**

GHASSAN & GHADA KASSAB  
858-999-5235  
CKASSAB@CALM12.ORG

**ARCHITECT**

WILL & FOTSCH ARCHITECTS  
CONTACT: ANDY FOTSCH  
1298 PROSPECT ST, SUITE 2S,  
LA JOLLA, CA 92037  
PH: 858-224-2486  
ANDY@WILLANDFOTSCH.COM

**CIVIL ENGINEER**

RANCHO COASTAL  
ENGINEERING & SURVEYING, INC.  
DOUGLAS E. LOGAN, P.E.  
310 VIA VERA CRUZ, #205  
SAN MARCOS, CA 92078  
PH: 760-510-3152 CELL: 858-775-8474  
EMAIL: DOUG@RCESD.COM

**SOILS ENGINEER**

GEOTECHNICAL EXPLORATION, INC.  
7420 TRADE STREET  
SAN DIEGO, CA 92121  
(858) 549-7222  
GEOTECH@GBI.SD.COM

CITY STANDARD TITLE BLOCK

PREPARED BY: Revision 14:

Name: Revision 13:

WILL & FOTSCH ARCHITECTS  
Contact: Andy Fotsch  
1298 Prospect Street, Ste. 2S  
La Jolla, CA 92037  
Revision 12:  
Revision 11:  
Revision 10:  
Revision 09:  
Revision 08:  
Revision 07:

Phone: (858) 224-2486  
Revision 06: 02/17/2022

Street Address: 8305, CALLE DEL CIELO, LA  
JOLLA, CA 92037  
Revision 05: 10/12/2022

APN: 346-190-01-00  
Revision 04: 07/06/2022

Project Name: CALLE DEL CIELO  
Revision 03: 02/24/2022

Revision 02: 03-29-2021

Revision 01: 01-06-2021

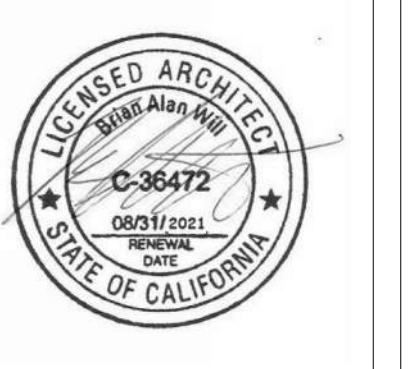
Original Date: 01-06-2021

Sheet: 1 of 17



WILL & FOTSCH ARCHITECTS

1298 PROSPECT STREET, SUITE 2S, LA JOLLA, CA 92037 - (619) 858-224-2486



JOB #: 1702

KASSAB RESIDENCE

8305 CALLE DEL CIELO, LA JOLLA, CA 92037

DATE:	ISSUE:
01/06/2021	CDP 1ST SUBMITTAL
03/29/2021	FULL SUBMITTAL
02/24/2022	2ND SUBMITTAL
07/06/2022	3RD SUBMITTAL
10/12/2022	4TH SUBMITTAL

**T1**

TITLE SHEET

CALGREEN NOTES

- 1. AUTOMATIC IRRIGATION SYSTEMS FOR LANDSCAPING PROVIDED BY THE BUILDER AND INSTALLED AT THE TIME OF FINAL INSPECTION SHALL BE WEATHER-BASED AND COMPLY WITH THE FOLLOWING: CONTROLLERS SHALL BE WEATHER- OR SOIL MOISTURE-BASED AND CONTROLLERS THAT AUTOMATICALLY ADJUST IRRIGATION IN RESPONSE TO CHANGES IN PLANTS NEEDS AS WEATHER CONDITIONS CHANGE. WEATHER-BASED CONTROLLERS WITHOUT INTERNAL RAIN SENSORS OR COMMUNICATION SYSTEMS THAT ACCOUNT FOR LOCAL RAINFALL SHALL HAVE A SEPARATE WIRED OR WIRELESS RAIN SENSOR WHICH CONNECTS OR COMMUNICATES WITH THE CONTROLLERS. SOIL MOISTURE-BASED CONTROLLERS ARE NOT REQUIRED TO HAVE RAIN SENSOR INPUT (CG85C 4.304.1).

TABLE 4.303.2 FIXTURE FLOW RATES

Table with 3 columns: Fixture Type Reduction, Flow Rate, Maximum Flow Rate at ≥ 20. Includes rows for Showerheads, Lavatory Faucets, Kitchen Faucets, Gravity Tank-Type Water Closet, Flushometer Tank Water Closet, Flushometer Valve Water Closet, Electromechanical Hydraulical Water Closet, and Urinals.

- 1. INCLUDES SINGLE AND DUAL FLUSH WATER CLOSETS WITH AN EFFECTIVE FLUSH OF 1.28 GALLONS OR LESS. SINGLE FLUSH TOILETS - THE EFFECTIVE FLUSH VOLUME SHALL NOT EXCEED 1.28 GALLONS (4.8 LITERS). THE EFFECTIVE FLUSH VOLUME IS THE AVERAGE FLUSH VOLUME WHEN TESTED IN ACCORDANCE WITH ASME A112.19.233.2. DUAL FLUSH TOILETS - THE EFFECTIVE FLUSH VOLUME SHALL NOT EXCEED 1.28 GALLONS (4.8 LITERS). THE EFFECTIVE FLUSH VOLUME IS DEFINED AS THE COMPOSITE, AVERAGE FLUSH VOLUME OF TWO REDUCED FLUSHES AND ONE FULL FLUSH. FLUSH VOLUMES WILL BE TESTED IN ACCORDANCE WITH ASME A112.19.2 AND ASME A112.19.14.

TABLE 4.303.3 STANDARDS FOR PLUMBING FIXTURES & FITTINGS

Table with 2 columns: Fixture, Required Standards. Includes rows for Water Closets - Single Flushometer, Water Closets - Dual Flushometer, Water Closets - Tank Type, Urinals, Maximum Flush Volume, Urinals, Nonwater Urinals, Public Lavatory Faucets, Public Metering Self-Closing Faucets, and Residential Bathroom Lavatory Sink Faucet.

GENERAL CONSTRUCTION NOTES

- 1. ALL CONSTRUCTION AND PROCEDURES SHALL CONFORM TO ALL APPLICABLE CODES AS OUTLINED ON THE TITLE SHEET. 2. DO NOT SCALE DRAWINGS. IF DIMENSIONAL DISCREPANCIES OCCUR BETWEEN PLANS AND EXISTING CONDITIONS, CONTACT ARCHITECT IMMEDIATELY TO RESOLVE CONFLICT PRIOR TO CONTINUATION OF WORK. 3. COORDINATE WITH ARCHITECT TO PROVIDE BLOCKING IN WALLS WHERE ACCESSORY ITEMS ARE INSTALLED TYPICAL: GRAB BARS, TOILET PAPER DISPENSERS, ETC. 4. STAIRS: PROVIDE A MINIMUM 6"8" HEAD CLEARANCE, 7.75" MAX RISER, 10" MAX TREAT WITH 3"0" MINIMUM WIDTH FOR RESIDENTIAL STAIR CONSTRUCTION. PROVIDE MINIMUM 36" HIGH HANDRAIL (MEASURED FROM TREAD NOSING) AND MINIMUM 3'0" HIGH GUARDRAIL WITH A MAXIMUM 4" BETWEEN BALUSTERS. PER 2019 CRC.

FOUNDATION NOTES

- 1. ALL FOOTING DEPTHS INDICATED ON PLANS ARE DEPTHS BELOW TOP OF UNDISTURBED SOIL OR TOP OF ENGINEERED CERTIFIED COMPACTED FILL. 2. SOIL SHALL BE DAMPENED PRIOR TO PLACING CONCRETE IN FOOTINGS. 3. SUB-GRADE FOR SLABS SHALL BE UNDISTURBED ATIVE SOIL OR COMPACTED FILL. 4. FILL SOILS (IF USED) SHALL BE COMPACTED TO AT LEAST 90% MAXIMUM DRY DENSITY. 5. SLOPE GRADE AWAY FROM FOUNDATION WALLS A MINIMUM OF 2% TYPICAL FOR DISTANCE OF 5 FEET MINIMUM. 6. ALL HOLD DOWN ANCHORS AND BASE PLATE ANCHORS TO BE TIED IN PLACE PRIOR TO CALLING FOUNDATION INSPECTION. 7. CONCRETE SLABS: 4" ACTUAL THICKNESS WITH 6 X 6 WI. 4 WELDED WIRE MESH AND MID HEIGHT OF SLAB. THE SLAB TO BE 3" THICK SAND ON 6 MIL. VAPOR BARRIER ON SAND BASE (OMIT VAPOR BARRIER AT EXTERIOR SLABS) UON. SLAB SUBSOIL SHALL BE THOROUGHLY MOISTENED PRIOR TO PLACEMENT OF VAPOR BARRIER AND CONCRETE.

MECHANICAL NOTES

- 1. PROVIDE ONE UTILITY DUPLEX OUTLET AT ALL WATER HEATER LOCATIONS WITHIN 5'0" OF UNIT. 2. PROVIDE SWITCHED INCANDESCENT LIGHT AT ALL FAU AND WH LOCATIONS. 3. ALL FIXTURES WITH HOSE OUTLETS (HOSE BIBS) AND LANDSCAPE IRRIGATION SHALL BE PROTECTED WITH BACKFLOW PREVENTERS (VACUUM BREAKERS) UPC.SEC.603.3.7. 4. THE MINIMUM CEILING INSULATION MUST BE R-30. UON. 5. THE MINIMUM WALL INSULATION SHALL BE R-19 IN FRAME WALLS. UON. 6. HVAC DUCTS SHALL BE CONSTRUCTED, INSTALLED AND INSULATED PER CHAPTER 6 OF THE UMC. 7. DOORS AND WINDOWS BETWEEN CONDITIONED AND UNCONDITIONED SPACE SHALL BE FULLY WEATHERSTRIPPED. 8. EXHAUST FANS SHALL HAVE BACK-DRAFT DAMPERS OR AUTOMATIC DAMPERS. 9. A NIGHT SETBACK THERMOSTAT SHALL BE INSTALLED THAT CAN AUTOMATICALLY SET BACK THE THERMOSTATE SET POINTS FOR AT LEAST TWO PERIODS IN 24 HOURS. 10. THE HVAC EQUIPMENT INSTALLED SHALL BE A TYPE CERTIFIED BY THE CEC.

MECHANICAL NOTES

- 11. THE HOT WATER HEATER SHALL BE WRAPPED WITH AN R-12 EXTERNAL BLANKET. 12. FULLY INSULATE HOT WATER SUPPLY LINES, THE HOT WATER HEATER INLET AND OUTLET PIPE SHALL BE INSULATED TO R-13 OR GREATER FOR THE FIRST FEET IN UNCONDITIONAL SPACE. 13. THE WATER HEATING EQUIPMENT, SHOWER HEADS AND FAUCETS INSTALLED SHALL BE OF A TYPE CERTIFIED BY THE CEC. 14. INTERIOR WATER SUPPLY ALL COPPER PIPE, INSULATE. 15. PROVIDE GAS SUPPLY AT FAU AND WH LOCATIONS AND ALL APPLIANCE LOCATIONS INDICATED ON PLANS. 16. MAIN HOUSE: WATER HEATER: EXISTING TO REMAIN. 17. MAIN HOUSE: HVAC: EXISTING TO REMAIN. 18. ALL GAS FIRED FURNACES AND GAS FIRE COOKING APPLIANCES SHALL BE EQUIPPED WITH AN APPROVED INTERMITTENT IGNITION DEVICE. 19. PROVIDE VAPOR BARRIERS FOR COLD CLIMATE ZONES 1, 14, AND 16. 20. ALL DUCTING AND JOINTS SHALL BE SEALED WITH PRESSURE SENSITIVE TAPE AND SHALL BE INSULATED TO CONFORM TO THE PROVISIONS OF UMC.

FIRE DEPARTMENT NOTES

- 1. FIRE PROTECTION, INCLUDING FIRE APPARATUS ACCESS ROADS AND WATER SUPPLIES FOR FIRE PROTECTION, SHALL BE INSTALLED AND MADE SERVICEABLE PRIOR TO AND DURING THE TIME OF CONSTRUCTION (CFC APPENDIX C&D, INTERNATIONAL FIRE CODE). 2. BUILDINGS UNDERGOING CONSTRUCTION, ALTERATION OR DEMOLITION SHALL BE IN ACCORDANCE WITH CFC CHAPTER 13. (CFC 1401) 3. DECORATIVE MATERIALS SHALL BE MAINTAINED IN A FLAME-RETARDANT CONDITION. 4. COMPLETE PLANS AND SPECIFICATIONS FOR FIRE ALARM SYSTEMS; FIRE SYSTEMS, INCLUDING AUTOMATIC SPRINKLERS AND WET AND DRY STANDPIPES, HALON SYSTEMS AND OTHER SPECIAL TYPES OF AUTOMATIC FIRE SYSTEMS, BASEMENT PIPE INLETS, AND OTHER FIRE SYSTEMS AND APPURTENANCES THERETO SHALL BE SUBMITTED TO FIRE AND LIFE SAFETY FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION IN ACCORDANCE WITH CFC 901.2. 5. FIRE SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH CBC.901.4. 6. COMPLETE PLANS AND SPECIFICATIONS FOR FIRE ALARM SYSTEMS SHALL BE SUBMITTED TO FIRE AND LIFE SAFETY FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION IN ACCORDANCE WITH CFC 901.2. 7. INSTALLATION OF FIRE ALARM SYSTEMS SHALL BE IN ACCORDANCE WITH CFC 903.3. 8. AN APPROVED AUDIBLE SPRINKER FLOW ALARM SHALL BE PROVIDED ON THE EXTERIOR OF THE BUILDING IN AN APPROVED LOCATION. AN APPROVED AUDIBLE SPRINKLER FLOW ALARM TO ALERT THE OCCUPANTS SHALL BE PROVIDED IN THE INTERIOR OF THE BUILDING IN A NORMALLY OCCUPIED LOCATION IN ACCORDANCE WITH CFC 903.4.2. 9. AN APPROVED VEHICLE STROBE DETECTOR SYSTEM, WITH KNOX KEY SWITCH OVERRIDE, SATISFACTORY TO THE FIRE MARSHALL, SHALL BE PROVIDED ON ALL VEHICLE MAIN ENTRY AND EMERGENCY ENTRY POINTS TO THE PROJECT. 10. DURING CONSTRUCTION, AT LEAST ONE EXTINGUISHER SHALL BE PROVIDED ON EACH FLOOR LEVEL AT EACH STAIRWAY, IN ALL STORAGE AND CONSTRUCTION SHEDS, IN LOCATIONS WHERE FLAMMABLE OR COMBUSTIBLE LIQUIDS ARE USED OR STORED, AND WHERE EVER OTHER SPECIAL HAZARDS AE PRESENT PER CFC. SECTION.3315.1. 11. BUILDINGS UNDERGOING CONSTRUCTION, ALTERATION OR DEMOLITION SHALL CONFORM TO CFC CHAPTER 33. WELDING, CUTTING AND OTHER HOT WORK SHALL BE IN CONFORMANCE WITH CFC CHAPTER 35. 12. ADDRESS IDENTIFICATION SHALL BE PROVIDED FOR ALL NEW AND EXISTING BUILDINGS IN A LOCATION THAT IS PRIVATELY VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY, WHERE ACCESS IS BY WAY OF PRIVATE ROAD AND THE BUILDING ADDRESS CANNOT BE VIEWED FROM THE PUBLIC WAY, AN APPROVED SIGN OR MEANS SHALL BE USED TO IDENTIFY THE STRUCTURE. PREMISES IDENTIFICATION SHALL CONFORM TO CBC SECTION 501.2. 13. WALL, FLOOR AND CEILING FINISHES AND MATERIALS SHALL NOT EXCEED THE INTERIOR FINISH CLASSIFICATIONS IN CBC TABLE 803.9 AND SHALL MEET THE FLAME PROPAGATION PERFORMANCE CRITERIA OF THE CALIFORNIA CODE OF REGULATIONS, TITLE 19, DIVISION 1. DECORATIVE MATERIALS SHALL BE PROPERLY TREATED BY A PRODUCT OR PROCESS APPROVED BY THE STATE FIRE MARSHALL WITH APPROPRIATE DOCUMENTATION PROVIDED TO THE COUNTY OF SAN DIEGO. 14. DUMPSTERS AND TRASH CONTAINERS EXCEEDING 1.5 CUBIC YARDS SHALL NOT BE STORED IN BUILDINGS OR PLACED WITHIN 5 FEET OF COMBUSTIBLE WALLS, OPENINGS, OR COMBUSTIBLE ROOF EAVE LINES UNLESS PROTECTED BY AND APPROVED SPRINKLER SYSTEM OR LOCATED IN A TYPE I OR IIA STRUCTURE SEPERATED BY 10 FEET FROM THE OTHER STRUCTURES. CONTAINERS LARGER THAN 1 CUBIC YARD SHALL BE OF NON-OR LIMITED-COMBUSTIBLE MATERIALS OR SIMILARLY PROTECTED OR SEPERATED IN ACCORDANCE WITH CFC.304.3. 15. OPEN FLAMES, FIRE, AND BURNING ON ALL PREMISES IS PROHIBITED EXCEPT AS SPECIFICALLY PERMITTED BY THE COUNTY OF SAN DIEGO AND CFC 308. 16. PROVIDE A SPARK ARRESTORY THAT MEETS ALL THE REQUIREMENTS SET FORTH IN SECTION R1003.9.2. 17. PROVIDE SMOKE ALARMS, INTERCONNECTED AND HARD-WIRED WITH BATTERY BACK-UP: A. WITHIN EACH SLEEPING ROOM. B. OUTSIDE EACH SEPARATE SLEEPING AREA IN IMMEDIATE VICINITY OF BEDROOMS. C. EACH STORY OF THE DWELLINGS, INCLUDING BASEMENTS AND HABITABLE ATTICS. D. SHALL BE INSTALLED NOT LESS THAN 3' HORIZONTALLY FROM THE OPENING OF A BATHROOM THAT CONTAINS A BATH OR SHOWER. 18. PROVIDE CARBON MONOXIDE ALARMS, INTERCONNECTED AND HARD-WIRED WITH BATTERY BACK-UP: A. OUTSIDE EACH SEPARATE DWELLING UNIT SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS. B. ON EVERY LEVEL OF A DWELLING UNIT INCLUDING BASEMENTS. C. WHERE A FUELD BURNING APPLIANCE IS LOCATED WITHIN A BEDROOM OR ATTACHED BATHROOM.

BUILDING NOTES

- 1. PROVIDE A MINIMUM 1/2" GYPSUM BOARD APPLIED TO THE GARAGE SIDE OF WALLS SEPARATING THE GARAGE FROM THE DWELLING AND ATTACS PER CRC TABLE R302.6. 2. PROVIDE A MINIMUM 5/8" TYPE X GYPSUM BOARD ON THE GARAGE SIDE OF THE FLOOR/CEILING ASSEMBLY SUPPORTING HABITABLE ROOMS ABOVE THE GARAGE PER CRC TABLE R302.6. 3. PROVIDE A MINIMUM 1/2" GYPSUM BOARD IN ORDER TO PROTECT THE STRUCTURAL ELEMENTS SUPPORTING THE FLOOR/CEILING ASSEMBLY PER CRC TABLE R302.6. 4. PROVIDE A SELF-CLOSING AND SELF-LATCHING DOOR AT THE OPENING BETWEEN THE GARAGE AND SPRINKLERED DWELLING UNIT. THE DOOR TYPE SHALL MEET ONE OF THE FOLLOWING REQUIREMENTS PER CRC R302.5. 1: MINIMUM 1-3/8" THICK SOLID WOOD, MINIMUM 1-3/8" THICK STEEL DOOR WITH HONEYOMB-CORE, 20-MINUTE FIRE-RATED. 5. PROVIDE A MINIMUM 36" CLEAR WIDTH FOR THE STAIRS. PER CRC R31 1.7.1. HANDRAILS SHOULD NOT PROJECT MORE THAN 4.5 INCHES ON EITHER SIDE OF A STAIRWAY. 6. PROTECT THE ENCLOSED ACCESSIBLE SPACE UNDER THE STAIRS WITH 1/2" GYPSUM BOARD ON THE CLOSED SIDE PER CRC R302.7. 7. THIS PROJECT SHALL COMPLY WITH 2019 CA GREEN BUILDING STANDARDS CODE.

SPECIAL INSPECTIONS

- NOTICE TO THE APPLICANT/OWNER/OWNER'S AGENT/ARCHITECT/ENGINEER OF RECORD: BY USING THIS SET OF PERMITTED CONSTRUCTION DRAWINGS FOR CONSTRUCTION/INSTALLATION OF THE WORK SPECIFIED HERIN, YOU AGREE TO COMPLY WITH THE REQUIREMENTS OF THE COUNTY OF SAN DIEGO FOR SPECIAL INSPECTIONS, STRUCTURAL OBSERVATIONS, CONSTRUCTION MATERIAL TESTING AND OFF-SITE FABRICATION OF BUILDING COMPONENTS, CONTAINED IN THE STATEMENT OF SPECIAL INSPECTIONS AND, AS REQUIRED BY THE CALIFORNIA CONSTRUCTION CODES. NOTICE TO THE CONTRACTOR/BUILDER/INSTALLER/SUB-CONTRACTORS/OWNER-BUILDER: BY USING THIS SET OF PERMITTED CONSTRUCTION DRAWINGS FOR CONSTRUCTION/INSTALLATION OF THE WORK SPECIFIED HERIN, YOU AGREE TO COMPLY WITH THE REQUIREMENTS OF THE COUNTY OF SAN DIEGO FOR SPECIAL INSPECTIONS, STRUCTURAL OBSERVATIONS, CONSTRUCTION MATERIAL TESTING AND OFF-SITE FABRICATION OF BUILDING COMPONENTS, CONTAINED IN THE STATEMENT OF SPECIAL INSPECTIONS AND, AS REQUIRED BY THE CALIFORNIA CONSTRUCTION CODES.



WILL & FOTSCH ARCHITECTS

1298 PROSPECT STREET, SUITE 2S, LA JOLLA, CA 92037 - (619) 858-2242-486



JOB #: 1702

KASSAB RESIDENCE

8305 CALLE DEL CIELO, LA JOLLA, CA 92037

Table with 2 columns: DATE, ISSUE. Includes rows for 01/06/2021 CDP 1ST SUBMITTAL, 03/29/2021 FULL SUBMITTAL, 02/24/2022 2ND SUBMITTAL, 07/05/2022 3RD SUBMITTAL, 10/12/2022 4TH SUBMITTAL

T2 GENERAL NOTES/ CA GREEN

05/17/23

17/05/2023 12:37:29 Author: Doss/2011-Cole, De-Cole - Interior-CALTEL-CRED, CDP-17-19

MINIMUM CODE REQUIREMENTS & SUPPLEMENTAL CONSTRUCTION SPECIFICATIONS

**A. General Applicable codes.** All projects shall comply with the 2016 California Building Code (CBC) and/or California Residential Code (CRC), 2016 California Green Building Standards Code (CalGreen), 2016 California Electrical Code (CEC), 2016 California Mechanical Code (CMC), 2016 California Plumbing Code (CPC), 2016 California Fire Code (CFC), 2016 California Building Energy Efficiency Standards (CBEES), and all County of San Diego amendments.

- A. Electrical, Plumbing, and Mechanical**
- Exterior lighting.** All projects shall comply with the County of San Diego lighting ordinance.
  - GFCI outlets.** Ground Fault Circuit Interrupter (GFCI) outlets are required in bathrooms, at kitchen countertops, and laundry and wet bar sinks, in garages, in crawlspaces, in unfinished basements, and outdoors. (CBC 210.8)
  - AFCI outlets.** Electrical circuits in bedrooms, living rooms, dining rooms, dens, closets, hallways, or similar rooms must be protected by Arc Fault Circuit Interrupters (AFCI). (CBC 210.12)
  - Luminaire requirements.** Installed luminaires shall meet the efficacy and fixture requirements of CBEES 150.0(k).
  - Smoke detectors in building remodels.** Smoke detectors are required in each existing sleeping room, outside each separate sleeping area in the immediate vicinity of sleeping rooms, and on each story of a dwelling including basements. Battery-operated detectors are acceptable in existing areas with no construction taking place and in alterations not resulting in removal of interior wall or ceiling finishes and without access via an attic, crawl space, or basement. (CRC R313.4)
  - Carbon monoxide detectors in building remodels.** Carbon monoxide detectors are required outside each separate sleeping area in the immediate vicinity of sleeping rooms and on each story of a dwelling including basements. Battery-operated detectors are acceptable in existing areas with no construction taking place and in alterations not resulting in removal of interior wall or ceiling finishes and without access via an attic, crawl space, or basement. (CRC R313.5)
  - Water heater seismic strapping.** Minimum two 3/4-inch-by-24-gauge straps required around water heaters, with 1/4-inch-by-3-inch long bolts attached directly to framing. Straps shall be at points within upper third and lower third of water heater vertical dimension. Lower connection shall occur minimum 4 inches above controls. (CPC 507.2)
  - Gas appliances in garages.** Water heaters and heating/cooling equipment capable of igniting flammable vapors shall be placed on minimum 18-inch-high platform unless listing report number provided showing ignition-resistant appliance. (CPC 507.13 and CMC 305.1)

- Impact protection of appliances.** Water heaters and heating/cooling equipment subject to vehicular impact shall be protected by bollards or an equivalent measure. (CPC 507.13.1 and CMC 305.11)
- Water closet clearance.** Minimum 30-inch-wide by 24-inch-deep clearance required at front of water closets. (CPC 402.5)
- Shower size.** Shower compartments shall have minimum area of 1024 square inches and be able to encompass a 30-inch-diameter circle. Shower doors shall have a minimum 22-inch unobstructed width. (CPC 408.5 and CPC 408.4)
- Fireplace appliances.** Fireplaces with gas appliances are required to have the flue damper permanently fixed in the open position and fireplaces with LPG appliances are to have no 'pig' or 'sump' configurations. (CBC 303.7.1)
- Chimney clearance.** Minimum 2-foot chimney clearance required above building within 10-foot horizontally of chimney. The chimney shall extend minimum 3 feet above highest point where chimney passes through roof. (CRC R1003.9)

- C. Mechanical Ventilation and Indoor Air Quality (ASHRAE 62.2-2010)**
- Transfer air.** Ventilation air shall be provided directly from the outdoors and not as transfer air from adjacent dwelling units or other spaces, such as garages, unconditioned crawlspaces, or unconditioned attics. (CBEES 150.0(o))
  - Instructions and labeling.** Ventilation system controls shall be labeled and the home owner shall be provided with instructions on how to operate the system. (CBEES 150.0(o))
  - Combustion and solid-fuel burning appliances.** Combustion appliances shall be properly vented and be designed to prevent backdrafting. (CBEES 150.0(l))
  - Garages.** The wall and opening between occupiable space and the garage shall be sealed. HVAC include air handlers or return ducts located in garages shall have total air leakage of no more than 6% of total fan flow when measured at 0.1 in. w.c. using California Title 24 or equivalents. (CBEES 150.0(o))
  - Minimum filtration.** Mechanical systems supplying air to occupiable space through ductwork shall be provided with a filter having a minimum efficiency of MERV 6 or better. (CBEES 150.0(l))
  - Air inlets.** Air inlets (not exhaust) shall be located away from known contaminants. (CBEES 150.0(o))
  - Moving equipment.** Local ventilation exhaust requirement shall be rated in terms of airflow and sound. (CBEES 150.0(o))
    - All continuously operating fans shall be rated at a maximum of 1.0 sone.
    - Intermittently operated whole-building ventilation fans shall be rated at a maximum of 1.0 sone.
    - Intermittently operated local exhaust fans shall be rated at maximum of 3.0 sone.
    - Remotely located air-moving equipment (mounted outside of habitable spaces) need not meet sound requirements if at least 4 feet of ductwork between fan and intake grill.

- D. Foundation and Underfoot**
- Foundation reinforcement.** Continuous footings and stem walls shall be provided with a minimum two longitudinal No. 4 bars, one at the top and one at the bottom of the footing. (CRC R403.1.3.3)
  - Shear wall foundation support.** Shear walls shall be supported by continuous foundations. (CRC 403.1.2)
  - Grade.** Slabs on grade shall be minimum 3-1/2 inches thick. (CRC R506.1)
  - Vapor retarder.** A 6-mil polyethylene or approved vapor retarder with joints lapped minimum 6 inches shall be placed between a concrete slab-on-grade and the base course or subgrade. (CRC 506.2.3)
  - Anchor bolts and sills.** Foundation plates or sills shall be bolted or anchored to the foundation or foundation wall as follows (CRC R403.1.6 and CRC R602.11.1):
    - Minimum 1/2-inch-diameter steel bolts
    - Bolts embedded at least 7 inches into concrete or masonry
    - Bolts spaced maximum 6 feet on center
    - Minimum two bolts per plate/sill/piece with one bolt located maximum 12 inches and minimum diameters from each end of each sill plate/piece
    - Minimum 3-inch by 3-inch by 0.299-inch steel plate washer between sill and nut on each bolt
  - Hold-downs.** All hold-downs must be tied in place prior to foundation inspection.
  - Protection of wood against decay.** Naturally durable or preservative-treated wood shall be provided in locations [CRC R317.1]:
    - All wood in contact with ground, embedded in concrete in direct contact with ground, or embedded in concrete exposed to weather
    - Wood joists within 18 inches and wood girders within 12 inches of the exposed ground in crawl of naturally durable or preservative-treated wood
    - Wood framing members that rest on concrete or masonry exterior foundation walls and are less than 8 inches above exposed earth shall be of naturally durable or preservative-treated wood
    - Wood framing, sheathing, and siding on the exterior of the building and having clearance less than 6 inches from the exterior ground or less than 2 inches vertically from concrete steps, porches, slabs, patio slabs, and similar horizontal surface exposed to weather
    - Sills and sleepers on concrete or masonry slab in direct contact with ground unless separated from such slab by impervious moisture barrier
    - Ends of wood girders entering masonry or concrete walls with clearances less than 1/2 inch on tops, sides, and ends
    - Wood structural members supporting moisture-permeable floors or roofs exposed to weather, concrete or masonry slabs, unless separated from such floors or roofs by an impervious moisture barrier
    - Wood furring strips or other wood framing members attached directly to interior of exterior concrete or masonry walls below grade except where vapor retarder applied between wall and furring strips or framing members
  - Underfoot ventilation.** Underfoot areas shall have ventilation openings through foundation walls or exterior walls, with minimum net area of ventilation openings of 1 square foot for each 150 square feet of underfoot area. On such ventilating opening shall be within 3 feet of each corner of the building. (CRC R408.1)

- E. Wood Framing**
- Fastener requirements.** The number, size, and spacing of fasteners connecting wood members/elements shall not be less than that set forth in CRC Table R602.3(1). (CRC R502.9, CRC R602.3, and CRC R802.2)
  - Stud size, height, and spacing.** The size, height, and spacing of studs shall be in accordance with CRC Table R602.3(5). (CRC R602.3.1)
  - Sill plate.** Studs shall have full bearing on nominal 2-inch thick or larger sill plate with width at least equal to stud width. (CRC R602.3.4)
  - Bearing studs.** Where joists, trusses, or rafters are spaced more than 16 inches on center and the bearing studs are spaced 24 inches on center, such members shall bear within 5 inches of the studs bearing. (CRC R602.3.3)
  - Drilling and notching of studs.** Any stud in an exterior wall or bearing partition may be cut or notched to a depth not exceeding 25% of its width. Studs in nonbearing partitions may be notched to a depth not to exceed 40% of a single stud width. Any stud may be bored or drilled, provided the diameter of the resulting hole is no more than 60% of the stud width, the edge of the hole is no more than 5/8 inch to the edge of the stud, and the hole is not located in the same section as a cut or notch. Studs located in exterior wall or bearing partitions drilled over 40% and up to 60% shall also be doubled with no more than two consecutive studs bored. (CRC R602.6)
  - Top plate.** Wood stud walls shall be capped with a double top plate installed to provide overlapping at corners and at intersections with other partitions. End joints in double top plates shall be offset at least 24 inches. Joints in plates need not occur over studs. Plates shall be minimum nominal 2 inches thick and have width at least equal to width of studs. (CRC R602.3.2)
  - Top plate splices.** Top plate lap splices shall be face-nailed with minimum 8 16d nails on each side of splice. (CRC R602.10.8.1)

- Drilling and notching of top plate.** When piping or ductwork is placed in or partly in an exterior wall or interior load-bearing wall, necessitating cutting, drilling, or notching of the top plate by more than 50% of its width, a galvanized metal tie not less than 0.054-inch thick and 1-1/2-inches wide shall be fastened across and to the plate at each side of the opening with not less than 8 10d nails having a minimum length of 1-1/2 inches at each side or equivalent. The metal tie must extend minimum 6 inches past the opening. (CRC R602.6.1)
- Cripple walls.** Foundation cripple walls shall be framed of studs not less in size than the studs above. Cripple walls more than 4 feet in height shall have studs sized as required for an additional story. Cripple walls with stud height less than 14 inches shall be sheathed on at least one side with a wood structural panel fastened to both the top and bottom plates in accordance with Table R602.3(1), or the cripple walls shall be constructed of solid blocking. Cripple walls shall be supported on continuous foundations. (CRC R602.9)
- Wall bracing.** Buildings shall be braced in accordance with the methods allowed per CRC R602.10.2, CRC R602.10.4, and/or CRC R602.10.5.
- Braced wall line spacing.** Spacing between braced wall lines shall not exceed 20 feet or alternate provisions of CRC R602.10.1, 3.
- Shear wall cumulative length.** The cumulative length of shear walls within each braced wall line shall meet the provisions of CRC Table R602.10.3(1) for wind loads and CRC Table R602.10.3(2) for seismic loads. (CRC R602.10.1.1)
- Shear wall spacing.** Shear walls shall be located not more than 25 feet on center. (CRC R602.10.2.2)
- Shear wall offset.** Shear walls may be offset out-of-plan not more than 4 feet from the designated braced wall line and not more than 8 feet from any other offset wall considered part of the same braced wall line. (CRC R602.10.1.2)
- Shear wall location.** Shear walls shall be located at the ends of each braced wall line or meet the alternate provisions of CRC R602.10.2.2.
- Individual shear wall length.** Shear walls shall meet minimum length requirements of CRC R602.10.6.5.1.
- Double wall bracing.** Shear walls shall be braced per CRC R602.10.11.
- Shear wall and diaphragm nailing.** All shear walls, roof diaphragms, and floor diaphragms shall be supported construction per CRC Table R602.3(1). (CRC R604.3)
- Shear wall joints.** All vertical joints in shear wall sheathing shall occur over, and be fastened to, common studs. Horizontal joints in shear walls shall occur over, and be fastened to, minimum 1-1/2-inch-thick blocking. (CRC R602.10.10)

- Framing over openings.** Headers, double joists, or trusses of adequate size to transfer loads to vertical members shall be provided over window and door openings in load-bearing walls and partitions. (CBC 2304.3.2)
- Joists under bearing partitions.** Joists under parallel bearing partitions shall be of adequate size to support the load. Double joists, sized to adequately support the load, that are separated to permit the installation of piping or vents shall be full-depth solid-blocked with minimum 2-inch nominal lumber spaced at maximum 4 feet on center. Bearing partitions perpendicular to joists shall be offset from supporting girders, walls, or partitions more than the joist depth unless such joists are of sufficient size to carry the additional load. (CRC R502.4)
- Joists above or below shear walls.** Where joists are perpendicular to a shear wall above or below, a rim joint, band joint, or blocking shall be provided along the entire length of the shear wall. Where joists are parallel to a shear wall above or below, a rim joint, end joint, or other parallel framing shall be provided directly above and/or below the shear wall. Where a parallel framing member cannot be located directly above and/or below the shear wall, full-depth blocking at 16-inch spacing shall be provided between the parallel framing members to each side of the shear wall. (CRC R602.10.8)
- Floor member bearing.** Floor joists shall have minimum 1-1/2 inches of wood or metal and minimum 3 inches of bearing on masonry or concrete except where supported on a 1-inch-by-4-inch ribbon strip and nailed to the adjoining stud or by the use of approved joist hangers. (CRC R502.6)
- Floor joist lap.** Floor joists framing opposite sides over a bearing support shall lap minimum 3 inches and shall be nailed together within minimum 3 10d face nails. A wood or metal splice with strength equal to or greater than that provided by the lap is permitted. (CRC R502.6.1)
- Floor joist-to-girder support.** Floor joists framing into the side of a wood girder shall be supported by approved framing anchors or on ledger strips minimum nominal 2 inches by 2 inches. (CRC R502.6.2)
- Floor joist lateral restraint.** Floor joists shall be supported laterally at ends and each intermediate support by minimum 2-inch full-depth blocking, by attachment to full-depth header, band joint, or rim joist, to an adjoining stud, or shall be otherwise provided with lateral support to prevent rotation. (CRC R502.7)
- Floor joist bridging.** Floor joists exceeding nominal 2 inches by 12 inches shall be supported laterally by solid blocking, diagonal bridging (wood or metal), or a continuous 1-inch-by-3-inch strip nailed across the bottom of joists. (CRC R502.7.1)
- Floor joist bridging.** Floor joists exceeding nominal 2 inches by 12 inches shall be supported laterally by solid blocking, diagonal bridging (wood or metal), or a continuous 1-inch-by-3-inch strip nailed across the bottom of joists perpendicular to joists at maximum 8-foot intervals. (CRC R502.7.1)

- Framing of floor openings.** Openings in floor framing shall be framed with a header and trimmer joists. When the header joist span does not exceed 4 feet, the header joist may be a single member the same size as the floor joist. Single trimmer joists may be used to carry a single header joist located within 3 feet of the trimmer joist bearing. When the header joist span exceeds 4 feet, the trimmer joist and header joist shall be doubled and of sufficient cross section to support the floor joists framing into the header. Approved hangers shall be used for the header-to-trimmer-joint connections when the header joist span exceeds 6 feet. Tail joists over 12 feet long shall be supported at the header by framing anchors or on ledger strips minimum 2 inches by 2 inches. (CRC R502.10)
- Girders.** Girders for single-story construction or girders supporting loads from a single floor shall be not less than 4 inches by 6 inches for spans 6 feet or less, provided that girders are spaced not more than 8 feet on center. Other girders shall be designed to support the loads specified in the CBC. Girder and joists shall occur over supports. When a girder is spliced over a support, an adequate tie shall be provided. The ends of beams or girders supported on masonry or concrete shall not have less than 3 inches of bearing. (CBC 2308.7)
- Ridges, hips, and valleys.** Rafters shall be framed to a ridge board or to each other with a gusset plate as all. Ridge boards shall be minimum 1-inch nominal thickness and not less in depth than the cut end of the rafter. All tie valleys and hips, there shall be a valley or hip rafter not less than 2-inch nominal thickness and not less in depth than the cut end of the rafter. Hip and valley rafters shall be supported at the ridge by a brace to a bearing partition or be designed to carry and distribute the specific load at that point. Where the roof pitch is less than 3:12 slope (25% gradient), structural members that support rafters and ceiling joists, such as ridges, hips, and valleys, shall be designed as beams. (CRC R802.3)

- E. Wood Framing (Continued)**
- Ceiling joist and rafter connections.** Ceiling joists and rafters shall be nailed to each other per CRC Table R802.5.1(9), and the rafter shall be nailed to the wall top plate per CRC Table R602.3(1). Ceiling joists shall be continuous or securely joined per CRC Table R802.5.1(19) where they meet over interior partitions and are nailed to adjacent rafters to provide a continuous tie. Plates, joists connected higher in the attic shall be installed as rafter ties, or rafter ties shall be installed to provide a continuous tie. Where ceiling joists are not parallel to rafters, rafter ties shall be installed. Rafter ties shall be minimum 2 inches by 4 inches nominal, installed per CRC Table R802.5.1(9), or connections of equivalent capacities shall be provided. Where ceiling joists or rafter ties are not provided, the ridge formed by these rafters shall be supported by a wall or engineer-designed girder. (CRC R802.3.1)
  - Ceiling joists lapped.** Ends of ceiling joists shall be lapped minimum 3 inches or butted over bearing partitions or rafter truss. Lapped joists shall be nailed together per CRC Table R602.3(1) and butted joists shall be tied together in a manner to resist such thrust. (CRC R802.3.2)
  - Collar ties.** Collar ties or ridge struts to resist wind uplift shall be connected in the upper third of the attic space. Collar ties shall be a minimum 1 inch by 4 inches nominal and spaced at maximum 4 feet on center. (CRC R802.3.1)
  - Purlins.** Purlins installed to reduce the span of rafters shall be sized not less than the required size of the rafters they support. Purlins shall be continuous and shall be supported by 2-inch-by-4-inch nominal braces installed to bearing walls at minimum 45-degree slope from horizontal. The braces shall be spaced maximum 4 feet on center with a maximum 8-foot unbraced length. (CRC R802.5.1)
  - Roof/ceiling member bearing.** The ends of each rafter or ceiling joist shall have not less than 1-1/2 inches of bearing on wood or metal and not less than 3 inches of bearing on masonry or concrete. (CRC R802.6.4)
  - Roof/ceiling member lateral support.** Roof framing members and ceiling joists with a nominal depth-to-thickness ratio exceeding 5:1 shall be provided with lateral support at points of bearing to prevent rotation. (CRC R802.8)
  - Roof/ceiling bridging.** Rafters and ceiling joists with a nominal depth-to-thickness ratio exceeding 6:1 shall be supported laterally by solid blocking, diagonal bridging (wood or metal), or a continuous 1-inch-by-3-inch wood strip nailed across the ridge. (CRC R802.8.1)
  - Framing of roof openings.** Openings in roof and ceiling framing shall be framed with a header and trimmer joists. When the header joist span does not exceed 4 feet, the header joist may be a single member the same size as the ceiling joist or rafter. Single trimmer joists may be used to carry a single header joist located within 3 feet of the trimmer joist bearing. When the header joist span exceeds 4 feet, the trimmer joists and header joist shall be doubled and of sufficient cross section to support the ceiling joists or rafters framing into the header. Approved hangers shall be used for the header-to-trimmer-joint connections when the header joist span exceeds 6 feet. Tail joists over 12 feet long shall be supported at the header by framing anchors or on ledger strips minimum 2 inches by 2 inches. (CRC R502.10)
  - Roof framing above shear walls.** Rafters or roof trusses shall be connected to top plates of shear walls with blocking between the rafters or trusses. (CRC R602.10.8)
  - Roof diaphragm under framing.** Roof plywood shall be continuous under California fill framing. (CRC R602.6)
  - Roof diaphragm at ridges.** Minimum 2-inch nominal blocking required for roof diaphragm nailing at ridges.
  - Blocking of roof trusses.** Minimum 2-inch nominal blocking required between trusses at ridge lines and at points of bearing at exterior walls.
  - Truss clearance.** Minimum 1/2-inch clearance required between top plates of interior non-bearing partitions and bottom chords of trusses.

- Drilling, cutting, and notching of roof/floor framing.** Notches in solid lumber joists, rafters, blocking, and beams shall not exceed one-sixth the member depth, shall be not longer than one-third the member depth, and shall be located in the middle one-third of the span. Notches at member ends shall not exceed one-fourth the member depth. The tension side of members 4 inches or greater in nominal thickness shall not be notched except at member ends. The diameter of holes bored or cut into members shall not exceed one-third the member depth. Holes shall not be closer than 2 inches to the top or bottom of the member or to any other hole located in the member. Where the member is also notched, the hole shall not be closer than 2 inches to the notch. (CRC R502.8.1)
- Exterior landings, decks, balconies, and stairs.** Such elements shall be positively anchored to the primary structure to resist both vertical and lateral forces or shall be designed to be self-supporting. Attachment shall not be accomplished by use of toenails or nails subject to withdrawal. (CRC R313.3)
- Fireblocking.** Fireblocking shall be provided in the following locations [CRC R302.11 and CRC R1003.19]:
  - In concealed spaces of stud walls and partitions, including furred spaces, and parallel rows of studs or staggered studs, as follows:
    - Vertically at the ceiling and floor levels
    - Horizontally at intervals not exceeding 10 feet
  - At all interconnections between concealed vertical and horizontal spaces such as occur at soffits, drop ceilings, chases, coverings, etc.
  - In concealed spaces between steel stringers at the top and bottom of the run
  - At openings around vents, pipes, ducts, cables and wires at ceiling and floor level, with an approved material to resist the free passage of flame and products of combustion
  - At chimneys and fireplaces per item E.49
  - Cornices of a two-family dwelling at the line of dwelling-unit separation

- Fireblocking materials.** Except as otherwise specified in items E.48 and E.49, fireblocking shall consist of the following:
  - Two-inch nominal lumber with the integrity maintained (CRC R302.11.1)
  - Two thicknesses of one-inch nominal lumber with broken lap joints
  - One thickness of 2/32-inch wood structural panel with joints backed by 2/32-inch wood structural panel
  - One thickness of 3/4-inch particleboard with joints backed by 3/4-inch particleboard
  - 1/2-inch gypsum board
  - 1/4-inch cement-based millboard
  - Batts or blankets of mineral or glass fiber of other approved materials installed in such a manner as to be securely retained in place. Batts or blankets of mineral or glass fiber or other approved non-rigid materials shall be permitted for compliance with the 10-foot horizontal fireblocking in walls constructed using parallel rows of studs or staggered studs. Unfaced fiberglass batt insulation used as fireblocking shall fill the entire cross-section of the wall cavity to a minimum height of 16 inches measured vertically. When piping, conduit, or similar obstructions are encountered, the insulation shall be packed tightly around the obstruction. Loose-fill insulation material shall not be used as a fireblock. Insulation shall be tested in the form and manner intended for use to demonstrate its ability to remain in place and to retard the spread of fire and hot gases.
- Fireblocking at openings around vents, pipes, ducts, cables, and wires at ceiling & floor level.** Such openings shall be fireblocked with an approved material to resist the free passage of flame and products of combustion. (CRC R302.11)
- Fireblocking of chimneys and fireplaces.** All spaces between chimneys and floors and ceilings through which a chimney or floor joist, beam, or other combustible material is securely fastened in place. The fireblocking of spaces between chimneys and wood joists, beams, or headers shall be self-supporting or be placed on straps of metal or metal lath laid across the spaces between combustible material and the chimney. (CRC R1003.19)
- Draftstopping.** In combustible construction where there is usable space both above and below the concealed space of a floor/ceiling assembly, draftstopping shall be installed so that the area of the concealed space does not exceed 1000 square feet. Draftstopping shall divide the concealed space into approximately equal areas, each enclosed by a floor membrane above and a ceiling membrane below. Draftstopping shall be provided in:
  - Ceiling is suspended under the floor framing
  - Floor framing is constructed of truss-type open-web or perforated members
- Draftstopping materials.** Draftstopping shall not be less than 1/2-inch gypsum board, 3/8-inch wood structural panels, or other approved materials adequately supported. Draftstopping shall be installed parallel to the floor framing members unless otherwise approved by the building official. The integrity of draftstopping shall be maintained in accordance with Section 121.1.
- Combustible insulation clearance.** Combustible insulation shall be separated minimum 3 inches from recessed luminaires, fan motors, and other heat-producing devices. (CRC R302.14)

- F. General Material Specifications**
- Lumber.** All joists, rafters, beams, and posts 2-inches thick shall be No. 2 grade Douglas Fir-Larch or better. All posts and beams 5 inches and thicker shall be No. 1 grade Douglas Fir-Larch or better. Studs not more than 8 feet long shall be standard grade Douglas Fir-Larch or better, when supporting not more than one floor, roof, and ceiling. Studs longer than 8 feet shall be No. 2 grade Douglas Fir-Larch or better.
  - Concrete.** Concrete shall have a minimum compressive strength of 2,500 psi at 28 days and shall consist of 1 part cement, 3 parts sand, 4 parts 1-inch maximum size rock, and not more than 7-1/2 gallons of water per sack of cement. (CRC R402.2)
  - Mortar.** Mortar used in construction of masonry walls, foundation walls, and retaining walls shall conform to ASTM C 270, and shall consist of 1 part portland cement, 2-1/4 to 3 parts sand, and 1/4 to 1/2 part hydrated lime. (CBC 2103.2)
  - GROUT.** Grout shall conform to ASTM C 476 and shall consist of 1 part portland cement, 1/10 part hydrated lime, 2-1/4 to 3 parts sand, and 1 to 2 parts gravel. Grout shall attain a minimum compressive strength of 2,000 psi at 28 days. (CBC 2103.3)
  - Masonry.** Masonry units shall comply with ASTM C 90 for load-bearing concrete masonry units. (CBC 2103.1)
  - Reinforcing steel.** Reinforcing steel used in construction of reinforced masonry or concrete structures shall be deformed, and comply with ASTM A 615. (CBC 2103.4)
  - Structural steel.** Steel used as structural shapes such as wide-flange sections, channels, plates, and angles shall comply with ASTM A36. Pipe columns shall comply with ASTM A53. Structural tubes shall comply with ASTM A500, Grade B.
  - Fasteners for preservative-treated wood.** Fasteners for preservative-treated and fire-retardant-treated wood - including nuts and washers - shall be of hot dipped zinc-coated galvanized steel, stainless steel, silicon bronze, or copper. (CRC R317.3.1)
    - Exception:** 1/2-inch diameter or greater steel bolts
    - Exception:** Fasteners other than nails and timber bolts may be of mechanically deposited zinc-coated steel with coating weights in accordance with ASTM B 695, Class 55 minimum
    - Exception:** Plain carbon steel fasteners acceptable in S&X/DUT and zinc borate preservative-treated wood in an interior, dry environment
  - Fasteners for fire-retardant-treated wood.** Fasteners for fire-retardant-treated wood used in exterior applications or wet or damp locations shall be of hot dipped zinc-coated galvanized steel, stainless steel, silicon bronze, or copper. (CRC R317.3.3)

- G. Roofing and Weatherproofing**
- Roof covering.** All roof covering shall be installed per applicable requirements of CBC 1507. Roof coverings shall be at least Class A rated in accordance with ASTM E 108 or UL 790, which shall include coverings of slate, clay or concrete roof tile, exposed concrete roof deck, ferrous or copper shingles or sheets. (County Building Code 92.1, 1505.1)
  - Roof flashing.** Flashing shall be installed at wall and roof intersections, at gutters, wherever there is a change in roof slope or direction, and around roof openings. Where flashing is of metal, the metal shall be corrosion-resistant with a thickness of not less than 0.019 inch (No. 26 galvanized sheet). (CRC R303.2.1)
  - Crickets and saddles.** A cricket or saddle shall be installed on the ridge side of any chimney or penetration more than 30 inches wide as measured perpendicular to the slope. Cricket or saddle covering shall be sheet metal or the same material as the roof covering. (CRCR903.2.2)
  - Water-resistive barrier.** A minimum of one layer of No. 15 asphalt felt shall be attached to studs or sheathing of all exterior walls. Such barrier shall be applied horizontally, and building appendages in a manner to maintain a weather-resistant exterior wall envelope. (CRC R703.2)
  - Wall flashing.** Approved corrosion-resistant flashing shall be applied shingle fashion at the following locations to prevent entry of water into the wall cavity or penetration of water to the building structural framing components (CRC R703.8):
    - Exterior door and window openings, extending to the surface of the exterior wall finish or to the water-resistive barrier for subsequent drainage
    - At the intersection of chimneys or other masonry construction with frame or stucco walls, with projecting lips on both sides under stucco copings
    - Under and at the ends of masonry, wood, or metal copings and sills
    - Continuously above all projecting wood trim
    - Where exterior porches, decks, or stairs attach to a wall or floor assembly of wood-frame construction
    - At wall and roof intersections
    - At lap joints in sheeting
  - Dampproofing.** Dampproofing materials for foundation walls enclosing usable space below grade shall be installed on the exterior surface of the wall, and shall extend from the top of the footing to finished grade. (CRC R406.1)
  - Weep screed.** A minimum 0.019-inch (No. 26 galvanized sheet gage), corrosion-resistant weep screed or plastic weep screed with a minimum vertical attachment flange of 3/16-inch shall be provided at or below the foundation plate line on exterior stud walls in accordance with ASTM C 92. The weep screed shall be placed a minimum 4 inches above the earth or 2 the building. (CRC R703.7)
  - Grading and soils.**
    - Grading permit.** Grading permit required if volume of earth moved exceeds 200 cubic yards or if any cuts or fills exceed 8 feet in height/depth. (County Grading Ordinance 202)
    - Compaction report.** Compaction report required for fill material 12 inches or more in depth. (CBC 1803.5.8)

ITEM	DESCRIPTION OF BUILDING ELEMENTS	NUMBER AND TYPE OF FASTENERS**	SPACING AND LOCATION
<b>Roof</b>			
1	Blocking between ceiling joists or rafters to top plate	4-8d box (2" x 0.113 "); or 3-8d common (2" x 0.131 "); or 3-1/4d box (3" x 0.128 "); or 3-3" x 0.131 "nails	Toe nail
2	Ceiling joists to top plate	4-8d box (2" x 0.113 "); or 3-8d common (2" x 0.131 "); or 3-1/4d box (3" x 0.128 "); or 3-3" x 0.131 "nails	Per joint, toe nail
3	Ceiling joist not attached to parallel rafter, laps over rafters using Systems R802.3.1, R802.3.2 and Table R802.5.1(9)	4-1/4d box (3" x 0.128 "); or 3-1/4d common (3" x 0.135 "); or 4-3" x 0.131 "nails	Face nail
4	Ceiling joist attached to parallel rafter (heel joint) [see Sections R802.3.1 and R802.3.2 and Table R802.5.1(9)]	Table R802.5.1(9)	Face nail
5	Collar tie to rafter, face nail or 1/4" x 20 ga. ridge strap to rafter	4-1/4d box (3" x 0.128 "); or 3-1/4d common (3" x 0.148 "); or 4-3" x 0.131 "nails	Face nail each rafter
6	Rafter or roof truss to plate	3-1/4d box nails (3" x 0.135 "); or 3-1/4d common nails (3" x 0.148 "); or 4-1/4d box (3" x 0.128 "); or 4-3" x 0.131 "nails	2 face nails on one side and 1 toe nail on opposite side of each rafter or truss
7	Roof rafters to ridge, valley or hip rafters or roof rafter to minimum 2" ridge beam	4-1/4d (3" x 0.135 "); or 4-1/4d common (3" x 0.148 "); or 4-1/4d box (3" x 0.128 "); or 4-3" x 0.131 "nails	Toe nail
		3-1/4d box (3" x 0.135 "); or 2-1/4d common (3" x 0.162 "); or 2-1/4d common (3" x 0.128 "); or 2-1/4" x 0.131 "nails	End nail
<b>Wall</b>			
8	Stud to stud (not at braced wall panels)	1/4d common (3/4" x 0.162 "); 1/4d box (3" x 0.128 "); or 3" x 0.131 "nails	24" o.c. face nail
9	Stud to stud and abutting studs at intersecting wall corners (at braced wall panels)	1/4d box (3/4" x 0.135 "); or 3" x 0.131 "nails	12" o.c. face nail
10	Build-up header (2" to 2" header with 1/4" spacer)	1/4d common (3/4" x 0.162 "); 1/4d box (3" x 0.128 "); or 1/4d common (3" x 0.135 ")	16" o.c. face nail
11	Continuous header to stud	5-8d box (2" x 0.113 "); or 4-8d common (2" x 0.131 "); or 4-1/4d box (3" x 0.128 ")	12" o.c. each edge face nail
12	Top plate to top plate	1/4d common (3/4" x 0.162 "); 1/4d box (3" x 0.128 "); or 3" x 0.131 "nails	16" o.c. face nail
		1/4d common (3/4" x 0.162 "); 1/4d box (3" x 0.128 "); or 3" x 0.131 "nails	12" o.c. face nail
13	Double top plate splice for SDCs A-D, with seismic braced wall line spacing < 25'	8-1/4d common (3/4" x 0.162 "); or 8-1/4d common (3" x 0.135 "); or 12-1/4d box (3" x 0.128 "); or 12-3" x 0.131 "nails	Face nail on each side of end joint (minimum 24" lap splice length each side of end joint)
	Double top plate splice SDCs D, D, or D, and braced wall line spacing > 25'	12-1/4d (3/4" x 0.135 ")	

ITEM	DESCRIPTION OF BUILDING ELEMENTS	NUMBER AND TYPE OF FASTENER**	SPACING AND LOCATION
14	Bottom plate to joist, rim joist, band joint or blocking (not at braced wall panels)	1/4d common (3/4" x 0.162 "); 1/4d box (3" x 0.135 "); or 3" x 0.131 "nails	16" o.c. face nail
15	Bottom plate to joist, rim joist, band joint or blocking (at braced wall panels)	3-1/4d box (3" x 0.135 "); or 2-1/4d common (3" x 0.162 "); or 4-3" x 0.131 "nails	3 each 16" o.c. face nail 2 each 16" o.c. face nail 4 each 16" o.c. face nail
16	Top or bottom plate to stud	4-8d box (2" x 0.113 "); or 3-1/4d box (3" x 0.135 "); or 4-8d common (2" x 0.131 "); or 3-1/4d box (3" x 0.128 "); or 4-3" x 0.131 "nails	Toe nail
		3-1/4d box (3"	

MINIMUM CODE REQUIREMENTS & SUPPLEMENTAL CONSTRUCTION SPECIFICATIONS

SECTION 013300 - SUBMITTAL PROCEDURES

- A. Processing Time:
1. Initial Review: 15 days.
2. Resubmittal Review: 15 days.
3. Sequential Review: 21 days.
4. Concurrent Consultant Review: 15 days.
B. Submittal Procedures:
1. Submit via email as PDF files or provide two paper copies.
C. Contractor's Review:
1. Submittals: Marked with approval stamp before submitting to Architect.
D. Architect's Action:
1. Action Submittals: Stamped with an action stamp and returned.
2. Informational Submittals: Reviewed but not returned, or rejected if they comply with requirements.
3. Incomplete submittals will be returned without review.
4. Submittals Not Required: May not be reviewed and may be discarded.

SECTION 015000 - TEMPORARY FACILITIES AND CONTROLS

- 1.1 USE CHARGES
A. Sewer Service: Pay charges.
B. Water Service: Pay charges.
C. Electric Power Service: Pay charges.
1.2 INFORMATIONAL SUBMITTALS
A. Erosion- and sedimentation-control plan.
B. Moisture-protection plan.
C. Fire-safety program.
D. Dust- and HVAC-control plan.
1.3 MATERIALS
A. Portable chain-link fencing.
1.4 TEMPORARY FACILITIES
A. Common-Use Field Office: mobile units.
B. Storage sheds.
1.5 EQUIPMENT
A. Fire extinguishers.
1.6 TEMPORARY UTILITY INSTALLATION
A. Sewers and drainage.
B. Water Service: Install water service.
C. Sanitary Facilities: Provide temporary toilets, wash facilities, and drinking water.
D. Electric Power Service: Provide underground service.
E. Lighting: Provide temporary lighting.
1.7 SUPPORT FACILITIES INSTALLATION
A. Parking: Provide temporary parking areas.
B. Dewatering Facilities and Drains: Maintain Project site, excavations, and construction free of water.
C. Project Signs: Provide Project signs as indicated. Unauthorized signs are not permitted.
1.8 SECURITY AND PROTECTION FACILITIES INSTALLATION
A. Temporary erosion and sedimentation control.
B. Storm water control.
C. Tree and plant protection.

SECTION 062013 - EXTERIOR FINISH CARPENTRY

- 1.1 MATERIALS
A. Water-Repellent Preservative Treatment Containing Insecticide by Nonpressure Exterior trim.
B. Preservative Treatment by Pressure Process: All exterior lumber and plywood.
C. Fasteners: hot-dip galvanized steel unless otherwise indicated.
D. Insect Screening for Soffit Vents: Stainless steel.
1.2 INSTALLATION
A. Lumber and moldings for painted applications: primed, including both faces and edges.

SECTION 062023 - INTERIOR FINISH CARPENTRY

- 1.1 MATERIALS
A. Composite Wood Materials: Urea-formaldehyde free.
B. Adhesives: Low VOC.
C. Interior Standing and Running Trim:
1. Hardwood Lumber Trim for Transparent Finish (Stain or Clear Finish): White hardwoods.
2. Lumber Trim for Opaque Finish (Painted): white woods.
3. Hardwood Moldings for Transparent Finish (Stain or Clear Finish): White hardwoods.
4. Moldings for Opaque Finish (Painted): White woods.
D. Fire-Rated Interior Door Frames:
1. Species: White hardwood.
2. Fire Rating: 20 minutes.
E. Shelving: Wood boards.
F. Clothes Rods: Aluminum, stainless steel or nickel plated tubes.
G. Stairs and Railings:
1. Stairs: Rift-sawn White hardwood, risers for opaque finish.
2. Railings: White hardwood.

SECTION 071113 - BITUMINOUS DAMPPROOFING

- 1.1 MATERIALS
A. Hot-Applied Asphalt
B. Cold-Applied, Emulsified Asphalt
C. Protection Course: Fiberglass or asphaltic-core sheets.
1.2 INSTALLATION
A. Hot-Applied Asphalt Dampproofing:
1. Prime masonry and other porous substrates.
2. Apply one coat on exterior, below-grade surfaces of building and retaining walls
3. Apply second coat to below-grade foundation walls, where first produce a smooth surface and uninterrupted coverage.
B. Cold-Applied, Emulsified-Asphalt Dampproofing:
1. Concrete Foundations and Parged Masonry Foundation Walls: Two brush or spray coats or one trowel coat.
2. Unparged Masonry Foundation Walls: Primer and two brush or spray coats or primer and one trowel coat.
3. Unexposed Faces of Masonry Retaining Walls: Primer and one brush or spray coat.
4. Masonry Backup for Stone Veneer Assemblies: Primer and one brush or spray coat.

SECTION 071413 - HOT FLUID-APPLIED RUBBERIZED ASPHALT WATERPROOFING

- 1.1 MATERIALS
A. Hot Fluid-Applied, Rubberized-Asphalt Waterproofing Membrane: Single-component, rubberized asphalt.
B. Elastomeric Flashing Sheet: Uncured sheet neoprene.
C. Protection Course: Fiberglass-reinforced rubberized asphalt or modified bituminous sheet.
D. Molded-Sheet Drainage Panels: Nonwoven-geotextile-faced, molded-plastic sheet drainage core.
E. Insulation: Extruded-polystyrene board.
F. Insulation Drainage Panels: Extruded-polystyrene board insulation, unfaced, with drainage channels.
1.2 INSTALLATION
A. Unreinforced Membrane: 180 mils thick.
B. Reinforced Membrane: 215 mils thick.
1.3 FIELD QUALITY CONTROL
A. Each deck area flood tested.
B. Testing Agency: Contractor engaged to observe flood testing.

SECTION 072100 - THERMAL INSULATION

- 1.1 MATERIALS
A. Insulation:
1. Unfaced Glass-Fiber Blanket: Type I.
2. Kraft-Faced, Glass-Fiber Blanket: Type II, Class C; Category 1.
3. Unfaced, Mineral-Wool Blanket: Type I.
4. Self-Supported, Spray-Applied Cellulose: Type III (containing adhesive).
5. Closed-Cell Spray Polyurethane Foam: Type II, minimum density of 1.5 lb/cu. ft.
6. Open-Cell Spray Polyurethane Foam: Minimum density of 0.4 lb/cu. ft.
7. Sheet Radiant Barriers: Vacuum metallizing on substrate.
B. Vapor Retarders: Reinforced polyethylene.
C. Auxiliary Insulating Materials:
1. Eave ventilation troughs.
2. Insulation fasteners.

SECTION 072500 - WEATHER BARRIERS

- 1.1 MATERIALS
A. Building Paper: Asphalt-saturated kraft building paper.
B. Building wrap.
C. Building-wrap tape.

D. Flexible Flashing

SECTION 074600 - SIDING

- 1.1 SUMMARY
A. Wood or Fiber-cement siding.
B. Wood or Fiber-cement soffit.
1.2 QUALITY ASSURANCE
A. Mockups for each type of siding and soffit.
1.3 PRODUCTS
A. Wood Siding:
1. Pattern: per plan
2. Texture: Smooth
3. Finish: Three-coat paint over primer
B. Fiber-Cement Siding: ASTM C 1186, Type A, Grade II.
1. Pattern: per plan
2. Factory Priming: Acrylic primer.
C. Wood Soffit:
1. Pattern: per plan
2. Texture: Smooth.
3. Ventilation: aluminum vents
4. Finish: Three-coat paint over primer.
D. Fiber-Cement Soffit: ASTM C 1186, Type A, Grade II.
1. Pattern: per plan
2. Ventilation: Perforated
3. Factory Priming: Acrylic primer.
E. Siding Accessories: Starter strips, edge trim, outside and inside corner caps, and other
F. Flashing: Copper.

SECTION 075113 - BUILT-UP ASPHALT ROOFING

- 1.1 QUALITY ASSURANCE
A. Exterior Fire-Test Exposure: Class A
1.2 MATERIALS
A. Sheathing paper.
B. Base Sheet: SBS-modified, asphalt-coated sheet, with glass-fiber-reinforcing mat.
C. Roofing Membrane Piles: Asphalt-impregnated, glass-fiber felt.
D. Base Flashing Sheet:
1. SBS-Modified Asphalt Flashing Sheet: Reinforced with combination of fabric and glass fibers surfaced.
E. Aggregate Surfacing: Gravel or crushed stone.
F. Vapor Retarder: Self-adhering, rubberized asphalt sheet.
G. Roof Insulation: Cellulosic-fiber board.
1. Tapered Insulation: 1/4 inch per 12 inches.
H. Tapered edge strips.
I. Cover Board: Cellulosic-fiber insulation board.
J. Roof Coating: Asphalt emulsion.
1.3 INSTALLATION
A. Roof Insulation: Mechanically fastened and adhered.
B. Roofing Membrane System:
1. Deck Type: N (available).
2. Base Sheet: 1, installed over sheathing paper.
3. Number of Ply Sheets: 3.
4. Surfacing Type: A (aggregate).

SECTION 086200 - UNIT SKYLIGHTS

- 1.1 UNIT SKYLIGHTS per plan and schedule
A. Unit Shape and Size: As indicated
B. Insulating Glass:
1. Exterior Lite: 6-mm clear fully tempered glass. UON.
2. Interior Lite: Laminated glass.
3. Interspace Content: Argon.
4. Low-Emissivity Coating: Manufacturer's standard.
C. Integral Curb: Extruded-aluminum, self-flashing type.
D. Operable Unit Skylight System: Equip with hinges, chain-driven operating hardware, and weather-sealing gaskets.
1. Manual or Motor operator per schedule.
2. Insect screens.
E. Finishes: Bronze anodized.

SECTION 092400 - CEMENT PLASTERING

- 1.1 MATERIALS
A. Metal Lath:
1. Expanded-Metal Lath: Self-furring diamond mesh with hot-dip galvanized zinc coating.
2. Woven-Wire Lath: Self-furring, with stiffener wire backing.
3. Vapor-retardant paper backing unless otherwise indicated.
B. Accessories:
1. Foundation Weep Screed: Hot-dip galvanized-steel sheet.
2. Cornices.
3. External-Corner Reinforcement: Metal lath with hot-dip galvanized zinc coating.
4. Metal Trim: Bead trim-zinc-coated (galvanized) steel.
C. Fiber for base coat.
D. Bonding compound.
E. Acoustical sealant.
F. Colorants for job-mixed finish coats.
G. Plaster Mixes:
1. Base-Coat Mixes for Use over Metal Lath: For scratch and brown coats of three-coat plasterwork.
2. Base-Coat Mix for Use over Concrete Unit Masonry or Monolithic Concrete: For single base coat of two-coat plasterwork.
3. Ready-Mixed Finish-Coat Mix: For Santa Barbara finish.

SECTION 092900 - GYPSUM BOARD

- 1.1 QUALITY ASSURANCE
A. Mockups for the following:
1. Levels of gypsum board finish for use in exposed locations.
2. Texture finishes.
1.2 MATERIALS
A. Gypsum Board, General:
1. Gypsum wallboard.
2. Gypsum board, Type X.
3. Flexible gypsum board.
4. Gypsum ceiling board.
5. Moisture- and mold-resistant gypsum board.
B. Tile-Backing Panels:
1. Cementitious backer units.
C. Texture finishes:
1. Non-aggregate finish.

SECTION 093000 - TILING

- 1.1 QUALITY ASSURANCE
A. Mockup for floor tile installation.
B. Mockup for wall tile installation.
1.2 TILE PRODUCTS
A. Tile Type: Glazed quarry tile.
1. Size: per plan
2. Trim Shapes: Coved base, Surface bullnose wainscot cap.
B. Tile Type: Glazed paver tile.
1. Size: per plan
2. Trim Shapes: Base cove, Surface bullnose wainscot cap.
C. Tile Type: Glazed wall tile.
1. Size: per plan
2. Trim Shapes: Coved base, Surface bullnose wainscot cap, Bullnose external corner.
1.3 ACCESSORY MATERIALS
A. Thresholds: Limestone UON.
B. Tile Backing Panels: Cementitious backer units.
C. Waterproof Membrane: Fluid-applied membrane.
D. Crack Isolation Membrane: Fluid-applied membrane.
E. Installation Adhesives: Low VOC.
F. Elastomeric Sealants: One-part, mildew-resistant silicone and low VOC.
G. Metal edge strips.
1.4 INTERIOR TILE INSTALLATION SCHEDULE
A. Interior Floors on Concrete:
1. F111: Cement mortar bed with cleavage membrane.
a. Mortar: Dry-set Portland cement mortar bond coat.
b. Grout: Polymer-modified sanded grout.
2. F112: Cement mortar bed bonded to concrete.
a. Mortar: Dry-set.
b. Grout: Polymer-modified sanded.

- 3. F113: Thin-set mortar.
a. Mortar: Dry-set.
b. Grout: Polymer-modified unsanded grout.
4. F121: Cement mortar bed on waterproof membrane.
a. Mortar: Dry-set Portland cement mortar bond coat.
b. Grout: Polymer-modified unsanded grout.
5. F125A: Thin-set mortar on crack isolation membrane.
a. Mortar: Medium-bed, latex-Portland cement mortar.
b. Grout: Polymer-modified unsanded grout.
B. Interior Walls, Wood Studs or Furring:
1. W221: Cement mortar bed over waterproof membrane on solid backing.
a. Mortar: Dry-set Portland cement mortar bond coat.
b. Grout: Polymer-modified unsanded grout.
2. W231: Cement mortar bed.
a. Mortar: Dry-set Portland cement mortar bond coat.
b. Grout: Polymer-modified unsanded grout.
3. W243: Thin-set mortar on gypsum board.
a. Mortar: Dry-set Portland cement mortar.
b. Grout: Polymer-modified unsanded grout.
C. Bathtub Walls, Wood Studs or Furring:
1. B413: Thin-set mortar on water-resistant gypsum board.
a. Mortar: Dry-set Portland cement mortar.
b. Grout: Polymer-modified unsanded grout.
D. Shower Receptor and Walls, Wood Studs or Furring:
1. B421: Thin-set mortar on waterproof membrane over cementitious backer units or fiber cement underlayment.
a. Mortar: Latex-portland cement mortar.
b. Grout: Polymer-modified unsanded grout.

SECTION 096340 - STONE FLOORING

- 1.1 QUALITY ASSURANCE
A. Mockup of exterior paving and interior flooring.
1.2 MATERIALS
A. Stone Types:
1. Per plan and schedules.
B. Setting Mortar: Portland cement-lime.
1. Bond Coat: Portland cement.
C. Pointing Mortar: Pigmented.
D. Grout: Job-mixed, sand-Portland cement.
E. Waterproof Membranes: fluid-applied membrane.
F. Accessories:
1. Floor sealer.
1.3 FABRICATION
A. Stone Thickness: 3/4 inch unless otherwise indicated.
B. Stone Pattern: Per plan and or schedule.
1.4 INSTALLATION
A. Stone Directly over Concrete: Set on unreinforced mortar setting bed with grouted joints.
B. Stone over Waterproofing: Set on reinforced mortar setting bed with grouted joints.
C. Stone Thresholds:
1. Set in mortar setting bed where adjacent to stone paving and flooring. Use thin-set, latex-portland cement mortar where mortar bed would otherwise be exposed.
2. Where not adjacent to stone paving and flooring, set in thin-set, latex-Portland cement mortar.
D. Stone Stair Treads and Risers: Set in thin-set, latex-Portland cement mortar

SECTION 099113 - EXTERIOR PAINTING

- 1.1 QUALITY ASSURANCE
A. Mockups for each color and finish.
1.2 EXTERIOR PAINTING SCHEDULE
A. Concrete Substrates, Non-Traffic Surfaces:
1. Latex system.
B. Galvanized-Metal Substrates:
1. Latex system.
C. Aluminum Substrates:
1. Latex system.
D. Wood Substrates: Including wood trim, architectural woodwork, doors, exposed beams.
1. Latex over alkyd primer system.

SECTION 099123 - INTERIOR PAINTING

- 1.1 QUALITY ASSURANCE
A. Mockups for each color and finish.
1.2 INTERIOR PAINTING SCHEDULE
A. Wood Substrates: Including wood trim, architectural woodwork, doors, windows.
1. Latex over alkyd primer system.
B. Gypsum Board Substrates:
1. Latex system.

SECTION 099300 - STAINING AND TRANSPARENT FINISHING

- 1.1 QUALITY ASSURANCE
A. Mockups for each color and finish.
1.2 EXTERIOR WOOD-FINISH-SYSTEM SCHEDULE
A. Wood substrates, nontraffic surfaces, including wood trim, architectural woodwork, wood gates.
1. Semitransparent stain system.
2. Clear two-component polyurethane varnish over stain system.
1.3 INTERIOR WOOD-FINISH-SYSTEM SCHEDULE
A. Wood substrates, nontraffic surfaces, including doors, exposed beams.
1. Polyurethane varnish over stain system.
2. Danish oil system.

SECTION 221116 - DOMESTIC WATER PIPING

- 1.1 UNDER-BUILDING-SLAB, DOMESTIC WATER, BUILDING SERVICE PIPING
A. Pipe NPS 3 and Smaller:
1. Soft copper tube; wrought-copper, solder-joint fittings; and brazed joints.
B. Pipe NPS 4 to NPS 8 and Larger:
1. Soft copper tube; wrought-copper, solder-joint fittings; and brazed joints.
1.2 UNDER-BUILDING-SLAB, DOMESTIC WATER PIPING
A. Pipe NPS 2 and Smaller:
1. Hard or soft copper tube; wrought-copper, solder-joint fittings; and brazed joints.
B. Gypsum Board DOMESTIC WATER PIPING
A. Pipe NPS 2 and Smaller:
1. Hard copper tube; wrought-copper, solder-joint fittings; and soldered joints.
1.4 MANUFACTURED UNITS
A. Hot-Water Circulation Piping, Balancing Duty: Memory-stop balancing valves.
B. Flexible Connectors: Stainless-steel hose.
1.5 PRODUCTS
A. Wall Penetrations below Grade: Sleeve and sleeve seal.

SECTION 221119 - DOMESTIC WATER PIPING SPECIALTIES

- 1.1 PRODUCTS
A. Vacuum Breakers:
1. Hose-Connection Vacuum Breakers: Rough-bronze finish.
B. Backflow Preventers:
1. Intermediate Atmospheric-Vent Backflow Preventers:
a. End Connections: Solder joint.
b. Finish: Rough bronze.
2. Hose-connection backflow preventers.
C. Water Pressure-Reducing Valves:
1. Water Regulators:
a. Body: Bronze for NPS 2 and smaller; cast iron for NPS 2-1/2 and NPS 3.
b. End Connections: Threaded for NPS 2 and smaller; flanged for NPS 2-1/2 and larger.
2. Water Control Valves:
a. Main Valve Body: Angle-valve design.
b. End Connections: Threaded for NPS 2 and smaller; flanged for NPS 2-1/2 and larger.
D. Outlet Boxes:
1. Clothes Washer Outlet Boxes:
a. Material and Finish: Enameled-steel, epoxy-painted-steel, or plastic box and faceplate.
2. Ice-maker Outlet Boxes: Enameled-steel or epoxy-painted-steel or plastic box and faceplate.
E. Hose Stations:
1. Single-Temperature-Water Hose Stations:
a. Body: Bronze
b. Finish: Rough bronze
c. Mounting: Wall, with reinforcement.

- F. Hose Bibs:
1. Vacuum Breaker: Integral or field installation.
2. Finish for Service Areas: Rough bronze.
3. Operation for Service Areas: Wheel handle.
G. Water Hammer Arresters: Copper tube with piston.

SECTION 221319 - SANITARY WASTE PIPING SPECIALTIES

- 1.1 QUALITY ASSURANCE
A. Quality Standard for Plastic Piping: NSF 14.
1.2 PRODUCTS
A. Backwater Valves: Horizontal, cast iron.
B. Cleanouts: Cast iron, wall.
C. Floor Drains:
1. Stainless-Steel Floor Drains:
a. Dimensions of Top or Strainer: 4" square bronze grate.
b. Slopage Flange: Required.
c. Anchor Flange: Not required.
D. Miscellaneous Sanitary Drainage Piping Specialties:
1. Cast-iron or bronze deep-seal traps.
E. Flashing Materials:
1. Copper sheet.

SECTION 221423 - STORM DRAINAGE PIPING SPECIALTIES

- 1.1 PRODUCTS
A. Metal Roof Drains:
1. Cast-Iron Roof Drains:
a. Sump: Medium.
b. Body Material: Cast iron.
c. Combination Flashing Ring and Gravel Stop: Required.
d. Outlet: Bottom.
e. Dome Material: Cast iron.
f. Water Dam at overflows: 2 inches high.
2. Metal, Cornice and Gutter Roof Drains:
a. Outlet: Bottom.



WILL & FOTSCH ARCHITECTS

1298 PROSPECT STREET, SUITE 2S, LA JOLLA, CA 92037 - (o) 858-224-2486



JOB #: 1702

KASSAB RESIDENCE

8305 CALLE DEL CIELO, LA JOLLA, CA 92037

Table with 2 columns: DATE, ISSUE. Rows include 01/06/2021 CDP 1ST SUBMITTAL, 03/29/2021 FULL SUBMITTAL, 02/24/2022 2ND SUBMITTAL, 07/06/2022 3RD SUBMITTAL, 10/12/2022 4TH SUBMITTAL.

T4 MIN. CODE AND SPECIFICATION

05/17/23







DATE:	ISSUE:
01/06/2021	CDP 1ST SUBMITTAL
03/29/2021	FULL SUBMITTAL
02/24/2022	2ND SUBMITTAL
07/06/2022	3RD SUBMITTAL
10/12/2022	4TH SUBMITTAL

**City of San Diego Development Services Storm Water Requirements Applicability Checklist** **FORM DS-560**  
November 2018

Project Address: 8305 CALLE DEL CIELO Project Number:

**SECTION 1. Construction Storm Water BMP Requirements:**  
All construction sites are required to implement construction BMPs in accordance with the performance standards in the *Storm Water Standards Manual*. Some sites are additionally required to obtain coverage under the State Construction General Permit (CGP), which is administered by the State Regional Water Quality Control Board.

**For all projects complete PART A: If project is required to submit a SWPPP or WPCP, continue to PART B.**

**PART A: Determine Construction Phase Storm Water Requirements.**

- Is the project subject to California's statewide General NPDES permit for Storm Water Discharges Associated with Construction Activities, also known as the State Construction General Permit (CGP)? (Typically projects with land disturbance greater than or equal to 1 acre.)  
 Yes; SWPPP required, skip questions 2-4  No; next question
- Does the project propose construction or demolition activity, including but not limited to, clearing, grading, grubbing, excavation, or any other activity resulting in ground disturbance and/or contact with storm water?  
 Yes; WPCP required, skip questions 3-4  No; next question
- Does the project propose routine maintenance to maintain original line and grade, hydraulic capacity, or original purpose of the facility? (Projects such as pipeline/utility replacement)  
 Yes; WPCP required, skip question 4  No; next question
- Does the project only include the following Permit types listed below?  
  - Electrical Permit, Fire Alarm Permit, Fire Sprinkler Permit, Plumbing Permit, Sign Permit, Mechanical Permit, Spa Permit.
  - Individual Right of Way Permits that exclusively include only ONE of the following activities: water service, sewer lateral, or utility service.
  - Right of Way Permits with a project footprint less than 150 linear feet that exclusively include only ONE of the following activities: curb ramp, sidewalk and driveway apron replacement, pot holing, curb and gutter replacement, and retaining wall encroachments. Yes; no document required

Check one of the boxes below, and continue to PART B:

If you checked "Yes" for question 1, a SWPPP is REQUIRED. Continue to PART B

If you checked "No" for question 1, and checked "Yes" for question 2 or 3, a WPCP is REQUIRED. If the project proposes less than 5,000 square feet of ground disturbance AND has less than a 5-foot elevation change over the entire project area, a Minor WPCP may be required instead. Continue to PART B.

If you checked "No" for all questions 1-3, and checked "Yes" for question 4, PART B does not apply and no document is required. Continue to Section 2.

1. More information on the City's construction BMP requirements as well as CGP requirements can be found at: [www.sandiego.gov/development-services](http://www.sandiego.gov/development-services)

Printed on recycled paper. Visit our web site at [www.sandiego.gov/development-services](http://www.sandiego.gov/development-services). Upon request, this information is available in alternative formats for persons with disabilities. DS-560 (11-18)

Page 2 of 4 City of San Diego • Development Services • Storm Water Requirements Applicability Checklist

**PART B: Determine Construction Site Priority**  
This prioritization must be completed within this form, noted on the plans, and included in the SWPPP or WPCP. The city reserves the right to adjust the priority of projects both before and after construction. Construction projects are assigned an inspection frequency based on if the project has a "high threat to water quality." The City has aligned the local definition of "high threat to water quality" to the risk determination approach of the State Construction General Permit (CGP). The CGP determines risk level based on project specific sediment risk and receiving water risk. Additional inspection is required for projects within the Areas of Special Biological Significance (ASBS) watershed. NOTE: The construction priority does NOT change construction BMP requirements that apply to projects; rather, it determines the frequency of inspections that will be conducted by city staff.

**Complete PART B and continued to Section 2**

- ASBS  
a. Projects located in the ASBS watershed.
- High Priority  
a. Projects that qualify as Risk Level 2 or Risk Level 3 per the Construction General Permit (CGP) and not located in the ASBS watershed.  
b. Projects that qualify as LUP Type 2 or LUP Type 3 per the CGP and not located in the ASBS watershed.
- Medium Priority  
a. Projects that are not located in an ASBS watershed or designated as a High priority site.  
b. Projects that qualify as Risk Level 1 or LUP Type 1 per the CGP and not located in an ASBS watershed.  
c. WPCP projects (>5,000sf of ground disturbance) located within the Los Penasquitos watershed management area.
- Low Priority  
a. Projects not subject to a Medium or High site priority designation and are not located in an ASBS watershed.

**SECTION 2. Permanent Storm Water BMP Requirements.**  
Additional information for determining the requirements is found in the *Storm Water Standards Manual*.

**PART C: Determine if Not Subject to Permanent Storm Water Requirements.**  
Projects that are considered maintenance, or otherwise not categorized as "new development projects" or "redevelopment projects" according to the *Storm Water Standards Manual* are not subject to Permanent Storm Water BMPs.

If "yes" is checked for any number in Part C, proceed to Part F and check "Not Subject to Permanent Storm Water BMP Requirements".

If "no" is checked for all of the numbers in Part C continue to Part D.

- Does the project only include interior remodels and/or is the project entirely within an existing enclosed structure and does not have the potential to contact storm water?  Yes  No
- Does the project only include the construction of overhead or underground utilities without creating new impervious surfaces?  Yes  No
- Does the project fall under routine maintenance? Examples include, but are not limited to: roof or exterior structure surface replacement, resurfacing or reconfiguring surface parking lots or existing roadways without expanding the impervious footprint, and routine replacement of damaged pavement (grinding, overlay, and pothole repair).  Yes  No

Page 3 of 4 City of San Diego • Development Services • Storm Water Requirements Applicability Checklist

**PART D: PDP Exempt Requirements.**  
PDP Exempt projects are required to implement site design and source control BMPs.

If "yes" was checked for any questions in Part D, continue to Part F and check the box labeled "PDP Exempt."

If "no" was checked for all questions in Part D, continue to Part E.

- Does the project ONLY include new or retrofit sidewalks, bicycle lanes, or trails that:
  - Are designed and constructed to direct storm water runoff to adjacent vegetated areas, or other non-erodible permeable areas? Or;
  - Are designed and constructed to be hydraulically disconnected from paved streets and roads? Or;
  - Are designed and constructed with permeable pavements or surfaces in accordance with the Green Streets guidance in the City's Storm Water Standards manual? Yes; PDP exempt requirements apply  No; next question
- Does the project ONLY include retrofitting or redeveloping existing paved alleys, streets or roads designed and constructed in accordance with the Green Streets guidance in the City's Storm Water Standards Manual?  
 Yes; PDP exempt requirements apply  No; project not exempt.

**PART E: Determine if Project is a Priority Development Project (PDP).**  
Projects that match one of the definitions below are subject to additional requirements including preparation of a Storm Water Quality Management Plan (SWQMP).

If "yes" is checked for any number in PART E, continue to PART F and check the box labeled "Priority Development Project".

If "no" is checked for every number in PART E, continue to PART F and check the box labeled "Standard Development Project".

- New Development that creates 10,000 square feet or more of impervious surfaces collectively over the project site. This includes commercial, industrial, residential, mixed-use, and public development projects on public or private land.  Yes  No
- Redevelopment project that creates and/or replaces 5,000 square feet or more of impervious surfaces on an existing site of 10,000 square feet or more of impervious surfaces. This includes commercial, industrial, residential, mixed-use, and public development projects on public or private land.  Yes  No
- New development or redevelopment of a restaurant. Facilities that sell prepared foods and drinks for consumption, including stationary lunch counters and refreshment stands selling prepared foods and drinks for immediate consumption (SIC 5812), and where the land development creates and/or replace 5,000 square feet or more of impervious surface.  Yes  No
- New development or redevelopment on a hillside. The project creates and/or replaces 5,000 square feet or more of impervious surface (collectively over the project site) and where the development will grade on any natural slope that is twenty-five percent or greater.  Yes  No
- New development or redevelopment of a parking lot that creates and/or replaces 5,000 square feet or more of impervious surface (collectively over the project site).  Yes  No
- New development or redevelopment of streets, roads, highways, freeways, and driveways. The project creates and/or replaces 5,000 square feet or more of impervious surface (collectively over the project site).  Yes  No

Page 4 of 4 City of San Diego • Development Services • Storm Water Requirements Applicability Checklist

- New development or redevelopment discharging directly to an Environmentally Sensitive Area. The project creates and/or replaces 2,500 square feet of impervious surface (collectively over project site), and discharges directly to an Environmentally Sensitive Area (ESA). "Discharging directly to" includes flow that is conveyed overland a distance of 200 feet or less from the project to the ESA, or conveyed in a pipe or open channel any distance as an isolated flow from the project to the ESA (i.e. not commingled with flows from adjacent lands).  Yes  No
- New development or redevelopment projects of a retail gasoline outlet (RGO) that create and/or replaces 5,000 square feet of impervious surface. The development project meets the following criteria: (a) 5,000 square feet or more or (b) has a projected Average Daily Traffic (ADT) of 100 or more vehicles per day.  Yes  No
- New development or redevelopment projects of an automotive repair shops that creates and/or replaces 5,000 square feet or more of impervious surfaces. Development projects categorized in any one of Standard Industrial Classification (SIC) codes 5013, 5014, 5541, 7532-7534, or 7536-7539.  Yes  No
- Other Pollutant Generating Project. The project is not covered in the categories above, results in the disturbance of one or more acres of land and is expected to generate pollutants post construction, such as fertilizers and pesticides. This does not include projects creating less than 5,000 sf of impervious surface and where added landscaping does not require regular use of pesticides and fertilizers, such as slope stabilization using native plants. Calculation of the square footage of impervious surface need not include linear pathways that are for infrequent vehicle use, such as emergency maintenance access or bicycle pedestrian use, if they are built with pervious surfaces or if they sheet flow to surrounding pervious surfaces.  Yes  No

**PART F: Select the appropriate category based on the outcomes of PART C through PART E.**

- The project is NOT SUBJECT TO PERMANENT STORM WATER REQUIREMENTS.
- The project is a STANDARD DEVELOPMENT PROJECT. Site design and source control BMP requirements apply. See the *Storm Water Standards Manual* for guidance.
- The project is PDP EXEMPT. Site design and source control BMP requirements apply. See the *Storm Water Standards Manual* for guidance.
- The project is a PRIORITY DEVELOPMENT PROJECT. Site design, source control, and structural pollutant control BMP requirements apply. See the *Storm Water Standards Manual* for guidance on determining if project requires a hydromodification plan management

Douglas E. Logan Engineer of Work  
Name of Owner or Agent (Please Print) Title  
Signature Date  
12/21/2020

CITY STANDARD TITLE BLOCK

PREPARED BY:	Revision 14:	
Name:	Revision 13:	
WILL & FOTSCH ARCHITECTS	Revision 12:	
Contact: Andy Fotsch	Revision 11:	
1298 Prospect Street, Ste. 25	Revision 10:	
La Jolla, CA 92037	Revision 09:	
Phone:	Revision 08:	
(858) 224-2486	Revision 07:	
Street Address:	Revision 06:	02/17/2022
8305, CALLE DEL CIELO, LA	Revision 05:	10/12/2022
JOLLA, CA 92037	Revision 04:	07/06/2022
APN: 346-190-01-00	Revision 03:	02/24/2022
Project Name:	Revision 02:	03-29-2021
CALLE DEL CIELO	Revision 01:	01-06-2021
Sheet Title:	Original Date:	01-06-2021
DS-560	Sheet:	2 of 17





**EARTHWORK QUANTITIES**

CUT = 3,065 C.Y. +/- FILL = 1,200 C.Y. +/-  
EXPORT = 1,865 C.Y. +/-

**EARTHWORK QUANTITIES NOTE:**

THE QUANTITIES OF CUT/FILL SHOWN HEREON WERE CALCULATED USING REASONABLE ENGINEERING METHODS AND ON A THEORETICAL BASIS ONLY. THEY DO NOT INCLUDE VOLUMES FOR CLEARING/GRUBBING, SHRINKAGE AND/OR SWELLING WHICH CAN/WILL INEVITABLY AFFECT THESE QUANTITIES. THE QUANTITIES ESTIMATED ARE FOR USE IN CALCULATING THE FEES AND BONDS REQUIRED BY THE PUBLIC AGENCY. GRADING CONTRACTOR TO BE RESPONSIBLE FOR DETERMINING THEIR OWN GRADING QUANTITIES.

**FOUND MONUMENT LEGEND**

- (A) FOUND LEAD & DISC STAMPED "RCE 13571" AS SHOWN ON PARCEL MAP NO. 14620.
- (B) FOUND 1/2" IRON PIPE, TAG ILLEGIBLE, PER MAP NO. 2996.
- (C) FOUND 2" IRON PIPE, RUSTED, NO DISC, PER PARCEL MAP NO. 14620.
- (D) FOUND 1/2" IRON PIPE, RUSTED, NO DISC, PER MAP NO. 2996.
- (E) FOUND HOLE IN CONCRETE, ACCEPTED AS LEAD & DISC STAMPED "LS 2717" PER PLAT 'A'.

**VISIBILITY TRIANGLE NOTE:**

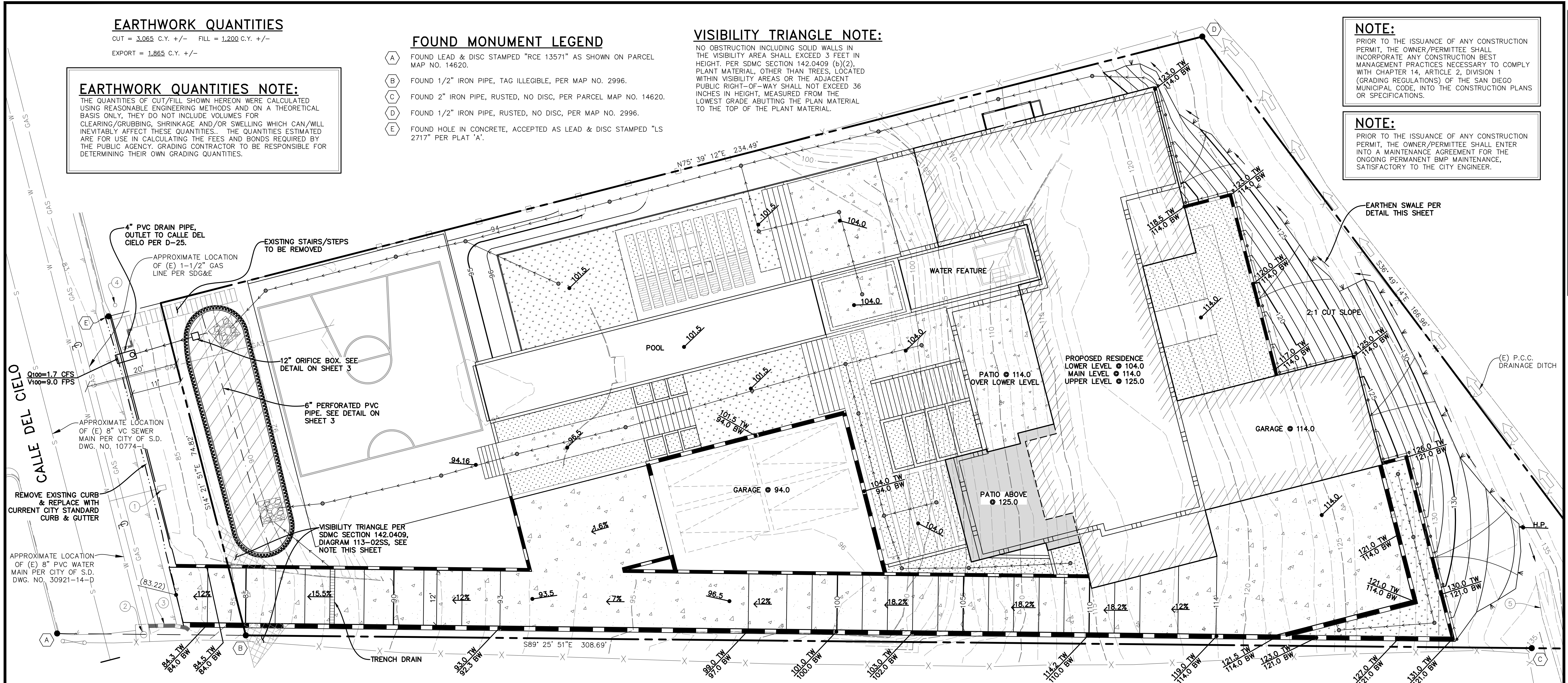
NO OBSTRUCTION INCLUDING SOLID WALLS IN THE VISIBILITY AREA SHALL EXCEED 3 FEET IN HEIGHT. PER SDMC SECTION 142.0409 (b)(2), PLANT MATERIAL, OTHER THAN TREES, LOCATED WITHIN VISIBILITY AREAS OR THE ADJACENT PUBLIC RIGHT-OF-WAY SHALL NOT EXCEED 36 INCHES IN HEIGHT, MEASURED FROM THE LOWEST GRADE ABUTTING THE PLAN MATERIAL TO THE TOP OF THE PLANT MATERIAL.

**NOTE:**

PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITEE SHALL INCORPORATE ANY CONSTRUCTION BEST MANAGEMENT PRACTICES NECESSARY TO COMPLY WITH CHAPTER 14, ARTICLE 2, DIVISION 1 (GRADING REGULATIONS) OF THE SAN DIEGO MUNICIPAL CODE, INTO THE CONSTRUCTION PLANS OR SPECIFICATIONS.

**NOTE:**

PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITEE SHALL ENTER INTO A MAINTENANCE AGREEMENT FOR THE ONGOING PERMANENT BMP MAINTENANCE, SATISFACTORY TO THE CITY ENGINEER.



**LEGEND**

DESCRIPTION	SYMBOL
PROJECT BOUNDARY	--- --
EXIST. EDGE OF PAVEMENT	--- --
EXIST. CONTOUR	--- --
PROP CONTOUR	--- --
BUILDING	///
BLDG. STEM WALL	
RETAINING WALL PER SDRSD "C-4"	--- --
NON-STANDARD DRIVEWAY PER EMRA	--- --
CONCRETE	--- --
LAWN AREA	••••
DECKING	--- --
BIO-RETENTION BASIN AREA=775 S.F. SEE DETAIL ON SHEET 3	--- --
6" AREA DRAIN	•
4" PVC DRAIN PIPE @ 1.0% MIN.	--- --
5'x5' RIP RAP DISSIPATOR PER D-40	--- --

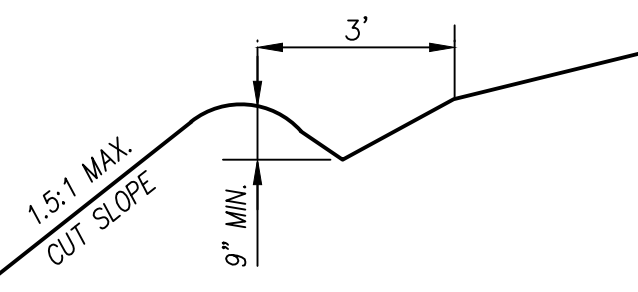
**EXISTING LEGEND**

- (1) WATER METER
- (2) WATER UTILITY
- (3) KEYSTONE WALL
- (4) TELECOMMUNICATIONS PEDESTAL
- (5) CONCRETE SWALE

**EASEMENT NOTE:**

NO EASEMENTS FOUND ON SITE

**EARTHEN SWALE @ CUT SLOPE**  
NOT TO SCALE



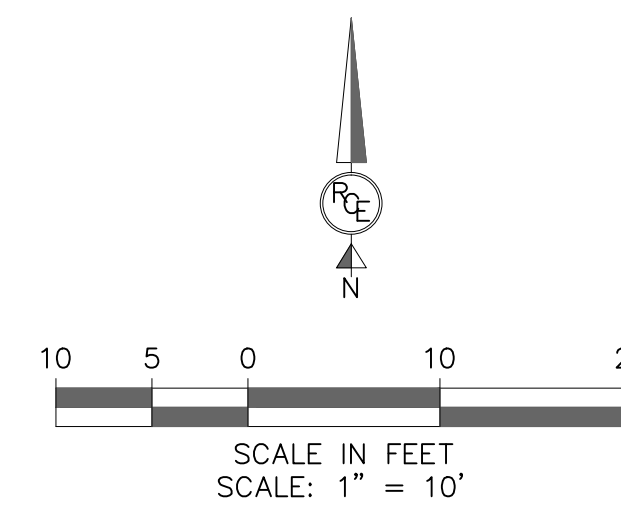
**ENGINEER OF WORK**

I HEREBY DECLARE THAT I AM THE ENGINEER OF WORK FOR THIS PROJECT AND THAT I HAVE EXERCISED RESPONSIBLE CHARGE OVER THE DESIGN OF THE PROJECT.

*Douglas E. Logan*  
DOUGLAS E. LOGAN DATE: 10/11/22  
C 39726 EXPIRES: 12/31/23

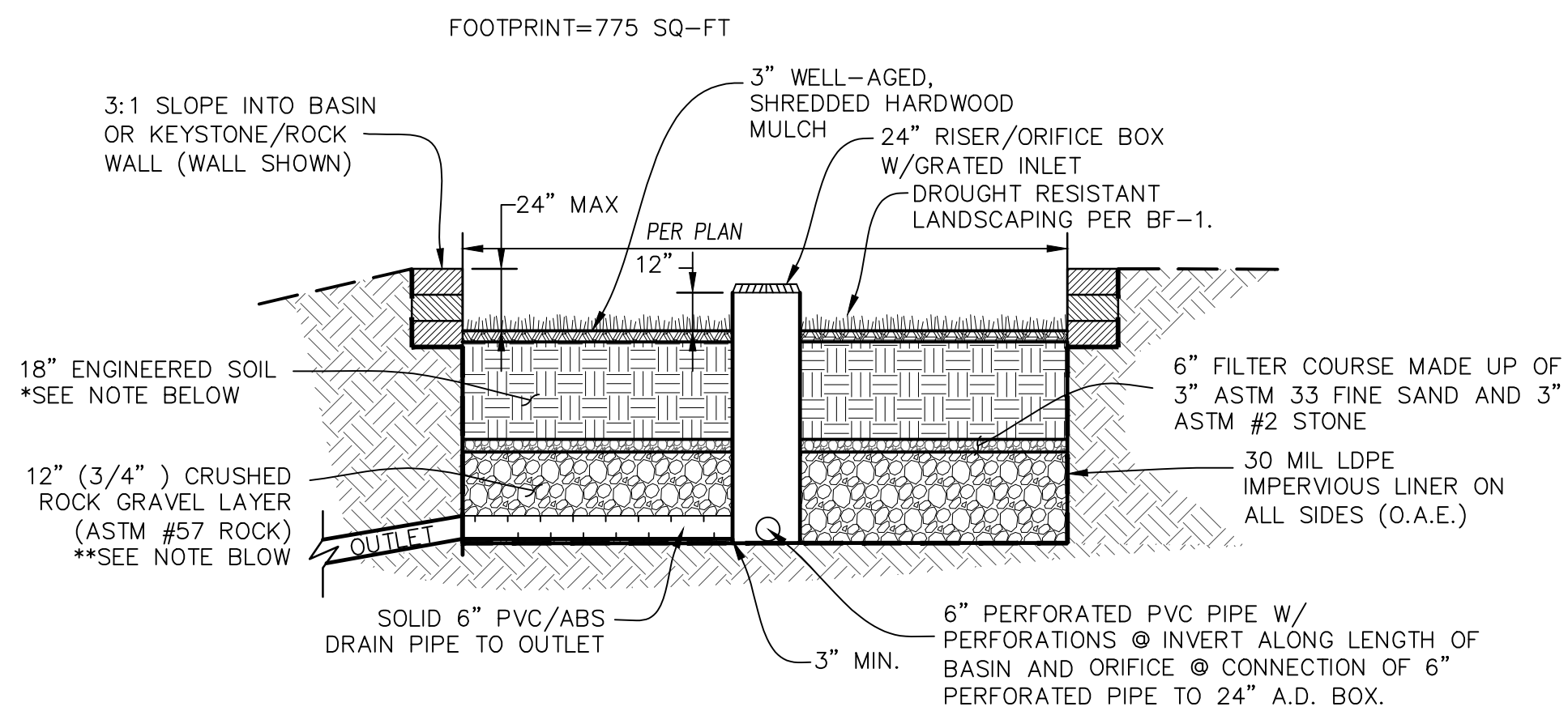


**RANCHO COASTAL ENGINEERING & SURVEYING**  
SINGLE SOURCE DEVELOPMENT CONSULTANT  
310 VIA VERA CRUZ, #205  
SAN MARCOS, CA. 92078  
(760) 510-3152 Ph / (760) 510-3153 Fax



WARNING		GRADING PLAN FOR: <b>CALLE DEL CIELO</b>	
0 1/2 1		BRIEF LEGAL DESCRIPTION (LOT 1 OF LA JOLLA SHORES TERRACE, MAP NO. 2996)	
IF THIS BAR DOES NOT MEASURE 1" THEN DRAWING IS NOT TO SCALE.		DEVELOPMENT SERVICES DEPARTMENT SHEET 2 OF 4 SHEETS	
FOR CITY APPROVAL		PMT NO. _____	
FOR CITY ENGINEER _____ DATE _____		PRJ NO. _____	
DESCRIPTION	BY	APPROVED	DATE
ORIGINAL	XXX		
AS BUILTS		XXXX-XXXX NAD83 COORDINATES	
CONTRACTOR _____		XXX-XXXX LAMBERT COORDINATES	
INSPECTOR _____		DRAWING NO. <b>G002</b>	
DATE STARTED _____		DATE COMPLETED _____	

PRELIMINARY - NOT FOR CONSTRUCTION  
ENGINEER'S NAME: RANCHO COASTAL ENGINEERING & SURVEYING  
PHONE NO. (760) 510-3152 // EMAIL: DOUG@RCESD.COM

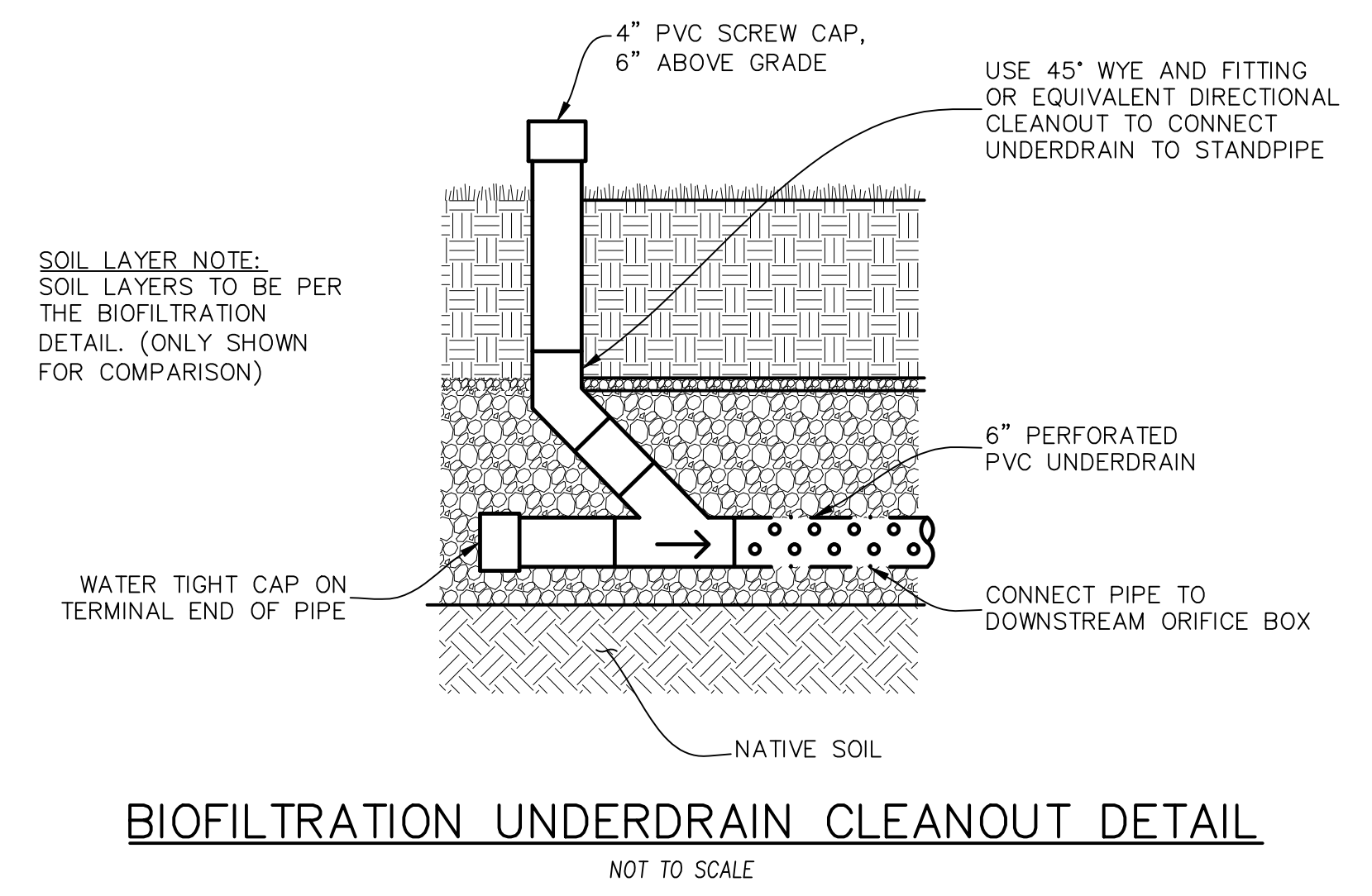
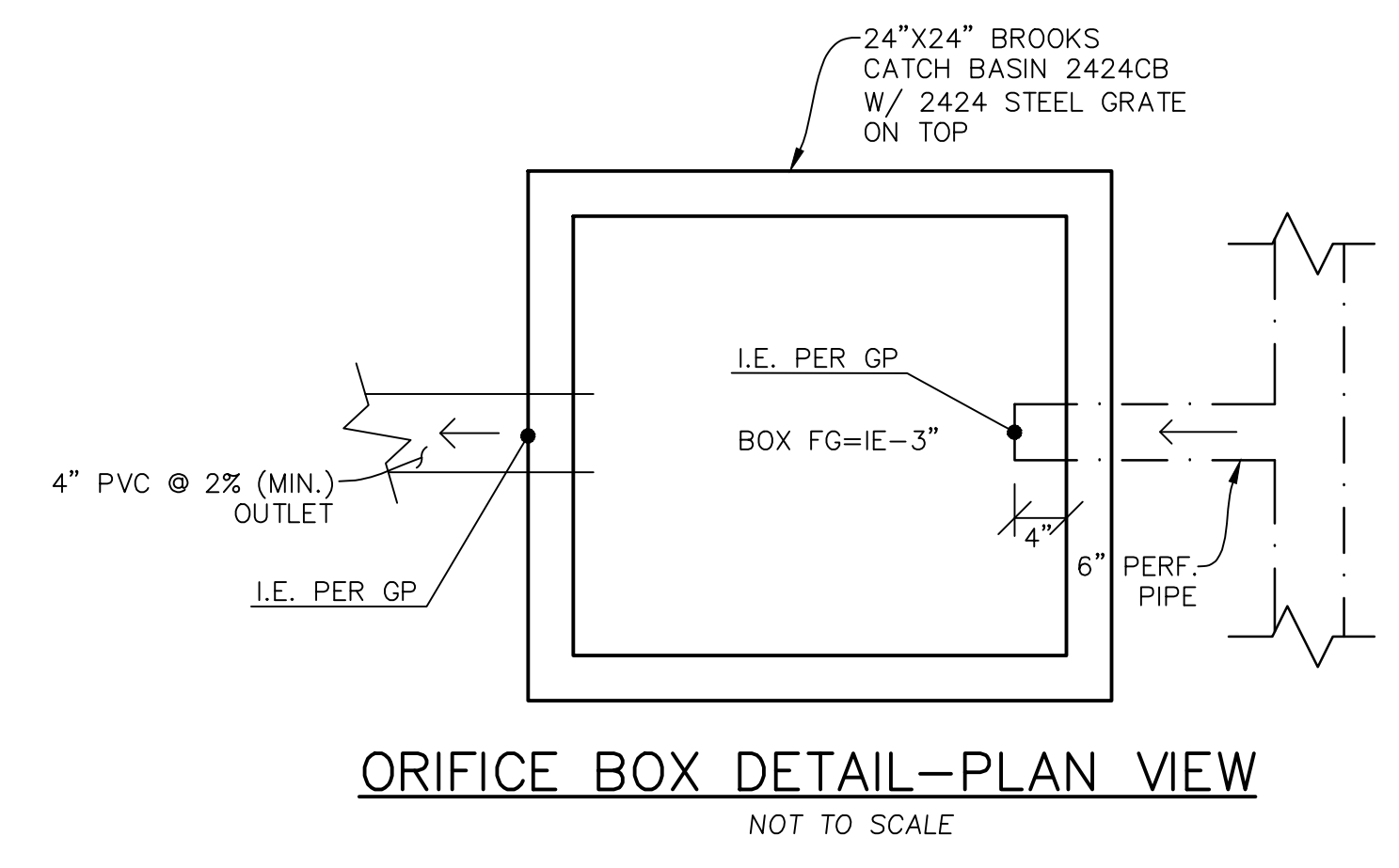


\*ENGINEERED SOIL NOTE: LAYER SHALL BE 18" DEEP AND SHALL HAVE VOLUME AND WEIGHT AS FOLLOWS (PER COSD LID MANUAL G.1.1) AND MINIMUM INFILTRATION RATE OF 5.0 IN/HR.:

SOIL	SANDY LOAM				COMPOST
	SAND	SILT	CLAY		
VOLUME	65%	20%			15%
WEIGHT	75-80%	10% MAX	3% MAX		9% MAX

\*\*12" CRUSHED ROCK LAYER, CL. II PERMEABLE ROCK WITH MIN. 40% POROSITY PER CALTRANS SPEC 68-202F(3).  
 NUTRIENT SENSITIVE MEDIA NOTE: ALL MEDIA SHALL COMPLY WITH THE NUTRIENT SENSITIVE MEDIA PER BF-2.  
 CHECK DAM SPACING: CHECK DAMS SHALL BE PLACED TO FACILITATE A MAXIMUM DEPTH OF 1 FOOT OF STORAGE IN EACH LIFT AS NEEDED.

**BIOFILTRATION W/NO INFILTRATION DETAIL FOR BF-1**  
 NOT TO SCALE



**RANCHO COASTAL ENGINEERING & SURVEYING**  
 SINGLE SOURCE DEVELOPMENT CONSULTANT  
 310 VIA VERA CRUZ, #205  
 SAN MARCOS, CA. 92078  
 (760) 510-3152 Ph / (760) 510-3153 Fax

WARNING 0 1/2 1 IF THIS BAR DOES NOT MEASURE 1" THEN DRAWING IS NOT TO SCALE.	<b>BIO-RETENTION DETAILS FOR:                  CALLE DEL CIELO</b> BRIEF LEGAL DESCRIPTION (LOT 1 OF LA JOLLA SHORES TERRACE, MAP NO. 2996)																					
	DEVELOPMENT SERVICES DEPARTMENT SHEET 3 OF 4 SHEETS	PMT NO. _____ PRJ NO. _____																				
APPROVED: FOR CITY ENGINEER _____ DATE _____	XXXX-XXXX NAD83 COORDINATES																					
<table border="1"> <thead> <tr> <th>DESCRIPTION</th> <th>BY</th> <th>APPROVED</th> <th>DATE</th> </tr> </thead> <tbody> <tr> <td>ORIGINAL</td> <td>XXX</td> <td></td> <td></td> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>	DESCRIPTION	BY	APPROVED	DATE	ORIGINAL	XXX															XXX-XXXX LAMBERT COORDINATES	
DESCRIPTION	BY	APPROVED	DATE																			
ORIGINAL	XXX																					
AS BUILTS CONTRACTOR _____ DATE STARTED _____ INSPECTOR _____ DATE COMPLETED _____	DRAWING NO. <b>G003</b>																					

**EROSION AND SEDIMENT CONTROL NOTES**

TEMPORARY EROSION/SEDIMENT CONTROL, PRIOR TO COMPLETION OF FINAL IMPROVEMENTS, SHALL BE PERFORMED BY THE CONTRACTOR OR QUALIFIED PERSON AS INDICATED BELOW:

- ALL REQUIREMENTS OF THE CITY OF SAN DIEGO "LAND DEVELOPMENT MANUAL, STORM WATER STANDARDS" MUST BE INCORPORATED INTO THE DESIGN AND CONSTRUCTION OF THE PROPOSED GRADING/IMPROVEMENTS CONSISTENT WITH THE APPROVED STORM WATER POLLUTION PREVENTION PLAN (SWPPP) AND/OR WATER POLLUTION CONTROL PLAN (WPCL) FOR CONSTRUCTION LEVEL BMP'S AND FOR PERMANENT POST CONSTRUCTION TREATMENT CONTROL PERMANENT BMP'S, THE WATER QUALITY TECHNICAL REPORT (WQTR) IF APPLICABLE.
- FOR STORM DRAIN INLETS, PROVIDE A GRAVEL BAG SILT BASIN IMMEDIATELY UPSTREAM OF INLET AS INDICATED ON DETAILS.
- FOR INLETS LOCATED AT SUMPS ADJACENT TO TOP OF SLOPES, THE CONTRACTOR SHALL ENSURE THAT WATER DRAINING TO THE SUMP IS DIRECTED INTO THE INLET AND THAT A MINIMUM OF 1.00' FREEBOARD EXISTS AND IS MAINTAINED ABOVE THE TOP OF THE INLET. IF FREEBOARD IS NOT PROVIDED BY GRADING SHOWN ON THESE PLANS, THE CONTRACTOR SHALL PROVIDE IT VIA TEMPORARY MEASURES, I.E. GRAVEL BAGS OR DIKES.
- THE CONTRACTOR OR QUALIFIED PERSON SHALL BE RESPONSIBLE FOR CLEANUP OF SILT AND MUD ON ADJACENT STREET(S) AND STORM DRAIN SYSTEM DUE TO CONSTRUCTION ACTIVITY.
- THE CONTRACTOR OR QUALIFIED PERSON SHALL CHECK AND MAINTAIN ALL LINED AND UNLINED DITCHES AFTER EACH RAINFALL.
- THE CONTRACTOR SHALL REMOVE SILT AND DEBRIS AFTER EACH MAJOR RAINFALL.
- EQUIPMENT AND WORKERS FOR EMERGENCY WORK SHALL BE MADE AVAILABLE AT ALL TIMES DURING THE RAINY SEASON. ALL NECESSARY MATERIALS SHALL BE STOCKPILED ON SITE AT CONVENIENT LOCATIONS TO FACILITATE RAPID CONSTRUCTION OF TEMPORARY DEVICES WHEN RAIN IS IMMINENT.
- THE CONTRACTOR SHALL RESTORE ALL EROSION/SEDIMENT CONTROL DEVICES TO WORKING ORDER TO THE SATISFACTION OF THE CITY ENGINEER OR RESIDENT ENGINEER AFTER EACH RUN-OFF PRODUCING RAINFALL.
- THE CONTRACTOR SHALL INSTALL ADDITIONAL EROSION/SEDIMENT CONTROL MEASURES AS MAY BE REQUIRED BY THE RESIDENT ENGINEER DUE TO UNCOMPLETED GRADING OPERATIONS OR UNFORESEEN CIRCUMSTANCES, WHICH MAY ARISE.
- THE CONTRACTOR SHALL BE RESPONSIBLE AND SHALL TAKE NECESSARY PRECAUTIONS TO PREVENT PUBLIC TRESPASS ONTO AREAS WHERE IMPOUNDED WATERS CREATE A HAZARDOUS CONDITION.
- ALL EROSION/SEDIMENT CONTROL MEASURES PROVIDED PER THE APPROVED GRADING PLAN SHALL BE INCORPORATED HEREON. ALL EROSION/SEDIMENT CONTROL FOR INTERIM CONDITIONS SHALL BE DONE TO THE SATISFACTION OF THE RESIDENT ENGINEER.
- GRADED AREAS AROUND THE PROJECT PERIMETER MUST DRAIN AWAY FROM THE FACE OF THE SLOPE AT THE CONCLUSION OF EACH WORKING DAY.
- ALL REMOVABLE PROTECTIVE DEVICES SHOWN SHALL BE IN PLACE AT THE END OF EACH WORKING DAY WHEN RAIN IS IMMINENT.
- THE CONTRACTOR SHALL ONLY GRADE, INCLUDING CLEARING AND GRUBBING FOR THE AREAS FOR WHICH THE CONTRACTOR OR QUALIFIED PERSON CAN PROVIDE EROSION/SEDIMENT CONTROL MEASURES.
- THE CONTRACTOR SHALL ARRANGE FOR WEEKLY MEETINGS DURING OCTOBER 1ST TO APRIL 30TH FOR PROJECT TEAM (GENERAL CONTRACTOR, QUALIFIED PERSON, EROSION CONTROL SUBCONTRACTOR IF ANY, ENGINEER OF WORK, OWNER/DEVELOPER AND THE RESIDENT ENGINEER) TO EVALUATE THE ADEQUACY OF THE EROSION/SEDIMENT CONTROL MEASURES AND OTHER RELATED CONSTRUCTION ACTIVITIES.

**MINIMUM POST-CONSTRUCTION MAINTENANCE PLAN**

AT THE COMPLETION OF THE WORK SHOWN, THE FOLLOWING PLAN SHALL BE FOLLOWED TO ENSURE WATER QUALITY CONTROL IS MAINTAINED FOR THE LIFE OF THE PROJECT:

- STABILIZATION:** ALL PLANTED SLOPES AND OTHER VEGETATED AREAS SHALL BE INSPECTED PRIOR TO OCTOBER 1 OF EACH YEAR AND AFTER MAJOR RAINFALL EVENTS (MORE THAN 1/2 INCH) AND REPAIRED AND REPLANTED AS NEEDED UNTIL A NOTICE OF TERMINATION (NOT) IS FILED.
- STRUCTURAL PRACTICES:** DESILTING BASINS, DIVERSION DITCHES, DOWNDRAINS, INLETS, OUTLET PROTECTION MEASURES, AND OTHER PERMANENT WATER QUALITY AND SEDIMENT AND EROSION CONTROLS SHALL BE INSPECTED PRIOR TO OCTOBER 1ST OF EACH YEAR AND AFTER MAJOR RAINFALL EVENTS (MORE THAN 1/2 INCH). REPAIRS AND REPLACEMENTS SHALL BE MADE AS NEEDED AND RECORDED IN THE MAINTENANCE LOG IN PERPETUITY.
- OPERATION AND MAINTENANCE, FUNDING:** POST-CONSTRUCTION MANAGEMENT MEASURES ARE THE RESPONSIBILITY OF THE DEVELOPER UNTIL THE TRANSFER OF RESPECTIVE SITES TO HOME BUILDERS, INDIVIDUAL OWNERS, HOMEOWNERS ASSOCIATIONS, SCHOOL DISTRICTS, OR LOCAL AGENCIES AND/OR GOVERNMENTS. AT THAT TIME, THE NEW OWNERS SHALL ASSUME RESPONSIBILITY FOR THEIR RESPECTIVE PORTIONS OF THE DEVELOPMENT.

**POST-CONSTRUCTION BMP CERTIFICATION REQUIREMENTS**

PRIOR TO FINAL INSPECTION, A SELF-CERTIFICATION FORM FOR THE INSTALLATION OF PERMANENT BMP'S WILL BE COMPLETED AND SUBMITTED TO THE BUILDING INSPECTOR OF DEVELOPMENT SERVICES DEPARTMENT. CERTIFICATION BY A REGISTERED CIVIL ENGINEER VERIFIES THE INSPECTION OF FINAL CONSTRUCTION CONDITIONS AND THAT ALL LOW IMPACT DEVELOPMENT (LID) SITE DESIGN, SOURCE CONTROL, TREATMENT CONTROL AND HYDROMODIFICATION CONTROL BMP'S IDENTIFIED WITHIN THE APPROVED WQTR HAVE BEEN CONSTRUCTED IN CONFORMANCE WITH THE APPROVED PLANS AND APPLICABLE SPECIFICATIONS, AND ARE DEEMED FUNCTIONAL FOR THE LEVEL OF TREATMENT QUALITY AND QUANTITY REQUIRED IN NOPES PERMIT NO. CAS0108758.

**PERMANENT POST-CONSTRUCTION BMP NOTES**

- OPERATION AND MAINTENANCE SHALL BE SECURED BY AN EXECUTED AND RECORDED STORM WATER MANAGEMENT AND DISCHARGE CONTROL MAINTENANCE AGREEMENT (SMDMA), OR ANOTHER MECHANISM APPROVED BY THE CITY ENGINEER, THAT ASSURES ALL PERMANENT BMP'S WILL BE MAINTAINED IN PERPETUITY, PER THE LAND DEVELOPMENT MANUAL, STORM WATER STANDARDS.
- ANY MODIFICATION(S) TO THE PERMANENT POST CONSTRUCTION BMP DEVICES/STRUCTURES SHOWN ON PLAN REQUIRES A CONSTRUCTION CHANGE TO BE PROCESSED AND APPROVED THROUGH DEVELOPMENT SERVICES DEPARTMENT BY THE ENGINEER OF WORK. APPROVAL OF THE CONSTRUCTION CHANGE IS REQUIRED PRIOR TO CONSTRUCTION OF THE PERMANENT BMP.

**CONSTRUCTION BMP GENERAL NOTES**

PRIOR TO ANY SOIL DISTURBANCE, TEMPORARY EROSION AND SEDIMENT CONTROL SHALL BE INSTALLED BY THE CONTRACTOR OR QUALIFIED PERSON(S) AS INDICATED BELOW:

- ALL REQUIREMENTS OF THE CITY OF SAN DIEGO "LAND DEVELOPMENT MANUAL, STORM WATER STANDARDS" MUST BE INCORPORATED INTO THE DESIGN AND CONSTRUCTION OF THE PROPOSED GRADING/IMPROVEMENTS CONSISTENT WITH THE APPROVED STORM WATER POLLUTION PREVENTION PLAN (SWPPP) AND/OR WATER POLLUTION CONTROL PLAN (WPCL) FOR CONSTRUCTION LEVEL BMP'S AND, IF APPLICABLE, THE STORM WATER QUALITY MANAGEMENT PLAN (SWQMP) FOR POST CONSTRUCTION TREATMENT CONTROL BMP'S.
- THE CONTRACTOR SHALL INSTALL AND MAINTAIN ALL STORM DRAIN INLETS. INLET PROTECTION IN THE PUBLIC RIGHT OF WAY MAY BE TEMPORARILY REMOVED WHERE IT IS PRONE TO FLOODING PRIOR TO A RAIN EVENT AND REINSTALLED AFTER RAIN IS OVER.
- ALL CONSTRUCTION BMP'S SHALL BE INSTALLED AND PROPERLY MAINTAINED THROUGHOUT THE DURATION OF CONSTRUCTION.
- THE CONTRACTOR SHALL ONLY GRADE, INCLUDING CLEARING AND GRUBBING, AREAS FOR WHICH THE CONTRACTOR OR QUALIFIED PERSON CAN PROVIDE EROSION AND SEDIMENT CONTROL MEASURES.
- THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ALL SUB-CONTRACTORS AND SUPPLIERS ARE AWARE OF ALL STORM WATER QUALITY MEASURES AND IMPLEMENT SUCH MEASURES. FAILURE TO COMPLY WITH THE APPROVED SWPPP/WPCP WILL RESULT IN THE ISSUANCE OF CORRECTION NOTICES, CITATIONS, CIVIL PENALTIES AND/OR STOP WORK NOTICES.
- THE CONTRACTOR OR QUALIFIED PERSON SHALL BE RESPONSIBLE FOR CLEANUP OF ALL SILT, DEBRIS AND MUD ON AFFECTED AND ADJACENT STREET(S) AND WITHIN STORM DRAIN SYSTEM DUE TO CONSTRUCTION VEHICLES/EQUIPMENT AND CONSTRUCTION ACTIVITY AT THE END OF EACH WORK DAY.
- THE CONTRACTOR SHALL PROTECT NEW AND EXISTING STORM WATER CONVEYANCE SYSTEMS FROM SEDIMENTATION, CONCRETE RISE, OR OTHER CONSTRUCTION RELATED DEBRIS AND DISCHARGES WITH THE APPROPRIATE BMP'S THAT ARE ACCEPTABLE TO THE ENGINEER AND AS INDICATED IN THE SWPPP/WPCP.
- THE CONTRACTOR OR QUALIFIED PERSON SHALL CLEAR DEBRIS, SILT, AND MUD FROM ALL DITCHES AND SWALES PRIOR TO AND WITHIN 3 BUSINESS DAYS AFTER EACH RAIN EVENT OR PRIOR TO THE NEXT RAIN EVENT, WHICHEVER IS SOONER.
- IF A NON-STORMWATER DISCHARGE LEAVES THE SITE, THE CONTRACTOR SHALL IMMEDIATELY STOP THE ACTIVITY AND REPAIR THE DAMAGES. THE CONTRACTOR SHALL NOTIFY THE CITY RESIDENT ENGINEER OF THE DISCHARGE, PRIOR TO RESUMING CONSTRUCTION ACTIVITY. ANY AND ALL WASTE MATERIAL, SEDIMENT, AND DEBRIS FROM EACH NON-STORMWATER DISCHARGE SHALL BE REMOVED FROM THE STORM DRAIN CONVEYANCE SYSTEM AND PROPERLY DISPOSED OF BY THE CONTRACTOR.
- EQUIPMENT AND WORKERS FOR EMERGENCY WORK SHALL BE MADE AVAILABLE AT ALL TIMES. ALL NECESSARY MATERIALS SHALL BE STOCKPILED ON SITE AT CONVENIENT LOCATIONS TO FACILITATE RAPID DEPLOYMENT OF CONSTRUCTION BMP'S WHEN RAIN IS IMMINENT.
- THE CONTRACTOR SHALL RESTORE AND MAINTAIN ALL EROSION AND SEDIMENT CONTROL BMP'S TO WORKING ORDER YEAR ROUND.
- THE CONTRACTOR SHALL INSTALL ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES DUE TO GRADING INACTIVITY OR UNFORESEEN CIRCUMSTANCES TO PREVENT NON-STORM WATER AND SEDIMENT-LADEN DISCHARGES.
- THE CONTRACTOR SHALL BE RESPONSIBLE AND SHALL TAKE NECESSARY PRECAUTIONS TO PREVENT PUBLIC TRESPASS ONTO AREAS WHERE IMPOUNDED WATERS CREATE A HAZARDOUS CONDITION.
- ALL EROSION AND SEDIMENT CONTROL MEASURES PROVIDED PER THE APPROVED SWPPP/WPCP SHALL BE INSTALLED AND MAINTAINED. ALL EROSION AND SEDIMENT CONTROL FOR INTERIM CONDITIONS SHALL BE PROPERLY DOCUMENTED AND INSTALLED TO THE SATISFACTION OF THE RESIDENT ENGINEER.
- UPON NOTIFICATION BY THE RESIDENT ENGINEER, THE CONTRACTOR SHALL ARRANGE FOR MEETINGS DURING OCTOBER 1ST TO APRIL 30TH FOR PROJECT TEAM (GENERAL CONTRACTOR, QUALIFIED PERSON, EROSION CONTROL SUBCONTRACTOR IF ANY, ENGINEER OF WORK, OWNER/DEVELOPER AND THE RESIDENT ENGINEER) TO EVALUATE THE ADEQUACY OF THE EROSION AND SEDIMENT CONTROL MEASURES AND OTHER BMP'S RELATIVE TO ANTICIPATED CONSTRUCTION ACTIVITIES.
- THE CONTRACTOR SHALL CONDUCT VISUAL INSPECTIONS DAILY AND MAINTAIN ALL BMP'S AS NEEDED. VISUAL INSPECTIONS AND MAINTENANCE OF ALL BMP'S SHALL BE CONDUCTED BEFORE, DURING AND AFTER EVERY RAIN EVENT AND EVERY 24 HOURS DURING ANY PROLONGED RAIN EVENT. THE CONTRACTOR SHALL MAINTAIN AND REPAIR ALL BMP'S AS SOON AS POSSIBLE AS SAFETY ALLOWS.
- CONSTRUCTION ENTRANCE AND EXIT AREA. TEMPORARY CONSTRUCTION ENTRANCE AND EXITS SHALL BE CONSTRUCTED IN ACCORDANCE WITH CASQA FACT SHEET TC-10R CALTRANS FACT SHEET TC-01 TO PREVENT TRACKING OF SEDIMENT AND OTHER POTENTIAL POLLUTANTS ONTO PAVED SURFACES AND TRAVELED WAYS. WIDTH SHALL BE 10' OR THE MINIMUM NECESSARY TO ACCOMMODATE VEHICLES AND EQUIPMENT WITHOUT BY-PASSING THE ENTRANCE.

(o) NON-STORMWATER DISCHARGES SHALL BE EFFECTIVELY MANAGED PER THE SAN DIEGO MUNICIPAL CODE CHAPTER 4, ARTICLE 3, DIVISION 3 "STORM WATER MANAGEMENT AND DISCHARGE CONTROL".

**STORM WATER REQUIREMENTS**

- THIS PROJECT IS SUBJECT TO MUNICIPAL CODE SECTION 4303 AND ORDER NO. R9-2013-0001 AS AMENDED BY R9-2015-0001 AND R9-2015-0100
- ALL WORK RELATED TO POST-CONSTRUCTION STORMWATER QUALITY SHALL BE IN ACCORDANCE WITH THE STORM WATER QUALITY MANAGEMENT PLAN ENTITLED, PDP/SWQMP FOR CALLE DEL CIELO - 8305 CALLE DEL CIELO, PREPARED BY RANCHO COASTAL ENGINEERING & SURVEYING, INC., REPORT DATE 03-28-2022
- POST-CONSTRUCTION BMP'S ARE REQUIRED, SEE THIS SHEET.

**ENVIRONMENTAL/MITIGATION REQUIREMENTS:**

**A. GENERAL REQUIREMENTS**

1. PRE-CONSTRUCTION MEETING IS REQUIRED TEN (10) WORKING DAYS PRIOR TO BEGINNING ANY WORK ON THIS PROJECT. THE PERMIT HOLDER IS RESPONSIBLE TO ARRANGE AND PERFORM THIS MEETING BY CONTACTING THE CITY RESIDENT ENGINEER (RE) OF THE THE CONSTRUCTION MANAGEMENT & FIELD SERVICES DIVISION AND CITY STAFF FROM MITIGATION MONITORING COORDINATION (MMC). ATTENDEES MUST ALSO INCLUDE THE PERMIT HOLDER'S REPRESENTATIVE(S), JOB SITE SUPERINTENDENT AND THE FOLLOWING CONSULTANTS:

- RANCHO COASTAL ENGINEERING & SURVEYING, INC.  
310 VIA VERA CRUZ #205  
SAN MARCOS, CA 92078  
CONTACT: DOUG LOGAN  
PHONE: (858) 775-8474
- GEOTECHNICAL EXPLORATION, INC.  
7420 TRADE STREET  
SAN DIEGO, CA 92121  
CONTACT: JAIME A. CERROS  
PHONE: (858) 549-7222

NOTE: FAILURE OF ALL RESPONSIBLE PERMIT HOLDER'S REPRESENTATIVES AND CONSULTANTS TO ATTEND SHALL REQUIRE AN ADDITIONAL MEETING WITH ALL PARTIES PRESENT.

**CONTACT INFORMATION:**

a) THE PRIMARY POINT OF CONTACT IS THE RE AT THE CONSTRUCTION MANAGEMENT & FIELD SERVICES DIVISION AT 858-627-3200.  
b) IT IS ALSO REQUIRED TO CALL THE RE AND MMC AT 858-627-3360 FOR CLARIFICATION OF ENVIRONMENTAL REQUIREMENTS.

2. MMRP COMPLIANCE: THIS PROJECT, PROJECT TRACKING SYSTEM (PTS) # \_\_\_\_\_ AND/OR ENVIRONMENTAL DOCUMENT # \_\_\_\_\_ SHALL CONFORM TO THE MITIGATION REQUIREMENTS CONTAINED IN THE ASSOCIATED ENVIRONMENTAL DOCUMENT AND SHALL BE IMPLEMENTED TO THE SATISFACTION OF DSD'S ENVIRONMENTAL DESIGNER (MMC) AND THE RE. THE REQUIREMENTS MAY NOT BE REDUCED OR CHANGED BUT MAY BE ANNOTATED (I.E. TO EXPLAIN WHEN AND HOW COMPLIANCE IS BEING MET AND LOCATION OF VERIFYING PROOF, ETC.). ADDITIONAL CLARIFYING INFORMATION MAY ALSO BE ADDED TO OTHER RELEVANT PLAN SHEETS AND/OR SPECIFICATIONS AS APPROPRIATE (E.G. SPECIFIC LOCATIONS, TIMES OF MONITORING, METHODOLOGY, ETC.).

NOTE: PERMIT HOLDER'S REPRESENTATIVES MUST ALERT THE RE AND MMC IF THERE ARE ANY DISCREPANCIES IN THE PLANS, NOTES OR ANY CHANGES DUE TO FIELD CONDITIONS. ALL CONFLICTS MUST BE APPROVED BY THE RE AND MMC BEFORE THE WORK IS PERFORMED.

3. OTHER AGENCY REQUIREMENTS: EVIDENCE OF COMPLIANCE WITH ALL OTHER AGENCY REQUIREMENTS OR PERMITS SHALL BE SUBMITTED TO THE RE AND MMC FOR REVIEW AND ACCEPTANCE PRIOR TO THE BEGINNING OF WORK OR WITHIN ONE (1) WEEK OF THE PERMIT HOLDER OBTAINING DOCUMENTATION OF THOSE PERMITS OR REQUIREMENTS. EVIDENCE SHALL INCLUDE COPIES OF PERMITS, LETTERS OF RESOLUTION OR OTHER DOCUMENTATION ISSUED BY THE RESPONSIBLE AGENCY.

[ LIST PROJECT SPECIFIC REQUIRED PERMITS AND CIVIL PENALTY DOCUMENTS HERE ]

4. MONITORING EXHIBITS: ALL CONSULTANTS ARE REQUIRED TO SUBMIT TO THE RE AND MMC, A MONITORING EXHIBIT ON A 11"x17" REDUCTION OF THE APPROPRIATE CONSTRUCTION PLAN, SUCH AS SITE PLAN, GRADING, LANDSCAPE, ETC. MARKED TO CLEARLY SHOW THE SPECIFIC AREAS INCLUDING THE LIMIT OF WORK, SCOPE OF THAT DISCIPLINE'S WORK, AND NOTES INDICATING WHEN IN THE CONSTRUCTION SCHEDULE THAT WORK WILL BE PERFORMED. WHEN NECESSARY FOR CLARIFICATION, A DETAILED METHODOLOGY OF HOW THE WORK WILL BE PERFORMED SHALL BE INCLUDED.

NOTE: SURETY AND COST RECOVERY - WHEN DEEMED NECESSARY BY THE DEVELOPMENT SERVICES DIRECTOR OR CITY MANAGER, THEY MAY REQUIRE ADDITIONAL SURETY INSTRUMENTS OR BONDS FROM THE PERMIT HOLDER TO ENSURE THE LONG TERM PERFORMANCE OR IMPLEMENTATION OF REQUIRED MITIGATION MEASURES OR PROGRAMS. THE CITY IS AUTHORIZED TO RECOVER ITS COST TO OFFSET THE SALARY, OVERHEAD, AND EXPENSES FOR CITY PERSONNEL AND PROGRAMS TO MONITOR QUALIFYING PROJECTS.

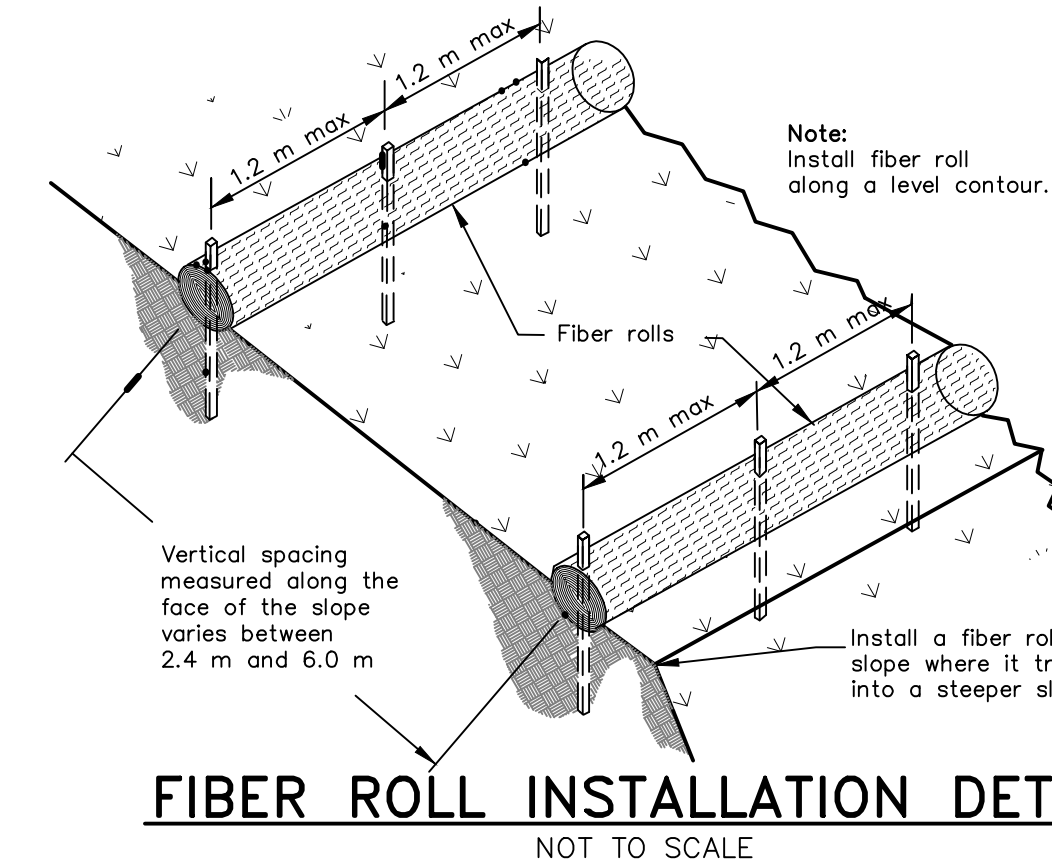
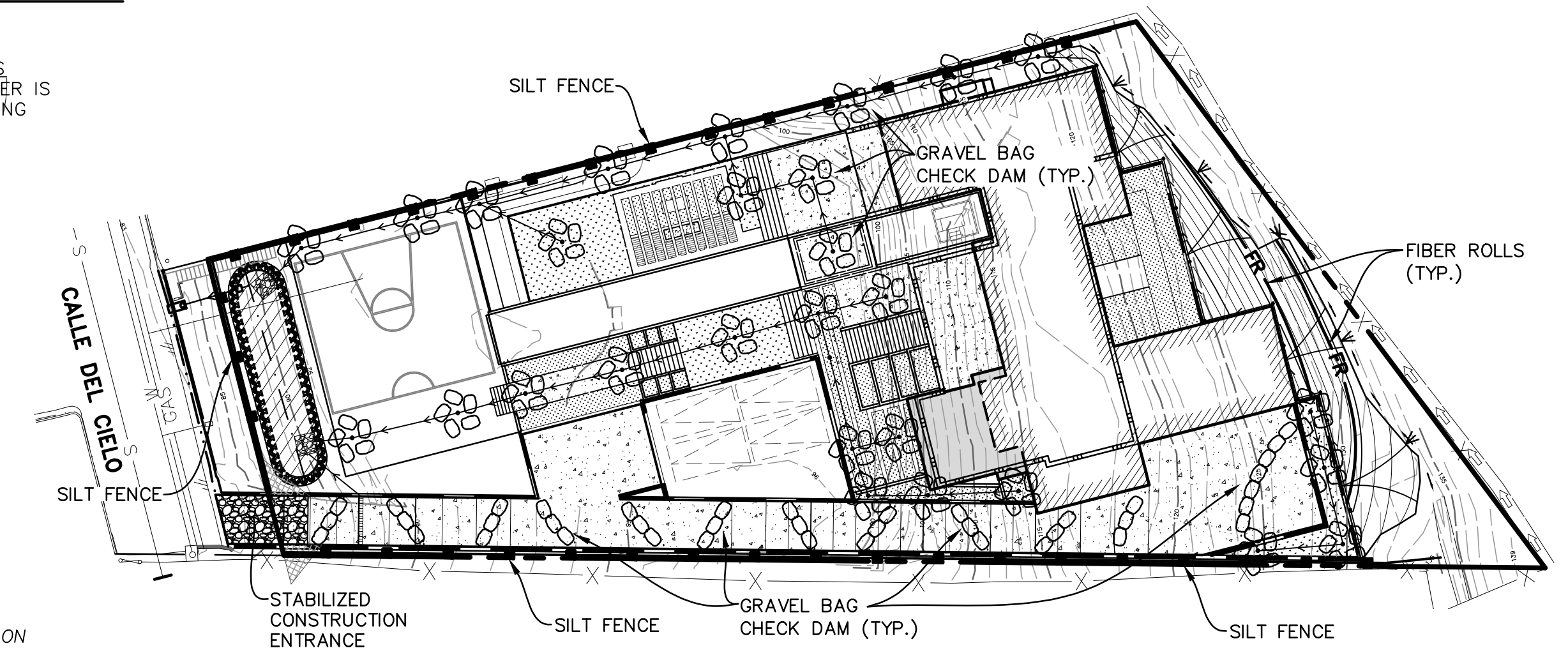
5. OTHER SUBMITTALS AND INSPECTIONS: THE PERMIT HOLDER'S REPRESENTATIVES SHALL SUBMIT ALL REQUIRED DOCUMENTATION, VERIFICATION LETTERS, AND REQUESTS FOR ALL ASSOCIATED INSPECTIONS TO THE RE AND MMC FOR APPROVAL PER THE FOLLOWING SCHEDULE:

- PER SOILS ENGINEER RECOMMENDATIONS
- | ISSUE AREA     | DOCUMENT SUBMITTAL | ASSOC |
|----------------|--------------------|-------|
| INSPECTION/APV | NOTES              |       |

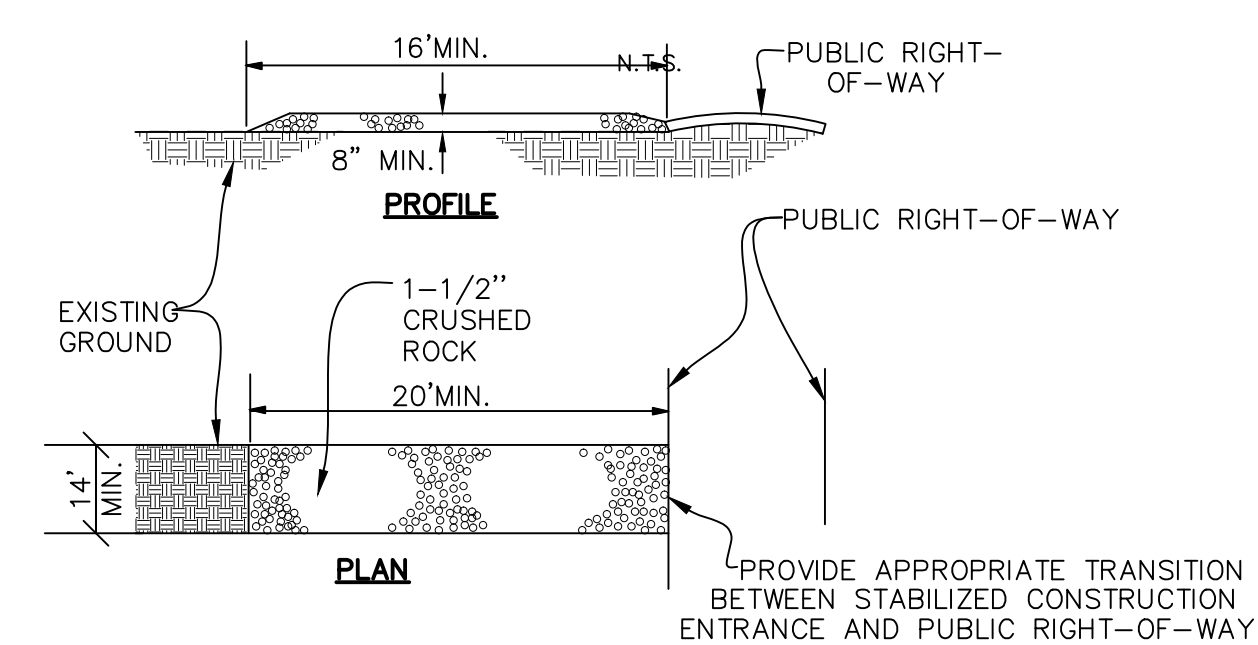
**B. SPECIFIC MMRP ISSUE AREA CONDITIONS/REQUIREMENTS**

[ LIST ONLY PROJECT SPECIFIC MMRP ISSUE/CONDITIONS HERE ]

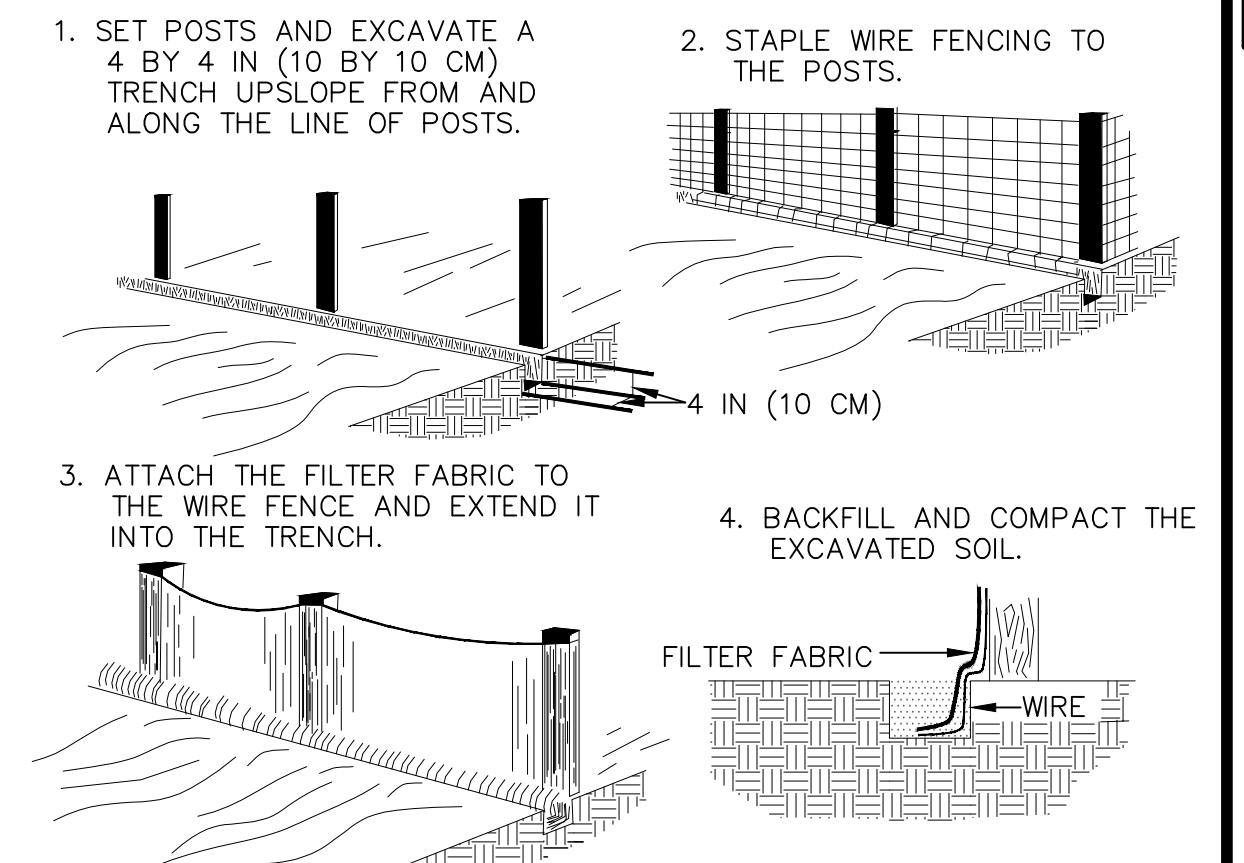
ISSUE AREA - CONDITIONS



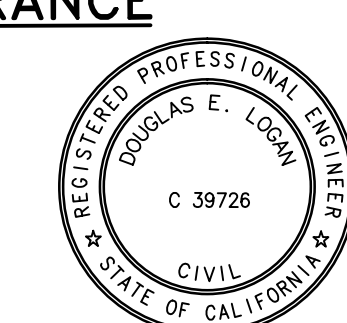
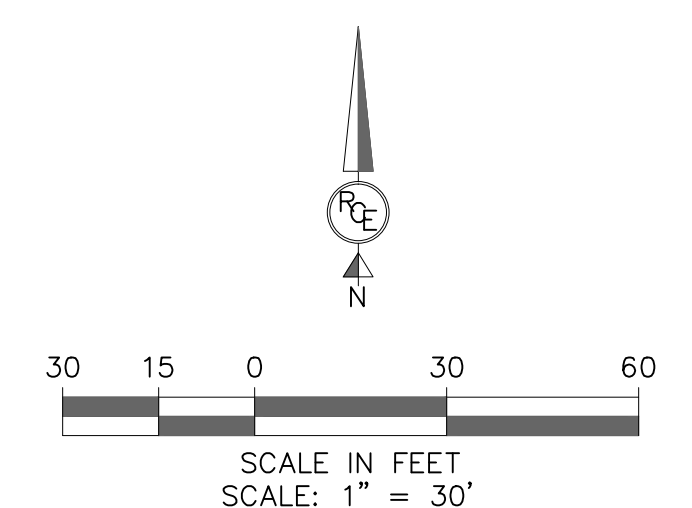
**FIBER ROLL INSTALLATION DETAIL**  
NOT TO SCALE



**STABILIZED CONSTRUCTION ENTRANCE**  
NOT TO SCALE



**SILT FENCE DETAIL**  
NOT TO SCALE  
SC-1



**RANCHO COASTAL ENGINEERING & SURVEYING**  
SINGLE SOURCE DEVELOPMENT CONSULTANT  
310 VIA VERA CRUZ, #205  
SAN MARCOS, CA. 92078  
(760) 510-3152 Ph / (760) 510-3153 Fax

WARNING		EROSION CONTROL PLAN FOR: <b>CALLE DEL CIELO</b>	
0 1/2 1		BRIEF LEGAL DESCRIPTION (LOT 1 OF LA JOLLA SHORES TERRACE, MAP NO. 2996)	
IF THIS BAR DOES NOT MEASURE 1\"/>			

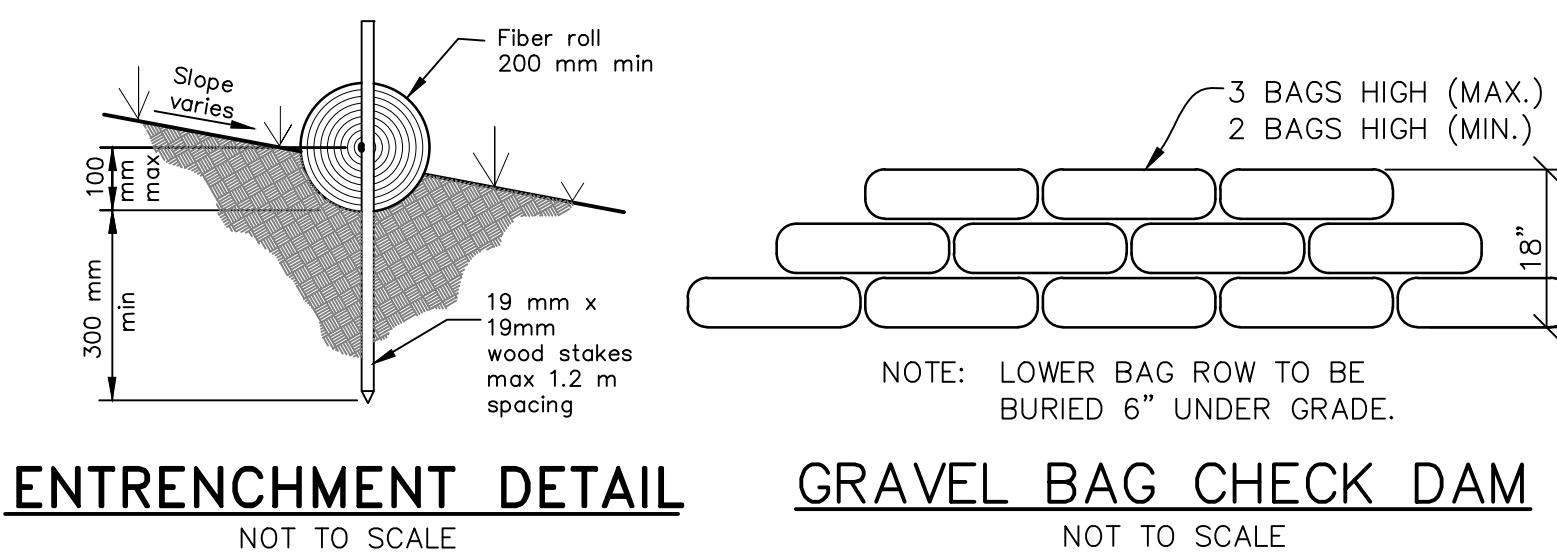
The City of **SAN DIEGO**

**DEVELOPMENT SERVICES DEPARTMENT**

SHEET 4 OF 4 SHEETS

FOR CITY APPROVAL

FOR CITY ENGINEER		DATE		PMT NO. _____
DESCRIPTION	BY	APPROVED	DATE	PRJ NO. _____
ORIGINAL	XXX			XXXX-XXXX NAD83 COORDINATES
				XXX-XXXX LAMBERT COORDINATES
AS BUILTS				DRAWING NO.
CONTRACTOR		DATE STARTED		<b>G004</b>
INSPECTOR		DATE COMPLETED		



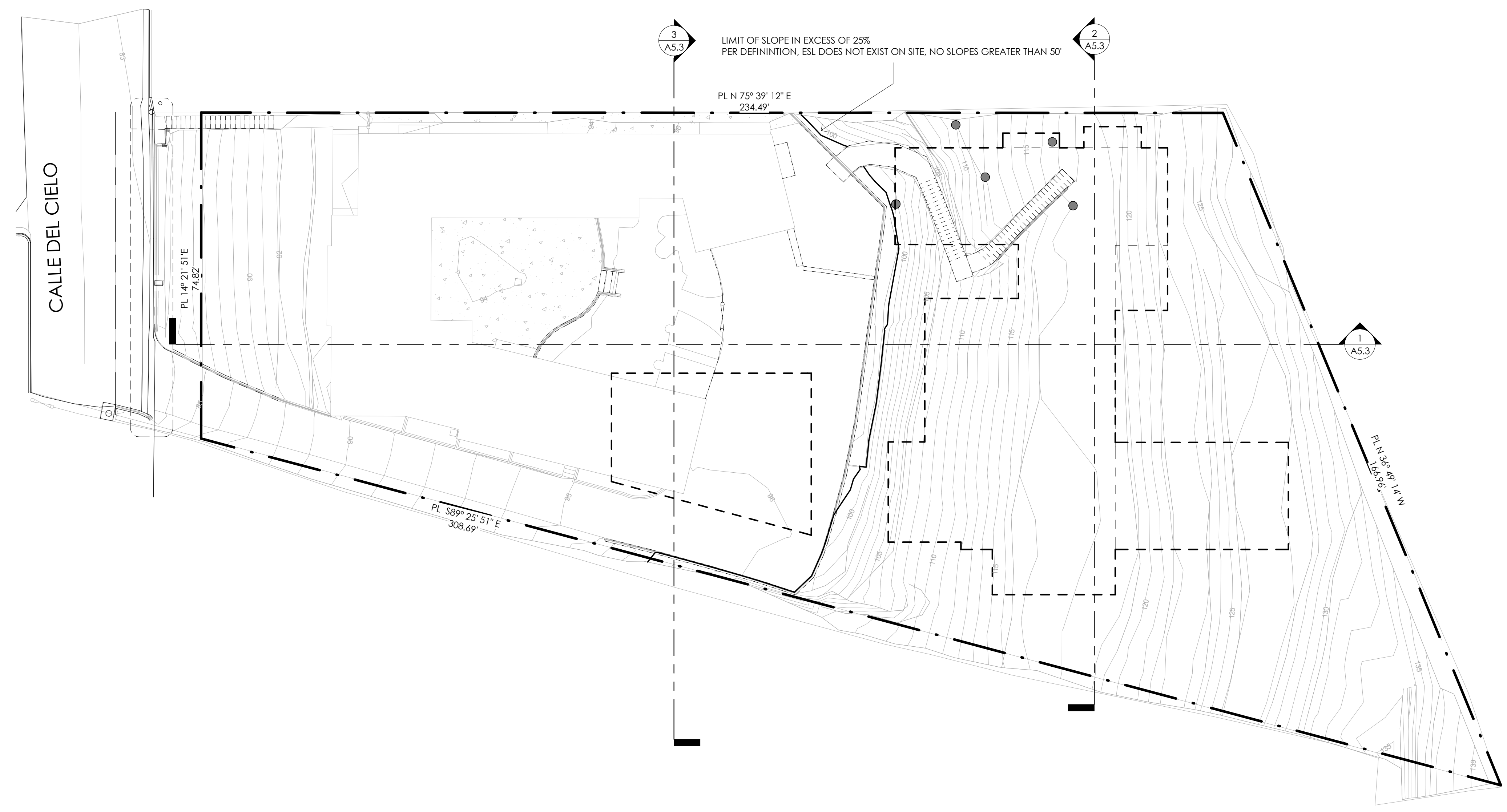
**ENTRENCHMENT DETAIL**  
NOT TO SCALE

**GRAVEL BAG CHECK DAM**  
NOT TO SCALE

PRELIMINARY - NOT FOR CONSTRUCTION  
ENGINEER'S NAME: RANCHO COASTAL ENGINEERING & SURVEYING  
PHONE NO. (760) 510-3152 // EMAIL: DOUG@RCS.D



JOB #: 1702



**1 DEMO SITE PLAN**  
SCALE = 1/16" = 1'-0"

**LEGEND**

- HARDSCAPE
- BUILDING FOOTPRINT
- SOFTSCAPE

**KEYNOTES**

**CITY STANDARD TITLE BLOCK**

PREPARED BY: Name: WILL & FOTSCH ARCHITECTS Contact: Andy Fotsch 1298 Prospect Street, Ste. 2S La Jolla, CA 92037 Phone: (858) 224-2486 Street Address: 8305, CALLE DEL CIELO, LA JOLLA, CA 92037 APN: 346-190-01-00 Project Name: CALLE DEL CIELO Sheet Title: DEMO SITE PLAN	Revision 14: Revision 13: Revision 12: Revision 11: Revision 10: Revision 09: Revision 08: Revision 07: Revision 06: 02/17/2022 Revision 05: 10/12/2022 Revision 04: 07/06/2022 Revision 03: 02/24/2022 Revision 02: 03-29-2021 Revision 01: 01-06-2021 Original Date: 01-06-2021 Sheet: 5 of 17
---	---

DATE:	ISSUE:
01/06/2021	CDP 1ST SUBMITTAL
03/29/2021	FULL SUBMITTAL
02/24/2022	2ND SUBMITTAL
07/06/2022	3RD SUBMITTAL
10/12/2022	4TH SUBMITTAL

**A0.0**  
DEMO SITE PLAN

1702/003 173710 - A:\ssd\05/17/23 - KASSAB RESIDENCE - CALLE DEL CIELO - CDP SET.PLT  
 Copyright © Will & Fotsch Architects 2022

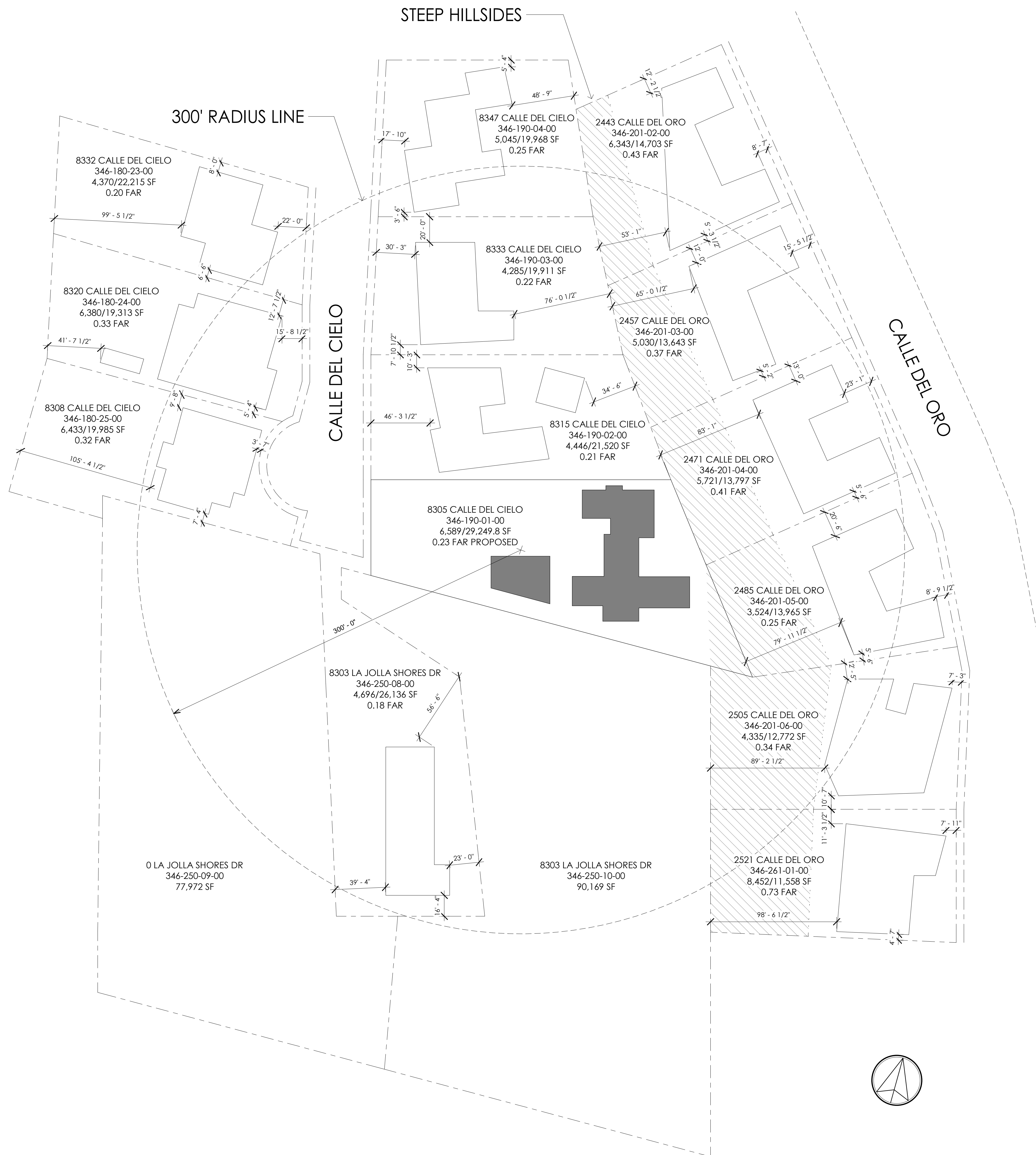




JOB #: 1702

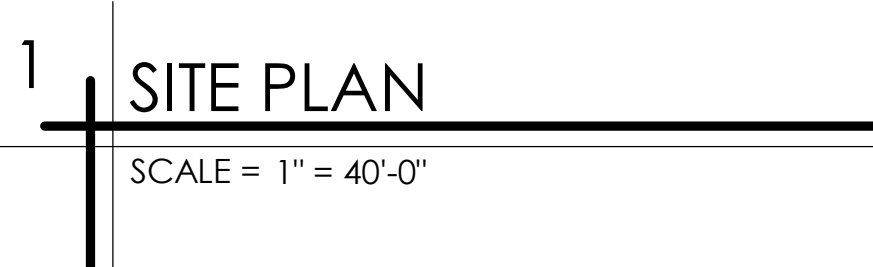
DATE:	ISSUE:
01/06/2021	CDP 1ST SUBMITTAL
03/29/2021	FULL SUBMITTAL
02/24/2022	2ND SUBMITTAL
07/06/2022	3RD SUBMITTAL
10/12/2022	4TH SUBMITTAL

**A1.1**  
SITE PLAN 300 RADIUS



**AVERAGE 300' RADIUS INFORMATION**

AVERAGE FRONT YARD INFORMATION	17'-6" FT
AVERAGE SIDE YARD INFORMATION (SUM OF SYSB)	18'-9" FT
AVERAGE BACK YARD INFORMATION	59'-4" FT
AVERAGE FAR	0.21

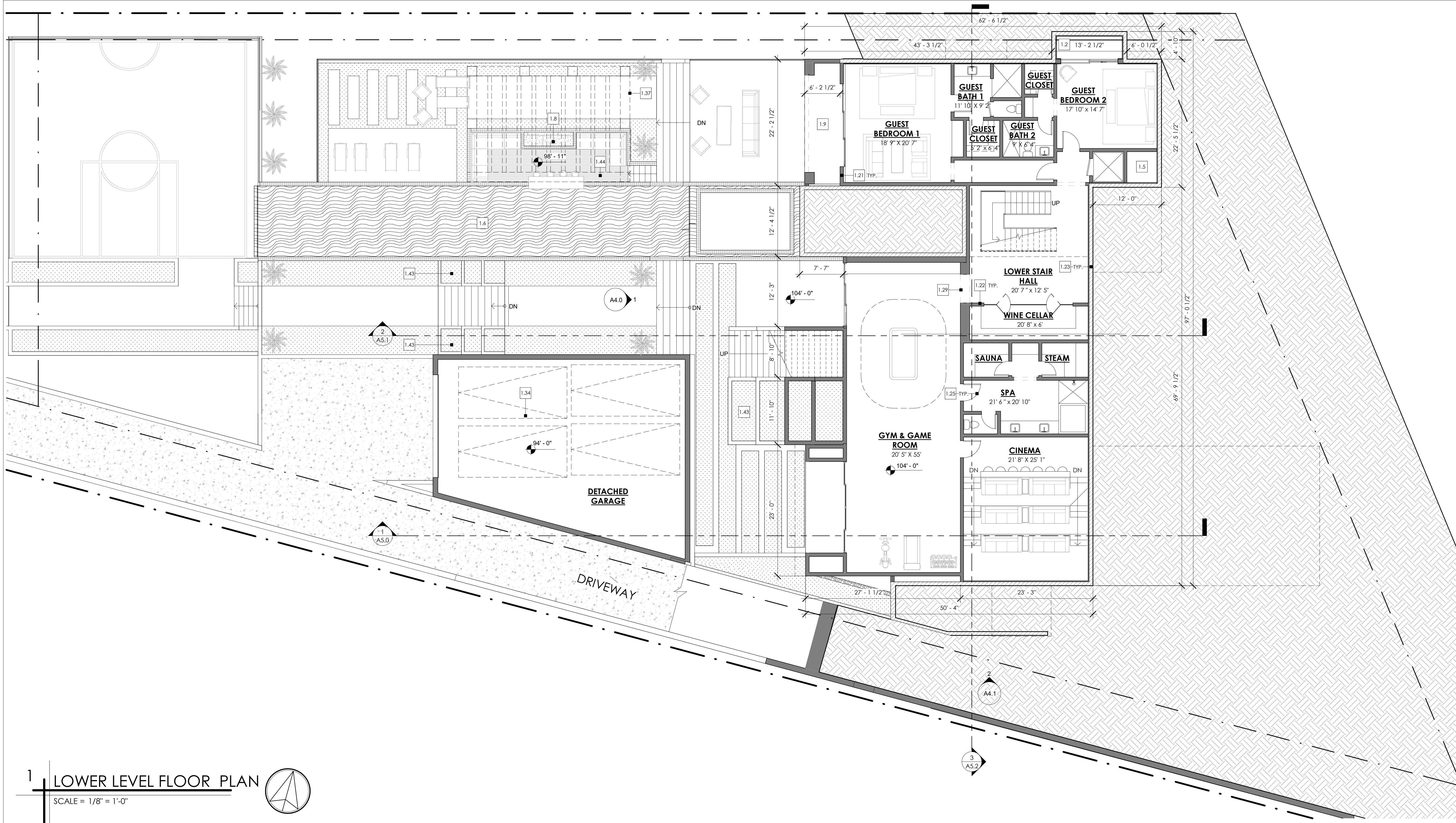


**CITY STANDARD TITLE BLOCK**

PREPARED BY:	Revision 14:	
Name:	Revision 13:	
WILL & FOTSCH ARCHITECTS	Revision 12:	
Contact: Andy Fotsch	Revision 11:	
1298 Prospect Street, Ste. 2S	Revision 10:	
La Jolla, CA 92037	Revision 09:	
Phone:	Revision 08:	
(858) 224-2486	Revision 07:	
Street Address:	Revision 06:	02/17/2022
8305, CALLE DEL CIELO, LA	Revision 05:	10/12/2022
JOLLA, CA 92037	Revision 04:	07/06/2022
APN: 346-190-01-00	Revision 03:	02/24/2022
Project Name:	Revision 02:	03-29-2021
CALLE DEL CIELO	Revision 01:	01-06-2021
Sheet Title:	Original Date:	01-06-2021
SITE PLAN 300 RADIUS	Sheet:	7 of 17



JOB #: 1702



1 LOWER LEVEL FLOOR PLAN  
SCALE = 1/8" = 1'-0"

KEYNOTES

- 1.2 LIGHTWELL
- 1.5 ELEVATOR MECHANICAL
- 1.6 POOL TO BE CONSTRUCTED UNDER SEPARATE PERMIT
- 1.8 SUNKEN FIREPIT
- 1.9 GUEST COVERED AREA
- 1.21 EXTERIOR WALL: 2X WOOD STUD, EXTERIOR FINISH PER EXTERIOR ELEVATION
- 1.22 INTERIOR WALL: 2X WOOD STUD FRAMING, 5/8" GWB THROUGHOUT
- 1.23 RETAINING WALL PER CIVIL PLANS
- 1.25 DOOR, TYP.
- 1.29 LINE OF BEAM/SOFFIT ABOVE
- 1.34 PARKING TO BE 19'-0" X 9'-0" CLEAR
- 1.37 TRELLIS ABOVE
- 1.43 RAISED PLANTER
- 1.44 PROPOSED WOOD DECK

CITY STANDARD TITLE BLOCK

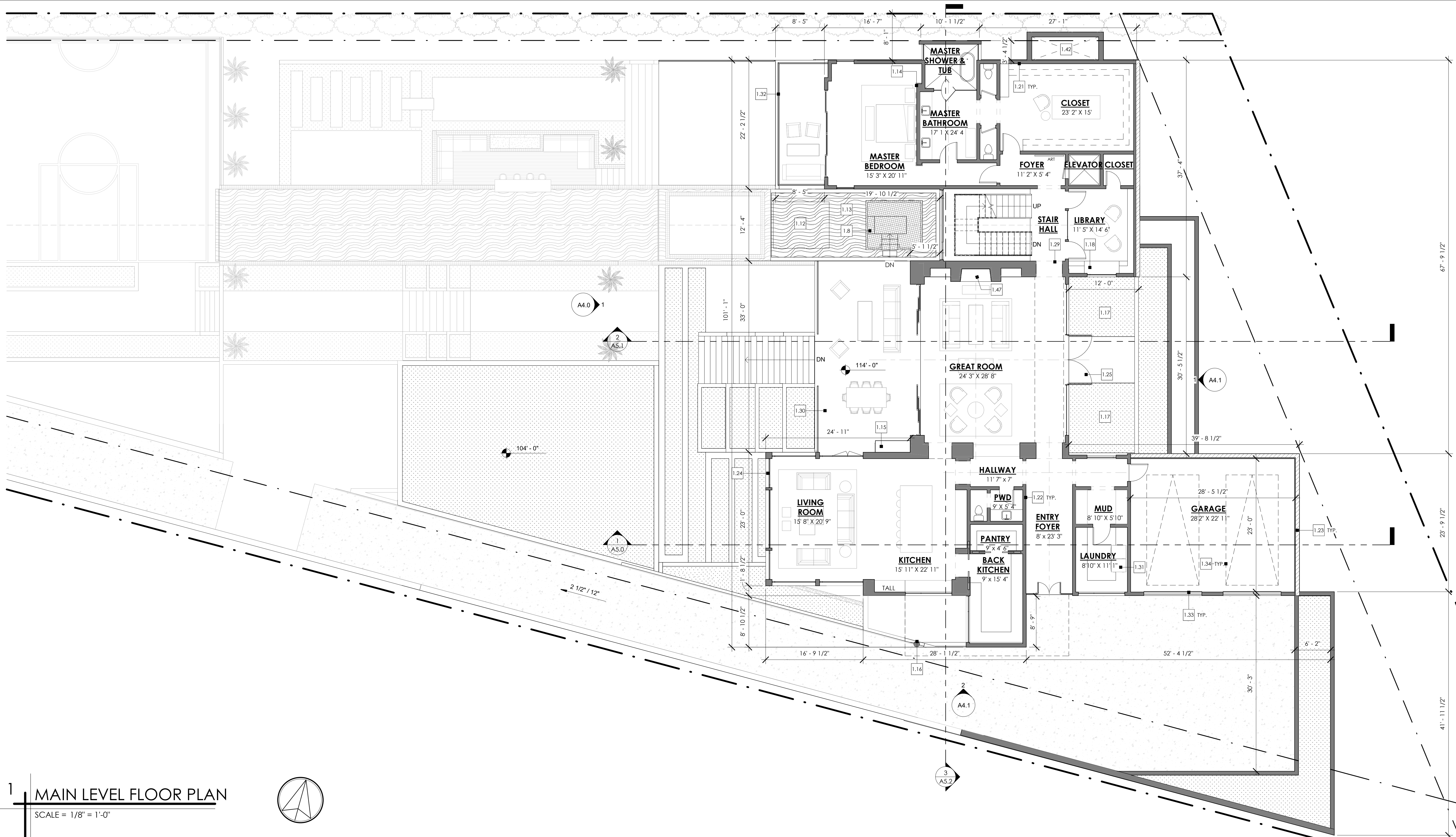
PREPARED BY: Name: WILL & FOTSCH ARCHITECTS Contact: Andy Fotsch 1298 Prospect Street, Ste. 2S La Jolla, CA 92037 Phone: (858) 224-2486 Street Address: 8305, CALLE DEL CIELO, LA JOLLA, CA 92037 APN: 346-190-01-00 Project Name: CALLE DEL CIELO Sheet Title: LOWER LEVEL PLAN	Revision 14: Revision 13: Revision 12: Revision 11: Revision 10: Revision 09: Revision 08: Revision 07: Revision 06: 02/17/2022 Revision 05: 10/12/2022 Revision 04: 07/06/2022 Revision 03: 02/24/2022 Revision 02: 03-29-2021 Revision 01: 01-06-2021 Original Date: 01-06-2021 Sheet: 8 of 17
---	---

DATE:	ISSUE:
01/06/2021	CDP 1ST SUBMITTAL
03/29/2021	FULL SUBMITTAL
02/24/2022	2ND SUBMITTAL
07/06/2022	3RD SUBMITTAL
10/12/2022	4TH SUBMITTAL

**A2.0**  
LOWER LEVEL PLAN



JOB #: 1702



1 MAIN LEVEL FLOOR PLAN  
SCALE = 1/8" = 1'-0"

KEYNOTES

- 1.8 SUNKEN FIREPIT
- 1.12 SPA TO BE CONSTRUCTED UNDER SEPARATE PERMIT
- 1.13 6" DEEP BAJA SHELF TO BE CONSTRUCTED UNDER SEPARATE PERMIT
- 1.14 FEATURE WALL MATERIAL
- 1.15 BBQ
- 1.16 SUPPORT COLUMNS
- 1.17 LAWN
- 1.18 WINDOW SEAT
- 1.21 EXTERIOR WALL: 2X WOOD STUD, EXTERIOR FINISH PER EXTERIOR ELEVATION
- 1.22 INTERIOR WALL: 2X WOOD STUD FRAMING, 5/8" GWB THROUGHOUT
- 1.23 RETAINING WALL PER CIVIL PLANS
- 1.24 WINDOW, TYP.
- 1.25 DOOR, TYP.
- 1.29 LINE OF BEAM/SOFFIT ABOVE
- 1.30 DECK/PATIO
- 1.31 APPLIANCE PER OWNER
- 1.32 42" GUARDRAIL
- 1.33 GARAGE DOOR PER SCHEDULE
- 1.34 PARKING TO BE 19'-0" X 9'-0" CLEAR
- 1.42 LIGHTWELL BELOW
- 1.47 FIREPLACE

CITY STANDARD TITLE BLOCK

PREPARED BY: WILL & FOTSCH ARCHITECTS  
 Name: Contact: Andy Fotsch  
 1298 Prospect Street, Ste. 2S  
 La Jolla, CA 92037  
 Phone: (858) 224-2486  
 Street Address: 8305, CALLE DEL CIELO, LA JOLLA, CA 92037  
 APN: 346-190-01-00  
 Project Name: CALLE DEL CIELO  
 Sheet Title: MAIN LEVEL PLAN

Revision 14: 02/17/2022  
 Revision 13: 10/12/2022  
 Revision 12: 07/06/2022  
 Revision 11: 02/24/2022  
 Revision 10: 03-29-2021  
 Revision 09: 01-06-2021  
 Revision 08: 02/17/2022  
 Revision 07: 10/12/2022  
 Revision 06: 07/06/2022  
 Revision 05: 02/24/2022  
 Revision 04: 03-29-2021  
 Revision 03: 01-06-2021  
 Original Date: 01-06-2021  
 Sheet: 9 of 17

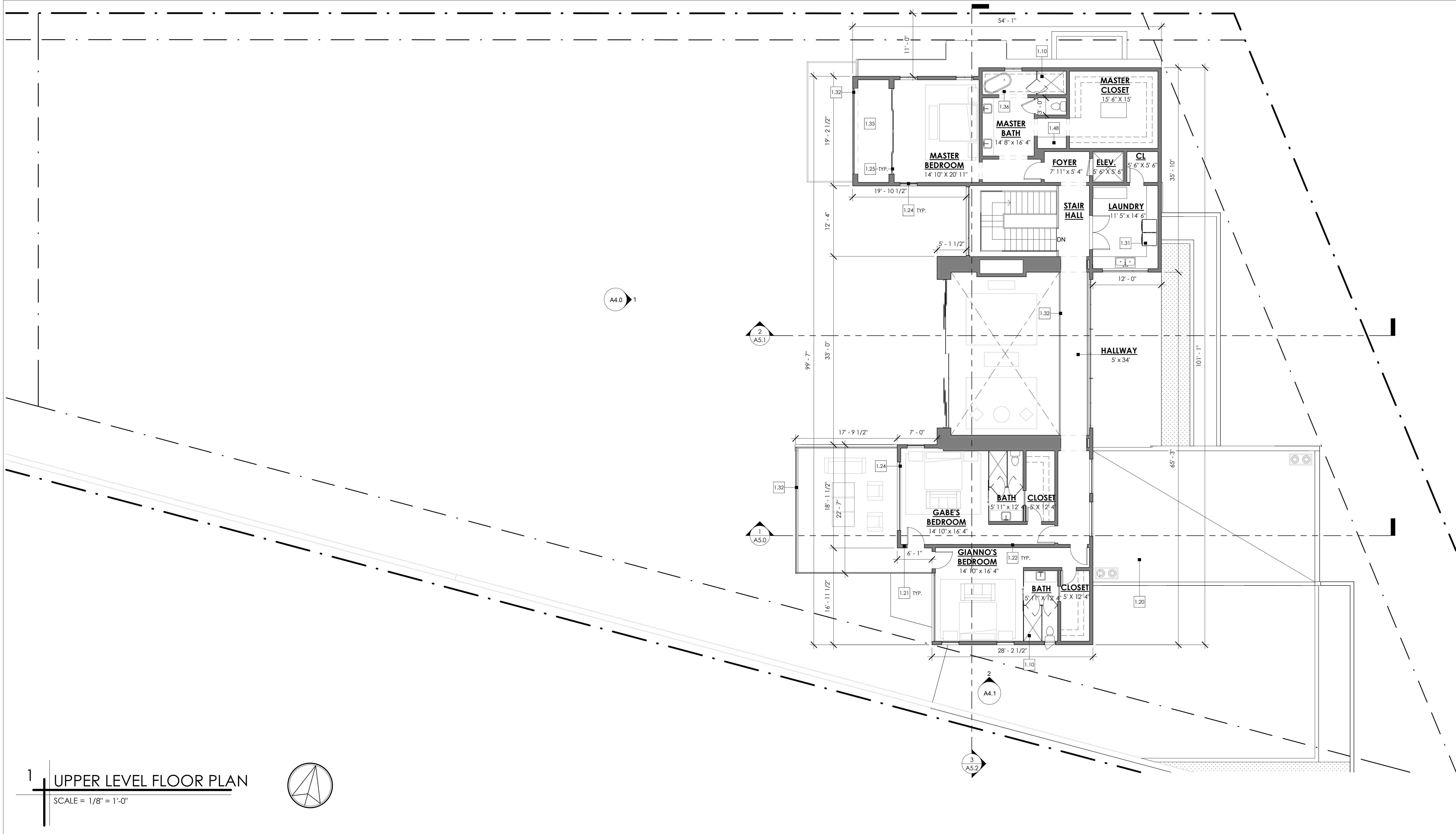
DATE:	ISSUE:
01/06/2021	CDP 1ST SUBMITTAL
03/29/2021	FULL SUBMITTAL
02/24/2022	2ND SUBMITTAL
07/06/2022	3RD SUBMITTAL
10/12/2022	4TH SUBMITTAL

**A2.1**  
MAIN LEVEL PLAN





JOB #: 1702



1 UPPER LEVEL FLOOR PLAN  
SCALE = 1/8" = 1'-0"

KEYNOTES

- 1.10 WALK-IN SHOWER
- 1.20 ROOF PER ROOF PLAN
- 1.21 EXTERIOR WALL: 2X WOOD STUD, EXTERIOR FINISH PER EXTERIOR ELEVATION
- 1.22 INTERIOR WALL: 2X WOOD STUD FRAMING, 5/8" GWB THROUGHOUT
- 1.24 WINDOW, TYP.
- 1.25 DOOR, TYP.
- 1.31 APPLIANCE PER OWNER
- 1.32 42" GUARDRAIL
- 1.35 COVERED MASTER TERRACE
- 1.36 SKYLIGHT ABOVE
- 1.48 BEVERAGE

CITY STANDARD TITLE BLOCK

PREPARED BY:	Revision 14:
Name:	Revision 13:
WILL & FOTSCH ARCHITECTS	Revision 12:
Contact: Andy Fotsch	Revision 11:
1298 Prospect Street, Ste. 2S	Revision 10:
La Jolla, CA 92037	Revision 09:
Phone:	Revision 08:
(858) 224-2486	Revision 07:
Street Address:	Revision 06: 02/17/2022
8305, CALLE DEL CIELO, LA	Revision 05: 10/12/2022
JOLLA, CA 92037	Revision 04: 07/06/2022
APN: 346-190-01-00	Revision 03: 02/24/2022
Project Name:	Revision 02: 03-29-2021
CALLE DEL CIELO	Revision 01: 01-06-2021
Sheet Title:	Original Date: 01-06-2021
UPPER LEVEL PLAN	Sheet: 10 of: 17

DATE:	ISSUE:
01/06/2021	CDP 1ST SUBMITTAL
03/29/2021	FULL SUBMITTAL
02/24/2022	2ND SUBMITTAL
07/06/2022	3RD SUBMITTAL
10/12/2022	4TH SUBMITTAL

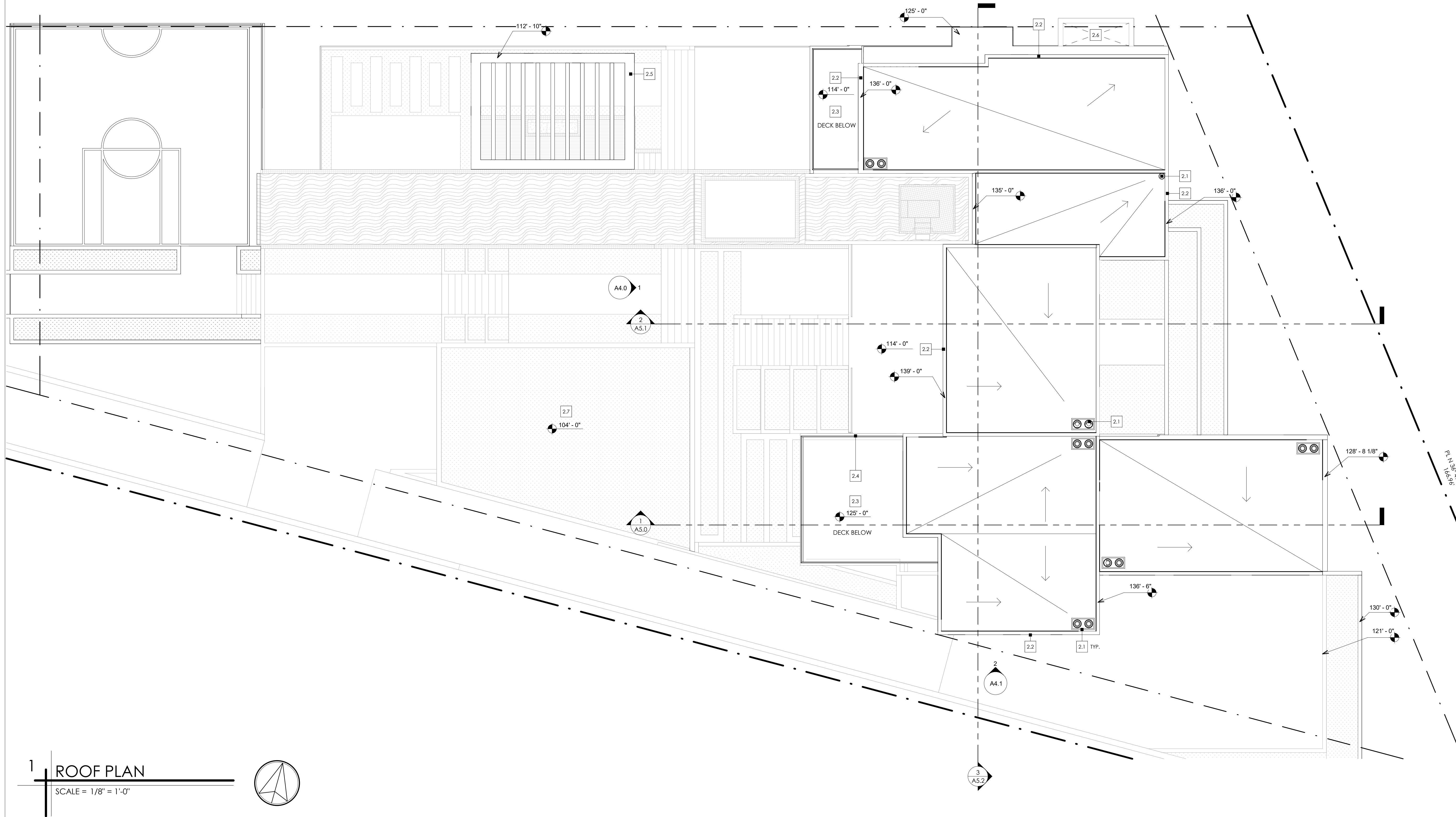
**A2.2**  
UPPER LEVEL PLAN



JOB #: 1702

DATE:	ISSUE:
01/06/2021	CDP 1ST SUBMITTAL
03/29/2021	FULL SUBMITTAL
02/24/2022	2ND SUBMITTAL
07/06/2022	3RD SUBMITTAL
10/12/2022	4TH SUBMITTAL

**A2.3**  
ROOF PLAN



**KEYNOTES**

- 2.1 ROOF DRAIN
- 2.2 PARAPET WALL
- 2.3 DECK BELOW
- 2.4 GLASS GUARDRAIL BELOW
- 2.5 TRELIS BELOW
- 2.6 LIGHTWELL BELOW
- 2.7 GREEN ROOF OF DETACHED GARAGE

**CITY STANDARD TITLE BLOCK**

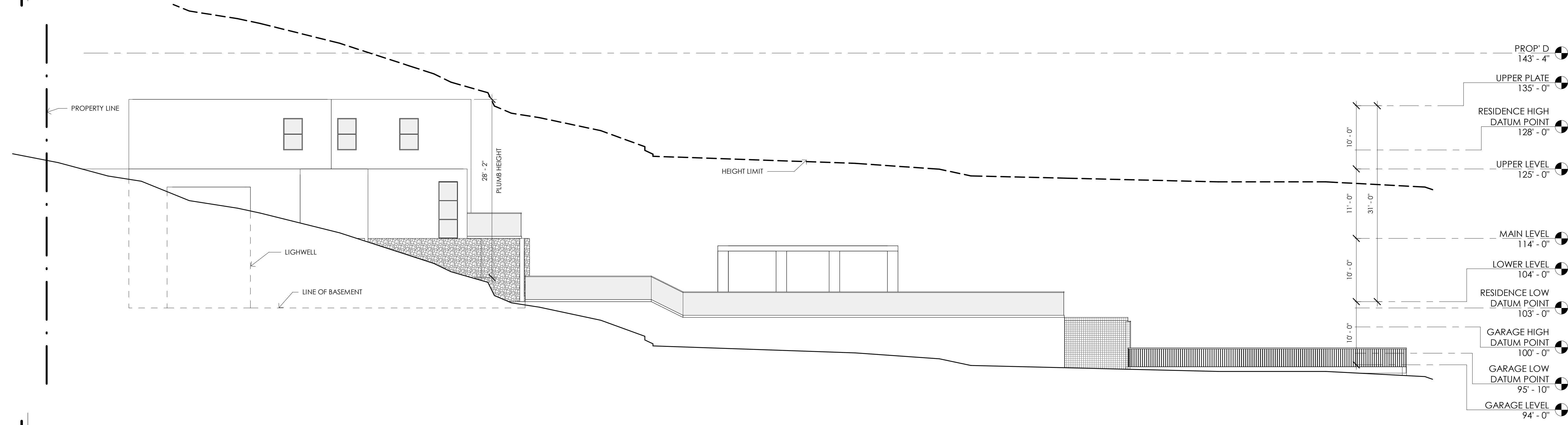
PREPARED BY: WILL & FOTSCH ARCHITECTS  
 Name: Contact: Andy Fotsch  
 1298 Prospect Street, Ste. 2S  
 La Jolla, CA 92037  
 Phone: (858) 224-2486  
 Street Address: 8305, CALLE DEL CIELO, LA JOLLA, CA 92037  
 APN: 346-190-01-00  
 Project Name: CALLE DEL CIELO  
 Sheet Title: ROOF PLAN

Revision 14:  
Revision 13:  
Revision 12:  
Revision 11:  
Revision 10:  
Revision 09:  
Revision 08:  
Revision 07:  
Revision 06: 02/17/2022  
Revision 05: 10/12/2022  
Revision 04: 07/06/2022  
Revision 03: 02/24/2022  
Revision 02: 03-29-2021  
Revision 01: 01-06-2021

Original Date: 01-06-2021  
 Sheet: 11 of 17



1 WEST ELEVATION  
SCALE = 1/8" = 1'-0"



2 NORTH ELEVATION  
SCALE = 1/8" = 1'-0"

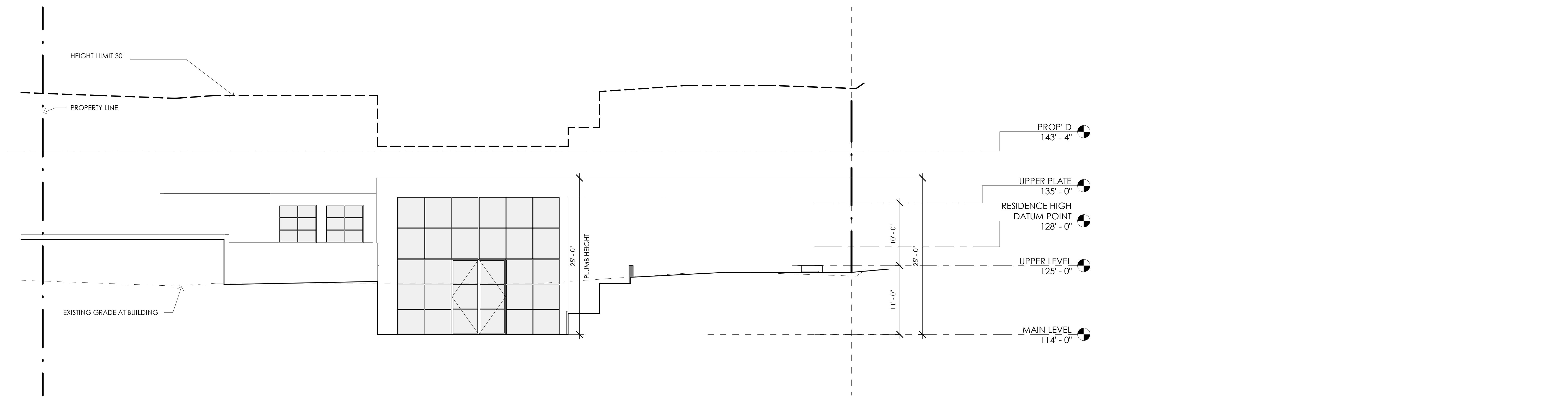
JOB #: 1702

CITY STANDARD TITLE BLOCK

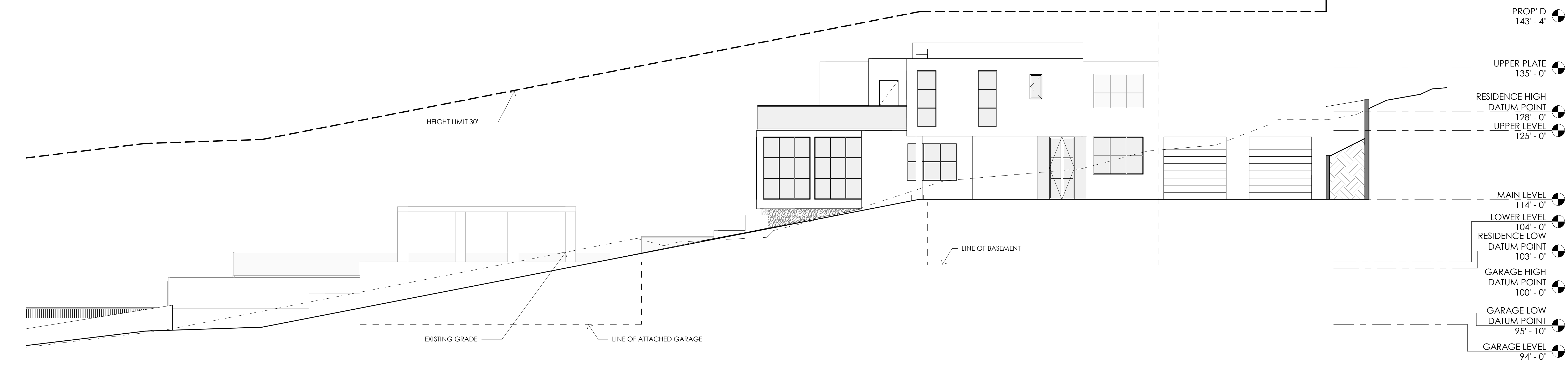
PREPARED BY:	Revision 14:
Name:	Revision 13:
WILL & FOTSCH ARCHITECTS	Revision 12:
Contact: Andy Fotsch	Revision 11:
1298 Prospect Street, Ste. 2S	Revision 10:
La Jolla, CA 92037	Revision 09:
Phone:	Revision 08:
(858) 224-2486	Revision 07:
Street Address:	Revision 06: 02/17/2022
8305, CALLE DEL CIELO, LA	Revision 05: 10/12/2022
JOLLA, CA 92037	Revision 04: 07/06/2022
APN: 346-190-01-00	Revision 03: 02/24/2022
Project Name:	Revision 02: 03-29-2021
CALLE DEL CIELO	Revision 01: 01-06-2021
Sheet Title:	Original Date: 01-06-2021
EXTERIOR ELEVATIONS	Sheet: 12 of 17

DATE:	ISSUE:
01/06/2021	CDP 1ST SUBMITTAL
03/29/2021	FULL SUBMITTAL
02/24/2022	2ND SUBMITTAL
07/06/2022	3RD SUBMITTAL
10/12/2022	4TH SUBMITTAL

**A4.0**  
EXTERIOR ELEVATIONS



**1 EAST ELEVATION**  
SCALE = 1/8" = 1'-0"



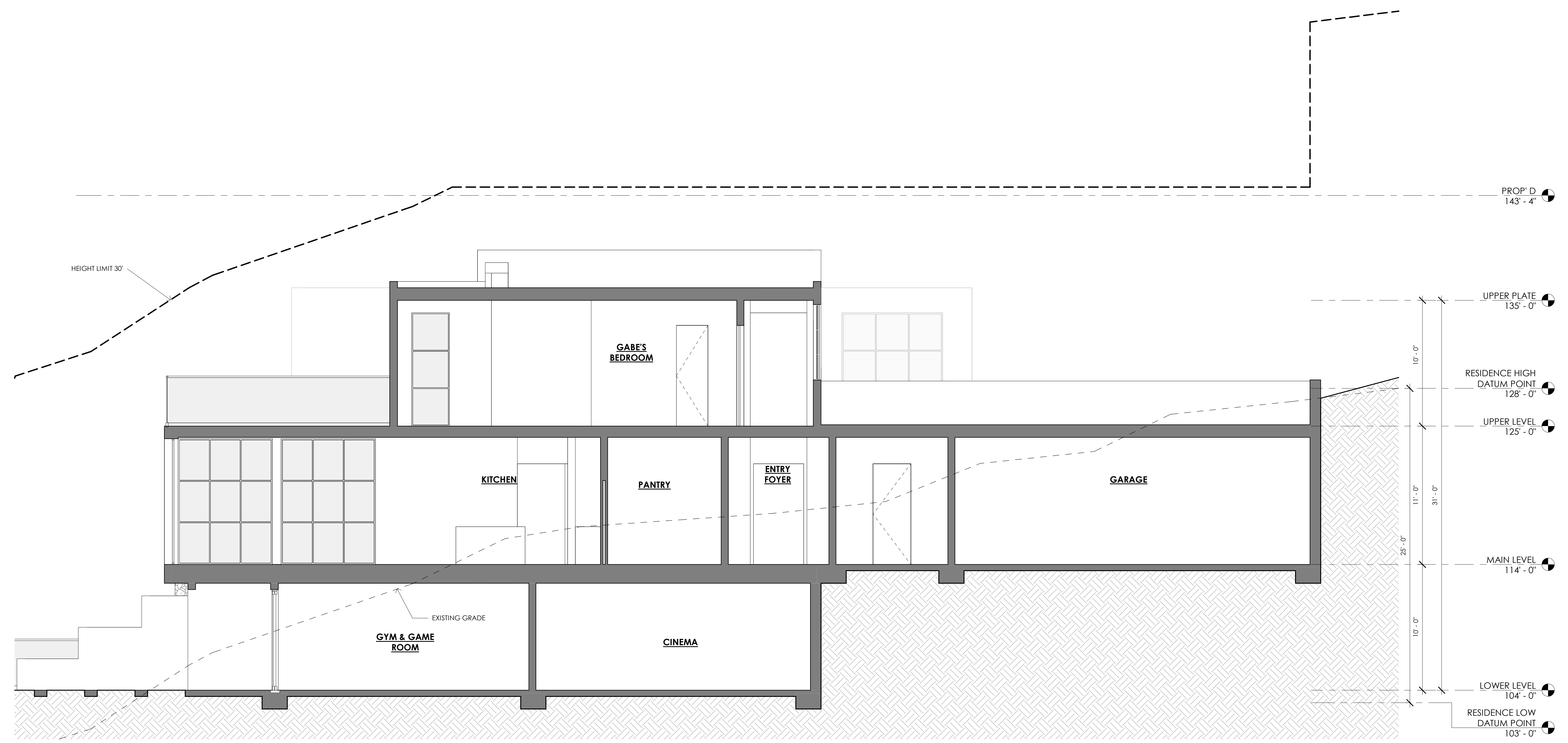
**2 SOUTH ELEVATION**  
SCALE = 1/8" = 1'-0"

CITY STANDARD TITLE BLOCK

PREPARED BY: WILL & FOTSCH ARCHITECTS  
Contact: Andy Fotsch  
1298 Prospect Street, Ste. 2S  
La Jolla, CA 92037  
Phone: (858) 224-2486  
Street Address: 8305, CALLE DEL CIELO, LA JOLLA, CA 92037  
APN: 346-190-01-00  
Project Name: CALLE DEL CIELO  
Sheet Title: EXTERIOR ELEVATIONS

Revision 14:  
Revision 13:  
Revision 12:  
Revision 11:  
Revision 10:  
Revision 09:  
Revision 08:  
Revision 07:  
Revision 06: 02/17/2022  
Revision 05: 10/12/2022  
Revision 04: 07/06/2022  
Revision 03: 02/24/2022  
Revision 02: 03-29-2021  
Revision 01: 01-06-2021  
Original Date: 01-06-2021  
Sheet: 13 of 17

DATE:	ISSUE:
01/06/2021	CDP 1ST SUBMITTAL
03/29/2021	FULL SUBMITTAL
02/24/2022	2ND SUBMITTAL
07/06/2022	3RD SUBMITTAL
10/12/2022	4TH SUBMITTAL



**1 | SECTION 1**  
SCALE = 1/4" = 1'-0"

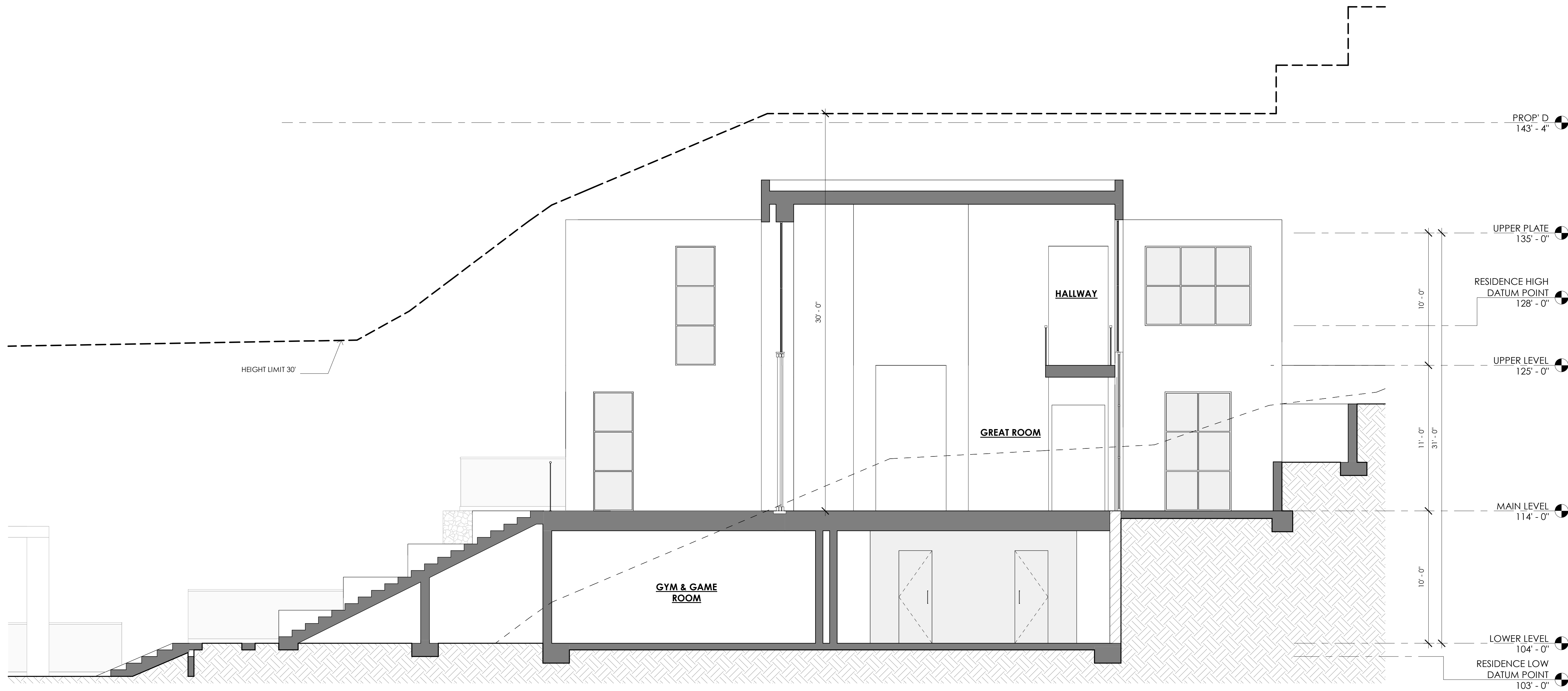
**CITY STANDARD TITLE BLOCK**

PREPARED BY: WILL & FOTSCH ARCHITECTS  
 Name: WILL & FOTSCH ARCHITECTS  
 Contact: Andy Fotsch  
 1298 Prospect Street, Ste. 2S  
 La Jolla, CA 92037  
 Phone: (858) 224-2486  
 Street Address: 8305, CALLE DEL CIELO, LA JOLLA, CA 92037  
 APN: 346-190-01-00  
 Project Name: CALLE DEL CIELO  
 Sheet Title: BUILDING SECTIONS

Revision 14:  
 Revision 13:  
 Revision 12:  
 Revision 11:  
 Revision 10:  
 Revision 09:  
 Revision 08:  
 Revision 07:  
 Revision 06: 02/17/2022  
 Revision 05: 10/12/2022  
 Revision 04: 07/06/2022  
 Revision 03: 02/24/2022  
 Revision 02: 03-29-2021  
 Revision 01: 01-06-2021

Original Date: 01-06-2021  
 Sheet: 14 of 17

DATE:	ISSUE:
01/06/2021	CDP 1ST SUBMITTAL
03/29/2021	FULL SUBMITTAL
02/24/2022	2ND SUBMITTAL
07/06/2022	3RD SUBMITTAL
10/12/2022	4TH SUBMITTAL



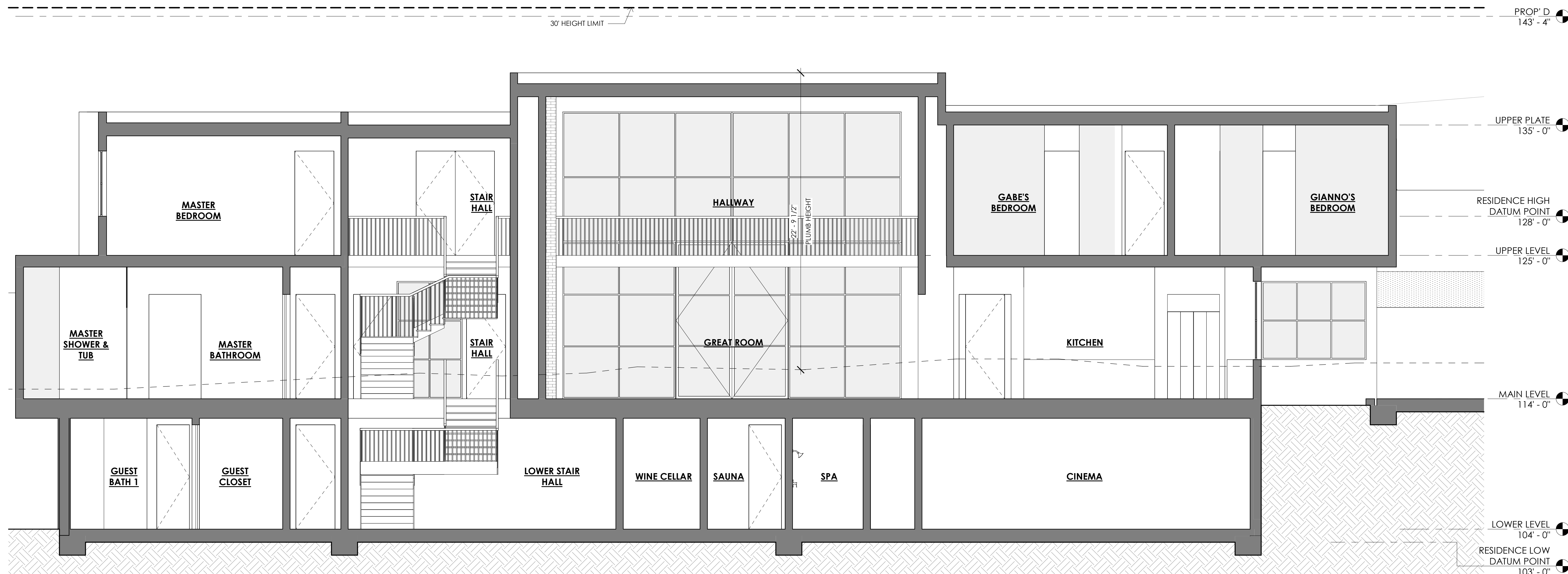
**2** SECTION 2  
SCALE = 1/4" = 1'-0"

CITY STANDARD TITLE BLOCK

PREPARED BY: WILL & FOTSCH ARCHITECTS  
Contact: Andy Fotsch  
1298 Prospect Street, Ste. 2S  
La Jolla, CA 92037  
Phone: (858) 224-2486  
Street Address: 8305, CALLE DEL CIELO, LA JOLLA, CA 92037  
APN: 346-190-01-00  
Project Name: CALLE DEL CIELO  
Sheet Title: BUILDING SECTIONS

Revision 14: 02/17/2022  
Revision 13: 10/12/2022  
Revision 12: 07/06/2022  
Revision 11: 07/06/2022  
Revision 10: 02/24/2022  
Revision 09: 03-29-2021  
Revision 08: 01-06-2021  
Revision 07:  
Revision 06:  
Revision 05:  
Revision 04:  
Revision 03:  
Revision 02:  
Revision 01:

Original Date: 01-06-2021  
Sheet: 15 of: 17



3 SECTION 3

SCALE = 1/4" = 1'-0"

JOB #: 1702

KASSAB RESIDENCE  
8305 CALLE DEL CIELO, LA JOLLA, CA 92037

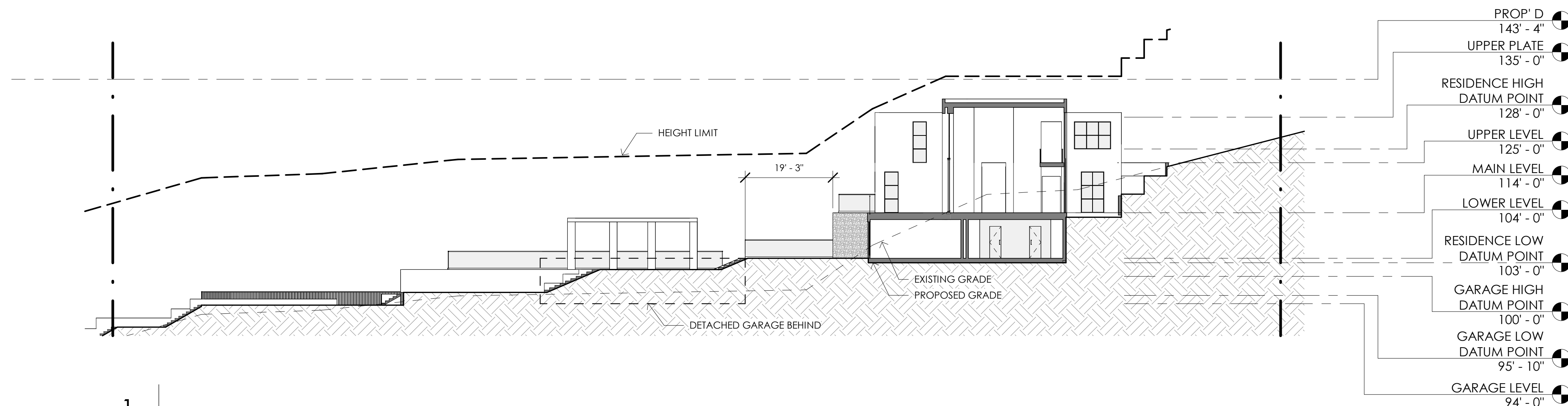
CITY STANDARD TITLE BLOCK

PREPARED BY: WILL & FOTSCH ARCHITECTS  
Contact: Andy Fotsch  
1298 Prospect Street, Ste. 2S  
La Jolla, CA 92037  
Phone: (858) 224-2486  
Street Address: 8305, CALLE DEL CIELO, LA JOLLA, CA 92037  
APN: 346-190-01-00  
Project Name: CALLE DEL CIELO  
Sheet Title: BUILDING SECTIONS

Revision 14: 02/17/2022  
Revision 13: 10/12/2022  
Revision 12: 07/06/2022  
Revision 11: 02/24/2022  
Revision 10: 03-29-2021  
Revision 09: 01-06-2021  
Revision 08:  
Revision 07:  
Revision 06: 02/17/2022  
Revision 05: 10/12/2022  
Revision 04: 07/06/2022  
Revision 03: 02/24/2022  
Revision 02: 03-29-2021  
Revision 01: 01-06-2021  
Original Date: 01-06-2021  
Sheet: 16 of 17

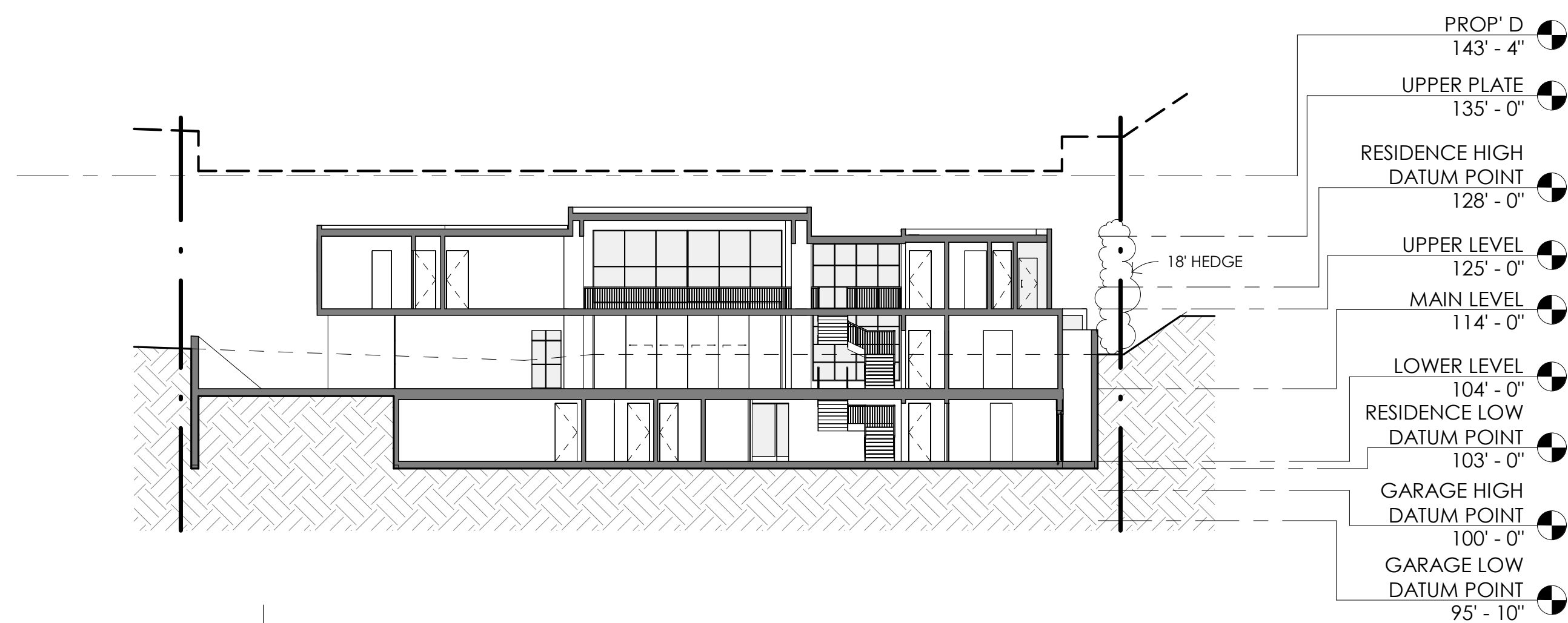
DATE:	ISSUE:
01/06/2021	CDP 1ST SUBMITTAL
03/29/2021	FULL SUBMITTAL
02/24/2022	2ND SUBMITTAL
07/06/2022	3RD SUBMITTAL
10/12/2022	4TH SUBMITTAL

**A5.2**  
BUILDING SECTIONS



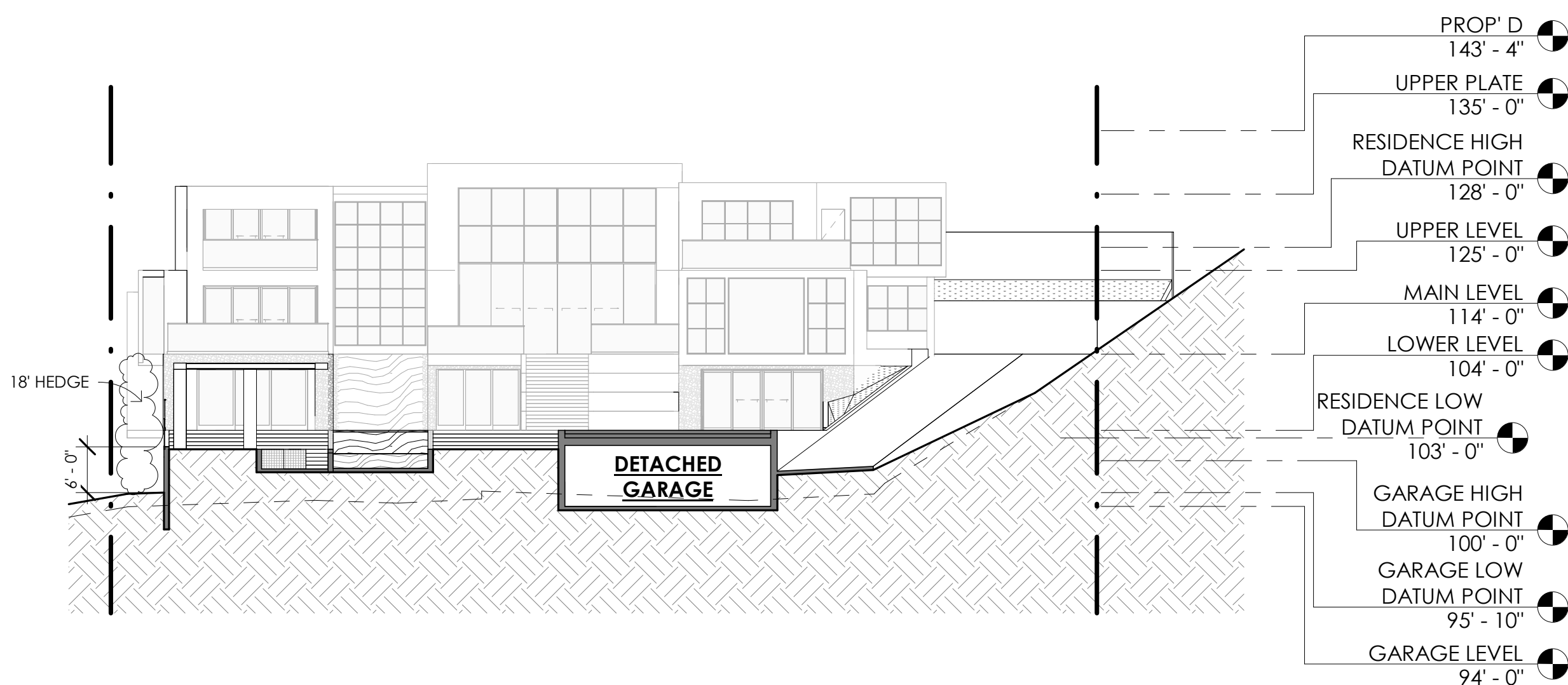
1 SITE SECTION 1

SCALE = 1/16" = 1'-0"



2 SITE SECTION 2

SCALE = 1/16" = 1'-0"



3 SITE SECTION 3

SCALE = 1/16" = 1'-0"

JOB #: 1702

CITY STANDARD TITLE BLOCK

PREPARED BY:	Revision 14:
Name:	Revision 13:
WILL & FOTSCH ARCHITECTS	Revision 12:
Contact: Andy Fotsch	Revision 11:
1298 Prospect Street, Ste. 2S	Revision 10:
La Jolla, CA 92037	Revision 09:
Phone:	Revision 08:
(858) 224-2486	Revision 07:
Street Address:	Revision 06: 02/17/2022
8305, CALLE DEL CIELO, LA	Revision 05: 10/12/2022
JOLLA, CA 92037	Revision 04: 07/06/2022
APN: 346-190-01-00	Revision 03: 02/24/2022
Project Name:	Revision 02: 03-29-2021
CALLE DEL CIELO	Revision 01: 01-06-2021
Sheet Title:	Original Date: 01-06-2021
SITE SECTIONS	Sheet: 17 of 17

DATE:	ISSUE:
01/06/2021	CDP 1ST SUBMITTAL
03/29/2021	FULL SUBMITTAL
02/24/2022	2ND SUBMITTAL
07/06/2022	3RD SUBMITTAL
10/12/2022	4TH SUBMITTAL