



THE CITY OF SAN DIEGO

Report to the Planning Commission

DATE ISSUED: December 10, 2020 REPORT NO. PC-20-071

HEARING DATE: December 17, 2020

SUBJECT: LILLIAN LENTELL COTTAGE. Process Four Decision

PROJECT NUMBER: [560771](#)

REFERENCE: [California Historical Resources Inventory Database \(CHRID\) link](#)

OWNER/APPLICANT: Rabines Safdie Family Trust and Matthew Welsh

SUMMARY

Issues: Should the Planning Commission approve the relocation of one of the Lillian Lentell Cottages from 7762 Bishops Lane to the adjacent lot at 817 Silverado Street, as well as additions at the rear of the cottage at 817 Silverado Street, within the La Jolla Community Planning area?

Staff Recommendations:

1. ADOPT Mitigated Negative Declaration (MND) No. 560771 and ADOPT the Mitigation Monitoring and Reporting Program (MMRP); and
2. APPROVE Site Development Permit No. 2472529, Coastal Development Permit No. 1981414, and Neighborhood Development Permit No. 1981565.

Community Planning Group Recommendation: The La Jolla Community Planning Group accepted on their June 9, 2019 Consent Agenda by a 12-0-1 vote, the Development Permit Review Committee of the La Jolla Community Planning Group recommendation on a 5-0-1 vote that the findings could be made.

Other Recommendations: On November 24, 2020 the Historic Resources Board of the City of San Diego unanimously recommended the approval of the project as proposed.

Environmental Review: Mitigated Negative Declaration (MND) No. 560771 has been prepared for the project in accordance with the State of California Environmental Quality Act (CEQA) Guidelines. A Mitigation, Monitoring, and Reporting Program has been prepared and will be implemented which will reduce, to below a level of significance, any potential impacts

identified in the environmental review process.

Fiscal Impact Statement: None. All costs associated are paid for by the applicant.

Code Enforcement Impact: None.

Housing Impact Statement: None. The project proposes the relocation of a historic residential structure that would remain as a residential structure within the same block.

BACKGROUND

The Lillian Lentell Cottages (HRB Site #1062) includes two Beach Cottage structures. One is located at 7761 Eads Avenue, and the second is located at 7762 Bishops Lane in the La Jolla Community Plan area. The cottages were constructed between 1913 and 1915 and were designated by the Historical Resources Board as HRB Site #1062 on July 26, 2012, under Criterion A as a special element of the development of La Jolla. The resources were determined to be an example of a finite and limited number of beach cottages remaining that reflect the early development of La Jolla. The cottage at Eads Street is not proposed to be modified with this action. The Lillian Lentell Cottage proposed for relocation was originally constructed in 1913 in a Beach Cottage architecture style, and a 28-square-foot addition on the southwest side of the cottage was added after 1956, along with the enclosure of a rear porch, and is now a 432-square-foot cottage.

Bishops Lane is a named alley, with no sidewalks. It primarily serves as access to rear services areas, parking lots and garage entrances, including for a hotel at the corner of Silverado and Fay Avenue, immediately across Bishops Lane from the project site. The project is located within the Village Area of the La Jolla Planned District. It is located in Zone 5 of the La Jolla Planned District Ordinance, a multi-family zone to the west of the commercial area and extending northward and northwestward to the shoreline; and east of the Cultural Zone, with museums, churches, and community buildings. This is now defined as a medium density residential (15-30 dwelling unit per acre (DU/AC)) in the La Jolla Community Plan and Local Coastal Program Land Use Plan.

DISCUSSION

Project Description:

The project proposes to relocate the historically designated Lillian Lentell Cottage ("Cottage") ("House") from its current location at 7762 Bishops Lane, approximately 30 feet north to an existing parking lot associated with the house at 817 Silverado Street. The relocation of the Cottage would create a complex of two Coastal Beach Cottages, visually linked by a two-car garage with studio above, into one continuous beach cottage complex facing Bishops Lane, while also fronting onto Silverado Street. Bishops Lane at one time was lined with beach cottage, most of which were secondary units to the main residential cottages on Eads Avenue. This is one of two remaining cottages that fronts Bishops Lane, and the Cottage would be restored and maintained in nearly the same location, as well as create a small historic complex with the Silverado cottage.

The cottage to be relocated is approximately 432 square feet. The cottage at 817 Silverado Street is approximately 1,450 square feet. An existing addition to the 817 Silverado cottage of approximately 215 square feet would be removed. The new garage, with tandem parking, would be approximately 361 square feet, with a 450-square-foot studio above, resulting in a total of 2,981 square feet on the 0.09-acre site. The garage would provide tandem parking for four automobiles. A deviation from the Residential Tandem Parking Overlay zone is required as none of the spaces will be within a completely enclosed structure. As the proposed front tandem spaces will not be completely enclosed, and the lot width does not allow for enclosed tandem parking without encroaching into the setbacks, this deviation is requested, and supplemental findings are required to be made. Please note that the Residential Tandem Parking Overlay Zone has been repealed outside of the Coastal zone. Should the Coastal Commission approve the same action within the Coastal zone, this deviation request would likely not be required. An outside stairway would separate the Cottage from the new garage and studio addition.



Cottage in existing location

The physical preparation and relocation of the Lillian Lentell Cottage includes the placement of steel beams under the Lillian Lentell Cottage, jacking the house up, and the removal of certain features, such as the brick chimneys and porch steps. The Lillian Lentell Cottage would then be transported via truck to the receiving site. Once relocated the Lillian Lentell Cottage would be repaired and rehabilitated in accordance with the Secretary of the Interior's Standards for Rehabilitation. The primary entry porch would be replaced in kind using new wood and salvaged elements where

feasible. A new foundation would be set, and finish work consisting of painting and rehabilitation would proceed. Landscaping improvements would consist of foundation planting on the east and southside so as not to obscure the east face of the cottage. Other exterior repairs include replacing the existing roofing material with composite shingles, seismically retrofitting or reconstruction the original chimney, stabilizing and reconstructing historic front porch, restoring existing windows to working conditions, restoring existing front entry door and rear doors, and placing the exterior plumbing in the interior.



Relocation site and rear of 817 Silverado Street

A Site Development Permit (SDP) decided in accordance with Process 4 is required per San Diego Municipal Code (SDMC) Section [126.0502\(d\)](#) for development where a designated historical resources is present.

A Coastal Development Permit (CDP) in accordance with SDMC Section [126.0702](#) as the premises where development is proposed within the Coastal Overlay Zone, and does not qualify for a CDP exemption in accordance with SDMC Section [126.0704](#). This would typically be a Process 3 decision,

however in accordance with SDMC Section [112.0103](#), when an applicant applies for more than one permit, the application shall be consolidated and reviewed by a single decision-maker.

A Neighborhood Development Permit (NDP) is required for a deviation to SDMC Section [132.0905\(b\)](#) of the Residential Tandem Parking Regulations, that requires that at least one of the two parking spaces in a tandem configuration shall be within a completely enclosed structure. Section [143.0920\(a\)](#) allows an NDP to be utilized to request deviations from applicable regulations for an in-fill project located within a Transit Priority Area.

Community Plan Analysis:

The La Jolla Community Plan identifies the 0.09-acre site as Medium Residential (15-30 DU/AC). Based on the area of the proposed project site, the relocation of the cottage would implement the existing land use designation.

Environmental Analysis:

The proposed project would result in a significant direct impact to the historical resource because of its relocation. Mitigation measures would reduce impacts to the historical resource to less than significant since the new location is located immediately adjacent to the existing site, approximately 30 feet north of the original location. The cottage would retain its orientation and setback. The relocated house will be compatible with the original character and use of the historical resource, and the proposed rehabilitation would be consistent with the US Secretary of Interior standards. A Mitigated Negative Declaration, No. 560771, has been prepared for the project in accordance with state of California Environmental Quality Act (CEQA) guidelines. A Mitigation, Monitoring and Reporting Program has been prepared and will be implemented which will reduce, to below a level of significance, any potential impacts identified in the environmental review process.

Conclusion:

City staff has reviewed the proposed project and all issues identified through the review process have been resolved in conformance with adopted City Council policies and regulations of the Land Development Code. Staff has provided draft findings to support approval of the project (Attachment 3) and draft conditions of approval (Attachment 4). Staff recommends the Planning Commission approve the project as proposed.

ALTERNATIVES

1. Adopt MND No. 560771 and Adopt the MMRP and Approve Site Development Permit No. 2472529, Coastal Development Permit No. 1981414, and Neighborhood Development Permit No. 1981565, with modifications.
2. Do not adopt MND No. 560771 and MMRP, and Deny Site Development Permit No. 2472529, Coastal Development Permit No. 1981414, and Neighborhood Development Permit No. 1981565, if the findings required to approve the project cannot be affirmed.

Respectfully submitted,



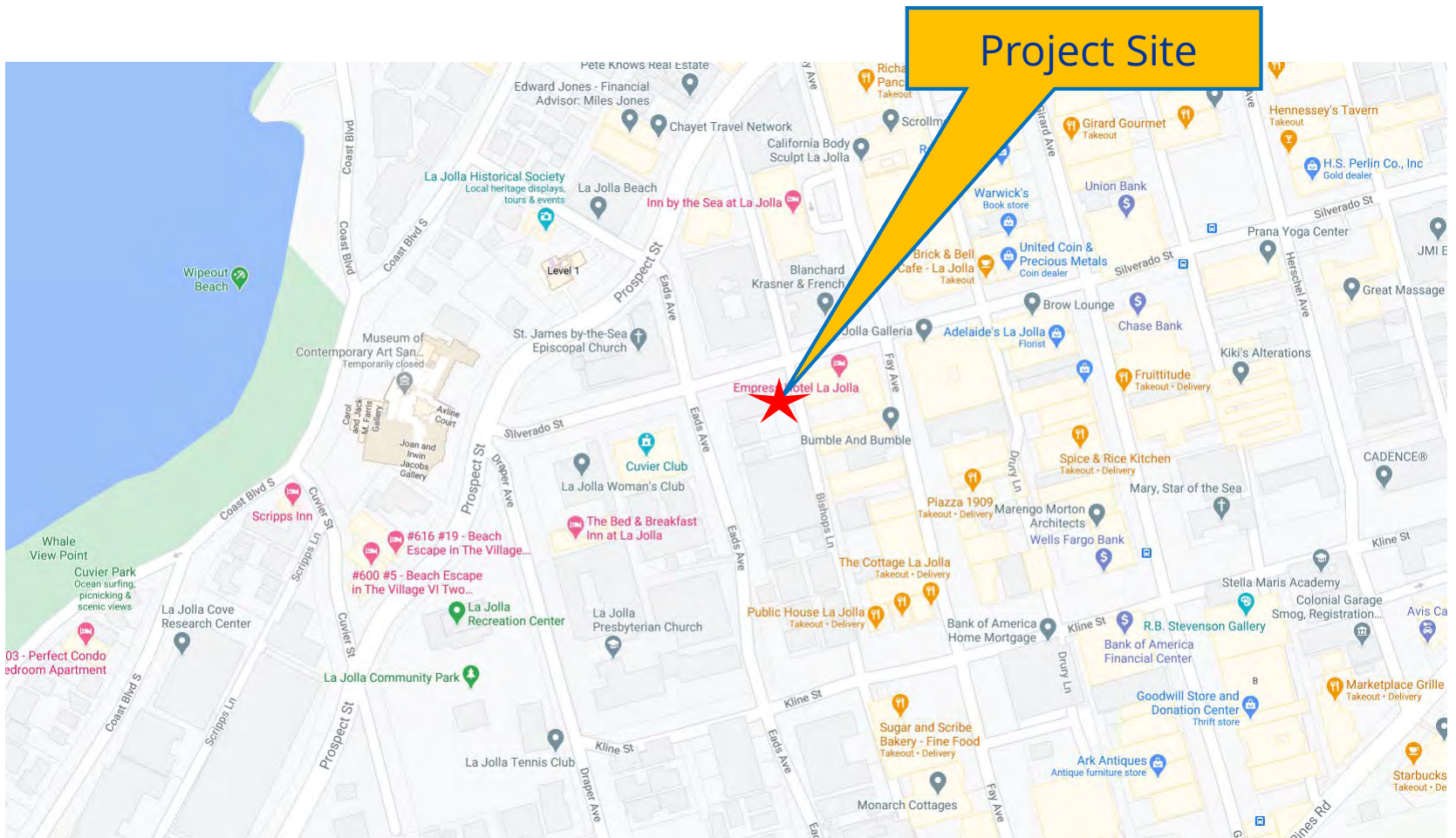
Tim Daly
Assistant Deputy Director
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Martha Blake
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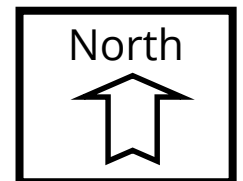
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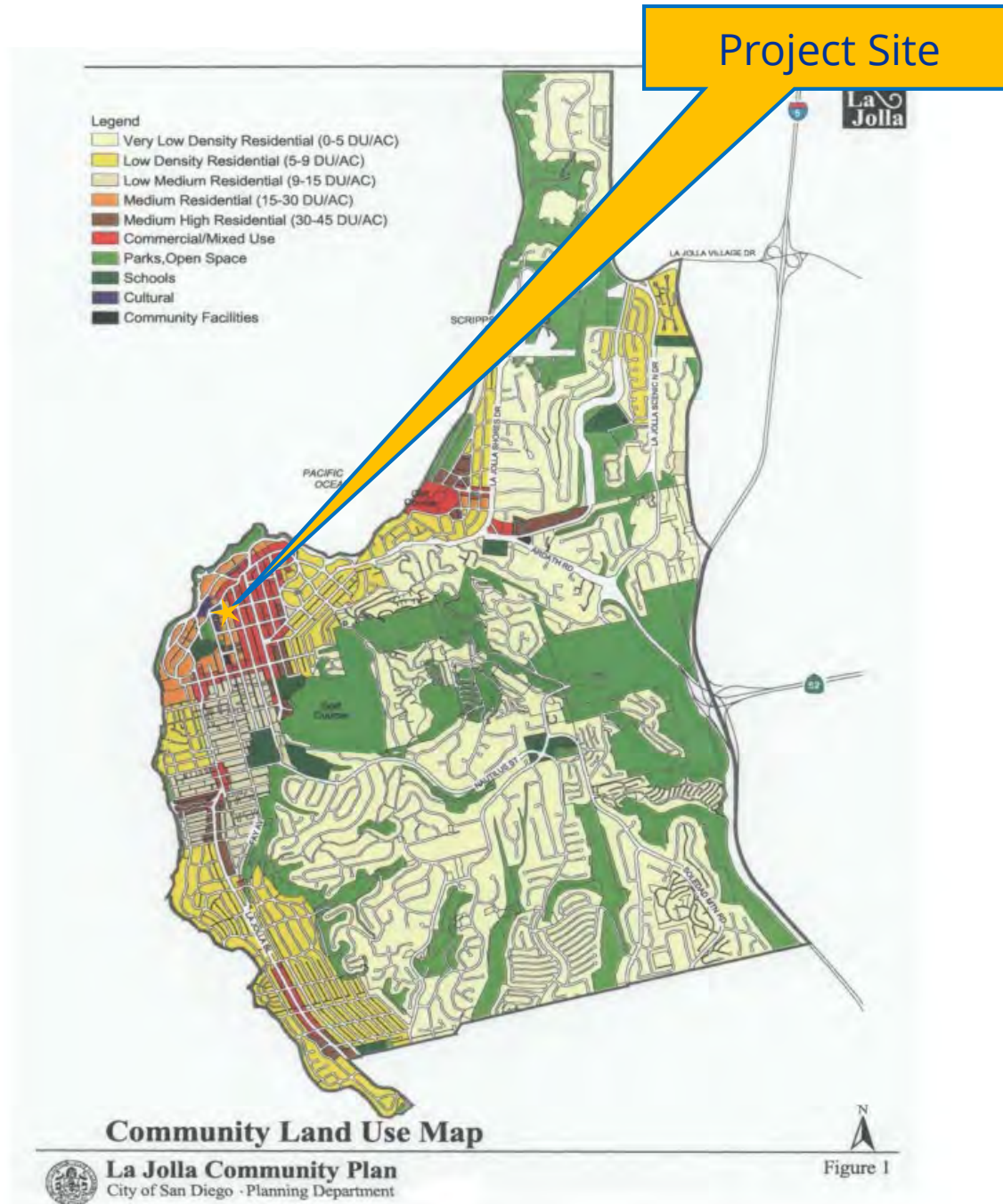
1. Project Location
2. Community Plan Land Use Map
3. Aerial Photograph
4. Draft Permit Resolution with Findings
5. Draft Permit with Conditions
6. Draft Environmental Resolution with MMRP
7. Community Planning Group Recommendation
8. [HRB Report](#) Link for full attachments
9. Ownership Disclosure Statement
10. Project Plans



Project Location Map

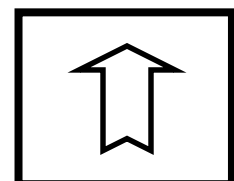
Lillian Lentell Cottage SDP
PROJECT NO. 560771



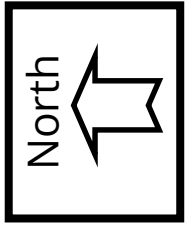


Land Use Map

Lillian Lentell Cottage SDP
PROJECT NO. 560771



North



Aerial Photo

Lillian Lentell Cottage SDP
PROJECT NO. 560771



PLANNING COMMISSION
RESOLUTION NO. XXXX-PC
SITE DEVELOPMENT PERMIT NO. 2472529/COASTAL DEVELOPMENT PERMIT NO.
1981414/NEIGHBORHOOD DEVELOPMENT PERMIT NO. 1981565
LILLIAN LENTELL- PROJECT NO. 560771: MMRP

WHEREAS, Rabines Safdie Family Trust, Owner/Permittee and Matthew Welsh, Owner/Permittee, filed an application with the City of San Diego for a permit to relocate a designated historical resource located on a 3,500-square-foot site at 7762 Bishops Lane, one of two designated cottages collectively identified as HRB Site #1062, Lillian Lentell Cottages, to an adjacent site located at 817 Silverado Street (as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Permit No. 2472529);

WHEREAS, both the 7762 Bishops Lane and 817 Silverado Street sites are located in the LJPD-5 Base zone within the La Jolla Community Plan;

WHEREAS, the 7762 Bishops Lane site is legally described as: Eastern One-half of Lot 5, Block 31, OF La Jolla Park, City of San Diego, State of California, Map 352, March 22, 1887, Lying Easterly of a Line Parallel with 100 Feet at Right Angles from the Westerly Line of Said Lots; and the 817 Silverado Street site is legally described as: All those Portions of Lots 1, 2, 3, and 4, Block 32 of La Jolla Park, City of San Diego, State of California, Map 352, March 22, 1887, Lying Easterly of a Line Parallel with 100 Feet at Right Angles from the Westerly Line of Said Lots; and

WHEREAS, on December 17, 2020, the PLANNING COMMISSION of the City of San Diego considered Site Development Permit No. 2472529, Coastal Development Permit No. 1981414, and Neighborhood Development Permit No. 1981565 pursuant to the Land Development Code of the City of San Diego;

BE IT RESOLVED by the PLANNING COMMISSION of the City of San Diego as follows:

That the PLANNING COMMISSION adopts the following written Findings, dated December 17, 2020.

A. SITE DEVELOPMENT PERMIT- SDMC Section 126.0504 (a)

1. Findings for all Site Development Permits:

a. The proposed development will not adversely affect the applicable land use plan.

The project proposes the relocation of one of the historically designated Lillian Lentell Cottages from its current location at 7762 Bishops Lane approximately 30 feet north to the rear of the lot located at 817 Silverado Street. Both sites are located in the LJPD-5 zone of the La Jolla Community plan area, with an allowable density of 15-30 dwelling units per acre (DU/AC). The relocation of the cottage would add one dwelling unit to a 0.09-acre parcel, resulting in 22 DU/AC, consistent with the allowable density.

The subject property contains two single family residences constructed in 1913 and 1915 in a Craftsman-influenced bungalow style. The parcel spans the width of the block between Eads Avenue and Bishops Lane with each residence oriented towards a different street. The cottage proposed for relocation ("Cottage"), the smaller of the two, faces Bishops Lane. The Cottage was built in 1913, and modifications include a 28-square-foot addition on the southwest side of the house constructed after 1956 and the enclosure of a rear porch. On July 26, 2012, the property was designated by the HRB under Criterion A as a special element of the development of La Jolla.

The Cottage, which is currently being used as a residence, is surrounded by residential, institutional (church) and commercial uses. The site is zoned for multi-family use. The Receiver Parcel currently contains a single-family residential unit which will be pursuing historic designation at a later date. The relocation of the Cottage would create a complex of two coastal beach cottages, visually linked by a two-car garage with studio above, into one continuous beach cottage complex facing Bishops Lane, while also fronting onto Silverado Street. An outside stairway will separate the Cottage from the proposed garage and studio addition between. Additionally, the proposed project would provide more parking on the Donor Parcel and prepare the site for future development. Therefore, relocating to the adjacent parcel is consistent with and will not adversely affect the applicable land use plan.

b. The proposed development will not be detrimental to the public health, safety, and welfare.

The project proposes the relocation of one of the historically designated Lillian Lentell Cottages from its current location at 7762 Bishops Lane approximately 30 feet north to the rear of the lot located at 817 Silverado Street. Both sites are located in the LJPD-5 zone of the La Jolla Community plan area.

The proposed project has been designed to comply with all of the applicable development regulations. An environmental review determined that this project may have a significant environmental effect on Historic Resources requiring the preparation of a Mitigated Negative Declaration (MND) in accordance with the California Environmental Quality Act (CEQA). The MND's Mitigation Monitoring and Reporting Program (MMRP) requires mitigation measures for potential impacts to Historic Resources, to reduce the potential impacts to a level below significance. The environmental analysis did not find any significant impacts to public health and safety.

The project will not have any impact on the provision of essential public services. The permit controlling the development and continued use of the proposed project for this site contains specific conditions addressing compliance with the City's codes, policies, regulations and other regional, state, and federal regulations to prevent detrimental impacts to the health, safety and general welfare of persons residing and/or working in the area. Conditions of approval require the review and approval of all construction/relocation plans by staff prior to construction to determine the construction of the project will comply with all regulations. The construction/relocation

will be inspected by certified building and engineering inspectors to assure construction/relocation is in accordance with the approved plans and with all regulations. Therefore, the proposed development will not be detrimental to the public health, safety, and welfare.

c. The proposed development will comply with the regulations of the Land Development Code including any allowable deviations pursuant to the Land Development Code.

The project proposes the relocation of one of the historically designated Lillian Lentell Cottages from its current location at 7762 Bishops Lane approximately 30 feet north to the rear of the lot located at 817 Silverado Street. Both sites are located in the LJPD-5 zone of the La Jolla Community plan area.

Once in place at 817 Silverado Street, the building would then be restored per *The Secretary of the Interior's Standards*. The orientation of the house will match its current orientation, with the front door facing Bishops Lane Street and setback on the new site would be compatible with the original character and use of the historical resource.

The project complies with all development regulations including lot size, lot width, setbacks, with one allowable deviation proposed related to Tandem Parking. Therefore, the proposed project complies with the applicable zoning and development regulations of the Land Development Code.

2. Supplemental Findings – Environmentally Sensitive Lands- Historical Resources Deviation for Relocation of a Designated Historical Resource, SDMC Section 126.0504(h):

a. There are no feasible measures, including maintaining the resource on site, that can further minimize the potential adverse effects on historical resources.

The existing one-story Cottage on this site was built in 1913. It is acknowledged that the cottage will require repair typical of buildings of similar vintage. In addition, the Cottage will need electrical and plumbing upgrades. The Cottage occupies 424 square feet of a 3500-square-foot lot with a 10-inch set back to the south, 10 feet to the east on Bishops Lane, and 4 feet to the north. The cottage is the back unit to a cottage built in 1915, Eads Avenue. Eads Avenue is a 60-foot-wide avenue with sidewalk and landscaping. Bishops Lane, on which the Lillian Lentell Cottage faces, is a 20-foot-wide alley.

The existing two cottages, 7763 Eads Avenue, a 23'-7"- wide structure, and 7762 Bishops Lane, a 20-foot-wide structure, are set on a 25-foot-wide lot, 10 feet in from Bishops Lane, at the east and behind a curb and sidewalk on Eads Avenue on the west. The property has no garage or existing off-street parking. Parking could only be created by removing one of the existing cottages, preferably the smaller Bishops Lane Cottage. Together the two cottages total approximately 1000 square foot on 0.040 acres, or 3500 square foot parcel. The density of the LJPDO zone allows 15-30 DU/AC with the allowable FAR of 1.5, or a 5250 sq. ft. development. To the south of the 25-foot wide lot is a three-story condominium complex.

The inability to build out the small site to the allowable land use density is a significant detriment to the properties overall economic and functional feasibility, especially to the inability to add a diversity of housing units in the community.

Relocation of the Lillian Lentell Cottage approximately 30 feet over onto the adjacent lot, setting the cottage back in the sunlight and restoring it to its original character will allow reuse of the donor site in a manner that will not have an impact on the character of the Cottage. Any modifications at the existing site would likely result in an adverse impact to the Cottage due to the small size of the existing lot. Relocation will increase the setback and provide greater opportunity for recreating the original cottage landscape and setbacks. is an opportunity to bring back to life some of the character of the cottage and La Jolla Village Area.

Mitigation for the relocation of a locally designated historical resource includes the submittal of Treatment and Monitoring Plans to Historical Resources staff for review and approval. Additionally, the property will be documented consistent with the requirements of the Historic American Building Survey (HABS). Implementation of these mitigation measures will be required as a condition of the Site Development Permit.

Additional development near the Cottage would also alter the setting and may result in impacts to the resource that would be difficult to mitigate, based on the size of the structure, lot size, setbacks, and existing development to the south.

b. The proposed relocation will not destroy the historical, cultural, or architectural values of the historical resource, and the relocation is part of a definitive series of actions that will assure the preservation of the designated historical resource.

The proposed project includes the relocation of the Cottage to the adjacent parcel and combining it with the existing single-family residential structure, the Silverado Cottage on the relocation site. The Lillian Lentell Cottages are designated historically significant under HRB Criterion A as a special element of the development of La Jolla. Specifically, the resources are an example of a finite and limited number of beach cottages remaining which reflect the early development of La Jolla. The proposed project will maintain the character defining features of beach cottage architecture including the resource's small size, Craftsman inspired architectural features, modest front porch and wood siding. The Cottage will also retain its existing setting and orientation facing Bishops Lane. Additionally, the design of the proposed new garage and studio is complimentary to the historic structure and allows for the resource to continue to convey its historic significance.

The series of actions for relocation of the Cottage is clearly documented in the Treatment and Monitoring Plans. Once relocated, the Cottage will be repaired and rehabilitated in accordance with the Secretary of the Interior's Standards for Rehabilitation. The primary entry porch will be replaced in kind using new wood and salvaged elements where feasible. A new foundation will be set, and finish work, painting and rehabilitation will

ensue. Landscaping adjacent to the house to the east and south will consist of foundation planting so as not obscure the east face of the cottage. Other exterior repairs include replacing the existing roofing material with composite shingles, seismically retrofitting or reconstructing the original chimney, stabilizing and reconstructing historic front porch, restoring existing windows to working conditions, restoring existing front entry door and rear doors, and placing the exterior plumbing in the interior. As such, the proposed relocation will not destroy the historical, cultural, or architectural values of the Cottage, and the relocation is part of a definitive series of actions that will assure the preservation of the Cottage.

- c. There are special circumstances or conditions apart from the existence of historical resources, apply to the land that are peculiar to the land and are not of the applicant's making, whereby the strict application of the provisions of the historical resources regulations would deprive the property owner of reasonable use of the land.**

The special circumstances pertaining to this project are as follows: The designated building occupies approximately 20% of the buildable area land on two small lots (3,500 square feet) and about 8% of the FAR allowable where it resides. The property, 25 feet wide, can only be accessed from Bishops Lane, an alley. The Lillian Lentell Cottage, a one-story Beach Cottage, is set 10 feet from Bishops Lane, 20' -6" wide on a 25-foot-wide lot, blocking any ability for a development to provide off-street parking to the long 140-foot lot that fronts on Eads Avenue. The property could allow three residential units with a total of 5250 square feet. The front portion of the lot, facing Eads Avenue contains a designated historical resource, which will not be moved or altered. Relocating the Lillian Lentell cottage approximately 30 feet to the north opens the property to being able to provide off-street parking for the remaining designated cottage on the property.

These circumstances are particular to the land and are not the applicant's making, whereby the strict application of the provisions of historic resources regulations would deprive the owner of reasonable use of the land in a manner called for by the La Jolla Community Plan and the La Jolla Planned District Ordinance. The relocation of the historic resource allows for the opportunity for off-street parking in an urban area with limited parking, and places the Lillian Lentell Cottage back in sunlight, renovated and to its former use and character.

B. COASTAL DEVELOPMENT PERMIT- SDMC Section 126.0708

1. Findings for all Coastal Development Permits:

- a. The proposed coastal development will not encroach upon any existing physical accessway that is legally used by the public or any proposed public accessway identified in Local Coastal Program land use plan; and the proposed coastal development will enhance and protect public views to and along the ocean and other scenic coastal areas as specified in the Local Coastal Program land use plan.**

The project proposes the relocation of one of the historically designated Lillian Lentell Cottages from its current location at 7762 Bishops Lane, approximately 30 feet north to the rear of the lot located at 817 Silverado Street. In addition, the cottage would be restored and incorporated into the 817 Silverado Street structure, via a new garage with second floor studio.

Both sites are located in the LJPD-5 zone of the La Jolla Community plan area.

The project is located along a named alley, Bishops Lane, and all of the project activity occurs within private property. There is no physical accessway that will be impeded with the proposed project. Bishops Lane will not be altered with this project, with the exception of the alley apron being brought up to City engineering standards, including appropriate ADA ramps. The Local Coastal Program does not identify any public views to or along the coast, as the project site is approximately 910 feet from the nearest public access to the coast, and the geography is flat, so there are no public views over or through the intervening development from the project site. Therefore, the project would not have any impacts to coastal accessways, either physical or visual.

b. The proposed coastal development will not adversely affect environmentally sensitive lands.

The project is located in a developed urbanized area at 7762 Bishops Lane and 817 Silverado Street. The site does not contain nor is it adjacent to any environmentally sensitive lands, as document in the Mitigated Negative Declaration prepared for the project.

c. The proposed coastal development is in conformity with the certified Local Coastal Program land use plan and complies with all regulations of the certified Implementation Program.

The project proposes the relocation of a cottage and the linkage of that cottage to an existing residence at 817 Silverado Street. The linkage would create a complex of two coastal beach cottages, linked by a two-car garage with studio above, into one continuous beach cottage complex facing Bishops Lane, while also fronting onto Silverado Street. An outside stairway will separate the Cottage from the proposed garage and studio addition between. Additionally, the proposed project would provide more parking on the Donor Parcel.

Both sites are located in the LJPD-5 zone of the La Jolla Community plan area, with an allowable density of 15-30 dwelling units per acre (DU/AC). The relocation of the cottage would add one dwelling unit to a 0.09-acre parcel, resulting in 22 DU/AC, consistent with the allowable density. The project complies with the development standards required by the underlying zone, including height, density, building setbacks, floor area ratio, and lot coverage. In addition, the project is not requesting any deviations or variances from the applicable regulations. Therefore, the relocation and development is in conformity with the certified Local Coastal land use plan and complies with all regulations of the certified Implementation Program. It complies and implements the Implementation Program because

the project is subject to and is obtaining all necessary entitlements for the project (a Coastal Development Permit, Site Development Permit, and Neighborhood Development Permit).

- d. For every Coastal Development Permit issued for any coastal development between the nearest public road and the sea of the shoreline of any body of water located within the Coastal Overlay Zone, the coastal development is in conformity with the public access and public recreation policies of Chapter 3 of the California Coastal Act.**

The project site is not located between the first public road and the sea or shoreline of any body of water located within the Coastal Overlay Zone. No public access or public recreation facilities exist on the project site. Therefore, the proposed project is in conformity with the public access and public recreation policies of Chapter 3 of the California Coastal Act.

C. NEIGHBORHOOD DEVELOPMENT PERMIT- SDMC Section 126.0404

1. Findings for all Neighborhood Development Permits:

- a. The proposed development will not adversely affect the applicable land use plan.**

Please see Site Development Permit Finding 1.a.

- b. The proposed development will not be detrimental to the public health, safety, and welfare.**

Please see Site Development Permit Finding 1.b.

- c. The proposed development will comply with the applicable regulations of the Land Development Code including any allowable deviations pursuant to the Land Development Code.**

Please see Site Development Permit Finding 1.c.

2. Supplemental Findings – - Affordable Housing, In-Fill Projects, or Sustainable Buildings Deviation(f):

A Neighborhood Development Permit required in accordance with Section 143.0915 because a deviation is requested in accordance with Section 143.0920 may be approved or conditionally approved only if the decision maker makes the following supplemental findings in addition to the findings in Section 126.0404(a).

- a. The development will materially assist in accomplishing the goal of providing affordable housing, in-fill projects, or sustainable buildings.**

The project proposes the relocation of a designated historic cottage to an adjacent parcel. The Cottage would be integrated into a larger cottage development consistent of the designated cottage and the existing two-story cottage at 817 Silverado Street. The two cottages would be linked via a new garage with tandem parking, and studio above that new garage. The site is currently developed with a surface parking lot, and this proposed development is considered an in-fill project. The creation of this cottage complex would assist in achieving a diverse mix of housing types and forms, including maintaining and restoring a designated historic resource, located in a transit priority area of the Coastal zone. The relocation would also allow for redevelopment of the donor site of the cottage, which may provide additional infill housing potential opportunities.

b. Any proposed deviations are appropriate for the proposed location.

The project would not be able to comply with the requirement of the residential tandem parking overlay zone that at least one of the two tandem parking spaces be within a completely enclosed structure. The proposed front tandem spaces will be covered, but not completely enclosed. The restrictive lot width does not allow for enclosed tandem parking spaces without encroaching into the required setbacks. As previously noted, this site is along an alley and is currently development with a surface parking lot behind the two-story cottage on Silverado Street. By not encroaching into the setbacks, the project will maintain the existing, established set back of the 817 Silverado cottage, and maintain the distance between the housing to the west of the property, while providing additional housing and off-street parking for that infill housing. Maintaining the setbacks to established housing, but not achieving a fully enclosed garage structure is an appropriate deviation for the unique location that this project is located on.

The above findings are supported by the minutes, maps and exhibits, all of which are incorporated herein by this reference.

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the PLANNING COMMISSION, Site Development Permit No. 2472529, Coastal Development Permit No. 1981414, and Neighborhood Development Permit No. 1981565 is hereby GRANTED by the PLANNING COMMISSION to the referenced Owner/Permittee, in the form, exhibits, terms and conditions as set forth in Site Development Permit No. 2472529, Coastal Development Permit No. 1981414, and Neighborhood Development Permit No. 1981565, a copy of which is attached hereto and made a part hereof.

Martha Blake
Development Project Manager
Development Services

Adopted on: December 17, 2020 IO#: 24007375

RECORDING REQUESTED BY
CITY OF SAN DIEGO
DEVELOPMENT SERVICES
PERMIT INTAKE, MAIL STATION
501

WHEN RECORDED MAIL TO
PROJECT MANAGEMENT
PERMIT CLERK
MAIL STATION 501

INTERNAL ORDER NUMBER: 24007375

SPACE ABOVE THIS LINE FOR RECORDER'S USE

SITE DEVELOPMENT PERMIT NO. 2472529, COASTAL DEVELOPMENT PERMIT NO. 1981414, and
NEIGHBORHOOD DEVELOPMENT PERMIT NO. 1981565

LILLIAN LENTELL COTTAGE PROJECT NO. 560771 - MMRP
PLANNING COMMISSION

This Site Development Permit No. 2472529, Coastal Development Permit No. 1981414, and Neighborhood Development Permit No. 1981565 is granted by the Planning Commission of the City of San Diego to Rabines Safdie Family Trust, Owner/Permittee and Mathew Welsh, Owner/Permittee, pursuant to San Diego Municipal Code [SDMC] sections §126.0505, §126.0708, and §126.0404. The 0.04 -acre donor site is located at 7762 Bishop's Lane and the 0.09-acre receiving site is located at 817 Silverado Street, in the LJPD-5 Base Zone zone(s) of the La Jolla Community plan. The project sites are legally described as: Eastern one-half of Lot 5, Block 31 of La Jolla Parks, City of San Diego, State of California, Map 352, March 22, 1887, Lying Easterly of a line parallel with 100 feet at right angles from the Westerly Line of Said Lots and All those Portions of Lots 1, 2, 3, and 4, Block 32 of La Jolla Park, City of San Diego, State of California, Map 352, March 22, 1887, Lying Easterly of a Line Parallel with 100 Feet at Right Angeles from the Westerly Line of Said Lots;

Subject to the terms and conditions set forth in this Permit, permission is granted to Rabines Safdie Family Trust Owner/Permittee and Mathew Welsh Owner/Permittee to relocate a designated historical structure at 7762 Bishop's Lane to 817 Silverado Street and to incorporate the relocated building into the existing structure at 817 Silverado Street, subject to the City's land use regulations described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated December 17, 2020, on file in the Development Services Department.

The project shall include:

- a. Relocation of the historic Lillian Lentell Cottage approximately 30 feet to the north, or eight feet from the rear property line, to the back of the adjacent lot on Silverado Street while still facing Bishops Lane and restoration of said cottage;
- b. Demolition of a 288-square-foot annex addition at 817 Silverado Street and construction of an attached, 361-square-foot, two-car, open garage with 450-square-foot studio above between the relocated Lillian Lentell Cottage and the existing cottage at 817 Silverado Street;

- c. Off-street parking;
- d. Landscaping; and
- e. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act [CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

STANDARD REQUIREMENTS:

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36-month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by January 4, 2024.
2. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
 - a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
 - b. The Permit is recorded in the Office of the San Diego County Recorder.
3. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.
4. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.
5. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
6. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).
7. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements

may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.

8. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.

9. All of the conditions contained in this Permit have been considered and were determined necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

10. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

ENVIRONMENTAL/MITIGATION REQUIREMENTS:

11. Mitigation requirements in the Mitigation, Monitoring, and Reporting Program [MMRP] shall apply to this Permit. These MMRP conditions are hereby incorporated into this Permit by reference.

12. The mitigation measures specified in the MMRP and outlined in Mitigated Negative Declaration No. 560771 shall be noted on the construction plans and specifications under the heading ENVIRONMENTAL MITIGATION REQUIREMENTS.

13. The Owner/Permittee shall comply with the MMRP as specified in Mitigated Negative Declaration No. 560771 to the satisfaction of the Development Services Department and the City Engineer. Prior to issuance of any construction permit, all conditions of the MMRP shall be adhered to, to the satisfaction of the City Engineer. All mitigation measures described in the MMRP shall be implemented for the following issue areas:

Cultural Resources – Built environment

CLIMATE ACTION PLAN REQUIREMENTS:

14. Owner/Permittee shall comply with the Climate Action Plan (CAP) Consistency Checklist stamped as Exhibit "A." Prior to issuance of any construction permit, all CAP strategies shall be noted within the first three (3) sheets of the construction plans under the heading "Climate Action Plan Requirements" and shall be enforced and implemented to the satisfaction of the Development Services Department.

ENGINEERING REQUIREMENTS:

15. Prior to the issuance of any building permits, the Owner/Permittee shall obtain an Encroachment Maintenance Removal Agreement, from the City Engineer, for private landscaping /irrigation within Silverado Street public right of way.

16. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond to reconstruct alley curb ramps per current City Standards to satisfaction of City Engineer.

17. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond to construct new alley apron per current City Standards adjacent to the site on Silverado Street.

18. Prior to the issuance of any construction permit the Owner/Permittee shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be prepared in accordance with the guidelines in Part 2 Construction BMP Standards Chapter 4 of the City's Storm Water Standards.

LANDSCAPE REQUIREMENTS:

19. Prior to issuance of any grading permit, the Owner/Permittee shall submit complete construction documents for the revegetation and hydro-seeding of all disturbed land in accordance with the City of San Diego Landscape Standards, Storm Water Design Manual, and to the satisfaction of the Development Services Department. All plans shall be in substantial conformance to this permit (including Environmental conditions) and Exhibit "A," on file in the Development Services Department.

20. Prior to issuance of any public improvement permit, the Owner/Permittee shall submit complete landscape construction documents for right-of-way improvements to the Development Services Department for approval. Improvement plans shall show, label, and dimension a 40-square-foot area around each tree which is unencumbered by utilities. Driveways, utilities, drains, water and sewer laterals shall be designed so as not to prohibit the placement of street trees.

21. Prior to issuance of any building permit (including shell), the Owner/Permittee shall submit complete landscape and irrigation construction documents, which are consistent with the Landscape Standards, to the Development Services Department for approval. The construction documents shall be in substantial conformance with Exhibit "A," Landscape Development Plan, on file in the Development Services Department. Construction plans shall provide a 40-square-foot area around each tree that is unencumbered by hardscape and utilities unless otherwise approved per §142.0403(b)6.

22. The Owner/Permittee shall be responsible for the maintenance of all landscape improvements shown on the approved plans, including in the right-of-way, unless long-term maintenance of said landscaping will be the responsibility of another entity approved by the Development Services Department. All required landscape shall be maintained consistent with the Landscape Standards in a disease, weed, and litter free condition at all times. Severe pruning or "topping" of trees is not permitted.

23. If any required landscape (including existing or new plantings, hardscape, landscape features, etc.) indicated on the approved construction documents is damaged or removed, the Owner/Permittee shall repair and/or replace in kind and equivalent size per the approved documents to the satisfaction of the Development Services Department within 30 days of damage or Final Inspection.

PLANNING/DESIGN REQUIREMENTS:

24. A topographical survey conforming to the provisions of the SDMC may be required if it is determined, during construction, that there may be a conflict between the building(s) under construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Owner/Permittee.

25. All private outdoor lighting shall be shaded and adjusted to fall on the same premises where such lights are located and in accordance with the applicable regulations in the SDMC.

HISTORICAL RESOURCES REQUIREMENTS:

26. Prior to the issuance of any construction permits, the Owner/Permittee shall submit drawings that incorporate the Treatment Plan as approved by HRB and City Historical Resources Staff on November 19, 2020.

27. Prior to issuance of any construction permits, the Historic American Building Survey (HABS) documentation as approved by HRB and City Historical Resources Staff on November 19, 2020 shall be submitted for archival storage with the City of San Diego HRB, South Coastal Information Center,

the California Room of the City of San Diego Public Library, the San Diego Historical Society, and/or other historical society or group(s).

28. During construction of the Project, the Owner/Permittee shall implement the Monitoring Plan as approved by HRB and City Historical Resources staff on November 19, 2020. The Project's Principal Investigator shall send monitoring reports as described in the Monitoring Plan to the City's Development Services Department Mitigation Monitoring staff and Historical Resources staff. The Principal Investigator may submit a detailed letter to City staff prior to the start of work or during construction requesting a modification

TRANSPORTATION REQUIREMENTS

29. All automobile, motorcycle and bicycle parking spaces must be constructed in accordance with the requirements of the SDMC. All off-street parking stalls and aisle widths at the approved per exhibit A off-site parking location shall be in compliance with requirements of the City's Land Development Code and shall not be converted and/or utilized for any other purpose, unless otherwise authorized in writing by the appropriate City decision maker in accordance with the SDMC

PUBLIC UTILITIES DEPARTMENT REQUIREMENTS:

30. Prior to any Building Construction Permit being issued, any existing sewer lateral to be reused must be inspected by a California licensed plumbing contractor using CCTV to verify and attest to all of the following via a signed statement on company letterhead: "The lateral has an appropriate cleanout, is in good condition, is free of all debris, is properly connected to a public sewer main, and is in all other ways suitable for reuse" and submitted to the City. If the lateral is not suitable for reuse it must be repaired, removed, replaced, or abandoned and capped with concrete at the property line.

INFORMATION ONLY:

- The issuance of this discretionary permit alone does not allow the immediate commencement or continued operation of the proposed use on site. Any operation allowed by this discretionary permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Planning Commission of the City of San Diego on December 17, 2020 and [Approved Resolution Number].

DRAFT

ATTACHMENT 5

Site Development Permit No. 2472529, Coastal Development Permit No. 1981414, and
Neighborhood Development Permit No. 1981565
Date of Approval: XX

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES DEPARTMENT

Martha Blake
Development Project Manager

**NOTE: Notary acknowledgment
must be attached per Civil Code
section 1189 et seq.**

The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of
this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

Rabines Safdie Family Trust
Owner/Permittee

Matthew Welsh
Owner/Permittee

By _____
NAME
TITLE

By _____
NAME
TITLE

Rabines Safdie Family Trust
Owner/Permittee

By _____
NAME
TITLE

**NOTE: Notary acknowledgments
must be attached per Civil Code
section 1189 et seq.**

RESOLUTION NUMBER R-_____

ADOPTED ON DECEMBER 17, 2020

WHEREAS, on October 18, 2017, Rabines Safdie Family Trust, Owner/Permittee and Matthew Welsh, Owner/Permittee submitted an application to the Development Services Department for a Site Development Permit (SDP), Coastal Development Permit (CDP), and Neighborhood Development Permit for the Lillian Lentell Cottage (Project); and

WHEREAS, the matter was set for a public hearing to be conducted by the Planning Commission of the City of San Diego; and

WHEREAS, the issue was heard by the Planning Commission on December 17, 2020; and

WHEREAS, the Planning Commission considered the issues discussed in Mitigated Negative Declaration No. 560771 (Declaration) prepared for this Project; NOW THEREFORE,

BE IT RESOLVED, by the Planning Commission that it is certified that the Declaration has been completed in compliance with the California Environmental Quality Act of 1970 (CEQA) (Public Resources Code Section 21000 et seq.), as amended, and the State CEQA Guidelines thereto (California Code of Regulations, Title 14, Chapter 3, Section 15000 et seq.), that the Declaration reflects the independent judgment of the City of San Diego as Lead Agency and that the information contained in said Declaration, together with any comments received during the public review process, has been reviewed and considered by the Planning Commission in connection with the approval of the Project.

BE IT FURTHER RESOLVED, that the Planning Commission finds on the basis of the entire record that project revisions now mitigate potentially significant effects on the environment previously identified in the Initial Study, that there is no substantial evidence that the Project will have a significant effect on the environment, and therefore, that said Declaration is hereby adopted.

BE IT FURTHER RESOLVED, that pursuant to CEQA Section 21081.6, the Planning Commission hereby adopts the Mitigation Monitoring and Reporting Program, or alterations to implement the changes to the Project as required by this Planning Commission in order to mitigate or avoid significant effects on the environment, which is attached hereto as Exhibit A.

BE IT FURTHER RESOLVED, that the Declaration and other documents constituting the record of proceedings upon which the approval is based are available to the public at the office of the Development Services Department, 1222 First Avenue, San Diego, CA 92101.

BE IT FURTHER RESOLVED, that Development Services Staff is directed to file a Notice of Determination with the Clerk of the Board of Supervisors for the County of San Diego regarding the Project.

By: _____
Martha Blake, DEVELOPMENT PROJECT MANAGER

ATTACHMENT(S): Exhibit A, Mitigation Monitoring and Reporting Program

EXHIBIT A

MITIGATION MONITORING AND REPORTING PROGRAM

COASTAL DEVELOPMENT PERMIT AND SITE DEVELOPMENT PERMIT

PROJECT NO. 560771

This Mitigation Monitoring and Reporting Program is designed to ensure compliance with Public Resources Code Section 21081.6 during implementation of mitigation measures. This program identifies at a minimum: the department responsible for the monitoring, what is to be monitored, how the monitoring shall be accomplished, the monitoring and reporting schedule, and completion requirements. A record of the Mitigation Monitoring and Reporting Program will be maintained at the offices of the Entitlements Division, 1222 First Avenue, Fifth Floor, San Diego, CA, 92101. All mitigation measures contained in the Mitigated Negative Declaration No. 560771 shall be made conditions of Site Development Permit No. 2472529, Coastal Development Permit No. 1981414, and Neighborhood Development Permit No. 1981565 as may be further described below.

A. GENERAL REQUIREMENTS – PART I
Plan Check Phase (prior to permit issuance)

1. Prior to the issuance of a Notice To Proceed (NTP) for a subdivision, or any construction permits, such as Demolition, Grading or Building, or beginning any construction related activity on-site, the Development Services Department (DSD) Director's Environmental Designee (ED) shall review and approve all Construction Documents (CD), (plans, specification, details, etc.) to ensure the MMRP requirements are incorporated into the design.

2. In addition, the ED shall verify that the MMRP Conditions/Notes that apply ONLY to the construction phases of this project are included VERBATIM, under the heading, **"ENVIRONMENTAL/MITIGATION REQUIREMENTS."**

3. These notes must be shown within the first three (3) sheets of the construction documents in the format specified for engineering construction document templates as shown on the City website:

<http://www.sandiego.gov/development-services/industry/standtemp.shtml>

4. The **TITLE INDEX SHEET** must also show on which pages the "Environmental/Mitigation Requirements" notes are provided.

5. **SURETY AND COST RECOVERY** – The Development Services Director or City Manager may require appropriate surety instruments or bonds from private Permit Holders to ensure the long term performance or implementation of required mitigation measures or programs. The City is authorized to recover its cost to offset the salary, overhead, and expenses for City personnel and programs to monitor qualifying projects.

B. GENERAL REQUIREMENTS – PART II
Post Plan Check (After permit issuance/Prior to start of construction)

1. PRE CONSTRUCTION MEETING IS REQUIRED TEN (10) WORKING DAYS PRIOR TO BEGINNING ANY WORK ON THIS PROJECT. The PERMIT HOLDER/OWNER is responsible to arrange and perform this meeting by contacting the CITY RESIDENT ENGINEER (RE) of the Field Engineering Division and City staff from MITIGATION MONITORING COORDINATION (MMC). Attendees must also include the Permit holder's Representative(s), Job Site Superintendent and the following consultants: Project Architect, Historic Preservation Architect Monitor, Developer/Designer, Construction Manager, House Mover, and Building Instructor

Note:

Failure of all responsible Permit Holder's representatives and consultants to attend shall require an additional meeting with all parties present.

CONTACT INFORMATION:

- a) The PRIMARY POINT OF CONTACT is the **RE** at the **Field Engineering Division – 858-627-3200**
- b) For Clarification of ENVIRONMENTAL REQUIREMENTS, it is also required to call **RE and MMC at 858-627-3360**

2. MMRP COMPLIANCE: This Project, Project Tracking System (PTS) #560771 and /or Environmental Document # 560771, shall conform to the mitigation requirements contained in the associated Environmental Document and implemented to the satisfaction of the DSD's Environmental Designee (MMC) and the City Engineer (RE). The requirements may not be reduced or changed but may be annotated (i.e. to explain when and how compliance is being met and location of verifying proof, etc.). Additional clarifying information may also be added to other relevant plan sheets and/or specifications as appropriate (i.e., specific locations, times of monitoring, methodology, etc)

Note:

Permit Holder's Representatives must alert RE and MMC if there are any discrepancies in the plans or notes, or any changes due to field conditions. All conflicts must be approved by RE and MMC BEFORE the work is performed.

3. OTHER AGENCY REQUIREMENTS: Evidence of compliance with all other agency requirements or permits shall be submitted to the RE and MMC for review and acceptance prior to the beginning of work or within one week of the Permit Holder obtaining documentation of those permits or requirements. Evidence shall include copies of permits, letters of resolution or other documentation issued by the responsible agency.

4. MONITORING EXHIBITS

All consultants are required to submit , to RE and MMC, a monitoring exhibit on a 11x17 reduction of the appropriate construction plan, such as site plan, grading, landscape, etc., marked to clearly show the specific areas including the **LIMIT OF WORK**, scope of that discipline's work, and notes indicating when in the construction schedule that work will be performed. When necessary for clarification, a detailed methodology of how the work will be performed shall be included.

NOTE:

Surety and Cost Recovery – When deemed necessary by the Development Services Director or City Manager, additional surety instruments or bonds from the private Permit Holder may be required to ensure the long term performance or implementation of required mitigation measures or programs. The City is authorized to recover its cost to offset the salary, overhead, and expenses for City personnel and programs to monitor qualifying projects.

5. OTHER SUBMITTALS AND INSPECTIONS:

The Permit Holder/Owner's representative shall submit all required documentation, verification letters, and requests for all associated inspections to the RE and MMC for approval per the following schedule:

DOCUMENT SUBMITTAL/INSPECTION CHECKLIST		
Issue Area	Document Submittal	Associated Inspection/ Approvals/Notes
General	Consultant Qualification Letters	Prior to Preconstruction Meeting
General	Consultant Construction Monitoring Exhibits	Prior to or at Preconstruction Meeting
Bond Release	Request for Bond Release Letter	Final MMRP Inspections Prior to Bond Release Letter

B. SPECIFIC MMRP ISSUE AREA CONDITIONS/REQUIREMENTS

CULTURAL RESOURCES (BUILT ENVIRONMENT)

Prior to preconstruction (precon) meeting

1. LDR Plan Check
Notes on plan
 - a. Prior to the issuance of any permit, including but not limited to, demolition or any discretionary action, Historical Resources staff shall verify that the requirement for historical monitoring during alteration, construction and/or restoration has been noted on the Grading/Demolition Plans. The Treatment Plan (TP) (Treatment Plan, Lillian Lentell Cottage, March 2019) must be submitted with the Grading/Demolition Plans. The applicant shall implement the TP as indicated below.

Monitoring cannot begin until a Precon Meeting has been held at least one week prior to issuance of appropriate permits. Physical description including year, type of structure and extent of work shall be noted on the plans.

2. Letters of Qualification have been submitted to Historical Resources staff
 - a. Prior to the issuance of any permits, including but not limited to, a grading permit or other discretionary action, the applicant shall provide a letter of verification to Historical Resources staff stating that a qualified Historian and/or Architectural Historian, as defined in the City of San Diego Historical Resources Guidelines, has been retained to implement and monitor the TP.

3. Second letter containing names of monitors has been sent to MMC.
 - a. At least thirty days prior to the Precon Meeting, a second letter shall be submitted to Mitigation Monitoring Coordination (MMC) of LDR and shall include the names of all persons involved in the historical monitoring of this project and shall be approved by Historical Resources staff prior to the first Precon Meeting. MMC will provide Plan Check with a copy of both the first and second letter.
4. Treatment Plan
 - a. The TP addresses the following issues but is not limited to: Preparation, Foundation, Framing, Exterior finishes, Exterior Walls, Doors and Windows, Electrical and Lighting, Plumbing, Painting, Interior Finishes, and Reconstruction. The treatment is to be accompanied by a copy of the HABS drawings of the property that outline the proposed stabilization and preparation of the structure for relocation. The drawings will also detail the restoration of the structure at the adjacent location and its connection to the proposed garage and existing Silverado Cottage.

Precon meeting

1. Historian and/or Architectural Historian Shall Attend Precon Meetings

For all projects: At least thirty days prior to implementation of the MMRP, the applicant shall arrange a Precon Meeting that shall include the Historian and/or Architectural Historian, Construction Manager or Grading Contractor, Resident Engineer (RE), Building Inspector (BI) and MMC. In addition, the Historian and/or Architectural Historian shall attend any focused precon meetings at the request of MMC to make comments and/or suggestions concerning the historical monitoring program with the construction manager and/or grading contractor.
2. Identify Areas to be Monitored

At the Precon Meeting the Historian and/or Architectural Historian shall submit to MMC a copy of the site/grading plan (reduced to 11x17) that identifies the areas involved in the plan along with a copy of the TP.
4. TP Construction Schedule

Prior to the start of any work, The Historian and/or Architectural Historian shall submit a construction schedule for implementation of the TP and will notify MMC of the start date.

During construction

1. Monitor Shall be Present During Implementation of TP

The Historian and/or Architectural Historian shall be present during implementation of the TP. The qualified historian shall document activity via the Consultant Site Visit Record. This record shall be sent to the RE or BI, every month. RE or BI will forward copies to MMC.
2. Night Work
 - a. If night work is included in the contract,
 - (1) The extent and timing shall be presented and discussed at the precon meeting.

- (2) All work shall be recorded on the Site Visit Record and the RE, or BI, as appropriate, will notify MMC of any unusual circumstances by 9AM the following morning.
 - (3) MMC will coordinate with LDR staff, as appropriate.
If night work becomes necessary during the course of the project
 - (4) The qualified Historian and/or Architectural Historian shall notify the RE, or BI, as appropriate a minimum of 24 hours before work is to begin.
 - (5) The RE, or BI, as appropriate will notify MMC immediately.
- b. All other procedures described above will apply, as appropriate.

Post construction

3. Final Results Report

After completion of the MMRP, the Final Results Report (FRP), shall be submitted to MMC for review by Historical Resources staff.

The above mitigation monitoring and reporting program will require additional fees and/or deposits to be collected prior to the issuance of building permits, certificates of occupancy and/or final maps to ensure the successful completion of the monitoring program.



THE CITY OF SAN DIEGO

City of San Diego
Development Services
1222 First Ave., MS-302
San Diego, CA 92101

Community Planning Committee Distribution Form Part 1

Project Name:		Project Number:	Distribution Date:
Project Scope/Location:			
Applicant Name:		Applicant Phone Number:	
Project Manager:	Phone Number:	Fax Number: (619) 321-3200	E-mail Address:
Project Issues (To be completed by Community Planning Committee for initial review):			
<i>Attach Additional Pages If Necessary.</i>		Please return to: Project Management Division City of San Diego Development Services Department 1222 First Avenue, MS 302 San Diego, CA 92101	
Printed on recycled paper. Visit our web site at www.sandiego.gov/development-services . Upon request, this information is available in alternative formats for persons with disabilities.			



THE CITY OF SAN DIEGO

City of San Diego
Development Services
1222 First Ave., MS-302
San Diego, CA 92101

Community Planning Committee Distribution Form Part 2

Project Name:		Project Number:		Distribution Date:	
Project Scope/Location:					
Applicant Name:				Applicant Phone Number:	
Project Manager:		Phone Number:	Fax Number:	E-mail Address:	
			(619) 321-3200		
Committee Recommendations (To be completed for Initial Review):					
<input type="checkbox"/> Vote to Approve		Members Yes	Members No	Members Abstain	
<input type="checkbox"/> Vote to Approve With Conditions Listed Below		Members Yes	Members No	Members Abstain	
<input type="checkbox"/> Vote to Approve With Non-Binding Recommendations Listed Below		Members Yes	Members No	Members Abstain	
<input type="checkbox"/> Vote to Deny		Members Yes	Members No	Members Abstain	
<input type="checkbox"/> No Action (Please specify, e.g., Need further information, Split vote, Lack of quorum, etc.)				<input type="checkbox"/> Continued	
CONDITIONS:					
NAME:			TITLE:		
SIGNATURE:			DATE:		
Attach Additional Pages If Necessary.		Please return to: Project Management Division City of San Diego Development Services Department 1222 First Avenue, MS 302 San Diego, CA 92101			
Printed on recycled paper. Visit our web site at www.sandiego.gov/development-services . Upon request, this information is available in alternative formats for persons with disabilities.					



THE CITY OF SAN DIEGO

Report to the Historical Resources Board

DATE ISSUED: November 12, 2020 REPORT NO. HRB 20-055

HEARING DATE: November 19, 2020

SUBJECT: **ITEM 5 – LILLIAN LENTELL**

RESOURCE INFO: [California Historical Resources Inventory Database \(CHRID\) link](#)

APPLICANT: Safdie Rabines Architects and Matthew Welsh

LOCATION: 7762 Bishops Lane, La Jolla Community, Council District 1
APN 350-321-0500

DESCRIPTION: Recommend to the Planning Commission adoption of the mitigation measures and findings associated with the Site Development Permit as presented or recommend inclusion of additional permit conditions related to a designated historical resource.

BACKGROUND

The City's Land Development Code Section 126.0503(b)(2) requires a recommendation from the Historical Resources Board (HRB) prior to the Planning Commission decision on a Site Development Permit when a historical district or designated historical resource is present. The HRB has adopted the following procedure for making recommendations to decision-makers (Historical Resources Board Procedures, Section II.B):

When the Historical Resources Board is taking action on a recommendation to a decision-maker, the Board shall make a recommendation on only those aspects of the matter that relate to the historical aspects of the project. The Board's recommendation action(s) shall relate to the cultural resources section, recommendations, findings and mitigation measures of the final environmental document, the Site Development Permit findings for historical purposes, and/or the project's compliance with the Secretary of the Interior's Standards for Treatment of Historic Properties. If the Board desires to recommend the inclusion of additional conditions, the motion should include a request for staff to incorporate permit conditions to capture the Board's recommendations when the project moves forward to the decision maker.

The project application proposes the relocation of one of the Lillian Lentell Cottages (HRB Site #1062) from 7762 Bishops Lane to an adjacent parcel located at 817 Silverado Street. The subject property contains two single family residences constructed in 1913 and 1915 in a Craftsman-

influenced bungalow style. The parcel spans the width of the block between Eads Avenue and Bishops Lane with each residence oriented towards a different street. The cottage proposed for relocation ("Cottage") ("House"), the smaller of the two, faces Bishops Lane. The Cottage was built in 1913, and modifications include a 28-square-foot addition on the southwest side of the house constructed after 1956 and the enclosure of a rear porch. The Cottage, which is currently being used as a residence, is surrounded by residential, institutional (church) and commercial uses. The site is zoned for multi-family use.

The property was reviewed by the Historical Resources Board and both structures were designated as HRB Site #1062 on July 26, 2012 under Criterion A as a special element of the development of La Jolla. Specifically, the resources are an example of a finite and limited number of beach cottages remaining which reflect the early development of La Jolla. The designation addressed two cottages, collectively known as the Lillian Lentell Cottages: one is located at the west end of the lot, fronting Eads Avenue and addressed as 7761 Eads Avenue and is not proposed to be modified with this action.

The project proposes to relocate the historically designated Lillian Lentell Cottage from its current location at 7762 Bishops Lane ("Donor Parcel") approximately 30 feet north to an existing parking lot associated with the house at 817 Silverado Street ("Receiver Parcel"). The Receiver Parcel currently contains a single-family residential unit which will be pursuing historic designation at a later date. The relocation of the Cottage would create a complex of two coastal beach cottages, visually linked by a two-car garage with studio above, into one continuous beach cottage complex facing Bishops Lane, while also fronting onto Silverado Street. An outside stairway will separate the Cottage from the proposed garage and studio addition between. Additionally, the proposed project would provide more parking on the Donor Parcel and prepare the site for future development.

Community Planning Group Recommendation: On June 6, 2019 the La Jolla Community Planning Association voted on consent to accept the Development Permit Review Committee recommendation on a 5-0-1 vote that the findings could be made to recommend approval of the project. (Attachment 9).

ANALYSIS

The proposed relocation of the designated building is by definition a substantial alteration requiring a site development permit, consistent with Municipal Code Section 143.0251. Impacts related to the proposed alteration and relocation would be reduced through implementation of the required mitigation measures found in the Mitigated Negative Declaration No. 560771 (Attachment 3). Findings for the relocation of a designated historical resource are required for approval of the permit, consistent with Municipal Code Section 126.0504(h).

The required Supplemental Findings and supporting information are provided in Attachment 4 and are summarized below.

1. There are no feasible measures, including maintaining the resource on site, that can further minimize the potential adverse effects on historical resources.

The existing one-story cottage on this site was built in 1913. It is acknowledged that the cottage will require repair typical of buildings of similar vintage. In addition, the building will need electrical and plumbing upgrades. The cottage occupies 424 square feet of a 3500-square-foot lot with a 10-inch set back to the south, 10 feet to the east on Bishops Lane, and 4 feet to the north. The cottage is the back unit to a cottage built in 1915, Eads Avenue. Eads Avenue is a 60-foot-wide avenue with sidewalk and landscaping. Bishops Lane, on which the Lillian Lentell Cottage faces, is essentially a 20-foot-wide alley.

To retain the resource on site, the development of the property could not accommodate the required parking and does not currently have off street parking. The existing two cottages, 7763 Eads Avenue, 23'-7"- wide, and 7764 Bishops Lane, 20-feet wide, are set on a 25-foot-wide lot, 10 feet in from Bishops Lane, an alley, at the east and behind a curb and sidewalk on Eads Avenue on the west. The property has no garage or existing off-street parking. Parking could only be created by removing one of the existing cottages, preferably the smaller Bishops Lane Cottage. Together the two cottages total approximately 1000 square foot on 0.040 acres, or 3500 square foot parcel. The density of the LJPDO zone allows 15-30 DU/AC with the allowable FAR of 1.5, or a 5250 sq. ft. The inability to provide off street parking not only restricts the buildable area on the ground but also restricts buildable area in the airspace above. To the south of the 25-foot wide lot is a three-story condominium complex, which overshadows the cottages and restricts sunlight most of the year.

The loss of buildable area is a significant detriment to the properties overall economic and functional feasibility, especially to provide housing units in the La Jolla Village Area.

Relocation of the Lillian Lentell Cottage 30 feet over onto the adjacent lot, setting the cottage back in the sunlight and restoring it to its original character is not only the most feasible to minimize the potential adverse effects of the historic resource, but is an opportunity to bring back to life some of the character of the cottage and La Jolla Village Area.

Mitigation for the relocation of a locally designated historical resource includes the submittal of Treatment and Monitoring Plans to Historical Resources staff for review and approval. Additionally, the property will be documented consistent with the requirements of the Historic American Building Survey (HABS). Implementation of these mitigation measures will be required as a condition of this Site Development Permit.

The land use designation and zoning applicable to the relocation site is precisely intended for development like the House. For these reasons, relocating the Cottage 30 feet north is consistent with and will not adversely affect the historical resource.

2. The proposed relocation will not destroy the historical, cultural, or architectural values of the historical resource, and the relocation is part of a definitive series of actions that will assure the preservation of the designated historical resource.

The proposed project includes the relocation of the Cottage to the adjacent parcel and combining it with the existing single family residential structure, the Silverado Cottage on site. The Lillian Lentell Cottages are historically significant under HRB Criterion A as a special element of the development of La Jolla. Specifically, the resources are an example of a finite and limited number of beach cottages remaining which reflect the early development of La Jolla. The proposed

project will maintain the character defining features of beach cottage architecture including the resource's small size, Craftsman inspired architectural features, modest front porch and wood siding. The Cottage will also retain its existing setting and orientation facing Bishops Lane. Additionally, the design of the proposed new garage and studio is complimentary to the historic structure and allows for the resource to continue to convey its historic significance.

The series of actions for relocation of the Cottage is clearly documented in the Treatment and Monitoring Plans. Once relocated, the Cottage will be repaired and rehabilitated in accordance with the Secretary of the Interior's Standards for Rehabilitation. The primary entry porch will be replaced in kind using new wood and salvaged elements where feasible. A new foundation will be set, and finish work, painting and rehabilitation will ensue. Landscaping adjacent to the house to the east and south will consist of foundation planting so as not obscure the east face of the cottage. Other exterior repairs include replacing the existing roofing material with composite shingles, seismically retrofitting or reconstructing the original chimney, stabilizing and reconstructing historic front porch, restoring existing windows to working conditions, restoring existing front entry door and rear doors, and placing the exterior plumbing in the interior.

3. There are special circumstances or conditions apart from the existence of historical resources, apply to the land that are peculiar to the land and are not of the applicant's making, whereby the strict application of the provisions of the historical resources regulations would deprive the property owner of reasonable use of the land.

The special circumstances pertaining to this project are as follows: The designated building occupies approximately 20% of the buildable area land on a small lot (3,400 square feet) and about 8% of the FAR allowable where it resides. The property, 25 feet wide, can only be accessed from Bishops Lane, an alley. The Lillian Lentell Cottage, a one-story Beach Cottage, is set 10 feet from Bishops Lane, 20' -6" wide on a 25-foot-wide lot, blocking any ability for a development to provide off street parking to the long 140-foot lot that fronts on Eads Avenue. The property could allow three residential units with a total of 5250 square feet. The front portion of the lot, facing Eads Avenue contains a Designated Historic Resource and will not be moved or altered. Relocating the Lillian Lentell cottage 30 feet to the north opens the property to being able to provide off-street parking for the remaining designated cottage on the property.

These circumstances are particular to the land and are not the applicant's making, whereby the strict application of the provisions of historic resources regulations would deprive the owner of reasonable use of the land in a manner called for by the La Jolla Community Plan and the La Jolla Planned District Ordinance. The relocation of the historic resource allows for a more intense development of the subject development site, which would enable the overall development project to meet the minimum 1.5 FAR for the site, and places the Lillian Lentell Cottage back in sunlight, renovated and to its former use and character.

CONCLUSION

Staff concurs that the proposed mitigation measures and permit conditions provided to the HRB are sufficient to reduce the identified impacts to the Lillian Lentell Cottage. Therefore, staff recommends

that the Historical Resources Board recommend to the Planning Commission adoption of the findings and mitigation measures associated with Site Development Permit No. 2472529, Coastal Development Permit No. 1981414, and Neighborhood Development Permit No. 1981565, Project No. 560771 for the relocation of the designated historical resource located at 7762 Bishops Lane (HRB Site #1062, Lillian Lentell Cottages) as presented.



Martha Blake
Development Project Manager
Development Services Department



Suzanne Segur
Senior Planner
Development Services Department

Attachments:

1. Draft Site Development Permit Resolution
2. Assessor's Parcel Map for both sites
3. Mitigated Negative Declaration No. 560771
4. Treatment Plan
5. Site Plans
6. Monitoring Plan
7. HABS Documentation
8. Technical Report and Supplement
9. Community Planning Group Minutes from June 6, 2019



THE CITY OF SAN DIEGO

City of San Diego
Development Services
1222 First Ave., MS-302
San Diego, CA 92101
(619) 446-5000

Ownership Disclosure Statement

Approval Type: Check appropriate box for type of approval (s) requested: ☐ Neighborhood Use Permit ☐ Coastal Development Permit
☐ Neighborhood Development Permit ☒ Site Development Permit ☐ Planned Development Permit ☐ Conditional Use Permit
☐ Variance ☐ Tentative Map ☐ Vesting Tentative Map ☐ Map Waiver ☐ Land Use Plan Amendment • ☐ Other _____

Project Title

Project No. For City Use Only

Lillian Lentell Cottage Relocation

Project Address:

7762 Bishops Lane, La Jolla

Part I - To be completed when property is held by Individual(s)

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property, with the intent to record an encumbrance against the property. Please list below the owner(s) and tenant(s) (if applicable) of the above referenced property. The list must include the names and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all individuals who own the property). A signature is required of at least one of the property owners. Attach additional pages if needed. A signature from the Assistant Executive Director of the San Diego Redevelopment Agency shall be required for all project parcels for which a Disposition and Development Agreement (DDA) has been approved / executed by the City Council. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

Additional pages attached ☐ Yes ☒ No

Name of Individual (type or print):

Taal Safdie - Rabines / Safdie Family Trust

☒ Owner ☐ Tenant/Lessee ☐ Redevelopment Agency

Street Address:

925 Fort Stockton Dr

City/State/Zip:

San Diego CA 92103

Phone No:

619-297-6153

Fax No:

Signature:

Date:

Jun 30, 2017

Name of Individual (type or print):

☐ Owner ☐ Tenant/Lessee ☐ Redevelopment Agency

Street Address:

City/State/Zip:

Phone No:

Fax No:

Signature:

Date:

Name of Individual (type or print):

☐ Owner ☐ Tenant/Lessee ☐ Redevelopment Agency

Street Address:

City/State/Zip:

Phone No:

Fax No:

Signature:

Date:

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Street Address:

City/State/Zip:

Phone No:

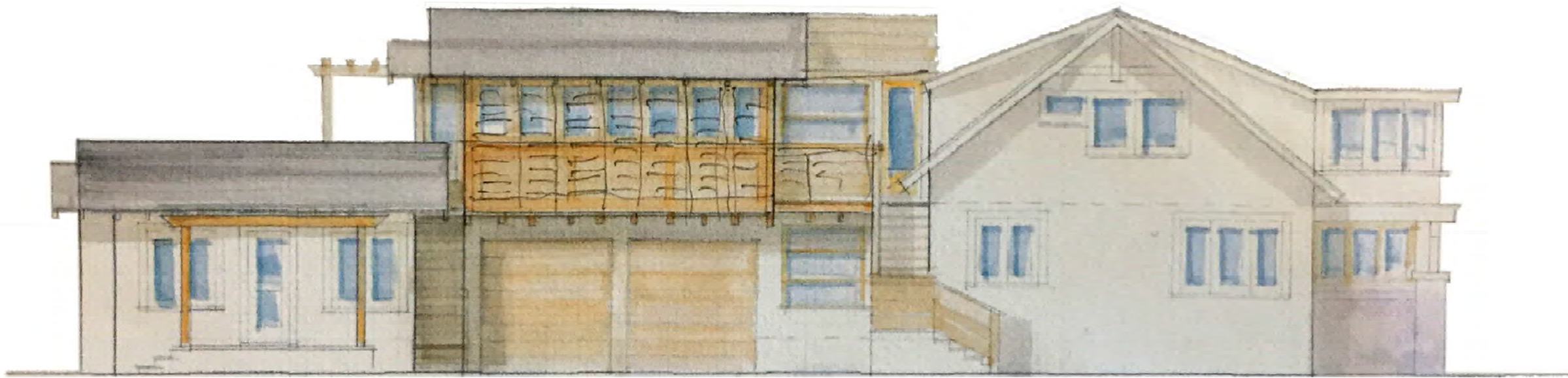
Fax No:

Signature:

Date:

LILLIAN LENTELL COTTAGE

BUILDING RELOCATION / DEMOLITION PERMIT SET



LILLIAN LENTELL COTTAGE

7762 Bishops Lane &
817 Silverado Street
La Jolla, CA 92037

APN: 350-321-05-00

ARCHITECT

SAFDIE RABINES ARCHITECTS
925 FORT STOCKTON DRIVE
SAN DIEGO, CA 92103
619.297.6153

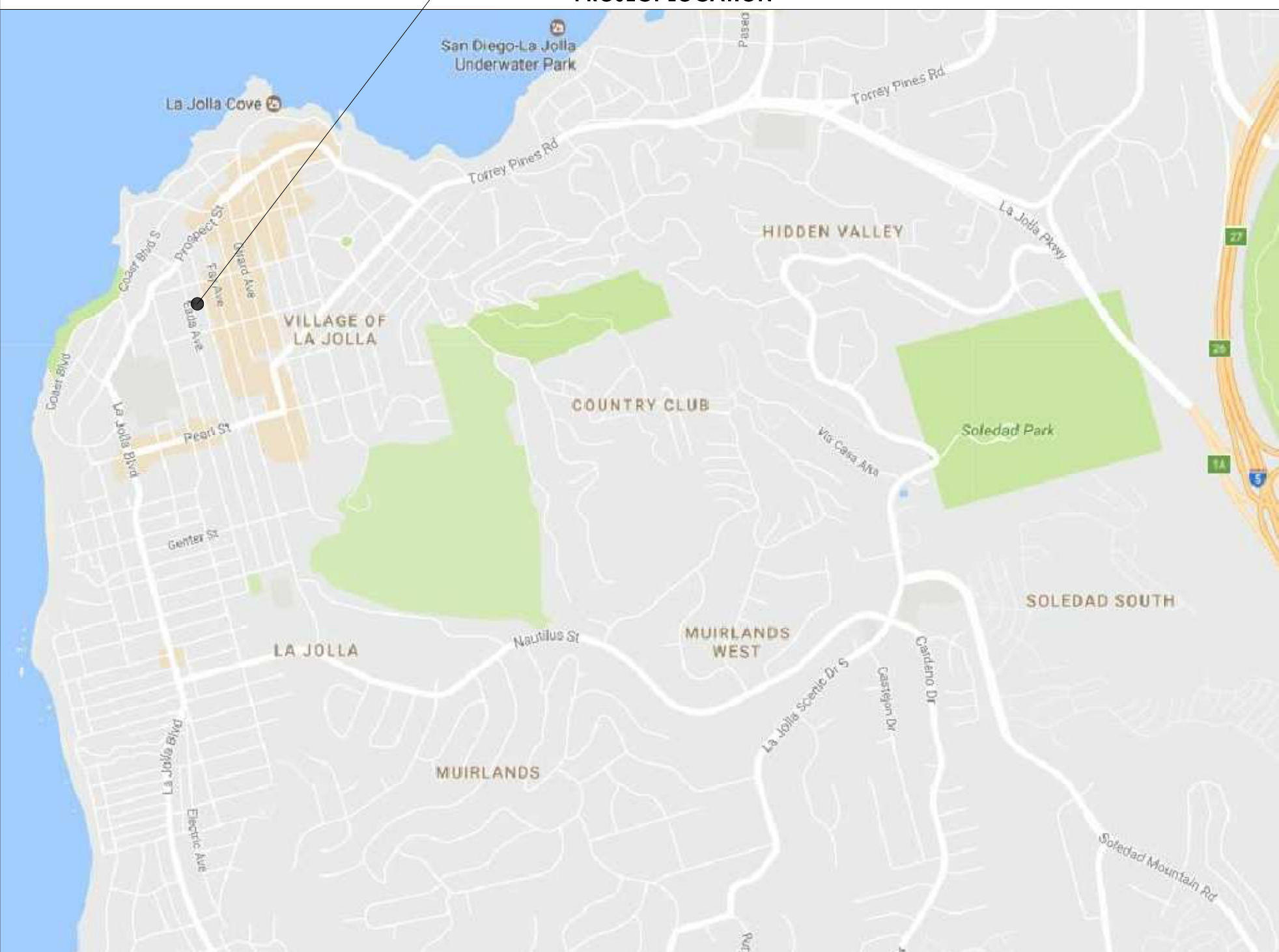
RESIDENTIAL DESIGN

MATTHEW WELSH ASSOCIATES
817 SILVERADO STREET
LA JOLLA, CA 92037

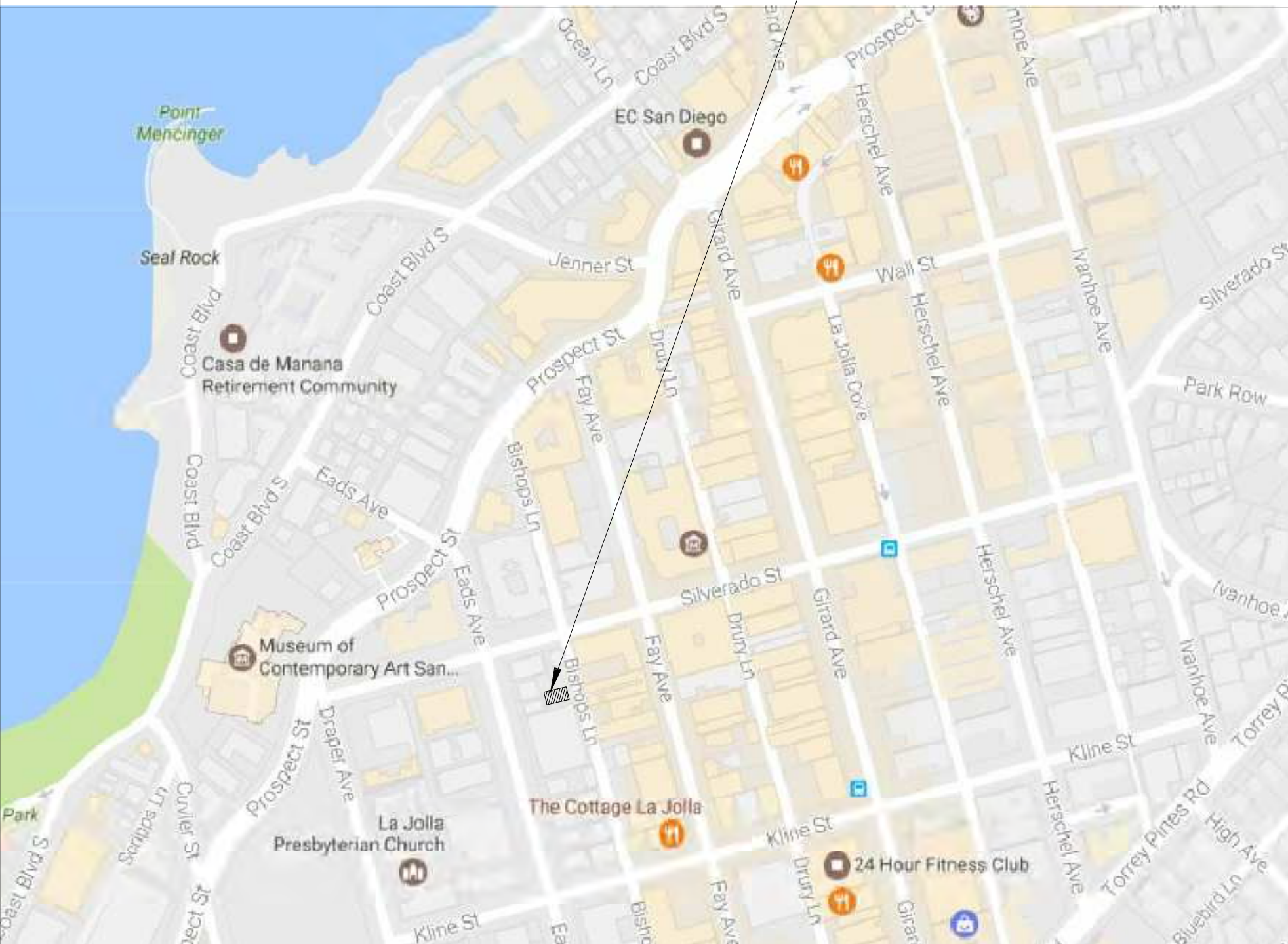
HOUSE MOVER

JOHN T. HANSEN ENTERPRISES
HANSEN HOUSE MOVERS
14315-B OLD HWY. 80
EL CAJON, CA 92021

VICINITY MAP:



AREA MAP:



PROJECT TEAM

ARCHITECT

SAFDIE RABINES ARCHITECTS
925 FT STOCKTON DRIVE
SAN DIEGO, CA 92103
619.297.6153

RESIDENTIAL DESIGN

MATTHEW WELSH ASSOCIATES
817 SILVERADO STREET
LA JOLLA, CA 92037

HOUSE MOVER

JOHN T. HANSEN ENTERPRISES
HANSEN HOUSE MOVERS
14315-B OLD HWY. 80
EL CAJON, CA 92021

PROJECT INFORMATION

PROJECT DESCRIPTION:

RELOCATION OF EXISTING 1 STORY RESIDENTIAL COTTAGE (TYPE R-2) BUILT IN 1913 TO ADJACENT LOT AT 7782 BISHOPS LANE/ 817 SILVERADO ST. RENOVATION OF RELOCATED COTTAGE AND EXISTING SILVERADO COTTAGE.

APPLICABLE CODES

- THIS PROJECT SHALL COMPLY WITH THE 2019 EDITION OF THE CALIFORNIA RESIDENTIAL BUILDING CODE (CBC) AND TITLE 24.
- THE PLANS AND ALL WORK SHALL COMPLY WITH THE CALIFORNIA BUILDING STANDARDS CODE FOUND IN THE STATE OF CALIFORNIA TITLE 24 CCR AS AMENDED AND ADOPTED BY THE CITY OF SAN DIEGO

DEVELOPMENT SUMMARY

LILLIAN LENTELL COTTAGE

PROJECT ADDRESS:
7762 BISHOPS LANE
LA JOLLA, CA 92037

ASSESSOR'S PARCEL NUMBER:
350-321-05-00

LEGAL DESCRIPTION:

EASTERN ONE-HALF OF LOT 5, BLOCK 31, OF LA JOLLA PARKS, CITY OF SAN DIEGO, STATE OF CALIFORNIA, MAP 352, MARCH 22 1887, LYING EASTERLY OF A LINE PARALLEL WITH 100 FEET AT RIGHT ANGLES FROM THE WESTERLY LINE OF SAID LOTS.

PROPERTY OWNER:

SAFDIE RABINES ARCHITECTS

LOT SIZE (GROSS SITE AREA):

0.04 ACRES
1,750 SF

YEAR BUILT:

1913

HISTORIC CRITERIA:

- DESIGNATED HISTORIC WITH A PERIOD OF SIGNIFICANCE
- 1913-1915 UNDER HRB CRITERIA A
 - AS A RESOURCE THAT EXEMPLIFIES LA JOLLA'S EARLY BEACH COTTAGE DEVELOPMENT.

EXISTING PERMIT:

HRB #1062, SDP #2472529, CDP #1981414, NDP #1981565

APPLICABLE BASE ZONES:

LA JOLLA PLAN DISTRICT ZONE 5

OVERLAY ZONES:

COASTAL ZONE
TRANSIT ZONE
TANDEM PARKING ZONE

CONSTRUCTION TYPE:

TYPE VB

OCCUPANCY CLASSIFICATION / USE:

R-2 - SINGLE FAMILY RESIDENCE

BUILDING AREA:

432 SF

NUMBER OF STORIES:

EXISTING ONE STORY

STRUCTURE HEIGHT:

EXISTING 15FT

EXISTING SETBACKS, ZONE 5:

SEE SITE PLAN FOR SETBACK DIMENSIONS

- CURB TO P.L. : ALLEY
- FRONT : 18'-5"
- SIDE, SOUTH : 1'-1"
- SIDE, NORTH : 3'-5"
- REAR : 29'-0"

817 SILVERADO COTTAGE

PROJECT ADDRESS:

817 SILVERADO STREET
LA JOLLA, CA 92037

ASSESSOR'S PARCEL NUMBER:
350-321-03-00

LEGAL DESCRIPTION:

ALL THOSE PORTIONS OF LOTS 1, 2, 3, AND 4, BLOCK 31 OF LA JOLLA PARK, CITY OF SAN DIEGO, STATE OF CALIFORNIA, MAP 352, MARCH 22 1887, LYING EASTERLY OF A LINE PARALLEL WITH 100 FEET AT RIGHT ANGLES FROM THE WESTERLY LINE OF SAID LOTS.

PROPERTY OWNER:

MATTHEW WELSH

LOT SIZE (GROSS SITE AREA):

4,000 SF

YEAR BUILT:

1909

SILVERADO COTTAGE, CONT.

APPLICABLE BASE ZONES:

LA JOLLA PLAN DISTRICT ZONE 5

OVERLAY ZONES:

COASTAL ZONE / TRANSIT ZONE / TANDEM PARKING ZONE

EXISTING PERMITS:

CDP #1981414 / LJC / SUP 93-0440

OCCUPANCY CLASSIFICATION / USE:

R-2 - SINGLE FAMILY RESIDENCE

BUILDING AREA:

1,450 SF (EXISTING)

F.A.R. CALCULATION (E):

36.25% (1,450 SF) < 1.5 ALLOWABLE (6,000 SF)

STRUCTURE HEIGHT:

EXISTING 24FT, MAX 30FT

EXISTING SETBACKS, ZONE 5:

SEE SITE PLAN FOR SETBACK DIMENSIONS

- CURB TO P.L. : 15FT, SILVERADO ST.
- FRONT : 15FT
- SIDE : 4FT ALLEY, 4FT INSIDE
- REAR : 8FT PER CDP / LJC / SUP 93-0440

BISHOPS LANE, 7782 & 7786

APPLICABLE BASE ZONES:

LA JOLLA PLAN DISTRICT ZONE 5

OVERLAY ZONES:

COASTAL ZONE
TRANSIT ZONE
TANDEM PARKING ZONE

EXISTING PERMITS:

CDP #1981414, HRB #1062, SDP #2472529, NDP #198156, SUP 93-0440, LJC

YEAR BUILT:

EXISTING COTTAGE 817 SILVERADO - 1909
PROPOSED RELOCATED COTTAGE - 1913

CONSTRUCTION TYPE:

TYPE VB

OCCUPANCY CLASSIFICATION / USE:

R-2 - SINGLE FAMILY RESIDENCE

NUMBER OF STORIES:

EXISTING ONE STORY COTTAGE
EXISTING 2 STORY SILVERADO COTTAGE

STRUCTURE HEIGHT:

PROPOSED 24FT
MAX. 30FT

BUILDING AREA SUMMARY:

COTTAGE 1	
(E) SILVERADO COTTAGE	1,450 SF
PROPOSED DEMOLITION SILVERADO	- 70 SF
COTTAGE 2	
PROPOSED STUDIO	461 SF
COTTAGE 3	
RELOCATED HISTORIC COTTAGE	435 SF
PROPOSED GARAGE	380 SF
TOTAL (E) & PROPOSED	2,656 SF

F.A.R. CALCULATIONS

TOTAL SITE AREA = 4,000 SF
(SEE SITE PLAN FOR F.A.R. BOUNDARY LINE ON SITE)

PROPOSED F.A.R. 66.4% (2,656 SF)
ALLOWABLE 1.5 MAX 6,000 SF

SETBACKS, ZONE 5:

SEE SITE PLAN FOR SETBACK DIMENSIONS

- CURB TO P.L. : 15FT, SILVERADO ST.
- FRONT : 15FT
- SIDE : 4FT ALLEY, 4FT INSIDE
- REAR : 8FT PER CDP/LJC/SUP 93-0440

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- A-4 NORTH & SOUTH ELEVATIONS
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- A-6 DOOR WINDOW DETAILS
- A-7 DOOR WINDOW DETAILS
- A-8 FRAMING DETAILS

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- SD1 STRUCTURAL DETAILS



REVISIONS

Num.	Description	Date
1	PERMIT SUBMITTAL	10/06/20

Issue Date	Scale
10/06/20	AS NOTED
SRA Project Number	
1628	

TITLE SHEET

G-0

LILLIAN LENTELL COTTAGE

7762 Bishops Lane &
817 Silverado Street
La Jolla, CA 92037

APN: 350-321-05-00

ARCHITECT
SAFDIE RABINES ARCHITECTS
925 FORT STOCKTON DRIVE
SAN DIEGO, CA 92103
619.297.6153

RESIDENTIAL DESIGN
MATTHEW WELSH ASSOCIATES
817 SILVERADO STREET
LA JOLLA, CA 92037

HOUSE MOVER
JOHN T. HANSEN ENTERPRISES
HANSEN HOUSE MOVERS
14315-B OLD HWY. 80
EL CAJON, CA 92021

LILLIAN LENTELL COTTAGE
7762 BISHOPS LANE
LA JOLLA CA 92037

DESIGNATED WITH A PERIOD OF SIGNIFICANCE
OF 1913-1915 UNDER HRB CRITERIA A
AS A RESOURCE THAT EXEMPLIFIES
LA JOLLA'S EARLY BEACH COTTAGE DEVELOPMENT

EXISTING RESIDENTIAL TYPE R-2
CRC 2019 CBC 2019 CGB 2019
RELOCATION

BUILDING DEMOLITION/COASTAL/RELOCATION
SAFDIE RABINES ARCHITECTS

EASTERN ONE-HALF OF LOT 5
BLOCK 31 OF LA JOLLA PARK,
CITY OF SAN DIEGO, STATE OF CALIFORNIA
MAP 352, MARCH 22 1887, LYING EASTERLY
OF A LINE PARALLEL WITH 100 FEET AT RIGHT
ANGLES FROM THE WESTERLY LINE OF SAID LOTS

IO: 3503210500
0.04 ACRES
1913

LA JOLLA PLAN DISTRICT ZONE 5
COASTAL ZONE/ TRANSIT /TANDEM PARKING
HRB #1082, SDP #2472529, CDP #1981414,
NDP #1981565

18'-5"

1'-1"

3'-5"

29'

15'

CURB TO P.L.
EXISTING SETBACKS
FRONT:
SIDE:
SOUTH
NORTH

REAR
EXISTING HEIGHT:

SQUARE FOOTAGE:
EXISTING BLUIDING: 432
LOT SIZE: 1750/3500



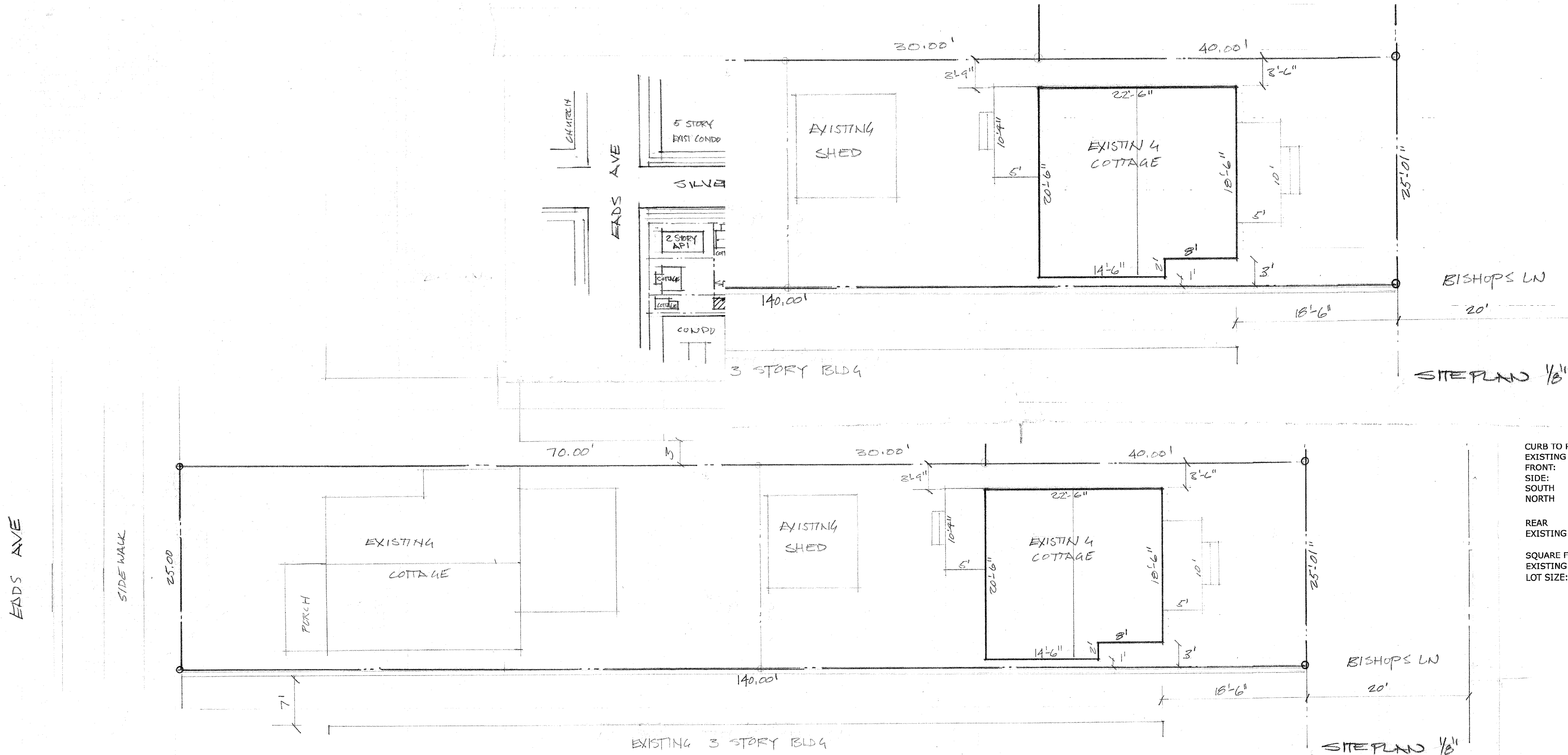
REVISIONS

Num.	Description	Date
1	PERMIT SUBMITTAL	10/06/20

Issue Date 10/06/20 Scale AS NOTED
SRA Project Number 1628

SITE PLAN

A-1



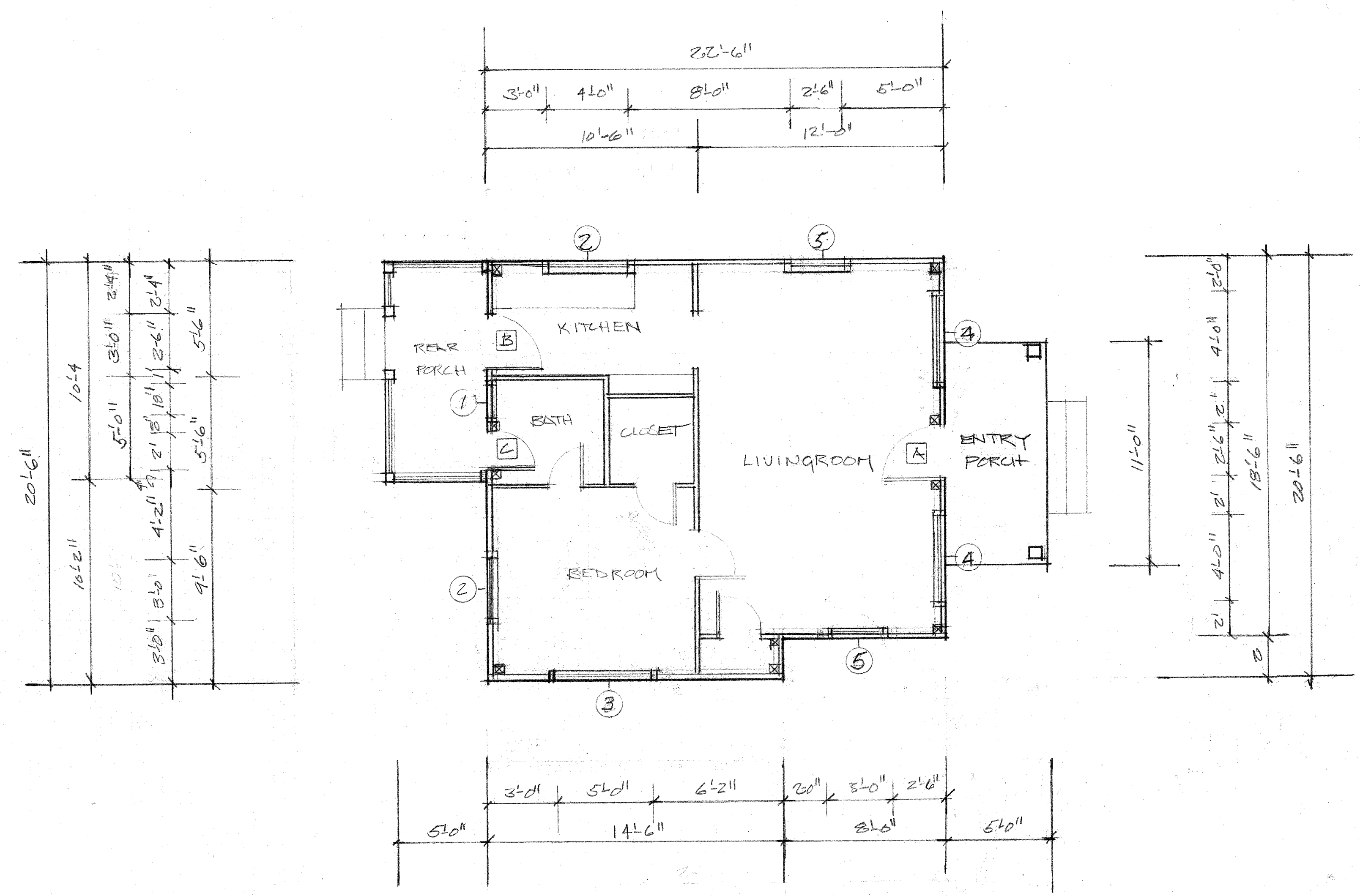
LILLIAN LENTELL
COTTAGE

7762 Bishops Lane &
817 Silverado Street
La Jolla, CA 92037
APN: 350-321-05-00

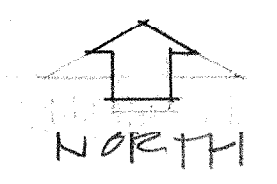
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14315-B OLD HWY. 80
EL CAJON, CA 92021



EXISTING FLOOR PLAN



1/4"=1'-0"

- WINDOW
 - DOOR
- SCHEDULE SHEET 6

EXISTING FLOOR PLAN 1/4"=1'-0"



REVISIONS		
Num.	Description	Date
1	PERMIT SUBMITTAL	10/06/20

Issue Date	Scale
10/06/20	AS NOTED
SRA Project Number 1628	

FLOOR PLAN

A-2

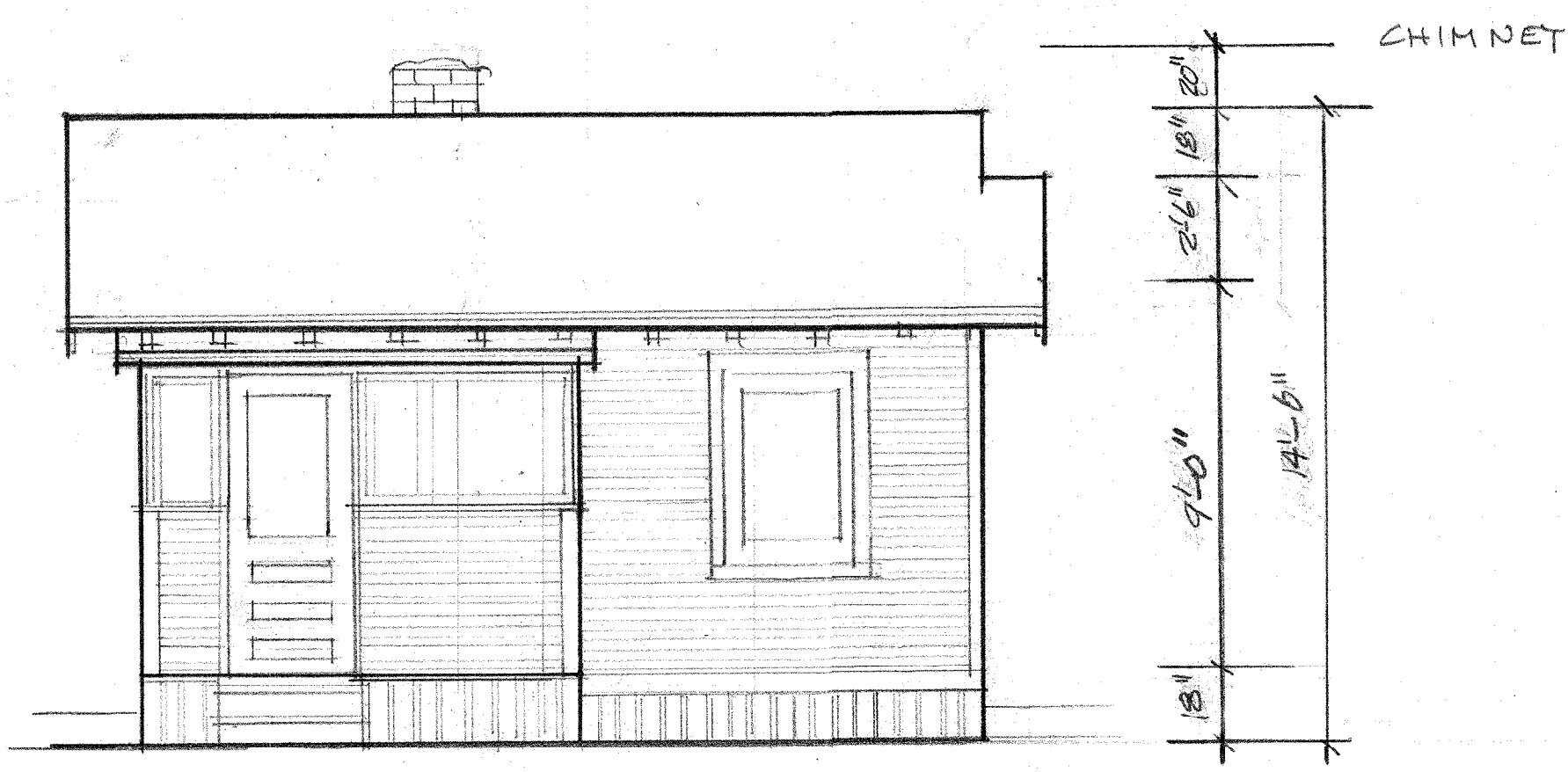
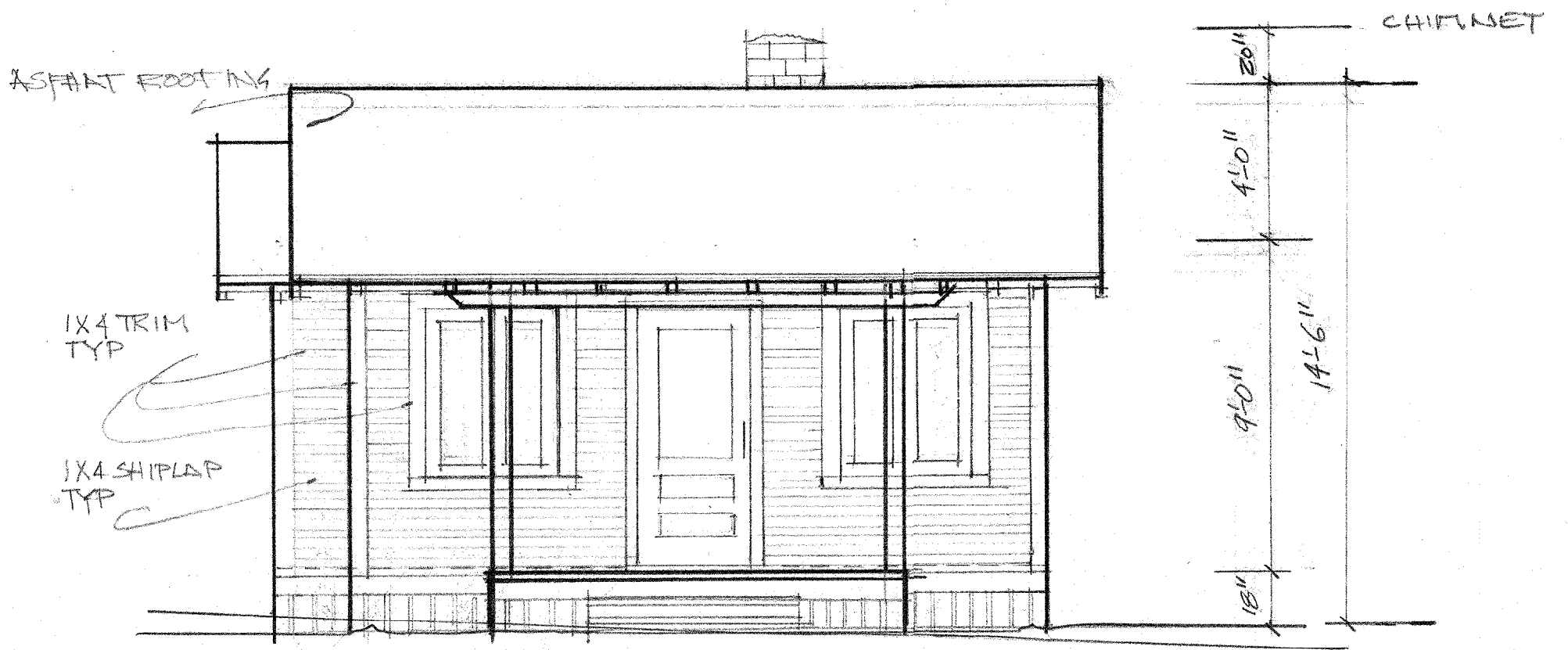
LILLIAN LENTELL
COTTAGE

7762 Bishops Lane &
817 Silverado Street
La Jolla, CA 92037
APN: 350-321-05-00

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HANSEN HOUSE MOVERS
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EL CAJON, CA 92021



REVISIONS		
Num.	Description	Date
1	PERMIT SUBMITTAL	10/06/20

Issue Date: 10/06/20 Scale: AS NOTED
SRA Project Number: 1628

EAST & WEST
ELEVATIONS

EAST & WEST ELEVATIONS 1/4"=1'-0"

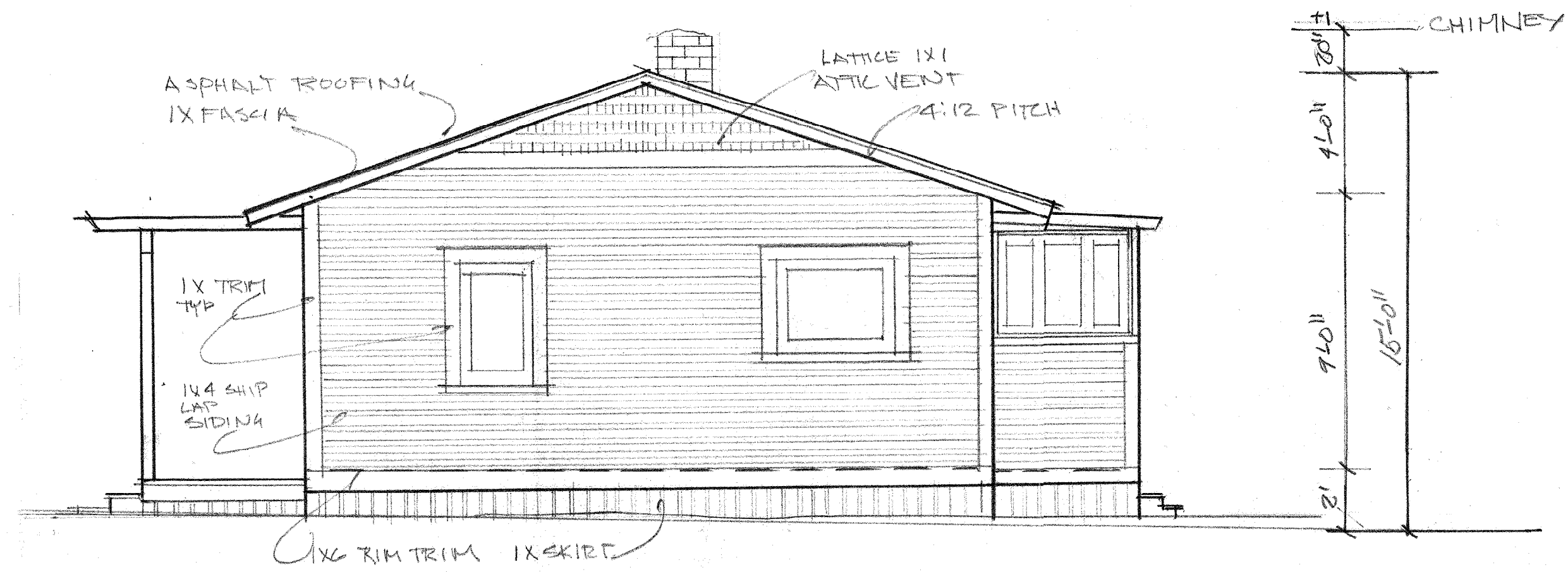
LILLIAN LENTELL
COTTAGE

7762 Bishops Lane &
817 Silverado Street
La Jolla, CA 92037
APN: 350-321-05-00

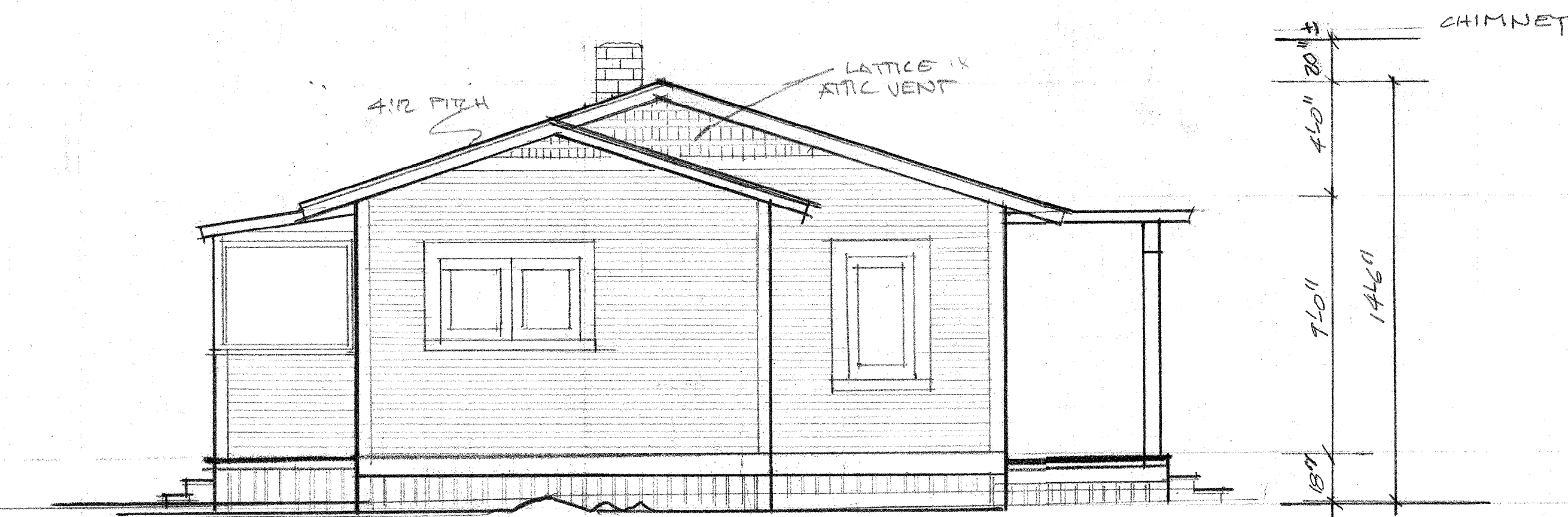
ARCHITECT
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HOUSE MOVER
JOHN T. HANSEN ENTERPRISES
HANSEN HOUSE MOVERS
14315-B OLD HWY. 80
EL CAJON, CA 92021



NORTH



SOUTH

NORTH & SOUTH ELEVATIONS 1/4"=1'-0"



REVISIONS		
Num.	Description	Date
1	PERMIT SUBMITTAL	10/06/20

Issue Date
10/06/20
Scale
AS NOTED
SRA Project Number
1628

NORTH &
SOUTH
ELEVATIONS

A-4

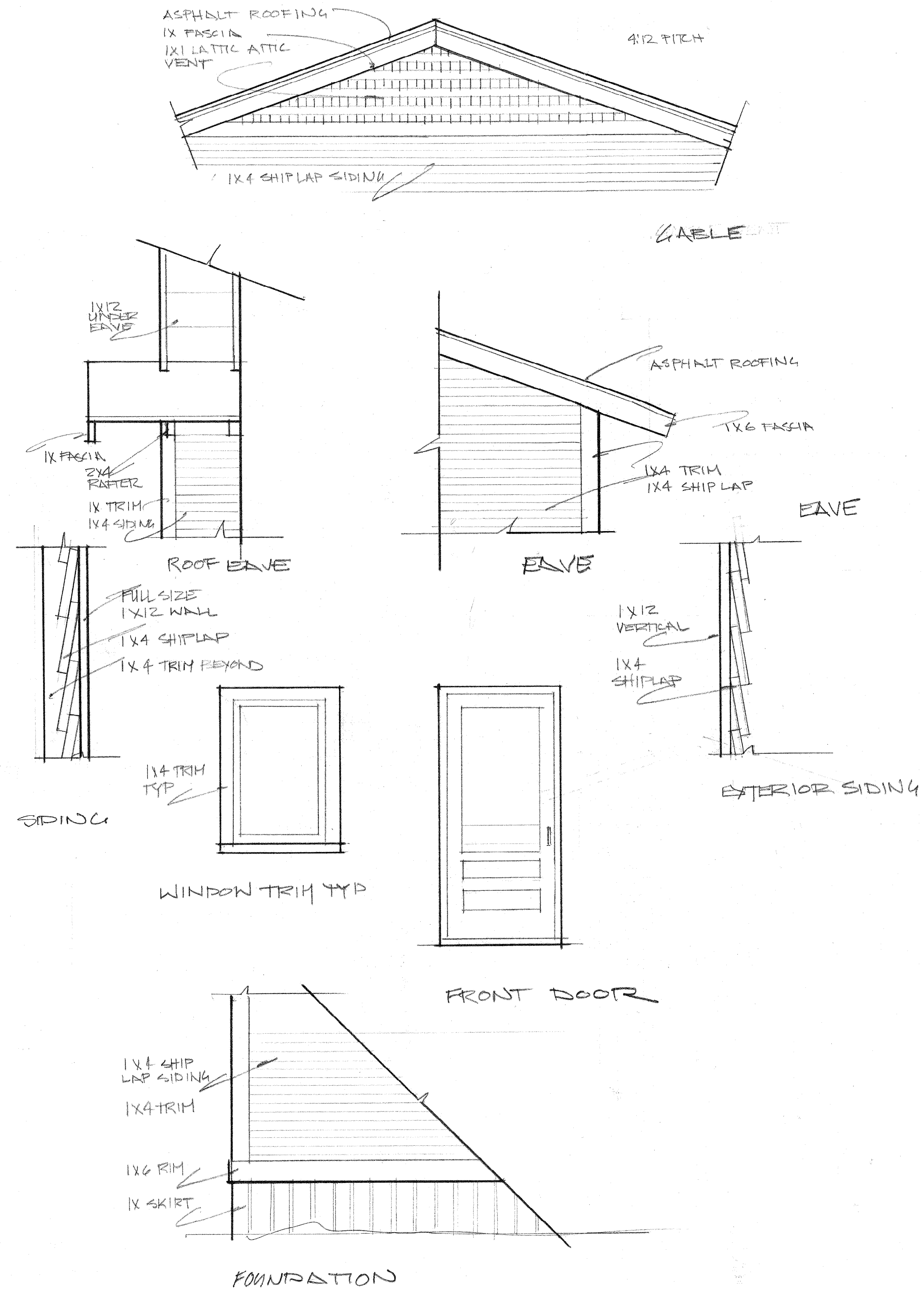
LILLIAN LENTELL
COTTAGE

7742 Bishops Lane &
817 Silverado Street
La Jolla, CA 92037
APN: 350-321-05-00

ARCHITECT
SARAH RABINER ARCHITECTS
925 FORT STOCKTON DRIVE
SAN DIEGO, CA 92103
619.297.6153

RESIDENTIAL DESIGN
MATTHEW WELSH ASSOCIATES
817 SILVERADO STREET
LA JOLLA, CA 92037

HOUSE MOVER
JOHN T. HANSEN ENTERPRISES
HANSEN HOUSE MOVERS
14315-B OLD HWY. 80
EL CAJON, CA 92021



ARCHITECTURAL DETAILS 1"=1'



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SRA Project Number 1628

ARCHITECTURAL
DETAILS

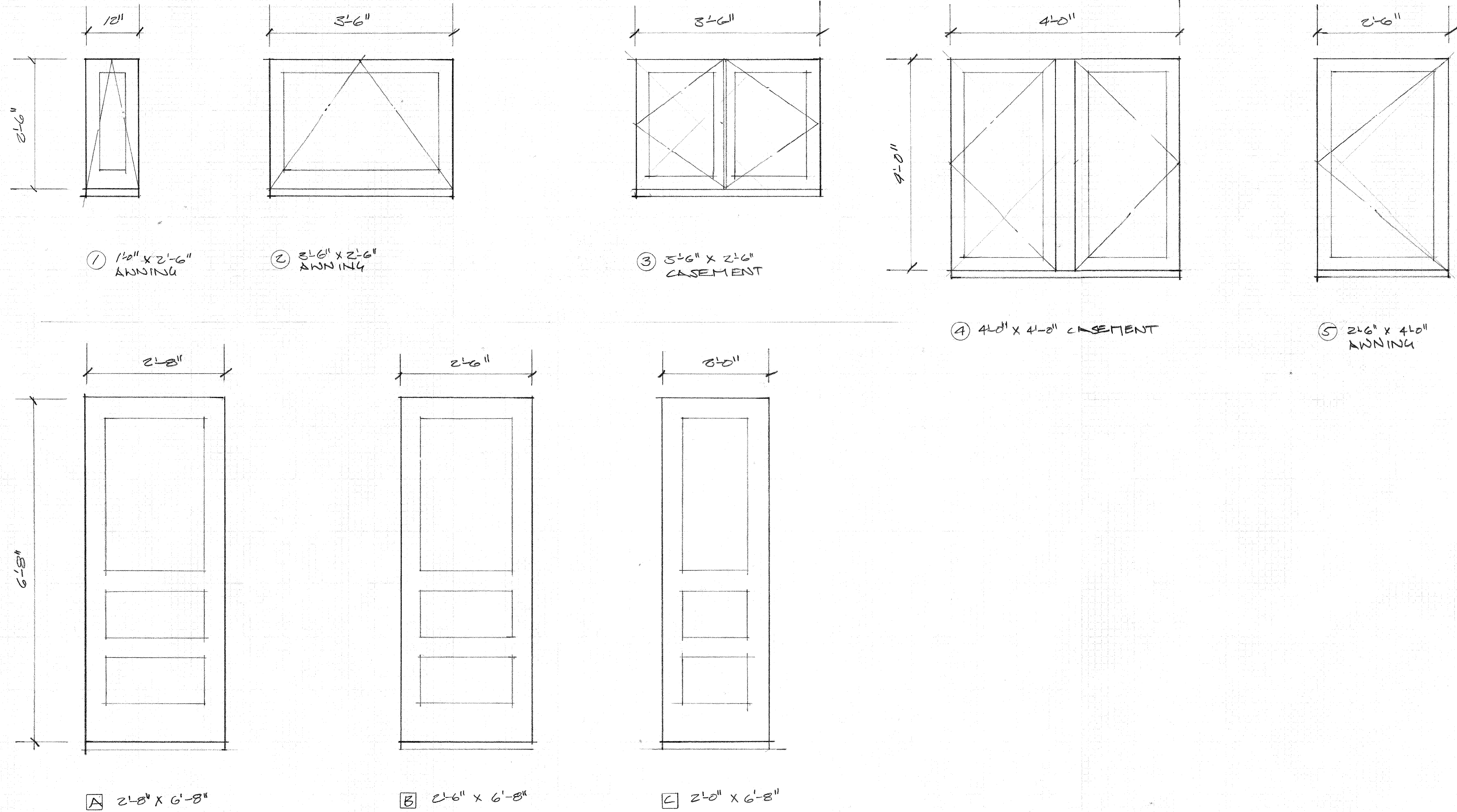
LILLIAN LENTELL
COTTAGE

7762 Bishops Lane &
817 Silverado Street
La Jolla, CA 92037
APN: 350-321-05-00

ARCHITECT
SAFIE RABINES ARCHITECTS
925 FORT STOCKTON DRIVE
SAN DIEGO, CA 92103
619.297.6155

RESIDENTIAL DESIGN
MATTHEW WELSH ASSOCIATES
817 SILVERADO STREET
LA JOLLA, CA 92037

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SRA Project Number 1628

DOOR
WINDOW
DETAILS

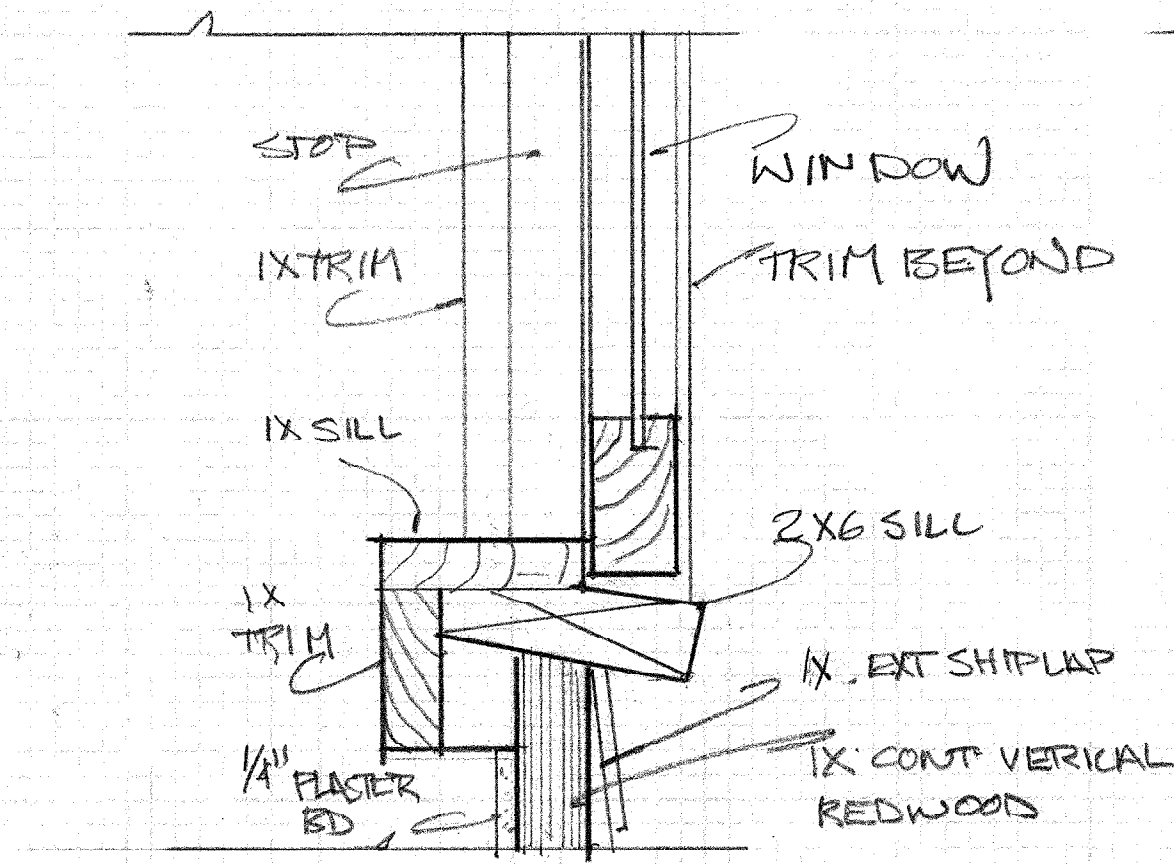
LILLIAN LENTELL
COTTAGE

7762 Bishops Lane &
817 Silverado Street
La Jolla, CA 92037
APN: 350-321-05-00

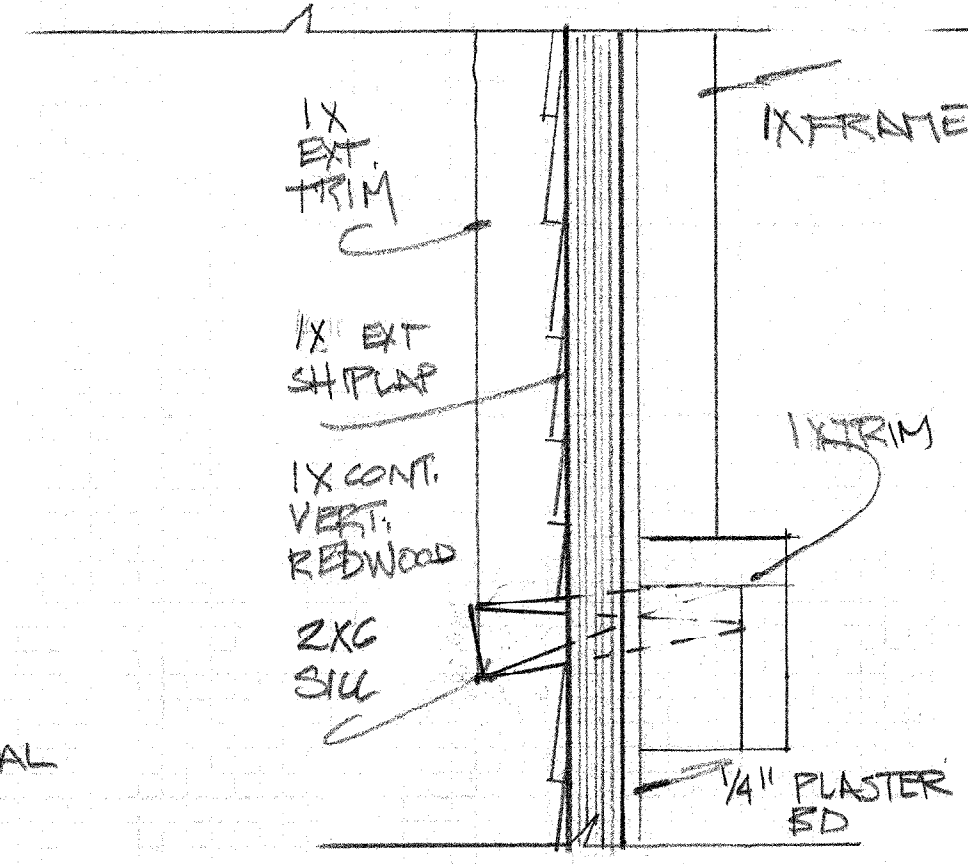
ARCHITECT
SAFIE RABINES ARCHITECTS
925 FORT STOCKTON DRIVE
SAN DIEGO, CA 92103
619.297.6153

RESIDENTIAL DESIGN
MATTHEW WELSH ASSOCIATES
817 SILVERADO STREET
LA JOLLA, CA 92037

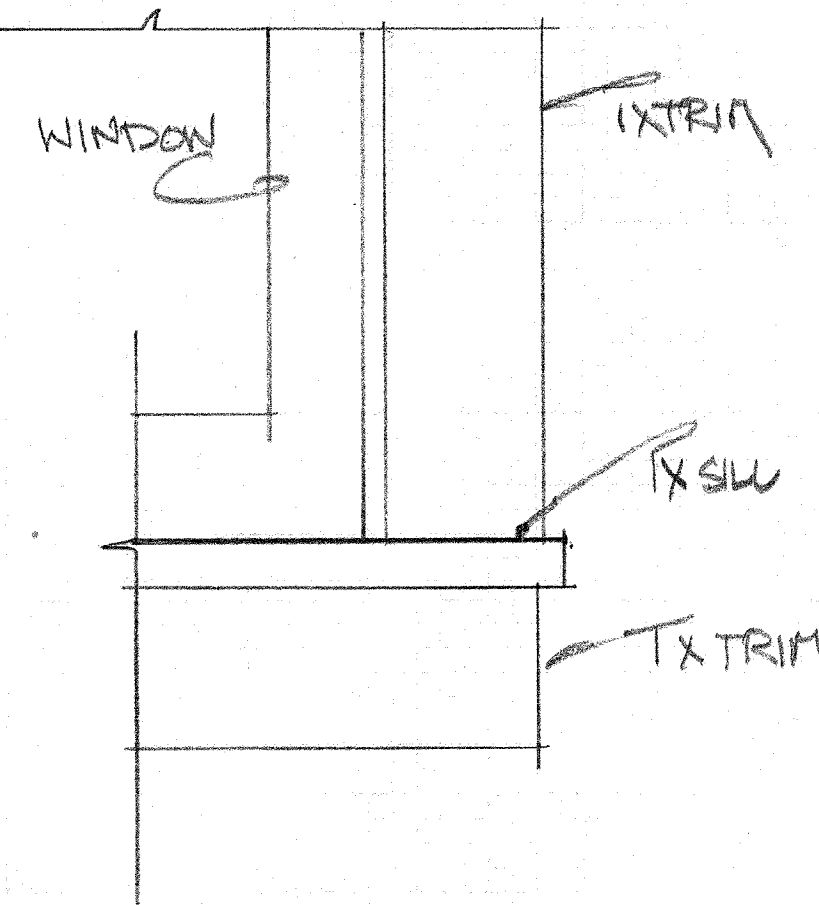
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JOHN T. HANSEN ENTERPRISES
HANSEN HOUSE MOVERS
14315-B OLD HWY. 80
EL CAJON, CA 92021



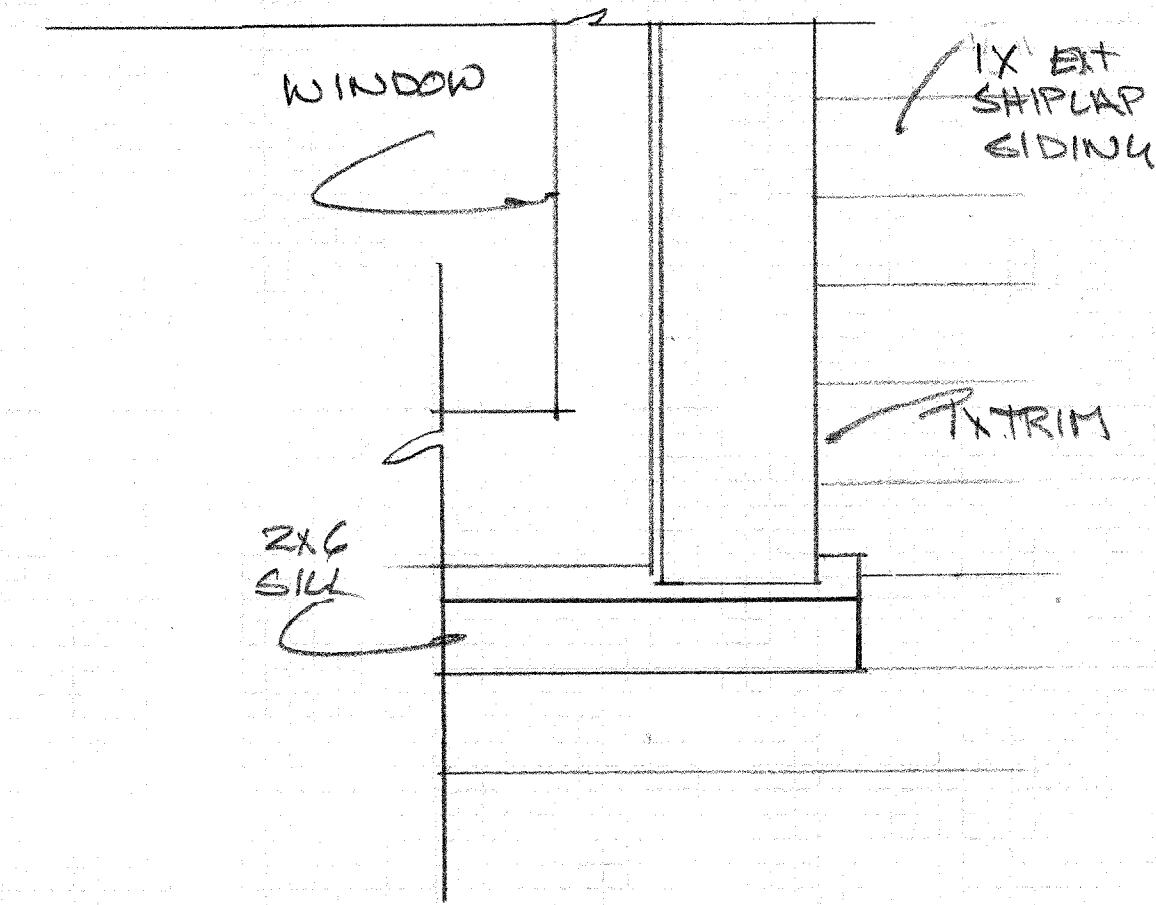
WINDOW SILL INSIDE



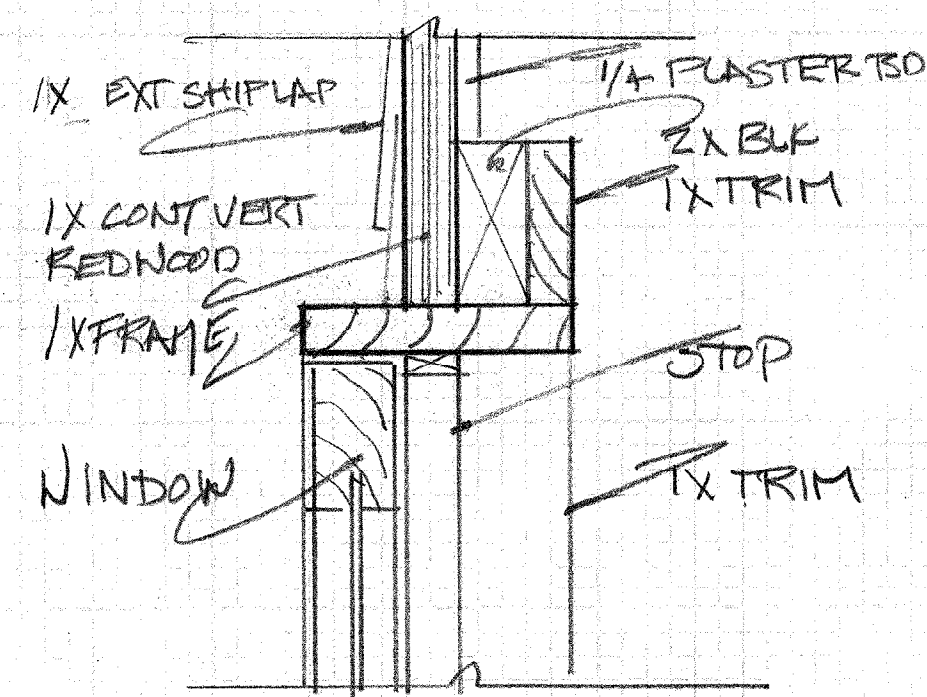
WINDOW SILL OUTSIDE



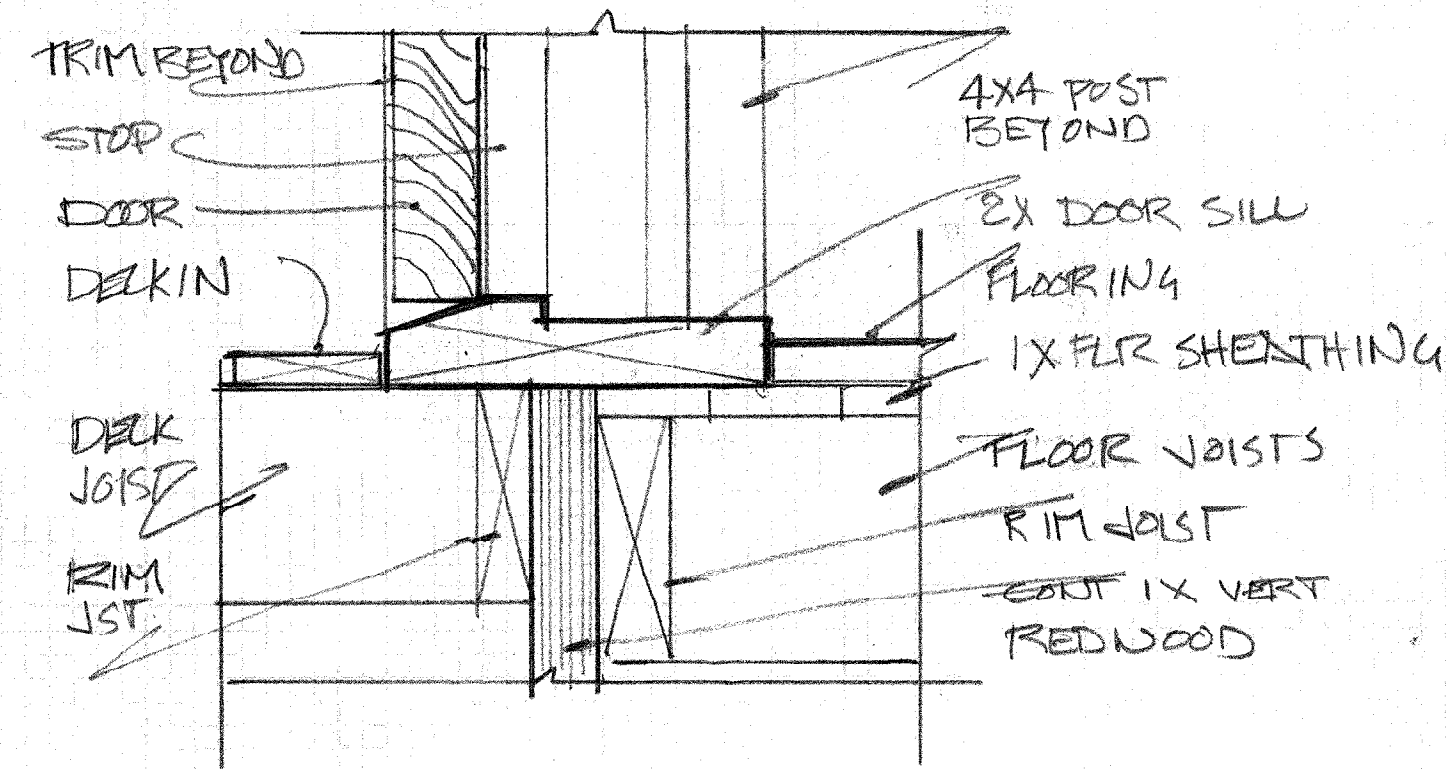
INTERIOR WINDOW



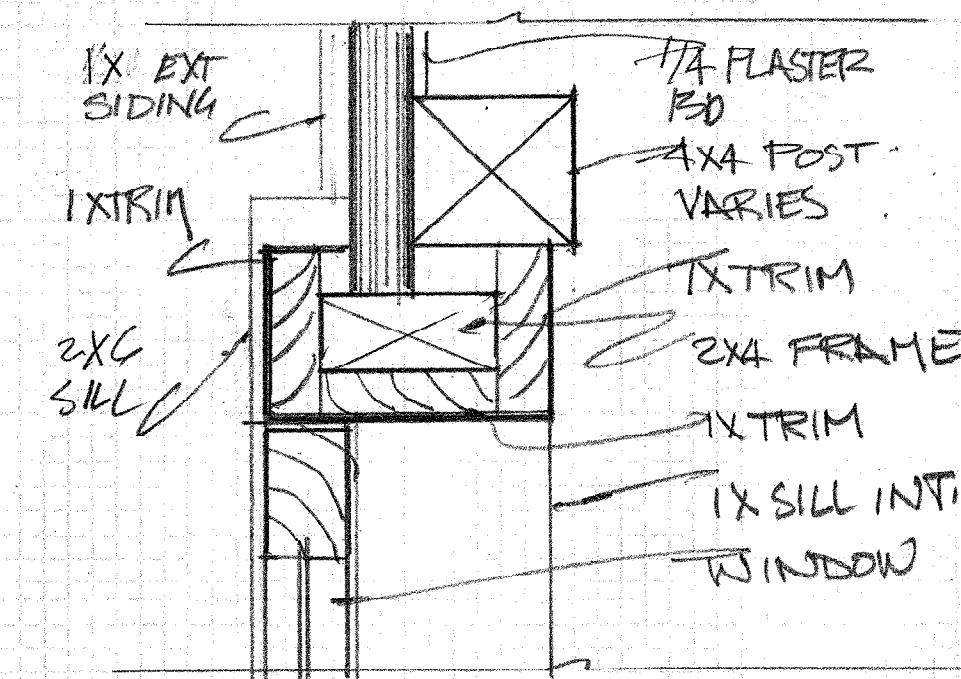
EXTERIOR WINDOW



WINDOW HDR FRAME



DOOR SILL



PLAN DOOR JAMB

DOOR & WINDOW SHEET,
3"=1'-0"



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1628

DOOR
WINDOW
DETAILS

A-7

LILLIAN LENTELL
COTTAGE

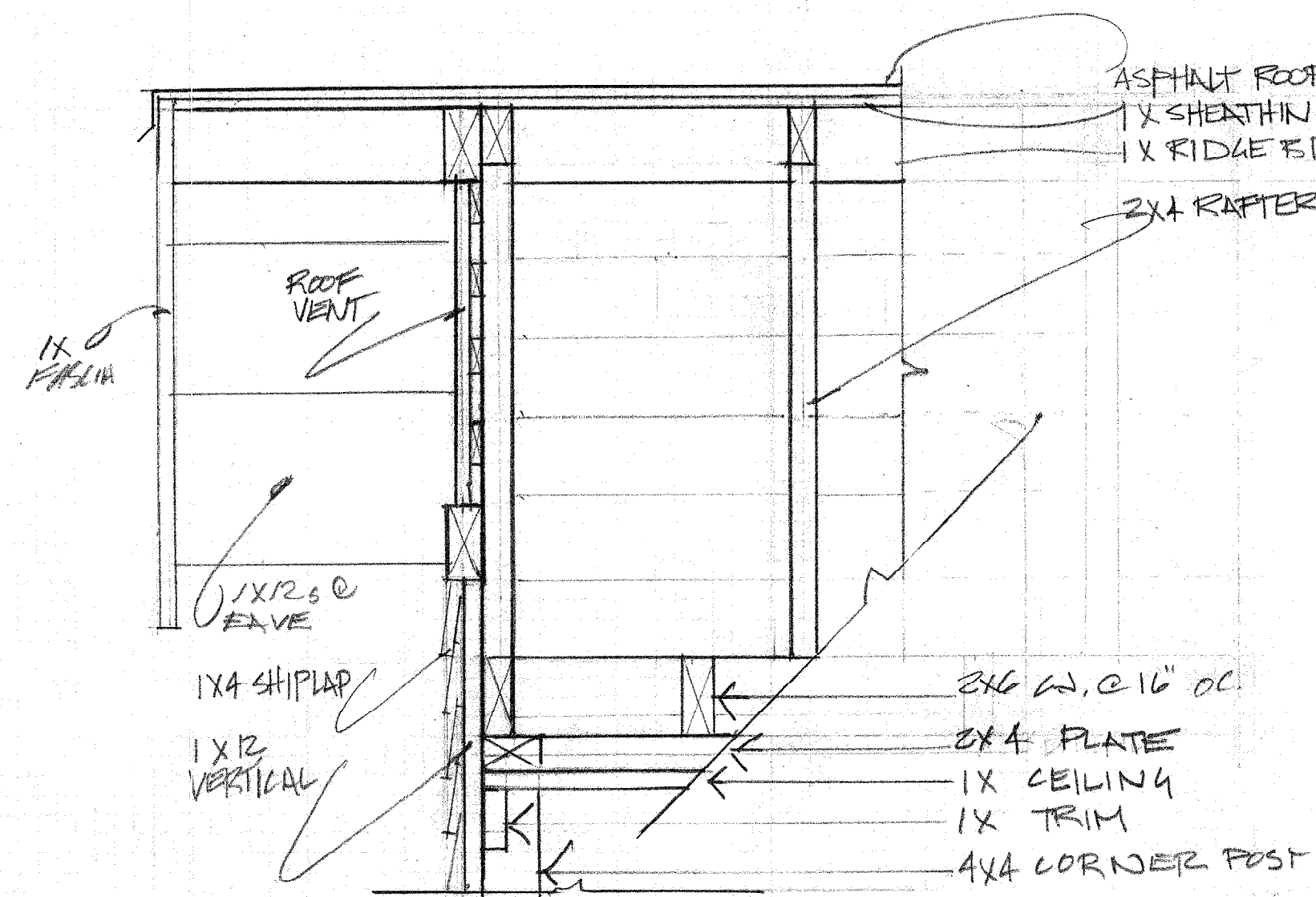
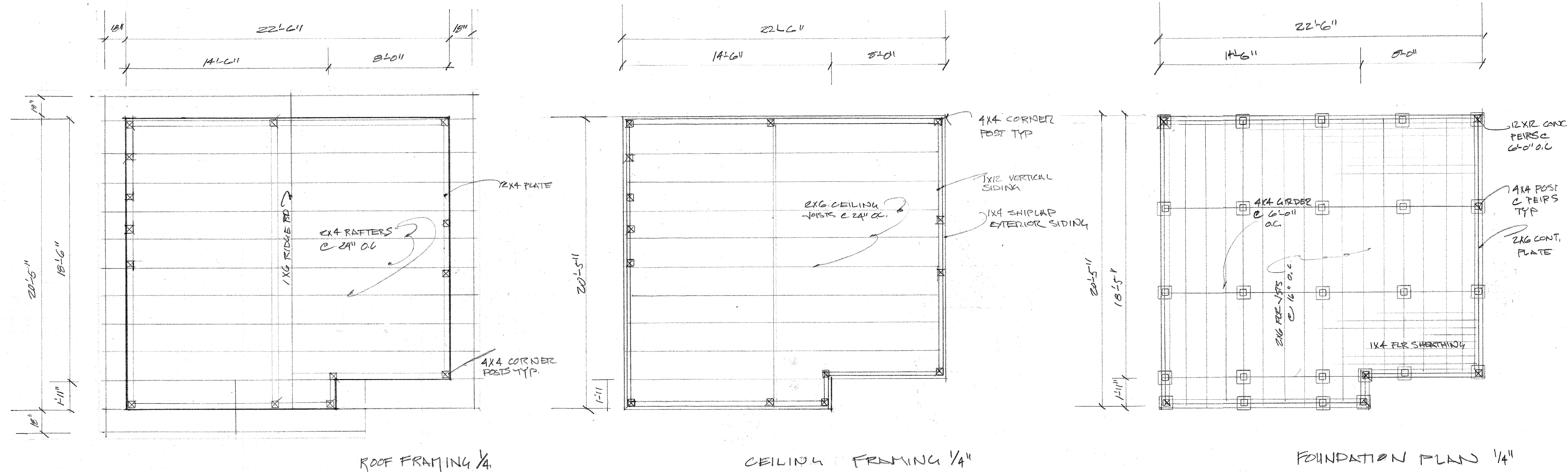
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La Jolla, CA 92037

APN: 350-321-05-00

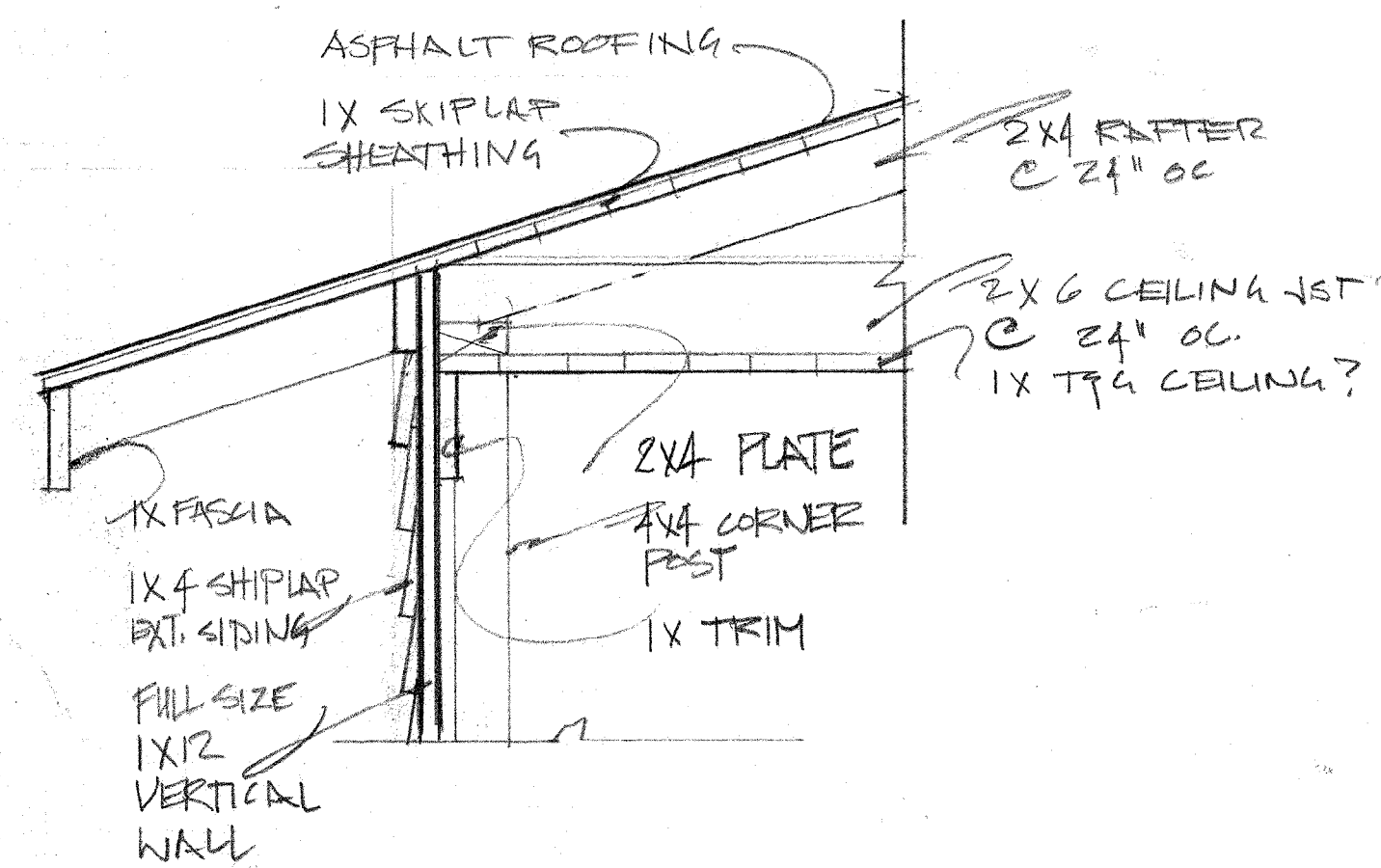
ARCHITECT
SADIE RABINER ARCHITECTS
925 FORT STOCKTON DRIVE
SAN DIEGO, CA 92103
619.297.6153

RESIDENTIAL DESIGN
MATTHEW WELSH ASSOCIATES
817 SILVERADO STREET
LA JOLLA, CA 92037

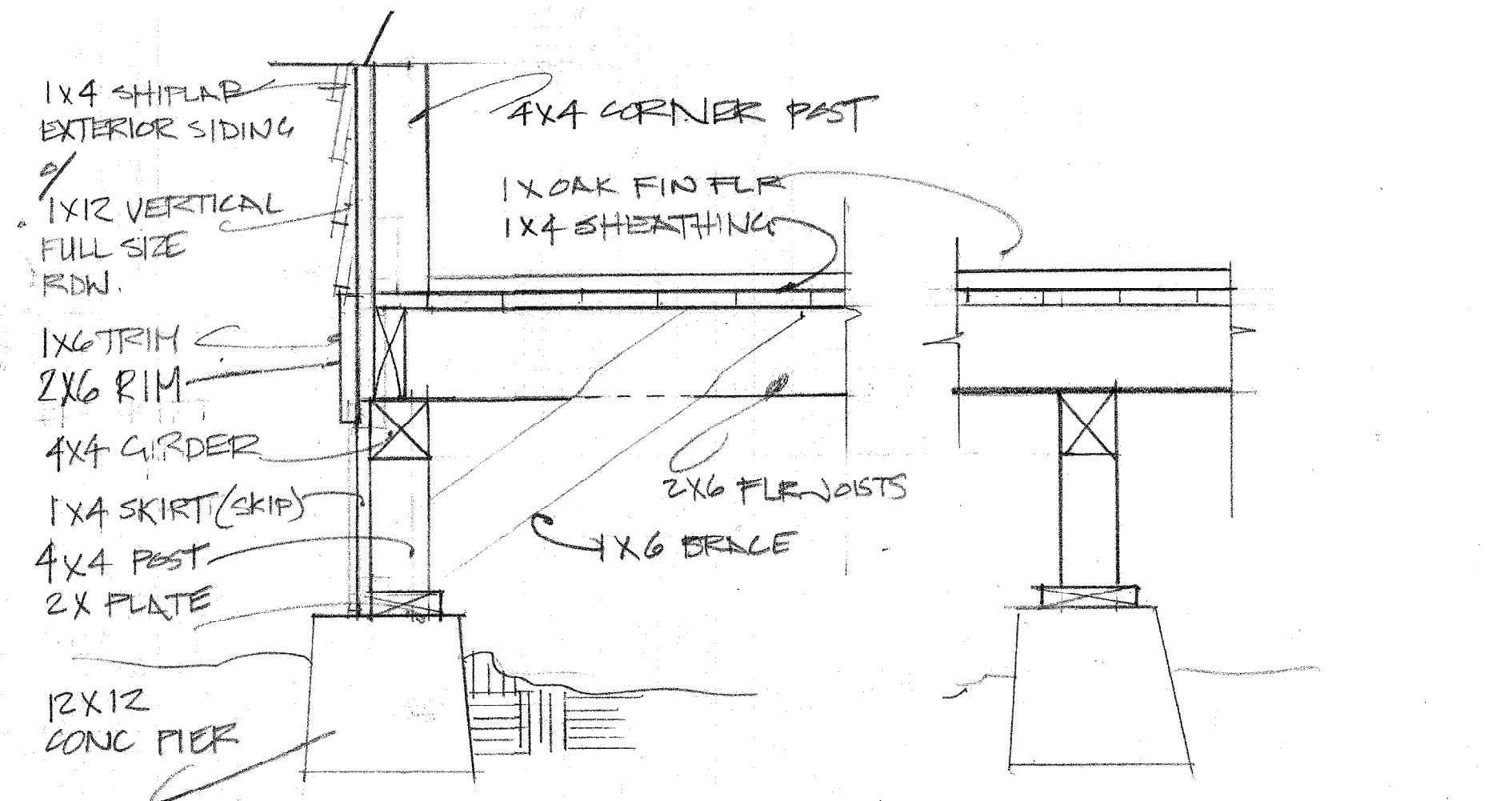
HOUSE MOVER
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HANSEN HOUSE MOVERS
14315-B OLD HWY. 80
EL CAJON, CA 92021



EAVE DETAIL



EAVE DETAIL



FOUNDATION & FLOOR DETAIL 1/2"=1'-0"

FRAMING PLANS & DETAIL



REVISIONS		
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1	PERMIT SUBMITTAL	10/06/20

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10/06/20

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AS NOTED

SRA Project Number
1628

FRAMING
DETAILS

A-8

LILLIAN LENTELL
COTTAGE

7762 Bishops Lane &
817 Silverado Street
La Jolla, CA 92037

APN: 350-321-05-00

ARCHITECT
SARFIE RABINIS ARCHITECTS
925 FORT STOCKTON DRIVE
SAN DIEGO, CA 92103
619.297.6153

RESIDENTIAL DESIGN
MATTHEW WELSH ASSOCIATES
817 SILVERADO STREET
LA JOLLA, CA 92037

HOUSE MOVER
JOHN T. HANSEN ENTERPRISES
HANSEN HOUSE MOVERS
14315-B OLD HWY. 80
EL CAJON, CA 92021

JOB TITLE:	SILVERADO COTTAGE 817 SILVERADO ST 858 454 9949 matwelsh@pacbell.net
SCOPE OF WORK:	EXISTING RESIDENTIAL TYPE R-2 CRC 2017 CBC 2010 CGB 2017
PERMITS:	BUILDING COMBINATION/COASTAL
OWNER:	MATTHEW WELSH 817 SILVERADO ST LA JOLLA CA 92037 858 454 9949 matwelsh@pacbell.net
LEGAL DISCRIPTION:	ALL THOSE PORTIONS OF LOTS 1,2,3, AND 4 BLOCK 31 OF LA JOLLA PARK, CITY OF SAN DIEGO, STATE OF CALIFORNIA MAP 352, MARCH 22 1887, LYING EASTERLY OF A LINE PARALLEL WITH 100 FEET AT RIGHT ANGLES FROM THE WESTERLY LINE OF SAID LO
ASSESSORS PARCEL NO:	350 321 03 00
YEAR BUILT	EXISTING COTTAGE 817 SILVERADDO - 1909
ZONE:	LA JOLLA PLAN DISTRICT ZONE 5
OVERLAY	COASTAL ZONE/ TRANSIT /TANDEM PARKING
EXISTING PERMITS	CDP/LJC/SUP 93-0440
CURB TO P.L.	15 FT SILVERADO ST
SETBACKS	
FRONT:	15'
SIDE:	4' ALLEY 4' INSIDE
REAR	8' PER CDP/LJC/SUP 93-0440
MAX. HEIGHT:	30'
EXISTING HEIGHT:	24'
SQUARE FOOTAGE:	1450
EXISTING BLUIDING:	4000
LOT SIZE:	36.25
EXISTING FAR:	1.5
ALLOWABLE	max 6000

HISTORIC AMERICAN BUILDING SURVEY DRAWINGS
CITY OF SAN DIEGO HISTORIC RESOURCE

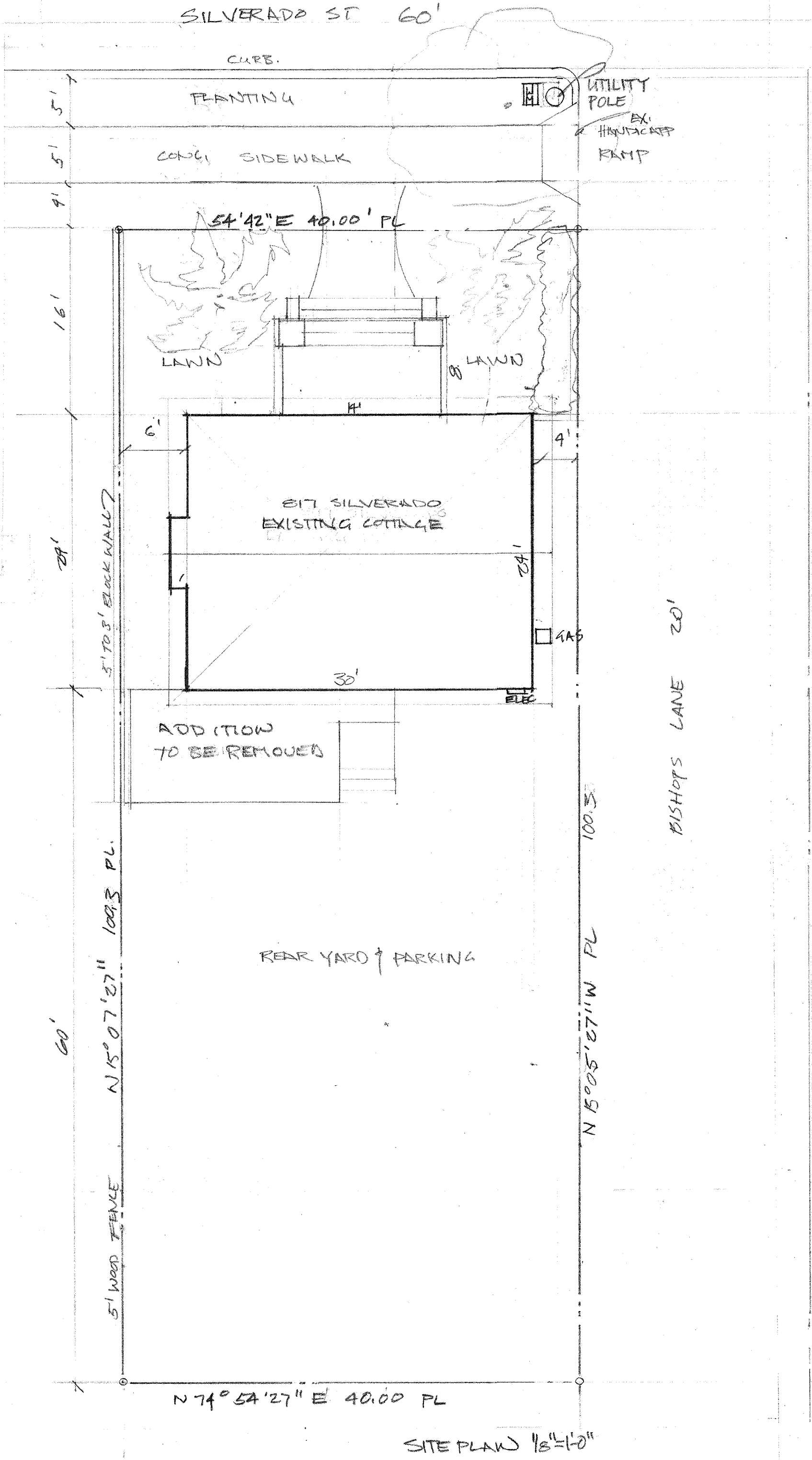
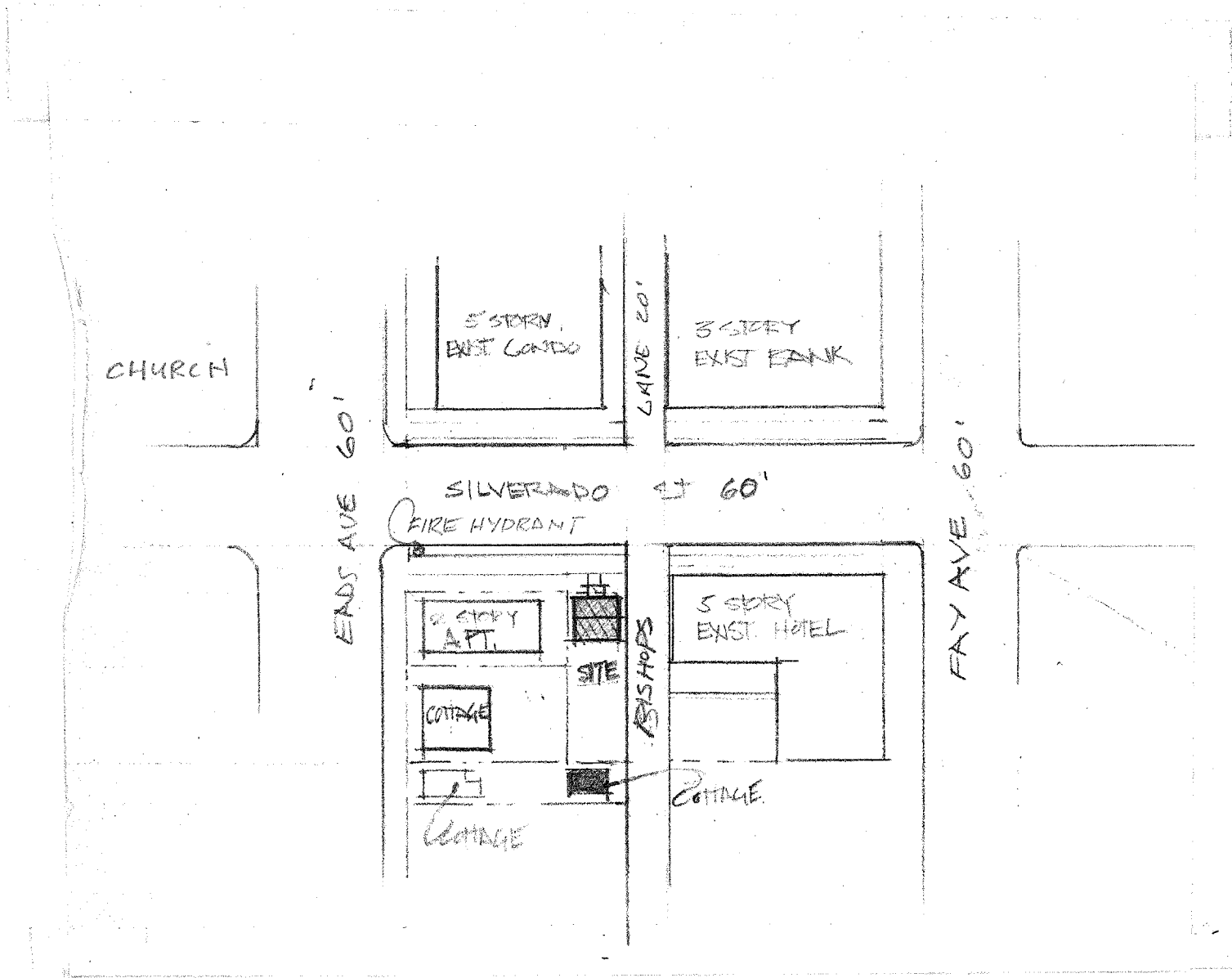


REVISIONS		
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10/06/20	AS NOTED
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1628	

SITE PLAN

B-1



CONTENTS	
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FLOOR PLANS	2
NORTH & SOUTH ELEVATIONS	3
EAST & WEST ELEVATION	4
ARCHITECTURAL DETAILS	5
DOOR AND WINDOW	6
DOOR AND WINDOW DETAILS	7
FRAMING PLANS & DETAILS	8

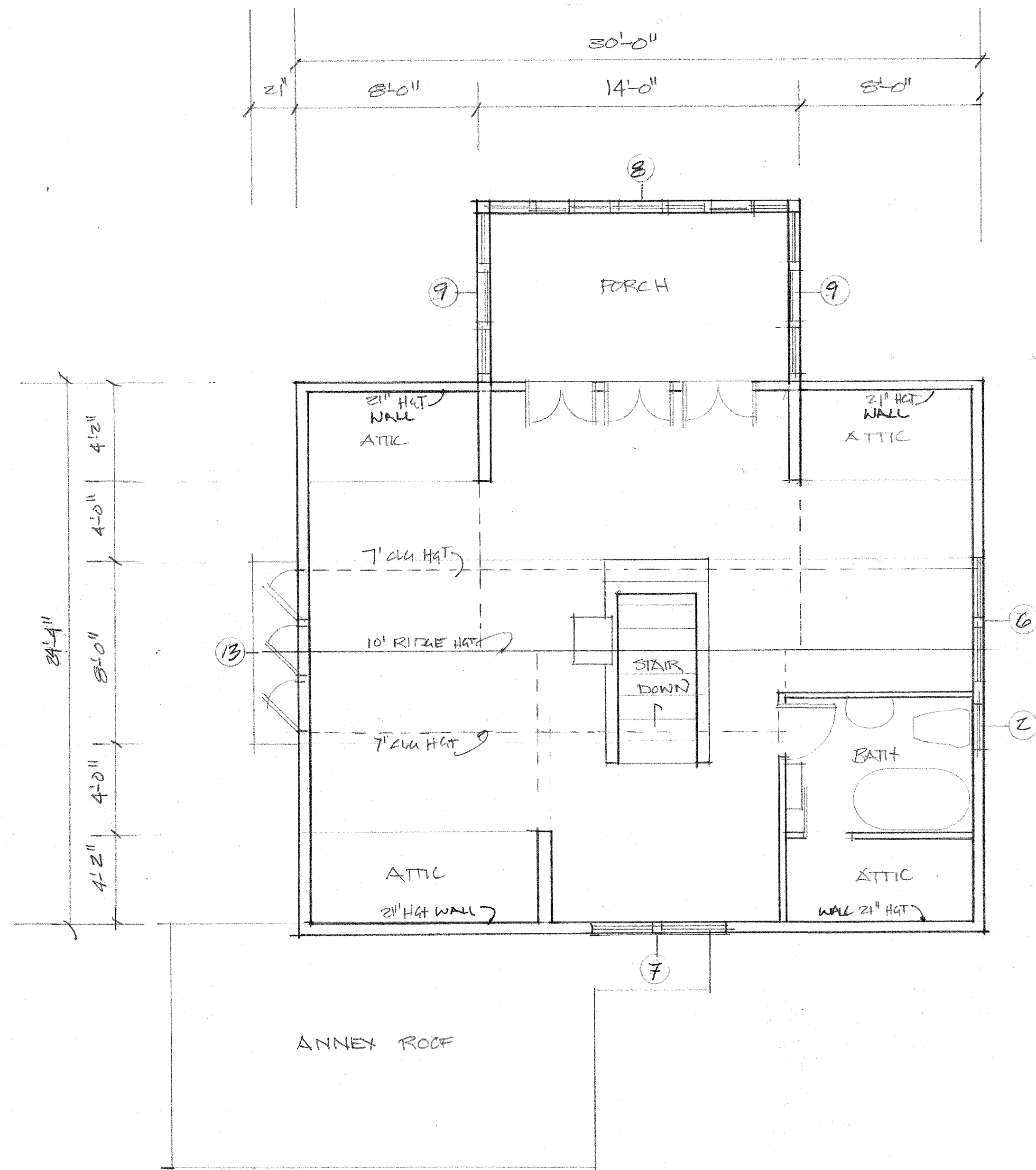
LILLIAN LENTELL
COTTAGE

7762 Bishops Lane &
817 Silverado Street
La Jolla, CA 92037
APN: 350-321-05-00

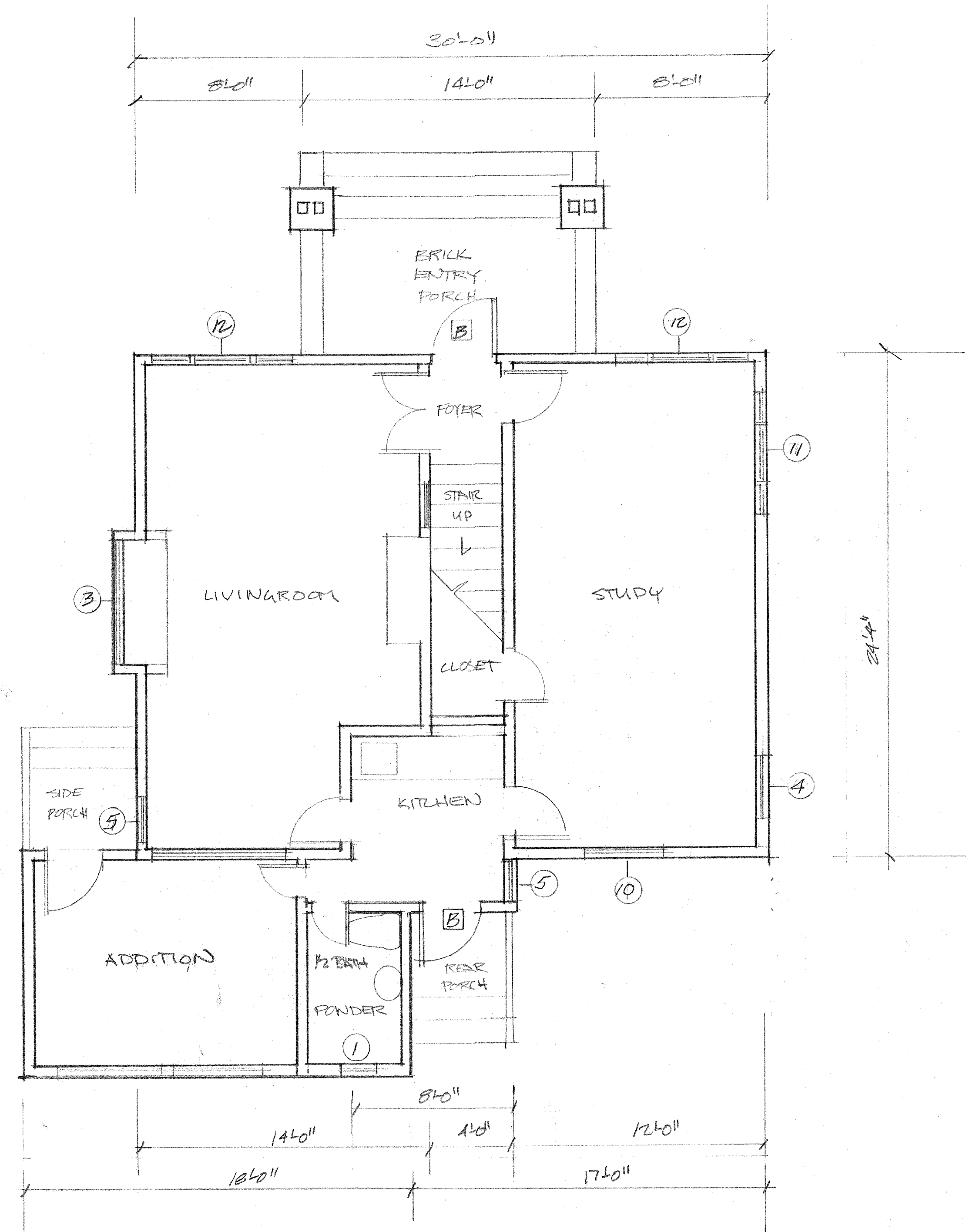
ARCHITECT
SARFIE RABINES ARCHITECTS
925 FORT STOCKTON DRIVE
SAN DIEGO, CA 92103
619.297.6153

RESIDENTIAL DESIGN
MATTHEW WELSH ASSOCIATES
817 SILVERADO STREET
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HANSEN HOUSE MOVERS
14315-B OLD HWY. 80
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(ATTIC) EXISTING UPPER FLOOR PLAN



EXISTING GROUND FLOOR PLAN 1/4"



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FLOOR PLAN

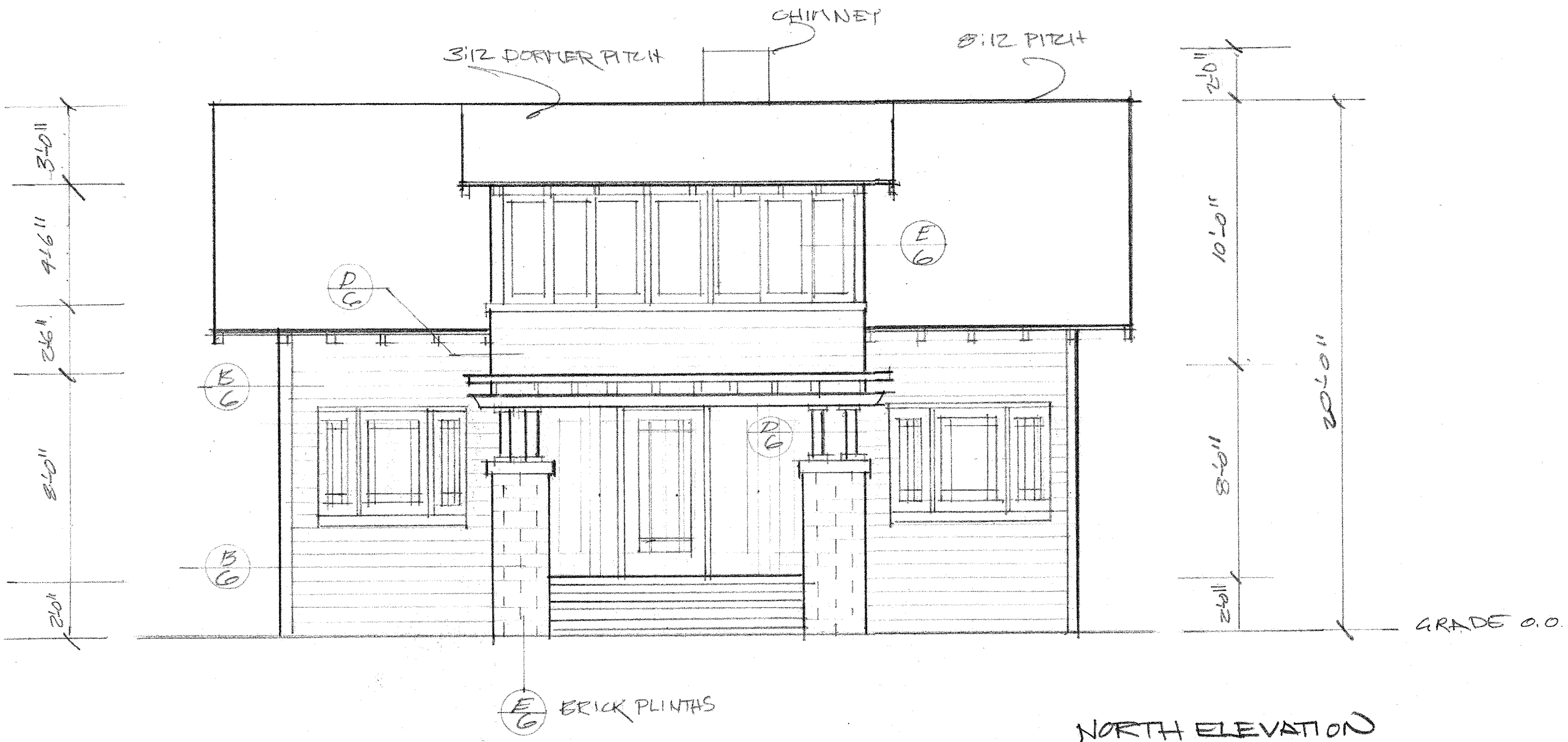
LILLIAN LENTELL
COTTAGE

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817 Silverado Street
La Jolla, CA 92037
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ARCHITECT
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NORTH ELEVATION



SOUTH ELEVATION

WINDOW #
SHEET 6

EXTERIOR ELEVATIONS 1/4"



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NORTH &
SOUTH
ELEVATIONS

B-3

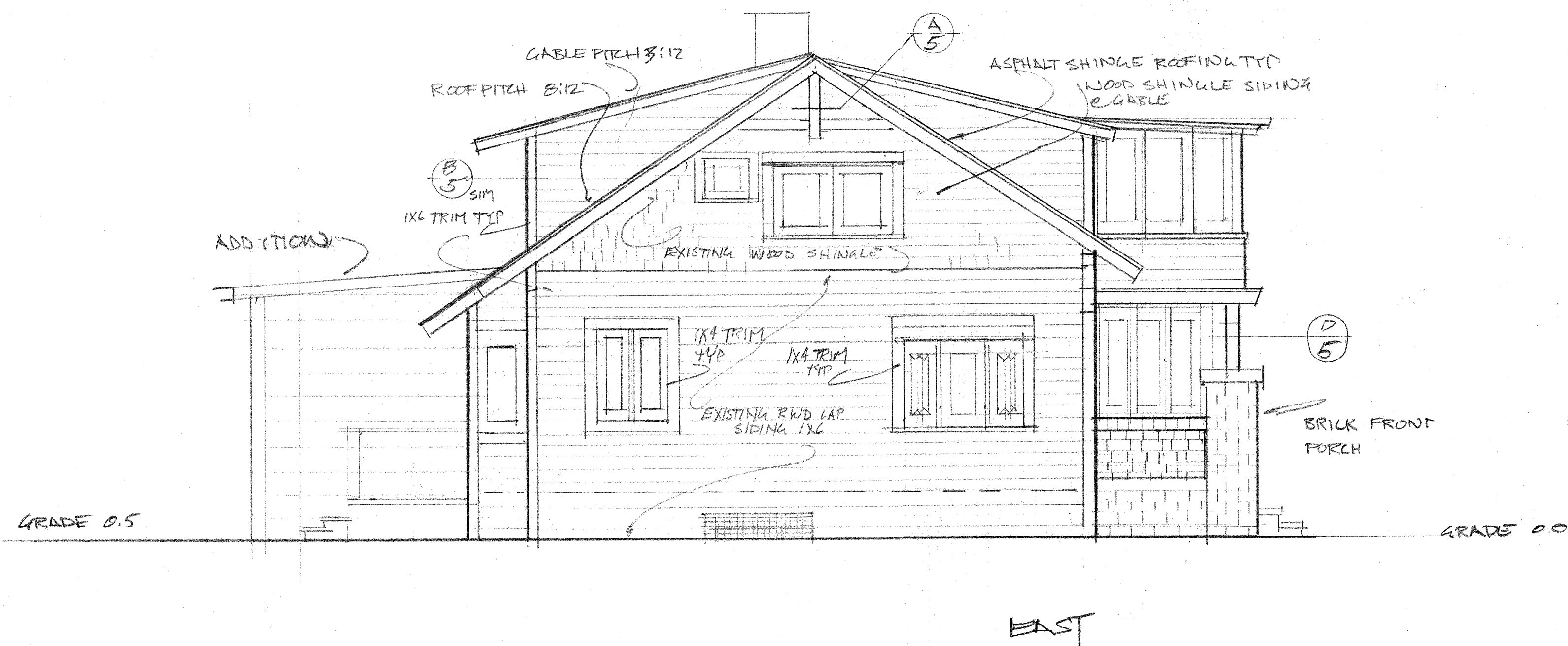
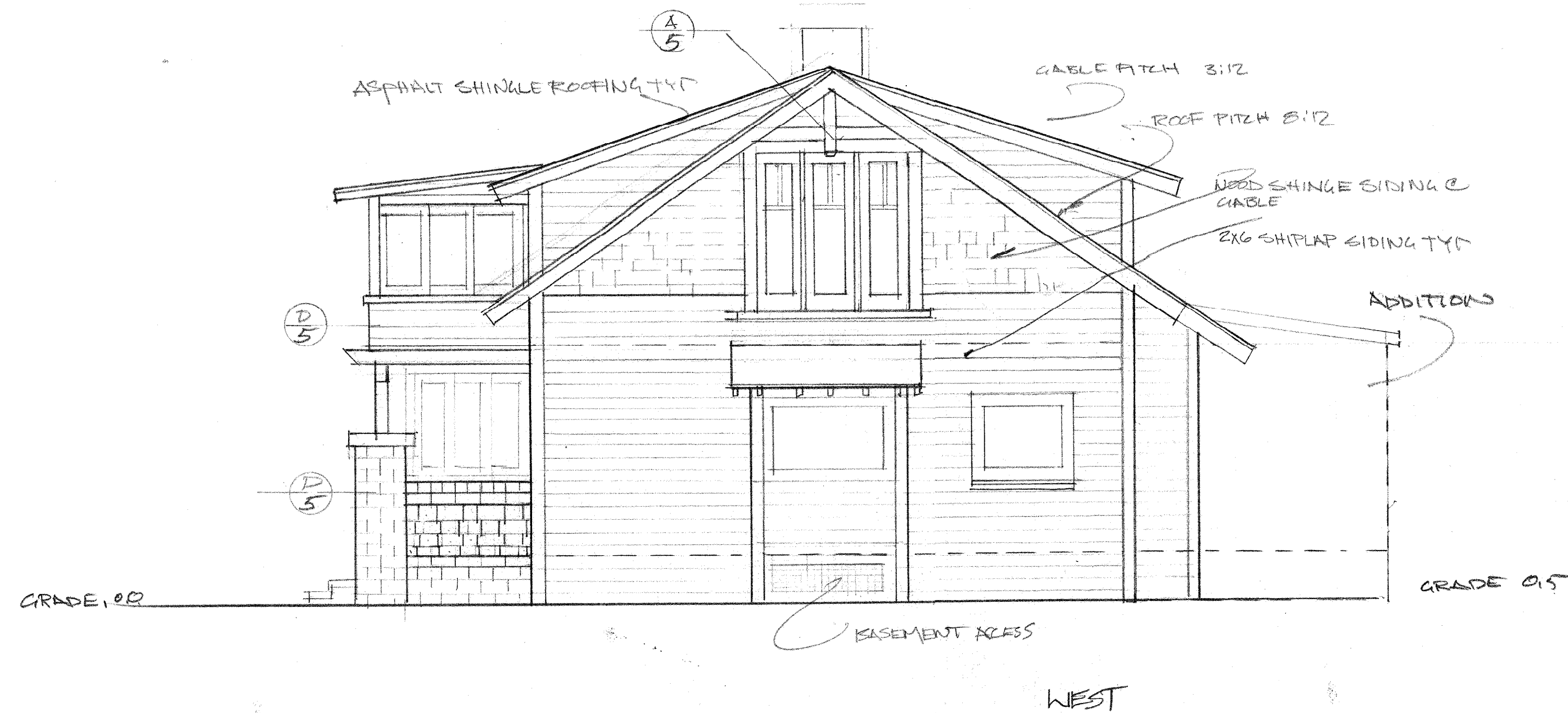
LILLIAN LENTELL
COTTAGE

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817 Silverado Street
La Jolla, CA 92037
APN: 350-321-05-00

ARCHITECT
SAPDIE RABINES ARCHITECTS
925 FORT STOCKTON DRIVE
SAN DIEGO, CA 92103
619.297.6153

RESIDENTIAL DESIGN
MATTHEW WELSH ASSOCIATES
817 SILVERADO STREET
LA JOLLA, CA 92037

HOUSE MOVER
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HANSEN HOUSE MOVERS
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EXTERIOR ELEVATIONS 1/4"



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SRA Project Number 1628

EAST & WEST
ELEVATIONS

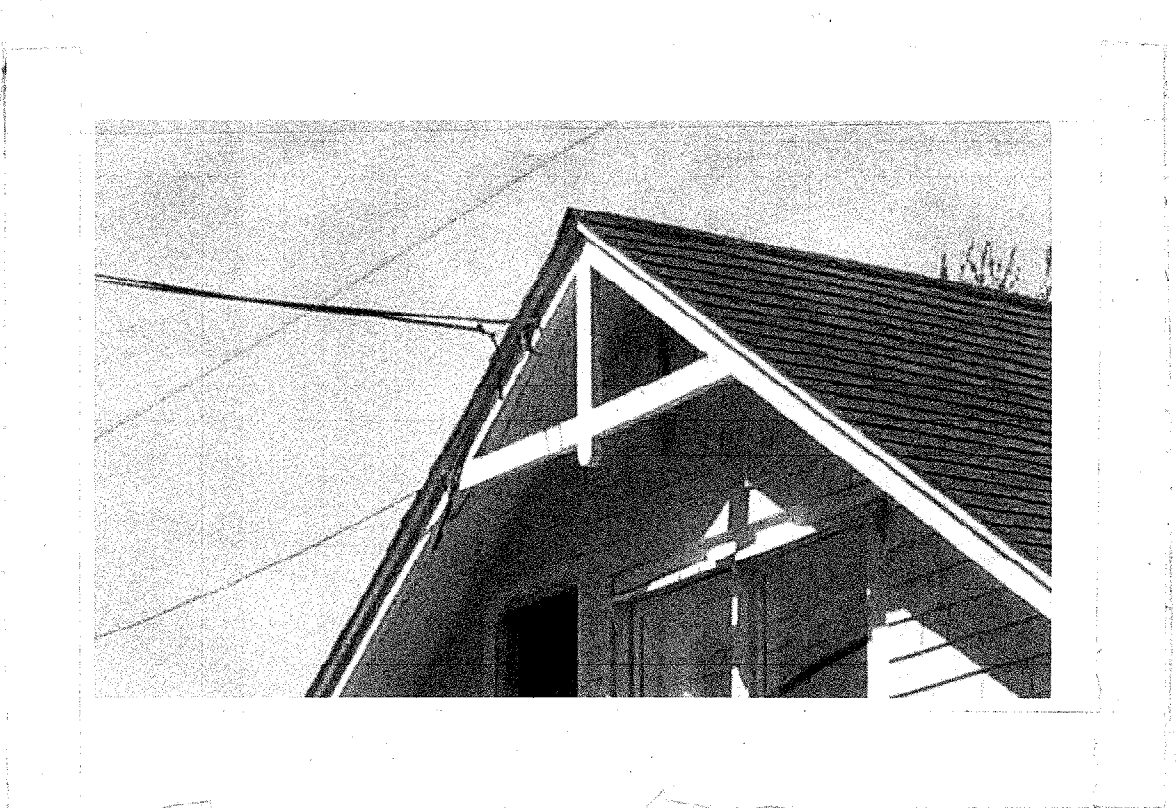
LILLIAN LENTELL
COTTAGE

7742 Bishops Lane &
817 Silverado Street
La Jolla, CA 92037
APN: 350-321-05-00

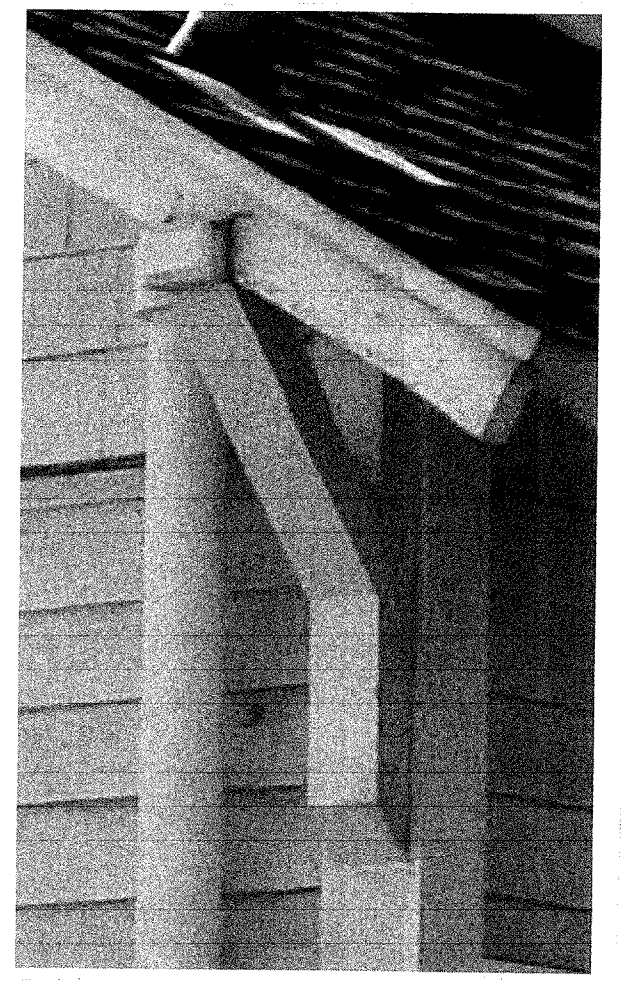
ARCHITECT
SADIE RABINOV ARCHITECTS
925 FORT STOCKTON DRIVE
SAN DIEGO, CA 92103
619.297.6153

RESIDENTIAL DESIGN
MATTHEW WELSH ASSOCIATES
817 SILVERADO STREET
LA JOLLA, CA 92037

HOUSE MOVER
JOHN T. HANSEN ENTERPRISES
HANSEN HOUSE MOVERS
14315-B OLD HWY. 80
EL CAJON, CA 92021



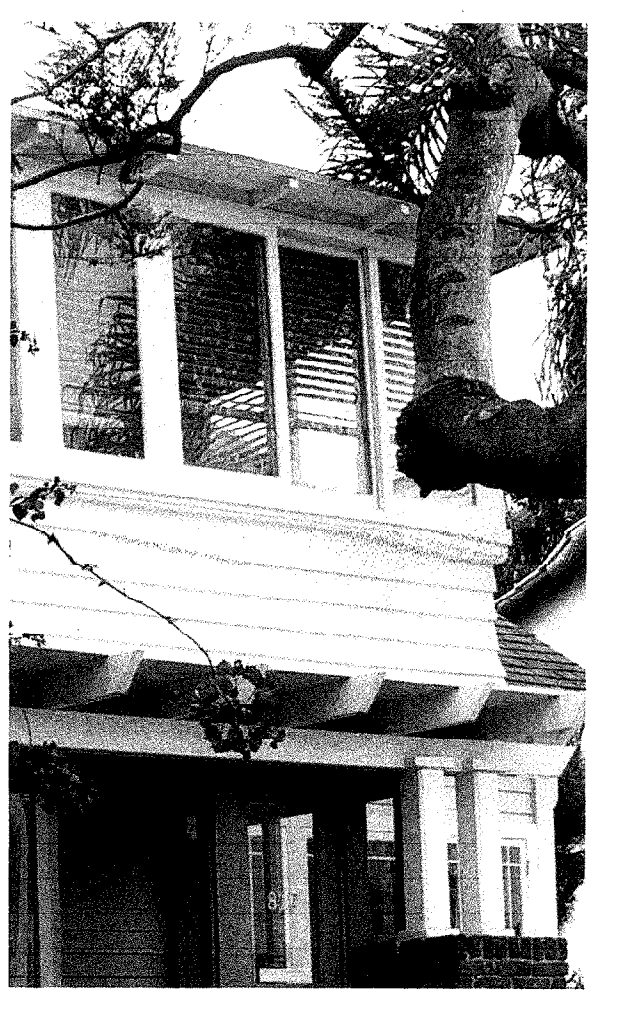
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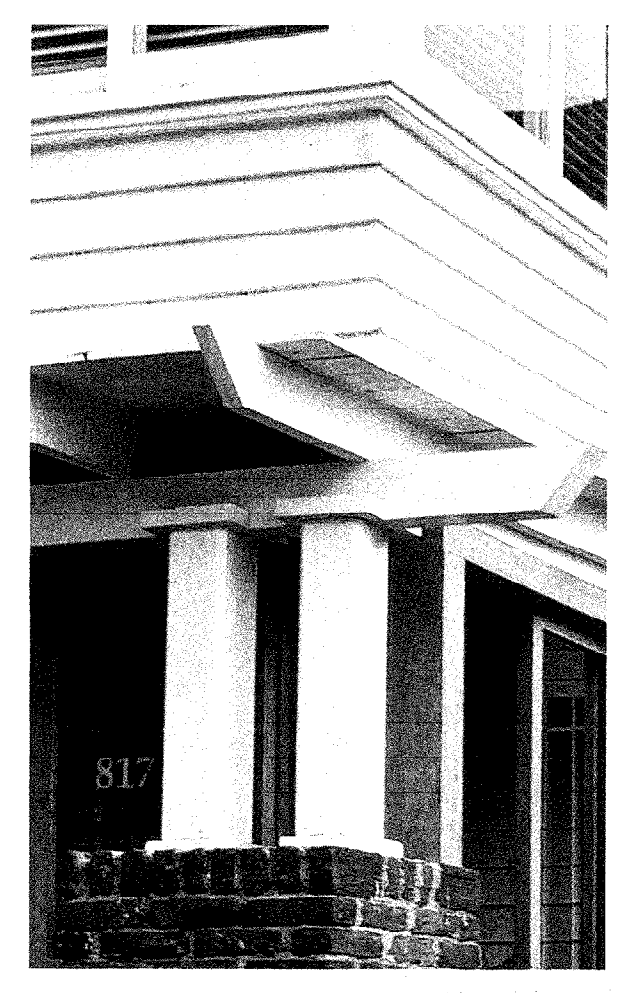
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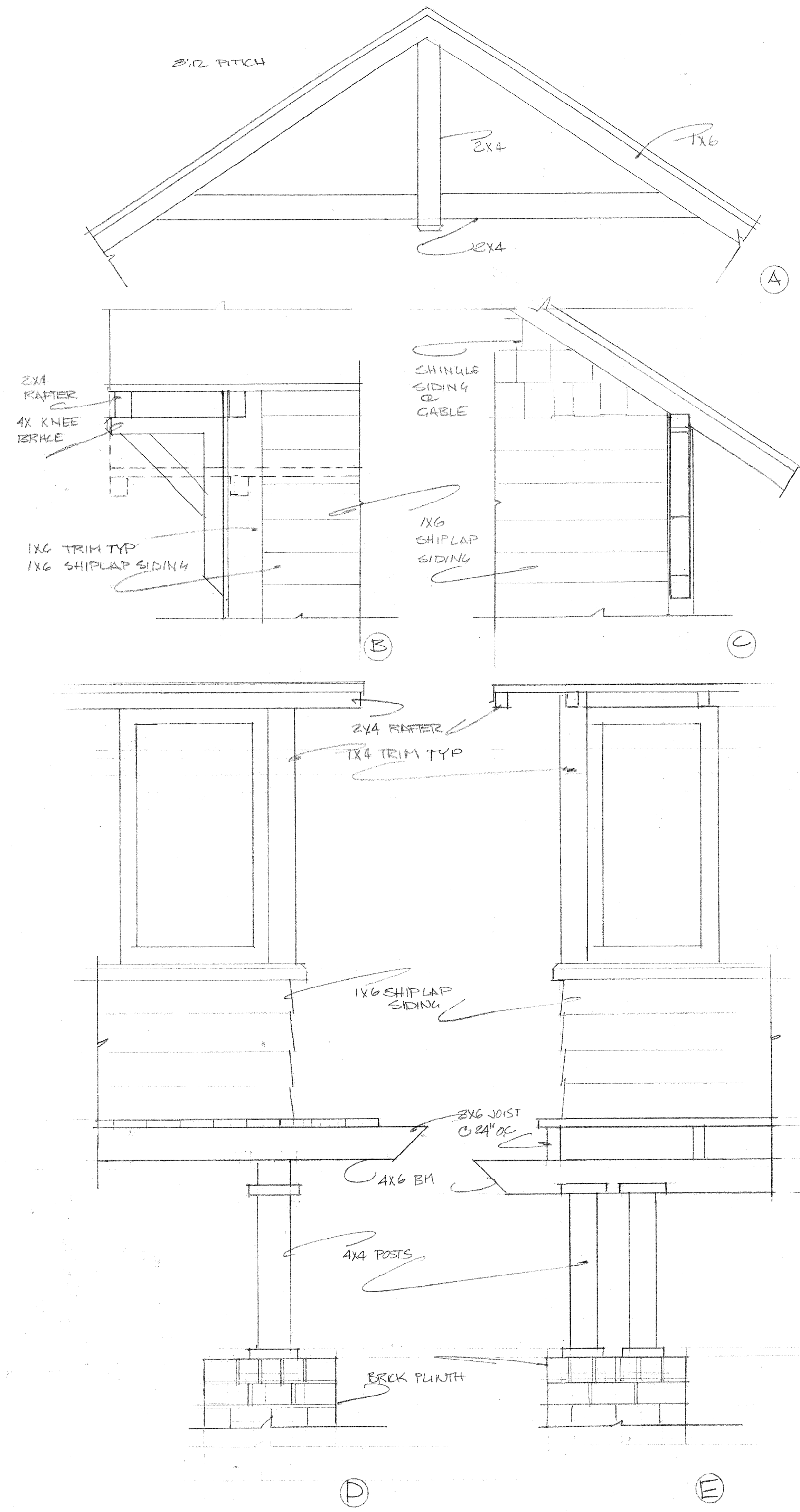
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D & E



D & E



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SRA Project Number 1628

ARCHITECTURAL
DETAILS

LILLIAN LENTELL
COTTAGE

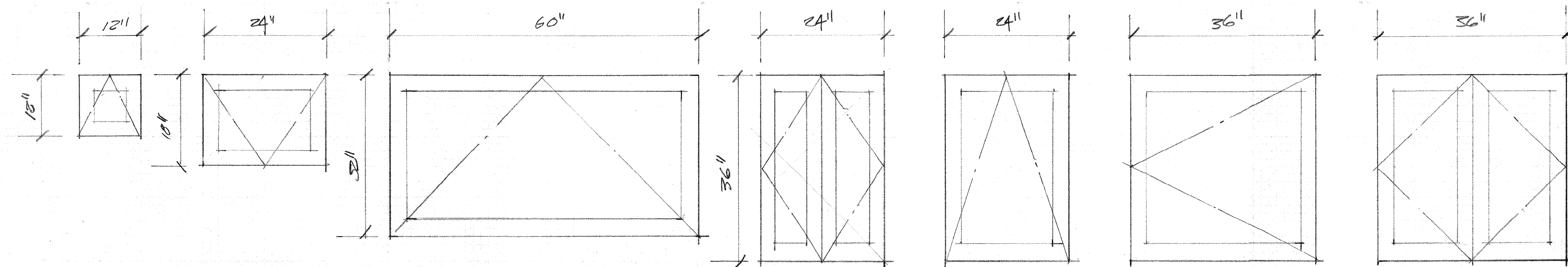
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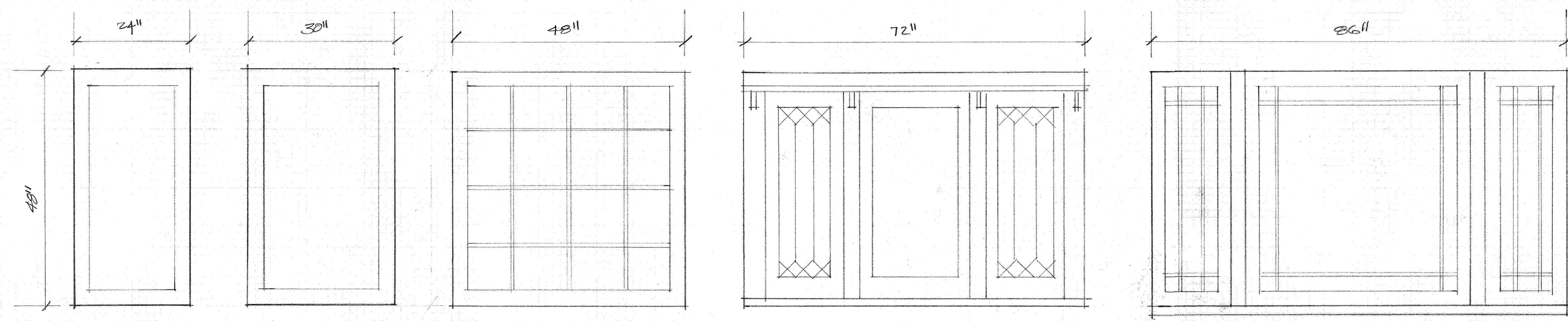
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925 FORT STOCKTON DRIVE
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MATTHEW WELSH ASSOCIATES
817 SILVERADO STREET
LA JOLLA, CA 92037

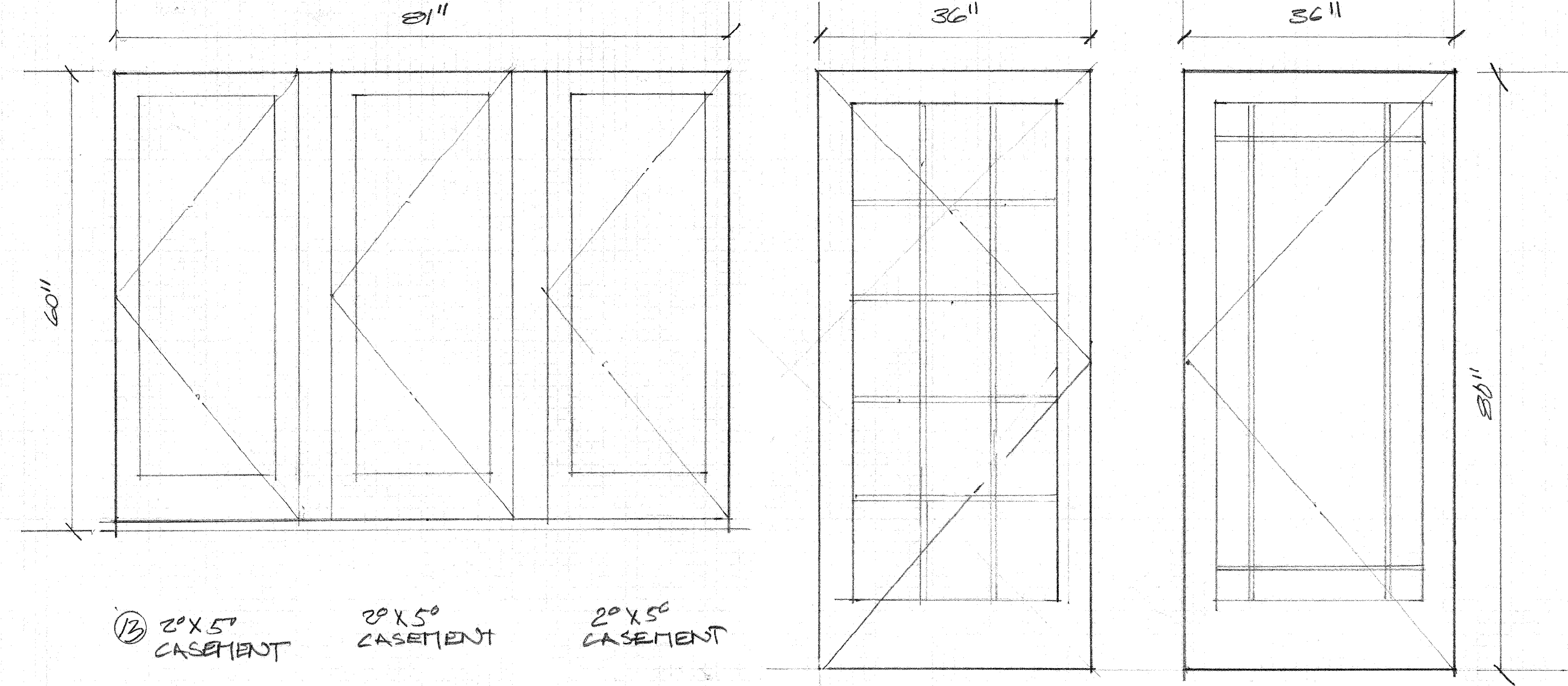
HOUSE MOVER
JOHN T. HANSEN ENTERPRISES
HANSEN HOUSE MOVERS
14315-B OLD HWY. 80
EL CAJON, CA 92021



① 18" x 18" AWNING ② 20" x 18" AWNING ③ 5" x 2'-8" AWNING ④ 20" x 3" CASEMENT ⑤ 20" x 30" AWNING ⑥ 3" x 3" CASEMENT ⑦ 3" x 3" CASEMENT



⑧ 20" x 4" SLIDING ⑨ 30" x 4" SLIDING ⑩ 4" x 9" FIXED ⑪ 18" x 42" FIXED 20" x 20" AWNING 18" x 42" FIXED ⑫ 18" x 4" CASEMENT 4" x 4" FIXED 18" x 4" CASEMENT



⑬ 20" x 5" CASEMENT ⑭ 20" x 5" CASEMENT ⑮ 20" x 5" CASEMENT

A 3" x 6'-8" B 5" x 6'-8"

DOOR & WINDOW SCHEDULE
1"=1'-0"



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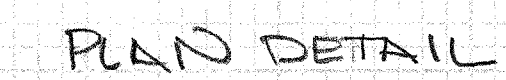
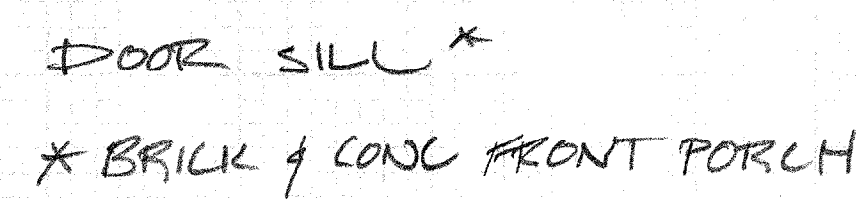
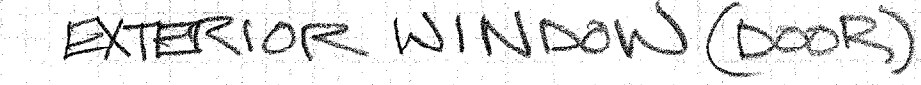
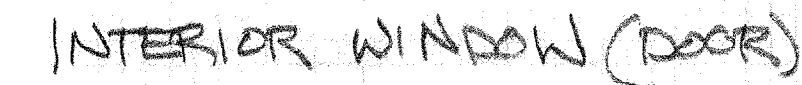
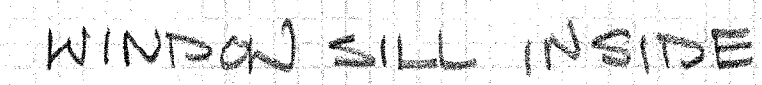
Issue Date: 10/06/20 Scale: AS NOTED
SRA Project Number: 1628

DOOR
WINDOW
DETAILS

ARCHITECT
SAFDIE RABINES ARCHITECTS
925 FORT STOCKTON DRIVE
SAN DIEGO, CA 92103
619.297.6153

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10/06/20	AS NOTED
<hr/>	
SRA Project Number	
1628	

DOOR WINDOW DETAILS

B-7

DOOR & WINDOW SHEET
3" = 1'-0"

LILLIAN LENTELL
COTTAGE

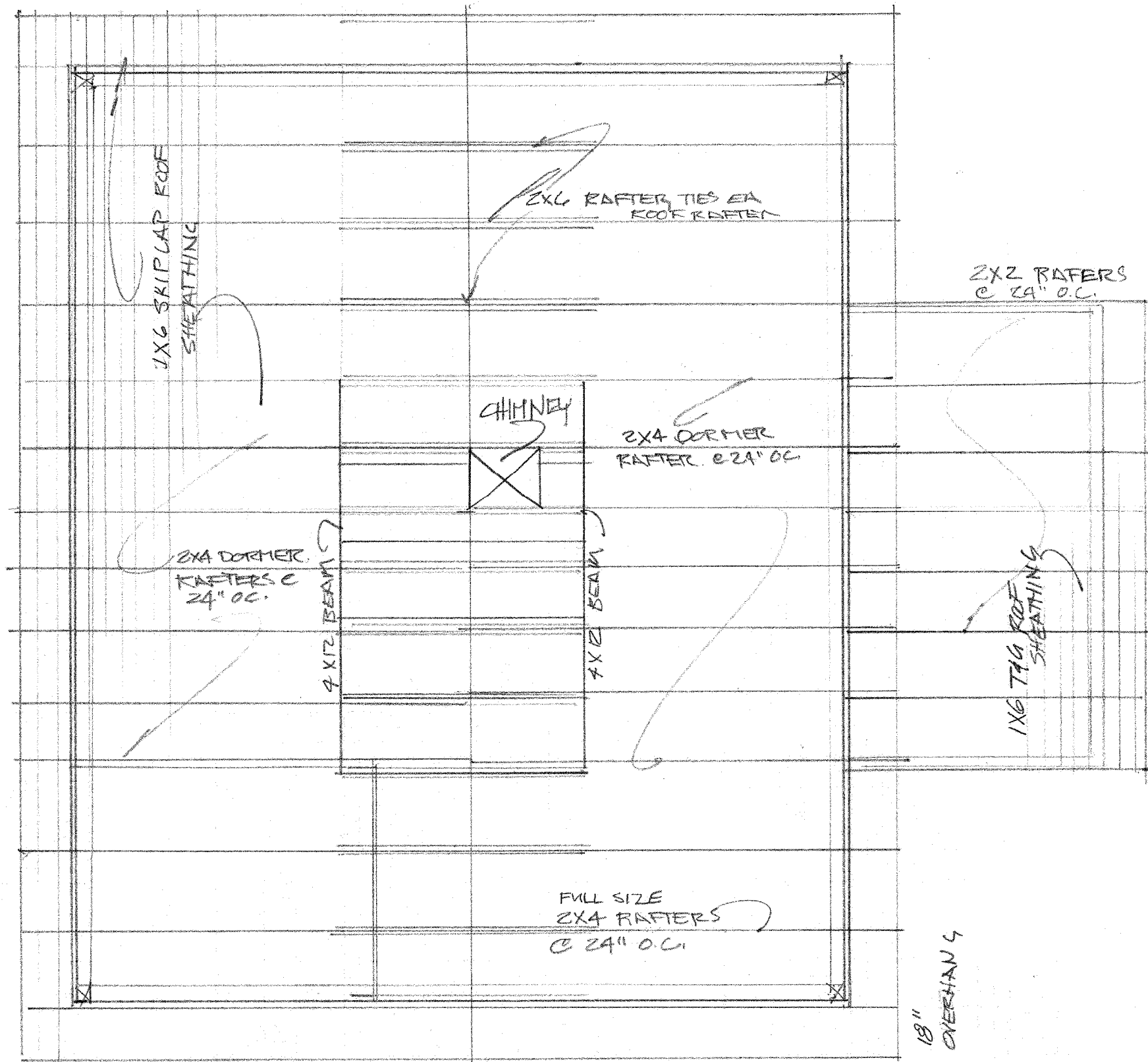
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817 Silverado Street
La Jolla, CA 92037

APN: 350-321-05-00

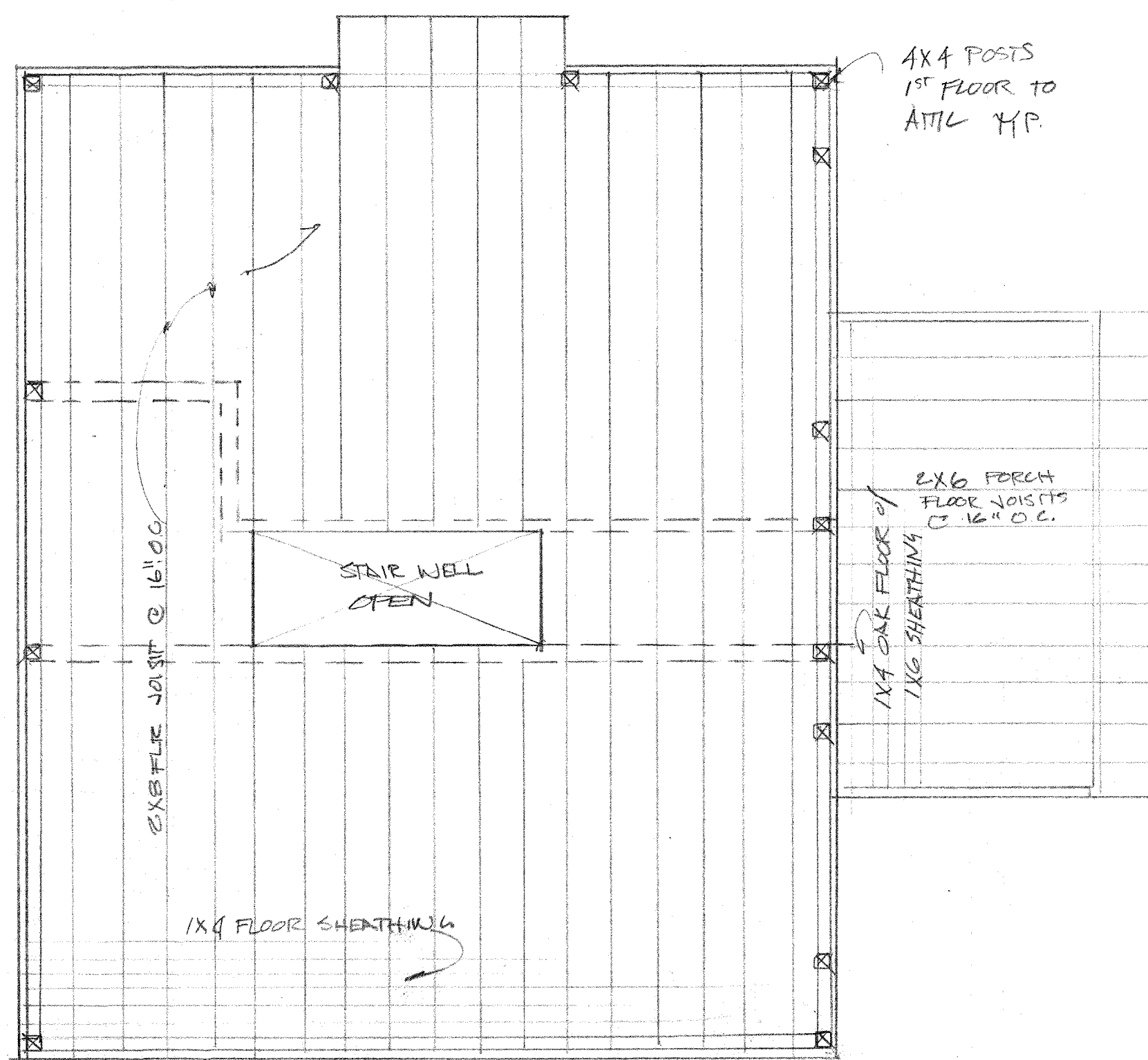
ARCHITECT
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925 FORT STOCKTON DRIVE
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RESIDENTIAL DESIGN
MATTHEW WELSH ASSOCIATES
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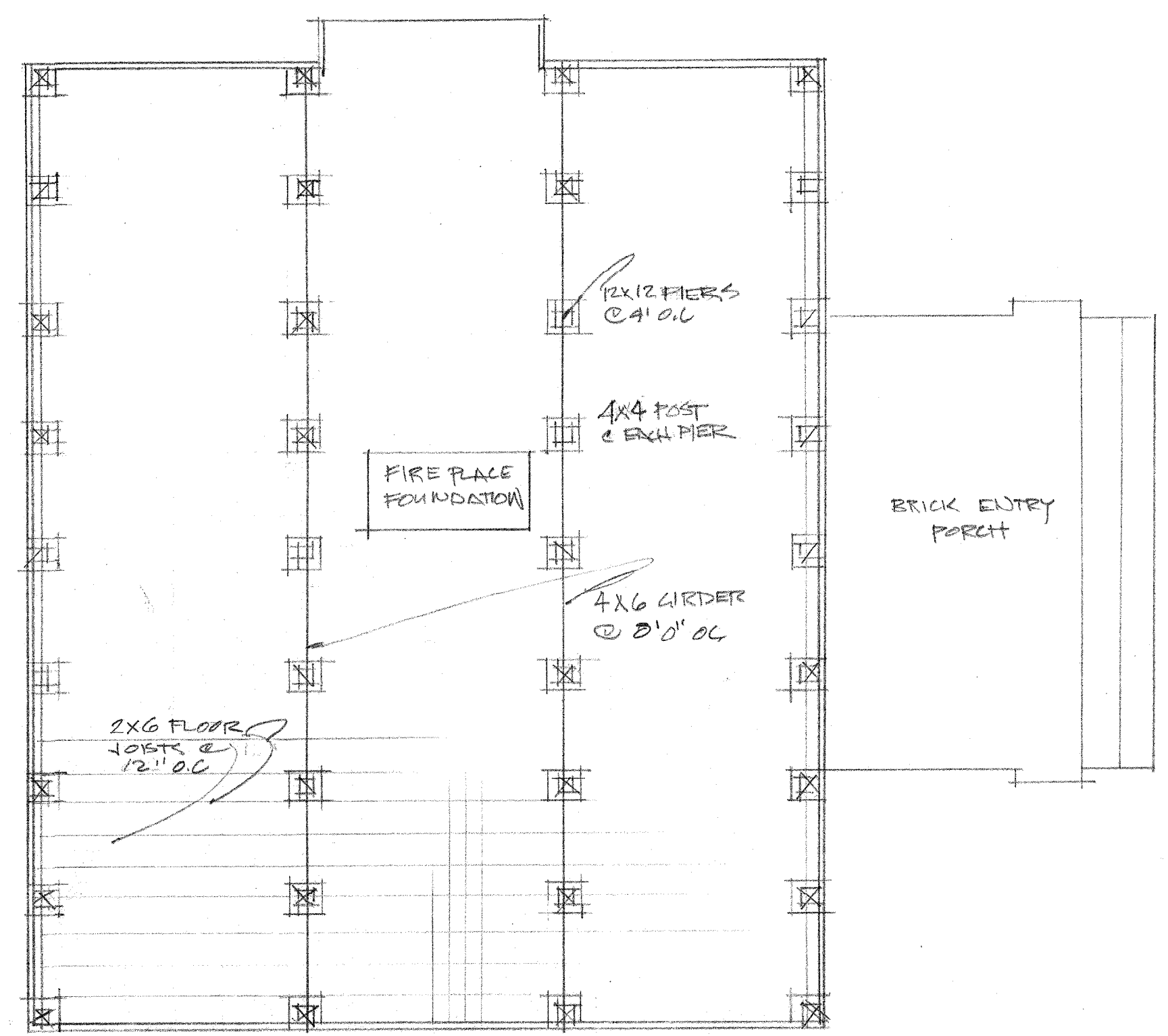
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HANSEN HOUSE MOVERS
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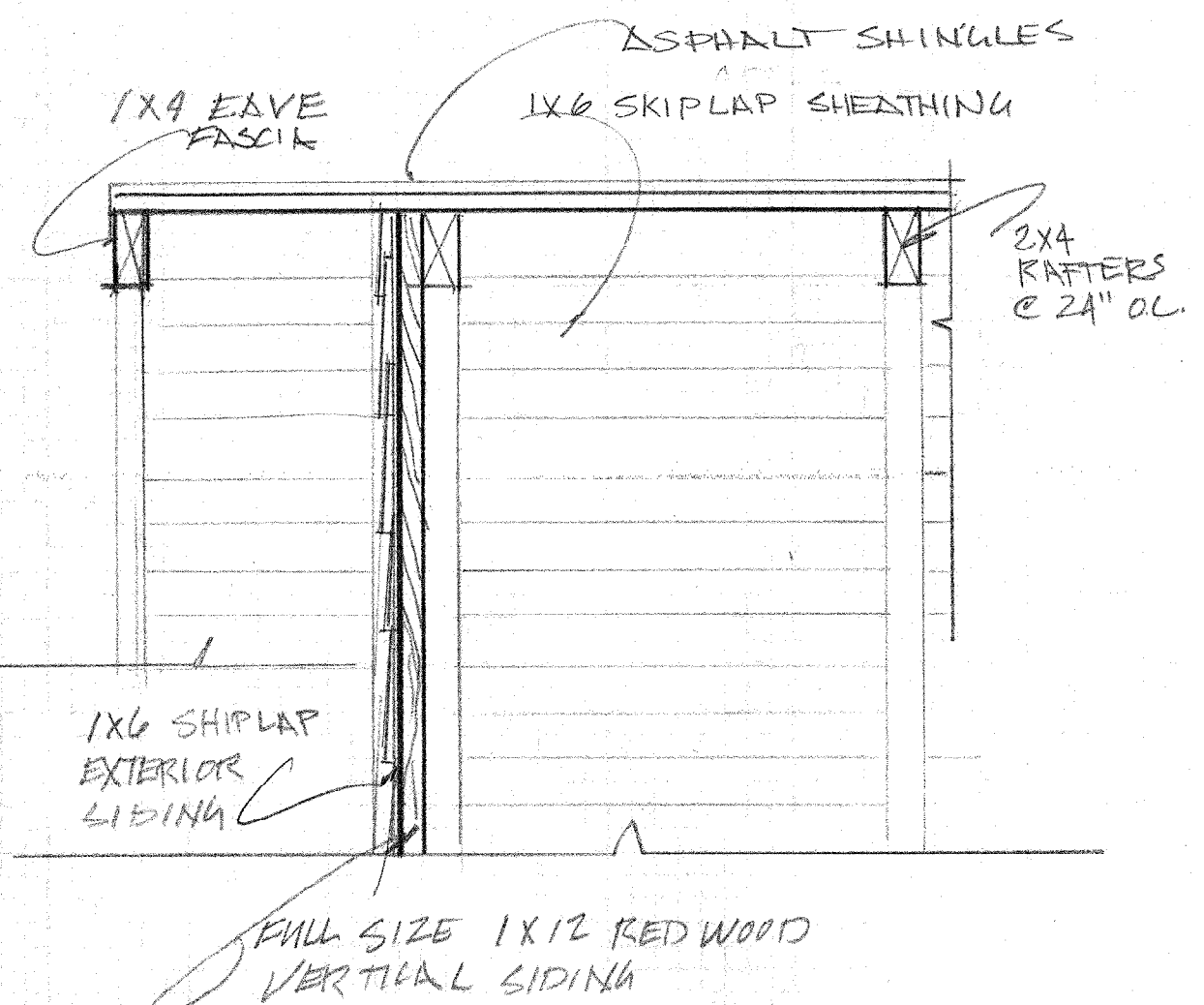
ROOF FRAMING



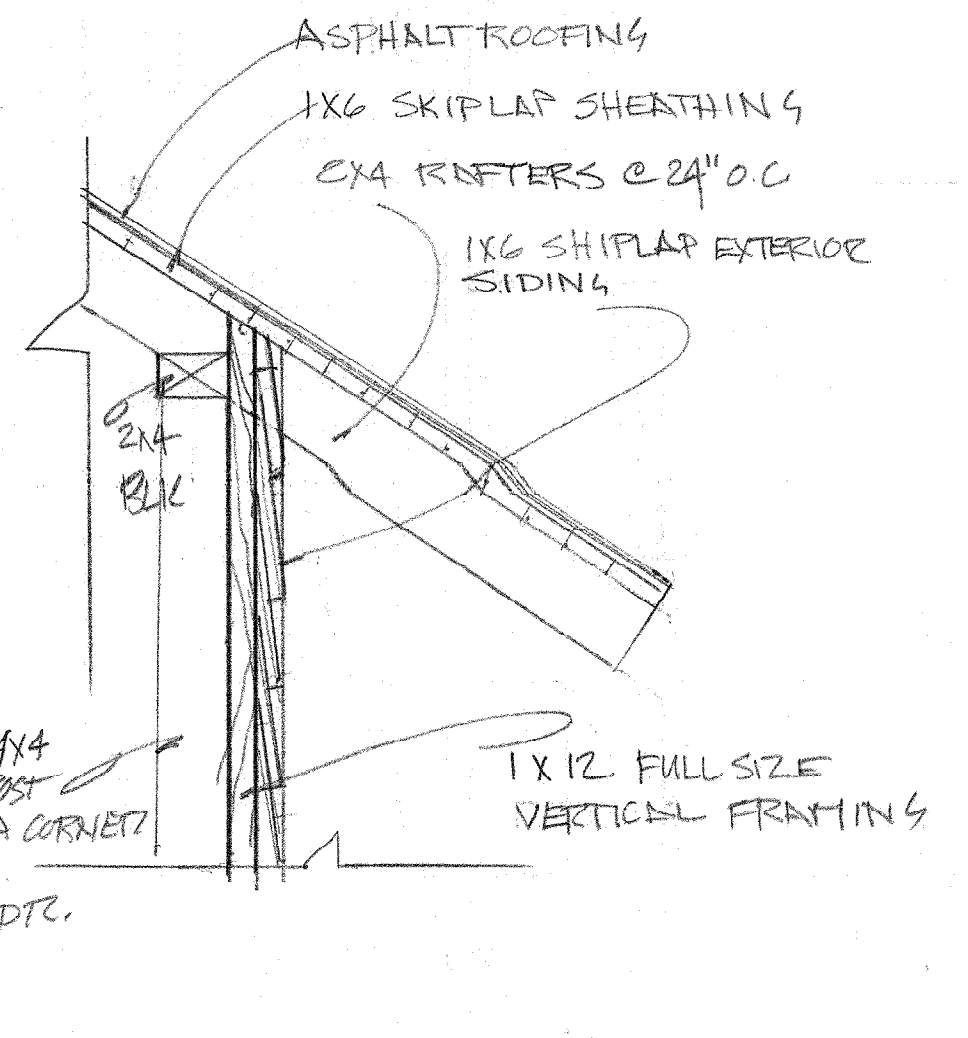
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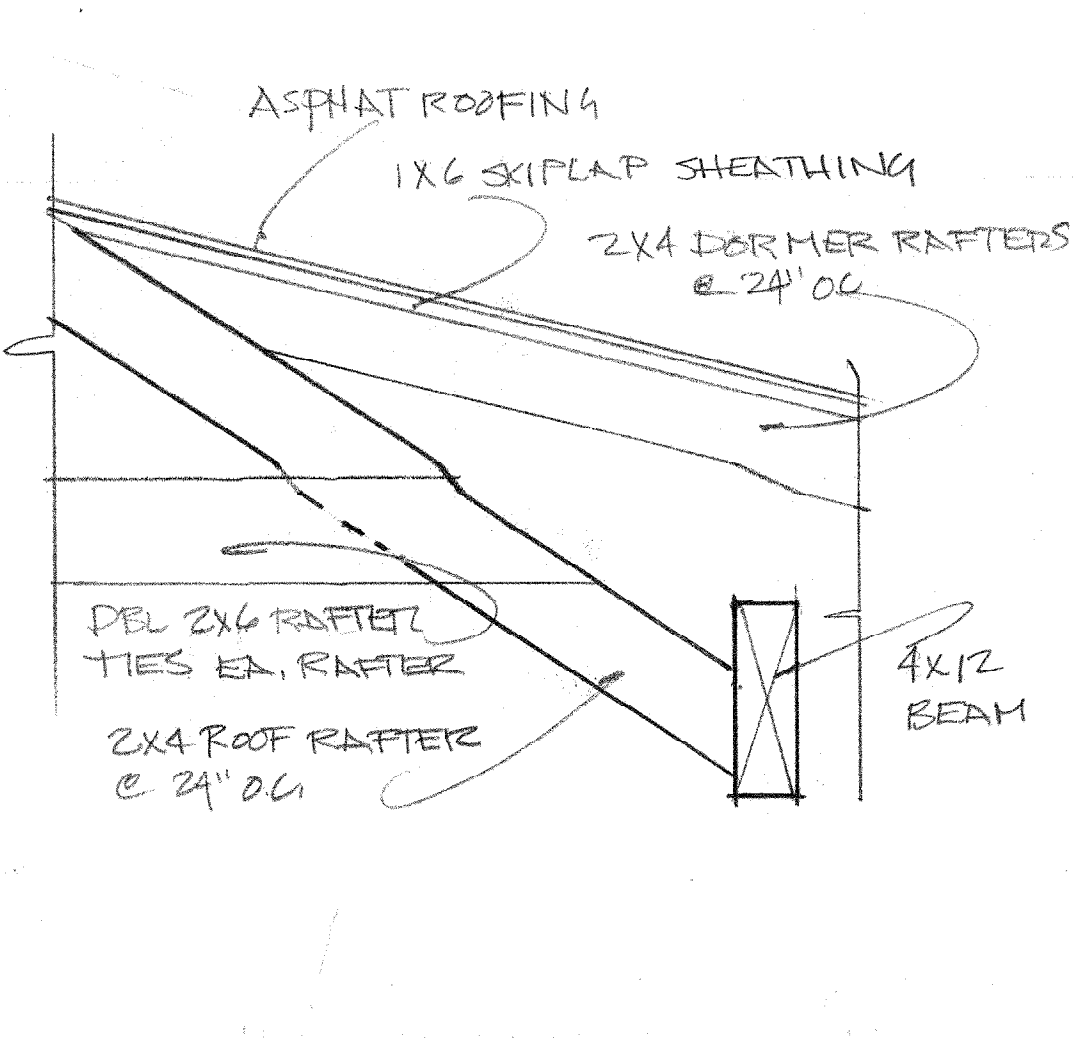
1st FLOOR FRAMING & FOUNDATION 1/4" NORTH



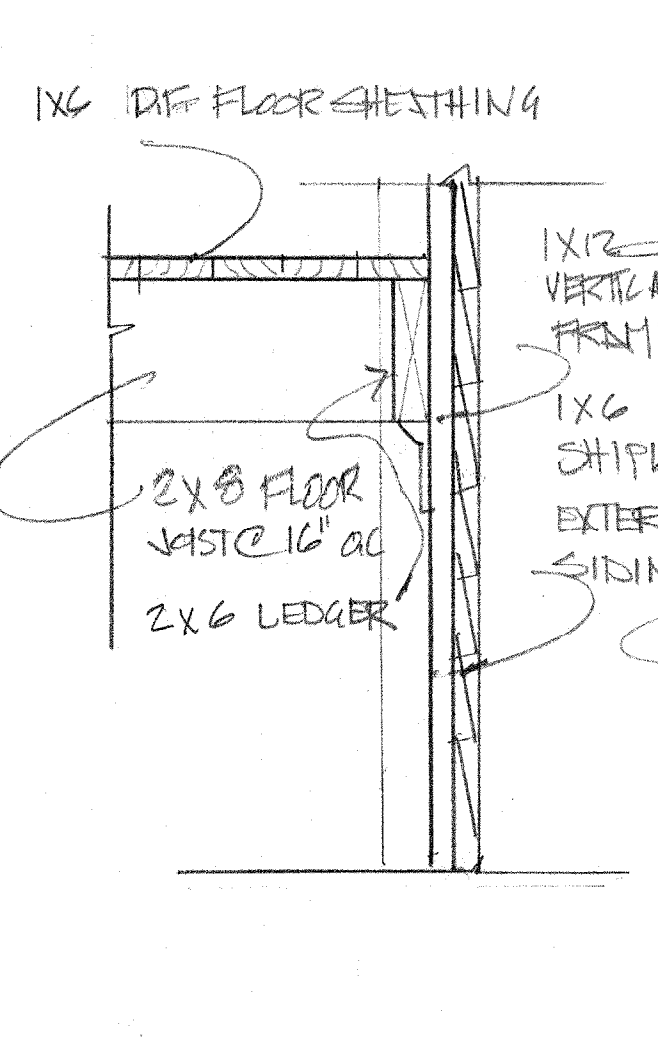
ROOF FRAMING



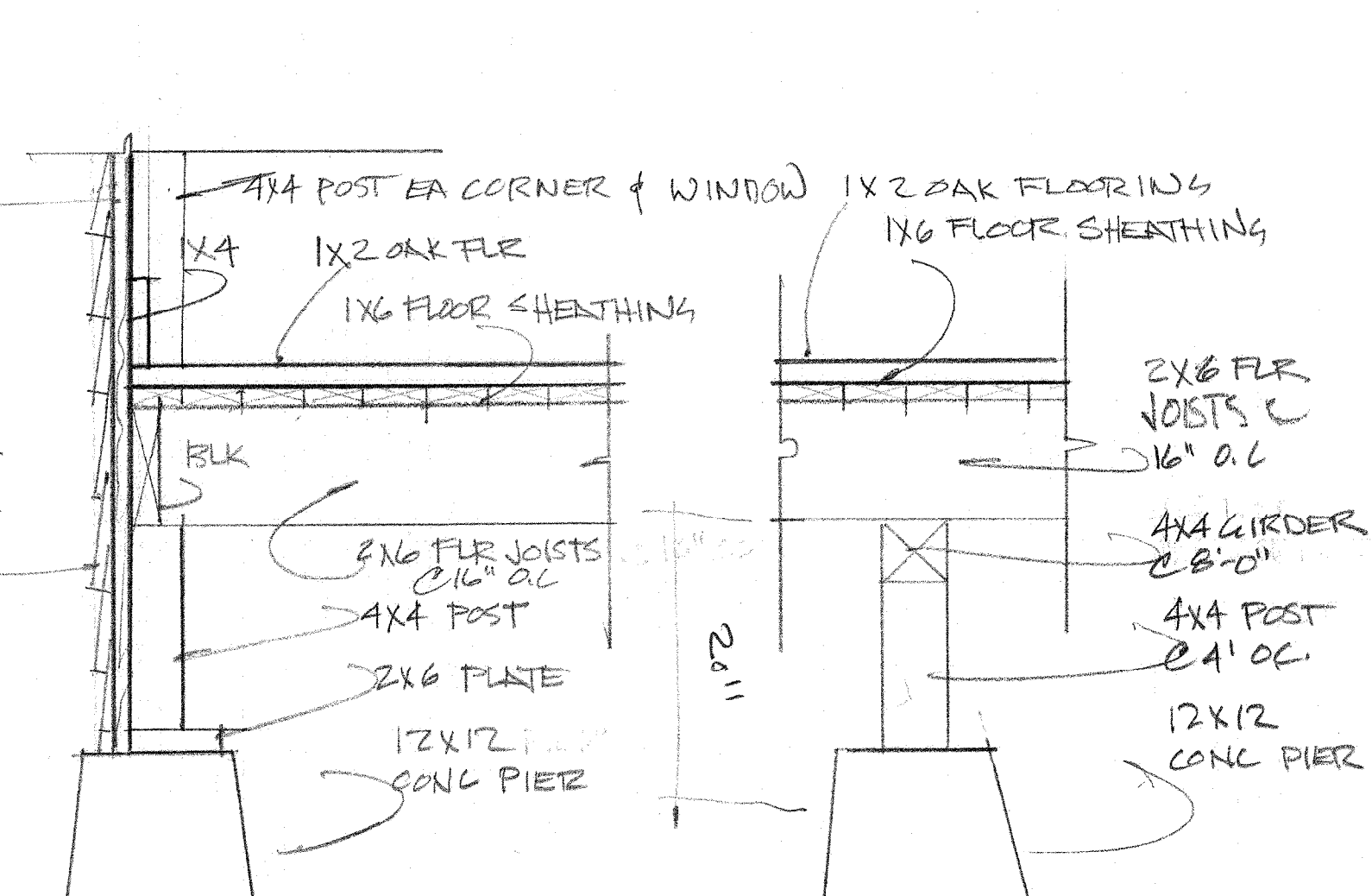
ROOF EXTERIOR WALL



ATTIC CEILING FRAMING



WALL FRAMING



PIER FOUNDATION

EXISTING STRUCTURAL FRAMING



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FRAMING
PLAN

SAFDIE RABINES ARCHITECTS
925 FORT STOCKTON DRIVE
SAN DIEGO, CA 92103
619.297.6153

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817 SILVERADO STREET
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HOUSE MOVER
JOHN T. HANSEN ENTERPRISES
HANSEN HOUSE MOVERS
14315-B OLD HWY. 80
EL CAJON, CA 92021

DESIGNER:

MATTHEW WELSH
817 SILVERADO ST
LA JOLLA, CA 92037
858 454 9949
matwelsh@pacbell.net

ARCHITECTS:

SAFDIE RABINES ARCHITECTS
925 FORT STOCKTON DR.
SAN DIEGO CA 92103

HISTORIC ARCHITECT:

JOHN EISENHART
UNION ARCHITECTURE
1530 BROOKES AVENUE
SAN DIEGO CA 92103
619 269 4941
john@unionarch.com

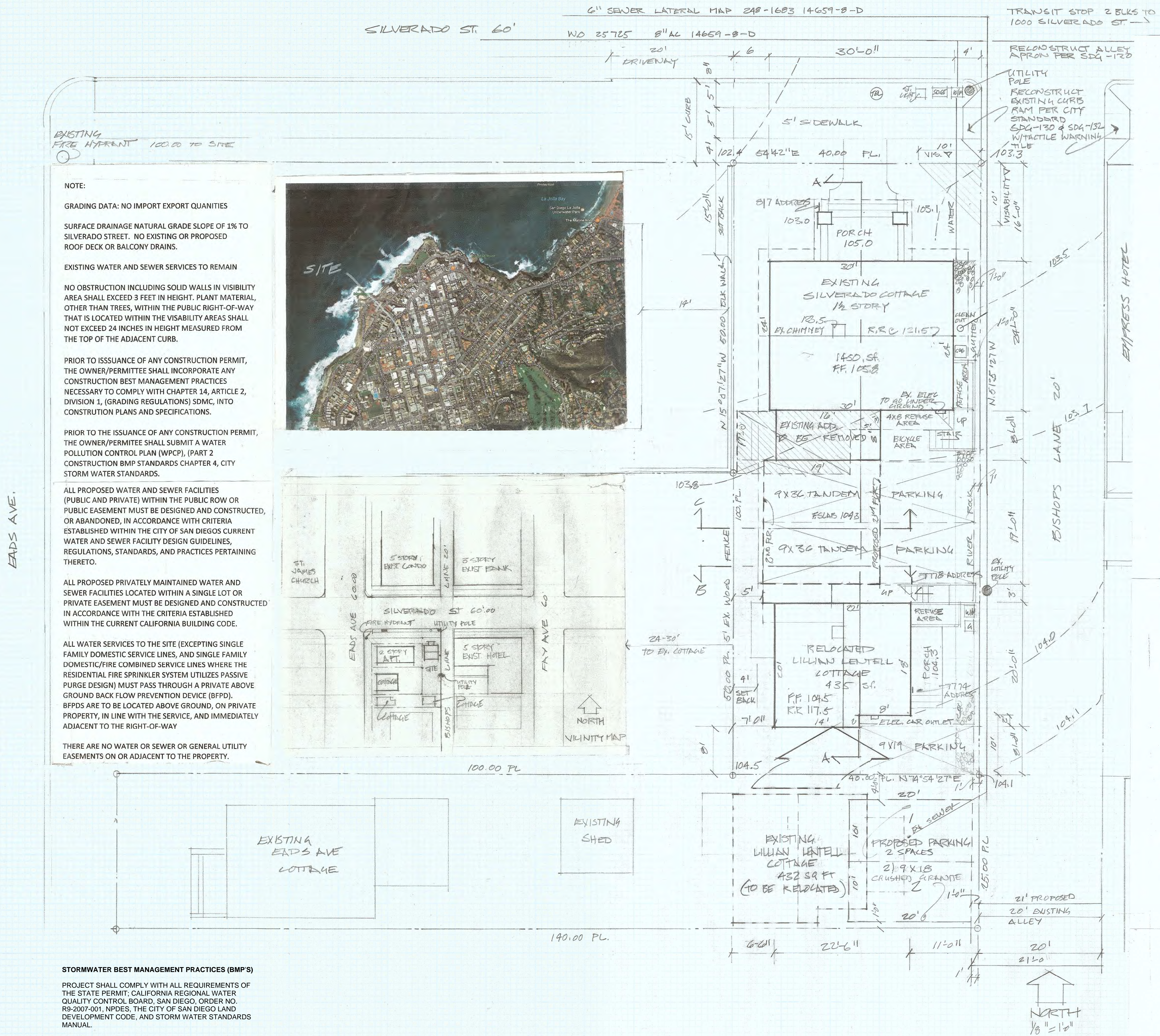
STRUCTURAL ENGINEERS

BRIAN QUALLS
QUALLS ENGINEERING
4403 MANCHESTER AVE.,
SUITE 203,
ENCINITAS,
CA 92024

Issue Date Scale
0/06/20 AS NOTED

PROPOSED SITE PLAN

C-1



LILLIAN LENTELL
COTTAGE

7762 Bishops Lane &
817 Silverado Street
La Jolla, CA 92037

APN: 350-321-05-00

ARCHITECT

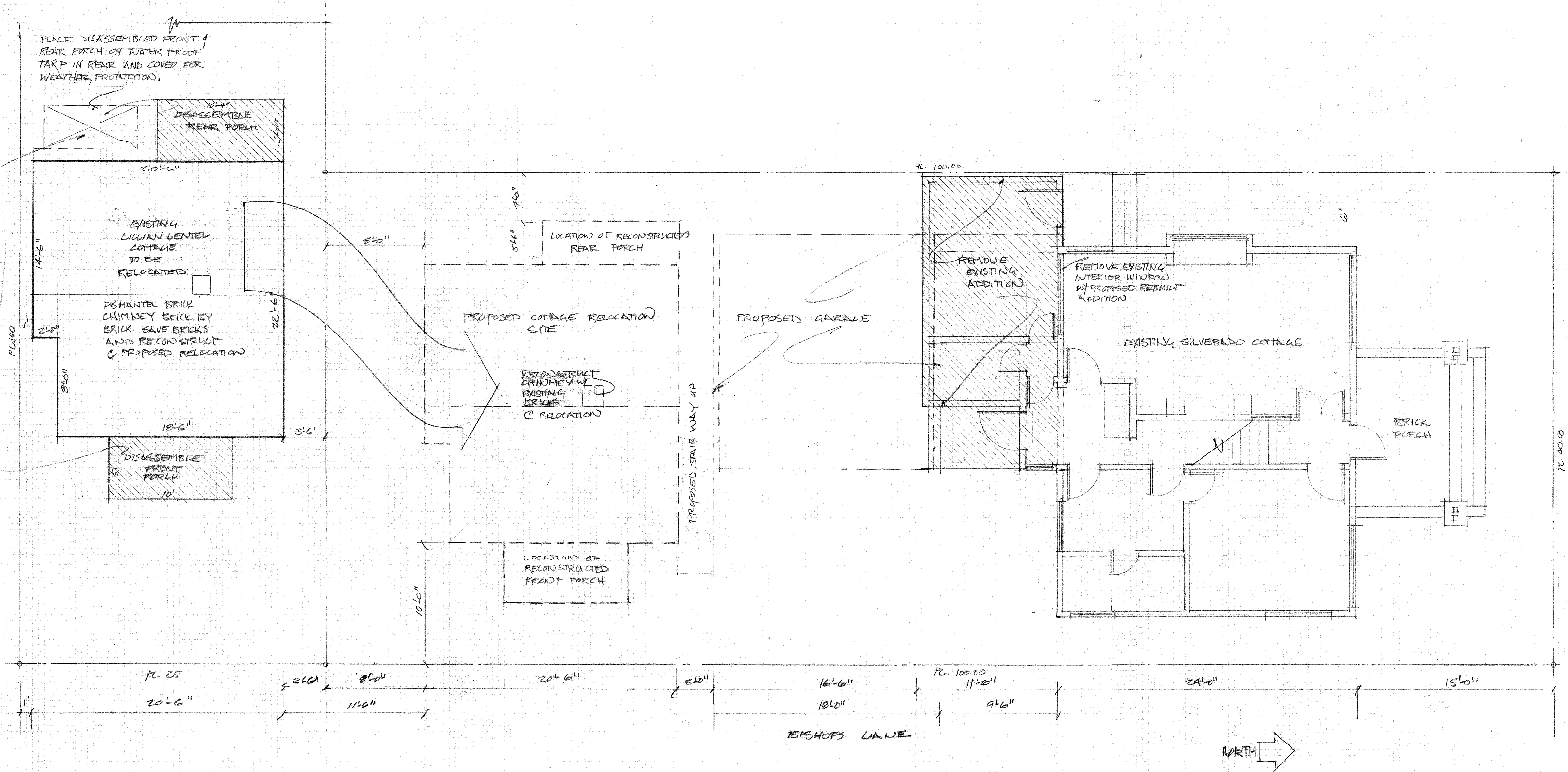
SADIE RABIN ARCHITECTS
925 FORT STOCKTON DRIVE
SAN DIEGO, CA 92103
619.297.6153

RESIDENTIAL DESIGN

MATTHEW WELSH ASSOCIATES
817 SILVERADO STREET
LA JOLLA, CA 92037

HOUSE MOVER

JOHN T. HANSEN ENTERPRISES
HANSEN HOUSE MOVERS
14315-B OLD HWY. 80
EL CAJON, CA 92021



REVISIONS

Num.	Description	Date
1	PERMIT SUBMITTAL	10/06/20

Issue Date: 10/06/20
Scale: AS NOTED
SRA Project Number: 1628

DEMO PLAN

C-1a

LILLIAN LENTELL
COTTAGE

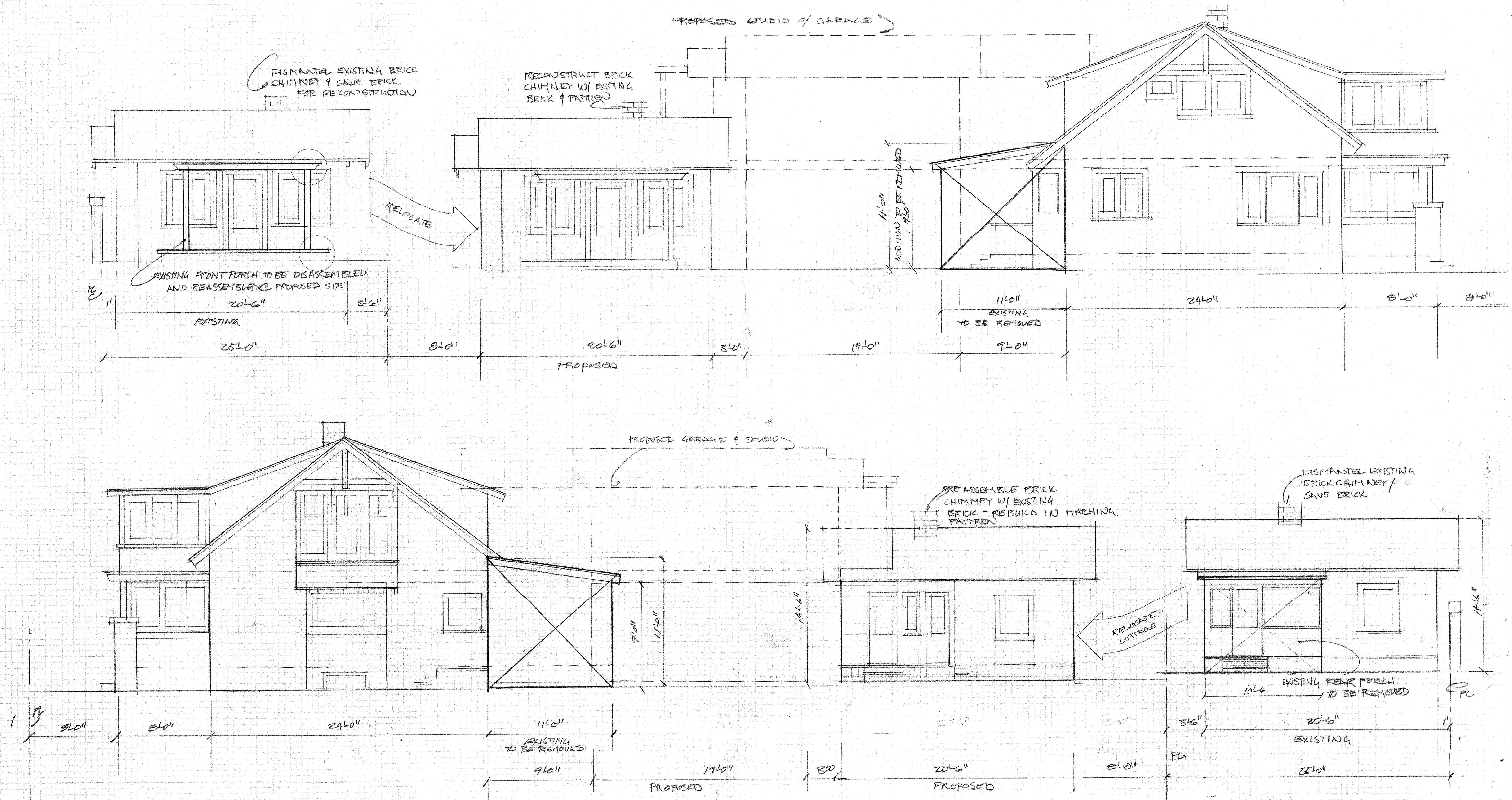
7762 Bishops Lane &
817 Silverado Street
La Jolla, CA 92037

APN: 350-321-05-00

ARCHITECT
SADIE RABIN ARCHITECTS
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EL CAJON, CA 92021



REVISIONS		
Num.	Description	Date
1	PERMIT SUBMITTAL	10/06/20

Issue Date
10/06/20

Scale
AS NOTED

SRA Project Number
1628

EAST & WEST
DEMOLITION
ELEVATIONS

C-2

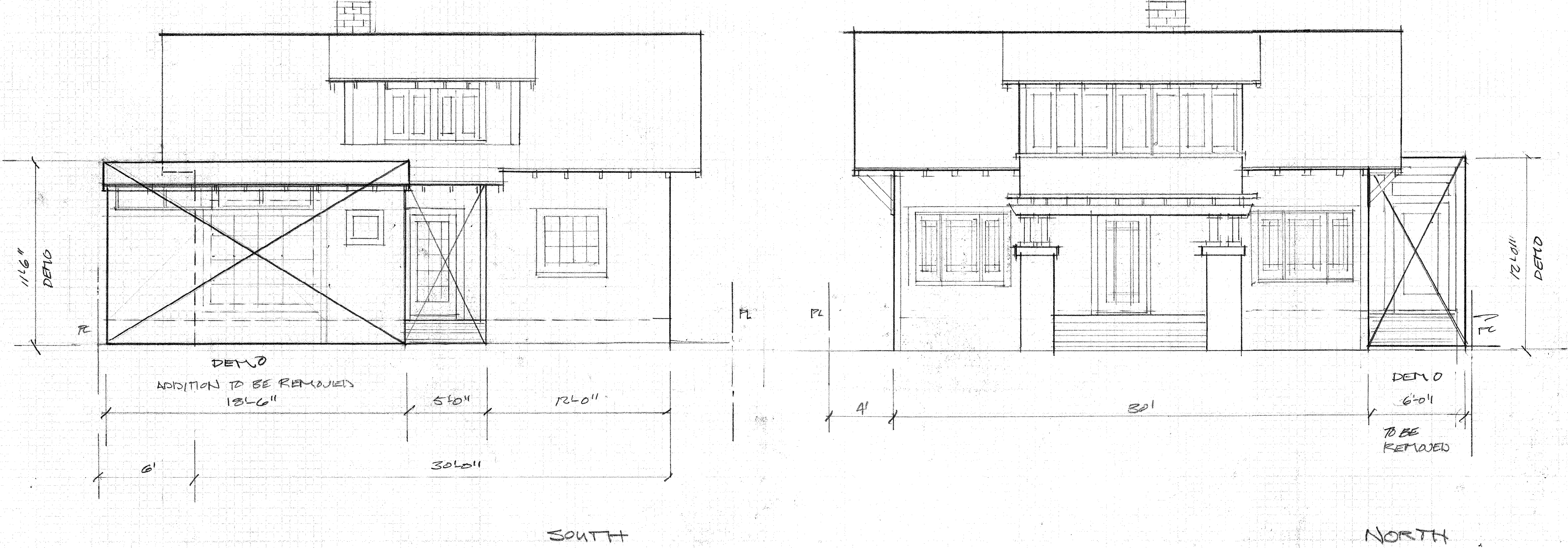
LILLIAN LENTELL
COTTAGE

7762 Bishops Lane &
817 Silverado Street
La Jolla, CA 92037
APN: 350-321-05-00

ARCHITECT
SAFIE RABINES ARCHITECTS
925 FORT STOCKTON DRIVE
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619.297.6153

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817 SILVERADO STREET
LA JOLLA, CA 92037

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HANSEN HOUSE MOVERS
14315-B OLD HWY. 80
EL CAJON, CA 92021



REVISIONS		
Num.	Description	Date
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Issue Date 10/06/20 Scale AS NOTED
SRA Project Number 1628

NORTH &
SOUTH
DEMOLITION
ELEVATIONS
C-3

LILLIAN LENTELL
COTTAGE

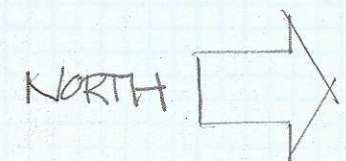
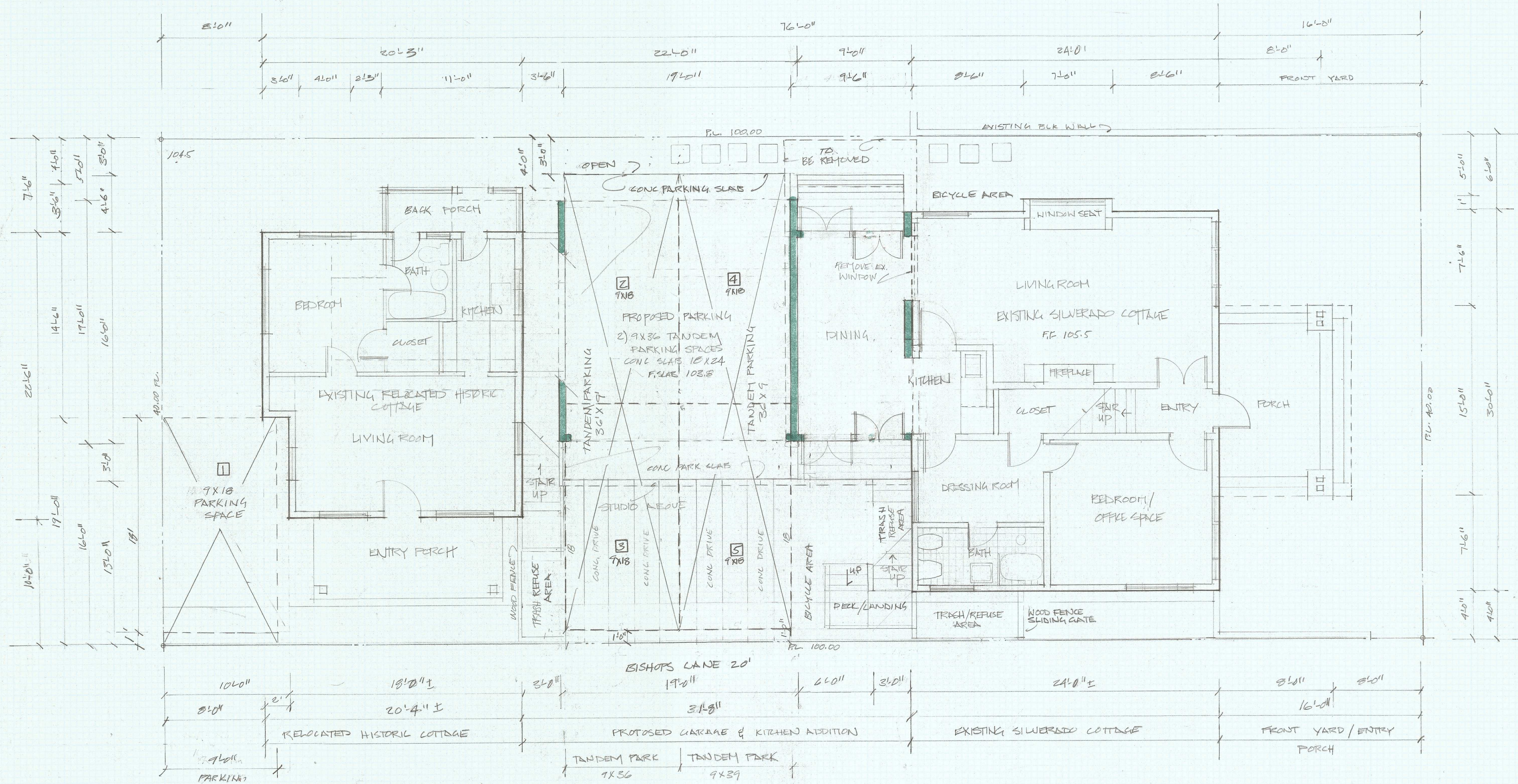
7762 Bishops Lane &
817 Silverado Street
La Jolla, CA 92037

APN: 350-321-05-00

ARCHITECT
SAFIE RABINES ARCHITECTS
925 FORT STOCKTON DRIVE
SAN DIEGO, CA 92103
619.297.6153

RESIDENTIAL DESIGN
MATTHEW WELSH ASSOCIATES
817 SILVERADO STREET
LA JOLLA, CA 92037

HOUSE MOVER
JOHN T. HANSEN ENTERPRISES
HANSEN HOUSE MOVERS
14315-5 OLD HWY. 80
EL CAJON, CA 92021



SCHEMATIC II
1/4 FIRST FLOOR PLAN



REVISIONS		
Num.	Description	Date
1	PERMIT SUBMITTAL	10/06/20

Issue Date 10/06/20 Scale AS NOTED
SRA Project Number 1628

PROPOSED
FIRST FLOOR
PLAN

C-4

LILLIAN LENTELL
COTTAGE

7762 Bishops Lane &
817 Silverado Street
La Jolla, CA 92037

APN: 350-321-05-00

ARCHITECT

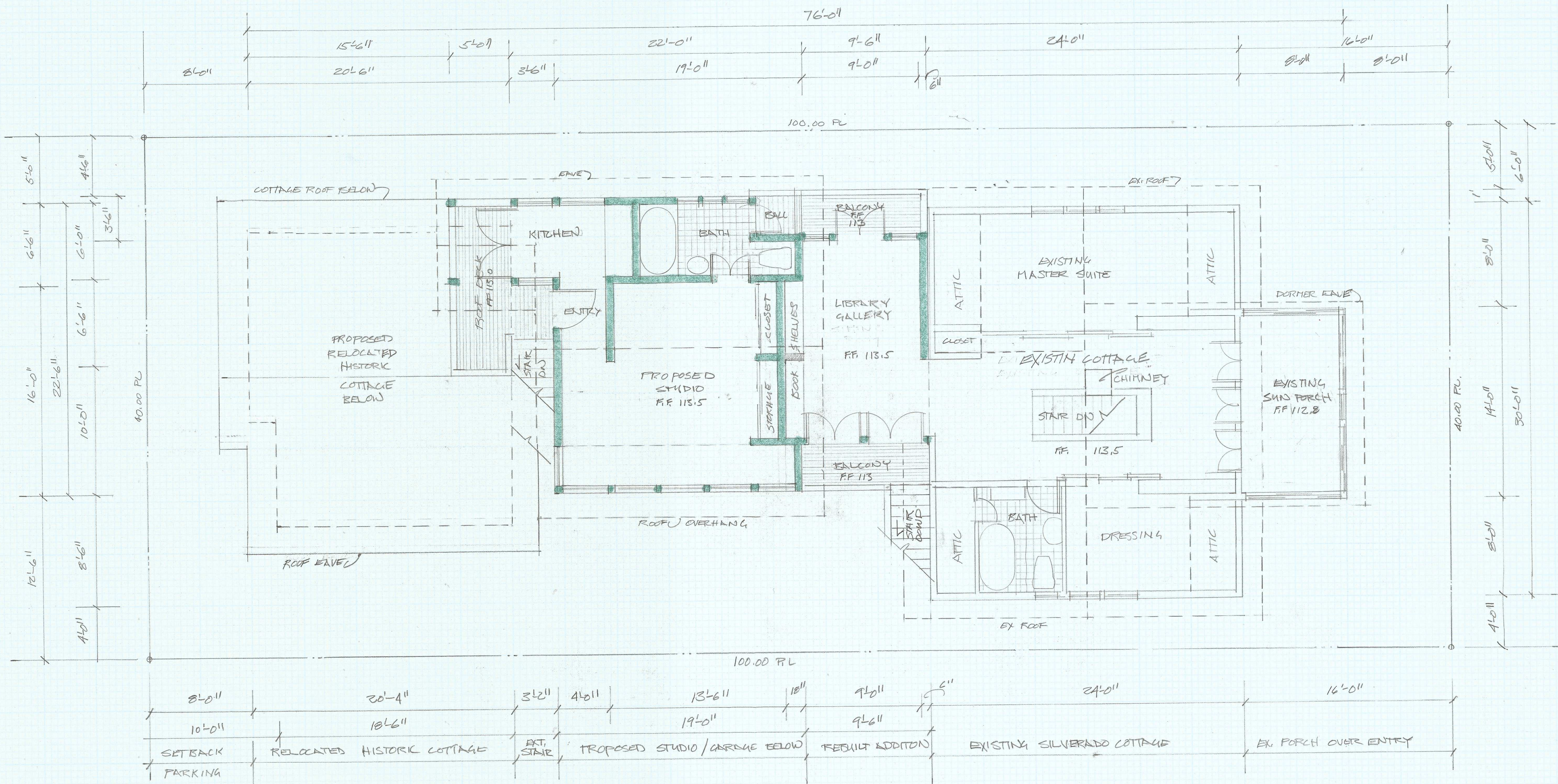
SAFIE RABINES ARCHITECTS
925 FORT STOCKTON DRIVE
SAN DIEGO, CA 92103
619.297.6153

RESIDENTIAL DESIGN

MATTHEW WELSH ASSOCIATES
817 SILVERADO STREET
LA JOLLA, CA 92037

HOUSE MOVER

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HANSEN HOUSE MOVERS
14315-8 OLD HWY. 80
EL CAJON, CA 92021



II SECOND FLOOR 1/4" = 1'-0" N

BISHOPS LANE



REVISIONS

Num.	Description	Date
1	PERMIT SUBMITTAL	10/06/20

Issue Date 10/06/20 Scale AS NOTED

SRA Project Number 1628

PROPOSED
SECOND
FLOOR PLAN

C-5

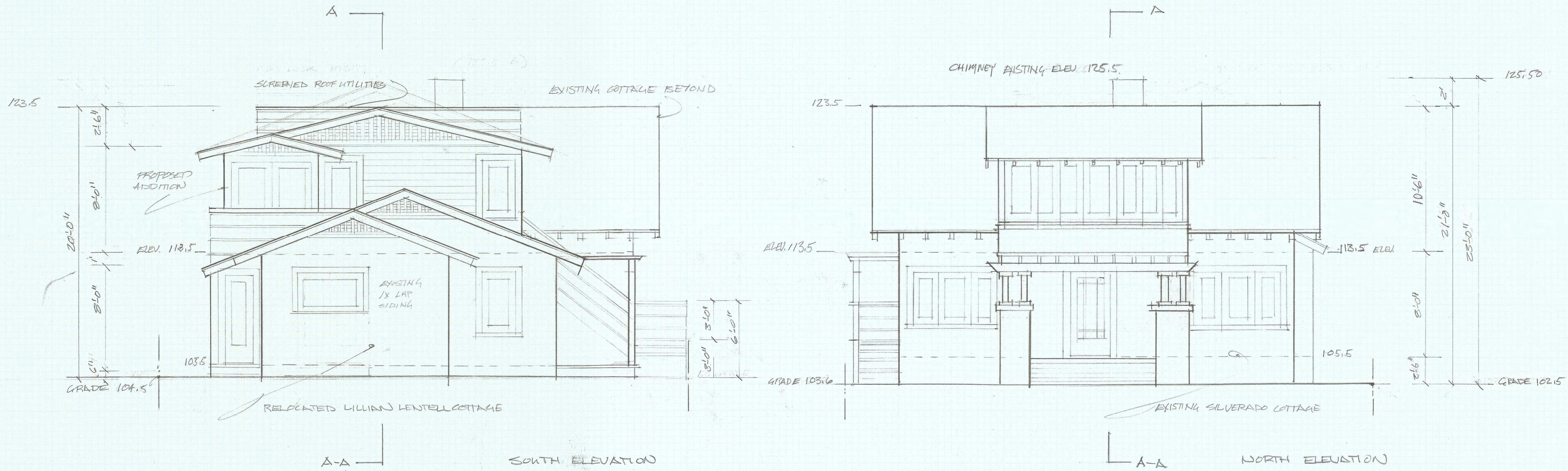
LILLIAN LENTELL
COTTAGE

7762 Bishops Lane &
817 Silverado Street
La Jolla, CA 92037
APN: 350-321-05-00

ARCHITECT
SAFIE RABINES ARCHITECTS
925 FORT STOCKTON DRIVE
SAN DIEGO, CA 92103
619.297.6133

RESIDENTIAL DESIGN
MATTHEW WELSH ASSOCIATES
817 SILVERADO STREET
LA JOLLA, CA 92037

HOUSE MOVER
JOHN T. HANSEN ENTERPRISES
HANSEN HOUSE MOVERS
143158 OLD HWY. 80
EL CAJON, CA 92021



REVISIONS		
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Issue Date
10/06/20
Scale
AS NOTED
SRA Project Number
1628

NORTH &
SOUTH
ELEVATIONS

C-6

NORTH & SOUTH ELEVATIONS 1/4"

10/6/20 3 2018

W

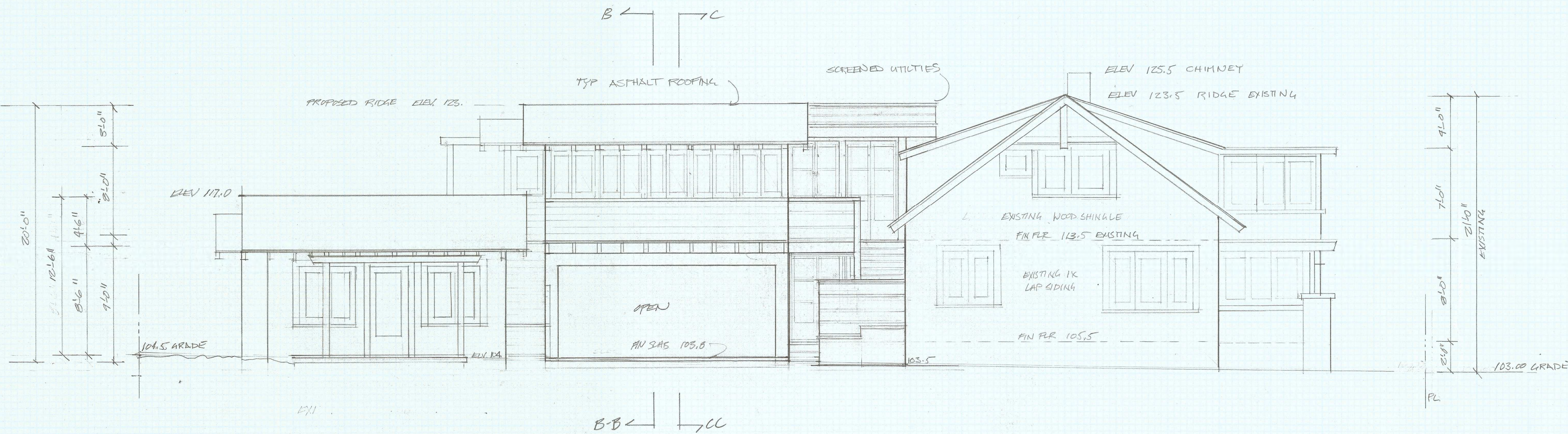
LILLIAN LENTELL
COTTAGE

7762 Bishops Lane &
817 Silverado Street
La Jolla, CA 92037
APN: 350-321-05-00

ARCHITECT
SAFIE RABINES ARCHITECTS
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RESIDENTIAL DESIGN
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817 SILVERADO STREET
LA JOLLA, CA 92037

HOUSE MOVER
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HANSEN HOUSE MOVERS
14315-B OLD HWY. 80
EL CAJON, CA 92021



REVISIONS		
Num.	Description	Date
1	PERMIT SUBMITTAL	10/06/20

Issue Date 10/06/20 Scale AS NOTED

SRA Project Number 1628

EAST
ELEVATION

C-7

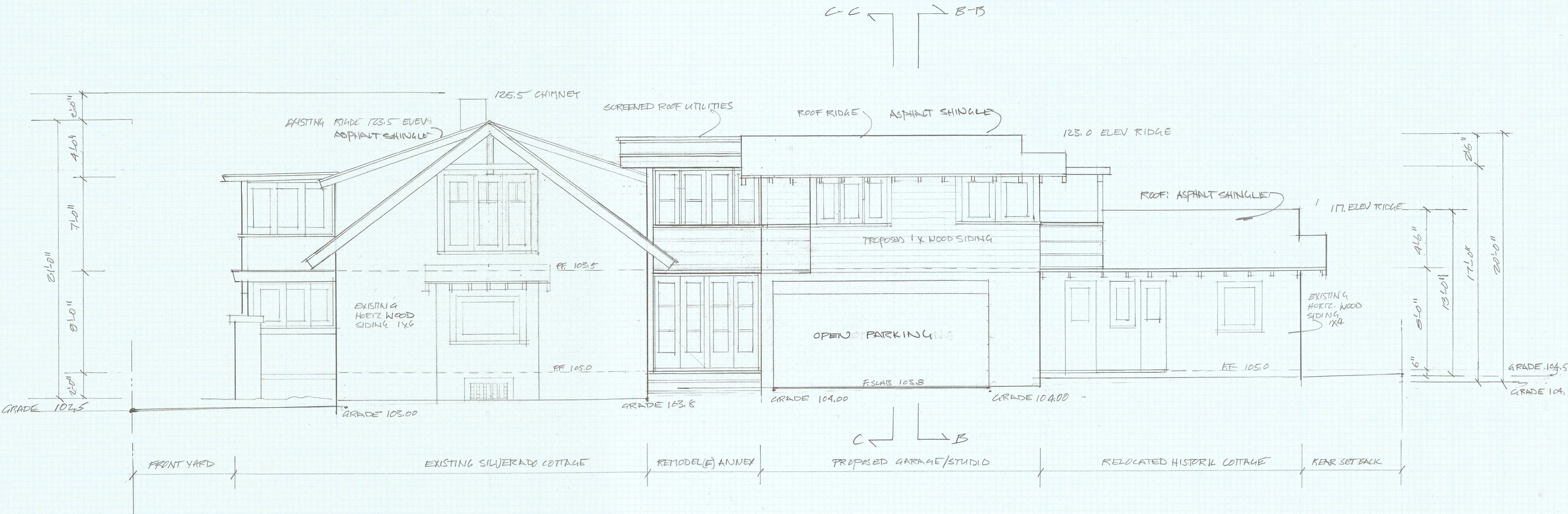
LILLIAN LENTELL
COTTAGE

7762 Bishops Lane &
817 Silverado Street
La Jolla, CA 92037
APN: 350-321-05-00

ARCHITECT
SAFIE RABINES ARCHITECTS
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SAN DIEGO, CA 92103
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RESIDENTIAL DESIGN
MATTHEW WELSH ASSOCIATES
817 SILVERADO STREET
LA JOLLA, CA 92037

HOUSE MOVER
JOHN T. HANSEN ENTERPRISES
HANSEN HOUSE MOVERS
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EL CAJON, CA 92021



REVISIONS		
Num.	Description	Date
1	PERMIT SUBMITTAL	10/06/20

Issue Date 10/06/20 Scale AS NOTED

SRA Project Number 1628

WEST
ELEVATION

C-8

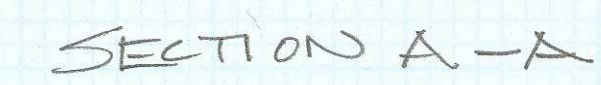
7762 Bishops Lane &
817 Silverado Street
La Jolla, CA 92037

APN: 350-321-05-00

ARCHITECT
SAFDIE RABINES ARCHITECTS
925 FORT STOCKTON DRIVE
SAN DIEGO, CA 92103
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RESIDENTIAL DESIGN
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HOUSE MOVER
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14315-B OLD HWY. 80
EL CAJON, CA 92021



1/4" SECTION A-A NORTH SOUTH

[illegible]

Issue Date	Scale
10/06/20	AS NOTED

SRA Project Number
1628

SECTION A-A

C-9

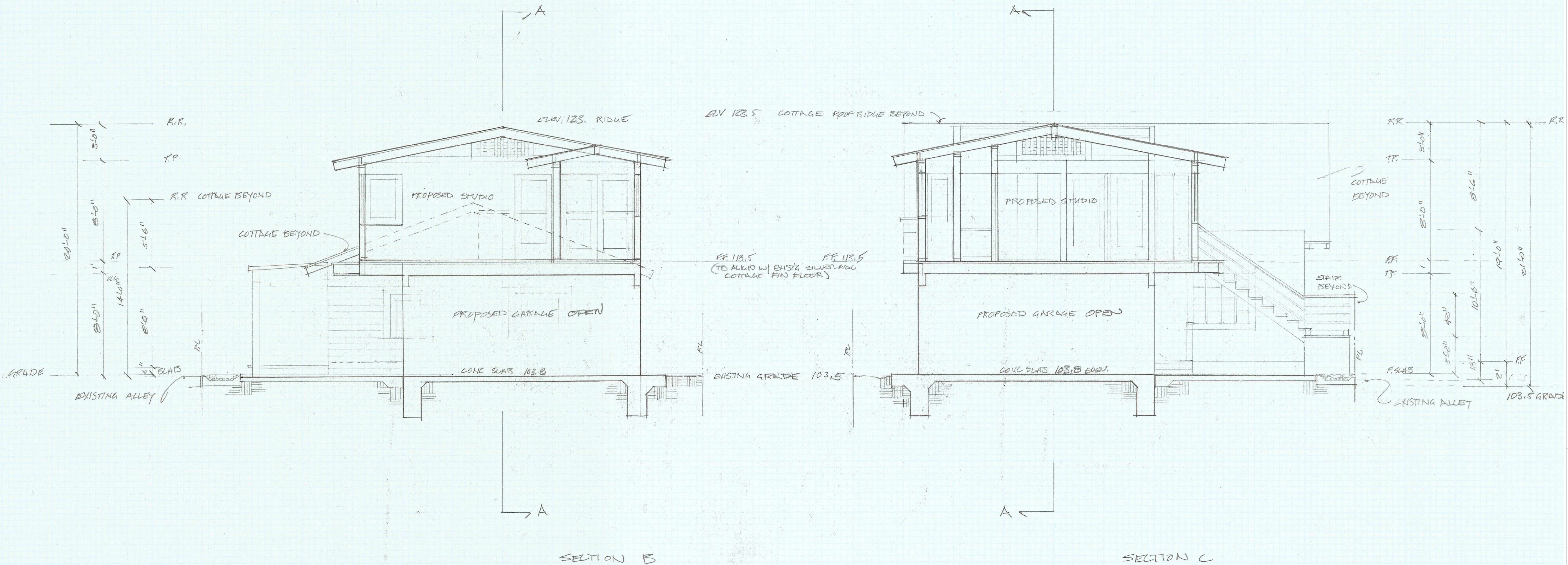
LILLIAN LENTELL
COTTAGE

7762 Bishops Lane &
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La Jolla, CA 92037
APN: 350-321-05-00

ARCHITECT
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HOUSE MOVER
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REVISIONS		
Num.	Description	Date
1	PERMIT SUBMITTAL	10/06/20

Issue Date
10/06/20

Scale
AS NOTED

SRA Project Number
1628

SECTION B-B,
C-C

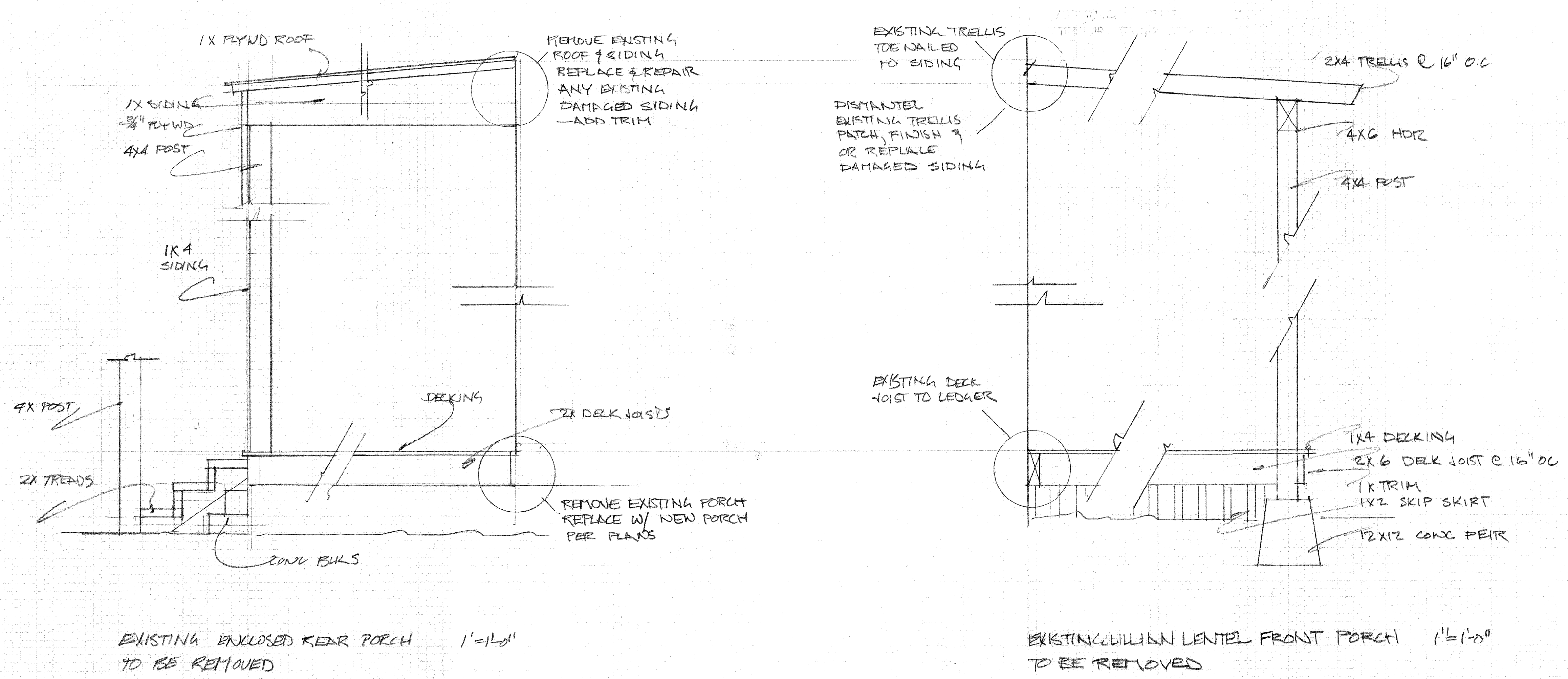
LILLIAN LENTELL
COTTAGE

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REVISIONS		
Num.	Description	Date
1	PERMIT SUBMITTAL	10/06/20

Issue Date: 10/06/20 Scale: AS NOTED
SRA Project Number: 1628

ARCHITECTURAL
DETAILS

APN: 350-321-05-00

RESIDENTIAL DESIGN
MATTHEW WELSH ASSOCIATES
817 SILVERADO STREET
LA JOLLA, CA 92037

January 1, 2017
Revised: Nov. 1, 2018
Revised: March 20, 2019

LILLIAN LENTEL COTTAGE
7762 Bishops Lane, La Jolla
HRB SITE #1062

TREATMENT PLAN FOR THE RELOCATION OF HISTORIC COTTAGE TO
ADJACENT LOT AT 7784 BISHOPS LANE

DEVELOPER DESIGNER: Matthew Welsh
PROJECT ARCHITECT: Safdie Rabines Architects
PRESERVATION ARCHITECT: John Eisenhart

John Eisenhart
Union Architecture

Diane Kane

CRAFTSMAN FOUNDATION REPAIR

John T. Hansen Enterprises

The Lillian Lentall Cottage HRB Site #1062, at 7760 Bishops Lane, is a one story craftsman style single-family residence. Built in 1913 by an unknown architect and/ or builder, the building has been mainly tenant occupied over the course of its existence. Designated with a period of significance of 1913-1915 under HRB Criterion A. Complicated by the fact that the special elements of the City's architectural and neighborhood historical, archaeological, cultural, social, economic, political, aesthetic, engineering, landscaping or architectural development), as a resource that exemplifies La Jolla's early Beach Cottage development. The designation includes the adjacent parcel 350-321-04-00 addressed at 7761 Eads Ave.

This Treatment Plan is being prepared for the documentation to move this historic structure from its current location at 7762 Bishops Lane a total of 33 feet north, or 8 feet into the adjacent property to the north while retaining its existing orientation with the front of the cottage facing Bishops Lane to the east. It will be restored in its new location and connected to a proposed garage and studio separated from the Lentell cottage by an open stairway. The garage is a proposed addition to the existing 1908 Silverado Cottage facing Silverado Street at 817 Silverado St at the corner of Bishops Lane. This will create a complex of three units, with the Lillian Lentell Cottage facing Bishops Lane in the back at the south end of the complex, a stairway and a two car garage with a studio above also facing Bishops Lane in the center of the complex visually separating the two early 1900 cottages, with the other 1900 cottage, Silverado Cottage facing Silverado St on the corner of Silverado St and Bishops Lane as the front unit connected to the garage and studio behind, and then to the Lillian Lentell Cottage .

The implementation of the Treatment Plan for the relocation/transportation and restoration of the Lillian Lintell Cottage will be facilitated by a Qualified Historic House Mover, under the supervision of a Qualified Historic Monitor (and a Qualified Historic Architect) in a manner consistent with the mitigating, monitoring, and reporting program (MMRP) for this project. The treatment is to be accompanied by a copy of the HABS drawings of the property that outline the proposed stabilization and preparation of the structure for relocation. The drawings will also detail the restoration of the structure at the adjacent location and it's connection to the proposed garage and existing Silverado Cottage.

This Treatment Plan and it's related drawings will be included in all subsequent plans for the discretionary permit processing and construction documents.

Monitoring of the preparation, moving, and restoration of the Lillian Lentell Cottage shall be over seen by the Qualified Historic Monitor. Prior to any demolition the Contractor and Monitor will meet on site to review the scope of removal and relocation work. During the demolition or removal preparation, the Contractor is to inform the Monitor of the discovery of any architectural elements, (brackets, posts casings, etc.) to evaluate the relevance of these objects. Consistent with Standards # 6, 7, and 9.

The 12" high 5 x 12 open corrugated front porch is to be removed and where possible saved for reconstruction. The 5 x 10 covered utility porch at the rear of the structure, distinguished by the screened in upper portion of the walls, is to be removed. Both porch structures will be set aside on top of tarps, covered with tarps, on the existing property far enough away from the cottage as to not encumber the lifting and relocating of the cottage. All detached structural members shall be numerically designated with location reference. When the cottage is set on and connected to its new foundation on the adjacent lot the porches will be manually transported the 10 or 20 feet to the new location and reattached as they were originally placed on the cottage. Wherever the porch framing members have been damaged or deteriorated the members shall be replace with new wood in kind. The existing composite roofing is to be removed and replace with new composite shingle roofing. The brick chimney will be dismantled and set aside, then rebuilt within the new relocated cottage with the original bricks and pattern. The exterior siding, wood doors and windows are to remain in place. Steel stretcher beams will be threaded through the existing crawl space penetrating the ground to open vertical 1 x skirting under the existing floor girders. All windows and doors are to be boarded up with 3/4" plywood sheathing (secured at each opening with minimal screws into the existing exterior casing) to protect them during transit. Per structural engineering's requirements, the wall shall be braced and secured for any movement, twisting, or tweaking, stabilized and square. Exterior plumbing pipes shall be removed. All site utilities shall be disconnected. The building will then be lifted off the foundation, ground and piers, in whole and set on wheels to be winched 30 feet north to its new location. The existing height of the Lillian Lentell Cottage is 14'-6" from grade. The existing grade at the south elevation is 8" from the bottom of the floor joists on the exterior. The existing grade at the north elevation is 10" from the bottom of the floor joist at the exterior. These dimensions vary from east to west slightly while the lot has the same continuous slope south to north across the existing 25 lot as it will across the next and continuous 30' of the adjacent lot at the relocation site proposed. The height of the relocated cottage will be set to match at the 14'-6" height of the existing cottage at its current location.

Consistent with Standards # 6, 7, 9, and 10.

The house mover is to outline the manner and process of the move, and the means the structure is to be secured for the move. Monitor and City staff are to approve the plan prior to moving date.
Consistent with Standards # 1, 2 and 3.

Once the structure is relocated to the proposed site, it is to be elevated a few feet and supported by temporary stretcher beams directly above the proposed site foundation. A new concrete foundation is to be constructed to match the cottage exterior wall framing and new piers are to be installed to replace the existing raised floor framing. The structure is then to be lowered into place on the new foundation and secured. Consistent with Standards # 1, 2, and 3.

The existing 2 x 6 floor framing of the Lillian Lentell Cottage rests on 4 x 4 girders to 4 x 4 posts to a 2 x 6 plate on 12 x 12 piers every 6 feet, constructed in 1913. All original floor joists and girders are to remain intact. New concrete stem walls will be poured to accommodate the relocated structure. The original posts, piers and perimeter plate at the existing site will be removed after the structure has been moved to its new location.

Floor Framing: 1 x oak flooring over 1 x 4 Douglas fir sheathing, over full size 2 x 6 floor joist at 16" o.c., over full size 4 x 4 girders (@ 6" o.c. supported at 48" o.c. on full size 4 x 4 posts, set on 12 x 12 concrete piers 16" from bottom of joist to top of pier, 4" + above dirt grade, 20" + grade to floor joists.

Ceiling Framing: Full size 2 x 6 ceiling joists at 24" o.c.

Roof Framing: 4:12 pitch gable roof. Full size 2 x 4 rafters @ 24" o.c., with 1 x 6 skip lap sheathing and 1 x 8 ridge board.

Exterior Walls: 1 x 4 redwood horizontal ship lap siding on full 1 x 12 vertical redwood planks, with 4 x 4 corner and header posts tied at ceiling with a 2 x 4 plate to 2 x 6 ceiling joists.

All existing siding, doors, windows, and trim are to be restored in place. The 1990's dark grey exterior color is to be sanded, patched and primed. Cottage to be repainted cottage white per original neighborhood cottage color and per "Silverado Cottage", also historically called "White Cottage".

All damaged siding, doors, windows, and trim shall be replaced with matching redwood siding. All damage to the exterior of the cottage shall be repaired or replaced to match existing.

Vertical 1x4s 1/2 inch apart enclose the crawl space below the floor and will be reconstructed at the relocated cottage.

Consistent with Standards #5, 6, 9, and 10.

Where necessary existing wood doors and wood windows will be removed from their frames, (which are to remain in place) restored and reinstalled in their original frames. Consistent with Standards #5 and 6.

The existing electrical and lighting will be removed and replaced to conform to current code. Exterior meter shall be installed at existing electrical panel on "Silverado Cottage" south elevation facing Lillian Lentell Cottage, where power enters property. Consistent with Standards #9 and 10.

All exterior plumbing and vent pipe are to be removed. New interior plumbing and vents to be installed as required to conform to existing plumbing code.
Consistent with Standards #9 and 10.

Historic photos and /or paint scrapings will be used as samples in order to replicate the original colors and appearance of the cottage. Monitor and staff to above the final paint scheme.

Consistent with Standards #6.

All interior finishes will be removed and after structural requirements are completed, wiring, plumbing, fixtures, ductwork and insulation replaced.
Consistent with Standards #9 and 10.

The cleaning of all historic materials shall occur through the use of the gentlest means possible. Historic fabric shall be retained as much as possible. No sandblasting or power washing of materials shall occur. The character defining mass and form of the structure is a one story primary element with gable roof; attached porch at the front and attached secondary porch on the rear. The character defining material elements are beveled siding, window casing and trim. If the historic house must be reconstructed as a result of damage during moving, it shall be undertaken in accordance and conformance with the Secretary of the Interior's Standards for Treatment of Historic Properties under the direction of the Qualified Historic Monitor.

The proposed interior renovation shall be to support the lateral forces of the cottage structure by shearing the north south central bearing wall. The existing bath will be renovated, new tile new fixtures, as will the existing kitchen. The interior walls shall be painted and the wood floors refinished. As a simple "craftsman cottage" little will be altered in order to retain and restore the *natural materials and layout*. Other considerations may be necessary per structure analysis.

[illegible]

TREATMENT PLAN

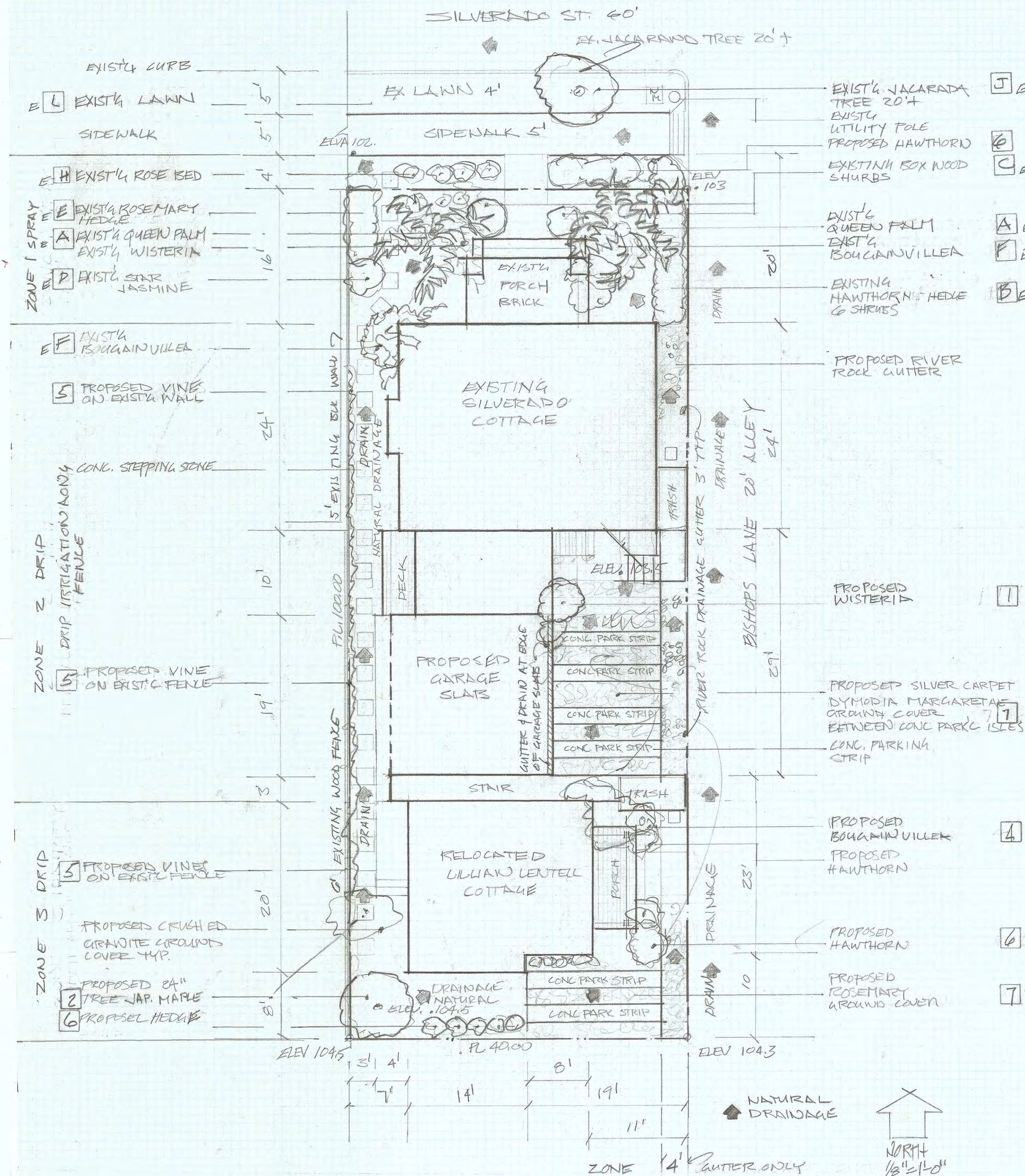
C-12

LANDSCAPE CALCULATION					
Multi-Family Residential Req. 1000 ft.					
Lot size 4000					
X 30% = 1200 sq. ft.					
Proposed Landscape = 1660 sq. ft.					
Existing Building	920				
Existing Porches	152				
Existing Hardscape	2296				
Existing Landscape	632				
total	4000				
HARDSCAPE					
Proposed & Existing Building Coverage					
Existing Silverado Cottage	720				
Proposed Annex Remodel	160				
Garage Slab	361				
Bishops Lane Cottage	424				
total	1665				
Proposed and Existing Porches					
Existing Silverado Entry Porch	112				
Side Annex Porch	30				
Rear entry Porch	18				
Bishops Lane Entry Porch	40				
Bishops Lane Back Porch	40				
total	240				
Proposed Exterior Steps/ Stairs					
Studio Entry Stair	77				
Silverado Upper Entry Steps	18				
total	95				
TOTAL COVERED AREA (HARDSCAPE)	2000				
LANDSCAPE AREA					
Existing Plant Material	size	qty	points	Total	WUCOLS ZONE 3
HYDROZONE 1 (Existing)					
A Queen Palm	>20'	2	30.0	60.0	M
B Hawthorne shrubs	>24"	6	15.0	90.0	L
C Box wood shrub	>24"	2	15.0	30.0	M
D Star Jasmine	>24"	1	15.0	15.0	M
E Rosemary Shrub	>24"	3	15.0	45.0	VL
F Bougainvillea	>24"	2	100.0	200.0	L
G Wisteria	>24"	1	100.0	100.0	M
H Roses	>24"	6	4.0	24.0	M
J Jacaranda	>20"	1	30.0	30.0	M
L Lawn	120 sq. ft.			594.0	
Proposed Additional Plant Material					
1 Wisteria	>24"	1	100.0	100.0	M
2 Calif. Pepper tree	24" box	1	20.0	20.0	VL
3 Wisteria	15 gl	2	20.0	40.0	M
4 Bougainvillea	15 gl	2	20.0	40.0	L
5 Grape Ivy	2 gl	8	2.0	16.0	M
6 Hawthorne Shrub	5 gl	12	2.0	24.0	L
7 Rosemary Ground Cover	320 sq. ft.			240.0	
TOTAL					
9 Crushed Granite ground cover/typ	600 sq. ft.			834.0	
TOTAL	920				
Impervious Hardscape					
Concrete Parking Strips	156				
Pavers	24				
Existing Entry Walk	40				
Bishops Lane River Rock Gutter	336				
total	556				
PerVIOUS Surface					
Landscape Planting and Ground cover	1444				
TOTAL Landscaping	2000				
TOTAL	4000				

BUILDING, PORCHES, DECKS & LANDSCAPE SQUARE FOOTAGE.

	Bldg	Porch	Land	Paved	Park	Plant
		Decks	Scape	Walks	Strip	Isle
Front Yard			488	40		
Front Walk						
Front Porch		112				
Silverado Cottage	720		204			
Front Side Yard				96		
Riverrock Alley Gutter						
Remodeled Annex	160					
Annex Rear Porch		30				
Silverado Alley Entry and Rear Stair		36	36			
Middle Side Yard			110			
Garage	361		276		96	180
Middle Parking				128		
Riverrock Alley Gutter		77	6			
Studio Stair (open)						
Relocated Cottage	424		156			
Back Side Yard						
Relocated Cottage Front Porch		40	86			
Relocated Cottage Front Yard						
Relocated Cottage Back Porch		40			60	90
Side, Rear Yard and Parking			262			
Riverrock Alley Gutter at Rear Cottage				112		
Total	1665	335	1624	376	156	270
		2000		2000	538	426
Total			4000			

LANDSCAPE	2000
PERMEABLE SURFACE	1600
IMPERMEABLE SURFACE	400 PARK, WALK AND 24 STEPS



NOTE:

ALL LANDSCAPING AND IRRIGATION SHALL CONFORM TO THE STANDARDS OF "CITY-WIDE LANDSCAPE REGULATIONS" AND THE "CITY OF SAN DIEGO LAND DEVELOPMENT MANUAL LANDSCAPE REGULATIONS" AND THE "CITY OF SAN DIEGO LAND DEVELOPMENT MANUAL LANDSCAPE STANDARDS" AND ALL OTHER LANDSCAPE RELATED CITY AND REGIONAL STANDARDS.

MINIMUM TREE SEPARATION DISTANCE:

TRAFFIC SIGNALS/ STOP SIGNS - 20 FEET
UNDERGROUND UTILITIES LINES - 5 FEET
ABOVE GROUND UTILITY STRUCTURES - 10 FEET
DRIVEWAY ENTRIES - 10 FEET
INTERSECTIONS (INTERSECTING CURB LINES OF TWO STREETS) - 25 FEET

IRRIGATION: AN AUTOMATIC, ELECTRICALLY CONTROLLED IRRIGATION SYSTEM SHALL BE PROVIDED AS REQUIRED BY LDC # 142.0403(c) FOR PROPER IRRIGATION, DEVELOPMENT, AND MAINTENANCE OF THE VEGETATION IN A HEALTHY, DISEASE-RESISTANT CONDITION. THE DESIGN OF THE SYSTEM SHALL PROVIDE ADEQUATE SUPPORT FOR THE VEGETATION SELECTED.

IRRIGATION SHALL BE A DRIP SYSTEM WITHIN THE DRIVEWAY AND ALLEY FRONTAGE, AND ALONG THE SIDES OF THE COTTAGES.
IRRIGATION SHALL BE AN ELECTRICALLY CONTROLLED SPRINKLER SYSTEM ON THE FRONT LAWN.

MAINTENANCE: ALL REQUIRED LANDSCAPE AREAS SHALL BE MAINTAINED BY THE OWNER.
THE LANDSCAPE AND IRRIGATION AREAS IN THE PUBLIC RIGHT-OF-WAY SHALL BE MAINTAINED BY OWNER.
THE LANDSCAPE AREAS SHALL BE FREE OF DEBRIS AND LITTER, AND ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION. DISEASED OR DEAD PLANT MATERIAL SHALL BE SATISFACTORILY TREATED OR REPLACED PER CONDITIONS OF THE PERMIT.

A MINIMUM ROOT ZONE OF 40 SF IN AREA SHALL BE PROVIDED FOR ALL TREES. THE MINIMUM DIMENSIONS FOR THIS AREA SHALL BE 5 FEET, PER SDMC #142.0403(b)(5).
TREES SHALL BE MAINTAINED SO ALL BRANCHES OVER PEDESTRIAN WALKWAYS ARE 6 FEET GRADE AND BRANCHES OVER VEHICULAR TRAVEL WAYS ARE 16 FEET ABOVE THE GRADE OF THE TRAVEL WAY PER THE SAN DIEGO MUNICIPAL CODE #142.0403(b) (10)

SECTION B. WATER BUDGET CALCULATIONS

Section B1. Maximum Applied Water Allowance (MAWA)

The project's Maximum Applied Water Allowance shall be calculated using this equation:

$$MAWA = (ETO) (0.62) [(0.7 \times LA) + (0.3 \times SLA)]$$

where:

MAWA = Maximum Applied Water Allowance (gallons per year)
ETO = Reference Evapotranspiration from Appendix A (inches per year)
0.7 = ET Adjustment Factor (ETAF)
LA = Landscaped Area includes Special Landscape Area (square feet)
0.62 = Conversion factor (to gallons per square foot)
SLA = Portion of the landscape area identified as Special Landscape Area (square feet)
0.3 = the additional ET Adjustment Factor for Special Landscape Area (1.0 - 0.7 = 0.3)

Maximum Applied Water Allowance = 27,280 gallons per year

MAXIMUM APPLIED WATER ALLOWANCE

Eto	La Jolla 40	(Eto) (0.62) [(0.55 x LA) + (0.3 x SLA)]
LA	2000	(40) (0.62) [(0.55 x 2000)]
SLA	0	24.8 x 1100
MAWA	27280	27280

EFFECTIVE PRECIPITATION

$$(Eto - Eppt) (0.62) [(0.55 \times LA) + (0.3 \times SLA)]$$

$$(40 - 11.625) (0.62) [(0.55 \times 2000) + (0.3 \times SLA)]$$

$$(28.375 \times 0.62) (1100)$$

$$(17.5925) (1100)$$

$$19351.75$$

MAWA

19351.75 = gallons per year
25.87132353 cubic feet per year

LANDSCAPE DOCUMENTATION

date:	21-Apr-19
applicant:	MATTHEW WELSH
project address:	817 SILVERADO STREET LA JOLLA CA. 92037
total landscaped area:	2000 sq. ft.
project type:	PRIVATE HOMEOWNER-INSTALLED THE LANDSCAPED AREA WITHIN FRONT YARD SETBACK TO ACHIEVE OVER 50% LANDSCAPE PURSUANT TO OPTION B, ZONE 5 - LA JOLLA PLANNED DISTRICT, APPENDIX B
water supply type:	CITY WATER
check list of contents:	1. PROJECT INFORMATION 2. WATER EFFICIENT LANDSCAPE WORKSHEET A) HYDROZONE INFORMATION TABLE B) WATER BUDGET CALCULATIONS 1. MAWA 2. ETWU (removed) 3. SOIL MANAGEMENT REPORT 4. LANDSCAPE DESIGN PLAN 5. IRRIGATION DESIGN PLAN 6. GRADING DESIGN PLAN

project contact
applicant and owner: MATTHEW WELSH
817 SILVERADO ST.
LA JOLLA, CA 92037
matwelsh@pacbell.net
858 454 9949

applicant signature date: _____

note: I AGREE TO COMPLY WITH THE REQUIREMENTS OF THE WATER EFFICIENT LANDSCAPE ORDINANCE AND SUBMIT A COMPLETE LANDSCAPE DOCUMENTATION PACKAGE.

LILLIAN LENTELL COTTAGE

7762 Bishops Lane &
817 Silverado Street
La Jolla, CA 92037

APN: 350-321-05-00

ARCHITECT

SAFIE RABINES ARCHITECTS
925 FORT STOCKTON DRIVE
SAN DIEGO, CA 92103
619.297.6153

RESIDENTIAL DESIGN

MATTHEW WELSH ASSOCIATES
817 SILVERADO STREET
LA JOLLA, CA 92037

HOUSE MOVER

JOHN T. HANSEN ENTERPRISES
HANSEN HOUSE MOVERS
14315-B OLD HWY. 80
EL CAJON, CA 92021



REVISIONS

Num.	Description	Date
1	PERMIT SUBMITTAL	10/06/20

Issue Date

10/06/20

Scale

AS NOTED

SRA Project Number

1628

PRELIMINARY LANDSCAPE

C-13



1/8" = 1'-0" PARKING SITE PLAN

PARKING PER TABLE 142-05C						
TABLE 142-05C AND 103.1207	SIZE/SQ. FT.	EXISTING	TRANSIT	IMPACT	BASIC	
HISTORIC LILLIAN LENTEL COTTAGE	424 SQ.FT	0	1.25	1.75	1.5	
HERITAGE SILVERADO COTTAGE	BEDROOM 1610 SQ.F	2	1.75	2.25	2	103.1207(4)
PROPOSED STUDIO	439 SQ.FT	0	1.25	1.75	1.5	
TOTAL	2473	2	3	4	5	
PROPOSED SPACES						
HISTORIC LILLIAN LENTEL COTTAGE					1	10 X 19
HERITAGE SILVERADO COTTAGE					2	TANDEM 9 X 19
PROPOSED STUDIO					1	1/2 TANDEM 9 X 19
REQUIRED + 2 X .5					1	1/2 TANDEM 9 X 19
PROPOSED PARKING SPACES						5



Num.	Description	Date
1	PERMIT SUBMITTAL	10/06/20

Issue Date	Scale
10/06/20	AS NOTED
<hr/>	
SRA Project Number	
1628	

PARKING SCHEMATIC

GENERAL:

1. ALL MATERIALS, WORKMANSHIP, DESIGN AND CONSTRUCTION SHALL CONFORM TO MINIMUM STANDARDS OF THE 2019 EDITION OF THE CALIFORNIA BUILDING CODE (CBC) AND ANY OTHER REGULATORY AGENCIES WHO MAY HAVE AUTHORITY OVER ANY PORTION OF THE WORK.
2. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS AND SITE CONDITIONS PRIOR TO THE START OF CONSTRUCTION AND NOTIFY THE ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES OR INCONSISTENCIES THAT ARE FOUND. NOTED DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS. DO NOT SCALE DRAWINGS.
3. WHERE NO CONSTRUCTION DETAILS ARE SHOWN OR NOTED FOR ANY PART OF THE WORK THE DETAILS USED SHALL BE THE SAME AS FOR THE OTHER SIMILAR WORK.
4. WHEN A DETAIL IS IDENTIFIED AS TYPICAL, THE CONTRACTOR IS TO APPLY THIS DETAIL IN ESTIMATING AND CONSTRUCTION TO EVERY LIKE CONDITION WHETHER OR NOT THE REFERENCE IS REPEATED IN EVERY INSTANCE.
5. CONTRACT DRAWINGS AND SPECIFICATIONS REPRESENT THE FINISHED STRUCTURE. CONTRACTOR SHALL PROVIDE TEMPORARY BRACING AND SHORING FOR THE STRUCTURE AND STRUCTURAL COMPONENTS UNTIL ALL FINAL CONNECTIONS HAVE BEEN COMPLETED.
6. WORK PERFORMED IN CONFLICT WITH THE STRUCTURAL DRAWINGS OR APPLICABLE BUILDING CODE REQUIREMENTS SHALL BE CORRECTED AT THE EXPENSE OF THE CONTRACTOR.

STRUCTURAL DESIGN CRITERIA:

1. LOADS:
DEAD LOADS = DL. LIVE LOAD = LL.
- | | | | |
|------|----------|----------|----------|
| | ROOF | FLOOR | DECK |
| D.L. | 15.0 PSF | 20.0 PSF | 20.0 PSF |
| L.L. | 20.0 PSF | 40.0 PSF | 60.0 PSF |
2. SEISMIC PARAMETERS:
OCCUPANCY CATEGORY: II
EQUIVALENT LATERAL FORCE PROCEDURE:
SEISMIC FORCE RESISTING SYSTEM: WOOD SHEARWALL
RESPONSE MODIFICATION COEFFICIENT: R = 6.5
SEISMIC DESIGN CATEGORY: D
SITE CLASS: D
SEISMIC GROUND MOTION VALUES:
MAPPED ACCELERATION PARAMETERS: S_s = 1.34g, S₁ = 0.47g
SITE COEFFICIENTS: F_a = 1.201, F_v = -
DESIGN SPECTRAL ACCELERATION PARAMETERS: S_{DS} = 1.071, S_{D1} = -
IMPORTANCE FACTOR, I_e = 1.0
SEISMIC RESPONSE COEFFICIENT: C_s = 0.154N
BASE SHEAR: 1600 LBS.
3. WIND: 45 MPH, EXPOSURE: C, ENCLOSED BUILDING

FOUNDATION:

1. NO SOILS REPORT WAS PROVIDED FOR THIS PROJECT THEREFORE THE FOUNDATION WILL BE BASED ON MIN. SOIL VALUES PER CH 18, CBC 2019, TABLE 1806.2.
2. MAXIMUM SOIL PRESSURE: 1500 PSF FOR DEAD LOAD PLUS LIVE LOADS. THE ALLOWABLE BEARING PRESSURE MAY BE INCREASED BY ONE THIRD WHEN CONSIDERING LOADING OF SHORT DURATION SUCH AS WIND OR SEISMIC FORCES.
3. FOOTING SHALL EXTEND A MINIMUM DEPTH OF 1'-6" BELOW FINISHED GRADE AND SHALL BEAR ENTIRELY ON PROPERLY COMPACTED SOILS OR NATIVE SOILS.
4. SPECIAL INSPECTION AND TESTING IS REQUIRED IN ACCORDANCE WITH SECTIONS 1704, 1705, AND 1706 OF THE CALIFORNIA BUILDING CODE AND THE "STATEMENT OF SPECIAL INSPECTIONS" ON THESE CONSTRUCTION DOCUMENTS.
5. ANCHOR BOLTS, DOWELS, AND HOLD-DOWN ANCHORS SHALL BE TIED IN PLACE PRIOR TO FOUNDATION INSPECTION.

CONCRETE:

1. CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH IN 28 DAYS OF 2500 PSI WITH TYPE II PORTLAND CEMENT, LOW ALKALI.
2. ALL REINFORCING BARS, ANCHOR BOLTS, AND OTHER CONCRETE INSERTS SHALL BE WELL SECURED IN POSITION PRIOR TO PLACING CONCRETE.
3. CONDUIT, PIPES OR DUCTS SHALL NOT BE PLACED IN CONCRETE COLUMNS, WALLS, SLABS OR CONCRETE TOPPING FILLS UNLESS SPECIFICALLY INDICATED ON THE STRUCTURAL DRAWINGS OR APPROVED IN WRITING BY THE ENGINEER. SLEEVES FOR OPENINGS IN CONCRETE SHALL BE INSTALLED BEFORE PLACING REINFORCING, AND SHALL NOT BE CUT UNLESS APPROVED IN WRITING BY THE ENGINEER.
4. MINIMUM LAP SPLICES OF REINFORCING BARS SHALL BE AS FOLLOWS (UNLESS OTHERWISE NOTED ON PLANS, SEE 2/51.2).
- A. CLASS B AS DEFINED IN ACI 318.
5. WALLS AND COLUMNS SHALL BE DOWELED FROM THE SUPPORTS WITH BARS OF THE SAME SIZE, GRADE AND SPACING UNLESS OTHERWISE NOTED. SPLICE CONTINUOUS WALL OR COLUMN REINFORCEMENT PER 4/51.2 (CLASS B) UNLESS OTHERWISE NOTED.
6. TYPICAL CONCRETE COVERAGE OF REINFORCING:
- | | | |
|--|-----------------------|-----|
| CONCRETE CAST AGAINST EARTH | #6 AND LARGER | 3" |
| EXPOSED TO EARTH OR WEATHER | #5 AND SMALLER | 2" |
| UNEXPOSED COLUMNS, BEAMS, AND GIRDSERS | | 1½" |
| UNEXPOSED SLABS, WALLS, AND JOISTS | #14 AND LARGER | 1½" |
| | #11 AND SMALLER | 1" |
7. REINFORCEMENT SHALL CONFORM WITH ASTM A615, GRADE 60. WELDED REINFORCEMENT SHALL CONFORM WITH ASTM A706, GRADE 60.
8. WHERE WELDING OF REINFORCING BARS IS APPROVED BY THE STRUCTURAL ENGINEER, IT SHALL BE DONE BY AWS CERTIFIED WELDERS, USING E70XX OR APPROVED ELECTRODES. ALL WELDING SHALL CONFORM TO AWS D1.4 (LATEST EDITION). ONLY GRADE A706 REBAR SHALL BE WELDED.
9. CONCRETE CONSTRUCTION SHALL CONFORM WITH CHAPTER 19 OF THE CALIFORNIA BUILDING CODE AND TO THE PROVISIONS OF ACI 318, LATEST EDITION.
10. SPECIAL INSPECTION AND TESTING IS REQUIRED IN ACCORDANCE WITH SECTIONS 1704, 1707 AND 1708 OF THE CALIFORNIA BUILDING CODE AND THE "STATEMENT OF SPECIAL INSPECTIONS" ON THESE CONSTRUCTION DOCUMENTS.
11. AGGREGATES FOR NORMAL WEIGHT CONCRETE SHALL CONFORM TO ASTM C 33.
12. AGGREGATE FOR LIGHTWEIGHT CONCRETE SHALL BE EXPANDED SHALE TYPE AND CONFORM TO ASTM C 930.
13. CONCRETE MIXES SHALL BE DESIGNED BY A QUALIFIED TESTING LABORATORY AND APPROVED BY THE ENGINEER. IN ACCORDANCE WITH ACI 318, SECTION 26.4 AND CBC SECTION 1903 SHALL BE USED TO PROPORTION CONCRETE.
14. FLY ASH SHALL BE LIMITED TO NO MORE THAN THE FOLLOWING PERCENTAGES OF THE TOTAL WEIGHT OF CEMENTITIOUS MATERIALS IN THE CONCRETE, UNLESS OTHERWISE NOTED. FLY ASH OR OTHER POZZOLAN SHALL CONFORM TO ASTM C 618 FOR CLASS F MATERIAL (CLASS C IS NOT PERMITTED).
- | | |
|-------------------------|-----|
| COLUMNS AND WALLS | 25% |
| FOUNDATIONS | 25% |
| SLABS ON GRADE | 25% |
15. PROJECTING CORNERS OF SLABS, BEAMS, WALLS, COLUMNS, ETC., SHALL BE FORMED WITH A ¾" CHAMFER UNLESS OTHERWISE NOTED.
16. CONSTRUCTION OR CONTROL JOINTS IN SLABS ON GRADE AND LIGHTWEIGHT CONCRETE FLOOR TOPPINGS SHALL BE PROVIDED AS INDICATED. THE LOCATIONS OF JOINTS NOT SPECIFICALLY INDICATED SHALL BE REVIEWED BY THE ENGINEER AND APPROVED BY THE ARCHITECT. WHERE POSSIBLE JOINTS SHALL ALIGN WITH RE-ENTRANT CORNERS OF THE SLAB OR TOPPING.
17. WHERE CONCRETE IS PLACED AGAINST EXISTING CONCRETE SURFACES, THE EXISTING CONCRETE SURFACES SHALL BE THOROUGHLY CLEANED AND ROUGHENED TO A MINIMUM AMPLITUDE OF ¼ INCH, A CONCRETE BONDING AGENT SHALL BE APPLIED TO THE EXISTING CONCRETE SURFACE.
18. ANCHOR RODS EMBEDDED IN CONCRETE SHALL CONFORM TO ASTM F 1554, GRADE 36, UNLESS OTHERWISE NOTED. NUTS FOR ANCHOR RODS SHALL CONFORM TO ASTM A 563, GRADE A HEX (HEAVY HEX WHERE ANCHOR ROD DIAMETER IS GREATER THAN ½").
19. VAPOR BARRIER FOR CONCRETE SLABS ON GRADE SHALL BE IN ACCORDANCE WITH ASTM E1643, ASTM E1745, AND MANUFACTURER'S SPECIFICATIONS. VERIFY WITH PROJECT'S SOILS REPORT.

TIMBER:

1. ALL FRAMING LUMBER SHALL BE DOUGLAS FIR-LARCH WITH GRADE AS FOLLOWS, UNLESS OTHERWISE NOTED:
- LIGHT FRAMING - "STANDARD" AND "STUD"
POSTS & BEAMS - "NO. 1"
BEARING STUDS - "NO. 2"
JOIST, RAFTERS, PLATES - "NO. 1"
2. SPECIAL INSPECTION AND TESTING IS REQUIRED IN ACCORDANCE WITH SECTIONS 1704, 1707, AND 1708 OF THE CALIFORNIA BUILDING CODE AND THE "STATEMENT OF SPECIAL INSPECTIONS" ON THESE CONSTRUCTION DOCUMENTS.
3. SILL PLATES ON CONCRETE SHALL BE DOUGLAS FIR, PRESSURE TREATED WITH SBX/DOT AND ZINC BORATE AND SHALL HAVE ¾" DIAMETER X 12" ANCHOR BOLTS AT 4'-0" MAXIMUM, UNLESS OTHERWISE NOTED. UPSET THREADS ARE NOT PERMITTED IN ANCHOR BOLTS. PRESERVATIVE SHALL BE SB4/DOT AND ZINC BORATE.
4. CUTS AND HOLES IN PRESSURE TREATED LUMBER SHALL BE TREATED PER AWPA M 84.
5. ALL LUMBER WITH A LEAST DIMENSION OF 2" (NOMINAL) SHALL BE STAMPED SURFACE-DRY AND SHALL HAVE A MOISTURE CONTENT WHEN SURFACED AND WHEN INSTALLED OF NOT MORE THAN 19%. LUMBER WITH A LEAST DIMENSION OF 4" (NOMINAL) OR GREATER SHALL BE STAMPED SURFACE-GREEN AND AIR DRIED TO A MOISTURE CONTENT OF NOT MORE THAN 19% PRIOR TO ITS USE IN THE STRUCTURE.
6. ALL STUD WALLS SHOWN ON STRUCTURAL DRAWINGS SHALL HAVE THEIR LOWER PLATES ATTACHED TO WOOD FRAMING BELOW WITH 16d NAILS AT 12" O.C. STAGGERED, OR BOLTED TO CONCRETE WITH ¾" DIAMETER X 12" HEADED BOLTS WITH 3"x3"x¼" STEEL PLATE WASHERS AND 7" MINIMUM EMBEDMENT @ 4'-0" MAXIMUM SPACING, UNLESS OTHERWISE NOTED.
7. TOP PLATES OF ALL STUD WALLS SHALL BE DOUBLED, SAME SIZE AS STUDS, LAP PLATES 4'-0" MINIMUM WITH AT LEAST 12-16d NAILS AT 4" O.C. MAXIMUM, EACH SIDE OF SPLICE.
8. ALL WOOD FRAMING DETAILS NOT SHOWN OTHERWISE SHALL BE CONSTRUCTED TO THE MINIMUM STANDARDS OF THE CALIFORNIA BUILDING CODE (CBC). MINIMUM NAILING SHALL CONFORM TO CBC TABLE 2304.10.1.
9. SOLID BLOCK STUDS AT 10'-0" VERTICAL INTERVALS AND ALSO COMPLY WITH CBC SECTION 2308.5.1 FOR BRIDGING.
10. PLACE 2x SOLID BLOCKING BETWEEN ALL JOISTS AND RAFTERS AT SUPPORTS AND UNDER ALL PARTITIONS.
11. ROOF JOISTS OR RAFTERS OF MORE THAN 8" DEPTH AND FLOOR JOISTS OF MORE THAN 4" DEPTH SHALL BE PROVIDED WITH BRIDGING TO DISTRIBUTE SUPERIMPOSED LOADS. FLOOR JOISTS SHALL BE BRIDGED EVERY 8'-0", ROOF JOISTS OR RAFTERS EVERY 10'-0" BY SOLID BLOCKING 2" THICK AND THE FULL DEPTH OF THE JOIST OR RAFTER, OR NAILED METAL CROSS BRIDGING OF EQUAL STRENGTH. WHERE CROSS BRIDGING IS USED, THE LOWER ENDS OF SUCH CROSS BRIDGING SHALL BE DRIVEN UP AND NAILED AFTER THE FLOOR, SUBFLOOR, OR ROOF HAS BEEN NAILED.
12. BOLTS SHALL HAVE 1 DIAMETER MINIMUM END DISTANCE AND 4 DIAMETER MINIMUM EDGE DISTANCE.
13. ALL BOLTS HEADS AND NUTS BEARING ON WOOD SHALL BE FITTED WITH STANDARD CUT WASHERS. BOLT HOLES IN WOOD SHALL BE BORED WITH A BIT ½" TO ⅞" LARGER THAN THE NOMINAL BOLT DIAMETER.
14. STEEL FRAMING CONNECTORS SHALL BE MANUFACTURED BY THE "SIMPSON STRONG-TIE COMPANY, INC.", CATALOG # C-C-2019.
15. PLYWOOD FLOOR SHEATHING SHALL BE GLUED TO ALL FRAMING MEMBERS WITH AN A.P.A. APPROVED ADHESIVE.
16. WHERE 20d NAILS ARE USED, NAILS SHALL BE PLACED IN PRE-DRILLED HOLES. PILOT HOLES SHALL HAVE A DIAMETER OF APPROXIMATELY 90% OF NAIL SHANK DIAMETER.
17. NAILS CONNECTED TO PRESSURE TREATED MATERIAL OR FIRE RETARDANT WOOD, SUCH AS PLYWOOD SILL NAILING STUD NAILING, ETC. AND NAILS EXPOSED TO THE EXTERIOR SHALL BE CORROSION RESISTANT AND SHALL HAVE A HOT-DIPPED ZINC GALVANIZED COATING OF NOT LESS THAN 1.0 OUNCES OF ZINC PER SQUARE FOOT OR SHALL BE FABRICATED OF STAINLESS STEEL. THE PRESSURE TREATMENT CHEMICALS SHALL BE COMPATIBLE WITH THE HOT-DIPPED GALVANIZED OR STAINLESS STEEL NAILS. ANCHOR BOLTS AND PLATE WASHERS MAY BE OF PLAIN CARBON STEEL IN SBX/DOT AND ZINC BORATE PRESERVATIVE-TREATED WOOD IN DRY, INTERIOR ENVIRONMENT. FASTENERS OTHER THAN NAILS, TIMBER RIVETS, WOOD SCREWS, AND LAG SCREWS MAY BE MECHANICALLY DEPOSITED ZINC-COATED STEEL.
18. UNLESS OTHERWISE NOTED ON THE PLANS, ROOF & FLOOR SHEATHING SHALL BE LAID UP WITH GRAIN PERPENDICULAR TO SUPPORTS AND NAILED WITH 10d NAILS @ 6" O.C. TO FRAMED PANEL EDGES AND OVER STUD WALLS SHOWN ON PLANS, AND AT 12" O.C. TO INTERMEDIATE SUPPORTS. FLOOR SHEATHING EDGES SHALL HAVE APPROVED TONGUE-AND-GROOVE JOINTS OR SHALL BE SUPPORTED WITH SOLID BLOCKING. TOE NAIL BLOCKING TO SUPPORTS WITH 16d NAILS, UNLESS OTHERWISE NOTED.
19. SHEATHING NAILS SHALL BE DRIVEN SO THEIR HEAD IS FLUSH WITH, BUT SHALL NOT FRACTURE, THE SURFACE OF THE SHEATHING.
20. CUTTING, NOTCHING, OR DRILLING OF JOISTS OR BEAMS SHALL BE PERMITTED ONLY AS DETAILED OR SPECIFICALLY APPROVED BY THE ENGINEER AND/OR PER CBC SECTION 2308.5.1 OR 2308.5.10 OR 2308.7.4.
21. PROVIDE BACKING AS REQUIRED FOR HANDRAILS, DRYWALL, ETC. AS REQUIRED BY OTHER TRADES. SEE ARCHITECTURAL DRAWINGS.
22. AT PRE-BORED HOLES FOR LAG SCREWS, THE CLEARANCE HOLE FOR THE SHANK, SHOULD HAVE THE SAME DIAMETER AS THE SHANK AND THE SAME DEPTH OF PENETRATION AS THE LENGTH OF UNTHREADED SHANK. THE LEAD HOLE FOR THREADED PORTION SHALL HAVE A DIAMETER EQUAL TO 40% TO 70% OF THE SHANK DIAMETER. THE HIGHER PERCENTAGE APPLIES TO LAG SCREWS OF LARGER DIAMETERS.

REINFORCED CONCRETE MASONRY:

1. CONCRETE BLOCK UNITS SHALL BE OPEN-END TYPE UNITS, MEDIUM WEIGHT, AND SHALL CONFORM WITH 2019 CBC SECTION 2103, TYPE I, f'm=2,000 PSI, AND THE FOLLOWING STANDARDS:
- ASTM C 90-16, STANDARD SPECIFICATION FOR LOAD-BEARING CONCRETE MASONRY UNITS
- ASTM C 140-16, STANDARD TEST METHODS FOR SAMPLING AND TESTING CONCRETE MASONRY UNITS
2. ALL CELLS SHALL BE GROUTED SOLID. UNITS SHALL BE LAID A MAXIMUM OF 5'-0" VERTICALLY BEFORE GROUTING. CLEANOUT HOLES SHALL BE PROVIDED AT THE BASE OF ALL GROUTED CELLS FOR LIFTS OVER 5'-0". GROUT SHALL BE MECHANICALLY VIBRATED.
3. GROUT CONSTRUCTION JOINTS SHALL BE FORMED BY STOPPING THE POUR NOT LESS THAN 1½" OR MORE THAN 1½" BELOW THE TOP OF THE UPPERMOST UNIT GROUTED. HORIZONTAL STEEL SHALL BE FULLY GROUTED IN AN UNINTERRUPTED POUR.
4. HORIZONTAL REINFORCEMENT SHALL BE PLACED IN BOND BEAM UNITS WITH A MINIMUM GROUT COVER OF 1" ABOVE STEEL FOR EACH GROUT POUR.
5. MORTAR SHALL BE 1,800 PSI "TYPE S" PER 2019 CBC.
6. GROUT SHALL BE 2,000 PSI MINIMUM PROPORTIONED 1 CEMENT: 2½ TO 3 SAND: 1 TO COARSE AGGREGATE.
7. REINFORCEMENT SHALL COMPLY WITH ASTM A615 GRADE 60, EXCEPT ASTM A706 GRADE 60 AT WELDED REBARS.
8. BOLTS SHALL HAVE 1" MINIMUM GROUT SURROUNDING THE BOLT.
9. MINIMUM LAP SPLICES OF REINFORCING BARS SHALL BE AS FOLLOWS (UNLESS OTHERWISE NOTED ON PLANS, SEE 2/51.2).
- A. 48 BAR DIAMETERS OR 24" MINIMUM FOR #6 & SMALLER.
- B. 60 BAR DIAMETERS FOR #7 & LARGER
10. MASONRY CONSTRUCTION SHALL CONFORM TO CHAPTER 21 OF THE CALIFORNIA BUILDING CODE AND TMS 602-16 / ACI 530.1-13 / ASCE 6-13.
11. CONDUITS OR PIPES SHALL NOT OCCUR IN THE SAME CELL AS REINFORCING BARS.
12. MASONRY UNITS SHALL BE PLACED IN A RUNNING BOND PATTERN, UNLESS OTHERWISE NOTED.
13. ANCHOR RODS EMBEDDED IN MASONRY SHALL CONFORM TO ASTM F 1554, GRADE 36, UNLESS OTHERWISE NOTED. NUTS FOR ANCHOR RODS SHALL CONFORM TO ASTM A 563, GRADE A HEX (HEAVY HEX WHERE ANCHOR ROD DIAMETER IS GREATER THAN ½").

POST-INSTALLED ANCHORS:

1. EXPANSION, MECHANICAL, AND ADHESIVE ANCHORS IN CONCRETE SHALL BE ICC APPROVED AND INSTALLED PER THE MANUFACTURER'S RECOMMENDATIONS, DIAMETER, BOLT SPACING, AND EMBEDMENT SHALL BE AS SHOWN ON THE DRAWINGS.
2. SUBMIT MANUFACTURER'S DATA SHEETS AND ICC REPORTS FOR ENGINEER'S REVIEW PRIOR TO INSTALLATION.

POST-INSTALLED ANCHORS	
CONCRETE ANCHORS	ICC REPORT NUMBER
SIMPSON "SET-XP" ADHESIVE	ESR 2508
SIMPSON "STRONG-BOLT 2" WEDGE ANCHOR	ESR 3037
SIMPSON "TITEN HD" SCREW ANCHOR	ESR 2713
SIMPSON "PDPA" POWDER-DRIVEN FASTENERS	ESR 2138
HILTI "HIT-HY 200" ADHESIVE	ESR 3187
HILTI "KB-TZ" WEDGE ANCHOR	ESR 1917
HILTI LOW-VELOCITY "X-U" POWDER DRIVEN FASTENER	ESR 2269
HILTI "HIT-RE 500 V3" ADHESIVE	ESR 3814
HILTI "HIT-RE 500 V3" ADHESIVE	ESR 3814
HILTI "HUS-EZ" SCREW ANCHOR	ESR 3027

MASONRY ANCHORS	ICC REPORT NUMBER
SIMPSON "TITEN HD" SCREW ANCHOR	ESR 1056
SIMPSON "EPOXY-TIE" ADHESIVE	ESR 1712
SIMPSON "STRONG-BOLT 2" WEDGE ANCHOR	IAFMO ER 240
HILTI "HIT-HY 210" ADHESIVE	ESR 4144
HILTI "KB-TZ" WEDGE ANCHOR	ESR 3785

3. WHEN INSTALLING DRILLED-IN ANCHORS AND/OR POWDER DRIVEN PINS IN EXISTING NON- PRESTRESSED REINFORCED CONCRETE, USE CARE AND CAUTION TO AVOID CUTTING OR DAMAGING THE EXISTING REINFORCING BARS. WHEN INSTALLING THEM INTO EXISTING PRESTRESSED CONCRETE (PRE- OR POST-TENSIONED) LOCATE THE PRESTRESSED TENDONS BY USING A NONDESTRUCTIVE METHOD PRIOR TO INSTALLATION. EXERCISE EXTREME CARE AND CAUTION TO AVOID CUTTING OR DAMAGING THE TENDONS DURING INSTALLATION. MAINTAIN A MINIMUM CLEARANCE OF ONE INCH BETWEEN THE REINFORCEMENT AND THE DRILLED-IN ANCHOR AND/OR SHOT PIN.
4. TEST FREQUENCY:
A. WHEN POST-INSTALLED ANCHORS ARE USED FOR SILL PLATE BOLTING APPLICATIONS, 10 PERCENT OF THE ANCHORS SHALL BE TESTED. FOR OTHER APPLICATIONS, ALL ANCHORS SHALL BE TESTED.
B. AT EQUIPMENT ANCHORAGE, 50 PERCENT OR ALTERNATE BOLTS IN A GROUP, INCLUDING AT LEAST 50 PERCENT OF THE ANCHORS IN EACH GROUP, SHALL BE TESTED. THE TESTING OF THE POST-INSTALLED ANCHORS SHALL BE DONE IN THE PRESENCE OF THE SPECIAL INSPECTOR AND A REPORT OF THE TEST RESULTS SHALL BE SUBMITTED TO THE ENFORCEMENT AGENCY.

DEMOLITION:

1. THE RESPONSIBILITY FOR NECESSARY SHORING OR BRACING OF THE EXISTING STRUCTURE DURING DEMOLITION PROCEDURES SHALL BEAR ON THE CONTRACTOR.
2. DEVIATIONS FROM EXISTING CONDITIONS AS INDICATED ON THE STRUCTURAL DRAWINGS SHALL BE RESOLVED WITH THE ENGINEER PRIOR TO PROCEEDING WITH DEMOLITION WORK.
3. RESPONSIBILITY FOR COORDINATION OF DEMOLITION WORK WITH THE BUILDING OFFICIAL AND OTHER GOVERNING AUTHORITIES SHALL BEAR ON THE CONTRACTOR. EXITS SHALL BE MAINTAINED AS REQUIRED FOR SAFE LEGAL OPERATION OF THE FACILITY.
4. ELEMENTS THAT WILL NOT BE DEMOLISHED SHALL BE PROTECTED FROM DAMAGE.
5. SAWCUT LINES SHALL BE TRUE AND NEAT, CORNERS SHALL NOT BE OVER CUT.
6. THESE STRUCTURAL DRAWINGS DO NOT INDICATE THE PHASING OF DEMOLITION. THE RESPONSIBILITY FOR THE SCHEDULING AND COORDINATION OF THE WORK SHALL BEAR ON THE CONTRACTOR. WORK SHALL BE COORDINATED TO LEAST IMPACT THE OPERATION OF THE EXISTING FACILITY.

NOTICE TO THE APPLICANT / OWNER / OWNER'S AGENT / ARCHITECT OR ENGINEER OF RECORD:

1. BY USING THIS PERMITTED CONSTRUCTION DRAWINGS FOR CONSTRUCTION / INSTALLATION OF THE WORK SPECIFIED HEREIN, YOU AGREE TO COMPLY WITH THE REQUIREMENTS OF THE LOCAL BUILDING JURISDICTIONS FOR SPECIAL INSPECTIONS, STRUCTURAL OBSERVATIONS, CONSTRUCTION MATERIAL TESTING AND OFF-SITE FABRICATION OF BUILDING COMPONENTS, CONTAINED IN THE STATEMENT OF SPECIAL INSPECTIONS AND, AS REQUIRED BY THE CALIFORNIA CONSTRUCTION CODES.

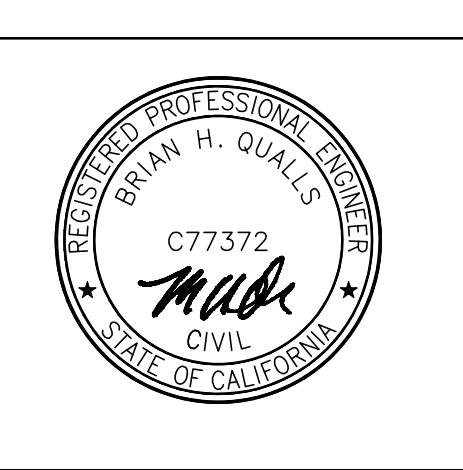
NOTICE TO THE CONTRACTOR / BUILDER / SUB-CONTRACTOR / OWNER-BUILDER:

1. BY USING THIS PERMITTED CONSTRUCTION DRAWINGS FOR CONSTRUCTION / INSTALLATION OF THE WORK SPECIFIED HEREIN, YOU ACKNOWLEDGE AND ARE AWARE OF, THE REQUIREMENTS CONTAINED IN THE STATEMENT OF SPECIAL INSPECTIONS. YOU AGREE TO COMPLY WITH THE REQUIREMENTS OF THE LOCAL BUILDING JURISDICTIONS FOR SPECIAL INSPECTIONS, STRUCTURAL OBSERVATION, CONSTRUCTION MATERIAL TESTING AND OFF-SITE FABRICATION OF BUILDING COMPONENTS, CONTAINED IN THE STATEMENT OF SPECIAL INSPECTIONS AND, AS REQUIRED BY THE CALIFORNIA CONSTRUCTION CODES.

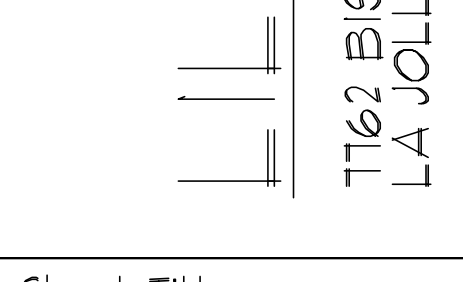
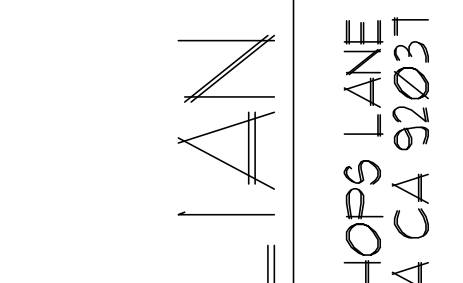
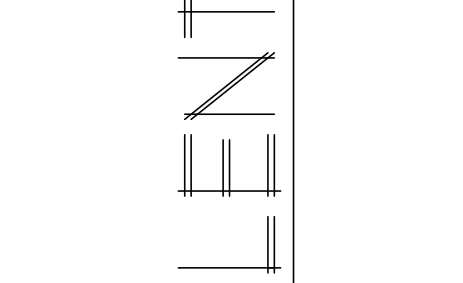
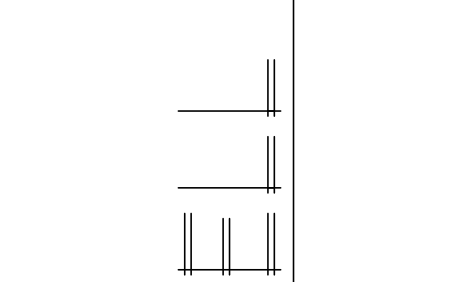
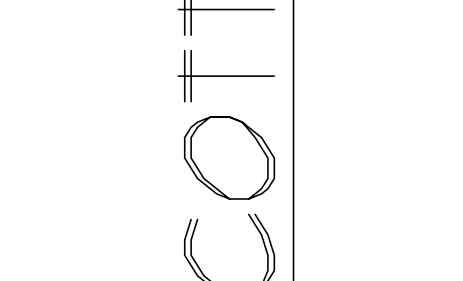
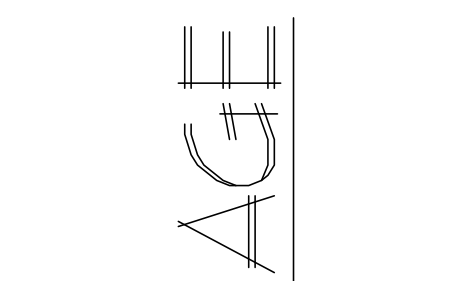
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Sheet:
S1.0

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TYPICAL ABBREVIATIONS:			
A.B.	ANCHOR BOLT(S)	H&B	HIGH STRENGTH BOLT
ABV.	ABOVE	H&S	HOLLOW STRUCTURAL SECTION
ACI	AMERICAN CONCRETE INSTITUTE	HT	HEIGHT
ADD'L	ADDITIONAL		
ADJ	ADJACENT	I.D.	INSIDE DIAMETER
AISC	AMERICAN INSTITUTE OF STEEL CONSTRUCTION	I.F.	INSIDE FACE
		I.J.	ISOLATION JOINT
ALT.	ALTERNATE	IN.	INCHES
ALUM.	ALUMINUM	INFO.	INFORMATION
APPROX.	APPROXIMATE	INT.	INTERIOR
ARCH.	ARCHITECT		
ARCH'L	ARCHITECTURAL	J&T	JOIST
ASTM	AMERICAN SOCIETY FOR TESTING & MATERIALS	K&I	KIPS PER SQUARE INCH
AV&G	AVERAGE		
AWS	AMERICAN WELDING SOCIETY	LBS. #	POUNDS
&	AND	L.F.	LINEAL FEET (FOOT)
@	AT	L.L.	LIVE LOAD
		L&TH	LENGTH
B. BTM	BOTTOM	LLH	LONG LEG HORIZONTAL
BLW	BELOW	LLV	LONG LEG VERTICAL
B.F.	BRACED FRAME	LWT	LIGHT WEIGHT
B.J.	BLOCK JOINT		
BLD'G	BUILDING	M&S.	MASONRY
BLK	BLOCK	MAT'L	MATERIAL
BLK'G	BLOCKING	MAX.	MAXIMUM
BM.	BEAM	M.B.	MACHINE BOLT
B.N.	BOUNDARY NAILING	MECH'L	MECHANICAL
BNDRY	BOUNDARY	MEZZ.	MEZZANINE
B.O.F.	BOTTOM OF FOOTING	M.F.	MOMENT FRAME
B.O.P.	BOTTOM OF PIER	MANUF.	MANUFACTURER
BRD'G	BRIDGING	MIN.	MINIMUM
BR&G	BEARING BETWEEN	MISC.	MISCELLANEOUS
BTWN		MTL	METAL
C	CHANNEL	(N)	NEM
CALCS	CALCULATIONS	N/A	NON APPLICABLE
C. C&MB.	CAMBER(ED)	NO. #	NUMBER
CANT.	CANTILEVER	NOM.	NOMINAL
C&F.	C&FACILITY	N-S	NORTH-SOUTH
CBC	CALIFORNIA BUILDING CODE	N.S.&G	NON-SHRINKING GROUT
C&T.	CATEGORY	N.T.S	NOT TO SCALE
C.F.	CUBIC FOOT	NNT	NORMAL WEIGHT
C.G.	CENTER OF GRAVITY		
C.I.F.	CAST IN PLACE	O.C.	ON CENTER
C.J.	CONTROL JOINT	O.D.	OUTSIDE DIAMETER
C.L.	CENTER LINE	O.F.	OUTSIDE FACE
CL&G	CEILING	O.H.	OPPOSITE HAND
CLR	CLEAR	OPN'G	OPENING
CMU	CONCRETE MASONRY UNIT	OPP.	OPPOSITE
COL.	COLUMN	OPN'J.	OPEN WEB JOISTS
CONC.	CONCRETE	OPT'L	OPTIONAL
CONN.	CONNECTION		
CON&T.	CONSTRUCTION	PAR.	PARALLEL
CONT.	CONTINUOUS	PEN.	PENETRATION
CONTR.	CONTRACTOR	PERP.	PERPENDICULAR
CTR	CENTER(ED)	PL.	PLATE
CTR'D	CENTERED	P.L.	PROPERTY LINE
CT&K	COUNTERSINK	P.L.F.	POUNDS PER LINEAR FOOT
C.Y.	CUBIC YARD	PLY.	PLYWOOD
		PRELIM.	PRELIMINARY
D	DEPTH	P.S.F.	LBS PER SQUARE FOOT
d	PENNEY (NAIL)	P.S.I.	LBS PER SQUARE INCH
DBL	DOUBLE	P.T.	PRESSURE TREATED
DEPR.	DEPRESSED (DEPRESSION)	P/T	POST TENSION
DEPT.	DEPARTMENT		
D.F.	DOUGLAS FIR	QTY	QUANTITY
DIA.	DIAMETER		
DI&G.	DIAGONAL	R. RAD.	RADIUS
DI&PH.	DIAPHR&G	REINF.	REINFORCEMENT
DIM.	DIMENSION	REQ'D	REQUIRED
DK&G	DECKING	RET.	RETAINING
D.L.	DEAD LOAD	REV.	REVISION
DN	DOWN	RND	ROUND
DO	DITTO	R.O.	ROUGH OPENING
DTL	DETAIL	RTN	RETURN
DWG(S)	DRAWING(S)		
DWL(S)	DOWEL(S)	SCHED.	SCHEDULE
		SECT.	SECTION
(E), EX&T.	EXISTING	S.F.	SQUARE FOOT
E&A.	E&A&H	SHT'G	SHEATHING
E.E.	E&A&H END	SIM.	SIMILAR
E.F.	E&A&H FACE	SLRS	SEISMIC LOAD RESISTING SYSTEM
E.J.	EXP&SION JOINT		
EL.	ELEVATION	S.M.S.	SHEET METAL SCREW
ELEC.	ELECTRICAL	S.O.G.	SLAB ON GRADE
ELEV.	ELEVATOR	SPEC.	SPECIFICATION
EMB.	EMBED	SQ.	SQUARE
E.N.	EDGE NAIL	SQ. YD	SQUARE YARD
ENCL.	ENCLOSURE	SS	SELECT STRUCTURAL
ENGR	ENGINEER	SS&T	STAINLESS STEEL
EQ.	EQUAL	STD.	STANDARD
EQUIP.	EQUIPMENT	ST&G'D	STAGGERED
E.S.	E&A&H SIDE	STIFF.	STIFFENER
E.W.	E&A&H WAY	STL	STEEL
EXP.	EXP&SION	STR'L	STRUCTURAL
EXT.	EXTERIOR	SYMM.	SYMMETRICAL
E-W	E&A&H-W&ST		
		T & B	TOP AND BOTTOM
F&B.	F&B&RICATION	TEMP.	TEMPORARY
FDN	FOUNDATION	T & G	TONGUE AND GROOVE
FIN.	FINISH	THK	THICK
FLR	FLOOR	THRD	THREADED
F.N.	FIELD NAIL	T.L	TOTAL LOAD
F.O.C.	FACE OF CONCRETE	T.O.C.	TOP OF CONCRETE
F.O.M.	FACE OF MASONRY	T.O.D.	TOP OF DECK
F.O.P.	FACE OF PLYWOOD	T.O.F.	TOP OF FOOTING
F.O.S.	FACE OF STUD	T.O.P.	TOP OF PAR&PET
FRM'G	FR&MING	T.O.S.	TOP OF SHEATHING
F.S.	F&R SIDE	T.O.W.	TOP OF WALL
FT	FEET (FOOT)	T.O.S.	TOP OF STEEL
FTG	FOOTING	TYP.	TYPICAL
		U.O.N.	UNLESS OTHERWISE NOTED
ga.	GAUGE		
G.B.	GRADE BE&M	V. VERT.	VERTICAL
G.C.	GENERAL CONTRACTOR	V.I.F.	VERIFY IN FIELD
G&LV.	G&LV&NIZED		
GEN.	GENERAL	W.	WIDTH (WIDE)
GLB	GLUED L&MINATED BE&M	W.	W&TH
GRD	GRADE	WF.	W&DE FL&NGE
		W.H.S.	W&LDED HE&DED ST&UD
H. HORIZ.	HORIZONTAL	WS.	W&LDED ST&UD
HD	HOLD&WN	WT	STRUCTURAL TEE
HDR	H&ADER	W&WF.	W&LDED W&RE F&BRIC
H&R	H&ANGER		

TYPICAL NAILING SCHEDULE PER CBC TABLE NO. 2304.10.1

DESCRIPTION OF BUILDING ELEMENTS	NUMBER AND TYPE OF FASTENER	SPACING AND LOCATION
ROOF		
1. BLOCKING BETWEEN CEILING JOISTS, RAFTERS OR TRUSSES TO TOP PLATE OR OTHER FR&MING BELOW	3-8d COMMON 3-10d BOX 3-3"x0.131" N&ILS	E&A&H END, TO&ENAIL
BLOCKING BETWEEN RAFTERS OR TRUSS NOT AT THE WALL TOP PL&TE, TO RAFTER OR TRUSS	2-8d COMMON 2-3"x0.131" N&ILS	E&A&H END, TO&ENAIL
FLAT BLOCKING TO TRUSS AND WEB FILLER	16d COMMON @ 6' O.C. 3-3"x0.131" N&ILS @ 6' O.C.	F&ACE N&IL
2. CEILING JOISTS TO TOP PLATE	3-8d COMMON 3-10d BOX 3-3"x0.131" N&ILS	E&A&H JOIST, TO&ENAIL
3. CEILING JOIST NOT ATTACHED TO PAR&LLEL RAFTER, L&APS OVER PARTITIONS (NO THRUST) (SEE SECTION 230&.13.1), TABLE 230&.13.1)	3-16d COMMON 4-10d BOX 4-3"x0.131" N&ILS	F&ACE N&IL
4. CEILING JOISTS ATTACHED TO PAR&LLEL RAFTER (HEEL JOINT) (SEE SECTION 230&.13.1), TABLE 230&.13.1)	PER TABLE 230&.13.1	F&ACE N&IL
5. COLLAR TIE TO RAFTER	3-10d COMMON 4-10d BOX 4-3"x0.131" N&ILS	F&ACE N&IL
6. RAFTER OR ROOF TRUSS TO TOP PLATE (SEE SECTION 230&.15, TABLE 230&.15)	3-10d COMMON 3-16d BOX, 4-10d BOX 4-3"x0.131" N&ILS	TO&ENAIL*
7. ROOF RAFTERS TO RIDGE VALLEY OR HIP RAFTERS; OR ROOF RAFTER TO 2" RIDGE BE&M	2-16d COMMON 3-10d BOX 3-3"x0.131" N&ILS	END N&IL
	3-10d COMMON 3-16d BOX, 4-10d BOX 4-3"x0.131" N&ILS	TO&ENAIL
W&ALL		
8. STUD TO STUD (NOT AT BRACED WALL PANELS)	16d COMMON 10d BOX 3"x0.131" N&ILS	24" O.C. F&ACE N&IL 16" O.C. F&ACE N&IL
9. STUD TO STUD AND &BUTTING STUDS AT INTERSECTING WALL CORNERS (AT BRACED WALL PANELS)	16d COMMON 16d BOX 3"x0.131" N&ILS	16" O.C. F&ACE N&IL 12" O.C. F&ACE N&IL 12" O.C. F&ACE N&IL
10. BUILT-UP HEADER (2" TO 2" HEADER)	16d COMMON 16d BOX	16" O.C. E&A&H E&D&G, F&ACE N&IL 12" O.C. E&A&H E&D&G, F&ACE N&IL
11. CONTINUOUS HEADER TO STUD	4-8d COMMON 4-10d BOX	TO&ENAIL
12. TOP PLATE TO TOP PLATE	16d COMMON 10d BOX 3"x0.131" N&ILS	16" O.C. F&ACE N&IL 12" O.C. F&ACE N&IL
13. TOP PLATE TO TOP PLATE, AT END JOINTS	8-16d COMMON 12-10d BOX 12-3"x0.131" N&ILS	E&A&H SIDE OF END JOINT, F&ACE N&IL (MIN 24" L&AP SPLICE LENGTH E&A&H SIDE OF END JOINT)
14. BOTTOM PLATE TO JOIST, RIM JOIST, BAND JOIST OR BLOCKING (NOT AT BRACED WALL PANELS)	16d COMMON 16d BOX 3"x0.131" N&ILS	16" O.C. F&ACE N&IL 12" O.C. F&ACE N&IL
15. BOTTOM PLATE TO JOIST, RIM JOIST, BAND JOIST OR BLOCKING AT BRACED WALL PANELS	2-16d COMMON 3-16d BOX 4-3"x0.131" N&ILS	16" O.C. F&ACE N&IL
16. STUD TO TOP OR BOTTOM PLATE	4-8d COMMON 4-10d BOX 4-3"x0.131" N&ILS	TO&ENAIL
	2-16d COMMON 3-10d BOX 3-3"x0.131" N&ILS	END N&IL
17. TOP OR BOTTOM PLATE TO STUD	2-16d COMMON 3-10d BOX 3-3"x0.131" N&ILS	END N&IL
18. TOP PL&TES, L&APS AT CORNERS AND INTERSECTIONS	2-16d COMMON 3-10d BOX 3-3"x0.131" N&ILS	F&ACE N&IL
19. 1" BR&CE TO E&A&H STUD AND PLATE	2-8d COMMON 2-10d BOX 2-3"x0.131" N&ILS	F&ACE N&IL
20. 1"x6" SHE&ATHING TO E&A&H BE&ARING	2-8d COMMON 2-10d BOX	F&ACE N&IL
21. 1"x8" AND WIDER SHE&ATHING TO E&A&H BE&ARING	3-8d COMMON 3-10d BOX	F&ACE N&IL
FLOOR		
22. JOIST TO SILL, TOP PL&TE, OR GIRDER	3-8d COMMON 3-10d BOX 3-3"x0.131" N&ILS	TO&ENAIL
23. RIM JOIST, BAND JOIST, OR BLOCKING TO TOP PL&TE, SILL OR OTHER FR&MING BELOW	8d COMMON 10d BOX 3"x0.131" N&ILS	6" O.C., TO&ENAIL
24. 1"x6" SUBFLOOR OR LESS TO E&A&H JOIST	2-8d COMMON 2-10d BOX	F&ACE N&IL
25. 2" SUBFLOOR TO JOIST OR GIRDER	2-16d COMMON	F&ACE N&IL
26. 2" PL&NKS (PL&NK & BE&M - FLOOR & ROOF)	2-16d COMMON	E&A&H BE&ARING, F&ACE N&IL
27. BUILT UP GIR&DERS AND BE&AMS, 2" LUMBER L&AYERS	20d COMMON 10d BOX 3"x0.131" N&ILS	32" O.C. F&ACE N&IL AT TOP AND BOTTOM ST&AGGERED ON OPPOSITE SIDES 24" O.C. F&ACE N&IL AT TOP AND BOTTOM ST&AGGERED ON OPPOSITE SIDES
28. LEDGER STRIP SUPPORTING JOISTS OR RAFTERS	3-16d COMMON 4-10d BOX 4-3"x0.131" N&ILS	ENDS AND AT E&A&H SPLICE, F&ACE N&IL
29. JOIST TO BAND JOIST OR RIM JOIST	3-16d COMMON 4-10d BOX 4-3"x0.131" N&ILS	END N&IL
30. BRIDGING OR BLOCKING TO JOIST, RAFTER OR TRUSS	2-8d COMMON 2-10d BOX 2-3"x0.131" N&ILS	E&A&H END, TO&ENAIL

FOOTNOTE:

a. WHERE A RAFTER IS FASTENED TO AN ADJACENT PARALLEL CEILING JOIST IN ACCORDANCE WITH THIS SCHEDULE AND THE CEILING JOIST IS FASTENED TO THE TOP PLATE IN ACCORDANCE WITH THIS, THE NUMBER OF TOENAILS IN THE RAFTER SHALL BE PERMITTED TO BE REDUCED BY ONE NAIL.

NOTES:

A. COMMON OR BOX N&ILS ARE PERMITTED TO BE USED EXCEPT WHERE OTHERWISE NOTED.
B. COMMON (6d - 2"x0.113" / 8d - 2½"x0.131" / 10d - 3"x0.148").



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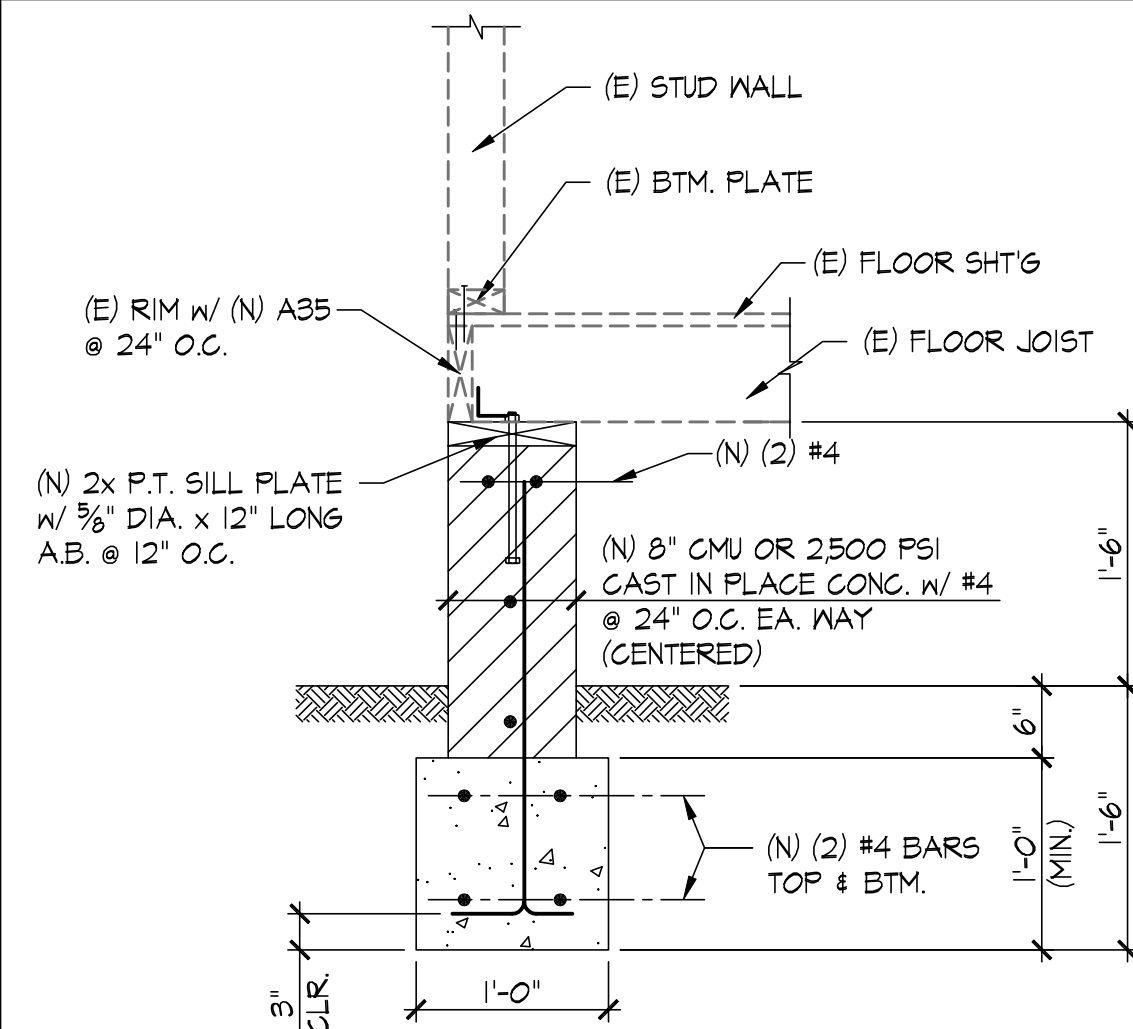
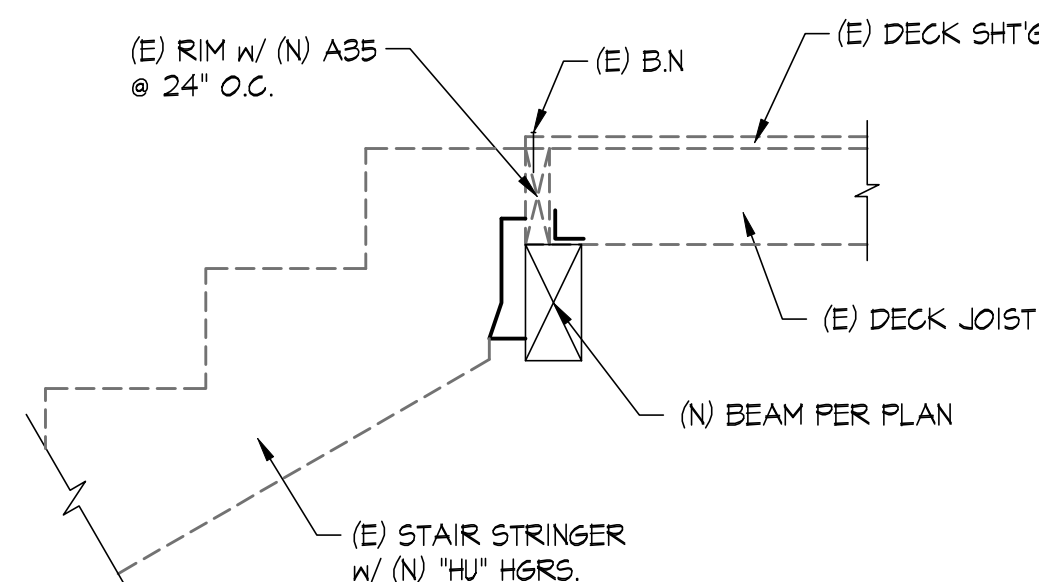
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Sheet

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MARK	SIZE (MIN.) LENGTH x WIDTH x DEPTH 'L' 'W' 'D'	REINF.
F 2	2'-0"x2'-0"x1'-0"	(3) #4 EACH WAY
F 2.5	2'-6"x2'-6"x1'-0"	(3) #4 EACH WAY
F 3	3'-0"x3'-0"x1'-0"	(4) #4 EACH WAY
F 3.5	3'-6"x3'-6"x1'-0"	(4) #5 EACH WAY
F 4	4'-0"x4'-0"x1'-0"	(5) #5 EACH WAY
F 5	5'-0"x5'-0"x1'-0"	(6) #5 EACH WAY

NOTES

1. MIN. 3" CLEAR CONCRETE COVERAGE ON ALL REINFORCING.
2. DEPTH TO BE FROM LOWEST ADJACENT GRADE.

