

**La Jolla Shores Planned District Advisory Board
La Jolla Recreation Center
615 Prospect Street, La Jolla CA 92037**

Please provide the following information on this form for calendaring your project on an upcoming La Jolla Shores Planned District Advisory Board meeting.

For Information Items

- Project name (Unsubmitted projects can be informational items if the development team is seeking comments and direction from the Trustees on the concept): **Stanley and Nancy Chambers**
- Address and APN(s): **7970 Via Capri, La Jolla, CA 92037; 353-170-14-00**
- Project contact name, phone, e-mail: **Stanley Chambers; 858-220-6722; Stancham@gmail.com or Ed Fordan; 858-354-5328; efordan@sbcglobal.net**
- Project description: **Roofing Upgrade**
- In addition to the project description, please provide the following:
 - lot size: **Not applicable**
 - existing structure square footage and FAR (if applicable): **5,191 Square feet**
 - proposed square footage and FAR: **Not applicable**
 - existing and proposed setbacks on all sides: **Not applicable. This project is roofing upgrade only**
 - height if greater than 1-story (above ground): **26'-7" per elevation**
- Project aspect(s) that the applicant team is seeking Trustee direction on. (community character, aesthetics, design features, etc.): **For information item only. This residence roofing upgrade**

For Action Items

- Project PTS number from Development Services and project name (only submitted projects can be heard as action items): _____
- Address and APN(s): _____
- Project contact name, phone, e-mail: _____
- Project description: _____
- In addition, provide the following:
 - lot size: _____
 - existing structure square footage and FAR (if applicable): _____
 - proposed square footage and FAR: _____
 - existing and proposed setbacks on all sides: _____
 - height if greater than 1-story (above ground): _____

Exhibits and other materials to provide:

Please provide the following recommended information which will be attached to the agenda and posted to the City's website for view by the public:

- Exhibits (e.g. site plan, elevations, exhibits showing addition/remodel areas, etc.) **See attachment**
- Any surveys that indicate similarities in floor area or architectural style in the surrounding neighborhood
- Any communications from adjacent neighbors, local neighborhood groups, and/or the Homeowners' Association

(CONTINUED ON THE NEXT PAGE)

PLEASE DO NOT PROVIDE THE FOLLOWING:

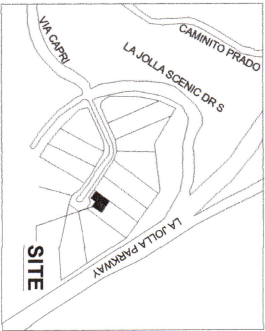
- The complete plan set of the project. Complete plan sets take up a lot of memory to distribute and most of the information is not necessary for the Advisory Board's review.
- Plans or exhibits of the interior of the project. Interiors are not reviewed by the Advisory Board.
- Personal contact information of the property owners of the project should not be included, unless they are the "owner/applicant" and they are the designated point of contact

The Trustees are very keen to know that the neighbors in the immediate vicinity have been noticed and their views noted. Community conformity, setbacks, FAR, parking, view corridors, bulk & scale, and articulation are key discussion points on all projects.

Thank you,

Marlon I. Pangilinan
Senior Planner
Planning Department
9485 Aero Drive MS 413
San Diego CA 92123
619-235-5293
www.sandiego.gov/planning

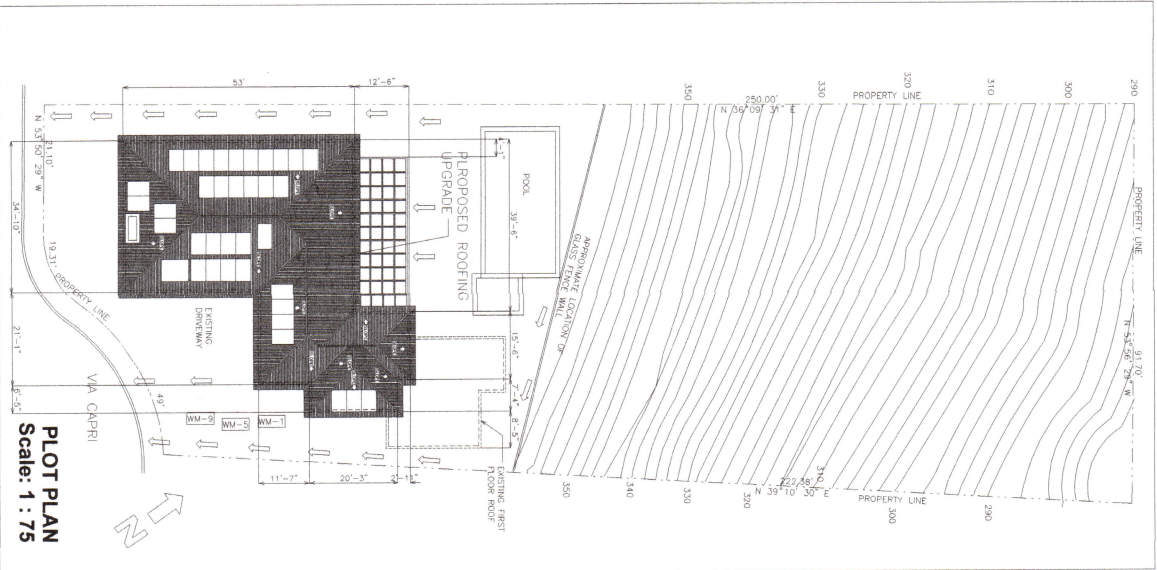
7970 Via Capri, La Jolla



- NOTES:**
1. ALL SURFACE WATER TO DRAIN AWAY FROM STREET AND PROPERTY LINE TO ALLEY OR STREET.
 2. VERIFY ALL UTILITY LOCATIONS EXISTING OR NOT EXISTING PRIOR TO CONSTRUCTION.
 3. THE HOSE RBS AND LWA SPRINKLER SYSTEM PREVENTION DIVISION JPC SECTION 1003.
 4. CONTRACTOR TO COMPLY WITH ALL CALIFORNIA REQUIREMENTS.

BAR LEGEND

1. 1/2" WIDE	2. 1/4" WIDE	3. 1/8" WIDE	4. 1/16" WIDE
5. 1/32" WIDE	6. 1/64" WIDE	7. 1/128" WIDE	8. 1/256" WIDE
9. 1/512" WIDE	10. 1/1024" WIDE	11. 1/2048" WIDE	12. 1/4096" WIDE
13. 1/8192" WIDE	14. 1/16384" WIDE	15. 1/32768" WIDE	16. 1/65536" WIDE
17. 1/131072" WIDE	18. 1/262144" WIDE	19. 1/524288" WIDE	20. 1/1048576" WIDE
21. 1/2097152" WIDE	22. 1/4194304" WIDE	23. 1/8388608" WIDE	24. 1/16777216" WIDE
25. 1/33554432" WIDE	26. 1/67108864" WIDE	27. 1/134217728" WIDE	28. 1/268435456" WIDE
29. 1/536870912" WIDE	30. 1/1073741824" WIDE	31. 1/2147483648" WIDE	32. 1/4294967296" WIDE
33. 1/8589934592" WIDE	34. 1/17179869184" WIDE	35. 1/34359738368" WIDE	36. 1/68719476736" WIDE
37. 1/137438953472" WIDE	38. 1/274877906944" WIDE	39. 1/549755813888" WIDE	40. 1/1099511627776" WIDE
41. 1/2199023255552" WIDE	42. 1/4398046511104" WIDE	43. 1/8796093022208" WIDE	44. 1/17592186044416" WIDE
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Sheet Index

SHEET NO.	SHEET NAME
T-1	COVER SHEET/ PLOT PLAN
A-1	FLOOR PLAN EXISTING
A-2	ELEVATION SECTIONS
A-3	DETAILS
S-1	ROOF AND ROOF RAINING PLAN
S-2	TRUSS DETAILS
S-3	GENERAL NOTES

NOTES

BUILDERS SHALL SECURE ALL PERMITS PRIOR TO START OF WORK. THE DRAWINGS SHOW GENERAL INFORMATION ONLY. BUILDER SHALL EXAMINE THE SITE TO DETERMINE THE EXACT EXISTING CONDITIONS, CHARACTER AND EXTENT OF THE WORK TO BE PERFORMED AND OPERATIONS REQUIRED. IT IS THE INTENT OF THIS DOCUMENTS THAT THE WORK DESCRIBED HEREIN, WHEN ACCOMPISHED SHALL CONSTITUTE A COMPLETE JOB. ALL COORDINATION, FIELD ASSESS, LABOR AND MATERIALS REQUIRED IN THE PROJECT SHALL BE THE RESPONSIBILITY OF THE BUILDER. THE BUILDER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR THE DESCRIBED PROJECT SHALL BE FURNISHED AND PAID FOR BY THE BUILDER WITHIN THE SCOPE OF WORK.

ALL ITEMS NOTED AS "REMOVE" SHALL BE REMOVED FROM THE SITE AND LAWFULLY DISPOSED. DISCONNECTION AND/OR REMOVAL OF UTILITIES, PHONE AND CABLE TELEVISION LINES SHALL BE COORDINATED AS REQUIRED WITH THE APPROPRIATE COMPANIES OR AGENCIES.

THE AMOUNT OF CONSTRUCTION WASTE DIVERTED TO RECYCLE OR SALVAGE SHALL BE CALCULATED BY WEIGHT OR VOLUME.

BUILDER SHALL NOTIFY DESIGNER PRIOR TO COMMENCING ANY PART OF WORK. ANY DISCREPANCY BETWEEN DRAWINGS AND FIELD CONDITIONS.

BUILDER SHALL COMPLY WITH ALL CALIFORNIA REQUIREMENTS. BUILDER SHALL ESTABLISH PROPERTY LINES ON FIELD PRIOR TO START OF WORK AND FIELD VERIFY SETBACK COMPLIANCE. ALL FINISH MATERIAL, TEXTURE, COLOR, ETC. SHALL BE APPROVED BY OWNER. ALL SPOT ELEVATIONS ARE FOR REFERENCE ONLY. BUILDER SHALL FIELD VERIFY EXISTING ELEVATIONS AND ADJUST TO S.O.S. (TOP OF SLAB) ACCORDINGLY.

STORM WATER QUALITY NOTES

STORM WATER QUALITY NOTES, CONSTRUCTION BMPs:

THIS PROJECT SHALL COMPLY WITH ALL THE REQUIREMENTS OF THE STATE PERMIT CALIFORNIA PERMIT, THE CITY OF SAN DIEGO LAND DEVELOPMENT CODE, AND THE STORM WATER STANDARDS MANUAL.

NOTES BELOW REPRESENT KEY MINIMUM REQUIREMENTS FOR CONSTRUCTION BMPs.

1. THE CONSTRUCTION SHALL BE RESPONSIBLE FOR CLEANUP OF ALL DIRT, 1/2" AND ON A DAILY BASIS. THE CONSTRUCTION SHALL BE RESPONSIBLE FOR CLEANUP OF ALL DIRT, 1/2" AND ON A DAILY BASIS. THE CONSTRUCTION SHALL BE RESPONSIBLE FOR CLEANUP OF ALL DIRT, 1/2" AND ON A DAILY BASIS. THE CONSTRUCTION SHALL BE RESPONSIBLE FOR CLEANUP OF ALL DIRT, 1/2" AND ON A DAILY BASIS.

2. ALL STOCKPILES OF SOIL, SAND, GRAVEL, AND OTHER MATERIALS SHALL BE COVERED WITH A DIRT, 1/2" AND ON A DAILY BASIS. THE CONSTRUCTION SHALL BE RESPONSIBLE FOR CLEANUP OF ALL DIRT, 1/2" AND ON A DAILY BASIS.

3. ALL STOCKPILES OF SOIL, SAND, GRAVEL, AND OTHER MATERIALS SHALL BE COVERED WITH A DIRT, 1/2" AND ON A DAILY BASIS. THE CONSTRUCTION SHALL BE RESPONSIBLE FOR CLEANUP OF ALL DIRT, 1/2" AND ON A DAILY BASIS.

4. THE CONSTRUCTION SHALL RESTORE ALL CONSTRUCTION CONTROL DEVICES TO WORKING ORDER AFTER EACH RUN-OFF INTRODUCING RAINFALL OR AFTER ANY MATERIAL BEACH IN PROXIMITY.

5. ALL AREAS DESIGNATED AS PROHIBITED BY CONSTRUCTION ACTIVITY MUST BE PROTECTED AGAINST EROSION AND SEDIMENT TRANSPORT AT ALL TIMES.

6. THE EROSION OF ALL CONSTRUCTION MATERIALS AND EQUIPMENT MUST BE PROTECTED AGAINST ANY POTENTIAL, RELEASE OF POLLUTANTS INTO THE ENVIRONMENT.

PROJECT DATA

ADDRESS: 7970 Via Capri
LA JOLLA, CA 92037
APN: 355-176-14-00
LEGAL:

OWNER: STANLEY CHAMBERS

ZONE: R1
OCCUPANCY: R240 SINGLE FAMILY RESIDENTIAL
BLDG TYPE: VWO
STORIES: TWO
BUILT: 1976/1990
LOT SIZE: 19,802 SQ. FT.

CONSTRUCTION AREAS

EXISTING HOUSE: 5191 SQ. FT.
EXISTING 2 CAR GARAGE: 960 SQ. FT.

NO NEW LANDSCAPE

SCOPE OF WORK:

THE SCOPE OF WORK IS AS FOLLOWS:

1. REMOVE EXISTING PARAPET WALL.
2. INSTALL NEW ROOF PER TRUSS MANUFACTURER SPEC'S, DESIGN & DETAIL & PER PLAN.

CODE COMPLIANCE

THIS IMPROVEMENT SHALL COMPLY & FOLLOW ALL THE REQUIREMENTS AND REQUIREMENTS FROM THE CITY OF SAN DIEGO, CA.

THIS PROJECT SHALL COMPLY WITH THE FOLLOWING CODES:

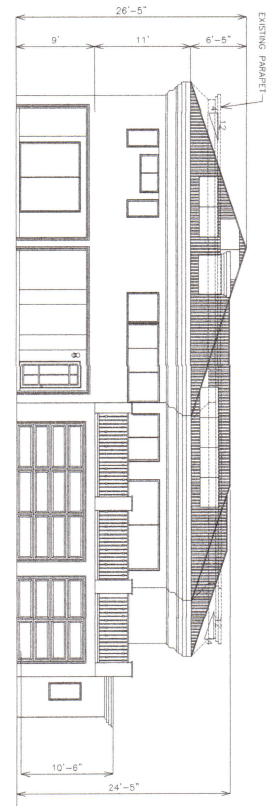
- 2016 CALIFORNIA BUILDING CODE (CBC)
- 2016 CALIFORNIA RESIDENTIAL CODE (CRC)
- 2016 CALIFORNIA PLUMBING CODE (CPC)
- 2016 CALIFORNIA MECHANICAL CODE (CMC)
- 2016 CALIFORNIA FIRE CODE (CFC)
- 2016 CALIFORNIA ELECTRICAL CODE (CEC)
- 2016 CALIFORNIA ENERGY CODE (TITL 24)

Residential Design
ROOFING UPGRADE

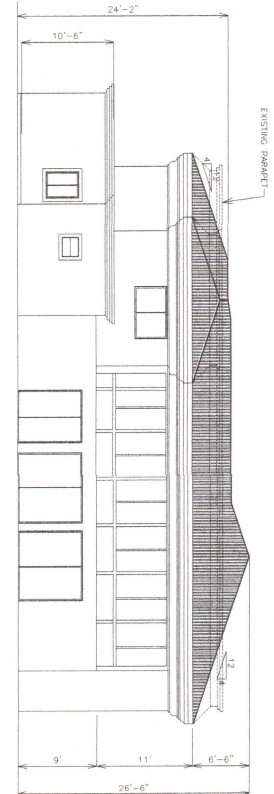


CHAMBERS RESIDENCE
7970 Via Capri
La Jolla, CA 92037
stancham@gmail.com
858-220-6722

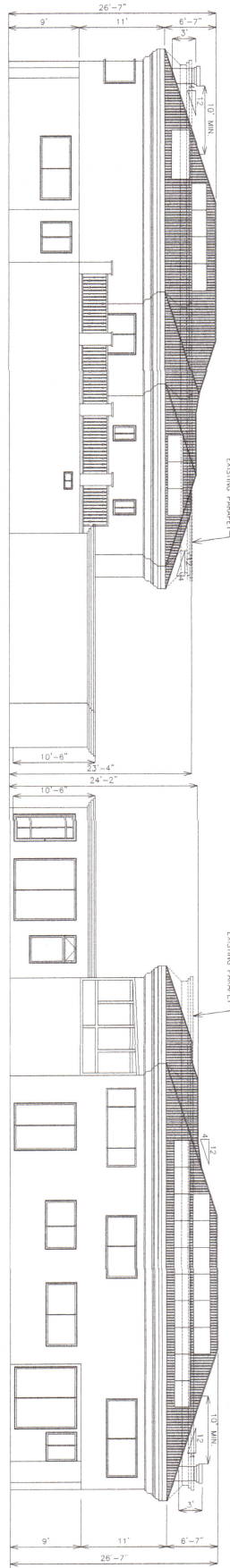
SHEET NO.	1
OF	7
	T-1



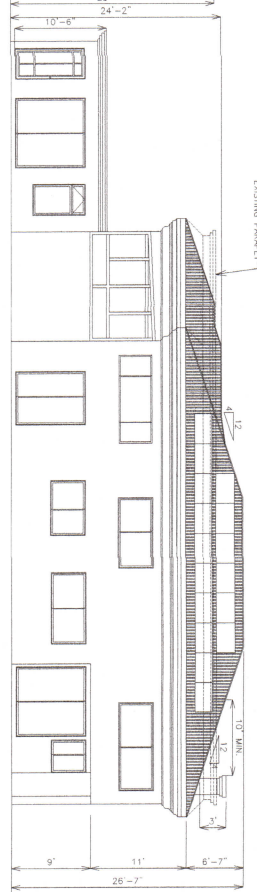
1 SOUTH ELEVATION
SCALE 1/1/2"



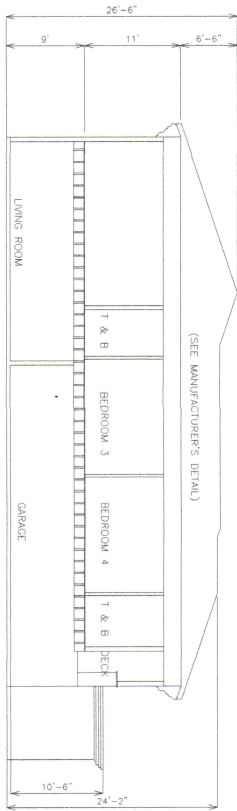
2 NORTH ELEVATION
SCALE 1/1/2"



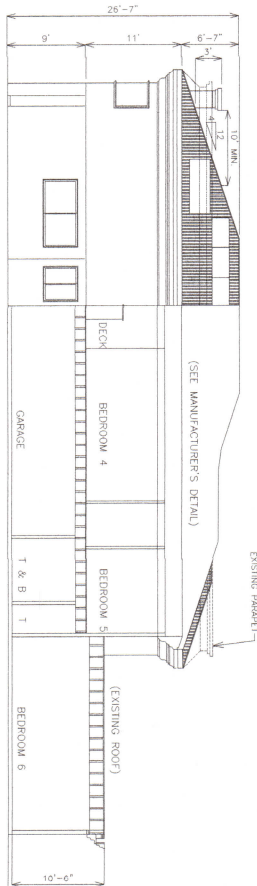
3 EAST ELEVATION
SCALE 1/1/2"



4 WEST ELEVATION
SCALE 1/1/2"



5 LONGITUDINAL SECTION
SCALE 1/1/2"



6 CROSS SECTION
SCALE 1/1/2"

CHAMBERS RESIDENCE
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slancham@gmail.com
858-220-6722



Residential Design
ROOFING UPGRADE

SHEET NO. 3 OF 7
A-2