

**La Jolla Shores Planned District Advisory Board
La Jolla Recreation Center
615 Prospect Street, La Jolla CA 92037**

Please provide the following information on this form for calendaring your project on an upcoming La Jolla Shores Planned District Advisory Board meeting.

For Information Items

- Project name (Unsubmitted projects can be informational items if the development team is seeking comments and direction from the Trustees on the concept): **Stanley and Nancy Chambers**
- Address and APN(s): **7970 Via Capri, La Jolla, CA 92037; 353-170-14-00**
- Project contact name, phone, e-mail: **Stanley Chambers; 858-220-6722; Stancham@gmail.com or Ed Fordan; 858-354-5328; efordan@sbcglobal.net**
- Project description: **Roofing Upgrade**
- In addition to the project description, please provide the following:
 - lot size: **Not applicable**
 - existing structure square footage and FAR (if applicable): **5,191 Square feet**
 - proposed square footage and FAR: **Not applicable**
 - existing and proposed setbacks on all sides: **Not applicable. This project is roofing upgrade only**
 - height if greater than 1-story (above ground): **26'-7" per elevation**
- Project aspect(s) that the applicant team is seeking Trustee direction on. (community character, aesthetics, design features, etc.): **For information item only. This residence roofing upgrade**

For Action Items

- Project PTS number from Development Services and project name (only submitted projects can be heard as action items): _____
- Address and APN(s): _____
- Project contact name, phone, e-mail: _____
- Project description: _____
- In addition, provide the following:
 - lot size: _____
 - existing structure square footage and FAR (if applicable): _____
 - proposed square footage and FAR: _____
 - existing and proposed setbacks on all sides: _____
 - height if greater than 1-story (above ground): _____

Exhibits and other materials to provide:

Please provide the following recommended information which will be attached to the agenda and posted to the City's website for view by the public:

- Exhibits (e.g. site plan, elevations, exhibits showing addition/remodel areas, etc.) **See attachment**
- Any surveys that indicate similarities in floor area or architectural style in the surrounding neighborhood
- Any communications from adjacent neighbors, local neighborhood groups, and/or the Homeowners' Association

(CONTINUED ON THE NEXT PAGE)

PLEASE DO NOT PROVIDE THE FOLLOWING:

- The complete plan set of the project. Complete plan sets take up a lot of memory to distribute and most of the information is not necessary for the Advisory Board's review.
- Plans or exhibits of the interior of the project. Interiors are not reviewed by the Advisory Board.
- Personal contact information of the property owners of the project should not be included, unless they are the "owner/applicant" and they are the designated point of contact

The Trustees are very keen to know that the neighbors in the immediate vicinity have been noticed and their views noted. Community conformity, setbacks, FAR, parking, view corridors, bulk & scale, and articulation are key discussion points on all projects.

Thank you,

Marlon I. Pangilinan
Senior Planner
Planning Department
9485 Aero Drive MS 413
San Diego CA 92123
619-235-5293
www.sandiego.gov/planning

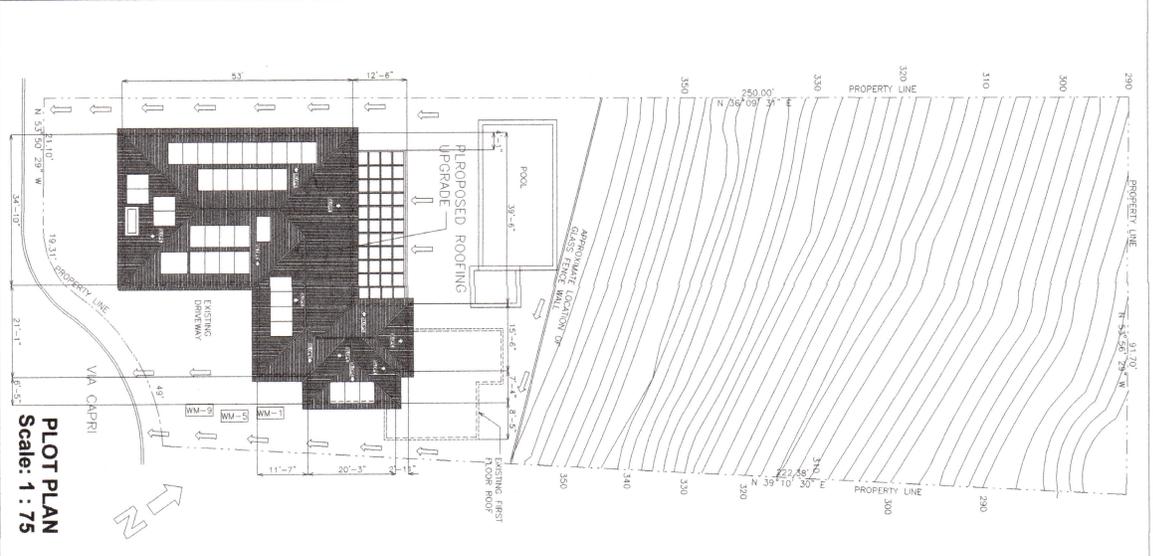
7970 Via Capri, La Jolla



- NOTES:**
1. ALL SURFACE WATER TO DRAIN AWAY FROM STREET AND PROPERTY LINE TO ALLEY OR STREET.
 2. VERIFY ALL UTILITY LOCATIONS EXISTING OR NOT EXISTING.
 3. THE HOSE RIBB AND MAIN SPRINKLER SYSTEM PREVENTION DIVISION, JPC SECTION 1000.
 4. CONTRACTOR TO COMPLY WITH ALL CALIFORNIA REQUIREMENTS.

BAR LEGEND

1	EXISTING CONCRETE
2	EXISTING MASONRY
3	EXISTING ROOFING
4	EXISTING FLOORING
5	EXISTING WALLS
6	EXISTING CEILING
7	EXISTING DOORS
8	EXISTING WINDOWS
9	EXISTING STAIRS
10	EXISTING ELEVATORS
11	EXISTING MECHANICAL
12	EXISTING ELECTRICAL
13	EXISTING PLUMBING
14	EXISTING FIRE PROTECTION
15	EXISTING LANDSCAPE
16	EXISTING SITEWORK
17	EXISTING UTILITIES
18	EXISTING FOUNDATION
19	EXISTING STRUCTURE
20	EXISTING ROOF
21	EXISTING FLOOR
22	EXISTING CEILING
23	EXISTING DOOR
24	EXISTING WINDOW
25	EXISTING STAIR
26	EXISTING ELEVATOR
27	EXISTING MECHANICAL
28	EXISTING ELECTRICAL
29	EXISTING PLUMBING
30	EXISTING FIRE PROTECTION
31	EXISTING LANDSCAPE
32	EXISTING SITEWORK
33	EXISTING UTILITIES
34	EXISTING FOUNDATION
35	EXISTING STRUCTURE
36	EXISTING ROOF
37	EXISTING FLOOR
38	EXISTING CEILING
39	EXISTING DOOR
40	EXISTING WINDOW
41	EXISTING STAIR
42	EXISTING ELEVATOR
43	EXISTING MECHANICAL
44	EXISTING ELECTRICAL
45	EXISTING PLUMBING
46	EXISTING FIRE PROTECTION
47	EXISTING LANDSCAPE
48	EXISTING SITEWORK
49	EXISTING UTILITIES
50	EXISTING FOUNDATION
51	EXISTING STRUCTURE
52	EXISTING ROOF
53	EXISTING FLOOR
54	EXISTING CEILING
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56	EXISTING WINDOW
57	EXISTING STAIR
58	EXISTING ELEVATOR
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62	EXISTING FIRE PROTECTION
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78	EXISTING FIRE PROTECTION
79	EXISTING LANDSCAPE
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93	EXISTING PLUMBING
94	EXISTING FIRE PROTECTION
95	EXISTING LANDSCAPE
96	EXISTING SITEWORK
97	EXISTING UTILITIES
98	EXISTING FOUNDATION
99	EXISTING STRUCTURE
100	EXISTING ROOF



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A-1	FLOOR PLAN EXISTING
A-2	ELEVATION SECTIONS
A-3	DETAILS
S-1	ROOF AND ROOF FRAMING PLAN
S-2	TRUSS DETAILS
S-3	GENERAL NOTES

NOTES

BUILDERS SHALL SECURE ALL PERMITS PRIOR TO START OF WORK. THE DRAWINGS SHOW GENERAL INFORMATION ONLY. BUILDER SHALL EXAMINE THE SITE TO DETERMINE THE EXACT EXISTING CONDITIONS, CHARACTER AND EXTENT OF THE WORK TO BE PERFORMED AND OPERATIONS REQUIRED. IT IS THE INTENT OF THIS DOCUMENT THAT THE WORK DESCRIBED HEREIN WHEN ACCOMPLISHED SHALL CONSTITUTE A COMPLETE JOB. ALL COORDINATION WITH ALL NEARBY ADJACENT PROPERTY OWNERS AND ALL NEARBY ADJACENT UTILITIES SHALL BE THE RESPONSIBILITY OF THE BUILDER. THE DESCRIBED PROJECT SHALL BE FINISHED AND PAID FOR BY THE BUILDER WITHIN THE SCOPE OF WORK.

ALL ITEMS NOTED AS 'REMOVE' SHALL BE REMOVED FROM THE SITE AND LAWFULLY DISPOSED.

DISCONNECTION AND/OR REMOVAL OF UTILITIES, PHONE AND CABLE TELEVISION LINES SHALL BE COORDINATED AS REQUIRED WITH THE APPROPRIATE COMPANIES OR AGENCIES.

THE AMOUNT OF CONSTRUCTION WASTE DIVERTED TO RECYCLE OR SALVAGE SHALL BE CALCULATED BY WEIGHT OR VOLUME.

BUILDER SHALL NOTIFY DESIGNER PRIOR TO COMMENCING ANY PART OF WORK. ANY DISCREPANCY BETWEEN DRAWINGS AND FIELD CONDITIONS SHALL BE REPORTED IMMEDIATELY TO THE DESIGNER.

BUILDER SHALL COMPLY WITH ALL CALIFORNIA REQUIREMENTS.

BUILDER SHALL ESTABLISH PROPERTY LINES ON FIELD PRIOR TO START OF WORK AND FIELD VERIFY SETBACK COMPLIANCE.

ALL FINISH MATERIAL, TEXTURE, COLOR, ETC. SHALL BE APPROVED BY OWNER. ALL SPOT ELEVATIONS ARE FOR REFERENCE ONLY. BUILDER SHALL FIELD VERIFY EXISTING ELEVATIONS AND ADJUST TO S. (TOP OF SLAB ACCORDINGLY).

STORM WATER QUALITY NOTES

STORM WATER QUALITY NOTES - CONSTRUCTION BMPs:

THIS PROJECT SHALL COMPLY WITH ALL THE REQUIREMENTS OF THE STATE PERMIT CALIFORNIA PERMIT, THE CITY OF SAN DIEGO LAND DEVELOPMENT CODE, AND THE STORM WATER STANDARDS MANUAL.

NOTES BELOW REPRESENT KEY MINIMUM REQUIREMENTS FOR CONSTRUCTION BMPs.

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEARING OF ALL SILT AND ON-SITE SODS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING VEGETATION AND SOILS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING VEGETATION AND SOILS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING VEGETATION AND SOILS.

2. ALL STOCKPILES OF SOIL AND BUILDING MATERIALS THAT ARE INTENDED TO BE LEFT FOR A PERIOD OF 14 DAYS OR MORE SHALL BE COVERED WITH A STORM WATER POLLUTION PREVENTION PLAN (SWPPP) THAT MEETS THE REQUIREMENTS OF THE SWPPP. THE SWPPP SHALL BE APPROVED BY THE CITY OF SAN DIEGO. THE SWPPP SHALL BE MAINTAINED AT THE END OF EACH WORK DAY OR WITHIN A 24 HOUR PERIOD THAT CALIFORNIA REGULATION 173200.1. THE SWPPP SHALL BE MAINTAINED AT THE END OF EACH WORK DAY OR WITHIN A 24 HOUR PERIOD THAT CALIFORNIA REGULATION 173200.1.

3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING VEGETATION AND SOILS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING VEGETATION AND SOILS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING VEGETATION AND SOILS.

4. THE CONTRACTOR SHALL RESTORE ALL DISRUPTED AREAS TO ORIGINAL OR BETTER CONDITION AFTER EACH PHASE OF CONSTRUCTION. RESTORATION SHALL BE COMPLETED WITHIN 30 DAYS OF THE END OF CONSTRUCTION. RESTORATION SHALL BE COMPLETED WITHIN 30 DAYS OF THE END OF CONSTRUCTION.

5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING VEGETATION AND SOILS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING VEGETATION AND SOILS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING VEGETATION AND SOILS.

6. THE EROSION OF ALL CONSTRUCTION MATERIALS AND EQUIPMENT MUST BE PROTECTED AGAINST ANY POTENTIAL RELEASE OF POLLUTANTS INTO THE ENVIRONMENT.

PROJECT DATA

ADDRESS: 7970 Via Capri, La Jolla, CA 92037
 APN: 353-170-14-00
 LEGAL:
 OWNER: STANLEY CHAMBERS
 ZONE: R1
 OCCUPANCY: R20 SINGLE FAMILY RESIDENTIAL
 BLDG TYPE: VIB
 STORIES: 1
 BUILT: 1976/1990
 LOT SIZE: 19,602 Sq. Ft.

CONSTRUCTION AREAS

EXISTING HOUSE: 6191 Sq. Ft.
 EXISTING 2-CAR GARAGE: 960 Sq. Ft.
 NO NEW LANDSCAPE

SCOPE OF WORK:

1. REMOVE EXISTING PARAPET WALL.
2. INSTALL IRR ROOFS PER TRUSS MANUFACTURER SPECS, DESIGN & DETAIL, & PER PLAN.

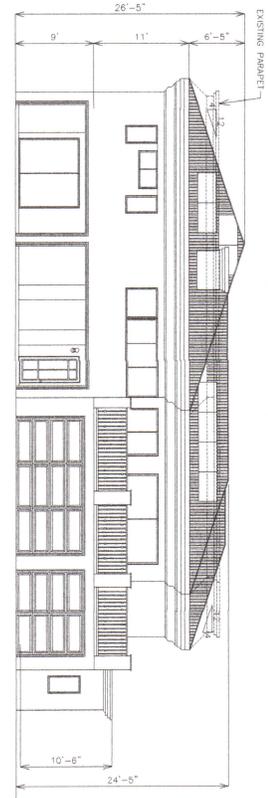
CODE COMPLIANCE

THIS IMPROVEMENT WILL COMPLY & FOLLOW ALL THE CITY OF SAN DIEGO AND REQUIREMENTS FROM THE CITY OF SAN DIEGO, CA.

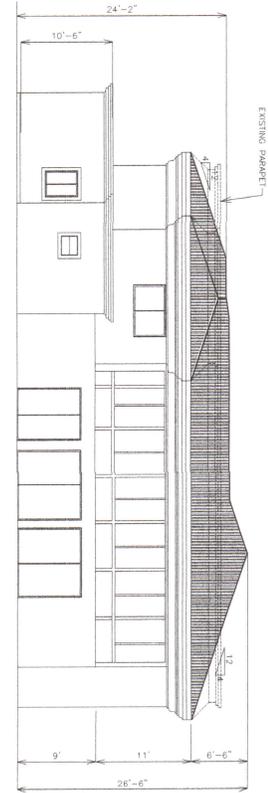
THIS PROJECT SHALL COMPLY WITH THE FOLLOWING CODES:

- 2016 CALIFORNIA BUILDING CODE (CBC)
- 2016 CALIFORNIA RESIDENTIAL CODE (CRC)
- 2016 CALIFORNIA PLUMBING CODE (CPC)
- 2016 CALIFORNIA MECHANICAL CODE (CMC)
- 2016 CALIFORNIA FIRE CODE (CFC)
- 2016 CALIFORNIA ENERGY CODE (CEC)
- 2016 CALIFORNIA ELECTRICAL CODE (CEC)
- 2016 CALIFORNIA ENERGY CODE (TITLE 24)

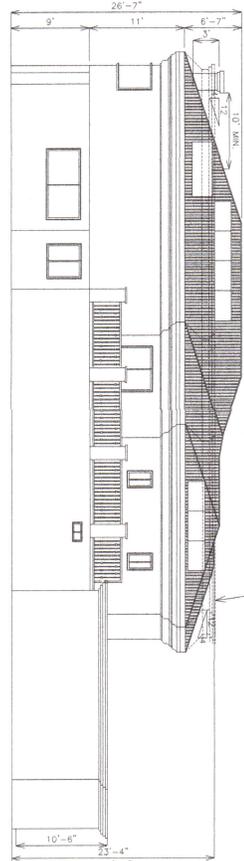
<p>Residential Design</p> <p>ROOFING UPGRADE</p>	<p>RF Famoran and Associates</p> <p>Professional Landscaping & Construction</p> <p>PO Box 26926, San Diego, CA 92196</p> <p>ronald@rfamoran-ca-associates.com (619) 571-1644</p>
<p>CHAMBERS RESIDENCE</p> <p>7970 Via Capri</p> <p>La Jolla, CA 92037</p> <p>stancham@gmail.com</p> <p>858-220-6722</p>	<p>DATE: 08/14/2024</p> <p>DRAWN BY: STANLEY CHAMBERS</p> <p>DATE: 08/14/2024</p> <p>REVISIONS:</p> <p>DATE: 08/14/2024</p> <p>BY: STANLEY CHAMBERS</p> <p>DESCRIPTION: ROOFING UPGRADE</p>
<p>SHEET NO. 1 OF 7</p> <p>T-1</p>	<p>Professional Engineer Seal</p> <p>RF Famoran and Associates</p> <p>Professional Engineer Seal</p> <p>Professional Engineer Seal</p>



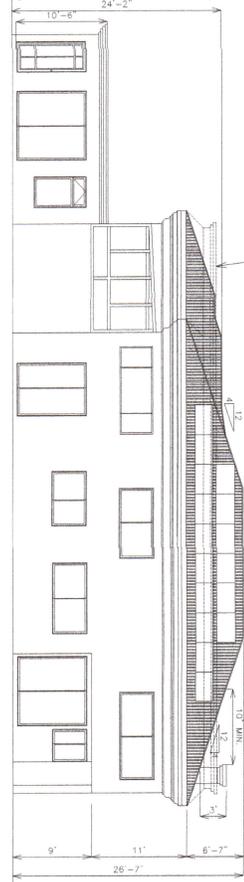
1 SOUTH ELEVATION
SCALE: 1/16" = 1'-0"



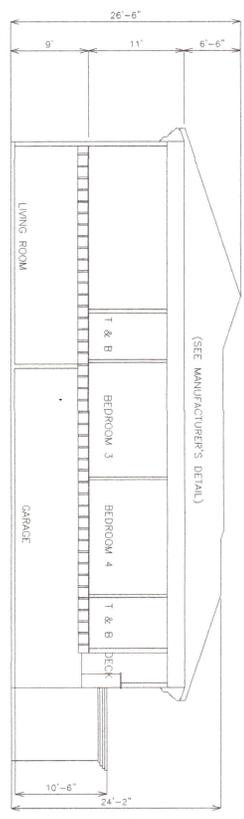
2 NORTH ELEVATION
SCALE: 1/16" = 1'-0"



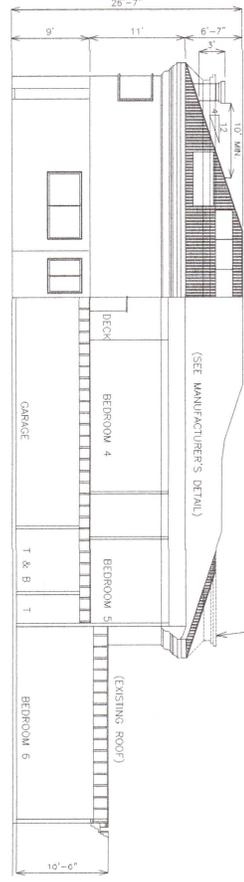
3 EAST ELEVATION
SCALE: 1/16" = 1'-0"



4 WEST ELEVATION
SCALE: 1/16" = 1'-0"



5 LONGITUDINAL SECTION
SCALE: 1/16" = 1'-0"



6 CROSS SECTION
SCALE: 1/16" = 1'-0"

CLIENT	CHAMBERS RESIDENCE
DATE	7970 Via Capri
CLIENT	BRUNO CHAMBERS
DATE	
DESIGNED BY	
CHECKED BY	
DATE	
REVISIONS	
NO.	
DATE	
BY	
DATE	

CHAMBERS RESIDENCE
7970 Via Capri
La Jolla, CA 42037
slancham@gmail.com
858-220-6722



RF
RF Farnham and Associates
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Residential Design
ROOFING UPGRADE

JOB NO.
SHEET NO. **3** OF **7**
A-2