

CARMEL VALLEY COMMUNITY PLANNING BOARD

Attn: Allen Kashani, CVCPB Secretary
13400 Sabre Springs Pkwy, Ste. 200
San Diego, CA 92128

858-794-2571 / Fax: 858-794-2599
www.cvsd.com/planning.html

CARMEL VALLEY COMMUNITY PLANNING BOARD

7 pm, Thursday, April 28, 2016

Carmel Valley Library, Community Room
3919 Townsgate Dr., San Diego, CA 92130

A G E N D A

A. CALL TO ORDER AND ATTENDANCE

B. APPROVAL OF MINUTES - February 25, 2016 & March 24, 2016

C. CONSENT AGENDA

1. **Board Appointment:** Confirm Chair's appointment of Christian Clews to a CV Property Owner seat with expiry of 2018.

•Applicant - Chair

D. PUBLIC COMMUNICATION - Speakers are limited to topics not listed on the agenda. Presentations are limited to 2 minutes or less.

E. ANNOUNCEMENTS - San Diego Police Department, Officer Tracy Williams

F. WRITTEN COMMUNICATIONS

G. COMMUNITY PLANNER REPORT - Bernard Turgeon and Daniel Monroe, City of San Diego

H. COUNCIL DISTRICT 1 REPORT - Barbara Mohondro, Office of Council President Sherri Lightner

I. MAYOR'S REPORT - Francis Barraza, Office of Mayor Faulconer

J. COUNTY SUPERVISOR'S REPORT - Janie Hoover, Office of Supervisor Dave Roberts

K. STATE ASSEMBLY REPORT - Bob Knudsen, Office of Assemblymember Brian Maienschein

L. STATE SENATE REPORT - Sarah Fields, Office of State Senator Marty Block

M. US CONGRESS - Hugo Carmona III, Office of US Congressman Scott Peters

N. INFORMATION AGENDA:

1. **Cavallo Street Twinhomes:** Update on re-subdivision of two existing lots into four parcels to facilitate the construction of one twinhome building (2 units). The proposal includes the vacation of a building restricted easement and a slope easement. .

•Applicant - John Leppert, Consultant

O. ACTION AGENDA:

1. **Board Elections:** Certification of election results. Elect Officers for FY 2016-2017.
•Applicant - Elections Committee
2. **One Paseo:** Direct Chair to submit letter to Council President Lightner supporting City Council review of One Paseo if Planning Commission is unable to hear project.
•Applicant - Chair
3. **Village Center Loop Road:** Direct Chair to send a letter to Council President Lightner to request a study of the land requirement(s) to complete Village Center Loop Road and finish the community's master plan for this vital transportation circulation element.
•Applicant - Chair
4. **Future Developments in Route 56 Corridor:** Direct Chair to establish an ad hoc subcommittee to research upcoming projects along Route 56 corridor and report their impact if any to the greater Carmel Valley Planning Area.
•Applicant - Chair
5. **Rancho Del Sol Restoration:** Update of Planning Commission Approval and project Document Recordation for the application for the installation of a drainage structure and the creation and enhancement of wetlands to mitigate environmental impacts and satisfy Court ordered Stipulated Settlements with the City and Pardee Homes.
• Applicant - Barczewski Family Trust

P. SUBCOMMITTEE MEETING REPORTS AND ANNOUNCEMENTS

- | | | |
|----|--|------------------------------------|
| 1. | Design and Planning Subcommittee | Frisco White/Anne Harvey/Jan Fuchs |
| 2. | CV FBA and PHR FBA Subcommittee | Frisco White |
| 3. | CV MAD Subcommittee | Debbie Lokanc |
| 4. | CV MAD N10 Subcommittee | Vacant |
| 5. | PHR MAD Subcommittee | Jonathan Tedesco |
| 6. | Bylaws, Policies and Procedures Subcommittee | Frisco White |
| 7. | Open Space Subcommittee | Christian Clews/Anne Harvey |
| 8. | CPC | Ken Farinsky |
| 9. | Livability (Special) | Monique Chen/Chris Moore |

Q. CHAIR's REPORT

R. OLD / ONGOING BUSINESS

S. ADJOURNMENT

T. NEXT MEETING:

Thursday, May 26, 2016
Carmel Valley Library, 7 pm

DEVELOPMENT SUMMARY

SITE GRADING AND DRAINAGE STRUCTURES TO CREATE A WETLAND HABITAT MITIGATION AREA AND DE-WATER THE "POND" PER ARMY CORPS OF ENGINEERS RESTORATION ORDER NO. SPL-2002-0667, LOT 1 (APN 305-041-01) WILL BE INCLUDED IN THE RESTORATION ORDER. A TEMPORARY GRADED PLACEMENT OF THE RESTORATION GRADING ON APN 305-041-01 IS DEPICTED ON SHEETS C-2.0 & C-2.1.

LOTS "16" & "21" WILL MAINTAIN THE ON-GOING HORTICULTURAL NURSERY OPERATION.

LOT "20" WILL BE USED AS A WETLANDS HABITAT CREATION/RESTORATION AREA.

PRIOR DISCRETIONARY APPROVALS: PRD 83-0896 86-0229

DISCRETIONARY APPROVALS: SITE DEVELOPMENT PERMIT EXISTING ZONING: AR-1-1 PROPOSED ZONING: AR-1-1

OVERLAY ZONES: COASTAL ZONE (DEFERRED CERTIFICATION AREA) FEMA FLOOD ZONE

COMMUNITY PLAN AREA: PACIFIC HIGHLANDS RANCH

LEGAL DESCRIPTION

STIPULATED SETTLEMENT LOT DESIGNATIONS:

LOTS "16" & "21" PORTION OF PARCEL 3, PARCEL MAP NO. 12337, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, RECORDED SEPTEMBER 24, 1982.

LOT 20: LOT 1 OF MAP NO. 12477, IN THE CITY RECORDED OCTOBER 18, 1989, AS FILE NO. 89-564124. LOTS "1" & "18" PARCELS, APNs 305-021-18, 305-041-01

A.P.N.s.

305-060-20 305-040-21 305-021-28.33 (33 FORMERLY 16), (28 FORMERLY 18) 305-041-01 305-021-05

STORM WATER NOTES:

PRIOR TO ISSUANCE OF ANY CONSTRUCTION PERMIT, THE SUBDIVIDER SHALL INCORPORATE ANY CONSTRUCTION BEST MANAGEMENT PRACTICES NECESSARY TO COMPLY WITH CHAPTER 14, ARTICLE 2, DIVISION 1, OF THE SAN DIEGO MUNICIPAL CODE, INTO THE CONSTRUCTION PLANS OR SPECIFICATIONS.

PRIOR TO ISSUANCE OF ANY CONSTRUCTION PERMIT THE SUBDIVIDER SHALL SUBMIT A STORM WATER QUALITY TECHNICAL REPORT (SWTR). THE SWTR SHALL BE PREPARED IN ACCORDANCE WITH THE GUIDELINES IN APPENDIX C. OF THE CITY'S STORM WATER STANDARDS.

EARTHWORK DATA-WETLAND PRESERVE

DISTURBED AREA: 10.02 ACRES MAX. CUT DEPTH: 7 FT. GRADED AREA: 10.02 ACRES MAX. CUT SLOPE RATIO (2:1 MAX.): 2:1 CUT QUANTITIES: 73,900 C.Ys.± MAX. FILL DEPTH: 0 FT. FILL QUANTITIES: 0 C.Ys.± MAX. FILL SLOPE RATIO (2:1 MAX.): N.A. EXPORT/IMPORT: 73,900 C.Ys.±

REFERENCE DRAWINGS

24661-D FINAL MAP 12477 PARCEL MAP 12377 T.M. 86-0229

LAMBERT COORDINATES

286-1713

NAD 83 COORDINATES

1930-6269

TOPOGRAPHICAL SURVEY

TOPOGRAPHICAL SURVEY FOR THIS PROJECT PREPARED BY SAN-LO AERIAL SURVEYS, DATED AUGUST 2, 2004, BY AERIAL PHOTOGRAMMETRY METHODS.

BENCHMARK

VERTICAL BENCHMARK FOR THIS PROJECT IS A FOUND BRASS PLUG AT THE INTERSECTION OF CARMEL COUNTRY RD. & CARMEL CREEK RD. (ELEV.=240.089 NGVD29).

STORM WATER QUALITY NOTES CONSTRUCTION BMP'S

THIS PROJECT SHALL COMPLY WITH ALL REQUIREMENTS OF THE STATE PERMIT: CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD, SAN DIEGO REGION, ORDER NO. 2001-01 NPDES NO. CAS010872 (http://www.swrcb.ca.gov/wqcb/programs/sd_stormwater.html) AND THE CITY OF SAN DIEGO LAND DEVELOPMENT CODE (http://clerkdoc.sannet.gov/RightSite/getcontent/local.pdf?DMW_ORJECTID=090014518008cc43)

NOTES 1-6 BELOW REPRESENT KEY MINIMUM REQUIREMENTS FOR CONSTRUCTION BMP'S.

- 1. SUFFICIENT BMP'S MUST BE INSTALLED TO PREVENT SILT, MUD OR OTHER CONSTRUCTION DEBRIS FROM BEING TRACKED INTO THE ADJACENT STREETS OR STORM WATER CONVEYANCE SYSTEMS DUE TO CONSTRUCTION ACTIVITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANING ANY SUCH DEBRIS THAT MAY BE IN THE STREET AT THE END OF EACH WORK DAY OR AFTER A STORM EVENT THAT CAUSES A BREACH IN THE INSTALLED CONSTRUCTION BMP'S.
2. ALL STOCK PILES OF UNCOMPACTED SOIL AND/OR BUILDING MATERIALS THAT ARE INTENDED TO BE LEFT UNPROTECTED FOR A PERIOD GREATER THAN SEVEN CALENDAR DAYS ARE TO BE PROVIDED WITH EROSION AND SEDIMENT CONTROLS. SUCH SOIL MUST BE PROTECTED EACH DAY WHEN THE PROBABILITY OF RAIN IS 50% OR GREATER.
3. A CONCRETE WASHOUT SHALL BE PROVIDED ON ALL PROJECTS WHICH PROPOSE THE CONSTRUCTION OF ANY CONCRETE IMPROVEMENTS THAT ARE TO BE POURED IN PLACE ON THE SITE.
4. ALL EROSION/SEDIMENT CONTROL DEVICES SHALL BE MAINTAINED IN WORKING ORDER AT ALL TIMES.
5. ALL SLOPES THAT ARE CREATED OR DISTURBED BY CONSTRUCTION ACTIVITY MUST BE PROTECTED AGAINST EROSION AND SEDIMENT TRANSPORT AT ALL TIMES.
6. THE STORAGE OF ALL CONSTRUCTION MATERIALS AND EQUIPMENT MUST BE PROTECTED AGAINST ANY POTENTIAL RELEASE OF POLLUTANTS INTO THE ENVIRONMENT.

PROJECT TEAM

OWNER: ROBERT D. BARCZEWSKI, TRUSTEE BARCZEWSKI FAMILY TRUST UNDER DECLARATION OF TRUST DATED AUGUST 7, 1977 8222 S. RAMONA RD. SPOKANE, WA 99224 509-449-1747

CIVIL ENGINEER: MARK A. FARRINGTON, PE FARRINGTON ENGINEERING CONSULTANTS, INC. 11679 VIA FIRUL SAN DIEGO, CA 92128-4539 858-675-9490 858-675-9487 (FAX) EMAIL: MFARRIN@SAN.RR.COM

HYDROLOGY ENGINEER: SCOTT LYLE LYLE ENGINEERING, INC. 1030 LICHHOUSE RD. CARLSBAD, CA 92011 (760)703-1477

LAND USE CONSULTANT: PAUL METCALF METCALF DEVELOPMENT & CONSULTING, INC. 5681 BELLEVUE AVE. LA JOLLA, CA 92037 (619) 733-6056

SOILS ENGINEER: CHARLES CHRISTIAN CHRISTIAN WHEELER ENGINEERING 3980 HOME AVE. SAN DIEGO, CA 92105 619-550-1700 619-550-1701 (FAX)

BIOLOGIST: VINCENT N. SCHEIDT 3158 OCCIDENTAL ST. SAN DIEGO, CA 92122 858-457-3873 858-457-1650 (FAX EMAIL: VINCE@SAN.RR.COM)

LANDSCAPE ARCHITECT: JOHN KRIZAN, R.L.A. 11050 DUTTON DR. LA MESA, CA 91941 619-517-2865

LAND USE ATTORNEY: RICHARD WIRTZ WIRTZ HELLENBACH LLP 12760 HIGH BLUFF DR., SUITE 300 SAN DIEGO, CA 92130 858-259-5009

SHEET INDEX

Table with columns: SHEET TITLE, SHEET LABEL, SHEET NUMBER. Lists various sheets including Title Sheet/Index Key Map, Grading Plan, Wetland Creation, Slope Analysis, Reference Drawings, Erosion Control, and Irrigation details.

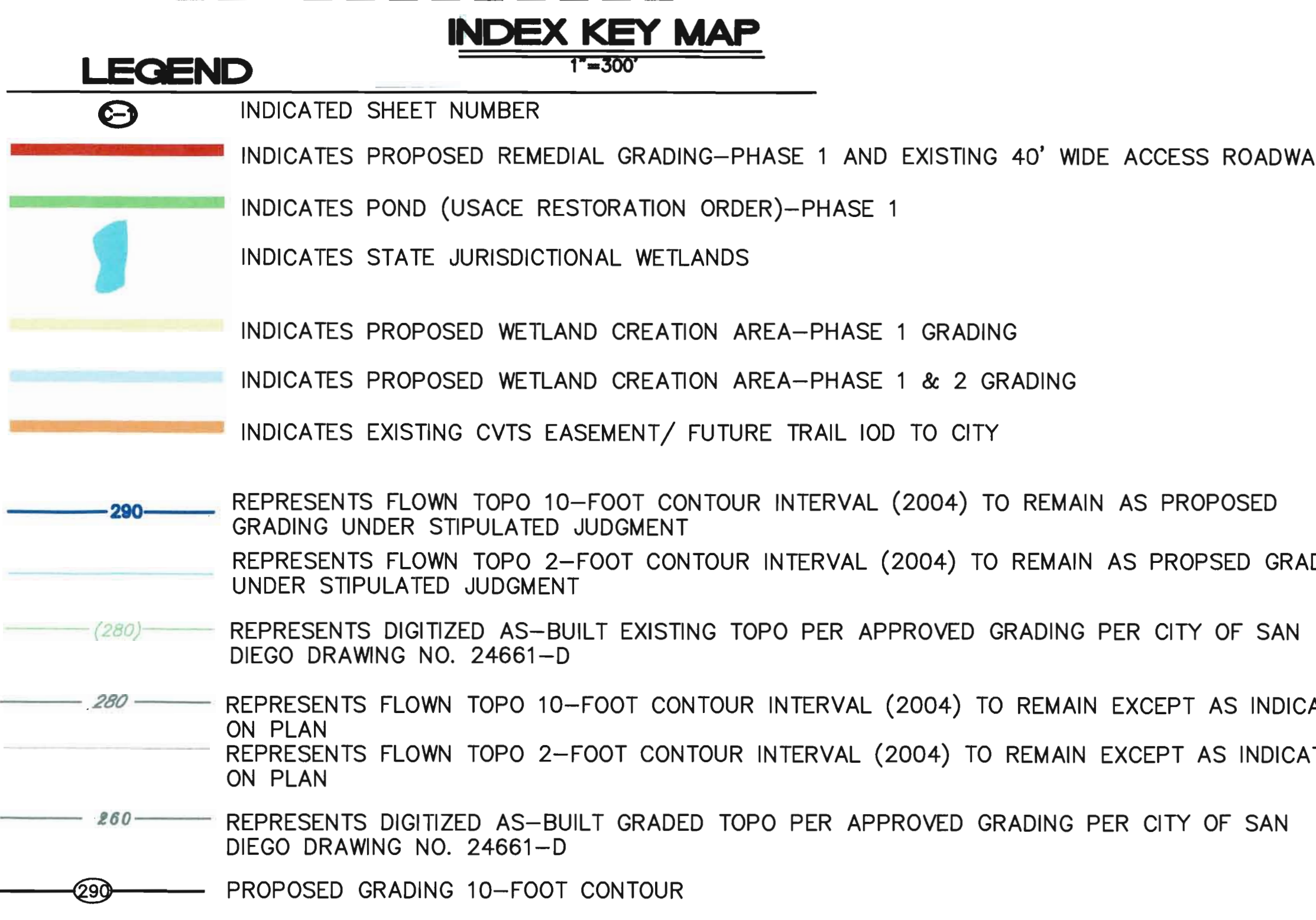
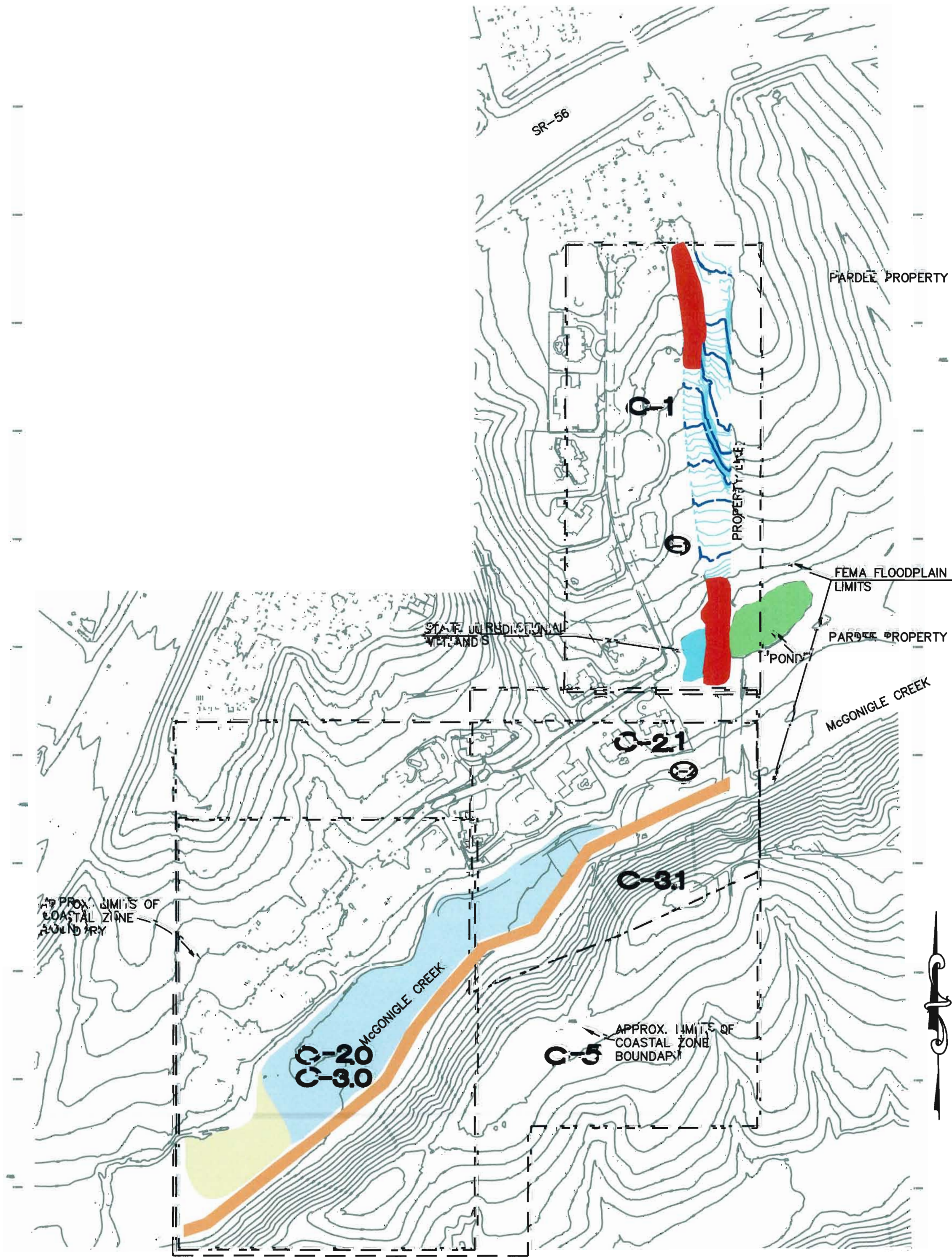
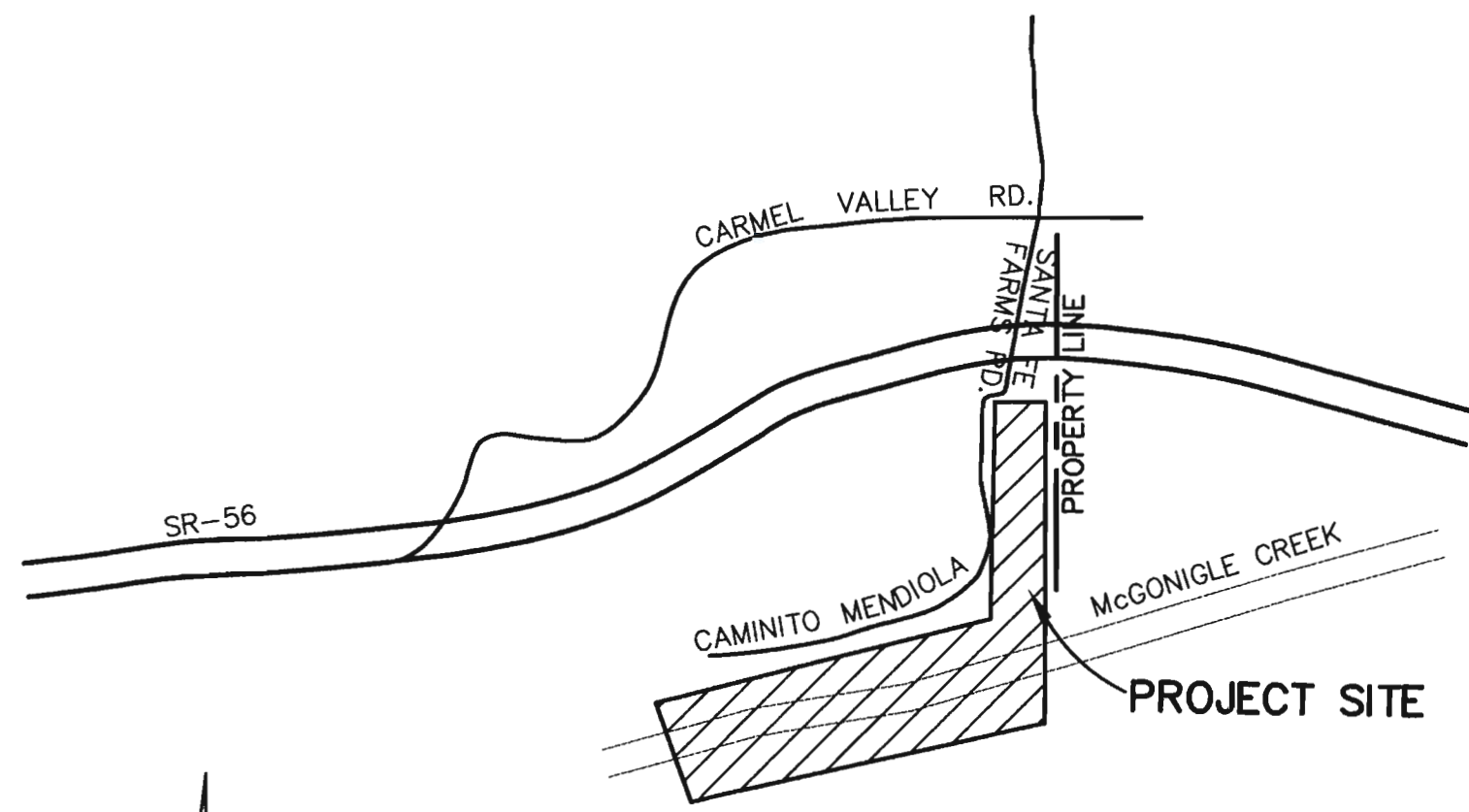
HORTICULTURAL NURSERY NOTE:

- 1. ONLY PLANTS ARE PERMITTED TO BE SOLD ON THE PREMISES (A.P.Ns 305-021-33 & 305-060-21). 75% OF WHICH MUST BE GROWN ON THE PREMISES. THE ONLY BUILDINGS PERMITTED ON THE PREMISES ARE GREENHOUSES, MAINTENANCE EQUIPMENT STORAGE BUILDINGS, AND ONE BUILDING WITH A MAXIMUM AREA OF 300 SQUARE- FEET FOR SALES TRANSACTIONS.
2. ALL PRE-EXISTING STRUCTURES WITHIN 100 FEET OF NATIVE OR NATURALIZED VEGETATION SHALL COMPLY WITH THE BRUSH MANAGEMENT REGULATIONS SET FORTH IN SECTION 142.0412, LDC AND THE FBP POLICY 08-08-1, PRE-EXISTING STRUCTURES.

PALEONTOLOGY NOTE:

- 1. DUE TO THE SIZE OF THIS PROJECT GRADING DISTURBANCE, PALEONTOLOGICAL MONITORING MAY BE REQUIRED DURING GRADING.

RANCHO DEL SOL STIPULATED JUDGMENT SDP FOR GIC No. 801949 PRELIMINARY GRADING PLAN TITLE SHEET



WORK TO BE DONE

THE IMPROVEMENTS CONSIST OF THE FOLLOWING WORK TO BE DONE ACCORDING TO THESE PLANS, AND THE SPECIFICATIONS AND STANDARD DRAWINGS OF THE CITY OF SAN DIEGO.

STANDARD SPECIFICATIONS

Table with columns: DOCUMENT NO., DESCRIPTION. Lists specifications for Public Works Construction (Greenbook, 2012 Edition) and California Department of Transportation Manual of Uniform Traffic Control Devices (2012 Edition).

STANDARD DRAWINGS

Table with columns: DOCUMENT NO., DESCRIPTION. Lists standard drawings for Public Works Construction (2012 Edition) and California Department of Transportation Customary Standard Plans (2010 Edition).

PROPOSED IMPROVEMENTS STD. DWG.

Table mapping proposed improvements to standard drawing numbers. Includes symbols for property boundary, contours, spot elevations, grading, fill slopes, swales, headwalls, riprap, and sewer laterals.

PERMANENT POST-CONSTRUCTION BMP NOTES

- 1. OPERATION AND MAINTENANCE SHALL BE SECURED BY AN EXECUTED AND RECORDED STORM WATER MANAGEMENT AND DISCHARGE CONTROL MAINTENANCE AGREEMENT (SWMDCMA), OR ANOTHER MECHANISM APPROVED BY THE CITY ENGINEER, THAT ASSURES ALL PERMANENT BMP'S WILL BE MAINTAINED IN PERPETUITY, PER THE LAND DEVELOPMENT MANUAL, STORM WATER STANDARDS.
2. PERMANENT POST CONSTRUCTION BMP DEVICES SHOWN ON PLAN SHALL NOT BE MOVED OR MODIFIED WITHOUT THE APPROVAL OF THE CITY ENGINEER OR RESIDENT ENGINEER AND THE ENGINEER OF WORK.

EROSION AND SEDIMENT CONTROL NOTES

- TEMPORARY EROSION/SEDIMENT CONTROL, PRIOR TO COMPLETION OF FINAL IMPROVEMENTS, SHALL BE PERFORMED BY THE CONTRACTOR OR QUALIFIED PERSON AS INDICATED BELOW:
1. ALL REQUIREMENTS OF THE CITY OF SAN DIEGO "LAND DEVELOPMENT MANUAL, STORM WATER STANDARDS" MUST BE INCORPORATED INTO THE DESIGN AND CONSTRUCTION OF THE PROPOSED GRADING/IMPROVEMENTS CONSISTENT WITH THE APPROVED STORM WATER POLLUTION PREVENTION PLAN (SWPPP) AND/OR WATER POLLUTION CONTROL PLAN (WPCP) FOR CONSTRUCTION LEVEL BMP'S AND FOR PERMANENT POST CONSTRUCTION TREATMENT CONTROL PERMANENT BMP'S, THE WATER QUALITY TECHNICAL REPORT (WQTR) IF APPLICABLE.
2. FOR STORM DRAIN INLETS, PROVIDE A GRAVEL BAG SILT BASIN IMMEDIATELY UPSTREAM OF INLET AS INDICATED ON DETAILS.
3. FOR INLETS LOCATED AT SWMP'S ADJACENT TO TOP OF SLOPES, THE CONTRACTOR SHALL ENSURE THAT WATER DRAINING TO THE SWMP IS DIRECTED INTO THE INLET AND THAT A MINIMUM OF 1.00' FREEBOARD EXISTS AND IS MAINTAINED ABOVE THE TOP OF THE INLET. IF FREEBOARD IS NOT PROVIDED BY GRADING SHOWN ON THESE PLANS, THE CONTRACTOR SHALL PROVIDE IT VIA TEMPORARY MEASURES, I.E. GRAVEL BAGS OR DIKES.
4. THE CONTRACTOR OR QUALIFIED PERSON SHALL BE RESPONSIBLE FOR CLEANUP OF SILT AND MUD ON ADJACENT STREET(S) AND STORM DRAIN SYSTEM DUE TO CONSTRUCTION ACTIVITY.
5. THE CONTRACTOR OR QUALIFIED PERSON SHALL CHECK AND MAINTAIN ALL LINED AND UNLINED DITCHES AFTER EACH RAINFALL.
6. THE CONTRACTOR SHALL REMOVE SILT AND DEBRIS AFTER EACH MAJOR RAINFALL.
7. EQUIPMENT AND WORKERS FOR EMERGENCY WORK SHALL BE MADE AVAILABLE AT ALL TIMES DURING THE RAINY SEASON. ALL NECESSARY MATERIALS SHALL BE STOCKPILED ON SITE AT CONVENIENT LOCATIONS TO FACILITATE RAPID CONSTRUCTION OF TEMPORARY DEVICES WHEN RAIN IS IMMINENT.
8. THE CONTRACTOR SHALL RESTORE ALL EROSION/SEDIMENT CONTROL DEVICES TO WORKING ORDER TO THE SATISFACTION OF THE CITY ENGINEER OR RESIDENT ENGINEER AFTER EACH RUN-OFF PRODUCING RAINFALL.
9. THE CONTRACTOR SHALL INSTALL ADDITIONAL EROSION/SEDIMENT CONTROL MEASURES AS MAY BE REQUIRED BY THE RESIDENT ENGINEER DUE TO UNCOMPLETED GRADING OPERATIONS OR UNFORESEEN CIRCUMSTANCES, WHICH MAY ARISE.
10. THE CONTRACTOR SHALL BE RESPONSIBLE AND SHALL TAKE NECESSARY PRECAUTIONS TO PREVENT PUBLIC TRESPASS ONTO AREAS WHERE IMPOUNDED WATERS CREATE A HAZARDOUS CONDITION.
11. ALL EROSION/SEDIMENT CONTROL MEASURES PROVIDED PER THE APPROVED GRADING PLAN SHALL BE INCORPORATED HEREON. ALL EROSION/SEDIMENT CONTROL FOR INTERIM CONDITIONS SHALL BE DONE TO THE SATISFACTION OF THE RESIDENT ENGINEER.
12. GRADED AREAS AROUND THE PROJECT PERIMETER MUST DRAIN AWAY FROM THE FACE OF THE SLOPE AT THE CONCLUSION OF EACH WORKING DAY.
13. ALL REMOVABLE PROTECTIVE DEVICES SHOWN SHALL BE IN PLACE AT THE END OF EACH WORKING DAY WHEN RAIN IS IMMINENT.
14. THE CONTRACTOR SHALL ONLY GRADE, INCLUDING CLEARING AND GRUBBING FOR THE AREAS FOR WHICH THE CONTRACTOR OR QUALIFIED PERSON CAN PROVIDE EROSION/SEDIMENT CONTROL MEASURES.
15. THE CONTRACTOR SHALL ARRANGE FOR WEEKLY MEETINGS DURING OCTOBER 1ST TO APRIL 30TH FOR PROJECT TEAM (GENERAL CONTRACTOR, QUALIFIED PERSON, EROSION CONTROL SUBCONTRACTOR IF ANY, ENGINEER OF WORK, OWNER/DEVELOPER AND THE RESIDENT ENGINEER) TO EVALUATE THE ADEQUACY OF THE EROSION/SEDIMENT CONTROL MEASURES AND OTHER RELATED CONSTRUCTION ACTIVITIES.

MINIMUM POST-CONSTRUCTION MAINTENANCE PLAN

AT THE COMPLETION OF THE WORK SHOWN, THE FOLLOWING PLAN SHALL BE FOLLOWED TO ENSURE WATER QUALITY CONTROL IS MAINTAINED FOR THE LIFE OF THE PROJECT:

- 1. STABILIZATION: ALL PLANTED SLOPES AND OTHER VEGETATED AREAS SHALL BE INSPECTED PRIOR TO OCTOBER 1 OF EACH YEAR AND AFTER MAJOR RAINFALL EVENTS (MORE THAN 1/2 INCH) AND REPAIRED AND REPLANTED AS NEEDED UNTIL A NOTICE OF TERMINATION (NOT) IS FILED.
2. STRUCTURAL PRACTICES: DESILTING BASINS, DIVERSION DITCHES, DOWNDRAINS, INLETS, OUTLET PROTECTION MEASURES, AND OTHER PERMANENT WATER QUALITY AND SEDIMENT AND EROSION CONTROLS SHALL BE INSPECTED PRIOR TO OCTOBER 1ST OF EACH YEAR AND AFTER MAJOR RAINFALL EVENTS (MORE THAN 1/2 INCH). REPAIRS AND REPLACEMENTS SHALL BE MADE AS NEEDED AND RECORDED IN THE MAINTENANCE LOG IN PERPETUITY.
3. OPERATION AND MAINTENANCE: FUNDING, POST-CONSTRUCTION MANAGEMENT MEASURES ARE THE RESPONSIBILITY OF THE DEVELOPER UNTIL THE TRANSFER OF RESPECTIVE SITES TO HOME BUILDERS, INDIVIDUAL OWNERS, HOMEOWNERS ASSOCIATIONS, SCHOOL DISTRICTS, OR LOCAL AGENCIES AND/OR GOVERNMENTS. AT THAT TIME, THE NEW OWNERS SHALL ASSUME RESPONSIBILITY FOR THEIR RESPECTIVE PORTIONS OF THE DEVELOPMENT.

CONSTRUCTION BMP NOTES:

- 1. PRIOR TO ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITEE SHALL INCORPORATE ANY CONSTRUCTION BEST MANAGEMENT PRACTICES NECESSARY TO COMPLY WITH CHAPTER 14, ARTICLE 2, DIVISION 1 (GRADING REGULATIONS) OF THE MUNICIPAL CODE, INTO THE CONSTRUCTION PLANS OR SPECIFICATIONS
2. PRIOR TO ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITEE SHALL SUBMIT A WATER POLLUTION CONTROL PLAN (WPCP). THE WPCP SHALL BE PREPARED IN ACCORDANCE WITH THE GUIDELINES IN APPENDIX E OF THE CITY'S STORM WATER STANDARDS.

Exhibit "A" Approved 11.20.14 (date) Permit No. SDP 260724

Professional Engineer seal for Mark A. Farrington, No. 38114, Exp. 03/31/15. Includes project information: Prepared by Farrington Engineering, 11679 Via Firul, San Diego, CA 92128. Project address: XXXXX Rancho Santa Fe Farms Road, San Diego, CA 92130. Project name: Rancho Del Sol. Sheet title: Preliminary Grading Plan Title Sheet. Date: 10-23-14.