

THE CITY OF SAN DIEGO

NOTICE OF PUBLIC MEETING

This is to inform you that the **La Jolla Shores Planned District Advisory Board** will be conducting a public meeting to consider recommending approval, conditional approval, or denial of the development project(s) listed below:

DATE OF MEETING: May 16th, 2016 TIME OF MEETING: 11:00 AM

LOCATION OF MEETING: 615 Prospect Street, Room 1, La Jolla, CA 92037

1. CALL TO ORDER

2. APPROVAL OF THE AGENDA

3. APPROVAL OF THE MINUTES

4. PUBLIC COMMENT

5. PROJECT REVIEW

AC.	TION ITEMS	
	Project	PTS 480473 –Dunaway Addition aka "Lerner Residence"
	Location	8676 Dunaway Drive APN: 344-113-0900
Α.	Description	Combination building permit for an addition to an existing single-family residence on an 8,394.20 sf. lot. Additional Project Details: Existing first floor: 1,904 sf. Existing Garage, 498 sf. Total existing building: 2,402 sf Proposed addition to first floor: 587 sf Proposed addition to second floor: 775 sf Total proposed addition: 1,362 sf Maximum lot coverage: 60% Total proposed lot coverage: 2,989 sf
	A 12 4	Proposed building height: 25'4"
	Applicant	Siavash Khajezadeh (Architect)
	Project Contact	Siavash Khajezadeh, Design Lead, Architects, <u>siavash@designlead.com</u> , (858) 459-6114
	City Contact	Jim Combs, <u>JCombs@sandiego.gov</u> , 619-446-5205

This information will be made available in alternative formats upon request. To request an agenda in alternative format, request a sign language or oral interpreter, or an Assistive Listening Devices (ALD's) for the meeting, call the Community Services Program at 236-6077 at least five working days prior to the meeting to ensure availability.

AC	TION ITEMS (Co	ontinued)
	Project	PTS 479729 – Nelson Addition/Remodel
	Location	2687 Caminito Prado APN: 346-560-4400
В.	Description	Combination permit for an addition and remodel to existing single-story single-family residence on a 10,798 sf lot. Additional Project Details: Existing residence: 2,624 sf. Existing garage: 585 sf. Total existing building: 3,209 sf Proposed addition to living room in the front: 257 sf. Proposed addition to second floor (master suite and bath): 854 sf. Total proposed addition: 1,111 sf Total proposed additions, existing residence & garage: 4,320 sf. Maximum allowed FAR is 6,478 sf. Proposed height from finished grade: 23'7 3/8"
	Applicant	Arnold Garza
	Project Contact	Arnold Garza, Jackson Design & Remodeling, arnold@jacksondesignandremodeling.com, (619) 442-6125 ext. 336
	City Contact	Justy Kozachenko, JKozachenko@sandiego.gov, (619) 446-5239
	Project	PTS 460884 – Costebelle Residence
	Location	2702 Costebelle Drive APN: 346-610-1000
C.	Description	Site Development Permit to remodel and add a 7,195 sf second story addition and 3,059 sf below grade basement to an existing 2,339 sf one story residence on a 0.45-acre site. Additional Project Details: Applicant to provide during the meeting.
	Applicant	Ryan Farhood
	Project Contact	Ryan Farhood, <u>Farhood.ryan@gmail.com</u> , (858) 205-4112
	City Contact	Edith Gutierrez, EGutierrez@sandiego.gov, (619) 446-5147

The meeting of the La Jolla Shores Advisory Board is to hear presentations and public testimony on development projects and provide recommendations to the City's decision maker. The final project decision is made by Staff, Hearing Officer, Planning Commission, or City Council to approve, approve with conditions or deny the projects listed above. If you wish to be notified of this public hearing you must submit a request in writing to the Project Manager (City Contact listed above) at the following address: City of San Diego, Development Services Department, 1222 First Avenue, MS 501, San Diego, CA 92101.

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The agenda and minutes distributions are via email and will additionally be posted to the LJSPDAB webpage at http://www.sandiego.gov/planning/community/profiles/lajolla/pddoab.shtml . To request inclusion or removal from the distribution list please email the City Planner at mpangilinan@sandiego.gov with your request.

Marlon I. Pangilinan, Senior Planner Planning Department 1010 Second Avenue Suite 1100 MS-413 San Diego CA 92101 619-235-5293 www.sandiego.gov/planning

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To Whom It May Concern:

The Azure Coast Unit I Committee has had an opportunity to individually and collectively review the proposed demolition and residential construction project on 2702 Costebelle Dr.. Committee members have taken the opportunity to review the proposed plans (including architectural renderings of the anticipated structure that included vertical perspectives), had an opportunity to evaluate story pole representations, and discussed with neighbors who's views of the ocean might potentially be affected by the anticipated construction.

The Azure Coast Unit I Committee, has formed a consensus that the proposed residential construction complies with our Azure Coast Unit I "Declaration of Restrictions" (amended). This letter is intended to provide you with a written notification of the Azure Coast Unit I Committee's determination.

Sincerely,

Steven Wright

Committee Chair

On Behalf of Azure Coast Unit I Committee

James Marino, Neal Wichard, Ben Iben, Jeffrey Marks, and Steven Wright

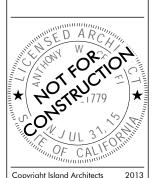
OUTSIDE DIAMETER

O.D.

CURRENT INTERUPTER

AND
ARCHITECTS

RSON, R.A. | TONY CRISAFI, R.A.



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JOB #: 2015.140

DRAWN BY: Author

PROJ. MGR.: Checker

DATE: ISSUE:

Date: 1st Bldg. Submittal

11/20/15 SINGLE DISCIPLINE REVIEW

12/09/15 SDP FIRST SUBMITTAL

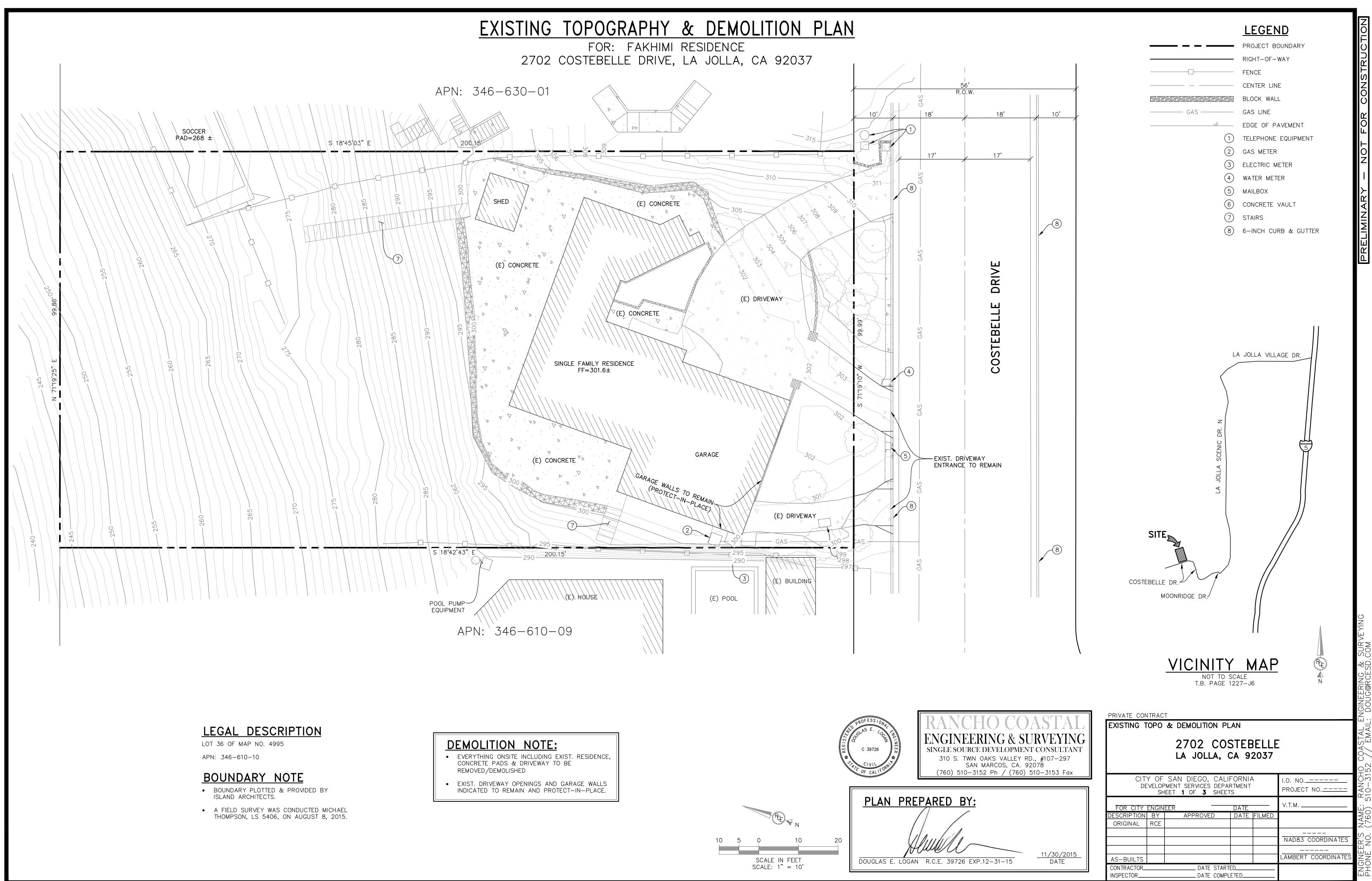
REVISIONS DATE

702 COSTEBELLE DRI., LA JOLLA, CA 92037

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TITLE SHEET

12/09/2015



2nd FLOOR=313.0 FF 1st FLOOR=301.0 FF

PAD=300.3 FG

(E) POOL

(E) BUILDING

SCALE IN FEET

SCALE: 1" = 10'

-PROPOSED BUILDING

POOL & SPA

NOT-A-PART

SLOPED PLANTER_

-290 200.15'

(E) HOUSE

APN: 346-619-09

RETAINING WALL NOTE:

GRADING (TYP.)

- ATW = ARCHITECTURAL TOP OF WALL (NON-RETAINING PORTION).
- TW = FINISH GRADE @ TOP OF RETAINING PORTION.
- BW = FINISH GRADE @ BOTTOM OF RETAINING PORTION.
 NOT TOP OF FOOTING.

WEEP SCREED NOTE:

 BOTTOM OF WEEP SCREED TO BE A MINIMUM OF 6" ABOVE FINISHED LANDSCAPE AREAS & 2" ABOVE HARDSCAPE AREAS. THIS NOTE TO SUPERCEDE ELEVATIONS SHOWN ON PLANS SHOULD THERE BE ANY CONFLICT.

DRAINAGE NOTES

- ALL PLANTERS TO HAVE AREA DRAINS THAT TIE INTO MAIN DRAINAGE SYSTEM.
- ALL ROOF & HARDSCAPE AREAS TO DRAIN INTO INFILTRATION BASIN.

EARTHWORK QUANTITIES

CUT = 1,890 C.Y.

FILL = <u>190</u> C.Y.

EXPORT = 1,700 C.Y.

EXPORT = <u>1,700</u> (

EARTHWORK QUANTITIES ARE CALCULATED ON A THEORETICAL BASIS ONLY AND DO NOT INCLUDE VOLUMES FOR CLEARING/GRUBBING, SHRINKAGE AND/OR SWELLING WHICH CAN/WILL INEVITABLY AFFECT THESE QUANTITIES.

POOL PUMP

EQUIPMENT

EARTHWORK NOTE:

THE QUANTITIES OF CUT/FILL SHOWN HEREON WERE CALCULATED USING REASONABLE ENGINEERING METHODS. THE QUANTITIES ESTIMATED ARE FOR USE IN CALCULATING THE FEES AND BONDS REQUIRED BY THE PUBLIC AGENCY, NOT TO BE USED FOR JOB BIDDING PURPOSES. ACTUAL QUANTITIES MAY VARY DUE TO SHRINKAGE OR SWELL FACTORS AND THE RECOMMENDATIONS OF SOIL ENGINEER.

BOUNDARY NOTE & SUVEY NOTES

- BOUNDARY PLOTTED & PROVIDED BY ISLAND ARCHITECTS.
- A FIELD SURVEY WAS CONDUCTED MICHAEL THOMPSON, LS 5406, ON AUGUST 8, 2015.



RANCHO COASTAL
ENGINEERING & SURVEYING
SINGLE SOURCE DEVELOPMENT CONSULTANT

310 S. TWIN OAKS VALLEY RD., #107-297 SAN MARCOS, CA. 92078 (760) 510-3152 Ph / (760) 510-3153 Fax

PLAN PREPARED BY:

DOUGLAS E. LOGAN R.C.E. 39726 EXP.12–31–15

DATE

307.0 ATW

300.5 BW

307.0 ATW

(301.0 TW) 299.5 BW

307.0 ATW

(299.0 TW) 0 299.0 BW

PRELIMINARY GRADING & DRAINAGE PLAN FOR:

SURVEYING
MENT CONSULTANT
EY RD., #107-297

PRELIMINARY GRADING & DRAINAGE PLAN FOR:

2702 COSTEBELLE
LA JOLLA, CA 92037

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FOR CITY	ENGIN	EER	_	DATE	_	V.T.M
DESCRIPTION	BY	APPI	ROVED	DATE	FILMED	
ORIGINAL	RCE					
						NAD83 COORDINATES
AS-BUILTS						LAMBERT COORDINATES
CONTRACTOR_			DATE STAI	RTED		
INSPECTOR			DATE COM	PLETED		

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11/30/2015 9:47 AM

EROSION AND SEDIMENT CONTROL NOTES

TEMPORARY EROSION/SEDIMENT CONTROL, PRIOR TO COMPLETION OF FINAL IMPROVEMENTS, SHALL BE PERFORMED BY THE CONTRACTOR OR QUALIFIED PERSON AS INDICATED BELOW:

- 1. ALL REQUIREMENTS OF THE CITY OF SAN DIEGO "LAND DEVELOPMENT MANUAL, STORM WATER STANDARDS" MUST BE INCORPORATED INTO THE DESIGN AND CONSTRUCTION OF THE PROPOSED GRADING/IMPROVEMENTS CONSISTENT WITH THE APPROVED STORM WATER POLLUTION PREVENTION PLAN (SWPPP) AND/OR WATER POLLUTION CONTROL PLAN (WPCP) FOR CONSTRUCTION LEVEL BMP'S AND FOR PERMANENT POST CONSTRUCTION TREATMENT CONTROL PERMANENT BMP'S, THE WATER QUALITY TECHNICAL REPORT (WQTR) IF APPLICABLE.
- 2. FOR STORM DRAIN INLETS, PROVIDE A GRAVEL BAG SILT BASIN IMMEDIATELY UPSTREAM OF INLET AS INDICATED ON DETAILS.
- 3. FOR INLETS LOCATED AT SUMPS ADJACENT TO TOP OF SLOPES, THE CONTRACTOR SHALL ENSURE THAT WATER DRAINING TO THE SUMP IS DIRECTED INTO THE INLET AND THAT A MINIMUM OF 1.00' FREEBOARD EXISTS AND IS MAINTAINED ABOVE THE TOP OF THE INLET. IF FREEBOARD IS NOT PROVIDED BY GRADING SHOWN ON THESE PLANS, THE CONTRACTOR SHALL PROVIDE IT VIA TEMPORARY MEASURES, I.E. GRAVEL BAGS OR DIKES.
- 4. THE CONTRACTOR OR QUALIFIED PERSON SHALL BE RESPONSIBLE FOR CLEANUP OF SILT AND MUD ON ADJACENT STREET(S) AND STORM DRAIN SYSTEM DUE TO CONSTRUCTION ACTIVITY.
- 5. THE CONTRACTOR OR QUALIFIED PERSON SHALL CHECK AND MAINTAIN ALL LINED AND UNLINED DITCHES AFTER EACH RAINFALL.
- 6. THE CONTRACTOR SHALL REMOVE SILT AND DEBRIS AFTER EACH MAJOR RAINFALL.
- 7. EQUIPMENT AND WORKERS FOR EMERGENCY WORK SHALL BE MADE AVAILABLE AT ALL TIMES DURING THE RAINY SEASON. ALL NECESSARY MATERIALS SHALL BE STOCKPILED ON SITE AT CONVENIENT LOCATIONS TO FACILITATE RAPID CONSTRUCTION OF TEMPORARY DEVICES WHEN RAIN IS IMMINENT.
- 8. THE CONTRACTOR SHALL RESTORE ALL EROSION/SEDIMENT CONTROL DEVICES TO WORKING ORDER TO THE SATISFACTION OF THE CITY ENGINEER OR RESIDENT ENGINEER AFTER EACH RUN-OFF PRODUCING RAINFALL.
- 9. THE CONTRACTOR SHALL INSTALL ADDITIONAL EROSION/SEDIMENT CONTROL MEASURES AS MAY BE REQUIRED BY THE RESIDENT ENGINEER DUE TO UNCOMPLETED GRADING OPERATIONS OR UNFORESEEN CIRCUMSTANCES, WHICH MAY ARISE
- 10. THE CONTRACTOR SHALL BE RESPONSIBLE AND SHALL TAKE NECESSARY PRECAUTIONS TO PREVENT PUBLIC TRESPASS ONTO AREAS WHERE IMPOUNDED WATERS CREATE A HAZARDOUS CONDITION.
- 11. ALL EROSION/SEDIMENT CONTROL MEASURES PROVIDED PER THE APPROVED GRADING PLAN SHALL BE INCORPORATED HEREON. ALL EROSION/SEDIMENT CONTROL FOR INTERIM CONDITIONS SHALL BE DONE TO THE SATISFACTION OF THE RESIDENT ENGINEER.
- 12. GRADED AREAS AROUND THE PROJECT PERIMETER MUST DRAIN AWAY FROM THE FACE OF THE SLOPE AT THE CONCLUSION OF EACH WORKING DAY.
- 13. ALL REMOVABLE PROTECTIVE DEVICES SHOWN SHALL BE IN PLACE AT THE END OF EACH WORKING DAY WHEN RAIN IS IMMINENT.
- 14. THE CONTRACTOR SHALL ONLY GRADE, INCLUDING CLEARING AND GRUBBING FOR THE AREAS FOR WHICH THE CONTRACTOR OR QUALIFIED PERSON CAN PROVIDE EROSION/SEDIMENT CONTROL MEASURES.
- 15. THE CONTRACTOR SHALL ARRANGE FOR WEEKLY MEETINGS DURING OCTOBER 1ST TO APRIL 30TH FOR PROJECT TEAM (GENERAL CONTRACTOR, QUALIFIED PERSON, EROSION CONTROL SUBCONTRACTOR IF ANY, ENGINEER OF WORK, OWNER/DEVELOPER AND THE RESIDENT ENGINEER) TO EVALUATE THE ADEQUACY OF THE EROSION/SEDIMENT CONTROL MEASURES AND OTHER RELATED CONSTRUCTION ACTIVITIES.

MINIMUM POST—CONSTRUCTION MAINTENANCE

AT THE COMPLETION OF THE WORK SHOWN, THE FOLLOWING PLAN SHALL BE FOLLOWED TO ENSURE WATER QUALITY CONTROL IS MAINTAINED FOR THE LIFE OF THE PROJECT:

- 1. STABILIZATION: ALL PLANTED SLOPES AND OTHER VEGETATED AREAS SHALL BE INSPECTED PRIOR TO OCTOBER 1 OF EACH YEAR AND AFTER MAJOR RAINFALL EVENTS (MORE THAN ½ INCH) AND REPAIRED AND REPLANTED AS NEEDED UNTIL A NOTICE OF TERMINATION (NOT) IS FILED.
- 2. STRUCTURAL PRACTICES: DESILTING BASINS, DIVERSION DITCHES, DOWNDRAINS, INLETS, OUTLET PROTECTION MEASURES, AND OTHER PERMANENT WATER QUALITY AND SEDIMENT AND EROSION CONTROLS SHALL BE INSPECTED PRIOR TO OCTOBER 1ST OF EACH YEAR AND AFTER MAJOR RAINFALL EVENTS (MORE THAN ½ INCH). REPAIRS AND REPLACEMENTS SHALL BE MADE AS NEEDED AND RECORDED IN THE MAINTENANCE LOG IN PERPETUITY.
- 3. OPERATION AND MAINTENANCE, FUNDING: POST-CONSTRUCTION MANAGEMENT MEASURES ARE THE RESPONSIBILITY OF THE DEVELOPER UNTIL THE TRANSFER OF RESPECTIVE SITES TO HOME BUILDERS, INDIVIDUAL OWNERS, HOMEOWNERS ASSOCIATIONS, SCHOOL DISTRICTS, OR LOCAL AGENCIES AND/OR GOVERNMENTS. AT THAT TIME, THE NEW OWNERS SHALL ASSUME RESPONSIBILITY FOR THEIR RESPECTIVE PORTIONS OF THE DEVELOPMENT.

PERMANENT POST-CONSTRUCTION BMP NOTES

- 1. OPERATION AND MAINTENANCE SHALL BE SECURED BY AN EXECUTED AND RECORDED STORM WATER MANAGEMENT AND DISCHARGE CONTROL MAINTENANCE AGREEMENT (SWMDCMA), OR ANOTHER MECHANISM APPROVED BY THE CITY ENGINEER, THAT ASSURES ALL PERMANENT BMP'S WILL BE MAINTAINED IN PERPETUITY, PER THE LAND DEVELOPMENT MANUAL, STORM WATER STANDARDS.
- 2. PERMANENT POST CONSTRUCTION BMP DEVICES SHOWN ON PLAN SHALL NOT BE MOVED OR MODIFIED WITHOUT THE APPROVAL OF THE CITY ENGINEER OR RESIDENT ENGINEER AND THE ENGINEER OF WORK.

WATER POLLUTION CONTROL PLAN

BMP LEGEND

DIRECTION OF LOT DRAINAGE \longrightarrow

MATERIALS & WASTE MANAGEMENT CONTROL BMPs

WM-1 MATERIAL DELIVERY & STORAGE
WM-4 SPILL PREVENTION AND CONTROL
WM-8 CONCRETE WASTE MANAGEMENT
WM-5 SOLID WASTE MANAGEMENT

WM-9 SANITARY WASTE MANAGEMENT
WM-6 HAZARDOUS WASTE MANAGEMENT

TEMPORARY RUNOFF CONTROL BMPs

SS-2 PRESERVATION OF EXISTING PEVPEV VEGETATION

SS-4 HYDROSEEDING (SUMMER) ~TSP~TSP~

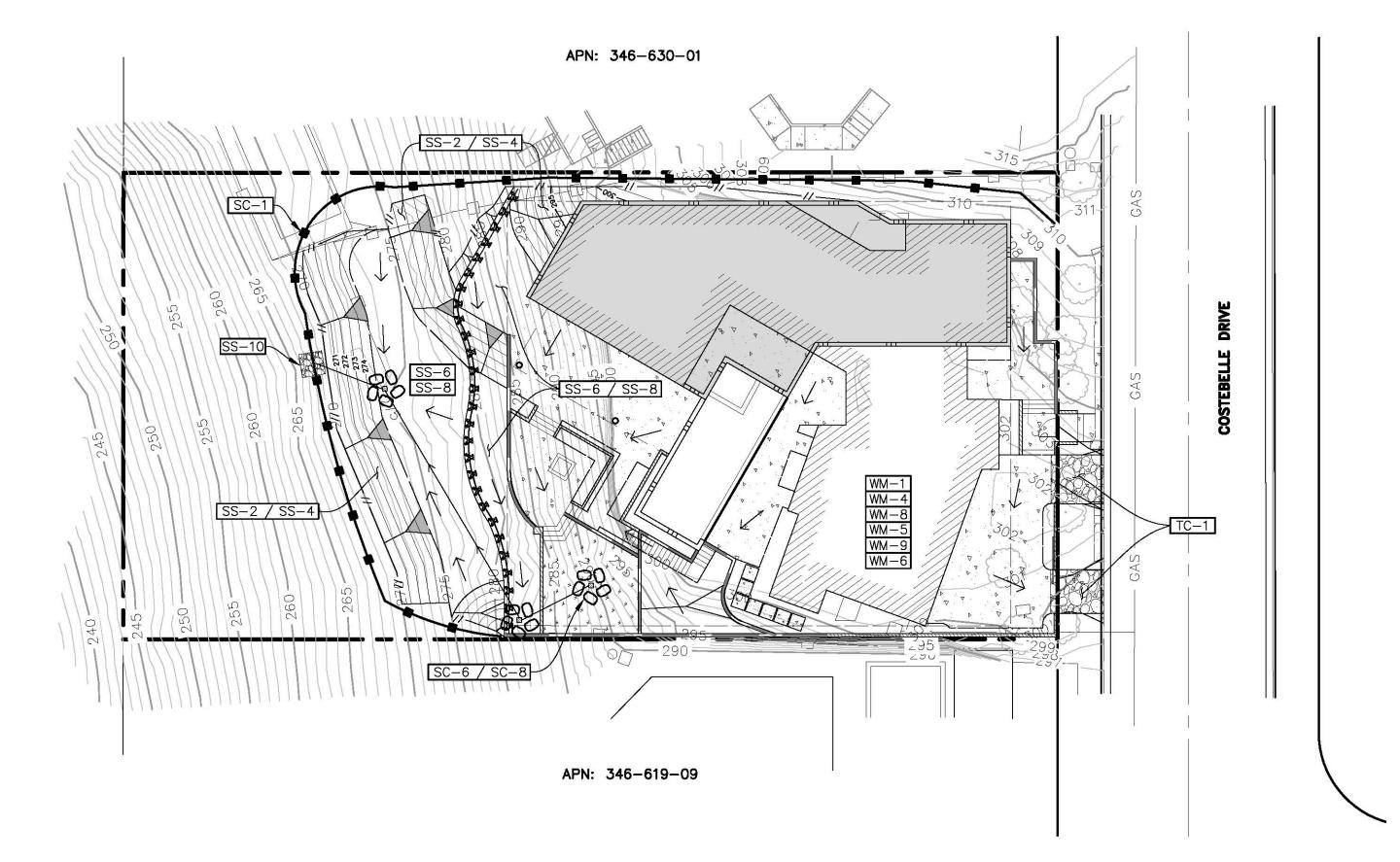
SS-6 / SS-8 STRAW OR WOOD MULCH ~S/W~S/W~

SS-10 ENERGY DISSIPATOR

SC-1 SILT FENCE —

SC-6 SC-8 GRAVEL OR SAND BAGS ∞

TC-1 STABILIZED CONSTRUCTION ENTRANCE





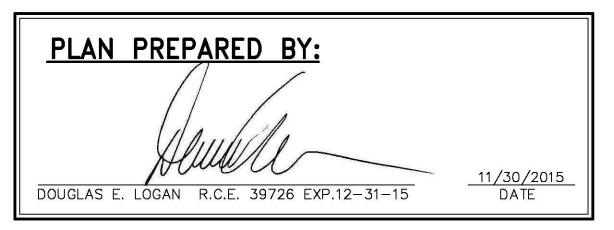
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SCALE IN FEET

SCALE: 1'' = 20'

RANCHO COASTAL ENGINEERING & SURVEYING SINGLE SOURCE DEVELOPMENT CONSULTANT

SINGLE SOURCE DEVELOPMENT CONSULTAN' 310 S. TWIN OAKS VALLEY RD., #107—297 SAN MARCOS, CA. 92078 (760) 510—3152 Ph / (760) 510—3153 Fax



PRIVATE CONTRACT

0700 000750511

WATER POLLUTION CONTROL PLAN FOR:

2702 COSTEBELLE LA JOLLA, CA 92037

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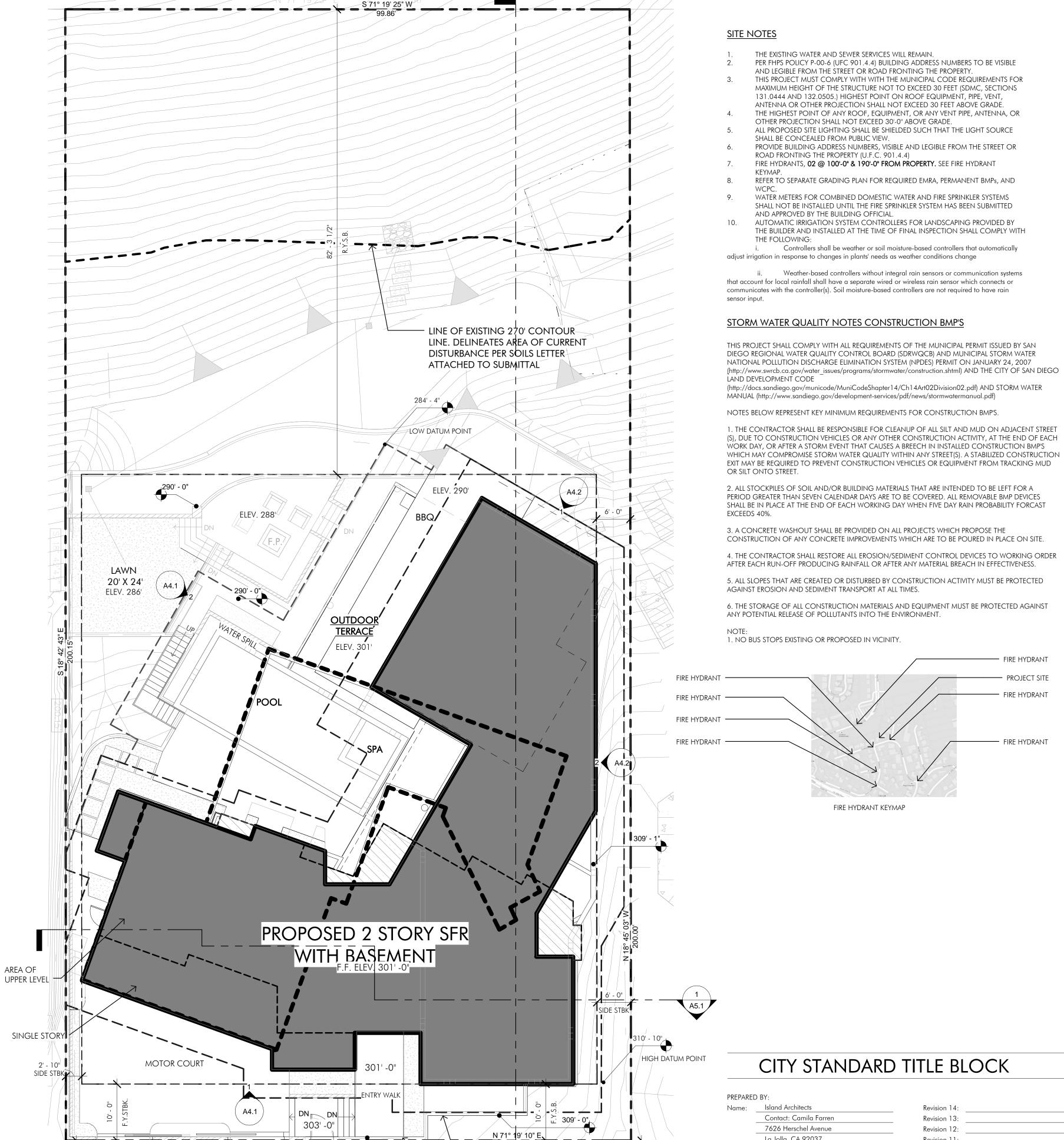
11/30/2015 9:52 AM



NEW CONSTRUCTION WALL

 \square \square \square \square EXISTING WALL TO BE DEMOLISHED

EXISTING WALL TO REMAIN



FIRE HYDRANT KEYMAP

PREPARED	D BY:	
Name:	Island Architects	Revision 14:
	Contact: Camila Farren	Revision 13:
	7626 Herschel Avenue	Revision 12:
	La Jolla, CA 92037	Revision 11:
Phone:	(858) 459-9291	Revision 10:
		Revision 09:
Street Add	dress:	Revision 08:
	2702 Costebelle Dr.	Revision 07:
	La Jolla, CA 92037	Revision 06:
		Revision 05:
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Project No		Revision 03:
	2702 Costebelle Dr	Revision 02:
		Revision 01:

STEBELLE RI., LA JOLLA, CA 92037

JOB #: 2015.140

1st Bldg. Submittal 11/20/15 SINGLE DISCIPLINE REVIEW

12/09/15 SDP FIRST SUBMITTAL

REVISIONS

DESCRIPTION DATE

DRAWN BY: Author

A1.1

SITE PLAN

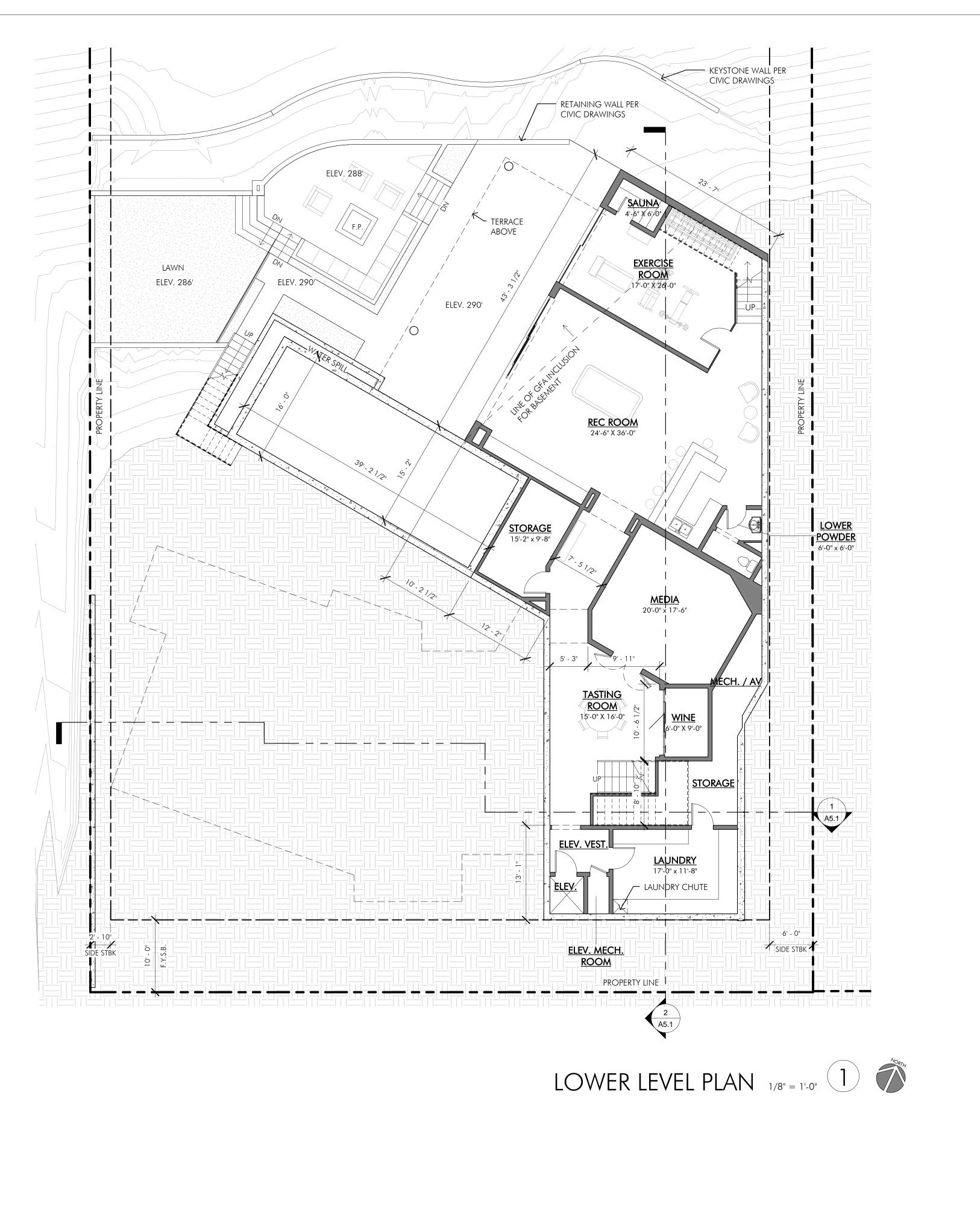
COSTEBELLE DR.

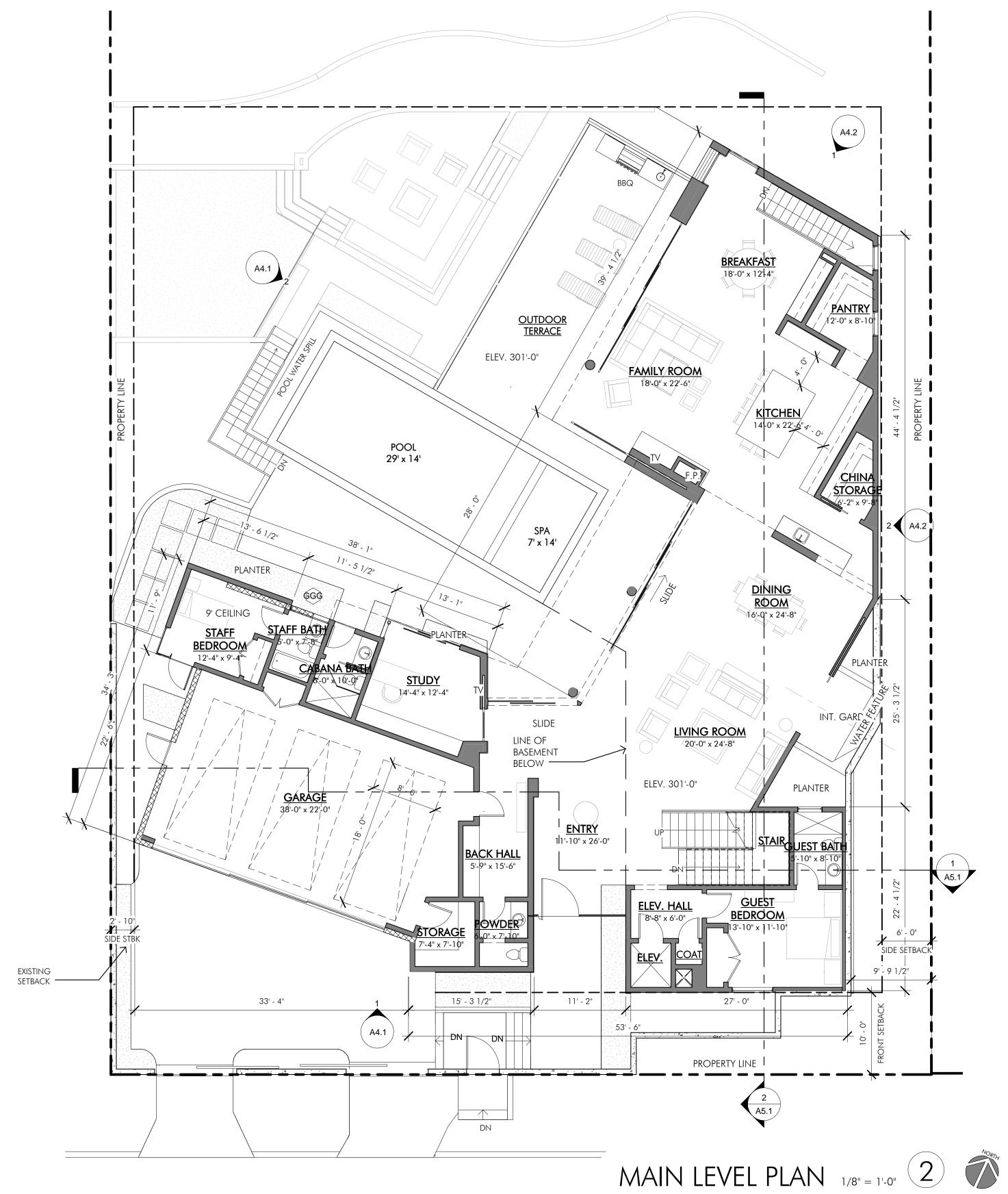
- EXISTING DRIVEWAY CURB CUT TO REMAIN

PROPOSED 5'-0" RETAINING WALLS

SITE PLAN 1" = 10'-0"

12/09/2015





Wall Legend

NEW CONSTRUCTION WALL EXISTING WALL TO REMAIN

 $\square = \square = \square$ Existing wall to be demolished

CITY STANDARD TITLE BLOCK

PREPARE	D BY:	
Name:	Island Architects	Revision 14:
	Contact: Camila Farren	Revision 13:
	7626 Herschel Avenue	Revision 12:
	La Jolla, CA 92037	Revision 11:
Phone:	(858) 459-9291	Revision 10:
		Revision 09:
Street Ad	ldress:	Revision 08:
	2702 Costebelle Dr.	Revision 07:
	La Jolla, CA 92037	Revision 06:
		Revision 05:
Project N	lama	Revision 04:
rrojecii		Revision 03:
	2702 Costebelle Dr	Revision 02:
		Revision 01:
Sheet Titl	le:	Original Date: 12/09/2015

FLOOR PLANS







DRAWN BY: Author

Date: 1st Bldg. Submittal 11/20/15 SINGLE DISCIPLINE REVIEW 12/09/15 SDP FIRST SUBMITTAL

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DESCRIPTION DATE

2 COSTEBELLE

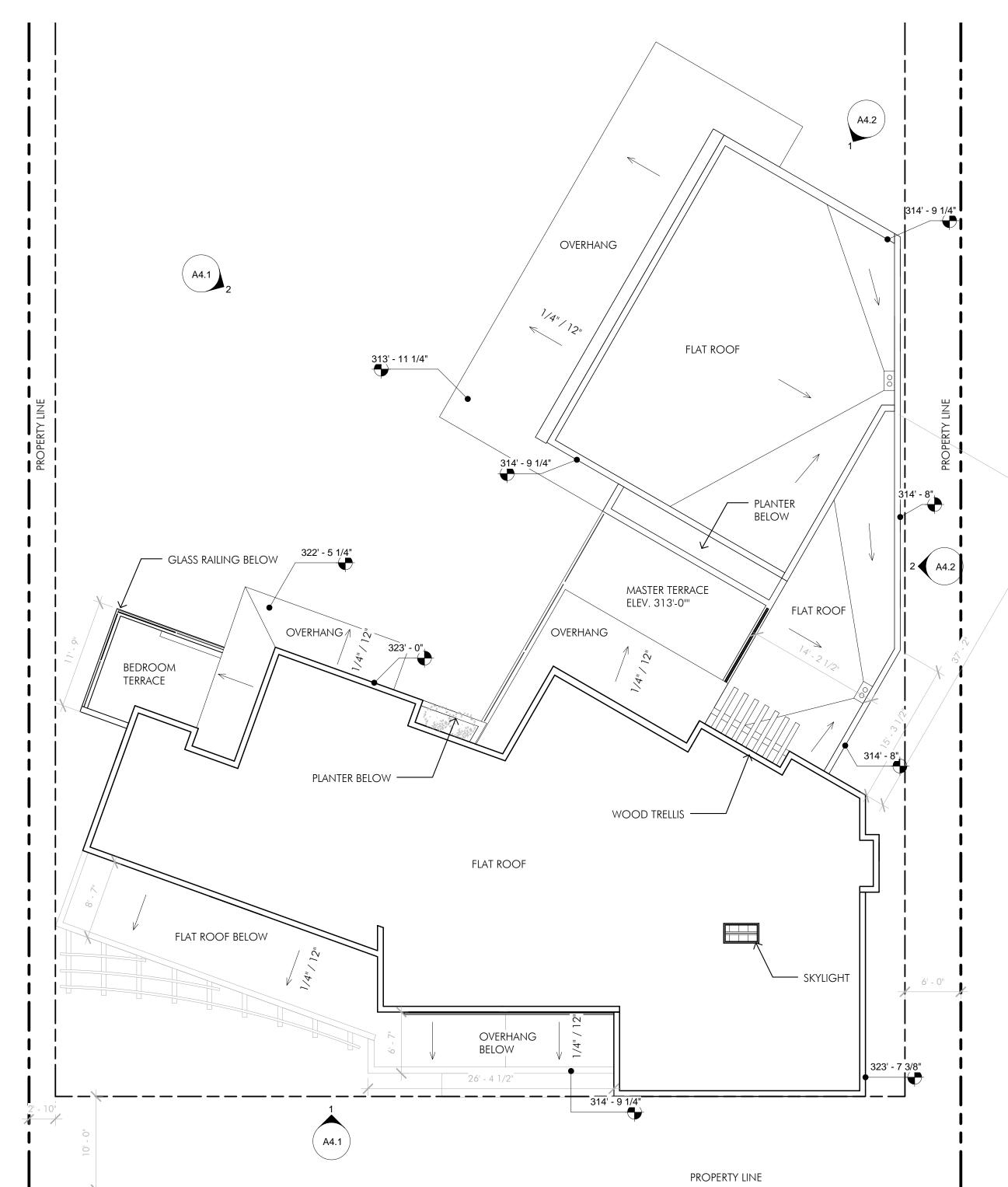
TEBELLE DRI., LA JOLLA, CA 92037

A2.1

FLOOR PLANS

11/20/15





ROOF PLAN 1/8" = 1'-0" 2



<u> Wall Legend</u>

NEW CONSTRUCTION WALL EXISTING WALL TO REMAIN

 \square \square \square \square Existing wall to be demolished

CITY STANDARD TITLE BLOCK

Name:	Island Architects	Revision 14: _			
	Contact: Camila Farren	Revision 13:			
	7626 Herschel Avenue	Revision 12:			
	La Jolla, CA 92037	Revision 11:			
Phone:	(858) 459-9291	Revision 10:			
		Revision 09:			
Street Add	dress:	Revision 08:			
	2702 Costebelle Dr.	Revision 07:			
	La Jolla, CA 92037	Revision 06:			
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	2702 Costebelle Dr	Revision 02:			
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2702 COSTEBELLE DRI., LA JOLLA, CA 92037

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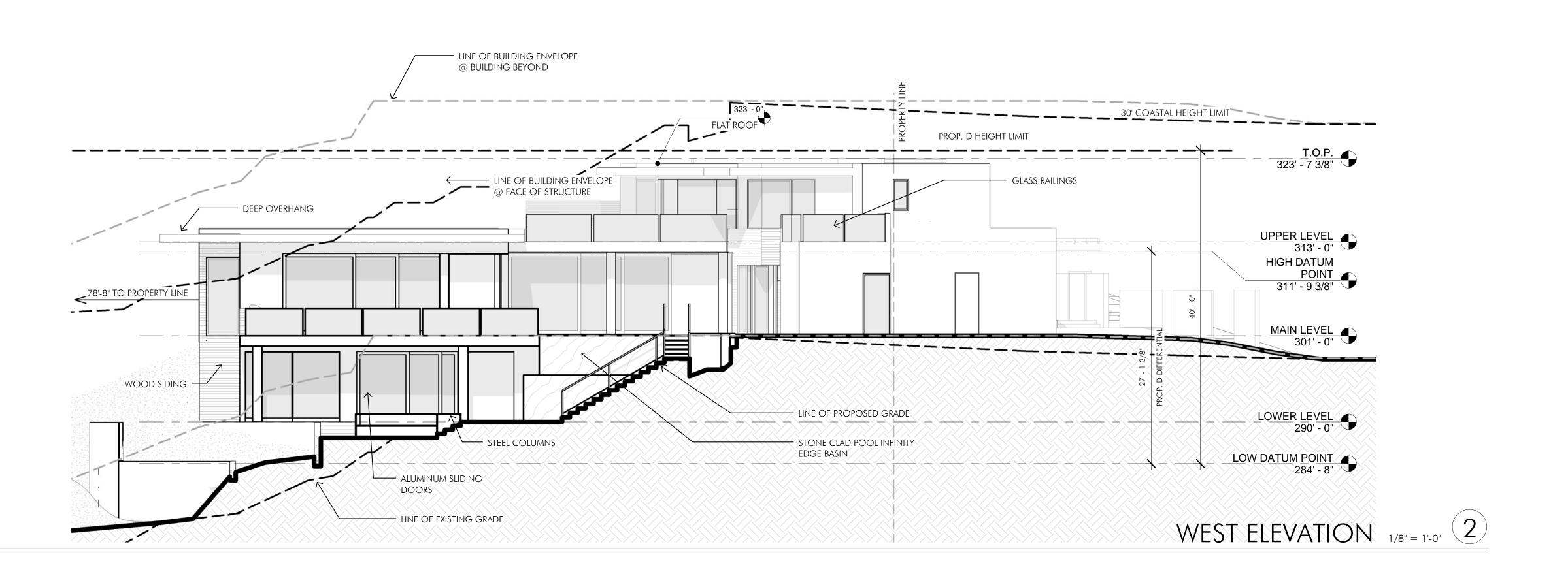
Date: 1st Bldg. Submittal 11/20/15 SINGLE DISCIPLINE REVIEW

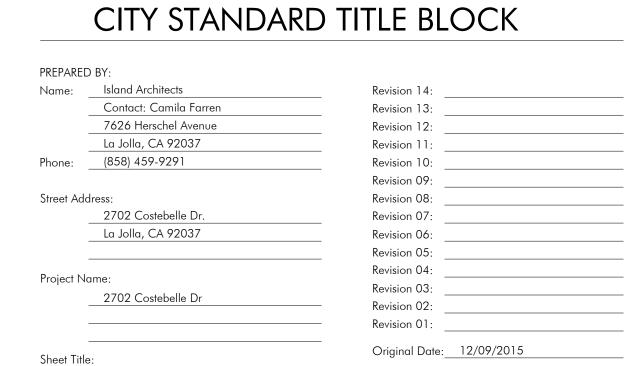
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FLOOR PLANS

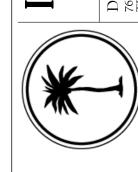
12/09/2015





EXTERIOR ELEVATIONS

DREX PATTERSON, 7632 HERSCHEL AVENUE TEL: 858-459-9291





DRAWN BY: Author

Date: 1st Bldg. Submittal
11/20/15 SINGLE DISCIPLINE REVIEW

REVISIONS # DESCRIPTION DATE

COSTEBELLE
LE DRI., LA JOLLA, CA 92037

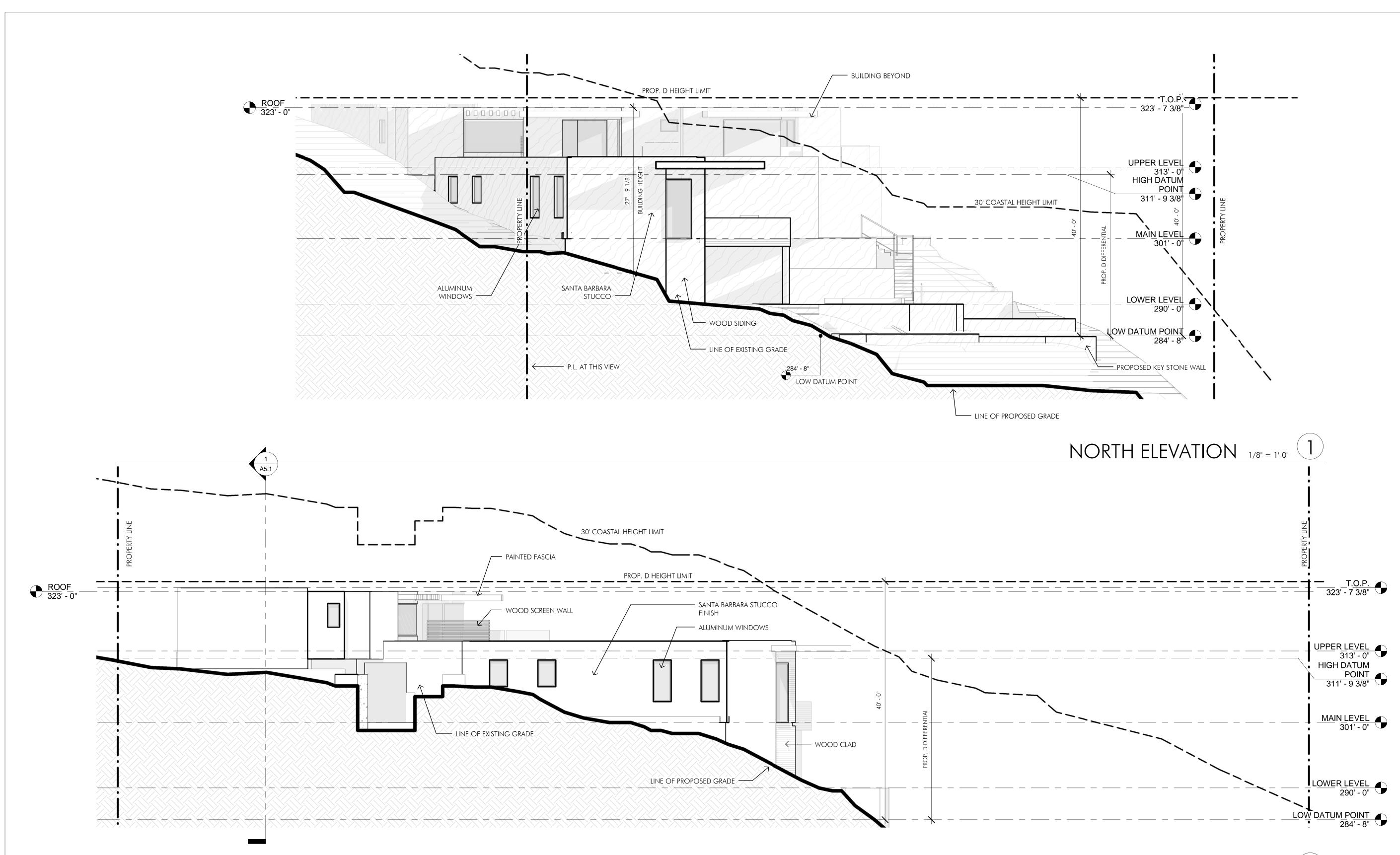
2702 COSTEE

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12/09/2015

EXTERIOR

ELEVATIONS

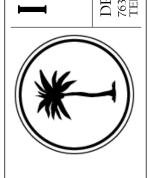


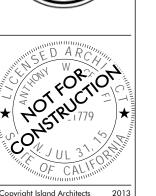
EAST ELEVATION 1/8" = 1'-0"

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Name:	Island Architects	Revision 14:			
	Contact: Camila Farren	Revision 13:			
	7626 Herschel Avenue	Revision 12:			
	La Jolla, CA 92037	Revision 11: _			
Phone:	(858) 459-9291	Revision 10:			
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		Revision 05:			
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	2702 Costebelle Dr	Revision 02:			
		Revision 01:			
Sheet Title		 Original Date:_	12/09/2015		
SHEEL THE	EXTERIOR ELEVATION	Sheet:	8	of:	9

SARCHITECTS

DREX PATTERSON, R.A. | TONY CRISAFI, R
7632 HERSCHEL AVENUE
TEL: 858-459-9291
TEL: 858-459-9291





JOB #: 2015.140

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PROJ. MGR.: Checker

Date: 1550E:

Date: 1st Bldg. Submittal

11/20/15 SINGLE DISCIPLINE REVIEW

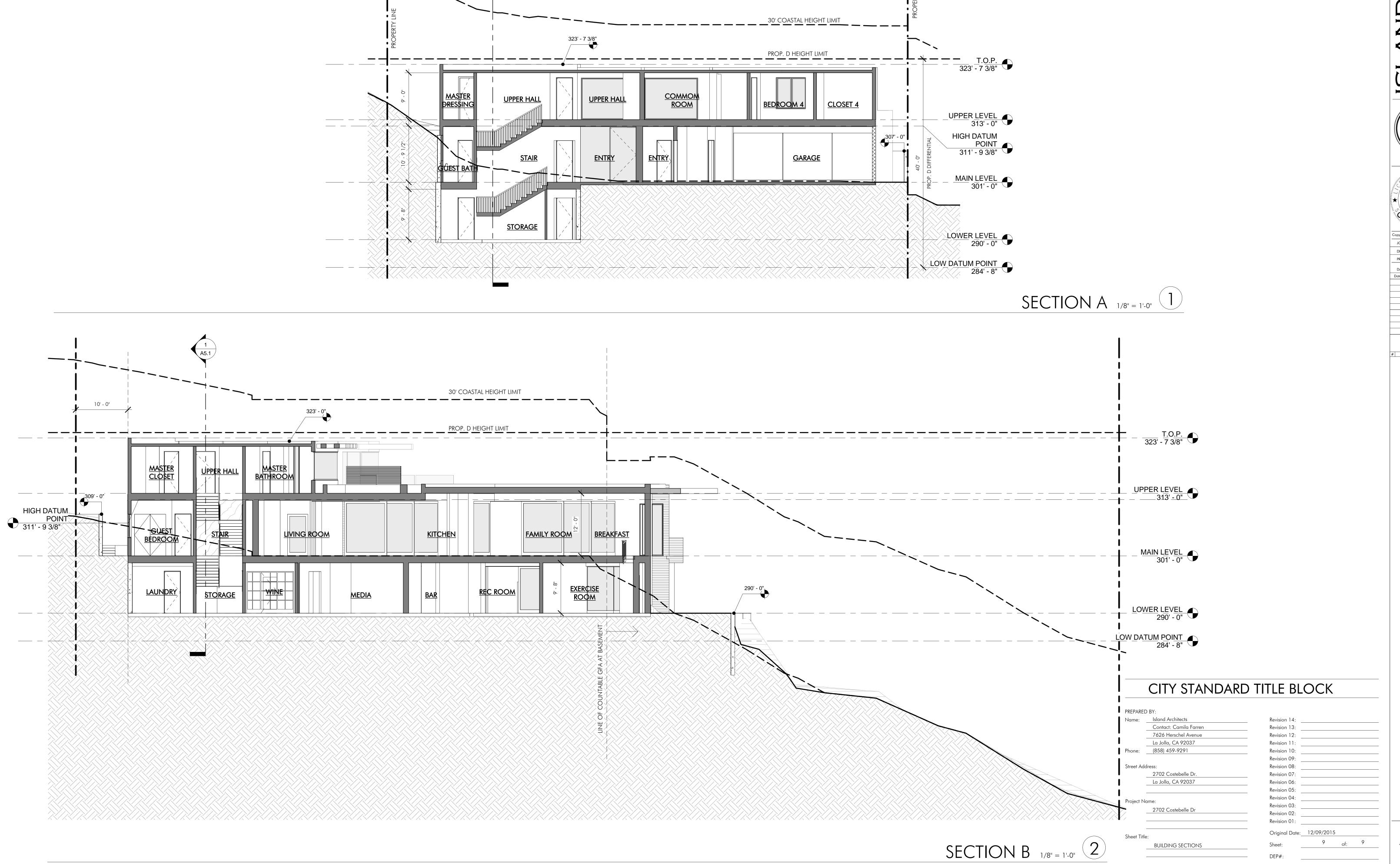
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DESCRIPTION DATE

F DESCRIPTION

2702 COSTEBELLE DRI., LA JOLLA, CA 92037

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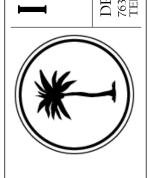
EXTERIOR ELEVATIONS 12/09/2015



JSLAND
ARCHITECTS

DREX PATTERSON, R.A. | TONY CRISAFI, R
7632 HERSCHEL AVENUE
TEL: 858-459-9291

LA IOLIA, CA 92
FAX: 858-456-0





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DATE: ISSUE:

Date: 1st Bldg. Submittal

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DESCRIPTION DATE

DESCRIPTION DATE

'EBELLE JOLLA, CA 92037

2702 COSTEBELLE DRI., LA JOLLA, CA 92037

A5.1

BUILDING SECTIONS

12/09/2015

Storm Water Quality Notes / BMP'S STORM WATER QUALITY NOTES CONSTRUCTION BMP'S THIS PROJECT SHALL COMPLY WITH ALL REQUIREMENTS OF THE MUNICIPAL PERMIT ISSUED BY SAN DIEGO REGIONAL WATER QUALITY CONTROL BOARD (SDRWQCB), AND MUNICIPAL STORM WATER NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT ON JANUARY 24, 2007 http://www.swrcb.ca.gov/water_issues/programs/stormwater/construction.shtml AND THE CITY OF SAN DIEGO LAND DEVELOPMENT CODE http://docs.sandiego.gov/municode/MuniCodeChapter14/Ch14Art02Division02.pdf AND STORM WATER MANUAL http://www.sandiego.gov/development-services/pdf/news/stormwatermanual.pdf NOTES BELOW REPRESENT KEY MINIMUM REQUIREMENTS FOR CONSTRUCTION BMP'S THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANUP OF ALL SILT AND MUD ON ADJACENT STREET(S), DUE TO CONSTRUCTION VEHICLES OR ANY OTHER CONSTRUCTION ACTIVITY, AT THE END OF EACH WORK DAY, OR AFTER A STORM EVENT THAT CAUSES A BREECH IN INSTALLED CONSTRUCTION BMP'S WHICH MAY COMPROMISE STORM WATER QUALITY WITHIN ANY STREET(S). A STABILIZED CONSTRUCTION EXIST MAY BE REQUIRED TO PREVENT CONSTRUCTION VEHICLES OR EQUIPMENT FROM TRACKING MUD OR SILT ONTO THE STREET. 2- ALL STOCKPILES OF SOIL AND/OR BUILDING MATERIALS THAT ARE INTENDED TO BE LEFT FOR A PERIOD GREATER THAN SEVEN CALENDAR DAYS ARE TO BE COVERED. ALL REMOVABLE BMP DEVICES SHALL BE IN PLACE AT THE END OF EACH WORKING DAY WHEN FIVE DAY RAIN PROBABILITY FORECAST EXCEEDS 40%. 3- A CONCRETE WASHOUT SHALL BE PROVIDED ON ALL PROJECTS WHICH PROPOSE THE CONSTRUCTION OF ANY CONCRETE IMPROVEMENTS WHICH ATE TO BE POURED IN 4- THE CONTRACTOR SHALL RESTORE ALL EROSION/SEDIMENT CONTROL DEVICES TO WORKING ORDER AFTER EACH RUN-OFF PRODUCING RAINFALL OR AFTER ANY MATERIAL BREACH IN EFFECTIVENESS 5- ALL SLOPES THAT ARE CREATED OR DISTURBED BY CONSTRUCTION ACTIVITY MUST BE PROTECTED AGAINST EROSION AND SEDIMENT TRANSPORT AT ALL TIMES. 6- THE STORAGE OF ALL CONSTRUCTION MATERIALS AND EQUIPMENT MUST BE PROTECTED AGAINST ANY POTENTIAL RELEASE OF POLLUTANTS INTO THE ENVIRONMENT. **General Construction Notes** AGENCIES WHICH HAVE AUTHORITY OVER ANY PORTION OF THE WORK. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT FOR CLARIFICATION. DO NOT SCALE DRAWINGS. BLOCK WALLS, EDGE OF SLAB, AND FACE OF STUDS UNLESS NOTED OTHERWISE. BE RESPONSIBLE FOR CONTRACTOR'S FAILURE TO EMPLOY PROPER SAFETY PROCEDURES

Notes

Project Data

Vicinity Map

Sheet Index

Sheet Description

Architectural

Structural

FOUNDATION PLAN

FLOOR FRAMING PLAN

ROOF FRAMING PLAN

FRAMING DETAILS

FRAMING DETAILS

S-2

S-3

S-4

S-5

GENERAL NOTES AND SCHEDULES

FOUNDATION AND FRAMING DETAILS

PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT THE APPLICANT SHALL SUBMIT A WATER POLLUTION CONTROL PLAN (WPCP). THE WPCP SHALL BE PREPARED IN ACCORDANCE WITH THE GUIDELINES IN APPENDIX E OF THE CITY'S STORM WATER STANDARDS.

2: PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE SUBDIVIDER SHALL INCORPORATE AND SHOW THE TYPE AND LOCATION OF ALL POST-CONSTRUCTION BEST MANAGEMENT PRACTICE (BMP'S) ON FINAL CONSTRUCTION DRAWINGS, IN ACCORDANCE WITH THE APPROVED WATER QUALITY TECHNICAL REPORT. 3: "NOTICE TO THE APPLICANT/OWNER/ OWNER'S AGENT/ARCHITECT OR ENGINEER OF

RECORD: BY USING THIS PERMITTED CONSTRUCTION DRAWINGS FOR CONSTRUCTION/INSTALLATION OF THE WORK SPECIFIED HEREIN, YOU AGREE TO COMPLY WITH THE REQUIREMENTS OF CITY OF SAN DIEGO FOR SPECIAL INSPECTIONS, STRUCTURAL OBSERVATIONS, CONSTRUCTION MATERIAL TESTING AND OFF-SITE FABRICATION OF BUILDING COMPONENTS, CONTAINED IN THE STATEMENT OF SPECIAL INSPECTIONS AND, AS REQUIRED BY THE CALIFORNIA CONSTRUCTION

4: "NOTICE TO THE CONTRACTOR/BUILDER/INSTALLER/SUB-CONTRACTOR/OWNER-BUILDER: BY USING THIS PERMITTED CONSTRUCTION DRAWINGS FOR CONSTRUCTION/INSTALLATION OF THE WORK SPECIFIED HEREIN, YOU ACKNOWLEDGE AND ARE AWARE OF. THE REQUIREMENTS CONTAINED IN THE STATEMENT OF SPECIAL INSPECTIONS. YOU AGREE TO COMPLY WITH THE REQUIREMENTS OF CITY OF SAN DIEGO FOR SPECIAL INSPECTIONS, STRUCTURAL OBSERVATIONS, CONSTRUCTION MATERIAL TESTING AND OFF-SITE FABRICATION OF BUILDING COMPONENTS, CONTAINED IN THE STATEMENT OF SPECIAL INSPECTIONS AND, AS REQUIRED BY THE CALIFORNIA CONSTRUCTION CODES.

5: THE STRUCTURE WILL BE LOCATED ENTIRELY ON UNDISTURBED NATIVE SOIL. IF THE BUILDING INSPECTOR SUSPECTS FILL, EXPANSIVE SOILS, OR ANY GEOLOGIC INSTABILITY BASED UPON OBSERVATION OF THE FOUNDATION EXCAVATION, A SOILS OR GEOLOGICAL REPORT AND RESUBMITTAL OF PLANS TO PLAN CHECK TO VERIFY THAT THE REPORT RECOMMENDATIONS HAVE BEEN INCORPORATED, MAY BE REQUIRED.

	SITE INFORMATION
PROJECT NAME	LERNER RESIDENCE
SCOPE OF WORK	ADDITION TO A SINGLE FAMILY RESIDENCE: 608 SQ. FT. ON FIRST FLOOR AND 784 SQ. FT. ON SECOND FLOOR.
OWNER	IAN AND GOLNOOSH LERNER 8676 DUNAWAY DRIVE LA JOLLA, CALIFORNIA 92037
JOB ADDRESS	8676 DUNAWAY DRIVE LA JOLLA, CALIFORNIA 92037
ASSESSOR PARCEL NO.	344-113-09-00
LEGAL DESCRIPTION	LOT 30 OF LA JOLLA HIGHLANDS UNIT NO. 2, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 3361, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, JANUARY 27, 1956.
ZONING	LJSPD-SF - LA JOLLA SHORES PLANNED DISTRICT:SINGLE FAMILY
HISTORIC	NO

TYPE "VB"

FRONT SETBACK

SIDES SETBACK:

REAR SETBACK:

BUILDING HEIGHT:

EXISTING GARAGE

PROPOSED ADDITION

FIRST FLOOR SECOND FLOOR:

TOTAL AREA:

EXISTING FIRST FLOOR AREA:

EXISTING:

|--|

LA JOLLA II

A-1 TITLE SHEET A-2 SITE PLAN AND DEMOLITION PLAN / WALL MATRIX A-3 **GENERAL NOTES** A-4 **GENERAL NOTES** A-5 **GENERAL NOTES** FIRST FLOOR PLAN SECOND FLOOR PLAN AND ROOF PLAN REFLECTED CEILING AND ELECTRICAL PLAN A-9 **EAST AND SOUTH ELEVATION** A-10 WEST AND NORTH ELEVATION **BUILDING SECTIONS** WINDOW / DOOR SCHEDULE INTERIOR ELEVATIONS D-1 **ARCHITECTURAL DETAILS** D-2 ARCHITECTURAL DETAILS D-3 ARCHITECTURAL DETAILS T24-1 TITLE 24

8676 Dunaway Drive La Jolla, California 92037 **ARCHITECTS** 7661 Girard Ave, Suite 200 La Jolla, California 92037 858-459-6114 858-459-0131

lan & Golnoosh Lerner

PROJECT TITLE

Residence

8676 Dunaway Drive

La Jolla, California 92037

Lerner

ALL IDEAS, DESIGNS, ARRANGEMENTS, AND PLANS INDICATED OR REPRESENTED BY THIS DRAWING ARE OWNED BY, AND THE PROPERTY OF, DESIGN LEAD ARCHITECTS AND WERE CREATED, EVOLVED AND DEVELOPED FOR USE ON, AND IN CONNECTION WITH THE SPECIFIED PROJECT. NONE OF SUCH IDEAS, DESIGNS OR ARRANGEMENTS OR PLANS SHALL BE USED WITHOUT WRITTEN PERMISSION OF DESIGN LEAD ARCHITECTS.



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Consultants

ARCHITECT: **DESIGN LEAD, ARCHITECTS** 7661 GIRARD AVENUE, SUITE "200" **LA JOLLA, CA 92037** (858) 459-6114 CONTACT: Siavash Khajezade STRUCTURAL: **SALEH HARIRI** HARIRI ENGINEERING

7723 FAY AVE., SUITE #6 LA JOLLA, CA 92037 (858) 456-9966

CalGreen Notes

ALL WORK SHALL COMPLY WITH TITLE 24 & C.B.C. / 2013 2013 C.E.C. (2011 NEC.), 2013 C.P.C. (2012 UPC), 2013 C.M.C. (2012 UMC) 2013 C.G.B.C. & 2013 C.F.C.(2012 IFC) AND ANY OTHER REGULATING

- CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL EXISTING CONDITIONS.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS AT JOB SITE. IF DISCREPANCIES ARE FOUND,
- THE CONSULTANT'S DRAWINGS ARE SUPPLEMENTARY TO THE ARCHITECTURAL DRAWINGS. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR CHECKING WITH THE ARCHITECTURAL DRAWINGS BEFORE THE INSTALLATION OF ANY CONSULTANT WORK.
- ABBREVIATIONS THROUGHOUT THE PLANS ARE THOSE IN COMMON USE. THE ARCHITECT WILL DEFINE THE INTENT OF ANY CONSULTANT WORK.
- ALL DIMENSIONS ARE TO CENTERLINE OF COLUMNS AND BEAMS, FACE OF CONCRETE
- THE CONTRACTOR SHALL EXERCISE PRECAUTION AT ALL TIMES FOR THE PROTECTION OF PERSONS AND PROPERTY. HE SHALL OBSERVE THE SAFETY PROVISIONS OF APPLICABLE LAWS, AND BUILDING CONSTRUCTION CODES. GUARD EQUIPMENT AND ALL HAZARDS IN ACCORDANCE WITH THE SAFETY PROVISIONS OF THE LATEST EDITION OF THE MANUAL OF ACCIDENT PREVENTION IN CONSTRUCTION, TO THE EXTENT THAT SUCH PROVISIONS ARE NOT IN CONTRAVENTION OF APPLICABLE LAW, PROTECT ALL HAZARDS WITH ADEQUATELY CONSTRUCTED BARRICADES, DISPOSE, STORE, GUARD AND PROTECT THE PREMISES AND ALL WORK, MATERIALS, AND EQUIPMENT. IN NO CASE SHALL THE OWNER OR ARCHITECT BE RESPONSIBLE FOR DEMOLITION OR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCE, OR PROCEDURES, OR FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK, NOR SHALL THE OWNER OR ARCHITECT
- THE CONTRACTOR SHALL MAKE A DETAILED SURVEY OF EXISTING CONDITIONS PRIOR TO COMMENCING OPERATIONS, REPORT DISCREPANCIES OR CONFLICTS TO THE ARCHITECT IN WRITING FOR CLARIFICATION OR INSTRUCTIONS AND NOT PROCEED PRIOR TO RECEIPT OF
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN APPROVAL BY THE BUILDING INSPECTOR FOR ALL CONCEALED WORK BEFORE CLOSING UP.
- SMOKE DETECTORS SHALL BE PROVIDED AS REQUIRED BY THE BUILDING CODE AND TO BE DEVICES APPROVED BY THE BUILDING DEPARTMENT.
- GLASS DOORS AND ADJACENT PANELS, AND ALL GLAZED OPENING WITHIN 18" OF THE FLOOR SHALL BE TEMPERED GLASS.
- 12. THE CONTRACTOR SHALL PROVIDE MECHANICAL VENTILATION TO ALL TOILET ROOMS AS
- THE CONTRACTOR SHALL PROVIDE PORTABLE FIRE EXTINGUISHERS PER NFPA PAMPHLET # 10, NOT LESS THAN A 2A10BC RATING AND CONTACT CERTIFIED EXTINGUISHER COMPANY FOR PROPER PLACEMENT OF EQUIPMENT.
- A "CERTIFICATE OF COMPLIANCE" SIGNED BY THE OWNER, GENERAL CONTRACTOR, ARCHITECT, OR ENGINEER SHALL BE GIVEN TO THE BUILDING DEPARTMENT STATING THAT THE WORK HAS BEEN PERFORMED ACCORDING TO THE PLANS AND SPECIFICATIONS AFFECTING NON RESIDENTIAL ENERGY CONSUMPTION.
- SHOULD CONDITIONS NECESSITATE ALTERATIONS IN INDICATED CEILING HEIGHTS DUE TO STRUCTURAL OR MECHANICAL REQUIREMENTS, CONTRACTOR SHALL OBTAIN ARCHITECT'S APPROVAL FOR ALL CHANGES.
- CEILING HEIGHT DIMENSIONS ARE TO FINISHED SURFACE OF CEILING / SOFFIT.
- . GLAZED OPENINGS WITHIN 40" OF THE DOOR LOCK WHEN THE DOOR IS IN THE CLOSED POSITION, SHALL BE FULLY TEMPERED GLASS.

18. ALL VENTS SHALL BE COVERED WITH 1/4" TO 1/2" CORROSION RESISTANT WIRE MESH.

CALGREEN NOTES:

TYPE OF CONSTRUCTION

DEVELOPMENT REGULATIONS LOT SIZE:

GROUP OCCUPANCY

BUILDING AREA

BUILDING CODE

THE CALIFORNIA GREEN BUILDING CODE APPLIES TO ALL RESIDENTIAL BUILDINGS WHICH ARE UNDER THE JURISDICTION OF HCD: THIS INCLUDES ALL BUILDINGS WITH ANY OF THE FOLLOWING OCCUPANCIES: SINGLE FAMILY DWELLINGS, DUPLEXES, HOTELS, MOTELS, APARTMENTS, CALL GREEN APPLIES TO ALL NEW RESIDENTIAL OCCUPANCIES INCLUDING LOW RISE AND HIGH RISE BUILDINGS. IT ALSO APPLIES TO ALL RESIDENTIAL ALTERATIONS WHERE THE ADDITION OR ALTERATION INCREASES THE BUILDING'S CONDITIONAL AREA, VOLUME OR SIZE.

AUTOMATIC IRRIGATION SYSTEMS CONTROLLERS INSTALLED AT THE TIME OF FINAL INSPECTION SHALL BE WEATHER-BASED. 2. ALL WATER CLOSETS SHALL HAVE AN EFFECTIVE FLUSH VOLUME OF NOT MORE THAN 1.28 GALLONS PER FLUSH. TANK TYPE WATER CLOSET SHALL BE CERTIFIED TO THE PERFORMANCE CRITERIA OF THE U.S. EPA WATERSENSE SPECIFICATION FOR

THE REQUIREMENTS APPLY ONLY TO WITHIN THE SPECIFIC AREA OF THE ALTERATION OR ADDITION.

8,394,20 SQ, FT.

20'-9" (EXISTING)

MAX. LOT COVERAGE: 60% (8,394.20*60% = 5,036.52 SQ. FT.

THIS PROJECT SHALL COMPLY WITH TITLE 24 & C.B.C. /

2013, CRC 2013, 2013 C.E.C. (2007 NEC.), 2013 C.P.C. (2008 UPC), 2013 C.M.C. (2008 UMC) 2013 C.G.B.C. , 2013 C.F.C.(2008 IFC) & 2013 CalGreen. PROJECT SHALL COMPLY WITH THE 2013 CALIFORNIA RESIDENTIAL CODE. WHICH ADOPTS THE 2012 IRC, 2012 UMC, 2012 UPC AND THE 2011

10'- 0 " (PER MAP NO.3361, SHEET

3, LA JOLLA HIGHLANDS UNIT 2)

NO BUILDING SHALL

CONSTRUCTED, ALTERED OR

ENLARGED TO A HEIGHT GREATER

1,904.00 SQ. FT

2,402.00 SQ. F

498.00 SQ. FT

587.00 SQ. F

775.00 SQ. F 1,362.00 SQ. F

3,764.00 SQ. F

- 3. URINALS SHALL HAVE AN EFFECTIVE FLUSH VOLUME NOT TO EXCEED 0.5 GALLONS PER FLUSH 4. SINGLE SHOWER HEADS SHALL HAVE A MAXIMUM FLOW RATE OF NOT MORE THAN 2.0 GALLONS PER MINUTE AT 80 PSI. MULTIPLE SHOWER HEADS WHEN SERVED BY A SINGLE VALVE SHALL HAVE A COMBINED FLOW RATE NOT TO EXCEED 2.0 GALLONS
- 5. FAUCETS, RESIDENTIAL LAVATORY FAUCETS SHALL HAVE A MAXIMUM RATE OF 1.5 GALLONS PER MINUTE AT 60 PSI AND A MINIMUM FLOW RATE OF NOT LESS THAN 0.8 GALLONS PER MIN. AT 20 PSI. 6. FAUCET IN COMMON AND PUBLIC AREAS (OUTSIDE THE DWELLINGS OR SLEEPING UNITS) IN RESIDENTIAL BUILDINGS MUST HAVE
- A MAXIMUM FLOW RATE OF 0.5 GALLONS PER MINUTE AT 60 PSI. METERING FAUCETS WHEN INSTALLED IN RESIDENTIAL BUILDINGS MUST NOT DELIVER MORE THAN 0.25 GALLONS PER CYCLE. 8. KITCHEN FAUCETS SHALL HAVE A MAXIMUM FLOW RATE OF 1.8 GALLONS PER MINUTE AT 60 PSI. KITCHEN FAUCETS MAY TEMPORARILY INCREASE THE FLOW RATE TO A MAXIMUM OF 2.2 GALLONS AT 60 PSI BUT MUST DEFAULT BACK TO THE 1.8 GALLONS
- 9. A PLUMBING CERTIFICATION MUST BE COMPLETED AND SIGNED BY EITHER A LICENSED GENERAL CONTRACTOR, OR A PLUMBING SUBCONTRACTOR, OR THE BUILDING OWNER CERTIFYING THE FLOW RATE OF THE FIXTURES INSTALLED. A COPY OF THE CERTIFICATION CAN BE OBTAINED FROM THE DEVELOPMENT SERVICE DEPARTMENT.
- 10. JOINTS AND OPENINGS, ANNULAR SPACES AROUND PIPES, ELECTRIC CABLES, CONDUITS, OR OTHER OPENINGS IN PLATES AT EXTERIOR WALLS SHALL BE PROTECTED AGAINST THE PASSAGE OF RODENTS BY CLOSING SUCH OPENINGS WITH CEMENT MORTAR, CONCRETE MASONRY OR SIMILAR METHOD ACCEPTABLE TO THE ENFORCING AGENCY.
- 11. A MINIMUM 50 PERCENT OF THE CONSTRUCTION WASTER GENERATED AT THE SITE IS DIVERTED TO RECYCLE OR SALVAGE PER SECTION 4.408.1 AND CITY ORDINANCE. 12. BEFORE FINAL INSPECTION, A COMPLETE OPERATION AND MAINTENANCE MANUAL SHALL BE PROVIDED TO THE BUILDING OCCUPANT OR OWNER. CONTRACTOR OR OWNER SHALL SUBMIT AN AFFIDAVIT THAT CONFIRMS THE DELIVERY OF SUCH (SECTION
- 4.410.1), A SAMPLE OF THE MANUAL IS AVAILABLE ON THE HOUSING AND COMMUNITY DEVELOPMENT WEB SITE. 13. THE MANUAL SHOULD INCLUDE IN ADDITION TO OTHER ASPECTS THE FOLLOWINGS: 1-DIRECTION TO THE BUILDING OWNER OR OCCUPANT THAT THE MANUAL SHALL REMAIN WITH THE BUILDING FOR THROUGHOUT THE LIFE CYCLE OF THE STRUCTURE.
- 2- OPERATION AND MAINTENANCE INSTRUCTIONS FOR THE FOLLOWINGS:
- A. EQUIPMENT AND APPLIANCES, INCLUDING WATER-SAVING DEVICES AND SYSTEMS, HVAC SYSTEMS,
- WATER-HEATING SYSTEMS AND OTHER MAJOR APPLIANCES AND EQUIPMENT. B. ROOF AND YARD DRAINAGE, INCLUDING GUTTERS AND DOWNSPOUTS.
 - C. SPACE CONDITIONING SYSTEMS, INCLUDING CONDENSERS AND AIR FILTERS.

D. LANDSCAPE IRRIGATION SYSTEMS

- 3-INFORMATION FROM LOCAL UTILITY, WATER AND WASTE RECOVERY PROVIDERS ON METHODS TO FURTHER REDUCE RESOURCE CONSUMPTION, INCLUDING RECYCLE PROGRAMS AND LOCATIONS.
- 4- PUBLIC TRANSPORTATION AND/ OR CARPOOL OPTIONS AVAILABLE IN THE AREA.
- 5- EDUCATIONAL MATERIAL ON THE POSITIVE IMPACTS OF AN INTERIOR RELATIVE HUMIDITY BETWEEN 30-60 PERCENT AND
- WHAT METHODS AN OCCUPANT MAY USE TO MAINTAIN SUCH HUMIDITY LEVELS. 6-INFORMATION ABOUT WATER-CONSERVATION LANDSCAPE AND IRRIGATION DESIGN AND CONTROLLERS WHICH CONSERVE
- 7- INSTRUCTIONS FOR MAINTAINING GUTTERS AND DOWNSPOUTS AND THE IMPORTANCE OF DIVERTING WATER AT LEAST 5
- FEET AWAY FROM FOUNDATION. 8- INFORMATION ON REQUIRED ROUTINE MAINTENANCE MEASURES, INCLUDING, BUT NOT LIMITED TO CAULKING, PAINTING GRADING AROUND THE BUILDING ETC.
 - 9-INFORMATION ABOUT STATE SOLAR ENERGY AND INCENTIVE PROGRAMS AVAILABLE.
- 10- A COPY OF ALL SPECIAL INSPECTION VERIFICATIONS REQUIRED BY THE ENFORCING AGENCY OR THIS CODE.

- 14. A COPY OF A COMPLETE OPERATION AND MAINTENANCE MANUAL AS OUTLINED IN THE NOTES ABOVE WILL BE DELIVERED TO THE BUILDING OWNER PRIOR TO FINAL INSPECTION. (NEW ISSUE) 15. AN OWNER MANUAL CERTIFICATE SHOULD BE COMPLETED AND SIGNED BY EITHER A LICENSED GENERAL CONTRACTOR OR A
- HOME OWNER CERTIFYING THAT A COPY OF THE MANUAL HAS BEEN DELIVERED/RECEIVED TO THE BUILDING OWNER. A COPY OF THE CERTIFICATION FORM CAN BE OBTAINED FROM THE DEVELOPMENT SERVICES DEPARTMENT. 16. DUCT OPENINGS AND OTHER RELATED AIR DISTRIBUTION COMPONENT OPENINGS SHALL BE COVERED DURING CONSTRUCTION.
- 17. ADHESIVES, SEALANTS AND CAULKS SHALL BE COMPLIANT WITH VOC AND OTHER TOXIC COMPOUND LIMITS PAINTS, STAINS AND OTHER COATINGS SHALL BE COMPLIANT WITH VOC LIMITS SET IN SECTION 4.504.2.2 AND TABLE 4.504.3 OF
- PAINTS, STAINS AND OTHER COATING SHALL BE COMPLIANT WITH VOC LIMITS SET IN SECTION 4.504.2.2 AND TABLE 4.504.3 OF CALGREEN.
- 18. AEROSOL PAINTS AND COATINGS SHALL BE COMPLIANT WITH PRODUCT WEIGHTED MIR LIMITS FOR VOC AND OTHER TOXIC COMPOUNDS AS SPECIFIED IN SECTION 4.504.2.3 OF THE CALIFORNIA GREEN BUILDING CODE. 19. A CERTIFICATION COMPLETED AND SIGNED BY EITHER THE GENERAL CONTRACTOR OR SUBCONTRACTOR, OR THE BUILDING
- BUILDING CODE. A COPY OF THE FORM CAN BE OBTAINED FROM THE DEVELOPMENT SERVICES DEPARTMENT 20. CARPET AND CARPET SYSTEMS SHALL BE COMPLIANT WITH VOC LIMITS. (SECTION 4.504.3) A LETTER FROM THE CONTRACTOR SUBCONTRACTOR AND OR THE BUILDING OWNER CERTIFYING WHAT MATERIAL USED COMPLIES WITH THE CALIFORNIA GREEN 21. HARDWOOD PLYWOOD, PARTICLEBOARD, MEDIUM DENSITY FIBERBOARD (MDF), COMPOSITE WOOD PRODUCT USED ON THE

OWNER CERTIFYING THAT THE PAINT, STAIN, AND ADHESIVES, COMPLIES WITH THE REQUIREMENTS OF THE CALIFORNIA GREEN

- INTERIOR OR EXTERIOR OF THE BUILDING SHALL MEET THE REQUIREMENTS FOR FORMALDEHYDE AS SPECIFIED IN ARB'S AIR TOXIC CONTROL MEASURE FOR COMPOSITE WOOD AS SPECIFIED IN SECTION 4.504.5 AND TABLE 4.504.5 OF CALGREEN. 22. A CERTIFICATION COMPLETED AN SIGNED BY THE GENERAL CONTRACTOR, SUBCONTRACTOR OR BUILDING OWNER CERTIFYING
- THAT THE RESILIENT FLOORING, COMPOSITE WOOD PRODUCT, PLYWOOD, PARTICLE BOARD ETC COMPLY WITH THE VOC LIMITS AND FORMALDEHYDE LIMITS SPECIFIED IN THE NOTES ABOVE AND THE CALIFORNIA GREEN BUILDING CODE. 23. BUILDING MATERIALS WITH VISIBLE SIGNS OF WATER DAMAGE SHALL NOT BE INSTALLED. WALLS AND FLOORS FRAMING SHALL
- NOT BE ENCLOSED WHEN FRAMING MEMBERS EXCEED 19% MOISTURE CONTENT 24. THE MOISTURE CONTENT OF BUILDING MATERIALS USED IN WALL AND FLOOR FRAMING IS CHECKED BEFORE ENCLOSURE. MOISTURE CONTENT SHALL BE VERIFIED BY EITHER A PROBE TYPE OR CONTACT TYPE MOISTURE METER.
- 25. EXHAUST FANS WHICH TERMINATE OUTSIDE THE BUILDING ARE PROVIDED IN EVERY BATHROOM THAT CONTAINS A SHOWER OR TUB. UNLESS FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, FANS MUST BE CONTROLLED BY A HUMIDISTAT WHICH CAN ADJUST BETWEEN 50 TO 80 PERCENT.
- 26. ALL PLUMBING FIXTURES AND FITTINGS WILL BE WATER CONSERVING AND WILL COMPLY WITH 2013 CGBSC SEC. 4.303.1 27. PER 2013 CGBSC SEC. 4.303.2, PLUMBING FIXTURES (WATER CLOSETS AND URINALS) AND FITTINGS (FAUCETS AND SHOWERHEADS) SHALL BE INSTALLED IN ACCORDANCE WITH THE CALIFORNIA PLUMBING CODE (CPC) AND TABLE 1401.1 OF THE CPC. 28. PER 2013 GREEN CODE SEC 4.506.1 MECHANICAL EXHAUST FANS WHICH EXHAUST DIRECTLY FROM BATHROOMS SHALL
- COMPLY WITH THE FOLLOWING: 1 - FANS SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE OUTSIDE THE BUILDING.
- 2 UNLESS FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, FANS MUST BE CONTROLLED BY A HUMIDISTAT WHICH SHALL BE READY ACCESSIBLE. HUMIDISTAT CONTROLS SHALL BE CAPABLE OF ADJUSTMENT BETWEEN A RELATIVE HUMIDITY RANGE OF 50 TO 80 PERCENT.

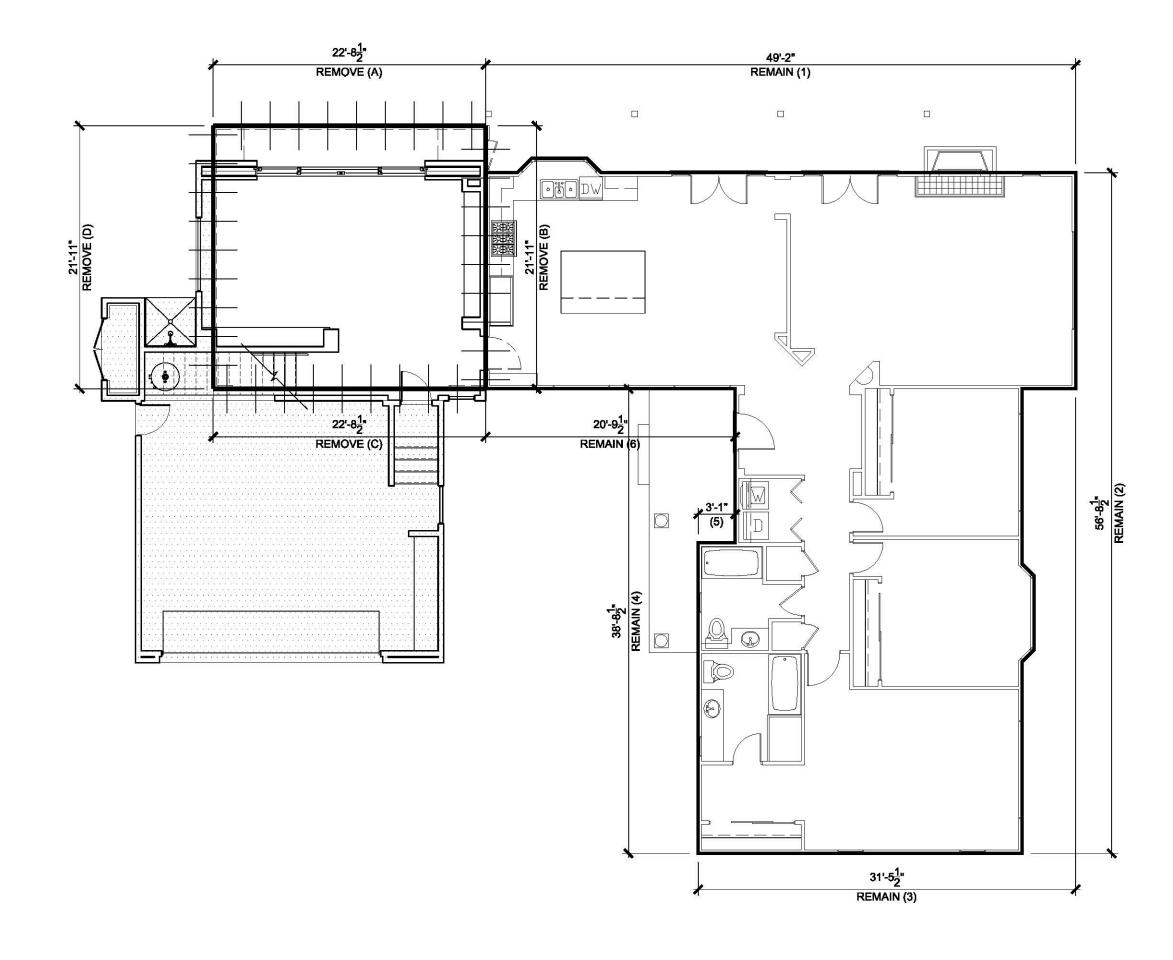
KEY PLAN

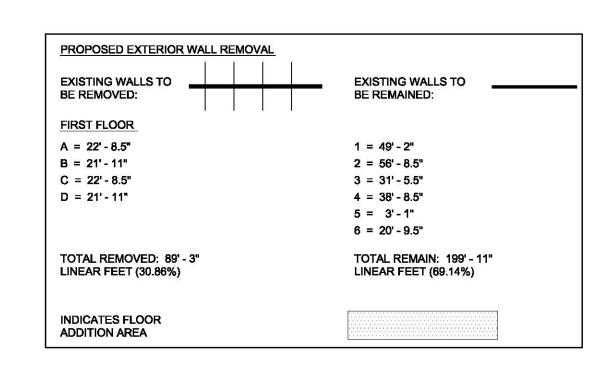
GENERAL INFORMATION

DRAWING TITLE

JOB#	DATE	
2015-211	Apr 13, 2016	
	AV SV	
DRAWN	SCALE	
	3/32" = 1'-0"	

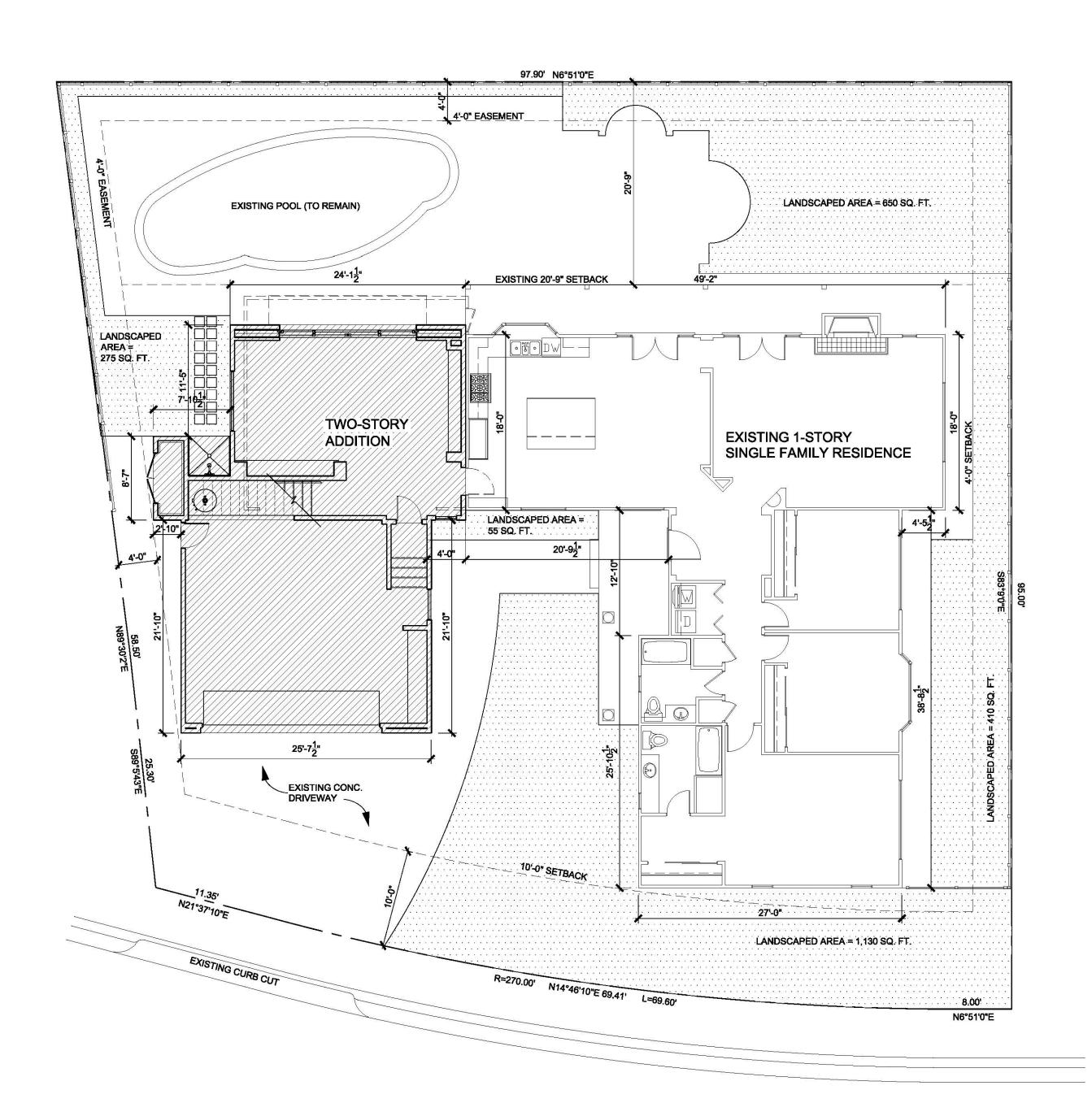
SHEET #





DEMO PLAN / WALL MATRIX

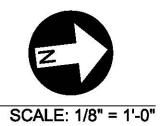
• Xi\Projects\2015-211 Lerner Residence\Drawings\LER-CDx\LER-xA2-Site.dwg Apr 13, 2016 - 10:02am Siavash Khajezadeh SCALE: 1/8" = 1'-0"



8676 DUNAWAY DRIVE

SITE PLAN

TE: THE MINIMUM LANDSCAPED AREA SHALL BE NO LESS THAN 30% FOR THE TOTAL PROPERTY AREA: 8,394.20 SQ. FT. * 30% = 2,518.26 SQ. FT. PROVIDED: 1,130 SQ. FT. + 55 SQ.FT. + 410 SQ. FT. + 650 SQ. FT. + 275 SQ. FT. = TOTAL OF 2,520 SQ. FT.



Lerner Residence

8676 Dunaway Drive La Jolla, California 92037

lan & Golnoosh Lerner

8676 Dunaway Drive La Jolla, California 92037



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KEY PLAN

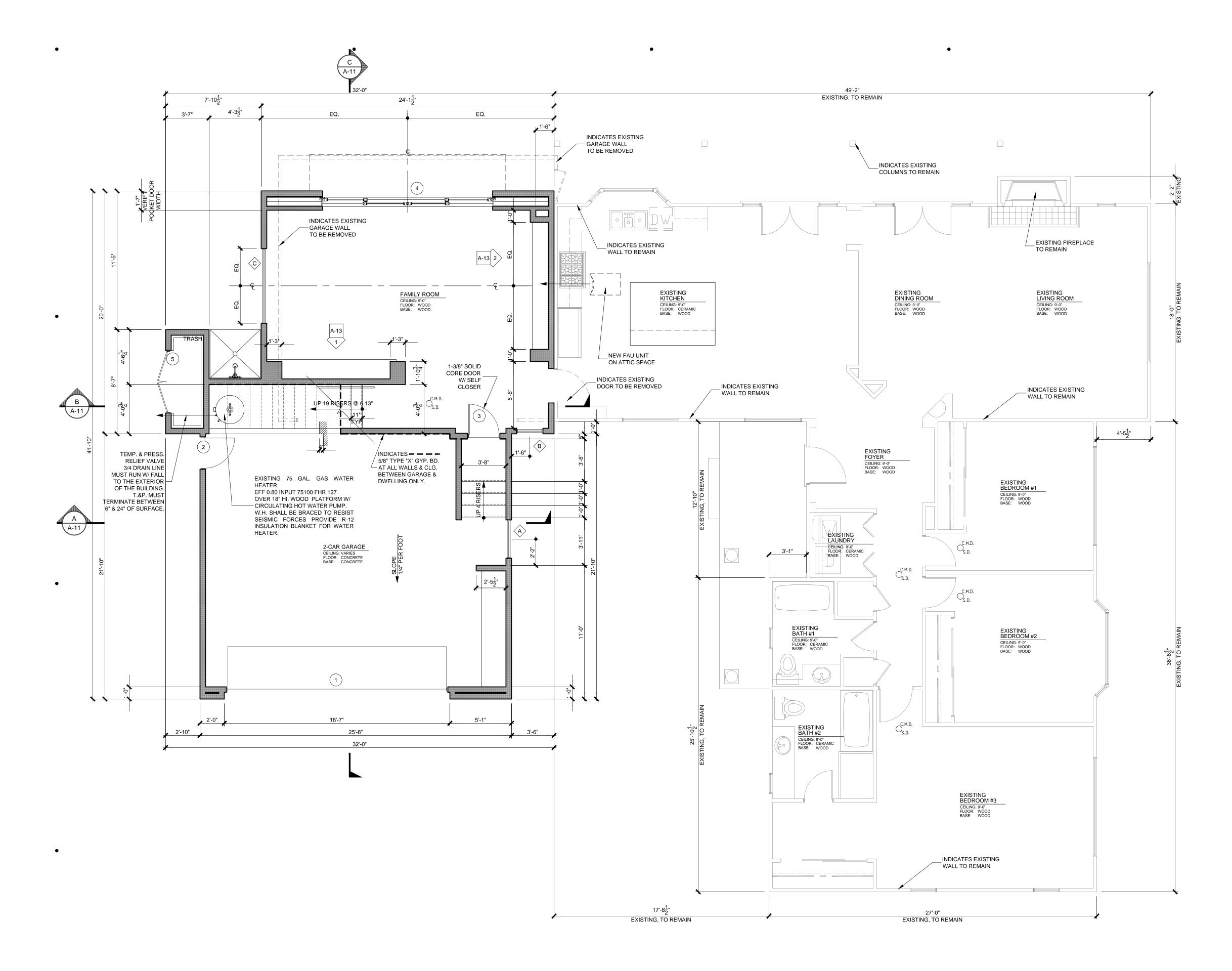
BUILDING

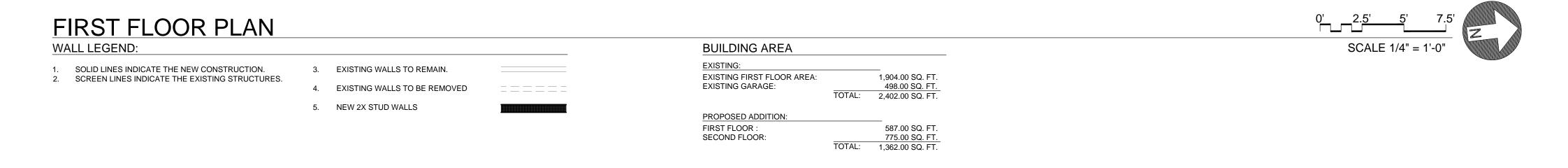
SITE PLAN
DEMO PLAN / WALL MATRIX

JOB # DATE
2015-211 Apr 13, 2016

DRAWN SCALE
1/8" = 1'-0"

SHEET # **A-2**





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PROJECT TITLE Lerner

Residence

8676 Dunaway Drive

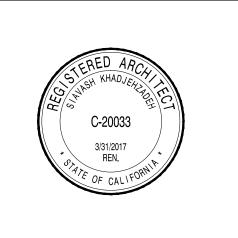
La Jolla, California 92037

lan & Golnoosh Lerner

8676 Dunaway Drive La Jolla, California 92037



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GENERAL NOTES:

A. PRIOR TO PROCEEDING WITH THE WORK, THE CONTRACTOR SHALL CAREFULLY STUDY AND COMPARE THE CONTRACT DOCUMENTS WITH THE EXISTING STRUCTURE & SHALL AT ONCE REPORT TO THE OWNER AND ARCHITECT ANY ERRORS, INCONSISTENCIES, OMISSIONS OR QUESTIONS THAT MAY DISCOVER.

B. WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DRAWING. CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB, AND THE ARCHITECT MUST BE NOTIFIED OF ALL VARIATIONS FROM THE DIMENSIONS & CONDITIONS SHOWN BY THESE DRAWINGS.

C. THE CONTRACTOR SHALL PROVIDE ADEQUATE SHORING FOR EXISTING FRAMING DURING CONSTRUCTION OF THE NEW ADDITION.

D. REMOVE ALL WALLS AS INDICATED AND CAP ALL PLUMBING & GAS LINES AS REQUIRED.

E. STATE HEALTH AND SAFETY CODE SEC. 17921.9 BANS THE USE OF CHLORINATED POLYVINYL CHLORIDE (CPVC) AND CROSSLINKED POLYETHELYN (PEX) FOR INTERIOR WATER SUPPLY PIPING.

F. PROVIDE FAUCETS WITH A MAXIMUM FLOW OF 2.2 GALLONS PER MINUTE (GPM).

G. PERMANENT VACUUM BREAKERS SHALL BE INCLUDED WITH ALL NEW HOSE BIBBS.

H. PROVIDE ULTRA LOW FLUSH TOILETS.

I. SHOWER HEADS 2.0 GPM MAX.

J. DUCTS IN GARAGE AND DUCTS PENETRATING THE WALLS OR

CEILINGS SEPARATING THE DWELLING UNIT FROM THE GARAGE SHALL BE CONSTRUCTED OF A MINIMUM 0.019-INCH (0.48 MM) SHEET STEEL AND SHALL HAVE NO OPENINGS INTO THE GARAGE. (406.1.4)

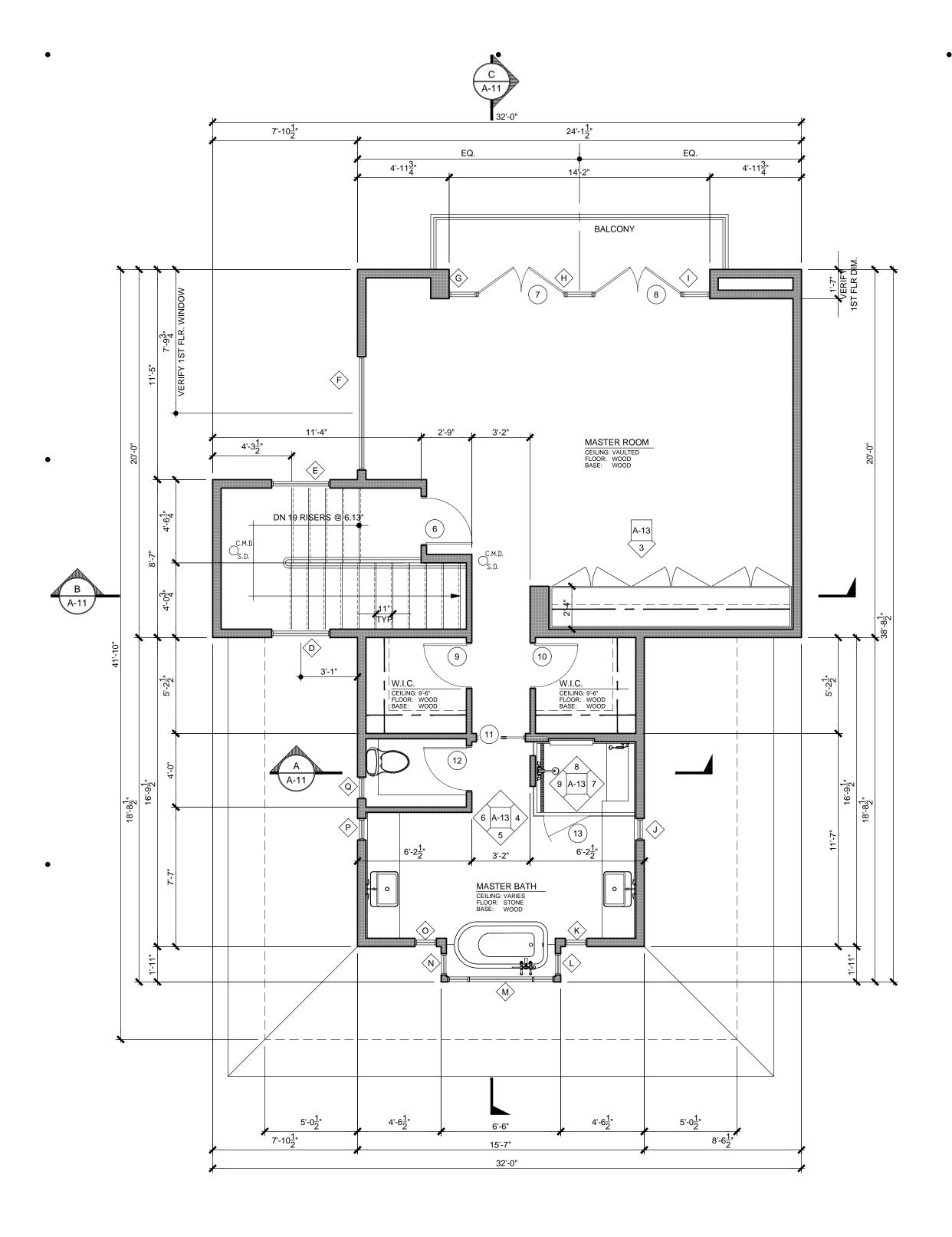
K. ATTIC / UNDERFLOOR INSTALLATION MUST COMPLY WITH SECTIONS 904, 908, AND 909 OF THE CALIFORNIA MECHANICAL CODE

BUILDING

DRAWING TITLE FIRST FLOOR PLAN

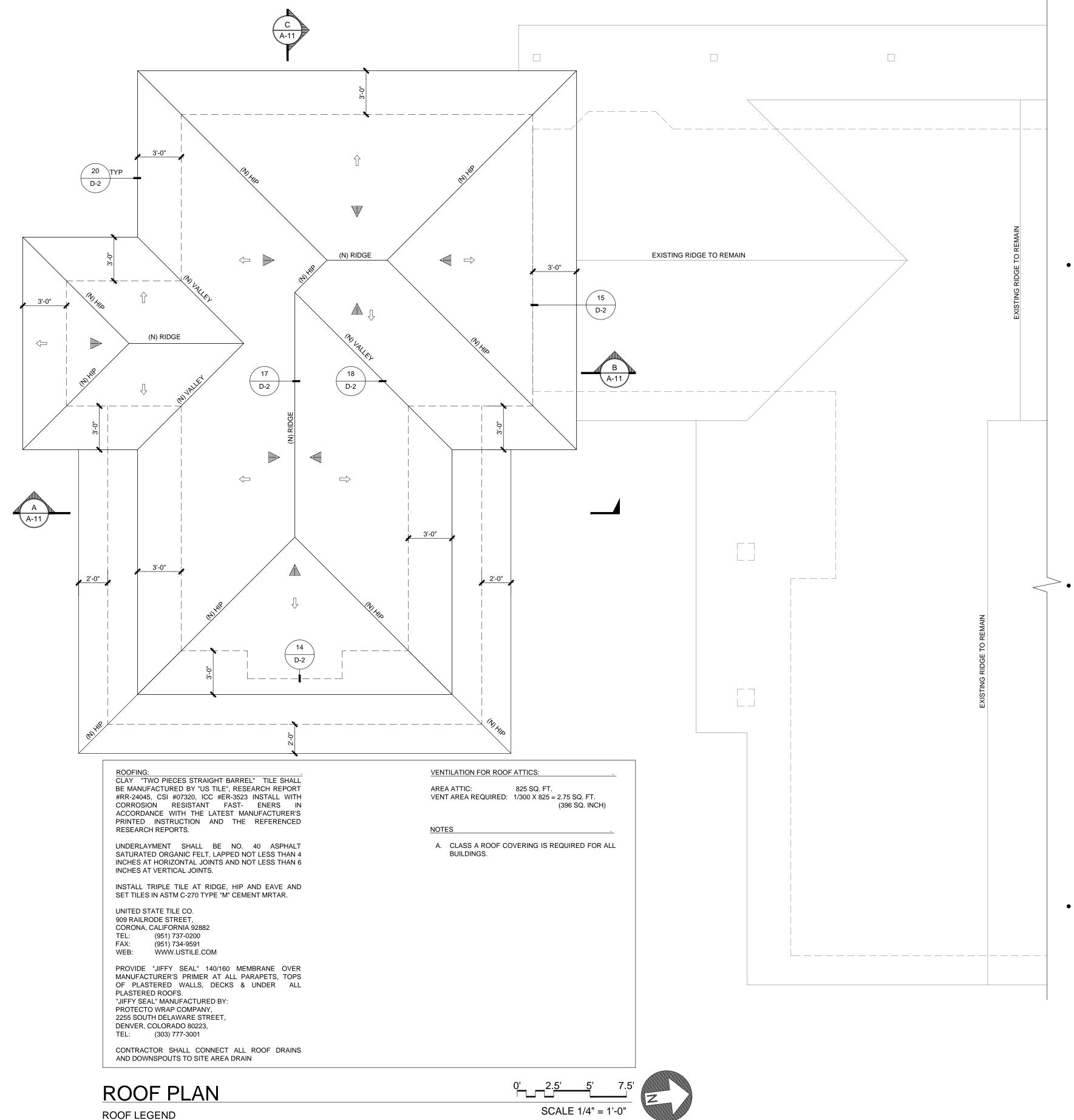
2015-211 Mar 14, 2016 DRAWN SCALE 1/4" = 1'-0"

> SHEET # A-6



SECOND FLOOR PLAN

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ATTIC ROOF VENT, "O'HAGIN" ATTIC VENT FOR TILE ROOF, SEE DETAIL 19/D-2

PROJECT TITLE

Lerner

8676 Dunaway Drive La Jolla, California 92037

KEY PLAN

BUILDING

DRAWING TITLE

2015-211

ROOF PLAN

SECOND FLOOR PLAN

Mar 14, 2016

SCALE 1/4" = 1'-0"

SHEET #

A-7

Residence

8676 Dunaway Drive La Jolla, California 92037

lan & Golnoosh Lerner

DESIGN LEAD

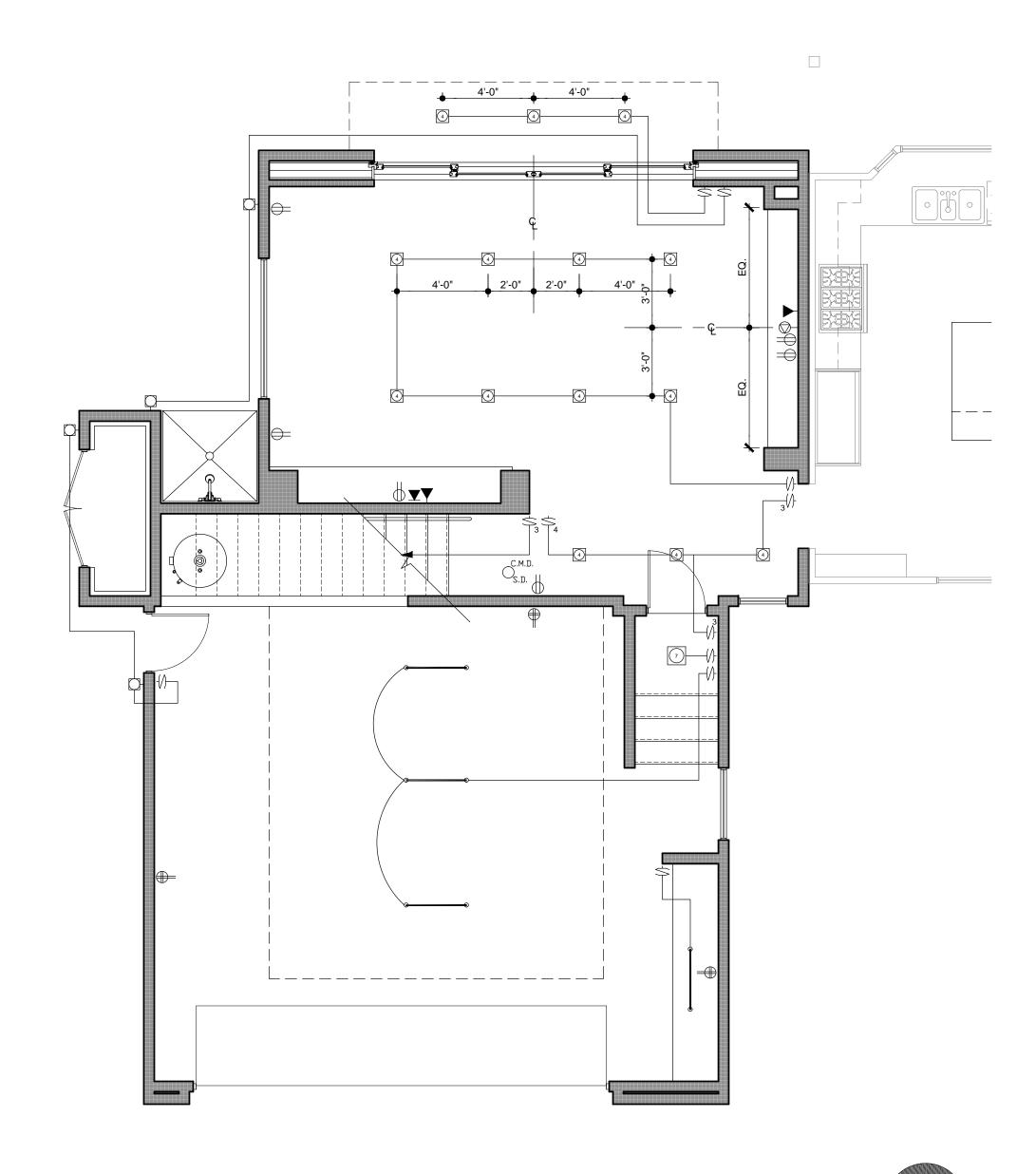
7661 Girard Ave, Suite 200

La Jolla, California 92037

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858-459-6114 858-459-0131

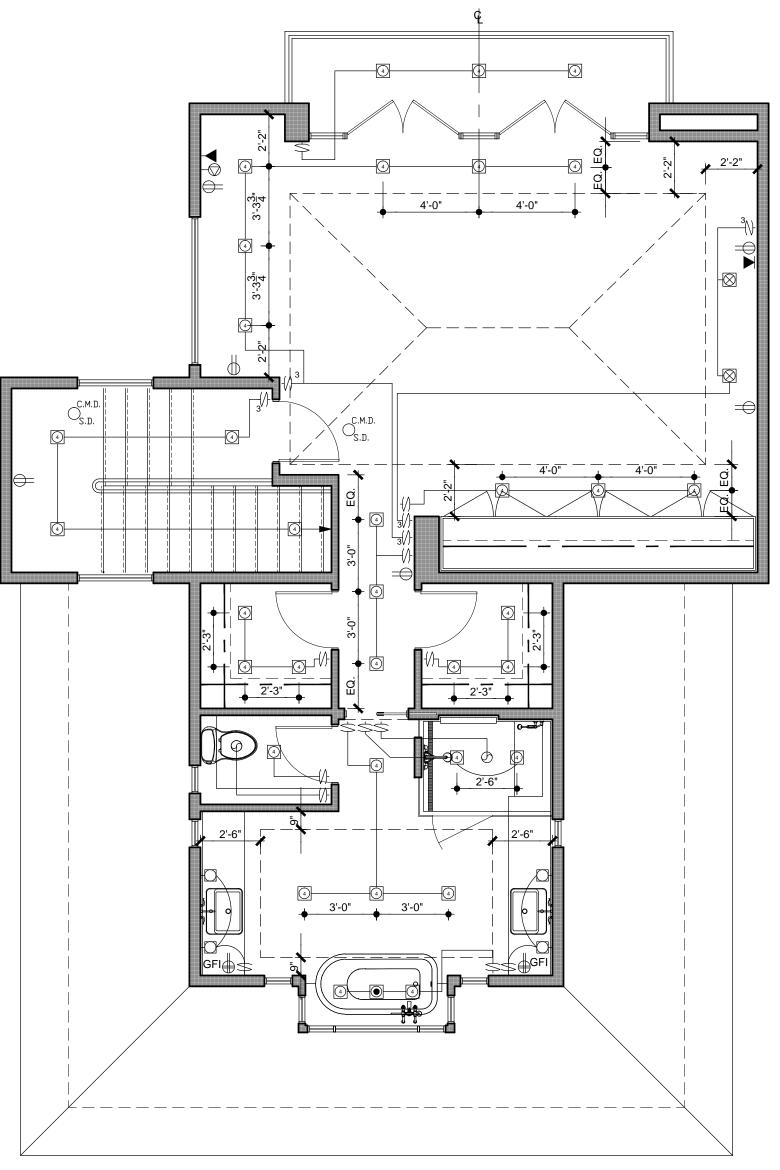
ARCHITECTS



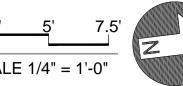


	ELECTRICAL SYMBOLS		
	110 - 115 VOLTS - TAMPER RESISTANT RECEPTACLE	<u> </u>	LED SURFACE MOUNT CEILING LIGHT
 	110 - 115 VOLTS 1/2 HOT SWITCHED - TAMPER RESIST.	4	4" LED RECESSED CEILING LIGHT
⊕	220 VOLTS - TAMPER RESISTANT RECEPTACLE	4	4" LED RECESSED CEILING LIGHT, WALL WASH
-	110 - 115 VOLTS GFI/WP - TAMPER RES. RECEPTACLE	\boxtimes	LED SPOT LIGHT
	110 - 115 VOLTS FLOOR OUTLET	7	7" LED RECESSED CEILING LIGHT
J	JUNCTION BOX	9	FLUORESCENT LAMP
/ ■	TELEPHONE	C.M.D. S.D.	CARBON MONOXIDE DETECTOR AND SMOKE ALAR
	COMPUTER OUTLET	Ø	RECESSED EXHAUST FAN / LIGHT
	TELEVISION	\bigcirc	RECESSED EXHAUST FAN
{\}	TWO WAY SWITCH		RECESSED HEAT LAMP
(1)3	THREE WAY SWITCH		LED STRIP LIGHTING
	WALL MOUNT LED LIGHT	(\$)	SPEAKER
	EXTERIOR WALL MOUNT LED LIGHT		

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REFLECTED CLG. / ELECTRICAL PLAN SCALE 1/4" = 1'-0" SCALE 1/4" = 1'-0"



NOTE: ALL LUMINAIRES SHALL EITHER BE HIGH EFFICACY OF SHALL BE CONTROLLED BY A OCCUPANT SENSOR OR DIMMER.

ELECTRICA	L PLAN NOTES:					
	WIRED SMOKE	 _	SOUND	AN	ALARM	AU

IN ALL SLEEPING AREAS OF THE UNIT. 2- ALL RECEPTACLE OUTLET LOCATIONS WILL COMPLY WITH

2013 C.E.C. ART. 210.52. 3- ALL 125 VOLT, SINGLE PHASE, 15 & 20 AMPERE RECEPTACLES

INSTALLED IN BATHROOMS, GARAGE, OUT-DOORS AND WITHIN 6 FEET OF A KITCHEN SINK SHALL HAVE GROUND-FAULT CIRCUIT-INTERRUPTURE PROTECTION AND COMPLY WITH 2013 C.E.C.

4- PROVIDE FIVE AIR CHANGES PER HOUR FOR BATHROOM AND LAUNDRY VENTILATION.

5- CONTRACTOR SHALL CONFIRM & COORDINATE THE EXISTING & NEW LIGHTING WITH OWNER & ARCHITECT PRIOR TO PROCEEDING

6- PROVIDE SMOKE DETECTORS IN EXISTING AREAS AS REQUIRED FOR NEW BUILDINGS. THE DETECTORS MAY BE

7- SMOKE ALARMS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING PROVIDED THAT SUCH WIRING IS SERVED FROM A COMMERCIAL SOURCE AND SHALL BE EQUIPPED WITH BATTERY BACK-UP. SMOKE ALARMS WITH INTEGRAL STROBES THAT ARE NOT EQUIPPED WITH BATTERY BACKUP SHALL BE CONNECTED TO AN EMERGENCY ELECTRICAL SYSTEM. SMOKE ALARMS SHALL EMIT A SIGNAL WHEN THE BATTERIES ARE LOW. WIRING SHALL BE PERMANENT AND WITHOUT A DISCONNECTING SWITCH OTHER THAN AS REQUIRED FOR OVERCURRENT PROTECTION.

8- WHERE MORE THAN ONE SMOKE ALARM IS REQUIRED TO BE INSTALLED WITHIN AN INDIVIDUAL DWELLING UNIT THE ALARM DEVICES SHALL BE INTERCONNECTED IN SUCH A MATTER THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL THE ALARMS IN THE INDIVIDUAL UNIT.

9- SINGLE AND MULTIPLE STATION CARBON MONOXIDE ALARMS SHALL BE LISTED AS COMPLYING WITH THE REQUIREMENTS OF UL 2034. CARBON MONOXIDE DETECTORS SHALL BE LISTED AS COMPLYING WITH THE REQUIREMENTS OF UL 2075.

10- CARBON MONOXIDE ALARMS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING WHERE SUCH WIRING IS SERVED FROM A COMMERCIAL SOURCE AND SHALL BE EQUIPPED WITH A BATTERY BACK-UP. ALARM WIRING SHALL BE DIRECTLY CONNECTED TO THE PERMANENT BUILDING WIRING WITHOUT A DISCONNECTING SWITCH OTHER THAN AS REQUIRED FOR OVERCURRENT PROTECTION.

11- CARBON MONOXIDE ALARMS FOR THE PROPOSED PROJECT ARE NOT PERMITTED TO BE BATTERY OPERATED AND SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING IN ACCORDANCE WITH SECTION R315.1.1

12- WHERE MORE THAN ONE CARBON MONOXIDE ALARM IS REQUIRED TO BE INSTALLED WITHIN THE DWELLING UNIT OR WITHIN A SLEEPING UNIT THE ALARM SHALL BE INTERCONNECTED IN A MANNER THAT ACTIVATION OF ONE ALARM SHALL ACTIVATE ALL OF THE ALARMS IN THE INDIVIDUAL

13- ADDITIONAL SMOKE DETECTORS SHALL BE PROVIDED AT THE TOP OF EACH STAIRWAY LANDING AND SHALL BE PROVIDED IN ALL HABITABLE SPACES EXCEPT KITCHENS.

14- USE TAMPER RESISTANT RECEPTACLES FOR ALL NEW LOCATIONS (NEC 210.52)

15- USE WEATHER RESISTANT TYPE RECEPTACLES INSTALLED IN DAMP OR WET LOCATIONS.

16- ARC-FAULT PROTECTION FOR ALL OUTLETS (NOT JUST

RECEPTACLES) LOCATED IN ROOMS DESCRIBED IN NEC 210.8(A): FAMILY ROOM, LIVING ROOM, BEDROOMS, DINING ROOM, HALLS,

17- GFCI PROTECTED OUTLETS FOR LOCATIONS DESCRIBED IN NEC210.8: KITCHENS, GARAGES, BATHROOMS, OUTDOORS, WITHIN 6' OF A SINK, ETC.

18- BATHROOM CIRCUITING SHALL BE EITHER A 20 AMPERE CIRCUIT DEDICATED TO EACH BATHROOM OR AT LEAST ONE 20 AMPERE CIRCUIT SUPPLYING ONLY BATHROOM RECEPTACLE

PROJECT TITLE Lerner Residence

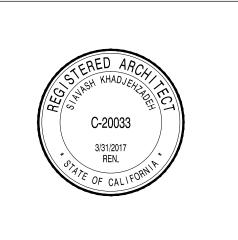
8676 Dunaway Drive La Jolla, California 92037

lan & Golnoosh Lerner

8676 Dunaway Drive La Jolla, California 92037



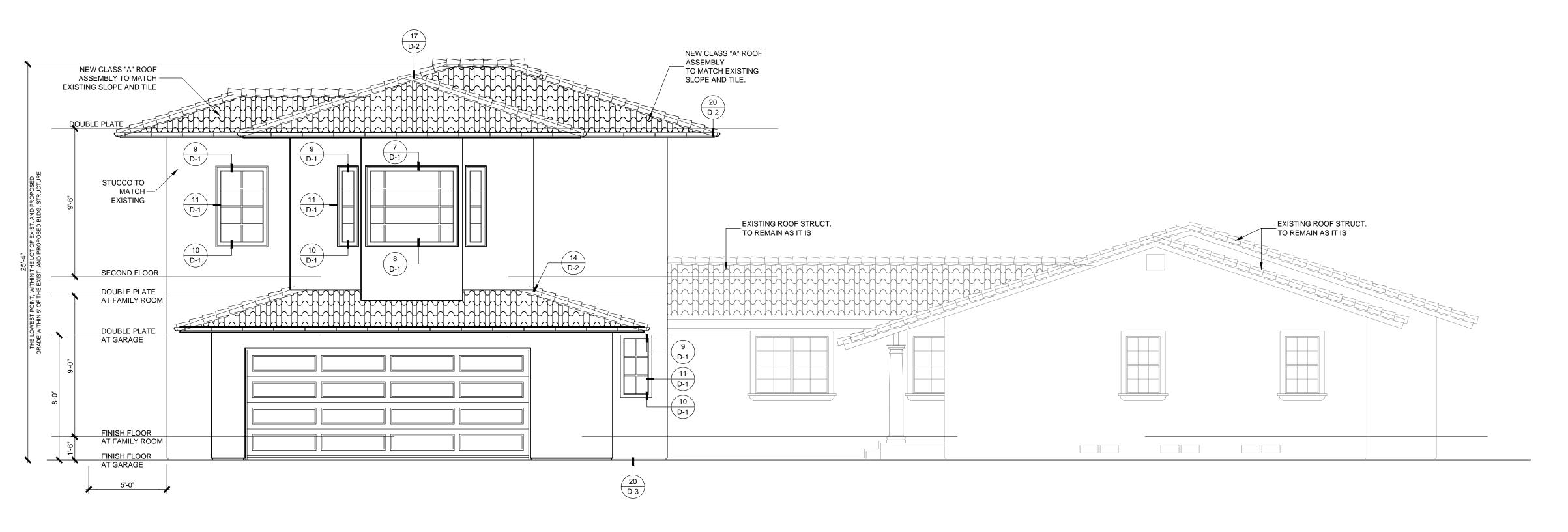
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DRAWING TITLE REFLECTED CEILING AND ELECTRICAL PLAN

2015-211 Mar 14, 2016 1/4" = 1'-0"

> SHEET # A-8



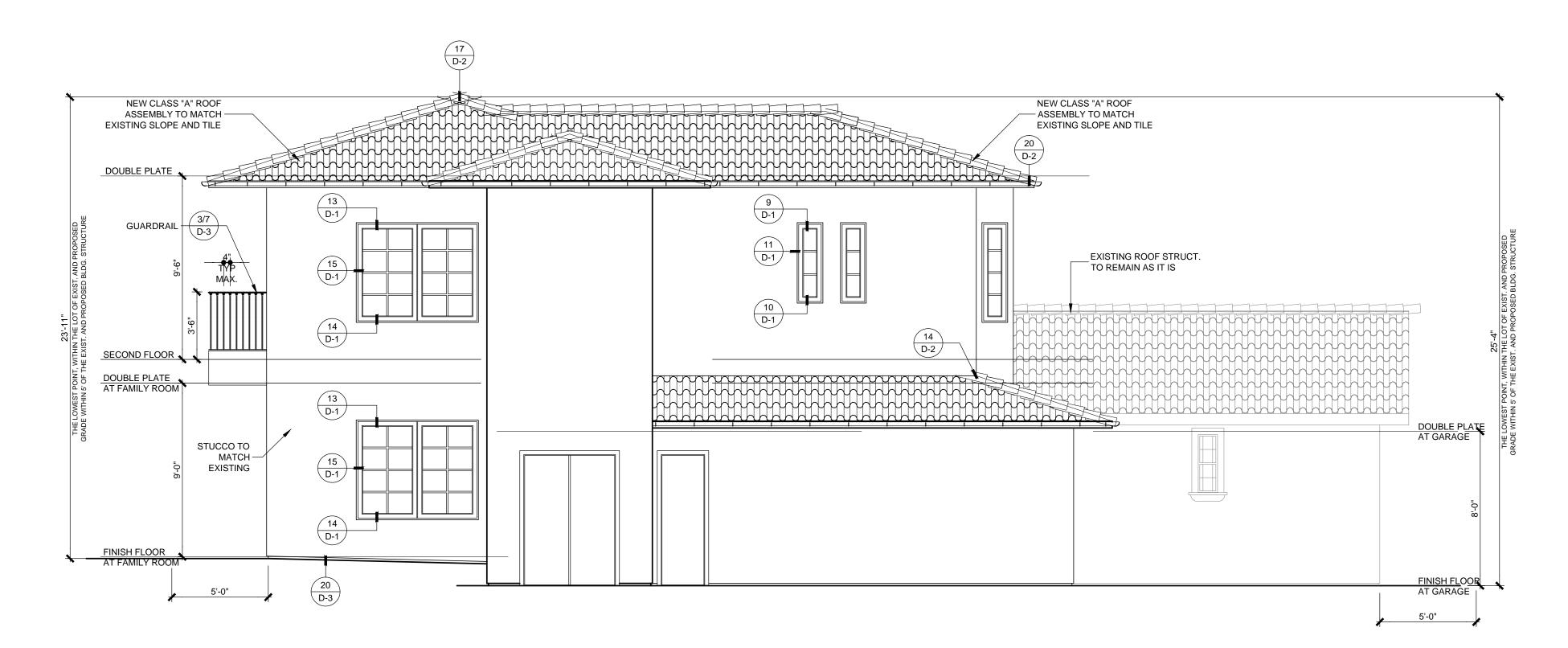
EAST / FRONT ELEVATION

LEGEND:

1. SOLID LINES INDICATE THE NEW CONSTRUCTION.

SCREEN LINES INDICATE THE EXISTING STRUCTURES.

EXISTING AREAS TO BE REMOVED



SOUTH / SIDE ELEVATION

LEGEND:

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SOLID LINES INDICATE THE NEW CONSTRUCTION.
 SCREEN LINES INDICATE THE EXISTING STRUCTURES.

EXISTING AREAS TO BE REMOVED

SCALE 1/4" = 1'-0"

SCALE 1/4" = 1'-0"

Lerner
Residence

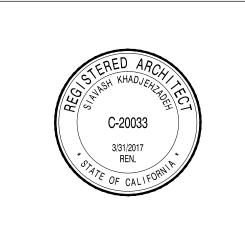
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lan & Golnoosh Lerner

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KEY PLAN

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EAST ELEVATION
AND SOUTH ELEVATION

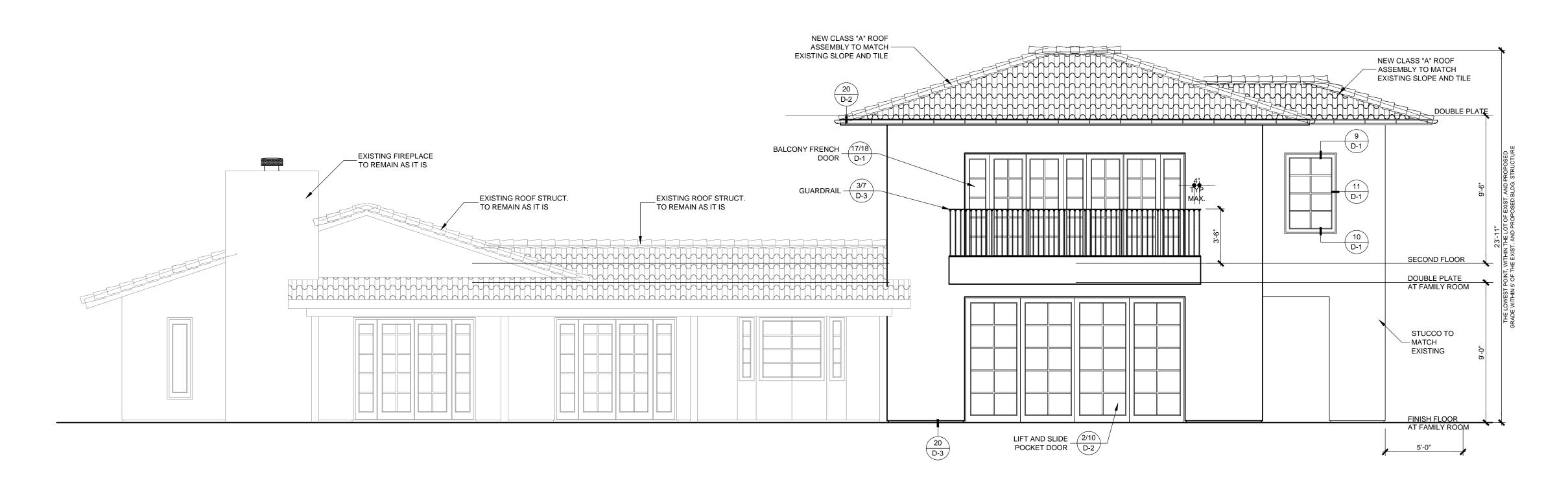
DATE
2015-211

Mar 14, 2016

DRAWN

SCALE
1/4" = 1'-0"

SHEET # **A-9**



WEST / REAR ELEVATION

LEGEND:

SCALE 1/4" = 1'-0"

SOLID LINES INDICATE THE NEW CONSTRUCTION.
 SCREEN LINES INDICATE THE EXISTING STRUCTURES.

EXISTING AREAS TO BE REMOVED

NEW CLASS "A" ROOF ASSEMBLY TO MATCH -Thurston of the second EXISTING SLOPE AND TILE NEW CLASS "A" ROOF — ASSEMBLY TO MATCH EXISTING SLOPE AND TILE DOUBLE PLATE EXISTING FIREPLACE STUCCO TO MATCH— TO REMAIN AS IT IS **EXISTING** EXISTING ROOF STRUCT. EXISTING ROOF STRUCT. TO REMAIN AS IT IS TO REMAIN AS IT IS SECOND FLOOR DOUBLE PLATE
AT FAMILY ROOM = +

NORTH / SIDE ELEVATION

LEGEND:

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SCALE 1/4" = 1'-0"

SOLID LINES INDICATE THE NEW CONSTRUCTION.
 SCREEN LINES INDICATE THE EXISTING STRUCTURES.

EXISTING AREAS TO BE REMOVED

Lerner Residence

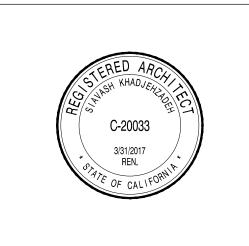
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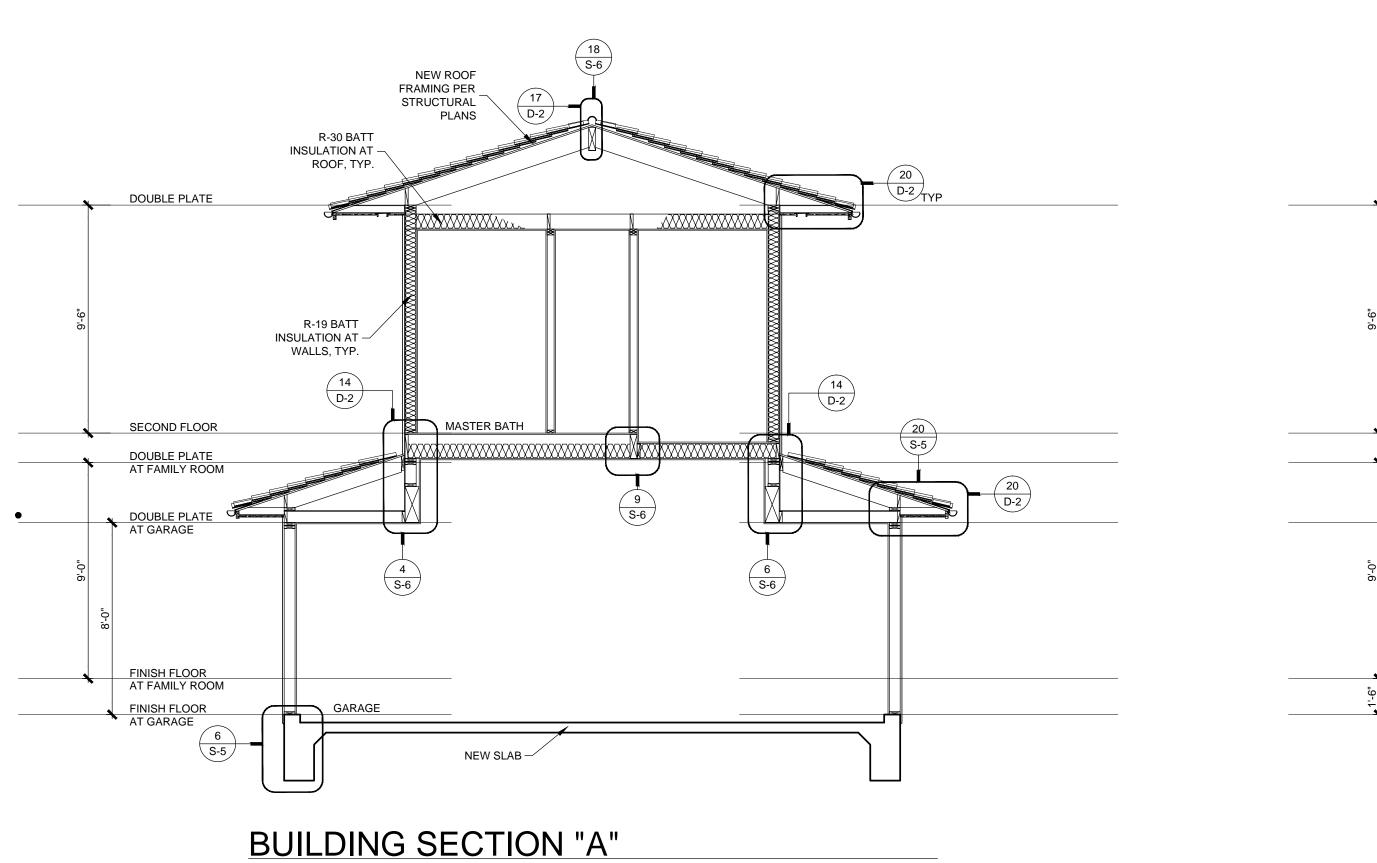
KEY PLAN

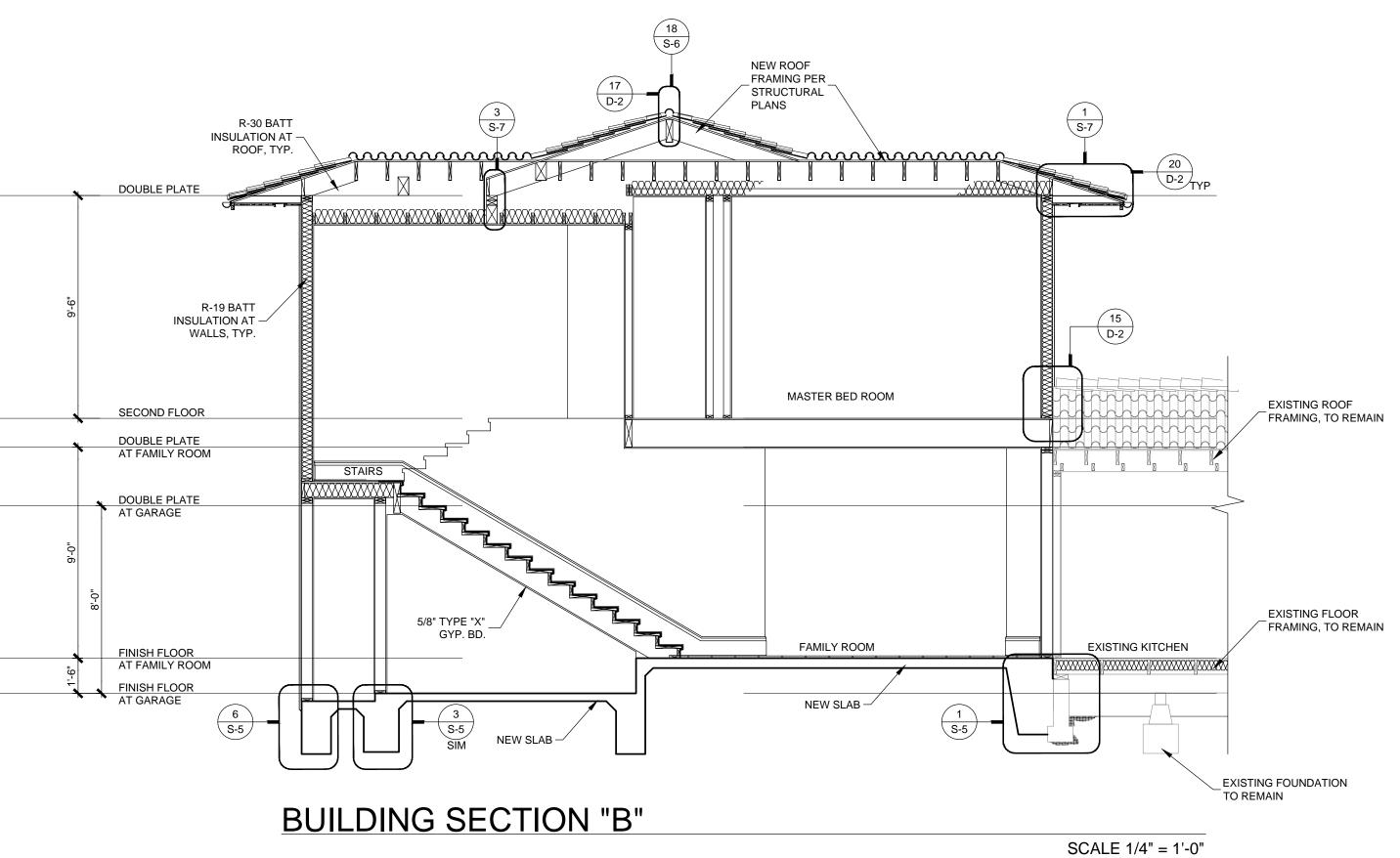
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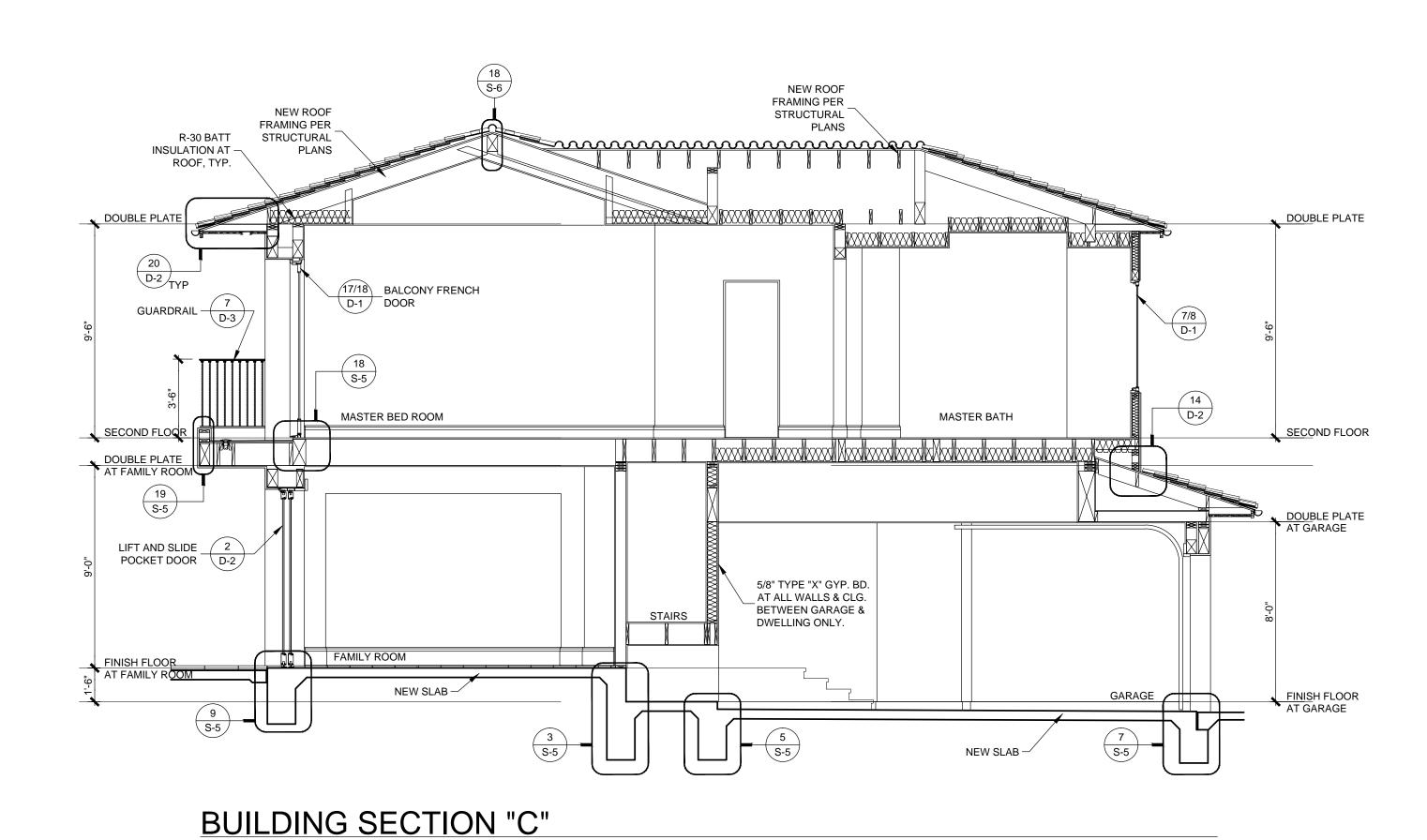
WEST ELEVATION
AND NORTH ELEVATION

2015-211	DATE Mar 14, 2016
DRAWN	SCALE 1/4" = 1'-0"

A-10







• C:\DWG-Temp\AcPublish_5956\LER-xA9-11-Elevation-Section-Dim.dwg Mar 14, 2016 - 12:06pm Leticia SCALE 1/4" = 1'-0"

SCALE 1/4" = 1'-0"



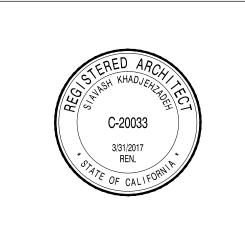
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KEY PLAN

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BUILDING SECTIONS

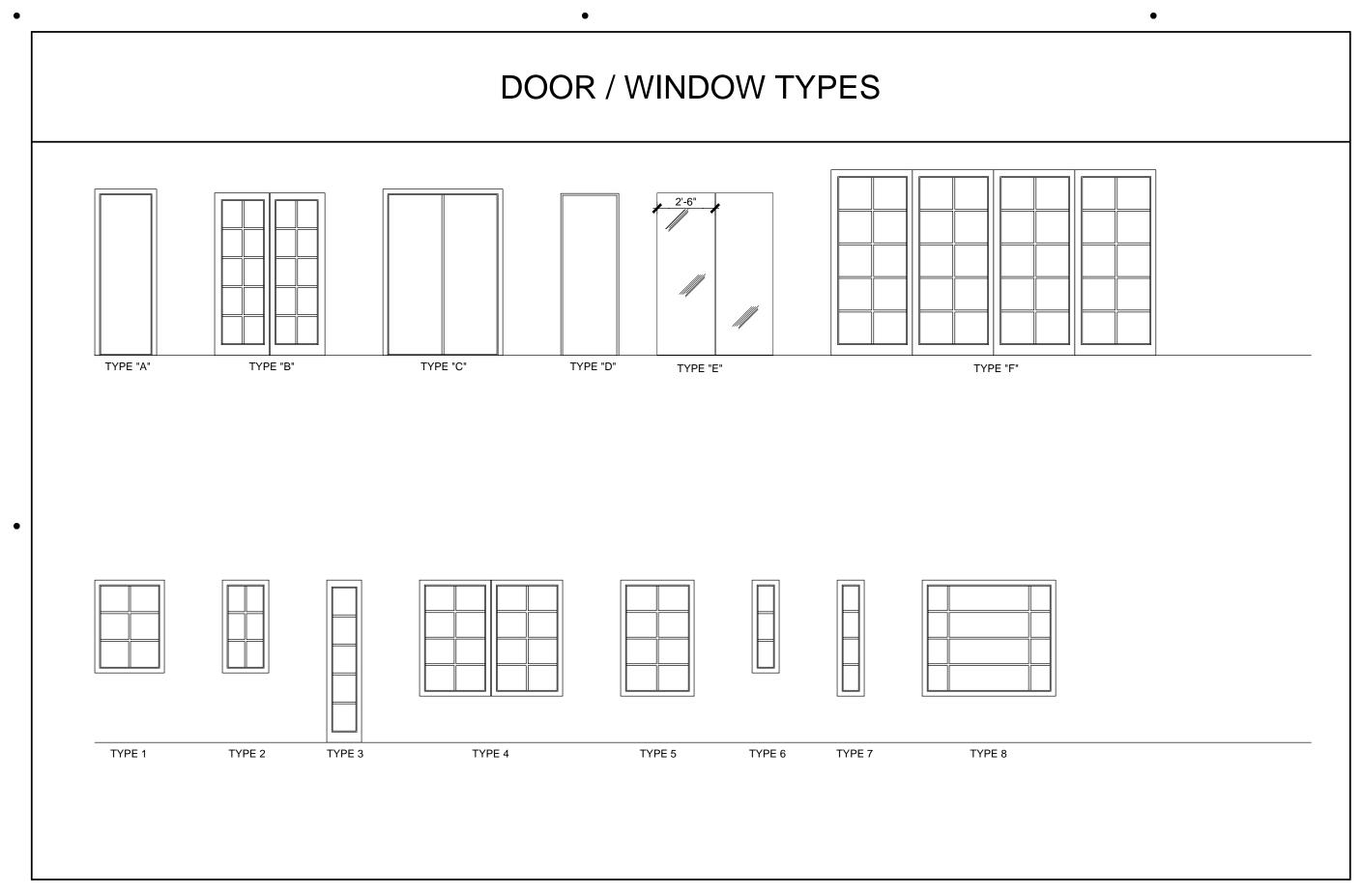
DATE
2015-211

Mar 14, 2016

DRAWN

SCALE
1/4" = 1'-0"

SHEET # **A-11**



ſ											ABBREVIATIONS		
		NOTE: FOR	WINDO'R WINDOW LOAD CALC	CULATIONS	DIFFER TO MAN	F = FACTORY FINISHED WG = V SC = SOLID CORE CP = C HM = HOLLOW METAL SS = S P = PAINTED S = ST AL = ANODIZED ALUMINUM TG = T				= WIRE GLASS = CLEAR PLATE = STAINLESS STEEL : STEEL = TEMPERED GLASS = VERIFY IN FIELD			
•	WINDOW	W	INDOW SIZE	ய	ST.	ING/				DETAI	LS		
	NUMBER	WIDTH	HEIGHT	TYPE	CONST.	FACING/ FINISH	GLASS	FRAME	HEAD	JAMB LOCK	JAMB HINGE	SILL	REMARKS
	A	3'-0"	4'-0"	1	CASEMENT	F	-	VINYL	9/D-1	11/D-1	11/D-1	10/D-1	
	B	2'-0"	4'-0"	2	CASEMENT	F	-	VINYL	9/D-1	11/D-1	11/D-1	10/D-1	
	⟨c⟩	6'-0"	5'-0"	4	HORIZONTAL SLIDER	F	-	VINYL	13/D-1	15/D-1	15/D-1	14/D-1	
	Q	3'-0"	5'-0"	5	CASEMENT	F	-	VINYL	9/D-1	11/D-1	11/D-1	10/D-1	
	E	3'-0"	5'-0"	5	CASEMENT	F	-	VINYL	9/D-1	11/D-1	11/D-1	10/D-1	
	F	6'-0"	5'-0"	4	HORIZONTAL SLIDER	F	-	VINYL	13/D-1	15/D-1	15/D-1	14/D-1	
	G	1'-6"	7'-0"	3	PICTURE	F	TG	VINYL	7/D-1	12/D-1	12/D-1	18/D-1 SIM	WINDOW NEXT TO FRENCH DOOR
	H	1'-6"	7'-0"	3	PICTURE	F	TG	VINYL	7/D-1	12/D-1	12/D-1	18/D-1 SIM	WINDOW NEXT TO FRENCH DOOR
	<u>(1)</u>	1'-6"	7'-0"	3	PICTURE	F	TG	VINYL	7/D-1	12/D-1	12/D-1	18/D-1 SIM	WINDOW NEXT TO FRENCH DOOR
	$\langle \overline{\zeta} \rangle$	1'-0"	4'-0"	6	CASEMENT	F	-	VINYL	9/D-1	11/D-1	11/D-1	10/D-1	
	⟨ K ⟩	1'-0"	5'-0"	7	CASEMENT	F	-	VINYL	9/D-1	11/D-1	11/D-1	10/D-1	VERIFY BATH TUB HEIGHT
	⟨L⟩	1'-0"	5'-0"	7	CASEMENT	F	-	VINYL	9/D-1	11/D-1	11/D-1	10/D-1	VERIFY BATH TUB HEIGHT
	M	5'-7"	5'-0"	8	PICTURE	F	-	VINYL	7/D-1	12/D-1	12/D-1	8/D-1	VERIFY BATH TUB HEIGHT
	(Z)	1'-0"	5'-0"	7	CASEMENT	F	-	VINYL	9/D-1	11/D-1	11/D-1	10/D-1	VERIFY BATH TUB HEIGHT
	Ó	1'-0"	5'-0"	7	CASEMENT	F	-	VINYL	9/D-1	11/D-1	11/D-1	10/D-1	VERIFY BATH TUB HEIGHT
	P	1'-0"	4'-0"	6	CASEMENT	F	-	VINYL	9/D-1	11/D-1	11/D-1	10/D-1	
	Q	1'-0"	4'-0"	6	CASEMENT	F	-	VINYL	9/D-1	11/D-1	11/D-1	10/D-1	
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						_							
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DOOR SCHEDULE VERIFY IN FIELD ALL WINDOWS AND DOORS ROUGH OPENINGS PRIOR TO FABRICATION											AL = ANODIZE CP = CLEAR PI F = FACTORY P = PAINTED PL = PLASTIC I S = STEEL	_ATE FINISHED	SS = ST T = TIM TG = TE	MPERED GLASS NTED GLASS				
DOOR		DOOR SIZE			ST.) J I	Ø	ي و	Щ	.W.	. N	JW.			DETAILS			
NUMBER	WIDTH	HEIGHT	THICKNESS	TYPE	CONST.	FACING/ FINISH	GLASS	RATING	FRAME	HARDW.	HEAD	JAMB LOCK	JAMB HINGE	SILL	REMARKS			
(1)	18'-0" (V.I.F.)	7'-0" (V.I.F.)												-	RELOCATE EXISTING GARAGE DOOR			
2	2'-6"	7'-0"		Α	WD	F	-	-	F	-								
3	2'-6"	7'-0"	1-3/8"	А	WD	F	-	-	F	-					1-3/8" SOLID CORE DOOR W/ SELF CLOSER			
4	14'-0"	8'-0"		F	WD	F	TG	-	F	-	2/D-2	10/D-2	10/D-2	2/D-2	PATIO SLIDING POCKET DOOR			
5	2'-6" (PAIR)	7'-0"		С	WD	F	-	-	F	-					TRASH CLOSET			
6	2'-6"	7'-0"		D	WD	F	-	-	F	-					INTERIOR DOOR			
7	2'-4" (PAIR)	7'-0"		В	WD	F	TG	-	F	-	17/D-1	20/D-1	20/D-1	18/D-1	BALCONY FRENCH DOOR			
8	2'-4" (PAIR)	7'-0"		В	WD	F	TG	-	F	-	17/D-1	20/D-1	20/D-1	18/D-1	BALCONY FRENCH DOOR			
9	2'-4"	7'-0"		D	WD	F	-	-	F	-					WALK-IN-CLOSET DOOR			
(10)	2'-4"	7'-0"		D	WD	F	-	-	F	-					WALK-IN-CLOSET DOOR			
(11)	2'-6"	7'-0"		D	WD	F	-	-	F	-					POCKET DOOR			
12)	2'-4"	7'-0"		D	WD	F	-	-	F	-					TOILET ROOM DOOR			
13)	2'-6"	VERIFY INT. ELEV		Е	TG	TG	TG	-	F	-					SHOWER GLASS DOOR			
		1	 	†	t	 		 	+	1	1	1	1					

ABBREVIATIONS

VERIFY IN FIELD ALL WINDOWS AND DOORS SIZES.

NOTES:

- 1. CONTRACTOR SHALL VERIFY ALL WINDOW / DOOR SIZE & MODEL NO. WITH OWNER & ARCHITECT PRIOR TO PLACING ORDER WITH THE MANUFACTURER.
- 2. GLAZING WITHIN A 24" ARC OF EITHER SIDE OF DOORS, ADJACENT TO A WALKING SURFACE, ADJACENT TO A STAIR LANDING, IN RAILING, ADJACENT TO A TUB OR SHOWER, OR A BARRIER FOR A SUMMING POOL OR SPA MUST BE OF SAFETY GLAZING MATERIAL.
- 3. SPECIFY TEMPERED GLASS OR MULTILAYERED GLASS FOR GLAZING MATERIALS USED IN SKYLIGHTS, ROOFS, AND SLOPED WALLS.

Lerner Residence

8676 Dunaway Drive La Jolla, California 92037

lan & Golnoosh Lerner

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KEY PLAN

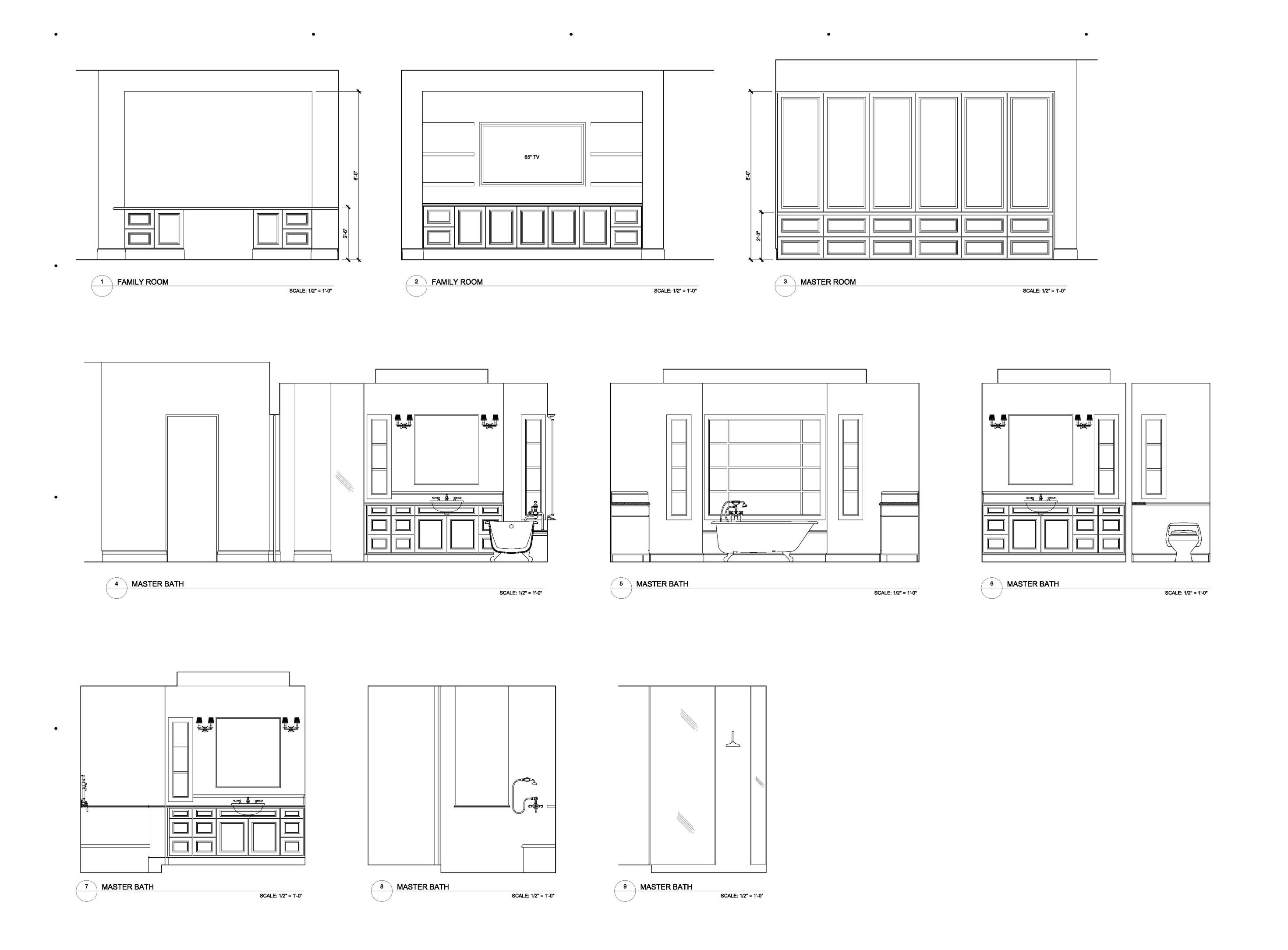
BUILDING

WINDOW AND DOOR SCHEDULE

JOB # 2015-211	DATE Mar 14, 2016				
DRAWN	SCALE 1/4" = 1'-0"				

SHEET # **A-12**

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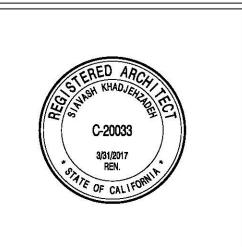
8676 Dunaway Drive La Jolla, California 92037

lan & Golnoosh Lerner

8676 Dunaway Drive La Jolla, California 92037



ALL IDEAS, DESIGNS, ARRANGEMENTS, AND PLANS INDICATED OR REPRESENTED BY THIS DRAWING ARE OWNED BY, AND THE PROPERTY OF, DESIGN LEAD ARCHITECTS AND WERE CREATED, EVOLVED AND DEVELOPED FOR USE ON, AND IN CONNECTION WITH THE SPECIFIED PROJECT. NONE OF SUCH IDEAS, DESIGNS OR ARRANGEMENTS OR PLANS SHALL BE USED WITHOUT WRITTEN PERMISSION OF DESIGN LEAD



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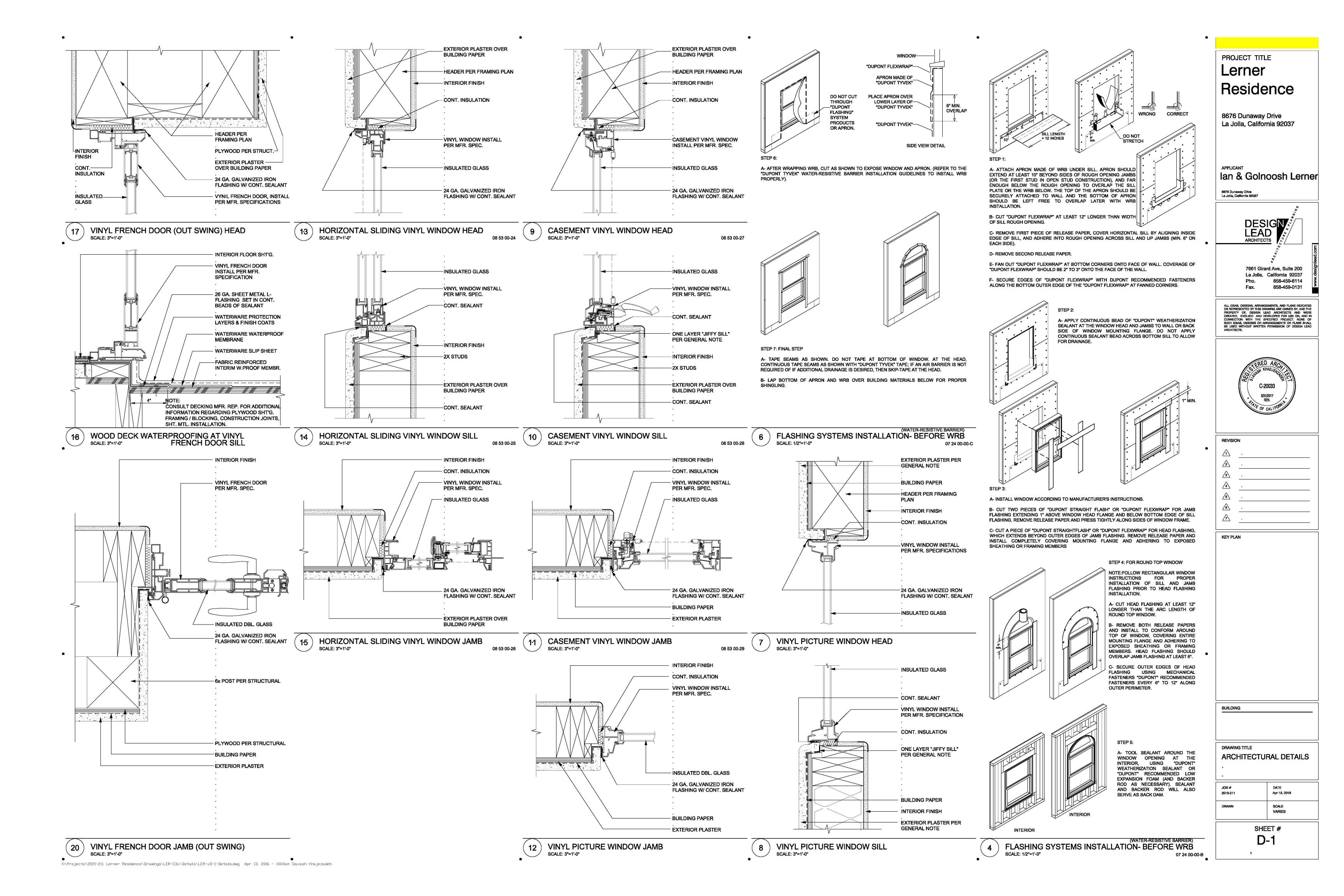
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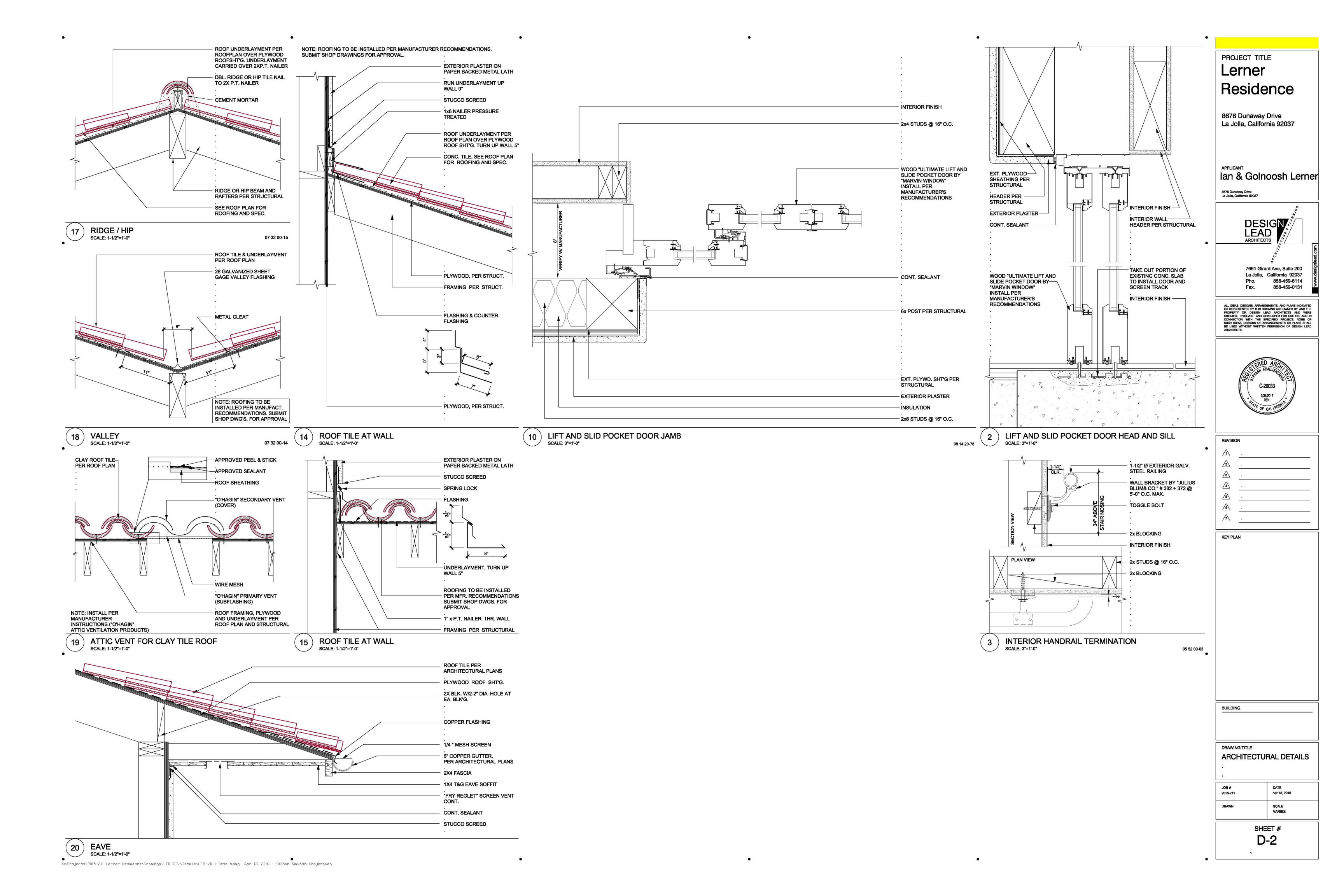
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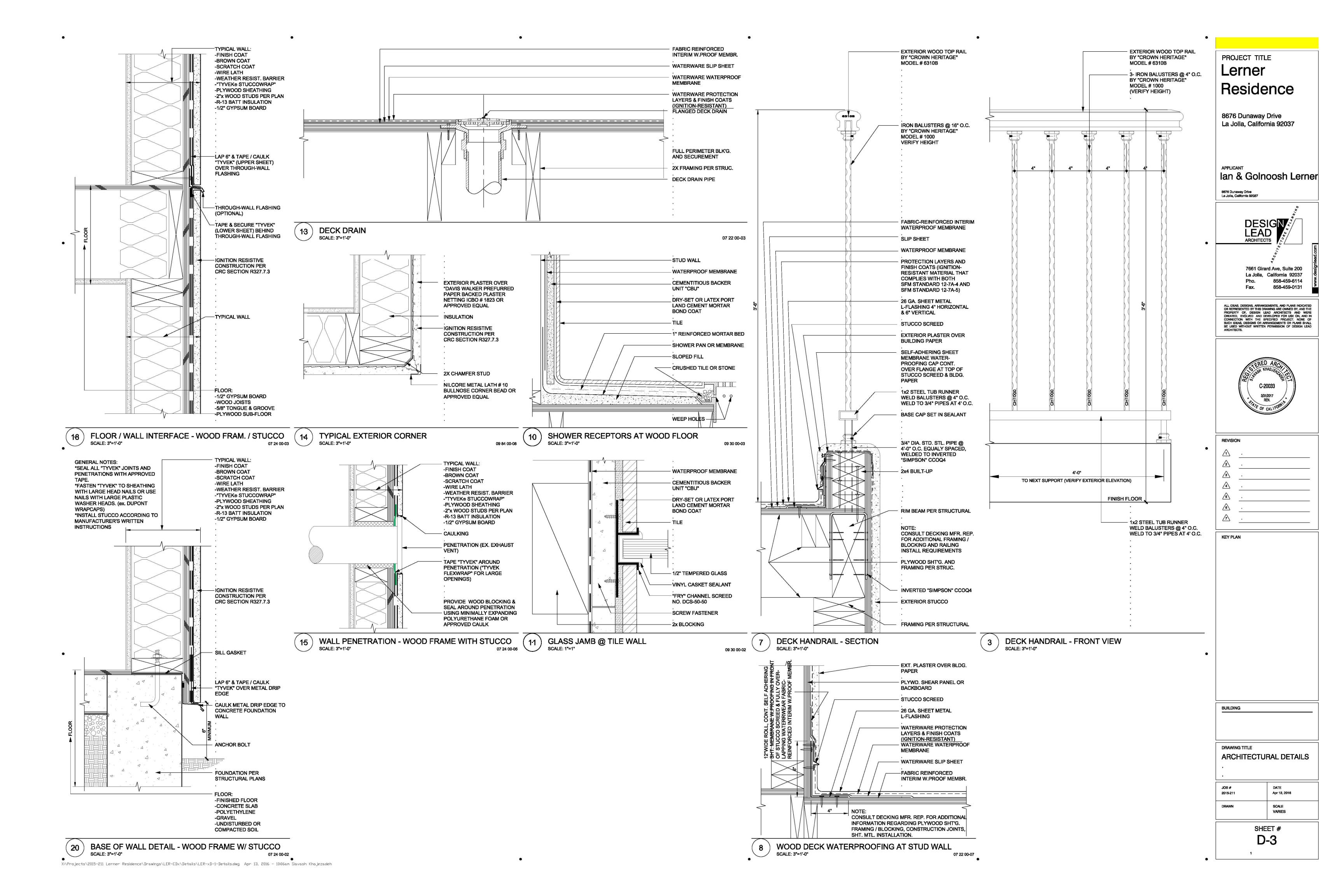
INTERIOR ELEVATIONS

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2015-211	Apr 13, 2016
DRAWN	SCALE
	1/4" = 1'-0"

SHEET # **A-13**







THE CITY OF SAN DIEGO **Development Services**

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L64A-003B

1222 First Avenue, San Diego, CA 92101-4154

Project Information

Title: 2702 Costebelle SDP Project Nbr: 460884

Project Mgr: Gutierrez, Edith (619) 446-5147 egutierrez@sandiego.gov

Review Information

Cycle Type: 2 Submitted (Multi-Discipline) Deemed Complete on 12/23/2015 Submitted: 12/23/2015

Reviewing Discipline: LDR-Environmental Cycle Distributed: 12/23/2015

> Reviewer: Holowach, Courtney Assigned: 12/23/2015 (619) 446-5187 Started: 12/23/2015

Review Due: 02/03/2016 Cholowach@sandiego.gov Completed: 02/03/2016

12.00 Next Review Method: Submitted (Multi-Discipline) Closed:

The reviewer has indicated they want to review this project again. Reason chosen by the reviewer: First Review Issues.

- . The reviewer has requested more documents be submitted.
- . Your project still has 10 outstanding review issues with LDR-Environmental (all of which are new).

First Review

Extended Initial Study

Issu

Hours of Review:

Cleared? Num **Issue Text**

> EAS has determined that additional information is needed for Cultural Resources (Paleontological), Water Quality, Geology, and Planning.

> > Until the above issues have been addressed, the CEQA determination cannot be made and the environmental processing timeline will be held in abeyance.

(New Issue)

Cultural Resources (Built Envi

	<u>issue</u>	ŀ
 		

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Cleared?	Num	Issue Te	X

2 San Diego Municipal Code Section 143.0212 requires City Plan Historic staff to review all projects impacting a parcel that contains a structure 45 years old or older to determine whether a potentially significant historical

resource exists on site prior to issuance of a permit. (New Issue)

LDR-Plan Historic staff is concurrently reviewing the project. EAS defers to them in determination of whether a historical resource exists. LDR-Plan Historic staff has determined that the property does not meet local designation criteria as an individually significant resource under any adopted Historical Resources Board Criteria. Please refer to their comments for further information. Therefore, EAS finds that there will be no significant impact to cultural resources. EAS has no further comment at this time. (New Issue)

Cultural Resources (Paleo)

Issue

Cleared? Num **Issue Text**

The proposed project site is underlain by the Ardath Shale Formation. The Ardath Shale Formation is assigned a high potential for fossil resources. The City's Significance Determination Threshold for a high sensitivity rating is grading greater than 1,000 cubic yards exported and cut of 10 feet or more in depth. (New Issue)

In order for EAS to determine if a potential impact would result to paleontological resources please provide the total amount of grading and/or disturbance (import/export, amount of fill, and depth of cut). (New Issue)

Cultural Resources (Archy)

Cleared? Num **Issue Text**

The project site is on the City of San Diego's Historical Resources Sensitivity map. However, qualified City staff × has reviewed the project and determined that based on the topography, the lack of recorded resources and the disturbed nature of the site there is no potential impact to any unique or non-unique historical resources and no

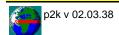
further comment is required. (New Issue)

Water Quality

Issue

Cleared? Num Issue Text

for questions regarding the 'LDR-Environmental' review, please call Courtney Holowach at (619) 446-5187. Project Nbr: 460884 / Cycle: 2



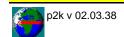
THE CITY OF SAN DIEGO Development Services

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L64A-003B

1222 First Avenue, San Diego, CA 92101-4154

	<u>Issue</u>	
Cleared? □	<u>Num</u> 7	 Issue Text EAS is in receipt of the submitted Water Quality Study BMP Report for the Fakhimi Investment Group Residence (November 2015, Rancho Coastal Engineering and Surveying, Inc.). LDR-Engineering is reviewing
		the report concurrently. EAS will defer to LDR-Engineering on water quality issues. At this time they have not completed their review. Until LDR-Engineering completes their review EAS cannot make a determination on water quality issues. Any significant issues identified in their review will be considered in the next submittal. (New Issue)
□ E Geolog	V	(New Issue)
	<u>Issue</u>	
Cleared?	<u>Num</u>	<u>Issue Text</u>
	8	EAS is in receipt of the submitted Report of Preliminary Geotechnical Investigation (Geotechnical Exploration, Inc., December 2015) and Preliminary Opinion of Hillside Disturbance (Geotechnical Exploration, Inc., November 2015). LDR-Geology is reviewing these reports concurrently. EAS will defer to LDR-Geology on geology issues. (New Issue)
	9	LDR-Geology is requesting and an addendum geotechnical investigation report prepared in accordance with the
	10	City's "Guidelines for Geotechnical Reports." Please refer to their comments for further information. (New Issue) EAS will need to review this addendum concurrently with LDR-Geology in the next cycle of reviews. Until the requested information is received EAS cannot make an environmental determination on Geology. (New Issue)
📂 Biologi	cal Re	sources
	<u>Issue</u>	
Cleared?	<u>Num</u> 11	Issue Text After review of the City's orthophotos it would appear that the project site has potential sensitive vegetation on and adjacent to the site.
		Staff review of the submitted photographic survey shows the vegetation on site to be ornamental in nature, however. Therefore, no significant impacts to biological resources are likely to occur. The project would be required to comply with both federal and state MBTA regulations. EAS has no further comments on this issue.
		(New Issue)
📂 Plannin	g	
Class do	Issue	Janua Taut
Cleared? □		Issue Text At this time planning staff has not completed their comments. Any significant issues identified in their review will
"	12	be considered in the next submittal. (New Issue)
B Summa	ıry	
Cleared?	<u>Issue</u>	Issue Text
	13	As mentioned above the CEQA determination cannot be made until all issues have been addressed. Until the
		requested information has been provided staff is not able to complete the environmental review for the project and the environmental processing timeline will be held in abeyance. EAS will coordinate with the other reviewers as the review progresses regarding any additional potential environmental impacts. (New Issue) Please be aware that the environmental review may change in response to any project changes and/or new information. Additionally, the new information may lead to the requirement of new and/or technical studies. A determination as to the appropriate environmental document will be made based on all reviewed and submitted
		information. (New Issue)



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L64A-003B

1222 First Avenue, San Diego, CA 92101-4154

Review Information

Cycle Type: 2 Submitted (Multi-Discipline) Submitted: 12/23/2015 Deemed Complete on 12/23/2015

Reviewing Discipline: LDR-Engineering Review Cycle Distributed: 12/23/2015

> Assigned: 12/28/2015 Reviewer: Huynh, Khanh (619) 446-5299 Started: 02/02/2016

> > **Review Due:** 01/29/2016 KHuynh@sandiego.gov

Hours of Review: 7.00 Completed: 02/05/2016

Next Review Method: Submitted (Multi-Discipline) Closed:

- The review due date was changed to 02/03/2016 from 02/03/2016 per agreement with customer.
- The reviewer has indicated they want to review this project again. Reason chosen by the reviewer: First Review Issues.
- The reviewer has requested more documents be submitted.
- . Your project still has 26 outstanding review issues with LDR-Engineering Review (all of which are new).

1st Review issues **Issue Text** Cleared? Num The new Storm Water Development Regulations will become effective February 16, 2016 and this project will be subject to those regulations. Project drains into the La Jolla Area of Special Biological Significance (ASBS) and is subject to all requirements of the Final Compliance Plan for La Jolla ASBS dated September 20, 2014. Since the project discharges to an approved City of San Diego discharged location into ASBS, no additional design requirement will apply involving in the ASBS. (New Issue) Renumber the Preliminary Grading & Drainage Plan and Existing Topo & Demolition Plan sheets to be consistent with the Drawing Index. (New Issue) Revise the Preliminary Grading & Drainage Plan, sheet C1.1. Add the depths of cut and fill. Add the height of cut and fill slopes. It appears on the Preliminary Grading & Drainage Plan that the depth of cut for outside the building footprint is 5 feet. Thus, Grading permit will be required. (New Issue) 4 Add surface drainage flow patterns and slope gradient east of the property, and the collection and discharge points for all site and roof drains. (New Issue) It appears on the Preliminary Grading & Drainage Plan that the depth of cut for outside the building footprint is 5 feet. Thus, Grading permit will be required. (New Issue) 6 Revise the Grading Plan, sheet C1.1. Add a Bench Mark per the City of San Diego Vertical Control Book. Include the elevation and required MSL Datum. (New Issue) Revise the Site Plan, sheet A1.1. Show and call out the location of the roof drains and how they are discharged into landscape area. (New Issue) SDMC section 143.0142(f) states: Any increase in runoff resulting from the development of the site shall be directed away from any steep hillside areas and either into an existing or newly improved public storm drain system or onto a street developed with a gutter system or public right-of-way designated to carry surface drainage run-off. (New Issue) Submit a Preliminary Drainage Study which addresses the existing and proposed storm water run-off and discharge locations for the project site. Add a discussion on how the increase storm water run-off from the proposed development will be discharged to Costebelle Drive. (New Issue) 10 Add a discussion to the Drainage Study stating if the proposed project is required to obtain approval from the Regional Water Quality Control Board Under Federal Clean Water Act (CWA) section 401 or 404. A complete explanation must be provided. Please note, if the proposed project is subject to regulations as set forth in CWA 401/404, approval from the California Regional Water Quality Control Board must be obtained prior to permit issuance. (New Issue) 11 Revise the Site Plan, sheet A1.1. Add a note that states: This project will not discharge any increase in storm water run-off onto the existing hillside areas or adjacent properties. (New Issue) 12 Revise the Site Plan, sheet A1.1. Project proposed single discharge location to the existing hillside which is unacceptable. Add a note that states: Multiple storm water discharge locations will be used to mimic the existing drainage pattern. Add a note that states: No additional run-off is proposed for the discharge locations. Revise the design accordingly. (New Issue) 13 The Water Quality Study report template has been changed due to the new MS4 permit, LID and Source Control BMP requirements. Therefore, revise the Water Quality Study that Identifies Pollutants from the Project Area and addresses how the 8 possible Low Impact Development (LID) BMPs and 6 possible Source Control BMPs have been incorporated into the project. (New Issue) 14 If any of the 14 possible BMPs have not been used in the project design, add a discussion in the report why the П omitted BMPs are not feasible or not applicable. Please Note: A Water Quality Study is required, not a SWQMP. For an example of a Water Quality Study - 2016, contact my office at KHuynh@SanDiego.gov (New Issue) City's Storm Water Standards are available online at: http://www.sandiego.gov/stormwater/pdf/citysdstormwaterstandardsmanualdraft2015.pdf (New Issue) Revise the Grading Plan, sheet C1.1. Show and call out how all storm water run-off from the proposed development is directed to proposed landscape Low-Impact Development BMPs. (New Issue)

or questions regarding the 'LDR-Engineering Review' review, please call Khanh Huynh at (619) 446-5299. Project Nbr: 460884 / Cycle: 2

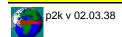


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L64A-003B

Cleared?	Num	Issue Text
	17	Remove the Storm Water Quality Notes Construction BMP's from the Site Plan, sheet A1.1.
	18	(New Issue) Revise the Site Plan, sheet A1.1. Show the Water and Sewer Mains, including the new laterals that serve the project. Call out the City Improvement Plan numbers. A search of City Records by your office may be required. (New Issue)
	19	The number of existing driveways shown on the Existing Topo & Demolition Plan is inconsistent with the Site
	20	Plan. Revise the plans accordingly. (New Issue) Per SDMC Section 142.0560(8)(A), for properties with no access to an alley, there shall be at least one driveway opening permitted per street frontage with a maximum of one driveway opening for each 100 feet of street frontage. Also, per Diagram 142-05C, there shall be 45 feet length minimum between driveways. Due to these two reasons, revise the Site Plan and Grading Plan, sheet A1.1 and C1.1, show and call out the closure of one of the existing driveways with current City Standard curb, gutter and sidewalk, adjacent to the site on Costebelle Drive. (New Issue)
	21	Revise the Grading Plan Sheet 3 Add the visibility area triangles, per San Diego Municipal Code Diagram 113-02SS for the driveway on Costebelle Drive. Show the visibility areas on private property which shall extend 10 feet inward along the driveway and along the property line. Add a note that states: No obstruction including landscaping or solid walls in the visibility area shall exceed 3 feet in height. (New Issue)
	22	Revise the Site Plan, sheet A1.1. Add a note that states: Prior to the issuance of any construction permit, the Owner/Permittee shall enter into a Maintenance Agreement for the ongoing permanent BMP maintenance, satisfactory to the City Engineer. (New Issue)
	23	Revise the Site Plan, sheet A1.1. Add a note that states: Prior to the issuance of any construction permit, the Owner/Permittee shall incorporate any construction Best Management Practices necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the San Diego Municipal Code, into the construction plans or specifications. (New Issue)
	24	Revise the Site Plan, sheet A1.1. Add a note that states: Prior to the issuance of any construction permit the Owner/Permittee shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be prepared in accordance with the guidelines in Part 2 Construction BMP Standards Chapter 4 of the City's Storm Water Standards. (New Issue)
	25	
	26	(New Issue) Additional comments may be recommended pending further review of any redesign of this project. These comments are not exclusive. Should you have any questions or comments, please call Khanh Huynh at 619 446-5299. (New Issue)



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L64A-003B

1222 First Avenue, San Diego, CA 92101-4154

Review Information

Cycle Type: 2 Submitted (Multi-Discipline) **Submitted:** 12/23/2015 Deemed Complete on 12/23/2015

Reviewing Discipline: Community Planning Group Cycle Distributed: 12/23/2015

> Assigned: 01/11/2016 Reviewer: Gutierrez, Edith

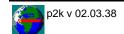
> > (619) 446-5147 Started: 01/11/2016 egutierrez@sandiego.gov Review Due: 01/29/2016

Hours of Review: 0.10 Completed: 01/11/2016

Next Review Method: Submitted (Multi-Discipline) Closed:

- . The review due date was changed to 02/03/2016 from 02/03/2016 per agreement with customer.
- The reviewer has indicated they want to review this project again. Reason chosen by the reviewer: Partial Response to Cmnts/Regs.
- . The reviewer has requested more documents be submitted.
- . Your project still has 2 outstanding review issues with Community Planning Group (all of which are new).

1st Rev	iew	
	<u>Issue</u>	
Cleared?	<u>Num</u>	Issue Text
	1	Please contact the Chair for the La Jolla Community Planning Association, (as identified in the assessment letter) to make arrangements to present your project for review at their next available meeting. This Community Planning Group is officially recognized by the City as a representative of the community, and an advisor to the City in actions that would affect the community. The Development Services Department has notified the group of your request and has sent them a copy of your project plans and documents. (New Issue)
	2	Projects within the La Jolla Shores Planned District require a recommendation from the La Jolla Shores Planned District Advisory Board, in addition to the La Jolla Community Planning Association (LDC Section 1510.0105(b)). Contact the Development Project Manager when you are ready to schedule your project before the Advisory Board, which meets the third Tuesday of the month. Provide adequate time to schedule your project on the docket. Presentation materials should include elevations, photographs of surrounding properties, samples of colors, finishes, and special treatments. (New Issue)



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L64A-003B

1222 First Avenue, San Diego, CA 92101-4154

Review Information

Cycle Type: 2 Submitted (Multi-Discipline) **Submitted:** 12/23/2015 Deemed Complete on 12/23/2015

Reviewing Discipline: LDR-Geology Cycle Distributed: 12/23/2015

Assigned: 12/23/2015 Reviewer: Thomas, Patrick

> (619) 446-5296 **Started:** 12/23/2015 pathomas@sandiego.gov Review Due: 01/29/2016

Hours of Review: 3.00 Completed: 01/27/2016

Next Review Method: Submitted (Multi-Discipline) Closed:

- . The review due date was changed to 02/03/2016 from 02/03/2016 per agreement with customer.
- The reviewer has indicated they want to review this project again. Reason chosen by the reviewer: New Document Required.
- . The reviewer has requested more documents be submitted.
- . Your project still has 9 outstanding review issues with LDR-Geology (all of which are new).

2 460884-2 (1/27/2016)

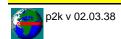
Information

Issue

	133UC	
Cleared?	<u>Num</u>	<u>Issue Text</u>
	1	The project site is located within geologic hazards zone 25 as shown on the City's Seismic Safety Study Geologic Hazards Maps. Zone 25 is characterized by slide-prone formations with neutral or favorable geologic structure. In addition, the site is in the proximity of confirmed, known, or highly suspected landslides. (New Issue)
	2	The applicant should note that a permit may be required from the Regional Water Quality Control Board if ground water from basement retaining wall subdrains is proposed to discharge to the street or municipal storm drain system. (New Issue)
🗁 Referen	ces	
	Issue	
Cleared?	<u>Num</u>	<u>Issue Text</u>
	3	Preliminary Grading & Drainage Plan for: 2702 Costebelle Drive, La Jolla, California 92037, prepared by Rancho Coastal Engineering & Surveying, undated.
		Report of Preliminary Geotechnical Investigation, Proposed Salami/Shirazi Residence, 2702 Costebelle Drive, La Jolla, California; prepared by Geotechnical Exploration, Inc., dated December 7, 2015 (their project no. 15-10884). (New Issue)
🗁 Issues		
	Issue	Jacua Tavit
Cleared?	<u>Num</u> 4	<u>Issue Text</u> Submit an addendum geotechnical investigation report prepared in accordance with the City's "Guidelines for
	4	Geotechnical Reports."
		http://www.sandiego.gov/development-services/pdf/industry/geoguidelines.pdf (New Issue)
	5	The geotechnical consultant must demonstrate that the site will have a factor-of-safety of 1.5 or greater with
_	•	respect to gross and surficial slope stability at the completion of the project. (New Issue)
	6	The addendum geotechnical report must include the logs of the subsurface exploration at the site that provide the detailed direct observation and mapping of the bedding attitudes conducted by an engineering geologist.
		Indicate if the geologic structure is favorable or unfavorable. (New Issue)
	7	The geotechnical consultant should confirm that the setback between the descending slope and outer edge of the proposed building foundations is adequate to provide protection from slope drainage, erosion and shallow
	8	failures over the expected life of the structures. (New Issue)
	8	failures over the expected life of the structures. (New Issue)

geotechnical report and the requested addendum geotechnical report for our records. (New Issue)

For questions regarding the 'LDR-Geology' review, please call Patrick Thomas at (619) 446-5296. Project Nbr: 460884 / Cycle: 2



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L64A-003B

1222 First Avenue, San Diego, CA 92101-4154

Review Information

Cycle Type: 2 Submitted (Multi-Discipline) **Submitted:** 12/23/2015 Deemed Complete on 12/23/2015

Reviewing Discipline: Plan-Historic Cycle Distributed: 12/23/2015

Assigned: 01/04/2016 Reviewer: Stanco, Kelley

> (619) 236-6545 Started: 01/22/2016 Kstanco@sandiego.gov **Review Due:** 01/29/2016

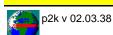
Hours of Review: 0.50 Completed: 01/22/2016

Next Review Method: Submitted (Multi-Discipline) Closed:

- . The review due date was changed to 02/03/2016 from 02/03/2016 per agreement with customer.
- . The reviewer has requested more documents be submitted.

<u>P</u> 1	/22	/20	16
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Cleared? ⋉	Issue Num	<u>Issue Text</u>
×	2	The property located at 2702 Costebelle is not an individually designated resource and is not located within a designated historic district. However, San Diego Municipal Code Section 143.0212 requires City staff to review all projects impacting a parcel that contains a structure 45 years old or older to determine whether a potentially significant historical resource exists on site prior to issuance of a permit. (Info Only, No Response Required) (New Issue)
<u></u>	_	During this review buildings are evaluated for eligibility under local designation criteria. The designation criteria and guidelines for their application can be found on the City's website:
×	3	http://www.sandiego.gov/planning/programs/historical/pdf/201102criteriaguidelines.pdf (Informational Only; No Response or Action Required) (New Issue)
æ	Ü	More information regarding this review process can be found in Information Bulletin 580:
×	4	http://www.sandiego.gov/development-services/pdf/industry/infobulletin/ib580.pdf (Informational Only; No Response or Action Required) (New Issue)
Œ	·	If City staff determines after review of these documents that no potentially significant historical resource exists on site, the parcel will be exempt from further historical review for five years from this date unless new information is provided that speaks to the building's eligibility for designation. (Informational Only; No Response or Action Required) (New Issue)
X	5	If City staff determines that a potentially significant historical resource exists on the site, all modifications and additions will be evaluated to determine consistency with the Secretary of the Interior's Standards for Treatment of Historic Properties (Standards). If the proposed project is consistent with the Standards, the permit process may proceed and the parcel will require additional review for all future modifications. (continued) (New Issue)
×	6	(continued) If the proposed project is not consistent with the Standards, the applicant may redesign the project or prepare a historic report that evaluates the building's integrity and eligibility under all designation criteria. (Informational Only; No Response or Action Required) (New Issue)
×	7	Staff has reviewed the photos; Assessor's Building Record; water and sewer records; written description of the property and alterations; chain of title; and listing of occupants; as well as any available historic photographs; Sanborn maps; and Notices of Completion. In addition, staff has considered any input received through applicable public noticing and outreach and have made the following determination: (New Issue)
×	8	The property does not meet local designation criteria as an individually significant resource under any adopted Historical Resources Board Criteria. Therefore, no historical research report required at this time. This determination is good for 5 years from this date unless new information is provided that speaks to the building's eligibility for designation. Any applications made after 5 years will be subject to review for potential historic resources, consistent with Municipal Code requirements. (Info Only, No Response Required) (New Issue)



THE CITY OF SAN DIEGO **Development Services**

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L64A-003B

1222 First Avenue, San Diego, CA 92101-4154

Review Information

Cycle Type: 2 Submitted (Multi-Discipline) **Submitted:** 12/23/2015 Deemed Complete on 12/23/2015

Reviewing Discipline: LDR-Landscaping Cycle Distributed: 12/23/2015

> Reviewer: Kohakura, Vanessa **Assigned:** 12/23/2015

> > **Started:** 01/29/2016 Vkohakura@sandiego.gov Review Due: 01/29/2016

Hours of Review: 1.50 Completed: 01/29/2016

Next Review Method: Submitted (Multi-Discipline) Closed:

(619) 446-5120

- The review due date was changed to 02/03/2016 from 02/03/2016 per agreement with customer.
- The reviewer has indicated they want to review this project again. Reason chosen by the reviewer: First Review Issues.
- The reviewer has requested more documents be submitted.
- . Your project still has 21 outstanding review issues with LDR-Landscaping (all of which are new).

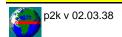
↑ 1st Review (Cycle 2) 2/3/16

Cleared? Num **Issue Text** Scope: The project proposes to remodel and add a 7,195 square foot second story addition and 3,059 square foot below grade basement to an existing 2,399 square foot, one story residence located within the La Jolla Shores Planned District within the La Jolla Community Plan area. 2 Please address the following issues. Landscape staff reserves the right to provide additional comments upon receipt of the required plans. (New Issue)

Landscape Development Plan

Cleared? □	Num 3	Issue Text Landscape Development Plan: Please provide a Landscape Development Plan demonstrating that all of the property not used or occupied by structures, unplanted recreational areas, walks and driveways shall be landscaped and in no case shall this landscaped area be less than 30 percent of the total parcel area.
	4	(New Issue) Soils Letter: Please include the Soils Letter which delineates the current area of disturbance (see sht. A1.1). It appears the proposed additions are encroaching past the graded pad.
	5	(New Issue) Landscape Calculation: Provide a calculation determining the percent of total landscaped area provided on the parcel lot.
	6	(New Issue) Legend: Provide the following information in the legend, by category (e.g., trees, shrubs and ground cover): -Symbol for all proposed plant materials -Botanical names and common names (Provide more than two selections under each symbol.) -Quantities of plant material and on center spacing for ground covers -Breakdown in percentages of the various container sizes of each symbol (e.g. 25 percent, 24-inch-box; 50 percent, 15-gallon; 25 percent, 5-gallon) -Mature height/spread of trees and shrubs -Form and function of each plant symbol, such as shade tree, vertical accent, etc.
	7	(New Issue) Irrigation and Maintenance Notes: Indicate the proposed methods and types of irrigation systems. Including dedicated irrigation meter or landscape irrigation sub-meter. Indicate who will be responsible for the landscape maintenance (e.g., Homeowners Association, LMD, Owner etc.)
	8	(New Issue) Existing Trees & Shrubs: Show all existing trees (two-inch caliper or greater) and shrubs to remain. Identify trees and shrubs with a dashed symbol; define limits of drip lines, and label height and spread. (New Issue)

For questions regarding the 'LDR-Landscaping' review, please call Vanessa Kohakura at (619) 446-5120. Project Nbr: 460884 / Cycle: 2



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1222 First Avenue, San Diego, CA 92101-4154

Cleared?	Issue Num	Issue Text
	9	Slopes: Show all existing and proposed slopes and berms. Provide labeled contour lines, both existing and proposed, and/or slope gradient with top and bottom of slope spot elevations.
	10	(New Issue) Provide the following note: "All landscaping shall be completed within 6 months of occupancy or within one year of the notice of completion of a residence."
	11	(New Issue) Provide the following note: "All landscaped material shall be permanently maintained in a growing and healthy condition including trimming as appropriate to the landscaping material."
	12	(New Issue) Provide the following note: "All landscape and irrigation shall conform to the standards of the City-Wide Landscape Regulations and the City of San Diego Land Development Manual Landscape Standards and all other landscape related City and Regional Standards."
(New Issue) ➢ Brush Management Plan		
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		Issue Text Brush Management: Pursuant to Section 142.0402 of the San Diego Municipal Code (SDMC) this project is subject to the Brush Management regulations because it proposes an addition to a structure that is within 100 feet from native or naturalized vegetation. Therefore, a Brush Management Plan is required. If the required brush management zones cannot be provided on the subject property the project may be subject to alternative compliance requirements for brush management and the construction plans may need to be reviewed by the Fire Department. (New Issue)
	14	Prepare Brush Management Plan according to San Diego Municipal Code (SDMC) 142.0412 and Fire Policy B-08-1, available online.
	15	(New Issue) Brush Management Zones: Show the zone(s) clearly on the plan and label the dimension of each zone. If there are varied zone widths on the project, label the plan to show the different widths at typical and critical points.
	16	(New Issue) Brush Management Plant Materials & Legend: Within each zone, show the proposed plant massing and the existing plant masses to remain along with locations of existing and/or proposed trees, demonstrating that they meet the zone criteria. Provide a legend of the existing plant material and/or proposed plant material for each zone, including botanical name, common name and container size. Identify the native/naturalized plant communities adjacent to the brush management area.
	17	(New Issue) Structures and Hardscape [142.0412(g)2 & (h)2]: Indicate graphically and with notes all structures and hardscape within Zone One. Non-combustible or one hour fire-rated structures may be permitted within Zone One subject to department approval. No structures are allowed within Zone Two.
	18	(New Issue) Photographic Inventory: As part of the plan package, provide a photographic inventory sheet with key map showing existing conditions within the Brush Management Zone(s) and adjacent native/naturalized vegetation.
	19	(New Issue) Provide Zone 1 and 2 requirements (SDMC Sections: 142.0412 (g), (h) and (i)) by including the requirements of these sections as notes on the plans.
	20	(New Issue) Long-term Maintenance Responsibility: Provide the following note: "All Landscaping / Brush Management within the Brush Management Zone(s) as shown on these plans shall be the responsibility of [please Specify, e.g. Owner, H.O.A.]. The Brush Management Zone areas shall be maintained free of debris and litter and all plant material shall be maintained in a healthy growing condition."
	21	(New Issue) Offsite Brush Management on Adjacent Properties: Provide the following note: "Offsite brush management shall be the responsibility of adjacent property owners. For fuel-load maintenance issues, contact the Fire-Rescue Department's Fire Hazard Advisor - Brush/Weed Complaint line at: (619) 533-4444."
		(New Issue)

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1222 First Avenue, San Diego, CA 92101-4154

Review Information

Cycle Type: 2 Submitted (Multi-Discipline) **Submitted:** 12/23/2015 Deemed Complete on 12/23/2015

Reviewing Discipline: MCAS Miramar Cycle Distributed: 12/23/2015

Assigned: 01/11/2016 Reviewer: Gutierrez, Edith

> (619) 446-5147 **Started:** 02/09/2016 egutierrez@sandiego.gov Review Due: 01/29/2016

Hours of Review: 0.10 Completed: 02/09/2016

Next Review Method: Submitted (Multi-Discipline) Closed:

- . The review due date was changed to 02/03/2016 from 02/03/2016 per agreement with customer.
- The reviewer has indicated they want to review this project again. Reason chosen by the reviewer: Partial Response to Cmnts/Regs.
- . The reviewer has requested more documents be submitted.
- . Your project still has 1 outstanding review issues with MCAS Miramar (all of which are new).

1st Review

<u>Issue</u>

Cleared? Num **Issue Text**

Staff has not received comments from MCAS Miramar. (New Issue)

For questions regarding the 'MCAS Miramar' review, please call Edith Gutierrez at (619) 446-5147. Project Nbr: 460884 / Cycle: 2

