



THE CITY OF SAN DIEGO

NOTICE OF PUBLIC MEETING

This is to inform you that the **La Jolla Shores Planned District Advisory Board** will be conducting a public meeting to consider recommending approval, conditional approval, or denial of the development project(s) listed below:

DATE OF MEETING: May 16th, 2016
TIME OF MEETING: 11:00 AM
LOCATION OF MEETING: 615 Prospect Street, Room 1, La Jolla, CA 92037

1. CALL TO ORDER
2. APPROVAL OF THE AGENDA
3. APPROVAL OF THE MINUTES
4. PUBLIC COMMENT
5. PROJECT REVIEW

ACTION ITEMS		
A.	Project	PTS 480473 –Dunaway Addition aka “Lerner Residence”
	Location	8676 Dunaway Drive APN: 344-113-0900
	Description	Combination building permit for an addition to an existing single-family residence on an 8,394.20 sf. lot. <i>Additional Project Details:</i> Existing first floor: 1,904 sf. Existing Garage, 498 sf. Total existing building: 2,402 sf
		Proposed addition to first floor: 587 sf Proposed addition to second floor: 775 sf Total proposed addition: 1,362 sf
		Maximum lot coverage: 60% Total proposed lot coverage: 2,989 sf
		Proposed building height: 25’4”
	Applicant	Siavash Khajezadeh (Architect)
	Project Contact	Siavash Khajezadeh, Design Lead, Architects, siavash@designlead.com , (858) 459-6114
	City Contact	Jim Combs, JCombs@sanidiego.gov , 619-446-5205

This information will be made available in alternative formats upon request. To request an agenda in alternative format, request a sign language or oral interpreter, or an Assistive Listening Devices (ALD's) for the meeting, call the Community Services Program at 236-6077 at least five working days prior to the meeting to ensure availability.

ACTION ITEMS (Continued)

B.	Project	PTS 479729 – Nelson Addition/Remodel
	Location	2687 Caminito Prado APN: 346-560-4400
	Description	<p>Combination permit for an addition and remodel to existing single-story single-family residence on a 10,798 sf lot.</p> <p><i>Additional Project Details:</i> Existing residence: 2,624 sf. Existing garage: 585 sf. Total existing building: 3,209 sf</p> <p>Proposed addition to living room in the front: 257 sf. Proposed addition to second floor (master suite and bath): 854 sf. Total proposed addition: 1,111 sf</p> <p>Total proposed additions, existing residence & garage: 4,320 sf. Maximum allowed FAR is 6,478 sf.</p> <p>Proposed height from finished grade: 23'7 3/8"</p>
	Applicant	Arnold Garza
	Project Contact	Arnold Garza, Jackson Design & Remodeling, arnold@jacksondesignandremodeling.com , (619) 442-6125 ext. 336
	City Contact	Justy Kozachenko, JKozachenko@sanidiego.gov , (619) 446-5239
C.	Project	PTS 460884 – Costebelle Residence
	Location	2702 Costebelle Drive APN: 346-610-1000
	Description	<p>Site Development Permit to remodel and add a 7,195 sf second story addition and 3,059 sf below grade basement to an existing 2,339 sf one story residence on a 0.45-acre site.</p> <p><i>Additional Project Details:</i> Applicant to provide during the meeting.</p>
	Applicant	Ryan Farhood
	Project Contact	Ryan Farhood, Farhood.ryan@gmail.com , (858) 205-4112
	City Contact	Edith Gutierrez, EGutierrez@sanidiego.gov , (619) 446-5147

The meeting of the La Jolla Shores Advisory Board is to hear presentations and public testimony on development projects and provide recommendations to the City's decision maker. The final project decision is made by Staff, Hearing Officer, Planning Commission, or City Council to approve, approve with conditions or deny the projects listed above. If you wish to be notified of this public hearing you must submit a request in writing to the Project Manager (City Contact listed above) at the following address: City of San Diego, Development Services Department, 1222 First Avenue, MS 501, San Diego, CA 92101.

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The agenda and minutes distributions are via email and will additionally be posted to the LJSPDAB webpage at <http://www.sandiego.gov/planning/community/profiles/lajolla/pddoab.shtml> . To request inclusion or removal from the distribution list please email the City Planner at mpangilinan@sandiego.gov with your request.

Marlon I. Pangilinan, Senior Planner
Planning Department
1010 Second Avenue Suite 1100 MS-413
San Diego CA 92101
619-235-5293 www.sandiego.gov/planning

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April 20, 2016

To Whom It May Concern:

The Azure Coast Unit I Committee has had an opportunity to individually and collectively review the proposed demolition and residential construction project on 2702 Costebelle Dr.. Committee members have taken the opportunity to review the proposed plans (including architectural renderings of the anticipated structure that included vertical perspectives), had an opportunity to evaluate story pole representations, and discussed with neighbors who's views of the ocean might potentially be affected by the anticipated construction.

The Azure Coast Unit I Committee, has formed a consensus that the proposed residential construction complies with our Azure Coast Unit I "Declaration of Restrictions" (amended). This letter is intended to provide you with a written notification of the Azure Coast Unit I Committee's determination.

Sincerely,

Steven Wright

Committee Chair

On Behalf of Azure Coast Unit I Committee

James Marino, Neal Wichard, Ben Iben, Jeffrey Marks, and Steven Wright

EXISTING TOPOGRAPHY & DEMOLITION PLAN

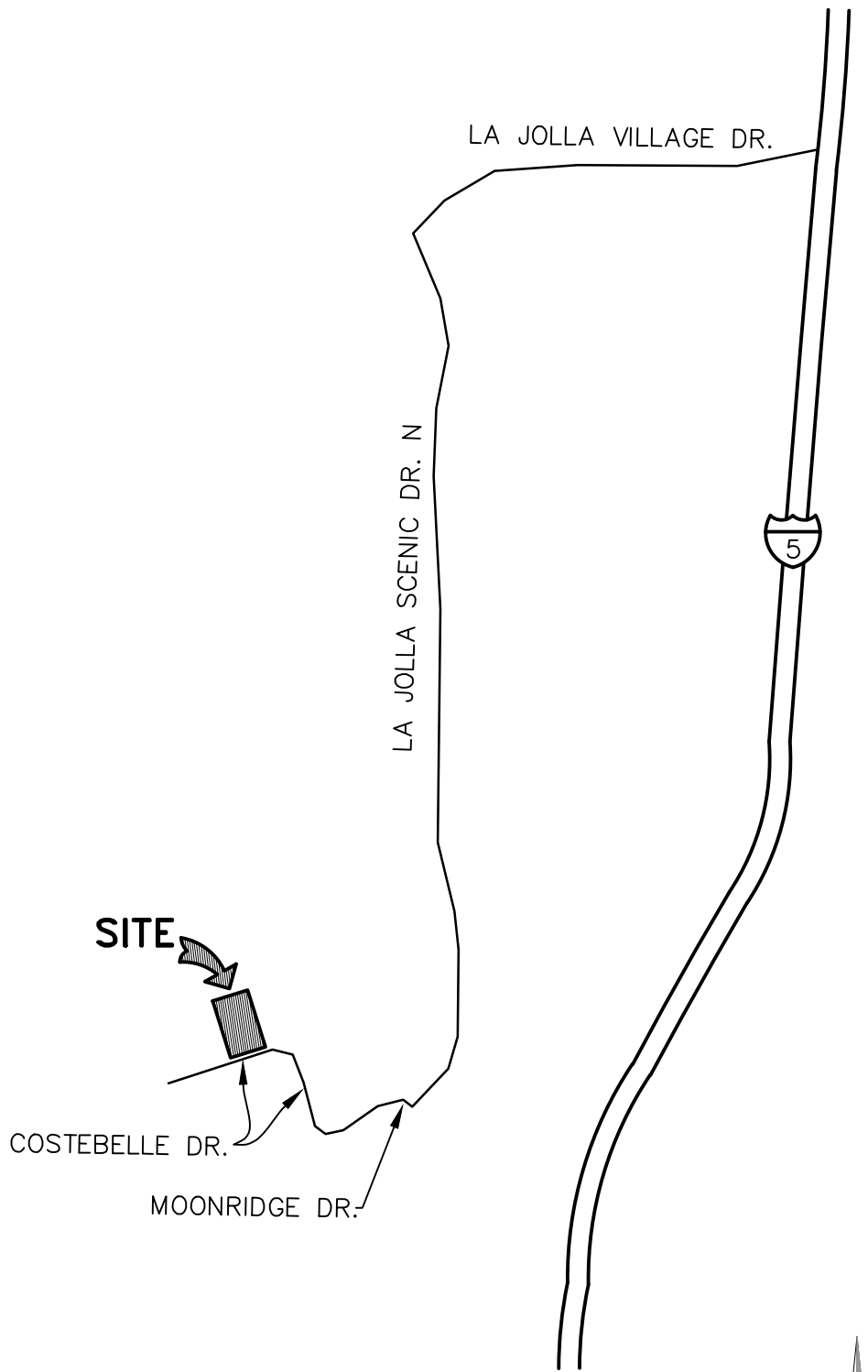
FOR: FAKHIMI RESIDENCE
2702 COSTEBELLE DRIVE, LA JOLLA, CA 92037

APN: 346-630-01



APN: 346-610-09

- LEGEND**
- PROJECT BOUNDARY
 - RIGHT-OF-WAY
 - FENCE
 - CENTER LINE
 - BLOCK WALL
 - GAS LINE
 - EDGE OF PAVEMENT
 - TELEPHONE EQUIPMENT
 - GAS METER
 - ELECTRIC METER
 - WATER METER
 - MAILBOX
 - CONCRETE VAULT
 - STAIRS
 - 6-INCH CURB & GUTTER



VICINITY MAP

NOT TO SCALE
T.B. PAGE 1227-J6

LEGAL DESCRIPTION

LOT 36 OF MAP NO. 4995

APN: 346-610-10

BOUNDARY NOTE

- BOUNDARY PLOTTED & PROVIDED BY ISLAND ARCHITECTS.
- A FIELD SURVEY WAS CONDUCTED MICHAEL THOMPSON, LS 5406, ON AUGUST 8, 2015.

DEMOLITION NOTE:

- EVERYTHING ONSITE INCLUDING EXIST. RESIDENCE, CONCRETE PADS & DRIVEWAY TO BE REMOVED/DEMOLISHED
- EXIST. DRIVEWAY OPENINGS AND GARAGE WALLS INDICATED TO REMAIN AND PROTECT-IN-PLACE.

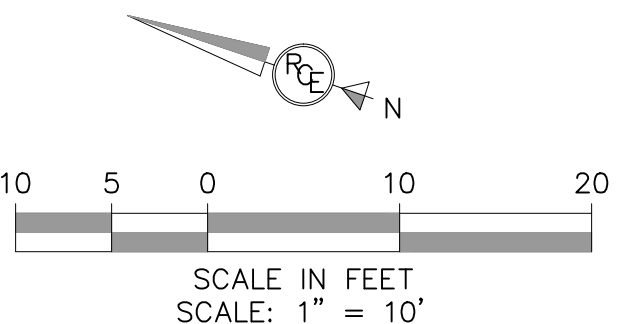


RANCHO COASTAL
ENGINEERING & SURVEYING
SINGLE SOURCE DEVELOPMENT CONSULTANT
310 S. TWIN OAKS VALLEY RD., #107-297
SAN MARCOS, CA. 92078
(760) 510-3152 Ph / (760) 510-3153 Fax

PLAN PREPARED BY:

Douglas E. Logan
DOUGLAS E. LOGAN R.C.E. 39726 EXP.12-31-15

11/30/2015
DATE



PRIVATE CONTRACT

EXISTING TOPO & DEMOLITION PLAN

2702 COSTEBELLE
LA JOLLA, CA 92037

CITY OF SAN DIEGO, CALIFORNIA
DEVELOPMENT SERVICES DEPARTMENT
SHEET 1 OF 3 SHEETS

I.O. NO. _____
PROJECT NO. _____

FOR CITY ENGINEER DATE

V.T.M. _____

DESCRIPTION BY APPROVED DATE FILMED

ORIGINAL RCE

NAD83 COORDINATES

AS-BUILTS

LAMBERT COORDINATES

CONTRACTOR DATE STARTED

INSPECTOR DATE COMPLETED

PRELIMINARY – NOT FOR CONSTRUCTION

PROPOSED 2 STORY
S.F.R. WITH BASEMENT
2nd FLOOR=313.0 FF
1st FLOOR=301.0 FF
BASEMENT=290.0 FF
PAD=289.3 FG

2nd FLOOR=313.0 FF
1st FLOOR=301.0 FF
PAD=300.3 FG

WORK TO BE DONE:

- 1 PROPOSED NON-STANDARD DRIVEWAY, (E) CURB CUTS TO REMAIN.
- 2 P.C.C. DRIVEWAY.
- 3 BASEMENT STEM WALL PER SEPARATE PERMIT.
- 4 POOL, SPA & WALLS PER SEPARATE PERMIT.
- 5 SITE WALLS PER ARCHITECTURAL PLANS, RETAINING LESS THAN 2'-FEET, PER INFO BULLETING #221.
- 6 RETAINING WALLS PER INFO BULLETIN #221, TYPE II
- 7 KEYSTONE WALL.
- 8 12" SQ. AREA DRAIN.
- 9 6" PVC/ABS DRAIN PIPE @ 1.0% (MIN.).
- 10 5' x 5' DEPRESSED NO. 2 BACKING RIP-RAP.

- ATW = ARCHITECTURAL TOP OF WALL (NON-RETAINING PORTION).
- TW = FINISH GRADE @ TOP OF RETAINING PORTION.
- BW = FINISH GRADE @ BOTTOM OF RETAINING PORTION.
– NOT TOP OF FOOTING.

- BOTTOM OF WEEP SCREED TO BE A MINIMUM OF 6" ABOVE FINISHED LANDSCAPE AREAS & 2" ABOVE HARDSCAPE AREAS. THIS NOTE TO SUPERCEDE ELEVATIONS SHOWN ON PLANS SHOULD THERE BE ANY CONFLICT.

- ALL PLANTERS TO HAVE AREA DRAINS THAT TIE INTO MAIN DRAINAGE SYSTEM.
- ALL ROOF & HARDSCAPE AREAS TO DRAIN INTO INFILTRATION BASIN.

NOTE: EARTHWORK QUANTITIES ARE CALCULATED ON A THEORETICAL BASIS ONLY AND DO NOT INCLUDE VOLUMES FOR CLEARING/GRUBBING, SHRINKAGE AND/OR SWELLING WHICH CAN/WILL INEVITABLY AFFECT THESE QUANTITIES.

THE QUANTITIES OF CUT/FILL SHOWN HEREON WERE CALCULATED USING REASONABLE ENGINEERING METHODS. THE QUANTITIES ESTIMATED ARE FOR USE IN CALCULATING THE FEES AND BONDS REQUIRED BY THE PUBLIC AGENCY, NOT TO BE USED FOR JOB BIDDING PURPOSES. ACTUAL QUANTITIES MAY VARY DUE TO SHRINKAGE OR SWELL FACTORS AND THE RECOMMENDATIONS OF SOIL ENGINEER.

- A FIELD SURVEY WAS CONDUCTED MICHAEL THOMPSON, LS 5406, ON AUGUST 8, 2015.



DOUGLAS E. LOGAN R.C.E. 39726 EXP.12-31-1

11/30/2015
DATE

2702 COSTEBELLE
LA JOLLA, CA 92037

CITY OF SAN DIEGO, CALIFORNIA
DEVELOPMENT SERVICES DEPARTMENT
SHEET 2 OF 3 SHEETS

I.O. NO. _____
PROJECT NO. _____

FOR CITY ENGINEER _____ DATE _____					V.T.M. _____
DESCRIPTION	BY	APPROVED	DATE	FILMED	
ORIGINAL	RCE				
					----- NAD83 COORDINATES

AS-BUILTS					LAMBERT COORDINATES
CONTRACTOR _____			DATE STARTED _____		
INSPECTOR _____			DATE COMPLETED _____		

EROSION AND SEDIMENT CONTROL NOTES

TEMPORARY EROSION/SEDIMENT CONTROL, PRIOR TO COMPLETION OF FINAL IMPROVEMENTS, SHALL BE PERFORMED BY THE CONTRACTOR OR QUALIFIED PERSON AS INDICATED BELOW:

- ALL REQUIREMENTS OF THE CITY OF SAN DIEGO "LAND DEVELOPMENT MANUAL, STORM WATER STANDARDS" MUST BE INCORPORATED INTO THE DESIGN AND CONSTRUCTION OF THE PROPOSED GRADING/IMPROVEMENTS CONSISTENT WITH THE APPROVED STORM WATER POLLUTION PREVENTION PLAN (SWPPP) AND/OR WATER POLLUTION CONTROL PLAN (WPCP) FOR CONSTRUCTION LEVEL BMP'S AND FOR PERMANENT POST CONSTRUCTION TREATMENT CONTROL PERMANENT BMP'S, THE WATER QUALITY TECHNICAL REPORT (WQTR) IF APPLICABLE.
- FOR STORM DRAIN INLETS, PROVIDE A GRAVEL BAG SILT BASIN IMMEDIATELY UPSTREAM OF INLET AS INDICATED ON DETAILS.
- FOR INLETS LOCATED AT SUMPS ADJACENT TO TOP OF SLOPES, THE CONTRACTOR SHALL ENSURE THAT WATER DRAINING TO THE SUMP IS DIRECTED INTO THE INLET AND THAT A MINIMUM OF 1.00' FREEBOARD EXISTS AND IS MAINTAINED ABOVE THE TOP OF THE INLET. IF FREEBOARD IS NOT PROVIDED BY GRADING SHOWN ON THESE PLANS, THE CONTRACTOR SHALL PROVIDE IT VIA TEMPORARY MEASURES, I.E. GRAVEL BAGS OR DIKES.
- THE CONTRACTOR OR QUALIFIED PERSON SHALL BE RESPONSIBLE FOR CLEANUP OF SILT AND MUD ON ADJACENT STREET(S) AND STORM DRAIN SYSTEM DUE TO CONSTRUCTION ACTIVITY.
- THE CONTRACTOR OR QUALIFIED PERSON SHALL CHECK AND MAINTAIN ALL LINED AND UNLINED DITCHES AFTER EACH RAINFALL.
- THE CONTRACTOR SHALL REMOVE SILT AND DEBRIS AFTER EACH MAJOR RAINFALL.
- EQUIPMENT AND WORKERS FOR EMERGENCY WORK SHALL BE MADE AVAILABLE AT ALL TIMES DURING THE RAINY SEASON. ALL NECESSARY MATERIALS SHALL BE STOCKPILED ON SITE AT CONVENIENT LOCATIONS TO FACILITATE RAPID CONSTRUCTION OF TEMPORARY DEVICES WHEN RAIN IS IMMINENT.
- THE CONTRACTOR SHALL RESTORE ALL EROSION/SEDIMENT CONTROL DEVICES TO WORKING ORDER TO THE SATISFACTION OF THE CITY ENGINEER OR RESIDENT ENGINEER AFTER EACH RUN-OFF PRODUCING RAINFALL.
- THE CONTRACTOR SHALL INSTALL ADDITIONAL EROSION/SEDIMENT CONTROL MEASURES AS MAY BE REQUIRED BY THE RESIDENT ENGINEER DUE TO UNCOMPLETED GRADING OPERATIONS OR UNFORESEEN CIRCUMSTANCES, WHICH MAY ARISE.
- THE CONTRACTOR SHALL BE RESPONSIBLE AND SHALL TAKE NECESSARY PRECAUTIONS TO PREVENT PUBLIC TRESPASS ONTO AREAS WHERE IMPOUNDED WATERS CREATE A HAZARDOUS CONDITION.
- ALL EROSION/SEDIMENT CONTROL MEASURES PROVIDED PER THE APPROVED GRADING PLAN SHALL BE INCORPORATED HEREON. ALL EROSION/SEDIMENT CONTROL FOR INTERIM CONDITIONS SHALL BE DONE TO THE SATISFACTION OF THE RESIDENT ENGINEER.
- GRADED AREAS AROUND THE PROJECT PERIMETER MUST DRAIN AWAY FROM THE FACE OF THE SLOPE AT THE CONCLUSION OF EACH WORKING DAY.
- ALL REMOVABLE PROTECTIVE DEVICES SHOWN SHALL BE IN PLACE AT THE END OF EACH WORKING DAY WHEN RAIN IS IMMINENT.
- THE CONTRACTOR SHALL ONLY GRADE, INCLUDING CLEARING AND GRUBBING FOR THE AREAS FOR WHICH THE CONTRACTOR OR QUALIFIED PERSON CAN PROVIDE EROSION/SEDIMENT CONTROL MEASURES.
- THE CONTRACTOR SHALL ARRANGE FOR WEEKLY MEETINGS DURING OCTOBER 1ST TO APRIL 30TH FOR PROJECT TEAM (GENERAL CONTRACTOR, QUALIFIED PERSON, EROSION CONTROL SUBCONTRACTOR IF ANY, ENGINEER OF WORK, OWNER/DEVELOPER AND THE RESIDENT ENGINEER) TO EVALUATE THE ADEQUACY OF THE EROSION/SEDIMENT CONTROL MEASURES AND OTHER RELATED CONSTRUCTION ACTIVITIES.

MINIMUM POST-CONSTRUCTION MAINTENANCE

AT THE COMPLETION OF THE WORK SHOWN, THE FOLLOWING PLAN SHALL BE FOLLOWED TO ENSURE WATER QUALITY CONTROL IS MAINTAINED FOR THE LIFE OF THE PROJECT:

- STABILIZATION: ALL PLANTED SLOPES AND OTHER VEGETATED AREAS SHALL BE INSPECTED PRIOR TO OCTOBER 1 OF EACH YEAR AND AFTER MAJOR RAINFALL EVENTS (MORE THAN 1/2 INCH) AND REPAIRED AND REPLANTED AS NEEDED UNTIL A NOTICE OF TERMINATION (NOT) IS FILED.
- STRUCTURAL PRACTICES: DESILTING BASINS, DIVERSION DITCHES, DOWNDRAINS, INLETS, OUTLET PROTECTION MEASURES, AND OTHER PERMANENT WATER QUALITY AND SEDIMENT AND EROSION CONTROLS SHALL BE INSPECTED PRIOR TO OCTOBER 1ST OF EACH YEAR AND AFTER MAJOR RAINFALL EVENTS (MORE THAN 1/2 INCH). REPAIRS AND REPLACEMENTS SHALL BE MADE AS NEEDED AND RECORDED IN THE MAINTENANCE LOG IN PERPETUITY.
- OPERATION AND MAINTENANCE, FUNDING: POST-CONSTRUCTION MANAGEMENT MEASURES ARE THE RESPONSIBILITY OF THE DEVELOPER UNTIL THE TRANSFER OF RESPECTIVE SITES TO HOME BUILDERS, INDIVIDUAL OWNERS, HOMEOWNERS ASSOCIATIONS, SCHOOL DISTRICTS, OR LOCAL AGENCIES AND/OR GOVERNMENTS. AT THAT TIME, THE NEW OWNERS SHALL ASSUME RESPONSIBILITY FOR THEIR RESPECTIVE PORTIONS OF THE DEVELOPMENT.

PERMANENT POST-CONSTRUCTION BMP NOTES

- OPERATION AND MAINTENANCE SHALL BE SECURED BY AN EXECUTED AND RECORDED STORM WATER MANAGEMENT AND DISCHARGE CONTROL MAINTENANCE AGREEMENT (SWMDCMA), OR ANOTHER MECHANISM APPROVED BY THE CITY ENGINEER, THAT ASSURES ALL PERMANENT BMP'S WILL BE MAINTAINED IN PERPETUITY, PER THE LAND DEVELOPMENT MANUAL, STORM WATER STANDARDS.
- PERMANENT POST CONSTRUCTION BMP DEVICES SHOWN ON PLAN SHALL NOT BE MOVED OR MODIFIED WITHOUT THE APPROVAL OF THE CITY ENGINEER OR RESIDENT ENGINEER AND THE ENGINEER OF WORK.

WATER POLLUTION CONTROL PLAN

BMP LEGEND

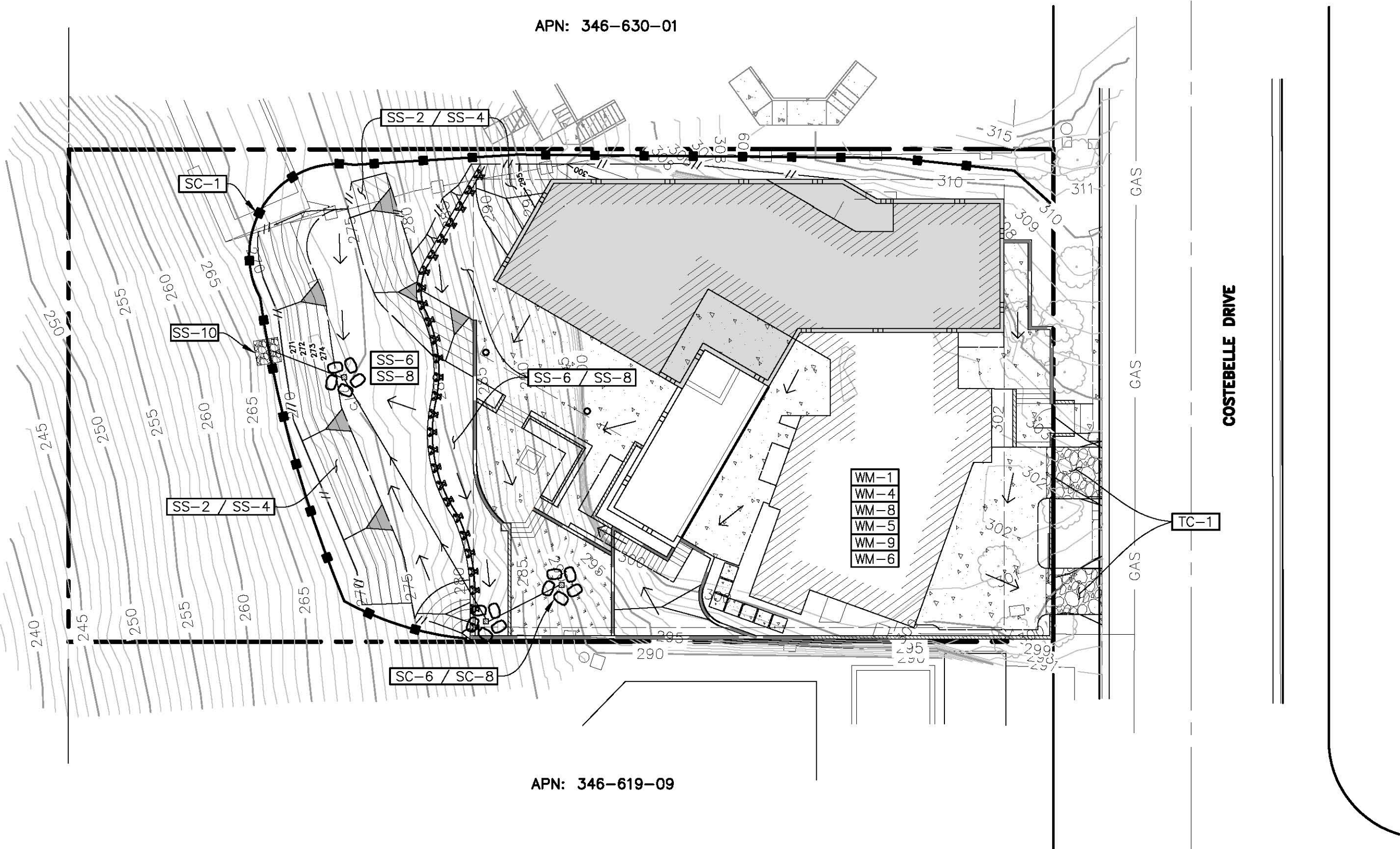
DIRECTION OF LOT DRAINAGE → →

MATERIALS & WASTE MANAGEMENT CONTROL BMPs

- WM-1 MATERIAL DELIVERY & STORAGE
- WM-4 SPILL PREVENTION AND CONTROL
- WM-8 CONCRETE WASTE MANAGEMENT
- WM-5 SOLID WASTE MANAGEMENT
- WM-9 SANITARY WASTE MANAGEMENT
- WM-6 HAZARDOUS WASTE MANAGEMENT

TEMPORARY RUNOFF CONTROL BMPs

- SS-2 PRESERVATION OF EXISTING VEGETATION ~PEV~PEV~
- SS-4 HYDROSEEDING (SUMMER) ~TSP~TSP~
- SS-8 / SS-8 STRAW OR WOOD MULCH ~S/W~S/W~
- SS-10 ENERGY DISSIPATOR [Symbol]
- SC-1 SILT FENCE [Symbol]
- SC-6 / SC-8 GRAVEL OR SAND BAGS [Symbol]
- TC-1 STABILIZED CONSTRUCTION ENTRANCE [Symbol]

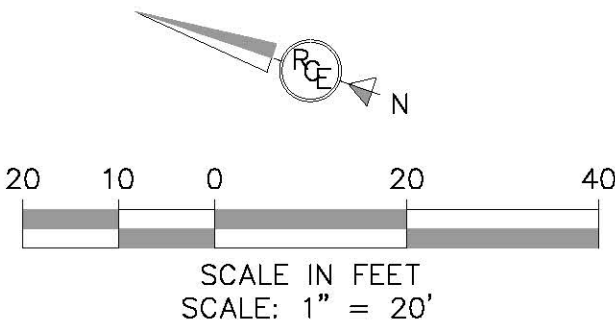


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PLAN PREPARED BY:

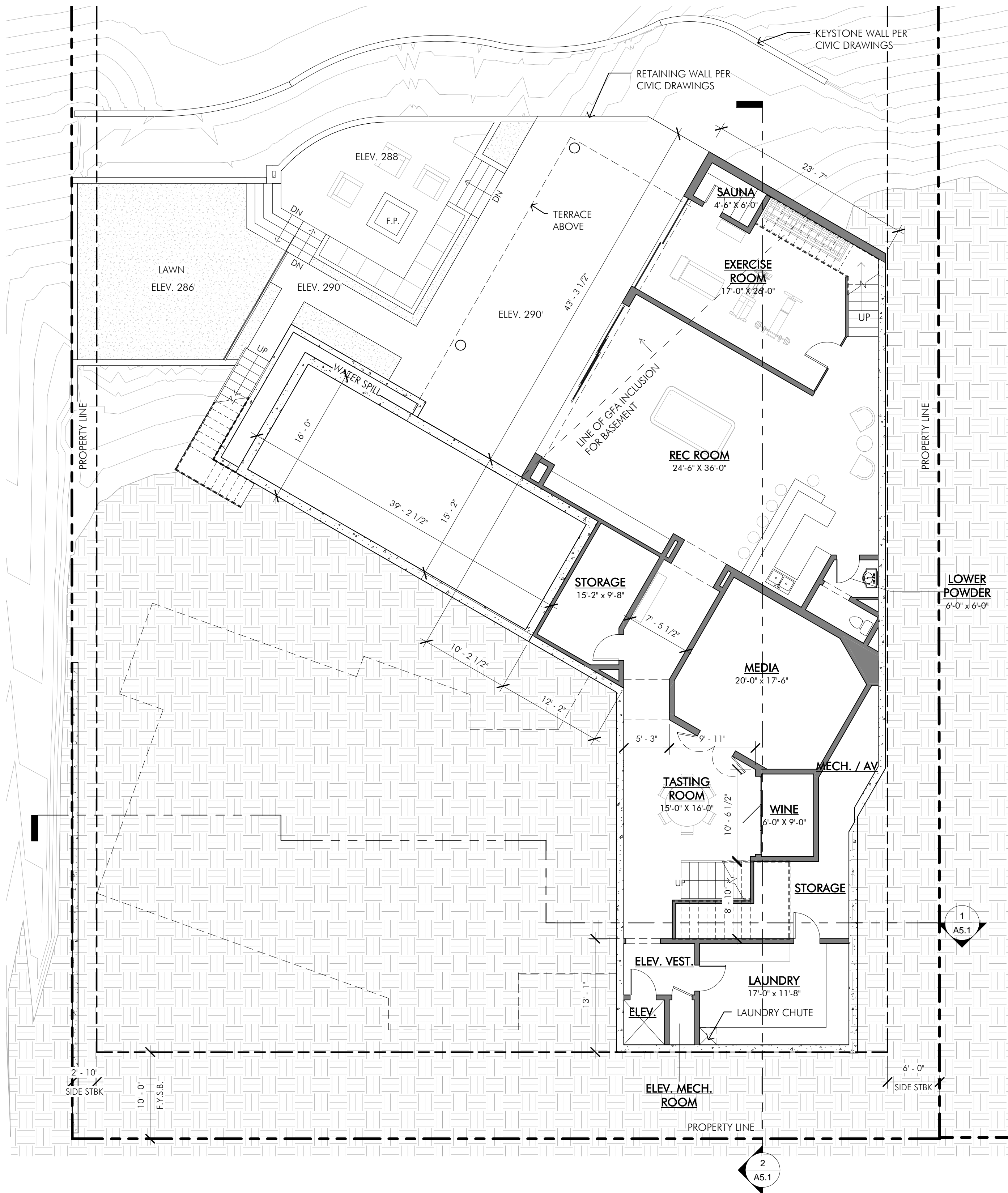
[Signature]
DOUGLAS E. LOGAN R.C.E. 39726 EXP.12-31-15

11/30/2015
DATE

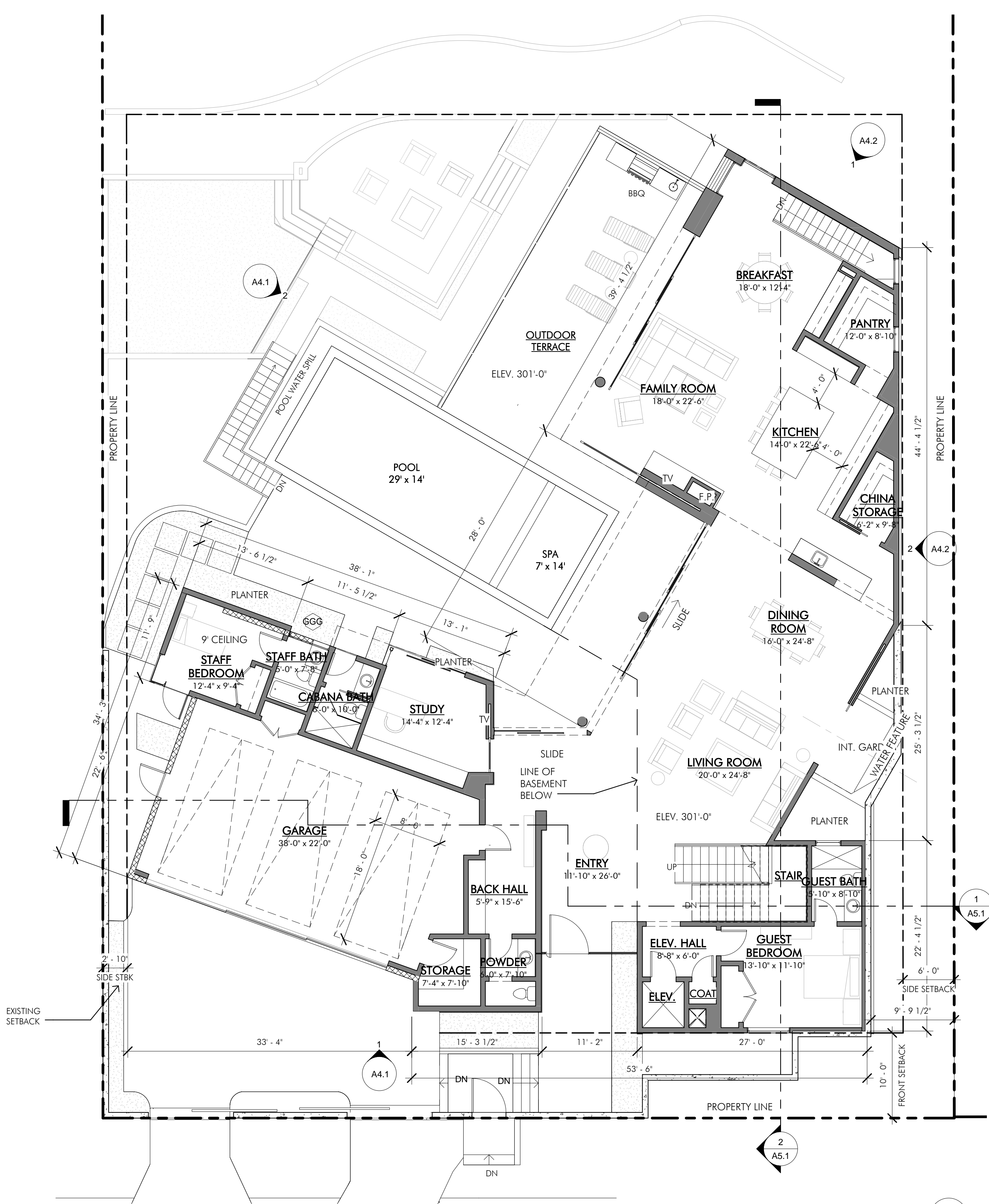


PRIVATE CONTRACT			
WATER POLLUTION CONTROL PLAN FOR:			
2702 COSTEBELLE LA JOLLA, CA 92037			
CITY OF SAN DIEGO, CALIFORNIA DEVELOPMENT SERVICES DEPARTMENT SHEET 3 OF 3 SHEETS			I.O. NO. _____ PROJECT NO. _____
FOR CITY ENGINEER			V.T.M. _____
DESCRIPTION	BY	APPROVED	DATE FILMED
ORIGINAL	RCE		
AS-BUILTS			
CONTRACTOR	DATE STARTED		
INSPECTOR	DATE COMPLETED		

PRELIMINARY — NOT FOR CONSTRUCTION



LOWER LEVEL PLAN 1/8" = 1'-0" 1

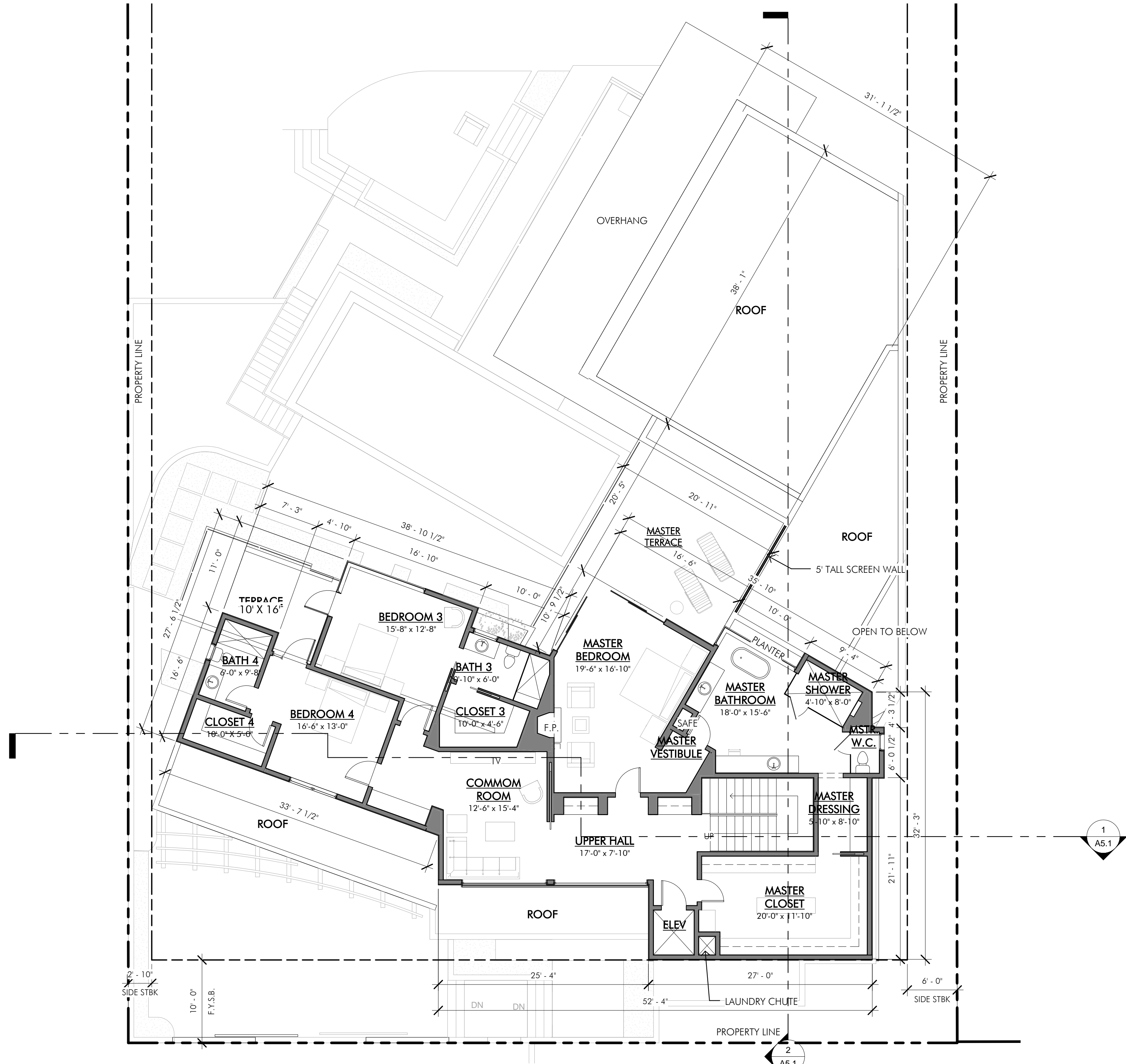


MAIN LEVEL PLAN 1/8" = 1'-0" 2

Wall Legend

- NEW CONSTRUCTION WALL
- EXISTING WALL TO REMAIN
- EXISTING WALL TO BE DEMOLISHED

PREPARED BY:		Revision 14:	
Name:	Island Architects	Revision 13:	
Contact:	Camila Farren	Revision 12:	
	7626 Herschel Avenue	Revision 11:	
Phone:	(858) 459-9291	Revision 10:	
		Revision 09:	
Street Address:	2702 Costebelle Dr.	Revision 08:	
	La Jolla, CA 92037	Revision 07:	
Project Name:	2702 Costebelle Dr.	Revision 06:	
		Revision 05:	
Sheet Title:	FLOOR PLANS	Revision 04:	
		Revision 03:	
		Revision 02:	
		Revision 01:	
Original Date:	12/09/2015		
Sheet:	5 of 9		
DEP#:			

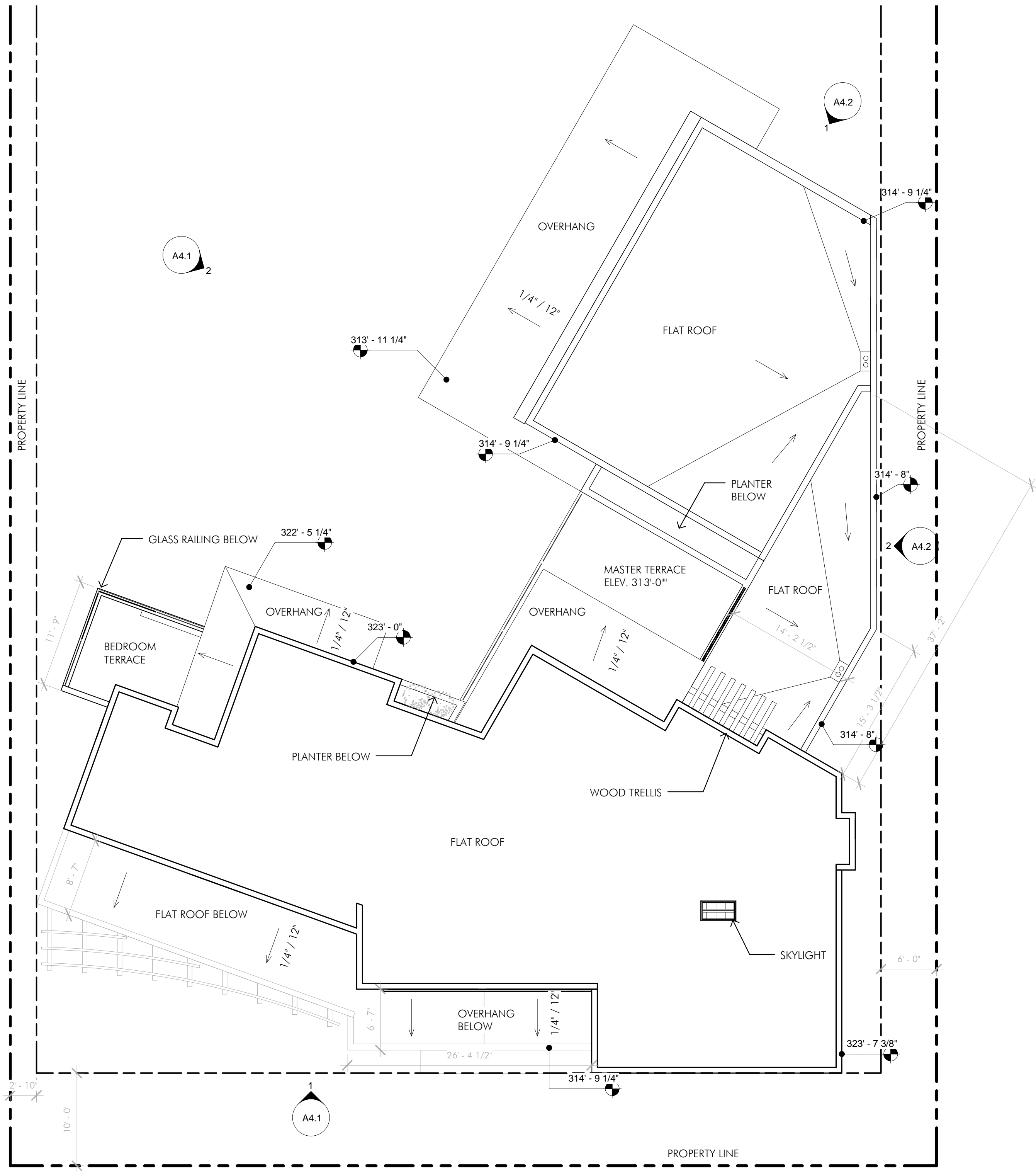


UPPER LEVEL PLAN 1/8" = 1'-0" 1



Wall Legend

- NEW CONSTRUCTION WALL
- EXISTING WALL TO REMAIN
- EXISTING WALL TO BE DEMOLISHED



ROOF PLAN 1/8" = 1'-0" 2



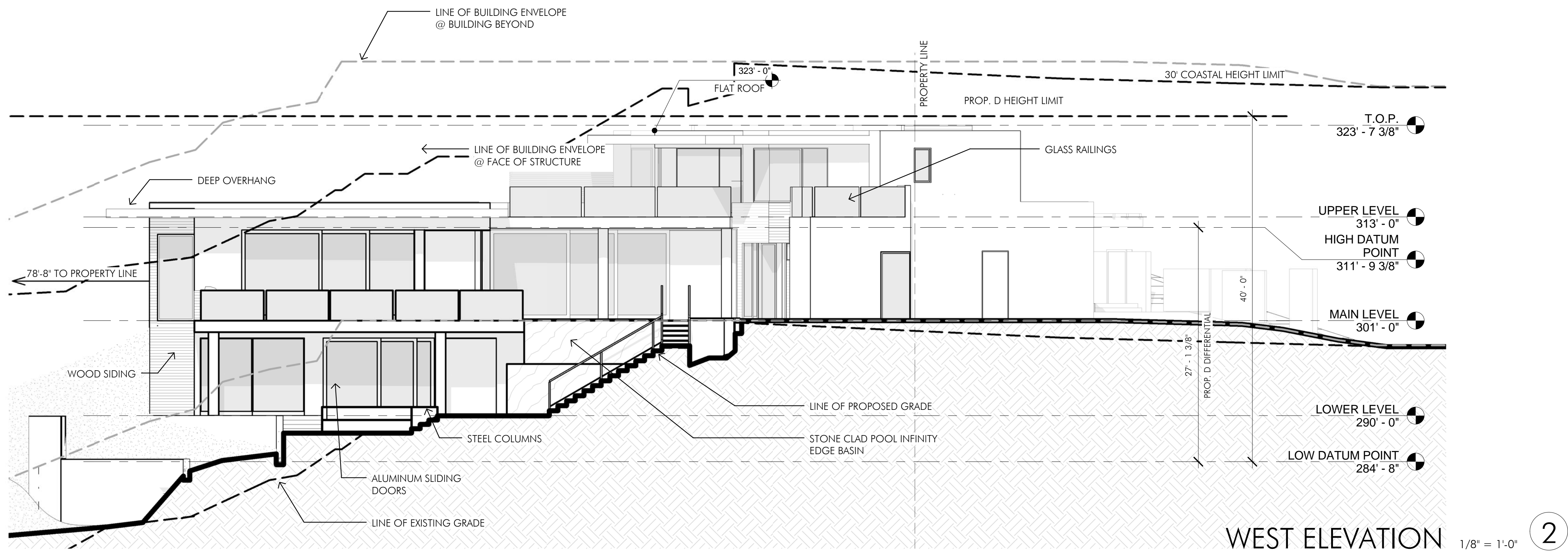
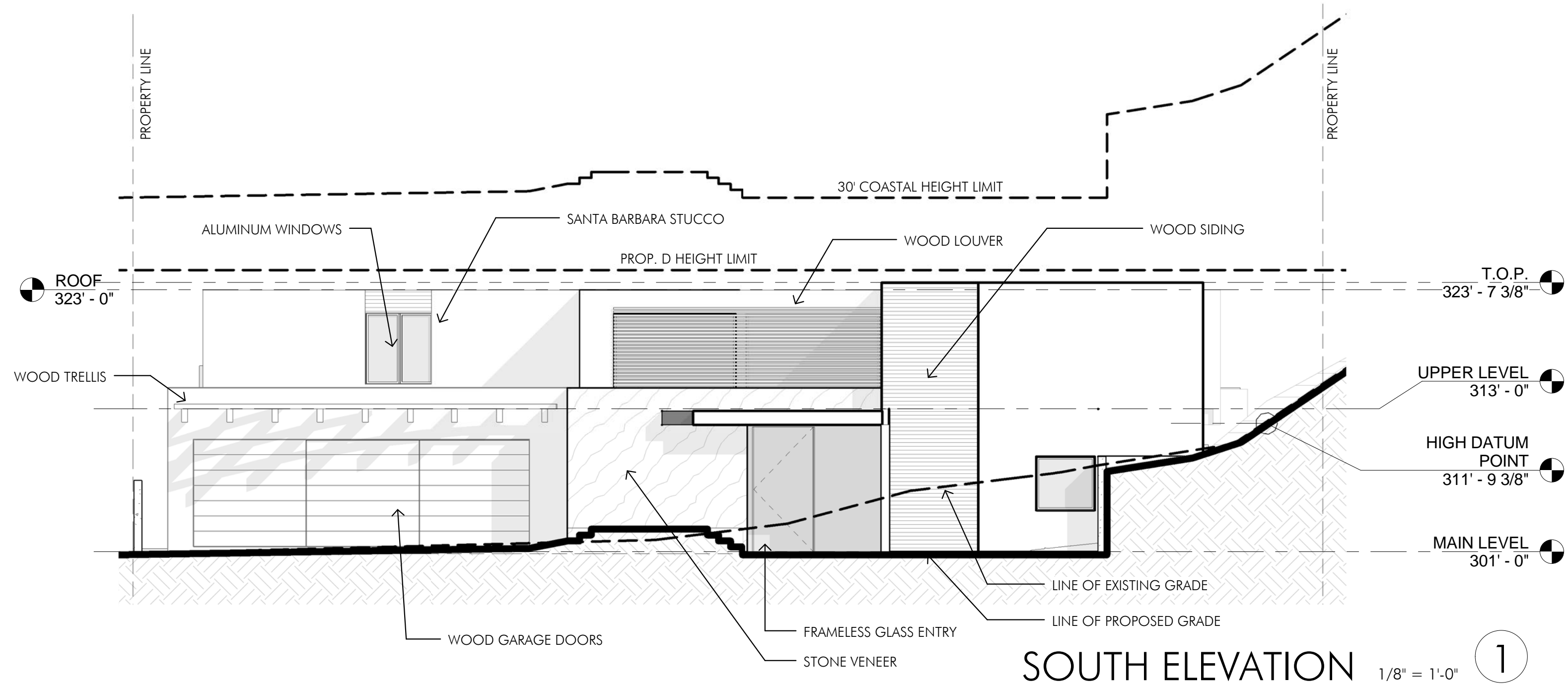
CITY STANDARD TITLE BLOCK

PREPARED BY:		Revision 14:	
Name:	Island Architects	Revision 13:	
Contact:	Camila Farren	Revision 12:	
	7626 Herschel Avenue	Revision 11:	
	La Jolla, CA 92037	Revision 10:	
Phone:	(858) 459-9291	Revision 09:	
Street Address:		Revision 08:	
2702 Costebelle Dr.		Revision 07:	
La Jolla, CA 92037		Revision 06:	
Project Name:		Revision 05:	
2702 Costebelle Dr.		Revision 04:	
Sheet Title:		Revision 03:	
FLOOR PLANS		Revision 02:	
		Revision 01:	
Original Date:		12/09/2015	
Sheet:		6	of 9
DEP#:			



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JOB #:	2015.140
DRAWN BY:	Author
PROJ. MGR:	Checker
DATE:	ISSUE
Date:	1st Bldg. Submittal
11/20/15	SINGLE DISCIPLINE REVIEW

REVISIONS	
#	DESCRIPTION



CITY STANDARD TITLE BLOCK

PREPARED BY:
Name: Island Architects
Contact: Camila Forren
7626 Herschel Avenue
La Jolla, CA 92037
Phone: (858) 459-9291

Street Address:
2702 Costebelle Dr.
La Jolla, CA 92037

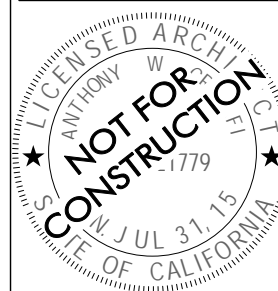
Project Name:
2702 Costebelle Dr

Sheet Title:
EXTERIOR ELEVATIONS

Revision 14: _____
Revision 13: _____
Revision 12: _____
Revision 11: _____
Revision 10: _____
Revision 09: _____
Revision 08: _____
Revision 07: _____
Revision 06: _____
Revision 05: _____
Revision 04: _____
Revision 03: _____
Revision 02: _____
Revision 01: _____

Original Date: 12/09/2015
Sheet: 7 of 9
DEP#: _____

ISLAND ARCHITECTS
DREX PATTERSON, R.A. | TONY CRISAFI, R.A.
7626 HERSCHEL AVENUE
LA JOLLA, CA 92037
TEL: 858-459-9291 FAX: 858-456-0331



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JOB #: 2015.140
DRAWN BY: Author
PROJ. MGR: Checker
DATE: ISSUE
Date: 1st Bldg. Submittal
11/20/2015 SINGLE DISCIPLINE REVIEW

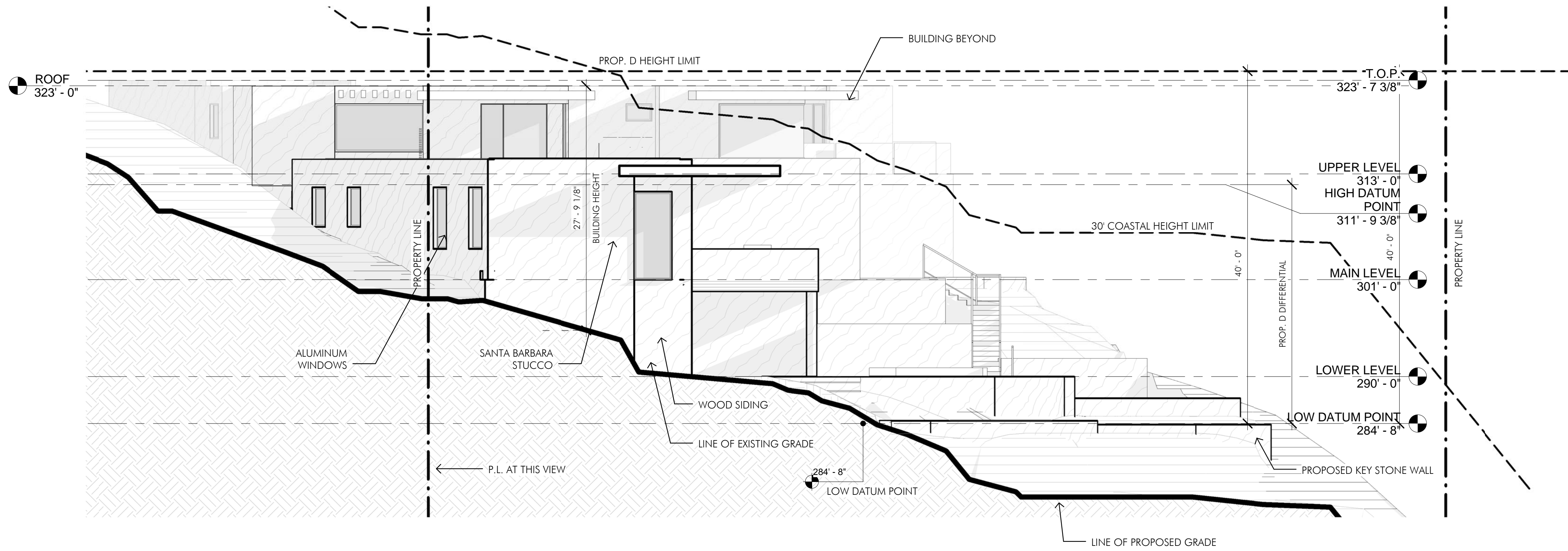
REVISIONS
DESCRIPTION DATE

2702 COSTEBELLE
2702 COSTEBELLE DR., LA JOLLA, CA 92037

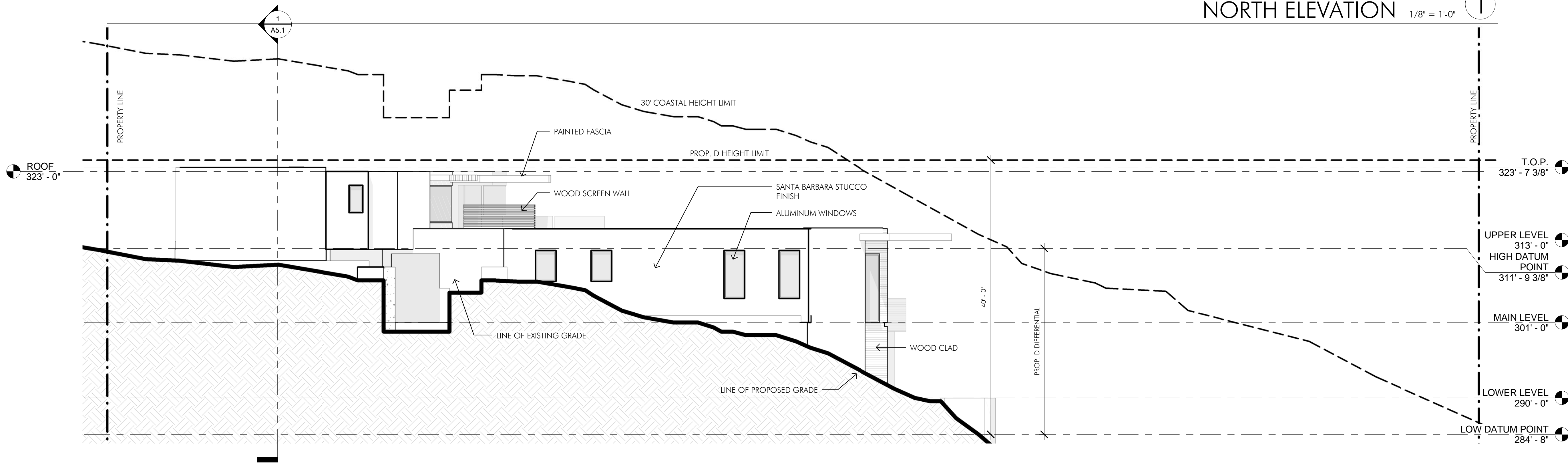
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EXTERIOR
ELEVATIONS

12/09/2015



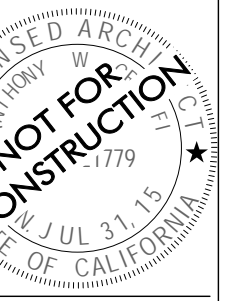
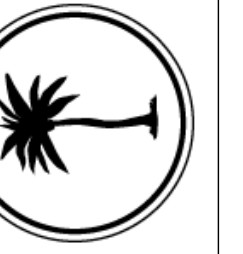
NORTH ELEVATION 1/8" = 1'-0" 1



EAST ELEVATION 1/8" = 1'-0" 2

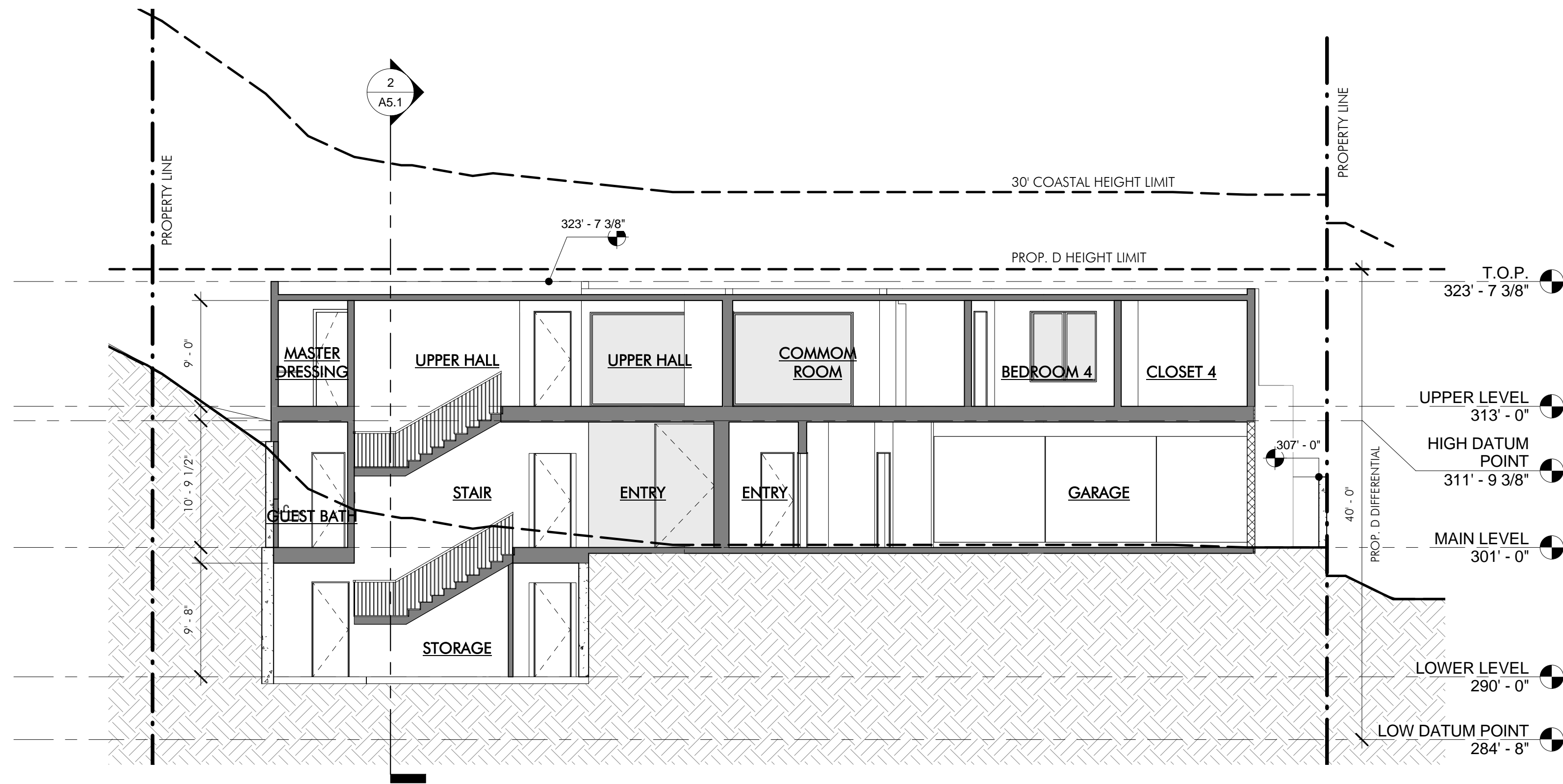
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	7626 Herschel Avenue	Revision 12:	
	La Jolla, CA 92037	Revision 11:	
Phone:	(858) 459-9291	Revision 10:	
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Street Address:	2702 Costebelle Dr.	Revision 08:	
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		Revision 06:	
Project Name:	2702 Costebelle Dr.	Revision 05:	
		Revision 04:	
		Revision 03:	
		Revision 02:	
		Revision 01:	
Original Date:	12/09/2015		
Sheet Title:	EXTERIOR ELEVATION	Sheet:	8 of 9
		DEP#:	

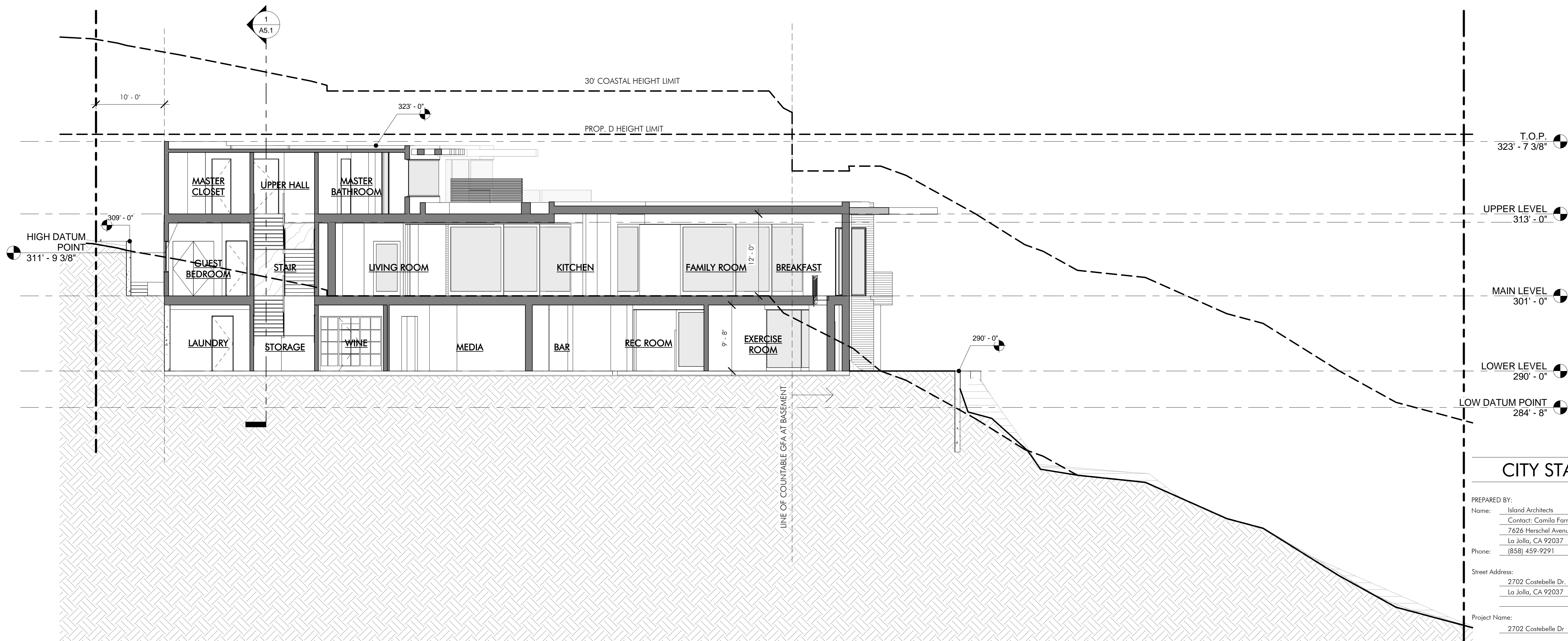


Copyright Island Architects	2015
JOB #:	2015.140
DRAWN BY:	Author
PROJ. MGR:	Checker
DATE:	ISSUE
Date:	1st Bldg. Submittal
11/20/15 SINGLE DISCIPLINE REVIEW	

REVISIONS	
DESCRIPTION	DATE



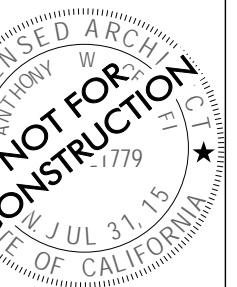
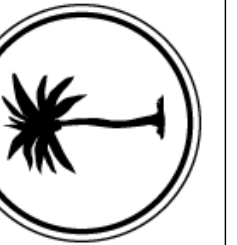
SECTION A 1/8" = 1'-0" 1



SECTION B 1/8" = 1'-0" 2

CITY STANDARD TITLE BLOCK

PREPARED BY:	Island Architects	Revision 14:	
Name:	Contact: Camila Farren	Revision 13:	
	7626 Herschel Avenue	Revision 12:	
	La Jolla, CA 92037	Revision 11:	
Phone:	(858) 459-9291	Revision 10:	
		Revision 09:	
Street Address:	2702 Costebelle Dr.	Revision 08:	
	La Jolla, CA 92037	Revision 07:	
		Revision 06:	
Project Name:	2702 Costebelle Dr	Revision 05:	
		Revision 04:	
		Revision 03:	
		Revision 02:	
		Revision 01:	
Sheet Title:	BUILDING SECTIONS	Original Date:	12/09/2015
		Sheet:	9 of 9
		DEP#:	



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JOB #:	2015.140
DRAWN BY:	AF
PROJ. MGR:	CF
DATE:	ISSUE
Date:	1st Bldg. Submittal

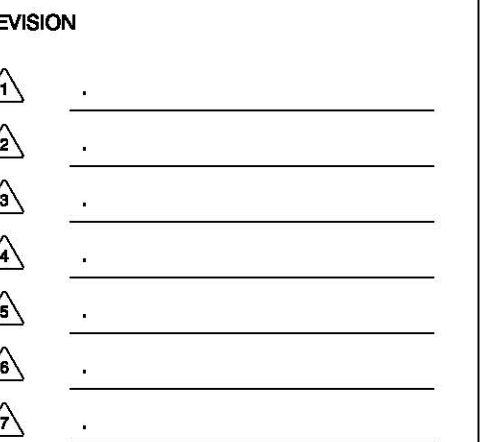
#	DESCRIPTION	DATE
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8676 Dunaway Drive
La Jolla, California 92037

8576 Dunaway Drive
La Jolla, California 92037

7661 Girard Ave, Suite 200
La Jolla, California 92037
Pho. 858-459-6114
Fax. 858-459-0131

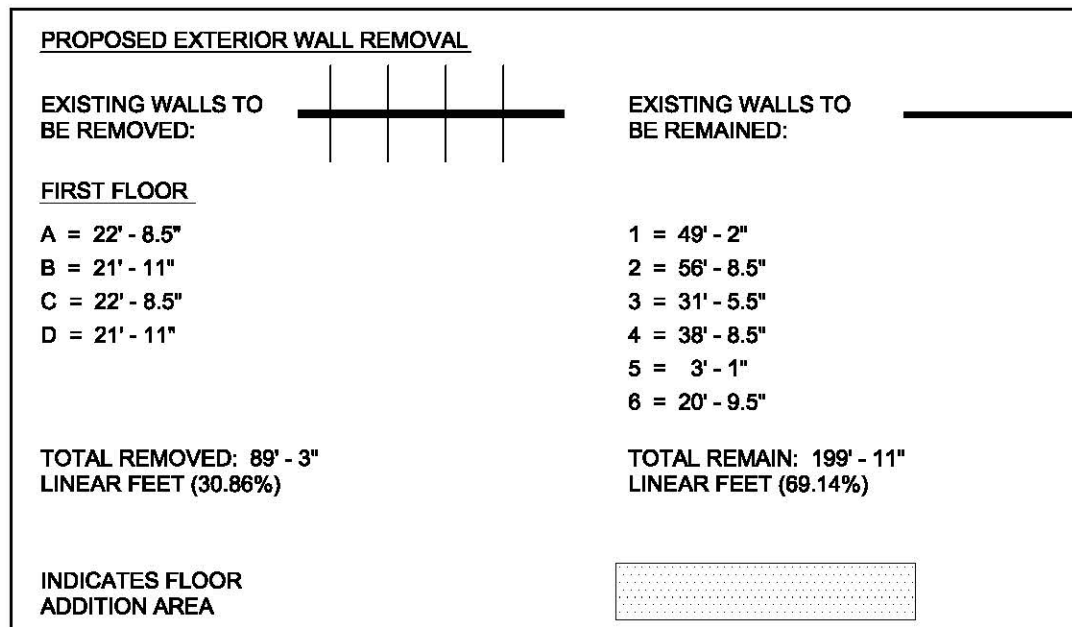
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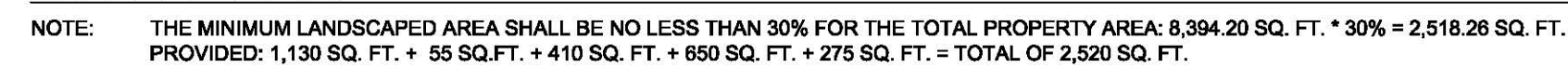
KEY PLAN

BUILDING

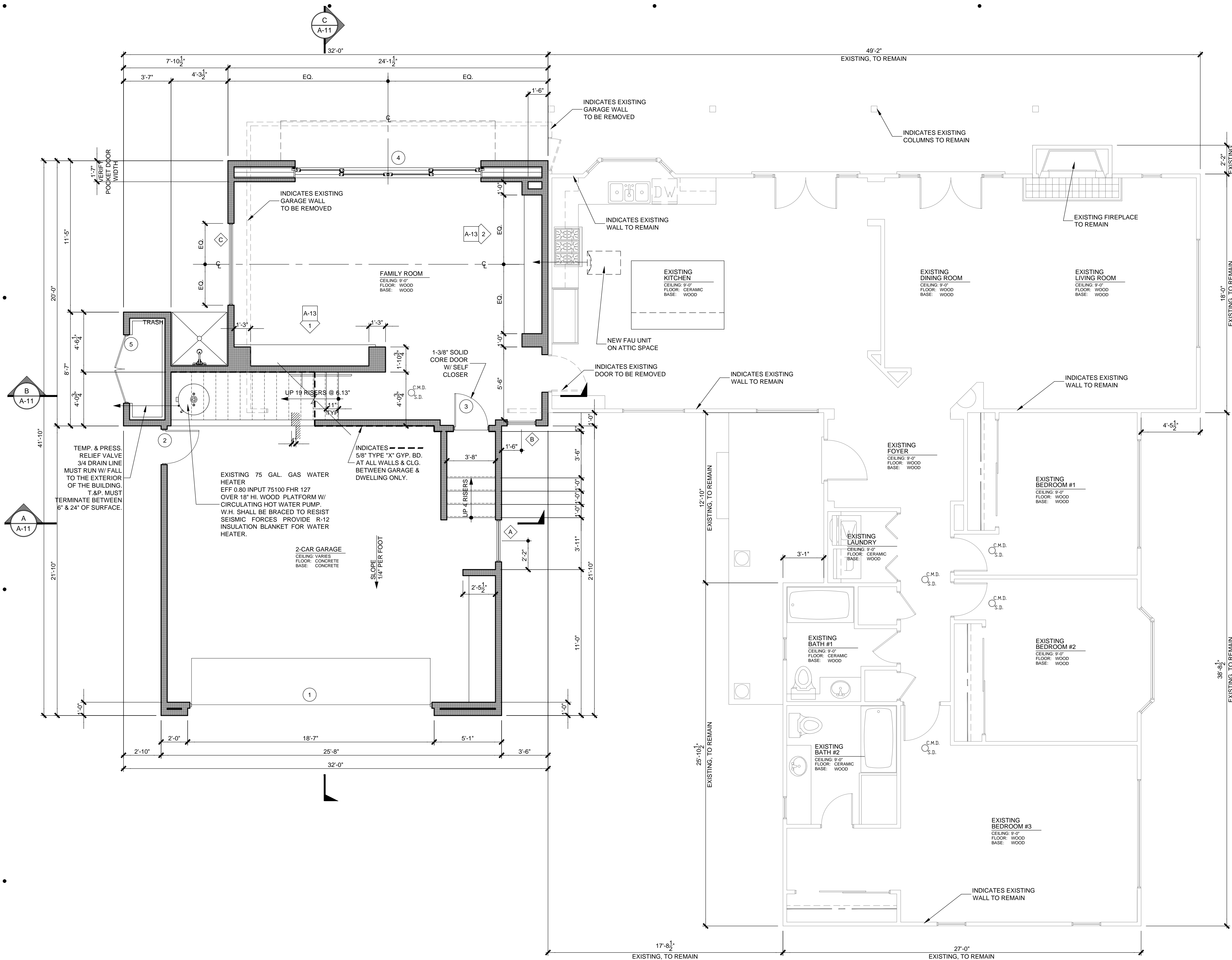
B # 15-211	DATE Apr 13, 2016
LAWN	SCALE $1/8" = 1'-0"$



SCALE: 1/8" = 1'-0"



SCALE: 1/8" = 1'-0"



FIRST FLOOR PLAN

WALL LEGEND:

- SOLID LINES INDICATE THE NEW CONSTRUCTION.
- SCREEN LINES INDICATE THE EXISTING STRUCTURES.

- EXISTING WALLS TO REMAIN.
- EXISTING WALLS TO BE REMOVED

- NEW 2X STUD WALLS

BUILDING AREA

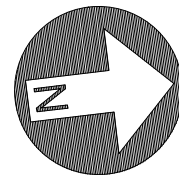
EXISTING:	
EXISTING FIRST FLOOR AREA:	1,904.00 SQ. FT.
EXISTING GARAGE:	498.00 SQ. FT.
TOTAL:	2,402.00 SQ. FT.

PROPOSED ADDITION:

FIRST FLOOR :	587.00 SQ. FT.
SECOND FLOOR:	775.00 SQ. FT.
TOTAL:	1,362.00 SQ. FT.

0' 2.5' 5' 7.5'

SCALE 1/4" = 1'-0"



GENERAL NOTES:

A. PRIOR TO PROCEEDING WITH THE WORK, THE CONTRACTOR SHALL CAREFULLY STUDY AND COMPARE THE CONTRACT DOCUMENTS WITH THE EXISTING STRUCTURE & SHALL AT ONCE REPORT TO THE OWNER AND ARCHITECT ANY ERRORS, INCONSISTENCIES, OMISSIONS OR QUESTIONS THAT MAY DISCOVER.

B. WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DRAWING. CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB, AND THE ARCHITECT MUST BE NOTIFIED OF ALL VARIATIONS FROM THE DIMENSIONS & CONDITIONS SHOWN BY THESE DRAWINGS.

C. THE CONTRACTOR SHALL PROVIDE ADEQUATE SHORING FOR EXISTING FRAMING DURING CONSTRUCTION OF THE NEW ADDITION.

D. REMOVE ALL WALLS AS INDICATED AND CAP ALL PLUMBING & GAS LINES AS REQUIRED.

E. STATE HEALTH AND SAFETY CODE SEC. 17921.9 BANS THE USE OF CHLORINATED POLYVINYL CHLORIDE (CPVC) AND CROSSLINKED POLYETHYLENE (PEX) FOR INTERIOR WATER SUPPLY PIPING.

F. PROVIDE FAUCETS WITH A MAXIMUM FLOW OF 2.2 GALLONS PER MINUTE (GPM).

G. PERMANENT VACUUM BREAKERS SHALL BE INCLUDED WITH ALL NEW HOSE BIBBS.

H. PROVIDE ULTRA LOW FLUSH TOILETS.

I. SHOWER HEADS 2.0 GPM MAX.

J. DUCTS IN GARAGE AND DUCTS PENETRATING THE WALLS OR CEILINGS SEPARATING THE DWELLING UNIT FROM THE GARAGE SHALL BE CONSTRUCTED OF A MINIMUM 0.019-INCH (0.48 MM) SHEET STEEL AND SHALL HAVE NO OPENINGS INTO THE GARAGE. (406.1.4)

K. ATTIC / UNDERFLOOR INSTALLATION MUST COMPLY WITH SECTIONS 904, 906, AND 909 OF THE CALIFORNIA MECHANICAL CODE (CMC)

PROJECT TITLE

Lerner Residence

8676 Dunaway Drive
La Jolla, California 92037

APPLICANT

Ian & Golnoosh Lerner

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La Jolla, California 92037

DESIGN
LEAD
ARCHITECTS

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Fax. 858-459-0131

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REVISION

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KEY PLAN

BUILDING

A

DRAWING TITLE

FIRST FLOOR PLAN

JOB

2015-211

DATE

Mar 14, 2016

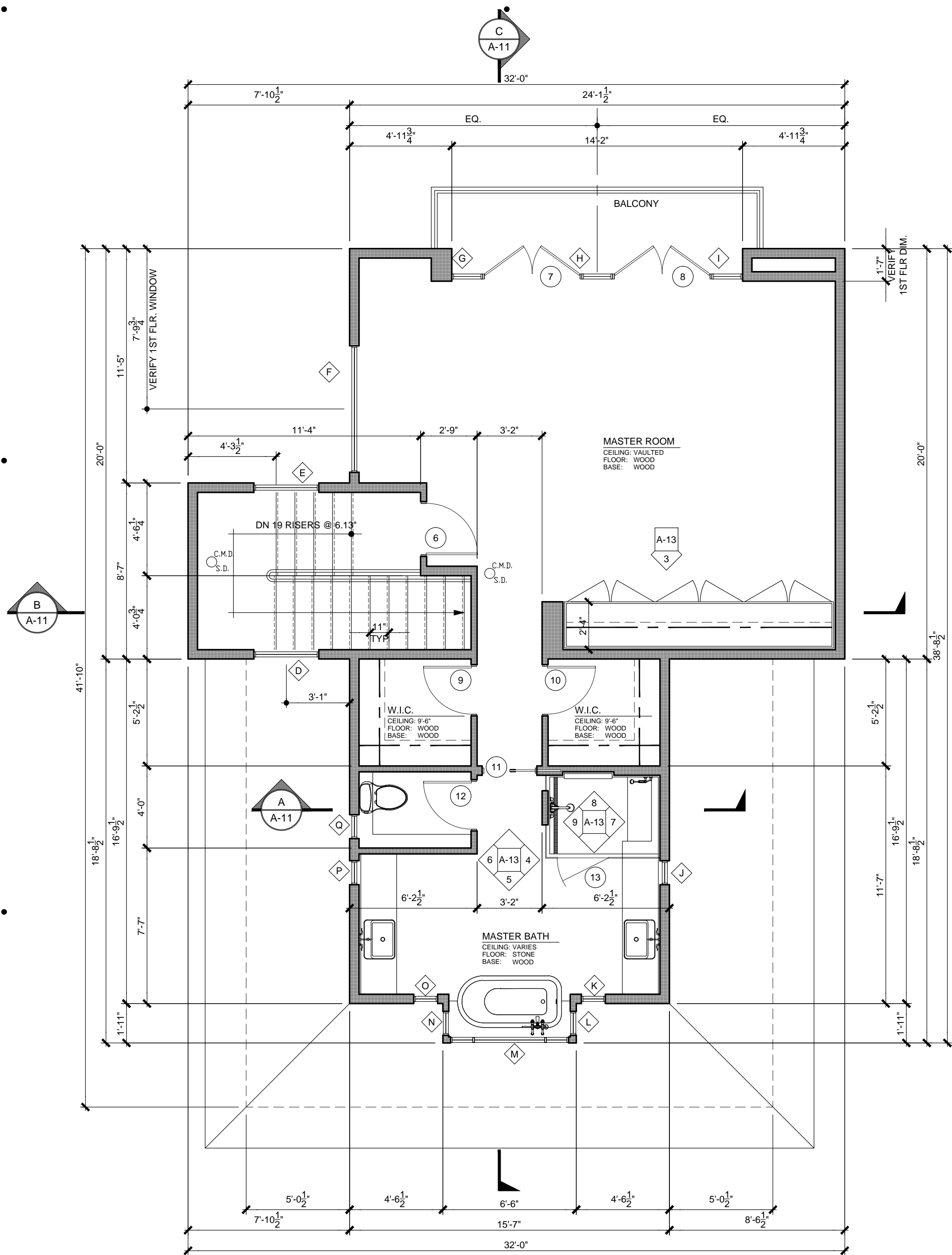
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SCALE

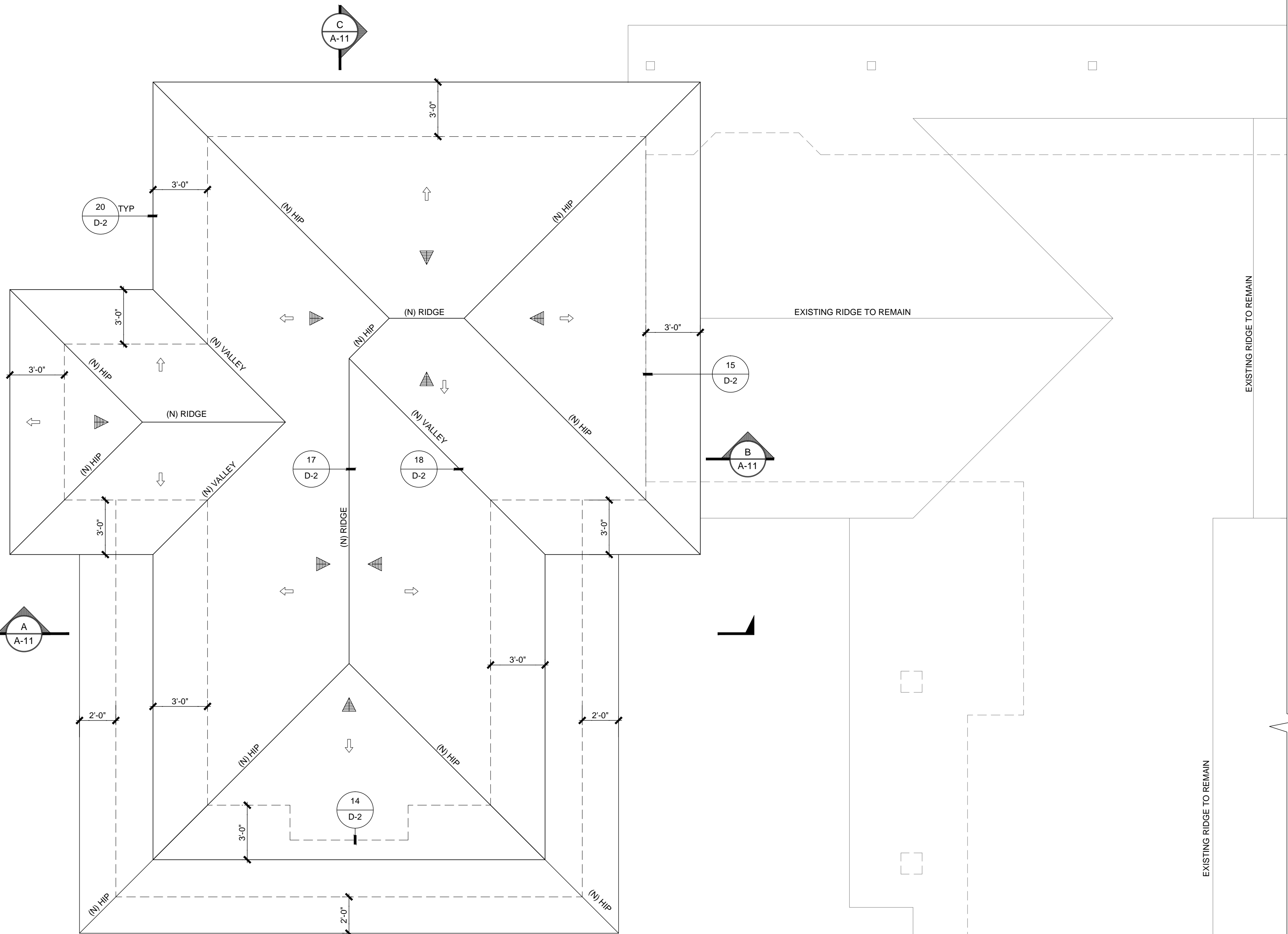
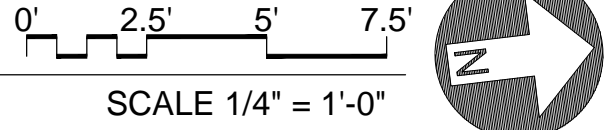
1/4" = 1'-0"

SHEET

A-6



SECOND FLOOR PLAN



ROOFING:
CLAY "TWO PIECES STRAIGHT BARREL" TILE SHALL BE MANUFACTURED BY "US TILE", RESEARCH REPORT #RR-24045, CSI #07320, ICC #ER-3523 INSTALL WITH CORROSION RESISTANT FASTENERS IN ACCORDANCE WITH THE LATEST MANUFACTURER'S PRINTED INSTRUCTION AND THE REFERENCED RESEARCH REPORTS.

UNDERLAYMENT SHALL BE NO. 40 ASPHALT SATURATED ORGANIC FELT, LAPPED NOT LESS THAN 4 INCHES AT HORIZONTAL JOINTS AND NOT LESS THAN 6 INCHES AT VERTICAL JOINTS.

INSTALL TRIPLE TILE AT RIDGE, HIP AND EAVE AND SET TILES IN ASTM C-270 TYPE "M" CEMENT MORTAR.

UNITED STATE TILE CO.
909 RAILRODE STREET,
CORONA, CALIFORNIA 92882
TEL: (951) 737-0200
FAX: (951) 734-0591
WEB: WWW.USTILE.COM

PROVIDE "JIFFY SEAL" 140/160 MEMBRANE OVER MANUFACTURER'S PRIMER AT ALL PARAPETS, TOPS OF PLASTERED WALLS, DECKS & UNDER ALL PLASTERED ROOFS.
"JIFFY SEAL" MANUFACTURED BY:
PROTECTO WRAP COMPANY
2255 SOUTH DELAWARE STREET,
DENVER, COLORADO 80223.
TEL: (303) 777-3001

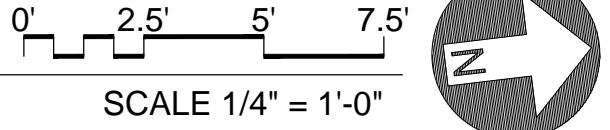
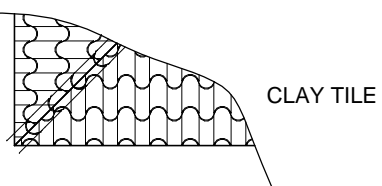
CONTRACTOR SHALL CONNECT ALL ROOF DRAINS AND DOWNSPOUTS TO SITE AREA DRAIN

VENTILATION FOR ROOF ATTICS:
AREA ATTIC: 825 SQ. FT.
VENT AREA REQUIRED: 1/300 X 825 = 2.75 SQ. FT. (396 SQ. INCH)

NOTES
A. CLASS A ROOF COVERING IS REQUIRED FOR ALL BUILDINGS.

ROOF PLAN

ROOF LEGEND
ATTIC ROOF VENT, "OHAGIN" ATTIC VENT FOR TILE ROOF, SEE DETAIL 19/D-2



PROJECT TITLE
Lerner Residence

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La Jolla, California 92037

APPLICANT
Ian & Golnoosh Lerner

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ARCHITECTURE PLANNING
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www.designlead.com

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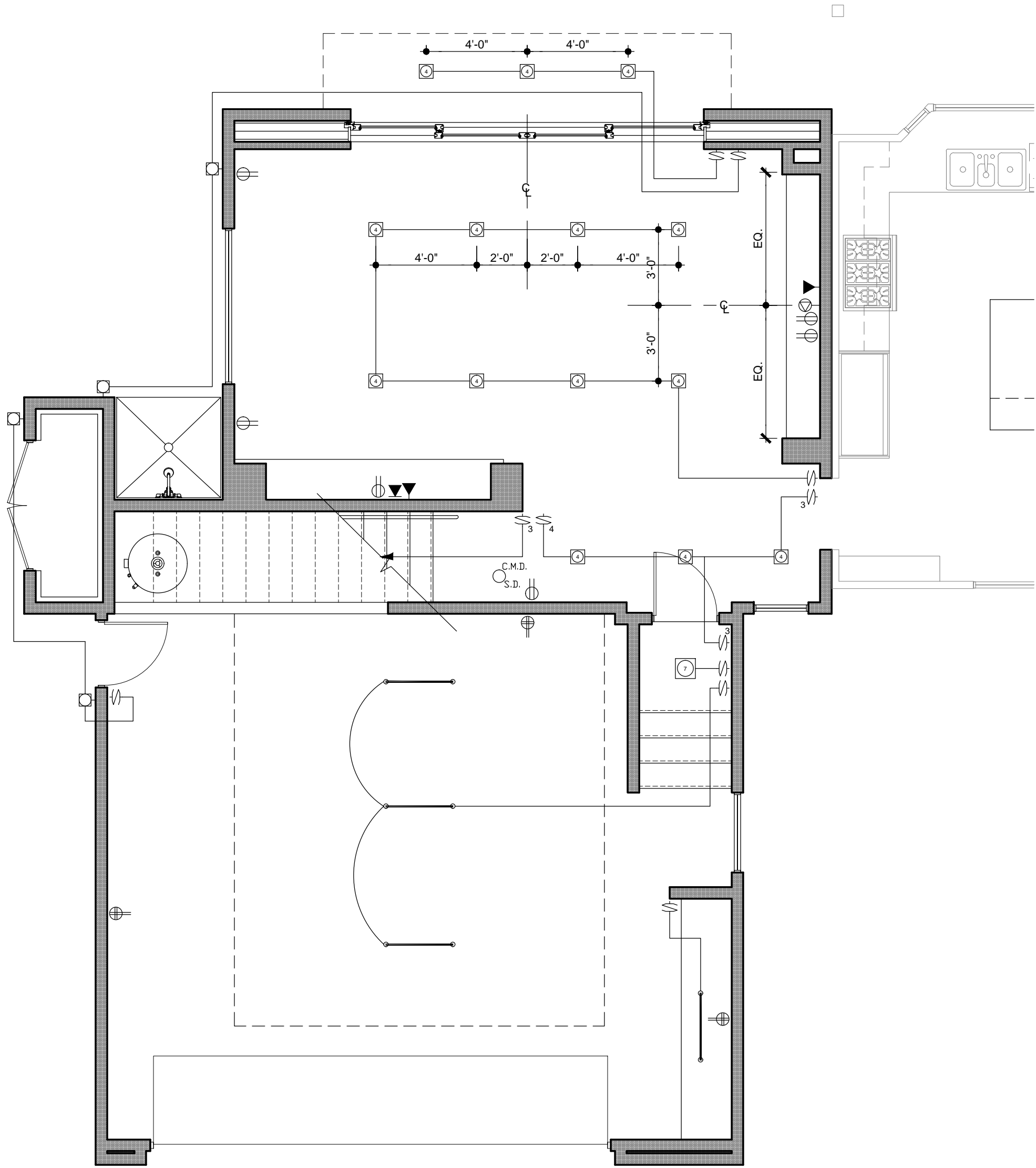
KEY PLAN

BUILDING

DRAWING TITLE
**SECOND FLOOR PLAN
ROOF PLAN**

JOB # 2015-211	DATE Mar 14, 2016
DRAWN	SCALE 1/4" = 1'-0"

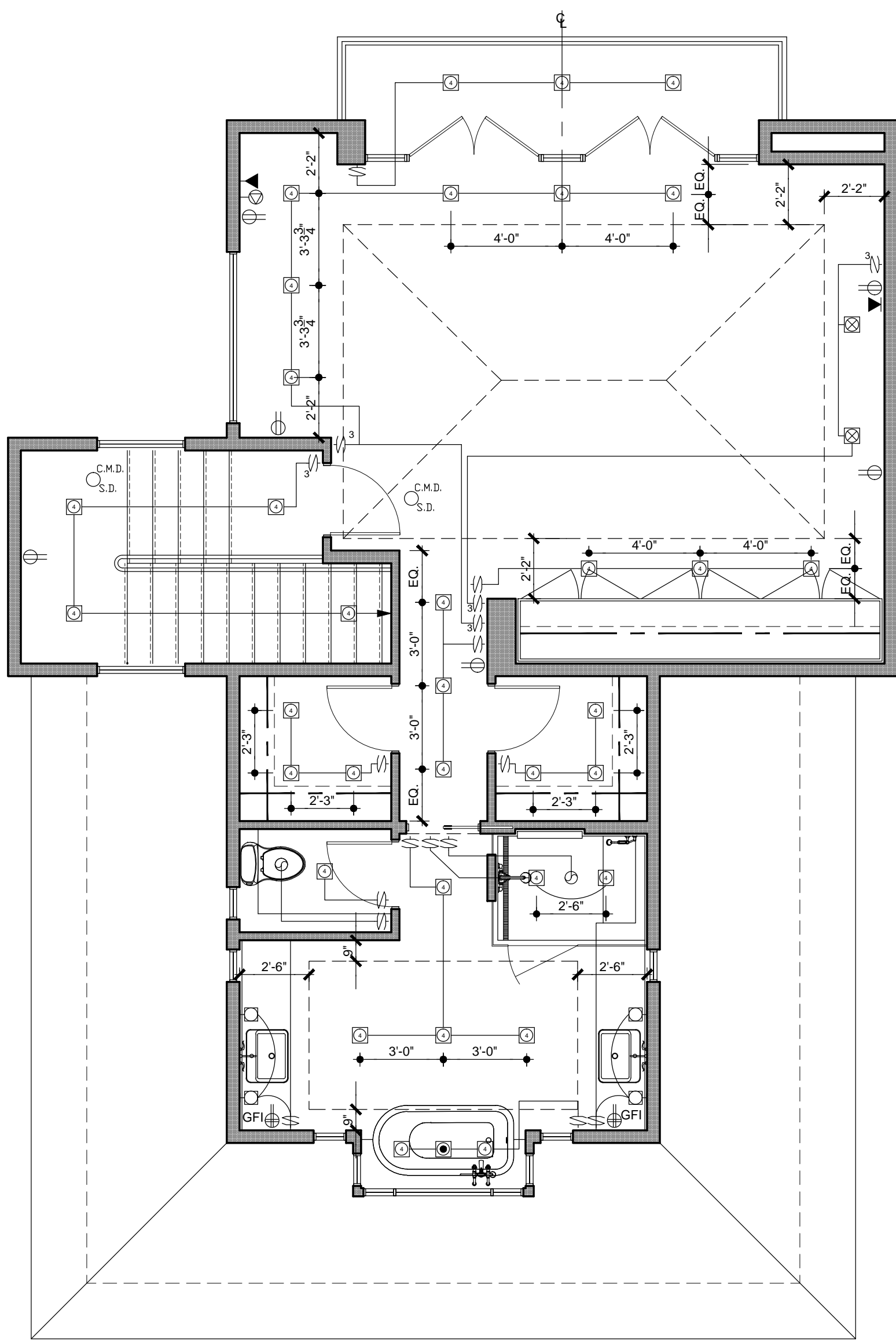
SHEET #
A-7



REFLECTED CLG. / ELECTRICAL PLAN
FIRST FLOOR

NOTE: ALL LUMINAIRES SHALL EITHER BE HIGH EFFICACY OF SHALL BE CONTROLLED BY A OCCUPANT SENSOR OR DIMMER.

ELECTRICAL SYMBOLS			
	110 - 115 VOLTS - TAMPER RESISTANT RECEPTACLE		LED SURFACE MOUNT CEILING LIGHT
	110 - 115 VOLTS 1/2 HOT SWITCHED - TAMPER RESIST.		4" LED RECESSED CEILING LIGHT
	220 VOLTS - TAMPER RESISTANT RECEPTACLE		4" LED RECESSED CEILING LIGHT, WALL WASH
	110 - 115 VOLTS GFI/WP - TAMPER RES. RECEPTACLE		LED SPOT LIGHT
	110 - 115 VOLTS FLOOR OUTLET		7" LED RECESSED CEILING LIGHT
	JUNCTION BOX		FLUORESCENT LAMP
	TELEPHONE		CARBON MONOXIDE DETECTOR AND SMOKE ALARM
	COMPUTER OUTLET		RECESSED EXHAUST FAN / LIGHT
	TELEVISION		RECESSED EXHAUST FAN
	TWO WAY SWITCH		RECESSED HEAT LAMP
	THREE WAY SWITCH		LED STRIP LIGHTING
	WALL MOUNT LED LIGHT		SPEAKER
	EXTERIOR WALL MOUNT LED LIGHT		



REFLECTED CLG. / ELECTRICAL PLAN
SECOND FLOOR

NOTE: ALL LUMINAIRES SHALL EITHER BE HIGH EFFICACY OF SHALL BE CONTROLLED BY A OCCUPANT SENSOR OR DIMMER.

ELECTRICAL PLAN NOTES:

- 1- WIRED SMOKE DETECTORS SHALL SOUND AN ALARM AUDIBLE IN ALL SLEEPING AREAS OF THE UNIT.
- 2- ALL RECEPTACLE OUTLET LOCATIONS WILL COMPLY WITH 2013 C.E.C. ART. 210.52.
- 3- ALL 125 VOLT SINGLE PHASE, 15 & 20 AMPERE RECEPTACLES INSTALLED IN BATHROOMS, GARAGE, OUT-DOORS AND WITHIN 6 FEET OF A KITCHEN SINK SHALL HAVE GROUND-FAULT CIRCUIT-INTERRUPTURE PROTECTION AND COMPLY WITH 2013 C.E.C.
- 4- PROVIDE FIVE AIR CHANGES PER HOUR FOR BATHROOM AND LAUNDRY VENTILATION.
- 5- CONTRACTOR SHALL CONFIRM & COORDINATE THE EXISTING & NEW LIGHTING WITH OWNER & ARCHITECT PRIOR TO PROCEEDING WITH THE WORK.
- 6- PROVIDE SMOKE DETECTORS IN EXISTING AREAS AS REQUIRED FOR NEW BUILDINGS. THE DETECTORS MAY BE BATTERY OPERATED.
- 7- SMOKE ALARMS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING PROVIDED THAT SUCH WIRING IS SERVED FROM A COMMERCIAL SOURCE AND SHALL BE EQUIPPED WITH BATTERY BACK-UP. SMOKE ALARMS WITH INTEGRAL STROBES THAT ARE NOT EQUIPPED WITH BATTERY BACKUP SHALL BE CONNECTED TO AN EMERGENCY ELECTRICAL SYSTEM. SMOKE ALARMS SHALL EMIT A SIGNAL WHEN THE BATTERIES ARE LOW. WIRING SHALL BE PERMANENT AND WITHOUT A DISCONNECTING SWITCH OTHER THAN AS REQUIRED FOR OVERCURRENT PROTECTION.
- 8- WHERE MORE THAN ONE SMOKE ALARM IS REQUIRED TO BE INSTALLED WITHIN AN INDIVIDUAL DWELLING UNIT THE ALARM DEVICES SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL THE ALARMS IN THE INDIVIDUAL UNIT.
- 9- SINGLE AND MULTIPLE STATION CARBON MONOXIDE ALARMS SHALL BE LISTED AS COMPLYING WITH THE REQUIREMENTS OF UL 2034. CARBON MONOXIDE DETECTORS SHALL BE LISTED AS COMPLYING WITH THE REQUIREMENTS OF UL 2075.
- 10- CARBON MONOXIDE ALARMS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING WHERE SUCH WIRING IS SERVED FROM A COMMERCIAL SOURCE AND SHALL BE EQUIPPED WITH A BATTERY BACK-UP. ALARM WIRING SHALL BE DIRECTLY CONNECTED TO THE PERMANENT BUILDING WIRING WITHOUT A DISCONNECTING SWITCH OTHER THAN AS REQUIRED FOR OVERCURRENT PROTECTION.
- 11- CARBON MONOXIDE ALARMS FOR THE PROPOSED PROJECT ARE NOT PERMITTED TO BE BATTERY OPERATED AND SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING IN ACCORDANCE WITH SECTION R315.1.1
- 12- WHERE MORE THAN ONE CARBON MONOXIDE ALARM IS REQUIRED TO BE INSTALLED WITHIN THE DWELLING UNIT OR WITHIN A SLEEPING UNIT THE ALARM SHALL BE INTERCONNECTED IN A MANNER THAT ACTIVATION OF ONE ALARM SHALL ACTIVATE ALL OF THE ALARMS IN THE INDIVIDUAL UNIT.
- 13- ADDITIONAL SMOKE DETECTORS SHALL BE PROVIDED AT THE TOP OF EACH STAIRWAY LANDING AND SHALL BE PROVIDED IN ALL HABITABLE SPACES EXCEPT KITCHENS.
- 14- USE TAMPER RESISTANT RECEPTACLES FOR ALL NEW LOCATIONS (NEC 210.52)
- 15- USE WEATHER RESISTANT TYPE RECEPTACLES INSTALLED IN DAMP OR WET LOCATIONS.
- 16- ARC-FAULT PROTECTION FOR ALL OUTLETS (NOT JUST RECEPTACLES) LOCATED IN ROOMS DESCRIBED IN NEC 210.8(A): FAMILY ROOM, LIVING ROOM, BEDROOMS, DINING ROOM, HALLS, ETC.
- 17- GFCI PROTECTED OUTLETS FOR LOCATIONS DESCRIBED IN NEC210.8: KITCHENS, GARAGES, BATHROOMS, OUTDOORS, WITHIN 6' OF A SINK, ETC.
- 18- BATHROOM CIRCUITING SHALL BE EITHER A 20 AMPERE CIRCUIT DEDICATED TO EACH BATHROOM OR AT LEAST ONE 20 AMPERE CIRCUIT SUPPLYING ONLY BATHROOM RECEPTACLE OUTLETS.

PROJECT TITLE

Lerner
Residence

8676 Dunaway Drive
La Jolla, California 92037

APPLICANT

Ian & Golnoosh Lerner

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La Jolla, California 92037

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ARCHITECTS

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Fax. 858-459-0131

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REVISION

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KEY PLAN

BUILDING

A

DRAWING TITLE

REFLECTED CEILING
AND ELECTRICAL PLAN

JOB #

2015-211

DATE

Mar 14, 2016

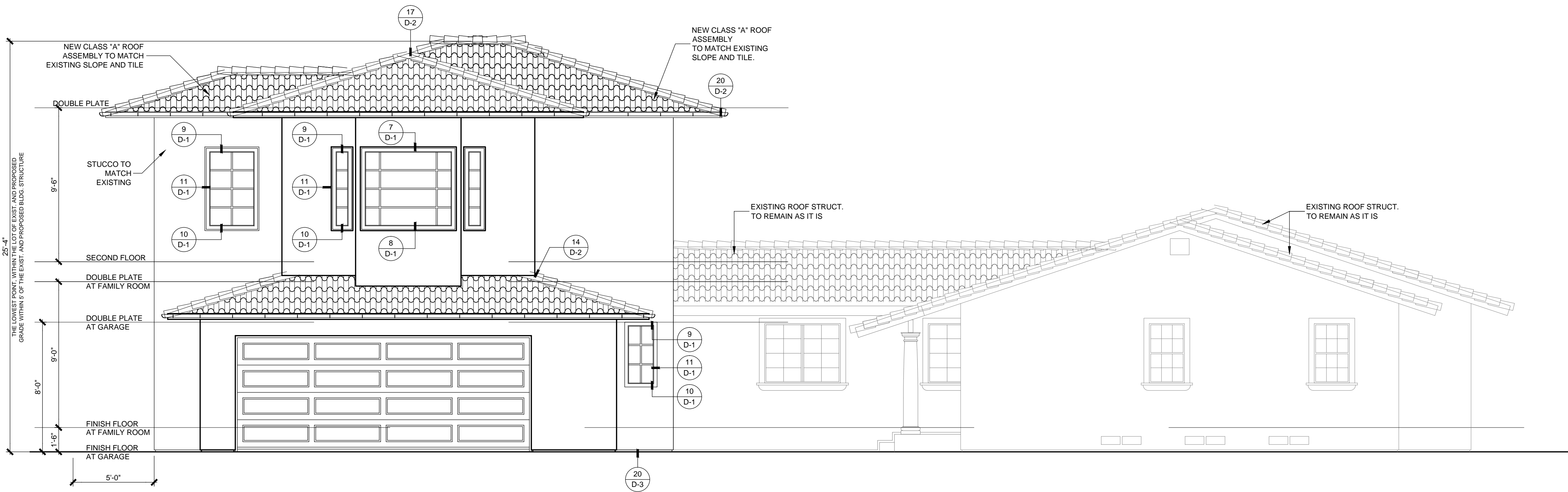
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SCALE

1/4" = 1'-0"

SHEET #

A-8



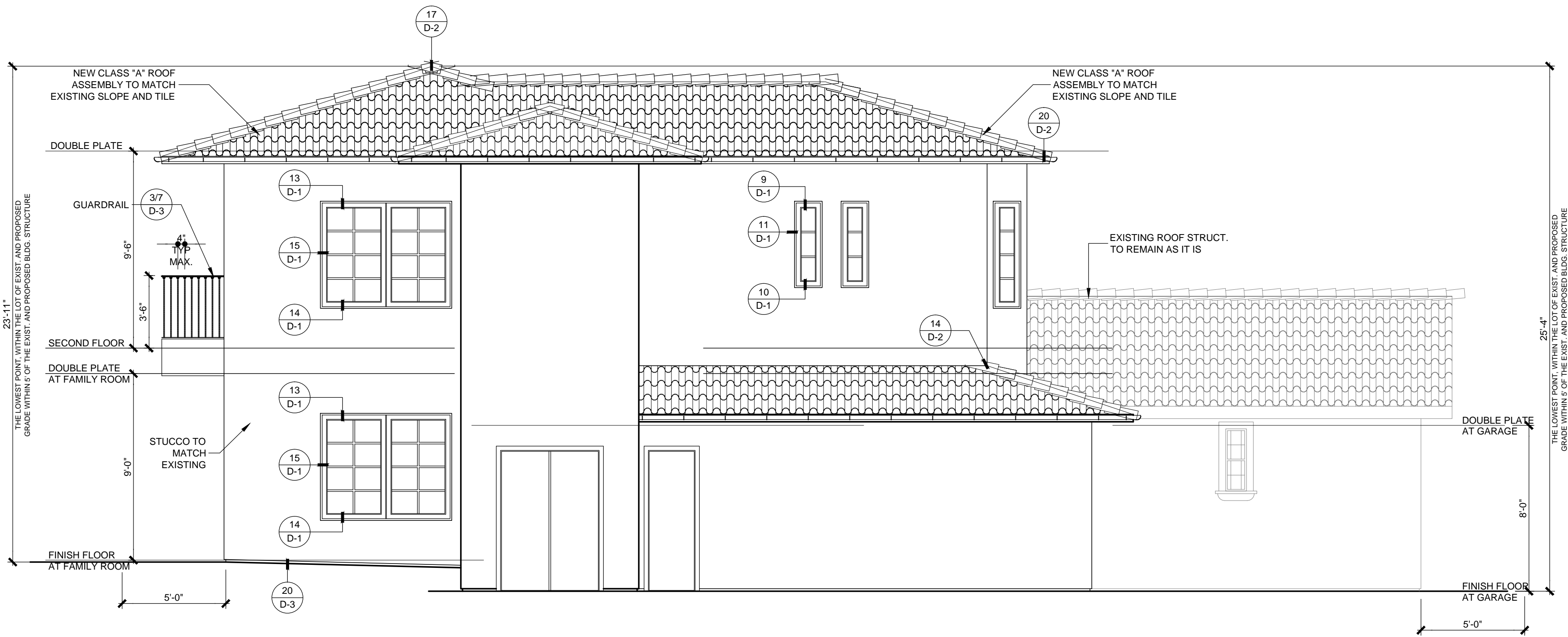
EAST / FRONT ELEVATION

LEGEND:

- SOLID LINES INDICATE THE NEW CONSTRUCTION.
- SCREEN LINES INDICATE THE EXISTING STRUCTURES.

EXISTING AREAS TO BE REMOVED

SCALE 1/4" = 1'-0"



SOUTH / SIDE ELEVATION

LEGEND:

- SOLID LINES INDICATE THE NEW CONSTRUCTION.
- SCREEN LINES INDICATE THE EXISTING STRUCTURES.

EXISTING AREAS TO BE REMOVED

SCALE 1/4" = 1'-0"

PROJECT TITLE

Lerner Residence

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La Jolla, California 92037

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KEY PLAN

BUILDING

A

DRAWING TITLE

EAST ELEVATION
AND SOUTH ELEVATION

JOB

2015-211

DATE

Mar 14, 2016

DRAWN

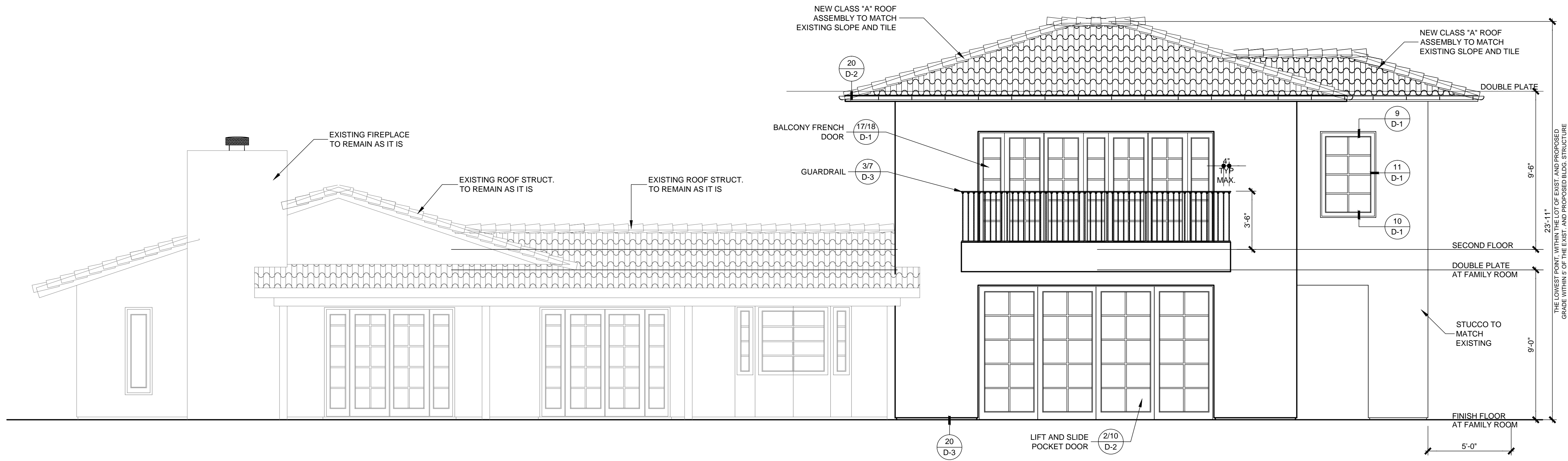
SCALE

1/4" = 1'-0"

SHEET

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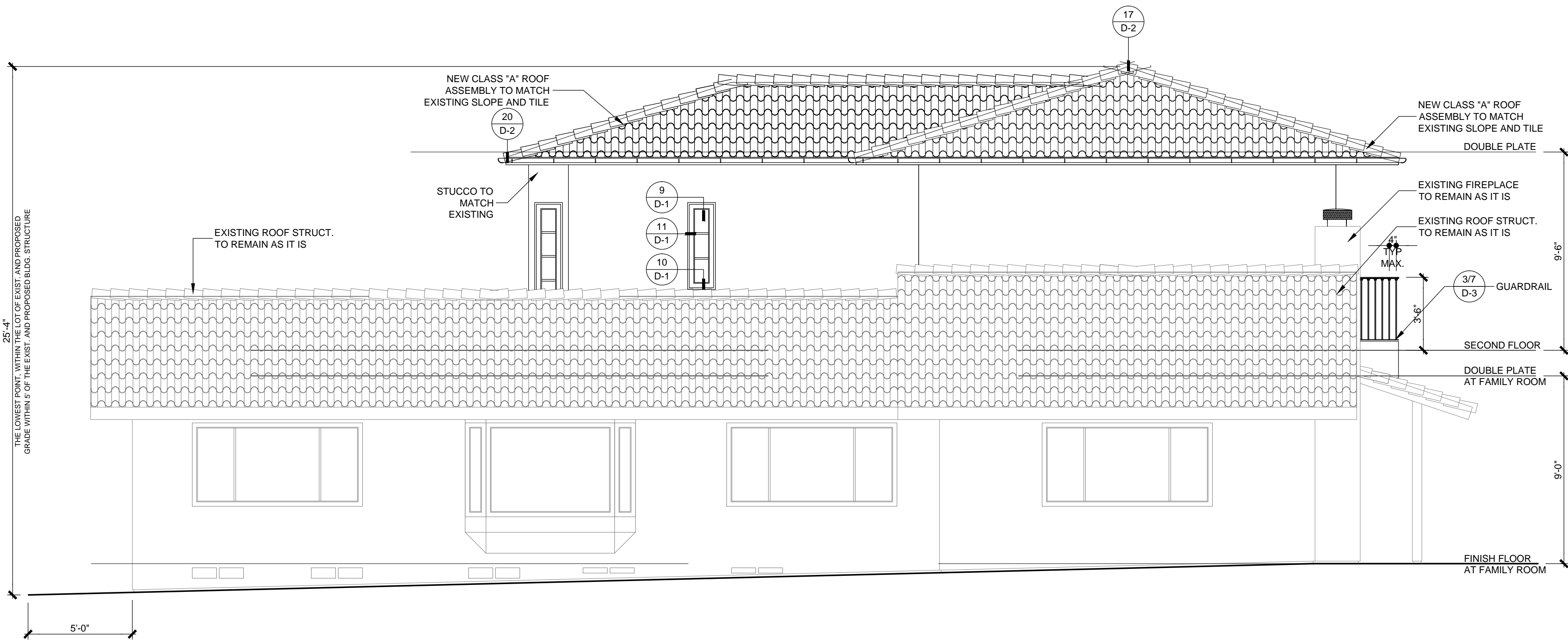
WEST / REAR ELEVATION

LEGEND:

1. SOLID LINES INDICATE THE NEW CONSTRUCTION.
2. SCREEN LINES INDICATE THE EXISTING STRUCTURES.

EXISTING AREAS TO BE REMOVED

SCALE 1/4" = 1'-0"



NORTH / SIDE ELEVATION

LEGEND:

1. SOLID LINES INDICATE THE NEW CONSTRUCTION.
2. SCREEN LINES INDICATE THE EXISTING STRUCTURES.

EXISTING AREAS TO BE REMOVED

SCALE 1/4" = 1'-0"

PROJECT TITLE

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Residence

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La Jolla, California 92037

APPLICANT

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KEY PLAN

BUILDING

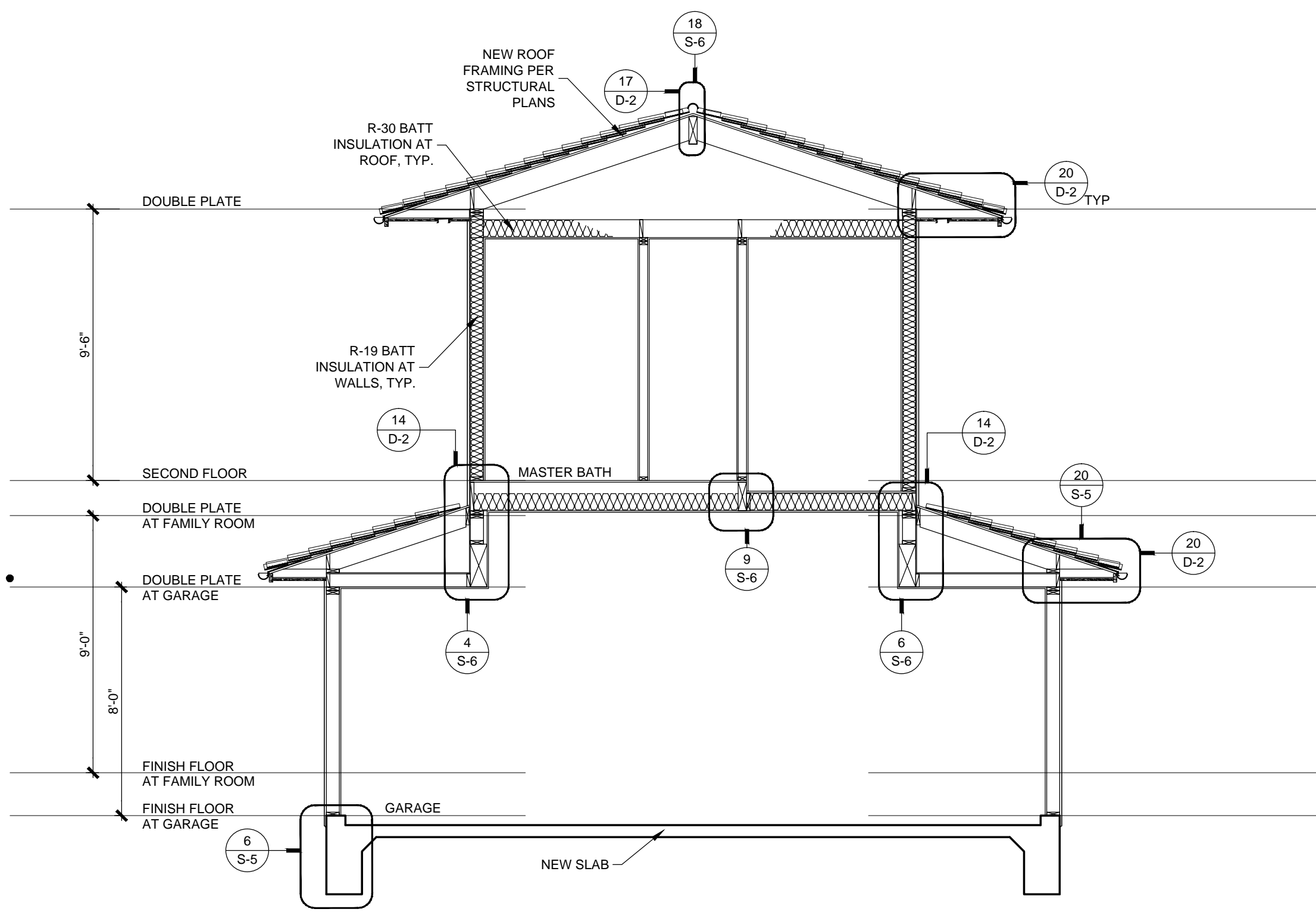
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DRAWING TITLE
WEST ELEVATION
AND NORTH ELEVATION

JOB # 2015-211	DATE Mar 14, 2016
DRAWN	SCALE 1/4" = 1'-0"

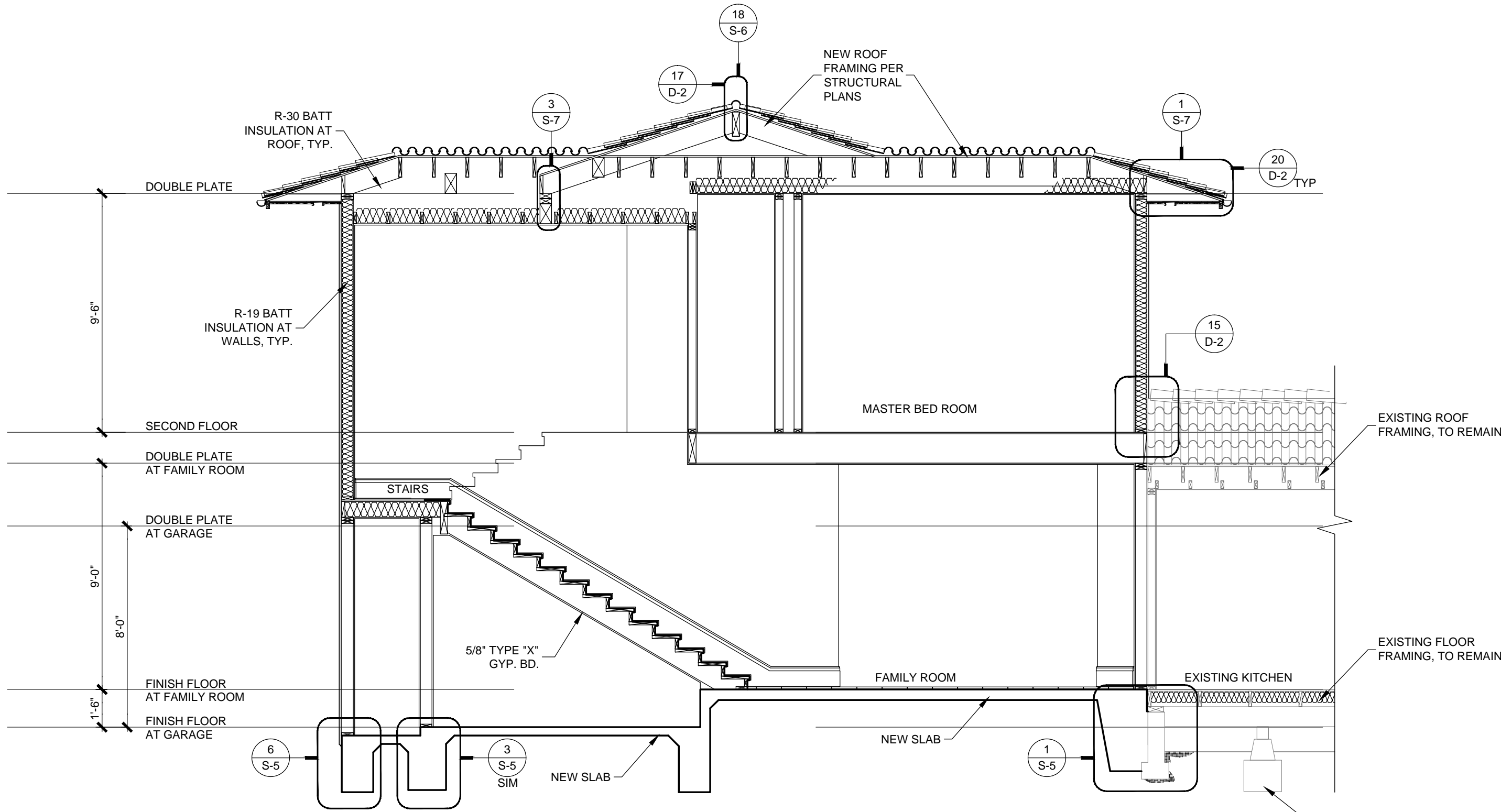
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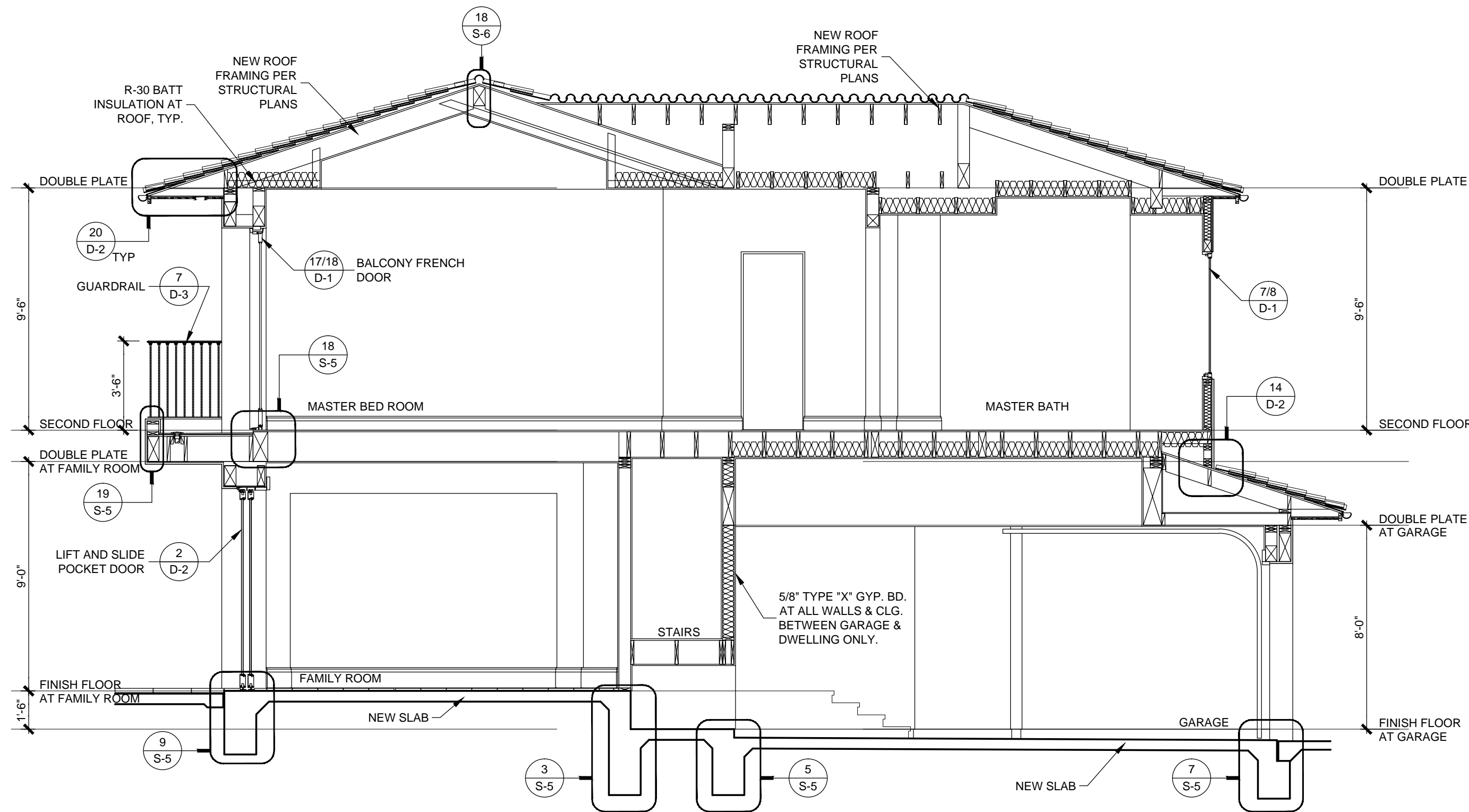
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SCALE 1/4" = 1'-0"



BUILDING SECTION "B"

SCALE 1/4" = 1'-0"



BUILDING SECTION "C"

SCALE 1/4" = 1'-0"

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KEY PLAN



BUILDING

A

DRAWING TITLE

BUILDING SECTIONS

JOB #

2015-211

DATE

Mar 14, 2016

DRAWN

SCALE

1/4" = 1'-0"

SHEET #

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DOOR / WINDOW TYPES

The diagram illustrates 15 different door and window types, categorized into two rows. The top row shows types A through F, and the bottom row shows types 1 through 8.

Top Row:

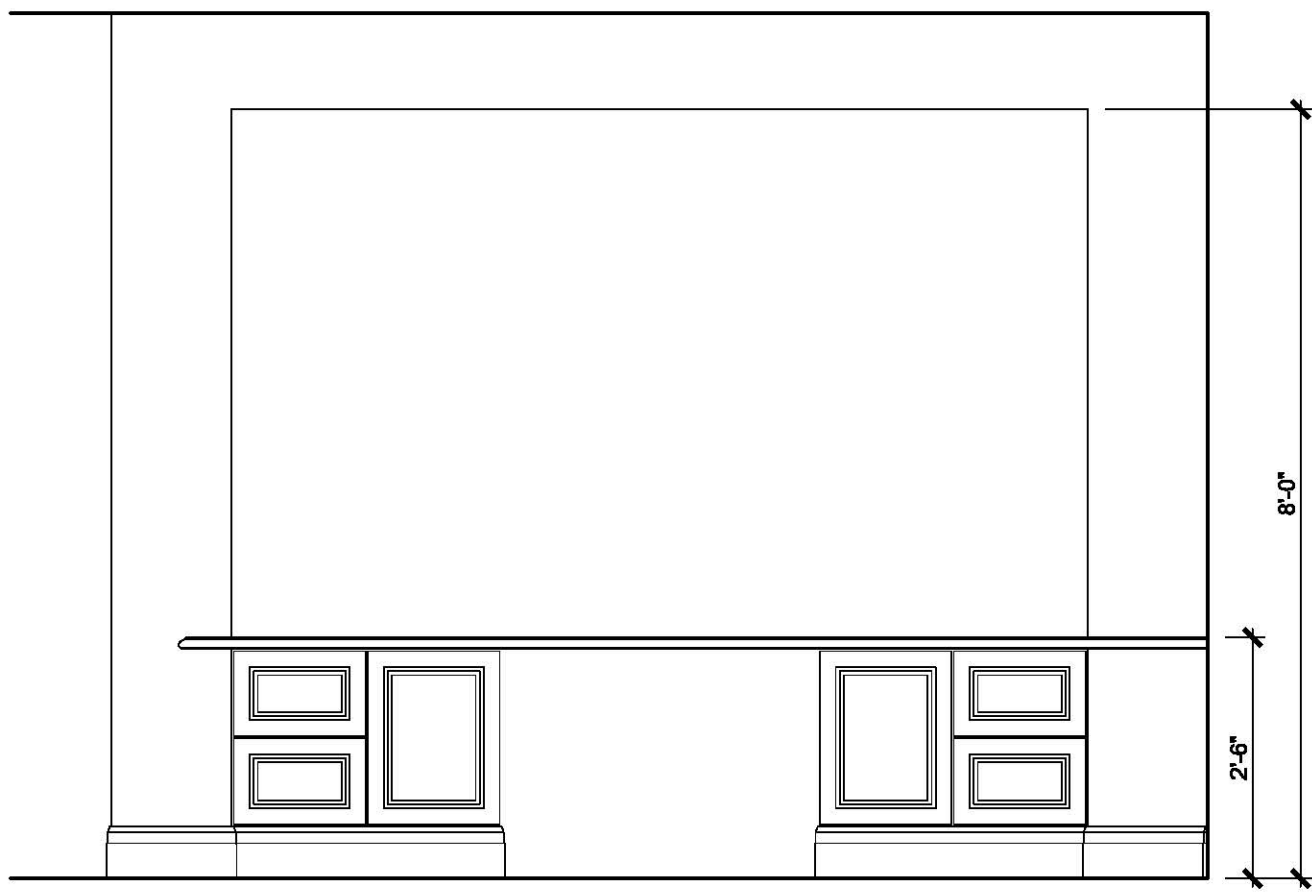
- TYPE 'A'**: A single, tall, narrow door.
- TYPE 'B'**: A double door with multiple small panes.
- TYPE 'C'**: A double door with a single large pane.
- TYPE 'D'**: A single, tall, narrow door.
- TYPE 'E'**: A single, tall, narrow door with a 2'-6" dimension indicated.
- TYPE 'F'**: A double door with multiple small panes.

Bottom Row:

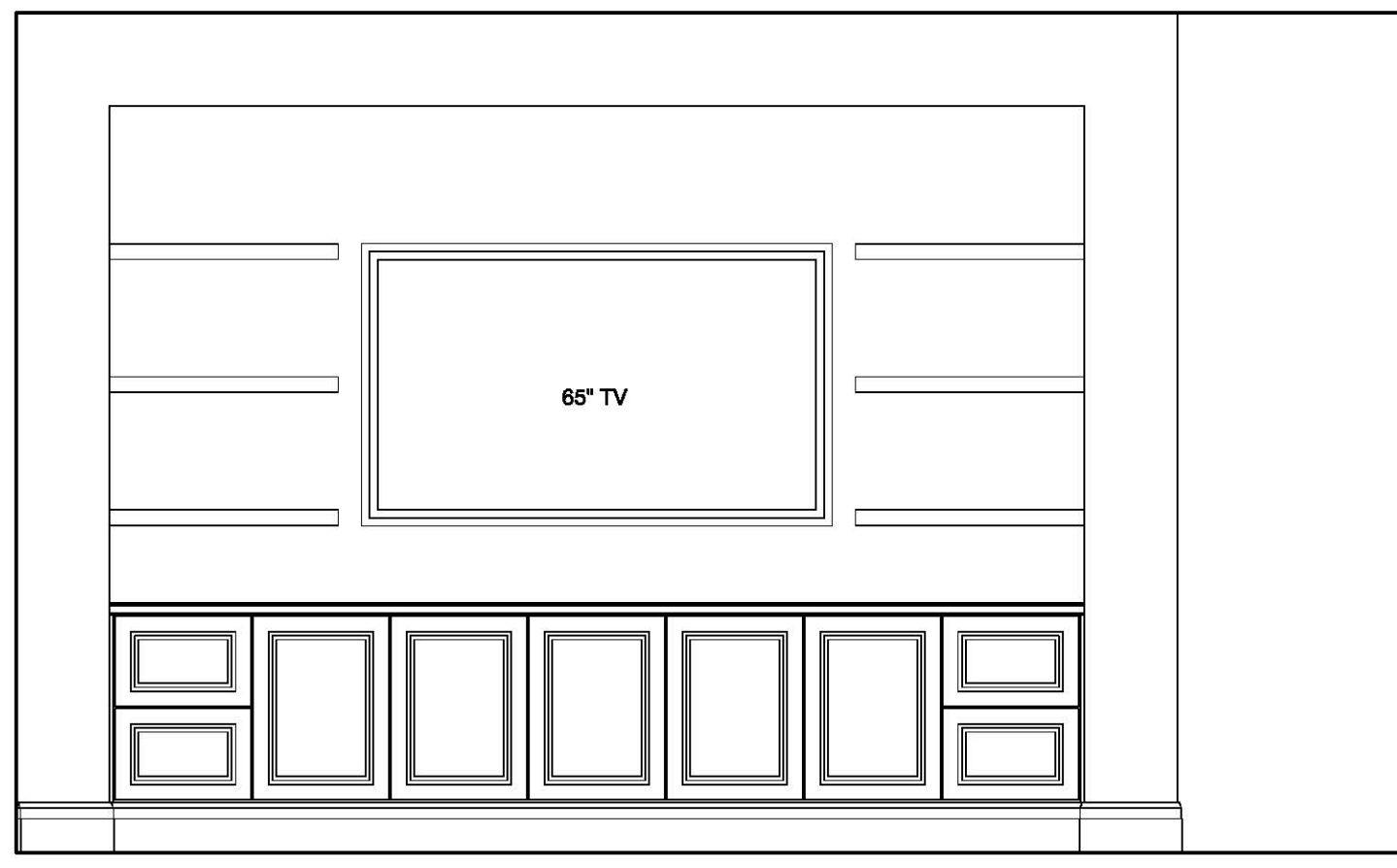
- TYPE 1**: A single, wide, short window with multiple panes.
- TYPE 2**: A single, wide, short window with multiple panes.
- TYPE 3**: A single, tall, narrow door with multiple panes.
- TYPE 4**: A double door with multiple small panes.
- TYPE 5**: A single, wide, short window with multiple panes.
- TYPE 6**: A single, tall, narrow door with multiple panes.
- TYPE 7**: A single, tall, narrow door with multiple panes.
- TYPE 8**: A double door with multiple small panes.

[illegible][illegible]

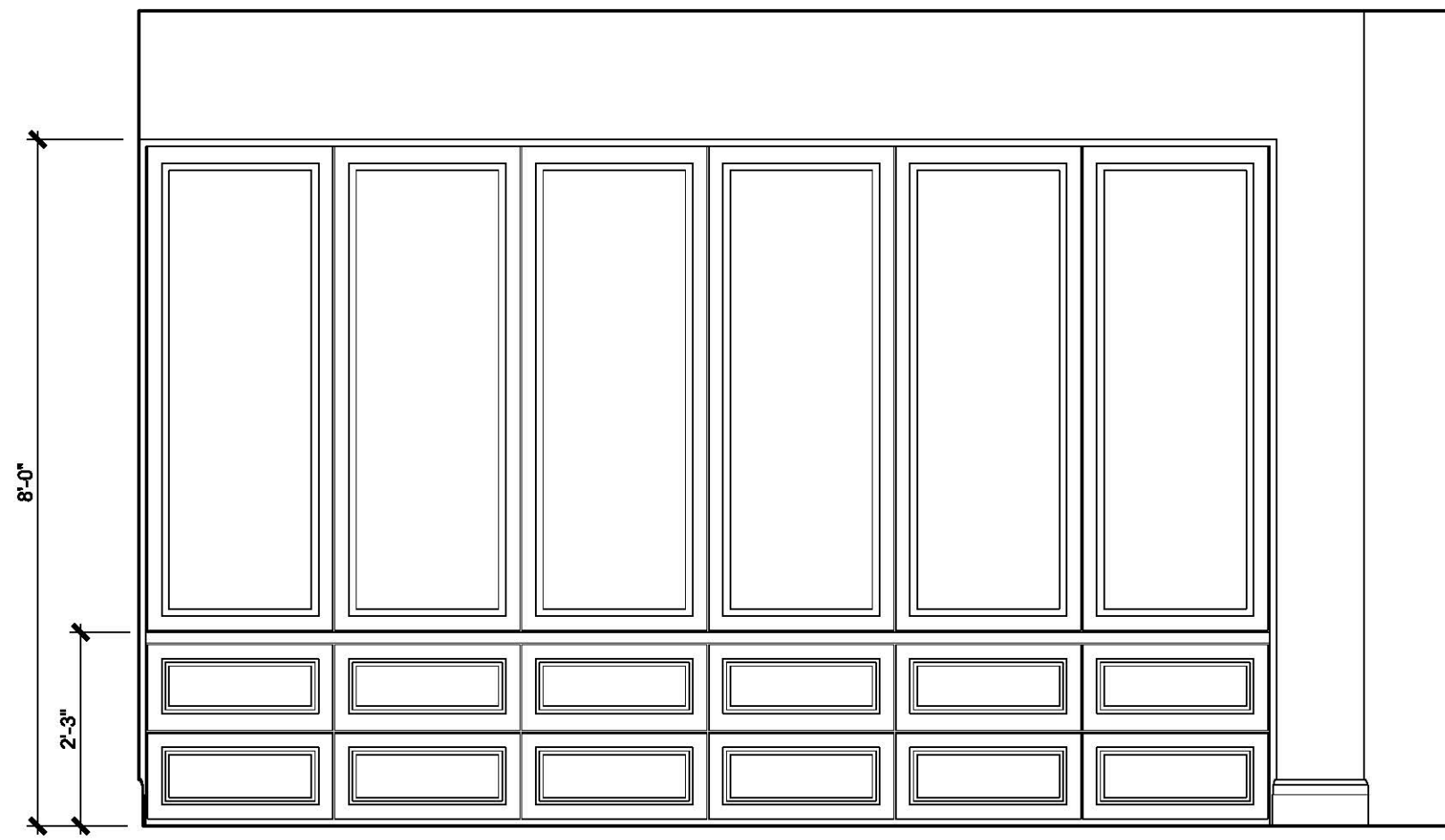
1. CONTRACTOR SHALL VERIFY ALL WINDOW / DOOR SIZE & MODEL NO. WITH OWNER & ARCHITECT PRIOR TO PLACING ORDER WITH THE MANUFACTURER.
2. GLAZING WITHIN A 24" ARC OF EITHER SIDE OF DOORS, ADJACENT TO A WALKING SURFACE, ADJACENT TO A STAIR LANDING, IN RAILING, ADJACENT TO A TUB OR SHOWER, OR A BARRIER FOR A SUMMING POOL OR SPA MUST BE OF SAFETY GLAZING MATERIAL.
3. SPECIFY TEMPERED GLASS OR MULTILAYERED GLASS FOR GLAZING MATERIALS USED IN SKYLIGHTS, ROOFS, AND SLOPED WALLS.



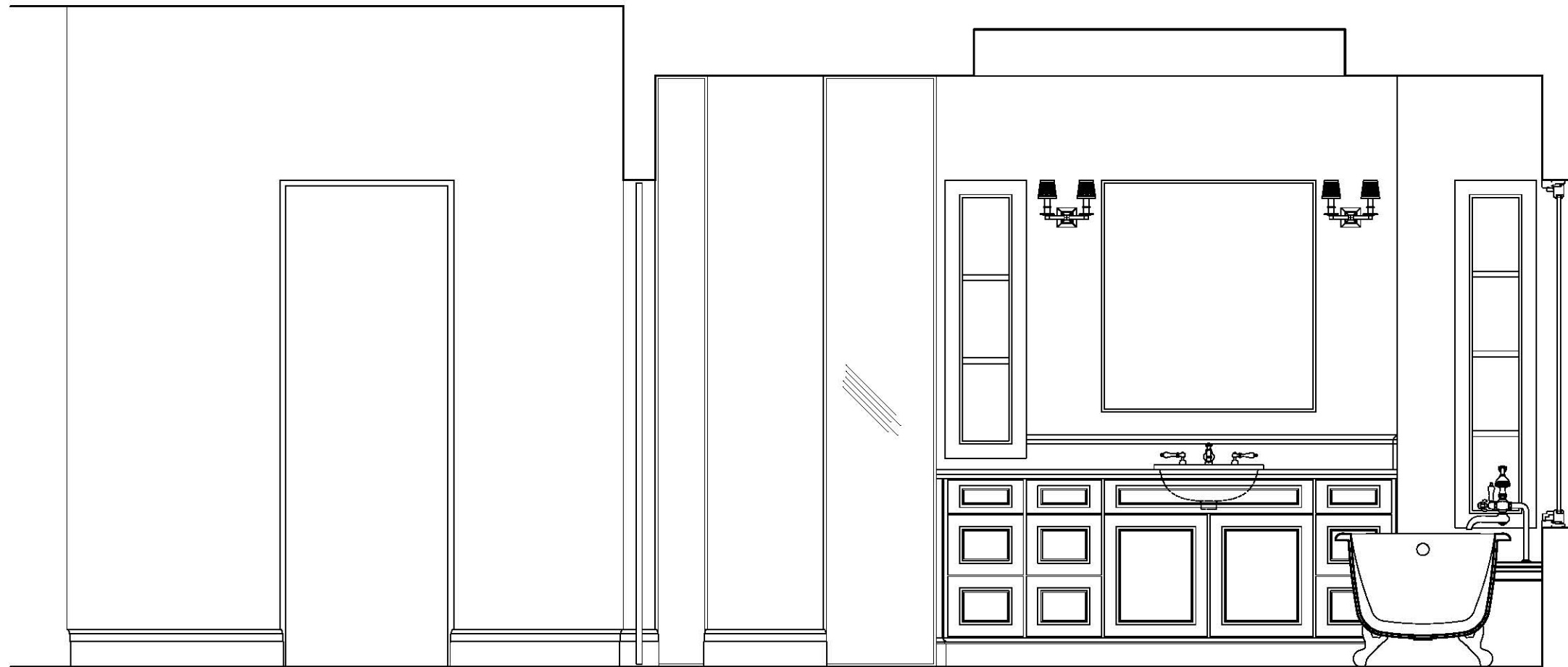
1 FAMILY ROOM
SCALE: 1/2" = 1'-0"



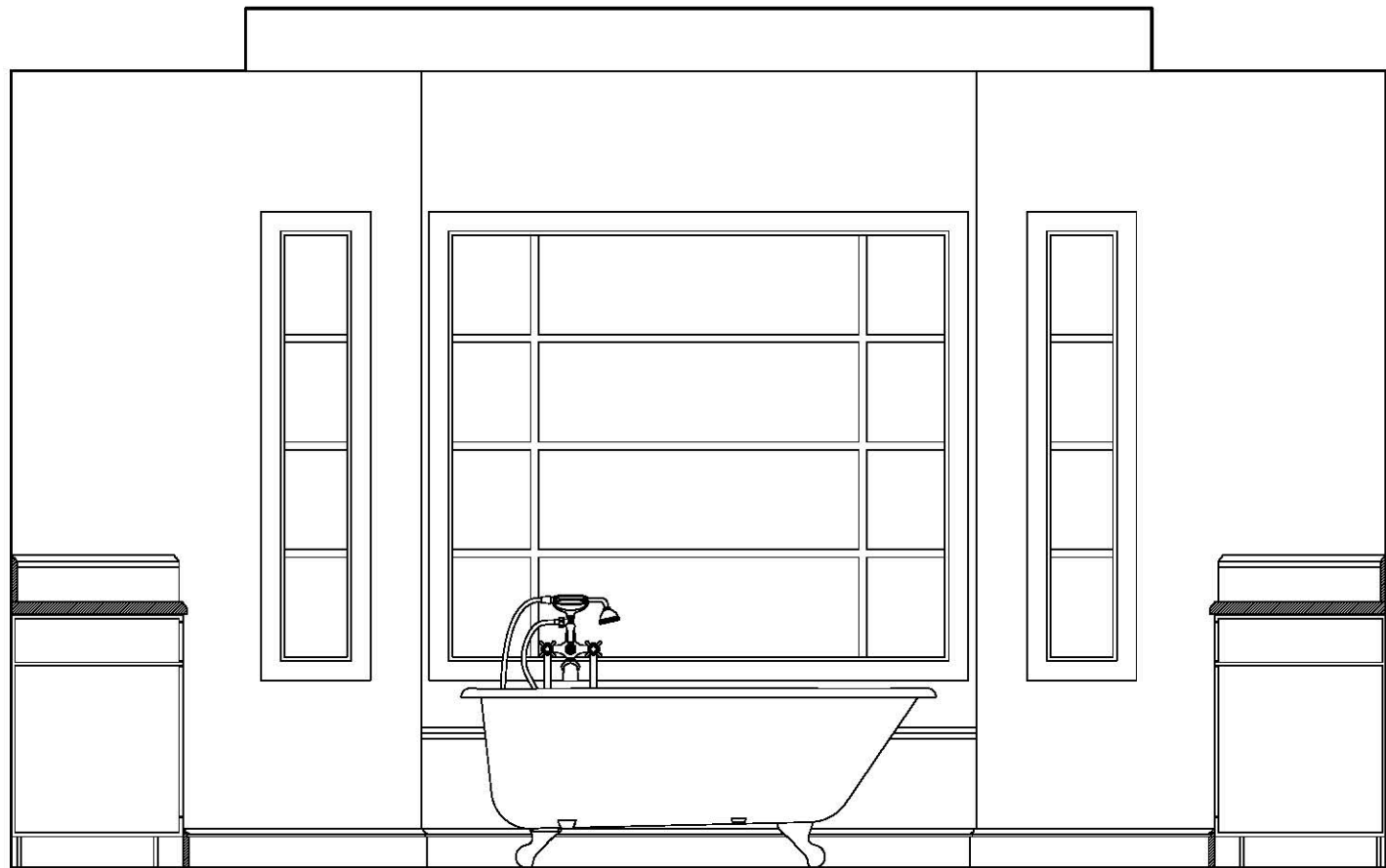
2 FAMILY ROOM
SCALE: 1/2" = 1'-0"



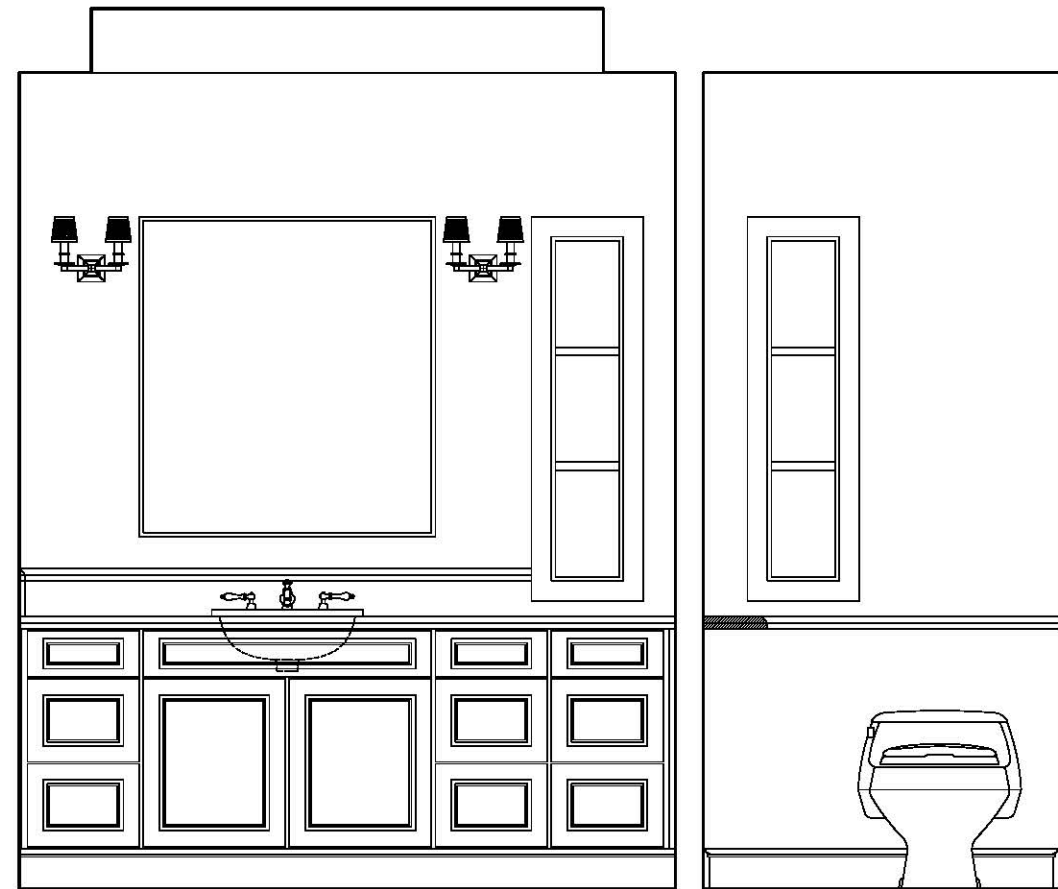
3 MASTER ROOM
SCALE: 1/2" = 1'-0"



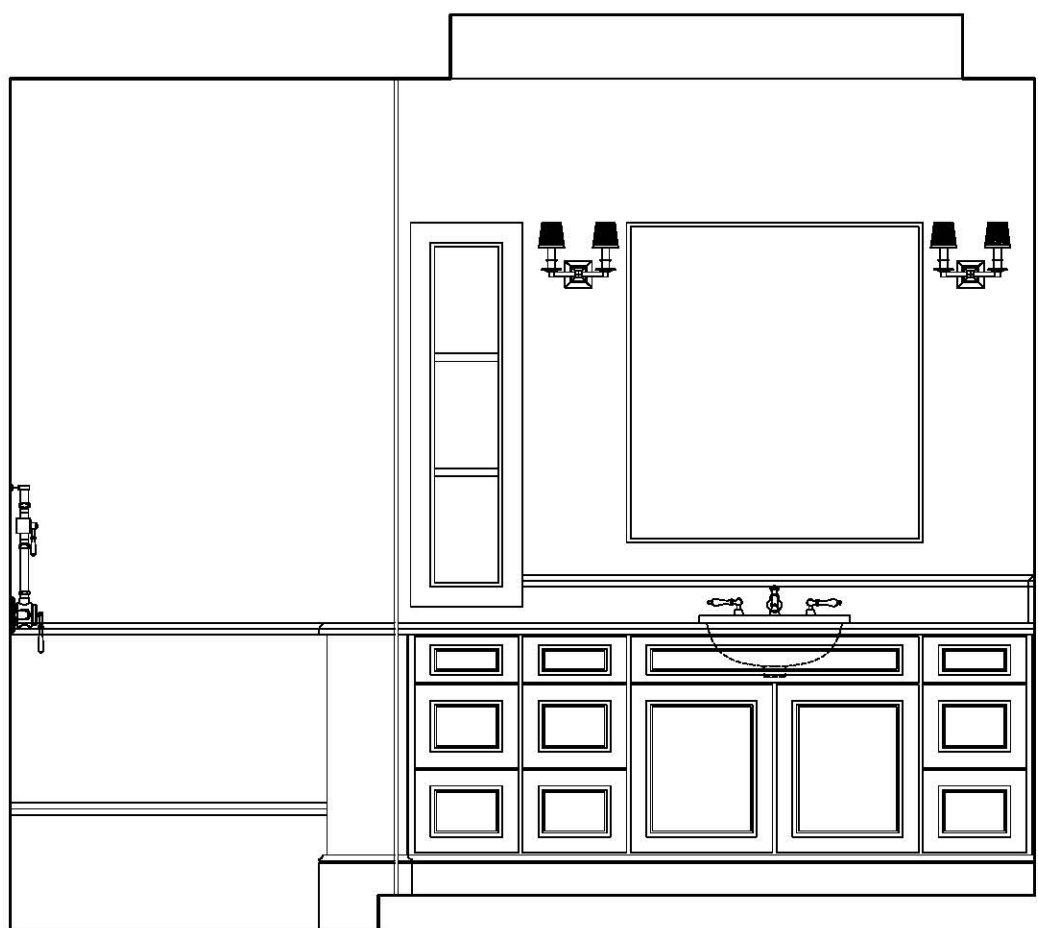
4 MASTER BATH
SCALE: 1/2" = 1'-0"



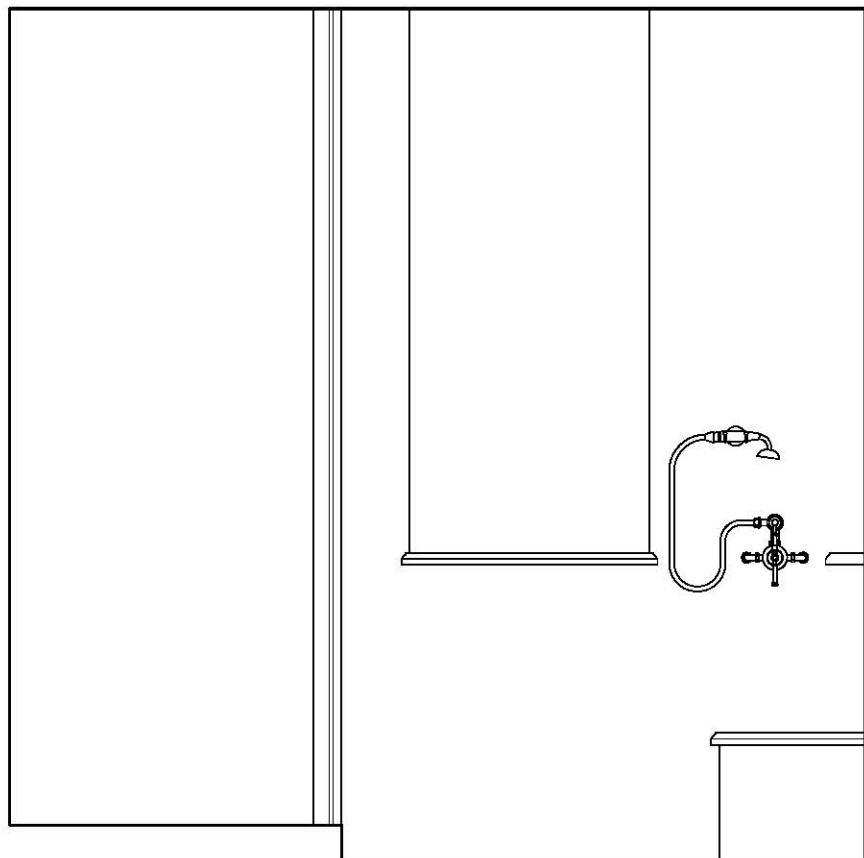
5 MASTER BATH
SCALE: 1/2" = 1'-0"



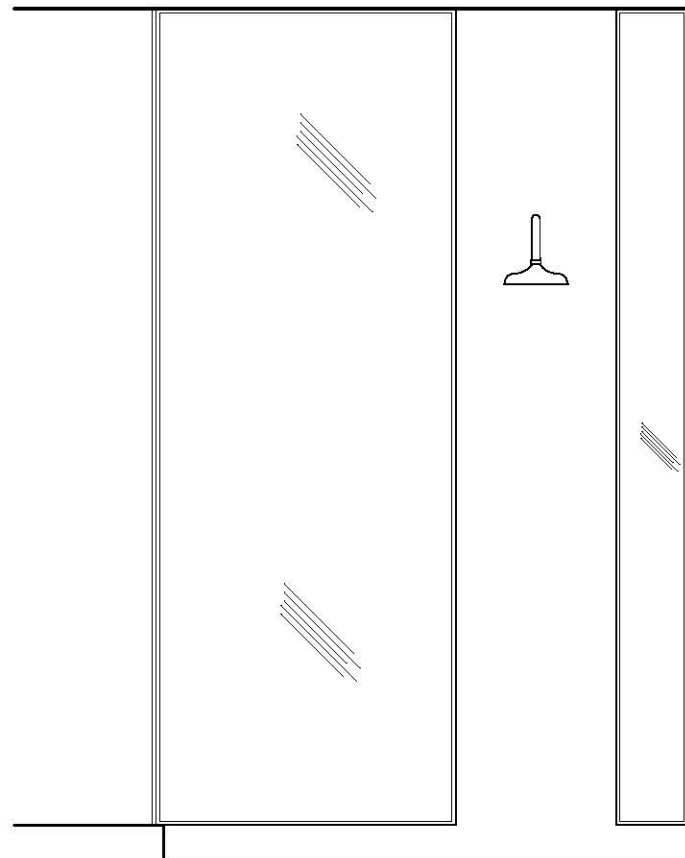
6 MASTER BATH
SCALE: 1/2" = 1'-0"



7 MASTER BATH
SCALE: 1/2" = 1'-0"



8 MASTER BATH
SCALE: 1/2" = 1'-0"



9 MASTER BATH
SCALE: 1/2" = 1'-0"

PROJECT TITLE
**Lerner
Residence**

8676 Dunaway Drive
La Jolla, California 92037

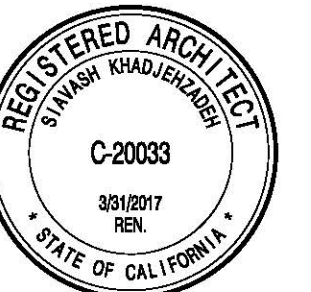
APPLICANT
Ian & Golnoosh Lerner

8676 Dunaway Drive
La Jolla, California 92037

**DESIGN
LEAD**
ARCHITECTS

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La Jolla, California 92037
Pho. 858-459-6114
Fax. 858-459-0131

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ARCHITECTS.



REVISION	
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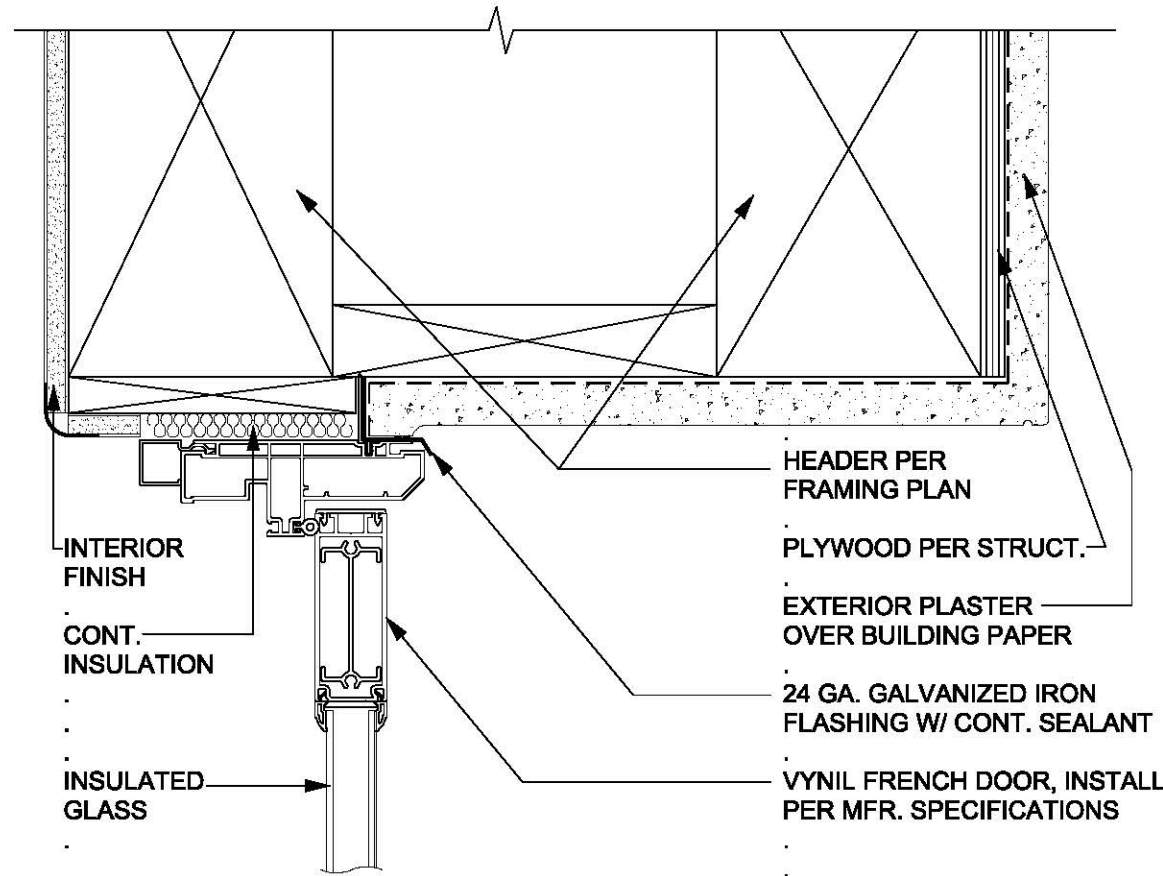
KEY PLAN	

BUILDING	

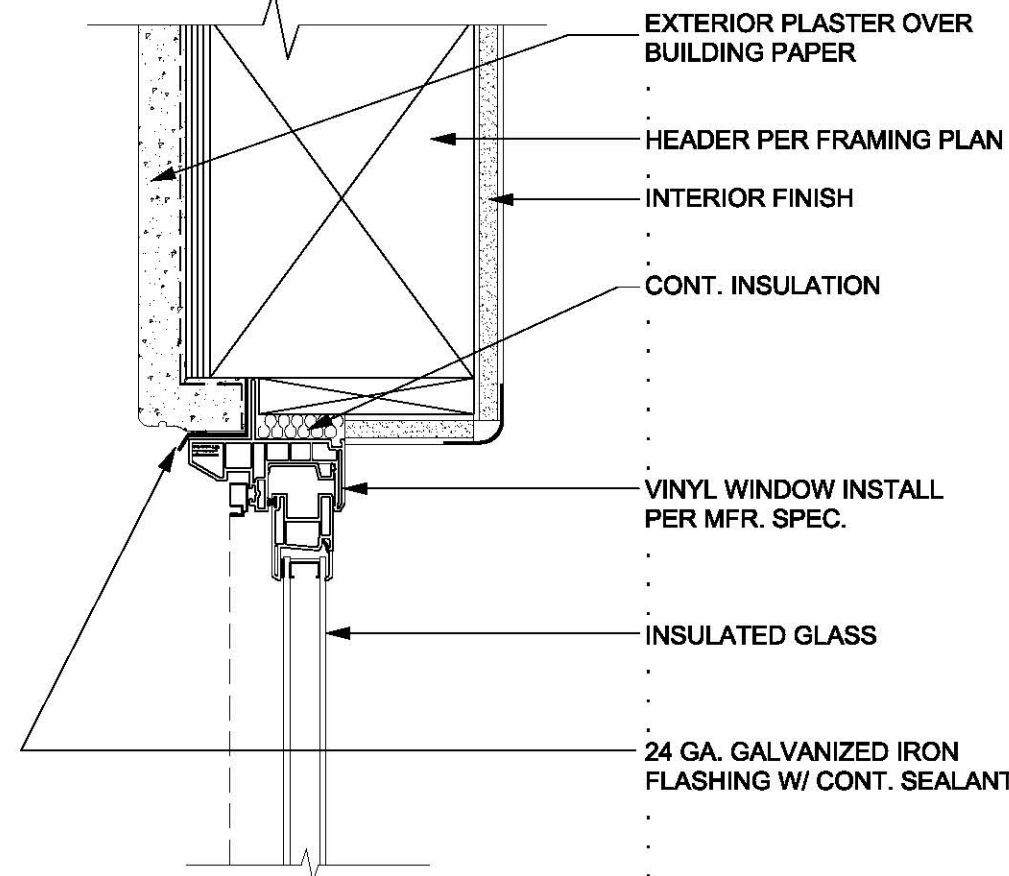
DRAWING TITLE
INTERIOR ELEVATIONS

JOB # 2015-211	DATE Apr 13, 2016
DRAWN	SCALE 1/4" = 1'-0"

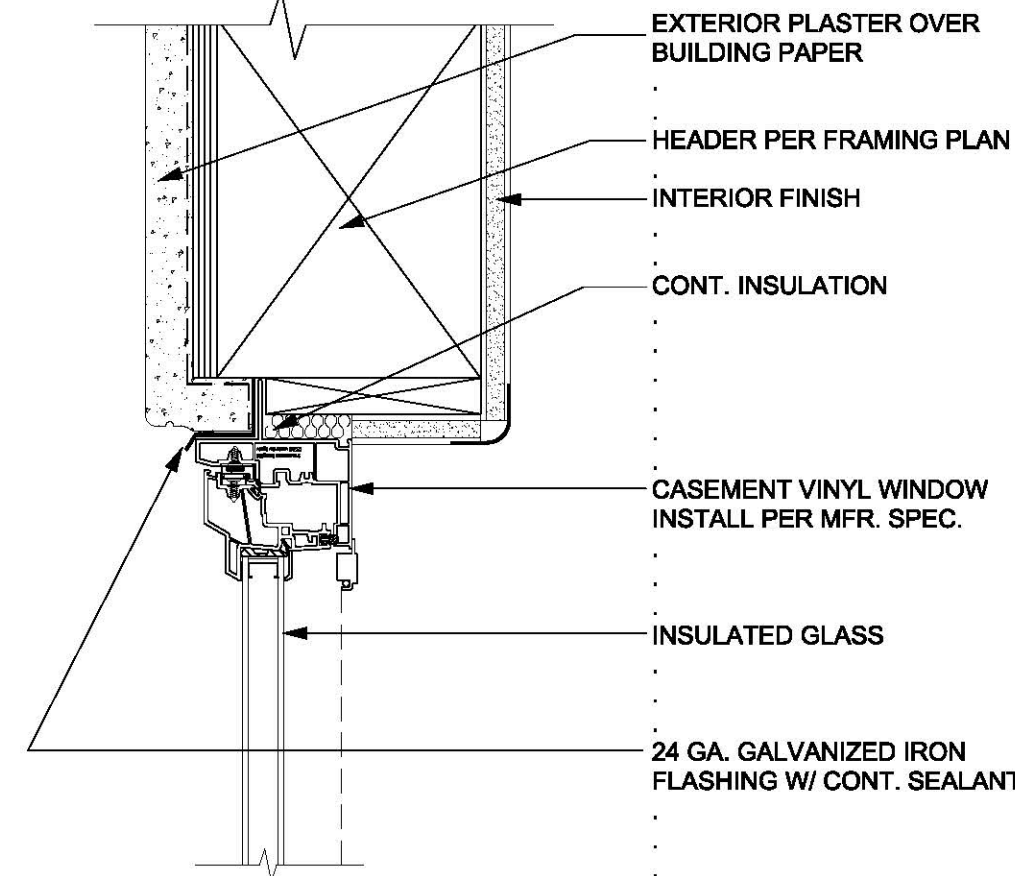
SHEET #
A-13



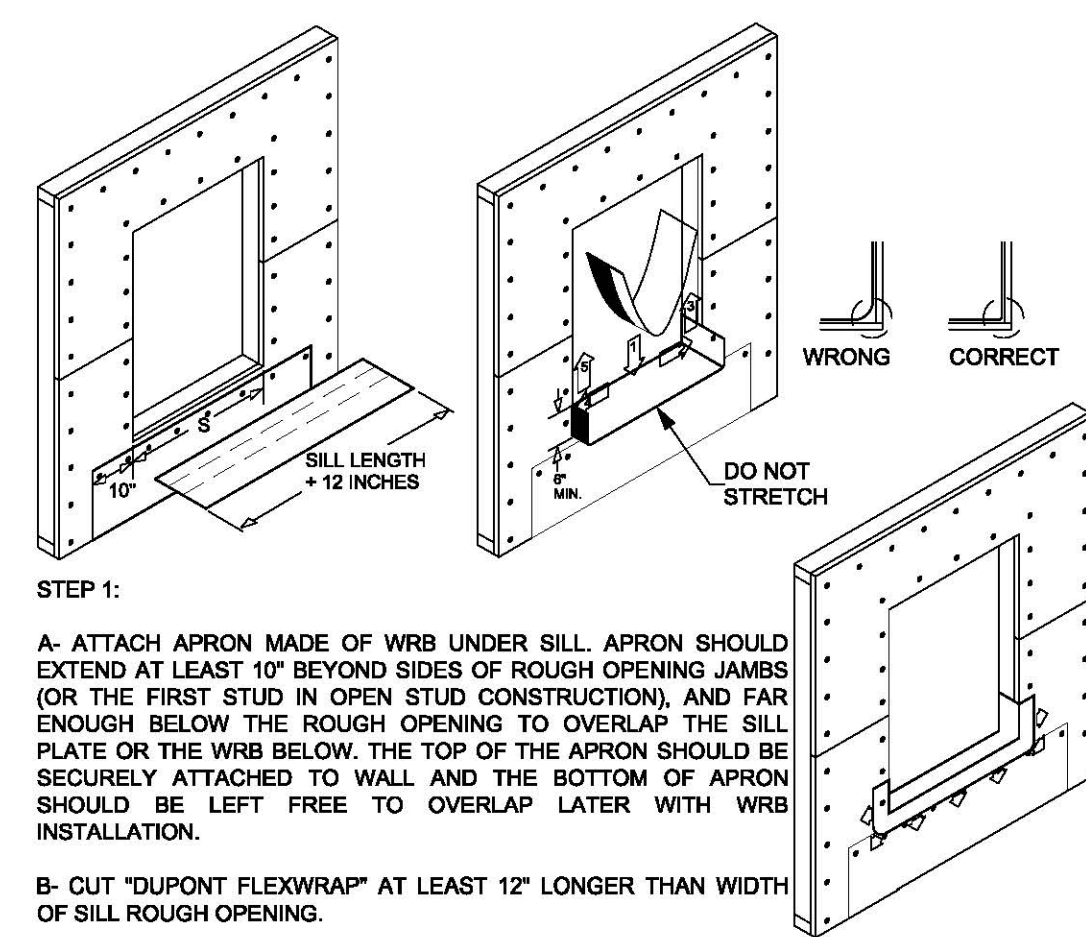
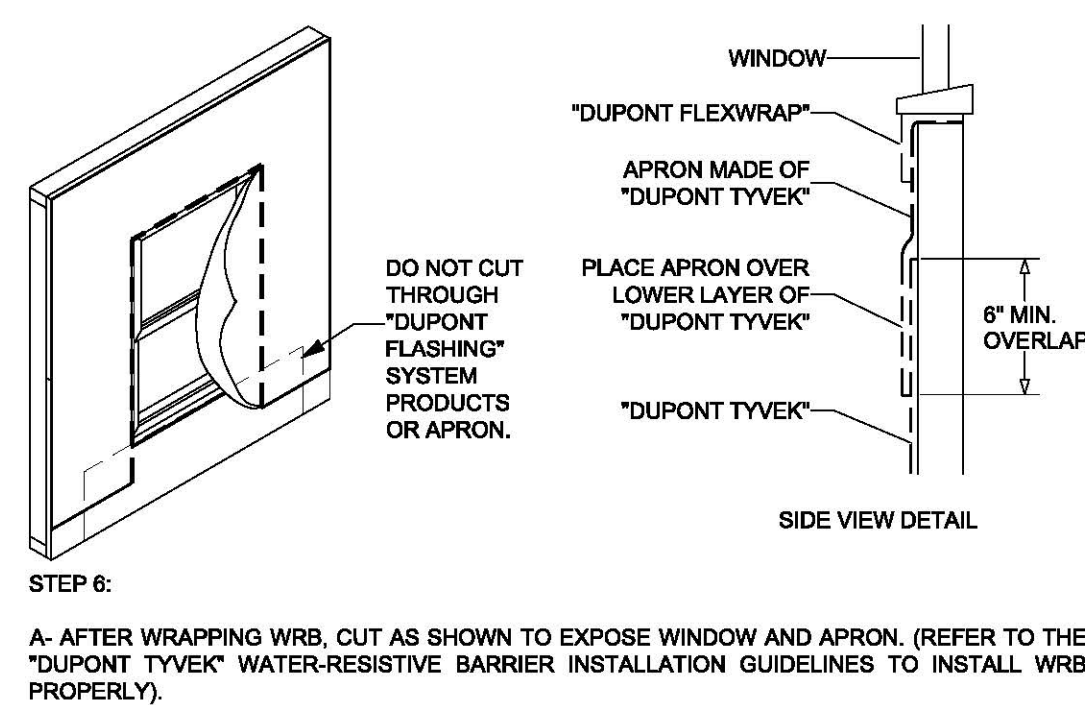
17 VINYL FRENCH DOOR (OUT SWING) HEAD
SCALE: 3/4"=1'-0"



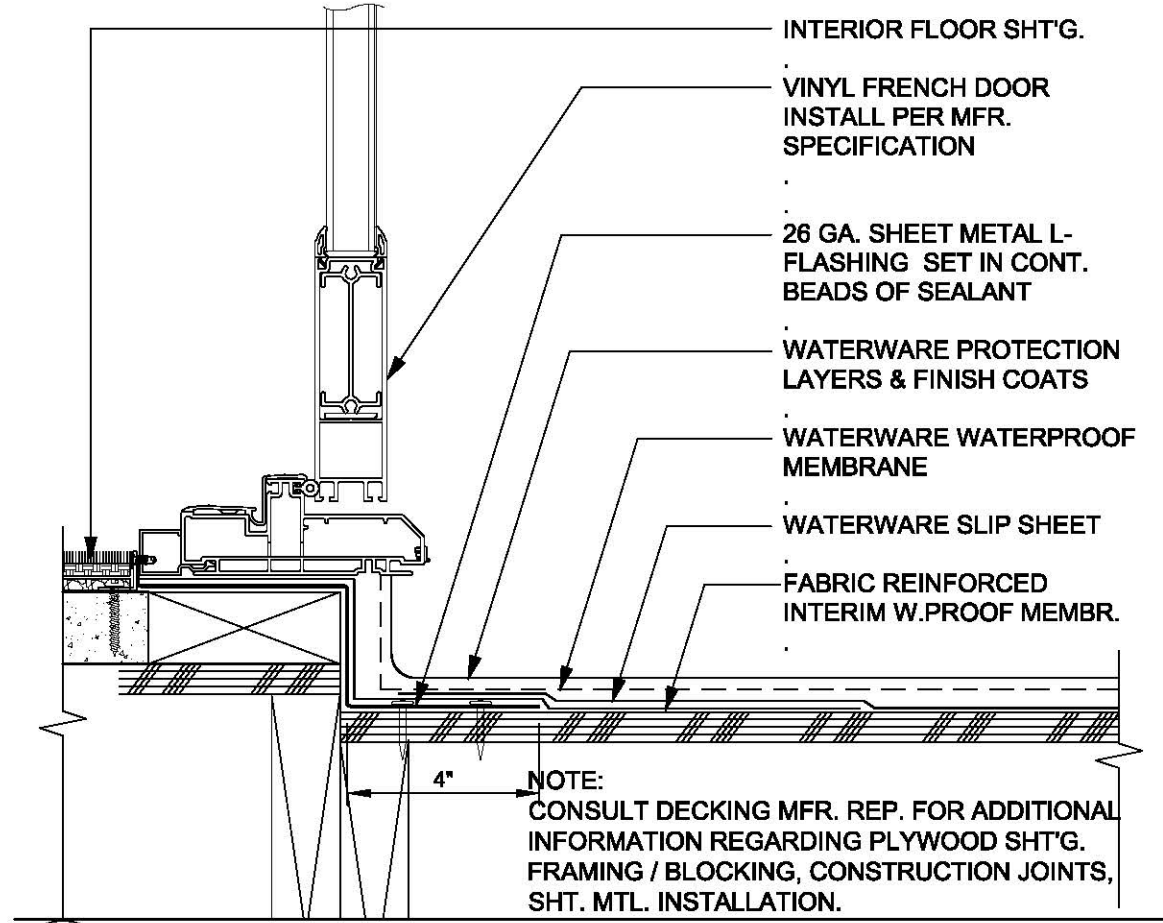
13 HORIZONTAL SLIDING VINYL WINDOW HEAD
SCALE: 3/4"=1'-0"



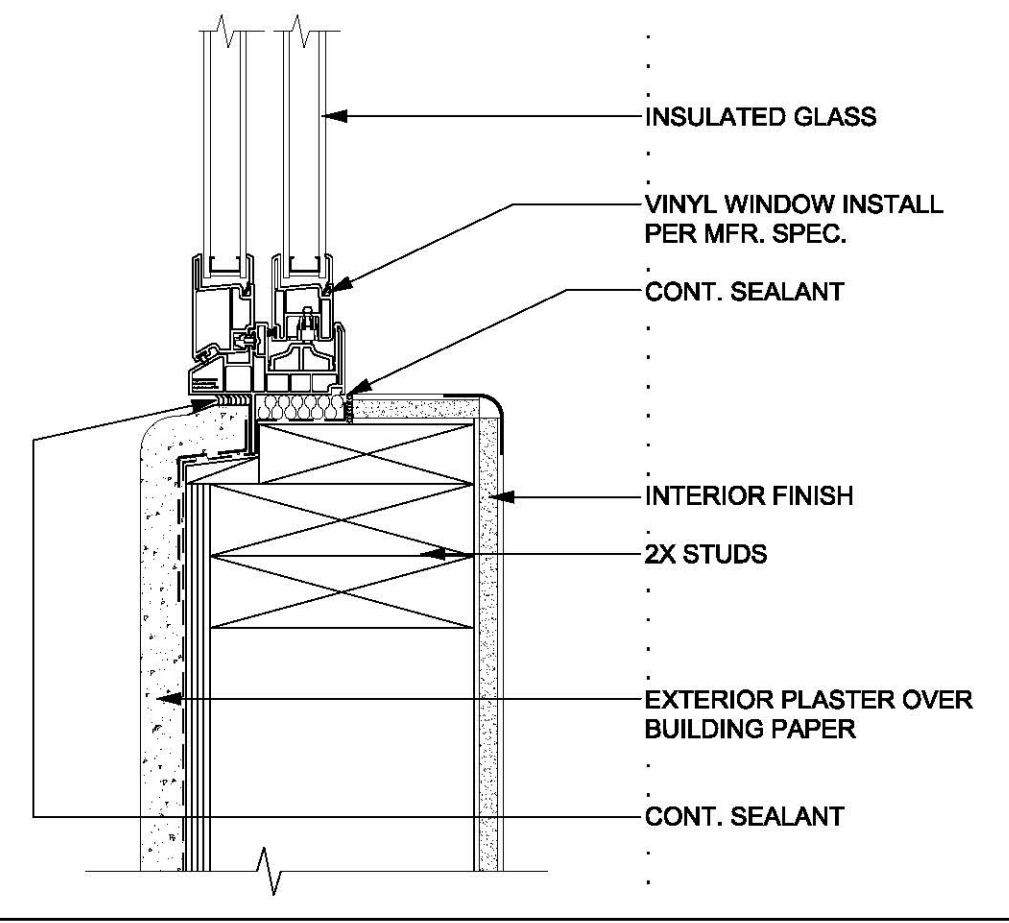
9 CASEMENT VINYL WINDOW HEAD
SCALE: 3/4"=1'-0"



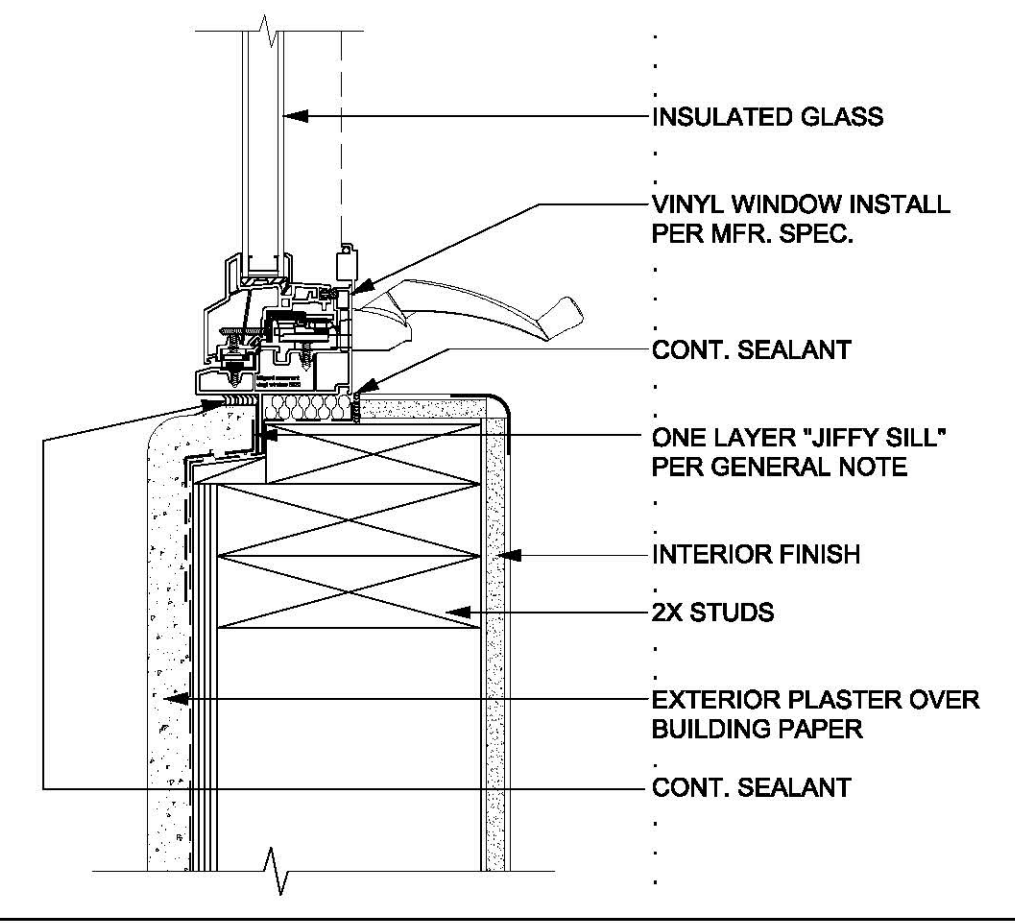
STEP 1:
A- ATTACH APRON MADE OF WRB UNDER SILL. APRON SHOULD EXTEND AT LEAST 10" BEYOND SIDES OF ROUGH OPENING JAMBS (OR THE FIRST STUD IN OPEN STUD CONSTRUCTION), AND FAR ENOUGH BELOW THE ROUGH OPENING TO OVERLAP THE SILL PLATE OR THE WRB BELOW. THE TOP OF THE APRON SHOULD BE SECURELY ATTACHED TO WALL AND THE BOTTOM OF APRON SHOULD BE LEFT FREE TO OVERLAP LATER WITH WRB INSTALLATION.
B- CUT "DUPONT FLEXWRAP" AT LEAST 12" LONGER THAN WIDTH OF SILL ROUGH OPENING.
C- REMOVE FIRST PIECE OF RELEASE PAPER, COVER HORIZONTAL SILL BY ALIGNING INSIDE EDGE OF SILL, AND ADHERE INTO ROUGH OPENING ACROSS SILL AND UP JAMBS (MIN. 6" ON EACH SIDE).
D- REMOVE SECOND RELEASE PAPER.
E- FAN OUT "DUPONT FLEXWRAP" AT BOTTOM CORNERS ONTO FACE OF WALL. COVERAGE OF "DUPONT FLEXWRAP" SHOULD BE 2" TO 3" ONTO THE FACE OF THE WALL.
F- SECURE EDGES OF "DUPONT FLEXWRAP" WITH DUPONT RECOMMENDED FASTENERS ALONG THE BOTTOM OUTER EDGE OF THE "DUPONT FLEXWRAP" AT FANNED CORNERS.



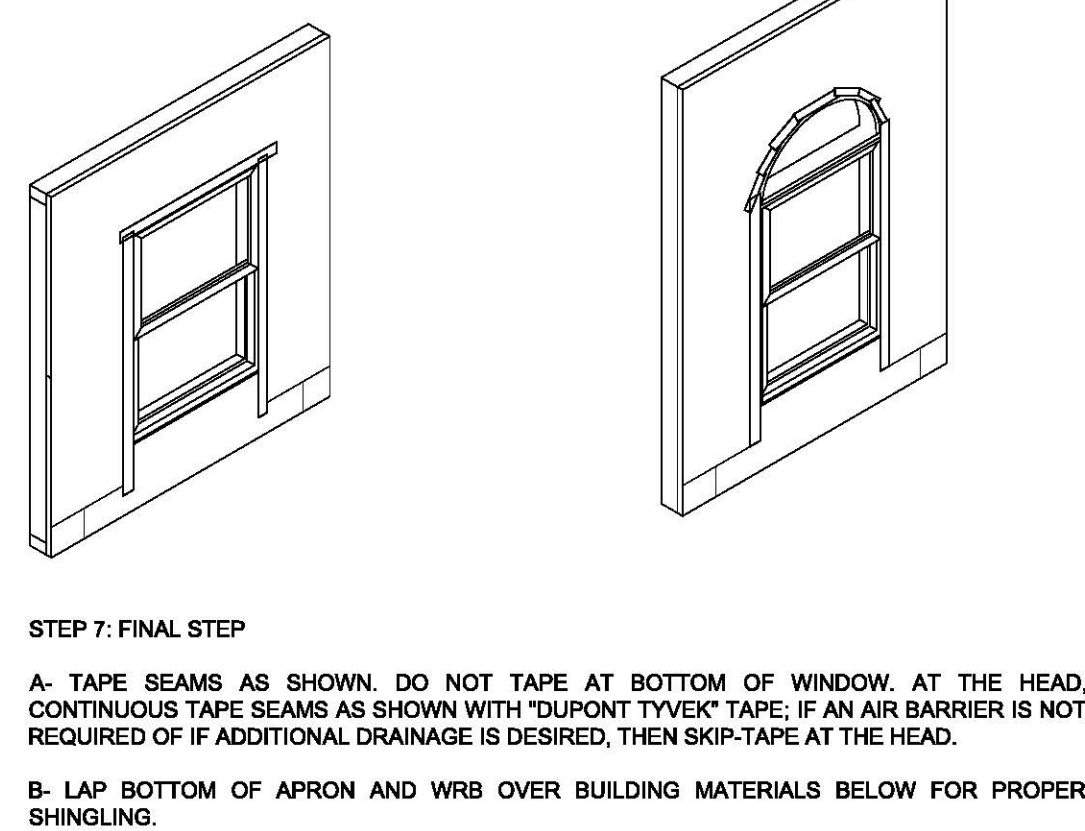
18 WOOD DECK WATERPROOFING AT VINYL FRENCH DOOR SILL
SCALE: 3/4"=1'-0"



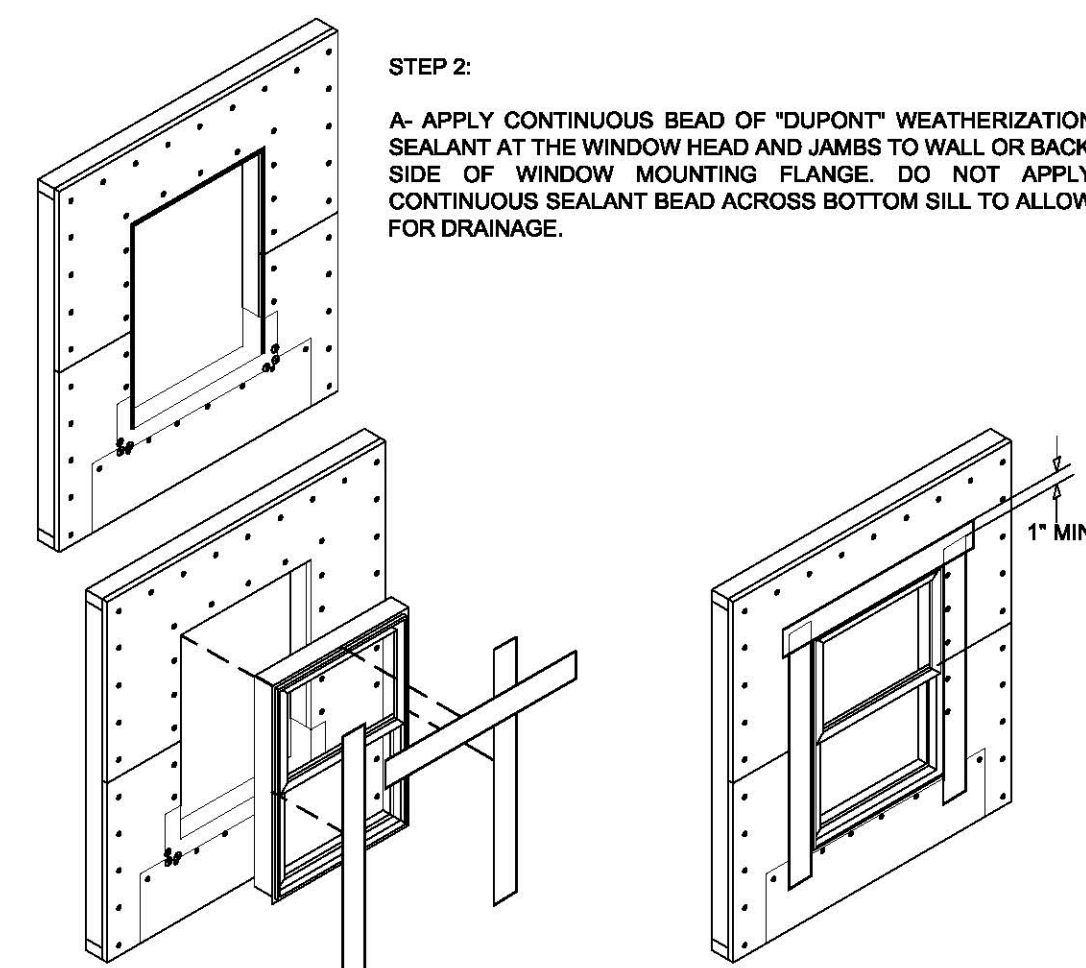
14 HORIZONTAL SLIDING VINYL WINDOW SILL
SCALE: 3/4"=1'-0"



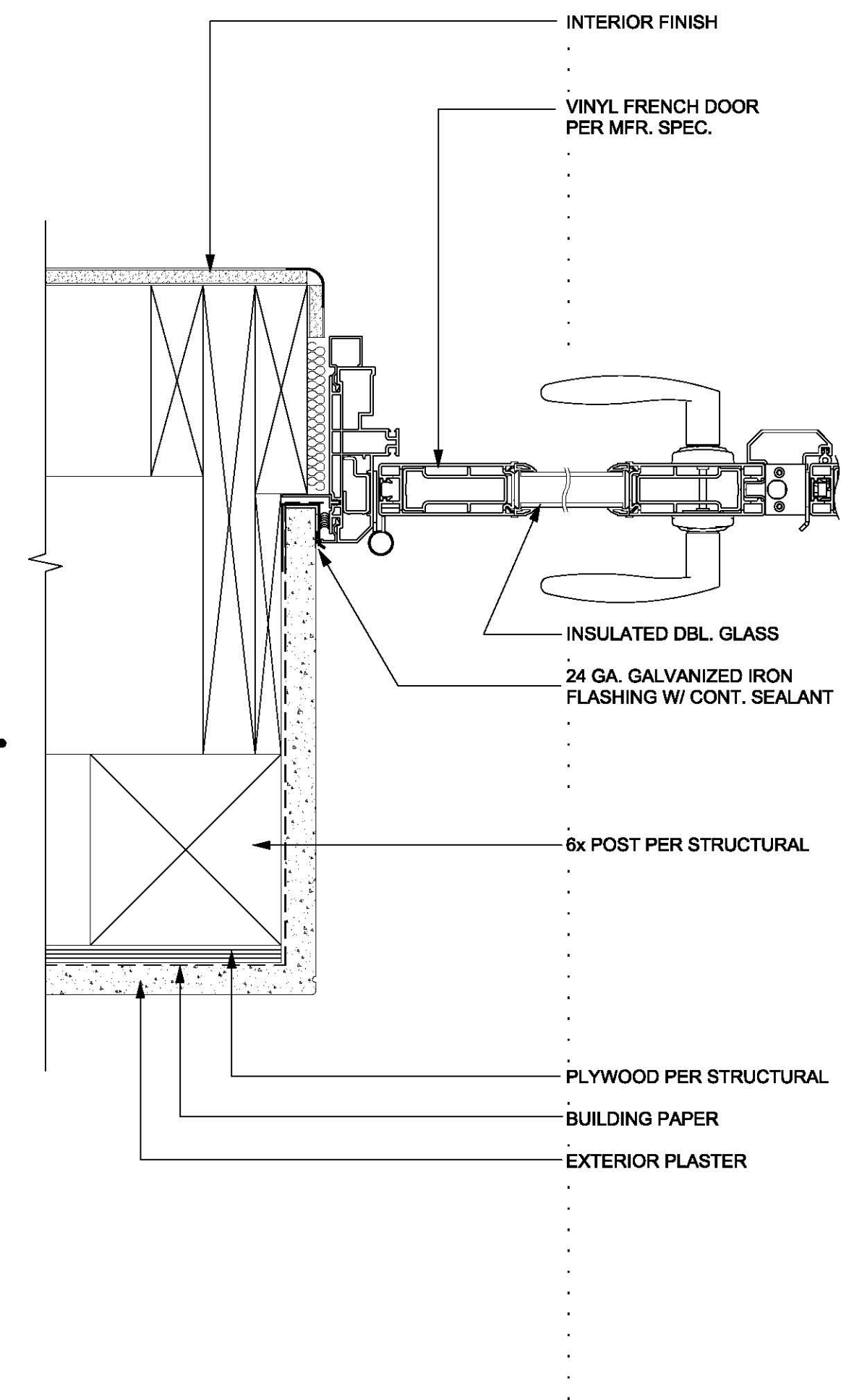
10 CASEMENT VINYL WINDOW SILL
SCALE: 3/4"=1'-0"



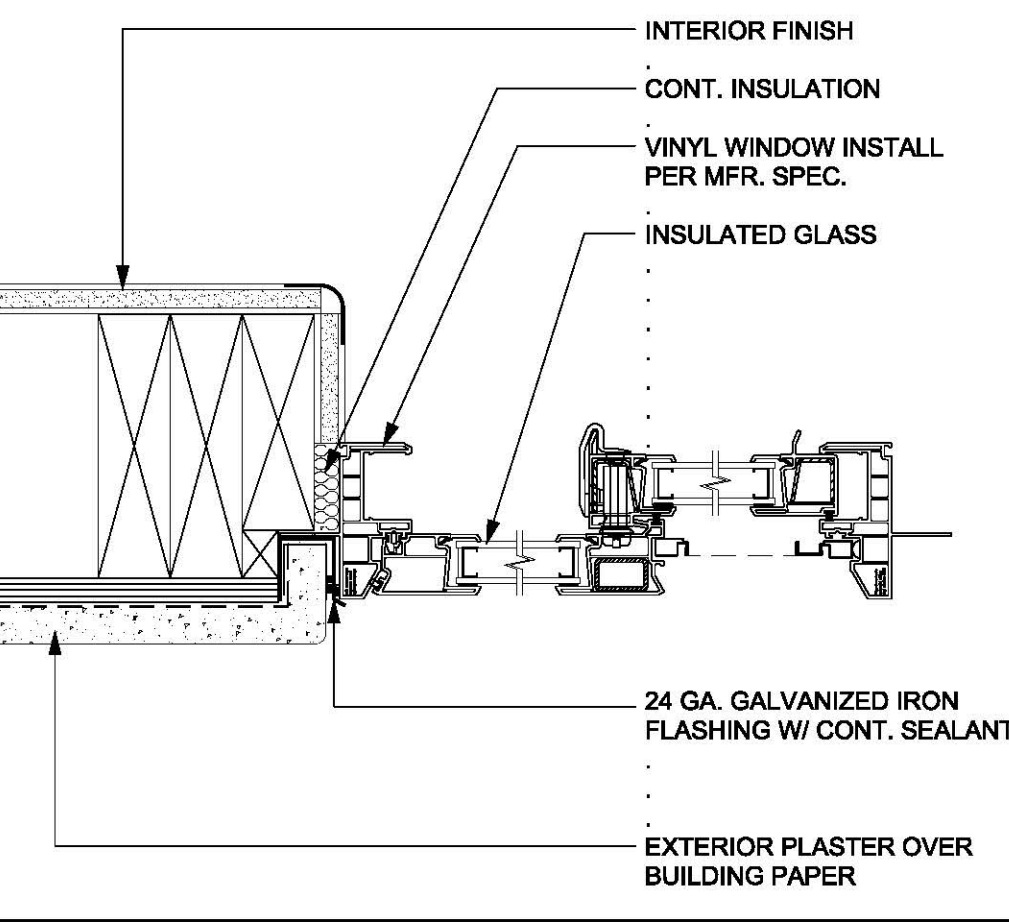
6 FLASHING SYSTEMS INSTALLATION- BEFORE WRB
SCALE: 1/2"=1'-0"



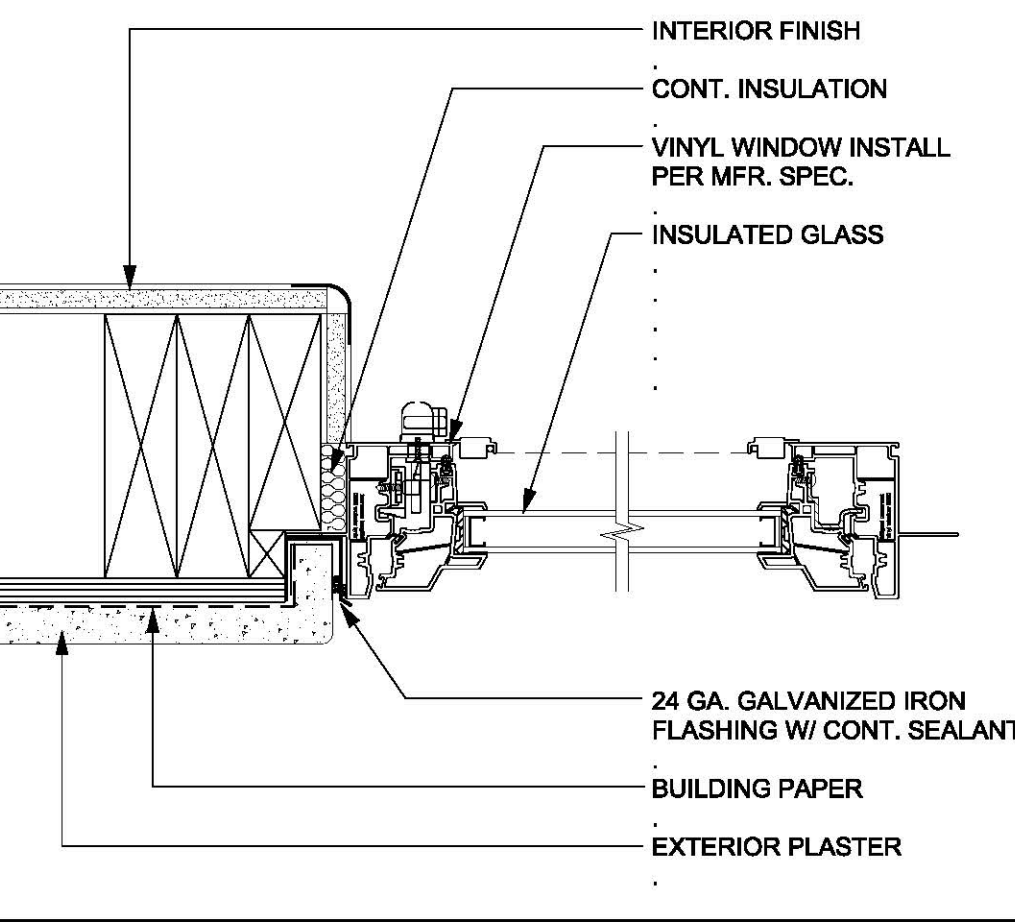
STEP 3:
A- INSTALL WINDOW ACCORDING TO MANUFACTURER'S INSTRUCTIONS.
B- CUT TWO PIECES OF "DUPONT STRAIGHT FLASH" OR "DUPONT FLEXWRAP" FOR JAMB FLASHING EXTENDING 1" ABOVE WINDOW HEAD FLANGE AND BELOW BOTTOM EDGE OF SILL FLASHING. REMOVE RELEASE PAPER AND PRESS TIGHTLY ALONG SIDES OF WINDOW FRAME.
C- CUT A PIECE OF "DUPONT STRAIGHTFLASH" OR "DUPONT FLEXWRAP" FOR HEAD FLASHING, WHICH EXTENDS BEYOND OUTER EDGES OF JAMB FLASHING. REMOVE RELEASE PAPER AND INSTALL COMPLETELY COVERING MOUNTING FLANGE AND ADHERING TO EXPOSED SHEATHING OR FRAMING MEMBERS



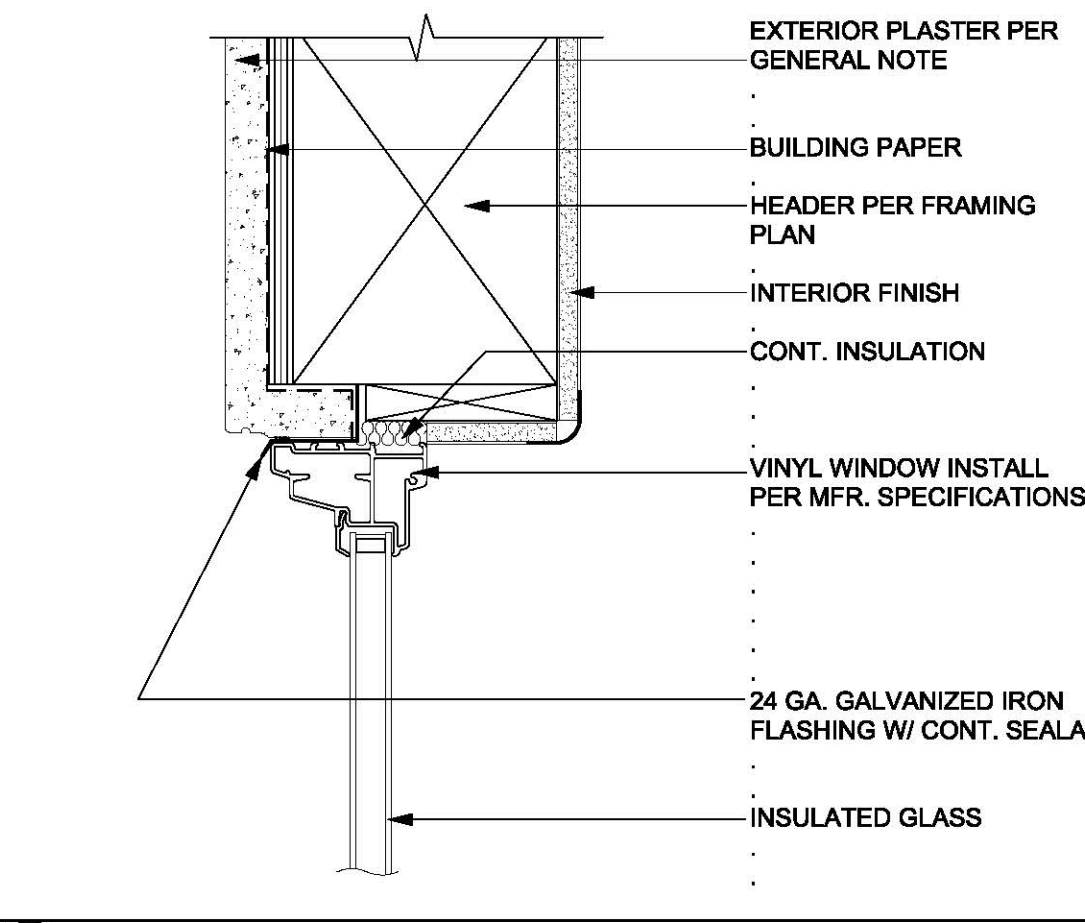
20 VINYL FRENCH DOOR JAMB (OUT SWING)
SCALE: 3/4"=1'-0"



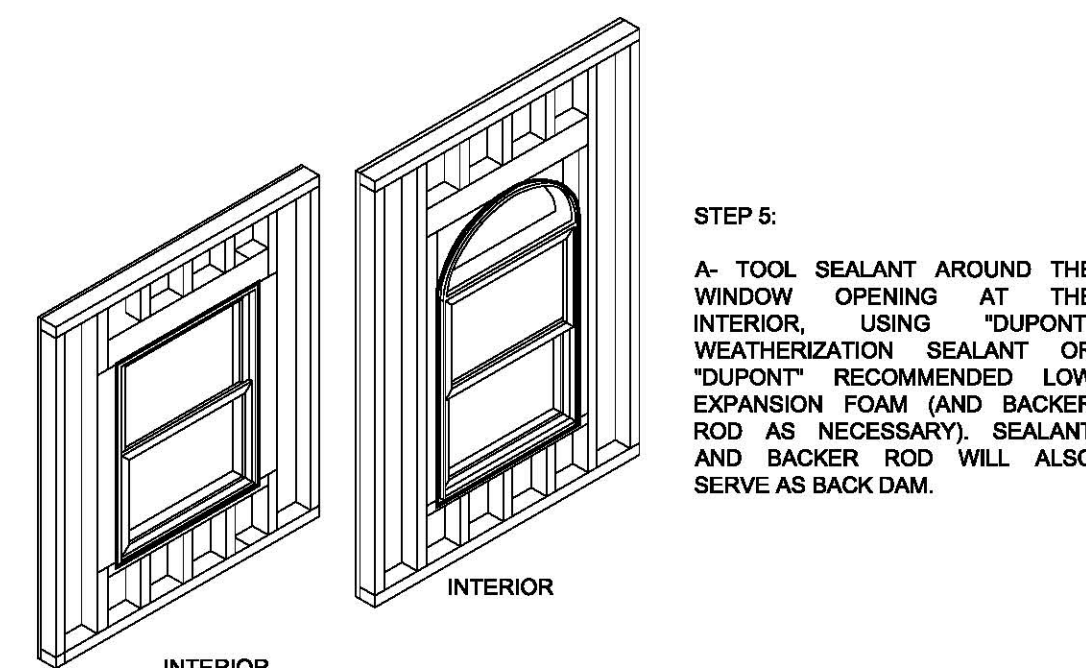
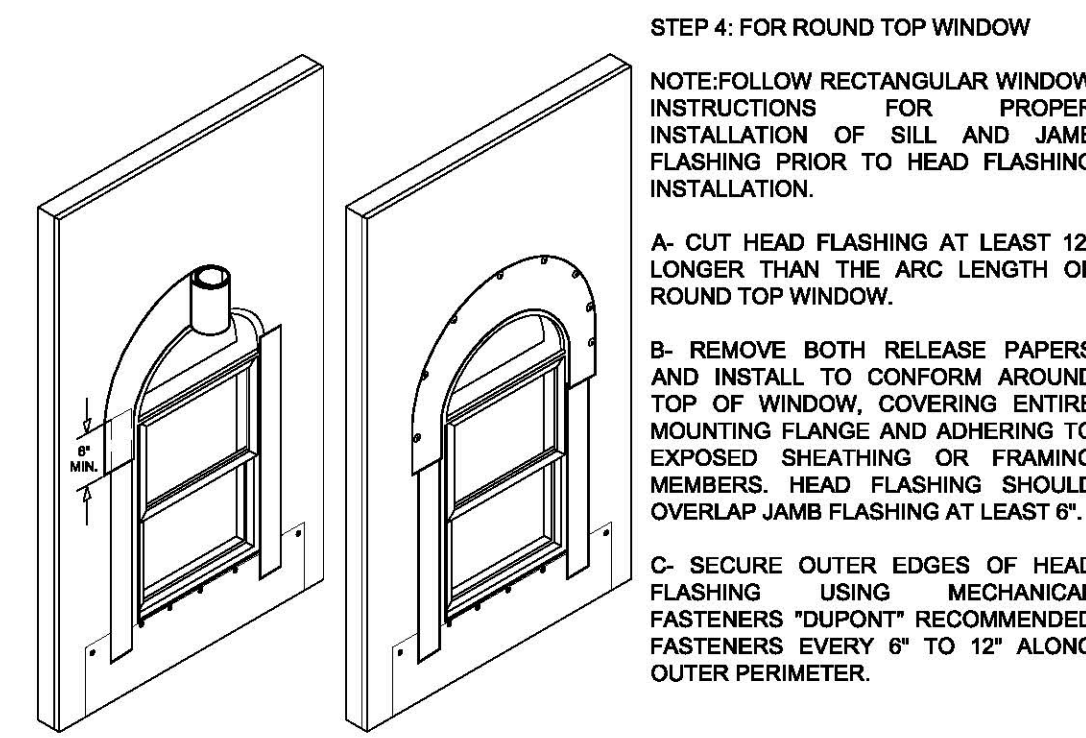
15 HORIZONTAL SLIDING VINYL WINDOW JAMB
SCALE: 3/4"=1'-0"



11 CASEMENT VINYL WINDOW JAMB
SCALE: 3/4"=1'-0"



7 VINYL PICTURE WINDOW HEAD
SCALE: 3/4"=1'-0"



4 FLASHING SYSTEMS INSTALLATION- BEFORE WRB
SCALE: 1/2"=1'-0"

20 VINYL FRENCH DOOR JAMB (OUT SWING)
SCALE: 3/4"=1'-0"

15 HORIZONTAL SLIDING VINYL WINDOW JAMB
SCALE: 3/4"=1'-0"

11 CASEMENT VINYL WINDOW JAMB
SCALE: 3/4"=1'-0"

7 VINYL PICTURE WINDOW HEAD
SCALE: 3/4"=1'-0"

4 FLASHING SYSTEMS INSTALLATION- BEFORE WRB
SCALE: 1/2"=1'-0"

PROJECT TITLE
Lerner Residence

8676 Dunaway Drive
La Jolla, California 92037

APPLICANT
Ian & Golnoosh Lerner

8676 Dunaway Drive
La Jolla, California 92037

DESIGN LEAD
ARCHITECTS
ARCHITECTURE PLANNING
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REVISION	
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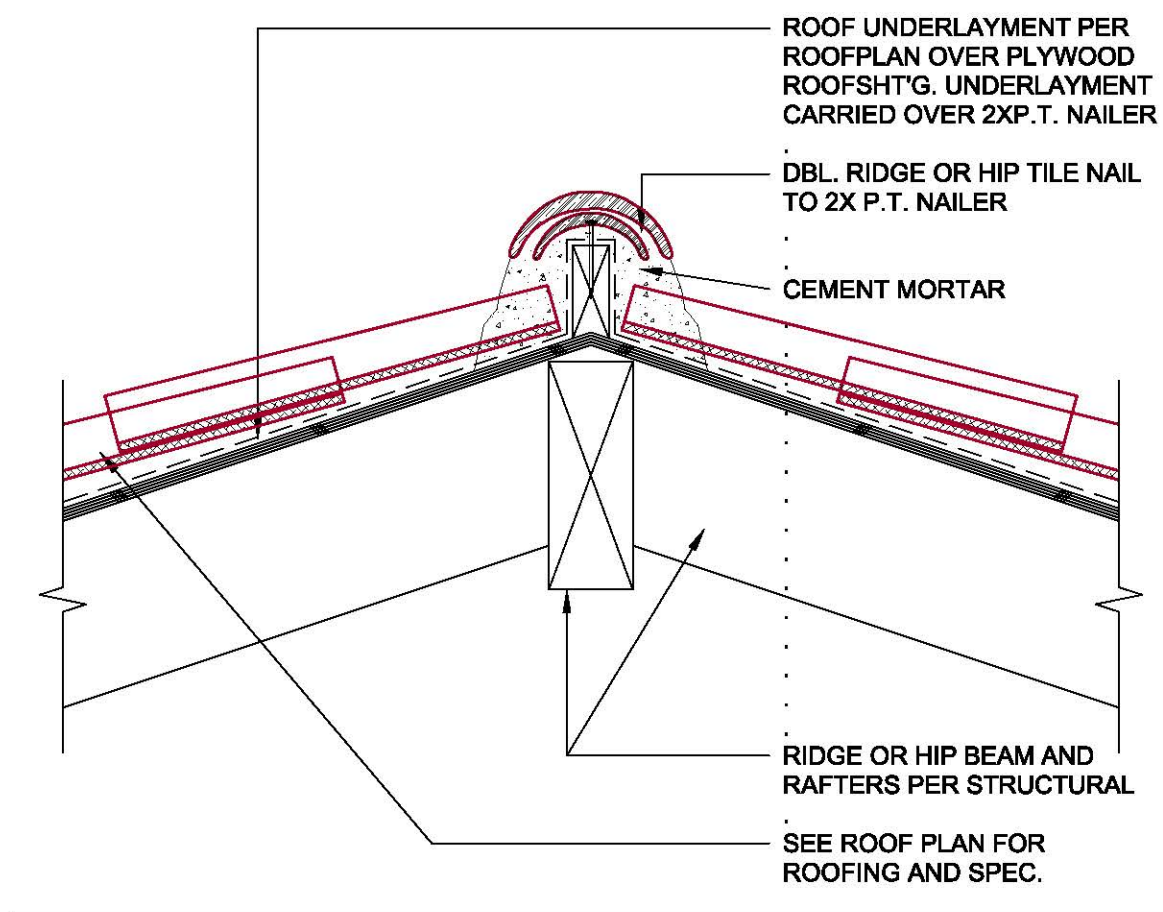
KEY PLAN

BUILDING	
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DRAWING TITLE
ARCHITECTURAL DETAILS

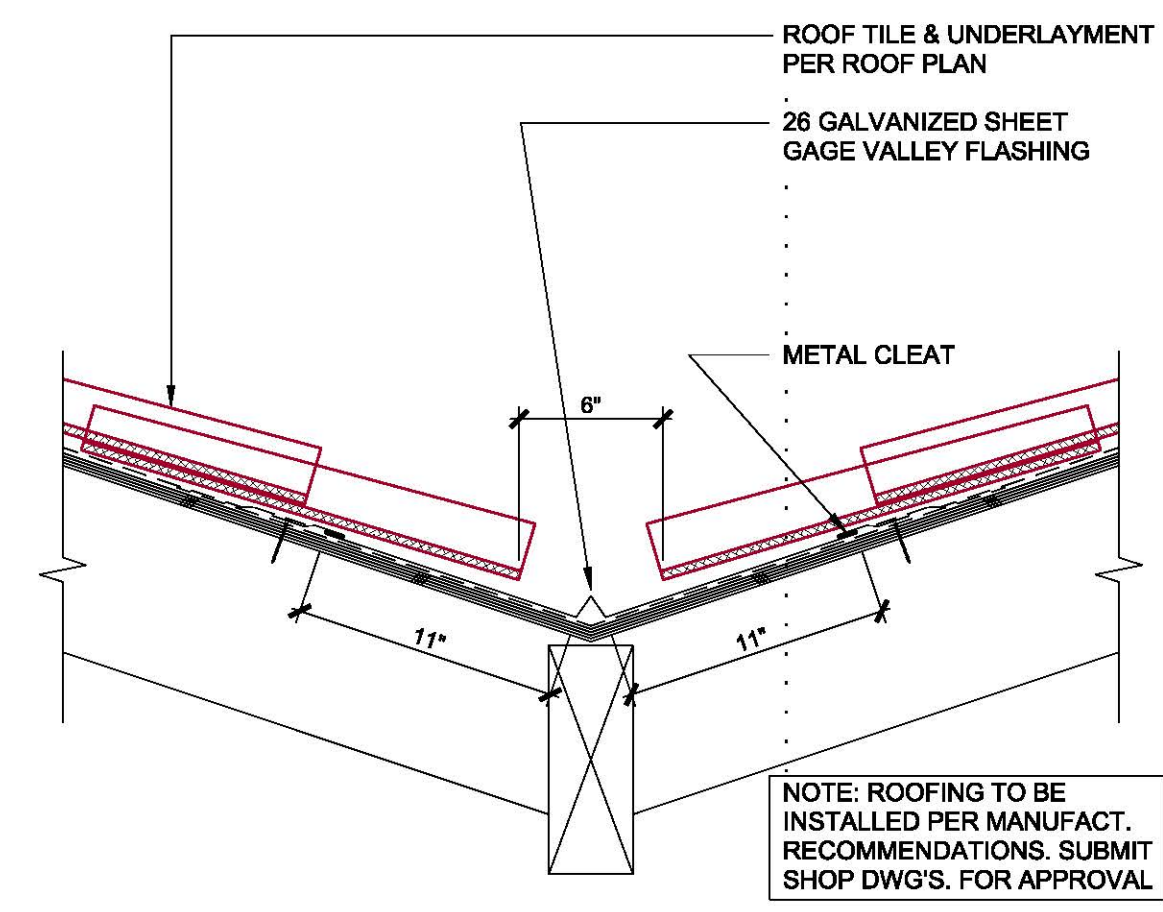
JOB # 2015-211	DATE Apr 13, 2016
DRAWN	SCALE VARIES

SHEET #
D-1



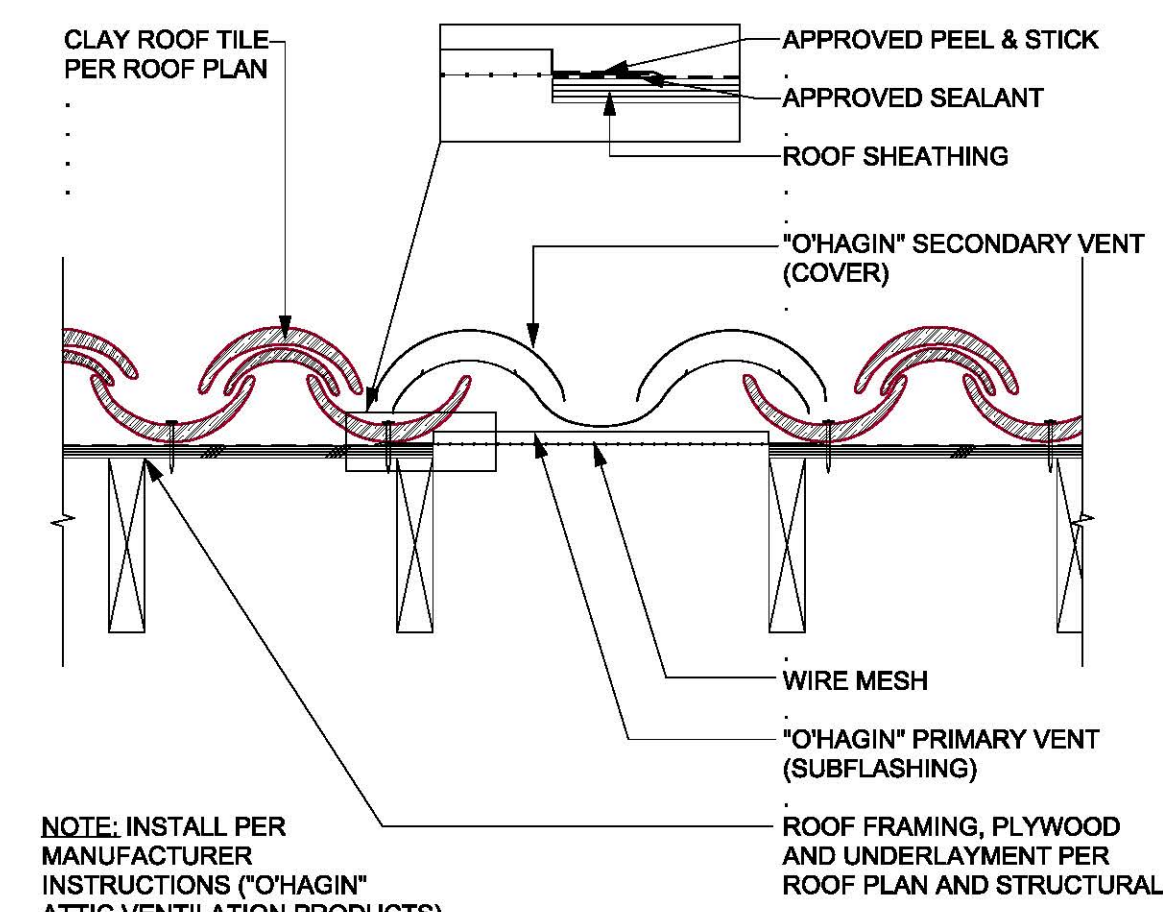
17 RIDGE / HIP
SCALE: 1-1/2"=1'-0"

07 32 00-15

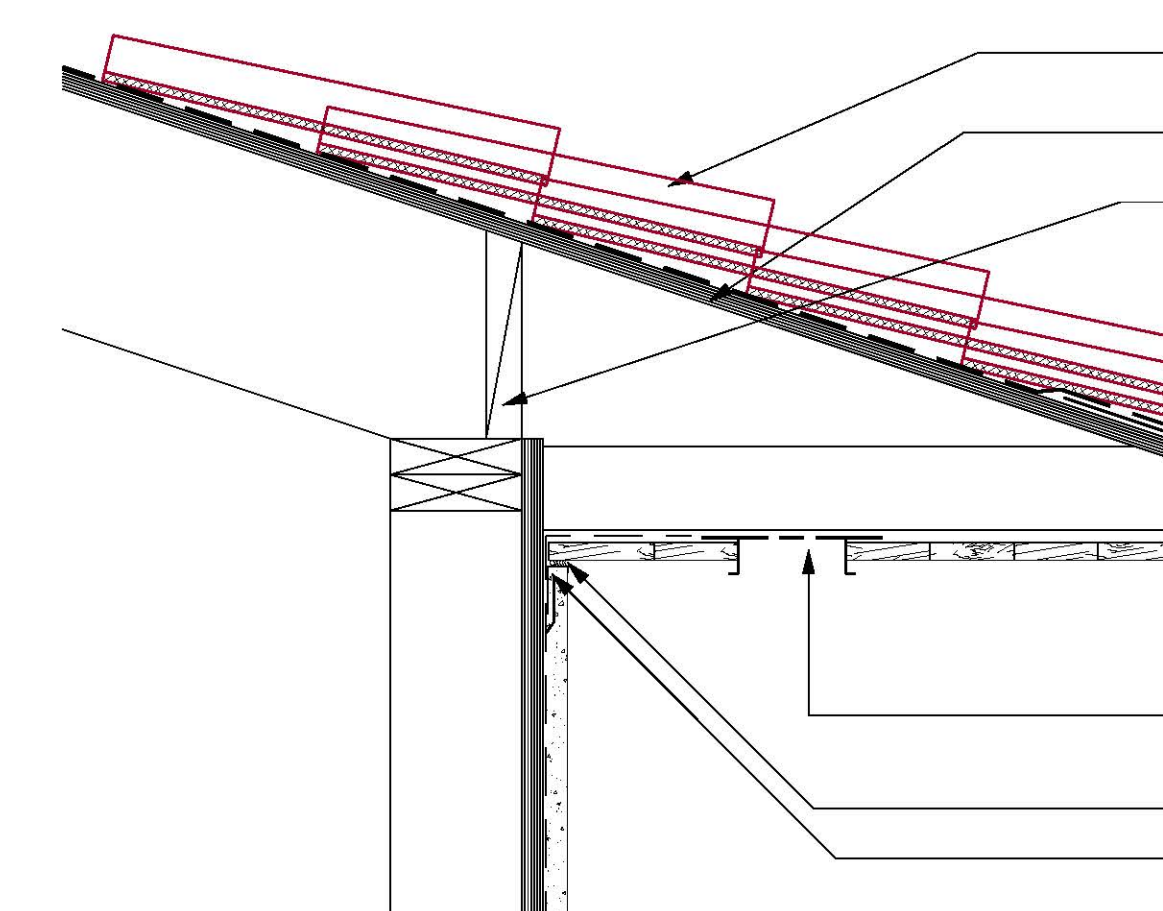


18 VALLEY
SCALE: 1-1/2"=1'-0"

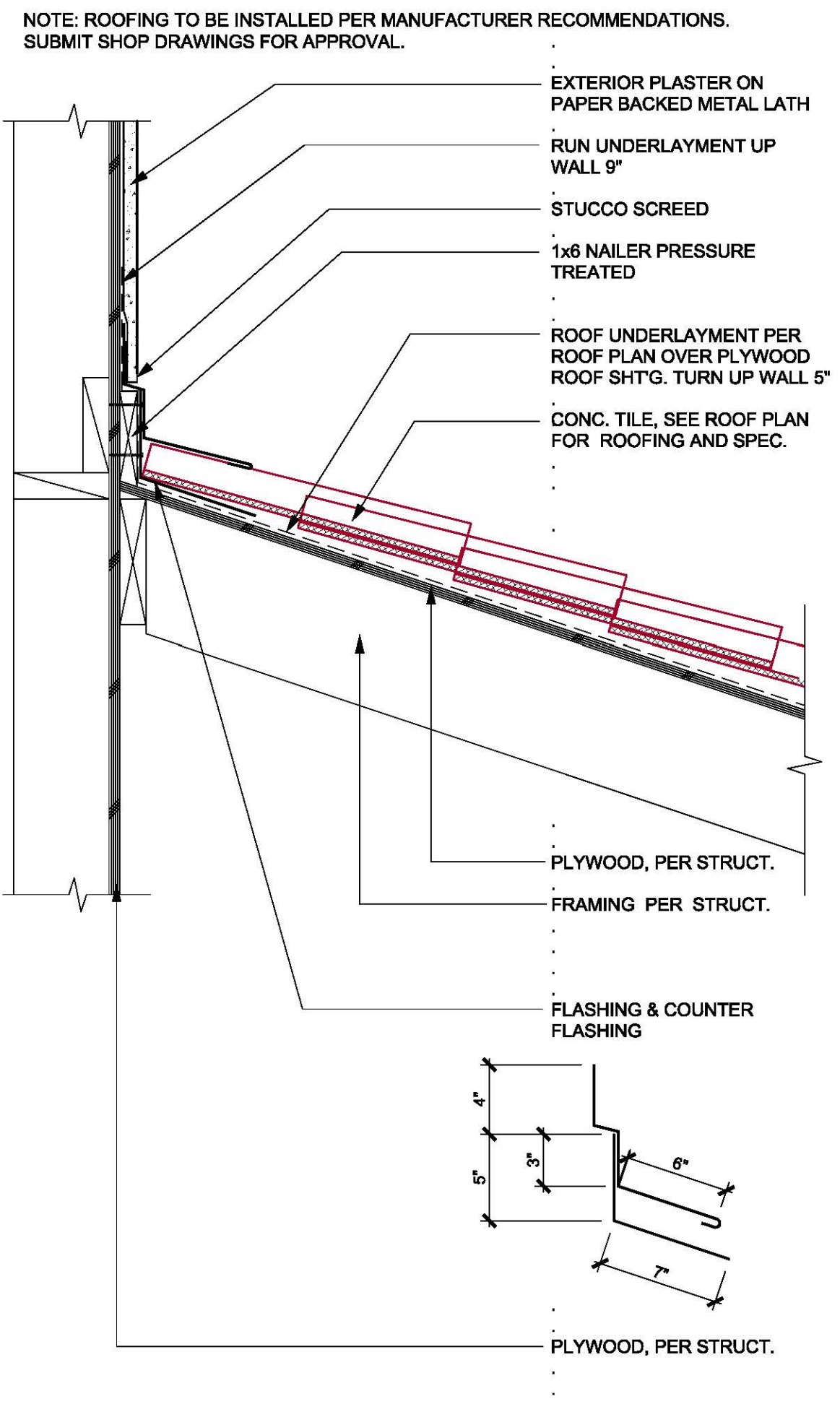
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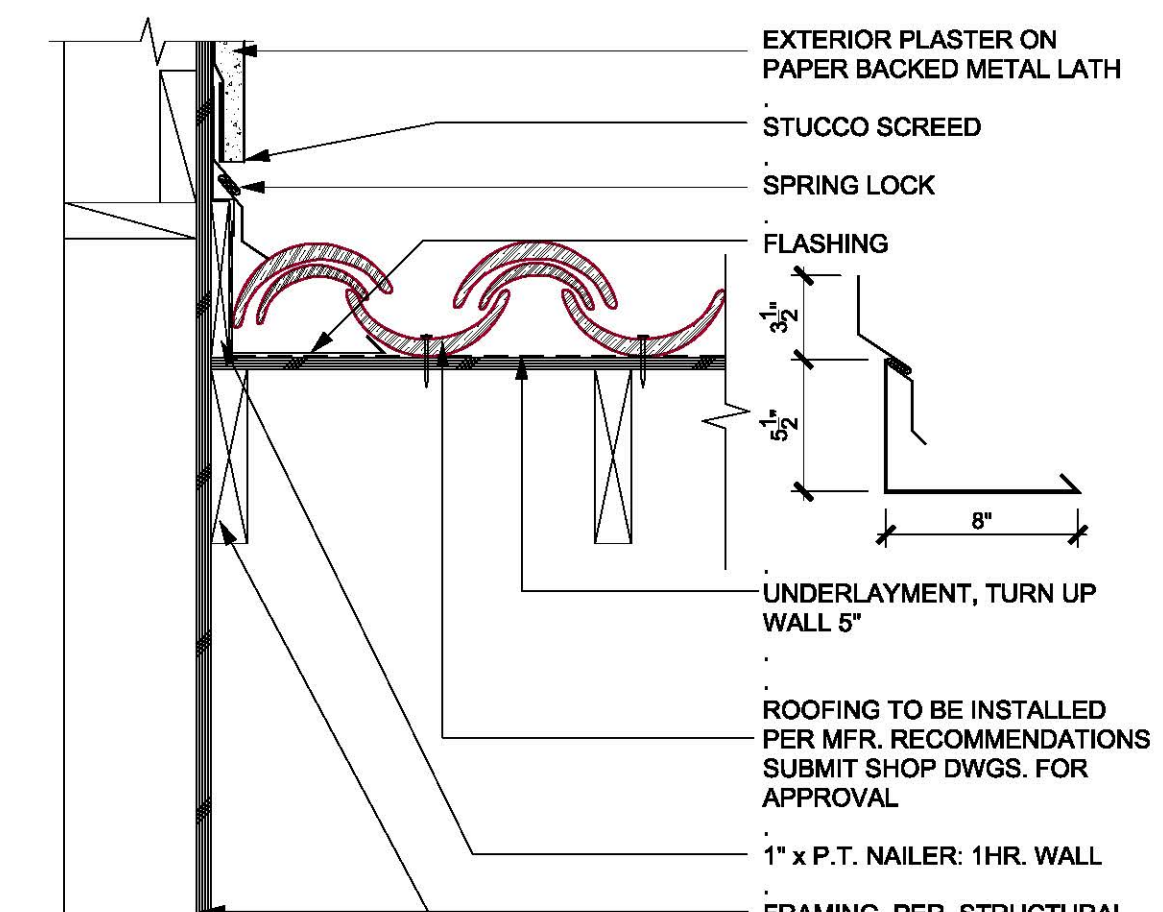
19 ATTIC VENT FOR CLAY TILE ROOF
SCALE: 1-1/2"=1'-0"



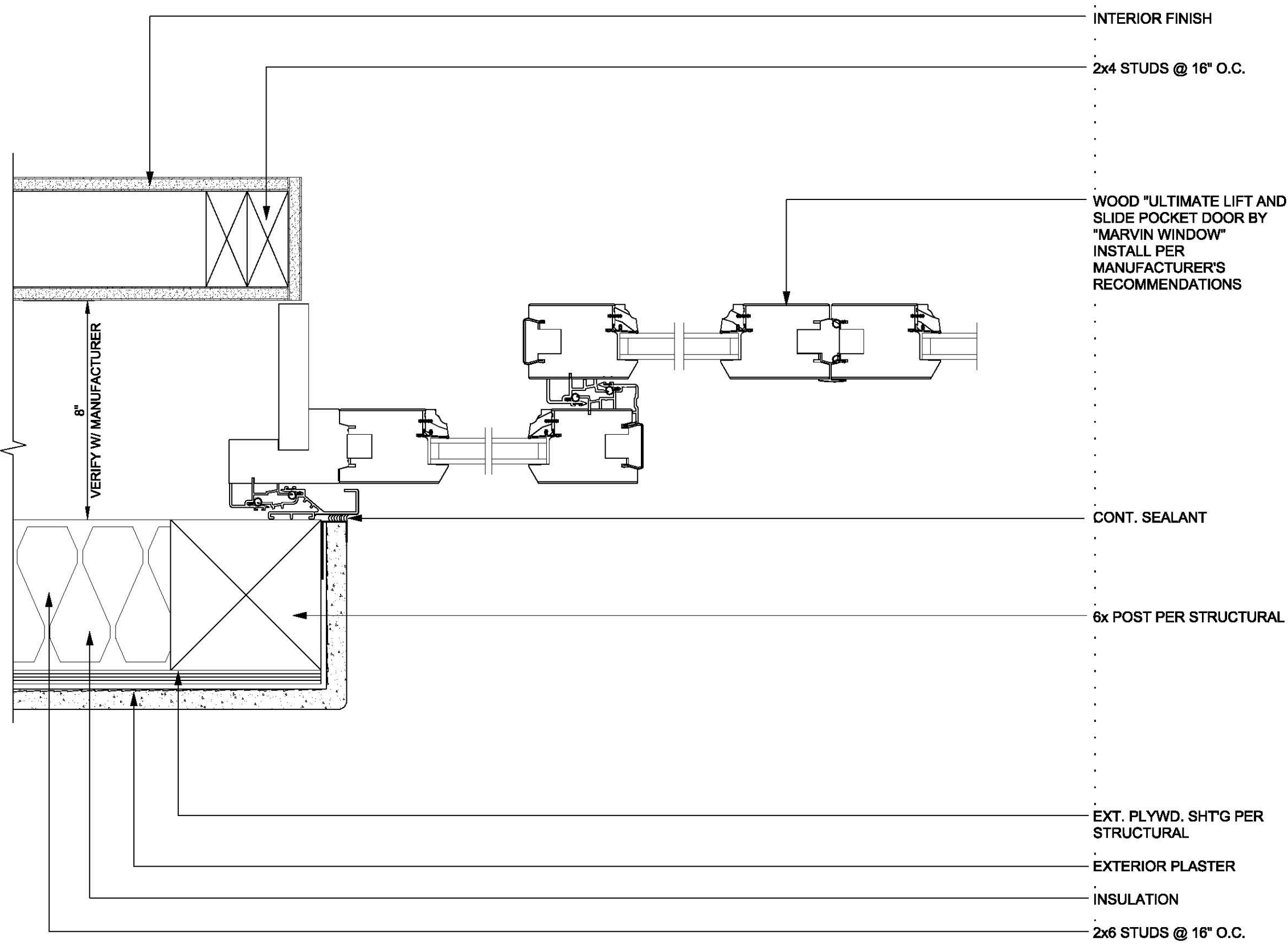
20 EAVE
SCALE: 1-1/2"=1'-0"



14 ROOF TILE AT WALL
SCALE: 1-1/2"=1'-0"

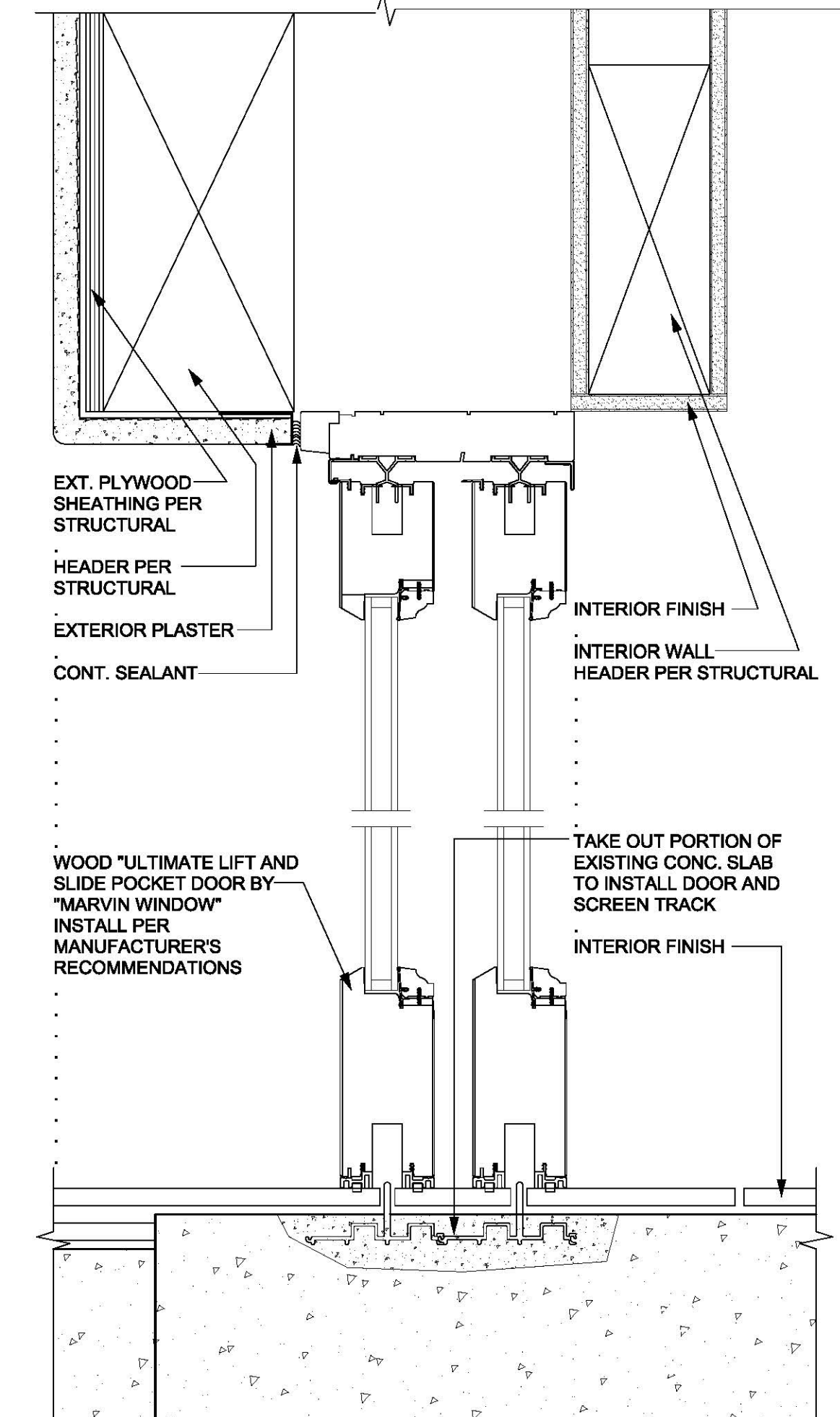


15 ROOF TILE AT WALL
SCALE: 1-1/2"=1'-0"

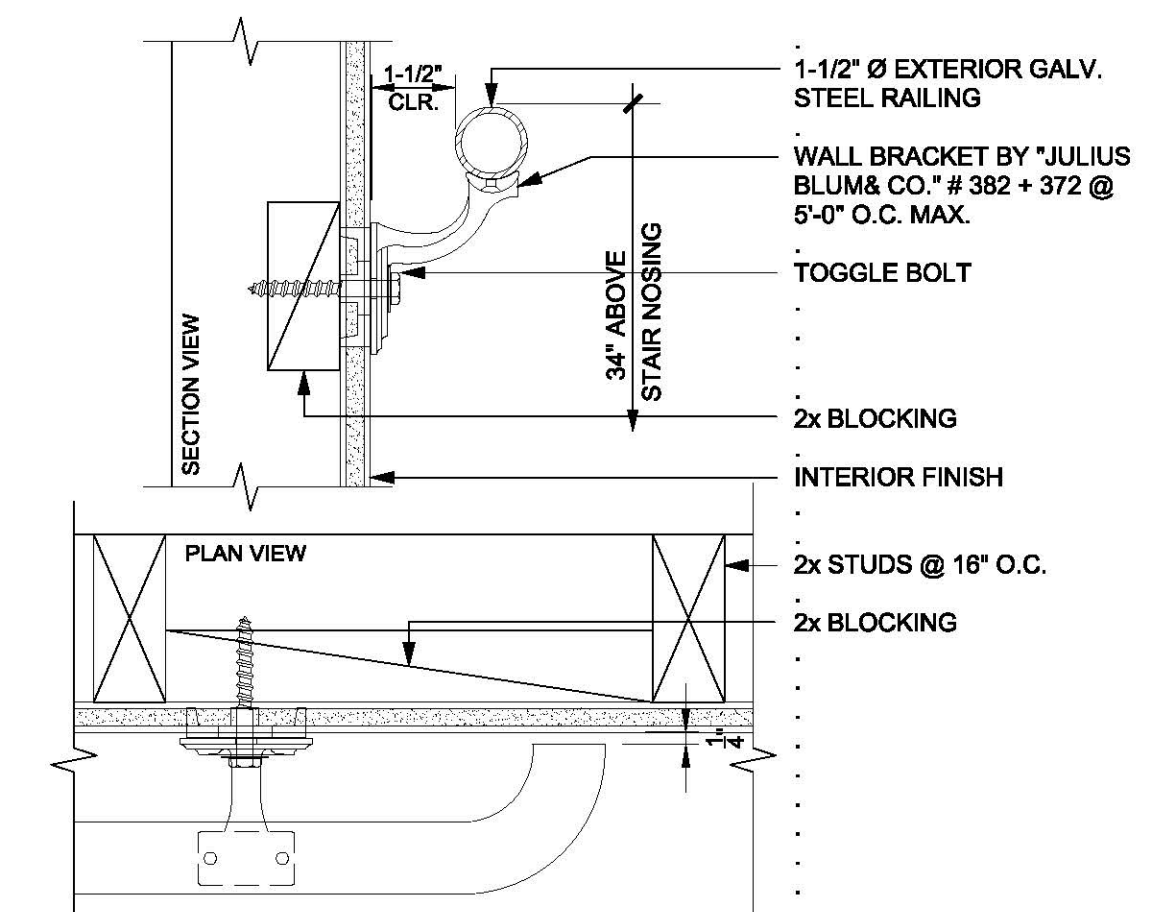


10 LIFT AND SLID POCKET DOOR JAMB
SCALE: 3"=1'-0"

08 14 23-78



2 LIFT AND SLID POCKET DOOR HEAD AND SILL
SCALE: 3"=1'-0"



3 INTERIOR HANDRAIL TERMINATION
SCALE: 3"=1'-0"

05 52 00-03

PROJECT TITLE
**Lerner
Residence**

8676 Dunaway Drive
La Jolla, California 92037

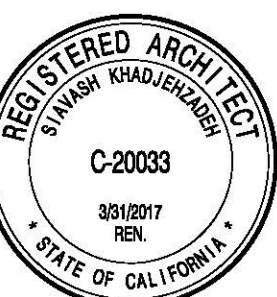
APPLICANT
Ian & Golnoosh Lerner

8676 Dunaway Drive
La Jolla, California 92037

**DESIGN
LEAD**
ARCHITECTS

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La Jolla, California 92037
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KEY PLAN	

BUILDING	

DRAWING TITLE	
ARCHITECTURAL DETAILS	

JOB # 2015-211	DATE Apr 13, 2016
DRAWN	SCALE VARIES

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	1



L64A-003B

1222 First Avenue, San Diego, CA 92101-4154

Project InformationProject Nbr: **460884**

Title: 2702 Costebelle SDP

Project Mgr: Gutierrez, Edith

(619) 446-5147

egutierrez@sandiego.gov

**Review Information****Cycle Type:** 2 Submitted (Multi-Discipline)**Submitted:** 12/23/2015 Deemed Complete on 12/23/2015**Reviewing Discipline:** LDR-Environmental**Cycle Distributed:** 12/23/2015**Reviewer:** Holowach, Courtney**Assigned:** 12/23/2015

(619) 446-5187

Started: 12/23/2015

Cholowach@sandiego.gov

Review Due: 02/03/2016**Hours of Review:** 12.00**Completed:** 02/03/2016**Next Review Method:** Submitted (Multi-Discipline)**Closed:**

- . The reviewer has indicated they want to review this project again. Reason chosen by the reviewer: First Review Issues.
- . The reviewer has requested more documents be submitted.
- . Your project still has 10 outstanding review issues with LDR-Environmental (all of which are new).

First Review**Extended Initial Study**

Cleared?	Issue Num	Issue Text
<input type="checkbox"/>	1	EAS has determined that additional information is needed for Cultural Resources (Paleontological), Water Quality, Geology, and Planning.

Until the above issues have been addressed, the CEQA determination cannot be made and the environmental processing timeline will be held in abeyance.

(New Issue)

Cultural Resources (Built Envi

Cleared?	Issue Num	Issue Text
<input checked="" type="checkbox"/>	2	San Diego Municipal Code Section 143.0212 requires City Plan Historic staff to review all projects impacting a parcel that contains a structure 45 years old or older to determine whether a potentially significant historical resource exists on site prior to issuance of a permit. (New Issue)
<input checked="" type="checkbox"/>	3	LDR-Plan Historic staff is concurrently reviewing the project. EAS defers to them in determination of whether a historical resource exists. LDR-Plan Historic staff has determined that the property does not meet local designation criteria as an individually significant resource under any adopted Historical Resources Board Criteria. Please refer to their comments for further information. Therefore, EAS finds that there will be no significant impact to cultural resources. EAS has no further comment at this time. (New Issue)

Cultural Resources (Paleo)

Cleared?	Issue Num	Issue Text
<input type="checkbox"/>	4	The proposed project site is underlain by the Ardath Shale Formation. The Ardath Shale Formation is assigned a high potential for fossil resources. The City's Significance Determination Threshold for a high sensitivity rating is grading greater than 1,000 cubic yards exported and cut of 10 feet or more in depth. (New Issue)
<input type="checkbox"/>	5	In order for EAS to determine if a potential impact would result to paleontological resources please provide the total amount of grading and/or disturbance (import/export, amount of fill, and depth of cut). (New Issue)

Cultural Resources (Archy)

Cleared?	Issue Num	Issue Text
<input checked="" type="checkbox"/>	6	The project site is on the City of San Diego's Historical Resources Sensitivity map. However, qualified City staff has reviewed the project and determined that based on the topography, the lack of recorded resources and the disturbed nature of the site there is no potential impact to any unique or non-unique historical resources and no further comment is required. (New Issue)

Water Quality

Cleared?	Issue Num	Issue Text
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L64A-003B

1222 First Avenue, San Diego, CA 92101-4154

<u>Cleared?</u>	<u>Issue Num</u>	<u>Issue Text</u>
<input type="checkbox"/>	7	EAS is in receipt of the submitted Water Quality Study BMP Report for the Fakhimi Investment Group Residence (November 2015, Rancho Coastal Engineering and Surveying, Inc.). LDR-Engineering is reviewing the report concurrently. EAS will defer to LDR-Engineering on water quality issues. At this time they have not completed their review. Until LDR-Engineering completes their review EAS cannot make a determination on water quality issues. Any significant issues identified in their review will be considered in the next submittal. (New Issue)

Geology

<u>Cleared?</u>	<u>Issue Num</u>	<u>Issue Text</u>
<input type="checkbox"/>	8	EAS is in receipt of the submitted Report of Preliminary Geotechnical Investigation (Geotechnical Exploration, Inc., December 2015) and Preliminary Opinion of Hillside Disturbance (Geotechnical Exploration, Inc., November 2015). LDR-Geology is reviewing these reports concurrently. EAS will defer to LDR-Geology on geology issues. (New Issue)
<input type="checkbox"/>	9	LDR-Geology is requesting and an addendum geotechnical investigation report prepared in accordance with the City's "Guidelines for Geotechnical Reports." Please refer to their comments for further information. (New Issue)
<input type="checkbox"/>	10	EAS will need to review this addendum concurrently with LDR-Geology in the next cycle of reviews. Until the requested information is received EAS cannot make an environmental determination on Geology. (New Issue)

Biological Resources

<u>Cleared?</u>	<u>Issue Num</u>	<u>Issue Text</u>
<input checked="" type="checkbox"/>	11	After review of the City's orthophotos it would appear that the project site has potential sensitive vegetation on and adjacent to the site. Staff review of the submitted photographic survey shows the vegetation on site to be ornamental in nature, however. Therefore, no significant impacts to biological resources are likely to occur. The project would be required to comply with both federal and state MBTA regulations. EAS has no further comments on this issue. (New Issue)

Planning

<u>Cleared?</u>	<u>Issue Num</u>	<u>Issue Text</u>
<input type="checkbox"/>	12	At this time planning staff has not completed their comments. Any significant issues identified in their review will be considered in the next submittal. (New Issue)

Summary

<u>Cleared?</u>	<u>Issue Num</u>	<u>Issue Text</u>
<input type="checkbox"/>	13	As mentioned above the CEQA determination cannot be made until all issues have been addressed. Until the requested information has been provided staff is not able to complete the environmental review for the project and the environmental processing timeline will be held in abeyance. EAS will coordinate with the other reviewers as the review progresses regarding any additional potential environmental impacts. (New Issue)
<input type="checkbox"/>	14	Please be aware that the environmental review may change in response to any project changes and/or new information. Additionally, the new information may lead to the requirement of new and/or technical studies. A determination as to the appropriate environmental document will be made based on all reviewed and submitted information. (New Issue)



Cycle Issues DRAFT



THE CITY OF SAN DIEGO
Development Services

1222 First Avenue, San Diego, CA 92101-4154

2/9/16 9:40 am

Page 3 of 10

L64A-003B

Review Information

Cycle Type:	2 Submitted (Multi-Discipline)	Submitted:	12/23/2015	Deemed Complete on 12/23/2015
Reviewing Discipline:	LDR-Engineering Review	Cycle Distributed:	12/23/2015	
Reviewer:	Huynh, Khanh (619) 446-5299 KHuynh@sandiego.gov	Assigned:	12/28/2015	
Hours of Review:	7.00	Started:	02/02/2016	
Next Review Method:	Submitted (Multi-Discipline)	Review Due:	01/29/2016	
		Completed:	02/05/2016	
		Closed:		

- . The review due date was changed to 02/03/2016 from 02/03/2016 per agreement with customer.
- . The reviewer has indicated they want to review this project again. Reason chosen by the reviewer: First Review Issues.
- . The reviewer has requested more documents be submitted.
- . Your project still has 26 outstanding review issues with LDR-Engineering Review (all of which are new).

1st Review issues

Cleared?	Issue Num	Issue Text
<input type="checkbox"/>	1	The new Storm Water Development Regulations will become effective February 16, 2016 and this project will be subject to those regulations. Project drains into the La Jolla Area of Special Biological Significance (ASBS) and is subject to all requirements of the Final Compliance Plan for La Jolla ASBS dated September 20, 2014. Since the project discharges to an approved City of San Diego discharged location into ASBS, no additional design requirement will apply involving in the ASBS. (New Issue)
<input type="checkbox"/>	2	Renumber the Preliminary Grading & Drainage Plan and Existing Topo & Demolition Plan sheets to be consistent with the Drawing Index. (New Issue)
<input type="checkbox"/>	3	Revise the Preliminary Grading & Drainage Plan, sheet C1.1. Add the depths of cut and fill. Add the height of cut and fill slopes. It appears on the Preliminary Grading & Drainage Plan that the depth of cut for outside the building footprint is 5 feet. Thus, Grading permit will be required. (New Issue)
<input type="checkbox"/>	4	Add surface drainage flow patterns and slope gradient east of the property, and the collection and discharge points for all site and roof drains. (New Issue)
<input type="checkbox"/>	5	It appears on the Preliminary Grading & Drainage Plan that the depth of cut for outside the building footprint is 5 feet. Thus, Grading permit will be required. (New Issue)
<input type="checkbox"/>	6	Revise the Grading Plan, sheet C1.1. Add a Bench Mark per the City of San Diego Vertical Control Book. Include the elevation and required MSL Datum. (New Issue)
<input type="checkbox"/>	7	Revise the Site Plan, sheet A1.1. Show and call out the location of the roof drains and how they are discharged into landscape area. (New Issue)
<input type="checkbox"/>	8	SDMC section 143.0142(f) states: Any increase in runoff resulting from the development of the site shall be directed away from any steep hillside areas and either into an existing or newly improved public storm drain system or onto a street developed with a gutter system or public right-of-way designated to carry surface drainage run-off. (New Issue)
<input type="checkbox"/>	9	Submit a Preliminary Drainage Study which addresses the existing and proposed storm water run-off and discharge locations for the project site. Add a discussion on how the increase storm water run-off from the proposed development will be discharged to Costebelle Drive. (New Issue)
<input type="checkbox"/>	10	Add a discussion to the Drainage Study stating if the proposed project is required to obtain approval from the Regional Water Quality Control Board Under Federal Clean Water Act (CWA) section 401 or 404. A complete explanation must be provided. Please note, if the proposed project is subject to regulations as set forth in CWA 401/404, approval from the California Regional Water Quality Control Board must be obtained prior to permit issuance. (New Issue)
<input type="checkbox"/>	11	Revise the Site Plan, sheet A1.1. Add a note that states: This project will not discharge any increase in storm water run-off onto the existing hillside areas or adjacent properties. (New Issue)
<input type="checkbox"/>	12	Revise the Site Plan, sheet A1.1. Project proposed single discharge location to the existing hillside which is unacceptable. Add a note that states: Multiple storm water discharge locations will be used to mimic the existing drainage pattern. Add a note that states: No additional run-off is proposed for the discharge locations. Revise the design accordingly. (New Issue)
<input type="checkbox"/>	13	The Water Quality Study report template has been changed due to the new MS4 permit, LID and Source Control BMP requirements. Therefore, revise the Water Quality Study that Identifies Pollutants from the Project Area and addresses how the 8 possible Low Impact Development (LID) BMPs and 6 possible Source Control BMPs have been incorporated into the project. (New Issue)
<input type="checkbox"/>	14	If any of the 14 possible BMPs have not been used in the project design, add a discussion in the report why the omitted BMPs are not feasible or not applicable. Please Note: A Water Quality Study is required, not a SWQMP. For an example of a Water Quality Study - 2016, contact my office at KHuynh@SanDiego.gov (New Issue)
<input type="checkbox"/>	15	City's Storm Water Standards are available online at: http://www.sandiego.gov/stormwater/pdf/citysdstormwaterstandardsmanualdraft2015.pdf (New Issue)
<input type="checkbox"/>	16	Revise the Grading Plan, sheet C1.1. Show and call out how all storm water run-off from the proposed development is directed to proposed landscape Low-Impact Development BMPs. (New Issue)

For questions regarding the 'LDR-Engineering Review' review, please call Khanh Huynh at (619) 446-5299. Project Nbr: 460884 / Cycle: 2



Cycle Issues DRAFT



THE CITY OF SAN DIEGO
Development Services

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<u>Cleared?</u>	<u>Issue Num</u>	<u>Issue Text</u>
<input type="checkbox"/>	17	Remove the Storm Water Quality Notes Construction BMP's from the Site Plan, sheet A1.1. (New Issue)
<input type="checkbox"/>	18	Revise the Site Plan, sheet A1.1. Show the Water and Sewer Mains, including the new laterals that serve the project. Call out the City Improvement Plan numbers. A search of City Records by your office may be required. (New Issue)
<input type="checkbox"/>	19	The number of existing driveways shown on the Existing Topo & Demolition Plan is inconsistent with the Site Plan. Revise the plans accordingly. (New Issue)
<input type="checkbox"/>	20	Per SDMC Section 142.0560(8)(A), for properties with no access to an alley, there shall be at least one driveway opening permitted per street frontage with a maximum of one driveway opening for each 100 feet of street frontage. Also, per Diagram 142-05C, there shall be 45 feet length minimum between driveways. Due to these two reasons, revise the Site Plan and Grading Plan, sheet A1.1 and C1.1, show and call out the closure of one of the existing driveways with current City Standard curb, gutter and sidewalk, adjacent to the site on Costebelle Drive. (New Issue)
<input type="checkbox"/>	21	Revise the Grading Plan Sheet 3 Add the visibility area triangles, per San Diego Municipal Code Diagram 113-02SS for the driveway on Costebelle Drive. Show the visibility areas on private property which shall extend 10 feet inward along the driveway and along the property line. Add a note that states: No obstruction including landscaping or solid walls in the visibility area shall exceed 3 feet in height. (New Issue)
<input type="checkbox"/>	22	Revise the Site Plan, sheet A1.1. Add a note that states: Prior to the issuance of any construction permit, the Owner/Permittee shall enter into a Maintenance Agreement for the ongoing permanent BMP maintenance, satisfactory to the City Engineer. (New Issue)
<input type="checkbox"/>	23	Revise the Site Plan, sheet A1.1. Add a note that states: Prior to the issuance of any construction permit, the Owner/Permittee shall incorporate any construction Best Management Practices necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the San Diego Municipal Code, into the construction plans or specifications. (New Issue)
<input type="checkbox"/>	24	Revise the Site Plan, sheet A1.1. Add a note that states: Prior to the issuance of any construction permit the Owner/Permittee shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be prepared in accordance with the guidelines in Part 2 Construction BMP Standards Chapter 4 of the City's Storm Water Standards. (New Issue)
<input type="checkbox"/>	25	Development Permit Conditions will be determined on the next submittal when all requested information is provided. (New Issue)
<input type="checkbox"/>	26	Additional comments may be recommended pending further review of any redesign of this project. These comments are not exclusive. Should you have any questions or comments, please call Khanh Huynh at 619 446-5299. (New Issue)



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Review Information

Cycle Type:	2 Submitted (Multi-Discipline)	Submitted:	12/23/2015	Deemed Complete on 12/23/2015
Reviewing Discipline:	Community Planning Group	Cycle Distributed:	12/23/2015	
Reviewer:	Gutierrez, Edith	Assigned:	01/11/2016	
	(619) 446-5147	Started:	01/11/2016	
	egutierrez@sandiego.gov	Review Due:	01/29/2016	
Hours of Review:	0.10	Completed:	01/11/2016	
Next Review Method:	Submitted (Multi-Discipline)	Closed:		

- . The review due date was changed to 02/03/2016 from 02/03/2016 per agreement with customer.
- . The reviewer has indicated they want to review this project again. Reason chosen by the reviewer: Partial Response to Cmnts/Regs.
- . The reviewer has requested more documents be submitted.
- . Your project still has 2 outstanding review issues with Community Planning Group (all of which are new).

1st Review

<u>Cleared?</u>	<u>Issue Num</u>	<u>Issue Text</u>
<input type="checkbox"/>	1	Please contact the Chair for the La Jolla Community Planning Association, (as identified in the assessment letter) to make arrangements to present your project for review at their next available meeting. This Community Planning Group is officially recognized by the City as a representative of the community, and an advisor to the City in actions that would affect the community. The Development Services Department has notified the group of your request and has sent them a copy of your project plans and documents. (New Issue)
<input type="checkbox"/>	2	Projects within the La Jolla Shores Planned District require a recommendation from the La Jolla Shores Planned District Advisory Board, in addition to the La Jolla Community Planning Association (LDC Section 1510.0105(b)). Contact the Development Project Manager when you are ready to schedule your project before the Advisory Board, which meets the third Tuesday of the month. Provide adequate time to schedule your project on the docket. Presentation materials should include elevations, photographs of surrounding properties, samples of colors, finishes, and special treatments. (New Issue)





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Review Information

Cycle Type: 2 Submitted (Multi-Discipline)	Submitted: 12/23/2015	Deemed Complete on 12/23/2015
Reviewing Discipline: LDR-Geology	Cycle Distributed: 12/23/2015	
Reviewer: Thomas, Patrick	Assigned: 12/23/2015	
(619) 446-5296	Started: 12/23/2015	
pathomas@sandiego.gov	Review Due: 01/29/2016	
Hours of Review: 3.00	Completed: 01/27/2016	
Next Review Method: Submitted (Multi-Discipline)	Closed:	

- . The review due date was changed to 02/03/2016 from 02/03/2016 per agreement with customer.
- . The reviewer has indicated they want to review this project again. Reason chosen by the reviewer: New Document Required.
- . The reviewer has requested more documents be submitted.
- . Your project still has 9 outstanding review issues with LDR-Geology (all of which are new).

460884-2 (1/27/2016)

Information

<u>Cleared?</u>	<u>Issue Num</u>	<u>Issue Text</u>
<input type="checkbox"/>	1	The project site is located within geologic hazards zone 25 as shown on the City's Seismic Safety Study Geologic Hazards Maps. Zone 25 is characterized by slide-prone formations with neutral or favorable geologic structure. In addition, the site is in the proximity of confirmed, known, or highly suspected landslides. (New Issue)
<input type="checkbox"/>	2	The applicant should note that a permit may be required from the Regional Water Quality Control Board if ground water from basement retaining wall subdrains is proposed to discharge to the street or municipal storm drain system. (New Issue)

References

<u>Cleared?</u>	<u>Issue Num</u>	<u>Issue Text</u>
<input type="checkbox"/>	3	Preliminary Grading & Drainage Plan for: 2702 Costebelle Drive, La Jolla, California 92037, prepared by Rancho Coastal Engineering & Surveying, undated. Report of Preliminary Geotechnical Investigation, Proposed Salami/Shirazi Residence, 2702 Costebelle Drive , La Jolla, California; prepared by Geotechnical Exploration, Inc., dated December 7, 2015 (their project no. 15-10884). (New Issue)

Issues

<u>Cleared?</u>	<u>Issue Num</u>	<u>Issue Text</u>
<input type="checkbox"/>	4	Submit an addendum geotechnical investigation report prepared in accordance with the City's "Guidelines for Geotechnical Reports." http://www.sandiego.gov/development-services/pdf/industry/geoguidelines.pdf (New Issue)
<input type="checkbox"/>	5	The geotechnical consultant must demonstrate that the site will have a factor-of-safety of 1.5 or greater with respect to gross and surficial slope stability at the completion of the project. (New Issue)
<input type="checkbox"/>	6	The addendum geotechnical report must include the logs of the subsurface exploration at the site that provide the detailed direct observation and mapping of the bedding attitudes conducted by an engineering geologist. Indicate if the geologic structure is favorable or unfavorable. (New Issue)
<input type="checkbox"/>	7	The geotechnical consultant should confirm that the setback between the descending slope and outer edge of the proposed building foundations is adequate to provide protection from slope drainage, erosion and shallow failures over the expected life of the structures. (New Issue)
<input type="checkbox"/>	8	The geotechnical consultant must comment whether or not the proposed development as recommended will measurably destabilize neighboring properties or induce the settlement of adjacent structures. (New Issue)
<input type="checkbox"/>	9	Submit original quality prints and digital copies (on CD/DVD/or USB data storage device) of the referenced geotechnical report and the requested addendum geotechnical report for our records. (New Issue)



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Review Information

Cycle Type: 2 Submitted (Multi-Discipline)	Submitted: 12/23/2015	Deemed Complete on 12/23/2015
Reviewing Discipline: Plan-Historic	Cycle Distributed: 12/23/2015	
Reviewer: Stanco, Kelley	Assigned: 01/04/2016	
(619) 236-6545	Started: 01/22/2016	
Kstanco@sandiego.gov	Review Due: 01/29/2016	
Hours of Review: 0.50	Completed: 01/22/2016	
Next Review Method: Submitted (Multi-Discipline)	Closed:	

- . The review due date was changed to 02/03/2016 from 02/03/2016 per agreement with customer.
- . The reviewer has requested more documents be submitted.

1/22/2016

<u>Cleared?</u>	<u>Issue Num</u>	<u>Issue Text</u>
<input checked="" type="checkbox"/>	1	The property located at 2702 Costebelle is not an individually designated resource and is not located within a designated historic district. However, San Diego Municipal Code Section 143.0212 requires City staff to review all projects impacting a parcel that contains a structure 45 years old or older to determine whether a potentially significant historical resource exists on site prior to issuance of a permit. (Info Only, No Response Required) (New Issue)
<input checked="" type="checkbox"/>	2	During this review buildings are evaluated for eligibility under local designation criteria. The designation criteria and guidelines for their application can be found on the City's website: http://www.sandiego.gov/planning/programs/historical/pdf/201102criteriaguidelines.pdf (Informational Only; No Response or Action Required) (New Issue)
<input checked="" type="checkbox"/>	3	More information regarding this review process can be found in Information Bulletin 580: http://www.sandiego.gov/development-services/pdf/industry/infobulletin/ib580.pdf (Informational Only; No Response or Action Required) (New Issue)
<input checked="" type="checkbox"/>	4	If City staff determines after review of these documents that no potentially significant historical resource exists on site, the parcel will be exempt from further historical review for five years from this date unless new information is provided that speaks to the building's eligibility for designation. (Informational Only; No Response or Action Required) (New Issue)
<input checked="" type="checkbox"/>	5	If City staff determines that a potentially significant historical resource exists on the site, all modifications and additions will be evaluated to determine consistency with the Secretary of the Interior's Standards for Treatment of Historic Properties (Standards). If the proposed project is consistent with the Standards, the permit process may proceed and the parcel will require additional review for all future modifications. (continued...) (New Issue)
<input checked="" type="checkbox"/>	6	(...continued) If the proposed project is not consistent with the Standards, the applicant may redesign the project or prepare a historic report that evaluates the building's integrity and eligibility under all designation criteria. (Informational Only; No Response or Action Required) (New Issue)
<input checked="" type="checkbox"/>	7	Staff has reviewed the photos; Assessor's Building Record; water and sewer records; written description of the property and alterations; chain of title; and listing of occupants; as well as any available historic photographs; Sanborn maps; and Notices of Completion. In addition, staff has considered any input received through applicable public noticing and outreach and have made the following determination: (New Issue)
<input checked="" type="checkbox"/>	8	The property does not meet local designation criteria as an individually significant resource under any adopted Historical Resources Board Criteria. Therefore, no historical research report required at this time. This determination is good for 5 years from this date unless new information is provided that speaks to the building's eligibility for designation. Any applications made after 5 years will be subject to review for potential historic resources, consistent with Municipal Code requirements. (Info Only, No Response Required) (New Issue)

For questions regarding the 'Plan-Historic' review, please call Kelley Stanco at (619) 236-6545. Project Nbr: 460884 / Cycle: 2





L64A-003B

Review Information

Cycle Type: 2 Submitted (Multi-Discipline)	Submitted: 12/23/2015	Deemed Complete on 12/23/2015
Reviewing Discipline: LDR-Landscaping	Cycle Distributed: 12/23/2015	
Reviewer: Kohakura, Vanessa (619) 446-5120 Vkohakura@sandiego.gov	Assigned: 12/23/2015	
	Started: 01/29/2016	
Hours of Review: 1.50	Review Due: 01/29/2016	
Next Review Method: Submitted (Multi-Discipline)	Completed: 01/29/2016	
	Closed:	

- . The review due date was changed to 02/03/2016 from 02/03/2016 per agreement with customer.
- . The reviewer has indicated they want to review this project again. Reason chosen by the reviewer: First Review Issues.
- . The reviewer has requested more documents be submitted.
- . Your project still has 21 outstanding review issues with LDR-Landscaping (all of which are new).

1st Review (Cycle 2) 2/3/16

<u>Cleared?</u>	<u>Issue Num</u>	<u>Issue Text</u>
<input type="checkbox"/>	1	Scope: The project proposes to remodel and add a 7,195 square foot second story addition and 3,059 square foot below grade basement to an existing 2,399 square foot, one story residence located within the La Jolla Shores Planned District within the La Jolla Community Plan area.
		(New Issue)
<input type="checkbox"/>	2	Please address the following issues. Landscape staff reserves the right to provide additional comments upon receipt of the required plans.
		(New Issue)

Landscape Development Plan

<u>Cleared?</u>	<u>Issue Num</u>	<u>Issue Text</u>
<input type="checkbox"/>	3	Landscape Development Plan: Please provide a Landscape Development Plan demonstrating that all of the property not used or occupied by structures, unplanted recreational areas, walks and driveways shall be landscaped and in no case shall this landscaped area be less than 30 percent of the total parcel area.
		(New Issue)
<input type="checkbox"/>	4	Soils Letter: Please include the Soils Letter which delineates the current area of disturbance (see sht. A1.1). It appears the proposed additions are encroaching past the graded pad.
		(New Issue)
<input type="checkbox"/>	5	Landscape Calculation: Provide a calculation determining the percent of total landscaped area provided on the parcel lot.
		(New Issue)
<input type="checkbox"/>	6	Legend: Provide the following information in the legend, by category (e.g., trees, shrubs and ground cover): -Symbol for all proposed plant materials -Botanical names and common names (Provide more than two selections under each symbol.) -Quantities of plant material and on center spacing for ground covers -Breakdown in percentages of the various container sizes of each symbol (e.g. 25 percent, 24-inch-box; 50 percent, 15-gallon; 25 percent, 5-gallon) -Mature height/spread of trees and shrubs -Form and function of each plant symbol, such as shade tree, vertical accent, etc.
		(New Issue)
<input type="checkbox"/>	7	Irrigation and Maintenance Notes: Indicate the proposed methods and types of irrigation systems. Including dedicated irrigation meter or landscape irrigation sub-meter. Indicate who will be responsible for the landscape maintenance (e.g., Homeowners Association, LMD, Owner etc.)
		(New Issue)
<input type="checkbox"/>	8	Existing Trees & Shrubs: Show all existing trees (two-inch caliper or greater) and shrubs to remain. Identify trees and shrubs with a dashed symbol; define limits of drip lines, and label height and spread.
		(New Issue)





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<u>Cleared?</u>	<u>Issue Num</u>	<u>Issue Text</u>
<input type="checkbox"/>	9	Slopes: Show all existing and proposed slopes and berms. Provide labeled contour lines, both existing and proposed, and/or slope gradient with top and bottom of slope spot elevations.
		(New Issue)
<input type="checkbox"/>	10	Provide the following note: "All landscaping shall be completed within 6 months of occupancy or within one year of the notice of completion of a residence."
		(New Issue)
<input type="checkbox"/>	11	Provide the following note: "All landscaped material shall be permanently maintained in a growing and healthy condition including trimming as appropriate to the landscaping material."
		(New Issue)
<input type="checkbox"/>	12	Provide the following note: "All landscape and irrigation shall conform to the standards of the City-Wide Landscape Regulations and the City of San Diego Land Development Manual Landscape Standards and all other landscape related City and Regional Standards."

(New Issue)

Brush Management Plan

<u>Cleared?</u>	<u>Issue Num</u>	<u>Issue Text</u>
<input type="checkbox"/>	13	Brush Management: Pursuant to Section 142.0402 of the San Diego Municipal Code (SDMC) this project is subject to the Brush Management regulations because it proposes an addition to a structure that is within 100 feet from native or naturalized vegetation. Therefore, a Brush Management Plan is required. If the required brush management zones cannot be provided on the subject property the project may be subject to alternative compliance requirements for brush management and the construction plans may need to be reviewed by the Fire Department. (New Issue)
<input type="checkbox"/>	14	Prepare Brush Management Plan according to San Diego Municipal Code (SDMC) 142.0412 and Fire Policy B-08-1, available online.
		(New Issue)
<input type="checkbox"/>	15	Brush Management Zones: Show the zone(s) clearly on the plan and label the dimension of each zone. If there are varied zone widths on the project, label the plan to show the different widths at typical and critical points.
		(New Issue)
<input type="checkbox"/>	16	Brush Management Plant Materials & Legend: Within each zone, show the proposed plant massing and the existing plant masses to remain along with locations of existing and/or proposed trees, demonstrating that they meet the zone criteria. Provide a legend of the existing plant material and/or proposed plant material for each zone, including botanical name, common name and container size. Identify the native/naturalized plant communities adjacent to the brush management area.
		(New Issue)
<input type="checkbox"/>	17	Structures and Hardscape [142.0412(g)2 & (h)2]: Indicate graphically and with notes all structures and hardscape within Zone One. Non-combustible or one hour fire-rated structures may be permitted within Zone One subject to department approval. No structures are allowed within Zone Two.
		(New Issue)
<input type="checkbox"/>	18	Photographic Inventory: As part of the plan package, provide a photographic inventory sheet with key map showing existing conditions within the Brush Management Zone(s) and adjacent native/naturalized vegetation.
		(New Issue)
<input type="checkbox"/>	19	Provide Zone 1 and 2 requirements (SDMC Sections: 142.0412 (g), (h) and (i)) by including the requirements of these sections as notes on the plans.
		(New Issue)
<input type="checkbox"/>	20	Long-term Maintenance Responsibility: Provide the following note: "All Landscaping / Brush Management within the Brush Management Zone(s) as shown on these plans shall be the responsibility of _____ [please Specify, e.g. Owner, H.O.A.]. The Brush Management Zone areas shall be maintained free of debris and litter and all plant material shall be maintained in a healthy growing condition."
		(New Issue)
<input type="checkbox"/>	21	Offsite Brush Management on Adjacent Properties: Provide the following note: "Offsite brush management shall be the responsibility of adjacent property owners. For fuel-load maintenance issues, contact the Fire-Rescue Department's Fire Hazard Advisor - Brush/Weed Complaint line at: (619) 533-4444."
		(New Issue)



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Review Information

Cycle Type:	2 Submitted (Multi-Discipline)	Submitted:	12/23/2015	Deemed Complete on 12/23/2015
Reviewing Discipline:	MCAS Miramar	Cycle Distributed:	12/23/2015	
Reviewer:	Gutierrez, Edith	Assigned:	01/11/2016	
	(619) 446-5147	Started:	02/09/2016	
	egutierrez@sandiego.gov	Review Due:	01/29/2016	
Hours of Review:	0.10	Completed:	02/09/2016	
Next Review Method:	Submitted (Multi-Discipline)	Closed:		

- . The review due date was changed to 02/03/2016 from 02/03/2016 per agreement with customer.
- . The reviewer has indicated they want to review this project again. Reason chosen by the reviewer: Partial Response to Cmnts/Regs.
- . The reviewer has requested more documents be submitted.
- . Your project still has 1 outstanding review issues with MCAS Miramar (all of which are new).

1st Review

<u>Cleared?</u>	<u>Issue Num</u>	<u>Issue Text</u>
<input type="checkbox"/>	1	Staff has not received comments from MCAS Miramar. (New Issue)

