

**LA JOLLA SHORES PERMIT REVIEW COMMITTEE AGENDA
LA JOLLA COMMUNITY PLANNING ASSOCIATION**

Tuesday, October 25th @ 4:00 p.m.

La Jolla Recreation Center, 615 Prospect St., La Jolla, CA

- 1. 4:00pm Welcome and Call to Order:** Tony Crisafi, Chair
- 2. Adopt the Agenda**
- 3. Adopt September Minutes**
- 4. Non-Agenda Public Comment:** 2 minutes each for items not on the agenda
- 5. Non-Agenda Committee Member Comments**
- 6. 4:05pm Chair Comments**
 - a. Members & Officers: Chair Crisafi resigns at end of today's meeting. Will remain thru 2016 as a committee member. Laura Ducharme Conboy resigns effective immediately. Secretary position is vacant. New officer's nomination and election action Item 6.1.
 - b. Chair conducts committee review following Robert's Rules of Order.
- 6.1. Nomination & Election of New Officers – Chairperson & Secretary**
- 7. Project Review:**
 - a. **4:10-4:30pm MURPHY RESIDENCE SDP - 1ST REVIEW**
 - Project #: 501936
 - Type of Structure: Single Family Residence
 - Location: 7927 El Paseo Grande
 - Applicant's Rep: John Ambert, johnambert@gmail.com 805-801-2015
 - Project Manager: Karen Bucey, kbucey@sanidiego.gov 619-446-5049
 - **Project Description:** LA JOLLA SUSTAINABLE EXPEDITE PRG (Process 3) SDP for a 1,949 SF addition with a new second story to an existing 1317 SF residence on a .144 acre site. Coastal (non appealable) overlay zone within the La Jolla Community Plan area, Council District 1.
 - b. **4:30-4:50pm - SWINDLE RESIDENCE – RECONSIDERATION**

Note: Reviewed by LJSPRC in Feb 2016, LJSPRC approved project in March 2016.

 - Project #: 443712
 - Type of Structure: Single Family Residence
 - Location: 2488 Hidden Valley Road
 - Applicant: Tim Martin 858-349-3474 tim@martinarchitecture.com
 - Project Manager: Edith Gutierrez 619-446-5147 equitierrex@sanidiego.gov
 - **Project Description:** LA JOLLA (PROCESS 3) Coastal Development / Site Development Permit to demolish an existing 3718 sf single family residence and construct a new 8,524 sf single family residence with attached garage, pool & spa, retaining walls and landscaping located at 2488 Hidden Valley Road. The 1 acre lot is located in the LJSPD-SF zone of the La Jolla Shores Planned District in the La Jolla Community Plan Area and the Coastal Overlay Zone (Non-Appealable) in Council District 1.
 - c. **Adjourn to next PRC meeting Tuesday, November 22, 2016 @ 4:00 p.m.**

MEETING PROTOCOLS FOR PROJECT REVIEW:

- The meeting will proceed in three parts:
 1. Presentation by the Applicant:
 - a. The applicant presents the proposal and Members of the Committee may request information or clarification. No public comment is heard in this part.
 2. Public Comment:
 - a. Members of the public may address the Committee about the proposal.
 3. Deliberation by the Committee:
 - a. The members of the Committee discuss the proposal. Note that the members of the Committee may initiate questions of the Applicant and the Members of the Public during this part. The deliberation may lead to requests for additional information or to a resolution and voting.
- The Committee may elect to impose time limits on presentations by the Applicant, comments by Members of the Public, and other participants as judged by the Committee to manage available time.

September 7, 2016

John Ambert
Studio Verde
4635 Santa Cruz Avenue
San Diego CA 92107

Sent via email: johnambert@gmail.com

Subject: Murphy Residence Site Development Permit Assessment Letter; Project No. 501936;
Internal Order No. 24006857; La Jolla Community Plan Area

Dear John:

The Development Services Department has completed the initial review of the Murphy Residence. The purpose of this assessment letter is to summarize the significant project issues and identify a course of action for the processing of your project. A Cycle Issues Report and a submittal requirements report are included following this letter.

The project proposes a total of 1,949 square feet of additions to an existing 1,317 square foot residence at 7927 El Paseo Grande. The proposed project includes an expansion of the residential footprint and inclusion of a new second story as well as a second story studio space above the detached garage. The 0.144 acre site is in the La Jolla Community Plan Area, La Jolla Shores Planned District Single-Family (SF) zone, Coastal (Non-appealable) overlay zone, Council District 1 and is a Sustainable Expedite Project.

- I. REQUIRED APPROVALS/FINDINGS:** Your project as currently proposed requires the processing of a Process 3 Site Development Permit for development in the La Jolla Shores Planned District, per Section 1510.0201(d). The decision to approve, conditionally approve, or to deny the project will be made by the Hearing Officer.

Required Findings: In order to recommend approval of your project, certain findings must be substantiated in the record. Attached is a form indicating each the required findings that are necessary for the consideration by the Hearing Officer. Please provide draft findings response for each item and email the document or return the draft with the next submittal.

- II. SIGNIFICANT PROJECT ISSUES:** The significant project issues are summarized below. Resolution of these issues could affect your project. Additional explanation is provided in the Cycle Issues Report.

Engineering Review

The Engineering Review Section has reviewed the subject development and has the following comments to be addressed with the next submittal. Requested revisions or additional information include providing a Grading Data Table with cut/fill and import/export quantities, Bench Mark, elevation, and required MSL Datum, garage studio staircase parking encroachment, Water Quality Study (not a SWQMP), and construct of the El Paseo Grande driveway for ADA compliance and to City Standards.

Planning Review

LDR Planning has reviewed the plans and has requested revisions including notes, revisions or additional information on the proposed second story addition to the garage structure considered a guest quarters by LDR Planning and overall project conformance with La Jolla community character and exterior building materials.

Landscape Review

The Landscape Section has reviewed the plans and has requested revisions including that at least 30% of the total parcel area shall be landscaped.

Environmental

On July 12, 2016, the City of San Diego adopted the Climate Action Plan (CAP) Consistency Checklist, which requires all projects subject to discretionary review to demonstrate consistency with the Climate Action Plan. Please review and complete the CAP Consistency Checklist and demonstrate how this project will implement the requirements within the project plans. A copy of the CAP Consistency Checklist can be found at the following link: https://www.sandiego.gov/sites/default/files/city_of_san_diego_cap_checklist_071316.pdf

The project site is located on the City of San Diego's Historical Resources Sensitivity map within the La Jolla Shores Spindrift archaeological sensitivity area. An archaeological survey with a Native American representative must be conducted.

The Environmental Analysis Section has reviewed the plans and all reviewing disciplines comments. Staff will hold the environmental determination in abeyance until all disciplines review issues have been resolved. A determination as to the appropriate environmental document will be made on all reviewed and submitted information.

- III. **STUDIES/REPORTS REQUIRED:** A number of documents have been identified as necessary to the project's review. A Submittal Requirements Report is enclosed.
- IV. **PROJECT ACCOUNT STATUS:** Our current accounting system does not provide for real-time information regarding account status; however, our records show a positive balance of approximately \$7,749.59 as of the last posting date. This last review has not been posted to your account (Auditor's Office takes 4-6 weeks to post charges). No additional deposit will be required at this time.

- V. RESUBMITTALS/NEXT STEPS:** After the plans and associated documents have been modified pursuant to direction identified within the Cycle Issues Report, please e-mail Jama Vega at JVega@san Diego.gov at least two days in advance for a submittal appointment. Your next review cycle should take approximately 15 working days to complete.
- VI. COMMUNITY PLANNING GROUP:** Staff provides the decision maker with the recommendation from your locally recognized community planning group. If you have not already done so, please contact Cindy Greatrex, Chairperson of the La Jolla Community Planning Association, at 858-456-7900 or info@lajollacpa.org to schedule your project for a recommendation from the group.

City of San Diego information forms and bulletins, project submittal requirements, and the Land Development Code may be accessed online at the Development Services web page www.sandiego.gov/development-services. Community Plans are available on the City Planning webpage at <http://www.sandiego.gov/planning/community/profiles/index.shtml>.

Should you require clarification about specific comments from the staff reviewing team, please contact me, or feel free to contact the reviewer directly. The names and telephone numbers of each reviewer can be found on the enclosed Cycle Issues Report. I may be reached at KBucey@san Diego.gov or (619) 446-5049.

Sincerely,



Karen Bucey
Development Project Manager

Enclosures:

1. Cycle Issues Report
2. Required Findings
3. Submittal Requirements Report

cc: Cindy Greatrex Chair, La Jolla Community Planning Association
Marlon Pangilinan, Community Planner, Planning Department
Reviewing Staff

Cycle Issues



10/7/16 2:53 pm

Page 1 of 10

L64A-003A

THE CITY OF SAN DIEGO
Development Services Department
1222 First Avenue, San Diego, CA 92101-4154

Project Information

Project Nbr: 501936 **Title:** Murphy Residence SDP
Project Mgr: Bucey, Karen (619) 446-5049 Kbucey@sandiego.gov



Review Information

Cycle Type: 2 Submitted (Multi-Discipline) **Submitted:** 09/14/2016 Deemed Complete on 09/14/2016
Reviewing Discipline: Community Planning Group **Cycle Distributed:** 09/14/2016
Reviewer: Bucey, Karen **Assigned:** 09/14/2016
(619) 446-5049 **Started:** 09/14/2016
Kbucey@sandiego.gov **Review Due:** 10/05/2016
Hours of Review: 0.50 **Completed:** 09/14/2016 **COMPLETED ON TIME**
Next Review Method: Submitted (Multi-Discipline) **Closed:** 10/07/2016

- . The review due date was changed to 10/07/2016 from 10/07/2016 per agreement with customer.
- . The reviewer has indicated they want to review this project again. Reason chosen by the reviewer: First Review Issues.
- . We request a 2nd complete submittal for Community Planning Group on this project as: Submitted (Multi-Discipline).
- . The reviewer has requested more documents be submitted.
- . Your project still has 1 outstanding review issues with Community Planning Group (all of which are new).
- . Last month Community Planning Group performed 41 reviews, 65.9% were on-time, and 48.8% were on projects at less than < 3 complete submittals.

New Issue Group (2594840)

La Jolla

<u>Cleared?</u>	<u>Issue</u>	
	<u>Num</u>	<u>Issue Text</u>
<input type="checkbox"/>	1	Please contact the Chair for the La Jolla Community Planning Association at 858.456.7900 or info@lajollacpa.org to schedule your project presentation. This Community Planning Group is officially recognized by the City as a representative of the community, and an advisor to the City in actions that would affect the community. The Development Services Department has provided the group a copy of the project plans and documents. (New Issue)
<input checked="" type="checkbox"/>	2	Projects within La Jolla Shores require a recommendation from the La Jolla Shores Planned District Advisory Board, in addition to the La Jolla Community Planning Association (LDC Section 1510.0105(b)). Contact the City Planner Marlon Pangilinan at 619-235-5293 or MPangilinan@sandiego.gov when ready to schedule your project before the LJSPBAB, which meets the third Tuesday of the month. Presentation materials should include elevations, photographs of surrounding properties, samples of colors, finishes, and special treatments. (New Issue)



Cycle Issues



10/7/16 2:53 pm

Page 2 of 10

L64A-003A

THE CITY OF SAN DIEGO
Development Services Department
1222 First Avenue, San Diego, CA 92101-4154

Review Information

Cycle Type:	2 Submitted (Multi-Discipline)	Submitted:	09/14/2016	Deemed Complete on 09/14/2016
Reviewing Discipline:	LDR-Planning Review	Cycle Distributed:	09/14/2016	
Reviewer:	Stanco Jr, Joseph (619) 446-5373 Jstanco@sandiego.gov	Assigned:	09/15/2016	
Hours of Review:	4.00	Started:	10/05/2016	
Next Review Method:	Submitted (Multi-Discipline)	Review Due:	10/05/2016	
		Completed:	10/07/2016	COMPLETED LATE
		Closed:	10/07/2016	

- . The review due date was changed to 10/07/2016 from 10/07/2016 per agreement with customer.
- . The reviewer has indicated they want to review this project again. Reason chosen by the reviewer: Partial Response to Cmnts/Regs.
- . We request a 2nd complete submittal for LDR-Planning Review on this project as: Submitted (Multi-Discipline).
- . The reviewer has requested more documents be submitted.
- . Your project still has 15 outstanding review issues with LDR-Planning Review (all of which are new).
- . Last month LDR-Planning Review performed 76 reviews, 65.8% were on-time, and 50.0% were on projects at less than < 3 complete submittals.

1ST REVIEW - OCT 2016

Project Information

<u>Cleared?</u>	<u>Issue Num</u>	<u>Issue Text</u>
<input type="checkbox"/>	1	The proposed project is located at 7927 El Paseo Grande, in the Single Family (SF) Zone of the La Jolla Shores Planned District, within the La Jolla Community Plan area, Coastal Overlay Zone (Non-Appealable Area 2), Coastal Height Limit Overlay Zone, La Jolla Shores Archaeological Study Area, Parking Impact Overlay Zone (Beach & Coastal Impact Areas), Residential Tandem Parking Overlay Zone, and the Transit Area Overlay Zone. (New Issue)
<input type="checkbox"/>	2	The proposed project is for a 2,190 sq.ft. addition to an existing 1,717 sq.ft. single dwelling unit, including a 275 sq.ft. guest quarters, for a total of 3,907 sq.ft. on a 6,300 sq.ft. lot. (New Issue)

Permits

<u>Cleared?</u>	<u>Issue Num</u>	<u>Issue Text</u>
<input type="checkbox"/>	3	The proposed project will require a Site Development Permit (SDP), processed in accordance with Process 3 (Hearing Officer as decision-maker, appealable to Planning Commission) for development in the La Jolla Shores Planned District, per Section 1510.0201(d). (New Issue)
<input type="checkbox"/>	4	The Demo Floor Plan (Sheet D101) shows that 51.1 percent of the existing exterior walls will remain, which is exempt from the requirement to obtain a Coastal Development Permit (CDP), per Section 126.0704(a). Please note that a Pre-Demolition inspection will be required at the construction phase prior to construction permit issuance to verify the proposed Coastal demolition percentage. (continued) (New Issue)
<input type="checkbox"/>	5	Planning staff advises the applicant to consider the risks inherent in not processing the Coastal Development Permit (CDP) with the current discretionary application. Please note that the City's decision on a CDP is not appealable to the California Coastal Commission within a non-appealable jurisdiction. In addition, a CDP would not increase the current processing level of the discretionary application. (continued) (New Issue)
<input type="checkbox"/>	6	A CDP will allow greater flexibility during the construction phase. If at any point during construction the Coastal demolition will exceed 50 percent, a stop work order will be issued and a CDP will be required to be processed and approved prior to commencing construction. Any damaged/dry rot structural members discovered during construction would be required to be maintained and treated in place. (New Issue)
<input type="checkbox"/>	7	Please note that since the project site is located within the La Jolla Shores Archaeological Study Area, Environmental staff would need to comment on the potential for the project to impact archaeological resources. Please note that additional comments and/or permit requirements may follow. See Section 143.0210 for more information on Important Archaeological Sites. (New Issue)

Side Setbacks

<u>Cleared?</u>	<u>Issue Num</u>	<u>Issue Text</u>
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For questions regarding the 'LDR-Planning Review' review, please call Joseph Stanco Jr at (619) 446-5373. Project Nbr: 501936 / Cycle: 2





L64A-003A

THE CITY OF SAN DIEGO
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<u>Cleared?</u>	<u>Issue Num</u>	<u>Issue Text</u>
<input type="checkbox"/>	8	Please dimension the range of proposed side setbacks on the site plan. This will illustrate that the propped setbacks are not uniform throughout the length of the building envelope. (New Issue)
Fences/Walls		
<u>Cleared?</u>	<u>Issue Num</u>	<u>Issue Text</u>
<input type="checkbox"/>	9	Please dimension the height of all proposed retaining walls and fences. (New Issue)
Parking		
<u>Cleared?</u>	<u>Issue Num</u>	<u>Issue Text</u>
<input type="checkbox"/>	10	Please demonstrate how the proposed stairs within the garage will provide adequate clearance for a parked vehicle. (New Issue)
Design Regulations		
<u>Cleared?</u>	<u>Issue Num</u>	<u>Issue Text</u>
<input checked="" type="checkbox"/>	11	Based on the current submittal and the information provided, and not including any outstanding review issues, Planning staff finds that the proposed building design is in general conformity with the general design regulations of the La Jolla Shores Planned District, per Section 1510.0301. (continued) (New Issue)
<input checked="" type="checkbox"/>	12	The total Floor Area Ratio (FAR) and Lot Coverage is within the range of other properties in the vicinity, and the proposed front, side and rear setbacks are in general conformance with the existing neighborhood. See Community Plan analysis for additional details on building design and neighborhood compatibility [INFORMATIONAL ITEM]. (New Issue)
Guest Quarters		
<u>Cleared?</u>	<u>Issue Num</u>	<u>Issue Text</u>
<input type="checkbox"/>	13	The roof of the proposed guest quarters will have a 2:12 slope, as indicated on the Roof Plan. Per Section 141.03037(f), guest quarters located above a garage with roofs that slope less than 3:12 are permitted a maximum height of 21 feet. Please demonstrate compliance. (New Issue)
Driveway		
<u>Cleared?</u>	<u>Issue Num</u>	<u>Issue Text</u>
<input type="checkbox"/>	14	In the Parking Impact Overlay Zone, the maximum width of a driveway (curb cut) is 12-feet. Please dimension the width of the driveway. (New Issue)
Community Plan		
<u>Cleared?</u>	<u>Issue Num</u>	<u>Issue Text</u>
<input checked="" type="checkbox"/>	15	The La Jolla Community Plan and Local Coastal Program (LJCP) designates the site as Low Density Residential use (5-9 du/ac). The proposed single dwelling unit on a 6,300 sq.ft. lot is consistent with the residential density identified in the land use plan. (New Issue)
<input checked="" type="checkbox"/>	16	The residential element of the LJCP includes recommendations to maintain and enhance the existing neighborhood character, and to promote visual harmony in the transitions between new and existing structures (page 76). The plan recommends the use of off-setting planes and building articulation to promote transitions between new and older structures. (New Issue)
<input checked="" type="checkbox"/>	17	The neighborhood is developed with single dwelling units of various architectural styles and sizes. The proposed project incorporates offsetting planes, roofline variation, architectural details, the use of balconies and patios, a covered porch entry, and variation in exterior building material that are compatible with the character of the surrounding area [INFORMATIONAL ITEM]. (New Issue)
<input type="checkbox"/>	18	On the elevation sheets, please provide additional details on the exterior building materials and color. (New Issue)

Visual Resources

<u>Cleared?</u>	<u>Issue Num</u>	<u>Issue Text</u>
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L64A-003A

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<u>Cleared?</u>	<u>Issue Num</u>	<u>Issue Text</u>
<input checked="" type="checkbox"/>	19	The project site is not adjacent to a designated public vantage point, as identified in the La Jolla Community Plan, and would not impact any designated visual resources [INFORMATIONAL ITEM]. (New Issue)

Draft Conditions

<u>Cleared?</u>	<u>Issue Num</u>	<u>Issue Text</u>
<input type="checkbox"/>	20	The guest quarters shall not be rented, leased, or sold as a separate dwelling unit. Neither the primary dwelling unit nor the guest quarters shall be sold or conveyed separately. The guest quarters shall be used solely by the occupants of the primary dwelling unit, their guests, or their employees. (New Issue)
<input type="checkbox"/>	21	Owner/Permittee shall maintain a minimum of 2 off-street parking spaces on the property at all times in the approximate locations shown on the approved Exhibit "A." Parking spaces shall comply at all times with the SDMC and shall not be converted for any other use unless otherwise authorized by the appropriate City decision maker in accordance with the SDMC. (New Issue)



Cycle Issues



THE CITY OF SAN DIEGO
Development Services Department
1222 First Avenue, San Diego, CA 92101-4154

10/7/16 2:53 pm

Page 5 of 10

L64A-003A

Review Information

Cycle Type: 2 Submitted (Multi-Discipline)	Submitted: 09/14/2016	Deemed Complete on 09/14/2016
Reviewing Discipline: LDR-Environmental	Cycle Distributed: 09/14/2016	
Reviewer: Sebastian, Lindsey (619) 236-5993 Lsebastian@sandiego.gov	Assigned: 09/14/2016	
	Started: 10/04/2016	
Hours of Review: 3.00	Review Due: 10/07/2016	
Next Review Method: Submitted (Multi-Discipline)	Completed: 10/07/2016	COMPLETED ON TIME
	Closed: 10/07/2016	

- . The reviewer has indicated they want to review this project again. Reason chosen by the reviewer: First Review Issues.
- . We request a 2nd complete submittal for LDR-Environmental on this project as: Submitted (Multi-Discipline).
- . The reviewer has requested more documents be submitted.
- . Your project still has 14 outstanding review issues with LDR-Environmental (all of which are new).
- . Last month LDR-Environmental performed 80 reviews, 86.3% were on-time, and 43.4% were on projects at less than < 3 complete submittals.

1st Exp. Rev. (Cycle 2) 10/16

Project Scope

<u>Cleared?</u>	<u>Issue Num</u>	<u>Issue Text</u>
<input checked="" type="checkbox"/>	1	- INFORMATIONAL ONLY NO RESPONSE NEEDED - - A COASTAL DEVELOPMENT PERMIT to construct a 1,623-square-foot addition to the first floor, and a 1,609-square-foot second story addition to an existing 1,317-square-foot single-family residence. Additionally, the project would construct a 275-square-foot second story addition (studio) to the existing 400-square-foot garage. Various site improvements would also be constructed that include associated hardscape and landscape. (New Issue)
<input checked="" type="checkbox"/>	2	The project would conform to the Affordable/In-Fill Housing and Sustainable Buildings Expedite Program by generating 50 percent or more of the projected total energy consumption on site through renewable energy resources (i.e. photovoltaic). (New Issue)
<input checked="" type="checkbox"/>	3	The 6,300-square-foot (0.144-aces) project site is located at 7927 El Paseo Grande. The project site is designated Low Density Residential (5 - 9 dwelling units per acre) and within the Single Family (SF) Zone of the La Jolla Shores Planned District. Additionally, the project site is within the Coastal Height Limitation Overlay Zone, the Coastal Overlay Zone (Non-Appealable, Area 2), the Parking Impact Overlay Zone (Beach and Coastal Impact Areas), the Residential Tandem Parking Overlay Zone, the Transit Area Overlay Zone, the La Jolla Shores Archaeological Study Area, (New Issue)
<input checked="" type="checkbox"/>	4	and the La Jolla Community Plan and Local Coastal Program. (LEGAL DESCRIPTION: Lot 3 in Block 5 of La Jolla Shores Unit No. 1 according to Map No. 1913.) (New Issue)

Land Use

<u>Cleared?</u>	<u>Issue Num</u>	<u>Issue Text</u>
<input type="checkbox"/>	5	EAS defers to Planning Review on General Plan, community plan, and Land Development Code issues. Per the City's Significance Determination Thresholds, an inconsistency with a land use plan is not in and of itself a significant impact; the inconsistency would have to result in a secondary physical impact. EAS will coordinate with Planning Review staff. (New Issue)

GHG

<u>Cleared?</u>	<u>Issue Num</u>	<u>Issue Text</u>
<input type="checkbox"/>	6	On July 12, 2016, the City of San Diego adopted the Climate Action Plan (CAP) Consistency Checklist, which requires all projects subject to discretionary review to demonstrate consistency with the Climate Action Plan. Please review and complete the CAP Consistency Checklist and demonstrate how this project will implement the requirements within the project plans. A copy of the CAP Consistency Checklist can be found at the following link: (New Issue)
<input type="checkbox"/>	7	https://www.sandiego.gov/sites/default/files/city_of_san_diego_cap_checklist_071316.pdf (New Issue)

Biological Resources

<u>Cleared?</u>	<u>Issue Num</u>	<u>Issue Text</u>
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For questions regarding the 'LDR-Environmental' review, please call Lindsey Sebastian at (619) 236-5993. Project Nbr: 501936 / Cycle: 2





L64A-003A

THE CITY OF SAN DIEGO
Development Services Department
1222 First Avenue, San Diego, CA 92101-4154

<u>Cleared?</u>	<u>Issue Num</u>	<u>Issue Text</u>
<input checked="" type="checkbox"/>	8	- INFORMATIONAL ONLY NO RESPONSE NEEDED- -

The project site is currently developed with an existing single-family residence. Review of aerial and street level photography appears to show that the project site does not contain any sensitive biological resources. The project site does not contain any sensitive riparian habitat or other identified habitat community. Furthermore, the project site does not contain, nor is it adjacent to, MHPA designated lands. All pertinent information will be included within the appropriate environmental document. No further comment is required.
(New Issue)

Geologic Conditions

<u>Cleared?</u>	<u>Issue Num</u>	<u>Issue Text</u>
<input checked="" type="checkbox"/>	9	- INFORMATIONAL ONLY NO RESPONSE NEEDED- -

The project site is located within Geological Hazard Category 52. Hazard Category 52 is characterized as "Other Terrain - other level areas, gently sloping to steep terrain, favorable geologic structure, low risk." Per Information Bulletin 515, Geotechnical Study Requirements, a Geotechnical Report is not required. All pertinent information will be included within the appropriate environmental document. EAS has no further comments related to this issue.
(New Issue)

Historical Res. (Archy)

<u>Cleared?</u>	<u>Issue Num</u>	<u>Issue Text</u>
<input type="checkbox"/>	10	The project site is located on the City of San Diego's Historical Resources Sensitivity map. Furthermore, the project site is located within an area of La Jolla Shores that requires special considerations due to the area's archaeological sensitivity with respect to the Spindrift archaeological site. (New Issue)
<input type="checkbox"/>	11	Based upon review of the site photographs and project plans, the project would include some small disturbance that extends outside of the existing footprint. Therefore, qualified archaeological City staff determined that an archaeological survey with a Native American representative be conducted given the project's scope and location in the Spindrift archaeological special study area. (New Issue)
<input type="checkbox"/>	12	Please provide an archaeological survey per the City of San Diego's Historical Resources Guidelines to determine the presence and/or absence of any archaeological resources within the project's footprint, and identify mitigation measures, if any, and/or recommendations. (New Issue)

Historical Res. (Built Env)

<u>Cleared?</u>	<u>Issue Num</u>	<u>Issue Text</u>
<input checked="" type="checkbox"/>	13	- INFORMATIONAL ONLY NO RESPONSE NEEDED- -
		The existing structure on the project site is over 45 years old. Therefore, Historical Resources staff conducted a historic review of the structure on July 5, 2016 under PTS No. 496475. Historical Resources staff determined that the property does not meet local designation criteria as an individually significant resource under any adopted Historical Resources Board Criteria. Therefore, no historical research report required at this time. (New Issue)
<input type="checkbox"/>	14	This determination is good for 5 years from this date unless new information is provided that speaks to the building's eligibility for designation. Any applications made after 5 years will be subject to review for potential historic resources, consistent with Municipal Code requirements. (New Issue)
<input checked="" type="checkbox"/>	15	All pertinent information will be included within the appropriate environmental document. EAS has no further comments related to this issue. (New Issue)

Water Quality

<u>Cleared?</u>	<u>Issue Num</u>	<u>Issue Text</u>
<input type="checkbox"/>	16	EAS defers to Engineering Review on water quality issues; please refer to Engineering Review comments for additional information and/or clarification. Engineering Review staff has requested additional information, including a Water Quality Study. Please also provide this information to EAS. EAS will coordinate with Engineering Review staff. (New Issue)

Hydrology/Drainage

<u>Cleared?</u>	<u>Issue Num</u>	<u>Issue Text</u>
<input type="checkbox"/>	17	EAS defers to Engineering Review on hydrology/drainage issues; please refer to Engineering Review comments for additional information and/or clarification. Engineering Review staff has requested additional information, including a Grading Data Table with cut/fill and import/export quantities. Please also provide this information to EAS. EAS will coordinate with Engineering Review staff. (New Issue)

Paleontological Resources

<u>Cleared?</u>	<u>Issue Num</u>	<u>Issue Text</u>
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For questions regarding the 'LDR-Environmental' review, please call Lindsey Sebastian at (619) 236-5993. Project Nbr: 501936 / Cycle: 2





L64A-003A

THE CITY OF SAN DIEGO
Development Services Department
1222 First Avenue, San Diego, CA 92101-4154

Issue
Cleared? Num Issue Text

☒ 18 - -INFORMATIONAL ONLY NO RESPONSE NEEDED- -

According to the Geologic Map of the San Diego 30' x 60' Quadrangle, California (Kennedy & Tan, 2005), the project site is underlain by Alluvium which is assigned a low sensitivity rating for paleontological resources. (New Issue)

☒ 19 Consequently, the project would not exceed the threshold to disturb or destroy paleontological resources. All pertinent information will be included within the appropriate environmental document. EAS has no further comments related to this issue. (New Issue)

Landscaping

Issue
Cleared? Num Issue Text

☐ 20 EAS defers to Landscaping Review on landscape issues; please refer to Landscaping Review comments for additional information and/or clarification. Landscaping Review staff has requested additional information. Please also provide this information to EAS. EAS will coordinate with Landscaping Review staff. (New Issue)

Other (Grading)

Issue
Cleared? Num Issue Text

☐ 21 Please provide total amount of soil disturbance that will occur during demolition and construction of the proposed project by adding a grading tabulations table. The City of San Diego's Land Development Manual, Volume I, Chapter 1, Project Submittal Requirements, Section 10.7.2, provides guidance on grading tabulations. (New Issue)

☐ 22 This information is required even if a project is determined to not meet the thresholds necessary to obtain a grading permit, in order for EAS to determine potential impacts. (New Issue)

Other (Sustainable)

Issue
Cleared? Num Issue Text

☒ 23 - -INFORMATIONAL ONLY NO RESPONSE NEEDED- -

The applicant should provide a description and/or detailed information on how the project is consistent with the Conservation Element of the General Plan. Please identify what features will be incorporated into the project design. Please refer to additional comments provided by LDR Planning for further direction. (New Issue)

Other (Deviations)

Issue
Cleared? Num Issue Text

☒ 24 - -INFORMATIONAL ONLY NO RESPONSE NEEDED- -

Should it be determined by Planning Review that deviations are required, please complete and provide the Affordable/In-Fill Housing & Sustainable Buildings Deviation Request Form so that the information can be included within the appropriate environmental document. This information is necessary prior to distribution of the environmental document for public review. (New Issue)

Environmental Determination

Issue
Cleared? Num Issue Text

☐ 25 Until the requested information has been provided, staff is not able to complete the environmental review for the project and the environmental processing timeline will be held in abeyance. EAS will coordinate with the other reviewers as the review progresses regarding any additional potential environmental impacts. (New Issue)

☐ 26 Please be aware that the environmental review may change in response to any project changes and/or new information. Additionally, the new information may lead to the requirement of new and/or additional technical studies. A determination as to the appropriate environmental document will be made based on all reviewed and submitted information. (New Issue)



Cycle Issues



10/7/16 2:53 pm

Page 8 of 10

L64A-003A

THE CITY OF SAN DIEGO
Development Services Department
1222 First Avenue, San Diego, CA 92101-4154

Review Information

Cycle Type:	2 Submitted (Multi-Discipline)	Submitted:	09/14/2016	Deemed Complete on 09/14/2016
Reviewing Discipline:	LDR-Landscaping	Cycle Distributed:	09/14/2016	
Reviewer:	Hunt, Frank	Assigned:	09/15/2016	
	(619) 446-5198	Started:	10/06/2016	
	Fhunt@sandiego.gov	Review Due:	10/05/2016	
Hours of Review:	6.00	Completed:	10/06/2016	COMPLETED LATE
Next Review Method:	Submitted (Multi-Discipline)	Closed:	10/07/2016	

- . The review due date was changed to 10/07/2016 from 10/07/2016 per agreement with customer.
- . The reviewer has indicated they want to review this project again. Reason chosen by the reviewer: First Review Issues.
- . We request a 2nd complete submittal for LDR-Landscaping on this project as: Submitted (Multi-Discipline).
- . The reviewer has requested more documents be submitted.
- . Your project still has 5 outstanding review issues with LDR-Landscaping (all of which are new).
- . Last month LDR-Landscaping performed 27 reviews, 92.6% were on-time, and 34.8% were on projects at less than < 3 complete submittals.

1st Review

<u>Cleared?</u>	<u>Issue Num</u>	<u>Issue Text</u>
<input type="checkbox"/>	1	Landscape Area Diagram (sht. G002): Per [LDC 1510.0304(h)] a minimum 30% of the total parcel area shall be landscaped. Provide a landscape area diagram (separate from the Landscape Plan) that graphically identifies the landscape areas, planting areas, and hardscape areas. Provide square footages of each. (New Issue)
<input type="checkbox"/>	2	Equisetum hyemale (Sht. G002): The Equisetum species is a high water use plant, according to WUCOLS. Substitute the Equisetum hyemale with a more water conservative plant species. (New Issue)
<input type="checkbox"/>	3	Standard Landscape Notes (Sht. G002): Provide the following note on the Landscape Plan "All landscape and irrigation shall conform to the standards of the City-Wide Landscape Regulations and the City of San Diego Land Development Manual Landscape Standards and all other landscape related City and Regional Standards." (New Issue)
<input type="checkbox"/>	4	Provide the following note on the Landscape Plan (Sht. G002): Fill in the blank with who shall be responsible for long-term maintenance (i.e. owner, project association, other): "Maintenance: All required landscape areas shall be maintained by _____. Landscape and irrigation areas in the public right-of-way shall be maintained by _____. The landscape areas shall be maintained free of debris and litter, and all plant material shall be maintained in a healthy growing condition. Diseased or dead plant material shall be satisfactorily treated or replaced per the conditions of the permit." (New Issue)
<input type="checkbox"/>	5	Review: Pending a redesign and/or comments from other reviewing disciplines, Landscape staff reserves the right to provide additional comments on subsequent review cycles. (New Issue)





L64A-003A

THE CITY OF SAN DIEGO
Development Services Department
1222 First Avenue, San Diego, CA 92101-4154

Review Information

Cycle Type: 2 Submitted (Multi-Discipline)	Submitted: 09/14/2016	Deemed Complete on 09/14/2016
Reviewing Discipline: LDR-Engineering Review	Cycle Distributed: 09/14/2016	
Reviewer: Canning, Jack (619) 446-5425 jcanning@sandiego.gov	Assigned: 09/15/2016	
	Started: 10/03/2016	
Hours of Review: 7.00	Review Due: 10/05/2016	
Next Review Method: Submitted (Multi-Discipline)	Completed: 10/04/2016	COMPLETED ON TIME
	Closed: 10/07/2016	

- . The review due date was changed to 10/07/2016 from 10/07/2016 per agreement with customer.
- . The reviewer has indicated they want to review this project again. Reason chosen by the reviewer: First Review Issues.
- . We request a 2nd complete submittal for LDR-Engineering Review on this project as: Submitted (Multi-Discipline).
- . The reviewer has requested more documents be submitted.
- . Your project still has 18 outstanding review issues with LDR-Engineering Review (all of which are new).
- . Last month LDR-Engineering Review performed 68 reviews, 92.6% were on-time, and 39.7% were on projects at less than < 3 complete submittals.

Engineering 1st Review

<u>Cleared?</u>	<u>Issue Num</u>	<u>Issue Text</u>
<input type="checkbox"/>	1	The Engineering Review Section has reviewed the subject development and have the following comments that need to be addressed prior to a Public Hearing. Upon resubmittal, we will complete our review of the Site Development Permit Plans. (New Issue)
<input type="checkbox"/>	2	Project proposes to construct a studio over the existing garage. Access to the studio is proposed by constructing a stair enclosure within the existing garage. This will make one of the two required parking spaces not accessible because the stairs will encroach into the required parking space depth. Revise the design and all Development Plans accordingly. (New Issue)
<input type="checkbox"/>	3	Revise the Landscape/Stormwater Plan Sheet G002 or add a sheet titled Grading Plan. Show the existing and proposed grading contours and spot elevations. Add a Grading Data Table with cut/fill and import/export quantities for the proposed foundations and excavation material disposal. (New Issue)
<input type="checkbox"/>	4	Revise the Landscape/Stormwater Plan Sheet G002. Add a note that states: This project will not block or alter the existing surface drainage flow pattern. (New Issue)
<input type="checkbox"/>	5	Revise the Landscape/Stormwater Plan Sheet G002. Add the source, date and MSL datum of the required topography. (New Issue)
<input type="checkbox"/>	6	Revise the Landscape/Stormwater Plan Sheet G002. Add a Bench Mark per the City of San Diego Vertical Control Book for the required topography. Include the elevation and required MSL Datum. (New Issue)
<input type="checkbox"/>	7	Submit a Water Quality Study that Identifies Pollutants from the Project Area and addresses how the 8 possible Low Impact Development (LID) BMPs and 6 possible Source Control BMPs have been incorporated into the project. (continued below) (New Issue)
<input type="checkbox"/>	8	If any of the 14 possible BMPs have not been used in the project design, add a discussion in the report why the omitted BMPs are not feasible or not applicable.

Please Note: A Water Quality Study is required, not a SWQMP.

For an example of a Water Quality Study - 2016, contact my office at JCanning@SanDiego.gov

City's Storm Water Standards are available online at: <https://www.sandiego.gov/stormwater/regulations>
(New Issue)





L64A-003A

<u>Cleared?</u>	<u>Issue Num</u>	<u>Issue Text</u>
<input type="checkbox"/>	9	Revise the First Floor Plan Sheet A101. Show and dimension the garage parking spaces shown so that there is clear depth for the parking space affected by the location of the stairs. This will require the stair enclosure to be relocated accordingly. (New Issue)
<input type="checkbox"/>	10	Revise the Landscape/Stormwater Plan Sheet G002. Show and call out to reconstruct the sidewalk, maintaining the existing sidewalk scoring pattern and preserving any contractor's stamp, adjacent to the site on El Paseo Grande. (New Issue)
<input type="checkbox"/>	11	Revise the Site Plan Sheet A-01. Change how the alley access gate opens. Add a note that states: No alley access gate shall swing open into the alley Right-of-Way. (New Issue)
<input type="checkbox"/>	12	Revise the Landscape/Stormwater Plan Sheet G002. The existing driveway on El Paseo Grande is damaged and not ADA compliant. Show and call out the driveway shall be reconstructed to current City Standards with a 12 ft wide Concrete Driveway. Per San Diego Municipal Code Section 142.0521(d), the curb opening shall be located a minimum of 3 feet from the side property line to accommodate a standard driveway apron. Show and call out the 3 ft distance of full height curb from the street light to the start of driveway curb opening. (New Issue)
<input type="checkbox"/>	13	Revise the Landscape/Stormwater Plan Sheet G002. Add the visibility area triangles, per San Diego Municipal Code Diagram 113-02SS for the driveway on El Paseo Grande. Show the visibility areas on private property which shall extend 10 feet inward along the driveway and along the property line. Add a note that states: No obstruction including solid walls in the visibility area shall exceed 3 feet in height. Plant material, other than trees, within the public right-of-way that is located within visibility areas shall not exceed 24 inches in height, measured from the top of the adjacent curb. (New Issue)
<input type="checkbox"/>	14	Revise the Landscape/Stormwater Plan Sheet G002. Add a note that states: Prior to the issuance of any construction permit, the Owner/Permittee shall obtain an Encroachment Maintenance Removal Agreement for the proposed private permeable pavers encroaching into the El Paseo Grande Right-of-Way, satisfactory to the City Engineer. (New Issue)
<input type="checkbox"/>	15	Revise the Landscape/Stormwater Plan Sheet G002. Add a note that states: Prior to the issuance of any construction permit, the Owner/Permittee shall incorporate any construction Best Management Practices necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the San Diego Municipal Code, into the construction plans or specifications. (New Issue)
<input type="checkbox"/>	16	Revise the Landscape/Stormwater Plan Sheet G002. Add a note that states: Prior to the issuance of any construction permit the Owner/Permittee shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be prepared in accordance with the guidelines in Part 2 Construction BMP Standards Chapter 4 of the City's Storm Water Standards. (New Issue)
<input type="checkbox"/>	17	Development Permit Conditions will be determined on the next submittal when all requested information is provided. (New Issue)
<input type="checkbox"/>	18	Additional comments may be recommended pending further review of any redesign of this project. These comments are not exclusive. Should you have any questions or comments, please call Jack Canning at 619 446-5425. (New Issue)



Submittal Requirements



THE CITY OF SAN DIEGO
Development Services Department
1222 First Avenue, San Diego, CA 92101-4154

10/7/16 3:57 pm

Page 1 of 1

L64A-001

Project Information

Project Nbr: 501936 **Title:** Murphy Residence SDP
Project Mgr: Bucey, Karen (619)446-5049 Kbucey@sandiego.gov



Review Cycle Information

Review Cycle: 4 Submitted (Multi-Discipline)

Opened: 10/07/2016 2:43 pm

Submitted:

Due:

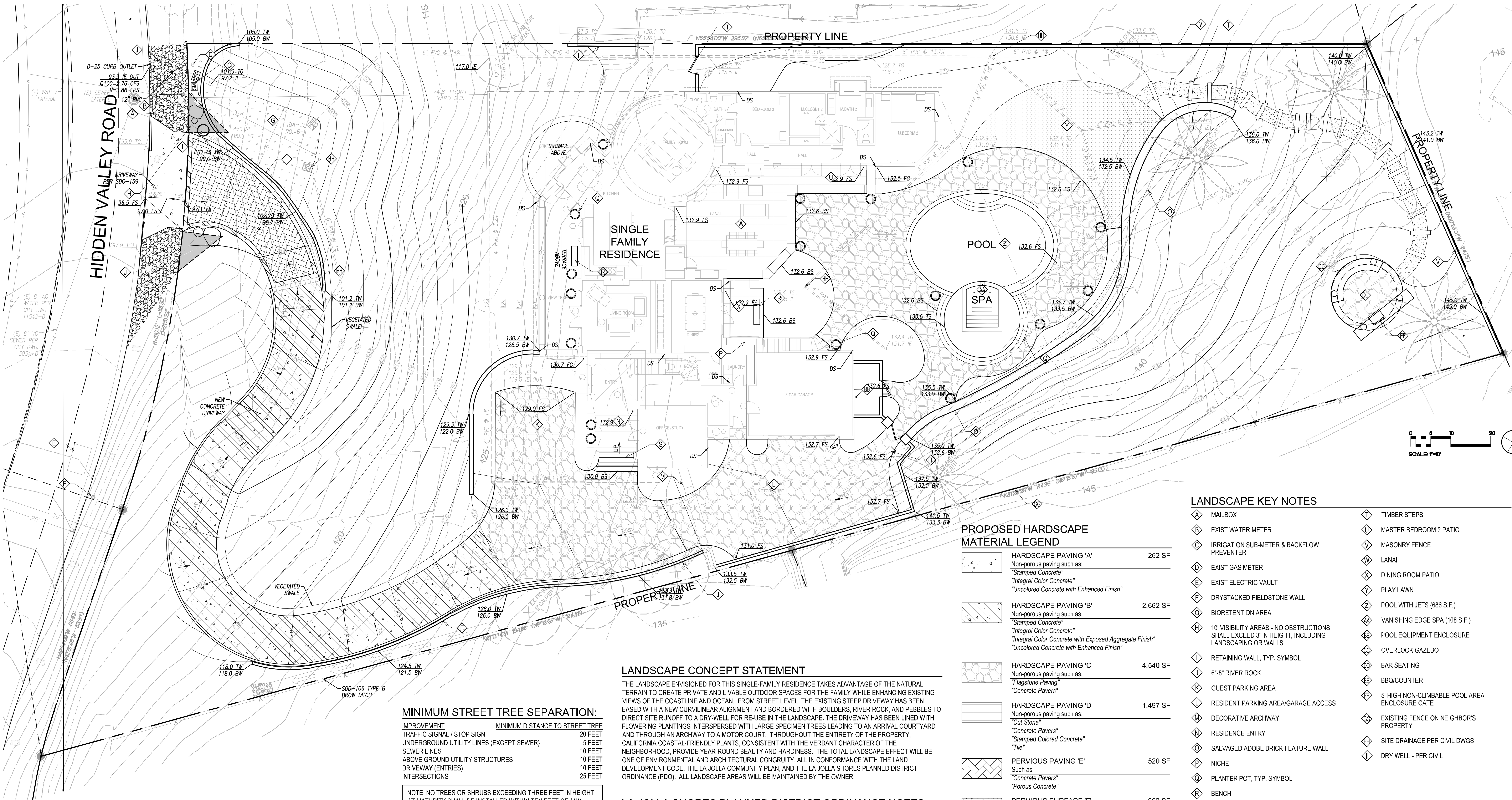
Closed:

Required Documents:

<u>Package Type</u>	<u>Pkg Qty</u>	<u>Document Type</u>	<u>Qty Needed</u>
Archaeological Report	2	Archaeological Report	2
Water Quality Study	3	Water Quality Study	3
Dev. Plans reduced 11x17	2	Dev. Plans reduced 11x17	2
Climate Action Plan Consistency Checklist	2	Climate Action Plan Consistency Checklist	2
Development Plans	4	Site Development Plans	4

Please provide an annotated response letter for each full size and reduced size plan set for a total of 6.
Given the limited storage please provide full size plan sets folded to 8.5 x 11" size. Additionally, to the extent feasible please provide submittal materials (other than full size plan sets) as two sided copies.





- GENERAL NOTES:**
- THE LANDSCAPE PLAN IS FOR GENERAL SITE REFERENCE ONLY. REFER TO OTHER CONSTRUCTION DOCUMENTS FOR COMPLETE SCOPE OF WORK.
 - BEFORE COMMENCING ANY SITE EXCAVATION, VERIFY LOCATIONS OF ALL EXISTING SITE UTILITIES, INCLUDING WATER SEWER, GAS, AND ELECTRICAL LINES. FLAG OR OTHERWISE MARK ALL LOCATIONS AND INDICATE UTILITY TYPE.
 - GRADE SITE TO DIRECT GROUND WATER AWAY FROM BUILDING AND NEW ADDITIONS. LANDSCAPE DRAINS SHALL BE INSTALLED AT LOW POINTS TO REDUCE RUNOFF CROSSING PATHS AND PAVING.
 - LOCATE REFUSE BIN AT APPROVED ON-SITE LOCATION. CONTRACTOR SHALL DISPOSE OF ALL SITE REFUSE AT CITY-APPROVED LOCATIONS.
 - ALL REQUIRED PLANTING AREAS SHALL BE COVERED WITH MULCH TO A MINIMUM DEPTH OF 2 INCHES, EXCLUDING SLOPES REQUIRING RE-VEGETATION AND AREAS TO BE PLANTED WITH GROUND COVER. ALL EXPOSED SOIL AREAS WITHOUT VEGETATION SHALL ALSO BE MULCHED TO THIS MINIMUM DEPTH.
 - ALL REQUIRED TREES SHALL HAVE AT LEAST ONE WELL DEFINED TRUNK AND SHALL NORMALLY ATTAIN A MATURE HEIGHT AND SPREAD OF AT LEAST 15 FEET. ALL PROPOSED STREET TREE PALMS SHALL HAVE A MINIMUM BROWN TRUNK HEIGHT (BTH) OF 10 FEET.
 - PROPOSED LANDSCAPING SHALL NOT CONFLICT WITH EXISTING UTILITIES.
 - PROPOSED UTILITIES SHALL NOT CONFLICT WITH PROPOSED LANDSCAPING.
 - TREE ROOT BARRIERS SHALL BE INSTALLED WHERE TREES ARE PLACED WITHIN 5 FEET OF PUBLIC IMPROVEMENTS INCLUDING WALKS, CURBS, OR STREET PAVEMENTS, OR WHERE NEW PUBLIC IMPROVEMENTS ARE PLACED ADJACENT TO EXISTING TREES. THE ROOT BARRIER SHALL NOT WRAP AROUND THE ROOT BALL.
 - MAINTENANCE: ALL REQUIRED LANDSCAPE AREAS SHALL BE MAINTAINED BY OWNER. THE LANDSCAPE AREAS SHALL BE MAINTAINED FREE OF DEBRIS AND LITTER, AND ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION. DISEASED OR DEAD PLANT MATERIAL SHALL BE SATISFACTORILY TREATED OR REPLACED PER THE CONDITIONS OF THE PERMIT.
 - ALL LANDSCAPE AND IRRIGATION SHALL CONFORM TO THE CITY OF SAN DIEGO'S LAND DEVELOPMENT MANUAL, LANDSCAPE STANDARDS, THE LA JOLLA SHORES PLANNED DISTRICT ORDINANCE, AND ALL OTHER CITY AND REGIONAL STANDARDS.
 - ALL REQUIRED LANDSCAPE SHALL BE MAINTAINED IN A DISEASE, WEED, AND LITTER FREE CONDITION AT ALL TIMES. SEVERE PRUNING OR "TOPPING" OF TREES IS NOT PERMITTED UNLESS SPECIFICALLY NOTED IN THIS PERMIT.
 - ANY MODIFICATIONS OR CHANGES TO THE "LANDSCAPE PLAN" AND EXISTING OR PROPOSED PLANT MATERIAL, AS SHOWN ON THE APPROVED EXHIBIT "A", LANDSCAPE DEVELOPMENT PLAN, IS PERMITTED PROVIDED THE RESULTING LANDSCAPE MEETS THE MINIMUM AREA REQUIREMENTS OF THE LA JOLLA SHORES PLANNED DISTRICT ORDINANCE.
 - IF ANY REQUIRED LANDSCAPE (INCLUDING EXISTING OR NEW PLANTINGS, HARDSCAPE, LANDSCAPE FEATURES, ETC.) INDICATED ON THE APPROVED CONSTRUCTION DOCUMENT PLANS IS DAMAGED OR REMOVED DURING DEMOLITION OR CONSTRUCTION, IT SHALL BE REPAIRED AND/OR REPLACED IN KIND AND EQUIVALENT SIZE PER THE APPROVED DOCUMENTS TO THE SATISFACTION OF THE DEVELOPMENT SERVICES DEPARTMENT WITHIN 30 DAYS OF DAMAGE OR FINAL INSPECTION.
 - ALL GRADED, DISTURBED, OR ERODED AREAS THAT WILL NOT BE PERMANENTLY PAVED OR COVERED BY STRUCTURES SHALL BE PERMANENTLY RE-VEGETATED AND IRRIGATED AS SHOWN IN SAN DIEGO MUNICIPAL CODE (SDMC) TABLE 142-04F AND IN ACCORDANCE WITH THE STANDARDS IN THE LAND DEVELOPMENT MANUAL.
 - A MINIMUM ROOT ZONE OF 40 SQUARE FEET IN AREA SHALL BE PROVIDED FOR ALL TREES. THE MINIMUM DIMENSION FOR THIS AREA SHALL BE 6 FEET. PER SDMC 142.0403(B)(5).
 - TREES SHALL BE MAINTAINED SO THAT ALL BRANCHES OVER PEDESTRIAN WALKWAYS ARE 6 FEET ABOVE THE WALKWAY GRADE AND BRANCHES OVER VEHICULAR TRAVEL WAYS ARE 16 FEET ABOVE THE GRADE OF THE TRAVEL WAY PER SDMC 142.0403(B)(10).
 - EXISTING TREES TO REMAIN ON SITE WITHIN THE AREA OF WORK SHALL BE PROTECTED IN PLACE. THE FOLLOWING PROTECTION MEASURES SHALL BE PROVIDED:
 - A BRIGHT YELLOW OR ORANGE TEMPORARY FENCE SHALL BE PLACED AROUND EXISTING TREES AT THE DRIP LINE.
 - STOCKPILING, TOPSOIL, DISTURBANCE, VEHICLE USE, AND MATERIAL STORAGE OF ANY KIND IS PROHIBITED WITHIN THE DRIP LINE.
 - A TREE WATERING SCHEDULE SHALL BE MAINTAINED AND DOCUMENTED DURING CONSTRUCTION.
 - ALL DAMAGED TREES SHALL BE REPLACED WITH ONE OF EQUAL OR GREATER SIZE.

IMPROVEMENT	MINIMUM DISTANCE TO STREET TREE
TRAFFIC SIGNAL / STOP SIGN	20 FEET
UNDERGROUND UTILITY LINES (EXCEPT SEWER)	5 FEET
SEWER LINES	10 FEET
ABOVE GROUND UTILITY STRUCTURES	10 FEET
DRIVEWAY (ENTRIES)	10 FEET
INTERSECTIONS	25 FEET

NOTE: NO TREES OR SHRUBS EXCEEDING THREE FEET IN HEIGHT AT MATURITY SHALL BE INSTALLED WITHIN TEN FEET OF ANY SEWER FACILITIES AND FIVE FEET OF ANY WATER UTILITIES.

LANDSCAPE CONCEPT STATEMENT

THE LANDSCAPE ENVISIONED FOR THIS SINGLE-FAMILY RESIDENCE TAKES ADVANTAGE OF THE NATURAL TERRAIN TO CREATE PRIVATE AND LIVABLE OUTDOOR SPACES FOR THE FAMILY WHILE ENHANCING EXISTING VIEWS OF THE COASTLINE AND OCEAN. FROM STREET LEVEL, THE EXISTING STEEP DRIVEWAY HAS BEEN EASED WITH A NEW CURVILINEAR ALIGNMENT AND BORDERED WITH BOULDERS, RIVER ROCK, AND PEBBLES TO DIRECT SITE RUNOFF TO A DRY-WELL FOR RE-USE IN THE LANDSCAPE. THE DRIVEWAY HAS BEEN LINED WITH FLOWERING PLANTINGS INTERSPERSED WITH LARGE SPECIMEN TREES LEADING TO AN ARRIVAL COURTYARD AND THROUGH AN ARCHWAY TO A MOTOR COURT. THROUGHOUT THE ENTIRETY OF THE PROPERTY, CALIFORNIA COASTAL-FRIENDLY PLANTS, CONSISTENT WITH THE VERDANT CHARACTER OF THE NEIGHBORHOOD, PROVIDE YEAR-ROUND BEAUTY AND HARDINESS. THE TOTAL LANDSCAPE EFFECT WILL BE ONE OF ENVIRONMENTAL AND ARCHITECTURAL CONGRUITY, ALL IN CONFORMANCE WITH THE LAND DEVELOPMENT CODE, THE LA JOLLA COMMUNITY PLAN, AND THE LA JOLLA SHORES PLANNED DISTRICT ORDINANCE (PDO). ALL LANDSCAPE AREAS WILL BE MAINTAINED BY THE OWNER.

- LA JOLLA SHORES PLANNED DISTRICT ORDINANCE NOTES:**
- IN THE SINGLE-FAMILY ZONE, ALL OF THE PROPERTY NOT USED OR OCCUPIED BY STRUCTURES, UNPLANTED RECREATIONAL AREAS, WALKS AND DRIVEWAYS SHALL BE LANDSCAPED AND MAY INCLUDE NATIVE MATERIALS, AND IN NO CASE SHALL THIS LANDSCAPED AREA BE LESS THAN 30 PERCENT OF THE TOTAL PARCEL AREA. ALL LANDSCAPING AND IRRIGATION SHALL BE DEVELOPED IN CONFORMANCE WITH THE LANDSCAPE GUIDELINES OF THE LAND DEVELOPMENT MANUAL.
 - ALL LANDSCAPING SHALL BE COMPLETED WITHIN 6 MONTHS OF OCCUPANCY OR WITHIN ONE YEAR OF THE NOTICE OF COMPLETION OF A RESIDENCE.
 - ALL LANDSCAPED MATERIALS SHALL BE PERMANENTLY MAINTAINED IN A GROWING AND HEALTHY CONDITION INCLUDING TRIMMING AS APPROPRIATE TO THE LANDSCAPING MATERIAL.

- DRAINAGE NOTES:**
- THE DRAINAGE SYSTEM FOR THIS PROJECT SHALL BE PRIVATE AND WILL BE SUBJECT TO APPROVAL BY THE CITY ENGINEER.
 - ALL DEVELOPMENT SHALL BE CONDUCTED TO PREVENT EROSION AND STOP SEDIMENT AND POLLUTANTS FROM LEAVING THE PROPERTY TO THE MAXIMUM EXTENT PRACTICABLE.
 - ALL ROOF DRAINS AND FLATWORK SHALL DRAIN POSITIVELY INTO STORM DRAINAGE SYSTEM. SURFACE RUNOFF SHALL NOT DRAIN DIRECTLY INTO THE ADJOINING PROPERTY, AND CONSTRUCTION RUNOFF MAY NOT DRAIN INTO THE STORMWATER CONVEYANCE SYSTEM.

- IRRIGATION NOTES:**
- ALL PLANTING AREAS SHALL BE IRRIGATED BY A DEDICATED, BACKFLOW-PREVENTED IRRIGATION SYSTEM WITH AN IRRIGATION SUB-METER, ACCORDING TO PLANT TYPE AND ENVIRONMENTAL EXPOSURE AND SHALL RECEIVE UNIFORM WATER COVERAGE BY MEANS OF A HIGH EFFICIENCY, AUTOMATICALLY CONTROLLED, ELECTRICALLY ACTUATED, UNDERGROUND PIPED SPRINKLER SYSTEM. FOR WATER CONSERVATION AND TO MINIMIZE EROSION, STATE OF THE ART LOW PRECIPITATION RATE SPRINKLER EQUIPMENT SHALL BE USED. IRRIGATION MAINLINE PIPING SHALL BE PVC PLASTIC (TYPE 1120) CLASS 315 PRESSURE PIPE, AND LATERAL LINE PIPING SHALL BE SCHEDULE 40 NON-PRESSURE PIPE. PRESSURE LINES SHALL BE INSTALLED 18" DEEP, AND NON-PRESSURE LINES 12" DEEP. A MASTER VALVE AND FLOW SENSOR SHALL BE INSTALLED TO MINIMIZE DAMAGE IN THE CASE OF A VALVE FAILURE OR MAINLINE BREAK. A SEPARATE HOSE BIB MAINLINE SHALL BE INSTALLED UPSTREAM OF THE MASTER VALVE AND EACH HOSE BIB SHALL BE FITTED WITH AN ATMOSPHERIC VACUUM BREAKER.
 - ALL PROPOSED IRRIGATION SYSTEMS WILL USE AN APPROVED RAIN SENSOR SHUTOFF DEVICE.
 - EXISTING STREET TREES LOCATED IN THE PUBLIC RIGHT-OF-WAY SHALL BE IRRIGATED BY A HOMEOWNER-FUNDED AND MAINTAINED, DEEP-WATERING, LOW-VOLUME BUBBLER.

PROPOSED HARDSCAPE MATERIAL LEGEND	
	HARDSCAPE PAVING 'A' Non-porous paving such as: "Stamped Concrete" "Integral Color Concrete" "Uncolored Concrete with Enhanced Finish" 262 SF
	HARDSCAPE PAVING 'B' Non-porous paving such as: "Stamped Concrete" "Integral Color Concrete" "Integral Color Concrete with Exposed Aggregate Finish" "Uncolored Concrete with Enhanced Finish" 2,662 SF
	HARDSCAPE PAVING 'C' Non-porous paving such as: "Flagstone Paving" "Concrete Pavers" 4,540 SF
	HARDSCAPE PAVING 'D' Non-porous paving such as: "Cut Stone" "Concrete Pavers" "Stamped Colored Concrete" "Tile" 1,497 SF
	PERVIOUS PAVING 'E' Such as: "Concrete Pavers" "Porous Concrete" 520 SF
	PERVIOUS SURFACE 'F' Such as: "Stabilized Decomposed Granite" "Interlocking Pavers" 893 SF

LANDSCAPE KEY NOTES	
	MAILBOX
	EXIST WATER METER
	IRRIGATION SUB-METER & BACKFLOW PREVENTER
	EXIST GAS METER
	EXIST ELECTRIC VAULT
	DRYSTACKED FIELDSTONE WALL
	BIORETENTION AREA
	10' VISIBILITY AREAS - NO OBSTRUCTIONS SHALL EXCEED 3' IN HEIGHT, INCLUDING LANDSCAPING OR WALLS
	RETAINING WALL, TYP. SYMBOL
	6'-8" RIVER ROCK
	GUEST PARKING AREA
	RESIDENT PARKING AREA/GARAGE ACCESS
	DECORATIVE ARCHWAY
	RESIDENCE ENTRY
	SALVAGED ADOBE BRICK FEATURE WALL
	NICHE
	PLANTER POT, TYP. SYMBOL
	BENCH
	STAIRS
	TIMBER STEPS
	MASTER BEDROOM 2 PATIO
	MASONRY FENCE
	LANAI
	DINING ROOM PATIO
	PLAY LAWN
	POOL WITH JETS (686 S.F.)
	VANISHING EDGE SPA (108 S.F.)
	POOL EQUIPMENT ENCLOSURE
	OVERLOOK GAZEBO
	BAR SEATING
	BBQ/COUNTER
	5' HIGH NON-CLIMBABLE POOL AREA ENCLOSURE GATE
	EXISTING FENCE ON NEIGHBOR'S PROPERTY
	SITE DRAINAGE PER CIVIL DWGS
	DRY WELL - PER CIVIL

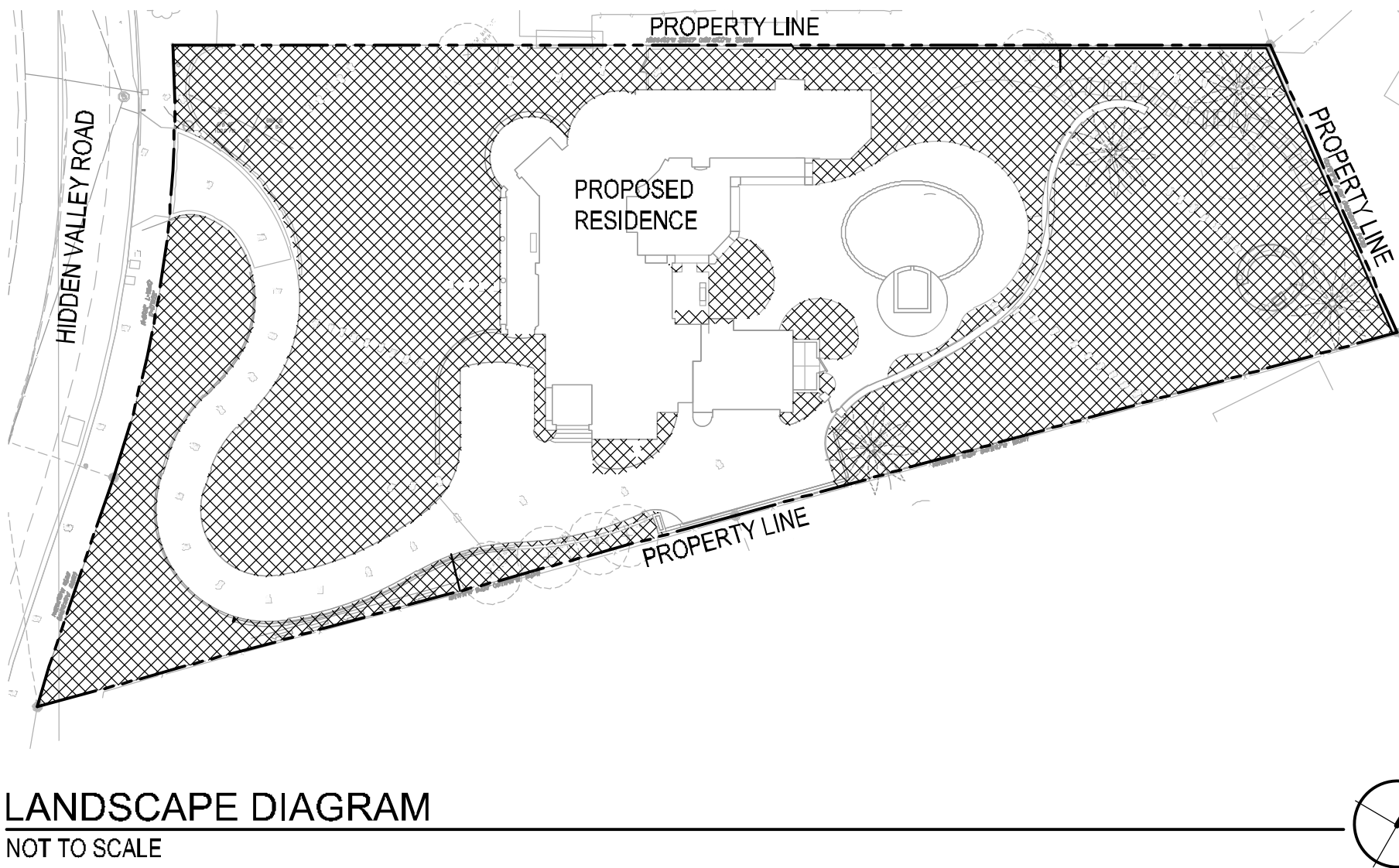
LA JOLLA SHORES PLANNED DISTRICT ORDINANCE LANDSCAPE CALCULATIONS:

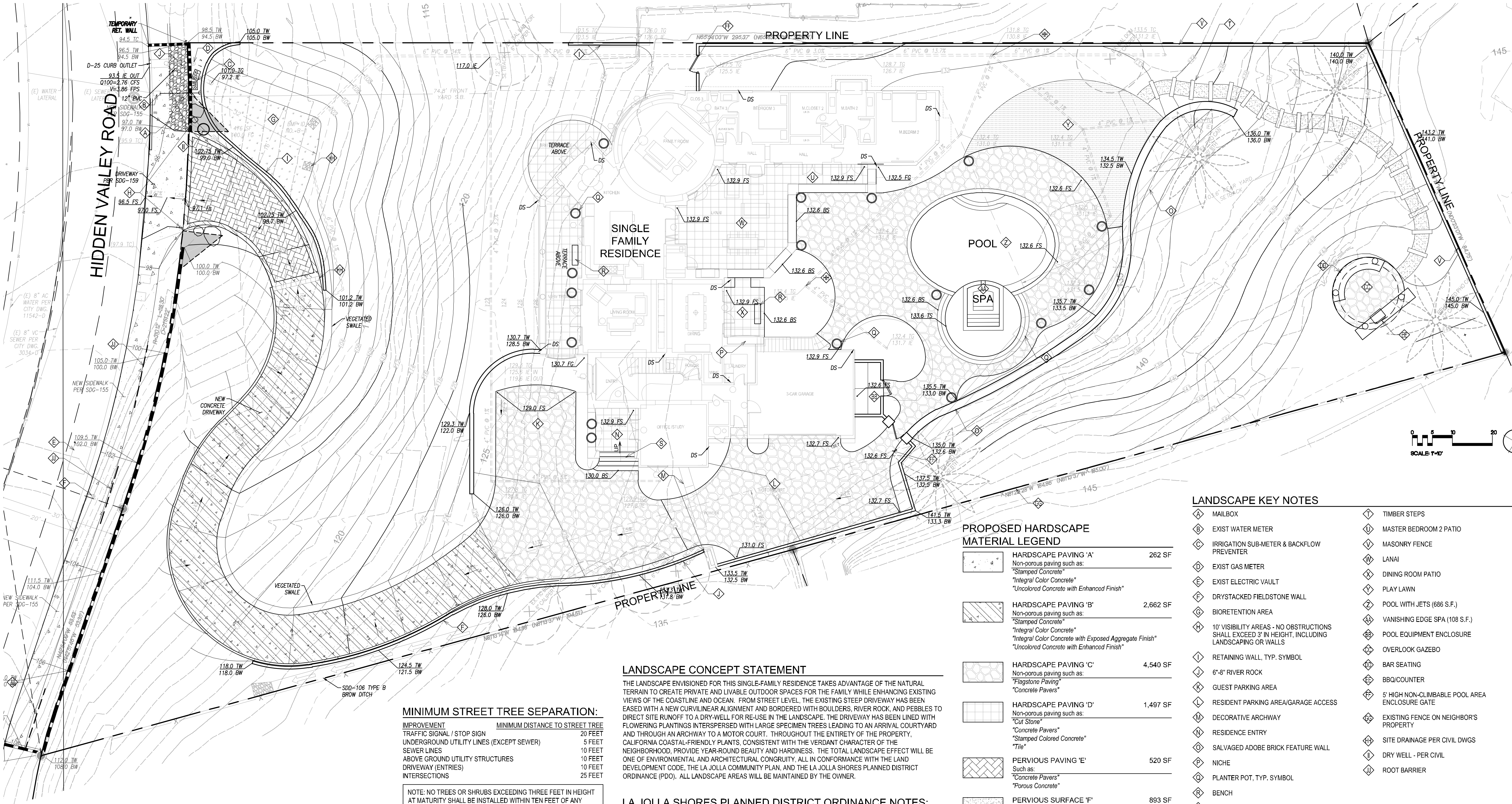
SINGLE DWELLING UNIT LANDSCAPE REQUIREMENTS:
ALL OF THE LANDSCAPE TO MEET THE 30% AREA REQUIREMENT SHALL BE INSTALLED IN ACCORDANCE WITH THE LA JOLLA SHORES PLANNED DISTRICT ORDINANCE (LDC 1510.0304(H)).

LANDSCAPE CALCULATIONS	
TOTAL PARCEL AREA:	41,144 S.F.
PLANTING AREA REQUIRED:	12,343 S.F. (30%)
PLANTING AREA PROVIDED:	25,220 S.F. (61%)
EXCESS AREA PROVIDED:	12,877 S.F.

LEGEND

PLANTING AREA	
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 - ALL REQUIRED TREES SHALL HAVE AT LEAST ONE WELL DEFINED TRUNK AND SHALL NORMALLY ATTAIN A MATURE HEIGHT AND SPREAD OF AT LEAST 15 FEET. ALL PROPOSED STREET TREE PALMS SHALL HAVE A MINIMUM BROWN TRUNK HEIGHT (BTH) OF 10 FEET.
 - PROPOSED LANDSCAPING SHALL NOT CONFLICT WITH EXISTING UTILITIES.
 - PROPOSED UTILITIES SHALL NOT CONFLICT WITH PROPOSED LANDSCAPING.
 - TREE ROOT BARRIERS SHALL BE INSTALLED WHERE TREES ARE PLACED WITHIN 5 FEET OF PUBLIC IMPROVEMENTS INCLUDING WALKS, CURBS, OR STREET PAVEMENTS, OR WHERE NEW PUBLIC IMPROVEMENTS ARE PLACED ADJACENT TO EXISTING TREES. THE ROOT BARRIER SHALL NOT WRAP AROUND THE ROOT BALL.
 - MAINTENANCE: ALL REQUIRED LANDSCAPE AREAS SHALL BE MAINTAINED BY OWNER. THE LANDSCAPE AREAS SHALL BE MAINTAINED FREE OF DEBRIS AND LITTER, AND ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION. DISEASED OR DEAD PLANT MATERIAL SHALL BE SATISFACTORILY TREATED OR REPLACED PER THE CONDITIONS OF THE PERMIT.
 - ALL LANDSCAPE AND IRRIGATION SHALL CONFORM TO THE CITY OF SAN DIEGO'S LAND DEVELOPMENT MANUAL, LANDSCAPE STANDARDS, THE LA JOLLA SHORES PLANNED DISTRICT ORDINANCE, AND ALL OTHER CITY AND REGIONAL STANDARDS.
 - ALL REQUIRED LANDSCAPE SHALL BE MAINTAINED IN A DISEASE, WEED, AND LITTER FREE CONDITION AT ALL TIMES. SEVERE PRUNING OR "TOPPING" OF TREES IS NOT PERMITTED UNLESS SPECIFICALLY NOTED IN THIS PERMIT.
 - ANY MODIFICATIONS OR CHANGES TO THE "LANDSCAPE PLAN" AND EXISTING OR PROPOSED PLANT MATERIAL, AS SHOWN ON THE APPROVED EXHIBIT "A", LANDSCAPE DEVELOPMENT PLAN, IS PERMITTED PROVIDED THE RESULTING LANDSCAPE MEETS THE MINIMUM AREA REQUIREMENTS OF THE LA JOLLA SHORES PLANNED DISTRICT ORDINANCE.
 - IF ANY REQUIRED LANDSCAPE (INCLUDING EXISTING OR NEW PLANTINGS, HARDSCAPE, LANDSCAPE FEATURES, ETC.) INDICATED ON THE APPROVED CONSTRUCTION DOCUMENT PLANS IS DAMAGED OR REMOVED DURING DEMOLITION OR CONSTRUCTION, IT SHALL BE REPAIRED AND/OR REPLACED IN KIND AND EQUIVALENT SIZE PER THE APPROVED DOCUMENTS TO THE SATISFACTION OF THE DEVELOPMENT SERVICES DEPARTMENT WITHIN 30 DAYS OF DAMAGE OR FINAL INSPECTION.
 - ALL GRADED, DISTURBED, OR ERODED AREAS THAT WILL NOT BE PERMANENTLY PAVED OR COVERED BY STRUCTURES SHALL BE PERMANENTLY RE-VEGETATED AND IRRIGATED AS SHOWN IN SAN DIEGO MUNICIPAL CODE (SDMC) TABLE 142-047 AND IN ACCORDANCE WITH THE STANDARDS IN THE LAND DEVELOPMENT MANUAL.
 - A MINIMUM ROOT ZONE OF 40 SQUARE FEET IN AREA SHALL BE PROVIDED FOR ALL TREES. THE MINIMUM DIMENSION FOR THIS AREA SHALL BE 6 FEET. PER SDMC 142.0403(B)(5).
 - TREES SHALL BE MAINTAINED SO THAT ALL BRANCHES OVER PEDESTRIAN WALKWAYS ARE 6 FEET ABOVE THE WALKWAY GRADE AND BRANCHES OVER VEHICULAR TRAVEL WAYS ARE 16 FEET ABOVE THE GRADE OF THE TRAVEL WAY PER SDMC 142.0403(B)(10).
 - EXISTING TREES TO REMAIN ON SITE WITHIN THE AREA OF WORK SHALL BE PROTECTED IN PLACE. THE FOLLOWING PROTECTION MEASURES SHALL BE PROVIDED:
 - A BRIGHT YELLOW OR ORANGE TEMPORARY FENCE SHALL BE PLACED AROUND EXISTING TREES AT THE DRIP LINE.
 - STOCKPILING, TOPSOIL, DISTURBANCE, VEHICLE USE, AND MATERIAL STORAGE OF ANY KIND IS PROHIBITED WITHIN THE DRIP LINE.
 - A TREE WATERING SCHEDULE SHALL BE MAINTAINED AND DOCUMENTED DURING CONSTRUCTION.
 - ALL DAMAGED TREES SHALL BE REPLACED WITH ONE OF EQUAL OR GREATER SIZE.

LANDSCAPE CONCEPT STATEMENT





































THE LANDSCAPE ENVISIONED FOR THIS SINGLE-FAMILY RESIDENCE TAKES ADVANTAGE OF THE NATURAL TERRAIN TO CREATE PRIVATE AND LIVABLE OUTDOOR SPACES FOR THE FAMILY WHILE ENHANCING EXISTING VIEWS OF THE COASTLINE AND OCEAN. FROM STREET LEVEL, THE EXISTING STEEP DRIVEWAY HAS BEEN EASED WITH A NEW CURVILINEAR ALIGNMENT AND BORDERED WITH BOULDERS, RIVER ROCK, AND PEBBLES TO DIRECT SITE RUNOFF TO A DRY-WELL FOR RE-USE IN THE LANDSCAPE. THE DRIVEWAY HAS BEEN LINED WITH FLOWERING PLANTINGS INTERSPERSED WITH LARGE SPECIMEN TREES LEADING TO AN ARRIVAL COURTYARD AND THROUGH AN ARCHWAY TO A MOTOR COURT. THROUGHOUT THE ENTIRETY OF THE PROPERTY, CALIFORNIA COASTAL-FRIENDLY PLANTS, CONSISTENT WITH THE VERDANT CHARACTER OF THE NEIGHBORHOOD, PROVIDE YEAR-ROUND BEAUTY AND HARDINESS. THE TOTAL LANDSCAPE EFFECT WILL BE ONE OF ENVIRONMENTAL AND ARCHITECTURAL CONGRUITY, ALL IN CONFORMANCE WITH THE LAND DEVELOPMENT CODE, THE LA JOLLA COMMUNITY PLAN, AND THE LA JOLLA SHORES PLANNED DISTRICT ORDINANCE (PDO). ALL LANDSCAPE AREAS WILL BE MAINTAINED BY THE OWNER.

- LA JOLLA SHORES PLANNED DISTRICT ORDINANCE NOTES:**
- IN THE SINGLE-FAMILY ZONE, ALL OF THE PROPERTY NOT USED OR OCCUPIED BY STRUCTURES, UNPLANTED RECREATIONAL AREAS, WALKS AND DRIVEWAYS SHALL BE LANDSCAPED AND MAY INCLUDE NATIVE MATERIALS, AND IN NO CASE SHALL THIS LANDSCAPED AREA BE LESS THAN 30 PERCENT OF THE TOTAL PARCEL AREA. ALL LANDSCAPING AND IRRIGATION SHALL BE DEVELOPED IN CONFORMANCE WITH THE LANDSCAPE GUIDELINES OF THE LAND DEVELOPMENT MANUAL.
 - ALL LANDSCAPING SHALL BE COMPLETED WITHIN 6 MONTHS OF OCCUPANCY OR WITHIN ONE YEAR OF THE NOTICE OF COMPLETION OF A RESIDENCE.
 - ALL LANDSCAPED MATERIALS SHALL BE PERMANENTLY MAINTAINED IN A GROWING AND HEALTHY CONDITION INCLUDING TRIMMING AS APPROPRIATE TO THE LANDSCAPING MATERIAL.

- DRAINAGE NOTES:**
- THE DRAINAGE SYSTEM FOR THIS PROJECT SHALL BE PRIVATE AND WILL BE SUBJECT TO APPROVAL BY THE CITY ENGINEER.
 - ALL DEVELOPMENT SHALL BE CONDUCTED TO PREVENT EROSION AND STOP SEDIMENT AND POLLUTANTS FROM LEAVING THE PROPERTY TO THE MAXIMUM EXTENT PRACTICABLE.
 - ALL ROOF DRAINS AND FLATWORK SHALL DRAIN POSITIVELY INTO STORM DRAINAGE SYSTEM. SURFACE RUNOFF SHALL NOT DRAIN DIRECTLY INTO THE ADJOINING PROPERTY, AND CONSTRUCTION RUNOFF MAY NOT DRAIN INTO THE STORMWATER CONVEYANCE SYSTEM.

- IRRIGATION NOTES:**
- ALL PLANTING AREAS SHALL BE IRRIGATED BY A DEDICATED, BACKFLOW-PREVENTED IRRIGATION SYSTEM WITH AN IRRIGATION SUB-METER, ACCORDING TO PLANT TYPE AND ENVIRONMENTAL EXPOSURE AND SHALL RECEIVE UNIFORM WATER COVERAGE BY MEANS OF A HIGH EFFICIENCY, AUTOMATICALLY CONTROLLED, ELECTRICALLY ACTUATED, UNDERGROUND PIPED SPRINKLER SYSTEM. FOR WATER CONSERVATION AND TO MINIMIZE EROSION, STATE OF THE ART LOW PRECIPITATION RATE SPRINKLER EQUIPMENT SHALL BE USED. IRRIGATION MAINLINE PIPING SHALL BE PVC PLASTIC (TYPE 1120) CLASS 315 PRESSURE PIPE, AND LATERAL LINE PIPING SHALL BE SCHEDULE 40 NON-PRESSURE PIPE. PRESSURE LINES SHALL BE INSTALLED 18" DEEP, AND NON-PRESSURE LINES 12" DEEP. A MASTER VALVE AND FLOW SENSOR SHALL BE INSTALLED TO MINIMIZE DAMAGE IN THE CASE OF A VALVE FAILURE OR MAINLINE BREAK. A SEPARATE HOSE BIB MAINLINE SHALL BE INSTALLED UPSTREAM OF THE MASTER VALVE AND EACH HOSE BIB SHALL BE FITTED WITH AN ATMOSPHERIC VACUUM BREAKER.
 - ALL PROPOSED IRRIGATION SYSTEMS WILL USE AN APPROVED RAIN SENSOR SHUTOFF DEVICE.
 - EXISTING STREET TREES LOCATED IN THE PUBLIC RIGHT-OF-WAY SHALL BE IRRIGATED BY A HOMEOWNER-FUNDED AND MAINTAINED, DEEP-WATERING, LOW-VOLUME BUBBLER.

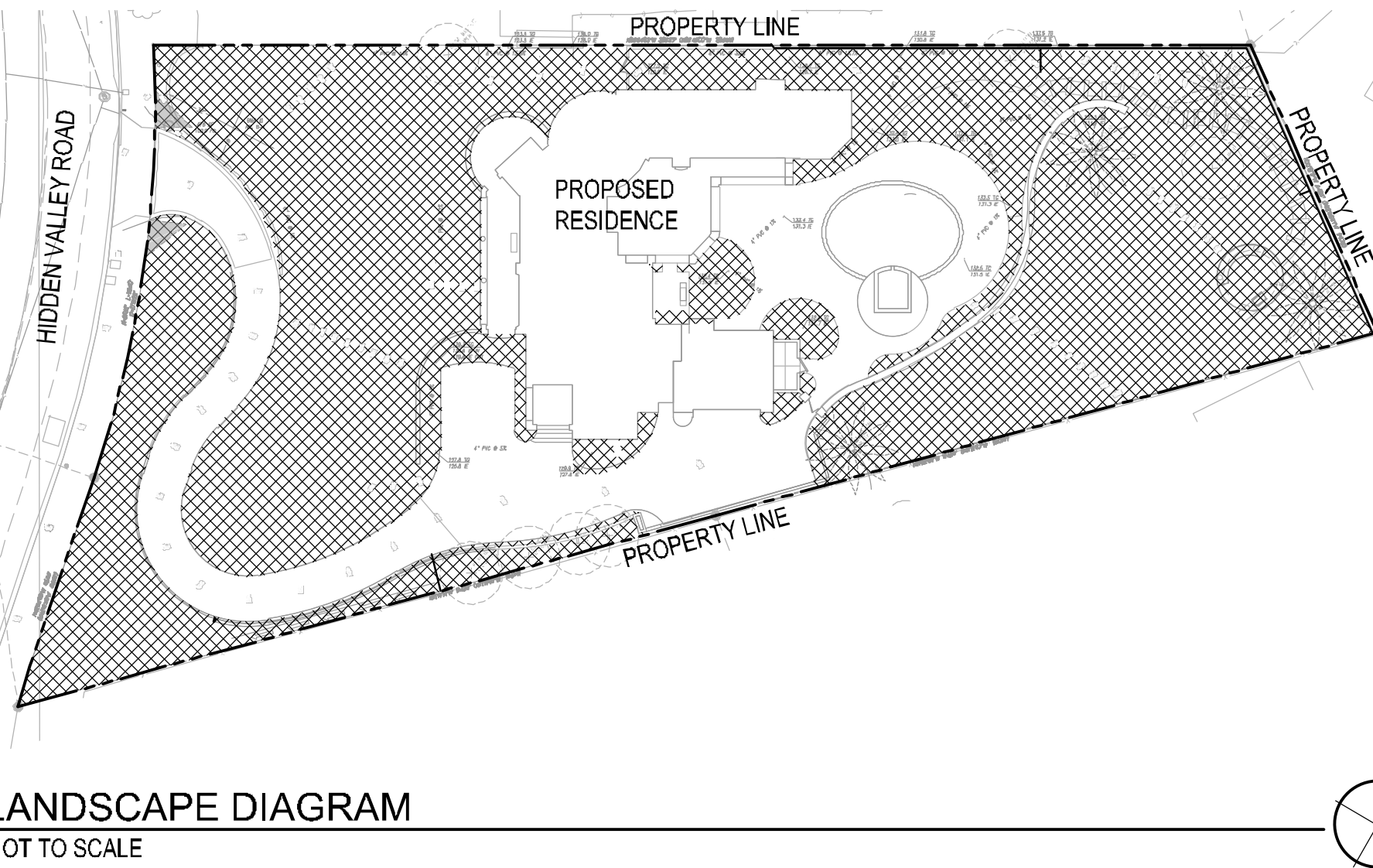
PROPOSED HARDSCAPE MATERIAL LEGEND		
	HARDSCAPE PAVING 'A' Non-porous paving such as: "Stamped Concrete" "Integral Color Concrete" "Uncolored Concrete with Enhanced Finish"	262 SF
	HARDSCAPE PAVING 'B' Non-porous paving such as: "Stamped Concrete" "Integral Color Concrete" "Integral Color Concrete with Exposed Aggregate Finish" "Uncolored Concrete with Enhanced Finish"	2,662 SF
	HARDSCAPE PAVING 'C' Non-porous paving such as: "Flagstone Paving" "Concrete Pavers"	4,540 SF
	HARDSCAPE PAVING 'D' Non-porous paving such as: "Cut Stone" "Concrete Pavers" "Stamped Colored Concrete" "Tile"	1,497 SF
	PERVIOUS PAVING 'E' Such as: "Concrete Pavers" "Porous Concrete"	520 SF
	PERVIOUS SURFACE 'F' Such as: "Stabilized Decomposed Granite" "Interlocking Pavers"	893 SF

LANDSCAPE KEY NOTES			
	MAILBOX		TIMBER STEPS
	EXIST WATER METER		MASTER BEDROOM 2 PATIO
	IRRIGATION SUB-METER & BACKFLOW PREVENTER		MASONRY FENCE
	EXIST GAS METER		LANAI
	EXIST ELECTRIC VAULT		DINING ROOM PATIO
	DRYSTACKED FIELDSTONE WALL		PLAY LAWN
	BIORETENTION AREA		POOL WITH JETS (686 S.F.)
	10' VISIBILITY AREAS - NO OBSTRUCTIONS SHALL EXCEED 3' IN HEIGHT, INCLUDING LANDSCAPING OR WALLS		VANISHING EDGE SPA (108 S.F.)
	RETAINING WALL, TYP. SYMBOL		POOL EQUIPMENT ENCLOSURE
	6'-8" RIVER ROCK		OVERLOOK GAZEBO
	GUEST PARKING AREA		BAR SEATING
	RESIDENT PARKING AREA/GARAGE ACCESS		BBQ/COUNTER
	DECORATIVE ARCHWAY		5' HIGH NON-CLIMBABLE POOL AREA ENCLOSURE GATE
	RESIDENCE ENTRY		EXISTING FENCE ON NEIGHBOR'S PROPERTY
	SALVAGED ADOBE BRICK FEATURE WALL		SITE DRAINAGE PER CIVIL DWGS
	NICHE		DRY WELL - PER CIVIL
	PLANTER POT, TYP. SYMBOL		ROOT BARRIER
	BENCH		
	STAIRS		

LA JOLLA SHORES PLANNED DISTRICT ORDINANCE LANDSCAPE CALCULATIONS:

SINGLE DWELLING UNIT LANDSCAPE REQUIREMENTS:
ALL OF THE LANDSCAPE TO MEET THE 30% AREA REQUIREMENT SHALL BE INSTALLED IN ACCORDANCE WITH THE LA JOLLA SHORES PLANNED DISTRICT ORDINANCE (LDC 1510.0304(H)).

LANDSCAPE CALCULATIONS	
TOTAL PARCEL AREA:	41,144 S.F.
PLANTING AREA REQUIRED:	12,343 S.F. (30%)
PLANTING AREA PROVIDED:	25,220 S.F. (61%)
EXCESS AREA PROVIDED:	12,877 S.F.
LEGEND	
PLANTING AREA	



Project No. - XXX
Drawn - RRM
Checked - JPN

N LA

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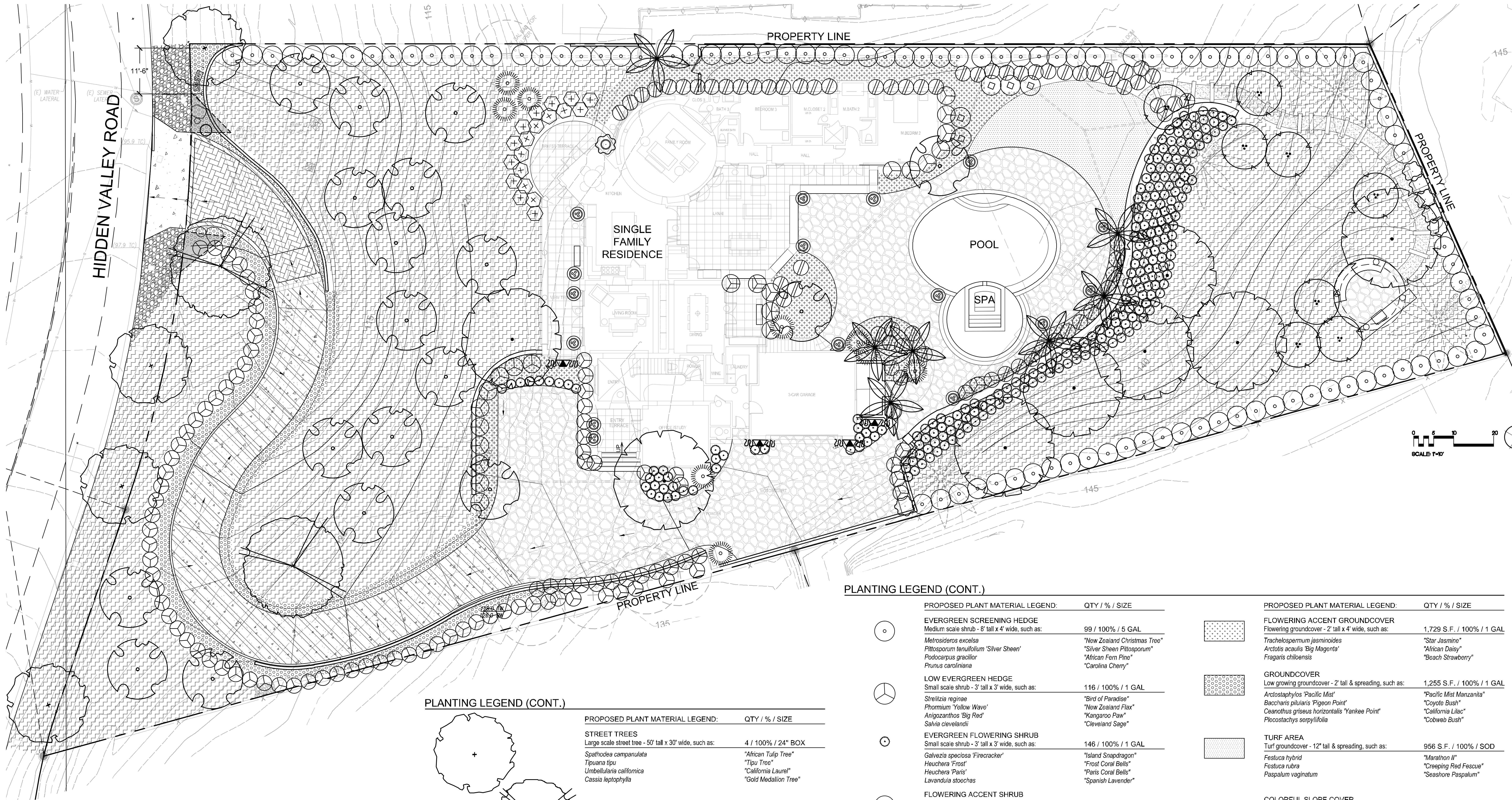
LANDSCAPE PLANS FOR THE
SWINDLE RESIDENCE

LANDSCAPE DEVELOPMENT
HARDSCAPE PLAN
ALTERNATIVE "B" W/ SIDEWALK

L1.0

29 AUGUST 2016

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PLANTING LEGEND

EXISTING PLANT MATERIAL LEGEND:	QTY
EXISTING TREES TO REMAIN	7
<i>Ficus benjamina</i>	"Weeping Banyan"
<i>Ficus carica</i>	"Fig Tree"
<i>Malus domestica</i>	"Apple Tree"
<i>Salix babingtonii</i> 'Tortuosa'	"Corkscrew Willow"
EXISTING PALMS TO REMAIN	2
<i>Phoenix canariensis</i>	"Canary Island Date Palm"
EXISTING TREES TO BE REMOVED	41
<i>Albizia julibrissin</i>	"Silk Tree"
<i>Callistemon viminalis</i>	"Weeping Bottlebrush"
<i>Cassia leptophylla</i>	"Gold Medallion Tree"
<i>Citrus limon</i> 'Meyer'	"Meyer Lemon Tree"
<i>Citrus x paradisi</i>	"Grapefruit Tree"
<i>Erythrina coraloides</i>	"Naked Coral Tree"
<i>Euphorbia tirucalli</i>	"Pencil Tree"
<i>Fraxinus uhdei</i>	"Evergreen Ash"
<i>Jacaranda mimosifolia</i>	"Jacaranda"
<i>Magnolia grandiflora</i>	"Southern Magnolia"
<i>Nerium oleander</i>	"Oleander"
<i>Olea europaea</i>	"Olive Tree"
<i>Philodendron sellowii</i>	"Tree Philodendron"
<i>Pittosporum undulatum</i>	"Victorian Box"
<i>Schinus terebinthifolius</i>	"Brazilian Pepper Tree"
<i>Ulmus parviflora</i>	"Chinese Elm"
EXISTING PALMS	4
<i>Phoenix canariensis</i> (to be relocated)	"Canary Island Date Palm"
<i>Washingtonia robusta</i> (to be removed)	"Mexican Fan Palm"

PLANTING LEGEND (CONT.)

PROPOSED PLANT MATERIAL LEGEND:	QTY / % / SIZE
STREET TREES	
Large scale street tree - 50' tall x 30' wide, such as:	4 / 100% / 24" BOX
<i>Spathodea campanulata</i>	"African Tulip Tree"
<i>Tipuana tipu</i>	"Tipu Tree"
<i>Umbellularia californica</i>	"California Laurel"
<i>Cassia leptophylla</i>	"Gold Medallion Tree"
SPECIMEN TREES	
Large scale tree - 50' tall x 35' wide, such as:	2 / 100% / 36" BOX
<i>Quercus agrifolia</i>	"Coast Live Oak"
<i>Quercus ilex</i>	"Holly Oak"
<i>Quercus suber</i>	"Cork Oak"
ACCENT TREES	
Large scale tree - 50' tall x 35' wide, such as:	8 / 100% / 36" BOX
<i>Spathodea campanulata</i>	"African Tulip Tree"
<i>Tabebuia chrysotricha</i>	"Golden Trumpet Tree"
<i>Tabebuia impetiginosa</i>	"Pink Trumpet Tree"
ACCENT TREES	
Small scale tree - 25' tall x 15' wide, such as:	18 / 100% / 24" BOX
<i>Cassia leptophylla</i>	"Gold Medallion Tree"
<i>Magnolia grandiflora</i> 'Little Gem'	"Little Gem Magnolia"
<i>Michelia champaca</i> 'Alba'	"Champaca"
VERTICAL ACCENT TREE	
Medium scale tree - 20' tall x 15' wide, such as:	7 / 100% / 24" BOX
<i>Cupressus sempervirens</i>	"Italian Cypress"
<i>Hymenocarpus flavus</i>	"Sweetshade"
<i>Stenocarpus sinuatus</i>	"Firewheel Tree"
TROPICAL ACCENT TREES	
Medium scale tree - 30' tall x 15' wide, such as:	7 / 100% / 8" BTH
<i>Dicksonia antarctica</i>	"Tasmanian Tree Fern"
<i>Howea forsteriana</i>	"Paradise Palm"
<i>Phoenix rostrata</i>	"Senegal Date Palm"
FRUIT TREES	
Medium scale tree - 15' tall x 15' wide, such as:	8 / 100% / 24" BOX
<i>Citrus aurantifolia</i> 'Bearss'	"Bearss Lime"
<i>Citrus limon</i> 'Improved Meyer'	"Improved Meyer Lemon Tree"
<i>Persea americana</i> 'Little Cado'	"Little Cado Avocado"

PLANTING LEGEND (CONT.)

PROPOSED PLANT MATERIAL LEGEND:	QTY / % / SIZE
EVERGREEN SCREENING HEDGE	
Medium scale shrub - 8' tall x 4' wide, such as:	99 / 100% / 5 GAL
<i>Metrosideros excelsa</i>	"New Zealand Christmas Tree"
<i>Pittosporum tenuifolium</i> 'Silver Sheen'	"Silver Sheen Pittosporum"
<i>Podocarpus gracilior</i>	"African Fern Pine"
<i>Prunus caroliniana</i>	"Carolina Cherry"
LOW EVERGREEN HEDGE	
Small scale shrub - 3' tall x 3' wide, such as:	116 / 100% / 1 GAL
<i>Strelitzia reginae</i>	"Bird of Paradise"
<i>Phormium</i> 'Yellow Wave'	"New Zealand Flax"
<i>Anigozanthos</i> 'Big Red'	"Kangaroo Paw"
<i>Salvia clevelandii</i>	"Cleveland Sage"
EVERGREEN FLOWERING SHRUB	
Small scale shrub - 3' tall x 3' wide, such as:	146 / 100% / 1 GAL
<i>Galvezia speciosa</i> 'Firecracker'	"Island Snapdragon"
<i>Heuchera</i> 'Frost'	"Frost Coral Bells"
<i>Heuchera</i> 'Paris'	"Paris Coral Bells"
<i>Lavandula stoechas</i>	"Spanish Lavender"
FLOWERING ACCENT SHRUB	
Medium scale shrub - 5' tall x 5' wide, such as:	5 / 100% / 5 GAL
<i>Buddleia davidii</i>	"Butterfly Bush"
<i>Rosa floribunda</i> 'Iceberg'	"Floribunda Rose"
<i>Tibouchina urvilleana</i>	"Princess Flower"
<i>Viburnum davidii</i>	"David Viburnum"
TROPICAL-LOOKING ACCENT SHRUB	
Medium scale shrub - 4' tall x 4' wide, such as:	68 / 100% / 5 GAL
<i>Agave attenuata</i>	"Foxtail Agave"
<i>Aloe arborescens</i>	"Tree Aloe"
<i>Philodendron vanadum</i>	"Xanadu"
<i>Raphis excelsa</i>	"Lady Palm"
<i>Zamia furfuracea</i>	"Caribbean Palm"
TROPICAL ACCENT SHRUB	
Large scale shrub - 6' tall x 6' wide, such as:	9 / 100% / 5 GAL
<i>Agave americana</i> 'Mediopicta'	"American Agave"
<i>Cycas revoluta</i>	"Sago Palm"
<i>Furcraea foetida</i>	"Mauritius Hemp"
<i>Dasylium longissimum</i>	"Mexican Grass Tree"
CONTAINER PLANT	
Medium scale shrub - 5' tall x 5' wide, such as:	16 / 100% / 5 GAL
<i>Astelia</i> 'Silver Shadow'	"Silver Shadow Astelia"
<i>Cycas revoluta</i>	"Sago Palm"
<i>Zamia furfuracea</i>	"Caribbean Palm"
VINES	
Climbing vines, such as:	4 / 100% / 5 GAL
<i>Bougainvillea</i> 'La Jolla'	"Bougainvillea"
<i>Solandra maxima</i>	"Cup of Gold Vine"
<i>Stephanotis floribunda</i>	"Madagascar Jasmine"
<i>Trachelospermum jasminoides</i>	"Star Jasmine"
FLOWERING ACCENT GROUNDCOVER	
Flowering groundcover - 2' tall x 4' wide, such as:	1,729 S.F. / 100% / 1 GAL
<i>Trachelospermum jasminoides</i>	"Star Jasmine"
<i>Arctostaphylos</i> 'Big Magenta'	"African Daisy"
<i>Fragaria chiloensis</i>	"Beach Strawberry"
GROUNDCOVER	
Low growing groundcover - 2' tall & spreading, such as:	1,255 S.F. / 100% / 1 GAL
<i>Arctostaphylos</i> 'Pacific Mist'	"Pacific Mist Manzanita"
<i>Baccharis pilularis</i> 'Pigeon Point'	"Coyote Bush"
<i>Ceanothus griseus</i> 'Yankee Point'	"California Lilac"
<i>Plecostachys serpyllifolia</i>	"Cobweb Bush"
TURF AREA	
Turf groundcover - 12' tall & spreading, such as:	956 S.F. / 100% / SOD
<i>Festuca hybrid</i>	"Marathon II"
<i>Festuca rubra</i>	"Creeping Red Fescue"
<i>Paspalum vaginatum</i>	"Seashore Paspalum"
COLORFUL SLOPE COVER	
Shrubby flowering groundcover - 36" tall & spreading, such as:	14,594 S.F. / 100% / 1 GAL
<i>Bougainvillea</i> x 'Rosenka'	"Bougainvillea"
<i>Ceanothus</i> 'Joyce Coulter'	"Creeping Mountain Lilac"
<i>Salvia leucophylla</i> 'Bees Bliss'	"Bees Bliss Sage"
CLUMPING GRASS	
Large scale grass - 4' tall x 3' wide, such as:	19 / 100% / 1 GAL
<i>Miscanthus transmontanensis</i>	"Evergreen Eulalia"
<i>Elymus condensatus</i> 'Canyon Prince'	"Canyon Prince Wild Rye"
<i>Miscanthus sinensis</i> 'Morning Light'	"Japanese Silver Grass"
<i>Pennisetum x advena</i> 'Rubrum'	"Red Fountain Grass"

LANDSCAPE PLANS FOR THE

SWINDLE RESIDENCE

2488 Hidden Valley Road
La Jolla, California 92037

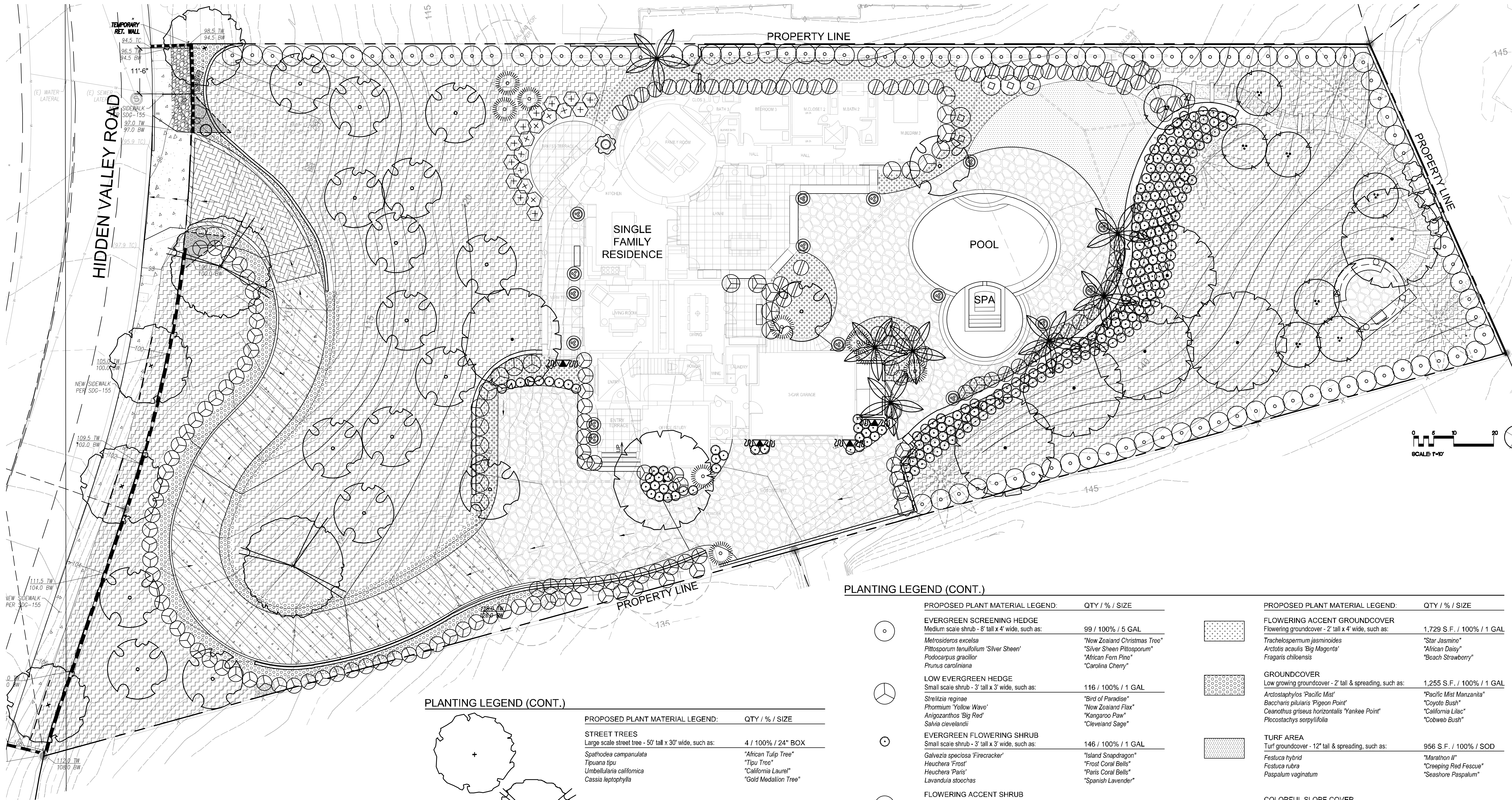
29 AUGUST 2016

LANDSCAPE DEVELOPMENT
PLANTING PLAN
ALTERNATIVE "A" W/O SIDEWALK

L1.1

Project No. - 000
Drawn - JPN
Checked - JPN
N L A
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PLANTING LEGEND

EXISTING PLANT MATERIAL LEGEND:	QTY
EXISTING TREES TO REMAIN	7
<i>Ficus benjamina</i>	"Weeping Banyan"
<i>Ficus carica</i>	"Fig Tree"
<i>Malus domestica</i>	"Apple Tree"
<i>Salix babingtonii</i> 'Tortuosa'	"Corkscrew Willow"
EXISTING PALMS TO REMAIN	2
<i>Phoenix canariensis</i>	"Canary Island Date Palm"
EXISTING TREES TO BE REMOVED	41
<i>Albizia julibrissin</i>	"Silk Tree"
<i>Callistemon viminalis</i>	"Weeping Bottlebrush"
<i>Cassia leptophylla</i>	"Gold Medallion Tree"
<i>Citrus limon</i> 'Meyer'	"Meyer Lemon Tree"
<i>Citrus x paradisi</i>	"Grapefruit Tree"
<i>Erythrina corallodendron</i>	"Naked Coral Tree"
<i>Euphorbia tirucalli</i>	"Pencil Tree"
<i>Fraxinus uhdei</i>	"Evergreen Ash"
<i>Jacaranda mimosifolia</i>	"Jacaranda"
<i>Magnolia grandiflora</i>	"Southern Magnolia"
<i>Nerium oleander</i>	"Oleander"
<i>Olea europaea</i>	"Olive Tree"
<i>Philodendron sellowianum</i>	"Tree Philodendron"
<i>Pittosporum undulatum</i>	"Victorian Box"
<i>Schinus terebinthifolius</i>	"Brazilian Pepper Tree"
<i>Ulmus parviflora</i>	"Chinese Elm"
EXISTING PALMS	4
<i>Phoenix canariensis</i> (to be relocated)	"Canary Island Date Palm"
<i>Washingtonia robusta</i> (to be removed)	"Mexican Fan Palm"

PLANTING LEGEND (CONT.)

PROPOSED PLANT MATERIAL LEGEND:	QTY / % / SIZE
STREET TREES	
Large scale street tree - 50' tall x 30' wide, such as:	4 / 100% / 24" BOX
<i>Spathodea campanulata</i>	"African Tulip Tree"
<i>Tipuana tipu</i>	"Tipu Tree"
<i>Umbellularia californica</i>	"California Laurel"
<i>Cassia leptophylla</i>	"Gold Medallion Tree"
SPECIMEN TREES	
Large scale tree - 50' tall x 35' wide, such as:	2 / 100% / 36" BOX
<i>Quercus agrifolia</i>	"Coast Live Oak"
<i>Quercus ilex</i>	"Holly Oak"
<i>Quercus suber</i>	"Cork Oak"
ACCENT TREES	
Large scale tree - 50' tall x 35' wide, such as:	8 / 100% / 36" BOX
<i>Spathodea campanulata</i>	"African Tulip Tree"
<i>Tabebuia chrysotricha</i>	"Golden Trumpet Tree"
<i>Tabebuia impatiens</i>	"Pink Trumpet Tree"
ACCENT TREES	
Small scale tree - 25' tall x 15' wide, such as:	18 / 100% / 24" BOX
<i>Cassia leptophylla</i>	"Gold Medallion Tree"
<i>Magnolia grandiflora</i> 'Little Gem'	"Little Gem Magnolia"
<i>Michelia champaca</i> 'Alba'	"Champaca"
VERTICAL ACCENT TREE	
Medium scale tree - 20' tall x 15' wide, such as:	7 / 100% / 24" BOX
<i>Cupressus sempervirens</i>	"Italian Cypress"
<i>Hymenocarpus flavum</i>	"Sweetshade"
<i>Stenocarpus sinuatus</i>	"Firewheel Tree"
TROPICAL ACCENT TREES	
Medium scale tree - 30' tall x 15' wide, such as:	7 / 100% / 8" BTH
<i>Dicksonia antarctica</i>	"Tasmanian Tree Fern"
<i>Howea forsteriana</i>	"Paradise Palm"
<i>Phoenix rostrata</i>	"Senegal Date Palm"
FRUIT TREES	
Medium scale tree - 15' tall x 15' wide, such as:	8 / 100% / 24" BOX
<i>Citrus aurantifolia</i> 'Bearss'	"Bearss Lime"
<i>Citrus limon</i> 'Improved Meyer'	"Improved Meyer Lemon Tree"
<i>Persea americana</i> 'Little Cado'	"Little Cado Avocado"

PLANTING LEGEND (CONT.)

PROPOSED PLANT MATERIAL LEGEND:	QTY / % / SIZE
EVERGREEN SCREENING HEDGE	
Medium scale shrub - 8' tall x 4' wide, such as:	99 / 100% / 5 GAL
<i>Metrosideros excelsa</i>	"New Zealand Christmas Tree"
<i>Pittosporum tenuifolium</i> 'Silver Sheen'	"Silver Sheen Pittosporum"
<i>Podocarpus gracilior</i>	"African Fern Pine"
<i>Prunus caroliniana</i>	"Carolina Cherry"
LOW EVERGREEN HEDGE	
Small scale shrub - 3' tall x 3' wide, such as:	116 / 100% / 1 GAL
<i>Strelitzia reginae</i>	"Bird of Paradise"
<i>Phormium</i> 'Yellow Wave'	"New Zealand Flax"
<i>Anigozanthos</i> 'Big Red'	"Kangaroo Paw"
<i>Salvia clevelandii</i>	"Cleveland Sage"
EVERGREEN FLOWERING SHRUB	
Small scale shrub - 3' tall x 3' wide, such as:	146 / 100% / 1 GAL
<i>Galvezia speciosa</i> 'Firecracker'	"Island Snapdragon"
<i>Heuchera</i> 'Frost'	"Frost Coral Bells"
<i>Heuchera</i> 'Paris'	"Paris Coral Bells"
<i>Lavandula stoechas</i>	"Spanish Lavender"
FLOWERING ACCENT SHRUB	
Medium scale shrub - 5' tall x 5' wide, such as:	5 / 100% / 5 GAL
<i>Buddleia davidii</i>	"Butterfly Bush"
<i>Rosa floribunda</i> 'Iceberg'	"Floribunda Rose"
<i>Tibouchina urvilleana</i>	"Princess Flower"
<i>Viburnum davidii</i>	"David Viburnum"
TROPICAL-LOOKING ACCENT SHRUB	
Medium scale shrub - 4' tall x 4' wide, such as:	68 / 100% / 5 GAL
<i>Agave attenuata</i>	"Foxtail Agave"
<i>Aloe arborescens</i>	"Tree Aloe"
<i>Philodendron xanadu</i>	"Xanadu"
<i>Raphis excelsa</i>	"Lady Palm"
<i>Zamia furfuracea</i>	"Caribbean Palm"
TROPICAL ACCENT SHRUB	
Large scale shrub - 6' tall x 6' wide, such as:	9 / 100% / 5 GAL
<i>Agave americana</i> 'Mediopicta'	"American Agave"
<i>Cycas revoluta</i>	"Sago Palm"
<i>Furcraea foetida</i>	"Mauritius Hemp"
<i>Dasylium longissimum</i>	"Mexican Grass Tree"
CONTAINER PLANT	
Medium scale shrub - 5' tall x 5' wide, such as:	16 / 100% / 5 GAL
<i>Astelia</i> 'Silver Shadow'	"Silver Shadow Astelia"
<i>Cycas revoluta</i>	"Sago Palm"
<i>Zamia furfuracea</i>	"Caribbean Palm"
VINES	
Climbing vines, such as:	4 / 100% / 5 GAL
<i>Bougainvillea</i> 'La Jolla'	"Bougainvillea"
<i>Solandra maxima</i>	"Cup of Gold Vine"
<i>Stephanotis floribunda</i>	"Madagascar Jasmine"
<i>Trachelospermum jasminoides</i>	"Star Jasmine"
PROPOSED PLANT MATERIAL LEGEND:	QTY / % / SIZE
FLOWERING ACCENT GROUNDCOVER	
Flowering groundcover - 2' tall x 4' wide, such as:	1,729 S.F. / 100% / 1 GAL
<i>Trachelospermum jasminoides</i>	"Star Jasmine"
<i>Arctostaphylos uva-ursi</i>	"Silver Sheen Pittosporum"
<i>Fragaria chiloensis</i>	"Beach Strawberry"
GROUNDCOVER	
Low growing groundcover - 2' tall & spreading, such as:	1,255 S.F. / 100% / 1 GAL
<i>Arctostaphylos</i> 'Pacific Mist'	"Pacific Mist Manzanita"
<i>Baccharis pilularis</i> 'Pigeon Point'	"Coyote Bush"
<i>Ceanothus griseus</i> 'Yankee Point'	"California Lilac"
<i>Pycnostachys sorphyliifolia</i>	"Cobweb Bush"
TURF AREA	
Turf groundcover - 12' tall & spreading, such as:	956 S.F. / 100% / SOD
<i>Festuca hybrid</i>	"Marathon II"
<i>Festuca rubra</i>	"Creeping Red Fescue"
<i>Paspalum vaginatum</i>	"Seashore Paspalum"
COLORFUL SLOPE COVER	
Shrubby flowering groundcover - 36" tall & spreading, such as:	14,594 S.F. / 100% / 1 GAL
<i>Bougainvillea</i> x 'Rosenka'	"Bougainvillea"
<i>Ceanothus</i> 'Joyce Coulter'	"Creeping Mountain Lilac"
<i>Salvia leucophylla</i> 'Bees Bliss'	"Bees Bliss Sage"
CLUMPING GRASS	
Large scale grass - 4' tall x 3' wide, such as:	19 / 100% / 1 GAL
<i>Miscanthus transmontanensis</i>	"Evergreen Eulalia"
<i>Elymus condensatus</i> 'Canyon Prince'	"Canyon Prince Wild Rye"
<i>Miscanthus sinensis</i> 'Morning Light'	"Japanese Silver Grass"
<i>Pennisetum x advena</i> 'Rubrum'	"Red Fountain Grass"

LANDSCAPE PLANS FOR THE

SWINDLE RESIDENCE

2488 Hidden Valley Road
La Jolla, California 92037

29 AUGUST 2016

LANDSCAPE DEVELOPMENT
PLANTING PLAN
ALTERNATIVE "B" w/ SIDEWALK

L1.1

Project No. - 000

Drawn - JPN

Checked - JPN

N LA

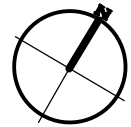
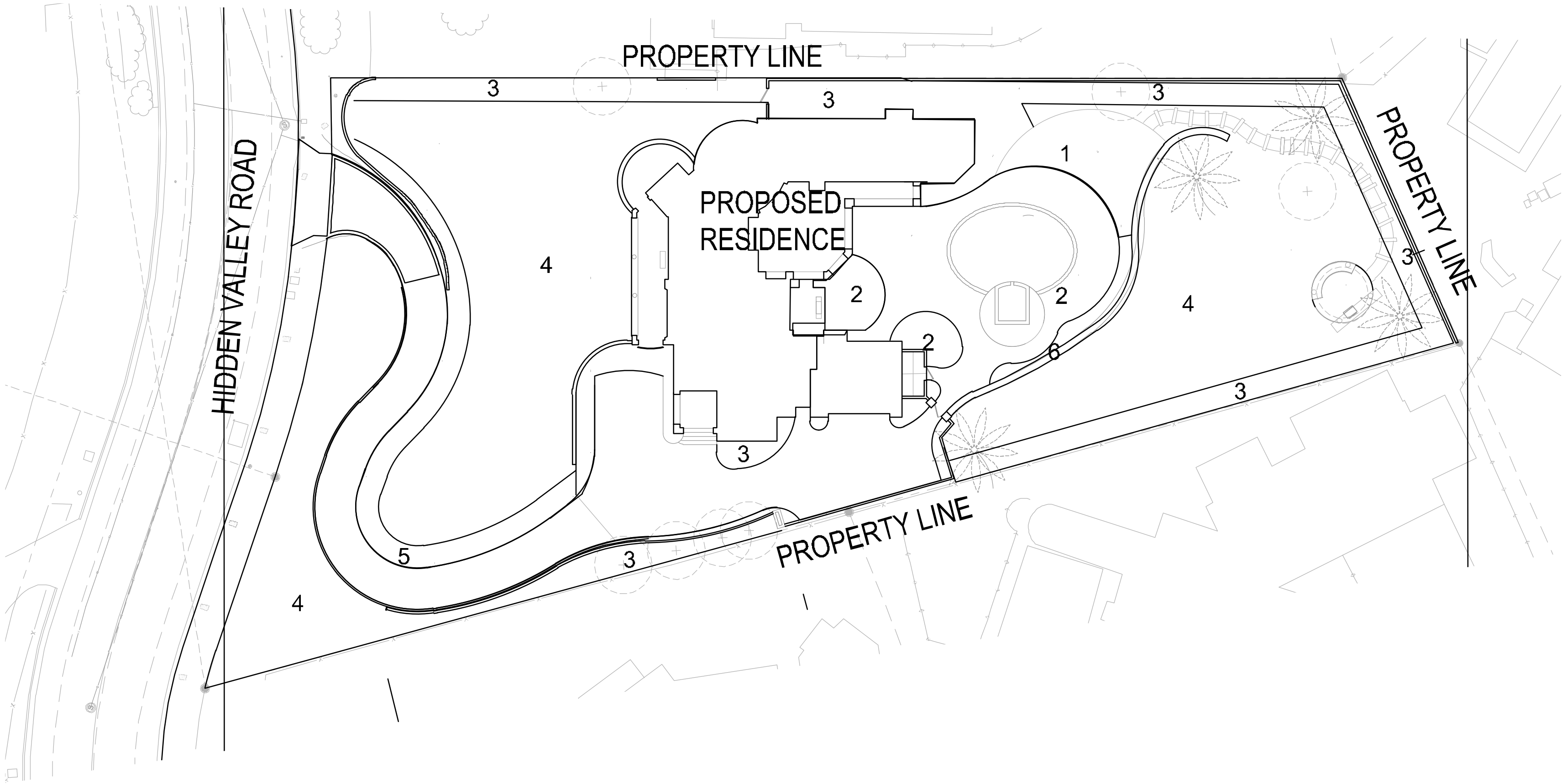
NERI LANDSCAPE ARCHITECTURE

500 BROADWAY STREET, Suite #3
LA JOLLA, CA 92037
TEL: 858-754-2222 FAX: 858-754-2223
WWW.NERILANDSCAPE.COM

ALL PLANS, DESIGNS AND DETAILS SHOWN ON THIS DRAWING ARE THE PROPERTY OF NERI LANDSCAPE ARCHITECTURE AND SHALL NOT BE USED, DISCLOSED OR REPRODUCED BY ANY PERSON, FIRM OR CORPORATION FOR ANY PURPOSE WITHOUT WRITTEN CONSENT FROM NERI LANDSCAPE ARCHITECTURE

LANDSCAPE HYDROZONE DIAGRAM

NOT TO SCALE



COMPLIANCE STATEMENT

I AM FAMILIAR WITH THE REQUIREMENTS FOR LANDSCAPE AND IRRIGATION PLANS CONTAINED IN CALIFORNIA CODE OF REGULATIONS TITLE 23, DIVISION 2, CHAPTER 2.7, SECTIONS 490 ET. SEQ. I HAVE PREPARED THIS PLAN IN COMPLIANCE WITH THOSE REGULATIONS. I CERTIFY THAT THE PLAN IMPLEMENTS THOSE REGULATIONS TO PROVIDE EFFICIENT USE OF WATER.

James P. Neri
JAMES P. NERI
NERI LANDSCAPE ARCHITECTURE
LICENSED LANDSCAPE ARCHITECT, RLA#3321

08/17/2016
DATE

MAXIMUM APPLIED WATER ALLOWANCE (MAWA)

MAXIMUM APPLIED WATER ALLOWANCE (MAWA) = $ET_o \times 0.62 \times [(ETAF \times LA) + ((1 - ETAF) \times SLA)]$

WHERE:
ET_o = EVAPOTRANSPIRATION = 41
ETAF = ET ADJUSTMENT FACTOR = 0.55 FOR RESIDENTIAL, 0.45 FOR NON-RESIDENTIAL
LA = TOTAL LANDSCAPE AREA (SF) = 25,597
SLA = SPECIAL LANDSCAPE AREA (SF) = 0
MAWA = $41 \times 0.62 \times [(0.55 \times 25,220) + ((1 - 0.55) \times 0)] = 352,605$ GAL/YR

ESTIMATED TOTAL WATER USE (ETWU) BY HYDROZONE

ESTIMATED TOTAL WATER USE (ETWU) = $[(ET_o)(0.62)]((PF \times HA)/IE) \times SLA$

WHERE:
ET_o = EVAPOTRANSPIRATION = 41
0.62 = CONVERSION FACTOR
ETAF = ET ADJUSTMENT FACTOR = PF / IE
HA = HYDROZONE AREA (SF)
PF = PLANT FACTOR (VERY LOW WATER (VLW) USE = 0 - 0.1, LOW WATER(LW) USE = 0.1 - 0.3, MEDIUM WATER(MW) USE = 0.4 - 0.6, HIGH WATER(HW) USE = 0.7 - 1.0)
IE = IRRIGATION EFFICIENCY (DRIP = 0.81, SPRAY = 0.75)
AVERAGE ETAF¹ = TOTAL (ETAF x HA) / TOTAL HA,
¹AVERAGE ETAF FOR REGULAR LANDSCAPE AREAS SHALL BE MAX. 0.55 FOR RESIDENTIAL AND MAX 0.45 FOR NON-RESIDENTIAL

CTRL	HYDROZONE #	PLANT TYPE	PLANT FACTOR (PF)	IRRIGATION METHOD	IRRIGATION EFFICIENCY (IE)	ETAF	HYDROZONE AREA (HA), IN S.F.	ETAF x HA	ETWU, IN GAL. PER YEAR
REGULAR LANDSCAPE AREAS									
---	1	HIGH-LAWN	.7	SPRAY	0.75	0.93	956	892.3	26,001
	2	HIGH/MOD-TREES/SHRUBS	.6	DRIP	0.81	0.74	2,665	1,974.1	57,525
	3	MOD-SHRUBS	.5	DRIP	0.81	0.62	4,242	2,618.7	76,309
	4	MOD/LOW-SHRUBS	.3	DRIP	0.81	0.37	14,887	5,513.7	160,669
	5	LOW-SHRUBS	.2	DRIP	0.81	0.25	1,254	309.6	9,023
	6	LOW/VERY LOW-SHRUBS	.1	DRIP	0.81	0.12	1,216	150.1	4,375
REGULAR LANDSCAPE AREA TOTAL							25,220	11,458.5	333,901
AVERAGE ETAF ¹							0.45		
SPECIAL LANDSCAPE AREAS									
						1.0	-	-	-
SPECIAL LANDSCAPE AREA TOTAL							-	-	-
ALL LANDSCAPE AREAS									
ESTIMATED TOTAL WATER USE (ETWU)									333,901
MAXIMUM APPLIED WATER ALLOWANCE (MAWA)									352,605
ETWU ≤ MAWA									YES

LANDSCAPE PLANS FOR THE

SWINDLE RESIDENCE

2485 Hidden Valley Road

La Jolla, California 92037

LANDSCAPE
DEVELOPMENT
NOTES

29 AUGUST 2016

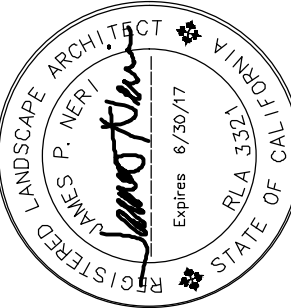
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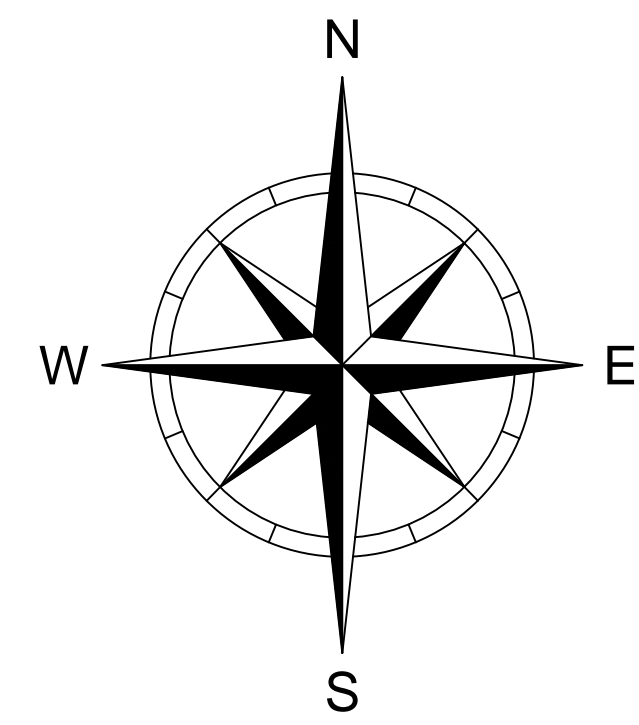
NERI
LANDSCAPE
ARCHITECTURE

648 HIDDEN VALLEY ROAD
LA JOLLA, CALIFORNIA 92037
TEL: 858-754-3222 FAX: 858-254-3223
WWW.NERILA.COM

Project No. - 000
Drawn - JPN
Checked - JPN

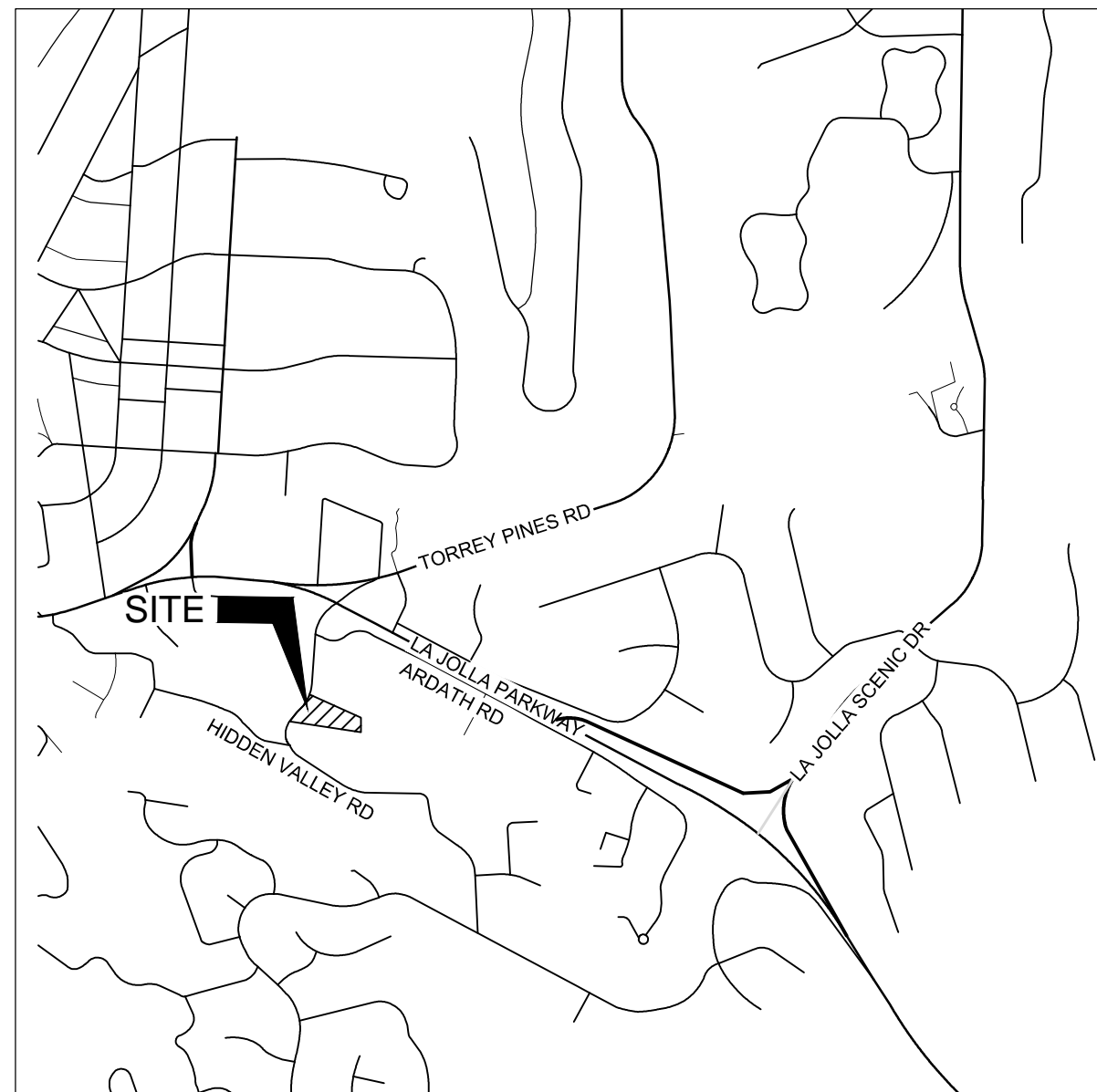


PRELIMINARY GRADING PLAN + TOPOGRAPHIC MAP FOR:
SWINDLE RESIDENCE
2488 HIDDEN VALLEY ROAD
LA JOLLA, CA 92037



SCALE: 1" = 20'

VICINITY MAP
SCALE: 1" = 1000'



NOTES:

PRIOR TO THE ISSUANCE OF A CONSTRUCTION PERMIT, THE OWNER/PERMITEE SHALL INCORPORATE BEST MANAGEMENT PRACTICES NECESSARY TO COMPLY WITH CHAPTER 14, ARTICLE 2, DIVISION 1 (GRADING REGULATIONS) OF THE SAN DIEGO MUNICIPAL CODE, INTO THE CONSTRUCTION PLANS OR SPECIFICATIONS.

PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITEE SHALL SUBMIT A WATER POLLUTION CONTROL PLAN (WPCP). THE WPCP SHALL BE PREPARED IN ACCORDANCE WITH THE GUIDELINES IN APPENDIX G OF THE CITY'S STORM WATER STANDARDS.

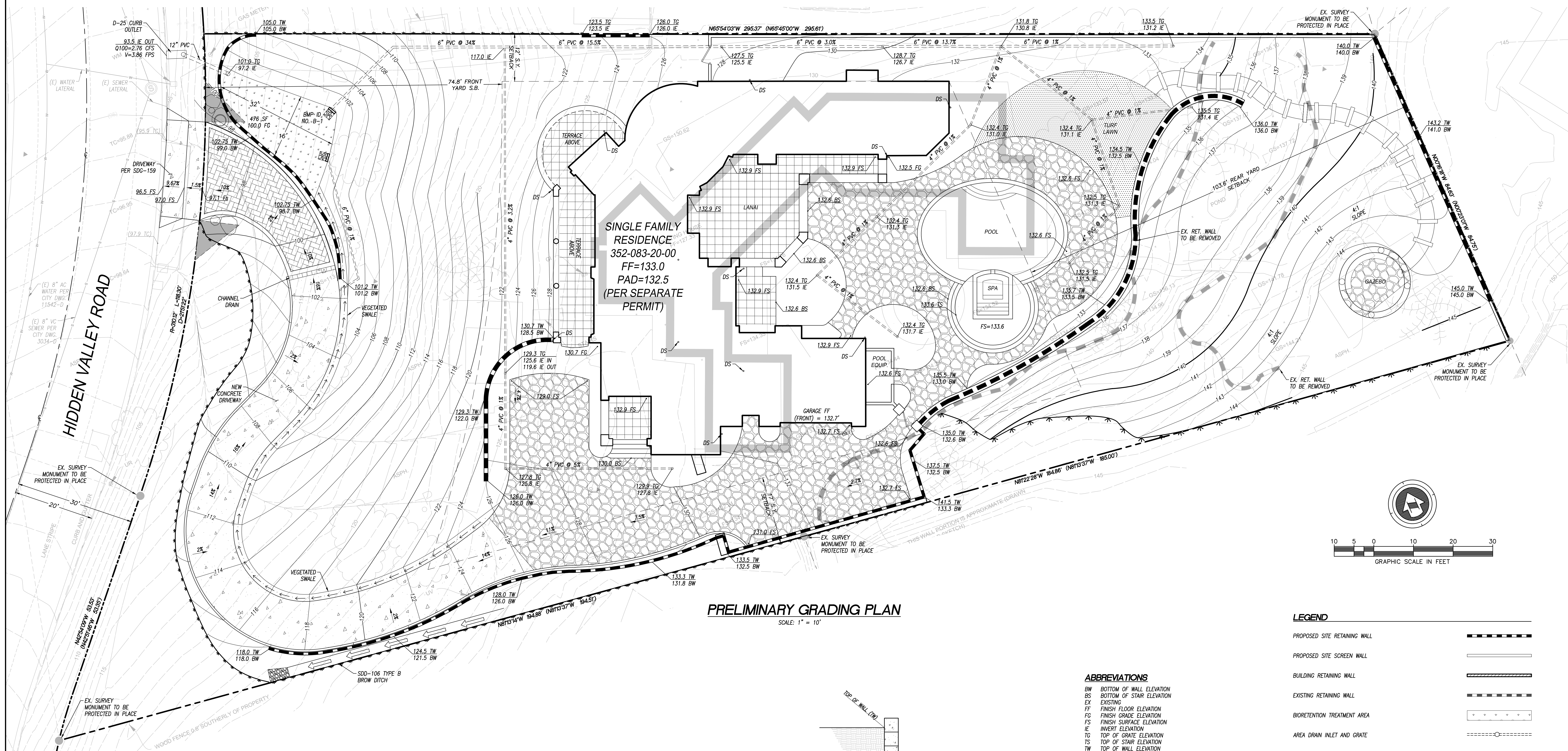
SPECIAL NOTES:

1. WALL HEIGHTS SHOWN ON THIS PLAN REPRESENT RETAINING PORTIONS OF WALLS ONLY. PLEASE SEE LANDSCAPE PLAN FOR NON-RETAINING WALL HEIGHTS AND FENCES.

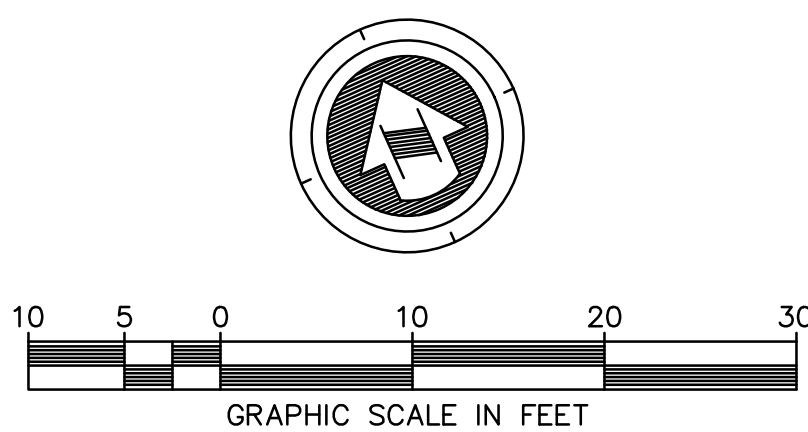
2. THIS PLAN FOR PRELIMINARY GRADING AND DRAINAGE PURPOSES ONLY. NOT FOR CONSTRUCTION. FINAL GRADING PLAN TO BE SUBMITTED TO CITY OF SAN DIEGO PRIOR TO CONSTRUCTION.



PRELIMINARY GRADING PLAN
2488 HIDDEN VALLEY ROAD, LA JOLLA, CA 92037
ALTERNATIVE A - NO SIDEWALK IN PUBLIC R.O.W.



PRELIMINARY GRADING PLAN
SCALE: 1" = 10'



LEGEND

PROPOSED SITE RETAINING WALL	
PROPOSED SITE SCREEN WALL	
BUILDING RETAINING WALL	
EXISTING RETAINING WALL	
BIORETENTION TREATMENT AREA	
AREA DRAIN INLET AND GRATE	
CLEANOUT	
PVC DRAIN PIPE (SIZE AND SLOPE PER PLAN)	
LIMIT OF WORK	

ABBREVIATIONS

BW	BOTTOM OF WALL ELEVATION
BS	BOTTOM OF STAIR ELEVATION
EX	EXISTING
FF	FINISH FLOOR ELEVATION
FG	FINISH GRADE ELEVATION
FS	FINISH SURFACE ELEVATION
IE	INVERT ELEVATION
TO	TOP OF GRADE ELEVATION
TW	TOP OF WALL ELEVATION
WL	WATER LEVEL ELEVATION

SITE INFORMATION

OWNER: BILL SHINGLE
ADDRESS: 2488 HIDDEN VALLEY ROAD
APN: 352-083-20-00
AREA: 41,164 SF (0.945 AC)

GRADING TABULATIONS

TOTAL AREA TO BE GRADED:	38,891 SF
AMOUNT OF CUT:	2525 CUBIC YARDS
MAXIMUM DEPTH OF CUT OUTSIDE OF THE BUILDING:	5 FEET
AMOUNT OF FILL:	545 CUBIC YARDS
MAXIMUM DEPTH OF FILL OUTSIDE OF THE BUILDING:	5 FEET
AMOUNT OF EXPORT SOIL:	1875 CUBIC YARDS
REMEDIAL GRADING:	510 CUBIC YARDS

EARTHWORK QUANTITIES INCLUDE EXCAVATION FOR BUILDING AND SITE GRADING AS SHOWN ON THIS PLAN.

LEGAL DESCRIPTION

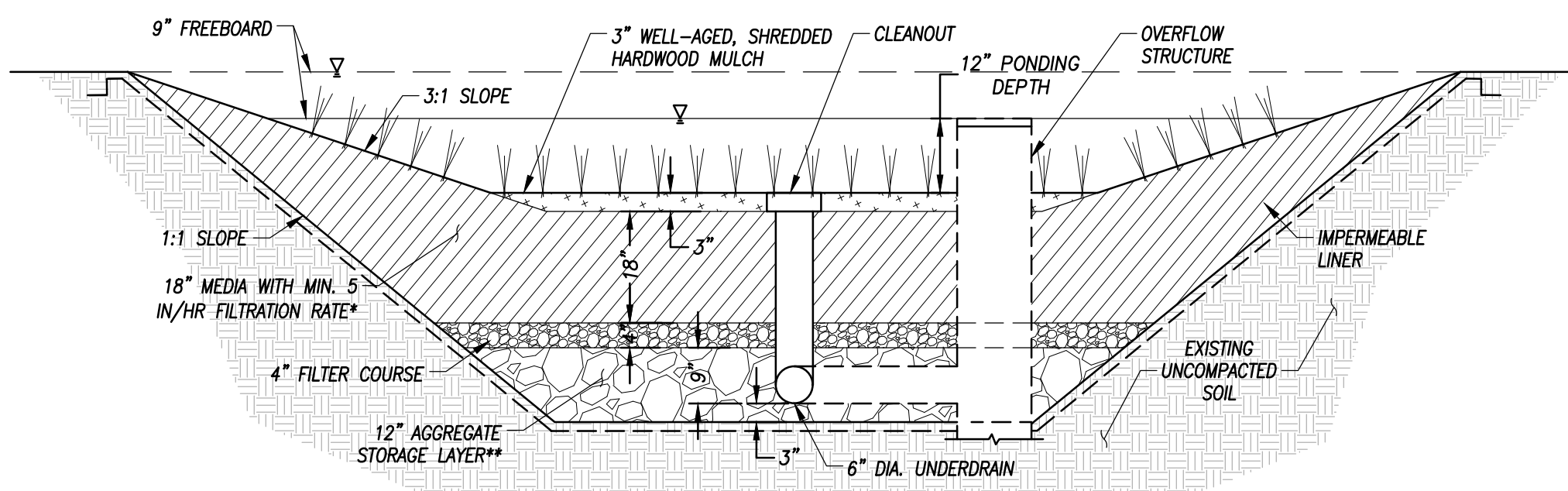
THE PORTION OF LOT 1288 OF THE PUEBLO LANDS OF SAN DIEGO, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF MADE BY JAMES PASCOE IN 1870, A COPY OF WHICH SAID MAP WAS FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, NOVEMBER 14, 1921, AND IS KNOWN AS MISCELLANEOUS MAP NO. 36, AS DESCRIBED IN GRANT DEED RECORDED IN THE OFFICE OF THE SAN DIEGO COUNTY RECORDER AS DOCUMENT NO. 2003-1050042

BENCHMARK

BRASS PLUG AT THE NORTHWEST CORNER RETURN AT THE INTERSECTION OF HIDDEN VALLEY ROAD AND ROSELAND DRIVE, ELEVATION=119.077 PER CITY OF SAN DIEGO VERTICAL CONTROL BENCHMARK BOOK. DATUM IS MEAN SEA LEVEL.

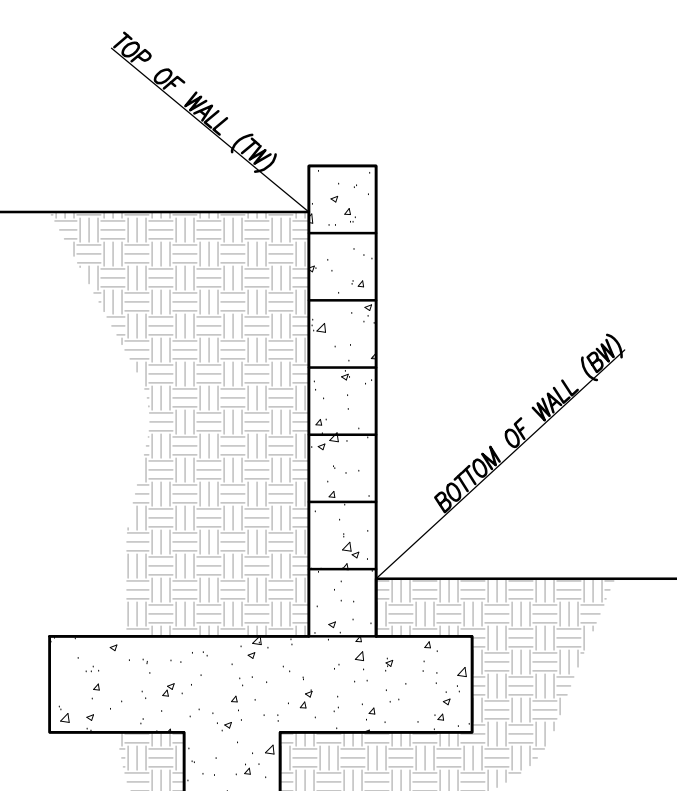
TOPOGRAPHY

PASCO LARET SUITER & ASSOCIATES
535 N. COAST HWY 101, SUITE A
SOLANA BEACH, CA 92075
858-259-8212
DATE: JANUARY 22, 2013

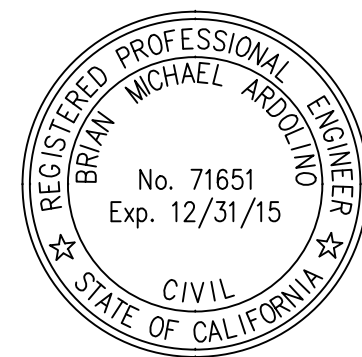


BIOFILTRATION AREA DETAIL (BF-1)
NOT TO SCALE

* BIORETENTION "MEDIA" LAYER SHALL BE MINIMUM 18" DEEP "SANDY LOAM" SOIL MIX, THE MIX SHALL CONTAIN 85% WASHED COURSE SAND, 10% FINES, AND 5% ORGANIC MATTER. MEDIA SHALL MAINTAIN AN INFILTRATION RATE OF 5 IN/HR OVER LIFETIME OF FACILITY.
** AGGREGATE STORAGE LAYER SHALL BE A MINIMUM OF 12" BUT MAY BE DEEPENED TO INCREASE THE INFILTRATION AND STORAGE ABILITY OF THE BASIN. THE EFFECTIVE AREA OF THE BASIN SHALL BE LEVEL AND SHALL BE SIZED BASED ON CALCULATION. ALL BIORETENTION PLANTERS TO BE DEPRESSED AT LEAST 6" BELOW ADJACENT FINISHED SURFACE



TYPICAL WALL ELEVATION
LOCATIONS SHOWN ON PLAN
NOT TO SCALE



PASCO LARET SUITER & ASSOCIATES
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535 North Highway 101, Ste A, Solana Beach, CA 92075
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PLANS PREPARED UNDER THE SUPERVISION OF

DATE: 08-18-15
R.C.E. NO. 71651
BRIAN M. ARDOLINO
EXP. 12-31-15

PREPARED BY:

Name: PASCO LARET SUITER & ASSOC.
525 N. HWY 101, SUITE A
SOLANA BEACH, CA 92075
Phone: (858) 259-8212

Project Address:
2488 HIDDEN VALLEY ROAD
LA JOLLA, CA 92037

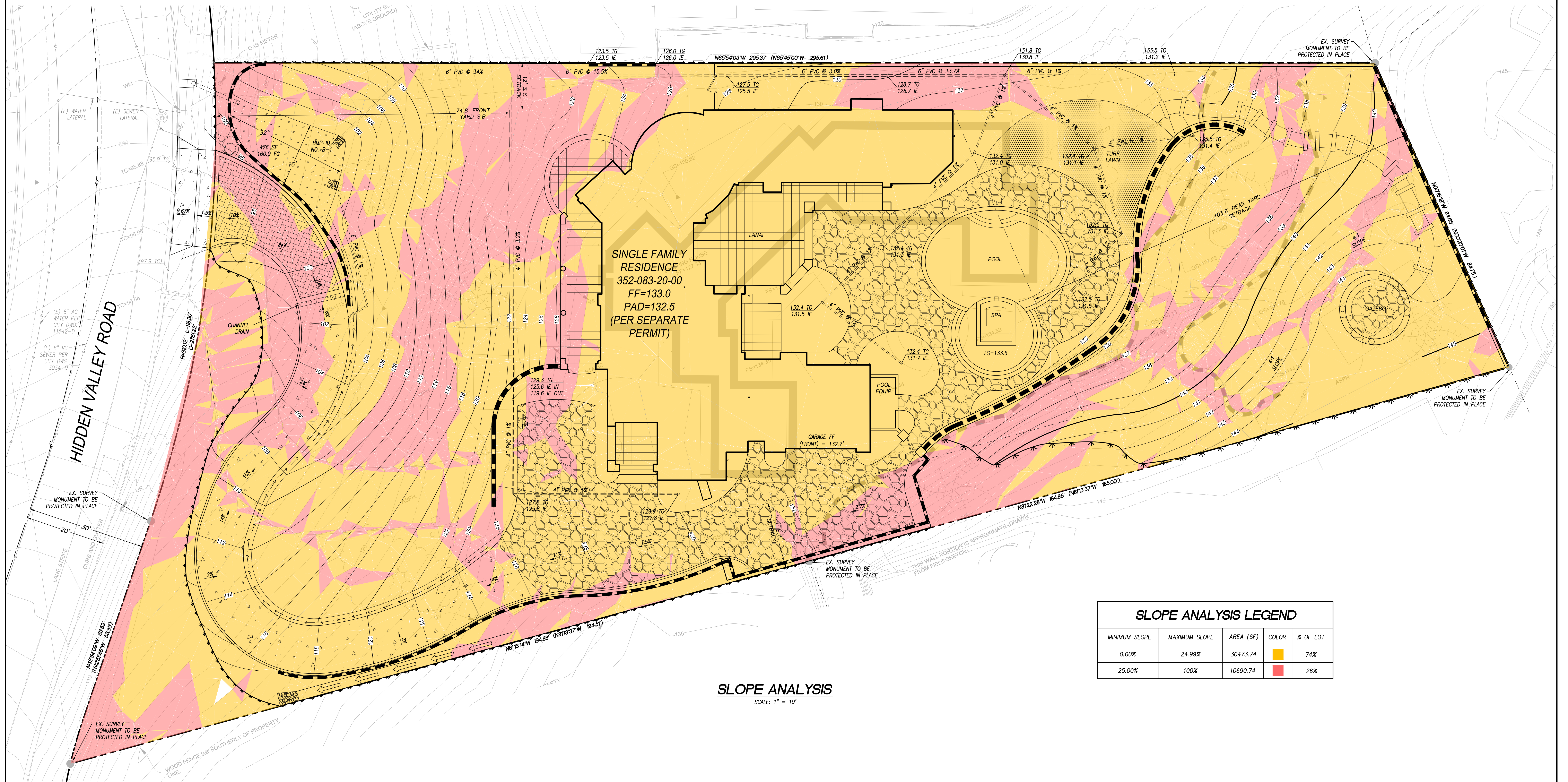
Project Name:
SHINGLE RESIDENCE

Sheet Title:
PRELIMINARY GRADING PLAN

Revision 14:	
Revision 13:	
Revision 12:	
Revision 11:	
Revision 10:	
Revision 9:	
Revision 8:	
Revision 7:	
Revision 6:	
Revision 5:	
Revision 4:	
Revision 3:	
Revision 2:	
Revision 1:	
Original Date:	AUGUST 18, 2015

Sheet: 2 of 3
DEP#:

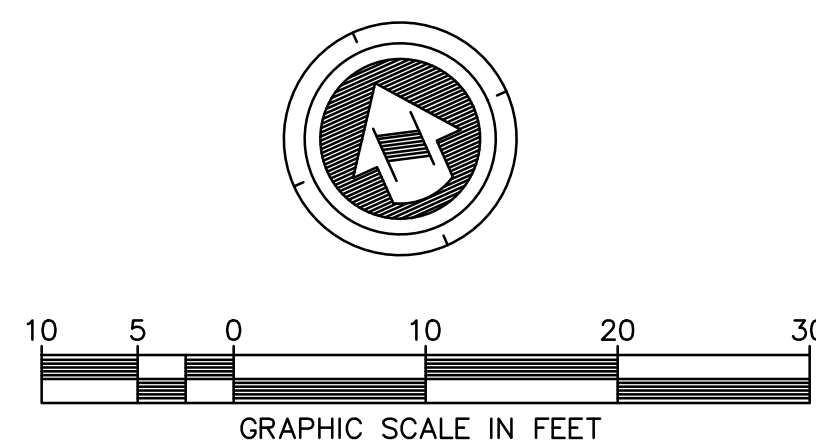
PRELIMINARY GRADING PLAN
8194 PRESTWICK DRIVE
LA JOLLA, CA 92037



SLOPE ANALYSIS
SCALE: 1" = 10'

SLOPE ANALYSIS LEGEND

MINIMUM SLOPE	MAXIMUM SLOPE	AREA (SF)	COLOR	% OF LOT
0.00%	24.99%	30473.74	Yellow	74%
25.00%	100%	10690.74	Pink	26%

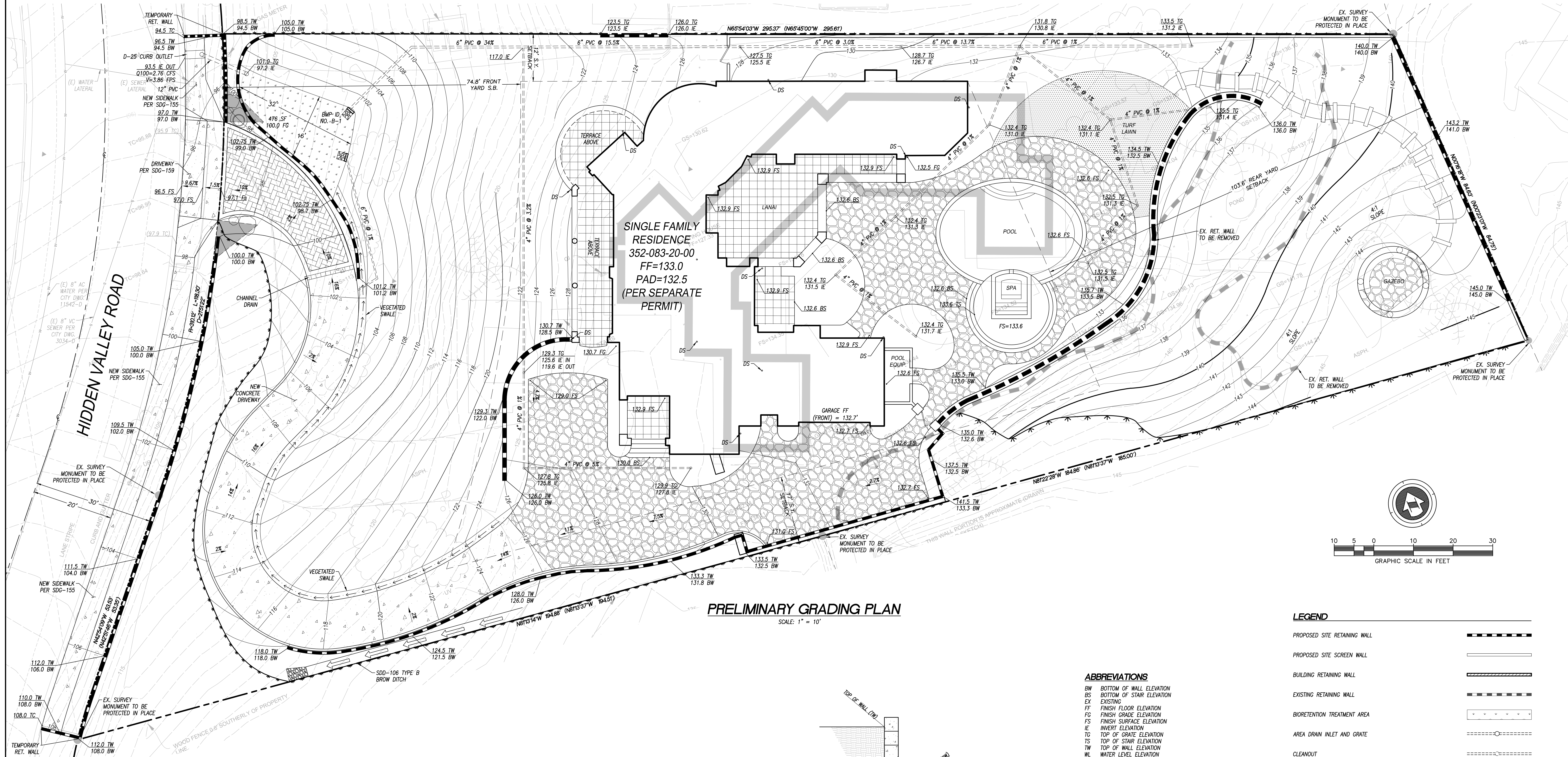


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PLANS PREPARED UNDER THE SUPERVISION OF
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EXP. 12-31-15
BRIAN M. ARDOLINO

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Project Address: 2488 HIDDEN VALLEY ROAD
LA JOLLA, CA 92037
Project Name: SINGLE RESIDENCE
Sheet Title: SLOPE ANALYSIS
Revision 14: _____
Revision 13: _____
Revision 12: _____
Revision 11: _____
Revision 10: _____
Revision 9: _____
Revision 8: _____
Revision 7: _____
Revision 6: _____
Revision 5: _____
Revision 4: _____
Revision 3: _____
Revision 2: _____
Revision 1: _____
Original Date: OCTOBER 22, 2015
Sheet: 3 of 3
DEP#: _____

PRELIMINARY GRADING PLAN
2488 HIDDEN VALLEY ROAD, LA JOLLA, CA 92037
ALTERNATIVE B - SIDEWALK IN PUBLIC R.O.W.



PRELIMINARY GRADING PLAN
SCALE: 1" = 10'

SITE INFORMATION

OWNER: BILL SMITH
ADDRESS: 2488 HIDDEN VALLEY ROAD
APN: 352-083-20-00
AREA: 41,164 SF (0.945 AC)

GRADING TABULATIONS

TOTAL AREA TO BE GRADED: 38,891 SF
AMOUNT OF CUT: 2420 CUBIC YARDS
MAXIMUM DEPTH OF CUT OUTSIDE OF THE BUILDING: 5 FEET
AMOUNT OF FILL: 545 CUBIC YARDS
MAXIMUM DEPTH OF FILL OUTSIDE OF THE BUILDING: 5 FEET
AMOUNT OF EXISTING SOIL: 1875 CUBIC YARDS
REMEDIAL GRADING: 510 CUBIC YARDS

EARTHWORK QUANTITIES INCLUDE EXCAVATION FOR BUILDING AND SITE GRADING AS SHOWN ON THIS PLAN.

LEGAL DESCRIPTION

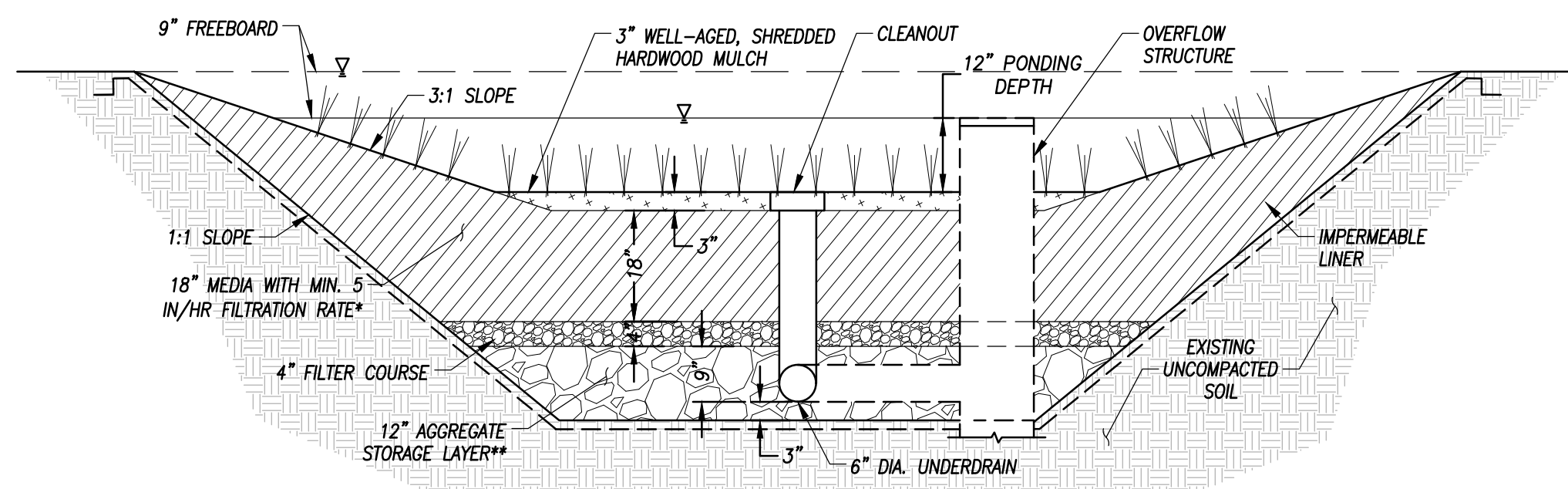
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TOPOGRAPHY

PASCO LARET SUTER & ASSOCIATES
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SOLANA BEACH, CA 92075
858-259-8212
DATE: JANUARY 22, 2013



BIOFILTRATION AREA DETAIL (BF-1)
NOT TO SCALE

* BIORETENTION "MEDIA" LAYER SHALL BE MINIMUM 18" DEEP "SANDY LOAM" SOIL MIX. THE MIX SHALL CONTAIN 85% WASHED COURSE SAND, 10% FINES, AND 5% ORGANIC MATTER. MEDIA SHALL MAINTAIN AN INFILTRATION RATE OF 5 IN/HR OVER LIFETIME OF FACILITY.

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TYPICAL WALL ELEVATION
LOCATIONS SHOWN ON PLAN
NOT TO SCALE

ABBREVIATIONS

BW BOTTOM OF WALL ELEVATION
BS BOTTOM OF STAIR ELEVATION
EX EXISTING
FF FINISH FLOOR ELEVATION
FG FINISH GRADE ELEVATION
FS FINISH SURFACE ELEVATION
IE INVERT ELEVATION
TG TOP OF GRADE ELEVATION
TS TOP OF STAIR ELEVATION
TW TOP OF WALL ELEVATION
WL WATER LEVEL ELEVATION

LEGEND

PROPOSED SITE RETAINING WALL	
PROPOSED SITE SCREEN WALL	
BUILDING RETAINING WALL	
EXISTING RETAINING WALL	
BIORETENTION TREATMENT AREA	
AREA DRAIN INLET AND GRATE	
CLEANOUT	
PVC DRAIN PIPE (SIZE AND SLOPE PER PLAN)	
LIMIT OF WORK	

PREPARED BY:

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Phone: (858) 259-8212

Project Address:
2488 HIDDEN VALLEY ROAD
LA JOLLA, CA 92037

Project Name:
SINGLE RESIDENCE

Sheet Title:
PRELIMINARY GRADING PLAN

Revision 14:	
Revision 13:	
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Revision 9:	
Revision 8:	
Revision 7:	
Revision 6:	
Revision 5:	
Revision 4:	
Revision 3:	
Revision 2:	
Revision 1:	OCTOBER 22, 2015

Original Date: AUGUST 18, 2015

Sheet: 2 of 3

DEP#:

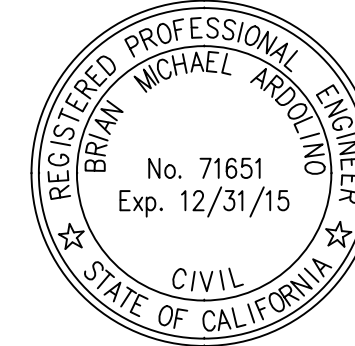
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PLANS PREPARED UNDER THE SUPERVISION OF

DATE: 08-18-15

R.C.E. NO. 71651

EXP. 12-31-15



BRIAN M. ARDOLINO