



THE CITY OF SAN DIEGO

NOTICE OF PUBLIC MEETING

This is to inform you that the **La Jolla Shores Planned District Advisory Board** will be conducting a public meeting to consider recommending approval, conditional approval, or denial of the development project(s) listed below:

DATE OF MEETING: Monday, May 15th, 2017
TIME OF MEETING: 11:00am
LOCATION OF MEETING: 615 Prospect Street, Room 2, La Jolla, CA 92037

1. CALL TO ORDER
2. APPROVAL OF THE AGENDA
3. APPROVAL OF THE MINUTES from April 26th, 2017
4. PUBLIC COMMENT
5. PROJECT REVIEW:

Action Items		
A	Project	PTS 529620 - Cielo TM/CDP/SDP/PDP (Continued from the meeting of April 26 th , 2017)
	Location	8280 Calle Del Cielo APN: 346-250-0800, 0900 & 1000
	Description	Proposal to subdivide 3 parcels into 8 parcels with a private drive and common drainage and stormwater improvements, construct 8 detached single-family dwelling units totaling 59,600 sf on a 4.45-acre site. <i>See ATTACHMENT 1 for additional project details.</i>
	Applicant/ Project Contact	Paul Benton, paul@alcornbenton.com , (858) 459-0805 Louis Beacham, lb@beachamconstruction.com , (858) 454-2999
B	Project	PTS 541350 - Roseland Remodel
	Location	7780 Roseland Drive APN: 346-521-1100
	Description	Proposal to remodel an existing 2,452 sf, single-story w/basement, single-family detached dwelling unit on a 0.19-acre site. <i>See ATTACHMENT 2 for additional details.</i>
	Applicant/P Project Contact	Patricia Pachardo, Patricia@dldesign.com , (619) 370-1403 Danny Lam, dannylam@dldesign.com

This information will be made available in alternative formats upon request. To request an agenda in alternative format, request a sign language or oral interpreter, or an Assistive Listening Devices (ALD's) for the meeting, call the Community Services Program at 236-6077 at least five working days prior to the meeting to ensure availability.

Information Item Only									
C	<table border="1"> <tr> <td>Project</td> <td>DRAFT Incentive-based Zoning Proposal for Coastal Development</td> </tr> <tr> <td>Location</td> <td>La Jolla Community</td> </tr> <tr> <td>Description</td> <td> Community-initiated zoning proposal to: <ol style="list-style-type: none"> 1. Implement the La Jolla Community & Local Coastal Plan in single-family residential areas where existing community character is established and residential remodels or rebuilding is expected to occur. 2. Enable a fair, predictable and cost-effective review process that balances private property rights with community scale and character compatibility policy concerns. 3. Provide for ministerial review of most development proposals. 4. Allow for community review when development proposals exceed established thresholds or deviate from administrative standards review. <i>See ATTACHMENT 3 for additional details.</i> </td> </tr> <tr> <td>Presenters</td> <td>Diane Kane Angeles Leira</td> </tr> </table>	Project	DRAFT Incentive-based Zoning Proposal for Coastal Development	Location	La Jolla Community	Description	Community-initiated zoning proposal to: <ol style="list-style-type: none"> 1. Implement the La Jolla Community & Local Coastal Plan in single-family residential areas where existing community character is established and residential remodels or rebuilding is expected to occur. 2. Enable a fair, predictable and cost-effective review process that balances private property rights with community scale and character compatibility policy concerns. 3. Provide for ministerial review of most development proposals. 4. Allow for community review when development proposals exceed established thresholds or deviate from administrative standards review. <i>See ATTACHMENT 3 for additional details.</i>	Presenters	Diane Kane Angeles Leira
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6. NEXT SCHEDULED MEETING: June 19th, 2017.

7. ADJOURNMENT

The meeting of the La Jolla Shores Advisory Board is to hear presentations and public testimony on development projects and provide recommendations to the City's decision maker. The final project decision is made by Staff, Hearing Officer, Planning Commission, or City Council to approve, approve with conditions or deny the projects listed above. If you wish to be notified of this public hearing you must submit a request in writing to the Project Manager (City Contact listed above) at the following address: City of San Diego, Development Services Department, 1222 First Avenue, MS 501, San Diego, CA 92101.

The agenda and minutes distributions are via email and will additionally be posted to the LJSPDAB webpage at <http://www.sandiego.gov/planning/community/profiles/lajolla/pddoab.shtml> . To request inclusion or removal from the distribution list please email the City Planner at mpangilinan@sandiego.gov with your request.

Marlon I. Pangilinan, Senior Planner
 Planning Department
 1010 Second Avenue Suite 1100 MS-413
 San Diego CA 92101
 619-235-5293 www.sandiego.gov/planning

Pangilinan, Marlon

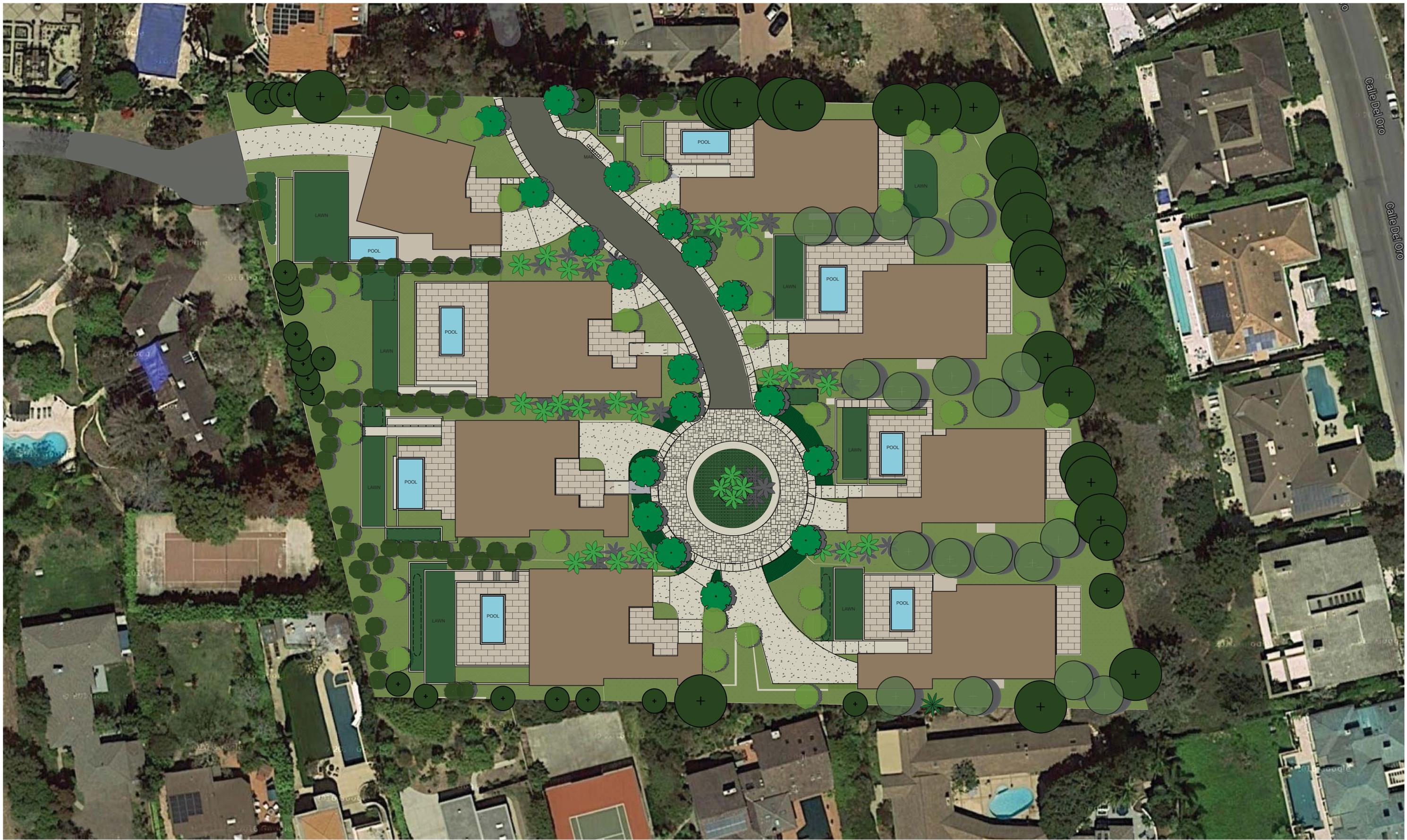
To: Paul Benton
Subject: RE: 529620 - Cielo 8 lots - can we get on the La Jolla Shores PDO?

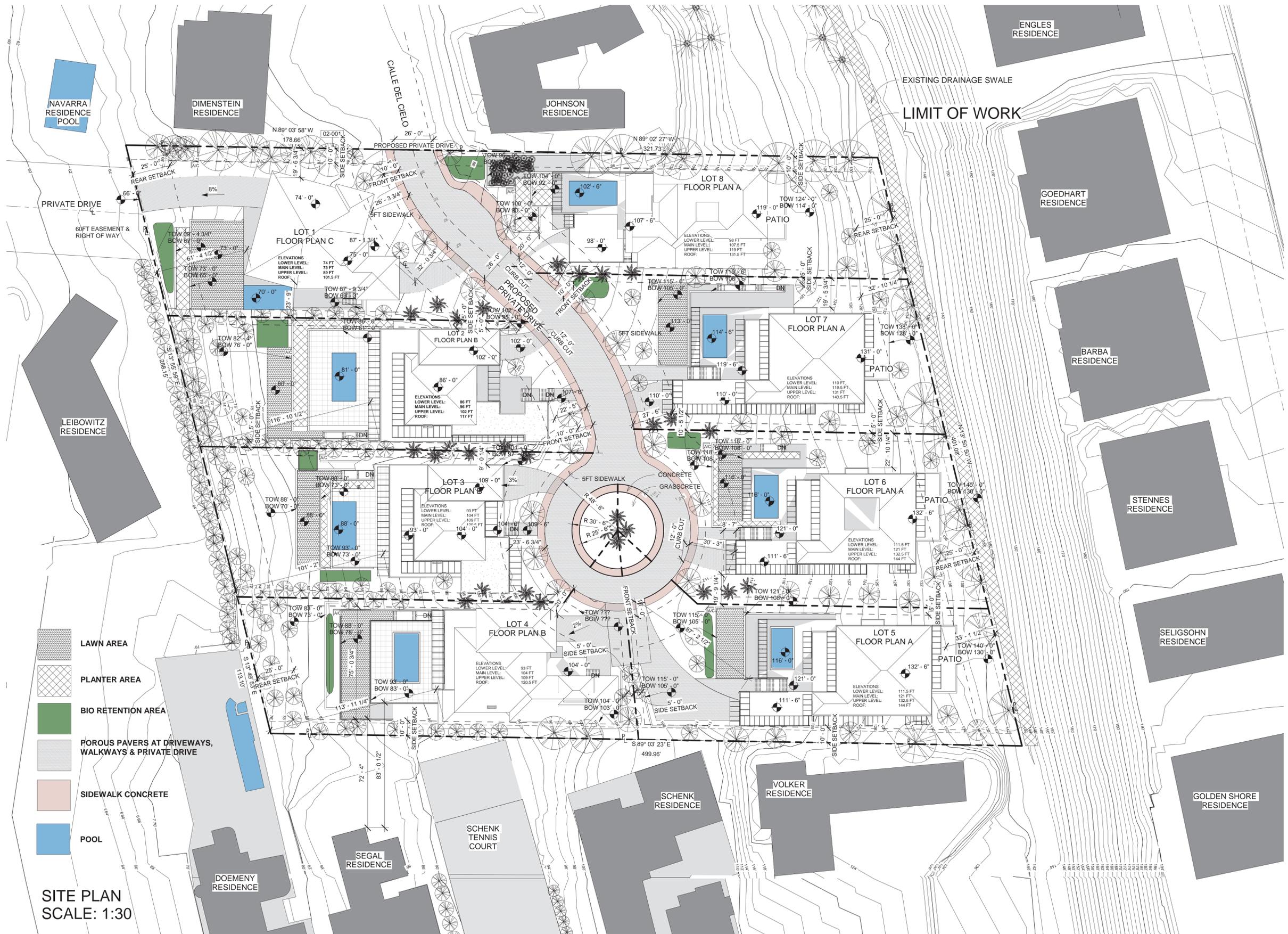
From: Hilary Lowe [mailto:hilary@alcornbenton.com]
Sent: Tuesday, April 11, 2017 12:37 PM
To: 'Paul Benton'
Subject: RE: 529620 - Cielo 8 lots - can we get on the La Jolla Shores PDO?

Paul,
 Find project information below for your review.
 Project PTS #: 529620
 Project Name: Cielo TM/CDP/SDP/PDP
 Address: 8280 Calle Del Cielo
 346-250-08-00, 346-250-09-00, 346-250-
 APN(s): 10-00
 Louis Beacham, lb@beachamconstruction.com, 858-454-
 Project Contact: 2999

Project Description:

	Lot Area (SF):	Floor Area (SF):	FAR:	North Setback:	South Setback:	East Setback:	West Setback:	Height:
Existing:	193,727 SF	4,151 SF	0.02	128'-0"	36'-8"	196'-0"	230'-0"	16'-0"
Proposed Lot 1:	24,431 SF	7,275 SF	0.30	19'-6"	23'-9"	26"-3" FC	61'-4.5"	28'-11"
Proposed Lot 2:	23,673 SF	7,450 SF	0.31	5'-0"	5'-0"	22'-5" FC	116'-10.5"	29'-10"
Proposed Lot 3:	25,266 SF	7,450 SF	0.29	8'-6"	5'-0"	23'-6" FC	101'-2"	29'-5.5"
Proposed Lot 4:	23,624 SF	7,450 SF	0.32	5'-0"	10'-0"	20'-0" FC	114'-0"	29'-11"
Proposed Lot 5:	23,632 SF	7,450 SF	0.32	8'-0"	10'-0"	38'-9"	87'-2" FC	24'-6"
Proposed Lot 6:	25,425 SF	7,450 SF	0.29	22'-9"	19'-8.5"	25'-0"	30'-3" FC	28'-8.75"
Proposed Lot 7:	23,991 SF	7,450 SF	0.31	19'-6"	10'-6"	32'-10"	26'-11" FC	28'-11"
Proposed Lot 8:	23,685 SF	7,450 SF	0.31	10'-9"	7'-2"	78'-8"	20'-0" FC	27'-11"



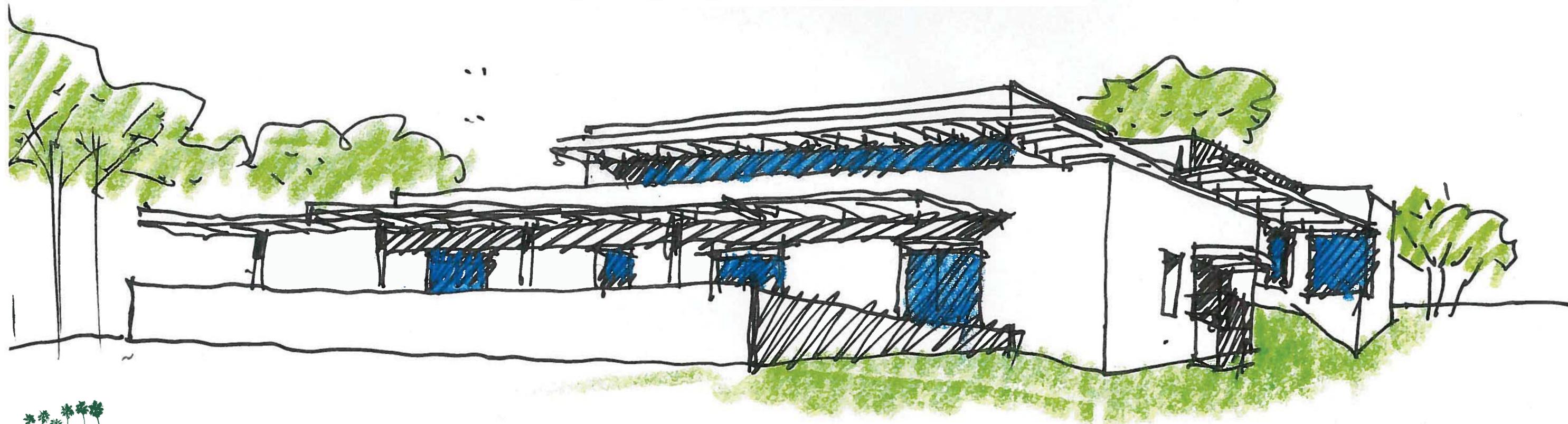


SITE PLAN
SCALE: 1:30

SITE PLAN



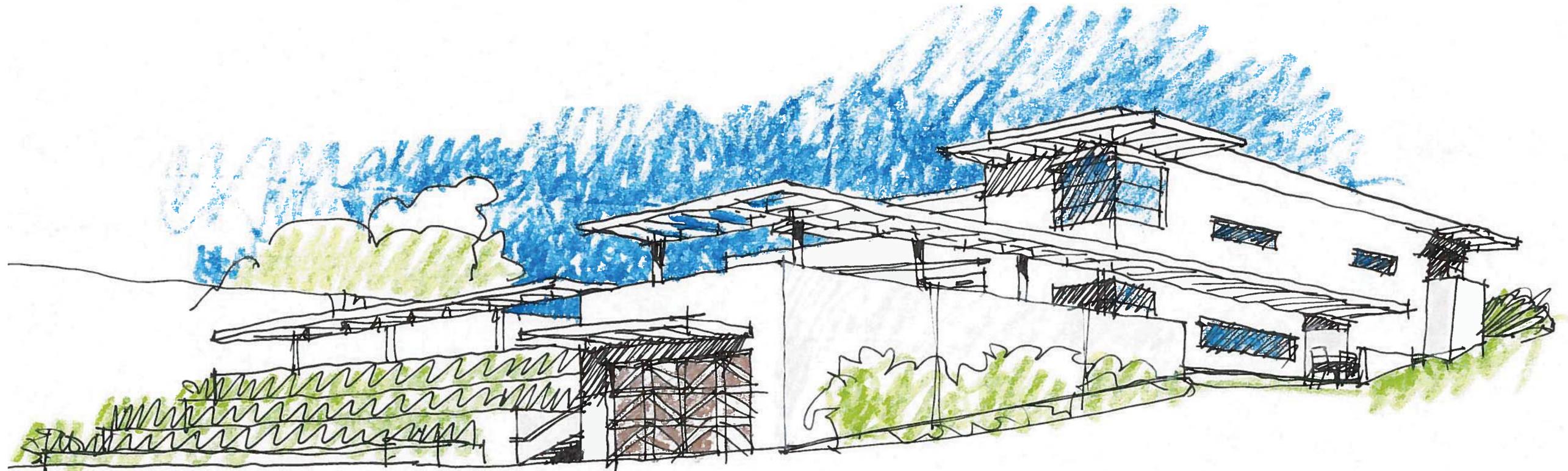
LOT 2 - EAST ELEVATION



LOT 2 - WEST ELEVATION



LOT 7 - EAST ELEVATION



LOT 7 - WEST ELEVATION



LOT 1 RENDERING



LOT 2 RENDERING



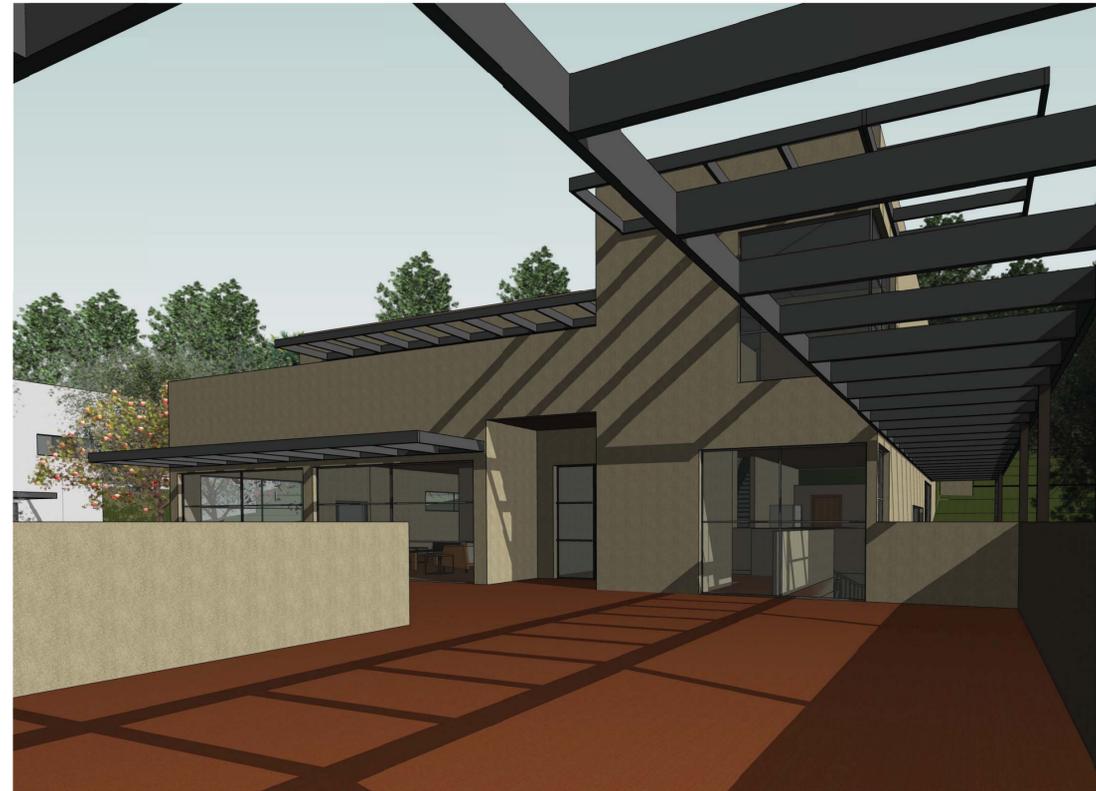
LOT 3 RENDERING



LOT 4 RENDERING



LOT 5 RENDERING



LOT 6 RENDERING



LOT 7 RENDERING



LOT 8 RENDERING

ROSELAND RESIDENCE - PHASE I-II

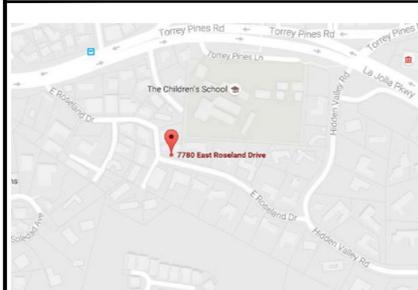
7780 Roseland Dr.
La Jolla, CA 92037

PROJECT DATA

APN 346-521-11-00
BUILT IN 1964
2,452 SQ. FT. SFR (SINGLE FAMILY RESIDENCE)
8,394 SQ. FT. LOT
LEGAL DESC: SAN DIEGO SUBD: PUEBLO LANDS OF SAN DIEGO MM0036 LOT 1286 POR.
ZONE: LJSPD-SF
CONTRACTOR: BBC BROTHERS
PROJECT MGR: HENK BOTHOF
OWNER: TIPP INVESTMENTS, LLC.

MAX F.A.R.: 60%
PROPOSED F.A.R.: 35%

VICINITY MAP



BUILDING AREA

1-STORY SINGLE FAMIL RESIDENCE
(E) HABITABLE RESIDENCE: 2,452 S.F.
(E) 2-CAR GARAGE: 469 S.F.
TOTAL (E) BUILDING AREA (COMBINED): 2,921 S.F.
(N) BASEMENT REMODEL: 857 S.F.
NEW PROPOSED WORK
(N) ROOF DECK: 510 S.F.
TOTAL (N) WORK AREA: 510 S.F.
NEW TOTAL BUILDING AREA (HABITABLE): 2,452 FT.
TOTAL BUILDING AREA (NON-HABITABLE): 979 FT.
TOTAL BUILDING AREA (COMBINED): 3,431 FT.

LOT SQ. FT. 7,540 S.F.
LANDSCAPE: 3,068 S.F., 36%

TOTAL DISTURBANCE AREA: 90 S.F.
(E) AMOUNT OF IMPERVIOUS AREA: 2,921 S.F.
PROPOSED AMOUNT OF IMPERVIOUS AREA: 90 S.F.
TOTAL IMPERVIOUS AREA: 3,011 S.F.

EARTHWORK QUANTITIES:
CUT QUANTITIES: CYD
FILL QUANTITIES: CYD
IMPORT/EXPORT: CYD
MAX CUT DEPTH: FT
MAX FILL DEPTH: FT

SCOPE OF WORK

PHASE I:
INTERIOR REMODEL OF THE (E) KITCHEN, LAUNDRY AREA, BED BATHROOM AND LIVING AREAS; DEMOLISH INTERIOR WALLS FOR NEW LAYOUT.
(E) BATHROOM & CLOSET REMODEL OF 337 S.F. SHALL BE CONVERTED TO A (N) BEDROOM & CLOSET OF 337 S.F. AND REMOVE AN EXISTING INTERIOR CHIMNEY ONLY.
(E) EXTERIOR ROOFTOP CHIMNEY FLUE TO REMAIN.
EXTERIOR WORK TO INCLUDE NEW ENTRY WALL DOOR & WINDOW REPLACEMENT EXISTING DECKING REPAIR & RESURFACE.

PHASE II
PROJECT: TO PERMIT THE FOLLOWING:
-Remodel (E) Basement level. No new Sq. Ft. added.
-Replace plumbing and electrical like for like
-ADD New SPA area to (E) Basement area
- New staircase to (N) Roof deck
- Convert existing Flat Roof into Roof deck with BB area
- Extended existing chimney chute.

GFA:
BASEMENT: 217 S.F.
FIRST FLOOR: 2,451 S.F.
STAIR CASE AREA: 147 S.F.
TOTAL: 2,815 S.F.

STORM WATER QUALITY NOTES CONSTRUCTION BMP'S

THIS PROJECT SHALL COMPLY WITH ALL CURRENT REQUIREMENTS OF THE STATE PERMIT, CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD (SDRWQCB), SAN DIEGO MUNICIPAL STORM WATER PERMIT, THE CITY OF SAN DIEGO LAND DEVELOPMENT CODE, AND THE STORM WATER STANDARDS MANUAL.

NOTES BELOW REPRESENT KEY MINIMUM REQUIREMENTS FOR CONSTRUCTION BMP'S.

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANUP OF ALL SILT AND MUD ON ADJACENT STREET(S), DUE TO CONSTRUCTION VEHICLES OR ANY OTHER CONSTRUCTION ACTIVITY, AT THE END OF EACH WORKDAY, OR AFTER A STORM EVENT THAT CAUSES A BREACH IN INSTALLED CONSTRUCTION BMP'S WHICH MAY COMPROMISE STORM WATER QUALITY WITHIN ANY 'STREET(S)', A STABILIZED CONSTRUCTION EXIT MAY BE REQUIRED TO PREVENT CONSTRUCTION VEHICLES OR EQUIPMENT FROM TRACKING MUD OR SILT ONTO THE STREET.
2. ALL STOCKPILES OF SOIL AND/OR BUILDING MATERIALS THAT ARE INTENDED TO BE LEFT FOR A PERIOD GREATER THAN SEVEN CALENDAR DAYS ARE TO BE COVERED. ALL REMOVABLE BMP DEVICES SHALL BE IN PLACE AT THE END OF EACH WORKING DAY WHEN FIVE DAY RAIN PROBABILITY FORECAST EXCEEDS 40%.
3. A CONCRETE WASHOUT SHALL BE PROVIDED ON ALL PROJECTS WHICH PROPOSE THE CONSTRUCTION OF ANY CONCRETE IMPROVEMENTS WHICH ARE TO BE POURED IN-PLACE ON SITE.
4. THE CONTRACTOR SHALL RESTORE ALL EROSION/SEDIMENT CONTROL DEVICES TO WORKING ORDER AFTER EACH RUN-OFF PRODUCING RAINFALL OR AFTER ANY MATERIAL BREACH IN EFFECTIVENESS.
5. ALL SLOPES THAT ARE CREATED OR DISTURBED BY CONSTRUCTION ACTIVITY MUST BE PROTECTED AGAINST EROSION AND SEDIMENT TRANSPORT AT ALL TIMES.
6. THE STORAGE OF ALL CONSTRUCTION MATERIALS AND EQUIPMENT MUST BE PROTECTED AGAINST ANY POTENTIAL RELEASE OF POLLUTANTS INTO THE ENVIRONMENT.

SPECIAL REQUIREMENTS

SPECIAL INSPECTIONS REQUIRED: YES NO
INSPECTION TYPE:
DESCRIPTION: N/A
***FIRE SPRINKLER SYSTEM: YES NO
HISTORICAL SURVEY: YES NO

SOILS REPORT NOTE:

THE STRUCTURE(S) SHALL BE LOCATED ENTIRELY ON UNDISTURBED NATIVE SOIL. IF BLDG. INSPECTOR SUSPECTS FILL, EXPANSIVE SOILS OR ANY GEOLOGICAL INSTABILITY BASED UPON OBSERVATION OF THE FOUNDATION EXCAVATION, A SOILS OR GEOLOGICAL REPORT AND RESUBMITTEL OF PLANS TO PLAN CHECK TO VERIFY THAT THE REPORT RECOMMENDATIONS HAVE BEEN INCORPORATED, MAY BE REQUIRED.

SIGNATURE _____
AGENT FOR OWNER

THE PROJECT PROPOSED TO EXPORT 0 CUBIC YARDS OF MATERIAL FROM THIS SITE. THE APPROVAL OF THIS PROJECT DOES NOT ALLOW PROCESSING AND SALE OF THE MATERIAL. ALL SUCH ACTIVITIES REQUIRE A SEPARATE CONDITIONAL USE PERMIT.

APPLICABLE CODES

ALL WORK, INCLUDING MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE REQUIREMENTS OF THE LATEST EDITIONS OF LOCAL AND STATE CODES, LAWS, SAN DIEGO ORDINANCE AND THE FOLLOWING CODES:
This project will comply w/ all applicable California Building Code Uniform Plumbing code, National Electric Code, Uniform Mechanical Code, CCR Title 24, City Fire Department, All City's Green Building Standard Ordinances and City Public Works requirements for the proposed use and location.
2016 IBC, 2016 UMC, 2016 UPC, 2016 CFC, 2016 NEC AND TITLE 24 (2016 CALIFORNIA ENERGY CODE)
2016 CALIFORNIA BUILDING CODE
2016 CALIFORNIA FIRE CODE
2016 CALIFORNIA MECHANICAL CODE
2016 CALIFORNIA PLUMBING CODE
2016 CALIFORNIA ELECTRICAL CODE
2016 CALIFORNIA ENERGY CONSERVATION CODE
2016 CALIFORNIA RESIDENTIAL CODE
2016 CALIFORNIA GREEN BUILDING CODE

GENERAL NOTES & REQUIREMENTS

1. THE GENERAL NOTES BELOW SHALL APPLY AS MIN. STANDARD FOR THIS PROJECT. WHENEVER MORE STRINGENT REQUIREMENTS APPEAR THROUGHOUT THESE PLANS & ALL CONSTRUCTION DOCUMENTS, THE CONTRACTOR SHALL COMPLY WITH THE MORE STRINGENT REQUIREMENTS.
2. ALL ARCHITECTURAL DRAWINGS & DOCUMENTS PROVIDED BY THE ARCHITECT, ITS OFFICERS, EMPLOYEES, & CONSULTANTS, AS REPRESENTED BY THESE DRAWINGS & SPECIFICATIONS, ARE PROTECTED BY COPYRIGHT, 2004.
3. THE LIABILITY OF THE ARCHITECT, ITS OFFICERS, EMPLOYEES, AND CONSULTANTS, IS LIMITED TO THE TOTAL FEES RECEIVED FOR ITS ARCHITECTURAL (& CONSTRUCTION SERVICES, WHEN CONTRACTED) FOR THIS PROJECT. LIMITS INCLUDE ERRORS & OMISSIONS & LATENT DEFECTS.
4. ALL PROPOSED AND EXISTING BUILDING LINES & EASEMENTS, PROPERTY LIMITS, OR OTHER DEVELOPMENT RESTRICTED AREAS AS PROVIDED BY THE OWNER ARE SHOWN ON THE SITE PLAN.
5. CONSTRUCTION SHALL CONFORM TO THE 2013 UBC, UMC, UPC, 2013 NEC, TITLE 2013 CALIFORNIA ENERGY CODE, AND/OR ALL LOCAL ORDINANCES. REFERENCES GIVEN TO THE U.B.C. REFER TO THE 2001 EDITION OF THE UNIFORM BUILDING CODE, PUBLISHED BY THE INTERNATIONAL CONFERENCE OF BUILDING OFFICIALS.
6. THE ARCHITECT/DESIGNER SHALL NOT BE RESPONSIBLE FOR FIELD WORK PERFORMANCE, SAFETY IN, ON, OR ABOUT THE JOB SITE, METHODS OF PERFORMANCE OR TIMELINESS IN THE PERFORMANCE OF THE WORK.
7. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS BEFORE STARTING ANY WORK. ANY DISCREPANCIES, OMISSIONS, CONFLICTS IN DRAWINGS OR CONST. NOTES SHALL BE IMMEDIATELY REPORTED TO THE ARCHITECT BEFORE PROCEEDING w/ ANY WORK SO INVOLVED.
8. IN CASE OF CONFLICT BETWEEN NOTES & DETAILS ON THE DRAWINGS & THE "GENERAL NOTES", THE MORE RESTRICTIVE REQUIREMENTS SHALL APPLY. WHERE NO CONSTRUCTION DETAILS ARE SHOWN OR NOTED FOR ANY PART OF THE WORK, THE DETAILS SHALL BE THE SAME AS FOR OTHER SIMILAR WORK. SHOWN ON THE DRAWINGS. IN NO CASE SHALL WORKING DIMENSIONS BE SCALED FROM PLANS, SECTIONS, OR DETAILS ON THE DRAWINGS. WRITTEN DIMENSIONS SHALL GOVERN. NOTES & DETAILS ON THE DRAWINGS SHALL PRECEDE OVER THE GENERAL NOTES.
9. THESE PLANS AND ALL WORK SHALL COMPLY w/ THE CALIFORNIA BUILDING STANDARDS CODE FOUND IN STATE OF CALIFORNIA TITLE 24 CCR AS AMENDED & ADOPTED BY THE CITY OF SAN DIEGO.
10. EACH SUB-CONTRACTOR IS CONSIDERED A SPECIALIST IN HIS RESPECTIVE FIELD AND SHALL PRIOR TO THE SUBMISSION OF BID OR PERFORMANCE OF WORK, NOTIFY THE GENERAL CONTRACTOR OR OWNER OF ANY POTENTIAL DIFFICULTIES OF WORK CALLED OUT ON THE DRAWINGS IN HIS TRADE THAT CANNOT BE FULLY GUARANTEED.
11. THE CONTRACTOR &/OR SUB-CONTRACTORS SHALL BE RESPONSIBLE FOR THE APPROPRIATE "HOOK-UP" OF ALL UTILITIES REQUIRED TO SUPPORT THE WORK.
12. FIRE WARNING SYSTEM SHALL COMPLY w/ THE CURRENT U.B.C. SMOKE DETECTORS SHALL SOUND AN ALARM AUDIBLE IN ALL SLEEPING AREAS OF THE BUILDING.
13. THE CONTRACTOR SHALL DETERMINE THE LOCATIONS OF EXISTING UTILITY SERVICES IN AREAS TO BE EXCAVATED OR REMOVED PRIOR TO BEGINNING OF EXCAVATION OR REMOVAL. KNOWN UTILITY COMPANY PHONE NUMBERS: SDG&E (619) 239-7511 DIG ALERT: (800) 422-4133 WATER DIST. PACIFIC BELL: (800) 310-2355
14. ALL PROPOSED & EXISTING BUILDING LINES & EASEMENTS, PROPERTY LIMITS, OR OTHER DEVELOPMENT RESTRICTED AREAS AS PROVIDED BY THE OWNER ARE SHOWN ON THE SITE PLAN.
15. THIS PROJECT IS NOT WITHIN A NOISE CRITICAL AREA ("CNEL" CONTOUR OF 60 DB) AS SHOWN ON THE GENERAL PLAN.
16. NO GRADING PERMIT IS REQUIRED FOR THIS PROJECT. THERE IS NO SIGNIFICANT AMOUNT OF EARTH MOVEMENT OTHER THAN REQUIRED FOR FOUNDATION AND U/G UTILITIES; THERE IS NO IMPORT OR EXPORT OF SOIL.
17. MINIMUM CONSTRUCTION SPECIFICATIONS, FORM DPLU #181ARE ATTACHED TO THIS SET OF DRAWINGS, & ARE MADE PART OF THIS PROJECT HERE BY REFERENCE.
18. CONTRACTOR SHALL IMPLEMENT THE FOLLOWING STORMWATER MANAGEMENT PLAN (SWMP) BEST MANAGEMENT PRACTICES (BMP'S) TO PREVENT POLLUTANTS (INCLUDING SEDIMENT) FROM ENTERING STORMWATER CONVEYANCES & RECEIVING WATERS.
19. CONTRACTOR TO POST SITE IDENTIFICATION CARD & CALL FOR SITE INSPECTION. ADDITIONAL CORRECTIONS MAY RESULT FROM THE FINDINGS OF THIS INSPECTION. CORRECTIONS w/ GAS LOG LIGHTERS ARE REQUIRED TO HAVE A FLUE DAMPER PERMANENTLY FIXED IN THE OPEN POSITION & FIREPLACES w/ LPG LOG LIGHTERS ARE TO HAVE NO "PIT" OR "SUMP" CONFIGURATIONS.
21. CONSTRUCTION PERMIT IS REQUIRED FOR REPLACING THE DRIVEWAY WITH CITY STANDARD CVCS-1B. THE PERMIT MUST BE APPROVED & BONDED BEFORE BUILDING PERMIT APPROVAL.
22. A SET OF CONSTRUCTION NOTES IS INCLUDE W/ IN THE DRAWINGS AND ARE TO BE PART OF THE CONTRACT DOCUMENTS.
23. THE DESIGN ADEQUACY AND SAFETY OF ERECTION BRACING, SHORING, TEMPORARY SUPPORTS AND SCAFFOLDING IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
24. ALL OBSTRUCTIONS TO THE WORK, MATERIALS, PIPING, EQUIPMENT, ETC., SHALL BE REMOVED, STORED AND MAINTAINED IN GOOD CONDITION AS REQUIRED AND REINSTALLED BY THE CONTRACTOR AT HIS OWNERS RISK AND AT THE SATISFACTION OF THE OWNER'S REPRESENTATIVE, AT NO ADDITIONAL COST TO THE OWNER.
25. NO HAZARDOUS MATERIALS SHALL BE USED AND/OR STORED WITHIN AND AT THE VICINITY OF THE BUILDING EXCEED THE QUANTITIES LISTED IN UBC TABLES 9-A AND 9-B.
26. A ONE-INCH WATER METER IS REQUIRED FOR ADEQUATE SUPPLY FOR THE FIRE SPRINKLER SYSTEM. THE ONE-INCH WATER METER SHALL BE INSTALLED PRIOR TO FINAL INSPECTION BY THE FIRE DEPT. THIS REQUIREMENT SHALL BE FULFILLED PRIOR TO THE INSTALLATION OF ANY FIRE SPRINKLER SYSTEM OR COMPONENT.
27. FIRE SPRINKLER PLANS SHALL NOT BE SUBMITTED, REVIEWED AND/OR APPROVED UNTIL THE BUILDING PERMIT IS REVIEWED AND APPROVED.
28. NOTICE TO THE APPLICANT/OWNER/OWNER'S AGENT/ARCHITECT OR ENGINEER OF RECORD: BY USING THIS PERMITTED CONSTRUCTION/INSTALLATION OF THE WORK SPECIFIED HEREIN, YOU AGREE TO COMPLY WITH THE REQUIREMENTS OF CITY OF SAN DIEGO FOR SPECIAL INSPECTIONS, STRUCTURAL OBSERVATIONS, CONSTRUCTION MATERIAL TESTINGS AND OFF-SITE FABRICATION OF BUILDING COMPONENTS, CONTAINED IN THE STATEMENT OF SPECIAL INSPECTIONS AND, AS REQUIRED BY THE CALIFORNIA CONSTRUCTION CODE.
29. NOTICE TO THE CONTRACTOR/BUILDER/INSTALLER/SUB-CONTRACTOR/OWNER-BUILDER: BY USING THIS PERMITTED CONSTRUCTION DRAWINGS FOR CONSTRUCTION/INSTALLATION OF THE WORK SPECIFIED HEREIN, YOU AGREE TO COMPLY WITH THE REQUIREMENTS CONTAINED IN THE STATEMENT OF SPECIAL INSPECTIONS. YOU AGREE TO COMPLY WITH THE REQUIREMENTS OF CITY OF SAN DIEGO FOR SPECIAL INSPECTIONS, STRUCTURAL OBSERVATIONS, CONSTRUCTION MATERIAL TESTINGS AND OFF-SITE FABRICATION OF BUILDING COMPONENTS, CONTAINED IN THE STATEMENT OF SPECIAL INSPECTIONS AND, AS REQUIRED BY THE CALIFORNIA CONSTRUCTION CODES.
30. THE SPECIAL INSPECTOR MUST BE CERTIFIED BY THE CITY OF SAN DIEGO, DEVELOPMENT SERVICES, IN THE CATEGORY OF WORK REQUIRED TO HAVE SPECIAL INSPECTION.
31. THE SPECIAL INSPECTIONS IDENTIFIED ON PLANS ARE, IN ADDITION TO, AND NOT A SUBSTITUTE FOR, THOSE INSPECTIONS REQUIRED TO BE PERFORMED BY A CITY'S BUILDING INSPECTOR.
32. FABRICATOR MUST BE APPROVED BY THE CITY OF SAN DIEGO, DEVELOPMENT SERVICES FOR THE FABRICATION OF MEMBERS AND ASSEMBLIES ON THE PREMISES OF THE FABRICATOR'S SHOP.
33. FABRICATOR SHALL SUBMIT AN APPLICATION TO PERFORM OFF-SITE FABRICATION TO THE INSPECTION SERVICES DIVISION FOR APPROVAL PRIOR TO COMMENCEMENT OF FABRICATION.
34. FABRICATOR SHALL SUBMIT A CERTIFICATE OF COMPLIANCE FOR OFF-SITE FABRICATION TO THE INSPECTION SERVICES DIVISION PRIOR TO ERECTION OF FABRICATED ITEMS AND ASSEMBLIES.

SITE PLAN LEGEND

- NEW WORK
- HARDSCAPE AREAS
- LANDSCAPE AREAS
- DRAIN
- SLOPE
- NORTH ORIENTATION
- UTILITY POWER POST
- ELECTRICAL METER 200 AMP UPGRADE
- GAS METER
- WATER METER
- SEWER LATERAL LINE
- CENTER LINE (STREET)

SITE PLAN NOTES & UTILITIES

1. ALL SURFACE WATER TO DRAIN AWAY FROM BUILDING & PROPERTY LINES AND ARE TO DRAIN INTO DESIGNATED LANDSCAPE AREAS, FOR PROPER DISCHARGE.
2. VERIFY ALL UTILITY LOCATIONS (EXISTING OR NEW) PRIOR TO START OF CONSTRUCTION.
3. THE HOSE BIBBS AND LAWN SPRINKLER SYSTEMS SHALL HAVE APPROVED BACK FLOW PREVENTION DEVICES. UPC SECTION 1003.
4. CONTRACTOR TO COMPLY WITH ALL OSHA REQUIREMENTS.
5. ALL PROPERTY LINES (REAL OR ASSUMED), EASEMENTS AND BUILDINGS (BOTH EXISTING & PROPOSED) ARE SHOWN ON THIS SITE PLAN. THESE PLANS AND ALL WORK SHALL COMPLY WITH THE CALIFORNIA BUILDING STANDARDS CODE FOUND IN THE STATE OF CALIFORNIA TITLE 24 CCR AS AMENDED AND ADOPTED BY THE CITY.

NOTE: NO GRADING PERMIT IS REQUIRED FOR THIS PROJECT. RELATIVELY FLAT.

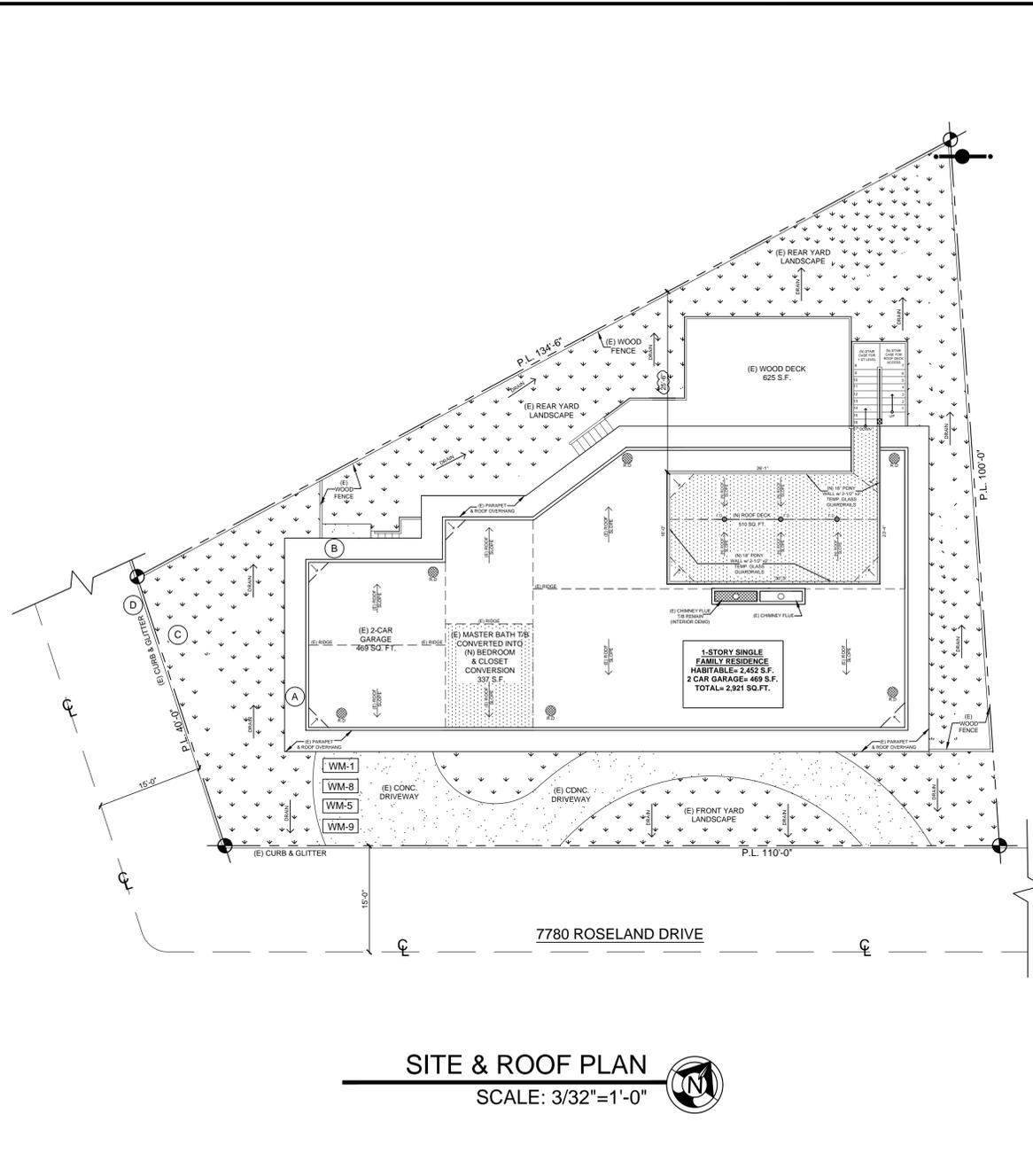
WATER METER FOR COMBINED DOMESTIC WATER AND FIRE SPRINKLER SYSTEM SHALL NOT BE INSTALLED UNTIL THE FIRE SPRINKLER SYSTEM HAS BEEN SUBMITTED AND APPROVED BY THE BUILDING OFFICIAL.
AFTER THE BUILDING PERMIT HAS BEEN ISSUED, THE OWNER SHALL BE RESPONSIBLE FOR ANY COSTS INCURRED AS A RESULT OF CHANGES TO THE DESIGN OF THE FIRE SPRINKLER SYSTEM WHICH REQUIRE A HIGHER GPM AND A LARGER METER SIZE REQUIREMENT.
OWNER SIGNATURE: _____

LIST OF DRAWINGS

- | | | |
|-----|------|-------------------------|
| 1. | A-1 | SITE & ROOF PLAN |
| 2. | A-2 | BASEMENT LEVEL |
| 3. | A-3 | FLOOR & ELECTRICAL PLAN |
| 4. | A-4 | ROOF PLAN |
| 5. | A-5 | ELEVATIONS |
| 6. | A-6 | ELEVATIONS |
| 7. | A-7 | CROSS SECTIONS |
| 10. | T-24 | TITLE-24 |
| 11. | S1 | FOUNDATION PLAN |
| 12. | S2 | FRAMING PLAN |

BMP'S LEGEND

- WM-1 : MATERIAL STORAGE
- WM-5 : SOLID WASTE MGT.
- WM-8 : CONCRETE WASTE MGT.
- WM-9 : SANITARY WASTE MGT.



SITE & ROOF PLAN
SCALE: 3/32"=1'-0"



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ROSELAND RESIDENCE - PHASE I-II

7780 Roseland Dr.
La Jolla, CA 92037

TITLE SHEET SITE & ROOF PLAN

REVISIONS

PLAN CHECK:

REVISION:

DRAWN:

CHECK: DANNY LAM

DATE: MAR. 2017

SCALE: AS NOTED

JOB NO:

SHEET

T-1



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ELEVATIONS

REVISIONS

PLAN CHECK:
REVISION:

DRAWN:

CHECK: DANNY LAM

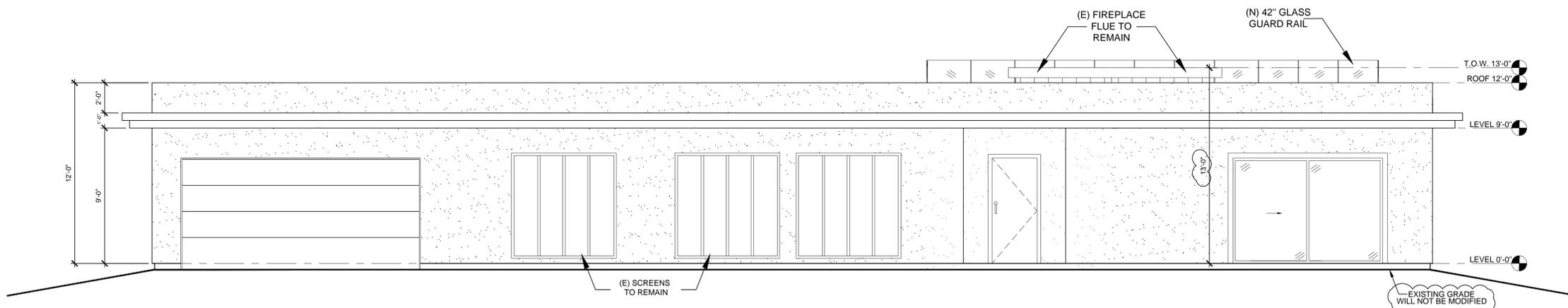
DATE: MAR. 2017

SCALE: AS NOTED

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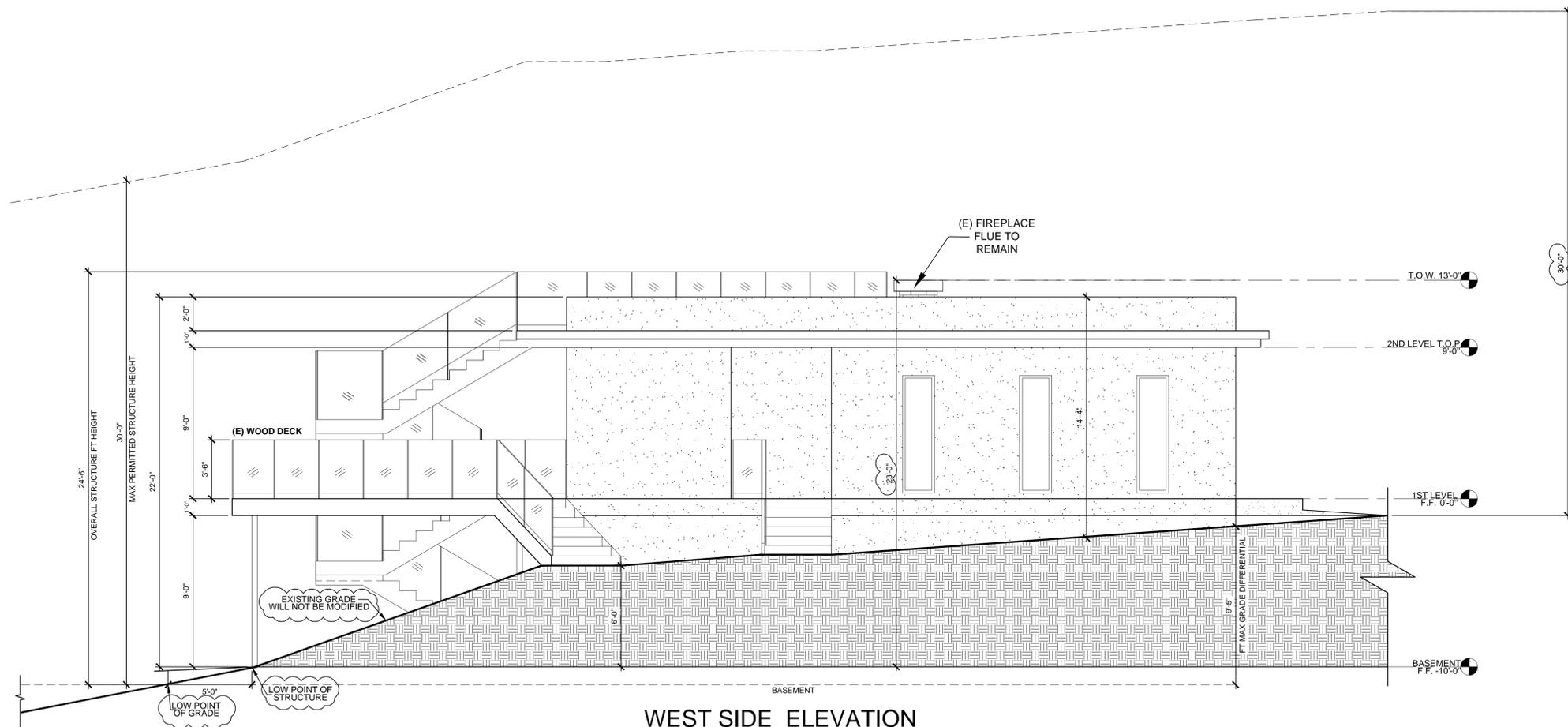
SHEET

A-5



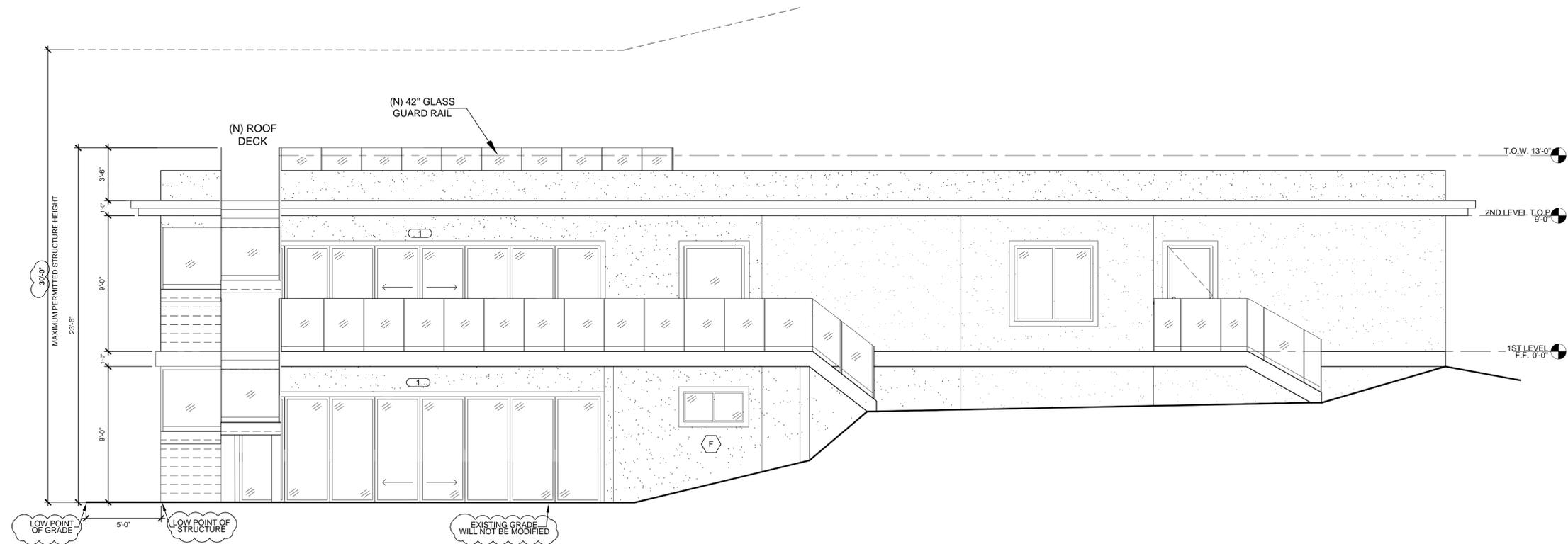
SOUTH ELEVATION

SCALE: 1/4"=1'-0"



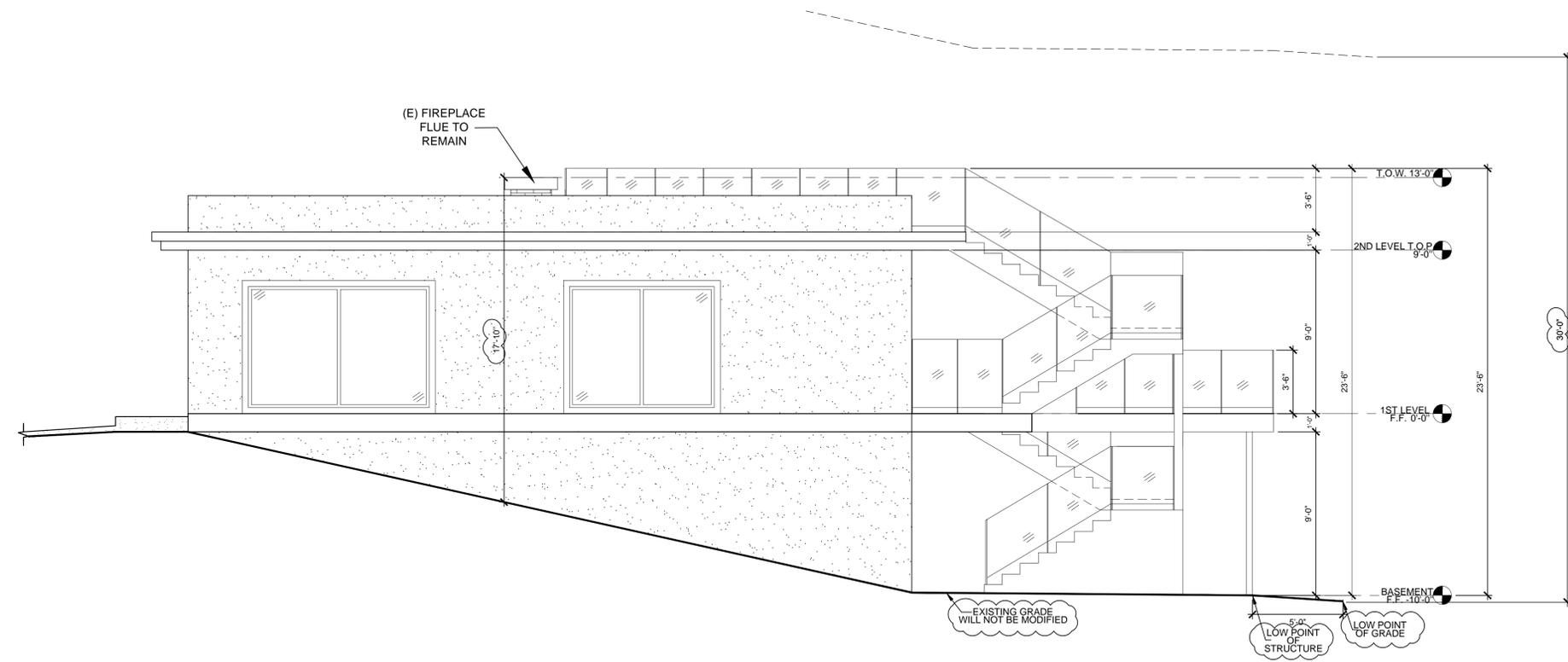
WEST SIDE ELEVATION

SCALE: 1/4"=1'-0"



NORTH ELEVATION

SCALE: 1/4"=1'-0"



EAST SIDE ELEVATION

SCALE: 1/4"=1'-0"



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ROSELAND RESIDENCE - PHASE I-II
7780 Roseland Dr.
La Jolla, CA 92037
ELEVATIONS

REVISIONS

PLAN CHECK:
REVISION:

DRAWN:

CHECK: DANNY LAM

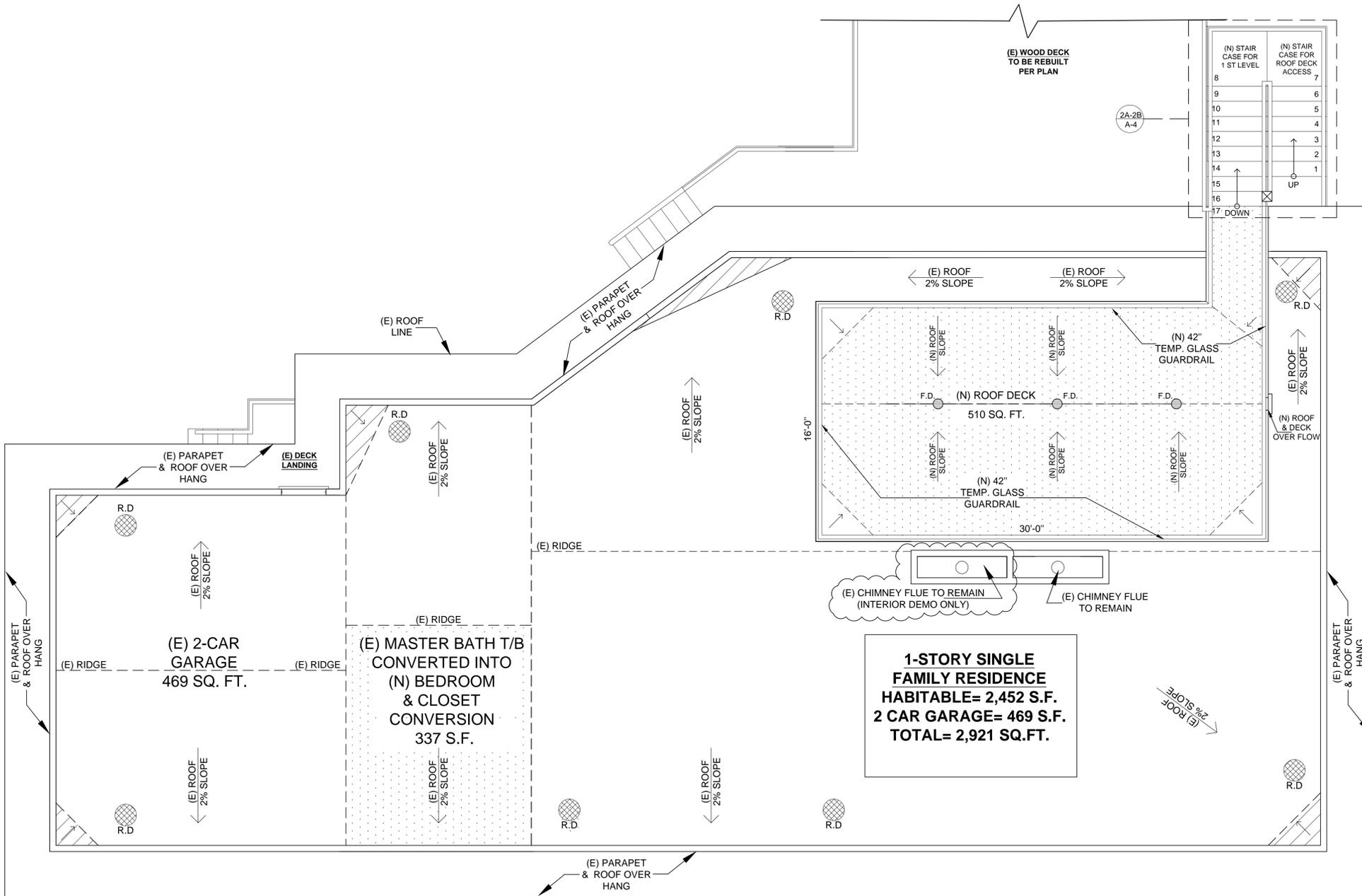
DATE: MAR. 2017

SCALE: AS NOTED

JOB NO:

SHEET

A-6



1-STORY SINGLE FAMILY RESIDENCE
HABITABLE= 2,452 S.F.
2 CAR GARAGE= 469 S.F.
TOTAL= 2,921 SQ.FT.

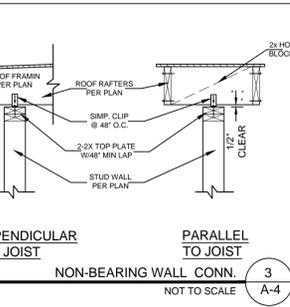
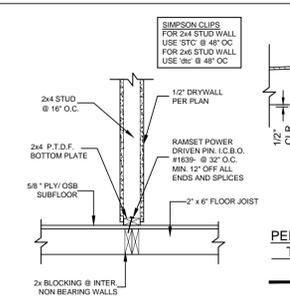
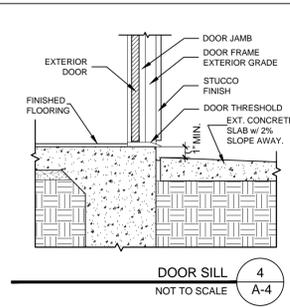
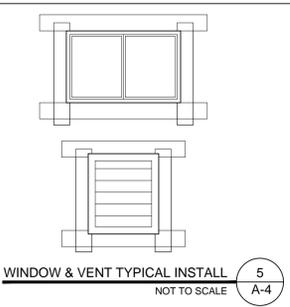
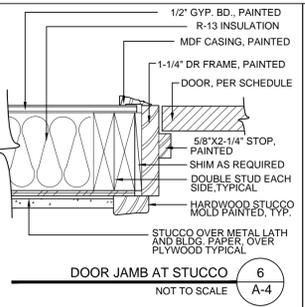
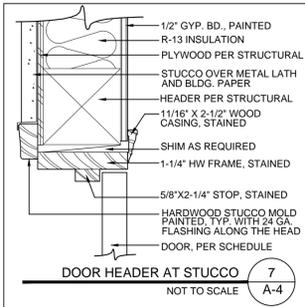
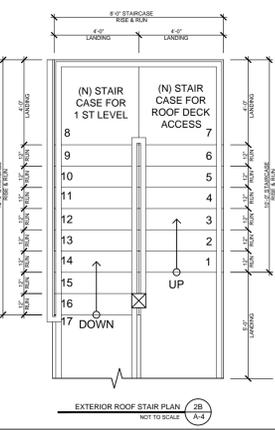
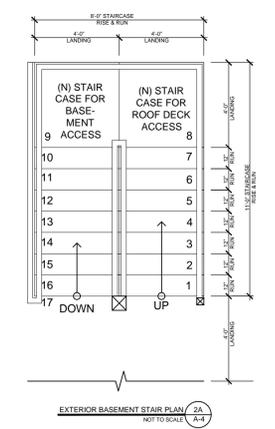
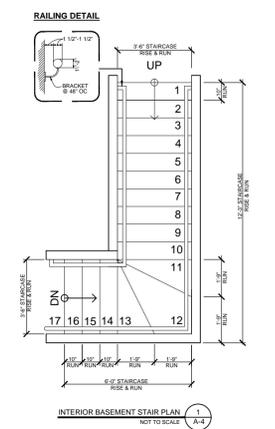
ROOF PLAN
 SCALE: 1/4"=1'-0"

ROOF PLAN LEGEND

- NEW WORK
- LIFE DECK COATING
- BUILT UP ROOF, FILL, CRICKET.
- DRAIN → SURFACE DRAIN PATTERNS (STORM WATER) 2% MIN.
- SLOPE → ROOF SLOPE/ PITCH
- F. D. FLOOR DRAIN
- R. D. ROOF DRAIN w/ OVERFLOW ICC APPROVED
- F RECESSED FLUORESCENT/L.E.D. SPOT LIGHT

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REVISIONS
PLAN CHECK:
REVISION:
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CHECK: DANNY LAM
DATE: MAR. 2017
SCALE: AS NOTED
JOB NO:
SHEET

A-4

DRAFT DRAFT DRAFT DRAFT DRAFT

INCENTIVE-BASED ZONING FOR COASTAL DEVELOPMENT
New Language for SD LDC Sec. 126.0704
Exemptions from a Coastal Development Permit
Version 5, April 17, 2017

PURPOSE: These revisions are proposed to:

1. Implement the La Jolla Community & Coastal Plan in single-family residential areas where existing community character is established and residential remodels or rebuilding is expected to occur.
2. Enable a fair, predictable and cost-effective review process that balances private property rights with community scale and character compatibility policy concerns.
3. Provide for ministerial review of most development proposals.
4. Allow for community review when development proposals exceed established thresholds or deviate from administrative standards review.

Definition: For the purposes of this Section, **Floor Area Ratio (FAR)** includes all built portions of a structure, including interior uninhabitable space such as storage, closets, halls, basements*, garages and “phantom” air space over 10 feet floor to ceiling in height, as well as exterior roofed areas like porches, balconies, loggias and carports.

Test Case: A standard lot size of 4001-5000 square feet (50x100 feet) with maximum FAR of 0.6 per SD Municipal Code 131.0446. This is a common lot size in many La Jolla neighborhoods. For lots with smaller or larger maximum FAR, the total project base FAR be scaled appropriately. Starting base FAR is 2/3 (67%) the maximum FAR allowed equaling 0.4 FAR.

I. A ministerial building permit shall be granted for new construction in the Coastal Zone when the following conditions, as detailed on project plans, are met:

Base Condition: Total project FAR does not exceed 0.4** AND:	
1.	Front setbacks meet or exceed allowable by zone, or that of existing street wall in adjacent properties, whichever is larger. Applicant will submit a plan showing the established setback lines of the two lots abutting on each side of property under review.
2.	Height does not exceed 21 feet for a flat roof or 24 ft for pitched roof (minimum pitch of 3-12).

3.	Side walls or windows in new addition do not align with opposite windows or openings of abutting properties, or consist of small utility windows with translucent material.
4.	Mature healthy trees with a breast height (4 ft.) caliper of 8 inches or more are preserved. If any tree has to be removed, it shall be replaced by a similar species in a 24 inch box. (See requirements of Climate Action Plan & Urban Forestry Plan.)
5.	New landscaping and fencing in front yard setback, including trees and lawns, follows the established neighborhood pattern specifically reflected by the four properties abutting the site on both sides and observes city tree palette. (See requirements in Community Plan, Urban Forestry Plan and Climate Action Plan.)
6.	Existing public views, where noted in the Community Plan, are preserved or strengthened by vegetation removal in setbacks and setback fences that are 50% open and no more than 42" in height.
7.	No below grade parking is proposed. Parking is to the rear of lot, or off the alley.
8.	Driveways and paved areas are permeable, with a combination of decorative blocks and vegetation in a 60/40% ratio, respectively.
9.	*Basements are fully underground, below natural or finished grade (whichever is lower) and are within building footprint. Windows do not exceed 18" in height; light wells do not exceed 4 ft. in width. All other basement conditions count towards allowable FAR.
10.	Sidewalk, parkway and street trees are preserved and enhanced.
11.	30 % of front façade features windows, glazed doors, balconies, porches or terraces that open to the street.

(**This FAR may be lower or higher for some neighborhoods or lots, depending on underlying zoning. For a higher FAR, see Bonus Points Program below.)

II. Additional project FAR, to a maximum 0.6 (or the maximum allowed by the underlying zone.) An additional maximum allowable height of 25-30 feet for pitched roofs and 27 feet for flat roofs, may be gained by adding the following features to the project, **in addition to those noted in Section 1**, via the following point system:

Bonus FAR	Incentives to Reduce Building Bulk and Provide Compatible Neighborhood Scale and Character (Maximum of 0.1 FAR)
.10	a. Design is for a single story.
.02	b. Design proposes 45 degree angled "daylight" plane vertical side yard setbacks on both sides at 19' above grade.
.01	c. Design proposes 45 degree angled "daylight" plane vertical side yard setbacks on ONE side at 19' above grade.
.01	d. Project design will incorporate a front yard 45 degree setback vertical angled plane at a height of 14' for 70% of the front façade.
.02	e. Building mass is broken up with H, I, L, or U shaped floor plans.
.02	f. 70% of second story is set back on primary façade by minimum of 15 ft.
.02	g. Second story is set back from first story by minimum 8 ft. on one or more secondary facades.
.05	h. Exterior walls offset from side yard setback by a minimum addition of 4 ft for cumulative linear distance of at least 20 ft.

Bonus FAR	Incentives to Enhance Neighborhood Scale & Character (Maximum of 0.1 FAR)
.02	i. A proposed roof deck is placed central to the proposed building design with parapets or railings not viewable from the street; or, deck is incorporated into the roof design.
.02	j. Garage door is turned 90 degrees from street or accessed from rear of property.
.02	k. Garage door is integrated into architectural design to minimize prominence. Strategies may include but are not limited to: use of overhead trellis or free standing pergola; garage door with windows or enhanced materials, small scale patterns, or 3-D relief; door mass minimized by staggered or separated openings.
.03	l. Distant views recognized in LJ Community Plan or LJ Cultural Landscape Survey are enhanced with an additional side yard setback of 10% of lot frontage, accommodated by new project design and/or removal of existing structure.

.03	m. A minimum of 30% of air space and distant view protection or enhancement (includes coastal, canyon, hillside views) across subject property are preserved at upper floor levels of immediately adjacent properties.
.03	n. 30% of lot is covered with vegetation (excluding required driveway vegetation). An additional 0.02 bonus is given for preserving existing mature vegetation. (See requirements in Community Plan, Urban Forestry Plan and Climate Action Plan.)
.02	o. Project proposes a covered entry level porch of at least 100 square feet with a minimum dimension of 8' in depth.
0.2	p. Preservation of a site's historic or potentially historic (eg. meets HRB designation criteria) architecture and cultural landscape with development consistent with the Secretary of Interior's Standards.
0.1	q. Preservation of the site's historic or potentially historic (eg. meets HRB designation criteria) architecture, with development consistent with the Secretary of Interiors Standards.

III. FAR shall be subtracted for the following project features:

Penalty FAR	Disincentives to Reduce Bulk, Preserve, Strengthen and Enhance Neighborhood Scale and Character
.03	r. Using standardized plans.
.2	s. Demolishing a potentially historic structure (eg. meets HRB designation criteria) for new construction.
.03	t. Repeating architect or builder prepared plans in the same block.

IV. Any project not adhering to the above criteria must apply for a Coastal Development Permit and be subject to community review.