



THE CITY OF SAN DIEGO

NOTICE OF PUBLIC MEETING

This is to inform you that the **La Jolla Shores Planned District Advisory Board** will be conducting a public meeting to consider recommending approval, conditional approval, or denial of the development project(s) listed below:

DATE OF MEETING: Monday, July 17th, 2017
TIME OF MEETING: 11:00am
LOCATION OF MEETING: 615 Prospect Street, Room 2, La Jolla, CA 92037

1. CALL TO ORDER
2. APPROVAL OF THE AGENDA
3. APPROVAL OF THE MINUTES from June 19th, April 26th, and May 15th, 2017.
4. PUBLIC COMMENT
5. PROJECT REVIEW:

Action Items		
A	Project	PTS 556415 – Paseo del Ocaso – CDP/SDP (Continued from the June 19 th , 2017 meeting)
	Location	8247 Paseo del Ocaso APN: 346-232-0600
	Description	Proposal to demolish existing 1,897 sf single-story, single-family residence and rebuild a new 3,245 sf, two-story home on a 5,497 sf lot. <i>See ATTACHMENT 1 for additional details.</i>
	Applicant/ Project Contact	Mike Lake, mike@mlakedevelopment.com , (760) 840-7731
B	Project	PTS 531990 – Ardath Road CDP/SDP
	Location	2509 Ardath Road APN:352-083-05
	Description	Proposal for a 344 sf addition/remodel of an existing 3,576 sf single-story home on a 15,000 sf lot. <i>See ATTACHMENT 2 for additional details.</i>
	Applicant/P Project Contact	Jose Martinez, , josemartinezarch@hotmail.com , (619) 634-3847

This information will be made available in alternative formats upon request. To request an agenda in alternative format, request a sign language or oral interpreter, or an Assistive Listening Devices (ALD's) for the meeting, call the Community Services Program at 236-6077 at least five working days prior to the meeting to ensure availability.

Action Items (Continued)		
C	Project	PTS 549333 – Bremerton Residence CDP/SDP
	Location	3115 Bremerton Place APN: 346-782-0200
	Description	Proposal to demolish existing 2,681 sf single-story home and construct a new 5,103 sf two-story home with attached two-car garage and covered patio on a 15,007 sf lot. <i>See ATTACHMENT 3 for additional details.</i>
	Applicant/ Project Contact	Joseph Reid, jreid@isarchitecture.com , (858) 456-8555
Information Item Only – 12:35pm		
A	Project	DRAFT Incentive-based Zoning Proposal for Coastal Development (Discussion continued from May 15 th , 2107 meeting)
	Location	La Jolla Community
	Description	Community-initiated zoning proposal to: <ol style="list-style-type: none"> 1. Implement the La Jolla Community & Local Coastal Plan in single-family residential areas where existing community character is established and residential remodels or rebuilding is expected to occur. 2. Enable a fair, predictable and cost-effective review process that balances private property rights with community scale and character compatibility policy concerns. 3. Provide for ministerial review of most development proposals. 4. Allow for community review when development proposals exceed established thresholds or deviate from administrative standards review. <i>See ATTACHMENT 4 for additional details.</i>
	Presenters	Diane Kane, Angeles Leira, and Sharon Wampler

6. NEXT SCHEDULED MEETING: August 21th, 2017.

7. ADJOURNMENT

The meeting of the La Jolla Shores Advisory Board is to hear presentations and public testimony on development projects and provide recommendations to the City's decision maker. The final project decision is made by Staff, Hearing Officer, Planning Commission, or City Council to approve, approve with conditions or deny the projects listed above. If you wish to be notified of this public hearing you must submit a request in writing to the Project Manager (City Contact listed above) at the following address: City of San Diego, Development Services Department, 1222 First Avenue, MS 501, San Diego, CA 92101.

The agenda and minutes distributions are via email and will additionally be posted to the LJSPDAB webpage at <http://www.sandiego.gov/planning/community/profiles/lajolla/pddoab.shtml> . To request inclusion or removal from the distribution list please email the City Planner at mpangilinan@sandiego.gov with your request.

Marlon I. Pangilinan, Senior Planner
 Planning Department
 1010 Second Avenue Suite 1100 MS-413
 San Diego CA 92101
 619-235-5293 www.sandiego.gov/planning

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La Jolla Shores Planned District Advisory Board
La Jolla Recreation Center
615 Prospect Street, La Jolla CA 92037

Please provide the following information for calendaring on an upcoming La Jolla Shores Planned District Advisory Board meeting.

Information Items

- Project name (Unsubmitted projects can be informational items if the development team is seeking comments and direction from the Trustees on the concept)
[8247 Paseo Del Ocaso](#)
[Seeking approval on our plan. We have met with the surrounding neighbors. Proposed project is to demolish existing single story building and rebuild two story home.](#)
- Address and APN(s)
- [8247 Paseo Del Ocaso](#)
[APN 346-232-06](#)
- Project contact name, phone, e-mail
[Mike Lake](#)
[760-840-7731](#)
[Mike@mlakedevelopment.com](#)
- Project description, plus
 - lot size
[5,497](#)
 - existing structure square footage and FAR (if applicable)
[1,897 square feet , 2 bed 2 bath, Single story](#)
[FAR 35%](#)
 - proposed square footage and FAR
[3,245, adding a second story, and basement](#)
[FAR 59%](#)
 - existing and proposed setbacks on all sides

	<u>Existing</u>	<u>Proposed</u>
Front	17'-2" to garage, 30'-6" to house	Same
Side	4'-9" North side, 4'-3" south side	Same
Rear	25'-10"	29'
 - height if greater than 1-story (above ground) [29'](#)
- Project aspect(s) that the applicant team is seeking Trustee direction on. (community character, aesthetics, design features, etc.)
[Seeking approval for a CDP, and process 3.](#)

Action Items

- Project PTS number from Development Services and project name (only submitted projects can be heard as action items)
[Project # 556415](#)
[Development #305673](#)

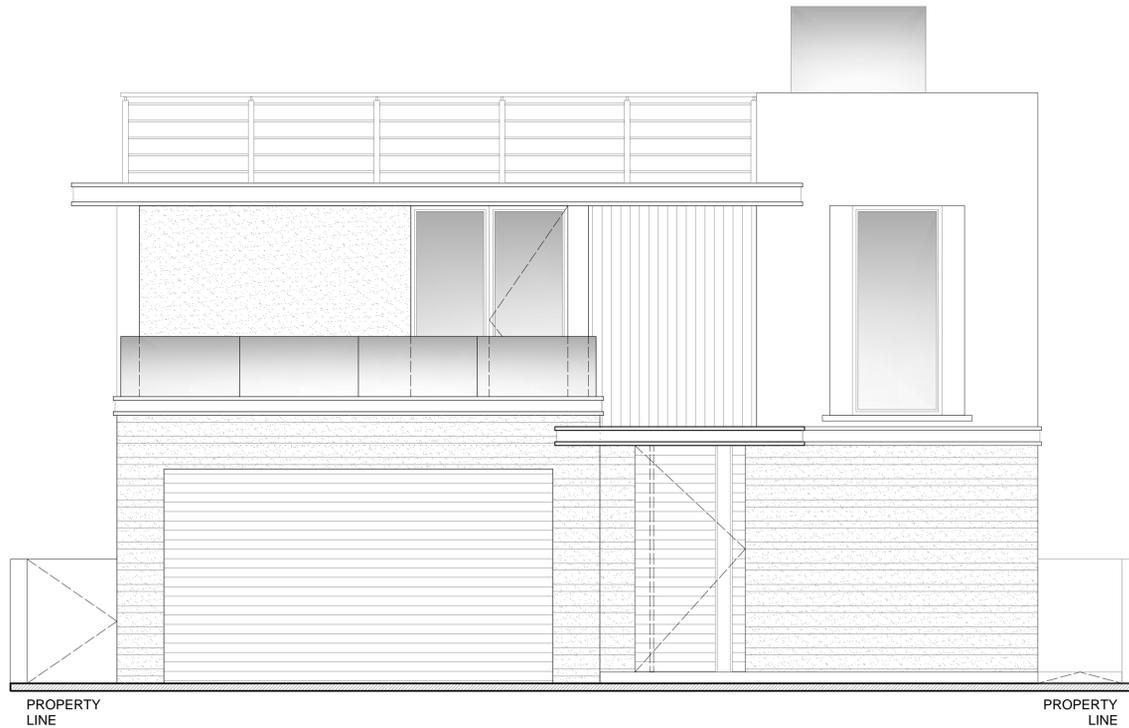
- Address and APN(s)
- [8247 Paseo Del Ocaso](#)
[APN 346-232-06](#)

- Project contact name, phone, e-mail
[above](#)
- Project description, plus [All above](#)
 - lot size
 - existing structure square footage and FAR (if applicable)
 - proposed square footage and FAR
 - existing and proposed setbacks on all sides
 - height if greater than 1-story (above ground)

The Trustees are very keen to know that the neighbors in the immediate vicinity have been noticed and their views noted. Community conformity, setbacks, FAR, parking, view corridors, bulk& scale, and articulation are key discussion points on all projects.

[We have noticed the neighbors surrounding the project and had a meeting on site to present and answer questions.](#)

Marlon I. Pangilinan
Senior Planner
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1010 Second Avenue, Ste 1100 MS 413
San Diego CA 92101
619-235-5293
www.sandiego.gov/planning



BUILDING DATA

PROJECT DESCRIPTION:
 THE PROJECT PROPOSES THE REMODEL OF AN EXISTING SINGLE FAMILY RESIDENCE SCOPE WILL INCLUDE DEMOLISHING 440.43 SQ. FT AND REMODELING 1,987.25 SQ. FT. OF THE MAIN LEVEL, 57.49 SQ. FT. OF ADDITION A NEW 1,782.30 SQ. FT. FIRST LEVEL AND 1,110.22 SQ. FT OF BASEMENT.

SITE ADDRESS: 8247 PASEO DEL OCASO, LA JOLLA, CA 92037

ASSESSOR'S PARCEL NUMBER:
 346-232-0600

LEGAL DESCRIPTION:
 LOT 6, BLK 23, TR 2061

YEAR EXISTING STRUCTURE WAS BUILT: 1960

LOT USE
 EXISTING: SINGLE FAMILY RESIDENCE
 PROPOSED: SINGLE FAMILY RESIDENCE

BASE ZONE: LJSPD-SF

OVERLAY ZONE DESIGNATION:
 COASTAL HEIGHT LIMIT, COASTAL (CITY), PARKING IMPACT & RESIDENTIAL TANDEM PARKING.

LOT SIZE: 5,497 SF

LOT COVERAGE: 60%

MINIMUM SETBACKS:
 FRONT: 15'
 SIDE: 5'
 BACK: 20'

ALLOWABLE MAX. BUILDING HEIGHT: 30FT

BUILDING HEIGHT
 EXISTING: 14'04" FT
 PROPOSED: 29'06" FT

GOVERNING CODES:
 2013 CLIFORNIA CODES - RESIDENTIAL, BUILDING, PLUMBING, MECHANICAL, ELECTRICAL, FIRE, GREEN AND ENERGY.

CONSTRUCTION TYPE: TYPE V-B

NUMBER OF STORIES
 EXISTING: 1 STORY
 PROPOSED: 2 STORY

GEOLOGICAL HAZARD CATEGORY: 52

EXISTING BUILDING AREA (SF): 1,897 SF

PROPOSED BUILDING AREA:
 BASEMENT: 1,110.22 SQ. FT.
 GROUND FLOOR: 1,533.66 SQ. FT.
 GARAGE: 514.06 SQ. FT.
 FIRST LEVEL: 1,782.30 SQ. FT.
 DECK ROOF: 685.90 SQ. FT.

GROUND FLOOR+FIRST LEVEL: 3,315.96 SQ.FT

SHEET INDEX

- ARCHITECTURAL
- TOPOGRAPHIC SURVEY
- A0.0 SITE PLAN
- A1.0 PROPOSED BASEMENT AND GROUND FLOOR - FLOOR PLANS
- A1.1 PROPOSED FIRST FLOOR AND DECK ROOF - FLOOR PLANS
- A2.0 EXTERIOR ELEVATIONS
- A2.1 EXTERIOR ELEVATIONS
- A3.0 BUILDING SECTIONS
- L1.0 LANDSCAPE PLAN

GENERAL NOTES

1. THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE CODES, ORDINANCES, FEDERAL, STATE AND LOCAL LAWS.
2. ANY OMISSIONS AND OR CONFLICTS BETWEEN DRAWINGS, SPECIFICATION OR ANY THE REQUIRED CONTRACTOR SCOPE / DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND RESOLVED PRIOR TO PROCEEDING WITH ANY WORK ASSOCIATED WITH THIS PROJECT SCOPE.
3. THESE DRAWING ARE NOT INTENDED TO BE THE SOLE SOURCE FOR PROJECT COSTING ESTIMATING. IT IS NOT TO BE SCALED, AND IT IS NOT AN ASBUILT. THE CONTRACTOR SHALL FIELD VERIFY ALL ITEMS, WALL HEIGHTS, STRUCTURAL, ELECTRICAL, PLUMBING AND MECHANICAL CONDITIONS TO DETERMINE THE SCOPE OF WORK PRIOR TO COMMENCEMENT OF THE WORK.
4. THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK, USING THE BEST SKILL AND ATTENTION. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCE AND PROCEDURES AND FOR COORDINATING ALL PORTIONS OF THE WORK UNDER THE CONTRACT.
6. UNLESS NOTED OTHERWISE, THE CONTRACTOR SHALL PROVIDE AND PAY FOR ALL LABOR, MATERIALS, EQUIPMENT, TOOLS, CONSTRUCTION EQUIPMENT AND MACHINERY, TRANSPORTATION, AND OTHER FACILITIES AND SERVICES NECESSARY FOR PROPER EXECUTION AND COMPLETION OF WORK.
7. WHEN WORK NOT SPECIFICALLY CALLED OUT IS REQUIRED TO COMPLETE THE PROJECT, IT SHALL BE PROVIDED AND SHALL BE OF THE BEST MATERIAL AND WORKMANSHIP.
8. ALL WORK SHALL BE EXECUTED IN A NEAT AND WORKMANLIKE MANNER, ACCEPTABLE TO THE OWNER.
10. CONTRACTOR SHALL VERIFY ALL EXISTING DIMENSIONS, CLEARANCES AND FIELD CONDITIONS. REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO COMMENCEMENT OF WORK.
11. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS ON CONSTRUCTION DOCUMENTS.
12. EACH SUBCONTRACTOR SHALL MAKE THE FIELD MEASUREMENTS NECESSARY FOR THEIR OWN WORK AND SHALL BE RESPONSIBLE FOR THE ACCURACY OF THOSE MEASUREMENTS AND ALL ASSOCIATED WORK.
13. PROTECT ALL EXISTING WALLS, FLOORS, STRUCTURE, ETC. SCHEDULED TO REMAIN. RESTORE AND/OR REPAIR ANY DAMAGED MATERIALS DURING THE COURSE OF WORK.
15. FOR MECHANICAL/PLUMBING PIPE PENETRATIONS THROUGH ROOF AT LOCATION OF EQUIPMENT SCHEDULED FOR INSTALLATION, EXISTING ROOF DECK, MEMBRANE TO BE REPAIRED PER ROOFING MANUFACTURERS SPECIFICATIONS.
16. ALL PENETRATIONS THROUGH WALLS AND FLOORS SHALL BE SEALED WITH FIRE STOPPING MATERIAL AS REQUIRED TO ACHIEVE THE RESPECTIVE FIRE-RESISTIVE RATING AND SMOKE STOPPAGE, AS REQ'D BY LOCAL BUILDING CODES.
17. GENERAL CONTRACTOR TO COORDINATE WITH OWNER'S SIGNAGE CONTRACTOR.

PROJECT TEAM

Consultant

M Lake Development
 3417 Camino Alegre
 Carlsbad, CA 92009
 ph:760.840.7731 (mobile)
 contact: Mike Lake
 mike@mlakedevelopment.com

Structural

Simply Strong Engineering Inc.
 9474 Kearny Villa Road - Suite 215
 Tempe, Arizona 85284
 ph:858.215.4706
 contact: Sean Kessel, P.E.
 sean@simplystrongeng.com

Owner

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 219 Morelos Boulevard
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 ph: +52 (662) 214-8565
 ph: +52 (662) 210-6256
 fgarcia@promotoradehogares.com

Land Surveyor

Victor Rodriguez Fernandez
 1283 E Main Street, Suite 109
 El Cajon, CA 92021
 ph:760.357.2434
 vicrodfer@aol.com

PASEO DEL OCASO
 RESIDENCE REMODEL
 8247 Paseo del Ocaso
 La Jolla CA 92037

CITY SUBMITTAL

PROJECT NO: 16-01
 DATE: JULY 05, 2017
 REVISIONS
 June 15, 2017 - City Comments

VICINITY MAP

SCALE: NOT TO SCALE



CONTENTS:

COVER SHEET

SCALE: S/E

DRAWING NUMBER:

COVER

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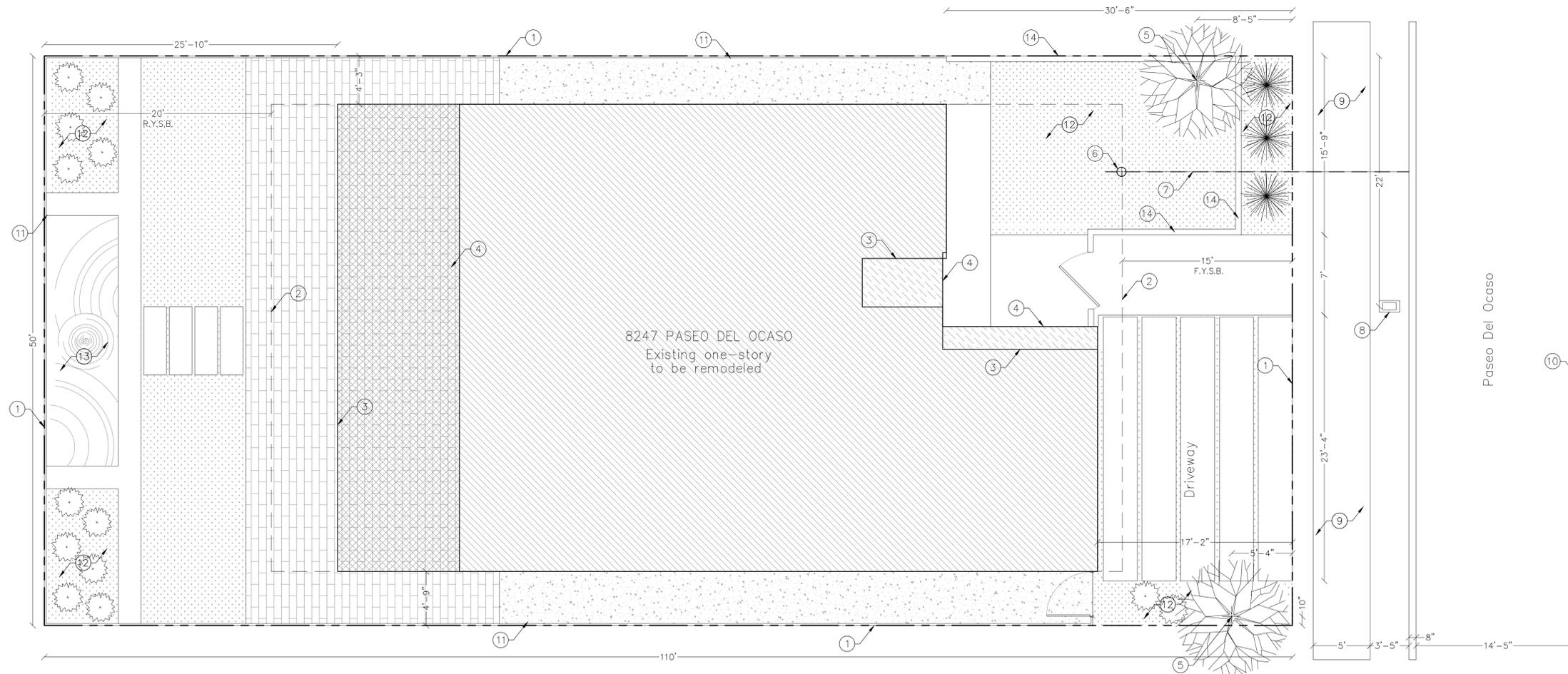
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PASEO DEL OCASO
 RESIDENCE REMODEL
 8247 Paseo del Ocaso
 La Jolla CA 92037



1 SITE PLAN
SCALE: 3/16" = 1'-0"

KEY NOTES

- | # | DESCRIPTION |
|-----|---|
| 1. | PROPERTY LINE. |
| 2. | SETBACK LINE. |
| 3. | EXISTING BUILDING OUTLINE. |
| 4. | NEW BUILDING OUTLINE. |
| 5. | EXISTING PINE TREE TO REMAIN. |
| 6. | EXISTING SEWER CLEANOUT TO REMAIN. |
| 7. | EXISTING SEWER LINE TO REMAIN. |
| 8. | EXISTING WATER METER TO REMAIN. |
| 9. | EXISTING 5' FT SIDEWALK TO REMAIN. |
| 10. | EXISTING CENTER LINE. |
| 11. | EXISTING FENCE TO REMAIN. |
| 12. | NEW LANDSCAPE. |
| 13. | NEW WATER MIRROR DESIGN T.B.D. |
| 14. | NEW CONCRETE AND WOODEN FENCE PER OWNER'S APPROVAL. |

SITE LEGEND

- | | | | |
|-------|-----------------------------------|--|---------------------|
| --- | INDICATES PROPERTY LINE | | NEW CONCRETE PAVING |
| - - - | INDICATES SET BACK LINE | | NEW LANDSCAPE |
| | AREA OF NEW FOOTPRINT | | WATER METER |
| | AREA OF ADDITION | | |
| | AREA OF DEMOLITION | | |
| | EXISTING CONCRETE FLOOR TO REMAIN | | |

SITE NOTES

- THIS STRUCTURE SHALL NOT EXCEED 30' IN HEIGHT IN CONFORMANCE WITH SDMC SECTION 113.0270.
- THERE ARE NO EXISTING OR PROPOSED BUS/TRANSIT STOPS. PROVIDE BUILDING ADDRESS NUMBERS VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. (UFC 901.4.4)
- METER LOCATIONS ARE SUBJECT TO APPROVAL BY SDG/E.
- CONTRACTOR TO FIELD VERIFY ALL EXISTING CONDITIONS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT.
- NO GRADING IS PROPOSED.
- THIS PLAN IS NOT FOR CONSTRUCTION

VICINITY MAP

SCALE: NOT TO SCALE



CITY SUBMITTAL

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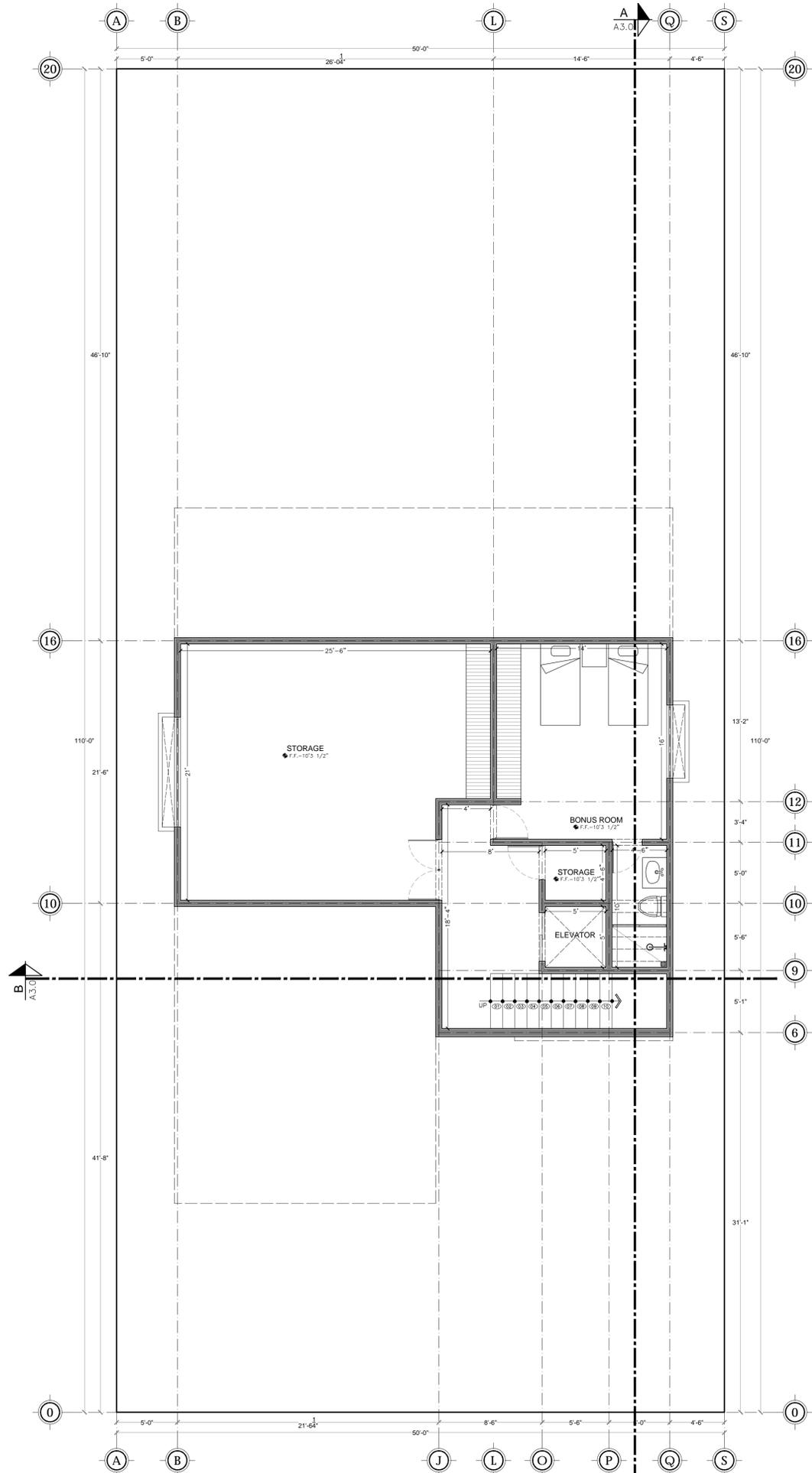
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SITE PLAN

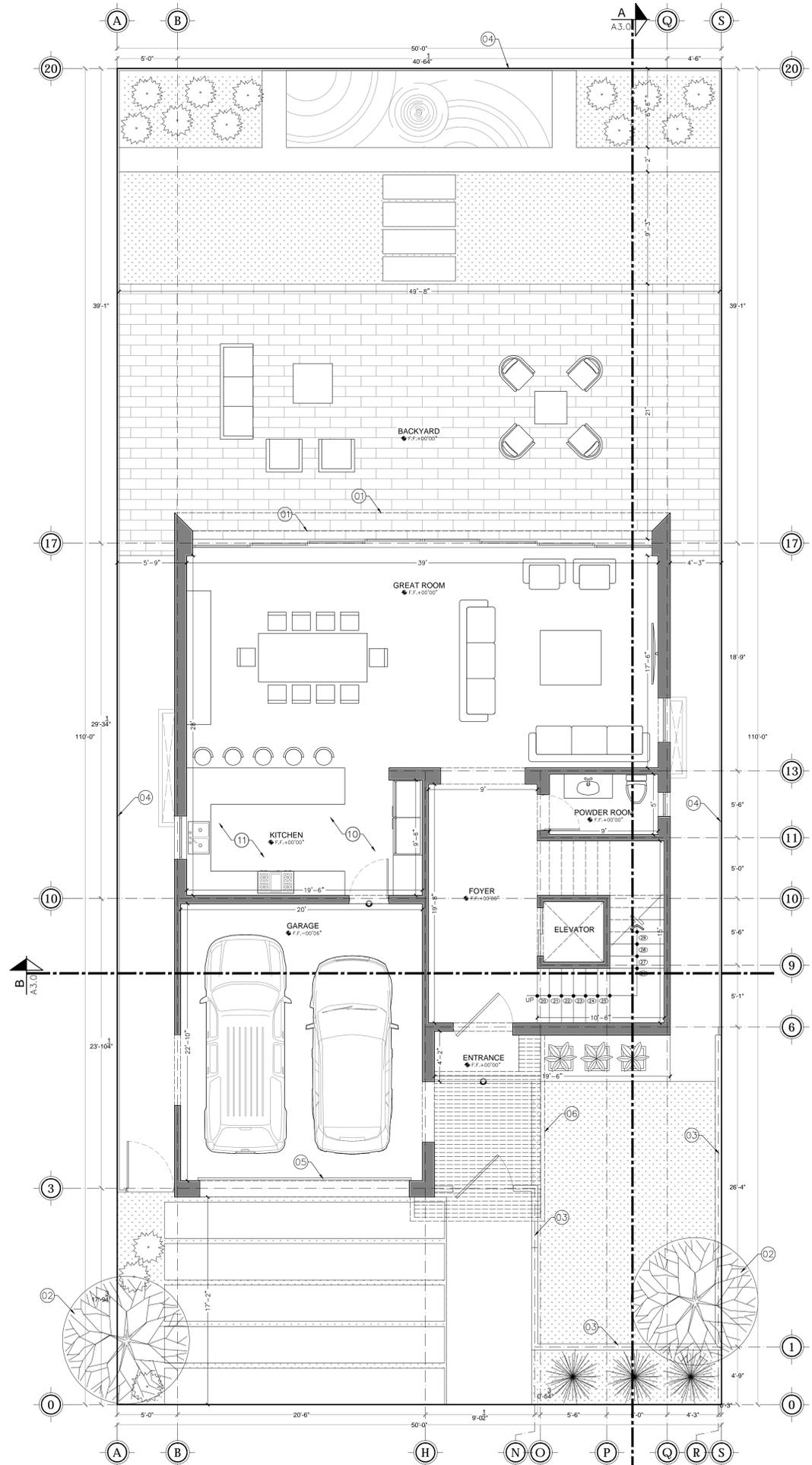
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DRAWING NUMBER:

A0.0



2 PROPOSED BASEMENT - FLOOR PLAN
SCALE: 3/16" = 1'-0"



3 PROPOSED GROUND FLOOR - FLOOR PLAN
SCALE: 3/16" = 1'-0"

LEGEND

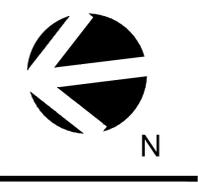
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- # — NOT USED
- ▲ — NOT USED
- dwg # sheet # — NOT USED
- 1 — NOT USED
- A-000 — NOT USED
- # — NOT USED
- GREAT ROOM
♦ F.F. +0.00'00" — ROOM NAME AND LEVEL.
- A — NOT USED
- Ⓐ — KEY NOTES TAGS

GENERAL NOTES

1. ALL DIMENSIONES NOTED SHALL BE FIELD VERIFIED PRIOR TO CONSTRUCTION.
2. GENERAL CONTRACTOR RESPONSIBLE TO PATCH AND REPAIR TO "LIKE NEW" CONDITIONS AS REQUIRED.
3. DEMOLITION ITEMS DO NOT INCLUDE BEARING AND/OR STRUCTURAL WALLS OR MEMBERS THAT DISTURBS IN ANY WAY THE EXISTING STRUCTURAL INTEGRITY OF THIS BUILDING.

KEY NOTES

- | # | DESCRIPTION |
|-----|--|
| 1. | DASHED LINE OF ROOF ABOVE. |
| 2. | EXISTING PINE TREE TO REMAIN. |
| 3. | NEW CONCRETE AND WOODEN FENCE PER OWNER'S APPROVAL. |
| 4. | EXISTING FENCE TO REMAIN. |
| 5. | NEW GARAGE DOOR PER OWNER APPROVAL INSTALLED PER MANUF. SPECS (TYP). |
| 6. | DASHED LINE FOR METALLIC PERGOLA ABOVE. PER OWNER APPROVAL |
| 7. | DASHED LINE FOR WOODEN PERGOLA ABOVE. PER OWNER APPROVAL |
| 8. | GLASS RAILING @ 32" A.F.F. PER OWNER APPROVAL. |
| 9. | DASHED LINE OF VELUX OPERABLE SKYLIGHT ABOVE. INSTALL PER MANUF. SPECS. |
| 10. | FIXTURES AND APPLIANCES PER OWNER APPROVAL INSTALL PER MANUFACTURERS SPECS. TYP. |
| 11. | COUNTERTOPS/CABINERY PER OWNER APPROVAL. |
| 12. | TEMPERED GLASS SHOWER ENCLOSURE PER OWNER APPROVAL. |
| 13. | WOODEN AND METALLIC RAILING @ 48" A.F.F. PER OWNERS APPROVAL. |
| 14. | GLASS ELEVATOR INSTALLED PER MANUF. SPECS (TYP). |



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CITY SUBMITTAL

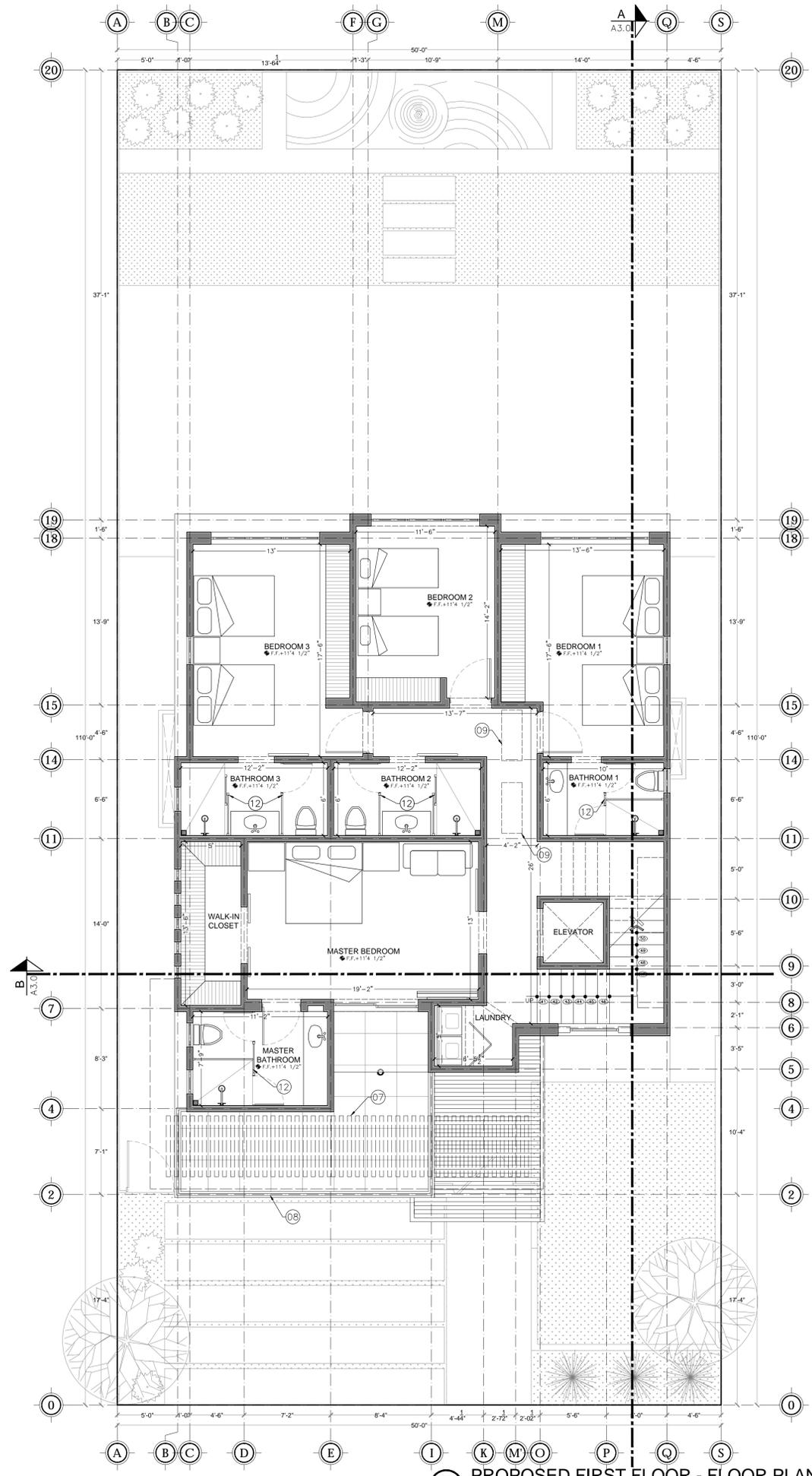
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CONTENTS
PROPOSED BASEMENT AND GROUND FLOOR

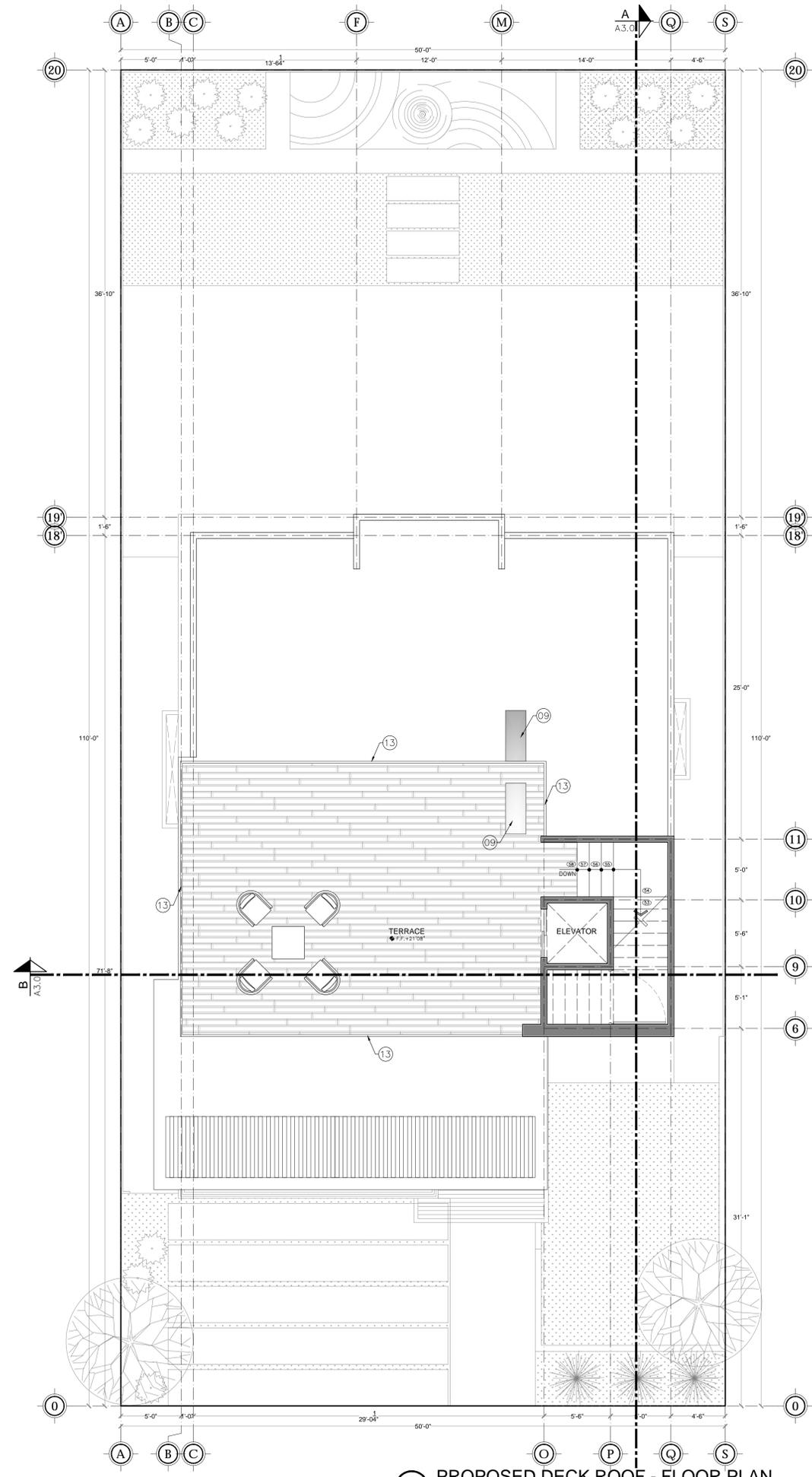
SCALE: 3/16" - 1'-0"

DRAWING NUMBER:

A1.0



4 PROPOSED FIRST FLOOR - FLOOR PLAN
SCALE: 3/16" = 1'-0"



5 PROPOSED DECK ROOF - FLOOR PLAN
SCALE: 3/16" = 1'-0"

LEGEND

- ① — BUILDING GRID
- # — NOT USED
- ▲ — NOT USED
- dwg # sheet #
- ① — NOT USED
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3. DEMOLITION ITEMS DO NOT INCLUDE BEARING AND/OR STRUCTURAL WALLS OR MEMBERS THAT DISTURBS IN ANY WAY THE EXISTING STRUCTURAL INTEGRITY OF THIS BUILDING.

KEY NOTES

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| 10. | FIXTURES AND APPLIANCES PER OWNER APPROVAL INSTALL PER MANUFACTURERS SPECS. TYP. |
| 11. | COUNTERTOPS/CABINERY PER OWNER APPROVAL. |
| 12. | TEMPERED GLASS SHOWER ENCLOSURE PER OWNER APPROVAL. |
| 13. | WOODEN AND METALLIC RAILING @ 48" A.F.F. PER OWNERS APPROVAL. |
| 14. | GLASS ELEVATOR INSTALLED PER MANUF. SPECS (TYP). |

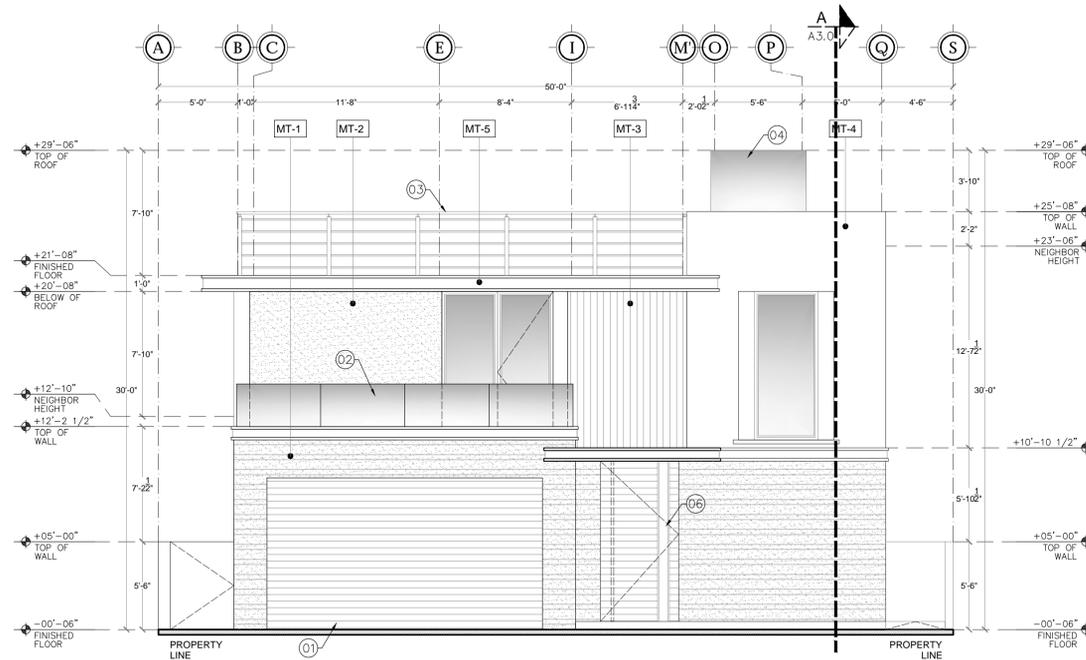


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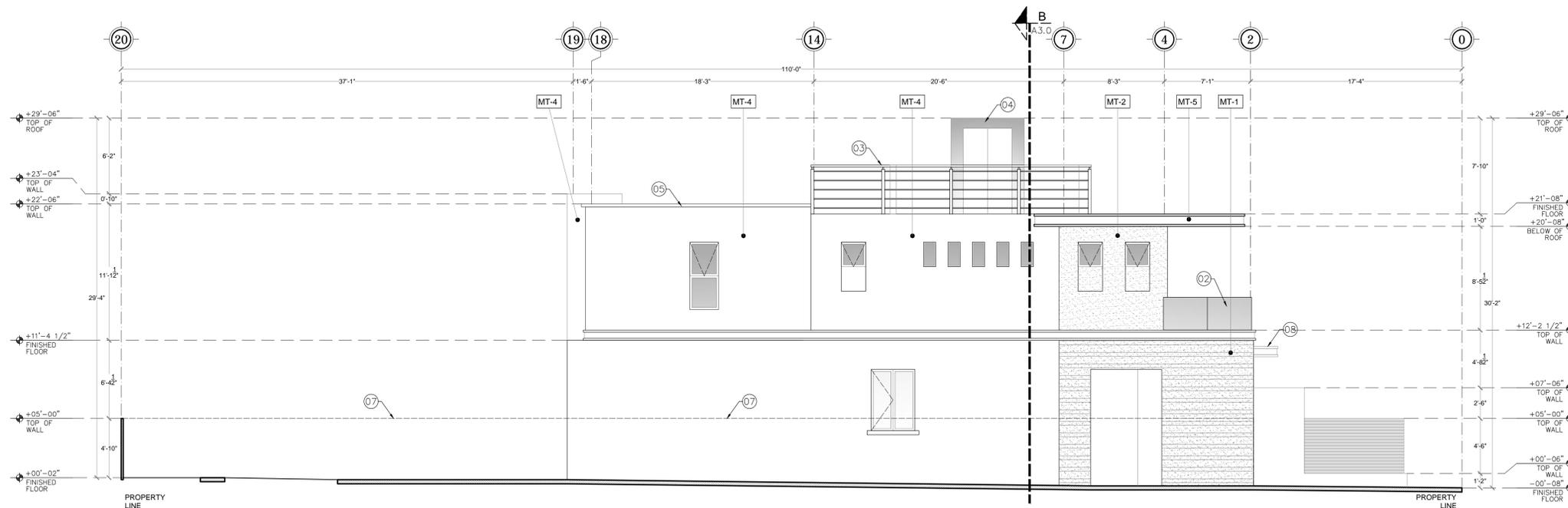
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CONTENTS
PROPOSED FIRST FLOOR AND DECK ROOF
SCALE: 3/16" - 1'-0"
DRAWING NUMBER:

A1.1



6 WEST ELEVATION
SCALE: 3/16" = 1'-0"



7 NORTH ELEVATION
SCALE: 3/16" = 1'-0"

LEGEND

- BUILDING GRID
- SECTION IDENTIFIER.
- KEY NOTES TAGS
- MATERIAL TAGS

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| 3. | WOODEN AND METALLIC RAILING @ 48" A.F.F. PER OWNERS APPROVAL. |
| 4. | GLASS ELEVATOR INSTALLED PER MANUF. SPECS (TYP). |
| 5. | ROOF MOULDING PER OWNER APPROVAL INSTALLED PER MANUF. SPECS (TYP). |
| 6. | NEW MAIN ENTRANCE WOODEN DOOR PER OWNER APPROVAL INSTALLED PER MANUF. SPECS (TYP). |
| 7. | DASHED LINE OF EXISTING FENCE. |
| 8. | METALLIC PERGOLA PER OWNER APPROVAL. |
| 9. | NEW WOODEN FENCE PER OWNER APPROVAL. |

MATERIAL LEGEND

- | KEY | DESCRIPTION |
|------|---|
| MT-1 | TRAVERTINE MARBLE PER OWNER APPROVAL. INSTALLED PER MANUF. SPECS. |
| MT-2 | EXTERIOR PLASTER SYSTEM ON PAPER BACKED MTL LATH WITH SENERGY 'SENERFLEX' COLOR COAT, TYP. COLOR SYLVER MARLIN (N360-2) BEHR. |
| MT-3 | EXTERIOR WOOD CLADDING, COLOR PER OWNER APPROVAL. |
| MT-4 | EXTERIOR PLASTER SYSTEM ON PAPER BACKED MTL LATH WITH SENERGY 'SENERFLEX' COLOR COAT, TYP. COLOR CRYSTAL CUT (PR-W13) BEHR. |
| MT-5 | METAL ROOFING FASCIA, COLOR ASPHALT GRAY (N520-6) BEHR. |

PASEO DEL OCASO
RESIDENCE REMODEL
8247 Paseo del Ocaso
La Jolla CA 92037

CITY SUBMITTAL

PROJECT NO: 16-01
DATE: JULY 05, 2017

REVISIONS
 June 15, 2017 - City Comments

CONTENTS:
WEST AND NORTH ELEVATION

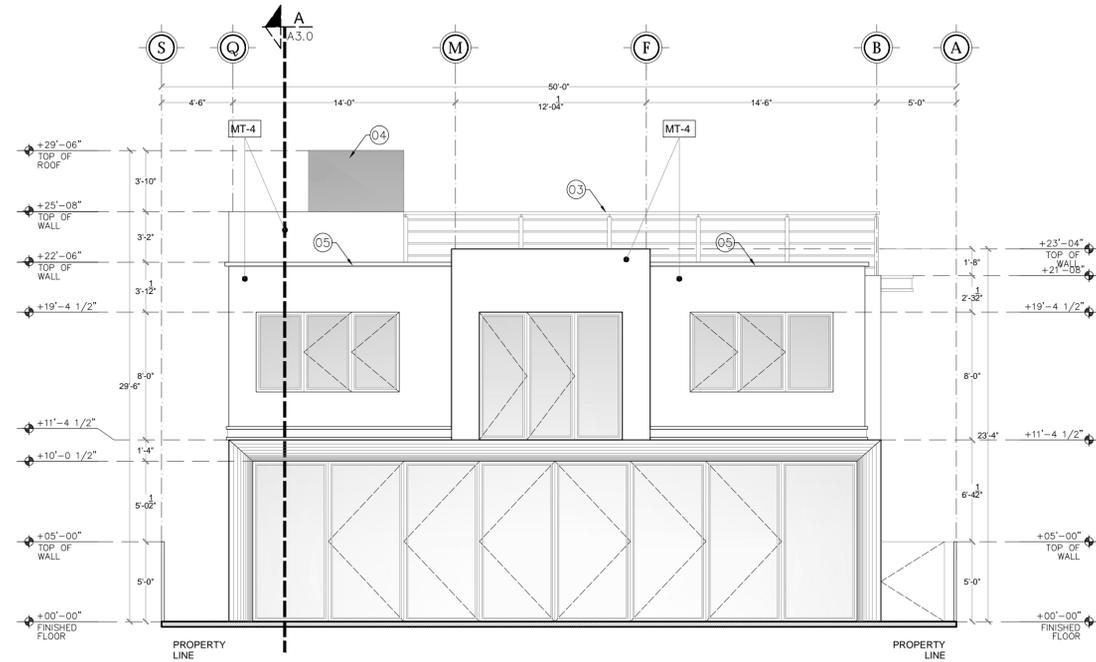
SCALE: 3/16" - 1'-0"

DRAWING NUMBER:

A2.0

NOTE

ALL KEY NOTES AND TAGS HAVE BEEN REVISED TO COMPLY WITH THE CITY OF SAN DIEGO PLANNING REVIEW COMMENTS.



8 EAST ELEVATION
SCALE: 3/16" = 1'-0"

LEGEND

- BUILDING GRID
- SECTION IDENTIFIER.
- KEY NOTES TAGS
- MATERIAL TAGS

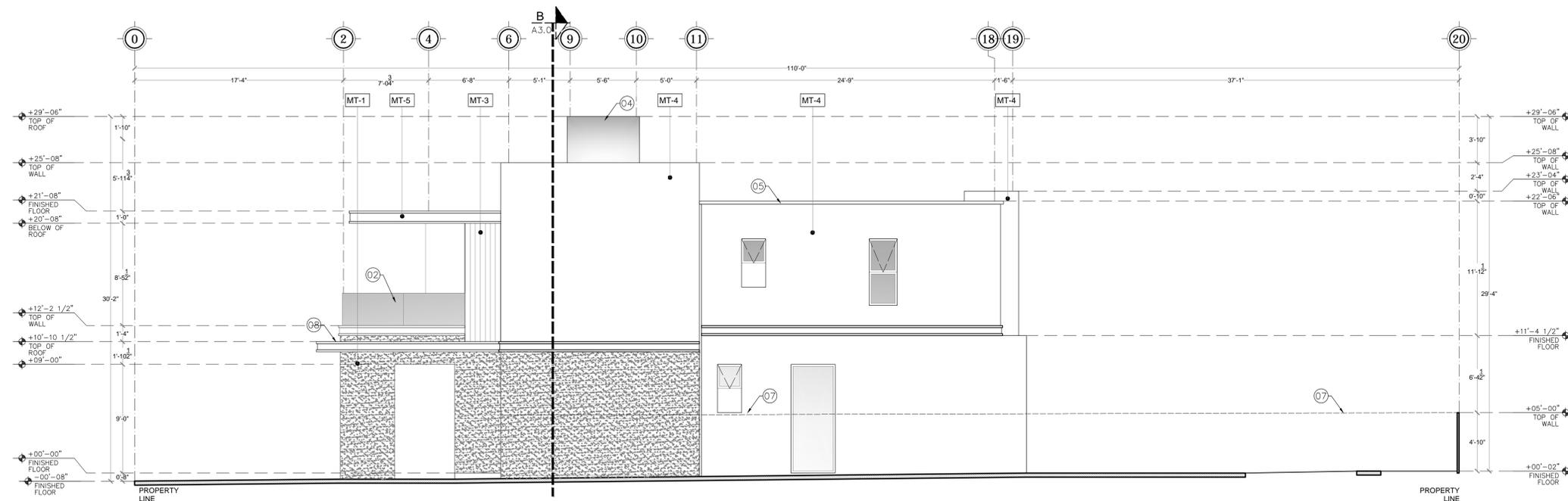
KEY NOTES

- | # | DESCRIPTION |
|----|--|
| 1. | NEW GARAGE DOOR PER OWNER APPROVAL INSTALLED PER MANUF. SPECS (TYP). |
| 2. | GLASS RAILING @ 32" A.F.F. PER OWNERS APPROVAL. |
| 3. | WOODEN AND METALLIC RAILING @ 48" A.F.F. PER OWNERS APPROVAL. |
| 4. | GLASS ELEVATOR INSTALLED PER MANUF. SPECS (TYP). |
| 5. | ROOF MOULDING PER OWNER APPROVAL INSTALLED PER MANUF. SPECS (TYP). |
| 6. | NEW MAIN ENTRANCE WOODEN DOOR PER OWNER APPROVAL INSTALLED PER MANUF. SPECS (TYP). |
| 7. | DASHED LINE OF EXISTING FENCE. |
| 8. | METALLIC PERGOLA PER OWNER APPROVAL. |
| 9. | NEW WOODEN FENCE PER OWNER APPROVAL. |

MATERIAL LEGEND

- | KEY | DESCRIPTION |
|------|---|
| MT-1 | TRAVERTINE MARBLE PER OWNER APPROVAL. INSTALLED PER MANUF. SPECS. |
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PASEO DEL OCASO
RESIDENCE REMODEL
8247 Paseo del Ocaso
La Jolla CA 92037



9 SOUTH ELEVATION
SCALE: 3/16" = 1'-0"

NOTE

ALL KEY NOTES AND TAGS HAVE BEEN REVISED TO COMPLY WITH THE CITY OF SAN DIEGO PLANNING REVIEW COMMENTS.

CITY SUBMITTAL

PROJECT NO: 16-01
DATE: JULY 05, 2017

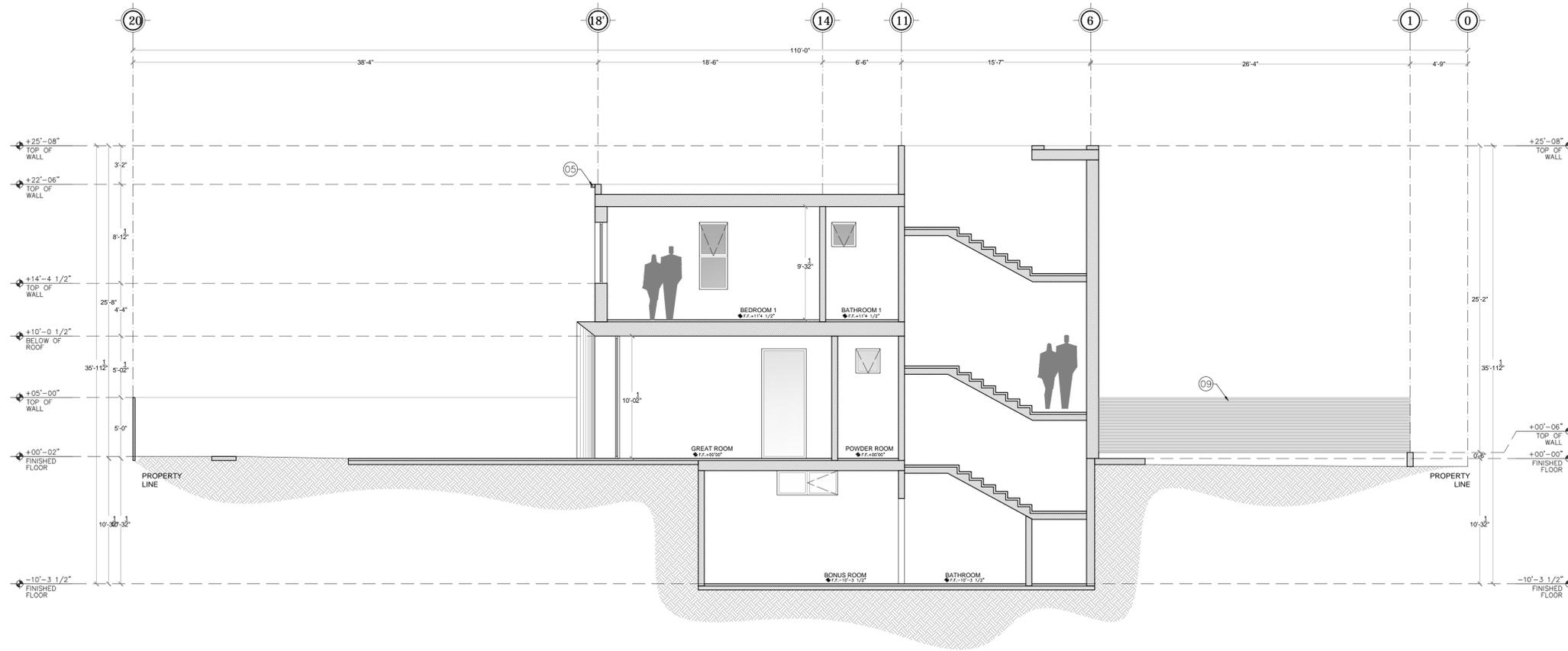
REVISIONS	
	June 15, 2017 - City Comments

CONTENTS:
EAST AND SOUTH ELEVATION

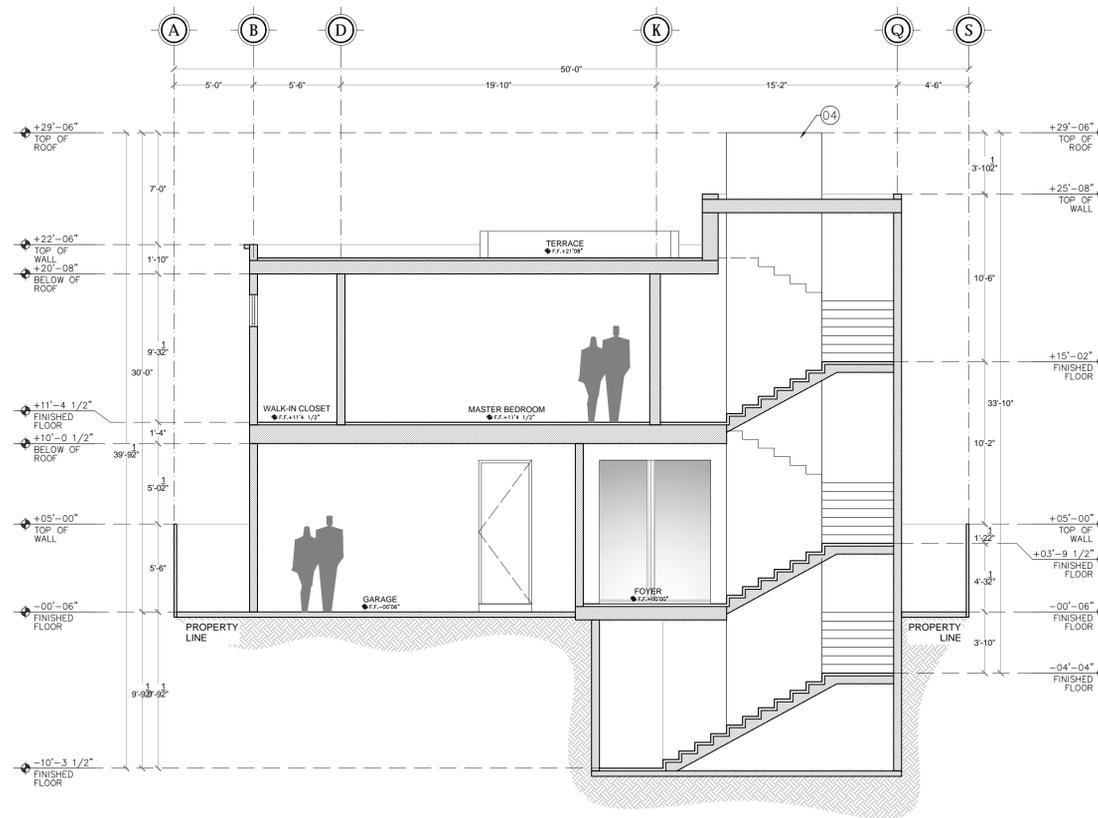
SCALE: 3/16" - 1'-0"

DRAWING NUMBER:

A2.1



10 SECTION A
SCALE: 3/16" = 1'-0"



11 SECTION B
SCALE: 3/16" = 1'-0"

LEGEND

- BUILDING GRID
- SECTION IDENTIFIER.
- KEY NOTES TAGS
- MATERIAL TAGS

KEY NOTES

- | # | DESCRIPTION |
|----|--|
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MATERIAL LEGEND

- | KEY | DESCRIPTION |
|------|---|
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PASEO DEL OCASO
RESIDENCE REMODEL
8247 Paseo del Ocaso
La Jolla CA 92037

CITY SUBMITTAL

PROJECT NO:	16-01
DATE:	JULY 05, 2017
REVISIONS	
	June 15, 2017 _ City Comments

CONTENTS:
SECTIONS

SCALE: 3/16" - 1'-0"
DRAWING NUMBER:

A3.0

NOTE

ALL KEY NOTES AND TAGS HAVE BEEN REVISED TO COMPLY WITH THE CITY OF SAN DIEGO PLANNING REVIEW COMMENTS.

La Jolla Shores Planned District Advisory Board
La Jolla Recreation Center
615 Prospect Street, La Jolla CA 92037

Please provide the following information for calendaring on an upcoming La Jolla Shores Planned District Advisory Board meeting.

Information Items

- Project name (Unsubmitted projects can be informational items if the development team is seeking comments and direction from the Trustees on the concept)
Address and APN(s)
-
- Project contact name, phone, e-mail Jose
- Project description, plus
 - lot size
 - existing structure square footage and FAR (if applicable)
 - proposed square footage and FAR
 - existing and proposed setbacks on all sides
 - height if greater than 1-story (above ground)
- Project aspect(s) that the applicant team is seeking Trustee direction on. (community character, aesthetics, design features, etc.)

Action Items

- Project PTS number from Development Services and project name (only submitted projects can be heard as action items) **531990**
- Address and APN(s) **2509 Ardath Rd, La Jolla, CA 92037, 352-083-05**
- Project contact name, phone, e-mail, **Jose Martinez, 619-634-3847, josemartinezarch@hotmail.com**
- Project description, plus
 - lot size **15,000 , 0.34 Acre**
 - existing structure square footage and FAR (if applicable) **3576 Square Feet , 0.21 FAR**
 - proposed square footage and FAR **3920 Square Feet , 0.26 FAR**
 - existing and proposed setbacks on all sides , **North 25 Feet, South 15 Feet, West 8 Feet, East 6 Feet**
 - height if greater than 1-story (above ground) **Only one story**

The Trustees are very keen to know that the neighbors in the immediate vicinity have been noticed and their views noted. Community conformity, setbacks, FAR, parking, view corridors, bulk & scale, and articulation are key discussion points on all projects.

Marlon I. Pangilinan
Senior Planner
Planning Department
1010 Second Avenue, Ste 1100 MS 413

San Diego CA 92101

619-235-5293

www.sandiego.gov/planning

PROJECT DIRECTORY

OWNER:
PACIFIC ASSET INVESTMENT II LLC.
1817 HENDRICKS DR.
SAN DIEGO, CA, 92031-3502
TEL: (619)

Easements:
No Easements are in
Property

DESIGNER:
JOSE M. MARTINEZ
4645 RUFFNER ST
STE. "Q"
SAN DIEGO, CA 92111
VOICE: (619) 427-4161
FAX: (619) 342-8553

CONSTRUCTION
TYPE:
TYPE VNON SPRINKLER

ENGINEER:
CARLOS R. HERNANDEZ
1163 ALPINE AVENUE
CHULA VISTA, CA, 91911
TEL: (619) 616-0918
SITE ADDRESS:
2509 ARDATH RD.
LA JOLLA, CA 92031-3502

HOUSE YEAR
BUILT:
1949

Geologic
Hazard
Category:
21,22,52

OCCUPANCY CATEGORY:
SINGLE FAMILY RESIDENTIAL;
ZONING: LUSPD-SF

SQUARE FOOTAGE

EXISTING HOUSE: 3,576 SQ FT
NEW ADDITION: 344 SQ FT
TOTAL: 3,920 SQ FT

LOTSIZE: 15,000 SQ FT/0.34 AC
LOT COVERAGE: 26%
F.A.R.: 0.21

PARCEL NUMBER:
352-083-05

LOT NUMBER: 1288
SUBDIVISION: FUEBLO LANDS OF SAN DIEGO
MAP REF: MM0036
CITY/MUNI/TWP: SAN DIEGO

SCOPE OF WORK

HOUSE ADDITION AND REMODEL, REPLACE FLAT ROOF WITH NEW 4/12 PITCH ROOF WITH EAGLE TERRACOTA CONCRETE TILES "TERRACOTA" OUTSIDE TO HAVE SMOOTH FINISH PLASTER WITH EARTH LIGHT WHITE COLOR.
EXCEED MORE THAN 5% OF EXISTING WOOD STUDS, INSPECTOR FLAG CONTRACTOR EXISTING STUDS HAVE DAMAGE BY TERMITE AND HAVE TO DO A COASTAL DEVELOPMENT PERMIT

BUILDING CODES

BUILDING CODE: 2013 CBC / 2012 IBC.

* PLANS SHALL COMPLY WITH 2013 EDITION OF THE CALIFORNIA BUILDING CODE OF REGULATIONS (TITLE-24), WITH ADOPTS THE FOLLOWING MODEL CODES: 2012 IRC, 2012 IBC, 2013 UPC, 2013 UMC AND 2014 NEC.

* THIS PROJECT WILL COMPLY WITH THE CITY OF SAN DIEGO LIGHTING ORDINANCE THIS PROPERTY IS SERVICE BY NATURAL GAS.

SHEET INDEX

ARCHITECTURAL	STRUCTURAL
A1-0 TITLE SHEET AND SITE PLAN	
A1-1 PHOTOGRAPHIC SURVEY	
A1-2 HISTORIC PLAN	
A2-2 FLOOR PLAN	
A2-3 ROOF PLAN	
A3-1 ELEVATIONS	
A3-2 ELEVATION AND SECTIONS	

STORM WATER FORMS

MECHANICAL

NOTES

- NO OBSTRUCTION INCLUDING SOLID WALLS IN THE VISIBILITY AREA SHALL EXCEED 3 FEET IN HEIGHT. PLANT MATERIAL, OTHER THAN TREES, WITHIN THE PUBLIC RIGHT-OF-WAY THAT IS LOCATED WITHIN VISIBILITY AREAS SHALL NOT EXCEED 24 INCHES IN HEIGHT, MEASURED FROM THE TOP OF THE ADJACENT CURB.
- PROJECT IS LOCATED WITHIN ASB5 WATERSHED. OWNER/PERMITTEE WILL COMPLY WITH ALL REQUIREMENTS OF ASB5 WATERSHED ACCORDINGLY.
- PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT THE OWNER/PERMITTEE SHALL SUBMIT A WATER POLLUTION CONTROL PLAN (WPCP). THE WPCP SHALL BE PREPARED IN ACCORDANCE WITH THE GUIDELINES IN PART 2 CONSTRUCTION BMP STANDARDS CHAPTER 4 OF THE CITY'S STORM WATER STANDARDS.

KEY NOTES:

1 PROPERTY LINE	10 EXISTING CONCRETE SIDEWALK	19 EXISTING APRON
2 EXISTING CONCRETE DRIVEWAY	11 EXISTING WROUGHT IRON GATES	20 FACE OF CURB
3 CUT EXISTING BLOCK WALL UP TO 3 FEET FROM FINISH GROUND	12 EXISTING POOL	21 NOT USED
4 SHOWN SET BACK LINES	13 EXISTING 5' CINDER BLOCK FENCE WITH STUCCO PLASTER	22 EXISTING 6' CINDER BLOCK WITH STUCCO
5 SHOW AREA OF ADDITION	14 EXISTING 3' RETAINING WALL	23 EXISTING 3' CINDER BLOCK WITH STUCCO AND 3 FEET OF WROUGHT IRON FENCE ON TOP
6 SHOWN CENTER LINE OF STREET	15 EXISTING DRAINS	24 VISIBILITY AREA
7 SHOWN AREA OF REMODEL	16 (E) CONCRETE SIDEWALK	25 GUTTER AND DOWNSPOUT WITH PLANTER BOX
8 EXISTING HOUSE	17 EXISTING LANDSCAPE	26 4" ABS PIPE TO LANDSCAPE
9 EXISTING WATER METER	18 NOT USED	

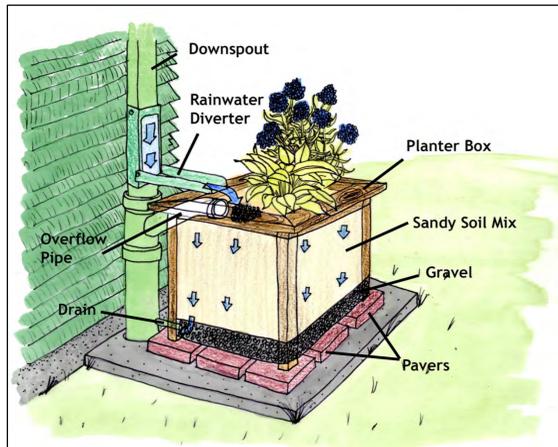
SPECIAL INSPECTION REQ.

SPECIAL INSPECTION REQUIRED AS NOTED

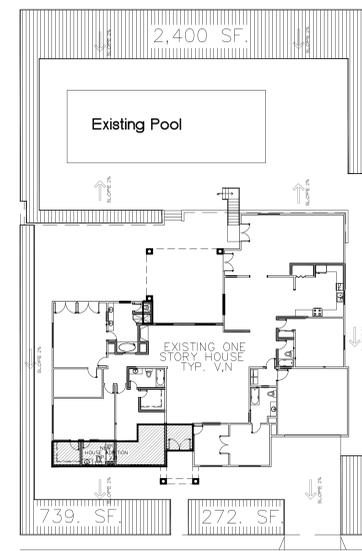
NO GRADING
REQUIRED UNDER
THIS PERMIT:

AMOUNT OF
CUBIC YARDS: 25 CY.

GREATEST DEPTH OF
EXCAVATION: 3 FEET BELOW FINISH GRADE
FOR FOUNDATION ONLY



PLANTER BOX DETAIL

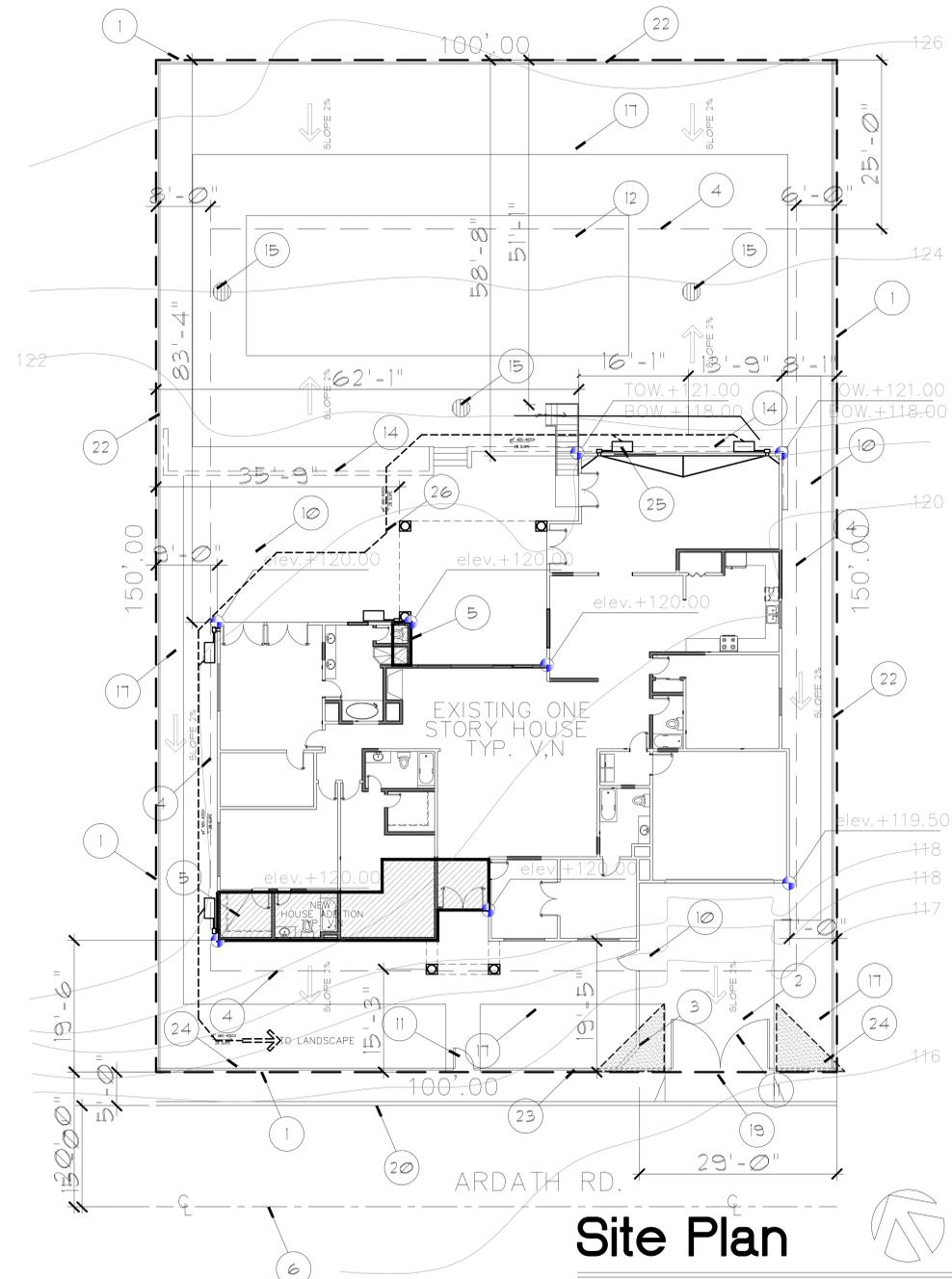


Legend
Existing Trees and Shrubs

For water Area Conservation
shown square footage on existing Site

Landscape Plan

SCALE: 20"=1"



Site Plan

SCALE: 10"=1"

SPECIAL INSPECTIONS LIST:

ANCHOR BOLTS PER PLAN

EPOXY ANCHORS: SPECIFY SPECIAL INSPECTIONS FOR INSTALLATION OF EPOXY ANCHORS IN ACCORDANCE WITH THE SPECIFICATIONS PRESCRIBED ON THE ICC LISTING APPROVAL REPORT, ON THE STATEMENT OF SPECIAL INSPECTIONS. (NEW ISSUE).

PACIFIC ASSET INVESTMENT II, LLC

Dinesh Korat
PROJECT: A House Addition and Remodel

ADDRESS:
2509 Ardath Road
La Jolla, Ca. 92037

BUILDING DATA:
APN: 352-083-05
Existing House: 3,576 sq.ft.
New Addition: 344 sq.ft.
Total: 3,920 sq.ft.

Taller de Arquitectura

PLANNING AND DESIGN

4645 Ruffner Street, Ste. Q, San Diego, Ca. 91910, Tel: (619) 427-4161 Fax: (619) 342-8553
Email: Address: josemartinezarch@notmail.com

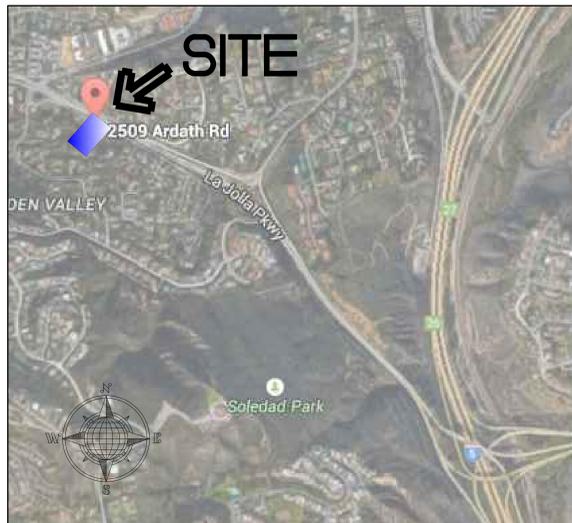
Issues and Revisions

No.	Date	Issue and Revisions
05/18/15		Preliminary Design
08/24/15		City Corrections
07/13/16		Plan Change
07/15/16		City Corrections
05/31/2017		City Corrections

Stamp and Signature

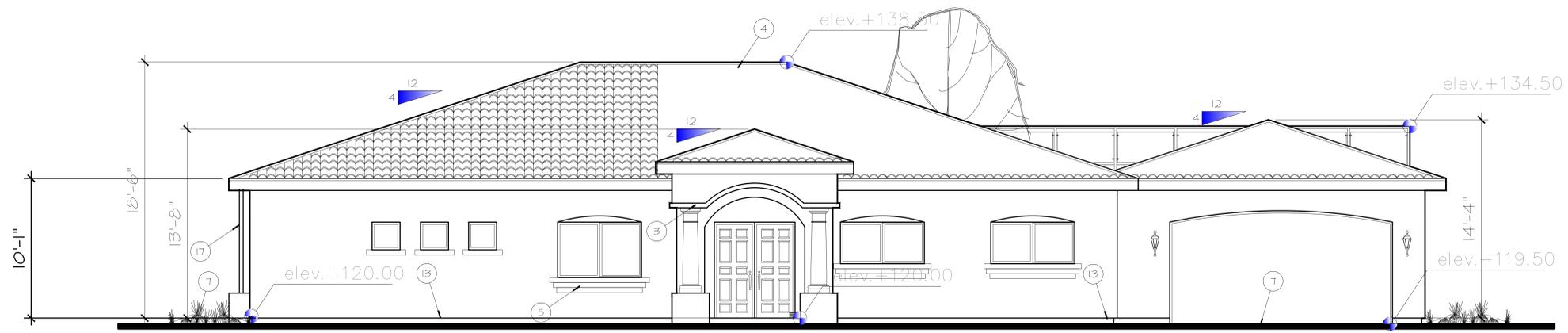
Project Name: 2509 Ardath Rd.
Project No:
Date:
Cad File:
Description:

Sheet No.



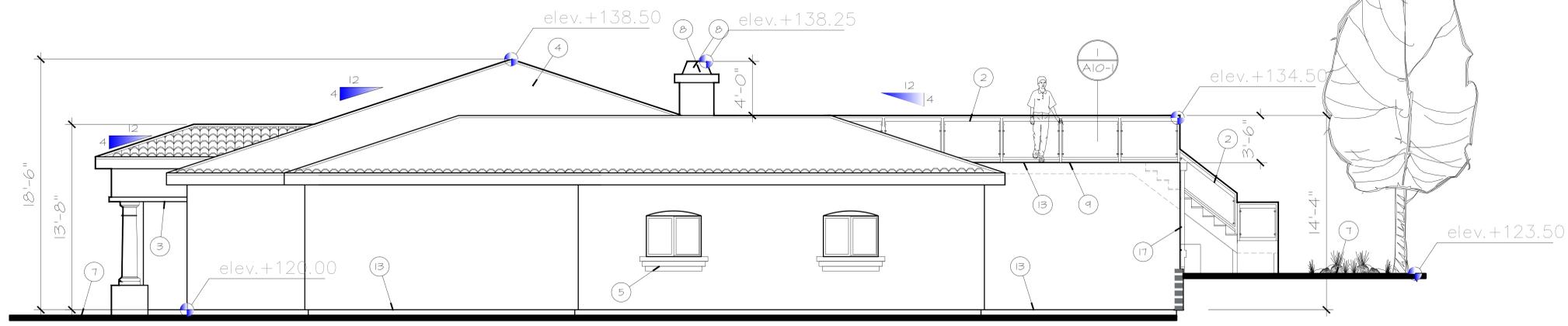
Vicinity Map

A1-0



SOUTH ELEVATION

SCALE 1/4" = 1'-0"



EAST ELEVATION

SCALE 1/4" = 1'-0"



NORTH ELEVATION

SCALE 1/4" = 1'-0"

NOTES

1. IN ROOF COVERINGS WHERE THE PROFILE ALLOWS A SPACE BETWEEN THE ROOF COVERING AND ROOF DECKING, THE SPACE AT THE EAVE ENDS SHALL BE FIRE STOPPED TO PRECLUDE ENTRY OF FLAMES OR EMBERS.
2. PAPER FACED INSULATION IS NOT PERMITTED IN ATTICS OR OTHER VENTILATED SPACES.
3. EXTERIOR DOORS SHALL BE APPROVED IGNITION RESISTANT CONSTRUCTION, SOLID-CORE WOOD NOT LESS THAN 1 3/4" THICK, OR HAVE A FIRE PROTECTION RATING OF NOT LESS THAN 20 MINUTES.
4. THE FIRST FIVE FEET OF FENCES AND OTHER ITEMS ATTACHED TO A STRUCTURE SHALL BE CONSTRUCTED OF NON-COMBUSTIBLE MATERIAL OR MEET THE SAME FIRE-RESISTIVE STANDARDS AS THE EXTERIOR WALLS OF THE STRUCTURE.
5. ALL VENTS MUST BE LOUVERED AND COVERED WITH 1/8" NONCOMBUSTIBLE, CORROSION-RESISTANT METAL MESH, TURBINE VENTS SHALL TURN IN ONE DIRECTION ONLY.
6. ALL PROJECTIONS SHALL BE OF NON-COMBUSTIBLE CONSTRUCTION, FIRE RETARDANT TRATED WOOD, HEAVY TIMBER CONSTRUCTION.
7. ATTIC VENTILATION SHALL NOT BE PERMITTED IN SOFFITS, RAKES, OR EAVE OVERHANGS.
8. GUTTERS AND DOWN SPOUTS SHALL BE CONSTRUCTED OF NON-COMBUSTIBLE MATERIAL, AND DESIGNED TO REDUCE ACCUMULATION OF LEAF LETTERM AND DEBRIS.
9. COMBUSTIBLE EAVES, SOFFITS AND FASCIAS SHALL BE CONSTRUCTED AS REQUIRED IN GUIDANCE DOCUMENT DPLU# 198.
10. ATTIC VENTILATION SHALL NOT BE PERMITTED IN SOFFITS, RAKES, OR EAVE OVERHANGS.
11. ROOFING SHALL HAVE A MINIMUM CLASS 'A' FIRE RATING
12. SURFACE WATER WILL DRAIN AWAY FROM BUILDING.

KEY NOTES

- | | | | |
|---|--|---------------------------------|---------------------------|
| ① NEW SMOOTH FINISH STUCCO PLASTER, HAND TROUGH, COLOR BY TALLER DE ARQUITECTURA | ④ SPANISH RIVIERA MIX LITE CONCRETE TILES BY EAGLE, CLASS "A" WITH 2 PLAY UNDERLAYMENT ESR-1759, CRRC ID 0890-0006 COLOR BY TALLER DE ARQUITECTURA | ⑧ 1/8" SPARKS ARRESTORS | ⑬ FINISH FLOOR |
| ② 1/2" TEMPERED GLASS | ⑤ EPS MOLDINGS, PER MANUFACTURER RECCOM. | ⑨ DEX-O-TEX WATER-PROOFING DECK | ⑭ EXISTING HOUSE |
| ③ CANOPY, TO HAVE UNDER CEILING IS FELT PAPER AND WIRE MESH AND 7/8" PLASTER FOR FIRE PROOFING. | ⑥ CANTERA STONE COLUMNS | ⑩ R-13 INSULATION | ⑮ TRUSSES BY OTHERS |
| | ⑦ FINISH GRADE | ⑪ R-30 INSULATION | ⑯ EXISTING RETAINING WALL |
| | | ⑫ LOUVER VENTS | ⑰ GUTTER & DOWNSPOUT |

ELEVATIONS

SCALE 1/4" = 1'-0"

No.	Date	Issue and Revisions
05/18/15		Preliminary Design
08/24/15		City Corrections
07/13/16		Plan Change
07/15/16		City Corrections
05/31/2017		City Corrections

Stamp and Signature

Project Name: 2509 Ardath Rd.
Project No:
Date:
Cad File:
Description:

Sheet No.

July 10, 2017

Marlon,

Project to be presented at the upcoming La Jolla Shores Planned District Advisory Board meeting.

Project Number: 549333 (Site Development Permit)

Project Name: 3115 Bremerton Place

Address: 3115 Bremerton Place, La Jolla, CA 92037

APN: 346-782-02-00

Project Contact: IS Architecture
Joseph Reid
5649 La Jolla Blvd, La Jolla, CA 92037
jreid@isarchitecture.com
858-456-8555

Project Description: Demolish existing 2,681 one-story single family home and construct a new 5,103 sqft two-story single family residence with attached two car garage and covered rear patio on a 15,007 sqft lot.

Floor Area Ratio: Existing FAR: .18
New FAR: .34

Setbacks: Observing established setbacks from original structure
Front 20'; Side North 8'-10"; Side South 8'-11"
Front porch encroaches 6'-0" into Front Yard Setback

Building Height: Existing 13'-0"
Proposed 24'-7 1/2"

Note: Enclosed are four letters of support from surrounding neighbors.

Thank you,

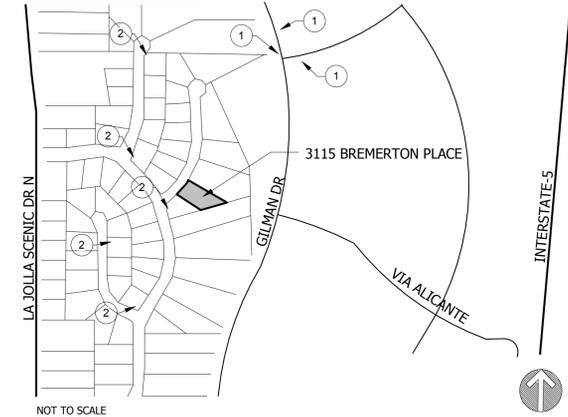
JOSEPH REID
IS ARCHITECTURE
5649 La Jolla Blvd
La Jolla, CA 92037
v: 858.456.8555
jreid@isarchitecture.com
www.isarchitecture.com

BREMERTON RESIDENCE

**3115 BREMERTON PLACE
San Diego, CA 92037**



VICINITY MAP



NOT TO SCALE

KEYNOTES

- 1 BUS STOP LOCATIONS:
(NORTHBOUND) GILMAN DRIVE & VILLA LA JOLLA DRIVE
(SOUTHBOUND) GILMAN DRIVE & VILLA LA JOLLA DRIVE
(EASTBOUND) VILLA LA JOLLA DRIVE & GILMAN DRIVE
- 2 FIRE HYDRANT LOCATIONS:
8601 KILBOURN DRIVE
8641 KILBOURN DRIVE
(EAST SIDE) CORNER OF BREMERTON PL & SUGARMAN DR
3169 BREMERTON PLACE
3084 CRANBROOK CT
3048 CRANBROOK CT

DRAWING SHEET INDEX

A0-01	COVER SHEET
A0-02	PROJECT INFORMATION
A0-03	PROJECT NOTES
A0-04	PUBLIC NOTICING
TS1	TOPOGRAPHIC SURVEY
A1-01	DEMOLITION FLOOR PLAN
A1-02	SITE & LANDSCAPE PLAN
A2-01	FIRST FLOOR PLAN
A2-02	SECOND FLOOR PLAN
A2-03	ROOF PLAN
A3-01	EXTERIOR ELEVATION
A3-02	EXTERIOR ELEVATION
A4-01	SITE & BUILDING SECTIONS
A4-02	SITE & BUILDING SECTIONS
A4-03	SITE & BUILDING SECTIONS
Grand total: 15	

PROJECT DIRECTORY

OWNER
PAUL & JOYCE DOSTART
3115 BREMERTON PLACE
LA JOLLA, CA 92037
V: 858.455.5553
E: dostart@gmail.com
E: joycedostart@gmail.com

ARCHITECT
IS ARCHITECTURE
IONE R. STIEGLER, FAIA
5649 LA JOLLA BLVD
LA JOLLA, CA 92037
V: 858.456.8555
E: joe@isarchitecture.com
ATTN: JOSEPH REID

CONTRACTOR
STEIGERWALD-DOUGHERTY INC
PAT DOUGHERTY
PO BOX 884
SOLANA BEACH, CA 92075
V: 858.259.5100
E: patd@steigerwald-dougherty.com

GEOTECHNICAL ENGINEER
TERRA PACIFIC CONSULTANTS, INC
4010 MORENA BLVD. SUITE 108
SAN DIEGO, CA 92117
V: 858.521.1190
E: criso@terrapac.net

SURVEYOR
METROPOLITAN MAPPING
3712 30TH STREET
SAN DIEGO, CA 92104
V: 619.564.6091
E: metromap.sd@gmail.com

STRUCTURAL ENGINEER
SIMPLY STRONG ENGINEERING
4020 30TH STREET
SAN DIEGO, CA 92104
V: 858.376.7734
E: evan@simplystrongeng.com

IS ARCHITECTURE
IONE R. STIEGLER, FAIA
5649 LA JOLLA BLVD. LA JOLLA, CA 92037
V: 858.456.8555 F: 858.456.8566
www.isarchitecture.com



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BREMERTON PLACE
3115 BREMERTON PLACE
LA JOLLA, CA 92037

REVISIONS		
NO.	NAME	DATE

PROJECT NUMBER
2015.30
PROJ. MNGR. DRAWN
JMR MPH
ISSUE DATE
04/25/2017

COVER SHEET

A0-01

300' RADIUS SITE BOUNDARY

PROJECT APN: 346-782-02-00



- LIST OF APN'S THAT FALL WITHIN 300' RADIUS OF SITE
- 346-771-19-00 8558 SUGARMAN DR.
 - 346-773-04-00 8611 KILBOURN DR.
 - 346-773-05-00 8601 KILBOURN DR.
 - 346-773-06-00 8551 SUGARMAN DR.
 - 346-773-07-00 3120 BREMERTON PL.
 - 346-773-08-00 3140 BREMERTON PL.
 - 346-773-09-00 3154 BREMERTON PL.
 - 346-773-10-00 3166 BREMERTON PL.
 - 346-773-15-00 3157 BREMERTON PL.
 - 346-773-16-00 3143 BREMERTON PL.
 - 346-781-01-00 8550 SUGARMAN DR.
 - 346-781-02-00 8542 SUGARMAN DR.
 - 346-781-03-00 8534 SUGARMAN DR.
 - 346-781-04-00 8526 SUGARMAN DR.
 - 346-782-01-00 3129 BREMERTON PL.
 - 346-782-03-00 8543 SUGARMAN DR.
 - 346-782-04-00 8533 SUGARMAN DR.
 - 346-782-05-00 8527 SUGARMAN DR.
 - 346-782-06-00 8519 SUGARMAN DR.

1 PARCEL MAP
1" = 100'-0"

IS ARCHITECTURE
IONE R. STIEGLER, FAIA

5649 LA JOLLA BLVD. LA JOLLA, CA 92037
V. 858.456.8555 F. 858.456.8566
www.isarchitecture.com

LICENSED ARCHITECT
IONE R. STIEGLER
NO. C19425
REN 10/31/16
STATE OF CALIFORNIA

DIGITALLY SIGNED BY IONE R. STIEGLER

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BREMERTON PLACE

3115 BREMERTON PLACE
LA JOLLA, CA 92037

REVISIONS

NO.	NAME	DATE

PROJECT NUMBER
2015.30

PROJ. MNGR. JMR	DRAWN MPH
--------------------	--------------

ISSUE DATE
04/25/2017

PUBLIC NOTICING

A0-04

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KEYNOTES - DEMOLITION

- 1 REMOVE EXISTING CONCRETE DRIVEWAY.
- 2 REMOVE BRICK PAVING.
- 3 REMOVE EXISTING WALKWAYS.
- 4 REMOVE EXISTING GATES AND FENCES.
- 5 EXISTING RETAINING WALL SHALL REMAIN.
- 6 EXISTING RETAINING WALL SHALL BE REMOVED.
- 7 EXISTING SLUMP STONE FENCE WALL SHALL REMAIN.
- 8 REMOVE EXISTING FENCE.
- 9 EXISTING TURF AND LANDSCAPING SHALL BE REMOVED.
- 10 EXISTING LANDSCAPING SHALL REMAIN.

GENERAL NOTES - DEMOLITION

1. THE CONTRACTOR SHALL PROVIDE FINISHED AND STRUCTURALLY SOUND TERMINATIONS AT DEMOLISHED AREAS. ALL ABANDONED EXISTING UTILITIES SHOULD BE PROPERLY CAPPED OFF.
2. THE CONTRACTOR SHALL VERIFY ALL LOCATIONS OF EXISTING UTILITY SERVICES, DIMENSIONS AND ELEVATIONS PRIOR TO STARTING DEMOLITION. SHOULD THE CONTRACTOR IDENTIFY DISCREPANCIES, IMMEDIATELY CONTACT THE ARCHITECT PRIOR TO PROCEEDING WITH WORK.
3. CONTRACTOR IS RESPONSIBLE TO PROTECT THE BUILDING AND BUILDING SITE DURING CONSTRUCTION TO AVOID INTRUSION BY UNAUTHORIZED PEOPLE, BIRDS, RODENTS AND PESTS.
4. CONTRACTOR TO PROVIDE PROTECTION AT ALL POTENTIAL FALLING HAZARDS DURING CONSTRUCTION PERIOD.

IS ARCHITECTURE
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BREMERTON PLACE

3115 BREMERTON PLACE
 LA JOLLA, CA 92037

REVISIONS		
NO.	NAME	DATE

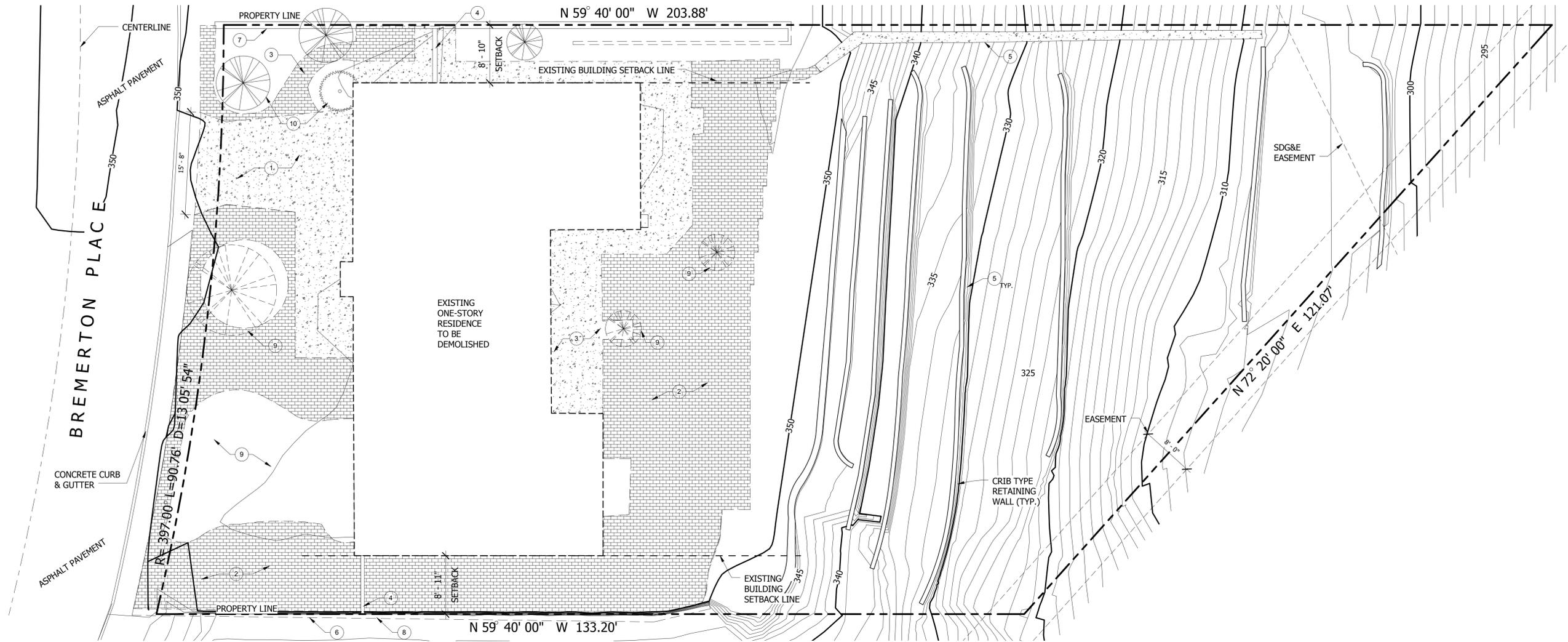
PROJECT NUMBER
2015.30

PROJ. MNGR. DRAWN
JMR JMR

ISSUE DATE
04/25/2017

DEMOLITION FLOOR PLAN

A1-01



1 DEMOLITION PLAN
 1/8" = 1'-0"

WALL LEGEND

EXISTING CONSTRUCTION TO REMAIN

EXISTING CONSTRUCTION TO BE REMOVED

EXISTING DOOR TO BE REMOVED

EXISTING WINDOW TO BE REMOVED

S:\Projects\Bremerton\Bremerton_2015.03\Bremerton_2015.03_04.25_04.dwg Development.rvt

STORM WATER QUALITY NOTES

THIS PROJECT SHALL COMPLY WITH ALL CURRENT REQUIREMENTS OF THE STATE PERMIT; CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD (SDRWQCB), SAN DIEGO MUNICIPAL STORM WATER PERMIT, THE CITY OF SAN DIEGO LAND DEVELOPMENT CODE, AND THE STORM WATER STANDARDS MANUAL.

NOTES 1-6 BELOW REPRESENT KEY MINIMUM REQUIREMENTS FOR CONSTRUCTION BEST MANAGEMENT PRACTICES (BMP)

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANUP OF ALL SILT AND MUD ON ADJACENT STREET(S), DUE TO CONSTRUCTION VEHICLES OR ANY OTHER CONSTRUCTION ACTIVITY, AT THE END OF EACH WORK DAY, OR AFTER A STORM EVENT THAT CAUSES A BREACH IN INSTALLED CONSTRUCTION BMP'S WHICH MAY COMPROMISE STORM WATER QUALITY WITHIN ANY STREET(S). A STABILIZED CONSTRUCTION EXIT MAY BE REQUIRED TO PREVENT CONSTRUCTION VEHICLES OR EQUIPMENT FROM TRACKING MUD OR SILT ONTO THE STREET.
2. ALL STOCKPILES OF SOIL AND/OR BUILDING MATERIALS THAT ARE INTENDED TO BE LEFT FOR A PERIOD GREATER THAN SEVEN CALENDAR DAYS ARE TO BE COVERED. ALL REMOVABLE BMP DEVICES SHALL BE IN PLACE AT THE END OF EACH WORKING DAY WHEN FIVE DAY RAIN PROBABILITY FORECAST EXCEEDS 40%.
3. A CONCRETE WASHOUT SHALL BE PROVIDED ON ALL PROJECTS WHICH PROPOSE THE CONSTRUCTION OF ANY CONCRETE IMPROVEMENTS WHICH ARE TO BE POURED IN PLACE ON THE SITE.
4. THE CONTRACTOR SHALL RESTORE ALL EROSION/SEDIMENT CONTROL DEVICES TO WORKING ORDER AFTER EACH RUN-OFF PRODUCING RAINFALL OR AFTER ANY MATERIAL BREACH IN EFFECTIVENESS.
5. ALL SLOPES THAT ARE CREATED OR DISTURBED BY CONSTRUCTION ACTIVITY MUST BE PROTECTED AGAINST EROSION AND SEDIMENT TRANSPORT AT ALL TIMES.
6. THE STORAGE OF ALL CONSTRUCTION MATERIALS AND EQUIPMENT MUST BE PROTECTED AGAINST ANY POTENTIAL RELEASE OF POLLUTANTS INTO THE ENVIRONMENT.

SITE PLAN - GENERAL NOTES

1. THIS PROJECT COMPLIES WITH THE MUNICIPAL CODE REQUIREMENTS FOR MAXIMUM HEIGHT OF THE STRUCTURE NOT TO EXCEED 30 FEET (SDMC, SECTIONS 131.0444 AND 132.0505). HIGHEST POINT OF ROOFEQUIPMENT, PIPE, VENT, ANTENNA OR OTHER PROJECTION SHALL NOT EXCEED 30 FEET ABOVE GRADE.
2. PER SDMC SECTION 142.0740 (e)(2), ALL OUTDOOR LIGHTING, INCLUDING SEARCH LIGHTS, SHALL BE TURNED OFF BETWEEN 11:00 P.M. AND 6:00 A.M. EXCEPT OUTDOOR LIGHTING USED FOR SECURITY PURPOSES.
3. LOCATION OF RAIN DOWNSPOUT FROM ROOF, DENOTED AS "DS".
4. LOCATION OF ROOF DRAIN DOWNSPOUTS IN TIGHTLINE, DENOTED AS "RD".
5. PRIOR TO ISSUANCE OF ANY CONSTRUCTION PERMITS, THE APPLICANT SHALL INCORPORATE ANY CONSTRUCTION BEST MANAGEMENT PRACTICES NECESSARY TO COMPLY WITH CHAPTER 14, ARTICLE 2, DIVISION 1 OF THE SAN DIEGO MUNICIPAL CODE, INTO CONSTRUCTION PLANS OR SPECIFICATION.
6. PRIOR TO ISSUANCE OF ANY CONSTRUCTION PERMITS, THE APPLICANT SHALL SUBMIT A WATER POLLUTION CONTROL PLAN (WPCP). THE WPCP SHALL BE PREPARED IN ACCORDANCE WITH THE GUIDELINES IN APPENDIX E OF THE CITY'S STORM WATER STANDARDS.
7. PROVIDE BUILDING ADDRESS NUMBERS, VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY PER FHPS POLICY P-00-6 (UFC 901.4.4).
8. ALL BUILT SITE FEATURES ARE EXISTING, UNLESS NOTED OTHERWISE.
9. NO GRADING WILL OCCUR ON THE SITE. ALL CONTOUR ELEVATIONS ARE EXISTING, UNLESS NOTED OTHERWISE.
10. NO WORK IS BEING PERFORMED IN THE RIGHT OF WAY.
11. ROOF DRAINAGE BY GUTTER AND DOWNSPOUTS INTO SURROUNDING LAWN AND PLANTERS.
12. NO EXISTING OR PROPOSED STORM DRAINS STRUCTURES WITHIN 50 FEET OF CONSTRUCTION.

SITE PLAN - KEYNOTES

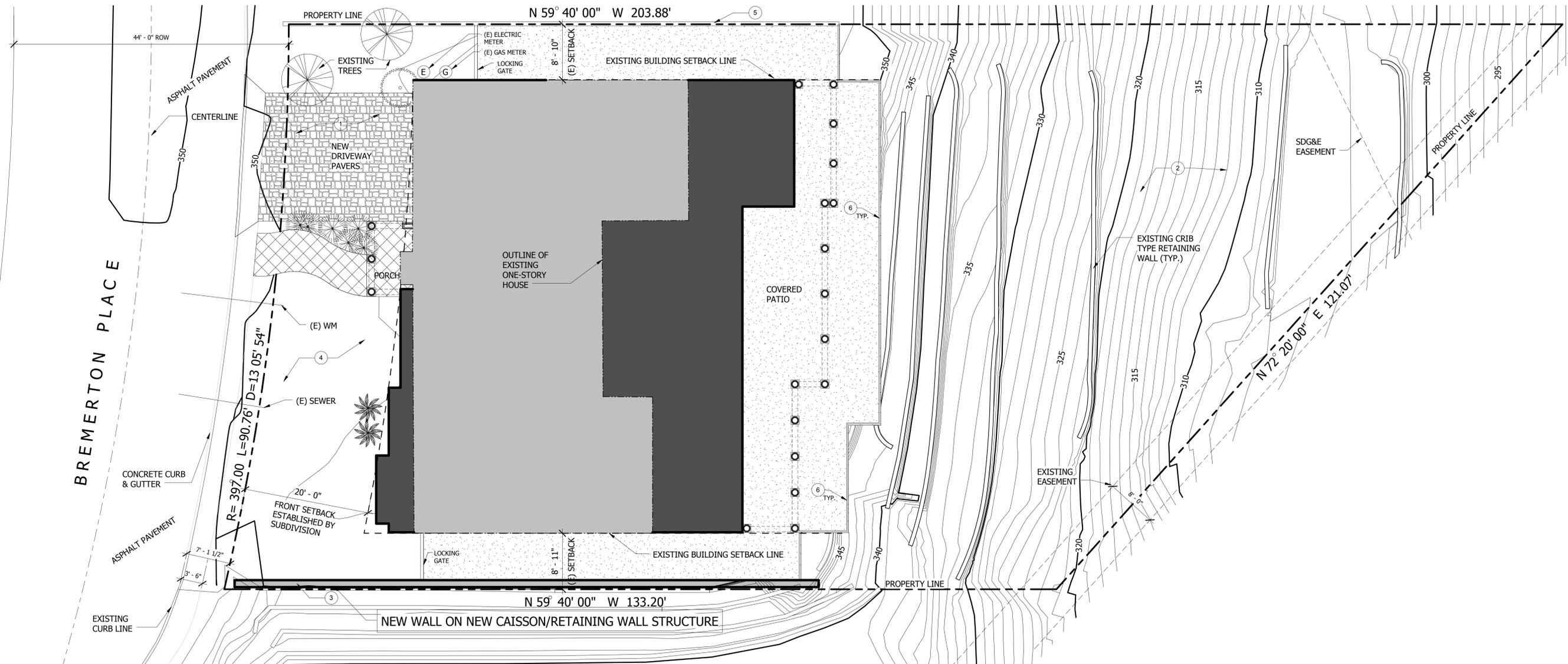
1. PAVER STONE TUSCANY CHOCOLATE, TUMBLED PAVER, LOT 102816JR CODE 030. SOURCE UNIQUE STONE IMPORTS.
2. EXISTING SLOPE AND RETAINING WALLS, TO REMAIN.
3. NEW SITE WALL AND FENCE, DESIGN TO MATCH EXISTING SLUMP STONE FENCE WALL.
4. NEW NIKE TURF.
5. EXISTING SLUMP STONE FENCE WALL.
6. NEW PATIO RAILING +/4'-0", TYP.

SITE SETBACKS & MEASUREMENTS

OBSERVING ESTABLISHED SETBACKS FROM ORIGINAL STRUCTURE:
 FRONT 20'-0"
 SIDE NORTH 8'-10"
 SIDE SOUTH 8'-11"
 FRONT PORCH ENCROACHES 6'-0" INTO FRONT YARD SETBACK

SITE PLAN - LEGEND

	PROPERTY LINE
	SETBACK
	RIGHT OF WAY (R/W)
	CENTER LINE
	EASEMENT
	EXISTING CONCRETE CURB
	EXISTING ASPHALT BERM
	CONCRETE BLOCK WALL (EXISTING)
	CONCRETE BLOCK WALL (NEW)
	EXISTING GROUND CONTOUR (5' INTERVAL)
	EXISTING GROUND CONTOUR (1' INTERVAL)
	NEW GROUND CONTOUR



1 SITE PLAN
 1/8" = 1'-0"

IS ARCHITECTURE
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LICENSED ARCHITECT
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 NO. C19425
 REN 10/31/14
 STATE OF CALIFORNIA

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BREMERTON PLACE

3115 BREMERTON PLACE
 LA JOLLA, CA 92037

REVISIONS		
NO.	NAME	DATE

PROJECT NUMBER 2015.30	
PROJ. MNGR. JMR	DRAWN MPH
ISSUE DATE 04/25/2017	

SITE & LANDSCAPE PLAN

A1-02



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BREMERTON PLACE

3115 BREMERTON PLACE
 LA JOLLA, CA 92037

REVISIONS		
NO.	NAME	DATE

PROJECT NUMBER
2015.30

PROJ. MNGR. DRAWN
JMR MPH

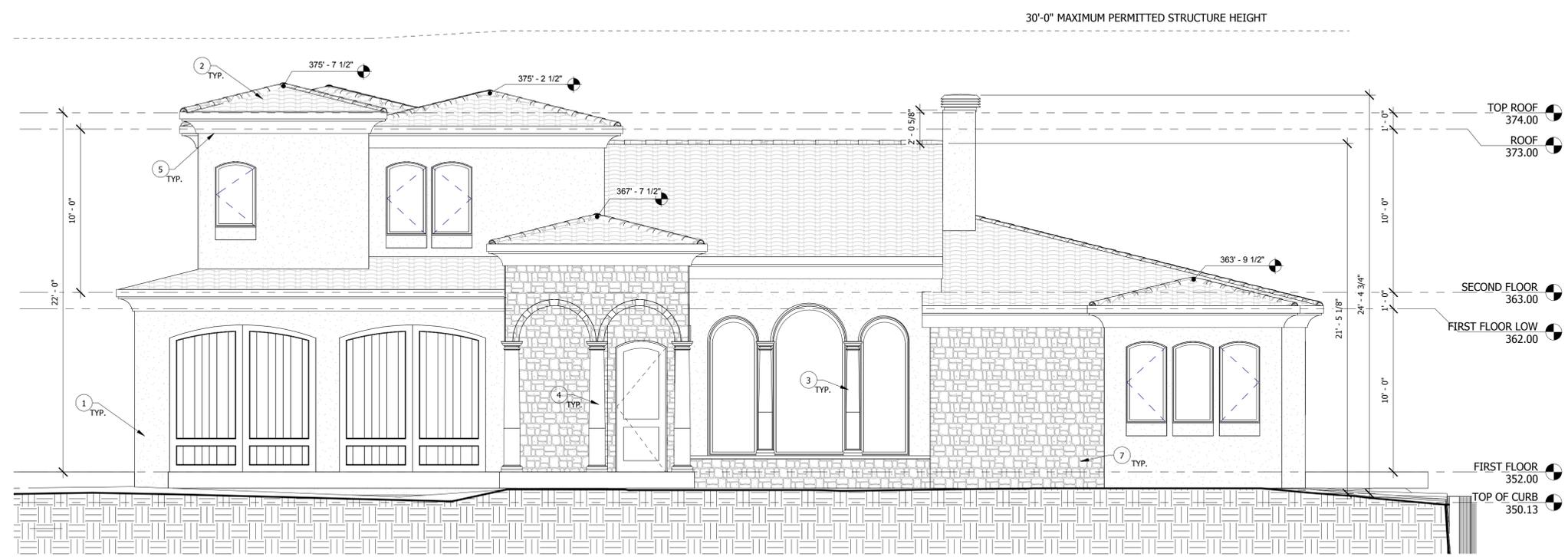
ISSUE DATE
04/25/2017

EXTERIOR ELEVATION

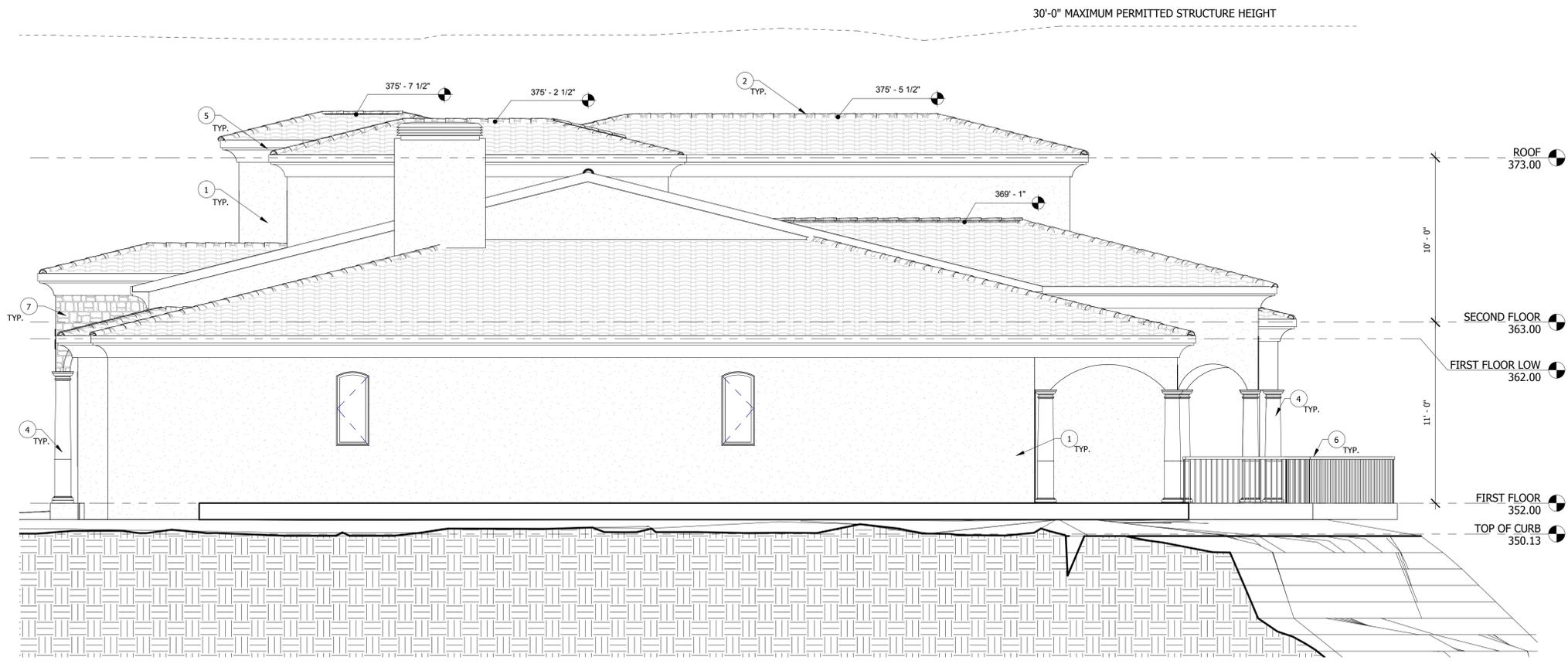
A3-01

EXTERIOR ELEVATION KEYNOTES

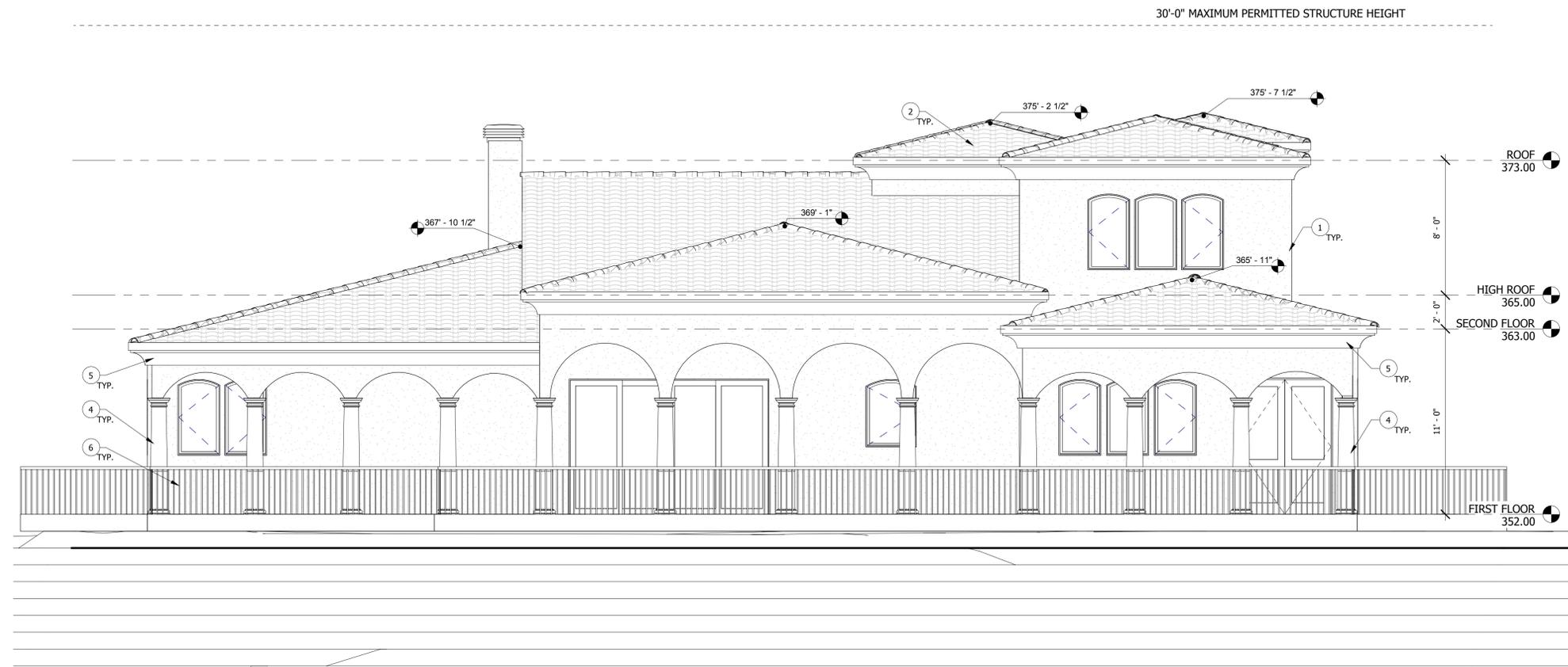
- SMOOTH SANTA BARBARA FINISH STUCCO. COLOR: TUSCANY BROWN.
- TWO-PIECE MISSION, RED CLAY TILE ROOF. BORAL US TILE OR EQUAL.
- STONE 10" ROUND COLUMN, TUSCAN CAP AND BASE, TYP.
- STONE 12" ROUND COLUMN, TUSCAN CAP AND BASE, TYP.
- 12" FOAM MOLDING AT ROOF EAVES. STUCCO AND COLOR COATED, TYP.
- 42" HIGH METAL GUARDRAIL POLISHED NICKEL FINISH.
- STONE VENER: SALADO QUARRY - TUSCANY AUTUMN #115. SOURCE UNIQUE STONE IMPORTS.



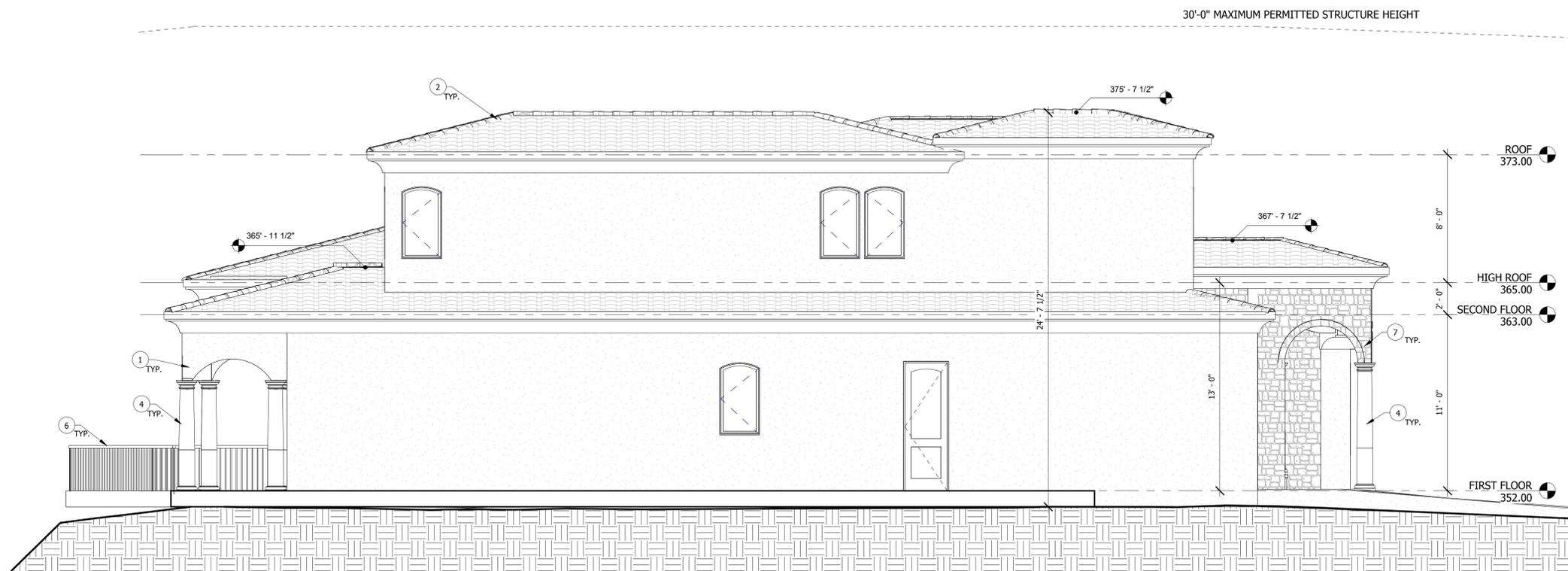
1 WEST EXTERIOR ELEVATION-FRONT
 1/4" = 1'-0"



2 SOUTH EXTERIOR ELEVATION-LEFT
 1/4" = 1'-0"



1 EAST EXTERIOR ELEVATION-BACK
1/4" = 1'-0"



2 NORTH EXTERIOR ELEVATION-RIGHT
1/4" = 1'-0"

EXTERIOR ELEVATION KEYNOTES

- 1 SMOOTH SANTA BARBARA FINISH STUCCO. COLOR: TUSCANY BROWN.
- 2 TWO-PIECE MISSION, RED CLAY TILE ROOF. BORAL US TILE OR EQUAL.
- 3 STONE 10" ROUND COLUMN, TUSCAN CAP AND BASE, TYP.
- 4 STONE 12" ROUND COLUMN, TUSCAN CAP AND BASE, TYP.
- 5 12" FOAM MOLDING AT ROOF EAVES. STUCCO AND COLOR COATED, TYP.
- 6 42" HIGH METAL GUARDRAIL POLISHED NICKEL FINISH.
- 7 STONE VENNER: SALADO QUARRY - TUSCANY AUTUMN #115. SOURCE UNIQUE STONE IMPORTS.

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IONE R. STIEGLER
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BREMERTON PLACE

3115 BREMERTON PLACE
LA JOLLA, CA 92037

REVISIONS		
NO.	NAME	DATE

PROJECT NUMBER 2015.30	
PROJ. MNGR. JMR	DRAWN MPH
ISSUE DATE 04/25/2017	

EXTERIOR ELEVATION

A3-02



To: La Jolla Shores Permit Review Committee
Attn: Dave Gordon, Chair

Copy: Marlon Pangilinan, Senior Planner -- MPangilinan@sandiego.gov
Joseph Reid, Architect -- Joe@ISArchitecture.com

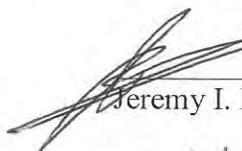
Re: 3115 Bremerton Place, La Jolla, CA 92037 - Project 549333

We are writing in support of the application of our neighbors, Paul and Joyce Dostart, to build a new house on their property at 3115 Bremerton Place, La Jolla. Our house is located at 8533 Sugarman Drive. Our western property line of about 397' includes the entire 121' that is the eastern border of the Dostarts' property.

Paul and Joyce need to rebuild their house because of land movement. Several houses in our subdivision were erected on insufficiently compacted fill, and many of our neighbors have cracked slabs owing to soil movement. Significant soil movement is visible in the Dostarts' back yard and side yard, and they have already installed several retaining walls in an attempt to minimize further soil movement. The Dostarts' proposed construction will stabilize the soil under their house, and that will protect our property, including our swimming pool and tennis court.

Although our lot is quite large (34,700 sq ft), we are pleased that the Dostarts propose keeping the existing nine-foot side setbacks, and the existing 20-foot front setback. We view the design, bulk and scale of the Dostarts' proposed new house as consistent with the character of our neighborhood.

Please approve construction of the Dostarts' new house at 3115 Bremerton Place, La Jolla.



Jeremy I. Factor, DDS, MPH

June 14, 2017



Mrs. Pauline Factor

June 14, 2017

**8543 SUGARMAN DRIVE
LA JOLLA, CALIFORNIA 92037**

June 15, 2017

La Jolla Shores Permit Review Committee
Attn: Dave Gordon, Chair
c/o Marlon Pangilinan, Senior Planner
City of San Diego Planning Department
1222 First Avenue, MS-413
San Diego, CA 92101

Re: 3115 Bremerton Place, La Jolla CA 92037 -- Project 549333

We are writing in support of the application of our neighbors, Paul and Joyce Dostart, to build a new house on their property at 3115 Bremerton Place, La Jolla. Our house, located on a corner lot at 8543 Sugarman Drive, is immediately south of, and is adjacent to, the Dostarts' property. Our backyard shares a property line with the side-yard of the Dostarts' property, as our respective homes face perpendicular streets.

The Dostarts need to rebuild their house because of land movement. Our subdivision was built on the east side of a relatively steep hill in 1960. Most of the houses on the east side of the four north-south streets in our subdivision (including the Dostarts' house on Bremerton Place) were built on poorly compacted fill; many have cracked slabs owing to soil movement. Significant soil movement is visible in the Dostarts' backyard brick patio, and substantial ground movement is visible on the brick sidewalk along the south side of their house (on our shared property line).

There is an approximate 12-foot difference in elevation between the building pad for the Dostarts' house (higher) and the building pad for our house (lower). There has been soil movement in the direction of our house. The Dostarts' new house and its south property line retaining wall will be supported by over four dozen caissons. The Dostarts' proposed construction will stabilize the soil under their house and along our shared property line, and that will protect our house.

We are pleased with the design of the Dostarts' new house. We have a spacious backyard, and because the Dostarts propose keeping the current side-setbacks, there will remain a large distance from the back wall of our house to the south side-wall of the Dostarts' house. We have no concern with the bulk or scale of the Dostarts' proposed new house. Their proposed new house is compatible with the character of nearby houses, and will be a lovely and welcome addition to our neighborhood. Please approve construction of the Dostarts' new house at 3115 Bremerton Place, La Jolla.



Professor Ratneshwar Lal, Ph.D.



Debby Sherman, Ph.D.

cc: Joseph Reid, Associate AIA and Project Manager

LOIS S. DECHANT

3129 BREMERTON PLACE
LA JOLLA, CA 92037

June 2017

La Jolla Shores Permit Review Committee

Attn: Dave Gordon, Chair
c/o Marlon I. Pangilinan, Senior Planner
City of San Diego Planning Department
1222 First Ave, MS-413
San Diego, CA 92101

Re: 3115 Bremerton Place, La Jolla CA 92037 (Project ID 549333)

La Jolla Shores Permit Review Committee:

I am writing in support of the application of Paul and Joyce Dostart, my next-door neighbors, to build a new house on their property at 3115 Bremerton Place, La Jolla. Bremerton Place is a short street, with a total of twelve houses and a cul-de-sac at the end.

My house is immediately adjacent to the Dostarts' property. We share a 203' long property line (my south-side, their north-side). My late husband and I are the only owners of our property, having purchased our home directly from the builder in 1960. When our growing family required additional space, Don and I expanded our house outward, and we added a partial second story.

Our subdivision was built on the east side of a relatively steep hill in 1960. Many of the houses in the subdivision have cracked slabs owing to soil movement. The Dostarts' house has already been the subject of major foundation reinforcement, but new ground movement is visible today. The caissons upon which the Dostarts' new house will be built will stabilize the soil under their house, and the design of the Dostarts' proposed new house is compatible with the character of nearby houses, including my house. Minimizing soil movement in the adjacent parcel will protect my house, and enhance the value of my property. Please approve construction of the Dostarts' new house at 3115 Bremerton Place, La Jolla.

Sincerely,



Lois S. Dechant

cc: Joseph Reid, Associate AIA

P.S. THE DOSTARTS HAVE BEEN WONDERFUL NEIGHBORS OVER THE YEARS, AND WE WANT TO KEEP THEM HERE.

8551 Sugarman Drive
La Jolla, CA 92037

To: La Jolla Shores Permit Review Committee
Attn: Dave Gordon, Chair

Copy: Marlon Pangilinan, Senior Planner – Mpangilinan@san Diego.gov
Joseph Reid, Architect - Joe@ISArchitecture.com

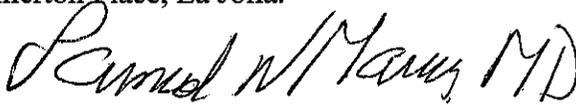
Re: 3115 Bremerton Place, La Jolla, CA 92037

We are writing to request your approval of the new house that Paul and Joyce Dostart propose to construct at 3115 Bremerton Place, La Jolla. We are the owners of the house directly across the street from 3115 Bremerton Place. Our property is on the northwest corner of the Sugarman Drive and Bremerton Place intersection. The address of our La Jolla residence is 8551 Sugarman Drive.

Bremerton Place is a north-south street. The building lots on the west side of Bremerton Place (where our property is located) are considerably higher in elevation than the lots on the east side of the street (where the Dostart property is located). For example, the first floor of our 5,366 square foot house is about 15 feet above the level of Bremerton Place (the street).

The Dostarts' proposed 5,103 square foot house is appropriate in bulk and scale for our neighborhood, and is compatible with the character of the neighborhood. Our subdivision of La Jolla Shores Heights consists of larger lots and is designated in the La Jolla Land Use Map as having five or fewer dwelling units per acre. The Dostarts' lot exceeds one-third of an acre, and the FAR of their new structure is less than 0.35. Its construction will increase the value of all nearby properties, including ours.

We ask that you approve Paul and Joyce Dostart's application to build their new home at 3115 Bremerton Place, La Jolla.



Samuel Marcus, MD

June 14, 2017



Joanne Marcus

June 14, 2017

DRAFT DRAFT DRAFT DRAFT DRAFT

INCENTIVE-BASED ZONING FOR COASTAL DEVELOPMENT
New Language for SD LDC Sec. 126.0704
Exemptions from a Coastal Development Permit
Version 5, April 17, 2017

PURPOSE: These revisions are proposed to:

1. Implement the La Jolla Community & Coastal Plan in single-family residential areas where existing community character is established and residential remodels or rebuilding is expected to occur.
2. Enable a fair, predictable and cost-effective review process that balances private property rights with community scale and character compatibility policy concerns.
3. Provide for ministerial review of most development proposals.
4. Allow for community review when development proposals exceed established thresholds or deviate from administrative standards review.

Definition: For the purposes of this Section, **Floor Area Ratio (FAR)** includes all built portions of a structure, including interior uninhabitable space such as storage, closets, halls, basements*, garages and “phantom” air space over 10 feet floor to ceiling in height, as well as exterior roofed areas like porches, balconies, loggias and carports.

Test Case: A standard lot size of 4001-5000 square feet (50x100 feet) with maximum FAR of 0.6 per SD Municipal Code 131.0446. This is a common lot size in many La Jolla neighborhoods. For lots with smaller or larger maximum FAR, the total project base FAR be scaled appropriately. Starting base FAR is 2/3 (67%) the maximum FAR allowed equaling 0.4 FAR.

I. A ministerial building permit shall be granted for new construction in the Coastal Zone when the following conditions, as detailed on project plans, are met:

Base Condition: Total project FAR does not exceed 0.4** AND:	
1.	Front setbacks meet or exceed allowable by zone, or that of existing street wall in adjacent properties, whichever is larger. Applicant will submit a plan showing the established setback lines of the two lots abutting on each side of property under review.
2.	Height does not exceed 21 feet for a flat roof or 24 ft for pitched roof (minimum pitch of 3-12).

3.	Side walls or windows in new addition do not align with opposite windows or openings of abutting properties, or consist of small utility windows with translucent material.
4.	Mature healthy trees with a breast height (4 ft.) caliper of 8 inches or more are preserved. If any tree has to be removed, it shall be replaced by a similar species in a 24 inch box. (See requirements of Climate Action Plan & Urban Forestry Plan.)
5.	New landscaping and fencing in front yard setback, including trees and lawns, follows the established neighborhood pattern specifically reflected by the four properties abutting the site on both sides and observes city tree palette. (See requirements in Community Plan, Urban Forestry Plan and Climate Action Plan.)
6.	Existing public views, where noted in the Community Plan, are preserved or strengthened by vegetation removal in setbacks and setback fences that are 50% open and no more than 42" in height.
7.	No below grade parking is proposed. Parking is to the rear of lot, or off the alley.
8.	Driveways and paved areas are permeable, with a combination of decorative blocks and vegetation in a 60/40% ratio, respectively.
9.	*Basements are fully underground, below natural or finished grade (whichever is lower) and are within building footprint. Windows do not exceed 18" in height; light wells do not exceed 4 ft. in width. All other basement conditions count towards allowable FAR.
10.	Sidewalk, parkway and street trees are preserved and enhanced.
11.	30 % of front façade features windows, glazed doors, balconies, porches or terraces that open to the street.

(**This FAR may be lower or higher for some neighborhoods or lots, depending on underlying zoning. For a higher FAR, see Bonus Points Program below.)

II. Additional project FAR, to a maximum 0.6 (or the maximum allowed by the underlying zone.) An additional maximum allowable height of 25-30 feet for pitched roofs and 27 feet for flat roofs, may be gained by adding the following features to the project, **in addition to those noted in Section 1**, via the following point system:

Bonus FAR	Incentives to Reduce Building Bulk and Provide Compatible Neighborhood Scale and Character (Maximum of 0.1 FAR)
.10	a. Design is for a single story.
.02	b. Design proposes 45 degree angled "daylight" plane vertical side yard setbacks on both sides at 19' above grade.
.01	c. Design proposes 45 degree angled "daylight" plane vertical side yard setbacks on ONE side at 19' above grade.
.01	d. Project design will incorporate a front yard 45 degree setback vertical angled plane at a height of 14' for 70% of the front façade.
.02	e. Building mass is broken up with H, I, L, or U shaped floor plans.
.02	f. 70% of second story is set back on primary façade by minimum of 15 ft.
.02	g. Second story is set back from first story by minimum 8 ft. on one or more secondary facades.
.05	h. Exterior walls offset from side yard setback by a minimum addition of 4 ft for cumulative linear distance of at least 20 ft.

Bonus FAR	Incentives to Enhance Neighborhood Scale & Character (Maximum of 0.1 FAR)
.02	i. A proposed roof deck is placed central to the proposed building design with parapets or railings not viewable from the street; or, deck is incorporated into the roof design.
.02	j. Garage door is turned 90 degrees from street or accessed from rear of property.
.02	k. Garage door is integrated into architectural design to minimize prominence. Strategies may include but are not limited to: use of overhead trellis or free standing pergola; garage door with windows or enhanced materials, small scale patterns, or 3-D relief; door mass minimized by staggered or separated openings.
.03	l. Distant views recognized in LJ Community Plan or LJ Cultural Landscape Survey are enhanced with an additional side yard setback of 10% of lot frontage, accommodated by new project design and/or removal of existing structure.

.03	m. A minimum of 30% of air space and distant view protection or enhancement (includes coastal, canyon, hillside views) across subject property are preserved at upper floor levels of immediately adjacent properties.
.03	n. 30% of lot is covered with vegetation (excluding required driveway vegetation). An additional 0.02 bonus is given for preserving existing mature vegetation. (See requirements in Community Plan, Urban Forestry Plan and Climate Action Plan.)
.02	o. Project proposes a covered entry level porch of at least 100 square feet with a minimum dimension of 8' in depth.
0.2	p. Preservation of a site's historic or potentially historic (eg. meets HRB designation criteria) architecture and cultural landscape with development consistent with the Secretary of Interior's Standards.
0.1	q. Preservation of the site's historic or potentially historic (eg. meets HRB designation criteria) architecture, with development consistent with the Secretary of Interiors Standards.

III. FAR shall be subtracted for the following project features:

Penalty FAR	Disincentives to Reduce Bulk, Preserve, Strengthen and Enhance Neighborhood Scale and Character
.03	r. Using standardized plans.
.2	s. Demolishing a potentially historic structure (eg. meets HRB designation criteria) for new construction.
.03	t. Repeating architect or builder prepared plans in the same block.

IV. Any project not adhering to the above criteria must apply for a Coastal Development Permit and be subject to community review.