



THE CITY OF SAN DIEGO

Report to the Hearing Officer

DATE ISSUED: November 29, 2023 REPORT NO. HO-23-061
HEARING DATE: December 6, 2023
SUBJECT: 7 LEAVES CAFE, Process Three Decision
PROJECT NUMBER: [684250](#)
OWNER/APPLICANT: Wynnston Development, LLC, Owner; 7 Leaves Cafe, Permittee

SUMMARY

Issue: Should the Hearing Officer approve a Variance to construct a new 1,472-square-foot, single story retail cafe and drive-through with 13% lot coverage where 35% minimum lot coverage is otherwise required by the CC-5-4 zone development regulations, at 4460 University Avenue, within the City Heights neighborhood of the Mid-City Communities Plan?

Proposed Actions: **Approve** Variance No. PMT-2556160

Code Enforcement Impact: The Development Services Department Building and Land Use Enforcement Division (BLUE) issued a Notice of Abatement Vacant and Unsecured Structure on February 10, 2021 to the owners of the site under code case no. [CE-0513555](#). The structure on the site was demolished under a separate permit no. [PMT-3095199](#) and the site was abated by the owners. The owners are maintaining the property free of graffiti, trash, or stored items. BLUE continues to monitor the property for compliance.

Community Planning Group Recommendation: On July 6, 2022, the City Heights Area Planning Committee voted 11-0-0 to recommend approval of the project with no recommended conditions.

Environmental Impact: This project was determined to be categorically exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines Section 15303, New Construction or Conversion of Small Structures. This project is not pending an appeal of the environmental determination. The environmental exemption determination for this project was made on October 23, 2023, and the opportunity to appeal that determination ended November 6, 2023.

BACKGROUND

The 0.29-acre site is located at 4460 University Avenue, within the CC-5-4 (Commercial-Community) zone, the Parking Standards Transit Priority Area (PSTPA), Transit Area Overlay Zone, and Mobility Zone 2 in the City Heights neighborhood of the Mid-City Communities Plan. The site previously contained a 1,200-square-foot recycling center and parking lot that was demolished by the applicant under a separate Permit No. [PMT-3095199](#). The site is currently vacant, contains no structures, and is surrounded by a chain-link fence.

The site is situated on the northeast corner of University Avenue and Highland Avenue and is adjacent to a multi-family complex to the north and commercial uses to the east, south, and west which are similarly zoned CC-5-4.

The project site is not located within or adjacent to the Multiple Habitat Planning Area (MHPA) of the City's Multiple Species Conservation Program and does not contain Environmentally Sensitive Lands (ESL) as defined in San Diego Municipal Code section (SDMC) [113.0103](#).

DISCUSSION

Permits Required

Per [SDMC 126.0802](#), a variance may be requested for proposed development that would not comply with an applicable development regulation of the Land Development Code, except that density shall not be increased through a variance. Per [SDMC 126.0804](#) the decision for a variance shall be made in accordance with Process Three, with the Hearing Officer as the decision maker.

Project Description:

The project requests a Variance to construct a new 1,472-square-foot, single story artisan boba tea and coffee cafe and 135-square-foot trash enclosure for a total of 1,607 square feet of building area that provides 13% lot coverage where 35% minimum lot coverage is otherwise required by the CC-5-4 zone development regulations [131.0531, Table 131-05E](#) (fig. 1).

Development Regulation [See Section 131.0530 for Development Regulations of Commercial Zones]	Zone Designator	Zones															
	1st & 2nd >>	CC-															
	3rd >>	1-	2-	4-	5-	1-	2-	4-	5-	1-	2-	4-	5-	2-	3-	4-	5-
	4th >>	1	2	3	4												
Rear <i>Setback</i> Abutting Residential [See Section 131.0543(c)]		applies	applies	applies	applies												
Max <i>Structure Height</i> (ft)		30	60	45	30												
Min <i>Lot Coverage</i> (%) ⁽⁵⁾		--	--	--	35												

Figure 1

In addition, the project proposes a drive through component, pedestrian walk-up window, eight vehicular parking spaces, landscaping, and associated public improvements, including a 5.5-foot right-of-way dedication along University Avenue.

Drive-Through Component

Minimum lot coverage requirements within Commercial-Community zones are intended to accommodate development with a pedestrian orientation, however eating and drinking establishments with a drive-in or drive-through component are allowed by-right in the CC-5-4 zone per the Land Use Regulations for Commercial Zones, SDMC [131.0522, Table 131-05B](#). If the proposed cafe structure was built to the strict application of the 35% minimum lot coverage, a 4,328-square-foot minimum building area would be required, resulting in a conflict with the proposed drive-through which is allowed by right in this zone. This conflict deprives the owner of reasonable use of the lot and imposes undue restriction by requiring a building footprint that may cause engineering conflicts (lengthy queuing, obstruction of traffic circulation, issues with drive lane width) collectively preventing the creation of a drive-through.

Required Parking

The project site is located within a Parking Standards Transit Priority Area (PSTPA), which has no minimum vehicular parking requirement for projects located within the CC-5-4 zone, so long as the project would provide Vehicle Miles Traveled (VMT) Reduction Measures per Section [142.0530\(b\) and Table 142-05F](#), Footnote 6. Though this project application was deemed complete on August 16, 2021, before the Parking Standards Transit Priority Area Ordinance went into effect in January 2022, the project has since opted to use this minimum parking rate and provide on-site VMT Reduction Measures to comply with current regulations. The project proposes a total of eight vehicular parking spaces, including two accessible spaces and VMT Reduction Measures are included as a condition of approval (Attachment 5, Condition no. 27).

Lot Coverage Analysis:

The minimum lot coverage required by the CC-5-4 zone and the conflict created by the drive-through component allowed by right in the zone are not a result of the property owner's development or use of the land but are a result of constraints of the existing lot dimensions.

Figure 2 represents the proposed project within the property lines. The 1,472-square-foot, single story retail cafe and 135-square-foot trash enclosure, represented in blue, total 1,607 square-feet of building area that provides a lot coverage of 13%. The strict application of the 35% minimum lot coverage on the existing 12,365-square-foot lot would require a minimum of 4,328-square-feet of lot coverage, represented in red, which greatly reduces remaining square footage needed on site to comply with drive-through component requirements. Allowing a variance for 13% lot coverage will permit the reasonable use of the lot for a use that is allowed by-right in the zone and is consistent with the commercial and mixed-use development land use designation by the Mid-City Communities Plan.

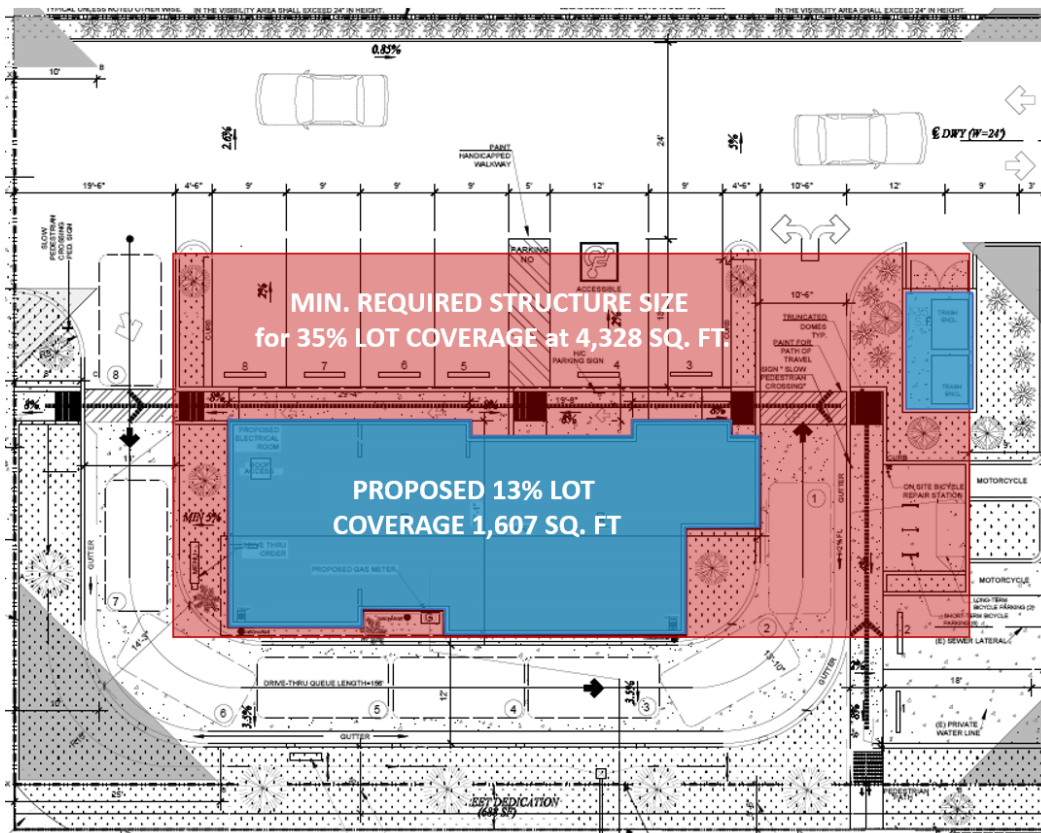


Figure 2

Public Improvements:

The City's Engineering and Capital Projects Department's (E&CP) University Complete Street Phase 1 Capital Improvement Project No. [S18001](#) (CIP) will modify the existing intersection along University Avenue, including the demolition of an existing traffic signal at University Avenue and Highland Avenue at the project's southwestern frontage, the construction of a roundabout in its place, construction of a raised median along the project's University Avenue frontage, and pedestrian improvements such as curb ramp realignments along the project's frontages of University Avenue and Highland Avenue. The 7 Leaves Cafe project's public improvements have been designed in coordination with the CIP to ensure consistency between the two projects. Improvements include eliminating two existing driveways along the project's frontage on University Avenue and installation of a full access driveway to be located along Highland Avenue and a second access location on the east side of the project site along the unnamed alley; and placing the primary drive aisle and parking spaces to the north of the proposed cafe structure to eliminate curb cuts and potential traffic conflicts on University Avenue.

The project is also conditioned to dedicate 5.5 feet of right-of-way along University Avenue and will widen the parkway and landscaped areas along the project frontage, improving the pedestrian experience along University Avenue. A new eight-foot landscape buffer along the project's Highland Avenue and University Avenue frontages will create separation between pedestrians and the proposed drive-through queue as well as provide screening from vehicle headlights within the drive-through queue.

Community Plan Analysis:

The project site is located in an area designated for commercial and mixed-use development, otherwise known as a commercial residential transition zone, by the Community Plan. A goal of the Community Plan Commercial Land Use Element is to provide a full range of commercial goods and services to the Mid-City population. The proposed retail cafe, including the requested variance, will be in harmony with the variety of commercial services available to the community surrounding and along University Avenue.

Furthermore, the project conforms with, and is adequate to carry out, goals and objectives of the Community Plan, including, but not limited to:

- Facilitating the addition and expansion of businesses along its commercial strips along with the off-street parking needed to make them competitive (p. 10). On the project site, the strict application of the 35% minimum lot coverage would result in a project that could not meet the requirements of a drive-through component, allowed by-right in the zone. The project proposes a total of eight parking spaces, including two accessible spaces, in support of this goal.
- Locating parking to the rear of buildings off the side streets to reduce curb cuts and traffic conflicts on University Avenue (p. 77). The following project components will support this objective: elimination of two existing driveways along the project's frontage on University Avenue; installation of a full access driveway to be located along the east side of Highland Avenue and a second access on the east side of the project site along the unnamed alley; and placement of the primary drive-aisle and parking spaces to the north of the proposed cafe structure to eliminate curb cuts and potential traffic conflicts on University Avenue.
- Preserving the street for wider sidewalks along University Avenue (p. 77). The cafe project's public improvements have been designed in coordination with the CIP to ensure consistency between the two projects, including widening of the parkway and the addition of an eight-foot landscape buffer along the project frontage to provide wider pedestrian sidewalks along University Avenue in support of this goal.

Conclusion:

Staff has reviewed the proposal and has determined that all project issues have been addressed. The project conforms with the Community Plan and the regulations of the Land Development Code with the exception of the minimum lot coverage development regulations, which result in the need for the requested variance to accommodate the by-right drive-through project component. Staff has provided draft findings and conditions of approval (Attachment 4 and 5) and recommends the Hearing Officer APPROVE Variance No. PMT-2556160.

ALTERNATIVES

1. Approve Variance No. PMT-2556160 with modifications.
2. Deny Variance No. PMT-2556160 if the findings required to approve the project cannot be affirmed.

Respectfully submitted,



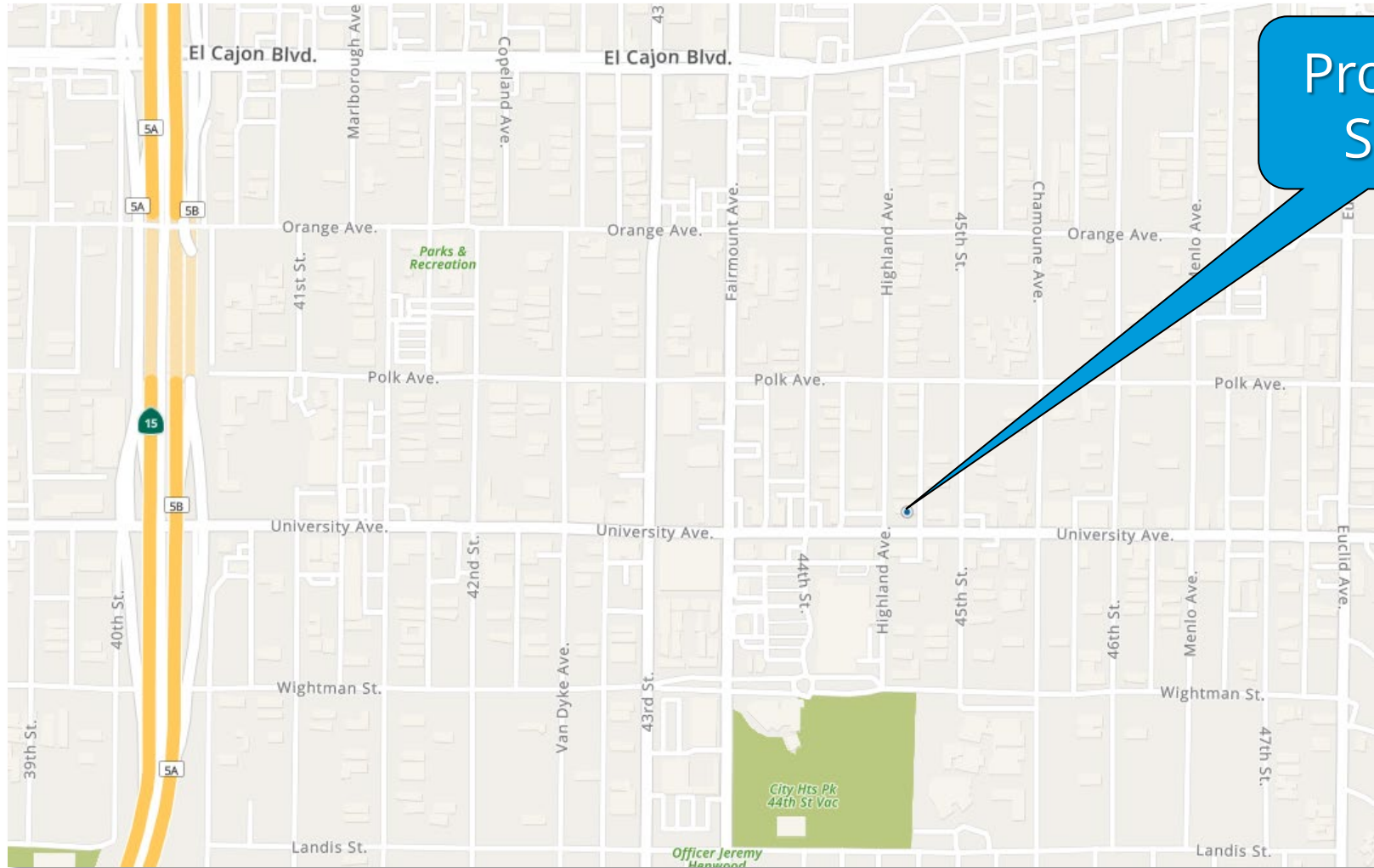
Carrie Lindsay
Development Project Manager
Development Services Department

Attachments:

1. Project Location Map
2. Aerial Photograph
3. Community Plan Land Use Map
4. Draft Permit Resolution with Findings
5. Draft Permit with Conditions
6. Environmental Notice of Exemption
7. Community Planning Group Recommendation
8. Ownership Disclosure Statement
9. Project Plans



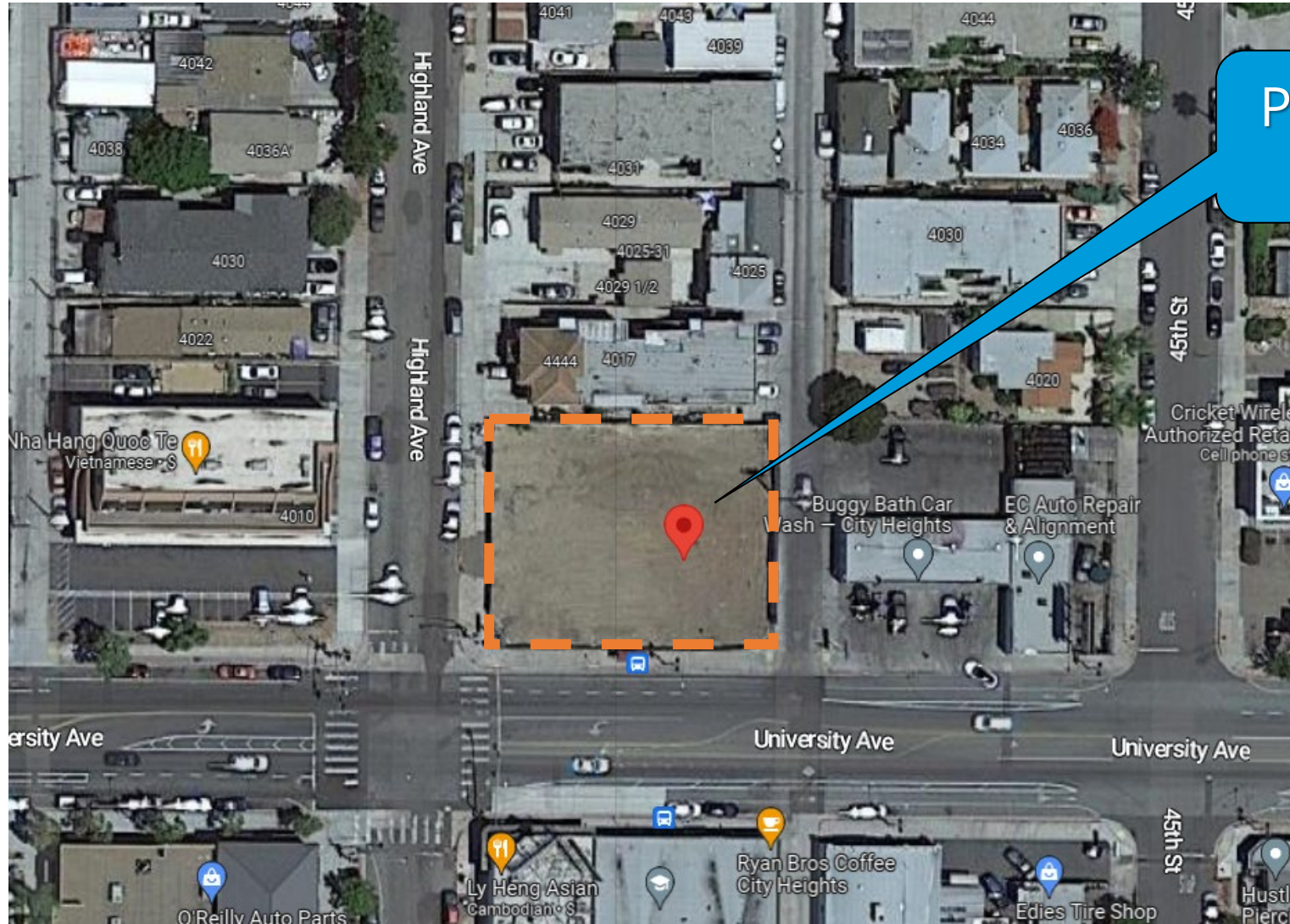
Project Location Map



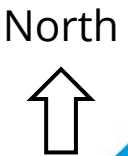
7 Leaves Cafe, Project Number 684250
4460 University Avenue



Aerial Photo



Project Site



7 Leaves Cafe, Project Number 684250
4460 University Avenue

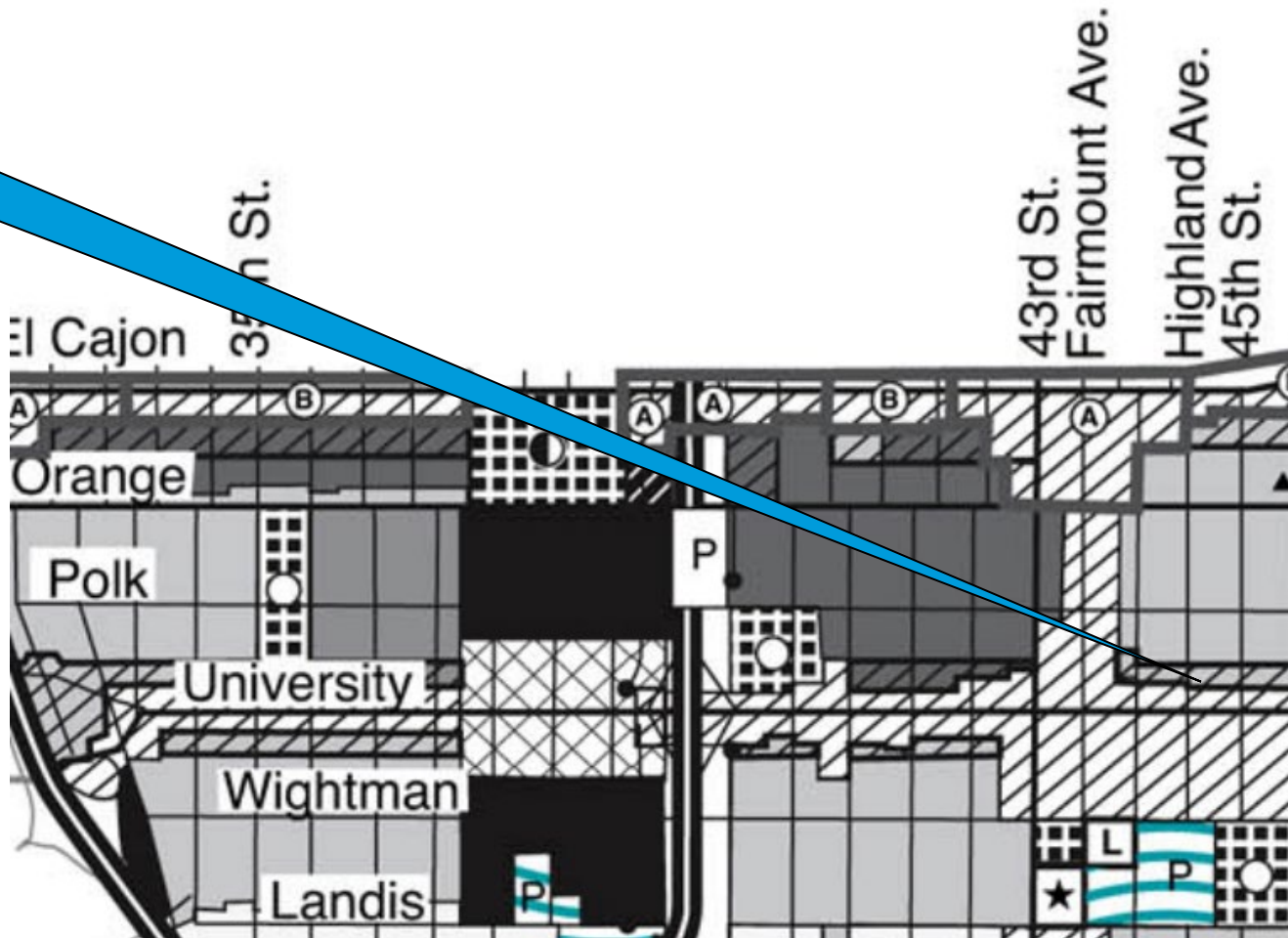


Mid City: City Heights Community Plan

Project Site

Land Use Legend

- Residential
 - 1-5 du/ac
 - 6-10 du/ac
 - 11-15 du/ac
 - 16-20 du/ac
 - 21-25 du/ac
 - 26-30 du/ac
- MH Mobile Home Park
- Commercial/Residential Transition Zone-
- Commercial and Mixed-Use
 - 29 du/ac*
 - (A) 73 du/ac
 - (B) 35 du/ac*
 - (C) 19 du/ac*
 - (D) 9 du/ac



7 Leaves Cafe, Project Number 684250
4460 University Avenue

HEARING OFFICER RESOLUTION NO. _____
VARIANCE NO. PMT-2556160
7 LEAVES CAFE - PROJECT NO. 684250

WHEREAS, WYNNSTON DEVELOPMENT, LLC, Owner, and 7 LEAVES CAFE, Permittee, filed an application with the City of San Diego for a Variance (Permit) to construct a new 1,472-square-foot retail cafe with drive-through component and 135-square-foot trash enclosure (as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Permit No. PMT-2556160, on portions of a 0.29-acre site;

WHEREAS, the project site is located at 4460 University Avenue in the CC-5-4 zone within the Parking Standards Transit Priority Area (PSTPA), Transit Area Overlay Zone, and Mobility Zone 2 in the City Heights neighborhood of the Mid-City Communities Plan;

WHEREAS, the project site is legally described as Lots 21 through 24 inclusive, in Block 3 of the Subdivision of Blocks 3, 6, 9 and 12 of City Heights Annex No. 1, in the City of San Diego, County of San Diego, State of California, according to the Map thereof No. 1027 filed in the Office of the County Recorder of San Diego County January 12, 1907;

WHEREAS, on October 23, 2023, the City of San Diego, as Lead Agency, through the Development Services Department, made and issued an Environmental Determination that the project is exempt from the California Environmental Quality Act (CEQA) (Public Resources Code Section 21000 et seq.) under CEQA Guidelines Section 15303, New Construction or Conversion of Small Structures, and there was no appeal of the Environmental Determination filed within the time period provided by San Diego Municipal Code Section 112.0520;

WHEREAS, on December 6, 2023, the Hearing Officer of the City of San Diego considered Variance No. PMT-2556160 pursuant to the Land Development Code of the City of San Diego; NOW THEREFORE,

BE IT RESOLVED by the Hearing Officer of the City of San Diego, that it adopts the following findings with respect to Variance No. PMT-2556160:

A. VARIANCE [SDMC Section 126.0805]

1. Findings for Variance Approval:

- a. There are special circumstances or conditions applying to the land or premises for which the variance is sought that are peculiar to the land or premises and do not apply generally to the land or premises in the neighborhood, and these conditions have not resulted from any act of the applicant after the adoption of the applicable zone regulations.**

The 0.29-acre project site is located at 4460 University Avenue, within the CC-5-4 zone within the Residential Parking Standards Transit Priority Area (PSTPA), Transit Area Overlay Zone, and Mobility Zone 2 in the City Heights Neighborhood of the Mid-City Communities Plan (Community Plan).

The project site is a currently vacant 12,365-square-foot legal lot measuring 125 feet by 98 feet. It is located at the northeast corner of University Avenue and Highland Avenue, adjacent to a multi-family complex to the north and an unnamed alley to the east. Commercial uses are located to the east, south, and west.

The project requests a Variance to construct a new 1,472-square-foot, single story retail café and 135-square-foot trash enclosure for a total of 1,607 square-feet of building area, providing a 13% lot coverage where 35% minimum lot coverage is otherwise required by the CC-5-4 zone development regulations of San Diego Municipal Code (SDMC) section 131.0531, Table 131.05E. In addition, the project proposes a drive-through component, eight parking spaces, landscaping, and associated public improvements, including a 5.5-foot right-of-way dedication along University Avenue.

The minimum lot coverage requirements are meant to encourage pedestrian oriented uses, however eating and drinking establishments with a drive-in or drive-through component are allowed by-right in the CC-5-4 zone per the Land Use Regulations for Commercial Zones, SDMC 131.0522, Table 131.05B. If the proposed cafe structure was built to the strict application of the 35% minimum lot coverage, a 4,328-square-foot minimum building area would be required resulting in a conflict with the proposed drive-through which is allowed by right in this zone. This conflict would deprive the owner of reasonable use of the lot and impose an undue restriction by requiring a building footprint that will cause engineering conflicts (lengthy queuing, obstructing traffic circulation, issues with drive lane width) collectively preventing the by-right drive-through component.

The project site is located within a Parking Standards Transit Priority Area (PSTPA), which has no minimum parking requirement for projects located within the CC-5-4

zone, so long as the project would provide Vehicle Miles Traveled (VMT) Reduction Measures per Section 142.0530(b) and Table 142-05F, Footnote 6. Though this project application was deemed complete on August 16, 2021, and the Parking Standards Transit Priority Area Ordinance went into effect in January 2022, the project has since opted to use this minimum parking rate and provide on-site VMT Reduction Measures to comply with current regulations. The project proposes a total of eight parking spaces, including two accessible spaces and VMT Reduction Measures which are included as conditions of approval including: a bike repair station, a total of six short-term bicycle parking spaces and two long-term bicycle parking spaces.

The minimum lot coverage requirement required by the zone and the conflict created by the drive-in or drive-through component allowed by-right in the zone are not a result of the property owner's development or use of the land but are a result of the conflicting constraints set forth by the Land Development Code and the constraints of the existing lot dimensions.

Therefore, there are special circumstances or conditions applying to the land or premises for which the variance is sought that are peculiar to the land or premises and do not apply generally to the land or premises in the neighborhood, and these conditions have not resulted from any act of the applicant after the adoption of the applicable zone regulations.

- b. The circumstances or conditions are such that the strict application of the regulations of the Land Development Code would deprive the applicant of reasonable use of the land or premises and the variance granted by the City is the minimum variance that will permit the reasonable use of the land or premises.**

While minimum lot coverage requirements within Commercial-Community zones are intended to accommodate development with a pedestrian orientation, eating and drinking establishments with a drive-in or drive-through component are allowed by-right in the CC-5-4 zone per the Land Use Regulations for Commercial Zones SDMC 131.0522, Table 131.05B. On the project site, the strict application of the 35% minimum lot coverage would result in a project that would not allow a design that can meet the requirements of a drive-through component, depriving the applicant of reasonable use of the land or premises to which the use is allowed by-right in the zone and is consistent with the commercial and mixed-use development land use designation by the Mid-City Community Plan and the City's general plan Multiple Use designation. Allowing a variance to construct a new 1,472-square-foot, single story retail cafe and 135-square-foot trash enclosure for a total of 1,607 square feet of building area totaling a lot coverage of 13%, will permit a reasonable use of the lot that is consistent with the land use designation and complies with all other applicable regulations set forth by the SDMC, including drive-through design requirements.

Therefore, the circumstances or conditions are such that the strict application of the regulations of the Land Development Code would deprive the applicant of reasonable use of the land or premises and the variance granted by the City is the minimum variance that will permit the reasonable use of the land or premises.

c. The granting of the variance will be in harmony with the general purpose and intent of the regulations and will not be detrimental to the public health, safety, or welfare.

Minimum lot coverage requirements within Commercial-Community zones are intended to accommodate development with a pedestrian orientation, and while the project proposes a retail cafe with a drive-through component, which is allowed by-right in the zone, a pedestrian path will provide access from University Avenue and Highland Avenue to a walk-up order window located on the northern side of the cafe in support of the zone and community plan's intended pedestrian orientation.

The City's Engineering and Capital Projects Department's (E&CP) University Complete Street Phase 1 Capital Improvement Project No. S18001 (CIP) will modify existing intersection geometrics along University Avenue, including the demolition of an existing traffic signal at University Avenue and Highland Avenue at the project's southwestern frontage, the construction of a roundabout in its place, construction of a raised median along the project's University Avenue frontage, and pedestrian improvements such as curb ramp realignments along the project's frontages of University Avenue and Highland Avenue.

The 7 Leaves Cafe project's public improvements have been designed in coordination with the CIP to ensure consistency between the two projects. Improvements include: eliminating two existing driveways along the project's frontage on University Avenue; installation of a full access driveway to be located along the east side of Highland Avenue and a second driveway to be installed on the east side of the project site along the unnamed alley; and placing the primary drive aisle and parking spaces to the north of the proposed cafe structure to reduce curb cuts and traffic conflicts on University Avenue.

The project is conditioned to dedicate 5.5 feet of right-of-way along University Avenue and will widen the parkway and landscaped areas along the project frontage. Widening of the existing sidewalks will provide increased pedestrian safety along University Avenue while an eight-foot landscape buffer will include the installation of new landscaped areas and street trees along the project's Highland Avenue and University Avenue frontages to create separation between pedestrians and the proposed drive-through queue. Approximately 36-inch-tall hedges will be placed in the landscape buffer to provide screening from auto headlights within the drive-through queue.

Therefore, the granting of the variance will be in harmony with the general purpose and intent of the regulations and will not be detrimental to the public health, safety, or welfare.

- d. **The granting of the variance will not adversely affect the applicable land use plan. If the variance is being sought in conjunction with any proposed coastal development, the required finding shall specify that granting of the variance conforms with, and is adequate to carry out, the provisions of the certified land use plan.**

The proposed project is classified as an eating and drinking establishment with a drive-through component which is allowed by-right in the CC-5-4 zone per the Land Use Regulations for Commercial Zones SDMC 131.0522, Table 131.05B. The project site is located in an area designated for commercial and mixed-use development, otherwise known as a commercial residential transition zone by the Community Plan. A goal of the Community Plan's Commercial Land Use Element is to provide a full range of commercial goods and services to the Mid-City Communities population. The proposed retail cafe, including the requested variance, will be in harmony with the variety of commercial services available to the community surrounding and along University Avenue.

Furthermore, the project conforms with, and is adequate to carry out, goals and objectives of the Community Plan, including, but not limited to:

- Facilitating the addition and expansion of businesses along its commercial strips along with the off-street parking needed to make them competitive (p. 10). On the project site, the strict application of the 35% minimum lot coverage would result in a project that could not meet the requirements of a drive-through component, allowed by-right in the zone. The project proposes a total of eight parking spaces, including two accessible spaces, in support of this goal.
- Locating parking to the rear of buildings off the side streets to reduce curb cuts and traffic conflicts on University Avenue (p. 77). The following project components will support this objective: elimination of two existing driveways along the project's frontage on University Avenue; installation of a full access driveway along the east side of Highland Avenue and a second access location on the east side of the project site along the unnamed alley; and placement of the primary drive-aisle and parking spaces to the north of the proposed cafe structure to eliminate curb cuts and potential traffic conflicts on University Avenue.
- Preserving the street for wider sidewalks along University Avenue (p. 77). The cafe project's public improvements have been designed in coordination with the CIP to ensure consistency between the two projects, including widening of the parkway and the addition of an eight-foot landscape buffer along the project frontage to provide wider pedestrian sidewalks along University Avenue in support of this goal.

The project site is not located within the Coastal Overlay zone and is not subject to a certified land use plan. Therefore, the granting of the variance will not adversely affect the applicable land use plan.

The above findings are supported by the minutes, maps and exhibits, all of which are incorporated herein by this reference.

BE IT FURTHER RESOLVED that, based on these findings hereinbefore adopted by the Hearing Officer, Variance No. PMT-2556160 is hereby GRANTED by the Hearing Officer to the referenced Owner and Permittee, in the form, exhibits, terms and conditions as set forth in Permit No. Variance No. PMT-2556160, a copy of which is attached hereto and made a part hereof.

Carrie Lindsay
Development Project Manager
Development Services

Adopted on: December 6, 2023

IO#: 11004543

RECORDING REQUESTED BY
CITY OF SAN DIEGO
DEVELOPMENT SERVICES
PERMIT INTAKE, MAIL STATION
501

WHEN RECORDED MAIL TO
PROJECT MANAGEMENT
PERMIT CLERK
MAIL STATION 501

INTERNAL ORDER NUMBER: 11004543

SPACE ABOVE THIS LINE FOR RECORDER'S USE

VARIANCE NO. PMT-2556160
7 LEAVES CAFE - PROJECT NO. 684250
HEARING OFFICER

This Variance No. PMT-2556160 (Permit) is granted by the Hearing Officer of the City of San Diego to Wynnston Development, LLC, Owner, and 7 Leaves Cafe, Permittee, pursuant to San Diego Municipal Code (SDMC) section 126.0802. The 0.29-acre site is located at 4460 University Avenue in the CC-5-4 Zone within the Parking Standards Transit Priority Area (PSTPA), Transit Area Overlay Zone, and Mobility Zone 2 in the City Heights neighborhood of the Mid-City Communities Plan. The project site is legally described as: Lots 21 through 24 inclusive, in Block 3 of the Subdivision of Blocks 3, 6, 9 and 12 of City Heights Annex No. 1, in the City of San Diego, County of San Diego, State of California, according to the Map thereof No. 1027 filed in the Office of the County Recorder of San Diego County January 12, 1907.

Subject to the terms and conditions set forth in this Permit, permission is granted to Wynnston Development, LLC, Owner, and 7 Leaves Cafe, Permittee to construct a new retail cafe and drive-through described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated December 6, 2023, on file in the Development Services Department.

The project shall include:

- a. Construction of a new 1,472-square-foot retail cafe, 135-square-foot trash enclosure and drive-through component on a 12,365-square-foot vacant lot;
- b. A Variance to allow 13% lot coverage where the CC-5-4 zone otherwise requires a 35% minimum lot coverage;
- c. Landscaping (planting, irrigation and landscape related improvements);
- d. Off-street parking;
- e. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in

accordance with the adopted community plan, the California Environmental Quality Act [CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

STANDARD REQUIREMENTS:

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36-month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by December 20, 2026.
2. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
 - a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
 - b. The Permit is recorded in the Office of the San Diego County Recorder.
3. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.
4. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.
5. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
6. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).
7. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.
8. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.

9. All of the conditions contained in this Permit have been considered and were determined necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

10. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

CLIMATE ACTION PLAN REQUIREMENTS:

11. Owner/Permittee shall comply with the Climate Action Plan (CAP) Consistency Checklist stamped as Exhibit "A." Prior to issuance of any construction permit, all CAP strategies shall be noted within the first three (3) sheets of the construction plans under the heading "Climate Action Plan Requirements" and shall be enforced and implemented to the satisfaction of the Development Services Department.

ENGINEERING REQUIREMENTS:

12. Prior to the issuance of any building permit, the Owner/Permittee shall dedicate an additional 5.5 feet of parkway on University Avenue and provide landscaping and trees in the locations shown on Exhibit "A", satisfactory to the City Engineer.

13. Prior to the issuance of any building permit, the Owner/Permittee shall obtain an Encroachment Maintenance Removal Agreement for the sidewalk underdrain, landscape and irrigation located within the City's right-of-way, satisfactory to the City Engineer.
14. Prior to the issuance of any building permit, the Owner/Permittee shall assure by permit and bond the reconstruction of the existing driveway with City Standard concrete driveway, adjacent to the site on Highland Avenue, satisfactory to the City Engineer.
15. Prior to the issuance of any building permits, the Owner/Permittee shall assure by permit and bond the replacement of the existing curb with City Standard curb and gutter, adjacent to the site on Highland Avenue, satisfactory to the City Engineer.
16. Prior to the issuance of any building permit, the Owner/Permittee shall assure by permit and bond the reconstruction of the existing sidewalk with non-contiguous sidewalk, adjacent to the site on Highland Avenue, satisfactory to the City Engineer.
17. Prior to the issuance of any construction permit the Owner/Permittee shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be prepared in accordance with the guidelines in Part 2 Construction BMP Standards Chapter 4 of the City's Storm Water Standards.

LANDSCAPE REQUIREMENTS:

18. Prior to issuance of any construction permit for grading, the Owner/Permittee shall submit complete construction documents for the revegetation and hydro-seeding of all disturbed land in accordance with the City of San Diego Landscape Standards, Storm Water Design Manual, and to the satisfaction of the Development Services Department. All plans shall be in substantial conformance to this permit (including Environmental conditions) and Exhibit "A," on file in the Development Services Department.
19. Prior to issuance of any construction permit for public improvements, the Owner/Permittee shall submit complete landscape construction documents for right-of-way improvements to the Development Services Department for approval. Improvement plans shall show, label, and dimension a 40-square-foot area around each tree which is unencumbered by utilities. Driveways, utilities, drains, water and sewer laterals shall be designed so as not to prohibit the placement of street trees.
20. Prior to issuance of any construction permit for building (including shell), the Owner/Permittee shall submit complete landscape and irrigation construction documents, which are consistent with the Landscape Standards, to the Development Services Department for approval. The construction documents shall be in substantial conformance with Exhibit "A," Landscape Development Plan, on file in the Development Services Department. Construction plans shall provide a 40-square-foot area around each tree that is unencumbered by hardscape and utilities unless otherwise approved per §142.0403(b)(6).

21. In the event that a foundation-only permit is requested by the Owner/Permittee, a site plan or staking layout plan, shall be submitted to the Development Services Department identifying all landscape areas consistent with Exhibit "A," Landscape Development Plan, on file in the Development Services Department. These landscape areas shall be clearly identified with a distinct symbol, noted with dimensions, and labeled as 'landscaping area'.

22. The Owner/Permittee shall be responsible for the maintenance of all landscape improvements shown on the approved plans, including in the right-of-way, unless long-term maintenance of said landscaping will be the responsibility of another entity approved by the Development Services Department. All required landscape shall be maintained consistent with the Landscape Standards in a disease, weed, and litter free condition at all times. Severe pruning or "topping" of trees is not permitted.

23. If any required landscape (including existing or new plantings, hardscape, landscape features, etc.) indicated on the approved construction documents is damaged or removed, the Owner/Permittee shall repair and/or replace in kind and equivalent size per the approved documents to the satisfaction of the Development Services Department within 30 days of damage or Certificate of Occupancy.

PLANNING REQUIREMENTS:

24. A topographical survey conforming to the provisions of the SDMC may be required if it is determined, during construction, that there may be a conflict between the building(s) under construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Owner/Permittee.

25. All private outdoor lighting shall be shaded and adjusted to fall on the same premises where such lights are located and in accordance with the applicable regulations of the SDMC.

TRANSPORTATION REQUIREMENTS

26. All automobile, motorcycle and bicycle parking spaces must be constructed in accordance with the requirements of the SDMC. All on-site parking stalls and aisle widths shall be in compliance with requirements of the City's Land Development Code and shall not be converted and/or utilized for any other purpose, unless otherwise authorized in writing by the appropriate City decision maker in accordance with the SDMC.

27. The Owner/Permittee will provide the following Vehicle Miles Traveled (VMT) reduction measures:

- a. Provide a bike repair station in the location shown in Exhibit A.
- b. Provide short-term bicycle parking spaces at least 10% beyond minimum requirements. The project proposes 3 additional short-term bicycle parking spaces for a total of 6 short-term bicycle parking spaces and their locations are shown in Exhibit A.
- c. Provide long-term bicycle parking spaces at least 10% beyond minimum requirements. Long-term bicycle parking spaces are not required since the project proposes less than 10

employees and therefore any long-term bicycle parking spaces provided would be in excess of the minimum requirement. Two long-term bicycle parking spaces (bicycle lockers) are being proposed and their locations are shown in Exhibit A.

INFORMATION ONLY:

- The issuance of this discretionary permit alone does not allow the immediate commencement or continued operation of the proposed use on site. Any operation allowed by this discretionary permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Hearing Officer of the City of San Diego on December 6, 2023 and [Resolution Number].

ATTACHMENT 5

Variance No. PMT-2556160
Date of Approval: December 6, 2023

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES DEPARTMENT

Carrie Lindsay
Development Project Manager

**NOTE: Notary acknowledgment
must be attached per Civil Code
section 1189 et seq.**

The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of
this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

Wynnston Development, LLC
Owner

By _____

NAME

TITLE

7 Leaves Cafe
Permittee

By _____

NAME

TITLE

**NOTE: Notary acknowledgments
must be attached per Civil Code
section 1189 et seq.**

NOTICE OF EXEMPTION

(Check one or both)

TO: Recorder/County Clerk
 P.O. Box 1750, MS A-33
 1600 Pacific Hwy, Room 260
 San Diego, CA 92101-2400

From: City of San Diego
 Development Services Department
 1222 First Avenue, MS 501
 San Diego, CA 92101

Office of Planning and Research
 1400 Tenth Street, Room 121
 Sacramento, CA 95814

Project Name/Number: 7 Leaves Café/ 684250

SCH No.: Not Applicable

Project Location-Specific: 4460 University Avenue, San Diego, CA 92105

Project Location-City/County: San Diego/San Diego

Description of nature and purpose of the Project: A Variance for the construction of a 1,472 square-foot drive thru café at 4460 University Avenue. The variance is required to bypass the 35% building coverage requirement for a smaller building to satisfy parking requirements and drive thru design requirements. Presently the project consists of a vacant property where a building was previously demolished. A landscape plan has been reviewed and approved and will be included as part of the project. The vacant property lacks sensitive vegetation and is surrounded by developed properties on a site with public utilities to serve the facility. The 0.29-acre site is in the CC-5-4 zone, Residential Parking Standards Transit Priority Area (TPA), 2035 TPA, and Transit Overlay Zone within the Mid-City: City Heights Community Planning Area and Council District 9.

Name of Public Agency Approving Project: City of San Diego

Name of Person or Agency Carrying Out Project: Alexsundra Captan 274 Tustin Field Drive, Tustin, CA 92782
 (949) 235-1333

Exempt Status: (CHECK ONE)

- Ministerial (Sec. 21080(b)(1); 15268)
 Declared Emergency (Sec. 21080(b)(3); 15269(a))
 Emergency Project (Sec. 21080(b)(4); 15269 (b)(c))
 Categorical Exemption: Categorically exempt from CEQA pursuant to CEQA State Guidelines, Section 15303 (New Construction)
 Statutory Exemptions:
 Other:

Reasons why project is exempt: The City of San Diego conducted an environmental review and determined that the project would qualify to be categorically exempt from CEQA pursuant to Section 15303 (New Construction). Section 15303 allows for the construction of a store, motel, office, restaurant, or similar structure not involving the use of significant amounts of hazardous substances and not exceeding 2,500 square feet. Since the project would only construct one 1,472 square-foot retail building that lacks sensitive resources, it was determined that the exemption was appropriate, and the exceptions listed in CEQA Section 15300.2 would not apply.

Lead Agency Contact Person: Jeff Szymanski

Telephone: (619) 446-5324

If filed by applicant:

1. Attach certified document of exemption finding.
2. Has a notice of exemption been filed by the public agency approving the project? Yes No

It is hereby certified that the City of San Diego has determined the above activity to be exempt from CEQA



Program Manager

Signature/Title

November 8, 2023

Date

Check One:

- Signed By Lead Agency
- Signed by Applicant

Date Received for Filing with County Clerk or OPR:

Page 3	City of San Diego · Information Bulletin 620	August 2018
	City of San Diego Development Services 1222 First Ave., MS-302 San Diego, CA 92101	Community Planning Committee Distribution Form
	Project Name: 7 Leaves Cafe	Project Number: 684250
Community: Mid-City:City Heights		
<p>For project scope and contact information (project manager and applicant), log into OpenDSD at https://aca.accela.com/SANDIEGO.</p> <p>Select "Search for Project Status" and input the Project Number to access project information.</p>		
<input checked="" type="radio"/> Vote to Approve <input type="checkbox"/> Vote to Approve with Conditions Listed Below <input type="checkbox"/> Vote to Approve with Non-Binding Recommendations Listed Below <input type="checkbox"/> Vote to Deny		Date of Vote: July 06, 2022
# of Members Yes 11	# of Members No 0	# of Members Abstain 0
Conditions or Recommendations: N/A		
<input type="checkbox"/> No Action (Please specify, e.g., Need further information, Split vote, Lack of quorum, etc.)		
NAME: Brenden Sickler		
TITLE: Chairman	DATE: July 11, 2022	
<p align="center"><i>Attach additional pages if necessary (maximum 3 attachments).</i></p>		

Visit our web site at www.sandiego.gov/development-services.

Upon request, this information is available in alternative formats for persons with disabilities.

DS-5620 (08-18) ONLINE FORM

	City of San Diego Development Services 1222 First Ave., MS 302 San Diego, CA 92101 (619) 446-5000	FORM DS-318 October 2017
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Approval Type: Check appropriate box for type of approval(s) requested: Neighborhood Use Permit Coastal Development Permit
 Neighborhood Development Permit Site Development Permit Planned Development Permit Conditional Use Permit Variance
 Tentative Map Vesting Tentative Map Map Waiver Land Use Plan Amendment • Other _____

Project Title: _____ **Project No. For City Use Only:** _____

Project Address: _____

Specify Form of Ownership/Legal Status (please check):

Corporation Limited Liability -or- General – What State? _____ Corporate Identification No. _____
 Partnership Individual

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter will be filed with the City of San Diego on the subject property with the intent to record an encumbrance against the property. Please list below the owner(s), applicant(s), and other financially interested persons of the above referenced property. A financially interested party includes any individual, firm, co-partnership, joint venture, association, social club, fraternal organization, corporation, estate, trust, receiver or syndicate with a financial interest in the application. If the applicant includes a corporation or partnership, include the names, titles, addresses of all individuals owning more than 10% of the shares. If a publicly-owned corporation, include the names, titles, and addresses of the corporate officers. (A separate page may be attached if necessary.) If any person is a nonprofit organization or a trust, list the names and addresses of **ANY** person serving as an officer or director of the nonprofit organization or as trustee or beneficiary of the nonprofit organization. A signature is required of at least one of the property owners. Attach additional pages if needed. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

Property Owner

Name of Individual: _____ Owner Tenant/Lessee Successor Agency

Street Address: _____

City: _____ State: _____ Zip: _____

Phone No.: _____ Fax No.: _____ Email: _____

Signature: _____ Date: _____

Additional pages Attached: Yes No

Applicant

Name of Individual: _____ Owner Tenant/Lessee Successor Agency

Street Address: _____

City: _____ State: _____ Zip: _____

Phone No.: _____ Fax No.: _____ Email: _____

Signature: _____ Date: _____

Additional pages Attached: Yes No

Other Financially Interested Persons

Name of Individual: _____ Owner Tenant/Lessee Successor Agency

Street Address: _____

City: _____ State: _____ Zip: _____

Phone No.: _____ Fax No.: _____ Email: _____

Signature: _____ Date: _____

Additional pages Attached: Yes No

Wynnston Development, LLC – Members

EIN: 81-4193845

Address: 14361 Euclid St Ste 3B, Garden Grove, CA 92843

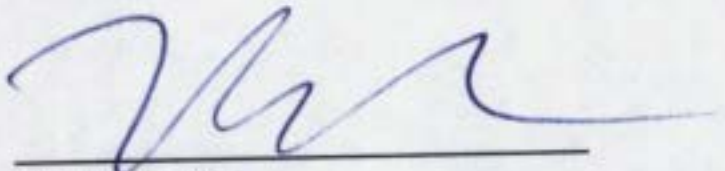
Members:

- Vinh Nguyen, Store Development & Operations – primary contact
 - vinh.nguyen@7leavescafe.com
 - 714.717.0995
- Quang Nguyen, R&D
- Son Nguyen, Business Development
- Mai Ly, Finance & Accounting
- Denny Ly, Logistics
- Ha Nguyen, Legal & HR

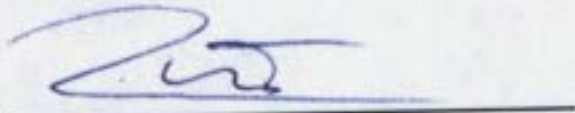
days after an individual marries, such Member shall have his or her spouse execute a consent in the same or similar form as the one attached to this Agreement.

Section 11.17. Advice of Legal Counsel. Each Member, Manager, or other party to this Agreement acknowledges that they have had a reasonable opportunity to seek the advice of legal counsel of their own choosing before executing this Agreement, and regardless of whether they have elected to seek such advice, it is their intent by signing their name to this Agreement that they shall be bound to the terms of this Agreement until released pursuant to the terms of this Agreement or the Act.

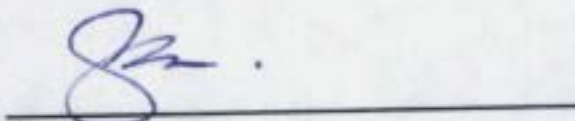
IN WITNESS WHEREOF, all of the Members of Wynnston Development, LLC, A California Limited-Liability Company, have executed or caused to be executed this Agreement, effective as of the date set forth at the commencement of the document.



Vinh Nguyen



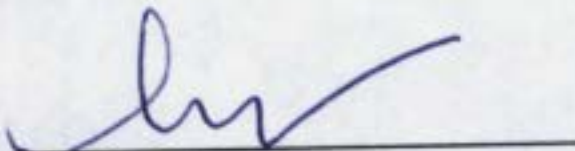
Quang Nguyen



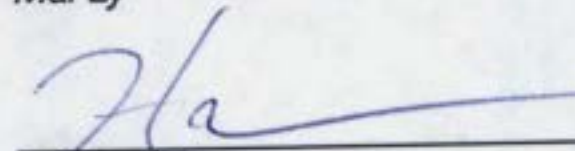
Son Nguyen



Denny Ly



Mai Ly



Ha Nguyen

7 LEAVES CAFE
4460 UNIVERSITY AVE., SAN DIEGO, CA 92105

SCOPE OF WORK	BUILDING CODE	LIST OF CONSULTANTS
NEW RETAIL BUILDING 1472 SF	ALL CONSTRUCTION SHALL CONFORM TO ALL GOVERNING LAWS, CODES AND ORDINANCES INCLUDING BUT NOT LIMITED TO THE FOLLOWING: 2019 CBC, CFC, CMC, CEC, CPC, AND 2010 T-24 ENERGY REGULATION 2019 SAN DIEGO AMENDMENTS, AND LOCAL ADOPTED CODES, LAWS AND ORDINANCES.	DRAWINGS: NS CONSTRUCTION NABIH SAQQAL 11464 DELPHINIUM AVE. FOUNTAIN VALLEY, CA 92708 TEL: 714.548.070 GRADING, EROSION CONTROL, SURVEY ENGINEER: LY PHAM OFFICE: 714.548.1233 EMAIL: LY10@GMAIL.COM STRUCTURE: TUNG THANH, M.S., P.E. 11122 BIKLER CIR. GARDEN GROVE, CA 92840 TEL: 714.928.2006 FAX: 714.901.3535 MONITA VERMA, P.E. LEED 675 N EUCLID ST. ANAHEIM, CA 92801 TEL: 203.685.1698 MECHANICAL: MONITA VERMA, P.E. LEED 675 N EUCLID ST. ANAHEIM, CA 92801 TEL: 203.685.1698 LANDSCAPE ARCHITECTS: MANUEL GARCIA LICENSE # 3929 CELL: 626.865.5002 OFFICE: 626.335.2733 MG.LANDARCH@GMAIL.COM CHRISTINE FONG TEL: 714.357.0384 SOIL ENGINEER: HANTORO WALLUONO 1 LEAGUE # 61614 ALISO VIEJO, CA 92656 TEL: 949.735-9086 B & A ASSOCIATES 95 PLATEAUS IRVINE, CA 92602 TEL: 949.551-1502 ENERGY: B & A ASSOCIATES 95 PLATEAUS IRVINE, CA 92602 TEL: 949.551-1502 STRUCTURAL TRUSSES MANUFACTURER: STONE TRUSS, LLC 507 JONES RD. OCEANSIDE, CA 92058
PROJECT INFORMATION	PROJECT STATISTIC	
ASSESSORS PARCEL NUMBER : 471-471-12-00 LEGAL DESCRIPTION : BLK 31 LOTS 21 THRU 24* ADDRESS : 4460 UNIVERSITY AVE, SAN DIEGO, CA 92105 EXISTING USE : RECYCLE CENTER PROPOSED USE : 7 LEAVES CAFE ZONING : CC-5-4 OCCUPANCY GROUP : MB TYPE OF CONSTRUCTION : V NUMBER OF STORIES : 1 SUBDIVISION : CITY HEIGHTS ANNEX #1 ZONING : COMMERCIAL NUMBER OF UNITS : 1 VMT REDUCTION MEASURES (8 POINTS REQUIRED) BIKE REPAIR STATION : 1.5 POINTS 3 ADDITIONAL SHORT-TERM : 4.5 POINTS BICYCLE PARKING SPACES : 2 LONG-TERM BICYCLE PARKING SPACES : 4 POINTS TOTAL : 10 POINTS	PROPOSED BUILDING : 1472 S.F. TRASH ENC. AREA : 135 S.F. TOTAL BUILDING AREA : 1472 S.F. LOT SIZE : 12365 S.F. LOT COVERAGE (1472+135)/12365 : 13 % RATIO : 7.20/1 PARKING SPACE CALCULATION REQUIRED RATIO : 2.1/1000 REQUIRED FOR THIS BLDG. : 3.09 STALLS PROVIDED : 15 STALLS PROVIDED RATIO : 3.81/1000 MOTORCYCLE & BIKE : 2 MOTORCYCLE : 2 LONG-TERM BICYCLE : 6 SHORT-TERM BICYCLE : 6 LANDSCAPE AREA : 2135 + S.F. STREET YARD TOTAL : 4970 S.F. LANDSCAPE REQUIRED : 1242.5 S.F. PROVIDED : 1433 S.F. OUTSIDE STREET YARD : 2912 S.F. REQUIRED : 874 S.F. PROVIDE : 1237 S.F. *P.S SEE LANDSCAPE PLANS FOR CALCULATIONS AND TREE POINTS REQUIRED.	

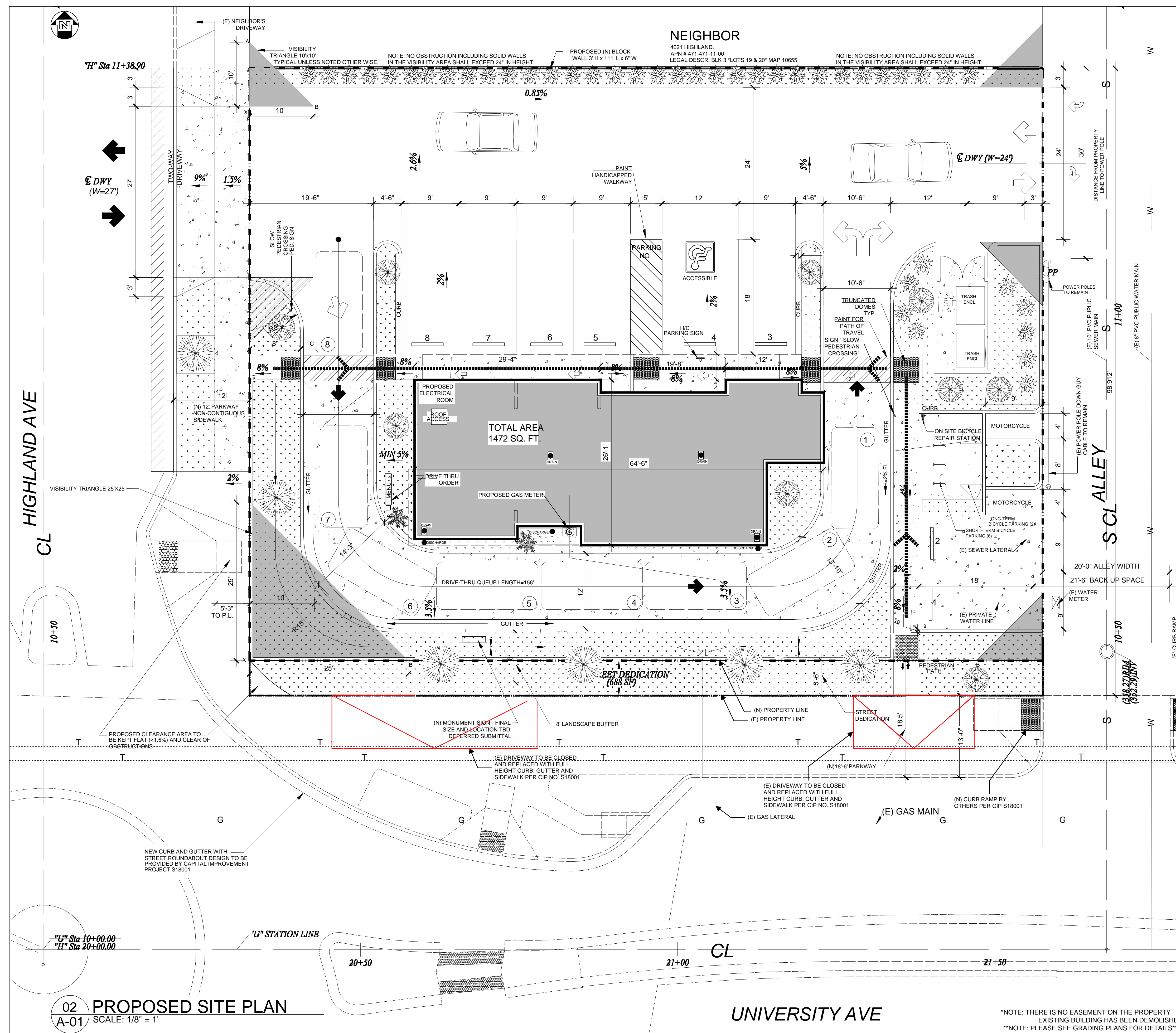
DRAWING INDEX	
ARCHITECTURE 1. A1 TITLE SHEET, VICINITY MAP, GENERAL NOTES, INFORMATION AND PROPOSED SITE PLAN 2. A2 DEMOLITION PLAN (EXIST. BUILDING HAS BEEN REMOVED BY APPROVED PERMIT) 4. A3 PROPOSED FLOOR PLAN 5. A4 EAST & WEST ELEVATIONS 6. A5 NORTH & SOUTH ELEVATIONS 7. A6 SECTIONS 8. A7 ROOF PLAN 9. A8 ADA DETAILS 10. A9 ADA DETAILS 11. C01 CAL GREEN 12. C02 CAL GREEN 13. C03 CAL GREEN 14. T-24 TITLE 24 15. L-1 LANDSCAPE 16. L-2 LANDSCAPE DETAILS 17. L-3 LANDSCAPE IRRIGATION 18. TOPOGRAPHY 19. G-1 GRADING 20. G-2 GRADING 21. G-3 GRADING 22. G-4 GRADING 23. SD0 GENERAL STRUCTURAL NOTES 24. SD1 FOUNDATION & FRAMING PLAN 25. SD1 STRUCTURAL DETAILS 26. SD2 STRUCTURAL DETAILS 27. SD3 TYPICAL STRUCTURAL DETAILS 28. SST SIMPSON 1 29. SST SIMPSON 2 30. SST SIMPSON 3 31. E0.1 ELECTRICAL SYMBOLS LIST AND ABBREVIATIONS 32. E0.2 ELECTRICAL SPECIFICATIONS 33. E0.3 SINGLE LINE DIAGRAM & PANEL SCHEDULE 34. E0.4 LIGHTING FIXTURE SCHEDULE 35. E0.5 LIGHTING CONTROL DIAGRAM 36. E0.6A T-24 COMPLIANCE FORMS 37. E0.6B T-24 COMPLIANCE FORMS 38. E0.6C T-24 COMPLIANCE FORMS 39. E1.1 SITE PLAN 40. E2.1 POWER PLAN 41. E2.2 LIGHTING PLAN 42. E2.3 ROOF PLAN	43. M0.1 MECHANICAL GENERAL NOTES & LEGENDS 44. M0.2 MECHANICAL SCHEDULE 45. M0.3 MECHANICAL DETAILS 46. M0.4 T-24 COMPLIANCE FORMS 47. M0.5 T-24 COMPLIANCE FORMS 48. M2.1 MECHANICAL FLOOR PLAN 49. M2.2 MECHANICAL ROOF PLAN 50. M4.1 HOOD 51. M4.2 HOOD 52. M4.3 HOOD 53. M4.4 HOOD 54. P0.1 GENERAL NOTES, LEGEND, & SHEET INDEX 55. P0.2 SCHEDULES & CALCULATIONS 56. P0.3 EQUIPMENT SPECS 57. P1.1 SITE PLAN 58. P2.1A WASTE & VENT FLOOR PLAN 59. P2.1B HOT & COLD WATER PLAN 60. P2.2 ROOF PLAN 61. P3.1 PLUMBING DETAILS

OWNER: 7 LEAVES CAFE VINH NGUYEN - PRINCIPLE 14361 EUCLID ST., STE. B, GARDEN GROVE, CA 92843 7LEAVESCAFE.COM VINH.NGUYEN@7LEAVESCAFE.COM	OWNER: 7 LEAVES CAFE NATURALLY DELICIOUS
CONTACT: MICHAEL TRANG MICHAEL TRANG@7LEAVESCAFE.COM (510)-698-1014	DESIGNED BY: NS CONSTRUCTION nsconstructiondesign@gmail.com
DESIGNER: NABIH SAQQAL	NABIH SAQQAL Phone: (714) 548.0670 license # B1004046 11464 Delphinium Ave., Fountain Valley, CA 92708
DRAWN BY: NS	
CHECKED BY: NS	
APPROVED BY: VINH NGUYEN	
NAME OF SHEET: SITE-PLAN	
SCALE: 1/8"=1'	
DATE: 05/02/2023	
SHEET NUMBER: A-1	

REVISION	NO.	DATE
REVISION 1	04-21-2023	
REVISION 2	05-02-2023	
REVISION 3	DATE	
REVISION 4	DATE	
REVISION 5	DATE	
REVISION 6	DATE	

OWNERSHIP OF DOCUMENTS:
DESIGN, DRAWINGS AND SPECIFICATIONS ARE TO REMAIN THE PROPERTY OF NS CONSTRUCTION. THEY ARE NOT TO BE USED BY THE OWNER OR OTHER PROJECTS OR EXTENSION TO THIS PROJECT EXCEPT BY THE AGREEMENT IN WRITING AND WITH APPROPRIATE COMPENSATION TO NSC.

DRAWING NUMBER: 1 OF 13



02 PROPOSED SITE PLAN
A-01 SCALE: 1/8" = 1'

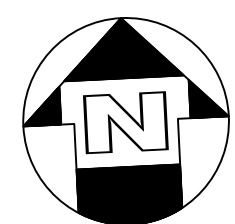
GENERAL NOTES:
 1. GENERAL CONTRACTOR (GC.) SHALL VERIFY ALL FIELD CONDITION & DIMENSION OF WORK ON PLANS AS TO PROPOSE IMPROVEMENT AT JOB SITE AND NOTIFY THE DESIGNER ANY DISCREPANCIES PRIOR TO COMMENCING WORK.
 2. GC. SHALL FAMILIARIZE HIMSELF WITH ALL CONDITION OF THE PROJECT AND BE RESPONSIBLE FOR ALL WORK REQUIRED TO COMPLETE THE PROJECT.
 3. ALL EXTERIOR DOORS AND WINDOWS SHALL BE WEATHER STRIPPED OR SEALED, CAULKING SHALL MATCH ADJ. MATERIAL COLOR.
 4. GC. SHALL REMOVE ALL CONSTRUCTION DEBRIS FROM THE PREMISES.
 5. GC. SHALL RETAIN LICENSED SURVEYOR TO LAYOUT BUILDING PAD, ELEVATION, AND UTILITY LINE.
 6. GC. SHALL BE RESPONSIBLE FOR ALL TEMPORARY LOADING CONDITION DURING CONSTRUCTION AND SHALL DESIGN AND PROVIDE TEMPORARY BRACING AND SHORING AS THE REQUIRED DURING CONSTRUCTION.

FIRE DEPARTMENT NOTES:
 1. EXITING DOORS SHALL BE OPEN-ABLE FROM THE INSIDE WITHOUT USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT. TITLE 24, 1013.
 2. EXIT DOORS SHALL SWING IN THE DIRECTION OF EXIT TRAVEL WHEN SERVING ANY HAZARDOUS AREA OR WHEN SERVING AN OCCUPANT LOAD OF 50 OR MORE TITLE 24, 1013.
 3. WIDTH AND HEIGHT OF REQUIRED EXIT DOORWAYS TO COMPLY WITH TITLE 24, 1013.
 4. EXITS SHALL BE ILLUMINATED AT ANY TIME THE BUILDING IS OCCUPIED, WITH LIGHT HAVING AN INTENSITY OF NOT LESS THAN ONE FOOT-CANDLE AT FLOOR LEVEL.
 5. PROVIDE EXIT SIGNS, PER TITLE 24, 1013.
 6. AT LEAST ONE FIRE EXTINGUISHER WITH A MINIMUM RATING OF 2A-10-BC SHALL BE PROVIDED WITHIN 75 FEET MAXIMUM TRAVEL DISTANCE FOR EACH 3,000 SQUARE FEET OR PORTION THEREOF ON EACH FLOOR. (CFC 1013, UFC STANDARD 10-1, CAL. CODE REGS., TIT. 19, 3.29)
 7. FIRE EXTINGUISHER TO BE LOCATED AND SIZED AS PER CITY SPECIFICATION #424 AND FIRE INSPECTOR'S DIRECTION.
 8. MAINTAIN JOB SITE SAFETY DURING CONSTRUCTION AS PER CHAPTER 33 OF THE 2013 CALIFORNIA FIRE CODE. NOTES:
 IF SPRINKLER SYSTEM IS REQUIRED, A SEPARATE BUILDING PERMIT WILL BE REQUIRED.



02 PROPOSED SITE PLAN

7 LEAVES CAFE - SAN DIEGO



NEIGHBOR
4021 HIGHLAND
APN#471-471-11-00
LEGAL DESCR. BLK 3
LOT 19 & 20

(E) FENCE TO REMAIN TILL END OF NEW CONSTRUCTION

HIGHLAND AVE.

SEE GRADING PLANS FOR DEDICATION

PLAN HAS BEEN APPROVED PREVIOUSLY STRUCTTUE REMOVED

(E) PARKING TO CANCEL

CONTAINER TO REMOVE OR USE FOR TRASH

(E) BUILDING TO REMOVE APPROX. 1200 S.F

(E) FENCE TO REMOVE

(E) FENCE TO REMAIN TILL END OF NEW CONSTRUCTION

ALLEY

98'-11"

NEIGHBOR
4474 UNIVERSITY
APN 471-471-27-00
LEGAL DESCR.:
BLK 3
LOT *25 THRU 28* W80 FT OP*

(E)PARKING TO CANCEL

(E)TRAFFIC LIGHT TO REMAIN

(E)MONUMENT SIGN TO RELOCATE

SEE DEDICATION IN GRADING PLANS

CANOPY TO REMAIN FOR BUS STATION

(E) FENCE TO BE REMOVED FROM ROW

(E) PUBLIC LIGHT TO REMAIN

125'-0"

UNIVERSITY AVE.



DEMO PLAN

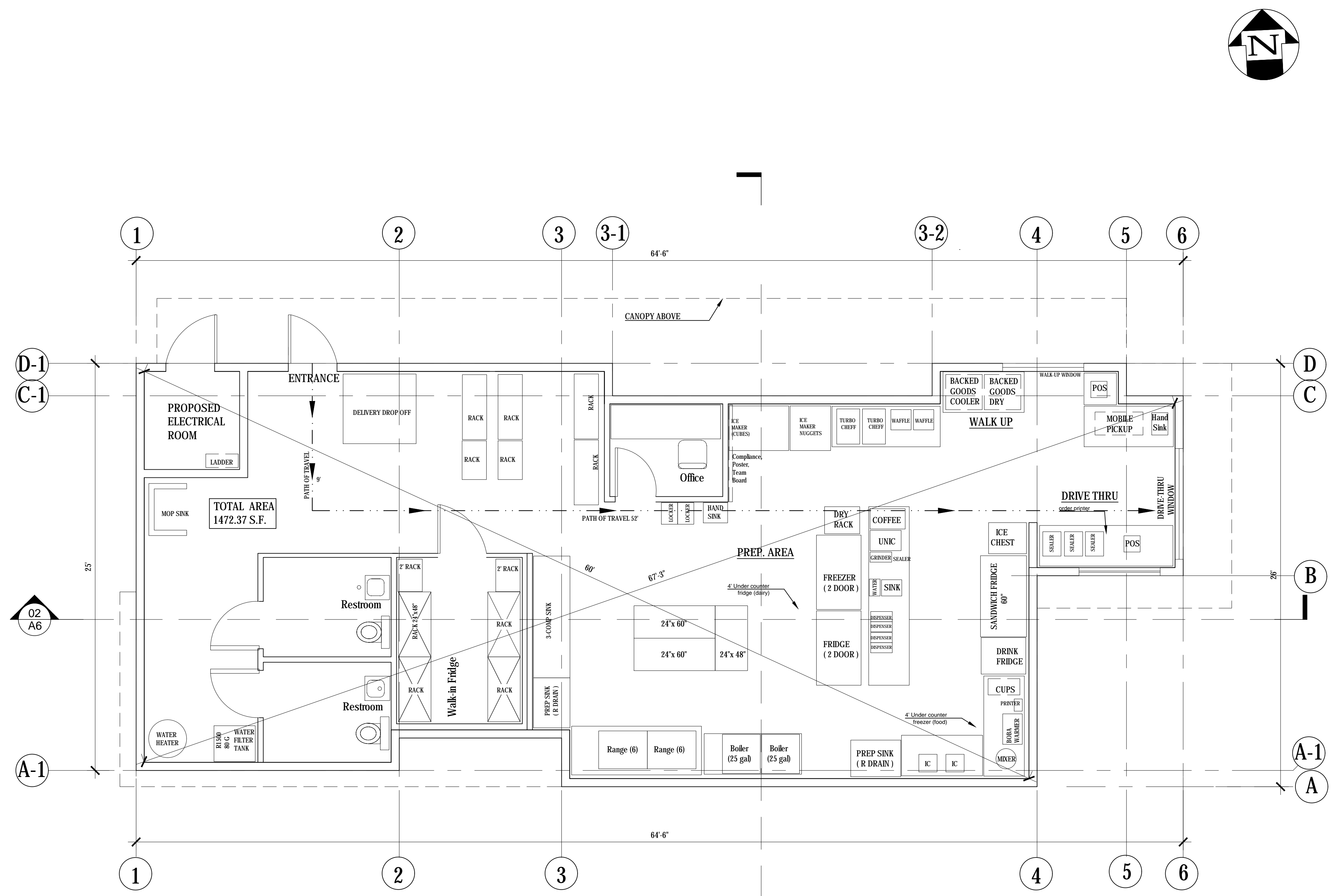
SCALE 1/8" = 1'-0"

NOTES:

- 1-USE ALL MEANS OF PRECAUTIONS BEFORE STARTING DEMO.
- 2-BEFORE REMOVING ANY UNDERGROUND ELEMENTS, CALL DIG ALERT.
- 3-REMOVE ALL BUILDING & TEMPORARY METAL STORAGE ON SITE.
- 4-DO NOT REMOVE ANY (E) ELECTRICAL, GAS AND WATER METERS.
- 5-DO NOT REMOVE BUSINESS SIGN ON WEST SOUTH CORNER.
- 6-PARKING LOT WILL BE CLOSED FOR TRESPASSING VEHICLES THRU CONSTRUCTION.
- 7-USE FENCES SCREENS, SIGNS WHERE NEEDED, DURING CONSTRUCTION.
- 8-ALL DEMOLISHED MATERIALS MUST BE KEPT IN AN APPROVED ENCLOSURES.
- 9-IMPORTANT: DO NOT TOUCH WALK WAYS, ANY PARTS BELONG TO CITY. NO PEOPLE WILL BE ALLOWED ON SITE EXCEPT DEMOLITION TEAM. ONLY A LICENSED CONTRACTOR SHOULD PERFORM THIS JOB.
- 10-FOLLOW ANY CITY, STATE REGULATIONS AND CODES. CONSULT WITH CITY OF SAN DIEGO FOR ANY UPDATED INSTRUCTIONS.

PER CITY RECOMMENDATIONS, (E) STRUCTURE HAS BEEN REMOVED BY ISSUED PERMIT BY CITY PREVIOUSLY. PLEASE SEE DEMOLITION PLAN AND APPROVALS. SEE EXISTING TOPOGRAPHIC MAP WITHIN GRADING PACKAGE. FOR SURROUNDING LOTS: SEE A-1 VICINITY MAP AND 1-D GRADING



OWNER: 7 LEAVES LEAVES CAFE VINH NGUYEN - PRINCIPLE 14361 EUCLID ST., STE. B. GARDEN GROVE, CA 92843 7LEAVESCAFE.COM VINH-NGUYEN@7LEAVESCAFE.COM	OWNER:  NATURALLY DELICIOUS																					
CONTACT: ALEXANDRA CAPTAN ACAPTAN@CAPTANPD.COM (949)235-1333	DESIGNED BY:  NS CONSTRUCTION naconstructiondesign@gmail.com NABIH SAQQAL Phone :(714) 548.0670 license # B1004046 11464 Delphinium Ave., Fountain Valley, CA 92708																					
DESIGNER: NS																						
DRAWN BY: NS																						
CHECKED BY: NS																						
APPROVED BY: VINH NGUYEN																						
NAME OF SHEET: DEMOLITION-PLAN																						
SCALE: 1/8"=1'																						
DATE: 10-06-2022																						
SHEET NUMBER: A-2																						
<table border="1"> <thead> <tr> <th>REVISION</th> <th>DATE</th> <th></th> </tr> </thead> <tbody> <tr> <td>REVISION 1</td> <td>DATE</td> <td></td> </tr> <tr> <td>REVISION 2</td> <td>DATE</td> <td></td> </tr> <tr> <td>REVISION 3</td> <td>DATE</td> <td></td> </tr> <tr> <td>REVISION 4</td> <td>DATE</td> <td></td> </tr> <tr> <td>REVISION 5</td> <td>DATE</td> <td></td> </tr> <tr> <td>REVISION 6</td> <td>DATE</td> <td></td> </tr> </tbody> </table>		REVISION	DATE		REVISION 1	DATE		REVISION 2	DATE		REVISION 3	DATE		REVISION 4	DATE		REVISION 5	DATE		REVISION 6	DATE	
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DRAWING NUMBER: 2 OF 10																						

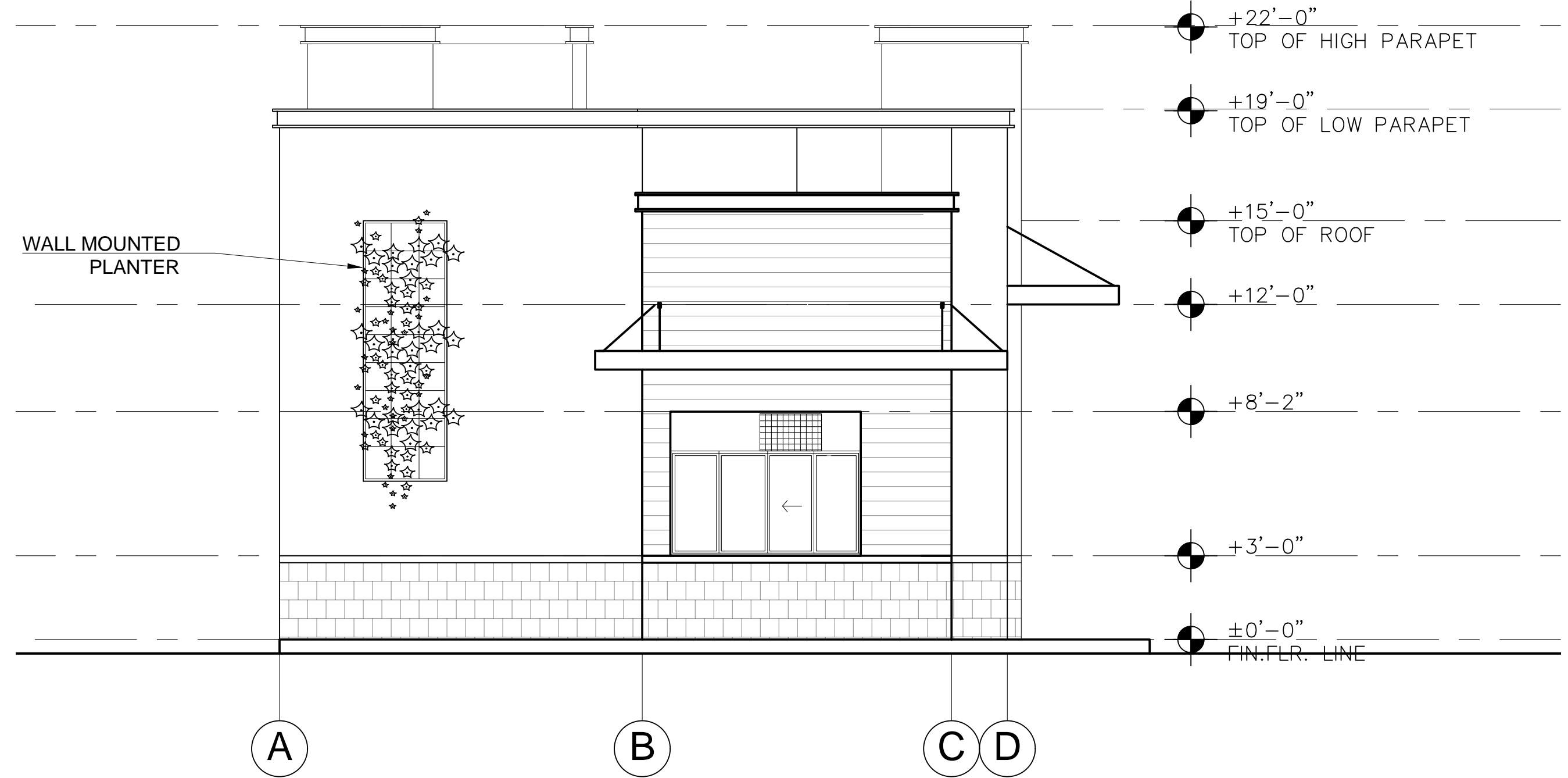


FLOOR PLAN
SCALE 1/4" = 1'-0"

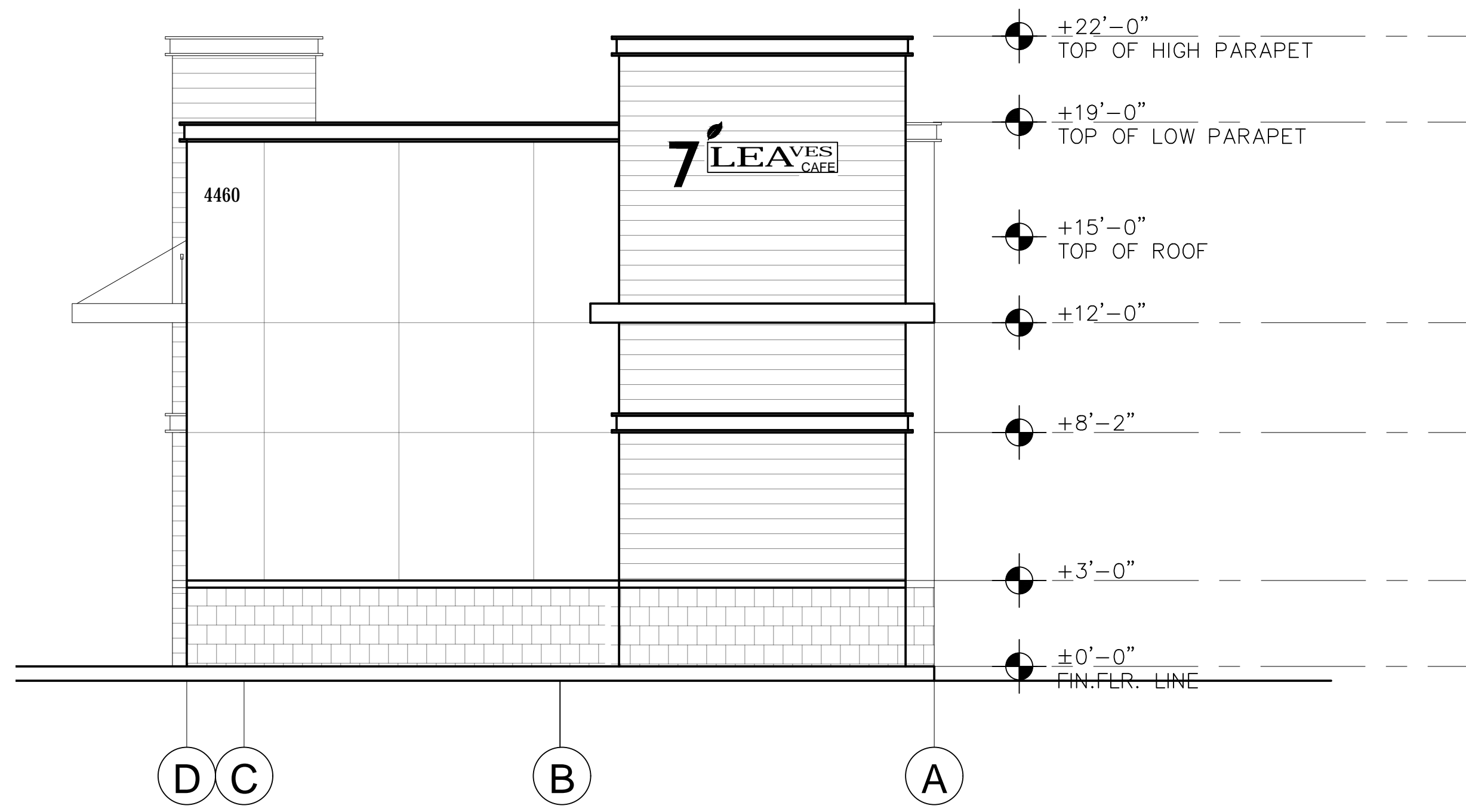
01 DRAWINGNAME
A-03 SCALE: 1/4"=1'

NOTE:
PROPOSED PROJECT PLANS TO PROVIDE:
PLUMBING FIXTURES WITH 25% SAVINGS PER TABLE A5.303.2.3.3 OF CALIFORNIA GREEN BUILDING STANDARDS CODE NONRESIDENTIAL MANDATORY MEASURES.
WATER CONSERVING PLUMBING FIXTURES SHALL MEET ALL MANDATORY MEASURES PER TABLE A5.303.3.1 AND A5.303.3.2.
ICE MAKERS SHALL BE AIR-COOLED PER TABLE A5.303.3, TIER 1.
PLUMBING PLANS WITH SPECIFICATIONS TO BE PROVIDED DURING MINISTERIAL REVIEW.

OWNER: 7 LEAVES CAFE VINH NGUYEN - PRINCIPLE 14361 EUCLID ST., STE. B GARDEN GROVE, CA 92843 7LEAVESCAFE.COM VINH.NGUYEN@7LEAVESCAFE.COM	OWNER: 														
CONTACT: ALEXANDRA CAPTAN ACAPTAN@CAPTANPD.COM (949) 235-1333	DESIGNED BY:  NABIH SAQQAL Phone : (714) 548.0670 license # B1004046 11464 Delphinium Ave., Fountain Valley, CA 92708														
DESIGNER: NS															
DRAWN BY: NS															
CHECKED BY: NS															
APPROVED BY: VINH NGUYEN															
NAME OF SHEET: FLOOR-PLAN															
SCALE: 1/4"=1'															
DATE: 10-06-2022															
SHEET NUMBER: A-3															
	<table border="1"> <thead> <tr> <th>REVISION</th> <th>DATE</th> </tr> </thead> <tbody> <tr> <td>REVISION 1</td> <td>DATE</td> </tr> <tr> <td>REVISION 2</td> <td>DATE</td> </tr> <tr> <td>REVISION 3</td> <td>DATE</td> </tr> <tr> <td>REVISION 4</td> <td>DATE</td> </tr> <tr> <td>REVISION 5</td> <td>DATE</td> </tr> <tr> <td>REVISION 6</td> <td>DATE</td> </tr> </tbody> </table>	REVISION	DATE	REVISION 1	DATE	REVISION 2	DATE	REVISION 3	DATE	REVISION 4	DATE	REVISION 5	DATE	REVISION 6	DATE
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	DRAWING NUMBER: 3 OF 10														



01 EAST ELEVATION
A-04 SCALE: 1/4" = 1'



02 WEST ELEVATION
A-04 SCALE: 1/4" = 1'

OWNER: 7 LEAVES CAFE
VINH NGUYEN - PRINCIPLE
14361 EUCLID ST., STE. B,
GARDEN GROVE, CA 92843
7LEAVESCAFE.COM
VINH.NGUYEN@7LEAVESCAFE.COM

CONTACT: ALEXANDRA CAPTAN
ACAPTAN@CAPTANPD.COM
(949)-235-1333

DESIGNER: NS

DRAWN BY: NS

CHECKED BY: NS

APPROVED BY: VINH NGUYEN

OWNER: **7 LEAVES CAFE**
NATURALLY DELICIOUS

DESIGNED BY: **NS CONSTRUCTION**
nsconstructiondesign@gmail.com
NABIH SAQQAL
Phone : (714) 548.0670
license # B1004046
11464 Delphinium Ave.,
Fountain Valley, CA 92708

NAME OF SHEET:
EAST-AND-WEST-ELEVATIONS

SCALE:
1/4"=1'

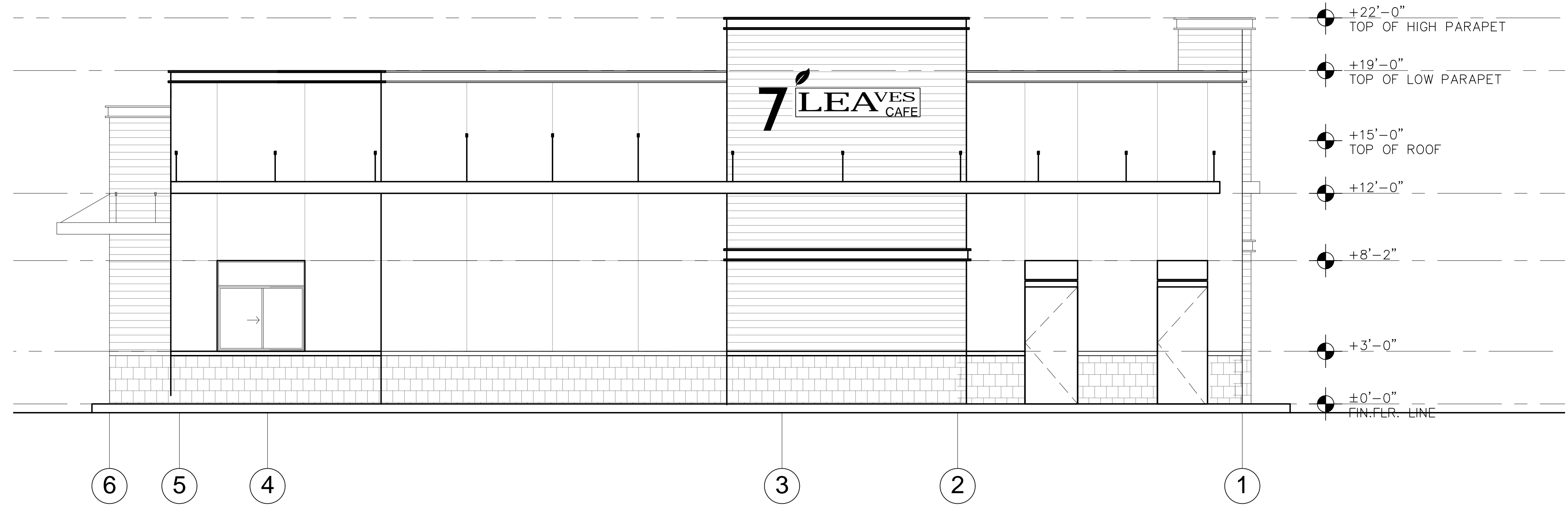
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10-06-2022

SHEET NUMBER:
A-04

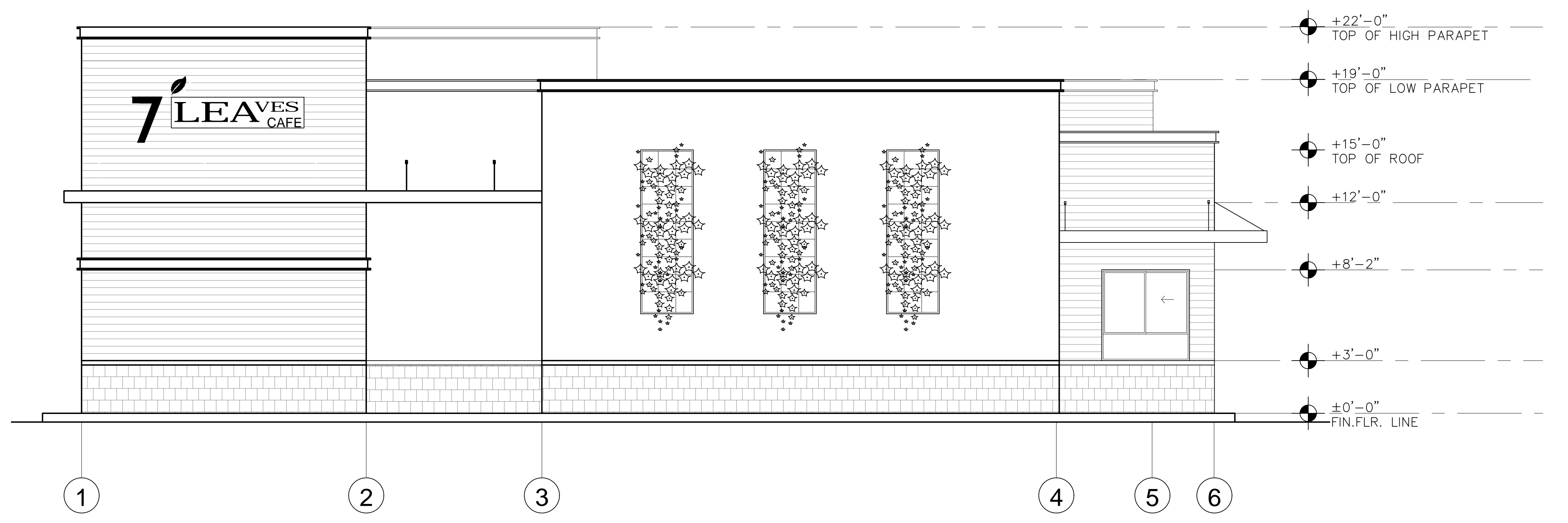
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REVISION 5	DATE
REVISION 6	DATE

OWNERSHIP OF DOCUMENTS:
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THEY ARE NOT TO BE USED BY THE OWNER OR OTHER PROJECTS OR EXTENSION TO THIS PROJECT
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DRAWING NUMBER:
4 OF 10



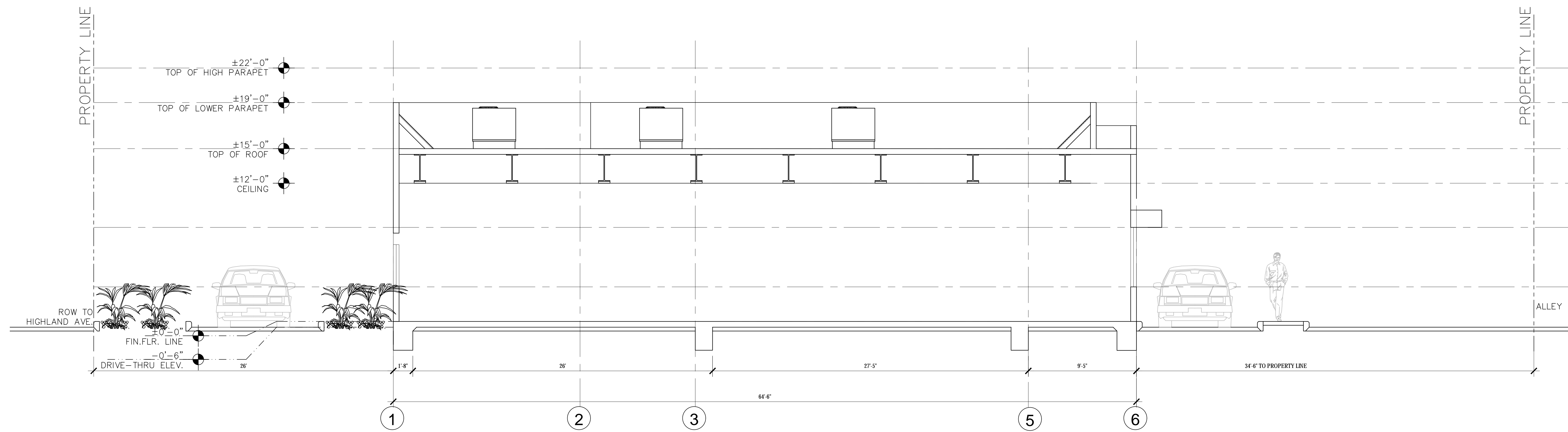
01 NORTH ELEVATION
A-05 SCALE: 1/4" = 1'



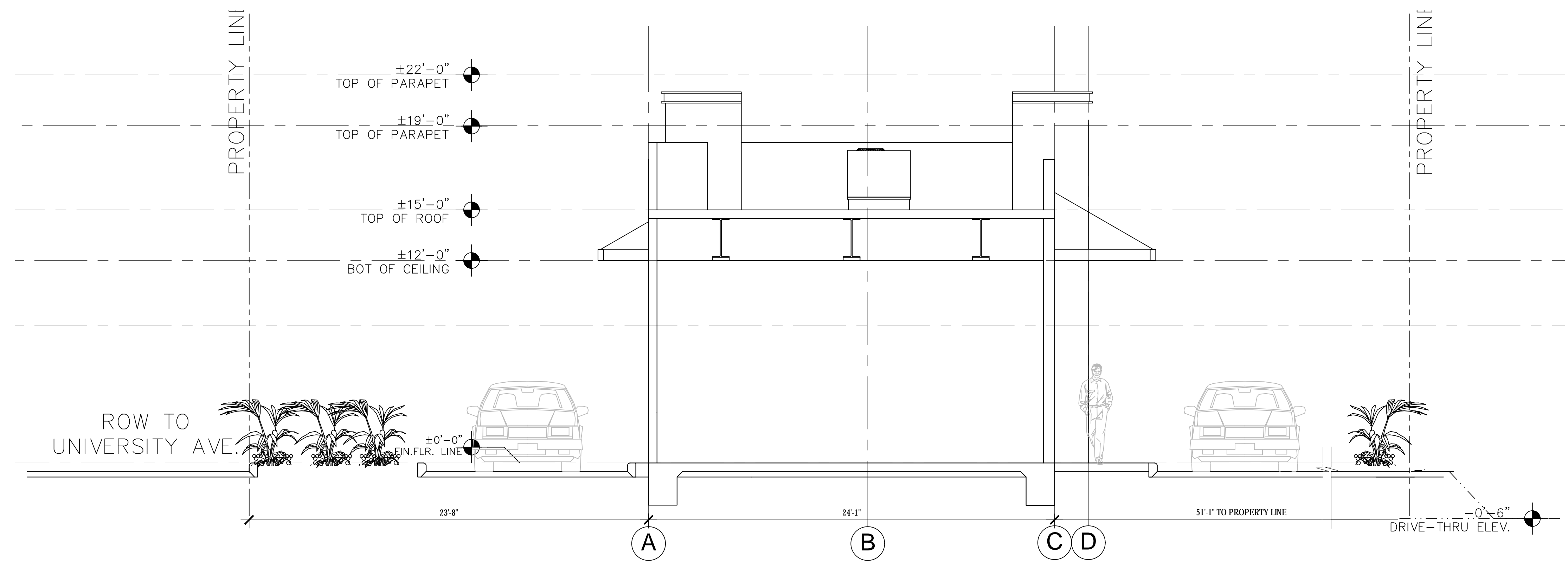
02 SOUTH ELEVATION
A-05 SCALE: 1/4" = 1'

OWNER:	7 LEAVES CAFE VINH NGUYEN - PRINCIPLE 14361 EUCLID ST., STE. B, GARDEN GROVE, CA 92843 7LEAVESCAFE.COM VINH.NGUYEN@7LEAVESCAFE.COM
CONTACT:	ALEXANDRA CAPTAN ACAPTAN@CAPTANPD.COM (949)-235-1333
DESIGNER:	NS
DRAWN BY:	NS
CHECKED BY:	NS
APPROVED BY:	VINH NGUYEN
NAME OF SHEET:	NORTH&SOUTH-ELEVATIONS
SCALE:	1/4"=1'
DATE:	10-06-22
SHEET NUMBER:	A-5

OWNER:	 NATURALLY DELICIOUS														
DESIGNED BY:	 NABIH SAQQAL Phone : (714) 548.0670 license # B1004046 11464 Delphinium Ave., Fountain Valley, CA 92708														
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DRAWING NUMBER:	5 OF 10														



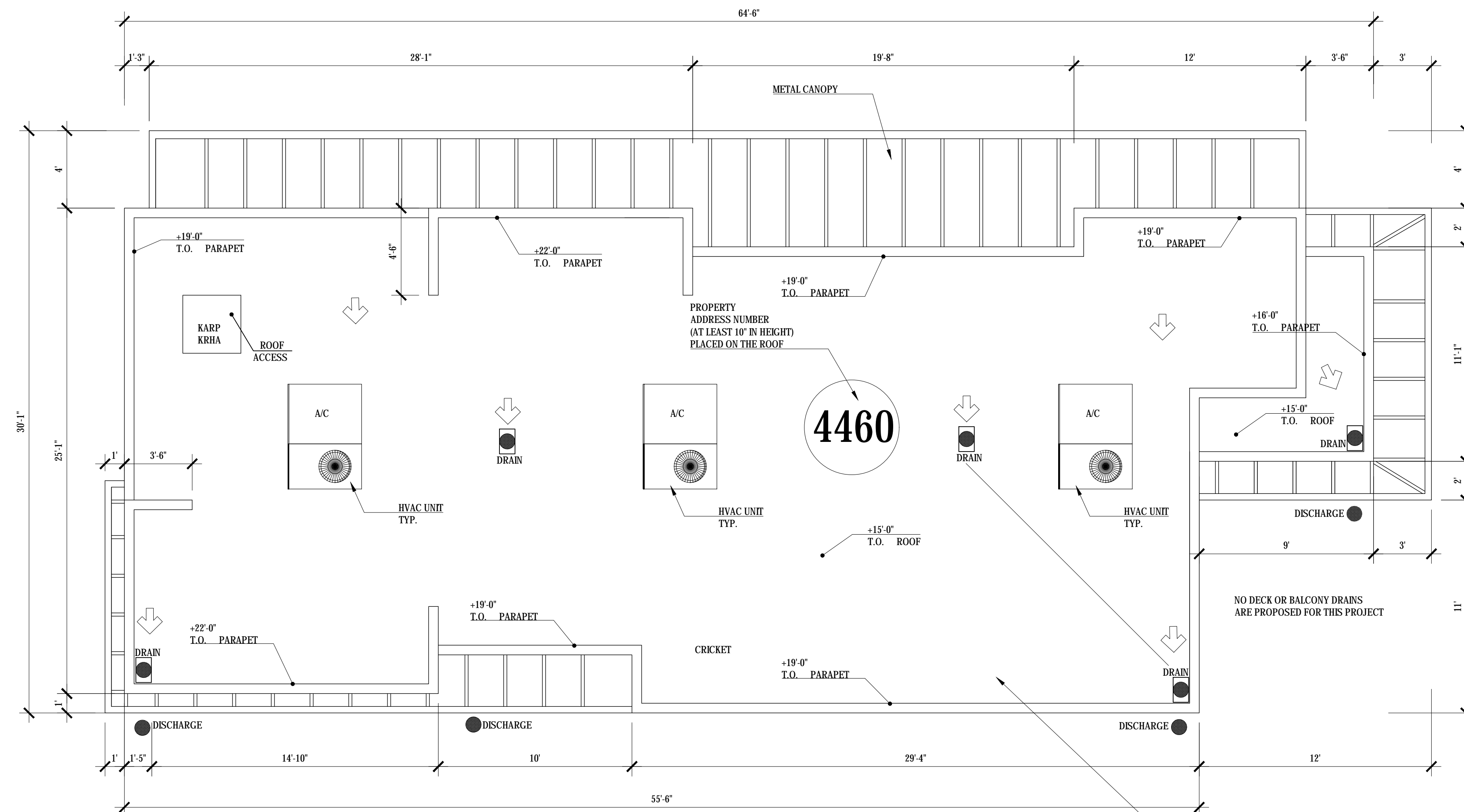
02 SECTION-1-1
A-06 1/4"=1'



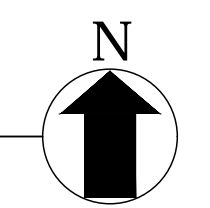
01 SECTION 2-2
A-06 SCALE: 1/4" = 1'



OWNER:	7 LEAVES CAFE VINH NGUYEN - PRINCIPLE 14361 EUCLID ST., STE. B, GARDEN GROVE, CA 92843 7LEAVESCAFE.COM VINH.NGUYEN@7LEAVESCAFE.COM
CONTACT:	ALEXANDRA CAPTAN ACAPTAN@CAPTANPD.COM (949)-235-1333
DESIGNER:	NS
DRAWN BY:	NS
CHECKED BY:	NS
APPROVED BY:	VINH NGUYEN
NAME OF SHEET:	SECTIONS
SCALE:	1/4"=1'
DATE:	10-06-22
SHEET NUMBER:	A-6

OWNER:															
DESIGNED BY:	 NABIH SAQQAL Phone : (714) 548.0670 license # B1004046 11464 Delphinium Ave., Fountain Valley, CA 92708														
<table border="1"> <thead> <tr> <th>REVISION</th> <th>DATE</th> </tr> </thead> <tbody> <tr> <td>REVISION 1</td> <td>DATE</td> </tr> <tr> <td>REVISION 2</td> <td>DATE</td> </tr> <tr> <td>REVISION 3</td> <td>DATE</td> </tr> <tr> <td>REVISION 4</td> <td>DATE</td> </tr> <tr> <td>REVISION 5</td> <td>DATE</td> </tr> <tr> <td>REVISION 6</td> <td>DATE</td> </tr> </tbody> </table>		REVISION	DATE	REVISION 1	DATE	REVISION 2	DATE	REVISION 3	DATE	REVISION 4	DATE	REVISION 5	DATE	REVISION 6	DATE
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DRAWING NUMBER:	6 OF 10														



01 PROPOSED-ROOF-PAN
A-7 1/4"=1'



OWNER: 7 LEAVES CAFE VINH NGUYEN - PRINCIPLE 14361 EUCLID ST., STE. B GARDEN GROVE, CA 92843 7LEAVESCAFE.COM VINH.NGUYEN@7LEAVESCAFE.COM	OWNER: 														
CONTACT: ALEXANDRA CAPTAN ACAPTAN@CAPTANPD.COM (949) 235-1333	DESIGNED BY:  NABIH SAQQAL Phone : (714) 548.0670 license # B1004046 11464 Delphinium Ave., Fountain Valley, CA 92708														
DESIGNER: NS															
DRAWN BY: NS															
CHECKED BY: NS															
APPROVED BY: VINH NGUYEN															
NAME OF SHEET: ROOF-TOP-VIEW															
SCALE: 1/4"=1'															
DATE: 10-06-22															
SHEET NUMBER: A-7															
	<table border="1"> <thead> <tr> <th>REVISION</th> <th>DATE</th> </tr> </thead> <tbody> <tr> <td>REVISION 1</td> <td>DATE</td> </tr> <tr> <td>REVISION 2</td> <td>DATE</td> </tr> <tr> <td>REVISION 3</td> <td>DATE</td> </tr> <tr> <td>REVISION 4</td> <td>DATE</td> </tr> <tr> <td>REVISION 5</td> <td>DATE</td> </tr> <tr> <td>REVISION 6</td> <td>DATE</td> </tr> </tbody> </table>	REVISION	DATE	REVISION 1	DATE	REVISION 2	DATE	REVISION 3	DATE	REVISION 4	DATE	REVISION 5	DATE	REVISION 6	DATE
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	DRAWING NUMBER: 7 OF 10														

PROTECT IN PLACE CONSTRUCTION NOTES

ITEM	DESCRIPTION	QUANTITY
1	EXISTING SEWER LATERAL FOR PRIVATE SERVICE TO BE RETAINED	
2	EXISTING WATER METER FOR PRIVATE SERVICE TO BE RETAINED	
3	PROTECT IN PLACE EX. C&G, SW, PAVEMENT...	
4	PROTECT IN PLACE EXISTING POWER POLE	

ON-SITE CONSTRUCTION NOTES

ITEM	DESCRIPTION	QUANTITY
1	INSTALL WHEEL STOP (TYP.)	8 EACH
2	CONSTRUCT 6" CONCRETE CURB, 12" WIDE	55 LF
3	CONSTRUCT 6" CONCRETE CURB ONLY PER CITY STD. SDG-150	420 LF
4	CONSTRUCT 6" CONCRETE CURB	25 LF
5	(N) LANDSCAPE AREA	1,803 SF
6	(N) 6" CONCRETE DRIVEWAY & PARKING SPACES	1,824 SF
7	STRIPING DETAILS, SEE ARCHITECTURAL PLANS	90 SF
8	(N) CURB & GUTTER PER CITY STD SDG-151 (TYPE H)	160 LF
9	CONSTRUCT NEW TRASH ENCLOSURE PER ARCHITECTURAL PLAN	1 EACH
10	CONCRETE CURB CUT 12" OPENING PER DETAIL HEREON	6 EACH
11	INSTALL DRAIN BOX INLET PER DETAIL HEREON	1 EACH
12	INSTALL NEW GAS METER UNDER SEPARATE PERMIT	1 EACH
13	(N) PATH OF TRAVEL WAY, 2% MAX CROSS SLOPE, 5% MAX SLOPE IN DIRECTION OF TRAVEL	600 SF
14	CURB RAMP, SLOPE 8.33% MAX., PER CITY STD. SDG-138	6 EACH
15	9'-18" PARKING STALL (TYP.)	7 EACH
16	(N) H.C. PARKING SPACE, MAXIMUM SLOPE IN ANY DIRECTIONS SHALL NOT EXCEED 2%	1 EA
17	INSTALL NEW HANDICAPPED SIGN PER ARCHITECTURAL PLAN	1 EACH
18	(E) MONUMENT SIGN TO BE RELOCATED	1 EACH
19	CONSTRUCT NEW 3' BLOCKWALL UNDER SEPARATE PERMIT	125 LF
20	INSTALL DOWNSPOUT PER DETAIL HEREON	3 EACH
21	(N) PERVIOUS CONCRETE PAVEMENT AREA	5,033 SF

OFF-SITE CONSTRUCTION NOTES

ITEM	DESCRIPTION	QUANTITY
1	REMOVE EXISTING C&G, SIDEWALK, DRIVEWAY APPROACH	860 SF
2	NEW TREE, TYPICAL 6"x6" OPENINGS, SEE LANDSCAPE PLAN FOR DETAIL	1 EACH
3	(N) DRIVEWAY APPROACH PER CITY STD SDG-163, SEE STREET IMPROVEMENT PLAN	1 EACH
4	REMOVE AND REPLACE FULL DEPTH AC PAVEMENT, SEE STREET IMPROVEMENT PLAN	130 SF
5	(N) CONCRETE C&G PER CITY STD SDG-151, SEE STREET IMPROVEMENT PLAN	64 LF
6	INSTALL NEW 1 1/2" GAS PIPE UNDER SEPARATE PERMIT	1 EACH
7	(N) CURB DRAIN 3" SCH. 80 PVC PIPE	1 EACH
8	(NE) PARKWAY LANDSCAPE AREA PER LANDSCAPE PLAN	368 SF
9	(N) CONCRETE SIDEWALK PER CITY STD SDG-155, SEE STREET IMPROVEMENT PLAN	150 SF

THE FOLLOWING ITEMS REQUIRE A SEPARATE PUBLIC WORKS ENCROACHMENT PERMIT:

- 1
- 2
- 3
- 4
- 5
- 6
- 7
- 8
- 9

NOTE: THERE ARE NO UTILITY EASEMENTS ASSOCIATED WITH THE SUBJECT PROPERTY ACCORDING TO AVAILABLE DOCUMENTS

NOTE:

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL PUBLIC UTILITIES DURING CONSTRUCTION OF THE PROJECT.
- THE CONTRACTOR SHALL DETERMINE THE DEPTH AND LOCATION OF EXISTING UNDERGROUND UTILITIES PRIOR TO EXCAVATING, TRENCHING, OR DRILLING AND SHALL BE REQUIRED TO TAKE ANY PRECAUTIONARY MEASURES TO PROTECT ALL LINES SHOWN AND/OR ANY OTHER UNDERGROUND UTILITIES NOT OF RECORD OR NOT SHOWN ON THE PLANS. THE CONTRACTOR MAY BE REQUIRED TO EXPOSE THESE FACILITIES AT THEIR OWN COST.
- THE CONTRACTOR MUST CONTACT CITY OF SAN DIEGO DEVELOPMENT SERVICES IMMEDIATELY IF ANY DAMAGE TO EXISTING UTILITIES OCCURS. ANY DAMAGE TO UTILITIES RESULTING FROM CONTRACTOR'S OPERATIONS SHALL BE RESTORED AT THEIR EXPENSE.

NOTE:

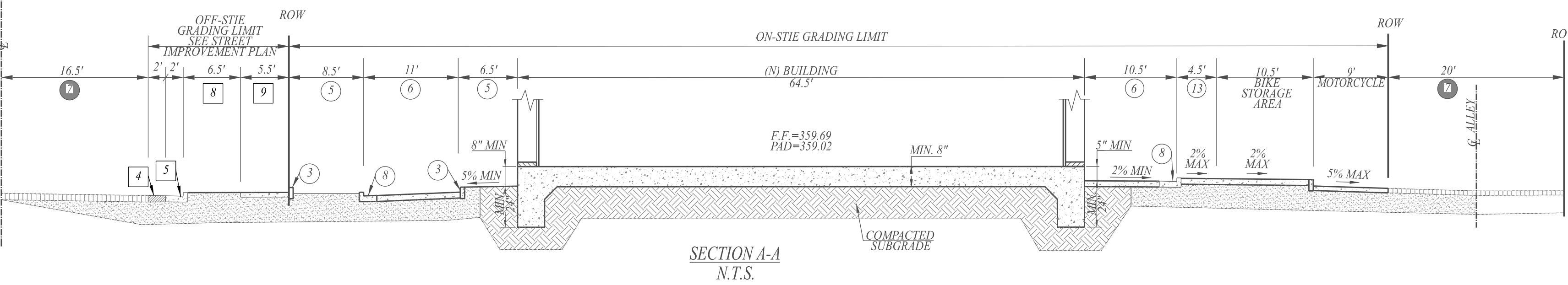
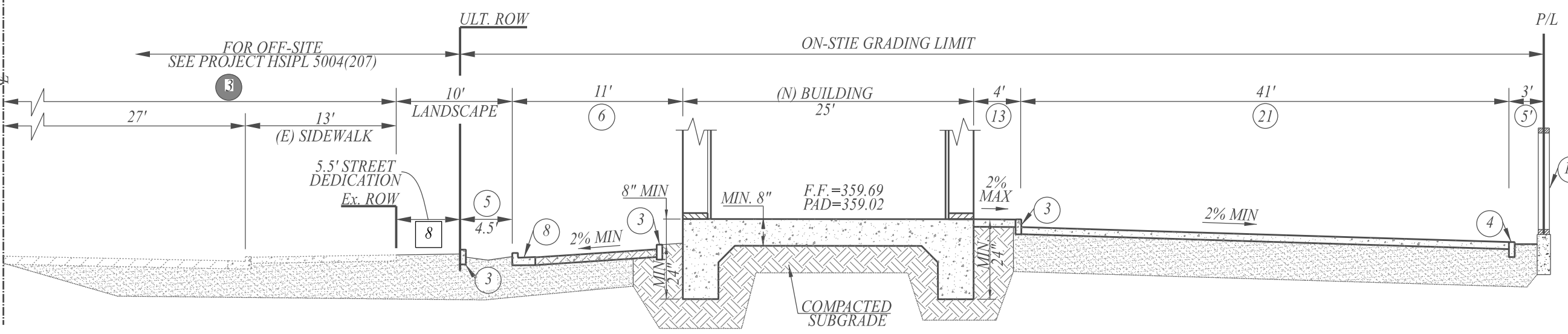
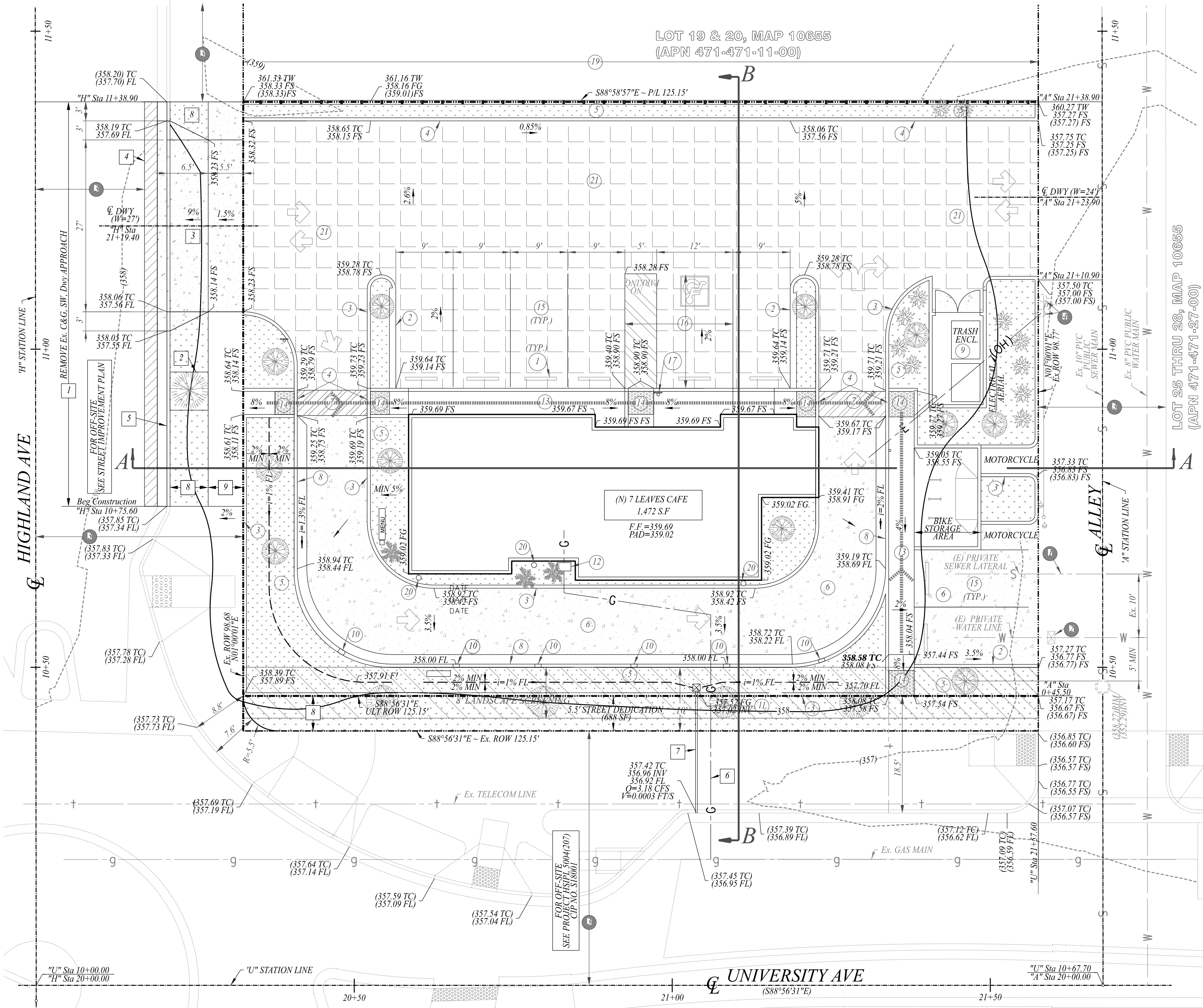
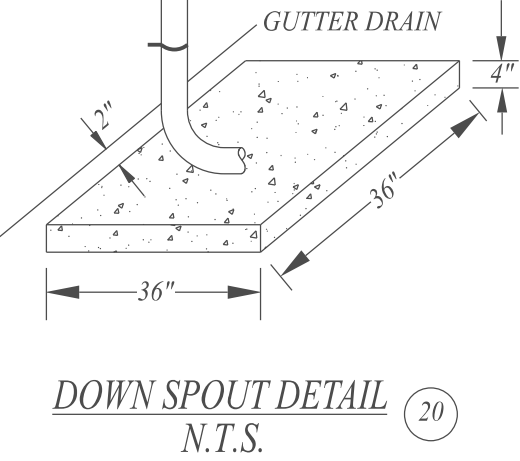
THE PROPOSED PROJECT WILL COMPLY WITH ALL THE REQUIREMENTS OF THE CURRENT CITY OF SAN DIEGO STORM WATER STANDARDS MANUAL BEFORE A GRADING OR BUILDING PERMIT IS ISSUED. IT IS THE RESPONSIBILITY OF THE OWNER/DESIGNER/APPLICANT TO ENSURE THAT THE CURRENT STORM WATER PERMANENT BMP DESIGN STANDARDS ARE INCORPORATED INTO THE PROJECT.

ALL DOMESTIC WATER SERVICE LINE DIAMETERS ARE PROVIDED FOR CLARITY OF INTENT ONLY. ACTUAL SERVICE LINE DIAMETERS WILL BE BASED UPON THE PROJECT'S APPROVED WATER METER DATA CARD.

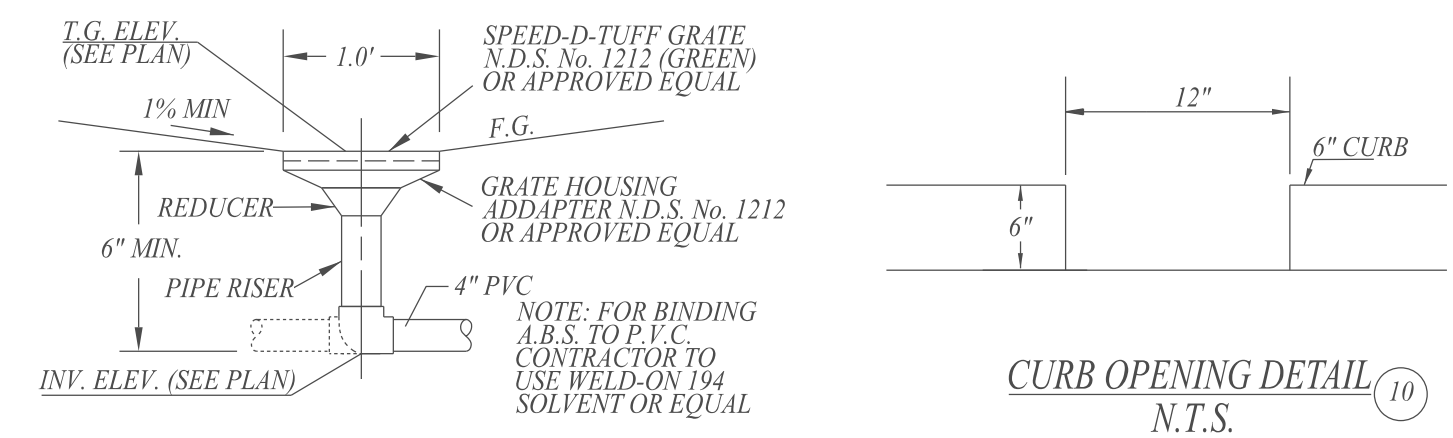
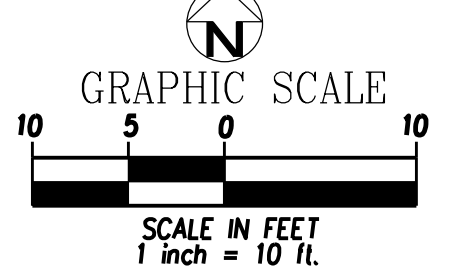
A. TOTAL DISTURBANCE AREA:	11,673 SF
B. EXISTING AMOUNT OF IMPERVIOUS AREA:	12,361 SF
C. PROPOSED AMOUNT OF IMPERVIOUS AREA:	4,837 SF
D. NOT USED:	
E. TOTAL IMPERVIOUS AREA:	4,837 SF
F. IMPERVIOUS % INCREASE:	-41.44% (DECREASE)

TOTAL NEW PERVIOUS AREA: 6,836 SF

CUT QUANTITIES: 0 CYD
 FILL QUANTITIES: 28 CYD
 IMPORT/EXPORT: 28 CYD
 MAX CUT DEPTH UNDER BUILDING FOOTPRINT: 2.5 FT
 MAX CUT DEPTH OUTSIDE BUILDING FOOTPRINT: 2.5 FT
 MAX FILL DEPTH UNDER BUILDING FOOTPRINT: 2.5 FT
 MAX FILL DEPTH OUTSIDE BUILDING FOOTPRINT: 1 FT



GRADING PLANS



Underground Service Alert

Call: TOLL FREE
1-800-422-4133

TWO WORKING DAYS BEFORE YOU DIG

REVISIONS

REV.	DATE	BY	DESCRIPTION	APP'D	V.D.

BENCHMARK

BENCHMARK: NEPP AUBURN DR. & EUCLID AVE. (PT #53)
 ELEV = ELEV. (345.208) MSL, BASED ON NGVD 29 FEET AS SHOWN IN THE CITY OF SAN DIEGO BENCH BOOK

SOILS ENGINEER

LY PHAN, P.E.
 RCE 63381
 EXP. 9-30-2024
 10820 KEENAN PL.
 STANTON, CA 90680

TEL: (714) 548-1233
 EMAIL: LY10@GMAIL.COM

REGISTERED PROFESSIONAL ENGINEER
 LY PHAN
 No. 663381
 CIVIL
 STATE OF CALIFORNIA

DRAWN BY: KN 02/2022
 DESIGNED BY: LP 02/2022
 CHECKED BY: BT 02/2022

PREPARED UNDER THE SUPERVISION OF:

R.C.E. No.: 63381 EXP. DATE: 9/30/2022

PRIVATE CONTRACT

NOTES AND DETAILS FOR:
7LEAVES CAFE
 BLK 3, LOTS 21 THRU 24

CITY OF SAN DIEGO, CALIFORNIA DEVELOPMENT SERVICES DEPARTMENT SHEET 1 OF 3 SHEETS		PROJECT NO. _____
FOR CITY ENGINEER	DATE	V.T.M.
DESCRIPTION BY	APPROVED	FILMED
ORIGINAL	XXX	
AS-BUILTS		XXXX-XXXX NAD83 COORDINATES
CONTRACTOR	DATE STARTED	XXX-XXXX LAMBERT COORDINATES
INSPECTOR	DATE COMPLETED	XXXXX-3-D

LOT 19 & 20, MAP 10655
(APN 471-471-11-00)

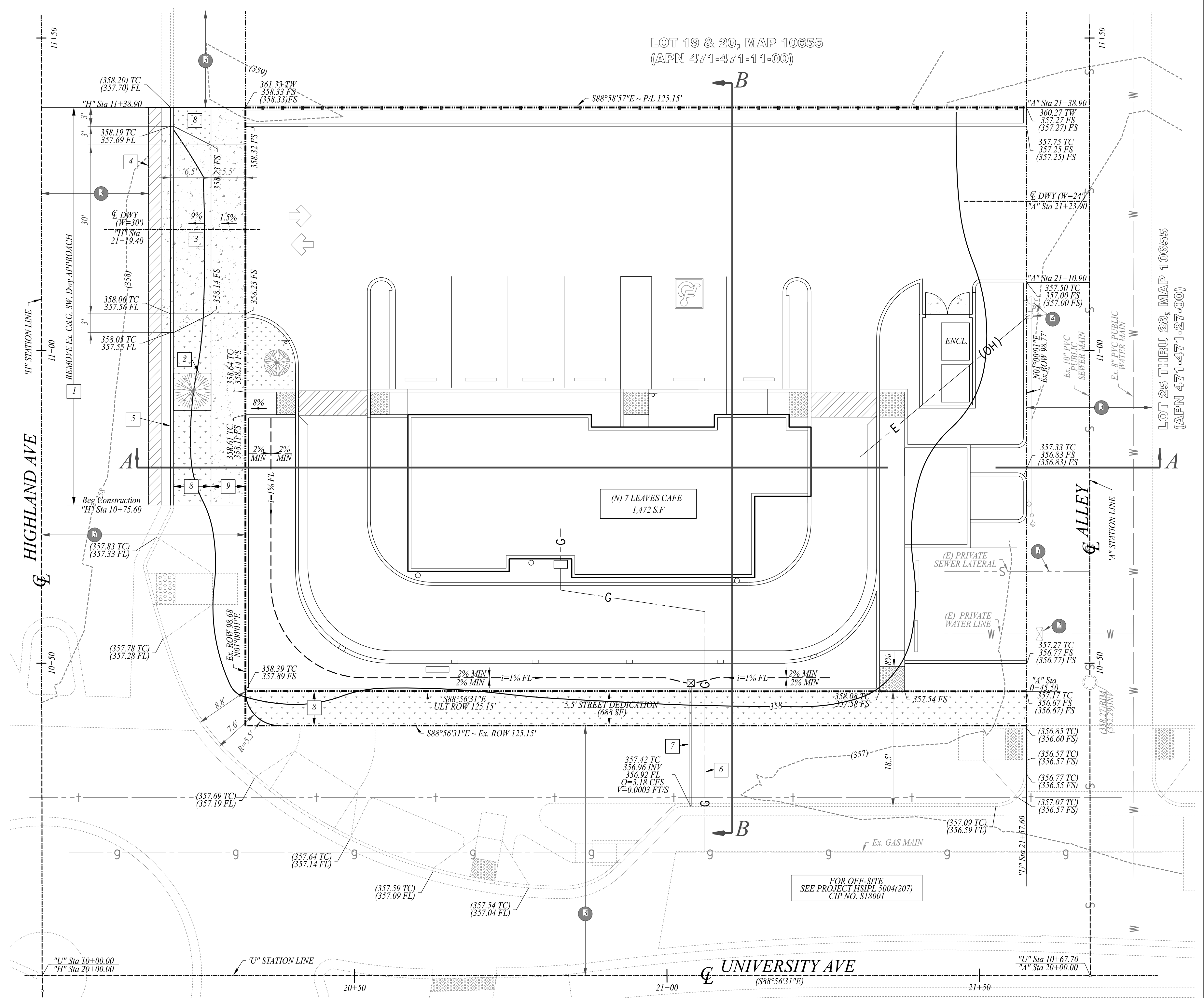
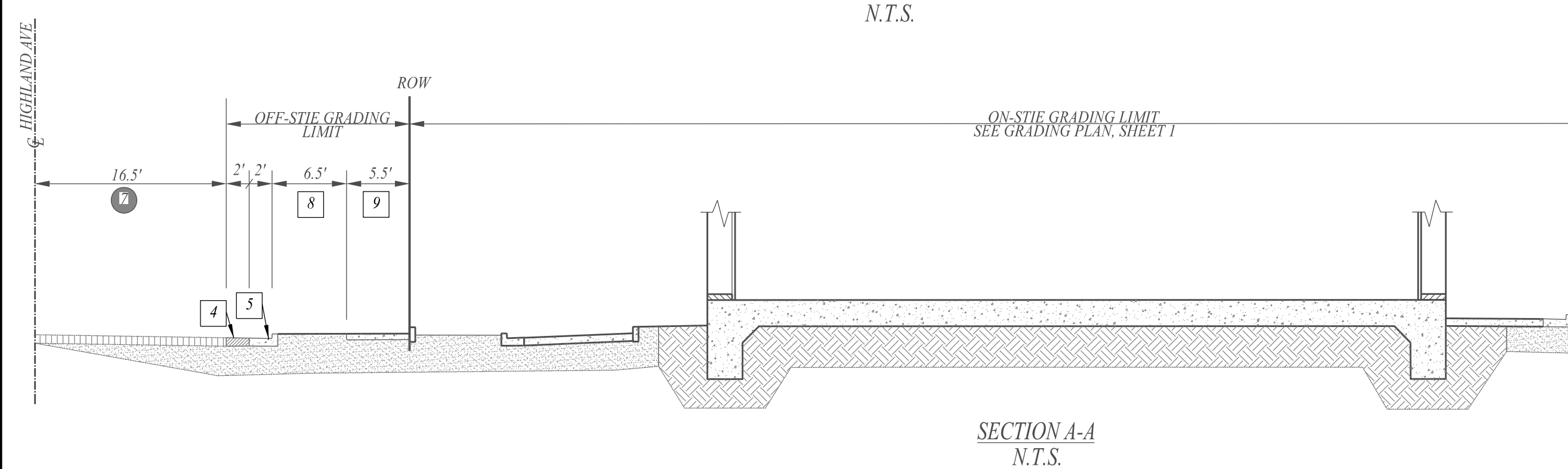
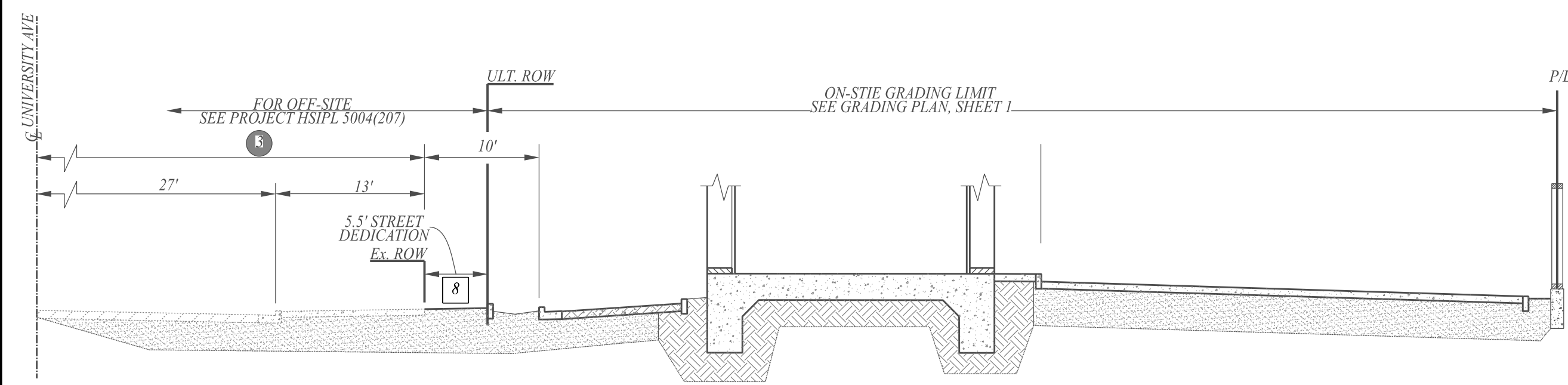
OFF-SITE CONSTRUCTION NOTES		
ITEM	DESCRIPTION	QUANTITY
* 1	REMOVE EXISTING C&G, SIDEWALK, DRIVEWAY APPROACH	860 SF
* 2	NEW TREE, TYPICAL 6"Ø OPENINGS, SEE LANDSCAPE PLAN FOR DETAIL	1 EACH
* 3	(N) DRIVEWAY APPROACH PER CITY STD SDG-163, SEE STREET IMPROVEMENT PLAN	1 EACH
* 4	REMOVE AND REPLACE FULL DEPTH AC PAVEMENT, SEE STREET IMPROVEMENT PLAN	130 SF
* 5	(N) CONCRETE C&G PER CITY STD SDG-151 SEE STREET IMPROVEMENT PLAN	64 LF
* 6	INSTALL NEW 1/2" GAS PIPE UNDER SEPARATE PERMIT	1 EACH
* 7	(N) CURB DRAIN 3" SCH. 80 PVC PIPE	1 EACH
* 8	(N) PARKWAY LANDSCAPE AREA PER LANDSCAPE PLAN	368 SF
* 9	(N) CONCRETE SIDEWALK PER CITY STD SDG-155, SEE STREET IMPROVEMENT PLAN	150 SF

THE FOLLOWING ITEMS REQUIRE A SEPARATE PUBLIC WORKS ENCROACHMENT PERMIT: 1 2 3 4 5 6 7 8 9

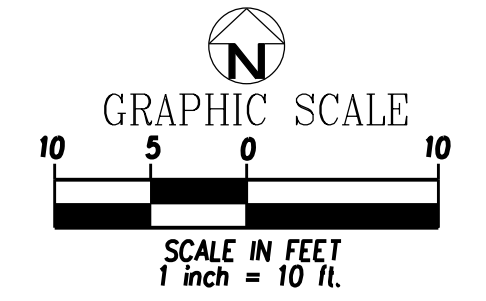
PROTECT IN PLACE CONSTRUCTION NOTES	
ITEM	DESCRIPTION
(I)	EXISTING SEWER LATERAL FOR PRIVATE SERVICE TO BE RETAINED
(K)	EXISTING WATER METER FOR PRIVATE SERVICE TO BE RETAINED
(S)	PROTECT IN PLACE Ex. C&G, SW, PAVEMENT...
(P)	PROTECT IN PLACE EXISTING POWER POLE

NOTE:

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL PUBLIC UTILITIES DURING CONSTRUCTION OF THE PROJECT.
- THE CONTRACTOR SHALL DETERMINE THE DEPTH AND LOCATION OF EXISTING UNDERGROUND UTILITIES PRIOR TO EXCAVATING, TRENCHING, OR DRILLING AND SHALL BE REQUIRED TO TAKE ANY PRECAUTIONARY MEASURES TO PROTECT ALL LINES SHOWN AND/OR ANY OTHER UNDERGROUND UTILITIES NOT OF RECORD OR NOT SHOWN ON THE PLANS. THE CONTRACTOR MAY BE REQUIRED TO EXPOSE THESE FACILITIES AT THEIR OWN COST.
- THE CONTRACTOR MUST CONTACT CITY OF SAN DIEGO DEVELOPMENT SERVICES IMMEDIATELY IF ANY DAMAGE TO EXISTING UTILITIES OCCURS. ANY DAMAGE TO UTILITIES RESULTING FROM CONTRACTOR'S OPERATIONS SHALL BE RESTORED AT THEIR EXPENSE.



STREET IMPROVEMENT PLAN



PRIVATE CONTRACT		PROJECT NO. _____	
7LEAVES CAFE		V.T.M. _____	
BLK 3, LOTS 21 THRU 24		XXXX-XXXX NAD83 COORDINATES	
CITY OF SAN DIEGO, CALIFORNIA DEVELOPMENT SERVICES DEPARTMENT SHEET 2 OF 3 SHEETS		XXX-XXXX LAMBERT COORDINATES	
FOR CITY ENGINEER	DATE	AS-BUILTS	
DESIGNED BY: LP	APPROVED: BT	CONTRACTOR: _____ DATE STARTED: _____	
CHECKED BY: BT	DATE: 02/2022	INSPECTOR: _____ DATE COMPLETED: _____	
PREPARED UNDER THE SUPERVISION OF:		XXXXX-X-D	

Underground Service Alert
Call: TOLL FREE
1-800-422-4133
TWO WORKING DAYS BEFORE YOU DIG

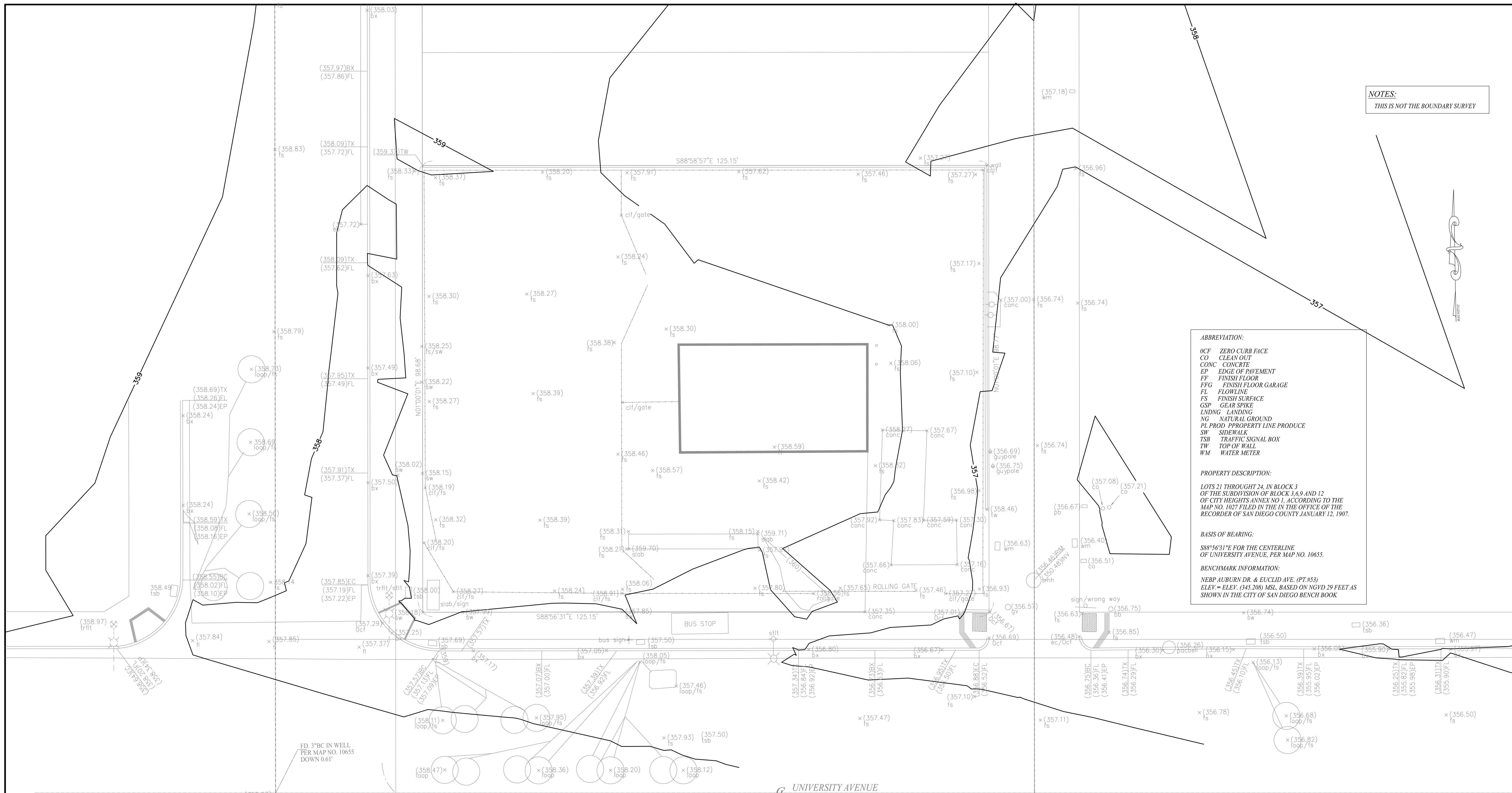
REV.	DATE	BY	DESCRIPTION	APP'VD

BENCHMARK
BENCHMARK: NEBP AUBURN DR. & EUCLID AVE. (PT. #53)
ELEV. = ELEV. (345.208) MSL, BASED ON NGVD 29 FEET AS SHOWN IN THE CITY OF SAN DIEGO BENCH BOOK

SOILS ENGINEER
LY PHAN, P.E.
RCE 63381
EXP. 9-30-2024
10820 KEENAN PL.
STANTON, CA 90680
TEL. (714) 548-1233
EMAIL: LY10@GMAIL.COM

REGISTERED PROFESSIONAL ENGINEER
LY PHAN
No. C63381
CIVIL
STATE OF CALIFORNIA

DRAWN BY: KN 02/2022
DESIGNED BY: LP 02/2022
CHECKED BY: BT 02/2022
PREPARED UNDER THE SUPERVISION OF:
[Signature]
R.C.E. NO.: 63381 EXP. DATE: 9/30/2022



NOTES:
THIS IS NOT THE BOUNDARY SURVEY

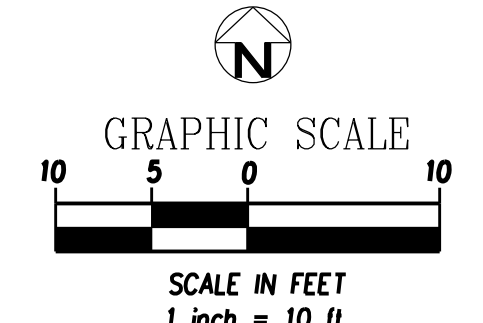
ABBREVIATION:
 OCF ZERO CURB FACE
 CO CLEAN OUT
 CONC CONCRTE
 EP EDGE OF PAVEMENT
 FF FINISH FLOOR
 FFG FINISH FLOOR GARAGE
 FL FLOWLINE
 FS FINISH SURFACE
 GSP GEAR SPIKE
 LNDNG LANDING
 NG NATURAL GROUND
 PL PROD PROPERTY LINE PRODUCE
 SW SIDEWALK
 TSB TRAFFIC SIGNAL BOX
 TW TOP OF WALL
 WM WATER METER

PROPERTY DESCRIPTION:
 LOTS 21 THROUGH 24, IN BLOCK 3
 OF THE SUBDIVISION OF BLOCK 3, 6, 9 AND 12
 OF CITY HEIGHTS ANNEX NO. 1, ACCORDING TO THE
 MAP NO. 1027 FILED IN THE OFFICE OF THE
 RECORDER OF SAN DIEGO COUNTY JANUARY 12, 1907.

BASIS OF BEARING:
 S88°56'31"E FOR THE CENTERLINE
 OF UNIVERSITY AVENUE, PER MAP NO. 10655.

BENCHMARK INFORMATION:
 NEBP AUBURN DR. & EUCLID AVE. (PT.#53)
 ELEV = ELEV. 645.208' MSL, BASED ON NGVD 29 FEET AS
 SHOWN IN THE CITY OF SAN DIEGO BENCH BOOK

TOPOGRAPHIC MAP



PRIVATE CONTRACT

GRADING PLANS FOR:

7LEAVES CAFE

BLK 3, LOTS 21 THRU 24

CITY OF SAN DIEGO, CALIFORNIA DEVELOPMENT SERVICES DEPARTMENT SHEET 3 OF 3 SHEETS		PROJECT NO. _____
FOR CITY ENGINEER		V.T.M. _____
DESCRIPTION	BY	APPROVED
ORIGINAL	XXX	
DATE		DATE
AS-BUILTS		
CONTRACTOR	DATE STARTED	XXXXX-X-D
INSPECTOR	DATE COMPLETED	

Underground Service Alert
 Call: TOLL FREE
 1-800-422-4133
 TWO WORKING DAYS BEFORE YOU DIG

REV.	DATE	BY	DESCRIPTION	APP'D

BENCHMARK
 BENCHMARK: NEBP AUBURN DR. & EUCLID AVE. (PT.#53)
 ELEV = ELEV. (345.208) MSL, BASED ON NGVD 29 FEET AS
 SHOWN IN THE CITY OF SAN DIEGO BENCH BOOK

SOILS ENGINEER
 LY PHAN, P.E.
 RCE 63381
 EXP. 9-30-2024
 10820 KEENAN PL.
 STANTON, CA 90680
 TEL (714) 548-1233
 EMAIL LY10@GMAIL.COM

REGISTERED PROFESSIONAL ENGINEER
 LY PHAN
 No. C63381
 CIVIL
 STATE OF CALIFORNIA

DRAWN BY: KN 02/2022
 DESIGNED BY: LP 02/2022
 CHECKED BY: BT 02/2022
 PREPARED UNDER THE SUPERVISION OF:

 R.C.E. NO.: 63381 EXP. DATE: 9/30/2022

IRRIGATION NOTES AND REQUIREMENTS

Dedicated water meters or private submeters shall be required. All required plant material shall be irrigated with a permanent, below-grade irrigation system unless specified otherwise in this division. All required irrigation systems shall be automatic, electrically controlled, and designed to provide water to all required plantings to maintain them in a healthy, disease-resistant condition. Irrigation systems shall meet the following design requirements: No irrigation runoff or overspray shall cross property lines or paved areas; The velocity of water flowing in irrigation system piping or supply pipes shall not exceed 5 feet per second downstream of the water meter; Irrigation systems shall be designed to minimize system maintenance requirement after installation. Above-ground irrigation system equipment that is exposed to potential damage shall be designed to be damage-resistant; and

Automatic irrigation controllers utilizing evapotranspiration or soil moisture sensor data using non-volatile memory is required for irrigation scheduling. Includes an automatic irrigation controller that utilizes a rain sensor and evapotranspiration or soil moisture sensor data, and that does not lose programming data if in the event a primary power source is interrupted; Includes a pressure regulator to ensure the dynamic pressure of the system is within the manufacturer's recommended pressure range; Includes manual shut-off valves (such as a gate valve, ball valve, or butterfly valve) installed as close as possible to the point of connection to the water supply; Includes irrigation sprinkler and emission devices that meet the State of California Landscape Irrigation Sprinkler and Emitter Standards; Includes subsurface irrigation (or equivalent system that produces no overspray or runoff) in any landscape areas less than 10 feet in width in any direction

LANDSCAPE NOTES

ALL LANDSCAPE AND IRRIGATION SHALL CONFORM TO THE STANDARDS OF THE CITY-WIDE LANDSCAPE REGULATIONS AND THE CITY OF SAN DIEGO AND DEVELOPMENT MANUAL LANDSCAPE STANDARDS AND ALL OTHER LANDSCAPE RELATED CITY AND REGIONAL STANDARDS. MAINTENANCE: ALL REQUIRED LANDSCAPE AREAS SHALL BE MAINTAINED BY THE OWNER 7-LEAVES CAFE. LANDSCAPE AND IRRIGATION AREAS IN PUBLIC RIGHT-OF-WAY SHALL BE MAINTAINED BY THE OWNER; 7-LEAVES CAFE. THE LANDSCAPE AREAS SHALL BE MAINTAINED FREE OF DEBRIS AND LITTER, AND ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION. DISEASED OR DEAD PLANT MATERIAL SHALL BE SATISFACTORILY TREATED OR REPLACED PER THE CONDITIONS OF THE PERMIT. MULCH: ALL REQUIRED PLANTING AREAS AND ALL EXPOSED SOIL AREAS WITHOUT VEGETATIONS SHALL BE COVERED WITH MULCH TO A MINIMUM DEPTH OF 3 INCHES PER SDMC 142.0413(C), EXCLUDING SLOPES REQUIRING REVEGETATION PER SDMC 142.0411. A MINIMUM ROOT ZONE OF 40SF IN AREA SHALL BE PROVIDED FOR ALL TREES. THE MINIMUM DIMENSION FOR THIS AREA SHALL BE 5 FEET, PER SDMC 142.0403(b)(6). TREE ROOT BARRIERS SHALL BE INSTALLED WHERE TREES ARE PLACED WITHIN 5 FEET OF PUBLIC IMPROVEMENTS INCLUDING WALKS, CURBS, OR STREET PAVEMENTS OR WHERE NEW PUBLIC IMPROVEMENTS ARE PLACED ADJACENT TO EXISTING TREES. THE ROOT BARRIER WILL NOT WRAP AROUND THE ROOT BALL PER SDMC 142.0403(b).

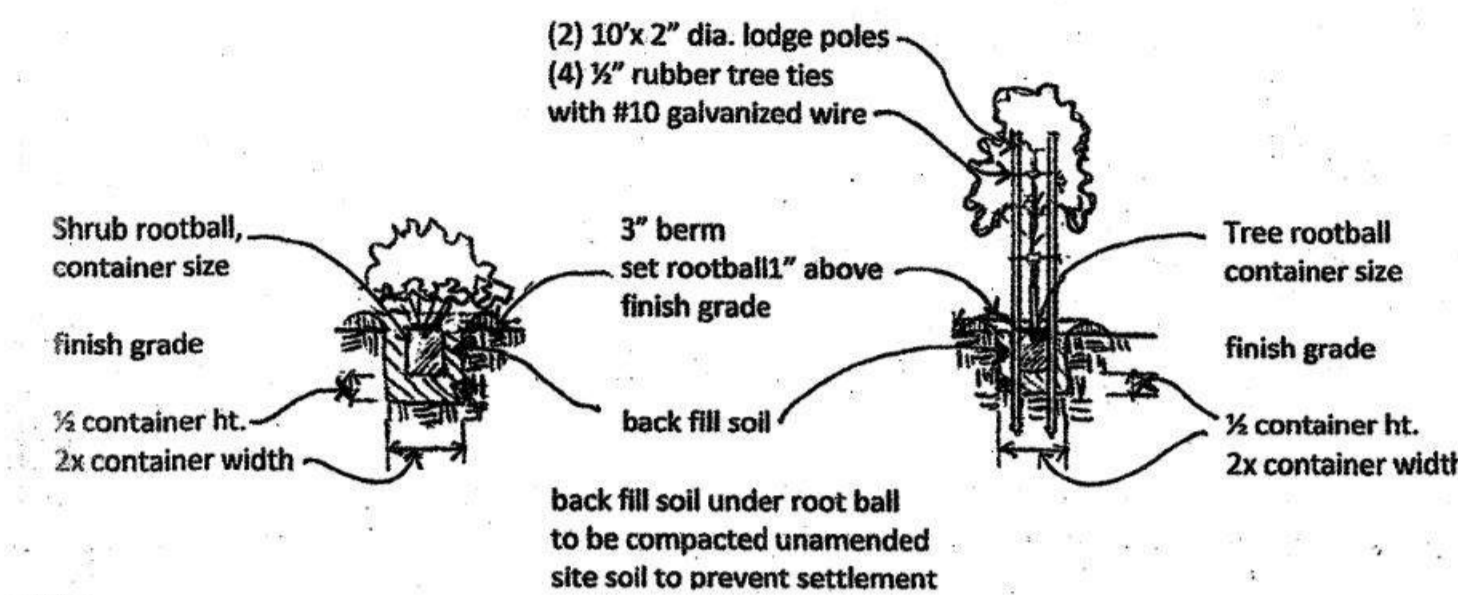
Proposed Materials Legend

- Sym Description
- concrete driveway approach; per city standards
 - 6" thick concrete driveway and parking spaces
 - 6" x 6" concrete curb; per city standards
 - concrete path of travel area 5% max slope
 - detectable surface transition; 8.33% max
 - painted path of travel on concrete, see arch. plan
 - concrete sidewalk per city improvement plan
 - concrete trash enclosure surface
 - construct 3' high block wall; 2' high within visibility triangle
- Proposed Miscellaneous Items; and (E) existing**
- Sym Description
- trash enclosure; see arch. Plans for construction details
 - motorcycle parking
 - on site bicycle repair station
 - short-term bicycle parking (4)
 - long-term bicycle parking (2)
 - install 24" deep root barriers on all trees within 5' of paving or curbs
 - new location of monument sign per city requirement; separate permit
 - menu board
 - (E) water meter and water main line; verify on site
 - (E) sewer lateral
 - gas meter; separate permit
 - gas line; verify on site
 - (E) power poles to remain
 - 10' visibility triangle
 - 25' visibility triangle
 - 3" PVC SCH 80 curb drain; see grading plan

Planting Notes

The backfill mix for use around the root ball of all trees and shrubs shall consist of the following formula:
 2/3 Native soil
 1/3 Organic amendment of composted wood mulch
 1 lb/cu yd. of backfill mix 12-12-12 commercial fertilizer
 agriform or eq. time released fertilizing tablets
 Fertilizer tablets shall be Agriform, 21 gram tablets (20-10-5) in quantities recommended by the manufacturer. Place tablets at half the depth of the root ball. Recommended thirty (30) days after installation all areas shall be fertilized with Best Fertilizer 16-16-8 or approved equal, applied at the rate of five pounds per 1000 square feet (by Owner or Owner's maintenance service)
 All new lawn areas shall roto-tilled to a depth of 8" with 3" of nitrogen stabilized organic amendment of composted wood mulch.
 All planter areas to be covered with 3" of shredded cedar or redwood shavings or bark

Typical Shrub and Tree Planting (not to scale)



CERTIFICATE OF LANDSCAPE DESIGN

I hereby certify that:
 (1) I am a professional appropriately Licensed in the state of California to provide professional landscape design services
 (2) The Landscape design and water use calculations for the property at 4460 UNIVERSITY AVE SAN DIEGO were prepared by me.
 (3) The Landscape design and water calculations for the identified property comply with the State of California Code of Regulations Title 23, Division 2, Chapter 2.7; Model Water Efficient Landscape Ordinance.
 (4) The Information I have provided is true and correct and is hereby submitted in compliance with the Model Water Efficient Landscape Ordinance.

Signature: MANUEL GARCIA Date: 3-16-22
 Print Name: MANUEL GARCIA License Number: #3929

Landscape Architect's Stamp

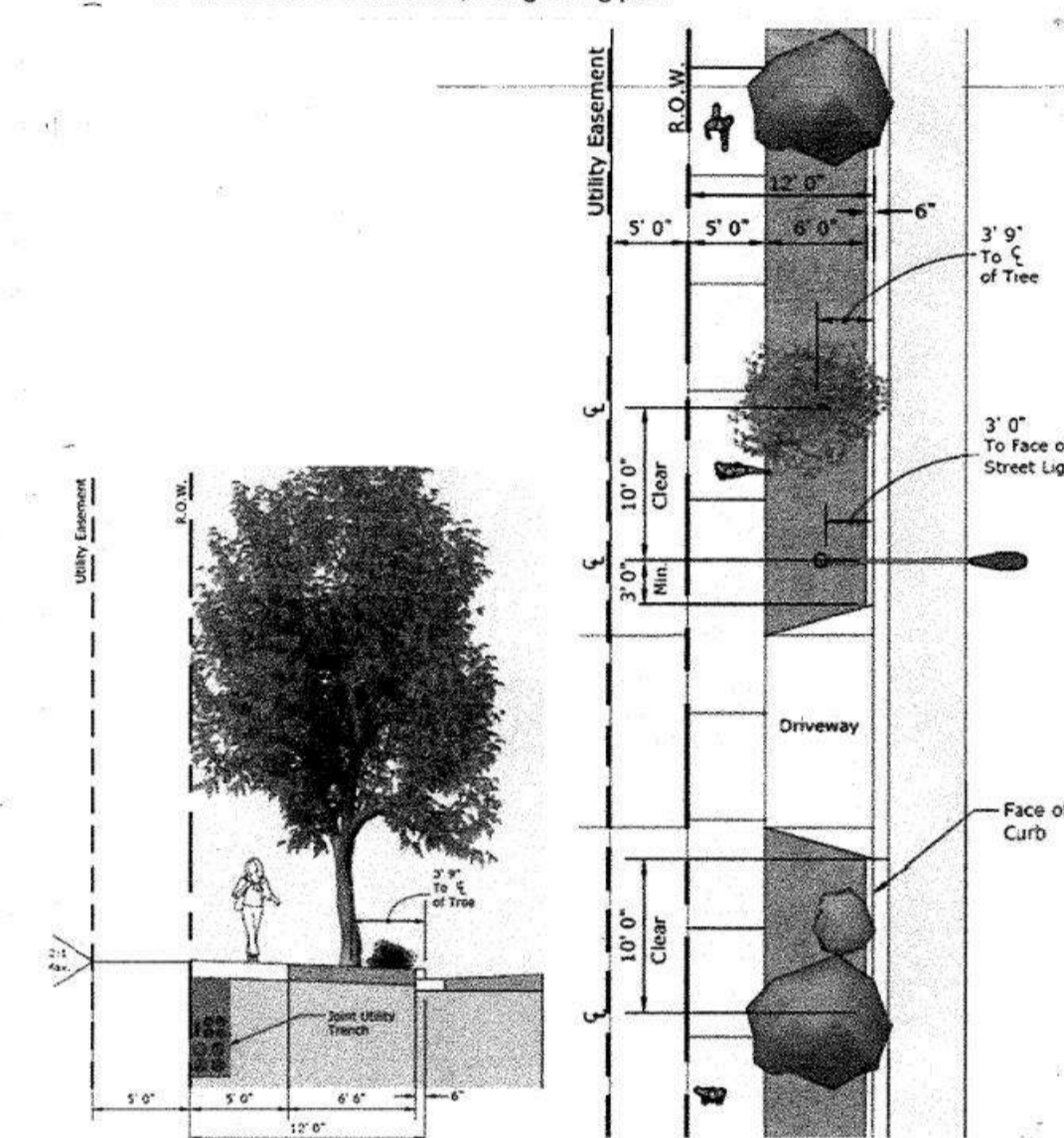
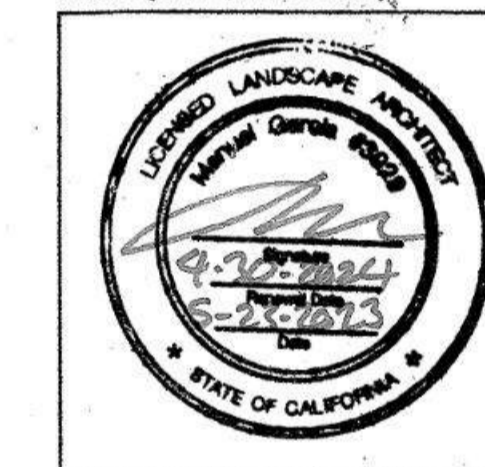


FIGURE 5-3.12 PARKWAY, NON-CONTIGUOUS SIDEWALK

Planting Legend

Shrubs	Sym	Size	Qty	Botanical name	Common name	Variety/Remarks	WUCOLS	points per plant	points
A	1-gal	42	Agapanthus a	Lily of the Nile	'Peter Pan'	M	1	42	
AB	5-gal	7	Agave attenuata	Foxtail Agave	'Boutin Blue'	L/VL	2	14	
AL	1-gal	35	Aloe striata	Coral Aloe		L	1	35	
D	5-gal	10	Diets grandiflora	Fortnight Lily		M	2	20	
K	1-gal	37	Kalanchoe luciae	Paddle plant		L	1	37	
LS	5-gal	45	Lavandula stoechas	Spanish Lavender	'Otto Quast'	L	2	90	
L	5-gal	58	Ligustrum j.	wax leaf privet	'Texanum'	M	2	116	
R	1-gal	55	Rosa floribunda	Rose	'Brilliant Pink Iceberg'	M	1	55	
								subtotal	409

Trees	Sym	Size	Qty	Botanical name	Common name	Variety/Remarks	WUCOLS	points per plant	points
CO	24"-box	3	Citrus var.	Cambell Valencia Orange	dwarf variety	M	20	60	
CS	15-gal	7	Cupressus sempervirens	Italian Cypress	'Tiny Tower'	L	10	70	
JM	24"-box	2	Jacaranda mimosifolia	Jacaranda	Street tree	M	20	20	
OE	24"-box	3	Olea europaea	Olive tree	'Bonita', multi-stem	L	20	60	
PA	36"-box	5	Platanus acerifolia 'Bloodgood'	London Plane Tree	Street tree	M	50	150	
								subtotal	360
								Total Points	769

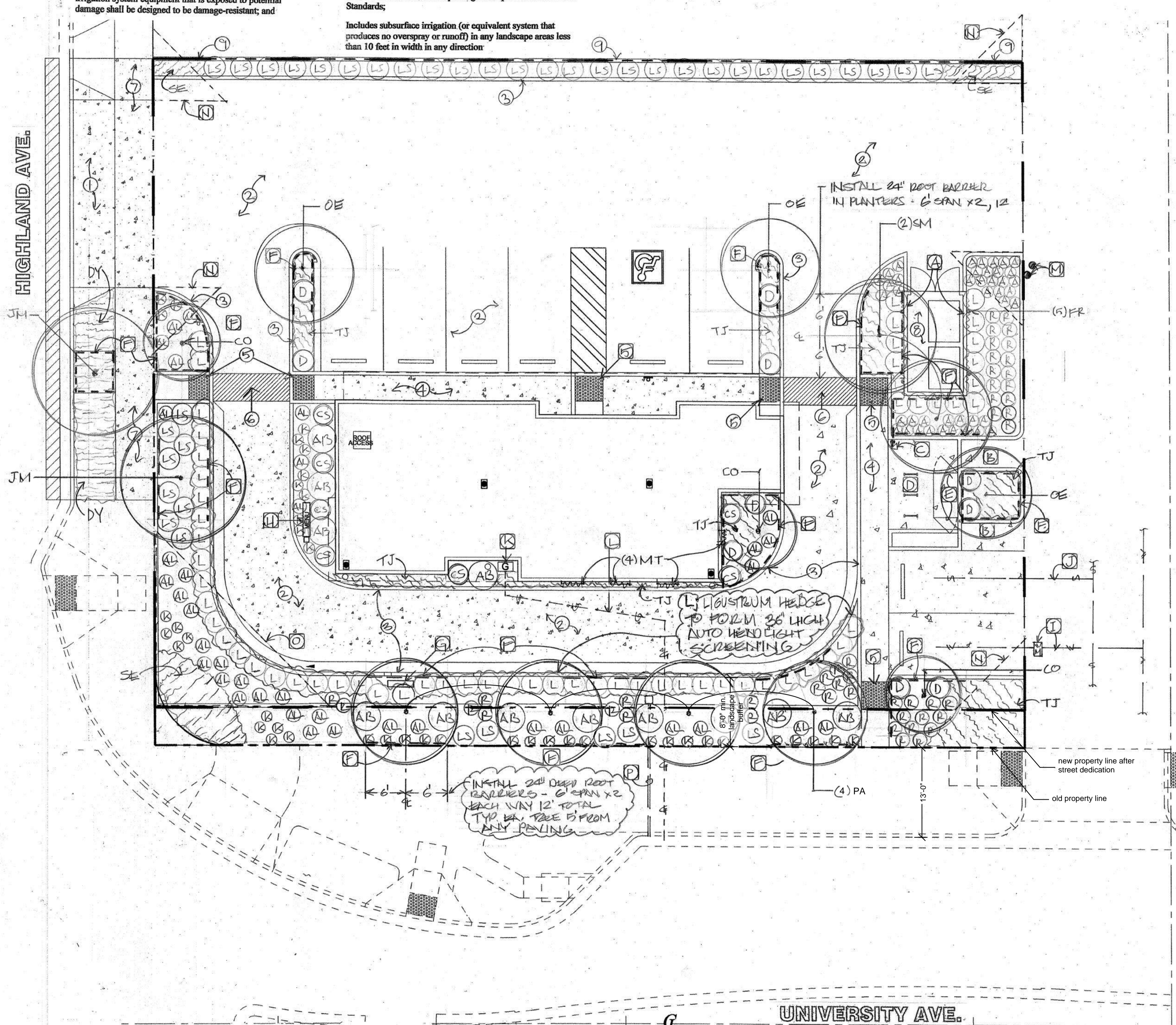
Miscellaneous

Sym	Description	WUCOLS
DY	Dymondia margaritae; Silver Carpet groundcover, from flats planted 8" o.c. in parkway	M
FR	(5) 5-gal Ficus repens; creeping Fig vine on a stake, train to wall.	L
MT	(4) Metal trellises; train to train Star Jasmine on to; See architect's elevations	M
SE	Senecio talinoides, Groundsel; ground cover, from flats, planted 12" O.C.	L
TJ	Trachelospermum jasminoides; Star Jasmine groundcover, from flats planted 12" o.c.; train on trellis	M

Table 142-04B
 Plant Point Schedule

points per plant	points
1	42
2	14
1	35
2	20
1	37
2	90
2	116
1	55
subtotal	409

HIGHLAND AVE.



UNIVERSITY AVE.

LANDSCAPE PLAN

7 Leaves Cafe
 4460 University Avenue
 San Diego, CA 92105
MANUEL GARCIA
 LANDSCAPE ARCHITECT
 228 E. CAMDEN ST. GLENDORA, CA. 91740
 ST. LIC. #3929
 CELL (626)665-5002/OFFICE(626)335-2733
 MG.LANDARCH@GMAIL.COM

3-24-21	
Revisions performed by	DATE
MG-5-23-23	MG-6-24-21
CF: 06-23-23	MG-3-16-22
CF: 09-05-23	MG-3-24-22
	MG-4-29-22
	MG-8-12-22
	MG-10-11-22
Scale 1/8"=1'-0"	Sheet 1 of 3
	L-1

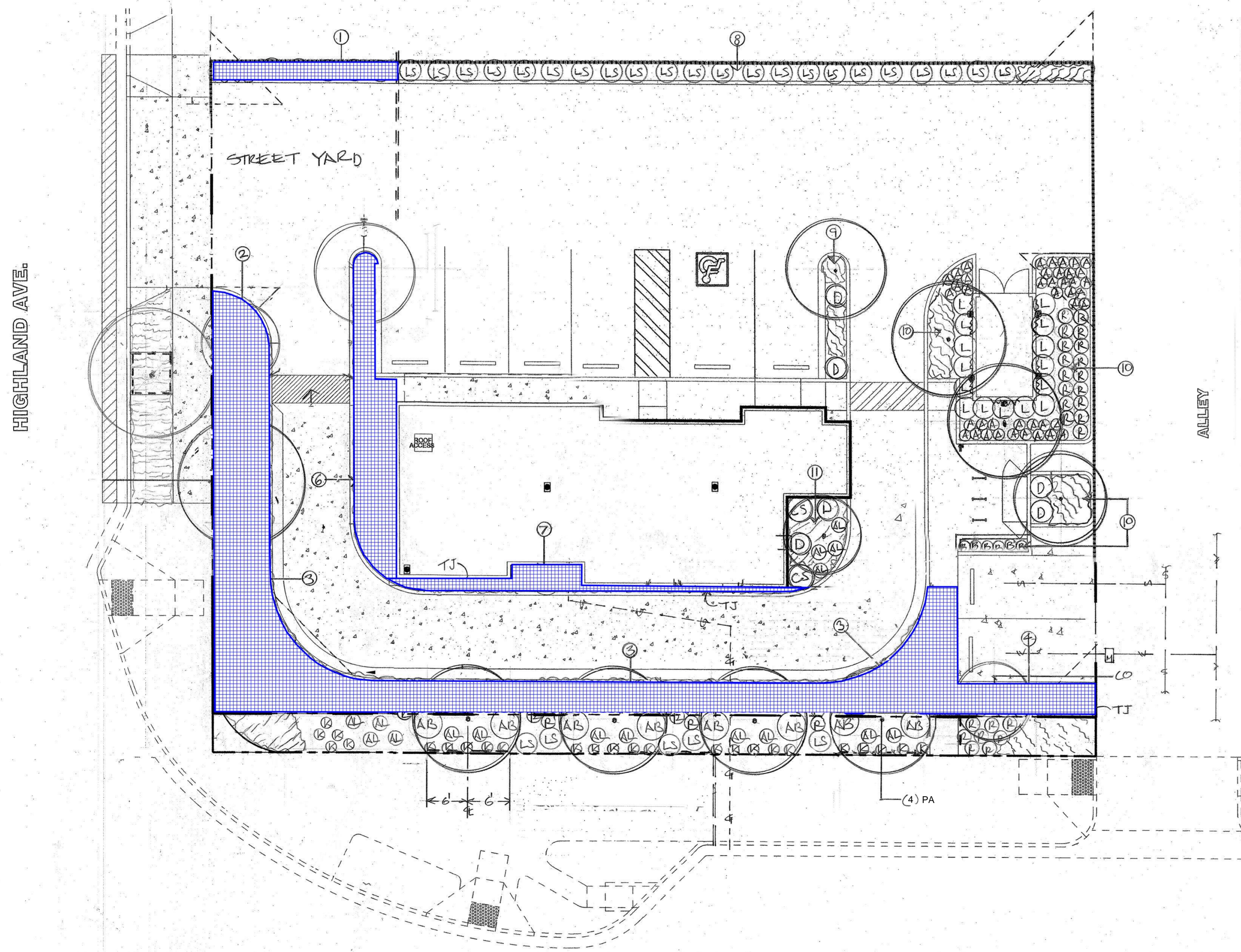
Provide the following information on the Landscape Plans. The Landscape Calculations determine the planting area and plant points required by the Landscape Regulations, Chapter 14, Article 2, Division 4 of the Land Development Code. Refer to §142.0403 Table 142-04B for proposed and existing plant point schedule.

- At least one-half of the required planting points shall be achieved with trees.
- If any of the requirements of Landscape Regulations, Section 142.0405(a) 1, 2, and 3 apply to your project, provide a written summary explaining how requirements are being met.

Street Yard Total Area 4,289 SF 4,289 SF x 25% = 1,072 SF	Total Landscape in Street Yard provided 67 SF 162 SF 255 SF 78 SF 759 SF 84 SF 1,494 SF	Street Yard Total Landscape Area Required 25% 1,072 SF 1,072 SF x .05 = 53.60 Points 1/2 points must be trees 28.80 Points
Landscape in Street Yard required 1,072 SF		
Total Landscape in Street Yard provided 1,494 SF		
Street Yard Total Area 4,289 SF x 25% = 1,072 SF landscape provided 1,494 SF + 362 (+33%)		
Total Area Out side street yard 2,910 SF	Landscape provided 291 SF 333 SF 51 SF 260 SF 386 SF 100 SF Landscape 1,421 SF	Total Landscape Area Required 30% 873 SF 873 SF x .05 = 43.65 Points 1/2 points must be trees 21.82 Points
Total Landscape Area Required 30% 873 SF		
	Area Outside Street Yard 2,910 SF X 30% = 873 SF Landscape Provided 1,421 SF +548 SF	

STREET YARD [§142.0404 - §142.0405]		
Planting Area Required	Planting Area Provided	Excess Area Provided
Total Area 4,289 sq. ft. x 25% = 1,072 sq. ft.	1,494 sq. ft.	362 sq. ft.
Plant Points Required	Plant Points Provided	Excess Points Provided
Total Area 4,289 sq. ft. x 0.05 = 214 points	559 points	345 points
Plant Points Achieved with Trees (50%)		310 points
REMAINING YARD [§142.0404 - §142.0405]		
Planting Area Required	Planting Area Provided	Excess Area Provided
Total Area 2,910 sq. ft. x 30% = 873 sq. ft.	1,421 sq. ft.	548 sq. ft.
Plant Points Required	Plant Points Provided	Excess Points Provided
Total Area 2,910 sq. ft. x 0.05 = 146 points	281 points	135 points
Plant Points Achieved with Trees (50%)		120 points

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 Upon request, this information is available in alternative formats for persons with disabilities.
 DS-4 (08-20) REV 10-11-22



DS-4 POINT DISTRIBUTION BY AREAS LEGEND

Plant Point Schedule Street yard					Plant Point Schedule Remaining Yard				
AREA	size	qty	plant	points	AREA	size	qty	plant	points
(1)	5-gal	5	2	10	(8)	5-gal	22	2	44
(2)	1-gal	7	1	7	(9)	5-gal	2	2	4
	5-gal	2	2	4		24"-box	1	20	20
	24"-box	1	20	20	(10)	1-gal	59	1	59
(3)	1-gal	54	1	54		5-gal	23	2	46
	5-gal	55	2	110		24"-box	3	20	60
	24"-box	1	20	20	(11)	1-gal	4	1	4
	36"-box	4	50	200		5-gal	2	2	4
(4)	1-gal	6	1	6		15-gal	2	10	20
	5-gal	2	2	4		24"-box	1	20	20
	24"-box	1	20	20	TOTAL REMAINING YARD POINTS	281			
(5)	5-gal	2	2	4					
	24"-box	1	20	20					
(6)	1-gal	12	1	12					
	5-gal	3	2	6					
	15-gal	4	10	40					
(7)	5-gal	1	2	2					
	15-gal	2	10	20					
TOTAL STREET YARD POINTS	559								

landscape within Street Yard



FORM DS-4 STREET AND REMAINING YARD LANDSCAPE CALCULATIONS WORKSHEET & LEGEND

Landscape Calculations Worksheet DS-4 Plant Points Provided; Table 142-04B				
Street Yard				
Shrubs	Size	Qty	points per plant	points
	1-gal	79	1	79
	5-gal	70	2	140
Trees	Size	Qty	points per plant	points
	15-gal	6	10	60
	24"-box	4	20	80
	36"-box	4	50	200
	subtotal trees			340
	Total Points			559
Remaining Yard				
Shrubs	Size	Qty	points per plant	points
	1-gal	63	1	63
	5-gal	49	2	98
Trees	Size	Qty	points per plant	points
	15-gal	2	10	20
	24"-box	5	20	100
	36"-box	0	50	0
	subtotal trees			120
	Total Points			281
All Landscape Points				142
				238
Total shrub points				380
Total tree points				460
Total Points				840

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3-16-22
Revisions performed by : DATE
MG : 3-25-22
MG : 4-29-22
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MG : 10-11-22
CF : 06-27-23
CF : 09-05-23
Scale 1/8"=1'-0"
Sheet 2 of 3
L-2

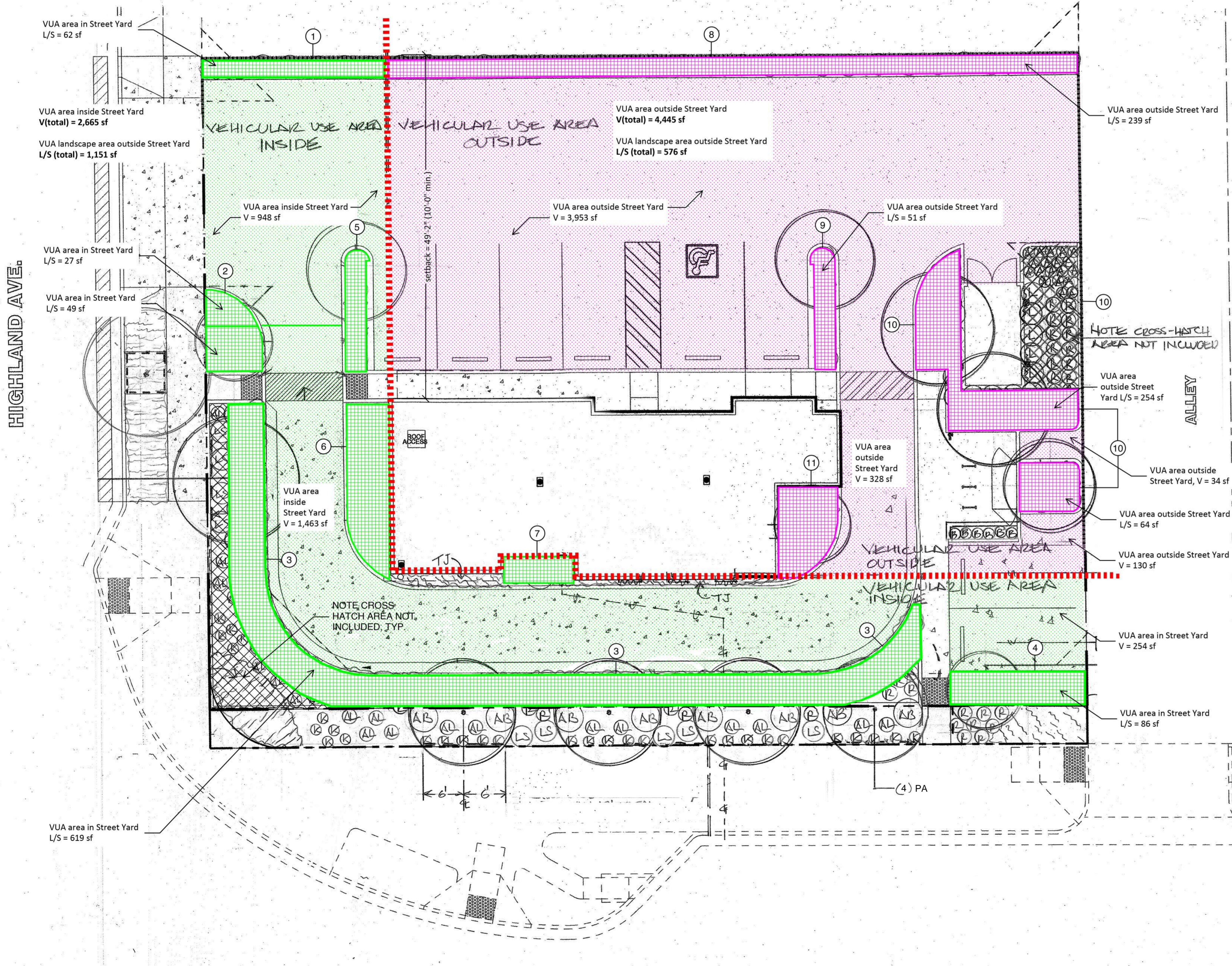


Provide the following information on the Landscape Plans. The Landscape Calculations determine the planting area and plant points required by the Landscape Regulations, Chapter 14, Article 2, Division 4 of the Land Development Code. Refer to §142.0403 Table 142-04B for proposed and existing plant point schedule.

- At least one-half of the required planting points shall be achieved with trees.
- If any of the requirements of Landscape Regulations, Section 142.0405(a) 1, 2, and 3 apply to your project, provide a written summary explaining how requirements are being met.

VEHICULAR USE AREA (≥6,000 sf) [§142.0406 - §142.0407]			
	Planting Area Required	Planting Area Provided	Excess Area Provided
VUA inside Street Yard	2,665 sq. ft. x 0.05 = 133 sq. ft.	1,151 sq. ft.	1,018 sq. ft.
VUA outside Street Yard	4,445 sq. ft. x 0.03 = 222 sq. ft.	576 sq. ft.	354 sq. ft.
Plant Points Required			
VUA inside Street Yard	2,665 sq. ft. x 0.05 = 133 points	537 points	404 points
VUA outside Street Yard	4,445 sq. ft. x 0.03 = 222 points	244 points	22 points
Plant Points Achieved with Trees (50%)			
		340 points	
Plant Points Achieved with Trees (50%)			
		120 points	

VUA Within Street Yard total	VUA Area outside street yard
V 948 SF !	V 3,953 SF !
1,463 SF !	V 328 SF !
V 254 SF !	V 130 SF !
	V 34 SF !
2,665 SF & Less than 6,000	V 4,445 SF !
5% = 133.25 SF & planting area required	3% = 222 SF &
VUA Landscape Area in Street Yard (Provided)	VUA Landscape Area outside street yard (Provided)
104 SF !	239 SF !
619 SF ! 27 SF !	51 SF ! 113 SF !
62 SF ! 48 SF !	89 SF ! 84 SF !
86 SF ! 204 SF !	
1,151 SF !	576 SF !



DS-5 (VUA) POINT DISTRIBUTION BY AREAS LEGEND

Plant Point Schedule					Plant Point Schedule				
Inside AREA	size	qty	points per plant	points	Outside AREA	size	qty	points per plant	points
1	5-gal	5	2	10	8	5-gal	22	2	44
2	1-gal	7	1	7	9	5-gal	2	2	4
	5-gal	2	2	4		24"-box	1	20	20
	24"-box	1	20	20	10	1-gal	32	1	32
3	1-gal	46	1	46		5-gal	18	2	36
	5-gal	47	2	94		24"-box	3	20	60
	24"-box	1	20	20	11	1-gal	4	1	4
	36"-box	4	50	200		5-gal	2	2	4
4	1-gal	6	1	6		15-gal	2	10	20
	5-gal	2	2	4		24"-box	1	20	20
	24"-box	1	20	20	STREET YARD OUTSIDE TOTAL 244				
5	5-gal	3	2	6					
	24"-box	1	20	20					
6	1-gal	12	1	12					
	5-gal	3	2	6					
	15-gal	4	10	40					
7	5-gal	1	2	2					
	15-gal	2	10	20					
STREET YARD INSIDE TOTAL 537									

Landscape Calculations Worksheet DS-5 Vehicular Use Area (VUA)				Landscape Calculations Worksheet DS-5 Vehicular Use Area (VUA)			
Plant Points Provided; Table 142-04B				Plant Points Provided; Table 142-04B			
VUA inside Street Yard				VUA outside Street Yard			
Shrubs	Size	Qty	points per plant	Shrubs	Size	Qty	points per plant
	1-gal	71	1		1-gal	36	1
	5-gal	63	2		5-gal	44	3
Trees	Size	Qty	points per plant	Trees	Size	Qty	points per plant
	15-gal	6	10		15-gal	2	10
	24"-box	4	20		24"-box	5	20
	36"-box	4	50		36"-box	0	50
			subtotal trees				subtotal trees
			340				120
			Total Points 537				Total Points 288



FORM DS-5 VEHICLE USE AREA
LANDSCAPE CALCULATION WORKSHEET & LEGEND

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Revisions performed by	DATE
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MG	4-29-22
MG	8-13-22
MG	10-11-22
CF	06-27-23
CF	09-05-23

Scale 1/8"=1'-0" Sheet 3 of 3
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