



THE CITY OF SAN DIEGO

Report to the Planning Commission

DATE ISSUED: October 21, 2023 REPORT NO. PC-23-037

HEARING DATE: November 2, 2023

SUBJECT: American Tower AT&T Tecolote Relo, Process Five Decision

PROJECT NUMBER: [1071544](#)

OWNER/APPLICANT: Sorrento Towers Housing Partners, Owner, and AT&T/American Tower Corporation, Permittees

SUMMARY

Issue(s): Should the Planning Commission recommend to the City Council approval of a Conditional Use Permit for modification of an existing Wireless Communication Facility (WCF) located at 2875 Cowley Way in the RM-3-7 Zone of Clairemont Mesa Community Plan Area?

Staff Recommendations:

1. Approve Conditional Use Permit (CUP) No. 3184904; and
2. Approve Site Development Permit (SDP) No. 3235043.

Community Planning Group Recommendation: The Clairemont Mesa Community Planning Group voted 4-0-0, on May 16, 2023, to recommend approval of the project without any conditions (Attachment 6).

Environmental Review: This project was determined to be categorically exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15302 (Replacement or Reconstruction). The project is not pending an appeal of the environmental determination (Attachment 9)

Fiscal Impact Statement: None with this action. All costs associated with the processing of this project are paid from a deposit account maintained by the applicant.

Code Enforcement Impact: None with this action.

Housing Impact Statement: This project application is for a WCF and is located on an existing residential development. There will be no impact to the existing developed dwelling units.

BACKGROUND

The project is proposing a modification of an existing Wireless Communication Facility (WCF) on the roof of the existing apartment building, behind Fiber Glass Reinforced Panels (FRP). The modification consists of removing six (6) antennas and installing nine (9) antennas with upgrading of the equipment inside a mechanical room on the 14th floor (Attachments 1-3). The project is located at 2875 Cowley Way within the RM-3-7 Zone and the Clairemont Mesa Height Limit Overlay Zone in the Clairemont Mesa Community Plan. The site is surrounded by residential uses to the North, and South, commercial use to the west and Tecolote open space and Golf Course to the east. This is a colocation site- Sprint antennas located within the penthouse on the roof.

The original permit was approved by the City Council on May 28, 1996. The CUP included a 10-year expiration date to allow for any upgrade and change in technology. The subsequent CUP, approved on March 13, 2012, was a major improvement over what was approved originally because it removed all exposed antennas from the surface of the building and concealed them behind an FRP screen, that was painted to match and architecturally integrate with the building.

The overall height of the building is 140-feet, 9-inches that includes the 11-feet and 9-inches FRP parapet, partially screen that does not increase the height of the building. The building is previously conforming and was constructed prior to the adoption of the Clairemont Mesa Height Limit Overlay Zone (CMHLOZ). The height limit in the RM-3-7 Zone is 40-feet. The modification of the antennas behind the FRP will not impact or increase the height of the parapet screen and there is no visual impact to the surrounding areas.

WCFs are allowed in the Residential zone with approval of a Conditional Use Permit (CUP) pursuant to San Diego Municipal Code (SDMC) sections [126.0302\(b\)](#), and [141.0420. \(c\)\(2\)\(B\)](#) Process Four, Planning Commission.

Pursuant to SDMC section [126.0502 \(e\)\(3\)](#) a Site Development Permit, a Process Five City Council approval, is required for development in the Clairemont Mesa Height Limit Overlay Zone (CMHLOZ), for which an exception to the height limit is requested. Processing of this SDP meets the requirement.

DISCUSSION

Project Description:

The project is a modification of an existing Wireless Communication Facility (WCF) on the roof of an existing building, behind Fiber Glass Reinforced Panels (FRP). The modification consists of removing six (6) antennas and installing nine (9) antennas and upgrading of the equipment inside a mechanical room on the 14th floor.

Pursuant to SDMC section [141.0420](#) for WCFs, various camouflaging techniques shall be employed to reduce all visual impacts. There is no addition or modification to the exterior of the mechanical screen on the roof, therefore the project does not pose any visual impact to the surrounding area. The antennas are proposed to be replaced behind the parapet wall and the upgrade of the equipment is inside the 14th floor equipment room, inside the building. The project complies with the Wireless Facility Guidelines as a Complete Concealment Facility and therefore, will not include a permit expiration. All antennas, equipment and cables will be concealed as required by the [WCF Design Guidelines Section 2\(a\)\(b\)\(c\)](#) Completely Concealed and Integrated Facilities (CCIFs).

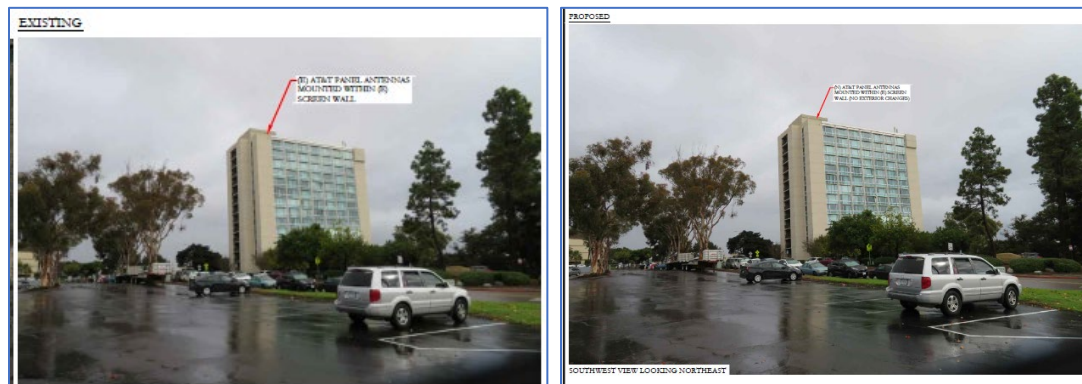


Figure 1. Existing and proposed antennas behind roof screening

WCFs are permitted in all zones Citywide with the appropriate permit process. Council Policy 600-43 assigns preference levels to WCFs proposed on different land uses, with Preference 1 being the highest and Preference 4 the lowest. The most preferred locations being Preference 1 which are generally non-residential uses/zones and are permitted ministerially and the least preferred locations are residential uses in residential zones and are Preference 4, requiring a Process Four, CUP. This project is located in a multi-family zone on a residential building, which is a Preference 4, according to the Council Policy.

Pursuant to SDMC section [141.0420\(c\)\(2\)\(B\)](#), the project requires a CUP Process Four when a WCF is located in a residential zone on a premises that contains residential development. The project is located in the Clairemont Mesa Height Limit Overlay Zone, which has a maximum height limit of 30 feet. Pursuant to SDMC section [132.1305\(a\)](#), the project requires a SDP Process Five for the alteration of existing structures that will increase the height of the structure. Consistent with the SDMC section [112.0103](#), when an applicant applies for more than one permit, map, or other approval for a single development, the applications will be consolidated for processing and shall be reviewed by a single decision maker at the highest level of authority for that development. Therefore, the project as proposed would require a Process Five, Planning Commission recommendation and City Council approval.

The Telecommunication Act of 1996 preempts local governments from regulating the "placement, construction and modification of wireless communication facilities on the basis of the environmental effects of Radio Frequency (RF) emissions to the extent that such facilities comply with the Federal Communication Commission's (FCC) standards for such emissions." A Radio Frequency Electromagnetic Energy (RF-EME) Compliance Report dated May 16, 2022, from EBI Consulting was submitted to the City verifying that the proposed project meets or exceeds the requirements of the

FCC upon implementation of proposed remediation. The report will be stamped as Exhibit "A" and provided within the project file.

Community Plan Analysis:

The [Clairemont Mesa Community](#) Plan does not address WCFs as a specific land use. However, the General Plan, Section [UD-A.15](#), states that WCFs should be concealed in existing structures when possible, or otherwise use camouflage and screening techniques to hide or blend the facilities into the surrounding area. The plan also calls for these facilities to be designed to be aesthetically pleasing and respectful of the neighborhood context. Furthermore, the plan states that equipment associated with wireless facilities shall be concealed from view.

This site has been in this location for over 20 years and has been providing vital data and communication services to the surrounding area. The antennas have been modified in the past to remain in compliance with the WCF for regulations for design and camouflaging. The antennas are screened behind the FRP mechanical screens on the roof and are not visible from the surrounding areas due to the building height. Therefore, staff has determined that the proposed WCF design as is consistent with the General Plan requirements for concealment of the WCFs,

The Clairemont Mesa Community Planning Group Voted 4-0-0, on May 23, 2023, to recommend approval of the project without any conditions.

Environmental Analysis:

This project was determined to be categorically exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15302. CEQA Section 15302 allows for the replacement or reconstruction of existing structures and facilities where the new structure will be located on the same site and will have substantially the same purpose and capacity as the structure being replaced. The proposed project is the continued use of an existing WCF with minor modification that includes removing and replacing of six antennas and addition of three new ones behind screening with upgrading equipment inside the building.

Council Policy 600-43:

Council Policy [600-43](#) guidelines establish hierarchy from the most preferred location (Preference 1) to the least preferred location (Preference 4) for WCFs. The project is proposed within a Preference 4 location according to Council Policy 600-43, which categorizes WCF's according to land use in which they are located. The applicant is required to submit a site justification explaining why a Preference 4 site was selected over any lower Preference level sites. The coverage ring and the existing coverage consists of residential and commercial uses nearby. However, this site is the only viable candidate at the current height which is needed to maintain the necessary coverage objective. As a result, AT&T is proposing to remain at this location while maintaining the existing coverage for the area.

Project-Related Issues:

Deviation- The project is located in the Clairemont Mesa Height Limit Overlay Zone and requires a

SDP Process Five to mitigate a development over the 30-foot height limit. This SDP is decided in accordance with Process Five, provided that the findings in SDMC section 126.0505 are made. The following Table 1 is a matrix of the proposed deviation:

DEVIATIONS SUMMARY			
Table 1			
Deviation Description	Deviation from SDMC	Allowed/Required	Proposed
Maximum Height Limit	SDMC Section 132.1306 and Table 132-13A	30-feet	Development increases height from 141' to 149'

Justification- Other carriers have had WCFs on the site since 1995. The use of the building for the WCFs is preferred as it allows the carriers the additional height to provide service over a larger area. The City of San Diego prefers carriers to collocate on a single structure to reduce the amount of WCF's structures on a parcel. The modification of the existing WCF will provide critical voice and data service throughout the surrounding area. Coverage maps demonstrate the new coverage provided on the property and the loss of coverage without the construction of the WCF (Attachment 10).

The above deviation has been analyzed by staff and determined to be consistent with the goals and recommendations of the City of San Diego's General Plan (UD-A.15), Clairemont Mesa Community Plan, and the purpose and intent of the Wireless Communication Facility Ordinance (SDMC section 141.0420). The project has been designed to integrate into the surrounding community and would not adversely impact the public's health or safety. The new increased service will have a significant beneficial impact on customers and essential emergency communication services.

Conclusion:

The project has been determined by staff to be consistent with the purpose and intent of the Wireless Communication Ordinance ([SDMC section 141.0420](#)), the [Wireless Design Guidelines](#), and [Council Policy 600-43](#). City staff has prepared draft findings in affirmative to approve the project and recommends approval of CUP No. 3184904 and SDP No. 3235043 (Attachment4).

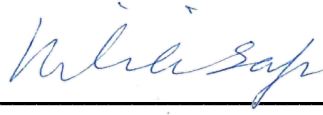
ALTERNATIVES

1. RECOMMEND the City Council to approve CUP No. 3184904 and SDP No. 3235043, modifications of an existing Wireless Communication Facility; or
2. DO NOT RECOMMEND the City Council to approve CUP No. 3184904 and SDP No. 3235043, modifications of an existing Wireless Communication Facility, if the City Council makes written findings based on substantial evidence that the approval is not authorized by state or local zoning law.

Respectfully submitted,



Simon Tse
Supervising Development Project Manager
Development Services Department

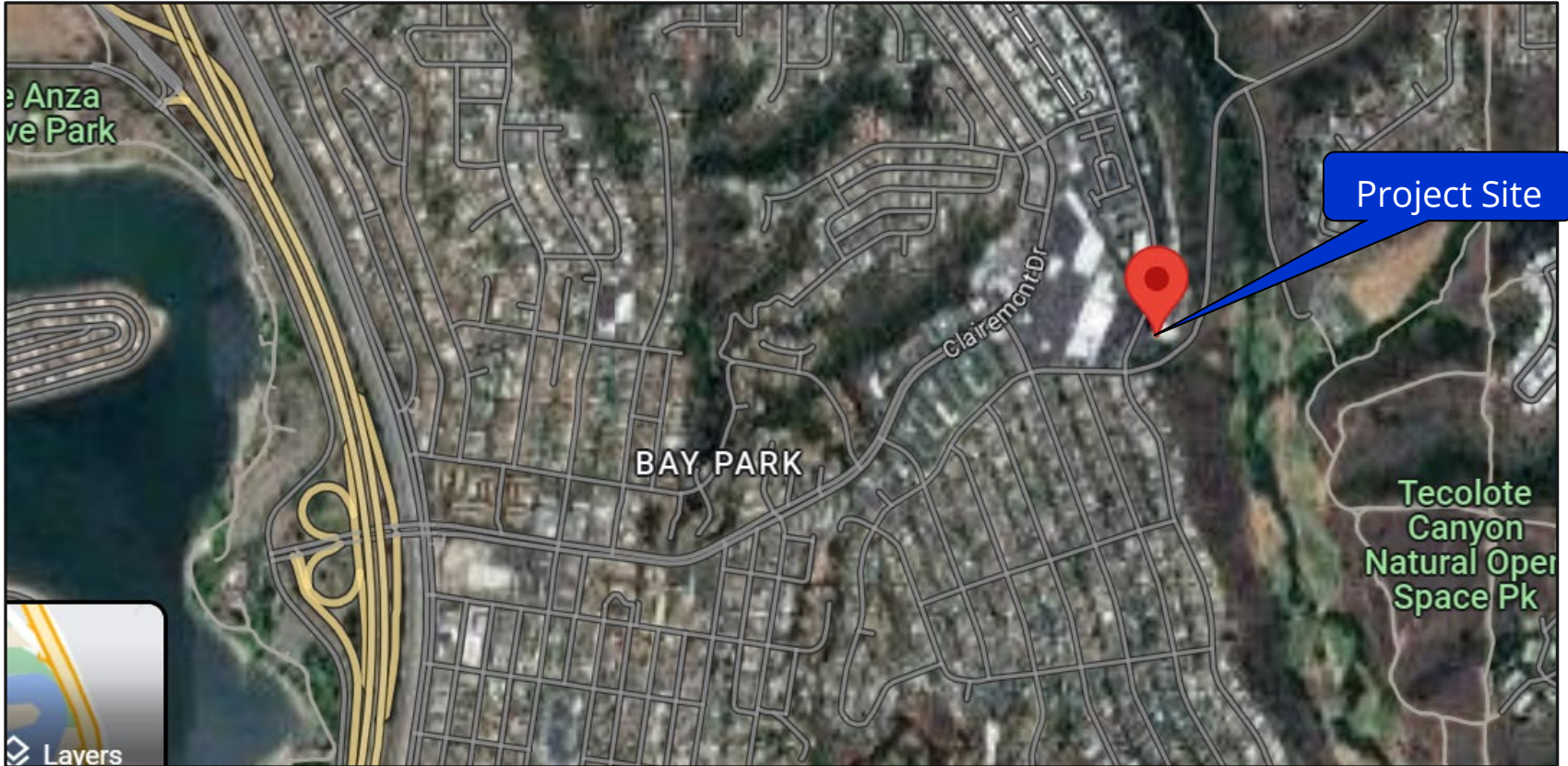


Nilia Safi
Development Project Manager
Development Services Department

Attachments:

1. Aerial Photographs
2. Community Plan Land Use Map Project Location Map
3. Draft Permit with Conditions
4. Draft Permit Resolution with Findings
5. Community Planning Group Vote
6. Photo Simulations
7. Photo Survey
8. Environmental Exemption
9. Project Plans
10. Site Justification
11. Project Ownership Form

Aerial Photograph

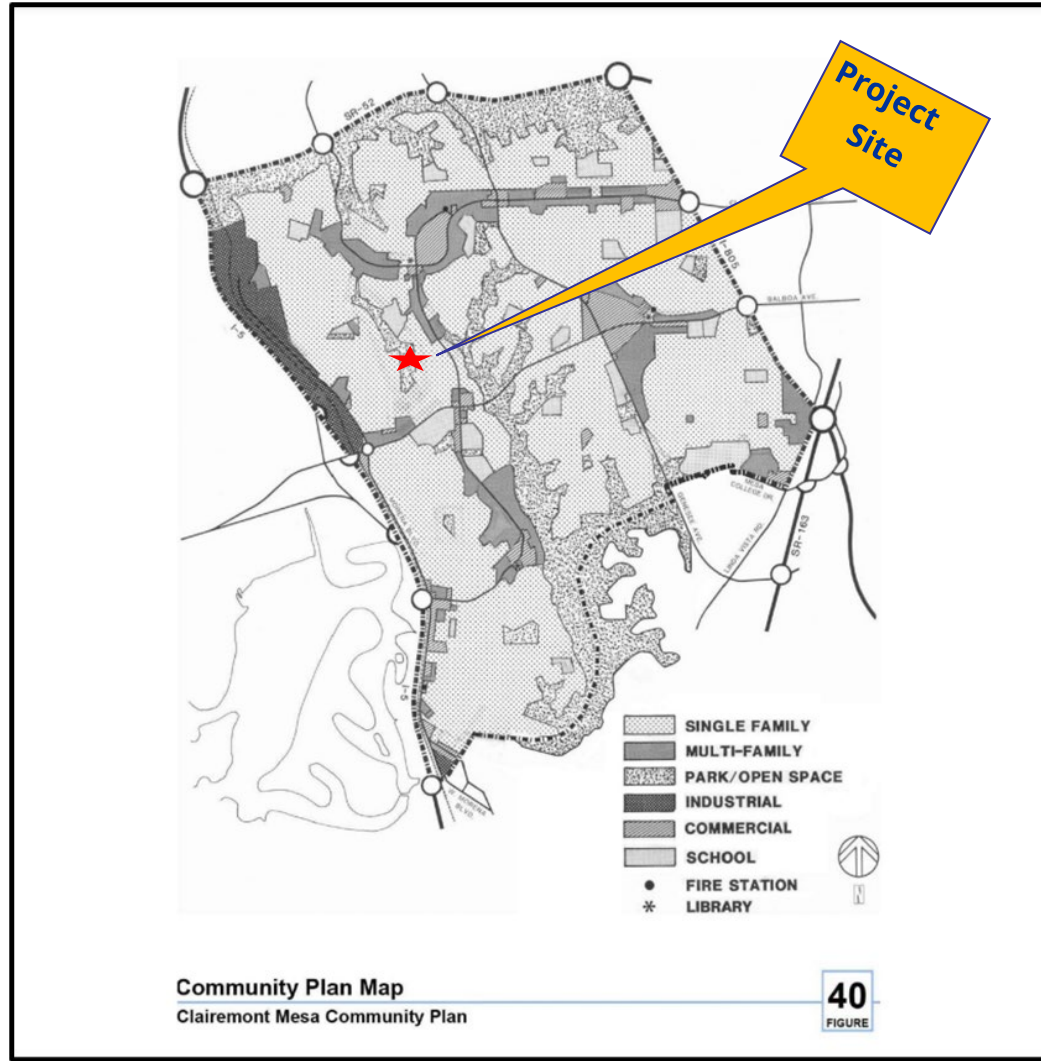


ATC AT&T Tecolote Relo Project No. 1071544
2875 Cowley Way

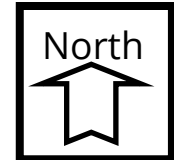


ATTACHMENT 1

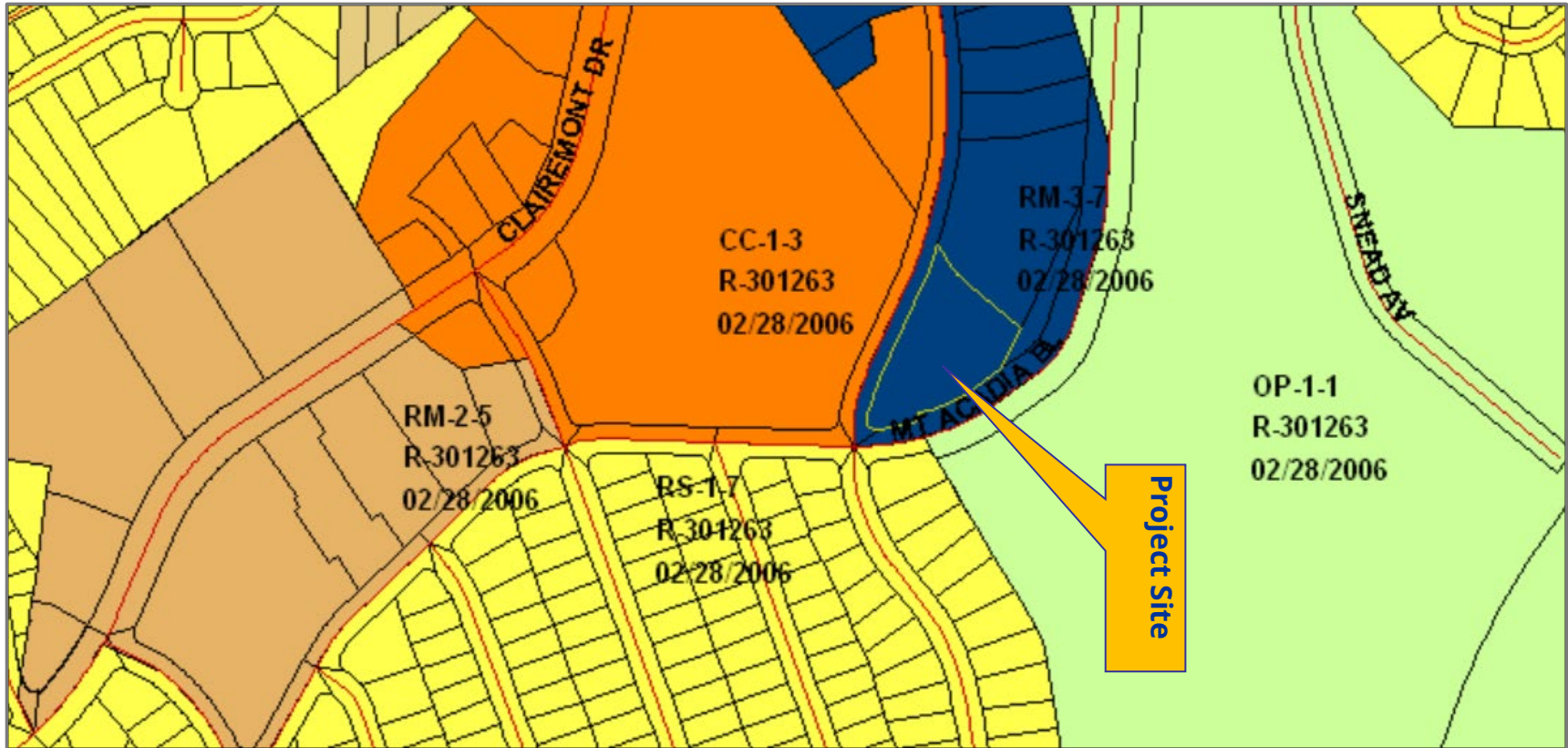
Clairmont Mesa Community Land Use Map



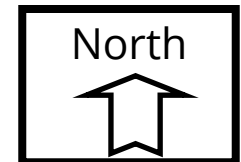
ATC AT&T Tecolote Relo Project No. 1071544
2875 Cowley Way



Project Location Map



ATC AT&T Tecolote Relo Project No. 1071544
2875 Cowley Way



RECORDING REQUESTED BY
CITY OF SAN DIEGO
DEVELOPMENT SERVICES
PERMIT INTAKE, MAIL STATION
501

Or
WHEN RECORDED MAIL TO
PROJECT MANAGEMENT
PERMIT CLERK
MAIL STATION 501

INTERNAL ORDER NUMBER: 11004545

SPACE ABOVE THIS LINE FOR RECORDER'S USE

CONDITIONAL USE PERMIT No. 3184904
SITE DEVELOPMENT PERMIT No. 3235043
AMERICAN TOWER AT&T TECOLOTE RELO PROJECT NO.1071544
CITY COUNCIL

This Conditional Use Permit (CUP) PMT-3184904 and Site Development Permit PMT- 3235043 is granted by the City Council of the City of San Diego to Sorrento Tower Housing Partner, L.P., Owner, and American Tower Corporation/AT&T, Permittees, pursuant to San Diego Municipal Code [SDMC] Sections [141.0420](#), [126.0302](#), [132.0102](#), [131.0406](#) and [126.0501](#). The 1.4-acre site is located at 2875 Cowley Way in the RM-3-7 Zone, and Clairemont Mesa Height Overlay Zone (CMHOZ) within the Clairemont Mesa Community Plan.

The project site is legally described as: Lot 6 of Forest Park Plaza, in the City of San Diego, County of San Diego, State of California, according to map thereof No. 7522, filed in the Office of the County Recorder of San Diego County, January 5, 1973.

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner/ Permittee for a Wireless Communication Facility (WCF) described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated XXXX, 2023, on file in the Development Services Department.

The project shall include:

- Modification of an existing Wireless Communication Facility (WCF), on the roof an existing building behind Fiber Glass Reinforced Panels (FRP); the project consists of removing six (6) antennas and installing nine (9) antenna and upgrading of equipment inside a mechanical room on the 14th floor.
- Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act [CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

STANDARD REQUIREMENTS:

1. This Permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36-month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by XXXX, 2026.
2. The above utilization date notwithstanding, the granting of this discretionary permit does not entitle the continued operation of the existing, expired facility. Within 60 days of permit approval, applications must be made for all required construction permits. Within 90 days of application, all required construction permits must be issued. Within 90 days of permit issuance, final inspection must be obtained.
3. The project complies with the Wireless Communication Facility Guidelines as a Complete Concealment Facility and as a result, the permit does not contain an expiration date. The Owner/Permittees shall maintain the appearance of the approved facility to the condition set forth in this permit unless the WCF that is the subject of this Permit is removed and restored to its original condition.
3. No later than ninety (90) days prior to the expiration of this approval, the Owner/Permittee may submit a new application to the Development Services Department for consideration with review and a decision by the appropriate decision maker at that time. Failure to submit prior to the deadline will be cause for enforcement for noncompliance, which may include penalties and fines.
4. Under no circumstances does approval of this Permit authorize the Owner/Permittee to utilize this site for WCF purposes beyond the permit expiration date. Use of this Permit approval beyond the expiration date of this permit is prohibited.
5. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
 - a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
 - b. The Permit is recorded in the Office of the San Diego County Recorder.
6. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.

7. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.

8. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.

9. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).

10. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.

11. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.

12. All of the conditions contained in this Permit have been considered and were determined necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

13. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the

litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by the Owner/Permittee.

ENGINEERING REQUIREMENTS:

14. Prior to the issuance of any construction permit, the Owner/Permittee shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be prepared in accordance with the guidelines in Part 2 Construction BMP Standards Chapter 4 of the City's Storm Water Standards.

WCF-TELECOM REQUIREMENTS:

15. Every aspect of this project is considered an element of concealment including but not limited to the dimensions, bulk and scale, color, materials and texture. Any future modification to this permit must not defeat concealment.

16. The WCF shall conform to the approved construction plans.

17. Photo simulations shall be printed in color on the construction plans.

18. The City may require the Owner/Permittee to provide a topographical survey conforming to the provisions of the SDMC may be required if the City determines during construction, that there may be a conflict between the building(s) under construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Owner/Permittee.

19. The Owner/Permittee shall install and maintain appropriate warning signage on the WCF as required by State and Federal regulations. The Owner/Permittee shall be responsible for complying with all State and Federal regulations.

20. The accuracy and validity of the RF Compliance Report, submitted by the Permittee, shall be assured while the WCF is in operation. If requested by the City, Owner/Permittee shall provide an updated RF Compliance Report to address any issues associated with the emitting components of the WCF.

21. All equipment, including transformers, emergency generators and air conditioners belonging to the Owner/Permittee shall be designed and operated consistent with the City noise ordinance. Ventilation openings shall be baffled and directed away from residential areas. Vibration resonance of operating equipment in the equipment enclosures shall be eliminated.

22. All facilities and related equipment shall be maintained in good working order. Any damaged equipment shall be repaired or replaced within thirty (30) calendar days of notification by the City of San Diego.

23. FRP should be textured and painted to match adjacent building faces at all times. Paint and texture should match completely and FRP should include finishing features such as reveals, windows, tapers, cornices, tiling, roofing materials, and/or trim.

24. There should be no noticeable transitions between FRP and adjacent surfaces at any time, be they paint, texture, or seam.
25. All private outdoor lighting shall be shaded and adjusted to fall on the same premises where such lights are located and in accordance with the applicable regulations in the SDMC.
26. The Owner/Permittee shall notify the City within thirty (30) calendar days of the sale or transfer of this site to any other provider or if the site is no longer operational, in which case, the removal and the restoration of this site to its original condition is required.

INFORMATION ONLY:

- Please note that a Telecom Planning Inspection Issue will be placed on the project prior to Final Clearance from the City's Building Inspector to ensure compliance with the approved plans and associated conditions. Prior to calling for your Final Inspection from your building inspection official, please contact the Development Services Department Wireless Communication Facilities staff listed on City webpage, <https://www.sandiego.gov/development-services/codes-regulations/wireless-communication-facilities>, to schedule an inspection of the completed facility. Please schedule this administrative inspection at least five working days ahead of the requested Final Inspection date.
- The issuance of this development permit alone does not allow the immediate commencement or continued operation of the proposed use on site. The operation allowed by this discretionary permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the City Council of the City of San Diego on XXXX, 2023 and Resolution No. XXXX.

Permit Type PTS Approval NO.: CUP No. 3184904
SDP No. 3235043
Date of Approval: XXXX, 2023

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES DEPARTMENT

Nilia Safi
Development Project Manager

**NOTE: Notary acknowledgment
must be attached per Civil Code
section 1189 et seq.**

The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of
this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

[Sorrento Tower Housing Partners L.P.]

Owner

By _____

NAME

TITLE

[AT&T] Permittee

By _____

NAME

TITLE

[AMERICAN TOWER CORPORATION]

Permittee

By _____

NAME:

TITLE:

**NOTE: Notary acknowledgments
must be attached per Civil Code
section 1189 et seq.**

CITY COUNCIL RESOLUTION NO. XXXX
Conditional Use Permit (CUP) No. 3184904
Site Development Permit (SDP) No. 3235043
American Tower AT&T TECOLOTE RELO - PROJECT NO. 1071544

WHEREAS, Sorrento Tower Housing Partners, L.P., Owner, and American Tower Corporation and AT&T Mobility, Permittees, filed an application with the City of San Diego for a Conditional Use Permit (CUP) and a Site Development Permit (SDP) for a Wireless Communication Facility (WCF) as American Tower AT&T Tecolote Relo (Project) located at 2875 Cowley Way in the RM-3-7 Zone, and Clairemont Mesa Height Overlay Zone (CMHOZ) within the Clairemont Mesa Community Plan area and legally described as Lot 6 of Forest Park Plaza, in the City of San Diego, County of San Diego, State of California, according to map thereof No. 7522, filed in the Office of the County Recorder of San Diego County, January 5, 1973.;

WHEREAS, on XXXX, 2023, the City of San Diego, as Lead Agency, through the Development Services Department, made and issued an Environmental Determination that the project is exempt from the California Environmental Quality Act (CEQA) (Public Resources Code Section 21000 et seq.) under CEQA Guideline Section 15302 (Replacement or Reconstruction); and there was no appeal of the Environmental Determination filed within the time period provided by San Diego Municipal Code section 112.0520;

WHEREAS, on November 2, 2023, the Planning Commission of the City of San Diego considered Conditional Use Permit (CUP) No. 3184904 and Site Development Permit (SDP) No. 3235043 pursuant to Resolution No. XXXX_PC voted to recommend approval of the Permit; and

WHEREAS, under Charter section 280(a)(2) this Resolution is not subject to veto by the Mayor because this matter requires the City Council to act as a quasi-judicial body and where public hearing was required by implicating the due to process rights of individuals affected by the

decision and where the Council was required by law evidence at the hearing and to make legal findings based on the evidence presented; and

WHEREAS, the Office of the City Attorney has drafted this Resolution based on the information provided by City staff, with the understanding that the information is complete, true, and accurate; NOW, THEREFORE,

BE IT RESOLVED by the City Council of the City of San Diego, that it adopts the following findings with respect to CUP No. 3184904 and SDP No. 3235043:

Findings for CONDITIONAL USE PERMIT [126.0305]:

(1) Findings for all Conditional Use Permits:

a. The proposed development will not adversely affect the applicable land use plan.

The project is a modification of an existing Wireless Communication Facility (WCF) on the roof of an existing apartment building, behind Fiber Glass Reinforced Panels (FRP). The modification consists of removing six (6) antennas and installing nine (9) antennas with upgrading of the equipment inside a mechanical room on the 14th floor.

American Tower and AT&T is requesting a new permit to continue the use of the existing site with a minor modification to remove and replace antennas without any changes to the exterior of the parapet.

The Clairemont Mesa Community Plan defers all WCFs to the WCF Guidelines, regulations and the General Plan. The City of San Diego General Plan requires all wireless facilities to minimize visual impacts under [UD-A.15.a](#). It also includes the following provisions: A) Conceal wireless facilities in existing structures, when possible, otherwise use camouflage and screening techniques to hide or blend them into the surrounding area; B) Design facilities to be aesthetically pleasing and respectful of the neighborhood context; and C) Conceal mechanical equipment and devices associated with wireless facilities in underground vaults or unobtrusive structures.

The project is proposing minor modifications to an existing project that includes removing six antennas and replacing it with nine antennas behind an existing parapet on the roof with minimal impact to the exterior of the parapet. The project design conceals existing structures by using screening techniques, such as FRP screens that are painted and textured to match exiting roof top screens to ensure an aesthetically pleasing set up. All antennas, equipment and cables will be concealed

as required by the [WCF Design Guidelines](#) Section [2\(a\)\(b\)\(c\)](#) Completely Concealed and Integrated Facilities (CCIFs).

Therefore, the proposed modification of the WCF is minor, will not adversely affect the applicable land use, and is compatible with the City of San Diego General Plan for WCFs.

b. The proposed development will not be detrimental to the public health, safety, and welfare; and

The project is a modification of an existing Wireless Communication Facility (WCF) on the roof of an existing apartment building, behind FRP. The modification consists of removing six (6) antennas and installing nine (9) antennas with upgrading of the equipment inside a mechanical room on the 14th floor.

American Tower and AT&T is requesting a new permit to continue the use of the existing site with a minor modification to remove and replace antennas without any changes to the exterior of the parapet.

The project was determined to be exempt from CEQA Guidelines section 15302 (Replacement or Reconstruction). The conditions of approval for the project will require compliance with several operational constraints and development controls intended to assure continued public health, safety, and welfare. All proposed improvement plans associated with the project will be reviewed prior to issuance of construction permits and inspected during construction to assure the project will meet or exceed all relevant and applicable building, electrical, mechanical, plumbing and fire codes.

The Telecommunication Act of 1996 preempts local governments from regulating the "placement, construction and modification of wireless communication facilities on the basis of the environmental effects of Radio Frequency (RF) emissions to the extent that such facilities comply with the Federal Communication Commission's (FCC) standards for such emissions." The proposed project would be consistent with the FCC's regulations for wireless facilities. AT&T has submitted an RF Report, dated May 16, 2022, demonstrating compliance with the required FCC regulations and Environmental Regulations.

Therefore, based on the above, the project would not result in any significant health or safety risks to the surrounding area within matters of City's jurisdiction.

c. The proposed development will comply with the regulations of the Land Development Code including any allowable deviations pursuant to the Land Development Code.

The project is a modification of an existing WCF on the roof of an existing building, behind Fiber Glass Reinforced Panels (FRP). The modification consists of removing six (6) antennas and installing nine (9) antennas with upgrading of the equipment inside a mechanical room on the 14th floor.

Pursuant to San Diego Municipal Code (SDMC) section [141.0420\(e\)\(1\)\(2\)](#), WCFs should utilize the smallest, least visually intrusive antennas, components, and other necessary equipment. In addition, the applicant shall use all reasonable means to conceal or minimize the visual impacts of the WCFs through integration and installation on existing structures. Integration with existing structures or among other existing uses shall be accomplished through the use of architecture, landscape, and sitting solutions.

The existing building is previously conforming and was constructed prior to the adoption of the CMHLOZ. The height limit in the RM-3-7 Zone is 40-feet. The overall height of the building is 140-feet, 9-inches that includes the 11-foot and 9-inches FRP parapet. The existing WCF permit has expired, and the project is considered a new project to be reviewed under the current Wireless Communication Facility regulations (SDMC section 141.0420). The modification of the antennas behind the FRP will not impact or increase the height of the parapet screen and there is no visual impact to the surrounding areas.

The original permit was approved by the City Council on May 28, 1996. The CUP included a 10-year expiration date to allow for any upgrade and change in technology. The subsequent CUP, approved on March 13, 2012, was a major improvement over what was approved originally because it removed all exposed antennas from the surface of the building and concealed them behind an FRP screen, that was painted to match and architecturally integrate with the building.

American Tower and AT&T is requesting a new permit to continue the use of the existing site with a minor modification to remove and replace antennas without any changes to the exterior of the parapet. The project design conceals existing structures by using screening techniques, such as FRP screens that are painted and textured to match exiting roof top screens to ensure an aesthetically pleasing set up. All antennas, equipment and cables will be concealed as required by the [WCF Design Guidelines Section 2\(a\)\(b\)\(c\)](#) Completely Concealed and Integrated Facilities (CCIFs). Therefore the modification is not creating any visual impact and the antennas are screened behind FRP screens as required by our [WCF Design Guidelines](#).

Therefore, the proposed development will comply with the regulations of the Land Development Code including any allowable deviations pursuant to the Land Development Code can be supported due to the design, coverage, and integration.

d. The proposed use is appropriate at the proposed location.

The project is a modification of an existing WCF on the roof of an existing building, behind FRP. The modification consists of removing six (6) antennas and installing nine (9) antennas with upgrading of the equipment inside a mechanical room on the 14th floor.

The original CUP was approved by the City Council in May of 1996. The latest CUP was approved by the City Council in March of 2012 which was a major improvement to the visual appearance of the façade, it pulled together several communication carriers that were scattered on the surface of the building, behind the FRP screens inside a mechanical screen on the roof.

This site is a multi-carrier WCF on the roof of a 14-story apartment complex (a previously conforming structure) located on a Preference 4 location per Council Policy 600-43. The justification for this location is predominately due to the ideal height and surrounding uses. The 14-story tall apartment complex provides an extended coverage footprint as highlighted in the coverage map and presents a design that is fully integrated and concealed resulting in a Complete Concealment Facility (CCF) designation. All CCF results in no future expiration dates. The project design conceals existing structures by using screening techniques, such as FRP screens that are painted and textured to match exiting roof top screens to ensure an aesthetically pleasing set up. All antennas, equipment and cables will be concealed as required by the WCF [Design Guidelines Section 2\(a\)\(b\)\(c\)](#) Completely Concealed and Integrated Facilities (CCIFs). Therefore, the proposed use with minor modification is appropriate at this location.

2. Findings for the Site Development Permit Section 126.0505

(a) The proposed development will not adversely affect the applicable land use plan.

See Finding 1. (a)

(b) The proposed development will not be detrimental to the public health, safety, and welfare; and

See Finding 1. (b)

(c) The proposed development will comply with the regulations of the Land Development Code including any allowable deviations pursuant to the Land Development Code.

The project is a modification of an existing Wireless Communication Facility (WCF) on the roof of an existing building, behind Fiber Glass Reinforced Panels (FRP). The modification consists of removing six (6) antennas and installing nine (9) antennas and upgrading of the equipment inside a mechanical room on the 14-floor.

Pursuant to SDMC section [126.0502 \(e\)\(3\)](#) a Site Development Permit (SDP) approval a Process Five City Council approval is required for development in the Clairemont Mesa Height Limit Overlay Zone (CMHLOZ), for which an exception to the height limit is requested. Processing of this SDP meets the requirement.

The original Conditional Use Permit (CUP) was approved by the City Council on May 28, 1996. The CUP had a 10-year expiration date, to allow for upgrades and changes to the technology and regulations. The latest CUP was approved by the City Council, on March 13, 2012, which was a major improvement to the visual appearance of the façade. It combined multiple communication carriers -that were scattered on the roof and façade of the building- behind the FRP designed mechanical screen on the roof.

The overall height of the building is 140-feet, 9-inches. The building is previously conforming and was constructed prior to the adoption of the (CMHLOZ). This site is a multi-carrier WCF on the roof of a 14-story apartment complex, a previously conforming structure that hides the antennas behind the existing FRP. The height limit in the RM-3-7 zone is 40-feet. The existing building height, while non-conforming to the CMHOZ, is ideal for a WCF to provide service to the surrounding areas, compared to the other adjacent properties that do not have the desired elevation.

The modification of the antennas does not impact the height of the existing building including the mechanical screen, therefore the proposed development will comply with the regulations of the Land Development Code including any allowable deviations pursuant to the Land Development Code.

Supplemental Findings--Clairemont Mesa Height Limit

(1) The granting of an exception will not significantly interfere with public views from western Clairemont Mesa to Mission Bay and the Pacific Ocean within the surrounding area;

The 14-story apartment building is located at the top of the ridge that is more than a mile from Mission Bay. The property drops down to a canyon to the east, so there is no impact to the view in the west. The building was constructed in 1989 prior to the adoption of the CMHLOZ. The modification of the antennas are inside the mechanical screen on the roof, and it will not have any impact to the existing structure. Therefore, due to the height and location of the building granting of an exception will not significantly interfere with public views from western Clairemont Mesa to Mission Bay and the Pacific Ocean within the surrounding area.

(2) The granting of an exception is appropriate because there are existing structures over 30 feet in height and the proposed development will be compatible with surrounding one, two, or three-story structures; or the granting of an exception is appropriate because there are topographic constraints peculiar to the land; or the granting of the exception is needed to permit roofline and facade variations, accents, tower elements, and other similar elements and the elements will not increase the floor area of the structure.

ATTACHMENT 5

The 14-story apartment building is located at the top of the ridge that is more than a mile from Mission Bay. The property drops down to a canyon to the east, so there is no impact to the view in the west. The building was constructed in 1989 prior to the adoption of the CMHLOZ. The modification of the antennas are inside the mechanical screen on the roof, and it will not have any impact to the existing structure.

The above findings are supported by the minutes, maps and exhibits, all of which are incorporated herein by this reference.

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the City Council, CUP No. 3184904 and SDP No. 3235043 is hereby GRANTED to SORRENTO TOWER HOUSING PARTNERS LP, Owner and AMERICAN TOWER CORPORATION and AT&T, Permittees, under the terms and conditions set forth in the attached permit which is made a part of this resolution.

APPROVED: XXX, City Attorney

By _____

[Attorney]

Deputy City Attorney

[Initials]:[Initials] [Month]/[Day]/[Year] Or.Dept:[Dept]

R-R-[Reso Code]

Page 3	City of San Diego · Information Bulletin 620	August 2018
	City of San Diego Development Services 1222 First Ave., MS-302 San Diego, CA 92101	Community Planning Committee Distribution Form
	Project Name: Sorrento Tower Cell Antenna	Project Number: PRJ:1071544
Community: Clairemont Mesa		
<p>For project scope and contact information (project manager and applicant), log into OpenDSD at https://aca.accela.com/SANDIEGO.</p> <p>Select "Search for Project Status" and input the Project Number to access project information.</p>		
<input checked="" type="radio"/> Vote to Approve <input type="checkbox"/> Vote to Approve with Conditions Listed Below <input type="checkbox"/> Vote to Approve with Non-Binding Recommendations Listed Below <input type="checkbox"/> Vote to Deny		Date of Vote: May 16, 2023
# of Members Yes 4	# of Members No 0	# of Members Abstain 0
Conditions or Recommendations: Motion to Approve as presented		
<input type="checkbox"/> No Action (Please specify, e.g., Need further information, Split vote, Lack of quorum, etc.)		
NAME: Nicholas William Reed		
TITLE: CCPG Chair	DATE: May 23, 2023	
<p align="center"><i>Attach additional pages if necessary (maximum 3 attachments).</i></p>		

Visit our web site at www.sandiego.gov/development-services.

Upon request, this information is available in alternative formats for persons with disabilities.

DS-5620 (08-18) ONLINE FORM



SD0880
 TECOLOTE RELO
 2875 COWLEY WAY,
 SAN DIEGO, CA 92110

Attachemnt 7



LOCATION



EXISTING



PROPOSED



SOUTHWEST VIEW LOOKING NORTHEAST

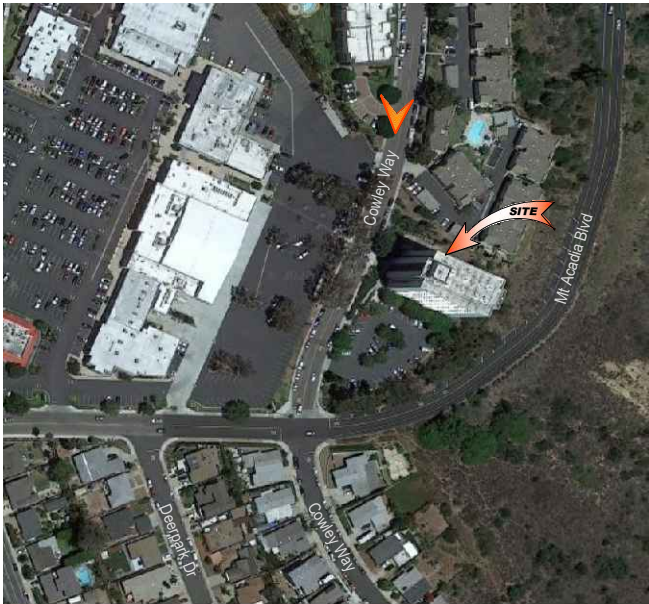


SD0880
 TECOLOTE RELO
 2875 COWLEY WAY,
 SAN DIEGO, CA 92110



Attachment

LOCATION



EXISTING



PROPOSED



NORTH VIEW LOOKING SOUTH



SD0880
TECOLOTE RELO
 2875 COWLEY WAY,
 SAN DIEGO, CA 92110



Attachment

LOCATION



EXISTING



(E) AT&T PANEL ANTENNAS MOUNTED WITHIN (E) SCREEN WALL.

PROPOSED



(N) AT&T PANEL ANTENNAS MOUNTED WITHIN (E) SCREEN WALL (NO EXTERIOR CHANGES)

SOUTH VIEW LOOKING NORTH

Map Legend



Photographic Survey Key Map
AT&T Site ID: CAL00880
Address: 2875 Cowley Way,
San Diego, CA 92110

RESOLUTION NUMBER R-_____

DATE OF FINAL PASSAGE _____

**A RESOLUTION OF THE COUNCIL OF THE CITY OF
SAN DIEGO DETERMINING THAT THE APPROVAL OF CUP AND SDP
TECOLOTE RELO PROJECT (PRJ# 1071544) IS CATEGORICALLY
EXEMPT FROM THE CALIFORNIA ENVIRONMENTAL QUALITY ACT
PURSUANT TO CEQA GUIDELINES SECTION 15302 (Replacement or
Reconstruction)**

WHEREAS, the project proposes to replace six antennas, install three new antennas, install one surge protector, replace one power plant and install 12 new rectifiers within an existing cabinet at an existing Wireless Communication Facility (WCF). The antenna level equipment will be concealed behind 8-foot-high Fiberglass reinforced plastic (FRP) screens. Additionally, the project includes ancillary equipment for support to the Wireless Communications Facility. The 104-square foot equipment enclosure is located on the 14th floor of a residential building and is located at 2875 Cowley Way in the RM-3-7 zone, the FAA Part 77 Noticing Area, ALUCP- Montgomery Field Review Area 2, the Clairemont Mesa Height Limit Overlay Zone, the Clairemont Mesa Community Plan; and

WHEREAS, the California Environmental Quality Act (CEQA) (Public Resources Code section 21000 et seq.), section 21084, states that the CEQA Guidelines thereto (California Code of Regulations, Title 14, Chapter 3, Section 15000 et seq.) shall list those classes of projects which have been determined not to have a significant effect on the environment and which shall be exempt from CEQA; and

WHEREAS, pursuant to that authority, CEQA Guidelines sections 15300-15333 list the categorical exemptions promulgated by the California Office of Planning and Research and adopted by the Secretary of the California Natural Resources Agency for those classes of Projects which have been determined not to have a significant effect on the environment; and

WHEREAS, the Development Services Department has established that the project is categorically exempt from CEQA pursuant to CEQA Guidelines section 15302 (Replacement or Reconstruction) and that no exception to the exemption, as set forth in CEQA Guidelines section 15300.2, applies to the project; and

WHEREAS, the Council of the City of San Diego has considered the potential environmental effects of the Project, and

WHEREAS, on **DATE**, the City Council held a duly noticed public meeting and considered the written record for the Project as well as public comment; and

WHEREAS, the Council of the City of San Diego, using its independent judgment, has determined that the project meets the criteria set forth in CEQA Section 15302 (Replacement or Reconstruction),

WHEREAS, CEQA Section 15302 (Replacement or Reconstruction) allows for the replacement or reconstruction of existing structures and facilities where the new structure will be located on the same site and will have substantially the same purpose and capacity as the structure being replaced. The proposed project would replace existing WCF equipment with new equipment and would not expand the use of the WCF. Since the project would occur on the same developed site as the existing WCF no environmental impacts would occur and none of the exceptions described in CEQA Guidelines Section 15300.2 apply.

WHEREAS, under Charter section 280(a)(2) this Resolution is not subject to veto by the Mayor because this matter requires the City Council to act as a quasi-judicial body and where a public hearing was required by law implicating due process rights of individuals affected by the decision and where the City Council was required by law to consider evidence at the hearing and to make legal findings based on the evidence presented; and

WHEREAS, the Office of the City Attorney has drafted this Resolution based on the information provided by City staff, with the understanding that the information is complete, true, and accurate; NOW, THEREFORE,

BE IT RESOLVED, that the Council of the City of San Diego determines that the Project is categorically exempt from CEQA pursuant to CEQA Guidelines section 15302 (Replacement or Reconstruction); and,

BE IT FURTHER RESOLVED, that the Council of the City of San Diego has determined that an exception to the exemption as set forth in CEQA Guidelines section 15300.2 does not apply.

BE IT FURTHER RESOLVED, that the City Clerk is directed to file a Notice of Exemption regarding the Project with the Clerk of the Board of Supervisors for the County of San Diego.

APPROVED:

By: _____
[NAME], [DEPUTY CITY ATTORNEY or DEVELOPMENT PROJECT MANAGER]

SYMBOLS/ABBREVIATIONS LEGEND

- (E) - EXISTING
- (N) - NEW
- (P) - PROPOSED
- V.I.F. - VERIFY IN FIELD
- AGL - ABOVE GRADE LINE
- FGL - FINISH GRADE LINE
- CL - CENTERLINE
- QTY - QUANTITY
- AZ - AZIMUTH
- HT - HEIGHT
- RRU - REMOTE RADIO UNIT
- RBS - RADIO BASE STATION
- FRP - FIBER-REINFORCED POLYMER

PROJECT TEAM

PROJECT MANAGER
 BECHTEL INFRASTRUCTURE AND POWER CORPORATION
 16808 ARMSTRONG AVENUE
 SUITE 225, IRVINE, CA 92606
 CONTACT: DAN LEISGE
 (619) 213-1407
 dleisge@bechtel.com

ENGINEER
 TELECOM MANAGEMENT GROUP
 302 WASHINGTON ST., #150-6850
 SAN DIEGO, CA 92103
 CONTACT: EDGARDO ORTIZ
 (858) 248-7678
 edgar.ortiz@telecommg.com

SITE ACQUISITION
 CONTACT: REBECCA KAPONO
 PHONE: 808-250-2261
 Rakapono@bechtel.com

ZONING
 CONTACT: REBECCA KAPONO
 PHONE: 808-250-2261
 Rakapono@bechtel.com

RF ENGINEER
 CONTACT: RAVI JINDAL
 PHONE: 925-922-4394
 rj096d@att.com

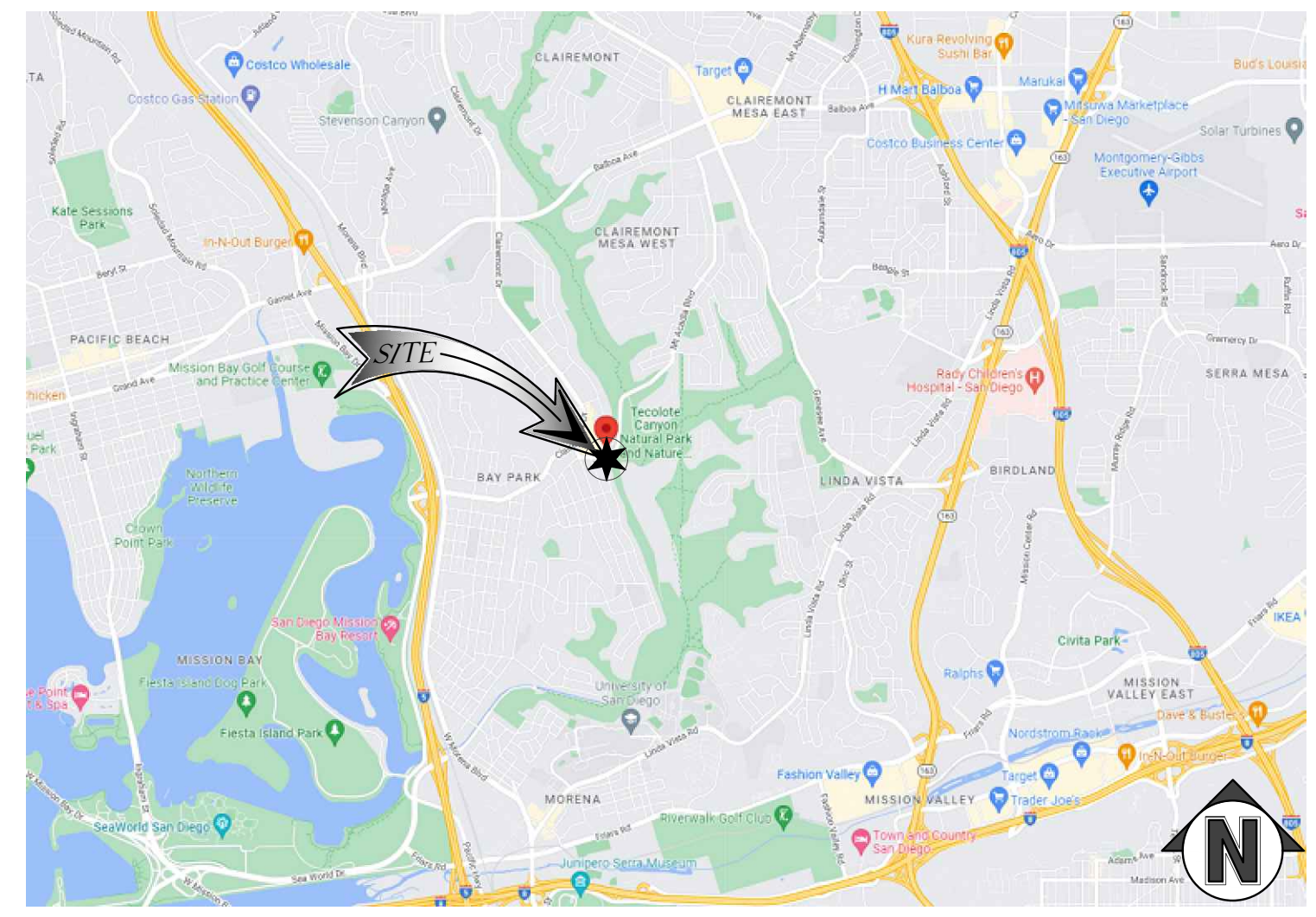
CONSTRUCTION MANAGER
 CONTACT: B.J. ACORBA
 PHONE: (951) 764-6916
 bacorba@bechtel.com

SITE INFORMATION

FA#: 10549362
 USID#: 164079
 PACE#: MRSDL037232

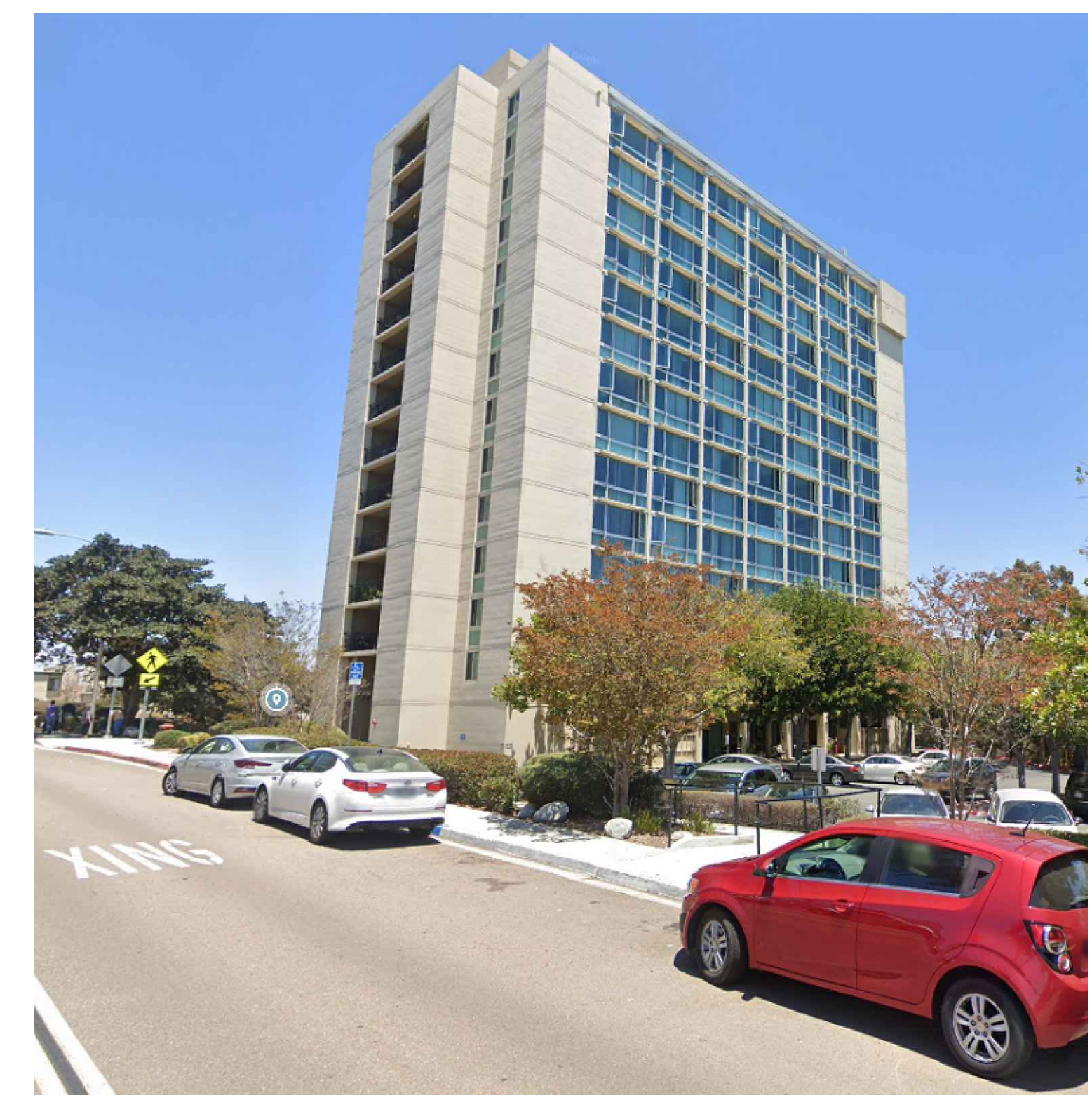
PLAN REVISION		
REV	DATE	DESCRIPTION
A	02/10/22	ISSUED FOR REVIEW
0	03/01/22	ISSUED FOR REVIEW
1	04/11/22	FINAL CD

**BUILDING PERMIT PLAN FOR:
 TECOLOTE RELO**



VICINITY MAP

NOT TO SCALE



SITE IMAGE

NOT TO SCALE

DIRECTIONS TO SITE

FROM AT&T OFFICE: 7337 TRADE ST, SAN DIEGO, CA 92121
 GET ON I-805 S FROM CAMINO SANTA FE AND MIRAMAR RD. HEAD WEST ON TRADE ST TOWARD CAMINO SANTA FE. TURN LEFT ONTO CAMINO SANTA FE. USE THE RIGHT 2 LANES TO TURN RIGHT ONTO MIRAMAR RD. TURN RIGHT TO MERGE ONTO I-805 S. CONTINUE ON I-805 S. TAKE CA-163 S TO FRIARS RD. TAKE EXIT 4 FROM CA-163 S. MERGE ONTO I-805 S. USE THE RIGHT 2 LANES TO TAKE EXIT 20 TO MERGE ONTO CA-163 S TOWARD DOWNTOWN. TAKE EXIT 4 FOR FRIARS RD. FOLLOW FRIARS RD AND VIA LAS CUMBRES TO YOUR DESTINATION. USE THE LEFT 2 LANES TO TURN LEFT ONTO FRIARS RD. TURN RIGHT ONTO VIA LAS CUMBRES. TURN LEFT ONTO LINDA VISTA RD. TURN RIGHT. TURN LEFT.

OWNER/APPLICANT

AT&T MOBILITY
 7337 TRADE STREET, SAN DIEGO, CA 92121
 1(858)886-3122

SITE ADDRESS

2875 COWLEY WAY, SAN DIEGO, CA 92110

SHEET INDEX

SHEET	DC	DESCRIPTION
1	G1	COVER SHEET
2	G2	STORM WATER QUALITY NOTES - CONSTRUCTION BMP'S
3	G3	NOT USED
4	G4	PHOTO SIMULATIONS
5	G5	LETTER OF AUTHORIZATION
6	G6	GENERAL NOTES, LEGEND AND ABBREVIATIONS
7	A1	SITE PLAN
8	A2	ENLARGED ROOF PLAN
9	A3	EQUIPMENT PLAN
10	A4	ANTENNA PLAN & SCHEDULE
11	A5	ELEVATIONS
12	A6	ELEVATIONS
13	A7	ELEVATIONS
14	A8	ELEVATIONS
15	A9	DETAILS
16	A10	DETAILS
17	E1	AC PANEL SCHEDULE
18	E2	GROUNDING PLANS, DETAILS & NOTES

DISCIPLINE CODE(DC)

GENERAL	G	STRUCTURAL	S
CIVIL	C	ELECTRICAL	E
LANDSCAPE	L	MECHANICAL	M
TRAFFIC	T	ARCHITECTURAL	A

SITE INFORMATION

LATITUDE 32° 32' 47" 39" N
 LONGITUDE 117° 11' 28" W
 ZONING RM-3-7 RESIDENTIAL CLAIREMONT
 HEIGHT OVERLAY ZONE
 JURISDICTION CITY OF SAN DIEGO
 PARCEL NUMBER 425-670-13
 TYPE OF CONSTRUCTION TYPE IA
 OCCUPANCY B

CODE COMPLIANCE

THIS PROJECT SHALL COMPLY WITH THE FOLLOWING GOVERNING CODES:
 2019 CALIFORNIA BUILDING CODE
 2019 CALIFORNIA RESIDENTIAL CODE
 2019 CALIFORNIA MECHANICAL CODE
 2019 CALIFORNIA ELECTRICAL CODE
 2019 CALIFORNIA PLUMBING CODE
 2019 CALIFORNIA GREEN BUILDING CODE
 2019 CALIFORNIA ENERGY CODE
 2019 CALIFORNIA EXISTING BUILDING CODE

SCOPE OF WORK

AT&T WIRELESS PROPOSES TO MODIFY AN EXISTING WIRELESS INSTALLATION. THE SCOPE WILL CONSIST OF THE FOLLOWING:

- TOWER WORK:**
- REMOVE (2) ANTENNA PER SECTOR. TOTAL OF (6)
 - INSTALL (3) ANTENNA PER SECTOR. TOTAL OF (9)
 - INSTALL (1) DC9 SURGE PROTECTOR PER SECTOR, TOTAL OF (3)
- EQUIPMENT AREA WORK**
- REMOVE (E) POWER PLANT
 - REMOVE ALL BATTERY MODULES
 - INSTALL NEW DC POWER PLANT W/ (12) RECTIFIERS
 - INSTALL (20) BATTERY MODULES IN (E) BATTERY RACK
 - INSTALL (1) HSN-8300NA IN (E) TELCO RACK
 - INSTALL (3) #6AWG DC POWER TRUNKS

REV: 04/11/22



CONSTRUCTION CHANGE TABLE			
CHANGE	DATE	EFFECTED OR ADDED SHEET NUMBERS	CC NO.

SCALE : N/A



TITLE SHEET FOR:
TECOLOTE RELO
 Legal Description: TR 5353 LOT 11*

SHEET 1 OF 18 SHEETS


PRJ NO. _____
 PMT NO. _____


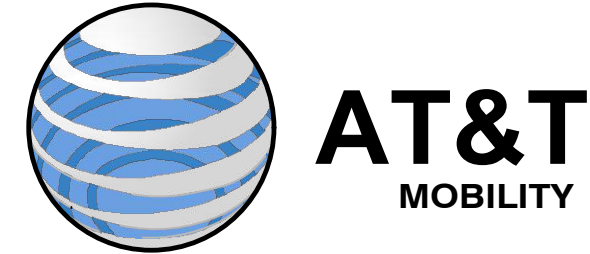

G1

STORM WATER QUALITY NOTES-CONSTRUCTION BMPs

PRIOR TO ANY SOIL DISTURBANCE, TEMPORARY EROSION AND SEDIMENT CONTROL SHALL BE INSTALLED BY THE CONTRACTOR OR QUALIFIED PERSON(S) AS INDICATED BELOW:

1. ALL REQUIREMENTS OF THE CITY OF SAN DIEGO "LAND DEVELOPMENT MANUAL, STORM WATER STANDARDS" MUST BE INCORPORATED INTO THE DESIGN AND CONSTRUCTION OF THE PROPOSED GRADING/IMPROVEMENTS CONSISTENT WITH THE APPROVED STORM WATER POLLUTION PREVENTION PLAN (SWPPP) AND/OR WATER POLLUTION CONTROL PLAN (WPCP) FOR CONSTRUCTION LEVEL BMP'S AND, IF APPLICABLE, THE STORM WATER QUALITY MANAGEMENT PLAN (SWQMP) FOR POST CONSTRUCTION TREATMENT CONTROL BMP'S.
 2. THE CONTRACTOR SHALL INSTALL AND MAINTAIN ALL STORM DRAIN INLETS. INLET PROTECTION IN THE PUBLIC RIGHT OF WAY MAY BE TEMPORARILY REMOVED WHERE IT IS PRONE TO FLOODING PRIOR TO A RAIN EVENT AND REINSTALLED AFTER RAIN IS OVER.
 3. ALL CONSTRUCTION BMPs SHALL BE INSTALLED AND PROPERLY MAINTAINED THROUGHOUT THE DURATION OF CONSTRUCTION.
 4. THE CONTRACTOR SHALL ONLY GRADE, INCLUDING CLEARING AND GRUBBING, AREAS FOR WHICH THE CONTRACTOR OR QUALIFIED PERSON CAN PROVIDE EROSION AND SEDIMENT CONTROL MEASURES.
 5. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ALL SUB-CONTRACTORS AND SUPPLIERS ARE AWARE OF ALL STORM WATER QUALITY MEASURES AND IMPLEMENT SUCH MEASURES. FAILURE TO COMPLY WITH THE APPROVED SWPPP/WPCP WILL RESULT IN THE ISSUANCE OF CORRECTION NOTICES, CITATIONS, CIVIL PENALTIES AND/OR STOP WORK NOTICES.
 6. THE CONTRACTOR OR QUALIFIED PERSON SHALL BE RESPONSIBLE FOR CLEANUP OF ALL SILT, DEBRIS AND MUD ON AFFECTED AND ADJACENT STREET(S) AND WITHIN STORM DRAIN SYSTEM DUE TO CONSTRUCTION VEHICLES/EQUIPMENT AND CONSTRUCTION ACTIVITY AT THE END OF EACH WORK DAY.
 7. THE CONTRACTOR SHALL PROTECT NEW AND EXISTING STORM WATER CONVEYANCE SYSTEMS FROM SEDIMENTATION, CONCRETE RINSE, OR OTHER CONSTRUCTION RELATED DEBRIS AND DISCHARGES WITH THE APPROPRIATE BMPs THAT ARE ACCEPTABLE TO THE ENGINEER AND AS INDICATED IN THE SWPPP/WPCP
 8. THE CONTRACTOR OR QUALIFIED CONTACT PERSON SHALL CLEAR DEBRIS, SILT, AND MUD FROM ALL DITCHES AND SWALES PRIOR TO AND WITHIN 3 BUSINESS DAYS AFTER EACH RAIN EVENT OR PRIOR TO THE NEXT RAIN EVENT, WHICHEVER IS SOONER.
 9. IF A NON-STORMWATER DISCHARGE LEAVES THE SITE, THE CONTRACTOR SHALL IMMEDIATELY STOP THE ACTIVITY AND REPAIR THE DAMAGES. THE CONTRACTOR SHALL NOTIFY THE CITY RESIDENT ENGINEER OF THE DISCHARGE, PRIOR TO RESUMING CONSTRUCTION ACTIVITY. ANY AND ALL WASTE MATERIAL, SEDIMENT, AND DEBRIS FROM EACH NON-STORMWATER DISCHARGE SHALL BE REMOVED FROM THE STORM DRAIN CONVEYANCE SYSTEM AND PROPERLY DISPOSED OF BY THE CONTRACTOR. .
 10. EQUIPMENT AND WORKERS FOR EMERGENCY WORK SHALL BE MADE AVAILABLE AT ALL TIMES. ALL NECESSARY MATERIALS SHALL BE STOCKPILED ON SITE AT CONVENIENT LOCATIONS TO FACILITATE RAPID DEPLOYMENT OF CONSTRUCTION BMPs WHEN RAIN IS IMMINENT.
 11. THE CONTRACTOR SHALL RESTORE AND MAINTAIN ALL EROSION AND SEDIMENT CONTROL BMPs TO WORKING ORDER YEAR ROUND.
 12. THE CONTRACTOR SHALL INSTALL ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES DUE TO GRADING INACTIVITY OR UNFORESEEN CIRCUMSTANCES TO PREVENT NON-STORM WATER AND SEDIMENT-LADEN DISCHARGES.
 13. THE CONTRACTOR SHALL BE RESPONSIBLE AND SHALL TAKE NECESSARY PRECAUTIONS TO PREVENT PUBLIC TRESPASS ONTO AREAS WHERE IMPOUNDED WATERS CREATE A HAZARDOUS CONDITION.
 14. ALL EROSION AND SEDIMENT CONTROL MEASURES PROVIDED PER THE APPROVED SWPPP/WPCP SHALL BE INSTALLED AND MAINTAINED. ALL EROSION AND SEDIMENT CONTROL FOR INTERIM CONDITIONS SHALL BE PROPERLY DOCUMENTED AND INSTALLED TO THE SATISFACTION OF THE RESIDENT ENGINEER.
 15. UPON NOTIFICATION BY THE RESIDENT ENGINEER, THE CONTRACTOR SHALL ARRANGE FOR MEETINGS DURING OCTOBER 1ST TO APRIL 30TH FOR PROJECT TEAM (GENERAL CONTRACTOR, QUALIFIED PERSON, EROSION CONTROL SUBCONTRACTOR IF ANY, ENGINEER OF WORK, OWNER/DEVELOPER AND THE RESIDENT ENGINEER) TO EVALUATE THE ADEQUACY OF THE EROSION AND SEDIMENT CONTROL MEASURES AND OTHER BMPs RELATIVE TO ANTICIPATED CONSTRUCTION ACTIVITIES.
 16. THE CONTRACTOR SHALL CONDUCT VISUAL INSPECTIONS DAILY AND MAINTAIN ALL BMPs AS NEEDED. VISUAL INSPECTIONS AND MAINTENANCE OF ALL BMPs SHALL BE CONDUCTED BEFORE, DURING AND AFTER EVERY RAIN EVENT AND EVERY 24 HOURS DURING ANY PROLONGED RAIN EVENT. THE CONTRACTOR SHALL MAINTAIN AND REPAIR ALL BMPs AS SOON AS POSSIBLE AS SAFETY ALLOWS.
 17. CONSTRUCTION ENTRANCE AND EXIT AREA. TEMPORARY CONSTRUCTION ENTRANCE AND EXITS SHALL BE CONSTRUCTED IN ACCORDANCE WITH CASQA FACT SHEET TC-10R CALTRANS FACT SHEET TC-01 TO PREVENT TRACKING OF SEDIMENT AND OTHER POTENTIAL POLLUTANTS ONTO PAVED SURFACES AND TRAVELED WAYS. WIDTH SHALL BE 10' OR THE MINIMUM NECESSARY TO ACCOMMODATE VEHICLES AND EQUIPMENT WITHOUT BYPASSING THE ENTRANCE.
- (a) NON-STORMWATER DISCHARGES SHALL BE EFFECTIVELY MANAGED PER THE SAN DIEGO MUNICIPAL CODE CHAPTER 4, ARTICLE 3, DIVISION 3 "STORM WATER MANAGEMENT AND DISCHARGE CONTROL".

TITLE SHEET FOR:	
TECOLOTE RELO	
<small>Legal Description: TR 5353 LOT 11*</small>	
SHEET 2 OF 10 SHEETS	PRJ NO. _____
	PMT NO. _____
 Michael Shevbridge	G2

 TELECOM MANAGEMENT GROUP <small>Solutions Done Right</small>	 AT&T MOBILITY	 BECHTEL INFRASTRUCTURE AND POWER CORPORATION	CONSTRUCTION CHANGE TABLE <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>CHANGE</th> <th>DATE</th> <th>EFFECTED OR ADDED SHEET NUMBERS</th> <th>CC NO.</th> </tr> </thead> <tbody> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> </tbody> </table>	CHANGE	DATE	EFFECTED OR ADDED SHEET NUMBERS	CC NO.																									SCALE : N/A	The City of SAN DIEGO DEVELOPMENT SERVICES DEPARTMENT
CHANGE	DATE	EFFECTED OR ADDED SHEET NUMBERS	CC NO.																														

REV 04/11/22

NOT USED

TITLE SHEET FOR:
TECOLOTE RELO
Legal Description: TR 5353 LOT 11*

SHEET 3 OF 10 SHEETS

PRJ NO. _____

PMT NO. _____

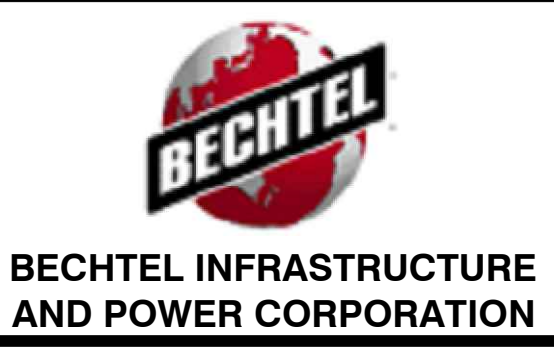
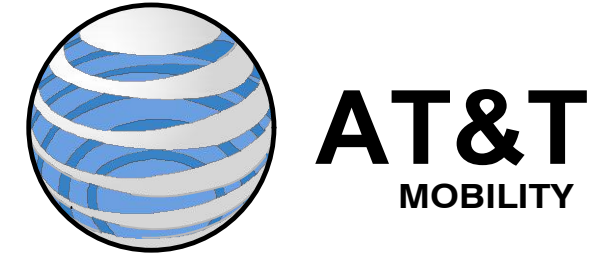
G3

CONSTRUCTION CHANGE TABLE

CHANGE	DATE	EFFECTED OR ADDED SHEET NUMBERS	CC NO.

SCALE : N/A

The City of
SAN DIEGO
DEVELOPMENT SERVICES DEPARTMENT



(REV. 04/11/22)

PHOTOSIMULATIONS



SD0880
TECOLOTE RELO
2875 COWLEY WAY,
SAN DIEGO, CA 92110




LOCATION



EXISTING



PROPOSED



SOUTHWEST VIEW LOOKING NORTHEAST



SD0880
TECOLOTE RELO
2875 COWLEY WAY,
SAN DIEGO, CA 92110




LOCATION



EXISTING



PROPOSED



NORTH VIEW LOOKING SOUTH



SD0880
TECOLOTE RELO
2875 COWLEY WAY,
SAN DIEGO, CA 92110




LOCATION




EXISTING



PROPOSED




SOUTH VIEW LOOKING NORTH

TITLE SHEET FOR:	
TECOLOTE RELO	
<small>Legal Description: TR 5353 LOT 11*</small>	
<small>SHEET 4 OF 10 SHEETS</small>	<small>PRJ NO. _____</small>
	<small>PMT NO. _____</small>
 <i>Michael Shevbridge</i>	G4

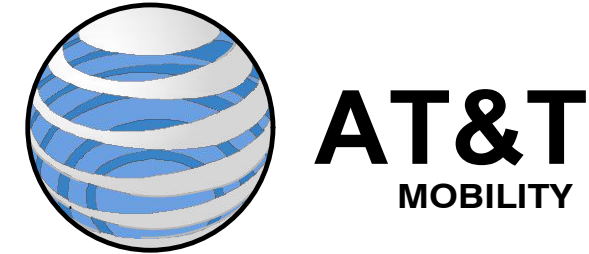
CONSTRUCTION CHANGE TABLE			
CHANGE	DATE	EFFECTED OR ADDED SHEET NUMBERS	CC NO.

SCALE : N/A


The City of
SAN DIEGO
DEVELOPMENT SERVICES DEPARTMENT



TELECOM
MANAGEMENT GROUP
Solutions Done Right



AT&T
MOBILITY



BECHTEL
INFRASTRUCTURE
AND POWER CORPORATION

REV: 04/11/22

LETTER OF AUTHORIZATION



LETTER OF AUTHORIZATION

LICENSEE NAME: NEW CINGULAR WIRELESS PCS, LLC dba AT&T MOBILITY
ATC SITE # / NAME / PROJECT #: 8577 / MISSION BAY-SORRENTO TOWERS CA / OAA777910
SITE ADDRESS: 2875 COWLEY WAY, SAN DIEGO, CA 92110-1008
APN: 425-670-13-00

I, _____ of SORRENTO TOWER HOUSING PARTNERS L P (Lessor, Property Owner, and or duly authorized agent thereof) of the property identified above do hereby authorize **NEW CINGULAR WIRELESS PCS, LLC dba AT&T MOBILITY**, American Tower*, their parents, subsidiaries, affiliates, successors, assigns, contractors, and agents, to act as my non-exclusive agent for the sole purpose of filing and consummating any current or future land-use or construction permit application(s) as may be required by the applicable permitting authorities for the scope of work as outlined below.

TOWER WORK:

- REMOVE (2) ANTENNA PER SECTOR. TOTAL OF (6)
- INSTALL (3) ANTENNA PER SECTOR. TOTAL OF (9)
- INSTALL (1) DC9 SURGE PROTECTOR PER SECTOR, TOTAL OF (3)

EQUIPMENT AREA WORK

- REMOVE (E) POWER PLANT
- REMOVE ALL BATTERY MODULES
- INSTALL NEW DC POWER PLANT W/ (12) RECTIFIERS
- INSTALL (20) BATTERY MODULES IN (E) BATTERY RACK
- INSTALL (1) HSN-8300NA IN (E) TELCO RACK
- INSTALL (3) #6AWG DC POWER TRUNKS

Signature: 
 Print Name: Casey Haeling - Manager
 SORRENTO TOWER HOUSING PARTNERS L P

NOTARY BLOCK (See California Acknowledgement Attached)

*American Tower as used herein includes any affiliates or subsidiaries of American Tower Corporation

10 Presidential Way • Woburn, MA 01801 • 781.926.4500 Office • 781.926.4555 Fax • www.americantower.com

TITLE SHEET FOR:
TECOLOTE RELO
 Legal Description: TR 5353 LOT 11*

SHEET 5 OF 10 SHEETS

PRJ NO. _____

PMT NO. _____

The City of
SAN DIEGO
 DEVELOPMENT SERVICES DEPARTMENT

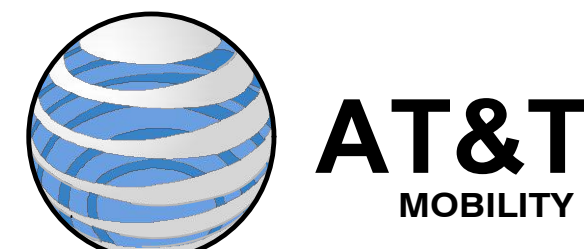


G5

CONSTRUCTION CHANGE TABLE

CHANGE	DATE	EFFECTED OR ADDED SHEET NUMBERS	CC NO.

SCALE : N/A



REVISED 04/11/22

GENERAL CONSTRUCTION NOTES

- 1. FOR THE PURPOSE OF CONSTRUCTION DRAWINGS, THE FOLLOWING DEFINITIONS SHALL APPLY: GENERAL CONTRACTOR - SEE PROJECT TEAM IN TITLE SHEET... 2. ALL SITE WORK SHALL BE COMPLETED AS INDICATED ON THE DRAWINGS AND AT&T PROJECT SPECIFICATIONS... 3. GENERAL CONTRACTOR AND SUBCONTRACTOR SHALL VISIT THE SITE AND SHALL FAMILIARIZE HIMSELF AFFECTING THE PROPOSED WORK AND SHALL MAKE PROVISIONS...

- PART 1 - GENERAL 1.1 GENERAL CONDITIONS: A. CONTRACTOR SHALL INSPECT THE EXISTING SITE CONDITIONS PRIOR TO SUBMITTING BID... B. THE SUBCONTRACTOR SHALL OBTAIN PERMITS, LICENSES, MAKE ALL DEPOSITS, AND PAY ALL FEES REQUIRED... 1.2 LAWS, REGULATIONS, ORDINANCES, STATUTES AND CODES... 1.3 REFERENCES: A. THE PUBLICATIONS LISTED BELOW ARE PART OF THIS SPECIFICATION...

- E. SYSTEM GROUNDING: 1. ALL GROUNDING COMPONENTS SHALL BE TINNED AND GROUNDING CONDUCTOR SHALL BE 2 AWG BARE, SOLID, TINNED, COPPER... 2. GROUNDING BUSES SHALL BE BARE, TINNED, ANNEALED COPPER BARS OF RECTANGULAR CROSS SECTION... 3. CONNECTORS SHALL BE HIGH-CONDUCTIVITY, HEAVY DUTY, LISTED AND LABELED AS GROUNDING FOR THE MATERIALS USED... F. OTHER MATERIALS: 1. THE SUBCONTRACTOR SHALL PROVIDE OTHER MATERIALS, THOUGH NOT SPECIFICALLY DESCRIBED, WHICH ARE REQUIRED FOR A COMPLETELY OPERATIONAL SYSTEM...

- C. DISCONNECT SWITCHES: 1. INSTALL DISCONNECT SWITCHES LEVEL AND PLUMB. CONNECT TO WIRING SYSTEM AND GROUNDING SYSTEM AS INDICATED. D. GROUNDING: 1. ALL METALLIC PARTS OF ELECTRICAL EQUIPMENT WHICH DO NOT CARRY CURRENT SHALL BE GROUNDED IN ACCORDANCE WITH THE REQUIREMENTS OF THE BUILDING MANUFACTURER, AT&T GROUNDING AND BONDING STANDARDS TP-76416, ND-00135, AND THE CALIFORNIA ELECTRICAL CODE... 3.5 ACCEPTANCE TESTING: A. CERTIFIED PERSONNEL USING CERTIFIED EQUIPMENT SHALL PERFORM REQUIRED TESTS AND SUBMIT WRITTEN TEST REPORTS UPON COMPLETION...

TELECOM MANAGEMENT GROUP Solutions Done Right AT&T MOBILITY

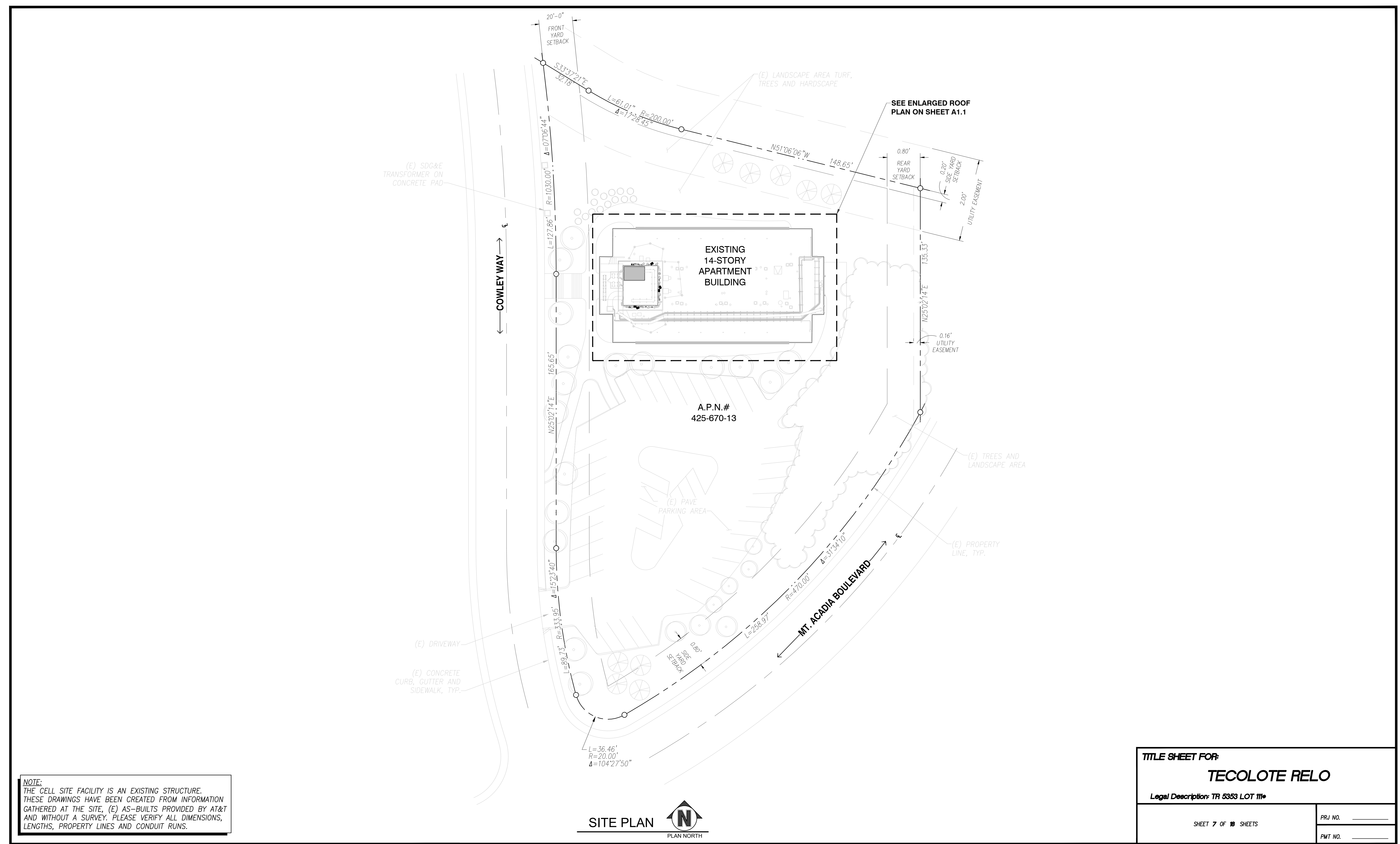
BECHTEL INFRASTRUCTURE AND POWER CORPORATION

CONSTRUCTION CHANGE TABLE with columns: CHANGE, DATE, EFFECTED OR ADDED SHEET NUMBERS, CC NO.

The City of SAN DIEGO DEVELOPMENT SERVICES DEPARTMENT SCALE: N/A

TITLE SHEET FOR TECOLOTE RELO Legal Description: TR 5353 LOT 11a SHEET 6 OF 8 SHEETS PRJ NO. PMT NO. LICENSED ARCHITECT MICHAEL SHEVBRIDGE No. C-19797 9/30/23 Michael Shevbridge

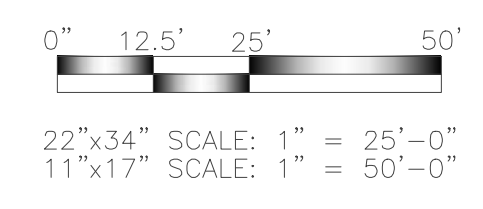
REV: 04/11/22



NOTE:
 THE CELL SITE FACILITY IS AN EXISTING STRUCTURE.
 THESE DRAWINGS HAVE BEEN CREATED FROM INFORMATION
 GATHERED AT THE SITE, (E) AS-BUILTS PROVIDED BY AT&T
 AND WITHOUT A SURVEY. PLEASE VERIFY ALL DIMENSIONS,
 LENGTHS, PROPERTY LINES AND CONDUIT RUNS.

SITE PLAN
 PLAN NORTH

CONSTRUCTION CHANGE TABLE			
CHANGE	DATE	EFFECTED OR ADDED SHEET NUMBERS	CC NO.



The City of
SAN DIEGO
 DEVELOPMENT SERVICES DEPARTMENT

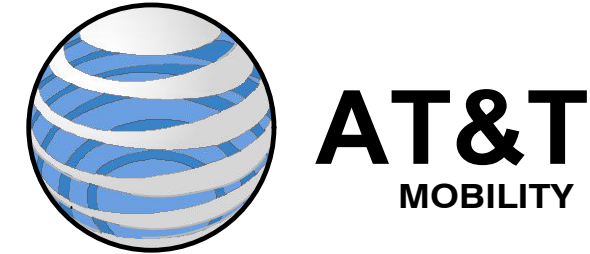
TITLE SHEET FOR:
TECOLOTE RELO
 Legal Description: TR 5353 LOT 11*

SHEET 7 OF 8 SHEETS
 PRJ NO. _____
 PMT NO. _____

LICENSED ARCHITECT
 MICHAEL SHEVBRIDGE
 No. C-19797
 9/30/83
 MICHAEL SHEVBRIDGE

A1

REVIT 04/11/22



RF SIGN IDENTIFICATION LEGEND:

INFORMATION
 This sign is used to identify existing equipment and infrastructure on the roof. It is used to identify existing equipment and infrastructure on the roof. It is used to identify existing equipment and infrastructure on the roof.

EXISTING CAUTION
 (INFORMATION 2)

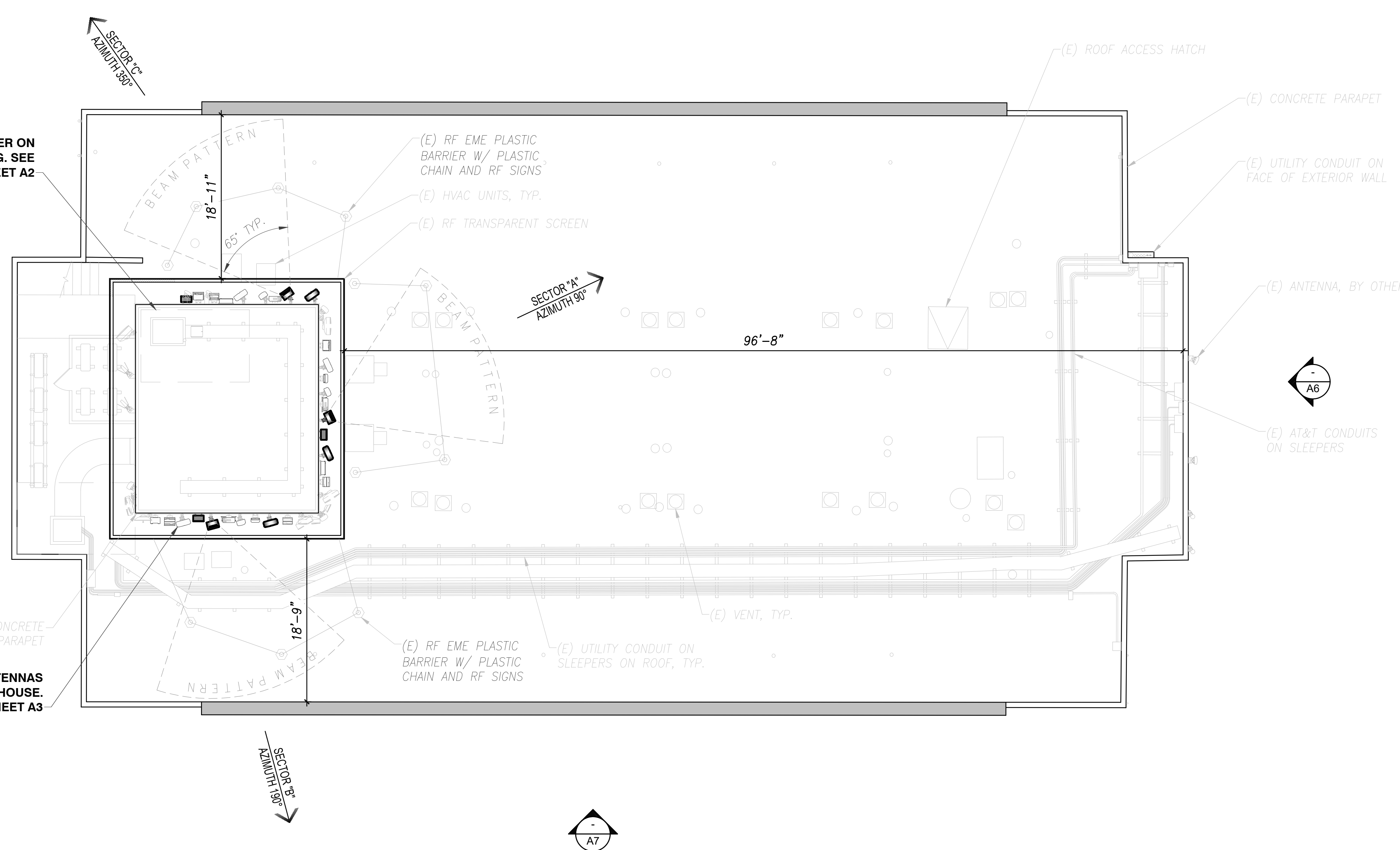
NOTICE
 This sign is used to identify existing equipment and infrastructure on the roof. It is used to identify existing equipment and infrastructure on the roof. It is used to identify existing equipment and infrastructure on the roof.

EXISTING CAUTION
 (NOTICE 2 SIGN)

PLASTIC CHAIN

EXISTING
 PLASTIC BARRIER

(E) AT&T EQUIPMENT SHELTER ON
 14TH FLOOR OF (E) BUILDING. SEE
 EQUIPMENT PLAN ON SHEET A2



ENLARGED ROOF PLAN PLAN NORTH

TITLE SHEET FOR:
TECOLOTE RELO

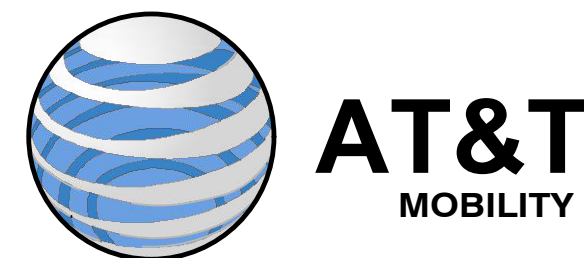
Legal Description: TR 5353 LOT 11*

SHEET 8 OF 10 SHEETS

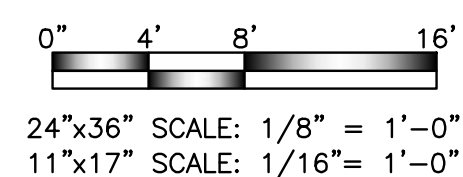
PRJ NO. _____

PMT NO. _____

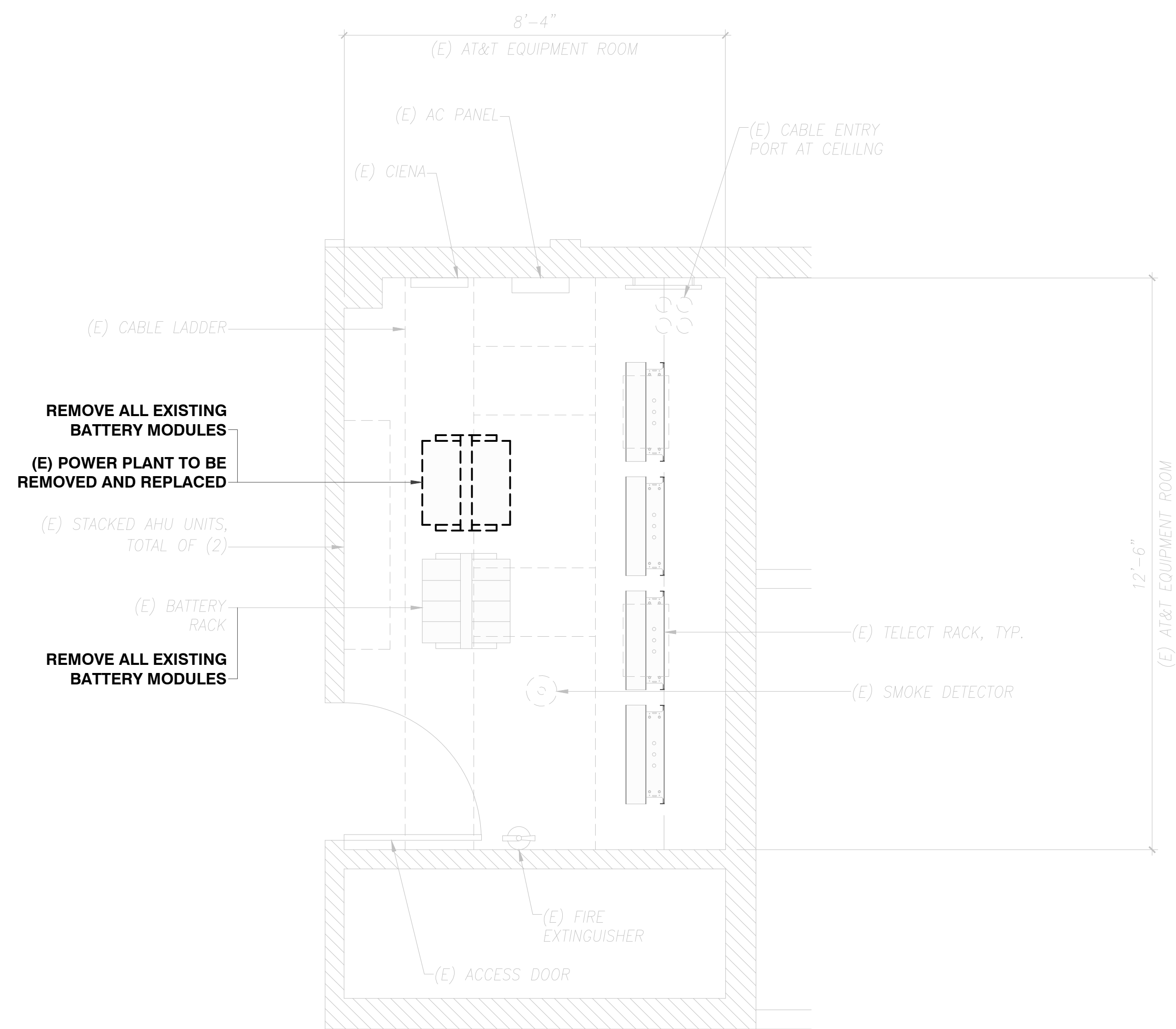
(REV: 04/11/22)



CONSTRUCTION CHANGE TABLE			
CHANGE	DATE	EFFECTED OR ADDED SHEET NUMBERS	CC NO.

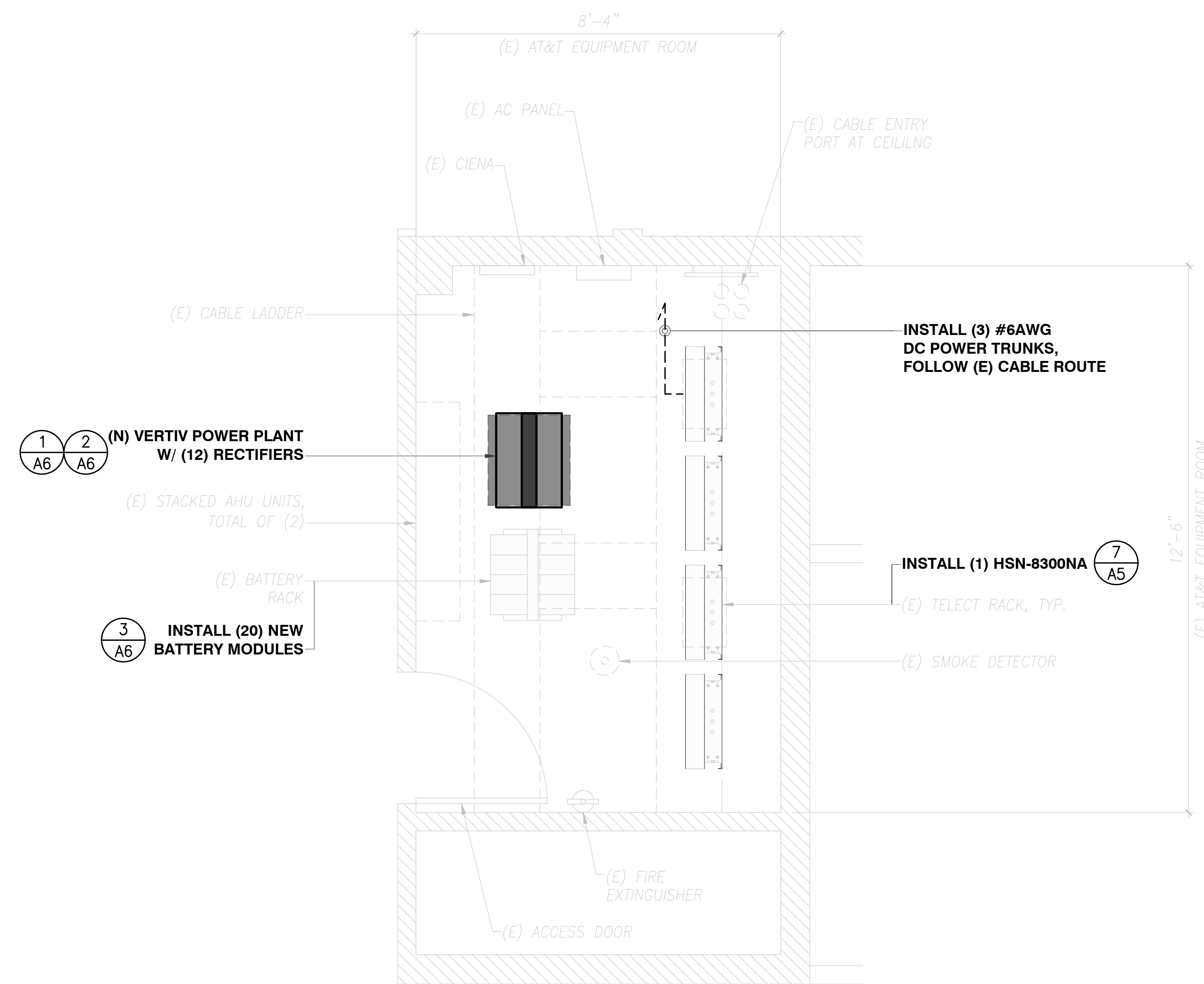


A2



(E) EQUIPMENT PLAN
(AT 14TH FLOOR)

PLAN NORTH



(N) EQUIPMENT PLAN
(AT 14TH FLOOR)

PLAN NORTH

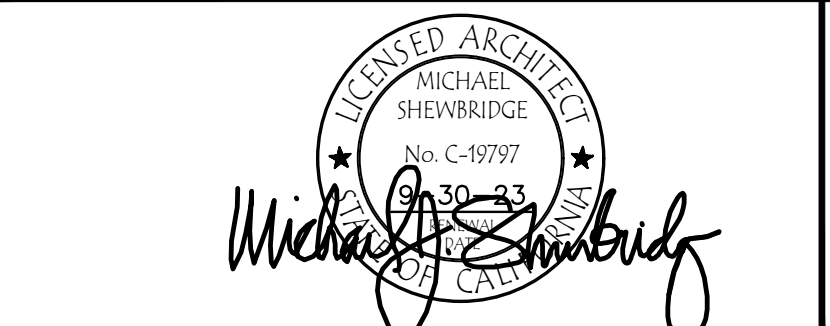
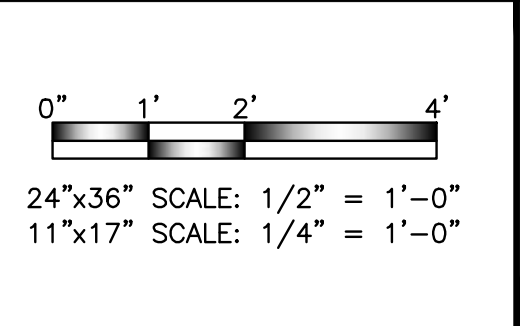
NOTE:
CONTRACTOR TO CHECK AT&T FILENET AND SAQ VENDOR FOR ANY INTERNAL DC POWER PLANT WORK THAT IS APPROVED BY AT&T

TITLE SHEET FOR:	
TECOLOTE RELO	
Legal Description: TR 5353 LOT 11*	
SHEET 9 OF 10 SHEETS	PRJ NO. _____
	PMT NO. _____

REVIT 04/11/22



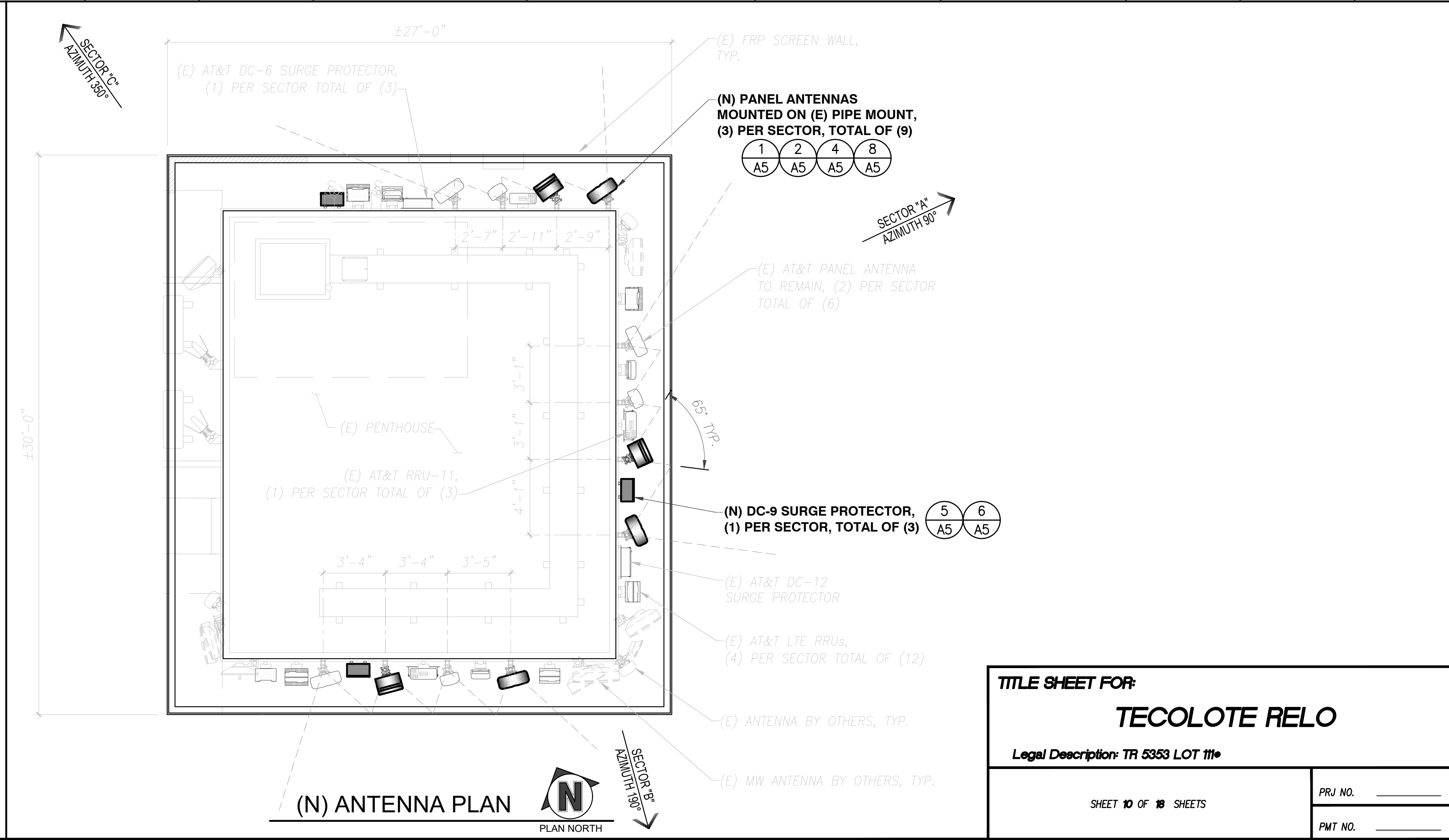
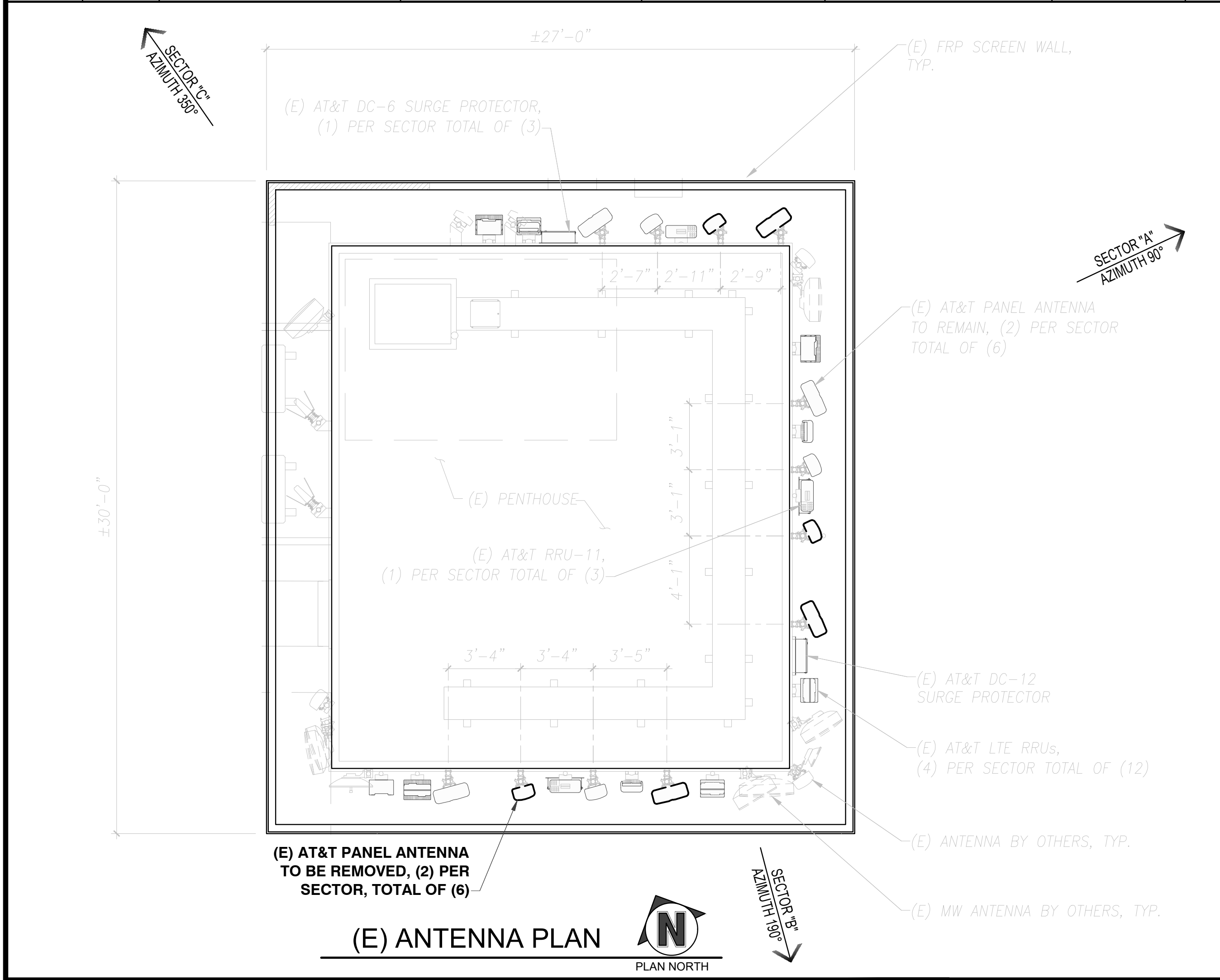
CONSTRUCTION CHANGE TABLE			
CHANGE	DATE	EFFECTED OR ADDED SHEET NUMBERS	CC NO.



A3

ANTENNA / RRU SCHEDULE

Sector	TECHNOLOGY		ANTENNA MODEL		AZIMUTH		RAD. CENTER		REMOTE RADIO (QTY.)		TMA'S / FILTER / COMBINERS (QTY.)		TRANSMISSION			
	EXISTING	NEW	EXISTING	NEW	EXISTING	NEW	EXISTING	NEW	EXISTING	NEW	EXISTING	NEW	EXISTING	NEW	LENGTH	
Alpha	A1	LTE 700 LTE 850 5G 850 LTE 1900	LTE 700 LTE 850 5G 850 LTE 1900	NNHH-65C-R4	NNH4-65C-R6-V3	90°	90°	136°-0"	136°-0"	4449 B5/B12 (1) 8843 B2/B66A (1)	4449 B5/B12 (1) 8843 B2/B66A (1)	-	-	FIBER	FIBER	±70'
	A2	UMTS 850	5G C-BAND	SBNHH-1D65C	AIR ANTENNA (STACKED)	90°	90°	136°-0"	137°-0"	-	INTEGRATED IN ANTENNA	-	-	FIBER	FIBER	±70'
	A3	LTE WCS	-	SBNHH-1D65C	SBNHH-1D65C	90°	90°	136°-0"	136°-0"	RRU 32 B30 (1)	-	-	-	FIBER	-	±70'
	A4	FIRSTNET LTE AWS	FIRSTNET LTE AWS LTE WCS	NNHH-65C-R4	NNHH-65C-R4	90°	90°	136°-0"	136°-0"	4478 B14 (1)	4478 B14 (1) RRU32 B30 (1)	-	-	FIBER	FIBER	±70'
Beta	B1	FIRSTNET LTE AWS	FIRSTNET LTE AWS LTE WCS	NNHH-65C-R4	NNHH-65C-R4	190°	190°	136°-0"	136°-0"	4478 B14 (1)	4478 B14 (1) RRU32 B30 (1)	-	-	FIBER	FIBER	±85'
	B2	UMTS 850	5G C-BAND	SBNHH-1D65C	AIR ANTENNA (STACKED)	190°	190°	136°-0"	137°-0"	-	INTEGRATED IN ANTENNA	-	-	FIBER	FIBER	±85'
	B3	LTE WCS	-	SBNHH-1D65C	SBNHH-1D65C	190°	190°	136°-0"	136°-0"	RRU 32 B30 (1)	-	-	-	FIBER	-	±85'
	B4	LTE 700 LTE 850 5G 850 LTE 1900	LTE 700 LTE 850 5G 850 LTE 1900	NNHH-65C-R4	NNH4-65C-R6-V3	190°	190°	136°-0"	136°-0"	4449 B5/B12 (1) 8843 B2/B66A (1)	4449 B5/B12 (1) 8843 B2/B66A (1)	-	-	FIBER	FIBER	±85'
Gamma	C1	LTE 700 LTE 850 5G 850 LTE 1900	LTE 700 LTE 850 5G 850 LTE 1900	NNHH-65C-R4	NNH4-65C-R6-V3	350°	350°	136°-0"	136°-0"	4449 B5/B12 (1) 8843 B2/B66A (1)	4449 B5/B12 (1) 8843 B2/B66A (1)	-	-	FIBER	FIBER	±100'
	C2	UMTS 850	5G C-BAND	SBNHH-1D65C	AIR ANTENNA (STACKED)	350°	350°	136°-0"	137°-0"	-	INTEGRATED IN ANTENNA	-	-	FIBER	FIBER	±100'
	C3	LTE WCS	-	SBNHH-1D65C	SBNHH-1D65C	350°	350°	136°-0"	136°-0"	RRU 32 B30 (1)	-	-	-	FIBER	-	±100'
	C4	FIRSTNET LTE AWS	FIRSTNET LTE AWS LTE WCS	NNHH-65C-R4	NNHH-65C-R4	350°	350°	136°-0"	136°-0"	4478 B14 (1)	4478 B14 (1) RRU32 B30 (1)	-	-	FIBER	FIBER	±100'



TITLE SHEET FOR:
TECOLOTE RELO
 Legal Description: TR 5353 LOT 11*

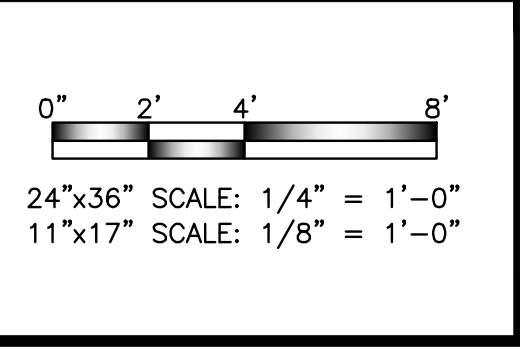
SHEET 10 OF 18 SHEETS

PRJ NO. _____
 PMT NO. _____



CONSTRUCTION CHANGE TABLE

CHANGE	DATE	EFFECTED OR ADDED SHEET NUMBERS	CC NO.

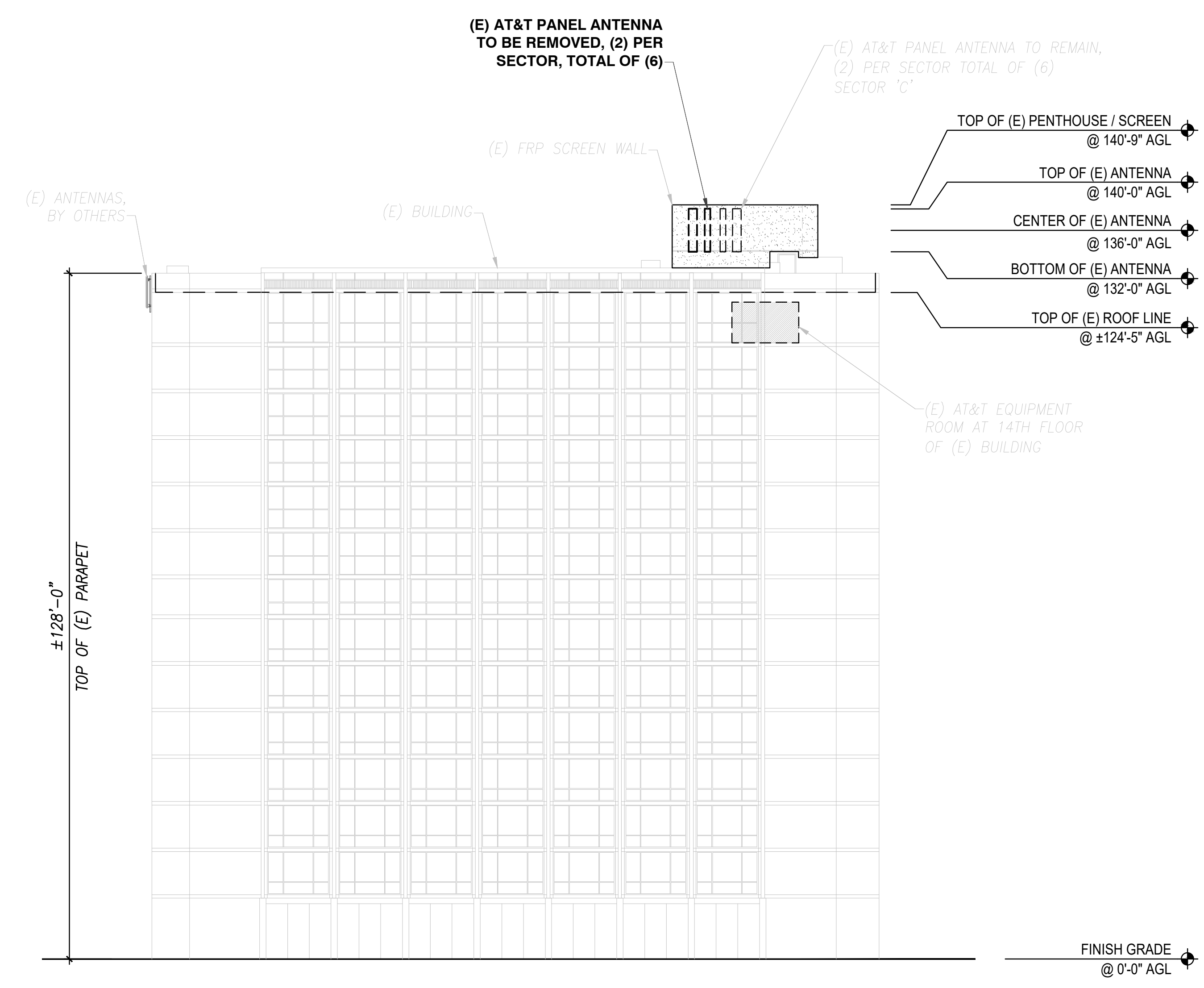


LICENSED ARCHITECT
 MICHAEL SHEVBRIDGE
 No. C-19797
 9/30/83
 STATE OF CALIFORNIA

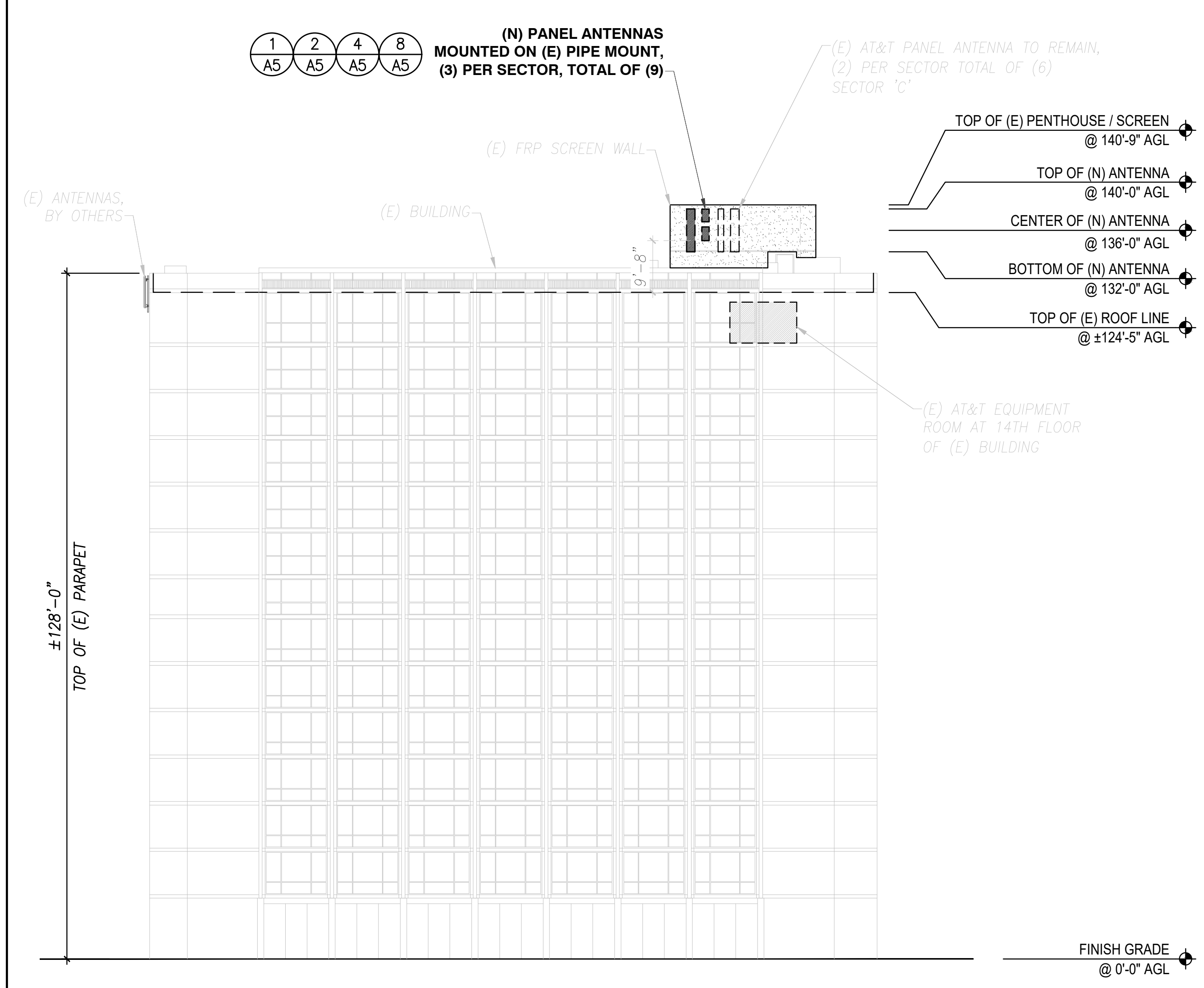
Michael Shevbridge

A4

TOTAL ANTENNA/RRU
(6) (N) ANTENNAS
 (9) (E) ANTENNAS
 (12) (E) RRUs



(E) NORTH ELEVATION



(N) NORTH ELEVATION

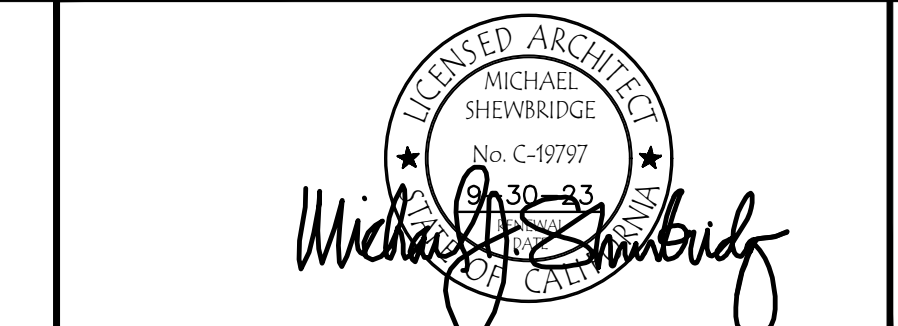
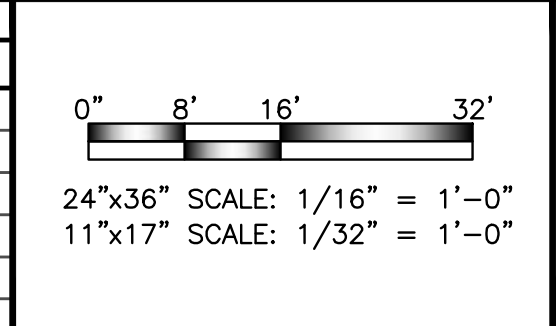
TITLE SHEET FOR:
TECOLOTE RELO
 Legal Description: TR 5353 LOT 11*

SHEET 11 OF 20 SHEETS
 PRJ NO. _____
 PMT NO. _____

REVIT 04/11/22

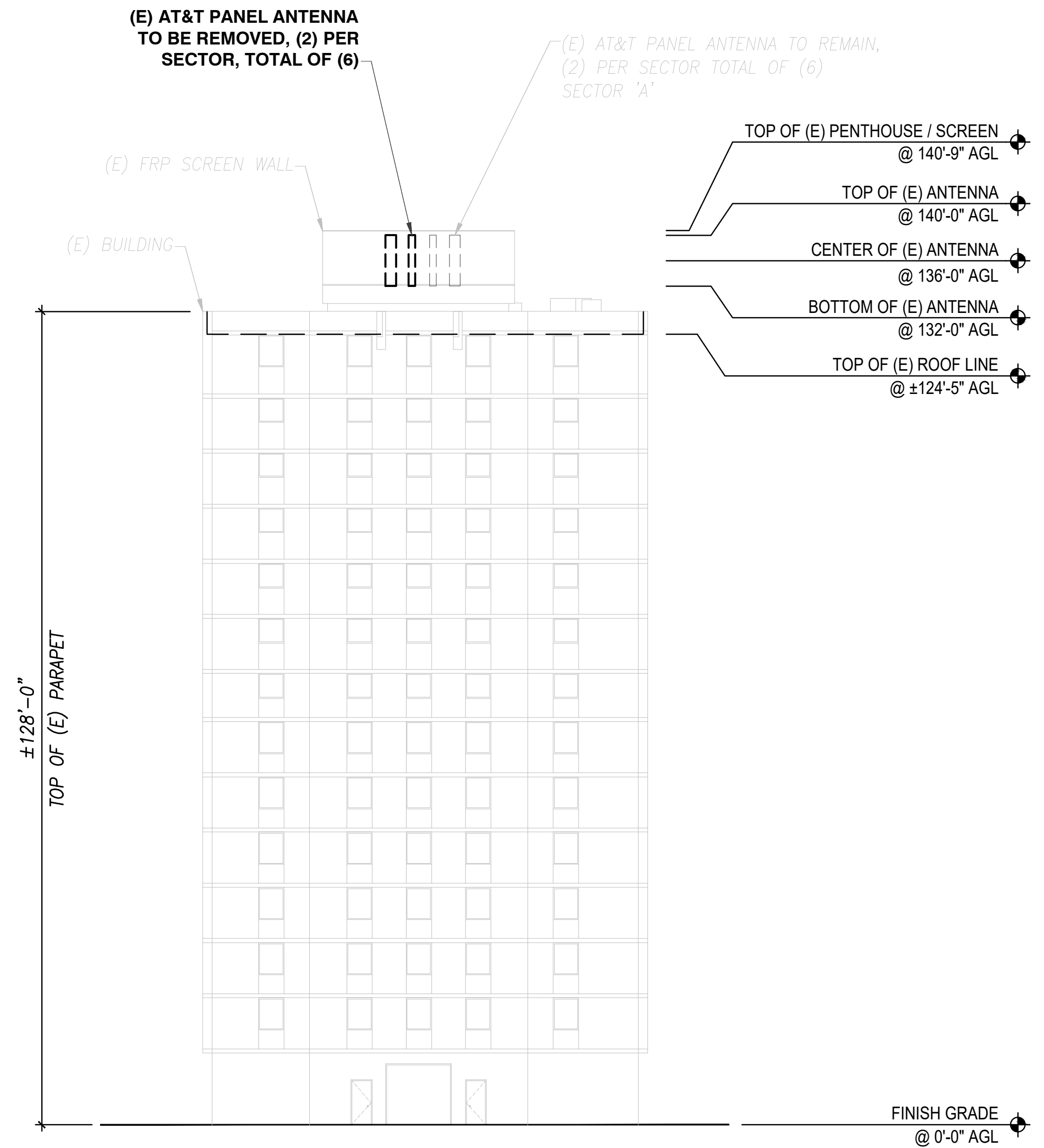


CONSTRUCTION CHANGE TABLE			
CHANGE	DATE	EFFECTED OR ADDED SHEET NUMBERS	CC NO.

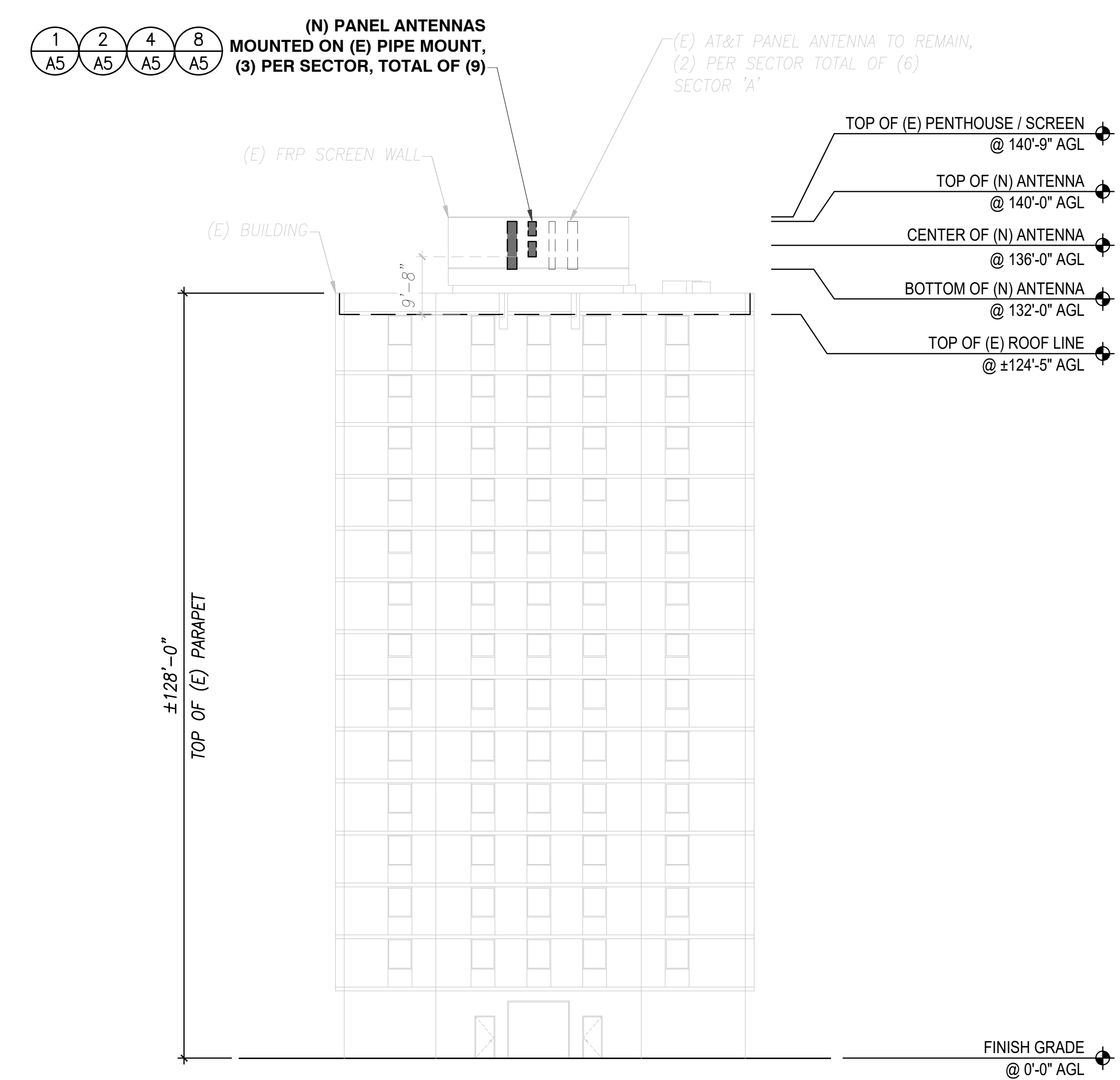


A5

TOTAL ANTENNA/RRU
(6) (N) ANTENNAS
 (9) (E) ANTENNAS
 (12) (E) RRU's



(E) EAST ELEVATION



(N) EAST ELEVATION

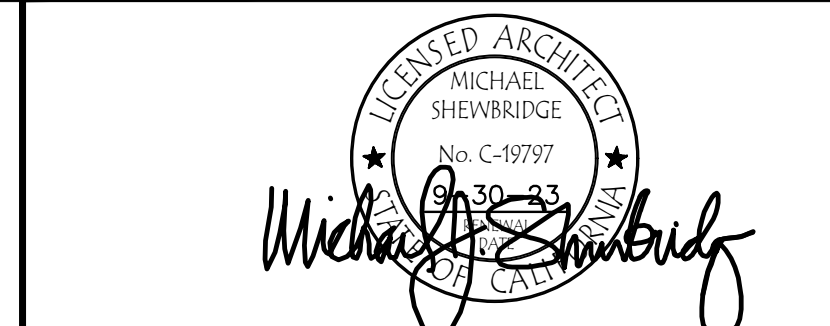
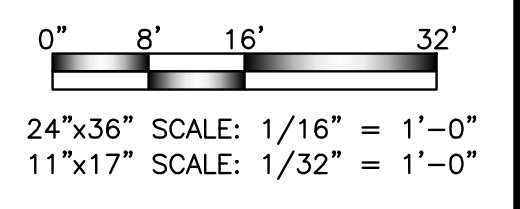
TITLE SHEET FOR:
TECOLOTE RELO
 Legal Description: TR 5353 LOT 11*

SHEET 12 OF 18 SHEETS
 PRJ NO. _____
 PMT NO. _____

REVIT 04/11/22

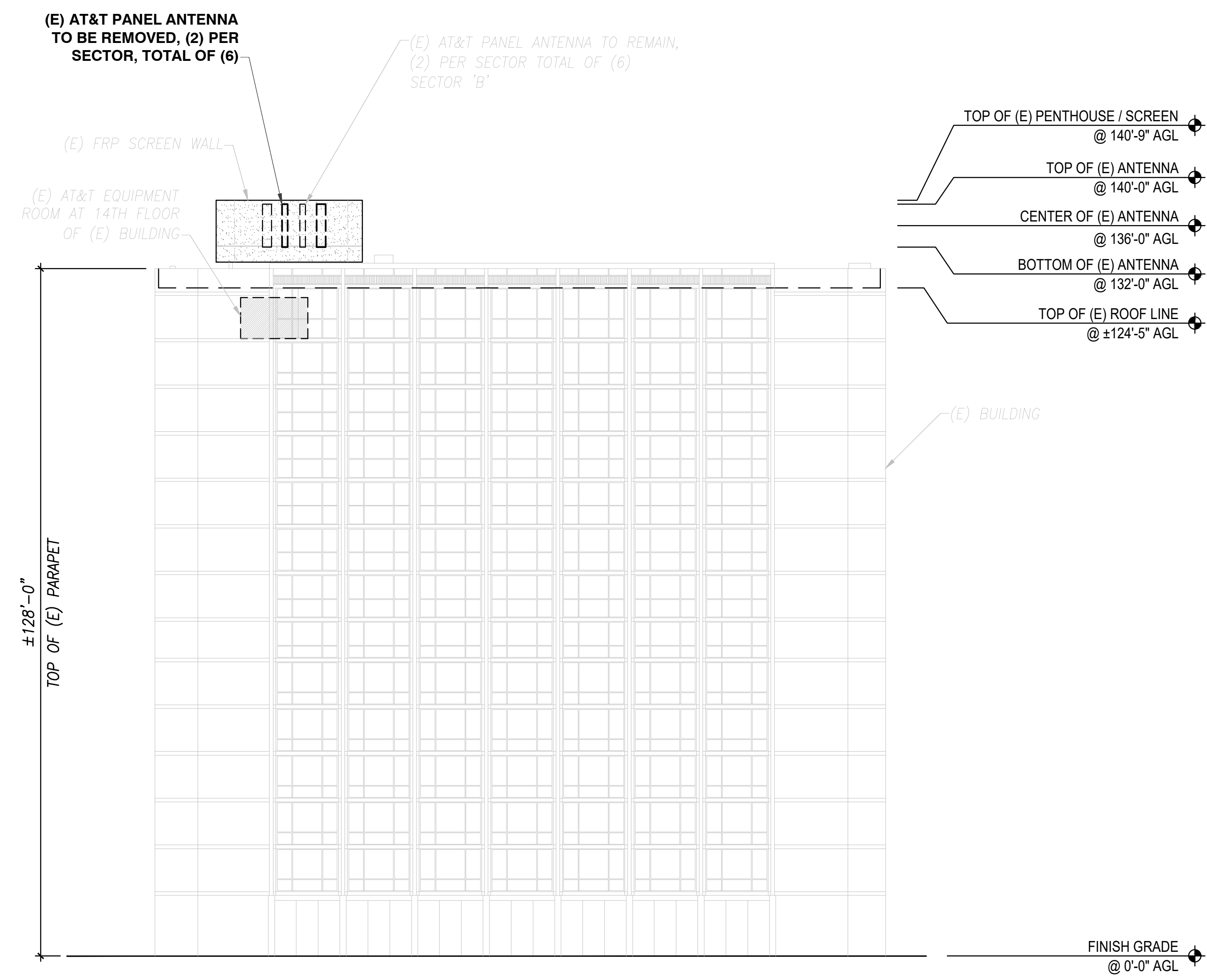


CONSTRUCTION CHANGE TABLE			
CHANGE	DATE	EFFECTED OR ADDED SHEET NUMBERS	CC NO.

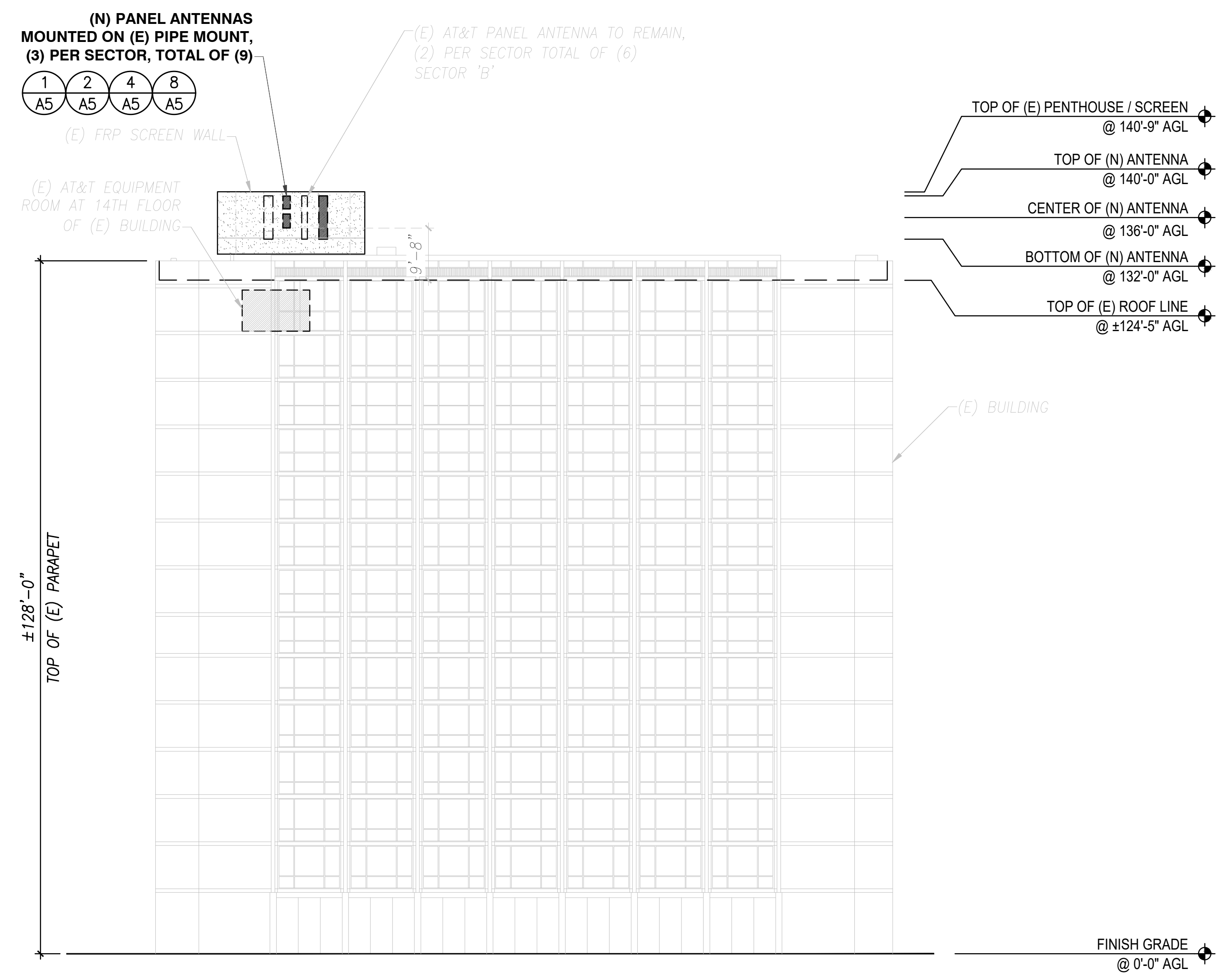


A6

TOTAL ANTENNA/RRU
 (6) (N) ANTENNAS
 (9) (E) ANTENNAS
 (12) (E) RRU's



(E) SOUTH ELEVATION



(N) SOUTH ELEVATION

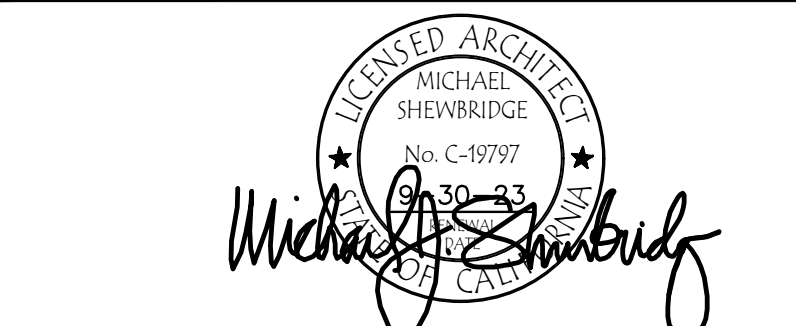
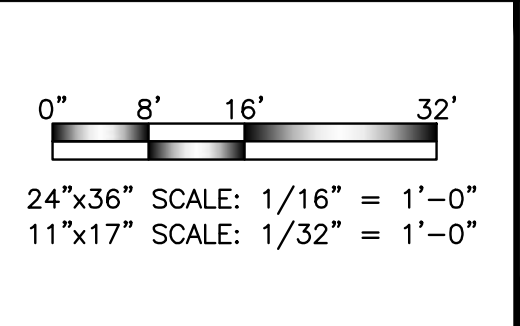
TITLE SHEET FOR:
TECOLOTE RELO
 Legal Description: TR 5353 LOT 11*

SHEET 13 OF 18 SHEETS	PRJ NO. _____
	PMT NO. _____

REVIT 04/11/22



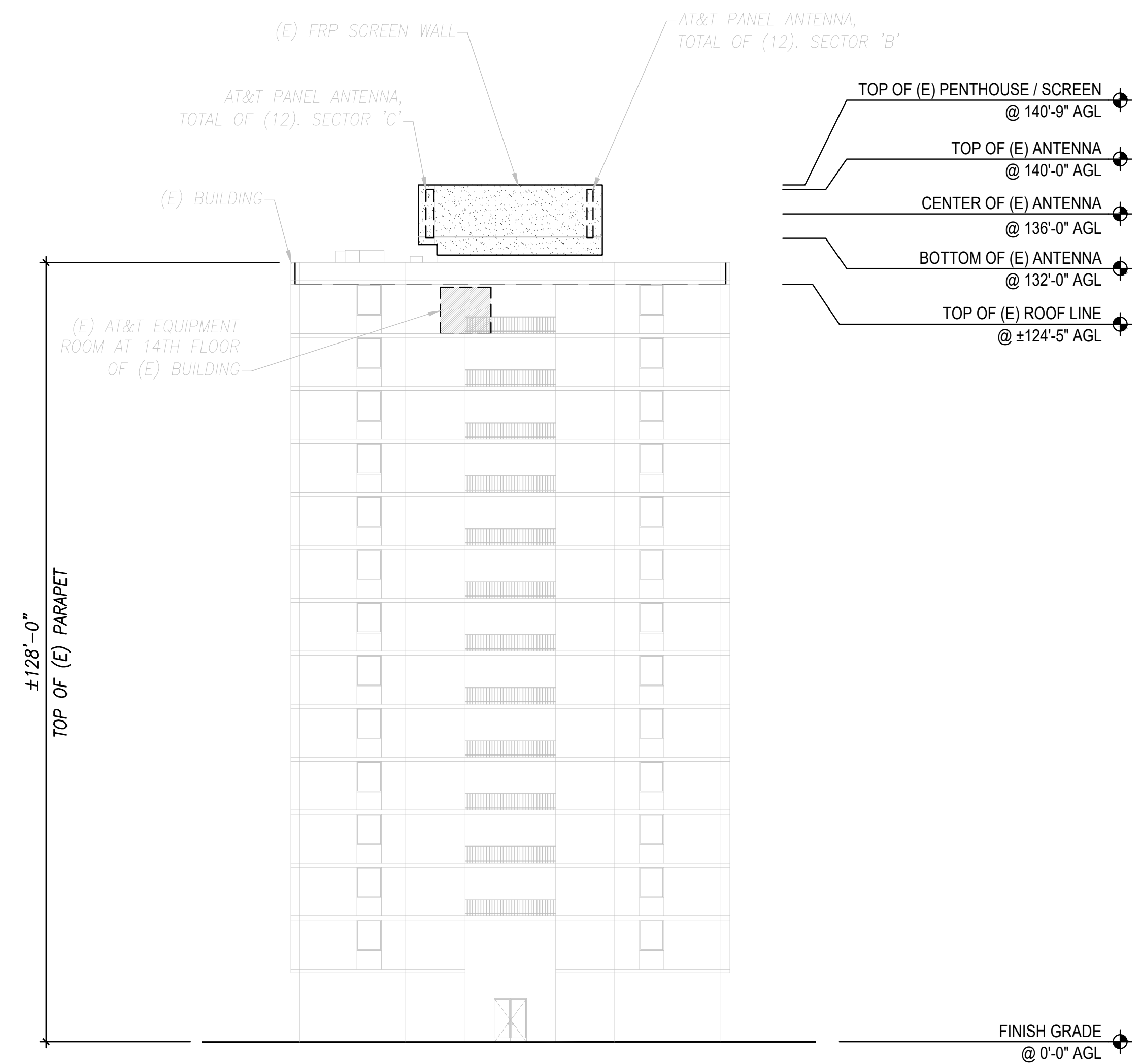
CONSTRUCTION CHANGE TABLE			
CHANGE	DATE	EFFECTED OR ADDED SHEET NUMBERS	CC NO.



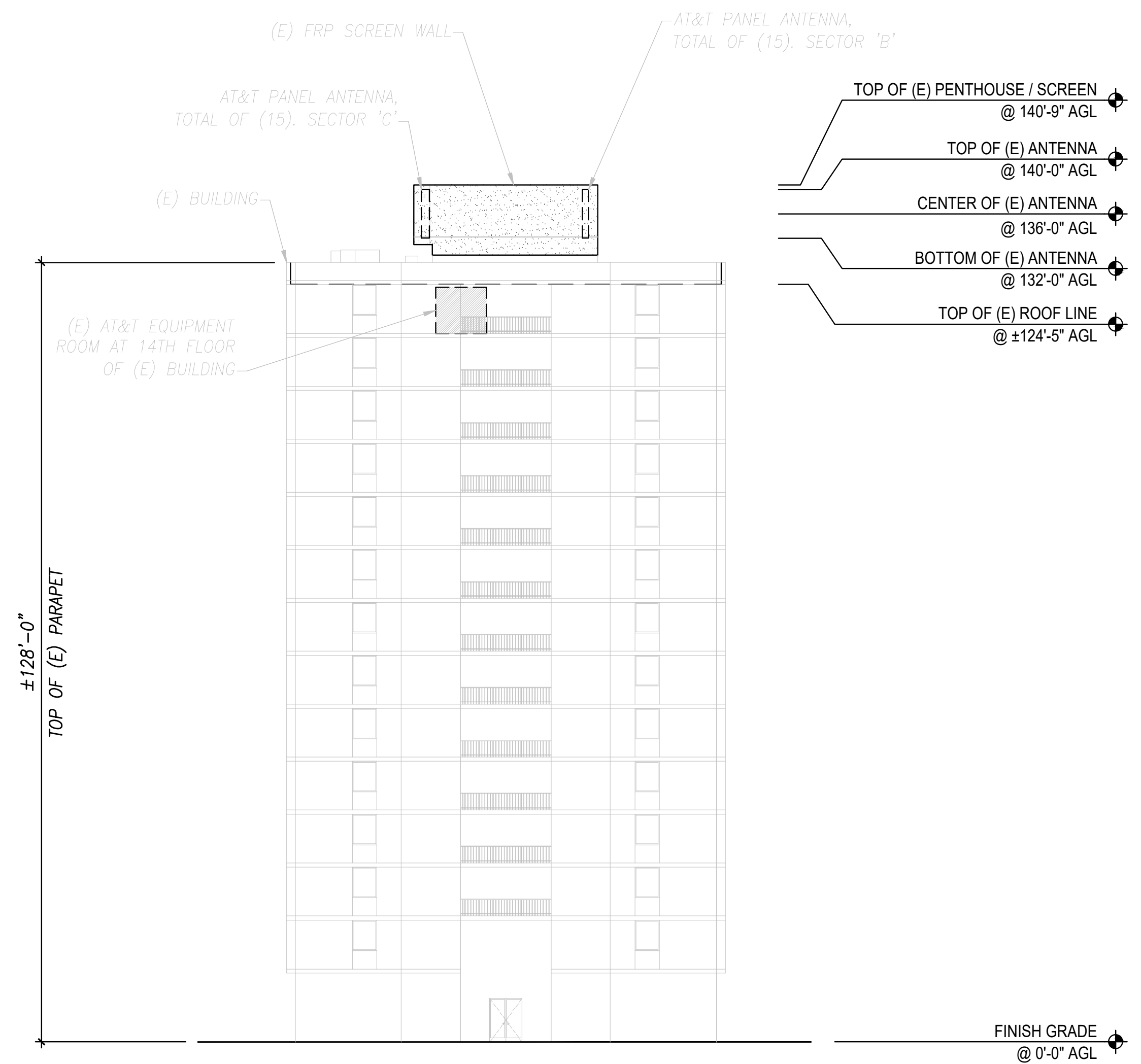
A7

TOTAL ANTENNA/RRU
(6) (N) ANTENNAS
 (9) (E) ANTENNAS
 (12) (E) RRU's

NOTE:
 NO VISIBLE NEW ANTENNA
 ON THIS ELEVATION.



(E) WEST ELEVATION



(N) WEST ELEVATION

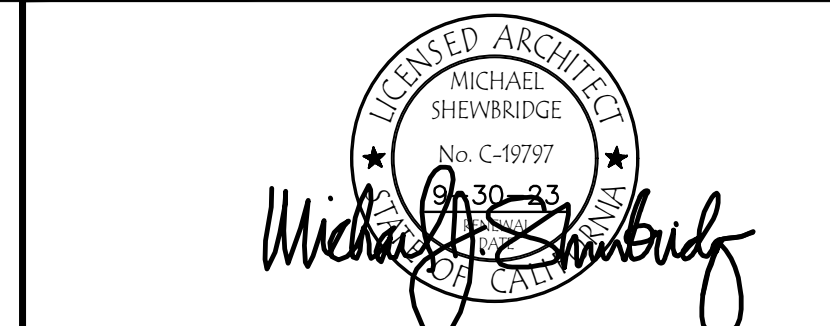
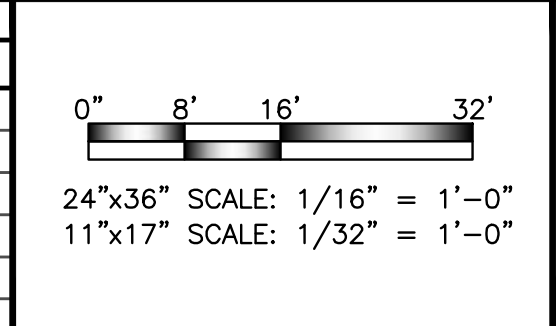
TITLE SHEET FOR:
TECOLOTE RELO
 Legal Description: TR 5353 LOT 11*

SHEET 14 OF 18 SHEETS
 PRJ NO. _____
 PMT NO. _____

REVIT 04/11/22



CONSTRUCTION CHANGE TABLE		
CHANGE	DATE	EFFECTED OR ADDED SHEET NUMBERS



A8

ERICSSON AIR 6449 N77D

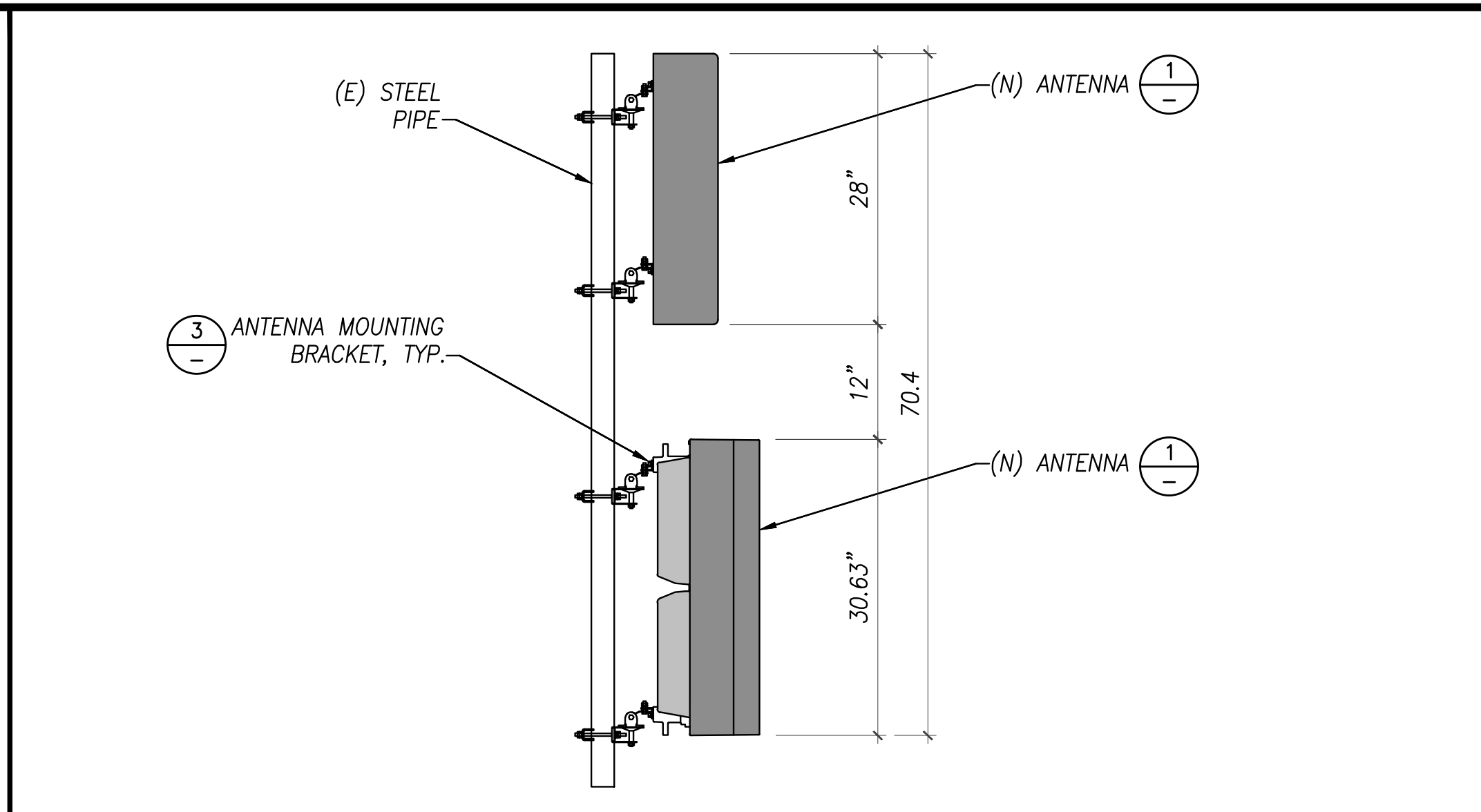
DIMENSIONS, HxWxD: 778x403x268mm
(30.63"x15.87"x10.55")

WEIGHT: 38 kg.

MOUNTING KIT:
SXX1092064/1 4.4 kg.
SXX1092065/1 5.9 kg.

NOMINAL OUTPUT POWER: 320 W

PLAN FRONT



FlexiHaul HSN-8300NA

DIMENSIONS: 19" OR 23" RACK MOUNTABLE
117 (H) x 483 (W) x 298 (D) mm
4.6" (H) x 19" (W) x 11.7" (D)

POWER: -48 V DC (-40 ~ -56 V DC)
+24 V DC (+20 ~ +28 V DC)

TOTAL WEIGHT: 11.3 kg

POWER CONSUMPTION: 280 W (FULLY LOADED)

(N) ANTENNA SPECIFICATIONS 1

AIR ANTENNA VERTICAL MOUNTING ON PIPE 4

(N) BASEBAND UNIT SPECIFICATIONS 7

ERICSSON AIR 6419 N77G

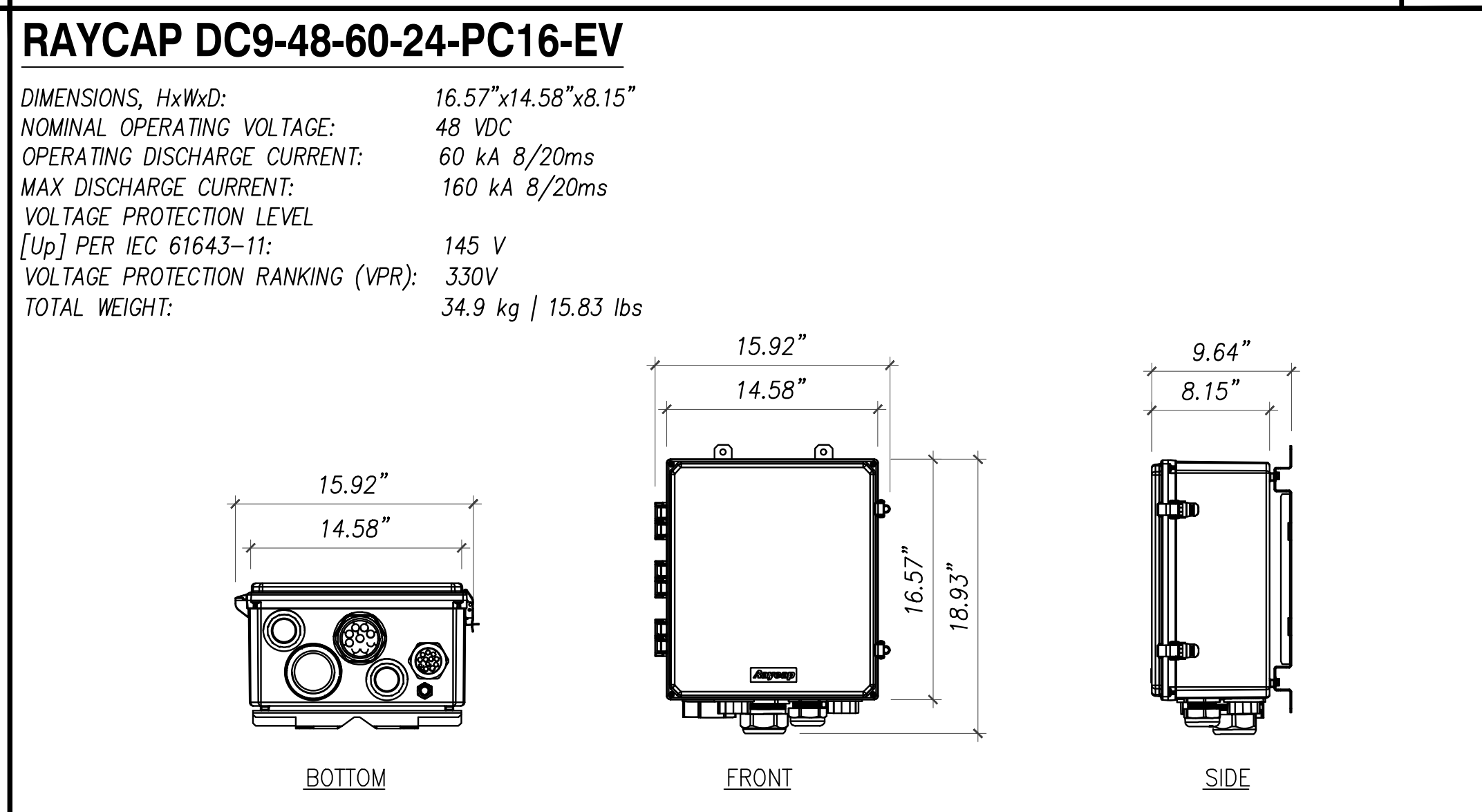
DIMENSIONS, HxWxD: 710x400x170mm
(28"x15.7"x6.7")

WEIGHT: 30 kg.

MOUNTING KIT:
SXX1092064/1 4.4 kg.
SXX1092065/1 5.9 kg.

NOMINAL OUTPUT POWER: 320 W

PLAN FRONT



COMMSCOPE NNH4-65C-R6-V3

DIMENSIONS, LxWxD: 2438 x 498 x 197mm
(96" x 19.6" x 7.8")

WEIGHT (W/OUT CLAMP): 46.3 kg. (102.1 lbs)

RF CONNECTOR QTY: 12 (4) LOW BAND: (8) HIGH BAND

NOTE: DOWN-TILT BRACKET CAN BE OMITTED IF NOT REQUIRED.

PLAN FRONT SIDE

(N) ANTENNA SPECIFICATIONS 2

(N) SURGE PROTECTOR SPECIFICATION 5

(N) ANTENNA SPECIFICATIONS 8

SXX 109 2064/1

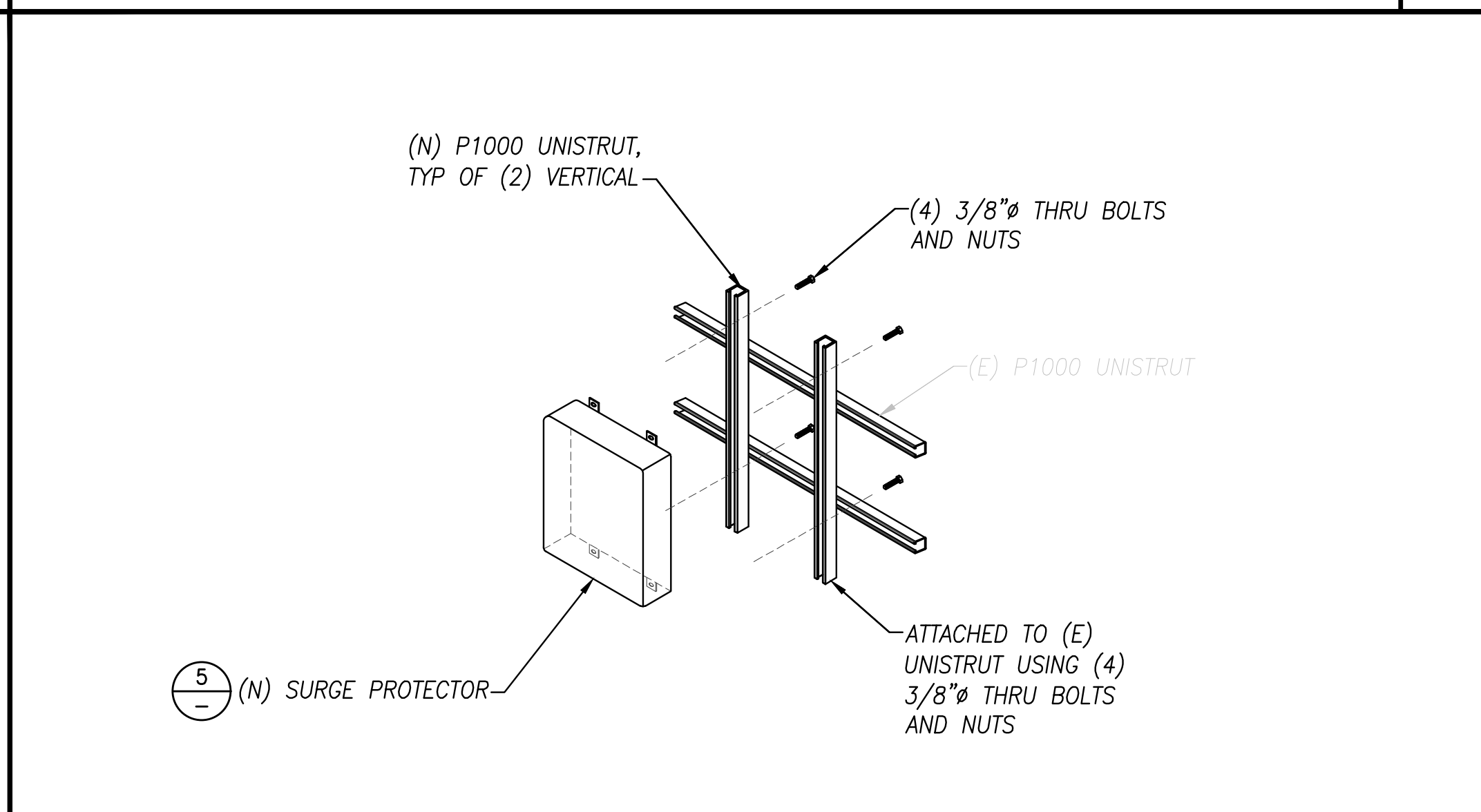
WEIGHT: 4.4 kg.

SUPPORTS SWIVEL ANGLE

SXX 109 2065/1

WEIGHT: 5.9 kg.

SUPPORTS SWIVEL AND TILT ANGLE



COMMSCOPE: BSAMNT-3

WEIGHT: 6.2 kg. (13.7 lbs)

UPPER MOUNT LOWER MOUNT

AIR ANTENNA MOUNTING KIT 3

SURGE PROTECTOR MOUNTING 6

ANTENNA MOUNTING KIT 9



CONSTRUCTION CHANGE TABLE

CHANGE	DATE	EFFECTED OR ADDED SHEET NUMBERS	CC NO.

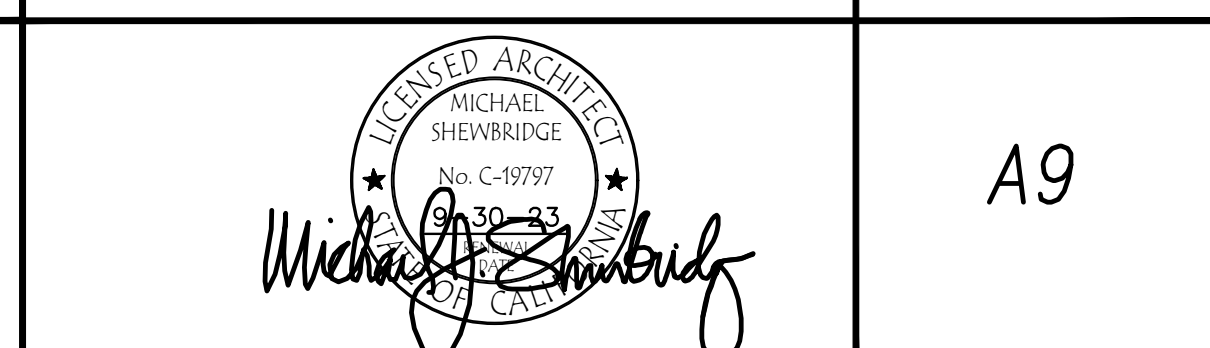
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TITLE SHEET FOR:
TECOLOTE RELO
Legal Description: TR 5353 LOT 11*

SHEET 15 OF 18 SHEETS

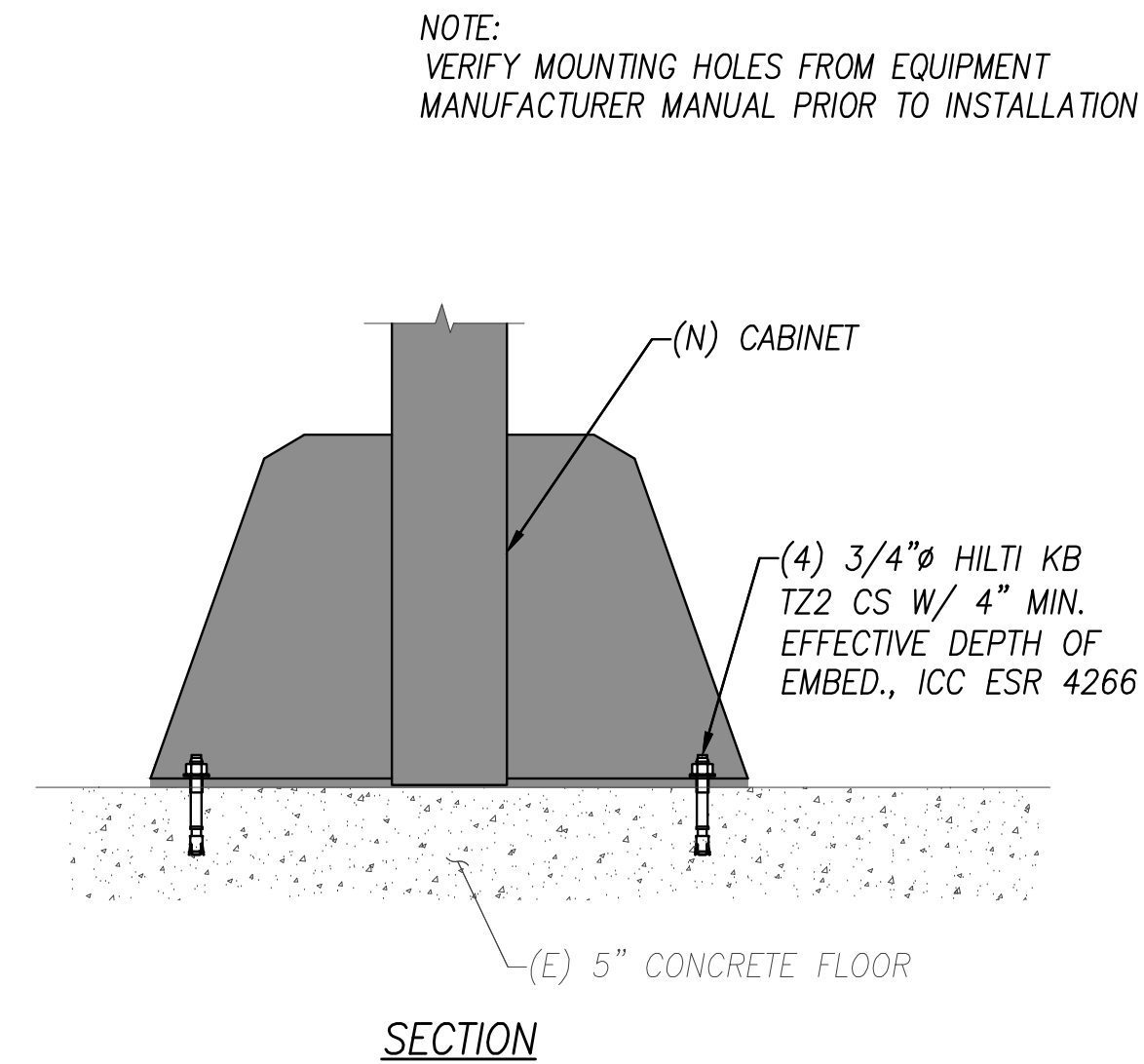
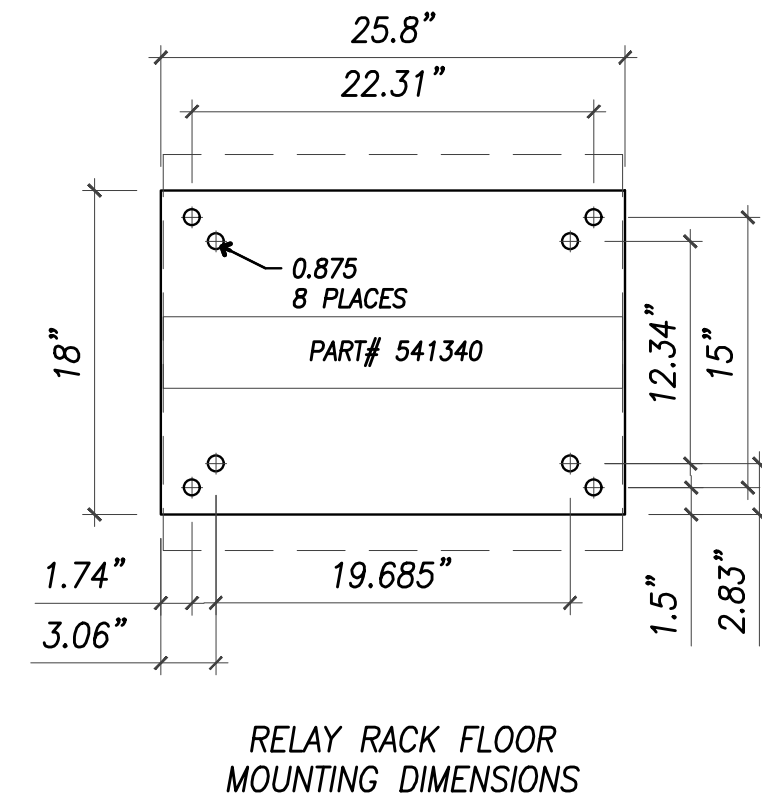
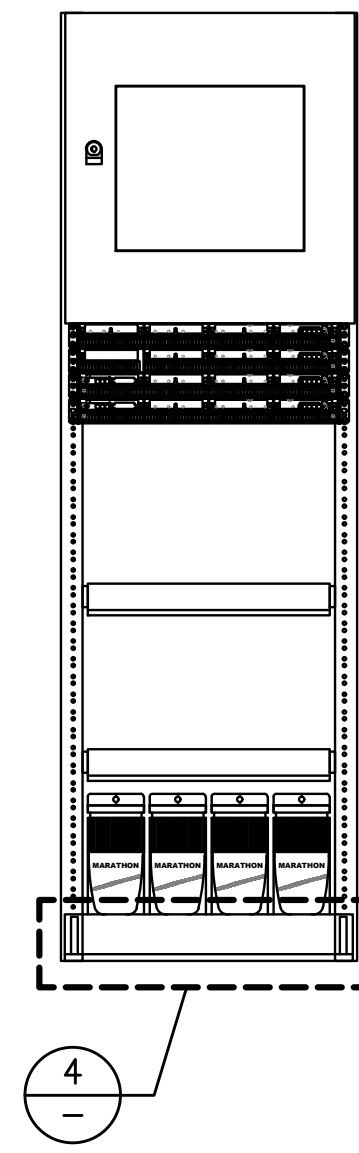
PRJ NO. _____
PMT NO. _____



REV 04/11/22

NetSure 7100 POWER SYSTEM

SYSTEM FEATURES
 DC OUTPUT VOLTAGE -48 VDC (NOMINAL)
 AC INPUT VOLTAGE 208/240 VAC SINGLE PHASE (NOMINAL)
 RATED OUTPUT CAPACITY SYSTEM 1000 AMPS AT -48 VDC, 520 AMPS AT +24 VDC
 SHELF 250 AMPS AT -48 VDC, 187.5 AMPS AT +24 VDC
 DISTRIBUTION PANEL 600 AMPS AT -48 VDC, 520 AMPS AT +24 VDC
PHYSICAL CHARACTERISTICS
 FRAMEWORK TYPE RELAY RACK
 WIDTH 25.5 INCHES
 DEPTH 22 INCHES
 HEIGHT 84 INCHES
 RACK WEIGHT WITHOUT BATTERIES 620 LBS.
 WITH BATTERIES 2500 LBS.
 ACCESS FRONT ACCESS FOR INSTALLATION, OPERATION AND MAINTENANCE
ENVIRONMENTAL
 OPERATING -40 °F TO 104 °F (-40 °C TO 40 °C) CONT. OPERATION
 STORAGE -40 °F TO 185 °F (-40 °C TO 85 °C)
 HUMIDITY 0% TO 95% RELATIVE HUMIDITY, NON-CONDENSING
 VENTILATION RECTIFIERS/CONVERTERS ARE FAN-COOLED FRONT TO REAR
 EMI/RFI SUPPRESSION CONFORMS TO FCC RULES PART 15, SUBPART B, CLASS B AND EN55022 CLASS B, RADIATED AND CONDUCTED
 SAFETY COMPLIANCE UL LISTED TO 1801, CUL, NEBS LEVEL 3 CERTIFIED



(N) POWER PLANT SPECIFICATIONS

1

NOT USED

4

NOT USED

7

VERTIV R48-2000e3

AC INPUT
 INPUT VOLTAGE, NOMINAL 187-264 VAC
 INPUT VOLTAGE, PERMITTED VARIATION 85 - 300 VAC
 LINE FREQUENCY 45 - 65 Hz
 INPUT CURRENT (MAX.) 12A
 POWER FACTOR >0.99
DC OUTPUT
 OUTPUT VOLTAGE (RANGE) -42 - -58 VDC
 OUTPUT POWER (MAX.) 2000 W
 OUTPUT CURRENT 42A @ -48 VDC
 OUTPUT CURRENT LIMIT 0 - 42A
 PEAK EFFICIENCY 96.2%
MECHANICAL
 DIMENSIONS (HxWxD) INCHES 1.61x3.33x9.94
 WEIGHT (LBS.) 2.49



(N) RECTIFIER SPECIFICATIONS

2

NOT USED

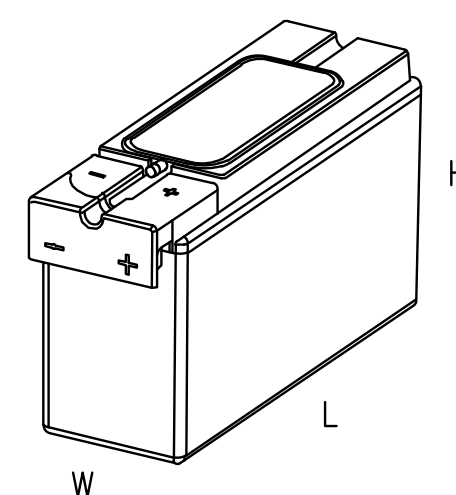
5

NOT USED

8

PowerSafe® SBS190F

DIMENSIONS, LxWxH: 22.1"x4.92"x12.4"
 NUMBER OF CELLS: 6
 NOMINAL VOLTAGE, (V): 12
 8 HR RATE 1.75Vpc @ 77°F: 190
 10 HR RATE 1.80Vpc @ 68°F: 190
 WEIGHT: 60 kg | 132 lbs
STANDARDS:
 • DESIGNED TO MEET TELCORDIA SR-4228 REQUIREMENTS
 • UL RECOGNIZED COMPONENTS
 • UL FILE#S MH15470 AND MH18697
 • APPROVED FOR NON-HAZARDOUS CARGO FOR GROUND, SEA, AND AIR TRANSPORT IN ACCORDANCE WITH US DOT REG. 49 CFR AND ICAO AND IATA PACKING INSTRUCTIONS 806
 • MANAGEMENT SYSTEM GOVERNING THE MFR OF THIS PRODUCT IS ISO 9001-2015 CERTIFIED.



SITE BATTERY INFORMATION							
MANUFACTURER	SERIES	MODEL NO.	TYPE	QTY	RATED VOLTAGE EACH	AMP-HR RATING EACH	CAPACITY (kWh)
ENERSYS	SBS	SBS190F	VRLA	20	12	190	45.6
TOTAL CAPACITY (kWh) AT SITE AFTER PROJECT COMPLETION							45.6

NOTES:
 REFER TO PLAN FOR BATTERY LOCATION(S)
BATTERY STORAGE SYSTEM NOTE:
 THE SITE WILL HAVE LESS THAN 70 kWh (252 Megajoules) TOTAL CAPACITY OF VRLA (LEAD ACID TYPE BATTERY) SPECIFIED UNDER SECTION 1206 OF CFC 2019

BATTERY INFORMATION AND SPECIFICATIONS

3

NOT USED

6

TITLE SHEET FOR:
TECOLOTE RELO
 Legal Description: TR 5353 LOT 11*

SHEET 16 OF 18 SHEETS

PRJ NO. _____
 PMT NO. _____

THE CITY OF SAN DIEGO
 DEVELOPMENT SERVICES DEPARTMENT

Michael A. Shumbly
 LICENSED ARCHITECT
 No. C-19797
 9/30/83

A10

CONSTRUCTION CHANGE TABLE		
CHANGE	DATE	EFFECTED OR ADDED SHEET NUMBERS

SCALE : N/A

TELECOM MANAGEMENT GROUP
 Solutions Done Right

AT&T MOBILITY

BECHTEL INFRASTRUCTURE AND POWER CORPORATION

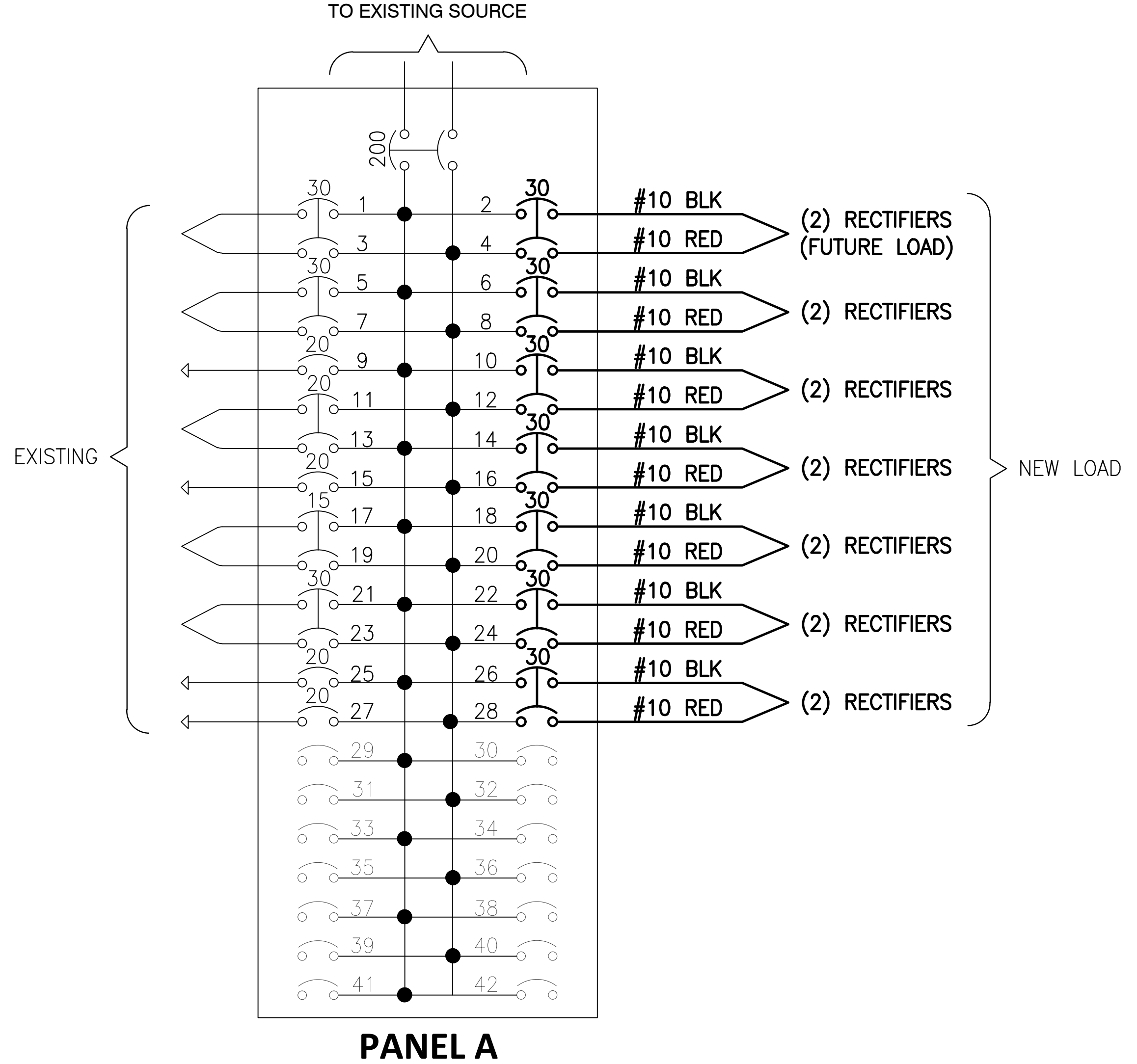
REV: 04/11/22

LOAD CENTER SCHEDULE																	
SITE: SD0880 TECOLOTE RELO		VOLTAGE: 120/240 PHASE: 1 WIRE: 3 MAIN BREAKER: 200A UM				LOCATION/ENCLOSURE: INDOOR TYPE 1											
PANEL DESIGNATION: PANEL A		BRACING: 10 KAIC, MAIN / BRANCH - SERIES RATED															
CKT	LOAD DESCRIPTION	BREAKER AMPS	BREAKER POLES	BREAKER STATUS	SERVICE LOAD VA	USAGE FACTOR	C/NC	PHASE A VA	PHASE B VA	C/NC	USAGE FACTOR	SERVICE LOAD VA	BREAKER STATUS	BREAKER POLES	BREAKER AMPS	LOAD DESCRIPTION	CKT
1	HVAC CU# 1	30	2	ON	3600	0.50	NC	1800					OFF	2	30	VERTIV (2) RECTIFIERS	2
3					3600	0.50	NC	1800									4
5	HVAC CU# 2	30	2	ON	3600	0.50	NC	3950		NC	1.00	2150	ON	2	30	VERTIV (2) RECTIFIERS	6
7					3600	0.50	NC	3950		NC	1.00	2150					8
9	HVAC GFCI	20	1	ON	180	1.00	NC	2330		NC	1.00	2150	ON	2	30	VERTIV (2) RECTIFIERS	10
11	LIGHTS / RECEPTACLE	20	2	ON	600	1.00	C	2750		NC	1.00	2150					12
13					600	1.00	C	2750		NC	1.00	2150					14
15	RECEPTACLE/TELCO	20	1	ON	360	1.00	NC	2510		NC	1.00	2150	ON	2	30	VERTIV (2) RECTIFIERS	16
17	POWER FAIL	15	2	ON	5	1.00	NC	2155		NC	1.00	2150	ON	2	30	VERTIV (2) RECTIFIERS	18
19					5	1.00	NC	2155		NC	1.00	2150					20
21	SURGE SUPPRESSOR	30	2	ON	0	0.00	NC	2150		NC	1.00	2150	ON	2	30	VERTIV (2) RECTIFIERS	22
23					0	0.00	NC	2150		NC	1.00	2150					24
25	SMOKE	20	1	ON	50	1.00	NC	2200		NC	1.00	2150	ON	2	30	VERTIV (2) RECTIFIERS	26
27	AC PUMP RECEPTACLE	20	1	ON	100	1.00	NC	2250		NC	1.00	2150	ON	2	30	VERTIV (2) RECTIFIERS	28
29					0												30
31					0												32
33					0												34
35					0												36
37					0												38
39					0												40
41					0												42

NOTES: CIRCUIT BREAKERS 10,000 A.I.C.	PHASE A TOTAL VA 17335	LEGEND: UM - UTILITY MAIN CIRCUIT BREAKER C - CONTINUOUS LOAD NC - NON-CONTINUOUS LOAD
	PHASE B TOTAL VA 17565	
	125% LCL & LIML 538	
	TOTAL KVA 35.44	
	TOTAL AMPS 147.66	

- NOTES:
- CONTRACTOR SHALL INSTALL AND RUN ANY NEW CONDUCTORS TOGETHER IN A NEW 1" EMT CONDUIT NO MORE THAN (6) CURRENT CARRYING CONDUCTORS
 - ADDITIONAL DC LOAD HAS BEEN INCLUDED IN THE AC LOAD CALCULATIONS.
 - CONTRACTOR TO VERIFY BREAKER SIZE PER PANEL SCHEDULE IF A BREAKER WILL BE RE-USED.
 - CONTRACTOR TO ENSURE BREAKER IS SEATED PROPERLY.

AC PANEL SCHEDULE



AC SINGLE LINE DIAGRAM

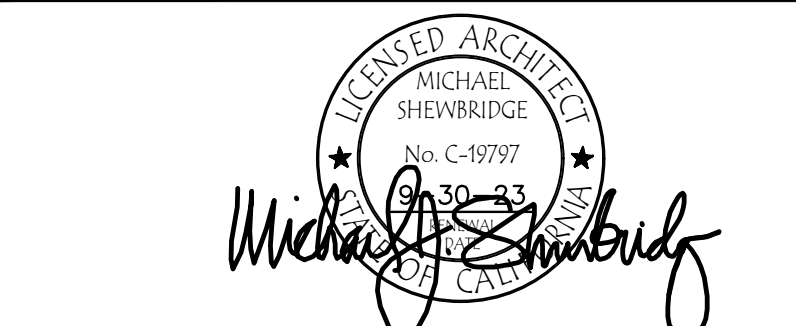
TITLE SHEET FOR: TECOLOTE RELO	
Legal Description: TR 5353 LOT 11*	
SHEET 17 OF 18 SHEETS	PRJ NO. _____
	PMT NO. _____

REV 04/11/22



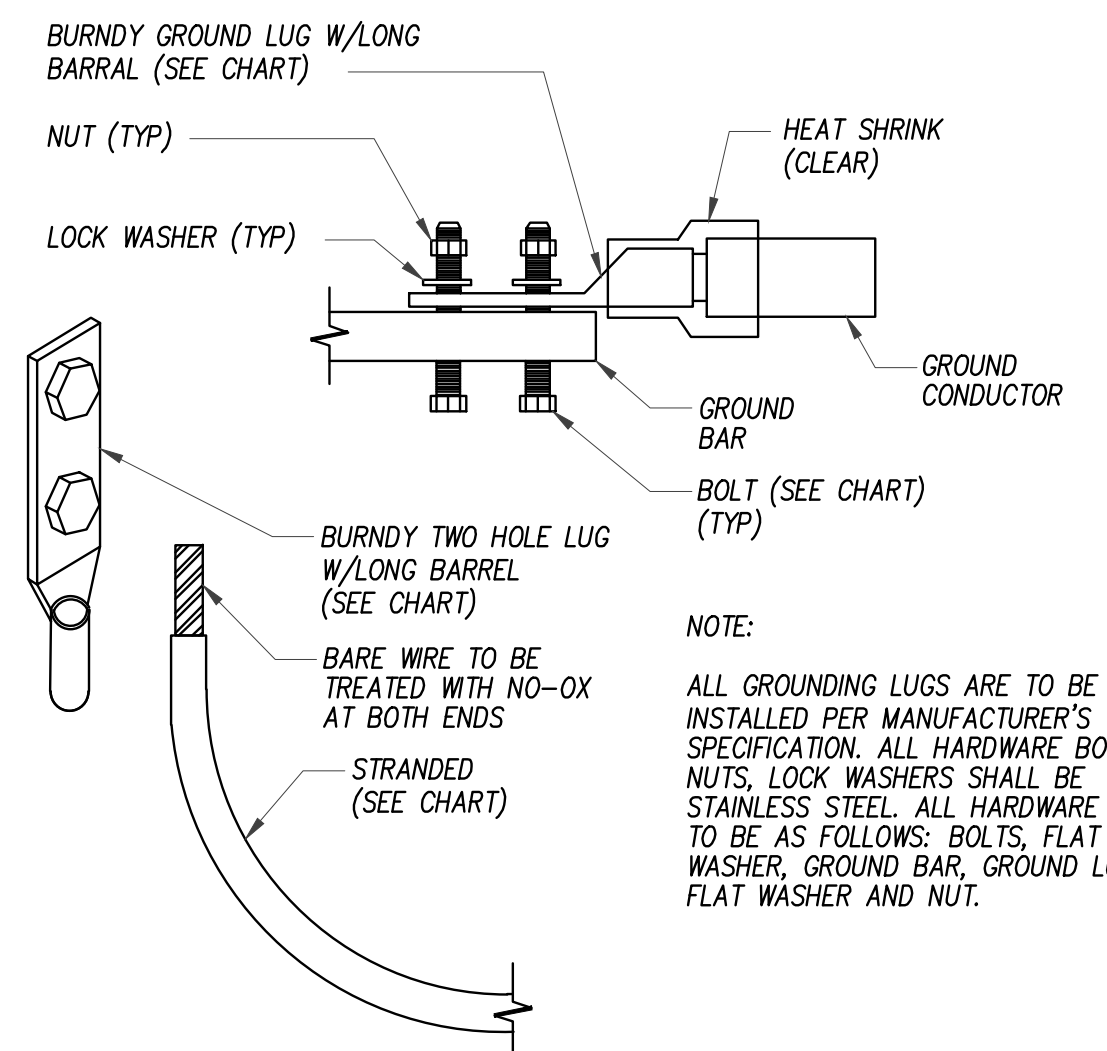
CONSTRUCTION CHANGE TABLE		
CHANGE	DATE	EFFECTED OR ADDED SHEET NUMBERS

SCALE : N/A

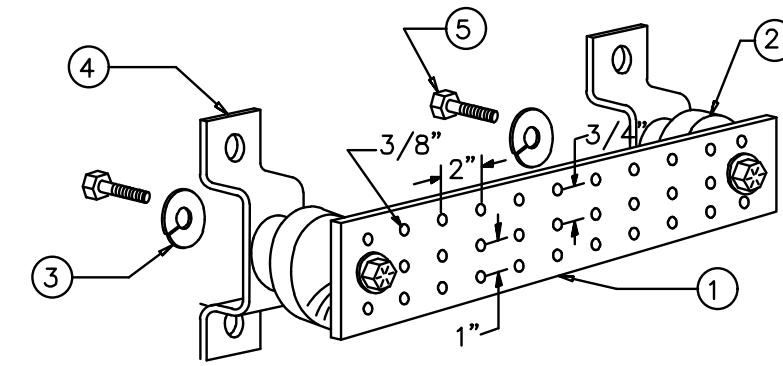


E1

WIRE SIZE	BURNDY LUG	BOLT SIZE
#6 GREEN INSULATED	YA6C-2TC38	3/8" - 16 NC SS 2 BOLT
#2 SOLID TINNED	YA3C-2TC38	3/8" - 16 NC SS 2 BOLT
#2 STRANDED	YA2C-2TC38	3/8" - 16 NC SS 2 BOLT
#2/0 STRANDED	YA26-2TC38	3/8" - 16 NC SS 2 BOLT
#4/0 STRANDED	YA28-2N	1/2" - 16 NC SS 2 BOLT



NOTE:
ALL GROUNDING LUGS ARE TO BE INSTALLED PER MANUFACTURER'S SPECIFICATION. ALL HARDWARE BOLTS, NUTS, LOCK WASHERS SHALL BE STAINLESS STEEL. ALL HARDWARE ARE TO BE AS FOLLOWS: BOLTS, FLAT WASHER, GROUND BAR, GROUND LUG, FLAT WASHER AND NUT.



LEGEND

- 1- TINNED COPPER GROUND BAR, 1/4"x4"x20", NEWTON INSTRUMENT CO. CAT. NO. B-6142 OR EQUAL. HOLE CENTERS TO MATCH NEMA DOUBLE LUG CONFIGURATION.
- 2- INSULATORS, NEWTON INSTRUMENT CAT. NO. 3061-4
- 3- 5/8" LOCKWASHERS, NEWTON INSTRUMENT CO. CAT. NO. 3015-8
- 4- WALL MOUNTING BRACKET, NEWTON INSTRUMENT CO. CAT. NO. A-5056
- 5- 5/8-11 X 1" HHCS BOLTS, NEWTON INSTRUMENT CO. CAT. NO. 3012-1

1. ALL DETAILS ARE SHOWN IN GENERAL TERMS. ACTUAL GROUNDING INSTALLATION REQUIREMENTS AND CONSTRUCTION ACCORDING TO SITE CONDITIONS.
2. ALL GROUNDING CONDUCTORS: #2 AWG SOLID BARE TINNED COPPER WIRE UNLESS OTHERWISE NOTED.
3. GROUND BAR LOCATED IN BASE OF EQUIPMENT WILL BE PROVIDED, FURNISHED AND INSTALLED BY THE VENDOR.
4. ALL BELOW GRADE CONNECTIONS: EXOTHERMIC WELD TYPE, ABOVE GRADE CONNECTIONS: EXOTHERMIC WELD TYPE.
5. GROUND RING SHALL BE LOCATED A MINIMUM OF 30" BELOW GRADE OR 6" MINIMUM BELOW THE FROST LINE, WHICH EVER IS DEEPER.
6. INSTALL GROUND CONDUCTORS AND GROUND ROD MINIMUM OF 1'-0" FROM EQUIPMENT CONCRETE SLAB, SPREAD FOOTING, OR FENCE.
7. EXOTHERMIC WELD GROUND CONNECTION TO FENCE POST: TREAT WITH A COLD GALVANIZED SPRAY.
8. GROUND BARS:
 - A. EQUIPMENT GROUND BUS BAR (EGB) LOCATED AT BOTTOM OF ANTENNA POLE/MAST FOR MAKING GROUNDING JUMPER CONNECTIONS TO COAX FEEDER CABLES SHALL BE FURNISHED AND INSTALLED BY ELECTRICAL CONTRACTOR. JUMPERS (FURNISHED BY OWNERS) SHALL BE INSTALLED AND CONNECTED BY ELECTRICAL CONTRACTOR.
 - B. MAIN GROUND BUS BAR (MGB) LOCATED NEAR THE BASE OF THE RADIO EQUIPMENT CABINET(S) SHALL BE FURNISHED AND INSTALLED BY ELECTRICAL CONTRACTOR.
9. ALL GROUNDING INSTALLATIONS AND CONNECTIONS SHALL BE MADE BY ELECTRICAL CONTRACTOR.
10. OBSERVE N.E.C. AND LOCAL UTILITY REQUIREMENTS FOR ELECTRICAL SERVICE GROUNDING.
11. GROUNDING ATTACHMENT TO TOWER SHALL BE AS PER MANUFACTURER'S RECOMMENDATIONS OR AT GROUNDING POINTS PROVIDED (2 MINIMUM).

MASTER GROUND BAR

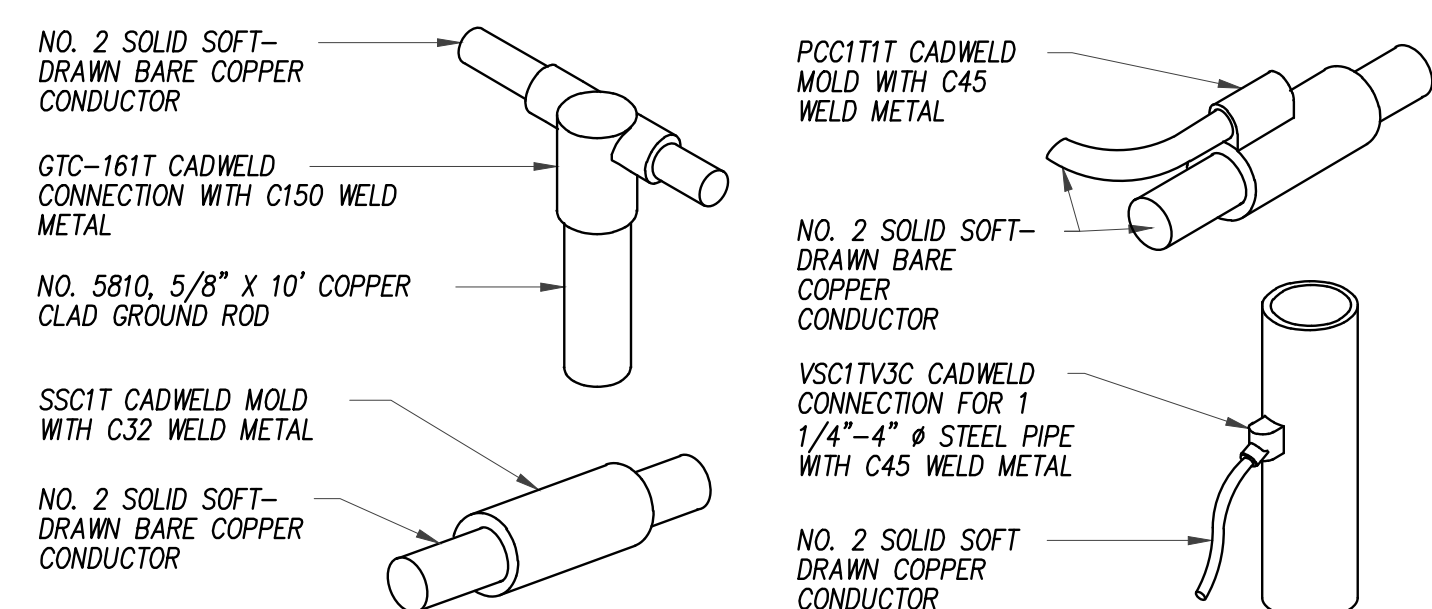
3

GROUNDING NOTES

4

MECHANICAL LUG CONNECTION

1

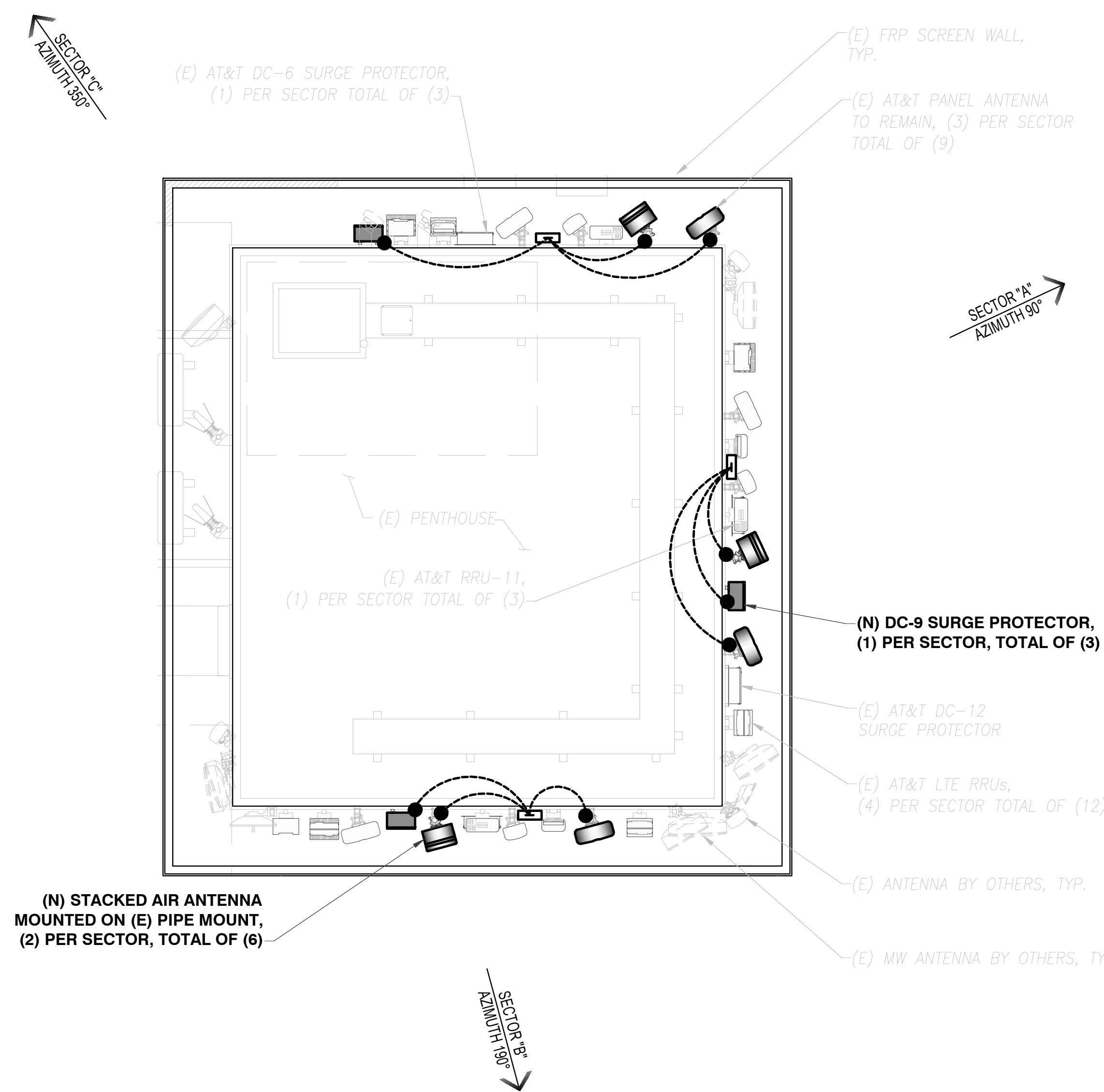


CADWELDS

2

ANTENNA GROUNDING PLAN

5



LEGEND	
■	EXOTHERMIC CONNECTION
○	MECHANICAL CONNECTION
▭	ANTENNA GROUND BAR
▭	MASTER GROUND BAR

TITLE SHEET FOR:
TECOLOTE RELO
Legal Description: TR 5353 LOT 11*

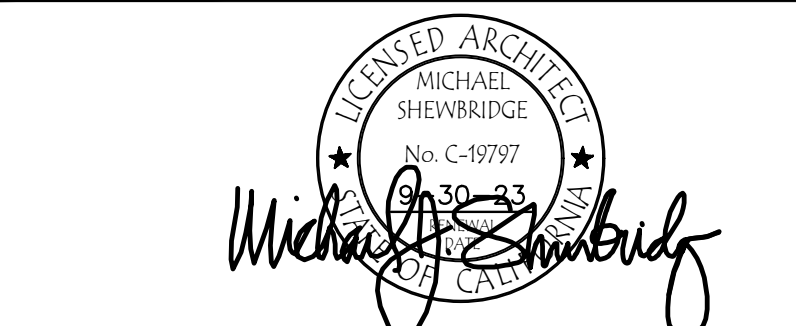
SHEET 10 OF 10 SHEETS
PRJ NO. _____
PMT NO. _____

REV 04/11/22



CONSTRUCTION CHANGE TABLE			
CHANGE	DATE	EFFECTED OR ADDED SHEET NUMBERS	CC NO.

SCALE : N/A



E2



September 16, 2022

Site Justification Map

SITE ID: CAL00880 (FA: 10549362)

CARRIER & PROJECT NAME: TECOLOTE RELO (Rooftop)

SITE ADDRESS: 2875 Cowley Way, San Diego, CA 92110

To Whom it May concern:

A new Site Justification Map is not applicable to renew the entitlement for this existing AT&T Wireless Facility. The site will remain in the same location as when it was approved for entitlement by the City of San Diego under Conditional Use Permit 749247 and subsequent City issued Spectrum Act approvals. The site is located at 2875 Cowley Way in the RM-3-7 Residential Clairemont Height Overlay Zone and is surrounded by similarly zoned properties.

Should you have any questions, please do not hesitate to ask. Thank you!

Michele Vernotico

Contractor, AT&T Mobility and Bechtel Infrastructure and Power Corporation

SCV Consulting Inc.

Email: Michele@scvgrp.net



619.417.9925
801.910.2965



STEPHANIE@SCVGRP.NET
JEFF.VANDERVEEN@SCVGRP.NET



9864 APPLE TREE DR. UNIT A, SAN DIEGO, CA 92124



**City of San Diego
Development Services**
1222 First Ave., MS 302
San Diego, CA 92101
(619) 446-5000

Ownership Disclosure Statement

**FORM
DS-318**

October 2017

Approval Type: Check appropriate box for type of approval(s) requested: Neighborhood Use Permit Coastal Development Permit
 Neighborhood Development Permit Site Development Permit Planned Development Permit Conditional Use Permit Variance
 Tentative Map Vesting Tentative Map Map Waiver Land Use Plan Amendment • Other _____

Project Title: _____ **Project No. For City Use Only:** _____

Project Address: _____

Specify Form of Ownership/Legal Status (please check):

Corporation Limited Liability -or- General – What State? _____ Corporate Identification No. _____

Partnership Individual

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter will be filed with the City of San Diego on the subject property with the intent to record an encumbrance against the property. Please list below the owner(s), applicant(s), and other financially interested persons of the above referenced property. A financially interested party includes any individual, firm, co-partnership, joint venture, association, social club, fraternal organization, corporation, estate, trust, receiver or syndicate with a financial interest in the application. If the applicant includes a corporation or partnership, include the names, titles, addresses of all individuals owning more than 10% of the shares. If a publicly-owned corporation, include the names, titles, and addresses of the corporate officers. (A separate page may be attached if necessary.) If any person is a nonprofit organization or a trust, list the names and addresses of **ANY** person serving as an officer or director of the nonprofit organization or as trustee or beneficiary of the nonprofit organization. A signature is required of at least one of the property owners. Attach additional pages if needed. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

Property Owner

Name of Individual: _____ Owner Tenant/Lessee Successor Agency

Street Address: _____

City: _____ State: _____ Zip: _____

Phone No.: _____ Fax No.: _____ Email: _____

Signature: _____ Date: _____

Additional pages Attached: Yes No

Applicant

Name of Individual: _____ Owner Tenant/Lessee Successor Agency

Street Address: _____

City: _____ State: _____ Zip: _____

Phone No.: _____ Fax No.: _____ Email: _____

Signature: _____ Date: _____

Additional pages Attached: Yes No

Other Financially Interested Persons

Name of Individual: _____ Owner Tenant/Lessee Successor Agency

Street Address: _____

City: _____ State: _____ Zip: _____

Phone No.: _____ Fax No.: _____ Email: _____

Signature: _____ Date: _____

Additional pages Attached: Yes No



AMERICAN TOWER®
CORPORATION

LETTER OF AUTHORIZATION

**LICENSEE NAME: NEW CINGULAR WIRELESS PCS, LLC dba AT&T
MOBILITY**
**ATC SITE # / NAME / PROJECT #: 8577 / MISSION BAY-SORRENTO TOWERS
CA / OAA777910**
SITE ADDRESS: 2875 COWLEY WAY, SAN DIEGO, CA 92110-1008
APN: 425-670-13-00

I, _____ of SORRENTO TOWER HOUSING PARTNERS L P (Lessor, Property Owner, and or duly authorized agent thereof) of the property identified above do hereby authorize **NEW CINGULAR WIRELESS PCS, LLC dba AT&T MOBILITY**, American Tower*, their parents, subsidiaries, affiliates, successors, assigns, contractors, and agents, to act as my non-exclusive agent for the sole purpose of filing and consummating any current or future land-use or construction permit application(s) as may be required by the applicable permitting authorities for the scope of work as outlined below.

TOWER WORK:

- REMOVE (2) ANTENNA PER SECTOR. TOTAL OF (6)
- INSTALL (3) ANTENNA PER SECTOR. TOTAL OF (9)
- INSTALL (1) DC9 SURGE PROTECTOR PER SECTOR, TOTAL OF (3)

EQUIPMENT AREA WORK

- REMOVE (E) POWER PLANT
- REMOVE ALL BATTERY MODULES
- INSTALL NEW DC POWER PLANT W/ (12) RECTIFIERS
- INSTALL (20) BATTERY MODULES IN (E) BATTERY RACK
- INSTALL (1) HSN-8300NA IN (E) TELCO RACK
- INSTALL (3) #6AWG DC POWER TRUNKS

Signature: _____

Print Name: Casey Haeling - Manager
SORRENTO TOWER HOUSING PARTNERS L P

NOTARY BLOCK (See California Acknowledgement Attached)

*American Tower as used herein includes any affiliates or subsidiaries of American Tower Corporation



March 24th, 2022

Re: **LETTER OF AUTHORIZATION**
SoCal Market – MCA / LTE MODS

To Whom It May Concern:

SCV Consulting Inc, its employees and agents are authorized representatives of Bechtel Infrastructure and Power Corporation to New Cingular Wireless PCS, LLC, doing business as AT&T Mobility. SCV Consulting, Inc, its employees and agents have been contracted to perform real estate leasing, land-use entitlements, and architectural, construction, and engineering services on behalf of Bechtel Infrastructure who represent AT&T Mobility telecommunications facilities.

As an authorized representative of Bechtel Infrastructure and Power Corporation, its employees and or agents may sign, file, review land-use applications and permits, representing AT&T Mobility at hearings, accept conditions of approval, and negotiate leases on behalf of AT&T Mobility.

Should you have any questions, or need additional information, please do not hesitate to contact me at the above contact information.

Sincerely,

Kapono, Rebecca
(RAKAPONO)

Digitally signed by: Kapono, Rebecca
(RAKAPONO)
DN: CN = Kapono, Rebecca(RAKAPONO) C =
US O = Bechtel Global Corporation
Date: 2022.03.24 17:13:42 -07'00'

Rebecca A Kapono
Site Acquisition Manager
AT&T Mobility | MCA/LTE Project | SoCal Market
M:808-250-2261
W:725-223-0856
E: rakapono@bechtel.com