

DEVELOPMENT PLANS SHEET LIST

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CO ARCHITECTS

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PROFESSIONAL STAMP



AGENCY STAMP

TENTATIVE MAP SHEET LIST

SHEET NUMBER	SHEET NAME
TM-1	TENTATIVE MAP
TM-2	EASEMENT EXHIBIT
TM-3	TENTATIVE MAP
TM-4	TENTATIVE MAP
TM-5	TENTATIVE MAP
TM-6	TENTATIVE MAP
TM-7	TENTATIVE MAP
TM-8	TENTATIVE MAP
TM-9	TENTATIVE MAP
TM-10	TENTATIVE MAP
TM-11	TENTATIVE MAP
TM-12	TENTATIVE MAP

NEIGHBORHOOD USE PERMIT NO. 2409291
PLANNED DEVELOPMENT PROJECT NO. 2410288
EASEMENT VACATION NO. 2410321
SITE DEVELOPMENT PERMIT NO. 2410289
CONDITIONAL USE PERMIT NO. 2410279
TENTATIVE MAP NO. 2471177
PROJECT (PTS) NO. 658548

REVISIONS

1	4/10/20	REV 1
2	8/14/20	REV 2
3	11/19/20	REV 3
4	3/26/21	REV 4
5	6/11/21	REV 5
6	3/14/22	REV 6
7	6/10/22	REV 7
8	7/21/23	REV 8



SCRIPPS MERCY HOSPITAL CAMPUS PROJECT

4077 Fifth Ave, San Diego, CA 92161

SCRIPPS# 35-160608 DESIGN TEAM # 18003.000

SCRIPPS MERCY HOSPITAL CAMPUS PROJECT

CONDITIONAL USE PERMIT #304755 AMENDMENT

COVER SHEET & INDEX

SCALE:
DATE OF ISSUE: 07/10/23

CUP-01

PROJECT OWNER NAME AND ADDRESS

SCRIPPS HEALTH
10140 CAMPUS POINT COURT
SAN DIEGO, CA 92121

PROJECT TEAM

ARCHITECT
CO ARCHITECTS
5750 WILSHIRE BLVD, SUITE 550
LOS ANGELES CA 90036

LANDSCAPE ARCHITECT
SPURLOCK
2122 HANCOCK STREET
SAN DIEGO, CA 92110

CIVIL ENGINEER
KPFF
3131 CAMINO DEL RIO N #1080
SAN DIEGO, CA 92108

AVIATION PLANNER
HELIPLANNERS
41689 ENTERPRISE CIRCLE NORTH, STE 212
TEMECULA, CA 92590

ENVIRONMENTAL CONSULTANT
KLR PLANNING
P.O. BOX 882676
SAN DIEGO, CA 92168

TRAFFIC ENGINEER
LINSYCOTT, LAW & GREENSPAN, ENGINEERS
4542 RUFFNER STREET, SUITE 100
SAN DIEGO, CA 92111

SURVEYOR
COFFEY ENGINEERING, INC
9666 BUSINESSPARK AVENUE, SUITE 210
SAN DIEGO, CA, 92131

GEOTECHNICAL
KLEINFELDER
550 WEST C STREET, SUITE #1200
SAN DIEGO, CA 92101

REQUIRED APPROVALS:

"TENTATIVE MAP, PUBLIC SERVICE EASEMENT VACATION, PLANNED DEVELOPMENT PERMIT, AND AN AMENDMENT TO CONDITIONAL USE PERMIT NO. 304755 AND SITE DEVELOPMENT PERMIT NO. 531932 FOR DEMOLITION OF EXISTING STRUCTURES AND CONSTRUCTION OF NEW MEDICAL OFFICES AND HOSPITAL BUILDINGS AND ASSOCIATED PARKING."

PROJECT ADDRESS

SCRIPPS HEALTH
SCRIPPS MERCY HOSPITAL - SAN DIEGO
4077 FIFTH AVE SAN DIEGO, CA 92103

VICINITY MAP



ASSESSOR PARCEL NUMBERS

444-560-3400 444-710-2600
444-560-3500 444-531-1200
444-710-2500 444-531-3100
444-533-2600 444-531-3300
444-5332-500 444-531-3400

ZONING DESIGNATION

ZONE: CC-3-8
CC-3-9
OR-1-1
RM-3-9
OC-1-1

SETBACKS

FRONT MIN NONE
FRONT MAX 10'
STREET SIDE MIN NONE
STREET SIDE MAX 10'
SIDE YARD MIN 10'
REAR YARD MIN 10'

TYPE OF CONSTRUCTION

MOB: I-B
HOSPITAL: I-A
HOSPITAL SUPPORT BUILDING UNDERGROUND: I-A
HOSPITAL SUPPORT BUILDING ABOVE GROUND: II-A

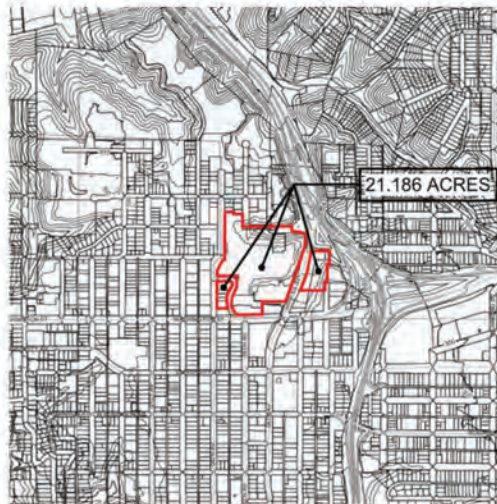
OCCUPANCY CLASSIFICATION

MOB: I-2.1, B
HOSPITAL: I-2, B, A-3, S-1, S-2, F-1
PARKING: S-1, S-2
HOSPITAL SUPPORT BUILDING: B

PROJECT SCOPE

1. CONDITIONAL USE PERMIT (CUP) to amend existing CUP No. 304755, Site Development Permit (SDP) to amend existing SDP No. 531932 and Planned Development Permit (PDP) for:
 - a. DEMOLITION OF:
 - FACILITY BUILDING
 - BEHAVIORAL HEALTH CLINIC
 - HOSPITAL
 - 550 WASHINGTON
 - 550 GARAGE
 - MERCY MANOR
 - PARKING LOT 4.1
 - EMERGENCY DEPARTMENT
 - b. CONSTRUCTION OF:
 - HOSPITAL I, 15-STORIES, 631,000 SF
 - HOSPITAL II, 15-STORIES, 380,000 SF
 - HOSPITAL SUPPORT BUILDING, 3-STORIES WITH 2 LEVELS OF BELOW GROUND PARKING, 67,000 SF
 - MEDICAL OFFICE BUILDING, 7-STORIES, WITH 2 LEVELS OF BELOW GROUND PARKING AND 3 LEVELS OF ABOVE GROUND PARKING, 200,000 BUILDING SF, 76,000 ABOVE GRADE PARKING SF.
 - CENTRAL ENERGY PLANT EXPANSION
 - 2 UTILITY YARDS

GROSS SITE AREA



COMMUNITY PLAN

UPTOWN COMMUNITY PLAN

OVERLAY ZONES

TRANSIT
RESIDENTIAL TANDEM

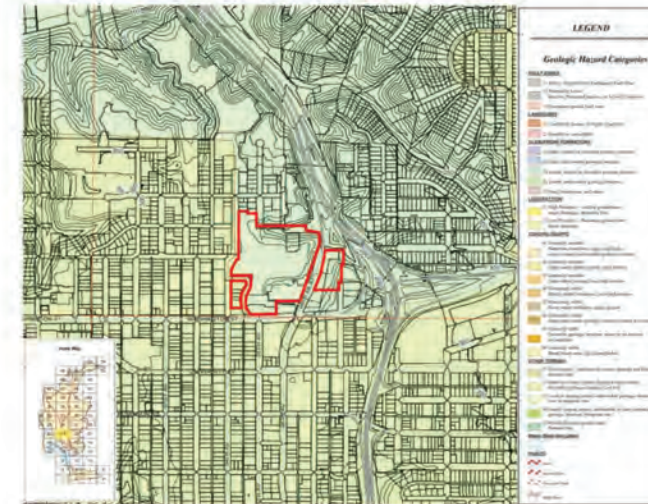
PROPOSED LOT NUMBER PLAN



FLOOR AREA RATIO CALCULATIONS

Building Number	Existing or Proposed	Building Name	(E) GROSS FLOOR AREA	(N) GROSS FLOOR AREA
1	EXISTING TO REMAIN	(E) COLLEGE BUILDING	40,700	
2	EXISTING TO REMAIN	(E) MERCY GARDENS	26,790	
3	EXISTING TO REMAIN	(E) CHAPEL	5,920	
4	EXISTING TO REMAIN	(E) CENTRAL ENERGY PLANT	17,895	
5	EXISTING TO REMAIN	(E) PARKING LOT 3.2	223,842	
6	EXISTING TO REMAIN	(E) GENERATOR BUILDING & COOLING TOWER	555	
7	EXISTING TO REMAIN	(E) CANCER CENTER & PARKING STRUCTURE	119,293	
8	EXISTING TO REMAIN	(R) 6TH AVE PARKING STRUCTURE & BRIDGE	439,513	
9	PROPOSED	(N) MEDICAL OFFICE BUILDING & ABOVE GRADE PARKING STRUCTURE		276,000
10	PROPOSED	(N) HOSPITAL SUPPORT BUILDING		67,000
11	PROPOSED	(N) HOSPITAL I		631,000
12	PROPOSED	(N) HOSPITAL II		380,000
13	PROPOSED	(N) UTILITY YARD		9,000
14	PROPOSED	(N) UTILITY YARD		9,500
15	PROPOSED	(N) CENTRAL ENERGY PLANT EXPANSION		2,400
FAR Calc			874,508	1,374,900
Total Building GFA			2,249,408	
Total Premium Area (SF)			922,861	
FAR			2.44	

GEOLOGIC HAZARD CATEGORY



DEVIATION SUMMARY

DEVIATION DESCRIPTION	BUILDING / LOT	DEVIATION FROM SDMC	REQUIRED	PROPOSED
Max Structure Height (ft)	(N) MEDICAL OFFICE BUILDING	Table 131-05E	100'-0"	150'-0"
Max Structure Height (ft)	(N) HOSPITAL I	Table 131-05E	100'-0"	315'-0"
Max Structure Height (ft)	(N) HOSPITAL II	Table 131-05E	100'-0"	252'-8"
Max Structure Height (ft)	(N) HOSPITAL SUPPORT BUILDING	Table 131-05E	100'-0"	130'-0"
Max Floor Area Ratio	LOTS 1, 2, 3, 4, 5	Table 131-05E	2.0	2.44

CO ARCHITECTS

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NEIGHBORHOOD USE PERMIT NO. 2609691
PLANNED DEVELOPMENT PROJECT NO. 2410288
EASEMENT VACATION NO. 2410321
SITE DEVELOPMENT PERMIT NO. 2410289
CONDITIONAL USE PERMIT NO. 2410279
TENTATIVE MAP NO. 2421177
PROJECT (PTS) NO. 658548

REVISIONS

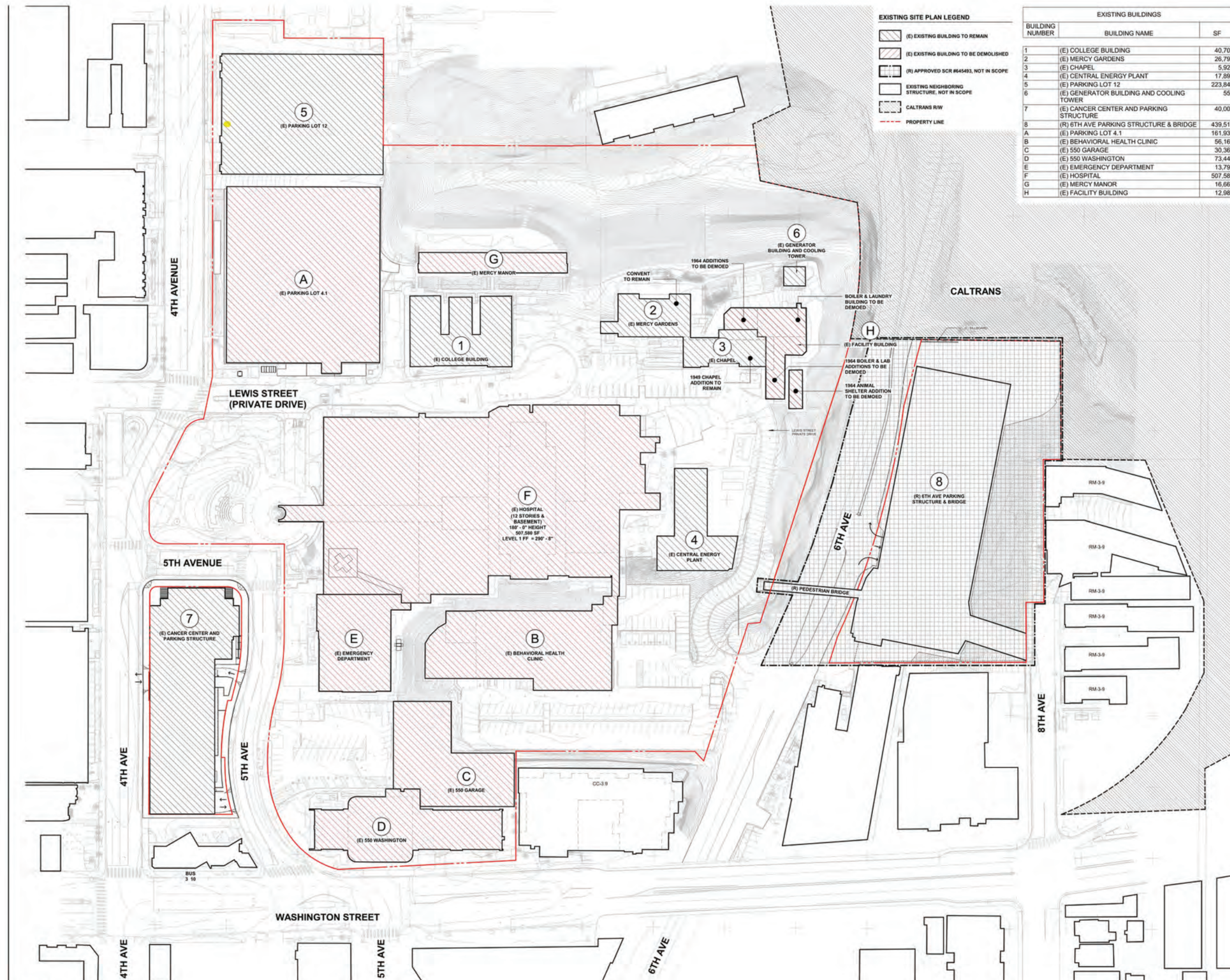
REV	DATE	DESCRIPTION
1	4/10/20	REV 1
2	8/14/20	REV 2
3	11/18/20	REV 3
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5	6/11/21	REV 5
6	3/14/22	REV 6
7	6/10/22	REV 7
8	7/21/23	REV 8



PROJECT INFORMATION

SCALE: 1"=300'-0"
DATE OF ISSUE: 07/12/23

CUP-02



EXISTING SITE PLAN LEGEND

- (E) EXISTING BUILDING TO REMAIN
- (E) EXISTING BUILDING TO BE DEMOLISHED
- (R) APPROVED SCR #645493, NOT IN SCOPE
- EXISTING NEIGHBORING STRUCTURE, NOT IN SCOPE
- CALTRANS RW
- PROPERTY LINE

EXISTING BUILDINGS		
BUILDING NUMBER	BUILDING NAME	SF
1	(E) COLLEGE BUILDING	40,700
2	(E) MERCY GARDENS	26,790
3	(E) CHAPEL	5,920
4	(E) CENTRAL ENERGY PLANT	17,895
5	(E) PARKING LOT 12	223,842
6	(E) GENERATOR BUILDING AND COOLING TOWER	555
7	(E) CANCER CENTER AND PARKING STRUCTURE	40,000
8	(R) 6TH AVE PARKING STRUCTURE & BRIDGE	439,513
A	(E) PARKING LOT 4.1	161,939
B	(E) BEHAVIORAL HEALTH CLINIC	56,163
C	(E) 550 GARAGE	30,364
D	(E) 550 WASHINGTON	73,448
E	(E) EMERGENCY DEPARTMENT	13,796
F	(E) HOSPITAL	507,580
G	(E) MERCY MANOR	16,668
H	(E) FACILITY BUILDING	12,984

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AGENCY STAMP

NEIGHBORHOOD USE PERMIT NO. 2609691
 PLANNED DEVELOPMENT PROJECT NO. 2410288
 EASEMENT VACATION NO. 2410221
 SITE DEVELOPMENT PERMIT NO. 2410289
 CONDITIONAL USE PERMIT NO. 2410279
 TENTATIVE MAP NO. 2421172
 PROJECT (PTS) NO. 658548

REVISIONS

NO.	DATE	REV
1	4/10/20	REV 1
2	8/14/20	REV 2
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6	3/14/22	REV 6
7	6/10/22	REV 7
8	7/21/23	REV 8

Scripps
 SCRIPPS MERCY HOSPITAL CAMPUS PROJECT
 4077 Fifth Ave, San Diego, CA 92103
 SCRIPPS# 35-16060B DESIGN TEAM # 18003.000



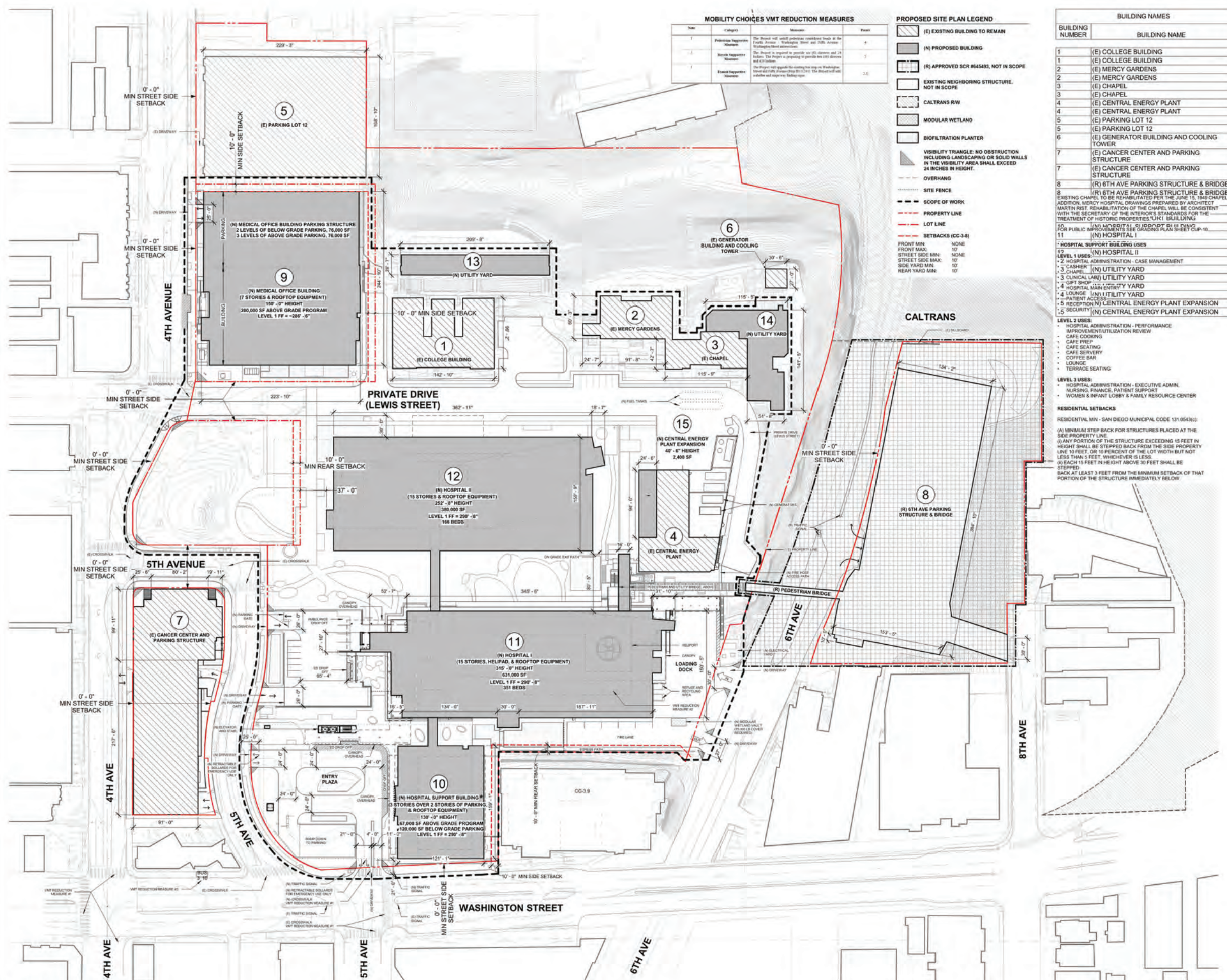
EXISTING SITE PLAN

SCALE: 1" = 50'-0"
 DATE OF ISSUE: 07/21/23

CUP-03

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1 EXISTING SITE PLAN
 1" = 50'-0"



MOBILITY CHOICES VMT REDUCTION MEASURES

Item	Category	Measures	Points
1	Pedestrian Suggestion Measures	The Project will install pedestrian walkways along the 4th Avenue, Washington Street and 5th Avenue. It will include street lighting.	4
2	Bicycle Suggestion Measures	The Project is required to provide an on-site bicycle rack and shower. The Project is proposing to provide an on-site shower and lockers.	2
3	Transit Suggestion Measures	The Project will provide an on-site transit stop on Washington Street and 5th Avenue (Stop 011101). The Project will also provide an on-site transit shelter.	10

- PROPOSED SITE PLAN LEGEND**
- (E) EXISTING BUILDING TO REMAIN
 - (N) PROPOSED BUILDING
 - (R) APPROVED SCR #645493, NOT IN SCOPE
 - EXISTING NEIGHBORING STRUCTURE, NOT IN SCOPE
 - CALTRANS RW
 - MODULAR WETLAND
 - BIOFILTRATION PLANTER
 - VISIBILITY TRIANGLE: NO OBSTRUCTION INCLUDING LANDSCAPING OR SOLID WALLS IN THE VISIBILITY AREA SHALL EXCEED 24 INCHES IN HEIGHT.
 - OVERHANG
 - SITE FENCE
 - SCOPE OF WORK
 - PROPERTY LINE
 - LOT LINE
 - SETBACKS (CC-3-B)
 - FRONT MIN: NONE
 - FRONT MAX: 10'
 - STREET SIDE MIN: NONE
 - STREET SIDE MAX: 10'
 - SIDE YARD MIN: 10'
 - REAR YARD MIN: 10'

BUILDING NAMES

BUILDING NUMBER	BUILDING NAME
1	(E) COLLEGE BUILDING
2	(E) COLLEGE BUILDING
3	(E) MERCY GARDENS
4	(E) MERCY GARDENS
5	(E) CHAPEL
6	(E) CHAPEL
7	(E) CENTRAL ENERGY PLANT
8	(E) CENTRAL ENERGY PLANT
9	(E) PARKING LOT 12
10	(E) PARKING LOT 12
11	(E) GENERATOR BUILDING AND COOLING TOWER
12	(E) CANCER CENTER AND PARKING STRUCTURE
13	(E) CANCER CENTER AND PARKING STRUCTURE
14	(R) 6TH AVE PARKING STRUCTURE & BRIDGE
15	(R) 6TH AVE PARKING STRUCTURE & BRIDGE

EXISTING CHAPEL TO BE REHABILITATED PER THE JUNE 15, 1949 CHAPEL ADDITION. MERCY HOSPITAL DRAWINGS PREPARED BY ARCHITECT MARTIN RIST. REHABILITATION OF THE CHAPEL WILL BE CONSISTENT WITH THE SECRETARY OF THE INTERIOR'S STANDARDS FOR THE TREATMENT OF HISTORIC PROPERTIES (29 CFR 60.101).

10. (N) HOSPITAL I SUPPORT BUILDING
FOR PUBLIC IMPROVEMENTS SEE GRADING PLAN SHEET CUP-10.

11. (N) HOSPITAL I
HOSPITAL SUPPORT BUILDING USES

12. (N) HOSPITAL II
LEVEL 1 USES:
 • 2 HOSPITAL ADMINISTRATION - CASE MANAGEMENT
 • 3 CASHIER (N) UTILITY YARD
 • 3 CHAPEL (N) UTILITY YARD
 • 3 CLINICAL LAB (N) UTILITY YARD
 • 4 GIFT SHOP (N) UTILITY YARD
 • 4 LOUNGE (N) UTILITY YARD
 • 5 PATIENT ACCESS
 • 5 RECEPTION (N) CENTRAL ENERGY PLANT EXPANSION
 • 5 SECURITY (N) CENTRAL ENERGY PLANT EXPANSION

LEVEL 2 USES:
 • HOSPITAL ADMINISTRATION - PERFORMANCE IMPROVEMENT/UTILIZATION REVIEW
 • CAFE COOKING
 • CAFE PREP
 • CAFE SEATING
 • CAFE SERVING
 • COFFEE BAR
 • LOUNGE
 • TERRACE SEATING

LEVEL 3 USES:
 • HOSPITAL ADMINISTRATION - EXECUTIVE ADMIN.
 • NURSING, FINANCE, PATIENT SUPPORT
 • WOMEN & INFANT LOBBY & FAMILY RESOURCE CENTER

RESIDENTIAL SETBACKS
 RESIDENTIAL MIN - SAN DIEGO MUNICIPAL CODE 131.054(g):
 (A) MINIMUM STEP BACK FOR STRUCTURES PLACED AT THE SIDE PROPERTY LINE.
 (B) ANY PORTION OF THE STRUCTURE EXCEEDING 15 FEET IN HEIGHT SHALL BE STEPPED BACK FROM THE SIDE PROPERTY LINE 10 FEET, OR 10 PERCENT OF THE LOT WIDTH BUT NOT LESS THAN 5 FEET, WHICHEVER IS LESS.
 (C) EACH 15 FEET IN HEIGHT ABOVE 30 FEET SHALL BE STEPPED BACK AT LEAST 3 FEET FROM THE MINIMUM SETBACK OF THAT PORTION OF THE STRUCTURE IMMEDIATELY BELOW.

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REVISIONS

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 SCRIPPS# 35-16060B DESIGN TEAM # 18003.000



PROPOSED SITE PLAN
 SCALE: 1" = 50'-0"
 DATE OF ISSUE: 07/21/23

CUP-04
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1 PROPOSED SITE PLAN
 1" = 50'-0"



PARKING REQUIRED BY CODE (PHASE I)						
#	Building Name	Use	Area (SF)	No. of Beds	Basis	Req'd
1	(E) COLLEGE BUILDING	HA	40,700		2.5 / KSF	102
2	(E) MERCY GARDENS	HA	26,790	23	Residents 0.5/DU = 12 Visitors 0.15/DU = 4 Staff 0.05/DU = 2	18
3	(E) CHAPEL	HA	5,920		2.5 / KSF	15
4	(E) CENTRAL ENERGY PLANT	-	17,895		0	0
5	(E) PARKING LOT 12	-	223,842		0	0
7	(E) CANCER CENTER AND PARKING STRUCTURE	B	40,000		3.5 / KSF	140
8	(R) 6TH AVE PARKING STRUCTURE & BRIDGE	-	439,513		0	0
9	(N) MEDICAL OFFICE BUILDING	B	200,000		0	0
10	(N) HOSPITAL SUPPORT BUILDING	HA	67,000		0	0
11	(N) HOSPITAL I	HOSP	631,000	351	1.7 / BED	597
13	(N) UTILITY YARD	HA	9,000		0	0
14	(N) UTILITY YARD	HA	9,500		0	0
15	(N) CENTRAL ENERGY PLANT EXPANSION	HA	2,400		0	0
TOTAL SPOTS REQUIRED: 672						

PARKING REQUIRED BY CODE (PHASE II)						
#	Building Name	Use	Area (SF)	No. of Beds	Basis	Req'd
1	(E) COLLEGE BUILDING	HA	40,700		2.5 / KSF	102
2	(E) MERCY GARDENS	HA	26,790	23	Residents 0.5/DU = 12 Visitors 0.15/DU = 4 Staff 0.05/DU = 2	18
3	(E) CHAPEL	HA	5,920		2.5 / KSF	15
4	(E) CENTRAL ENERGY PLANT	-	17,895		0	0
5	(E) PARKING LOT 12	-	223,842		0	0
7	(E) CANCER CENTER AND PARKING STRUCTURE	B	40,000		3.5 / KSF	140
8	(R) 6TH AVE PARKING STRUCTURE & BRIDGE	-	439,513		0	0
9	(N) MEDICAL OFFICE BUILDING	B	200,000		0	0
10	(N) HOSPITAL SUPPORT BUILDING	HA	67,000		0	0
11	(N) HOSPITAL I	HOSP	631,000	351	1.7 / BED	597
12	(N) HOSPITAL II	HOSP	380,000	166	1.7 / BED	283
13	(N) UTILITY YARD	HA	9,000		0	0
14	(N) UTILITY YARD	HA	9,500		0	0
15	(N) CENTRAL ENERGY PLANT EXPANSION	HA	2,400		0	0
TOTAL SPOTS REQUIRED: 1,155						

OTHER PARKING REQUIREMENTS BY CODE (PHASE I)		
Parking Category	% of Required Parking	Total Parking Required
CARPOOL & ZERO EMISSION	8%	70
EV CHARGING STATIONS	6%	52
SHORT-TERM BICYCLE PARKING	5%	44
LONG-TERM BICYCLE PARKING	5%	44
TOTAL ACCESSIBLE PARKING (MOB)		35
- MOB parking for 350 spaces		30
- Van accessible		5
TOTAL ACCESSIBLE PARKING (HSB)		7
- Hospital Support Building parking for 248 spaces		6
- Van accessible		1
MOTORCYCLE	2%	17

OTHER PARKING REQUIREMENTS BY CODE (PHASE II)		
Parking Category	% of Required Parking	Total Parking Required
CARPOOL & ZERO EMISSION	8%	92
EV CHARGING STATIONS	6%	69
SHORT-TERM BICYCLE PARKING	5%	58
LONG-TERM BICYCLE PARKING	5%	58
TOTAL ACCESSIBLE PARKING (MOB)		35
- MOB parking for 350 spaces		30
- Van accessible		5
TOTAL ACCESSIBLE PARKING (HSB)		7
- Hospital Support Building parking for 248 spaces		6
- Van accessible		1
MOTORCYCLE	2%	23

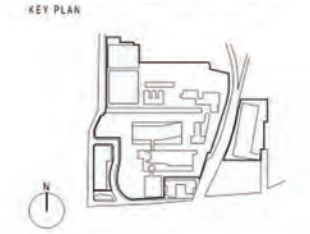
ESTIMATED PROPOSED PARKING (PHASE I) *		
Lot Number	Parking Lot Name	Approximate
2	(E) MERCY GARDENS PARKING	~ 12
3	(E) EAST LEWIS STREET PARKING	~ 25
4	(E) MRI PARKING	~ 1
12	(E) PARKING LOT 12	~ 648
14	(E) CANCER CENTER PARKING STRUCTURE	~ 140
15	(R) 6TH AVENUE PARKING STRUCTURE	~ 1,274
16	(N) HOSPITAL SUPPORT BUILDING PARKING STRUCTURE	~ 248
17	(N) EMERGENCY DEPARTMENT PARKING LOT	~ 10
18	(N) MEDICAL OFFICE BUILDING PARKING STRUCTURE	~ 350
20	(N) DELIVERY VAN PARKING	~ 10
B	(E) WEST LEWIS STREET PARKING	~ 11
TOTAL ESTIMATED PARKING SPOTS PROVIDED: ~ 2,729		

ESTIMATED PROPOSED PARKING (PHASE II) *		
Lot Number	Parking Lot Name	Approximate
2	(E) MERCY GARDENS PARKING	~ 12
4	(E) MRI PARKING	~ 1
12	(E) PARKING LOT 12	~ 648
14	(E) CANCER CENTER PARKING STRUCTURE	~ 140
15	(R) 6TH AVENUE PARKING STRUCTURE	~ 1,274
16	(N) HOSPITAL SUPPORT BUILDING PARKING STRUCTURE	~ 248
17	(N) EMERGENCY DEPARTMENT PARKING LOT	~ 10
18	(N) MEDICAL OFFICE BUILDING PARKING STRUCTURE	~ 350
19	(N) EAST LEWIS STREET PARKING	~ 7
20	(N) DELIVERY VAN PARKING	~ 10
TOTAL ESTIMATED PARKING SPOTS PROVIDED: ~ 2,700		

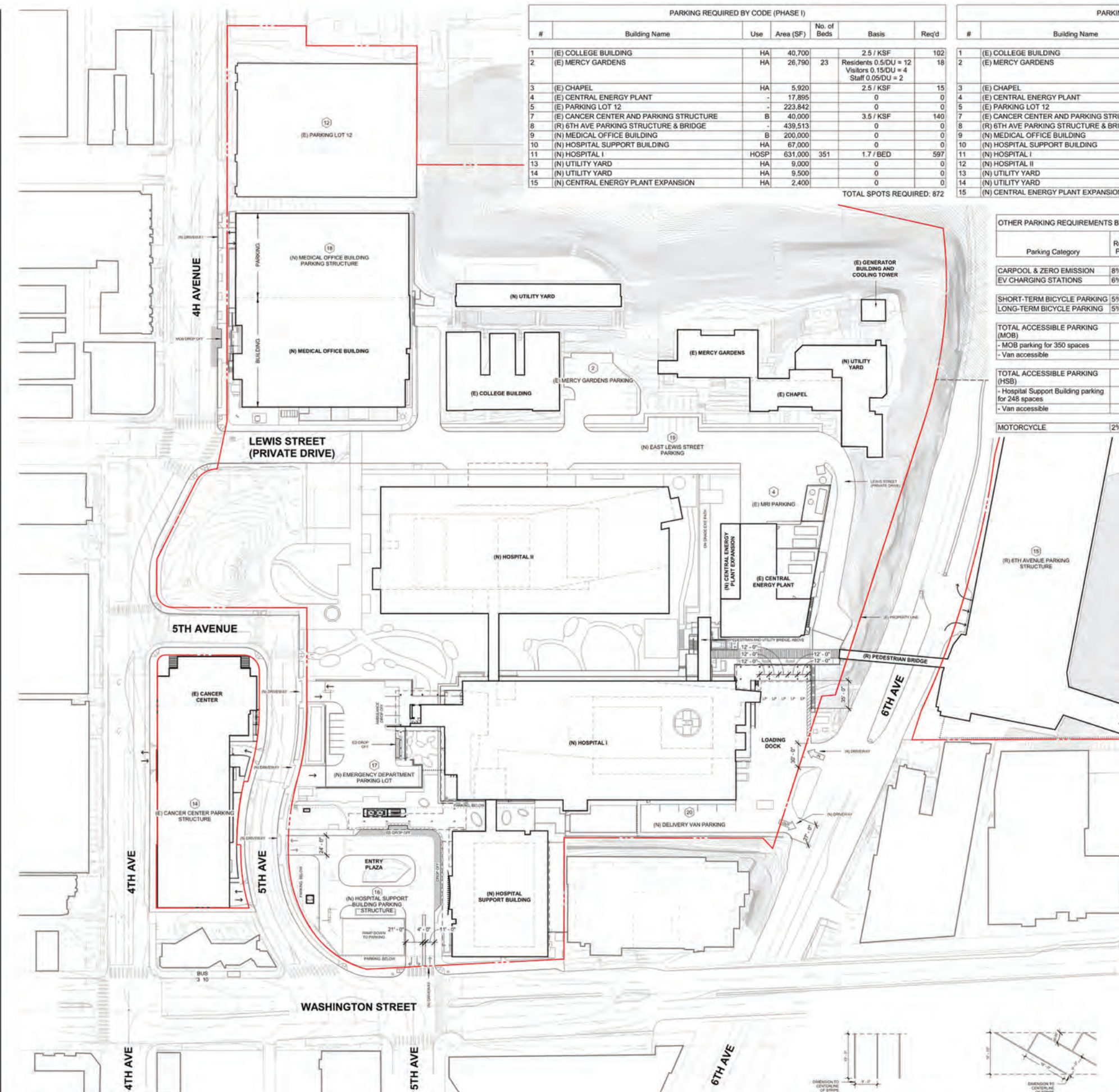
NEIGHBORHOOD USE PERMIT NO. 2609691
PLANNED DEVELOPMENT PROJECT NO. 2410288
EASEMENT VACATION NO. 2410221
SITE DEVELOPMENT PERMIT NO. 2410289
CONDITIONAL USE PERMIT NO. 2410279
TENTATIVE MAP NO. 2421177
PROJECT (PTS) NO. 658548

REVISIONS		
1	4/10/20	REV 1
2	8/14/20	REV 2
3	11/18/20	REV 3
4	3/26/21	REV 4
5	6/11/21	REV 5
6	3/14/22	REV 6
7	6/10/22	REV 7
8	7/21/23	REV 8

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SCRIPPS MERCY HOSPITAL CAMPUS PROJECT
4077 6th Ave, San Diego, CA 92103
SCRIPPS# 35-16061B DESIGN TEAM # 18003.000



PROPOSED PARKING PLAN
SCALE: As indicated
DATE OF ISSUE: 07/21/23

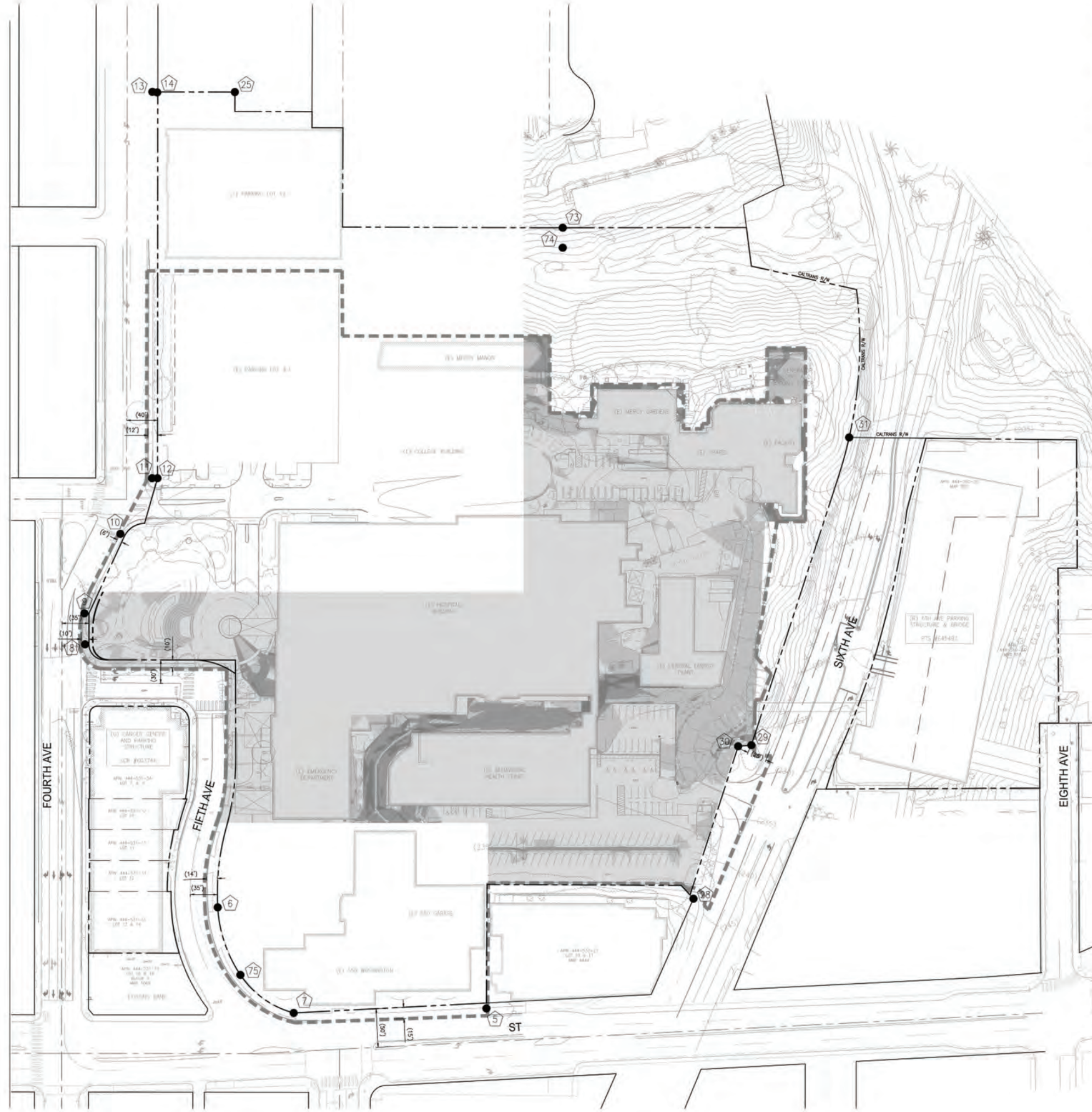


1 PROPOSED PARKING PLAN
1" = 50'-0"

2 TYPICAL 90° PARKING STALL
1/16" = 1'-0"

3 TYPICAL 30° PARKING STALL
1/16" = 1'-0"

4 ADA PARKING STALL
1/16" = 1'-0"



TOPOGRAPHY SOURCE

SHI DESIGN ENGINEERING, INC.
402 STEVENS STREET, SUITE 305 SOLANA BEACH CA, 92075
A.L.T.A./A.S.C.E.M
10/13/2017

BENCHMARK

LOCATION	ELEVATION	DESCRIPTION
5TH AVENUE & ARBOR DRIVE	296.658 M.S.L.	NWBP

LEGEND:

- LIMIT LINE OF DEMOLITION
- PROPERTY LINE
- FOUND SURVEY MONUMENT

SURVEY MONUMENT TABLE

MONUMENT #	DESCRIPTION
5	FD LEAD & DISK "1.5 4512" PER PM 15947
6	FD LEAD & DISK "1.5 2201" PER PM 15947
7	FD LEAD & TACK PER PM 15947
8	FD LEAD & DISK CITY ENG. PER CR 5631
9	FD LEAD & DISK "1.5 6929" PER PM 18598
10	FD LEAD & DISK "RCE 8195" PER PM 8543
11	FD LEAD & DISK "RCE 8195" PER PM 8543
12	FD 3/4" IP "1.5 4511", NO RECORD
13	FD LEAD & DISK "RCE 8195" PER PM 8543
14	FD 1/2" SQ. PIN PER PM 8543
25	FD 3/4" IP "1.5 6929" PER PM 18598
28	FD 2" IP "RCE 8195" PER CR 7415
29	FD 1" IP CITY ENG. PER CR 20874
30	FD 2" IP "RCE 8195" PER MAP 5252
31	FD 6"X6" CONCRETE MONUMENT PER PM 8543
75	FD 3/4" IP "RCE 8195" PER PM 8543
74	FD 3/4" IP "RCE 8195" PER PM 8543
76	FD LEAD & TACK PER PM 15947

1854-6282 NAD83 COORDINATES

SLOPES TABLE

NUMBER	MINIMUM SLOPE	MAXIMUM SLOPE	COLOR
1	0.00%	10.00%	Lightest Gray
2	10.00%	50.00%	Light Gray
3	50.00%	100.00%	Medium Gray
4	100.00%	200.00%	Darkest Gray

- A. TOTAL DISTURBANCE AREA: 441,800 SF (10.14 AC)
- B. EXISTING AMOUNT OF IMPERVIOUS AREA: 400,300 SF (9.19 AC)
- C. NEWLY CREATED/REPLACED IMPERVIOUS AREA: 331,600 SF (7.61 AC)
- D. TOTAL IMPERVIOUS AREA: 364,000 SF (8.35 AC)
- E. IMPERVIOUS % INCREASE: -9.7%

NOTE:
FOR PUBLIC IMPROVEMENTS, SEE GRADING PLAN SHEET CUP-10.

CO ARCHITECTS

5055 Wilshire Boulevard, 9th Floor
Los Angeles, California 90036
323.525.0500 phone, 323.525.0955 fax



AGENCY STAMP

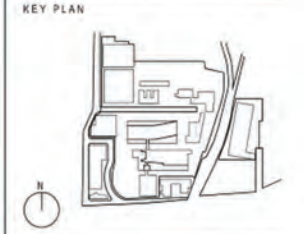


NEIGHBORHOOD USE PERMIT NO. 2609691
PLANNED DEVELOPMENT PROJECT NO. 2410288
EASEMENT VACATION NO. 2410271
SITE DEVELOPMENT PERMIT NO. 2410289
CONDITIONAL USE PERMIT NO. 2410279
TENTATIVE MAP NO. 2421172
PROJECT (PTS) NO. 658548

REVISIONS

NO.	DATE	REV
1	4/10/20	REV 1
2	8/14/20	REV 2
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5	6/11/21	REV 5
6	3/4/22	REV 6
7	5/27/22	REV 7
8	7/21/23	REV 8

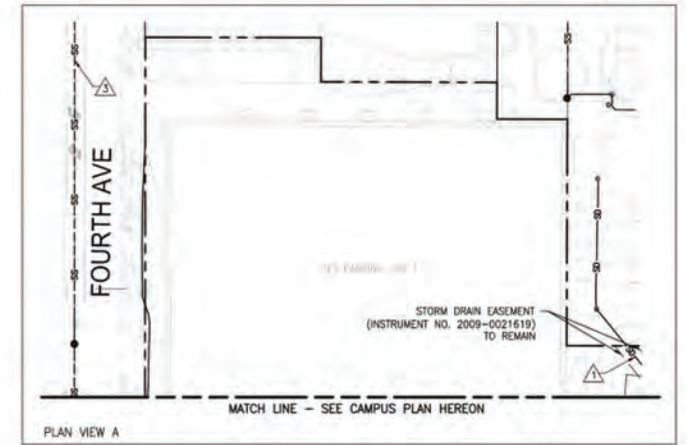
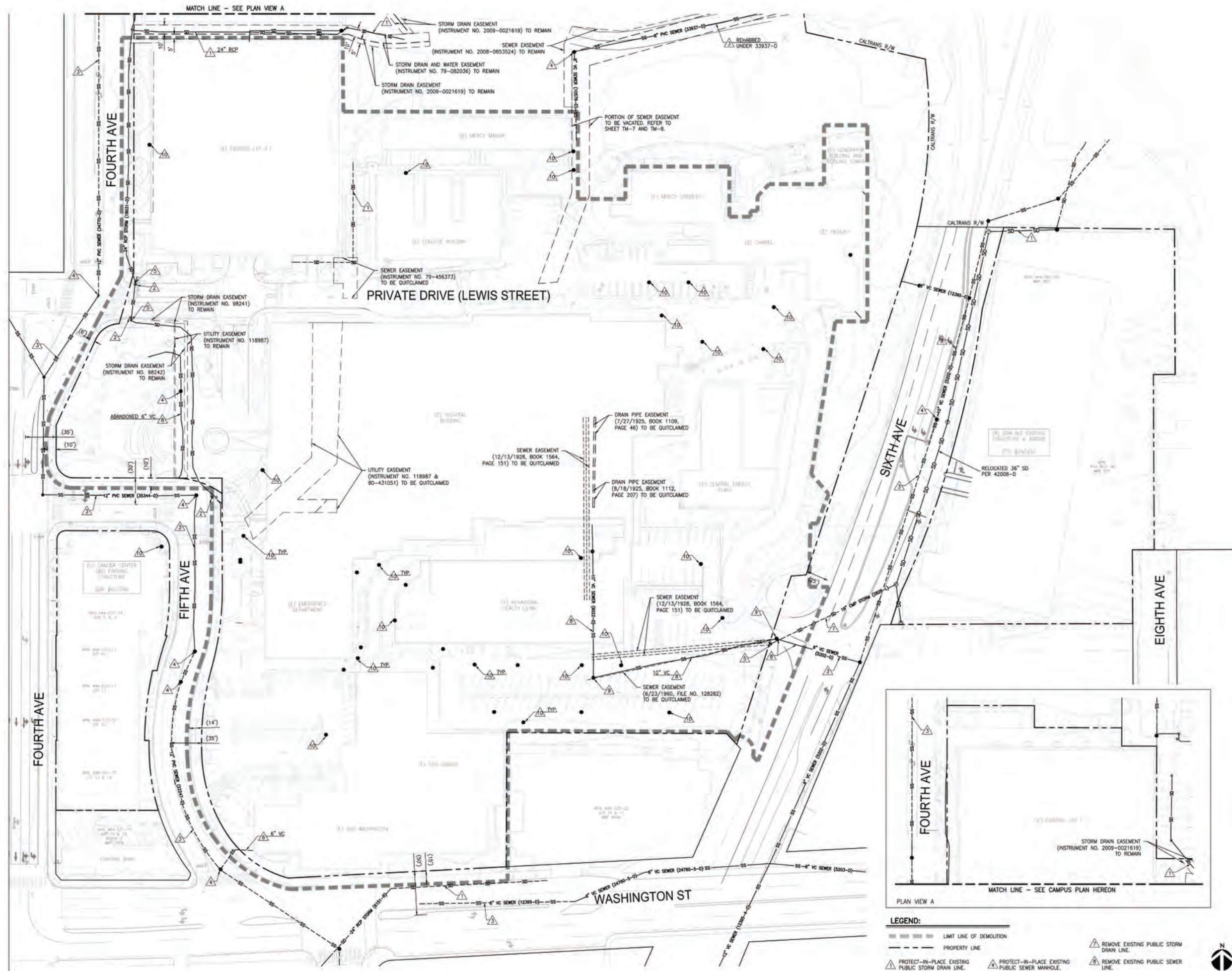
Scripps
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4077 Fifth Ave, San Diego, CA 92103
SCRIPPS# 35-16060B DESIGN TEAM # 18003.000



EXISTING TOPOGRAPHY AND SLOPE ANALYSIS
SCALE:
DATE OF ISSUE: 5/27/22



CUP-06



- LEGEND:**
- LIMIT LINE OF DEMOLITION
 - - - - - PROPERTY LINE
 - △ PROTECT-IN-PLACE EXISTING PUBLIC STORM DRAIN LINE.
 - △ PROTECT-IN-PLACE EXISTING PUBLIC STORM DRAIN INLET.
 - △ PROTECT-IN-PLACE EXISTING PUBLIC SEWER LINE.
 - △ PROTECT-IN-PLACE EXISTING PUBLIC SEWER INLET/DRAIN.
 - △ REMOVE EXISTING PUBLIC STORM DRAIN LINE.
 - △ REMOVE EXISTING STORM DRAIN MANHOLE.
 - △ REMOVE EXISTING SEWER SERVICE MANHOLE.
 - △ REMOVE EXISTING PUBLIC SEWER MANHOLE.
 - △ REMOVE EXISTING PRIVATE STORM INLET/DRAIN.

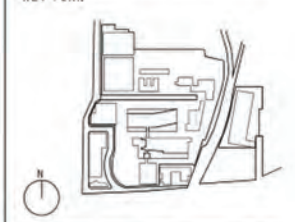


NEIGHBORHOOD USE PERMIT NO. 2609691
 PLANNED DEVELOPMENT PROJECT NO. 2410288
 EASEMENT VACATION NO. 2410221
 SITE DEVELOPMENT PERMIT NO. 2410289
 CONDITIONAL USE PERMIT NO. 2410279
 TENTATIVE MAP NO. 2421172
 PROJECT (PTS) NO. 658548

REVISIONS

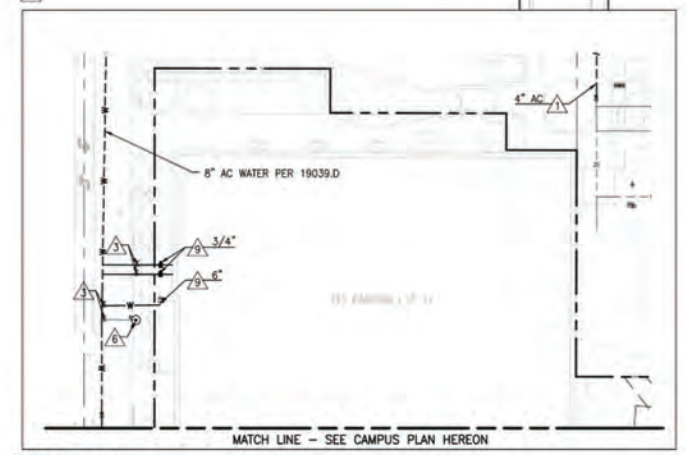
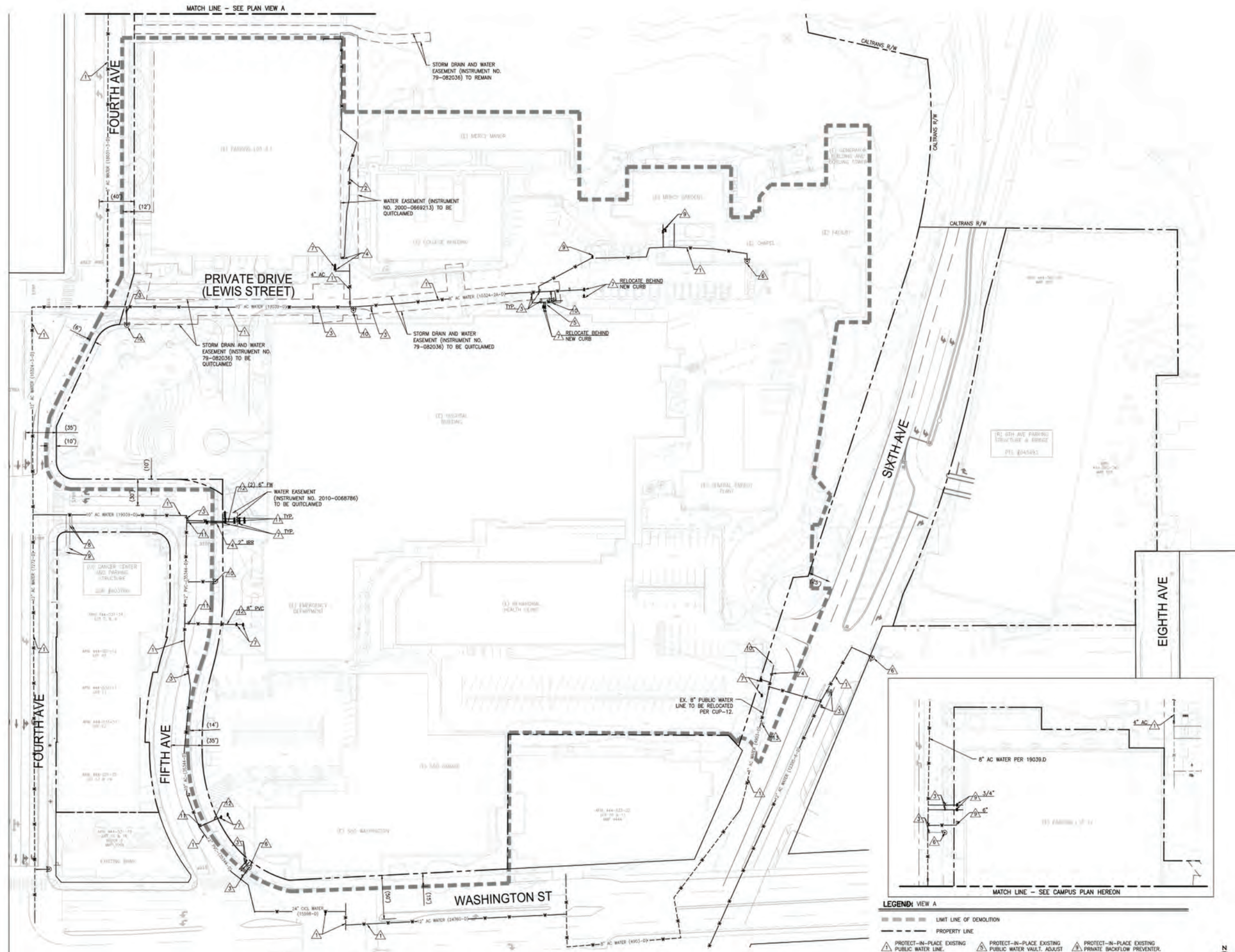
NO.	DATE	DESCRIPTION
1	4/10/20	REV 1
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4	3/26/21	REV 4
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8	7/21/23	REV 8

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 SCRIPPS 35-160608 DESIGN TEAM # 18003.000



EXISTING GRAVITY UTILITIES PLAN
 SCALE:
 DATE OF ISSUE: 5/27/22





- LEGEND: VIEW A**
- LIMIT LINE OF DEMOLITION
 - - - - - PROPERTY LINE
 - ▲ PROTECT-IN-PLACE EXISTING PUBLIC WATER LINE.
 - ▲ REMOVE EXISTING PUBLIC WATER LINE.
 - ▲ PROTECT-IN-PLACE EXISTING PUBLIC WATER VALVE.
 - ▲ REMOVE EXISTING PUBLIC WATER METER. SERVICE TO BE KILLED AT THE MAIN.
 - ▲ PROTECT-IN-PLACE EXISTING PUBLIC WATER VAULT. ADJUST TO NEW GRADE.
 - ▲ PROTECT-IN-PLACE EXISTING PUBLIC FIRE HYDRANT.
 - ▲ REMOVE EXISTING PRIVATE BACKFLOW PREVENTER.
 - ▲ PROTECT-IN-PLACE EXISTING PUBLIC WATER METEX.
 - ▲ PROTECT-IN-PLACE EXISTING PRIVATE BACKFLOW PREVENTER.
 - ▲ RELOCATE PUBLIC FIRE HYDRANT BEHIND NEW CURB.
 - ▲ REMOVE EXISTING WATER VALVE.
 - ▲ REMOVE EXISTING WATER SERVICE.
 - ▲ REMOVE EXISTING PUBLIC WATER VAULT.



CO ARCHITECTS

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PROFESSIONAL STAMP

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NEIGHBORHOOD USE PERMIT NO. 2609691
PLANNED DEVELOPMENT PROJECT NO. 2410288
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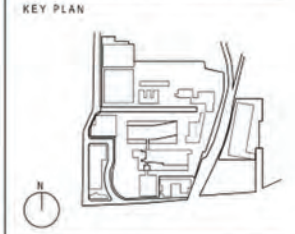
REVISIONS

NO.	DATE	REV
1	4/10/20	REV 1
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CONDITIONAL USE PERMIT MERCY CAMPUS

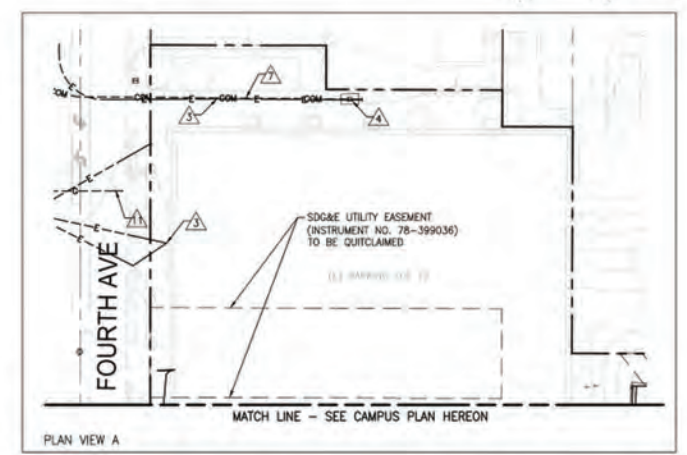
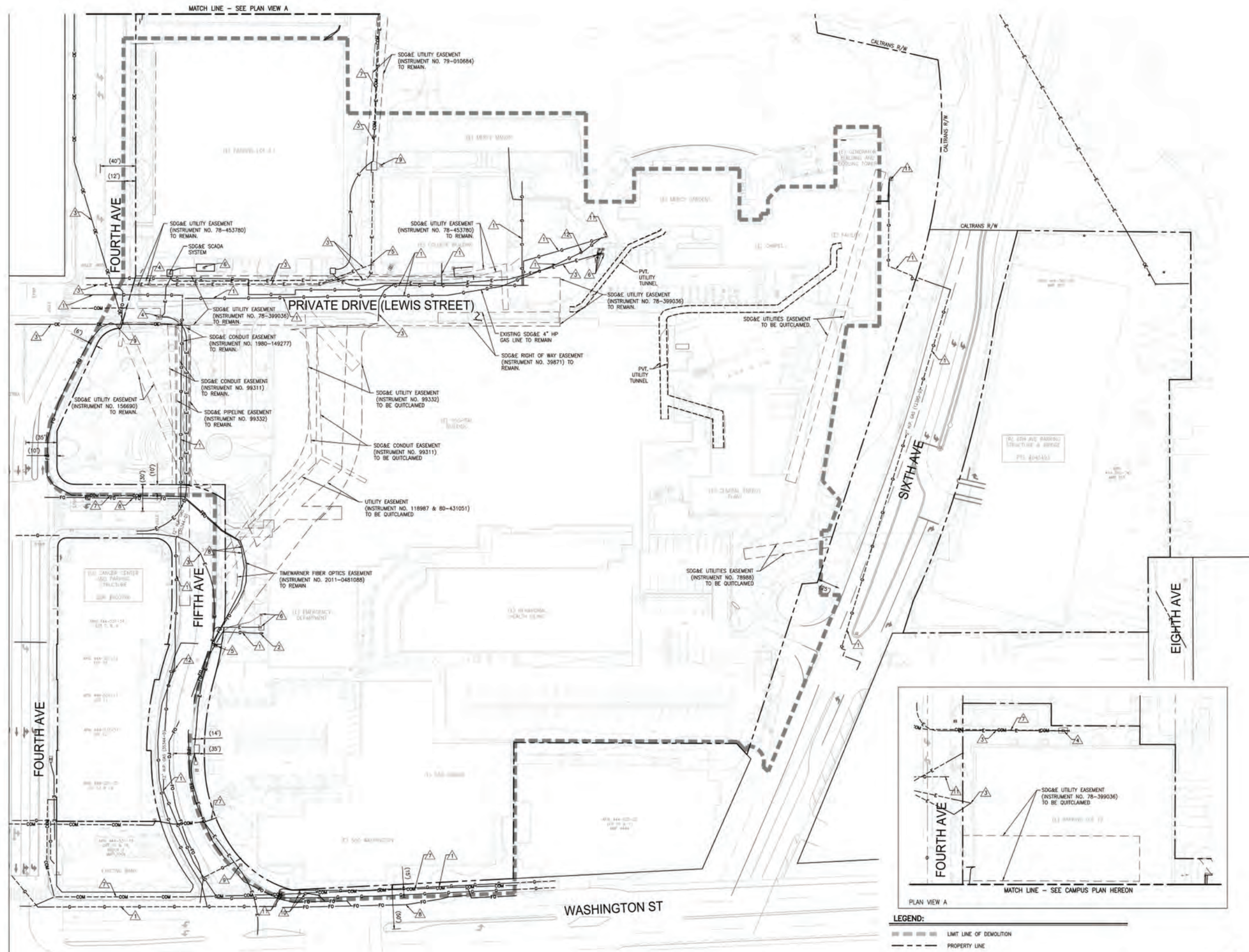
4077 Fifth Ave, San Diego, CA 92103
SCRIPPS# 35-16060B DESIGN TEAM# 18003.000



EXISTING PRESSURIZED WATER UTILITIES PLAN

SCALE:
DATE OF ISSUE: 5/27/22

CUP-08



- LEGEND:**
- LIMIT LINE OF DEMOLITION
 - - - - - PROPERTY LINE
 - △ EXISTING SDG&E GAS LINE.
 - △ EXISTING SDG&E GAS METER.
 - △ EXISTING SDG&E ELECTRICAL LINE.
 - △ EXISTING SDG&E ELECTRICAL MANHOLE/VAULT.
 - △ EXISTING SDG&E ELECTRICAL PULLBOX.
 - △ EXISTING SDG&E TRANSFORMER.
 - △ EXISTING COMMUNICATIONS LINE.
 - △ EXISTING FIBER OPTICS LINE.
 - △ EXISTING COMMUNICATIONS BOX.
 - △ EXISTING TELECOM MANHOLE.
 - △ EXISTING SDG&E GAS MANHOLE.



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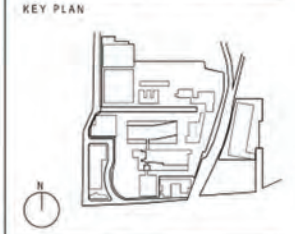
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 Suite 2100
 Los Angeles, CA 90017
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NEIGHBORHOOD USE PERMIT NO. 2609691
 PLANNED DEVELOPMENT PROJECT NO. 2410288
 EASEMENT VACATION NO. 2410221
 SITE DEVELOPMENT PERMIT NO. 2410289
 CONDITIONAL USE PERMIT NO. 2410279
 TENTATIVE MAP NO. 2421172
 PROJECT (PTS) NO. 658548

REVISIONS

NO.	DATE	REV
1	4/10/20	REV 1
2	8/14/20	REV 2
3	11/18/20	REV 3
4	3/26/21	REV 4
5	6/11/21	REV 5
6	3/4/22	REV 6
7	5/27/22	REV 7
8	7/21/23	REV 8

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EXISTING DRY UTILITIES PLAN
 SCALE:
 DATE OF ISSUE: 5/27/22

CUP-09

NOTES:
 1. ALL PUBLIC IMPROVEMENTS ARE TO BE CONSTRUCTED PER CURRENT CITY STANDARDS.
 2. THE PROPOSED PROJECT WILL COMPLY WITH ALL THE REQUIREMENTS OF THE CURRENT CITY OF SAN DIEGO STORM WATER STANDARDS MANUAL, BEFORE A GRADING OR BUILDING PERMIT IS ISSUED. IT IS THE RESPONSIBILITY OF THE OWNER/DESIGNER/APPLICANT TO ENSURE THAT THE CURRENT STORM WATER PERMANENT BMP DESIGN STANDARDS ARE INCORPORATED INTO THE PROJECT.
 3. NO OBSTRUCTION INCLUDING SOLID WALLS IN THE VISIBILITY AREA SHALL EXCEED 3 FEET IN HEIGHT. PER SDMC SECTION 142.0409 (b)(2), PLANT MATERIAL, OTHER THAN TREES, LOCATED WITHIN VISIBILITY AREAS OR THE ADJACENT PUBLIC RIGHT-OF-WAY SHALL NOT EXCEED 36 INCHES IN HEIGHT, MEASURED FROM THE LOWEST GRADE ABUTTING THE PLANT MATERIAL TO THE TOP OF THE PLANT MATERIAL.

GRADING QUANTITIES

GRADED AREA	11.08 [ACRES]	MAX. CUT DEPTH: 4.9 [FT]
CUT QUANTITIES	155,000 [CY]	MAX. CUT SLOPE RATIO (2:1 MAX): 2:1
FILL QUANTITIES	42,500 [CY]	MAX. FILL DEPTH: 3.3 [FT]
IMPORT/EXPORT	112,500 [CY]	MAX. FILL SLOPE RATIO (2:1 MAX): 2:1

UTILITY CONSTRUCTION NOTES:

- STORM DRAIN**
 (SD1) PROPOSED STORM DRAIN LINE
 (SD2) PROPOSED BUILDING ROOF DRAIN/DECK DRAIN CONNECTION
 (SD3) PROPOSED STORM DRAIN MANHOLE
 (SD4) PROPOSED CATCH BASIN
 (SD5) PROPOSED CURB WILET STRUCTURE
 (SD6) PROPOSED BIOFILTRATION PLANTER OVERFLOW
 (SD7) CONNECTION TO EXISTING STORM DRAIN LINE
 (SD8) PROPOSED STORMWATER CLEANOUT
 (SD9) PROPOSED BIOFILTRATION PLANTER PER SAN DIEGO STORMWATER STANDARDS MANUAL
 (SD10) PROPOSED MODULAR WETLAND SYSTEM
 (SD11) PROPOSED CISTERN SIZED PER CITY OF SAN DIEGO HYDROMODIFICATION STANDARDS. DIMENSIONS PER PLAN.

LEGEND

- LIMIT OF WORK
- PROPERTY LINE
- FLOW LINE
- GRADE BREAK
- GRADE LINE
- SAWCUT AND JOIN
- GRADE SLOPE (HORIZONTAL/VERTICAL)
- LIMITS OF GRADING
- GRADING BENCH
- PROPOSED MAJOR CONTOUR
- PROPOSED MINOR CONTOUR
- PROPOSED RETAINING WALL
- EXISTING STORM DRAIN
- PROPOSED STORM DRAIN
- PROPOSED CATCH BASIN
- PROPOSED STORM DRAIN MANHOLE
- DIRECTION OF FLOW
- BUILDING POINT OF CONNECTION
- POINT OF CONNECTION TO EXISTING STORM DRAIN
- NEW PEDESTRIAN CONCRETE PAVING
- NEW VEHICULAR ASPHALT PAVING
- BIOFILTRATION PLANTER AREA
- PROPOSED BUILDING
- EXISTING BUILDING

CO ARCHITECTS

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 SITE DEVELOPMENT PERMIT NO. 2410289
 CONDITIONAL USE PERMIT NO. 2410279
 TENTATIVE MAP NO. 2421172
 PROJECT (ITS) NO. 658548

REVISIONS

1	4/10/25	REV 1
2	8/14/25	REV 2
3	11/18/25	REV 3
4	3/26/21	REV 4
5	6/11/21	REV 5
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7	5/27/22	REV 7
8	7/21/23	REV 8

Scripps

CONDITIONAL USE PERMIT MERCY CAMPUS
 4077 Fifth Ave., San Diego, CA 92103
 SCRIPPS 35-160608 DESIGN TEAM # 18003.000

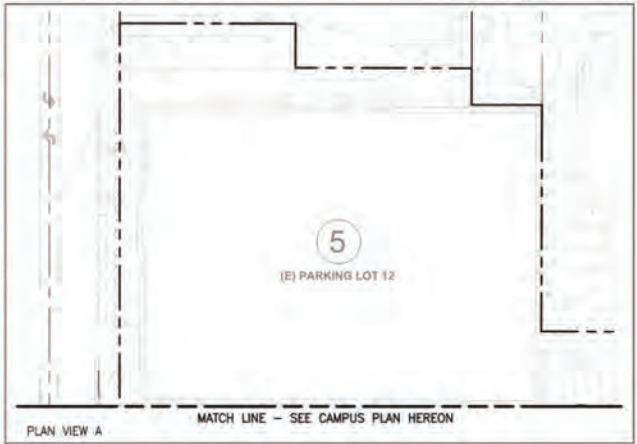
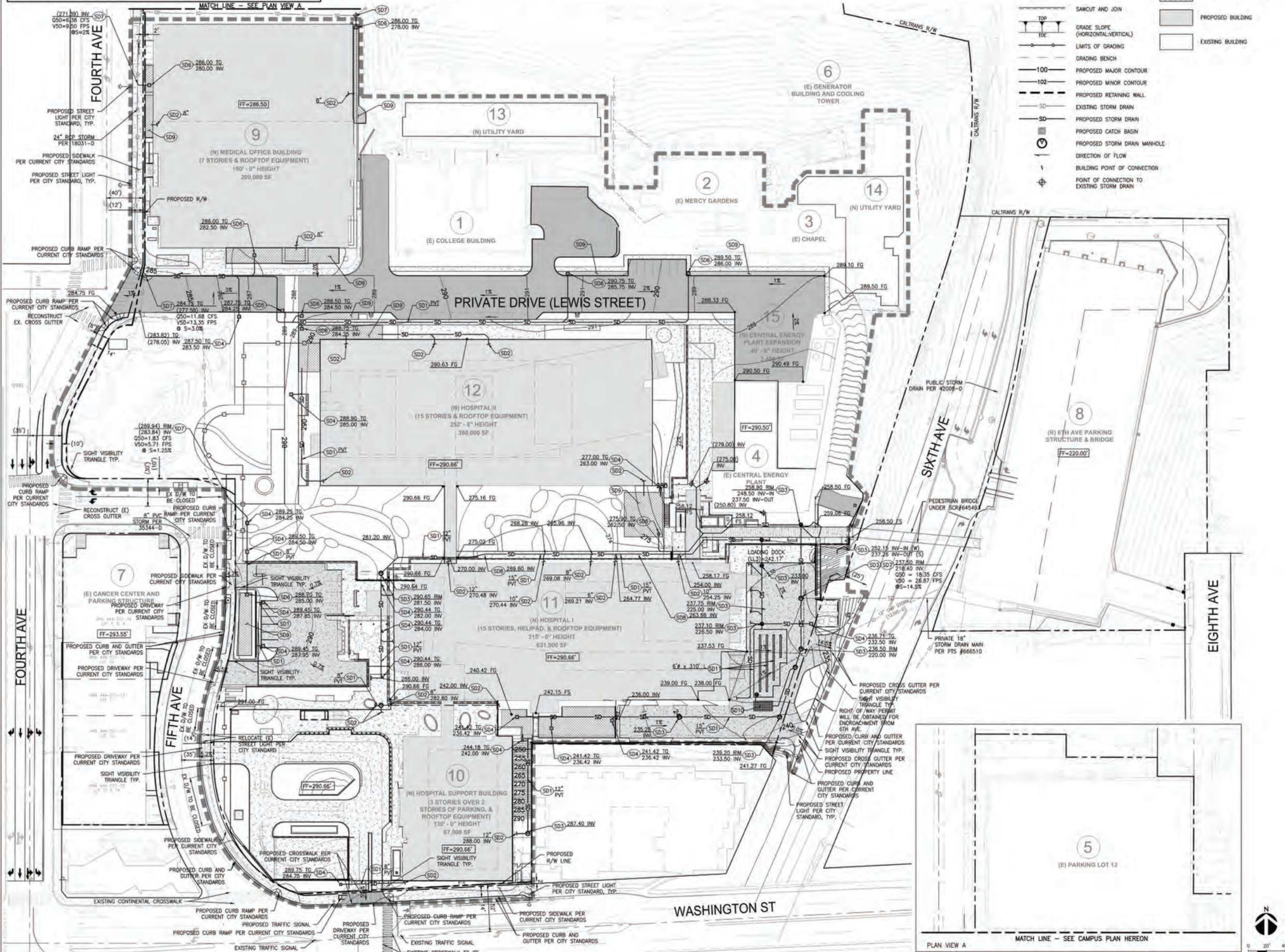
KEY PLAN



PRELIMINARY GRADING AND DRAINAGE PLAN

SCALE: DATE OF ISSUE: 5/27/22

CUP-10





AGENCY STAMP



NEIGHBORHOOD USE PERMIT NO. 2409691
PLANNED DEVELOPMENT PROJECT NO. 2410288
EASEMENT VACATION NO. 2410321
SITE DEVELOPMENT PERMIT NO. 2410289
CONDITIONAL USE PERMIT NO. 2410279
TENTATIVE MAP NO. 2421177
PROJECT (PTS) NO. 658548

REVISIONS

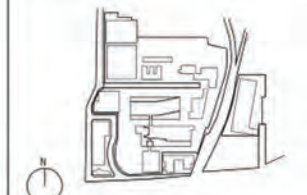
NO.	DATE	DESCRIPTION
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8	7/21/23	REV 8



CONDITIONAL USE PERMIT MERCY CAMPUS

4077 Fifth Ave., San Diego, CA 92103
SCRIPPS 35-16068B DESIGN TEAM #18003.000

KEY PLAN



STORMWATER QUALITY MANAGEMENT PLAN

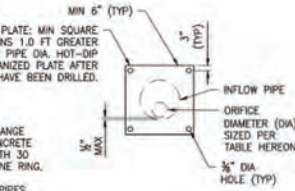
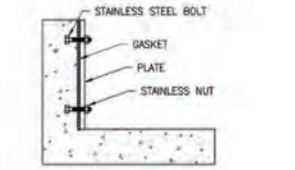
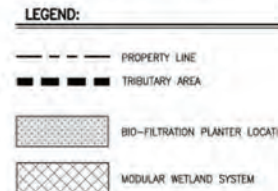
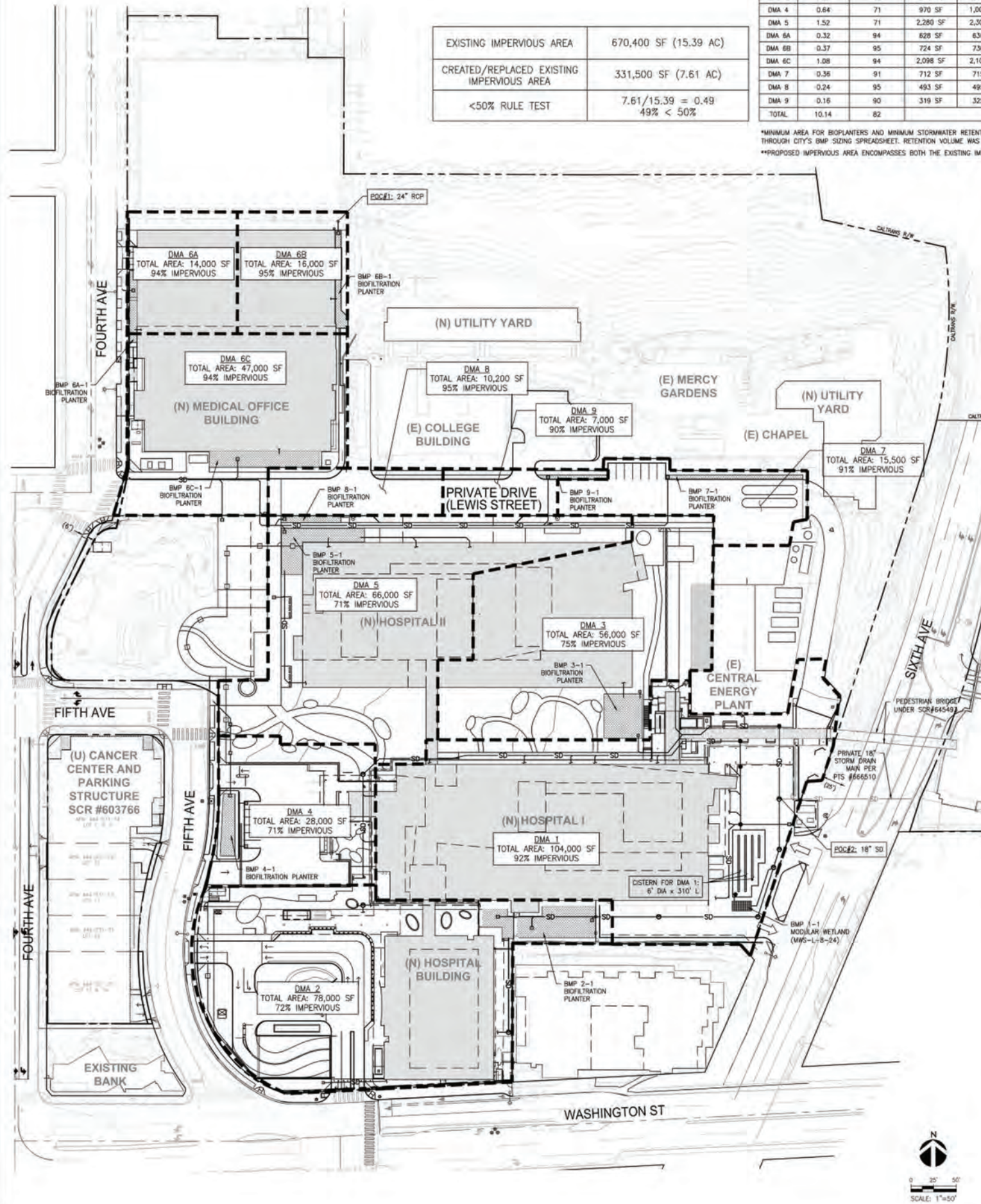
SCALE:
DATE OF ISSUE: 5/27/22

CUP-11

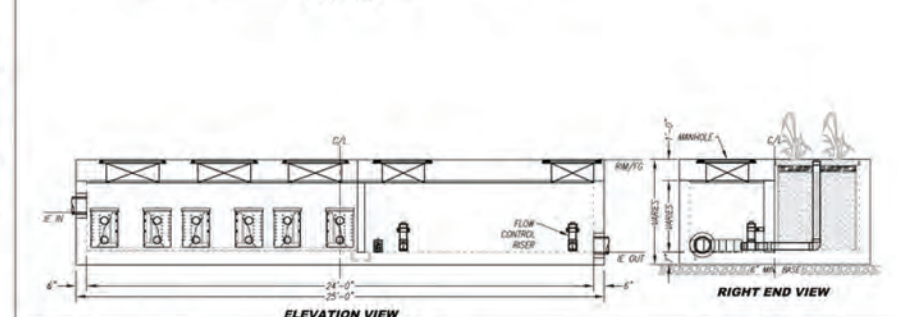
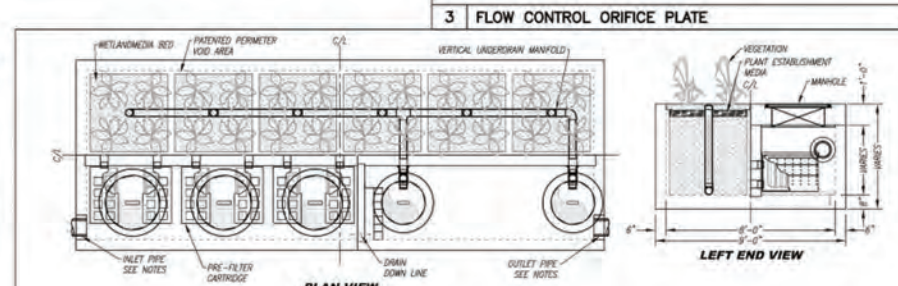
DMA	AREA (AC.)	IMPERVIOUS**	REQ. BMP CAPACITY*	PROP. BMP CAPACITY	BMP ID	ORIFICE SIZE (IN.)	MAX ORIFICE OUTFLOW (CFS)	DRAINS TO (POC ID)
DMA 1	2.39	92	8,712 CF	8,760 CF	BMP 1-1	3 1/2"	0.520	#2
DMA 2	1.79	72	2,888 SF	2,900 SF	BMP 2-1	2 1/2"	0.344	#2
DMA 3	1.29	75	2,030 SF	2,050 SF	BMP 3-1	2 1/2"	0.249	#2
DMA 4	0.64	71	970 SF	1,000 SF	BMP 4-1	1 1/2"	0.124	#1
DMA 5	1.52	71	2,280 SF	2,300 SF	BMP 5-1	2 1/2"	0.311	#1
DMA 6A	0.32	94	628 SF	630 SF	BMP 6A-1	1"	0.055	#1
DMA 6B	0.37	95	724 SF	730 SF	BMP 6B-1	1 1/4"	0.065	#1
DMA 6C	1.08	94	2,098 SF	2,100 SF	BMP 6C-1	2"	0.220	#1
DMA 7	0.36	91	712 SF	715 SF	BMP 7-1	1 1/2"	0.070	#1
DMA 8	0.24	95	493 SF	495 SF	BMP 8-1	1"	0.042	#1
DMA 9	0.16	90	319 SF	325 SF	BMP 9-1	1 1/2"	0.031	#1
TOTAL	10.14	82						

*MINIMUM AREA FOR BIOPANTERS AND MINIMUM STORMWATER RETENTION VOLUME FOR MODULAR WETLAND SYSTEMS. BIOPANTERS WAS SIZED THROUGH CITY'S BMP SIZING SPREADSHEET. RETENTION VOLUME WAS DETERMINED THROUGH HYDROLOGIC CONTINUOUS SOFTWARE, SDHM 3.1.
**PROPOSED IMPERVIOUS AREA ENCOMPASSES BOTH THE EXISTING IMPERVIOUS AREAS TO REMAIN, AND NEWLY CREATED/REPLACED IMPERVIOUS AREAS

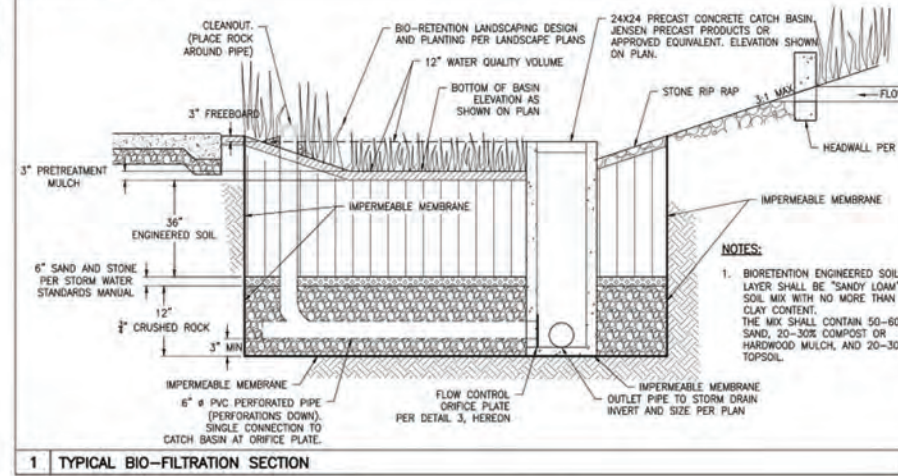
EXISTING IMPERVIOUS AREA	670,400 SF (15.39 AC)
CREATED/REPLACED EXISTING IMPERVIOUS AREA	331,500 SF (7.61 AC)
<50% RULE TEST	7.61/15.39 = 0.49 49% < 50%



NOTE:
1. ORIFICE PLATE & FLANGE CONNECTION TO CONCRETE SHALL BE FITTED WITH 30 DIAMETER NEOPRENE RING.
2. BASIN PERFORATED PIPES TO HAVE SINGLE CONNECTION TO CATCH BASIN AT ORIFICE PLATE.



2 MWS-L-B-24-V



1 TYPICAL BIO-FILTRATION SECTION



NOTES:

1. THE PROPOSED PROJECT WILL COMPLY WITH ALL THE REQUIREMENTS OF THE CURRENT CITY OF SAN DIEGO STORM WATER STANDARDS MANUAL BEFORE A GRADING OR BUILDING PERMIT IS ISSUED. IT IS THE RESPONSIBILITY OF THE OWNER/DESIGNER/APPLICANT TO ENSURE THAT THE CURRENT STORM WATER PERMANENT BMP DESIGN STANDARDS ARE INCORPORATED INTO THE PROJECT.
2. IF A 3" OR LARGER WATER METER IS REQUIRED FOR THIS PROJECT, THE OWNER/PERMITEE SHALL CONSTRUCT THE NEW METER AND PRIVATE BACKFLOW DEVICE ON SITE, ABOVE GROUND, WITHIN AN ADEQUATELY SIZED WATER EASEMENT, IN A MANNER SATISFACTORY TO THE PUBLIC UTILITIES DIRECTOR AND THE CITY ENGINEER.

UTILITY CONSTRUCTION NOTES:

SANITARY SEWER

- (SS1) PROPOSED PRIVATE SEWER MAIN
- (SS2) PROPOSED SEWER LATERAL
- (SS3) PROPOSED PRIVATE SEWER MANHOLE
- (SS4) CONNECTION TO EXISTING PUBLIC SEWER
- (SS5) PROPOSED POINT OF CONNECTION TO ONSITE PRIVATE SEWER OR BUILDING PLUMBING.
- (SS6) PROPOSED PUBLIC SEWER MANHOLE

IRRIGATION WATER

- (I1) PROPOSED WATER SERVICE FOR IRRIGATION.
- (I2) PROPOSED POINT OF CONNECTION TO ONSITE PRIVATE IRRIGATION.
- (I3) PROPOSED BACKFLOW PREVENTION DEVICE WITH CONCRETE PAD PER CITY OF SAN DIEGO STANDARD PLANS.
- (I4) PROPOSED WATER METER FOR IRRIGATION.
- (I5) CONNECTION TO EXISTING PUBLIC WATER MAIN.

FIRE WATER

- (F1) PROPOSED FIRE SERVICE
- (F2) PROPOSED FIRE WATER METER/BACKFLOW PREVENTER
- (F3) CONNECTION TO EXISTING PUBLIC WATER MAIN
- (F4) PROPOSED FIRE HYDRANT
- (F5) PROPOSED POINT OF CONNECTION TO ONSITE PRIVATE FIRE WATER SERVICE
- (F6) PROPOSED STANDPIPE

DOMESTIC WATER

- (W1) PROPOSED WATER SERVICE
- (W2) PROPOSED BACKFLOW PREVENTER
- (W3) CONNECTION TO EXISTING PUBLIC WATER MAIN
- (W4) PROPOSED WATER METER
- (W5) PROPOSED POINT OF CONNECTION TO ONSITE PRIVATE WATER OR BUILDING PLUMBING.
- (W6) DUAL METER AND BACKFLOW PREVENTION ASSEMBLY WITH CONCRETE PAD PER CITY OF SAN DIEGO STANDARD PLANS.

LEGEND:

- LIMIT OF WORK
- - - - - PROPERTY LINE
- SS SANITARY SEWER
- W WATER
- IRR IRRIGATION WATER
- FW FIRE WATER
- SD STORM DRAIN
- G GAS
- E ELECTRIC
- T TELEPHONE
- PERFORATED PIPE
- FIRE HYDRANT
- POINT OF CONNECTION
- COORDINATION POINT
- CAP OR PLUG

CO ARCHITECTS

5055 Wilshire Boulevard, 9th Floor
Los Angeles, California 90036
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AGENCY STAMP

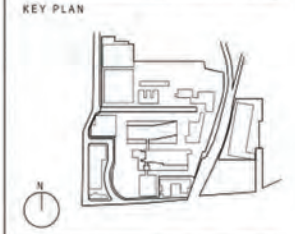
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Suite 2100
Los Angeles, CA 90017
D: 313.418.0091 F: 313.266.5294
www.kpff.com

NEIGHBORHOOD USE PERMIT NO. 2609691
PLANNED DEVELOPMENT PROJECT NO. 2410288
EASEMENT VACATION NO. 2410221
SITE DEVELOPMENT PERMIT NO. 2410289
CONDITIONAL USE PERMIT NO. 2410279
TENTATIVE MAP NO. 2421172
PROJECT (PTS) NO. 658548

REVISIONS

1	4/19/20	REV 1
2	8/14/20	REV 2
3	11/18/20	REV 3
4	3/26/21	REV 4
5	6/11/21	REV 5
6	3/4/22	REV 6
7	5/27/22	REV 7
8	7/21/23	REV 8

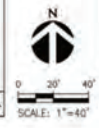
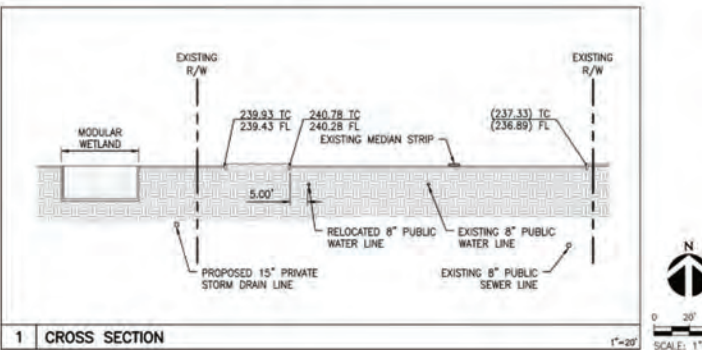
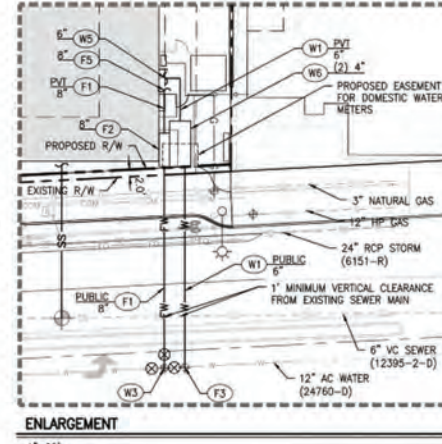
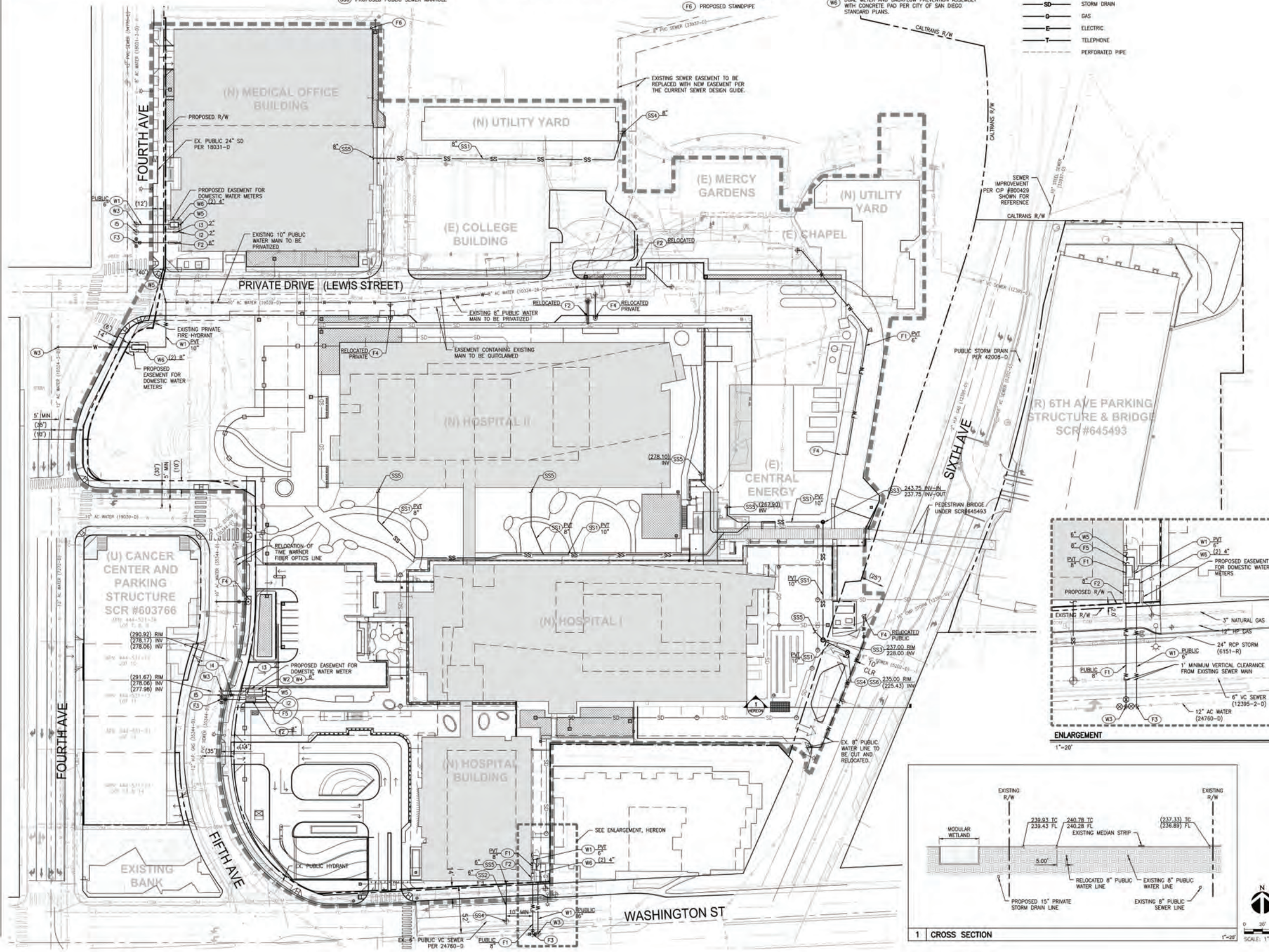
Scripps
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4077 Fifth Ave, San Diego, CA 92103
SCRIPSPH 35-160608 DESIGN TEAM # 18003.000

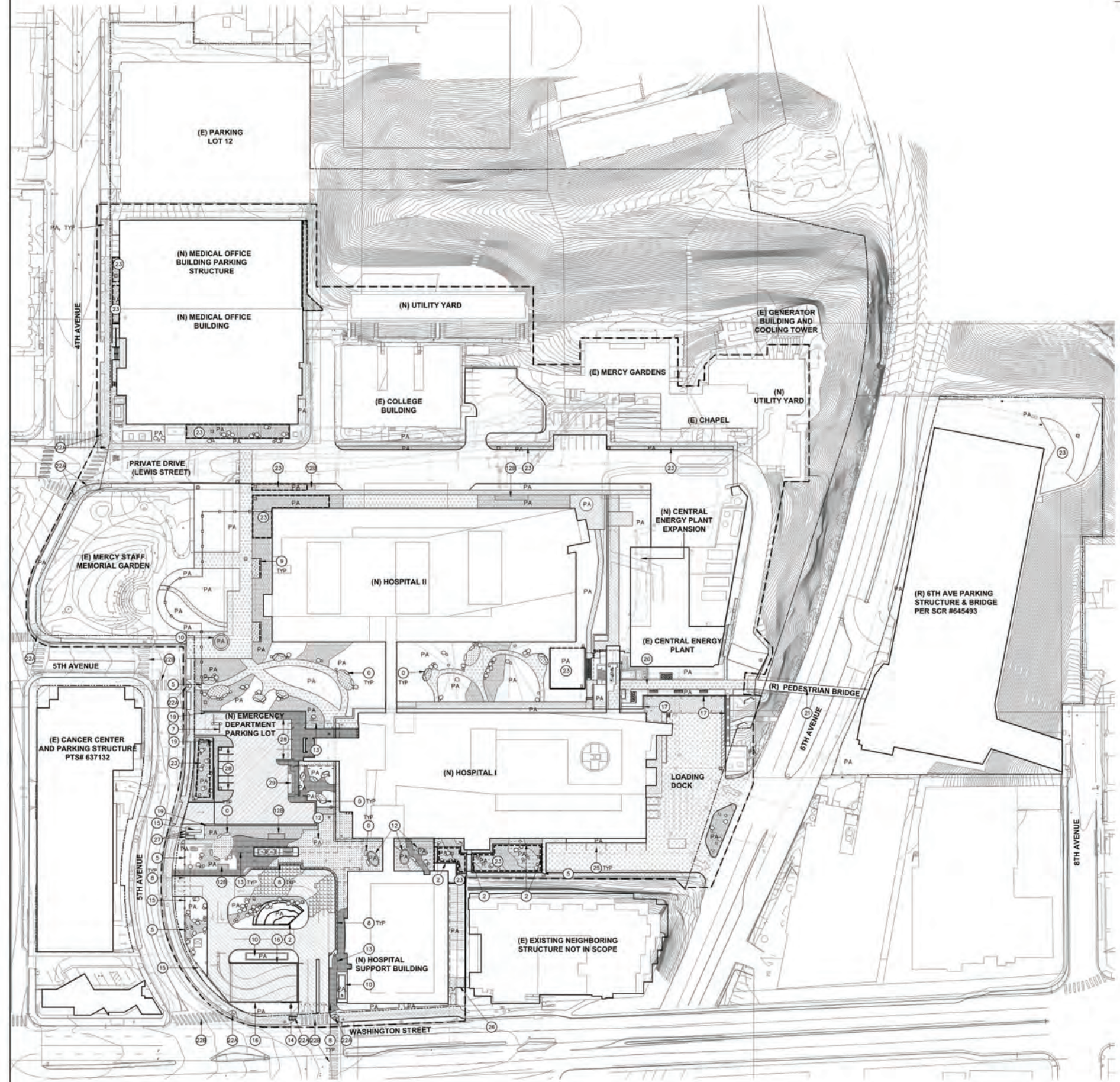


PROPOSED UTILITY PLAN

SCALE:
DATE OF ISSUE: 5/27/22

CUP-12





HARDSCAPE PLAN
1" = 50'-0"

HARDSCAPE LEGEND

SYMBOL		HARDSCAPE PAVING, SUCH AS:
VEH	PED	
[Symbol]	[Symbol]	C.I.P. CONCRETE PAVING, TYPE 1A
[Symbol]	[Symbol]	C.I.P. CONCRETE PAVING, TYPE 1B
[Symbol]	[Symbol]	C.I.P. CONCRETE PAVING, TYPE 2A
[Symbol]	[Symbol]	C.I.P. CONCRETE PAVING, TYPE 2B
[Symbol]	[Symbol]	C.I.P. CONCRETE PAVING, TYPE 3
[Symbol]	[Symbol]	C.I.P. CONCRETE PAVING, TYPE 4A
[Symbol]	[Symbol]	C.I.P. CONCRETE PAVING, TYPE 4B
[Symbol]	[Symbol]	C.I.P. CONCRETE PAVING, TYPE 5
[Symbol]	[Symbol]	ASPHALT PAVING
[Symbol]	[Symbol]	TRUNCATED DOME PAVERS
ROCK MULCH / BOULDERS, SUCH AS:		
[Symbol]	[Symbol]	BOULDERS
[Symbol]	[Symbol]	SAND STONE SLAB BENCH
[Symbol]	[Symbol]	ROCK MULCH TYPE 1 - GROUND LEVEL
EDGING/ CURBS/ WALLS / BRIDGES		
[Symbol]	[Symbol]	C.I.P. CONCRETE SEATWALL, 18" MAX. HEIGHT
[Symbol]	[Symbol]	C.I.P. CONCRETE RETAINING WALL, 4' MAX. HEIGHT
[Symbol]	[Symbol]	ON STRUCTURE METAL EDGING
STAIRS / RAMPS / RAILINGS / FENCES / GATES		
[Symbol]	[Symbol]	C.I.P. CONCRETE STAIRS WITH HANDRAILS
[Symbol]	[Symbol]	FENCE AND GATE
[Symbol]	[Symbol]	FENCE AND GATE
[Symbol]	[Symbol]	VEHICULAR GATE
SITE FURNISHINGS		
[Symbol]	[Symbol]	BOLLARD
[Symbol]	[Symbol]	BENCH WITH BACK
[Symbol]	[Symbol]	RAISED PLANTER
[Symbol]	[Symbol]	NOT USED
[Symbol]	[Symbol]	RAISED PLANTERS
[Symbol]	[Symbol]	SHORT-TERM BICYCLE PARKING AREA
OTHER		
[Symbol]	[Symbol]	BUILDING CANOPY ABOVE, SEE SHEET CUP-20
[Symbol]	[Symbol]	HOSPITAL SIGNAGE
[Symbol]	[Symbol]	EXTENT OF UNDERGROUND PARKING
[Symbol]	[Symbol]	C.I.P. CONCRETE RETAINING WALL TYPE 1, 5' HIGH MAX. BY OTHERS
[Symbol]	[Symbol]	C.I.P. CONCRETE RETAINING WALL TYPE 2, 10' HIGH MAX. BY OTHERS
[Symbol]	[Symbol]	BUILDING RETAINING WALL
[Symbol]	[Symbol]	SCREEN WALL, 8' HIGH MAX. BY OTHERS
[Symbol]	[Symbol]	PEDESTRIAN AND UTILITY BRIDGE ABOVE
[Symbol]	[Symbol]	PEDESTRIAN BRIDGE FROM PARKING STRUCTURE
[Symbol]	[Symbol]	CURB RAMP
[Symbol]	[Symbol]	CROSS WALK
[Symbol]	[Symbol]	BMP AREA
[Symbol]	[Symbol]	DROP-OFF AREA
[Symbol]	[Symbol]	PARKING STALL
[Symbol]	[Symbol]	UTILITY
[Symbol]	[Symbol]	BACKFLOW PREVENTER
[Symbol]	[Symbol]	AMBULANCE PARKING
[Symbol]	[Symbol]	ED DROP OFF
[Symbol]	[Symbol]	LOADING AREA
[Symbol]	[Symbol]	EXISTING PARKING STALL
[Symbol]	[Symbol]	PLANTING AREA
[Symbol]	[Symbol]	PROPERTY LINE
[Symbol]	[Symbol]	LIMIT OF WORK

NOTES:
1. STREETScape SITE FURNISHINGS SHALL BE CONSISTENT IN CHARACTER INCLUDING DESIGN, TYPE, COLOR, AND MATERIAL IN ACCORDANCE WITH THE UPTOWN COMMUNITY PLAN.

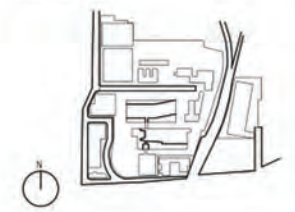
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Los Angeles, California 90036
323.525.0500 phone, 323.525.0955 fax
PROFESSIONAL STAMP
AGENCY STAMP

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EASEMENT VACATION NO. 2410291
SITE DEVELOPMENT PERMIT NO. 2410289
CONDITIONAL USE PERMIT NO. 2410279
TENTATIVE MAP NO. 2421172
PROJECT (ITS) NO. 658548

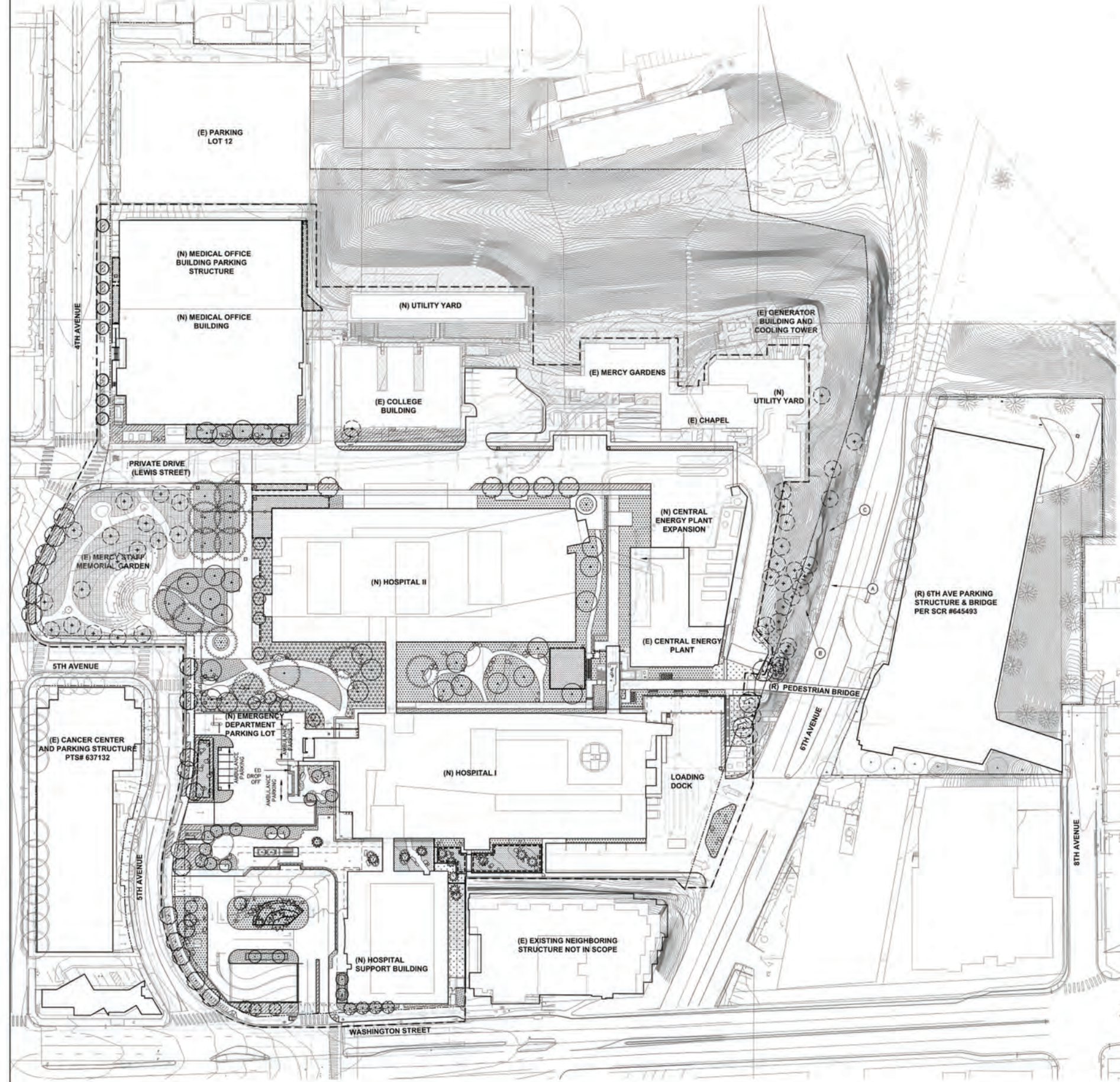
REVISIONS

1	4/10/20	REV 1
2	8/14/20	REV 2
3	11/18/20	REV 3
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7	5/27/22	REV 7
8	7/21/23	REV 8

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4077 Fifth Ave, San Diego, CA 92103
SCRIPPS# 35-16060B DESIGN TEAM # 18003.000
KEY PLAN



HARDSCAPE PLAN
SCALE: 1" = 50'-0"
DATE OF ISSUE: 5/27/22



PLANTING LEGEND

SYMBOL	BOTANICAL NAME	COMMON NAME
TREES SUCH AS:		
(Symbol: Circle with cross)	STREET TREE, WASHINGTON STREET, SUCH AS: BAUHIA ACULEATA CASSIA LEPTOPHYLLA ARBUS UNEDO	WHITE ORCHID TREE GOLDEN MEDALLION TREE STRAWBERRY TREE
(Symbol: Circle with dot)	STREET TREE, 5TH AVE. (NORTH/SOUTH), SUCH AS: PISTACIA CHINENSIS	CHINESE PISTACHIO
(Symbol: Circle with vertical lines)	STREET TREE, 5TH AVE. (E./W.), 4TH AVE. (S. OF LEWS), LEWS ST., SUCH AS: PYRUS C. 'NEW BRADFORD'	BRADFORD FLOWERING PEAR
(Symbol: Circle with horizontal lines)	STREET TREE, 4TH AVE. (NORTH OF LEWS), SUCH AS: ULMAS PARVIFOLIA 'TRUE GREEN'	EVERGREEN ELM
(Symbol: Circle with diagonal lines)	LARGE SPEDMEN TREE, SUCH AS: QUERCUS AGRIFOLIA QUERCUS ENGELMANNII ERYTHRINA CORALLOIDES	COAST LIVE OAK ENGELMANN OAK CORAL TREE
(Symbol: Circle with wavy lines)	LARGE SHADE/SCREENING TREE SUCH AS: PLATANUS RACEMOSA QUERCUS ENGELMANNII LOPHOSTEMON CONFERTUS	CALIFORNIA SYCAMORE ENGELMANN OAK BRISBANE BOX
(Symbol: Circle with starburst)	MEDIUM ACCENT TREE, SUCH AS: CERCIS CANADENSIS 'FORST PANSY' ARBUS VIRENS LAGERSTROMIA X 'NACHEZ' OLEA EUROPEA WILSONII	PURPLE-LEAVED EASTERN RUSSUD MARINA STRAWBERRY TREE GRAPE MYRTLE WILSONI FRUITLESS OLIVE
(Symbol: Circle with vertical lines)	PALM TREE, SUCH AS: PHOENIX DACTYLIFERA WASHINGTONIA HYBRID FILIFERA-ROBUSTA WASHINGTONIA FILIFERA CHAMAEROPS HUMILIS	MEDJOL DATE PALM FILIBUSTAS HYBRID FAN PALM CALIFORNIA FAN PALM MEDITERRANEAN FAN PALM
(Symbol: Circle with cross)	EXISTING TREE TO REMAIN	

SYMBOL	TYPE
(Symbol: Dotted pattern)	CANYON ACCENT
(Symbol: Horizontal lines)	BIO-FILTRATION PLANTING
(Symbol: Diagonal lines)	SCREENING / BUFFER - CHAPARRAL CANYON
(Symbol: Vertical lines)	STREETSCAPE
(Symbol: Horizontal lines)	ACCENT
(Symbol: Dotted pattern)	SCREENING / BUFFER - EVERGREEN ORNAMENTAL
(Symbol: Horizontal lines)	TURF GRASS
(Symbol: Diagonal lines)	EXISTING NATURALIZING PLANTING TO REMAIN
(Symbol: Diagonal lines)	EXISTING PARK PLANTING TO REMAIN
(Symbol: Dashed line)	PROPERTY LINE

- PLANTING NOTE:**
1. PROVIDE 3" BARK OR MINERAL MULCH AT ALL PLANTING AREAS.
 2. PROVIDE ROOT BARRIER WHERE TREES ARE 5' FROM HARDSCAPE, TYP.
 3. PROVIDE FULLY AUTOMATED HIGH EFFICIENCY IRRIGATION SYSTEM FOR ALL PLANTING AREAS INCLUDING: DRIP EMITTERS, HIGH EFFICIENCY EMITTERS, TREE BUBBLERS (2 PER TREE), RAIN SENSORS, AND SMART IRRIGATION CONTROLLERS WITH SATELLITE COMMUNICATION CAPABILITIES.
 4. ASSUME ALL NATIVE OR IMPORT SOILS TO BE AMENDED PER SOIL REPORT RECOMMENDATIONS.



CO ARCHITECTS

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EASEMENT VACATION NO. 2410291
SITE DEVELOPMENT PERMIT NO. 2410289
CONDITIONAL USE PERMIT NO. 2410279
TENTATIVE MAP NO. 2421127
PROJECT (PTS) NO. 658548

REVISIONS		
1	4/10/20	REV 1
2	8/14/20	REV 2
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4	3/26/21	REV 4
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PLANTING PLAN
SCALE: 1" = 50'-0"
DATE OF ISSUE: 5/27/22

PLANTING PLAN
1" = 50'-0"

PLANTING LEGEND

Table with 6 columns: SYMBOL, BOTANICAL NAME, COMMON NAME, MATURE SIZE (HxW), CONTAINER SIZE, QUANTITY. Includes sections for TREES SUCH AS, SHRUBS / PERENNIALS / GRASSES / GROUNDCOVERS, and EXISTING TREE TO REMAIN.

ACCENT SUCH AS:

Table with 3 columns: SYMBOL, BOTANICAL NAME, COMMON NAME, MATURE SIZE (HxW), CONTAINER SIZE, QUANTITY. Lists various accent plants like AGAVE SPP., CENTURY PLANT, and BLUE GRAMA GRASS.

SCREENING / BUFFER - EVERGREEN ORNAMENTAL SUCH AS:

Table with 3 columns: SYMBOL, BOTANICAL NAME, COMMON NAME, MATURE SIZE (HxW), CONTAINER SIZE, QUANTITY. Lists screening plants like ACACIA CULTRIFORMIS, DWARF STRAWBERRY TREE, and SEMI CALLISTEMOY.

TURF GRASS SUCH AS:

Table with 2 columns: SYMBOL, BOTANICAL NAME, COMMON NAME, MATURE SIZE (HxW), CONTAINER SIZE, QUANTITY. Lists turf grasses like PLATINUM PASPALUM and EXISTING NATURALIZING PLANTING TO REMAIN.

PLANTING NOTES:

- 1. PROVIDE 3" BARK OR MINERAL MULCH AT ALL PLANTING AREAS.
2. PROVIDE ROOT BARRIER WHERE TREES ARE 5' FROM HARDCAPE, ETC.
3. PROVIDE FULLY AUTOMATED HIGH EFFICIENCY IRRIGATION SYSTEM FOR ALL PLANTING AREAS INCLUDING DRIP EMITTERS, HIGH EFFICIENCY EMITTERS, TREE BUBBLERS (2 PER TREE), RAIN SENSORS, AND SMART IRRIGATION CONTROLLERS WITH SATELLITE COMMUNICATION CAPABILITIES.
4. ASSUME ALL NATIVE OR IMPORT SOILS TO BE AMENDED PER SOIL REPORT RECOMMENDATIONS.

PLANTING AND IRRIGATION NOTES

ALL LANDSCAPE AND IRRIGATION SHALL CONFORM TO THE STANDARD OF THE CITY-WIDE LANDSCAPE REGULATIONS AND THE CITY OF SAN DIEGO LAND DEVELOPMENT MANUAL LANDSCAPE STANDARDS AND ALL OTHER LANDSCAPE RELATED CITY AND REGIONAL STANDARDS.

AN AUTOMATIC, ELECTRICALLY CONTROLLED IRRIGATION SYSTEM SHALL BE PROVIDED AS REQUIRED BY LDC 142.040(C) FOR PROPER IRRIGATION, DEVELOPMENT, AND MAINTENANCE OF THE VEGETATION IN A HEALTHY, DISEASE-RESISTANT CONDITION. THE DESIGN OF THE SYSTEM SHALL PROVIDE ADEQUATE SUPPORT FOR VEGETATION SELECTED.

TREE NOTES

- 1. A MINIMUM ROOT ZONE OF 40SF IN AREA SHALL BE PROVIDED FOR TREES. THE MINIMUM DIMENSION FOR THIS AREA SHALL BE 5 FEET, PER SDMC 142.040(B)(5).
2. EXISTING TREES TO REMAIN ON SITE WITHIN THE AREA OF WORK WILL BE PROTECTED IN PLACE. THE FOLLOWING PROTECTION MEASURES WILL BE PROVIDED:
2.1. A BRIGHT YELLOW OR ORANGE TEMPORARY FENCE WILL BE PLACED AROUND EXISTING TREES AT THE DRIP LINE.
2.2. STOCKPILING, TOPSOIL, DISTURBANCE, VEHICLE USE, AND MATERIAL STORAGE OF ANY KIND IS PROHIBITED WITHIN THE DRIP LINE.
2.3. A TREE WATERING SCHEDULE WILL BE MAINTAINED AND DOCUMENTED DURING CONSTRUCTION.
2.4. ALL DAMAGED TREES WILL BE REPLACED WITH ONE OF EQUAL OR GREATER SIZE.
3. ENCOURAGE THE USE OF 3-SIDED TREE GUARDS THAT HAVE PROVEN TO INCREASE THE SURVIVORSHIP OF NEW TREES.

MULCH NOTES

ALL REQUIRED PLANTING AREAS AND EXPOSED SOIL AREA WITHOUT VEGETATION SHALL BE COVERED WITH MULCH TO A MINIMUM DEPTH OF 3 INCHES, EXCLUDING SLOPES REQUIRING REVEGETATION PER SDMC 142.041.

TREE SEPARATION NOTES

PLANT LOCATIONS SHALL BE CHECKED FOR POSSIBLE INTERFERENCE WITH EXISTING UNDERGROUND PIPING, PRIOR TO EXCAVATION OF HOLES. MINIMUM TREE SEPARATION DISTANCES ARE AS FOLLOWS:

- TRAFFIC SIGNALS (STOP SIGNS) - 20 FEET
UNDERGROUND UTILITY LINES - 5 FEET (10 FEET FOR SEWER) ABOVE GROUND UTILITY STRUCTURES - 10 FEET
DRIVEWAY (ENTRIES) - 10 FEET (5 FEET ON RESIDENTIAL STREETS RATED AT 25 MPH OR LOWER) INTERSECTIONS (INTERSECTING CURB LINES OF TWO STREETS) - 25 FEET

LONG-TERM MAINTENANCE / CONFORMANCE NOTE

ALL REQUIRED LANDSCAPE AS SHOWN ON THESE PLANS, INCLUDING IN THE RIGHT-OF-WAY, SHALL BE MAINTAINED BY OWNER. ALL LANDSCAPE AREAS SHALL BE MAINTAINED FREE OF DEBRIS AND LITTER AND ALL PLANT MATERIAL MAINTAINED IN A HEALTHY GROWING CONDITION CONSISTENT WITH PREVIOUS ENTITLEMENTS UNDER PDS 94392 AND THE CITY OF SAN DIEGO LANDSCAPE REGULATIONS AND STANDARDS.

NOTE: ALL PLANTS WITHIN RIGHT OF WAY AND VISIBILITY AREAS SHALL NOT EXCEED 36"

LANDSCAPE DESIGN STATEMENT

A PRINCIPAL GOAL OF THE SITE CONCEPT IS TO UNIFY THE CAMPUS LANDSCAPE TO PROVIDE A SENSE OF COHESIVENESS AND CLARITY AND SIMPLIFY WAYFINDING AND IMPROVE OVERALL VISITOR EXPERIENCE. A KEY STRATEGY IS TO DEVELOP A SIMPLE LANDSCAPE FRAMEWORK INCLUDING UNIFYING STREETSCAPES, ARTICULATING CAMPUS EDGES, DEFINING AND REINFORCING THE UNIQUE SCRIPPS MERCY CHARACTER. IN ADDITION, GIVEN ITS URBAN/CANYON SETTING, THE SITE CONCEPT BALANCES SECURITY WITH CREATING A WELCOMING ENVIRONMENT BY PROVIDING CLEAR AND SECURE BOUNDARIES THAT ARE SOFTENED BY AND WELL-INTEGRATED WITH PLANTED BUFFERS.

SITE CONTEXT

THE CAMPUS' NORTH AND EAST EDGES ENGAGE BUCHANAN CANYON, A DRAMATIC LANDFORM TYPICAL OF COASTAL CALIFORNIA. THE SOUTH AND WEST EDGES ENGAGE ONE OF THE OLDEST, MOST VIBRANT AND PEDESTRIAN-FRIENDLY NEIGHBORHOODS IN SAN DIEGO. BECAUSE OF ITS PROXIMITY TO THE CANYON EDGE, BUILDING SITES ARE IN MANY CASES COMPACT AND MARKED BY STEEP GRADE CHANGES. THIS PROVIDES OPPORTUNITY TO CREATE LANDSCAPE SPACES BETWEEN AND AROUND BUILDINGS THAT REFLECT THE CANYON'S PLANTING AND VERTICAL SPATIAL CHARACTER. THIS CHARACTER AND PLANTING AND MATERIALS PALETTE IS PULLED THROUGH THE CAMPUS, CREATING A RICH CONTRAST WITH THE URBAN CONTEXT. THIS INTERMINGLING OF NATURAL AND BUILT INFRASTRUCTURE IS CHARACTERISTIC THROUGHOUT SAN DIEGO AND THE UPTOWN IN PARTICULAR, GIVING THE SCRIPPS MERCY MEDICAL CENTER A DISTINCT IDENTITY AND SENSE OF PLACE. PEDESTRIAN CONNECTION FROM LEWIS STREET THROUGH THE CAMPUS TO WASHINGTON STREET IS PROVIDED BY A MINIMUM 10 FOOT WIDE SIDEWALK WITH ADJACENT PLANTED BUFFER, SHADE TREES AND PERIODIC SEATING AREAS. THE COMBINATION OF THIS PEDESTRIAN WALK AND CAREFUL TREATMENT OF THE THROUGH STREETS WITHIN THE CAMPUS PROVIDES AN OPPORTUNITY TO UNIFY ITS IDENTITY AS A COHESIVE, MULTI-FUNCTIONAL AND INTERCONNECTED MEDICAL CENTER.

SUSTAINABLE SITE DEVELOPMENT

OPPORTUNITIES FOR SUSTAINABLE DESIGN REINFORCES THE CAMPUS-WIDE IMPORTANCE OF THE SURROUNDING NATURAL ENVIRONMENT AND ACHIEVES A STRONG PERFORMANCE FOR THE BUILDINGS. SUCH EFFORTS WILL HELP SHAPE SCRIPPS MERCY AS A UNIQUE AND ENVIRONMENTALLY SUSTAINABLE COMPLEX.

SEVERAL SUSTAINABLE PRACTICES ARE BEING OR COULD BE PROPOSED FOR THE SITE: STORM WATER MANAGEMENT:
• BIO FILTRATION RETENTION BASIN THAT ALLOW FOR STORM WATER CAPTURE AND TREATMENT.
REDUCE HEAT ISLAND EFFECT:
• TREES AND PLANTING TO PROVIDE SHADE AND CREATE COOL MICRO-CLIMATES
• LIGHT COLORED PAVING MATERIALS
WATER EFFICIENCY:
• NATIVE AND NATURALIZED DROUGHT TOLERANT PLANT PALETTES REFLECTIVE OF THE SURROUNDING CANYON PLANT PALETTE AND LOCALLY ADAPTED NON-NATIVE AND NON-INVASIVE PLANT SPECIES
• CENTRALIZED IRRIGATION SYSTEM AND IRRIGATION MONITORING TECHNOLOGY TO PROVIDE WATER EFFICIENCY
RECYCLED AND SUSTAINABLE MATERIALS:
• USE OF CERTIFIED SUSTAINABLE WOOD FOR SITE FURNISHINGS AND OTHER SITE ELEMENTS
• USE OF RECYCLED MATERIALS FOR HARDCAPE, LANDSCAPE AND SITE FURNISHING MATERIALS

PLANTING

A SERIES OF LANDSCAPE ZONES/PLANT PALETTES HAVE BEEN IDENTIFIED AND CLASSIFIED. THE ZONES RELATE TO THE FORM, FUNCTION AND CHARACTER OF THE PLANT MATERIAL IN RELATIONSHIP TO SITE PROGRAM. THE FOLLOWING DISCUSSION OUTLINES THE VARIOUS ZONES AND IDENTIFIES CHARACTER AND GENERAL CHARACTER OF MATERIALS ANTICIPATED FOR THE ZONES.

PLEASE REFER TO PLANTING PLAN AND LEGEND FOR LOCATIONS OF ZONES, AND CONCEPTUAL PLANT SPECIES LIST PER ZONE.

CANYON ACCENT

- LOCATED IN NARROW COURTYARDS BETWEEN BUILDINGS AND ADJACENT PROPERTIES AND ALSO VISITOR DROP-OFF/ ENTRY PLAZA, EXTENDING TO INTERSECTION OF WASHINGTON AND FIFTH AVENUE
• CLUSTERED GROUPS OF PALM TREES OR CANOPY TREES TO PROVIDE SCREENING, ICONIC VERTICAL ACCENTS
• UNDERSTORY PLANTING OF SUCCULENTS, MOUNDING GROUNDCOVERS, NATIVE GRASSES AND PERENNIAL ACCENTS
• LARGE BOULDER AND COBBLE MULCH TO DISCOURAGE GATHERING AND ENCAMPMENTS AS WELL AS RETAIN GRADE IN STEEP CONDITIONS.

ACCENT

- LOCATED THROUGHOUT CAMPUS AT CIRCULATION NODES, GATHERING AND WAITING AREAS AND AS FOCAL ACCENTS
• CANOPY AND FLOWERING ACCENTS TREES LOCATED AT PATIOS AND SEATING AREAS TO PROVIDE SHADE AND COMFORT AND AT KEY FOCAL POINTS
• UNDERSTORY PLANTING OF SUCCULENTS, FLOWERING SHRUBS, GROUNDCOVERS AND PERENNIALS, AND GRASSES

SCREENING / BUFFER-CHAPARRAL CANYON:

- LOCATED ALONG THE CANYON INTERFACE ON THE EAST SIDE OF THE SITE AT 6TH AVENUE AND AT THE 6TH AVENUE STAFF PARKING STRUCTURE.
• INTENT IS TO BE INTO EXISTING CANYON LANDSCAPE
• NATIVE TREES AND EVERGREEN SHRUBS IN DRIFTS, MASSES AND GROVES TO PROVIDE SCREENED VIEWS IN AND OUT OF THE SITE

SCREENING / BUFFER-EVERGREEN ORNAMENTAL:

- LOCATED ALONG THE UPTOWN INTERFACE ON THE WEST AND SOUTH SIDES, AND WITHIN THE CAMPUS COMPLEX WHERE PRIVACY AND SCREENING ARE CONCERNS.
• INTENT IS TO PROVIDE A GREEN WALL OR SOFT SCREEN THAT FEELS GARDEN-LIKE.
• EVERGREEN SHRUBS IN FORMAL ROWS, CLIPPED AS HEDGES OR LOOSE MASSES BARK OR ROCK MULCH AT ALL PLANTING AREAS.

BIO-FILTRATION PLANTING:

- LOCATED AT STORMWATER TREATMENT AREAS AS INDICATED ON PLANS
• INTENT IS TO USE MATERIALS THAT EXPRESS RIPARIAN CHARACTER OF NATURAL STREAMS AND ARROYOS
• MASSES OF RUSHES, REEDS, GRASSES AND FLOWERING ACCENT SHRUBS AND PERENNIALS

STREETSCAPE:

- LOCATED ALONG FIFTH AVE, LEWIS AND WASHINGTON STREETS
• INTENT IS TO PROVIDE CLEAR, LOW MAINTENANCE AND UNIFORM STREETSCAPE PALETTE THAT COMMUNICATES CONTINUITY WITHIN THE CAMPUS.
• STREET TREES FOR STREETSCAPE MAINT OR TO MATCH OPPOSITE SIDE OF STREET UNDERSTORY PLANTING IS EVERGREEN GROUNDCOVER OR GRASSES IN CONTINUOUS BANDS.

CO ARCHITECTS

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PROFESSIONAL STAMP



AGENCY STAMP

REVISIONS

Table with 3 columns: REV NUMBER, DATE, DESCRIPTION. Lists revisions from 1 to 8, including dates like 4/10/20 and 8/14/20.

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CONDITIONAL USE PERMIT MERCY CAMPUS

4077 Fifth Ave, San Diego, CA 92103
SCRIPPS# 35-16060B DESIGN TEAM# 18003.000

KEY PLAN

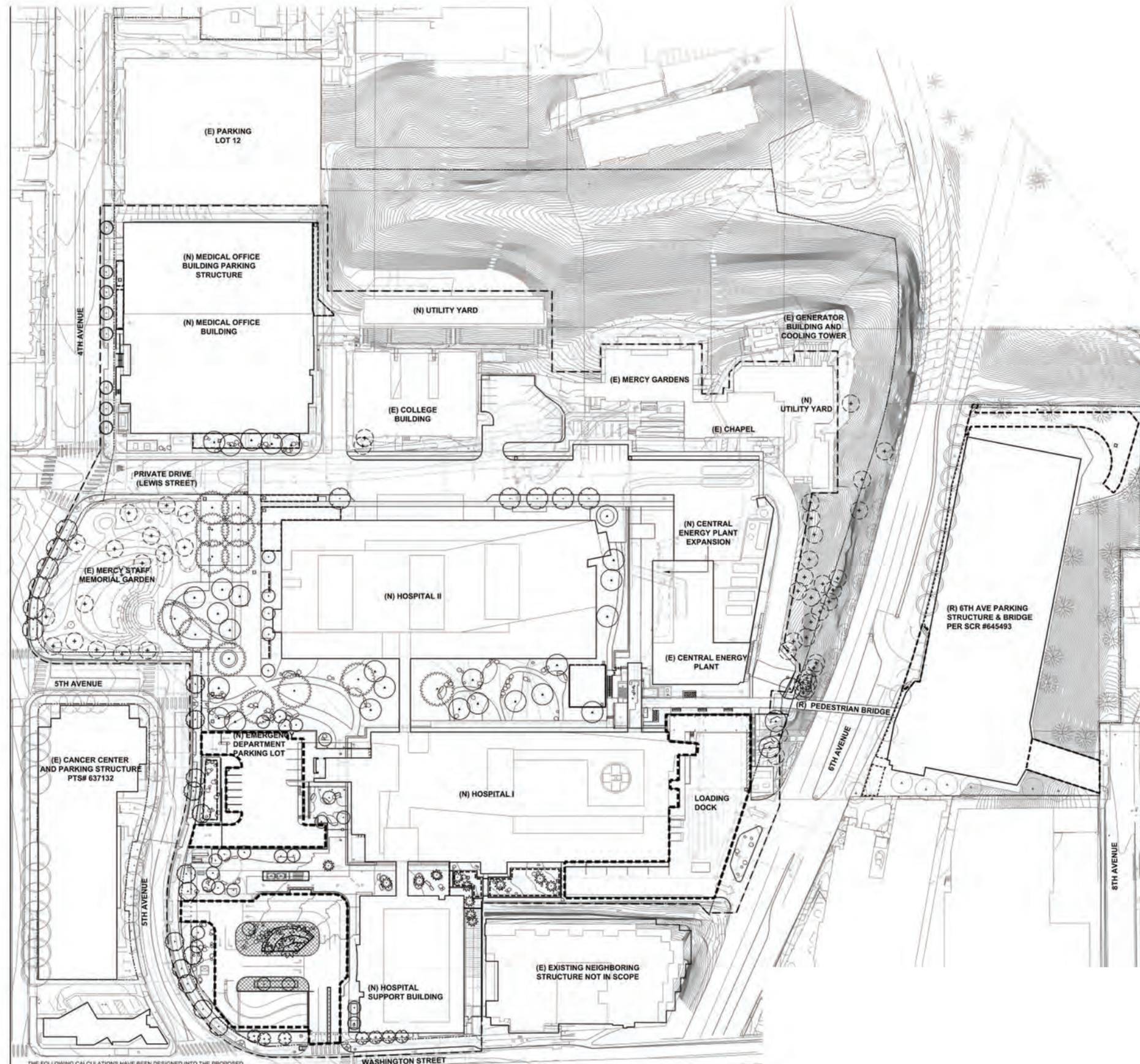


PLANTING LEGEND & STATEMENT

SCALE: 1" = 50'-0"

DATE OF ISSUE: 5/27/22

CUP-15



VEHICULAR USE AREA LEGEND

- Vehicular Use Area
- Vehicular Use Planting Area Inside Street Yard
- Vehicular Use Planting Area Outside Street Yard

VEHICULAR USE AREA

Planting Area Req'd inside street yard:
 $53,739 \times 0.05 = 2,687$
 Total VUA inside Street Yard (s.f.) = 5,185 Planting area required (s.f.) = 2,498
 Planting Area Provided (s.f.) = 5,185 Excess Planting Area Provided (s.f.) = 2,687

Planting Area Req'd outside street yard:
 $5,541 \times 0.03 = 166$
 Total VUA outside Street Yard (s.f.) = 255 Planting area required (s.f.) = 89
 Planting Area Provided (s.f.) = 255 Excess Planting Area Provided (s.f.) = 166

Planting Points Req'd inside street yard:
 $53,739 \times 0.05 = 2,687$
 Total VUA inside Street Yard (s.f.) = 3,602 Plant Points Required = 1,390
 Planting Points Provided = 3,602 Points provided by trees (1/2 of Total Required) = 1,390

Planting Points Req'd outside street yard:
 $5,541 \times 0.03 = 166$
 Total VUA outside Street Yard (s.f.) = 177 Plant Points Required = 100
 Planting Points Provided = 177 Points provided by trees (1/2 of Total Required) = 100

VEHICULAR USE AREA - Existing Parking Structure, SCR #645493

Planting Area Req'd inside street yard:
 $1,095 \times 0.05 = 55$
 Total VUA inside Street Yard (s.f.) = 94 Planting area required (s.f.) = 39
 Planting Area Provided (s.f.) = 94 Excess Planting Area Provided (s.f.) = 55

Planting Area Req'd outside street yard:
 $8,092 \times 0.03 = 243$
 Total VUA outside Street Yard (s.f.) = 2,391 Planting area required (s.f.) = 2148
 Planting Area Provided (s.f.) = 2,391 Excess Planting Area Provided (s.f.) = 243

Planting Points Req'd inside street yard:
 $1,095 \times 0.05 = 55$
 Total VUA inside Street Yard (s.f.) = 155 Plant Points Required = 100
 Planting Points Provided = 155 Points provided by trees (1/2 of Total Required) = 100

Planting Points Req'd outside street yard:
 $8,092 \times 0.03 = 243$
 Total VUA outside Street Yard (s.f.) = 2,635 Plant Points Required = 500
 Planting Points Provided = 2,635 Points provided by trees (1/2 of Total Required) = 500

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PROFESSIONAL STAMP



AGENCY STAMP

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 PLANNED DEVELOPMENT PROJECT NO. 2410288
 EASEMENT VACATION NO. 2410221
 SITE DEVELOPMENT PERMIT NO. 2410289
 CONDITIONAL USE PERMIT NO. 2410279
 TENTATIVE MAP NO. 2421127
 PROJECT (PTS) NO. 658548

REVISIONS

1	4/10/20	REV 1
2	8/14/20	REV 2
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6	3/4/22	REV 6
7	5/27/22	REV 7
8	7/21/23	REV 8



CONDITIONAL USE PERMIT MERCY CAMPUS

4077 Fifth Ave, San Diego, CA 92103
 SCRPPS# 35-16060B DESIGN TEAM # 16003.000

KEY PLAN



LANDSCAPE CALCULATIONS

SCALE: 1" = 50'-0"
 DATE OF ISSUE: 5/27/22

CUP-17

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THE FOLLOWING CALCULATIONS HAVE BEEN DESIGNED INTO THE PROPOSED LANDSCAPE DEVELOPMENT PLAN IN ACCORDANCE WITH THE SAN DIEGO MUNICIPAL CODE

Commercial Development in All Zones

STREET TREES

STREET FRONTAGE	TREES REQUIRED	TREES PROVIDED
4TH AVENUE STREET FRONTAGE	14 TREES	14 TREES
412 LINEAR FEET		
5TH AVENUE STREET FRONTAGE	19 TREES	19 TREES
553 LINEAR FEET		

WASHINGTON STREET STREET FRONTAGE	TREES REQUIRED	TREES PROVIDED
209 LINEAR FEET	7 TREES	7 TREES
LEWIS STREET (PRIVATE STREET)	(5) EXISTING TREES TO BE REPLACED IN KIND	TREES PROVIDED
		5 TREES

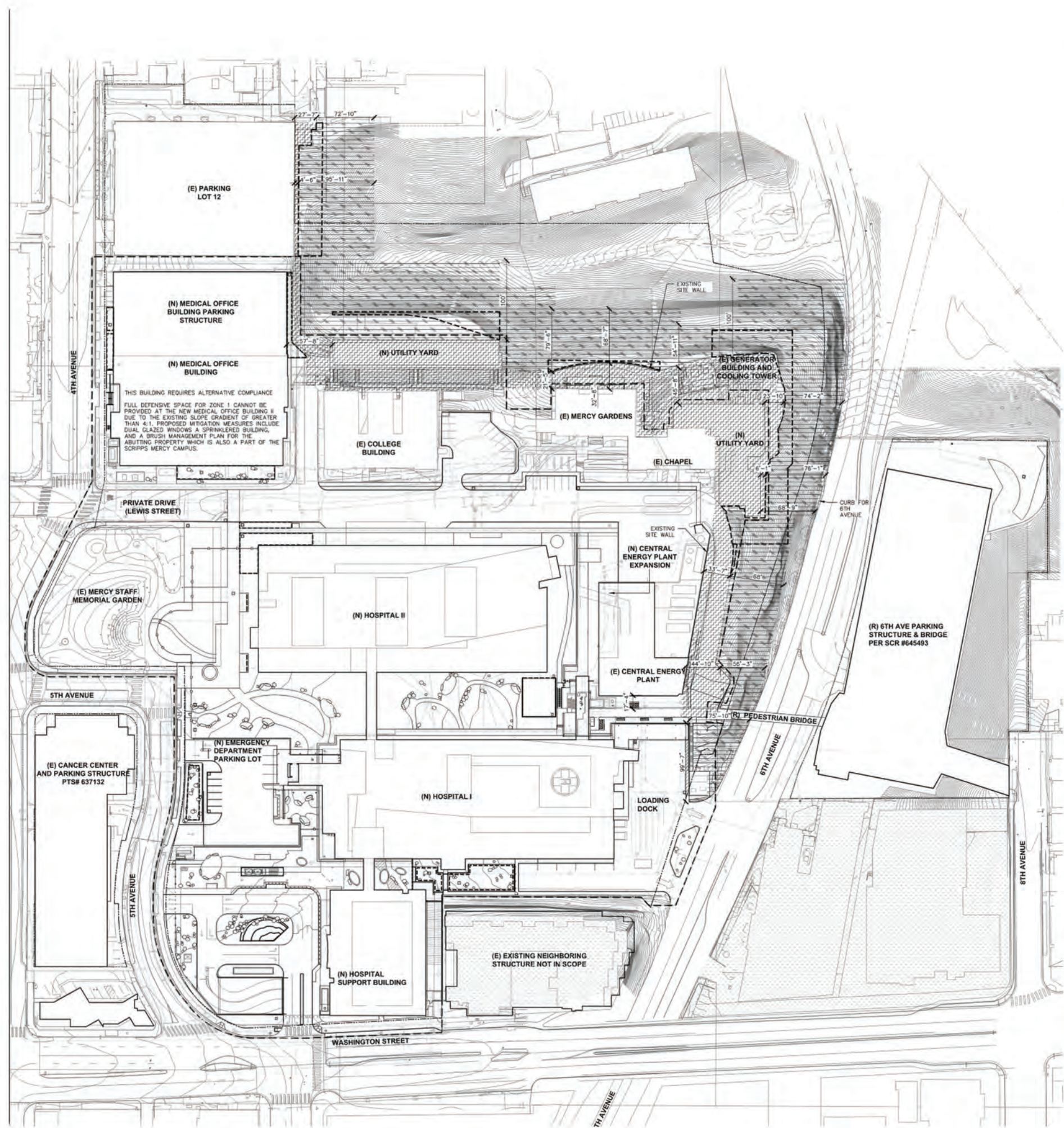
STREET TREES - Existing Cancer Center

STREET FRONTAGE	TREES REQUIRED	TREES PROVIDED
4TH AVENUE STREET FRONTAGE	11 TREES	11 TREES
320 LINEAR FEET		
5TH AVENUE (NORTH) STREET FRONTAGE	4 TREES	4 TREES
129 LINEAR FEET		
5TH AVENUE (EAST) STREET FRONTAGE	11 TREES	11 TREES
323 LINEAR FEET		

STREET TREES - Existing Parking Structure, SCR #645493

STREET FRONTAGE	TREES REQUIRED	TREES PROVIDED
4TH AVENUE STREET FRONTAGE	13 TREES	13 TREES
376 LINEAR FEET		

- NOTE:
- STREET TREE QUANTITY: TOTAL STREET TREE COUNT AND PLACEMENT IS INTENDED TO MEET THE OBJECTIVES OF SDMC 142.0409 AND 142.0610 BY AVERAGING THE EQUIVALENT OF A MINIMUM SPACING OF ONE STREET TREE PER 30 LINEAR FEET OF PROPERTY FRONTAGE. TOTAL STREET TREE COUNT CURRENTLY EXCEEDS THE REQUIRED RATIO OF ONE TREE PER 30 LINEAR FEET, AS INDICATED BELOW.
 - STREET TREE LOCATION: THE INTENT OF STREET TREE LOCATION IS TO MEET THE OBJECTIVES OF SDMC 142.0409. ALL STREET TREES WILL BE LOCATED WITHIN 10 FEET OF THE DEDICATED RIGHT OF WAY ALONG STREET FRONTAGE.
 - STREET TREE SPECIES SELECTION: THE INTENT OF TREE SELECTION IS TO PROVIDE STREET TREES CONSISTENT WITH THE CITY-WIDE STREET TREE SELECTION GUIDE.
 - REFER TO SHEET DP-10 FOR PLANTING PLAN, SHEET DP-11 FOR PLANTING LEGEND.



LEGEND

- SYMBOL DESCRIPTION**
- URBAN / DEVELOPED AREA
 - ZONE 1:** THIS WILL BE THE ORNAMENTAL PLANTING AREAS WITH PERMANENT IRRIGATION. OTHER REQUIREMENTS INCLUDE:
 - MUST BE MAINTAINED ON A REGULAR BASIS (THINNING, PRUNING, ETC.)
 - NO HABITABLE STRUCTURES.
 - STRUCTURES SUCH AS WALLS, FENCES, ETC. MUST BE NON-COMBUSTIBLE OR HAVE MIN. 1 HOUR FIRE RESISTANCE RATING.
 - UNDERSTORY PLANTING MUST BE <4' HIGH
 - TREES MUST BE LOCATED SO THAT THEIR MATURE CANOPY IS A MIN. OF 10' FROM STRUCTURES
 - ZONE 2:** THIS WILL BE KEPT AS THE EXISTING UNDISTURBED, NATIVE OR NATURALIZED VEGETATION. NO NEW PLANTING IS EXPECTED TO OCCUR, SO THERE SHOULD BE NO IRRIGATION WITHIN THIS AREA IF THERE IS ANY DISTURBANCE AND RE-PLANTING IS NEEDED, WE WILL HAVE TO INCLUDE TEMPORARY IRRIGATION FOR THE PLANTS DURING THE ESTABLISHMENT PERIOD. OTHER REQUIREMENTS INCLUDE:
 - THINNING AND PRUNING OF EXISTING SHRUBS WILL NEED TO OCCUR PER CITY OF SAN DIEGO BRUSH MANAGEMENT BULLETINS.
 - MUST BE MAINTAINED ON A REGULAR BASIS (THINNING, PRUNING, ETC.)
 - NO STRUCTURES.
 - SLOPE GRADIENT GREATER THAN 4:1 PER SDMC 142.0412.B.1. AREA DESIGNATED AS ZONE 2
 - PROPERTY LINE
- NOTE:**
1. EXISTING VEGETATION OUTSIDE OF PROPERTY LINE AND PUBLIC R.O.W. TO REMAIN
 2. NO GRADING OR LAND DISTURBANCE PROPOSED WITHIN THE FIRE ZONES INDICATED THIS PLAN

CITY OF SAN DIEGO BRUSH MANAGEMENT NOTES

- (G) ZONE ONE REQUIREMENTS
- (1) THE REQUIRED ZONE ONE WIDTH SHALL BE PROVIDED BETWEEN NATIVE OR NATURALIZED VEGETATION AND ANY STRUCTURE AND SHALL BE MEASURED FROM THE EXTERIOR OF THE STRUCTURE TO THE VEGETATION.
 - (2) ZONE ONE SHALL CONTAIN NO HABITABLE STRUCTURES, STRUCTURES THAT ARE DIRECTLY ATTACHED TO HABITABLE STRUCTURES, OR OTHER COMBUSTIBLE CONSTRUCTION THAT PROVIDES A MEANS FOR TRANSMITTING FIRE TO THE HABITABLE STRUCTURES. STRUCTURES SUCH AS FENCES, WALLS, PALAPAS, PLAY STRUCTURES, AND NON-HABITABLE GAZEBOS THAT ARE LOCATED WITHIN BRUSH MANAGEMENT ZONE ONE SHALL BE OF NONCOMBUSTIBLE, ONE HOUR FIRE-RATED OR HEAVY TIMBER CONSTRUCTION.
 - (3) PLANTS WITHIN ZONE ONE SHALL BE PRIMARILY LOW-GROWING AND LESS THAN 4 FEET IN HEIGHT WITH THE EXCEPTION OF TREES. PLANTS SHALL BE LOW-FUEL AND FIRE-RESISTIVE.
 - (4) TREES WITHIN ZONE ONE SHALL BE LOCATED AWAY FROM STRUCTURES TO A MINIMUM DISTANCE OF 10 FEET MEASURED FROM THE STRUCTURE TO THE DRIP LINE OF THE TREE AT MATURITY IN ACCORDANCE WITH THE LANDSCAPE STANDARDS OF THE LAND DEVELOPMENT MANUAL.
 - (5) PERMANENT IRRIGATION IS REQUIRED FOR ALL PLANTING AREAS WITHIN ZONE ONE EXCEPT AS FOLLOWS:
 - (A) WHEN PLANTING AREAS CONTAIN ONLY SPECIES THAT DO NOT GROW TALLER THAN 24 INCHES IN HEIGHT, OR
 - (B) WHEN PLANTING AREAS CONTAIN ONLY NATIVE OR NATURALIZED SPECIES THAT ARE NOT SUMMER-DORMANT AND HAVE A MAXIMUM HEIGHT AT PLANT MATURITY OF LESS THAN 24 INCHES.
 - (6) ZONE ONE IRRIGATION OVERSPRAY AND RUNOFF SHALL NOT BE ALLOWED INTO ADJACENT AREAS OF NATIVE OR NATURALIZED VEGETATION.
 - (7) ZONE ONE SHALL BE MAINTAINED ON A REGULAR BASIS BY PRUNING AND THINNING PLANTS, CONTROLLING WEEDS, AND MAINTAINING IRRIGATION SYSTEMS.
- (H) ZONE TWO REQUIREMENTS
- (1) THE REQUIRED ZONE TWO WIDTH SHALL BE PROVIDED BETWEEN ZONE ONE AND THE UNDISTURBED, NATIVE OR NATURALIZED VEGETATION, AND SHALL BE MEASURED FROM THE EDGE OF ZONE ONE THAT IS FARTHEST FROM THE HABITABLE STRUCTURE, TO THE EDGE OF UNDISTURBED VEGETATION.
 - (2) NO STRUCTURES SHALL BE CONSTRUCTED IN ZONE TWO.
 - (3) WITHIN ZONE TWO, 50 PERCENT OF THE PLANTS OVER 24 INCHES IN HEIGHT SHALL BE CUT AND CLEARED TO A HEIGHT OF 6 INCHES.
 - (4) WITHIN ZONE TWO, ALL PLANTS REMAINING AFTER 50 PERCENT ARE REDUCED IN HEIGHT, SHALL BE PRUNED TO REDUCE FUEL LOADING IN ACCORDANCE WITH THE LANDSCAPE STANDARDS IN THE LAND DEVELOPMENT MANUAL. NON-NATIVE PLANTS SHALL BE PRUNED BEFORE NATIVE PLANTS ARE PRUNED.
 - (5) THE FOLLOWING STANDARDS SHALL BE USED WHERE ZONE TWO IS IN AN AREA PREVIOUSLY GRADDED AS PART OF LEGAL DEVELOPMENT ACTIVITY AND IS PROPOSED TO BE PLANTED WITH NEW PLANT MATERIAL INSTEAD OF CLEARING EXISTING NATIVE OR NATURALIZED VEGETATION:
 - (A) ALL NEW PLANT MATERIAL FOR ZONE TWO SHALL BE NATIVE, LOW-FUEL, AND FIRE-RESISTIVE. NO NON-NATIVE PLANT MATERIAL MAY BE PLANTED IN ZONE TWO EITHER INSIDE THE MHPA OR IN THE COASTAL OVERLAY ZONE, ADJACENT TO AREAS CONTAINING SENSITIVE BIOLOGICAL RESOURCES.
 - (B) NEW PLANTS SHALL BE LOW-GROWING WITH A MAXIMUM HEIGHT AT MATURITY OF 24 INCHES. SINGLE SPECIMENS OF FIRE RESISTIVE NATIVE TREES AND TREE FORM SHRUBS MAY EXCEED THIS LIMITATION IF THEY ARE LOCATED TO REDUCE THE CHANCE OF TRANSMITTING FIRE FROM NATIVE OR NATURALIZED VEGETATION TO HABITABLE STRUCTURES AND IF THE VERTICAL DISTANCE BETWEEN THE LOWEST BRANCHES OF THE TREES AND THE TOP OF ADJACENT PLANTS ARE THREE TIMES THE HEIGHT OF THE ADJACENT PLANTS TO REDUCE THE SPREAD OF FIRE THROUGH LADDER FUELING.
 - (C) ALL NEW ZONE TWO PLANTINGS SHALL IRRIGATED TEMPORARILY UNTIL ESTABLISHED TO THE SATISFACTION OF THE CITY MANAGER. ONLY LOWFLOW, LOW-GALLONAGE SPRAY HEADS MAY BE USED IN ZONE TWO. OVERSPRAY AND RUNOFF FROM THE IRRIGATION SHALL NOT DRIFT OR FLOW INTO ADJACENT AREAS OF NATIVE OR NATURALIZED VEGETATION. TEMPORARY IRRIGATION SYSTEMS SHALL BE REMOVED UPON APPROVED ESTABLISHMENT OF THE PLANTINGS. PERMANENT IRRIGATION IS NOT ALLOWED IN ZONE TWO.
 - (D) WHERE ZONE TWO IS BEING REVEGETATED AS A REQUIREMENT OF SECTION 142.0411(A), REVEGETATION SHALL COMPLY WITH THE SPACING STANDARDS IN THE LAND DEVELOPMENT MANUAL. FIFTY PERCENT OF THE PLANTING AREA SHALL BE PLANTED WITH MATERIAL THAT DOES NOT GROW TALLER THAN 24 INCHES. THE REMAINING PLANTING AREA MAY BE PLANTED WITH TALLER MATERIAL, BUT THIS MATERIAL SHALL BE MAINTAINED IN ACCORDANCE WITH THE REQUIREMENTS FOR EXISTING PLANT MATERIAL IN ZONE TWO.
 - (E) ZONE TWO SHALL BE MAINTAINED ON A REGULAR BASIS BY PRUNING AND THINNING PLANTS, REMOVING INVASIVE SPECIES, AND CONTROLLING WEEDS.
 - (F) EXCEPT AS PROVIDED IN SECTION 142.0412(C), WHERE THE REQUIRED ZONE ONE WIDTH SHOWN IN TABLE 142-04H CANNOT BE PROVIDED ON PREMISES WITH EXISTING STRUCTURES, THE REQUIRED ZONE TWO WIDTH SHALL BE INCREASED BY ONE FOOT FOR EACH FOOT OF REQUIRED ZONE ONE WIDTH THAT CANNOT BE PROVIDED.

SAN DIEGO MUNICIPAL CODE
TABLE 142-04H
BRUSH MANAGEMENT ZONE WIDTH REQUIREMENTS

CRITERIA	ZONE WIDTHS
ZONE ONE WIDTH	35 FT.
ZONE TWO WIDTH	65 FT.

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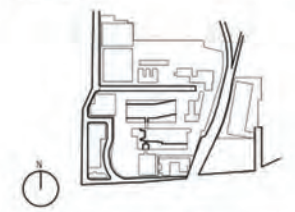


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PLANNED DEVELOPMENT PROJECT NO. 2410288
EASEMENT VACATION NO. 2410221
SITE DEVELOPMENT PERMIT NO. 2410289
CONDITIONAL USE PERMIT NO. 2410279
TENTATIVE MAP NO. 2421127
PROJECT (ITS) NO. 658548

REVISIONS

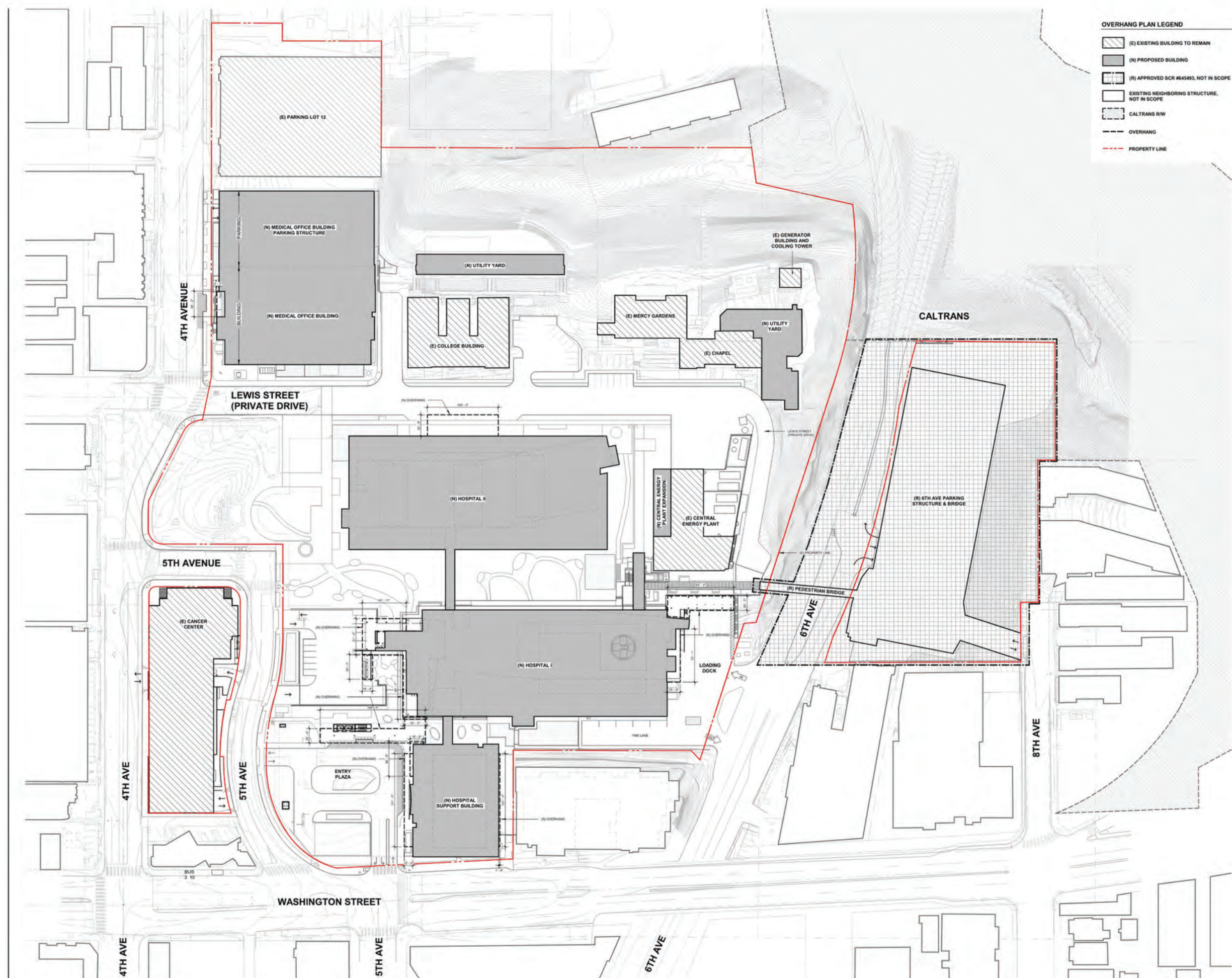
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2	8/14/20	REV 2
3	11/18/20	REV 3
4	3/26/21	REV 4
5	6/11/21	REV 5
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7	5/27/22	REV 7
8	7/21/23	REV 8

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BRUSH MANAGEMENT PLAN

SCALE: 1" = 50'-0"
DATE OF ISSUE: 5/27/22



- OVERHANG PLAN LEGEND**
- (E) EXISTING BUILDING TO REMAIN
 - (N) PROPOSED BUILDING
 - (R) APPROVED SCR #645493, NOT IN SCOPE
 - EXISTING NEIGHBORING STRUCTURE, NOT IN SCOPE
 - CALTRANS R/W
 - OVERHANG
 - PROPERTY LINE

CO ARCHITECTS

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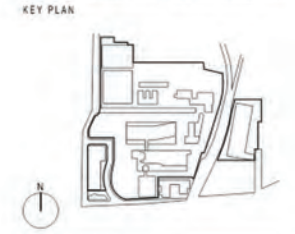
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 EASEMENT VACATION NO. 2410221
 SITE DEVELOPMENT PERMIT NO. 2410289
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 PROJECT (PTS) NO. 658548

REVISIONS

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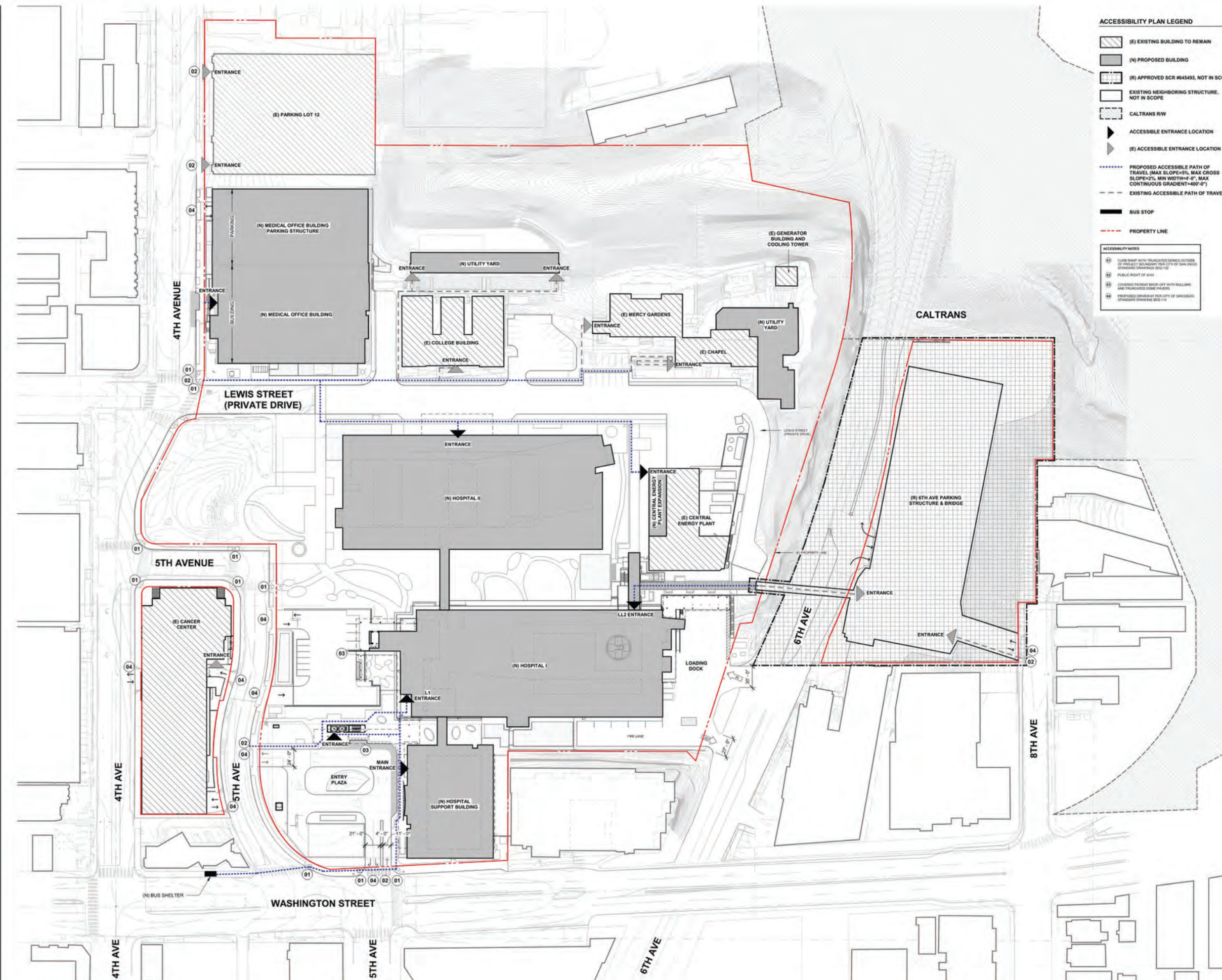


OVERHANG PLAN

SCALE: 1" = 50'-0"
 DATE OF ISSUE: 07/21/23

1 OVERHANG PLAN
 1" = 50'-0"

CUP-19



- ACCESSIBILITY PLAN LEGEND**
- (E) EXISTING BUILDING TO REMAIN
 - (N) PROPOSED BUILDING
 - (R) APPROVED SCR #645493, NOT IN SCOPE
 - EXISTING NEIGHBORING STRUCTURE, NOT IN SCOPE
 - CALTRANS RW
 - ACCESSIBLE ENTRANCE LOCATION
 - (E) ACCESSIBLE ENTRANCE LOCATION
 - PROPOSED ACCESSIBLE PATH OF TRAVEL (MAX SLOPE=2%, MAX CROSS SLOPE=2%, MIN WIDTH=4'-0", MAX CONTINUOUS GRADIENT=400'-0')
 - EXISTING ACCESSIBLE PATH OF TRAVEL
 - BUS STOP
 - PROPERTY LINE

- ACCESSIBILITY NOTES**
- 01 CURB RAMP WITH TRUNCATED DOME OUTSIDE OF PROJECT BOUNDARY PER CITY OF SAN DIEGO STANDARD DRAWING SD-112
 - 02 PUBLIC RIGHT OF WAY
 - 03 COVERED PARKING DROP OFF WITH BOLLARD AND TRUNCATED DOME FLOOR
 - 04 PROPOSED OVERLAY PER CITY OF SAN DIEGO STANDARD DRAWING SD-114

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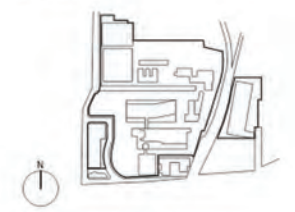
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REVISIONS

NO.	DATE	DESCRIPTION
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7	6/10/22	REV 7
8	7/21/23	REV 8

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ACCESSIBILITY PLAN

SCALE: As indicated
 DATE OF ISSUE: 07/21/23

CUP-20

1 ACCESSIBILITY PLAN
 1" = 50'-0"

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AGENCY STAMP

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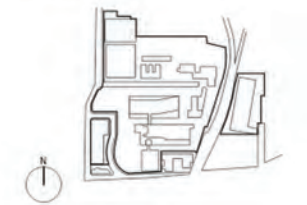
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8	7/21/23	REV 8



SCRIPPS MERCY HOSPITAL CAMPUS PROJECT

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KEY PLAN



EGRESS PLAN

SCALE: As indicated
 DATE OF ISSUE: 07/21/23

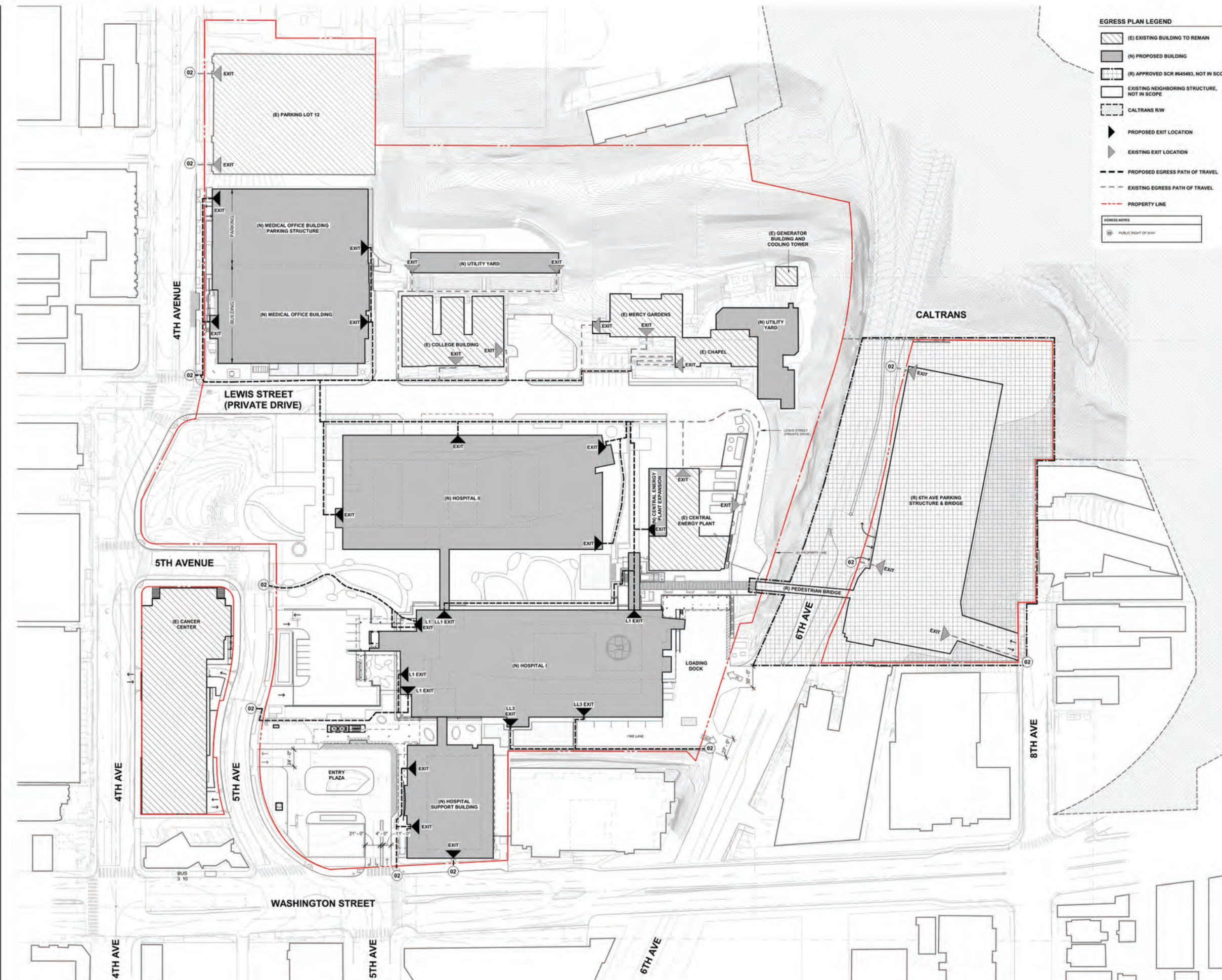
CUP-21

EGRESS PLAN LEGEND

- (E) EXISTING BUILDING TO REMAIN
- (N) PROPOSED BUILDING
- (R) APPROVED SCR #645493, NOT IN SCOPE
- EXISTING NEIGHBORING STRUCTURE, NOT IN SCOPE
- CALTRANS R/W
- PROPOSED EXIT LOCATION
- EXISTING EXIT LOCATION
- PROPOSED EGRESS PATH OF TRAVEL
- EXISTING EGRESS PATH OF TRAVEL
- PROPERTY LINE

EGRESS NOTES

- PUBLIC RIGHT OF WAY

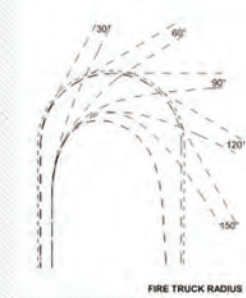


1 EGRESS PLAN
 1" = 50'-0"



AGENCY STAMP

- FIRE ACCESS PLAN LEGEND**
- (E) EXISTING BUILDING TO REMAIN
 - (N) PROPOSED BUILDING
 - (R) APPROVED SCR #645483, NOT IN SCOPE
 - EXISTING NEIGHBORING STRUCTURE, NOT IN SCOPE
 - FIRE LANE PER SDFD REQUEST FOR CUP
 - CALTRANS RW
 - PROPOSED ENTRANCE LOCATION
 - EXISTING ENTRANCE LOCATION
 - FIRE HYDRANT
 - PROPOSED FIRE LANE
 - HOSE PULL (200 FT MAXIMUM)
 - STANDPIPE



Any Hammerhead/Turnaround/Cul-de-Sac shall be provided in accordance with Appendix D CFC, Figure D103.1. ALL dimensions have been shown on the Fire Access Plan. Turn radius 30' inside/50' outside. SDFD FPB Policy A-14-1.

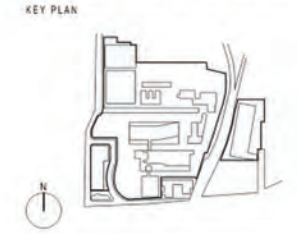
Aerial fire access road(s) adjacent to buildings that are greater than 30 feet in height from grade plane, shall have a minimum width of 26 feet. The proximal edge of Aerial fire access shall be a minimum of 15-30 feet from the building facade(s) and/or plumb line of eave(s). Aerial access shall be provided along one entire long side(s) of the building(s). Show ALL proposed locations where aerial access is being provided. (See CFC appendix DFPB Policy A-14-1)

All required hose pulls are shown to reach all portions of the EXTERIOR of the building(s) per policy A-14-1. Hose pull is measured from the fire apparatus (engine) when the fire engine is in a fire access road/lane. Hose pull can be measured from multiple locations within the access road/lane. The hose pulls must connect or overlap to show complete coverage. For a sprinklered building(s), the maximum hose pull is 200'. For non-sprinklered building(s), the maximum hose pull is 150'. Change in vertical elevation must also be accounted for.

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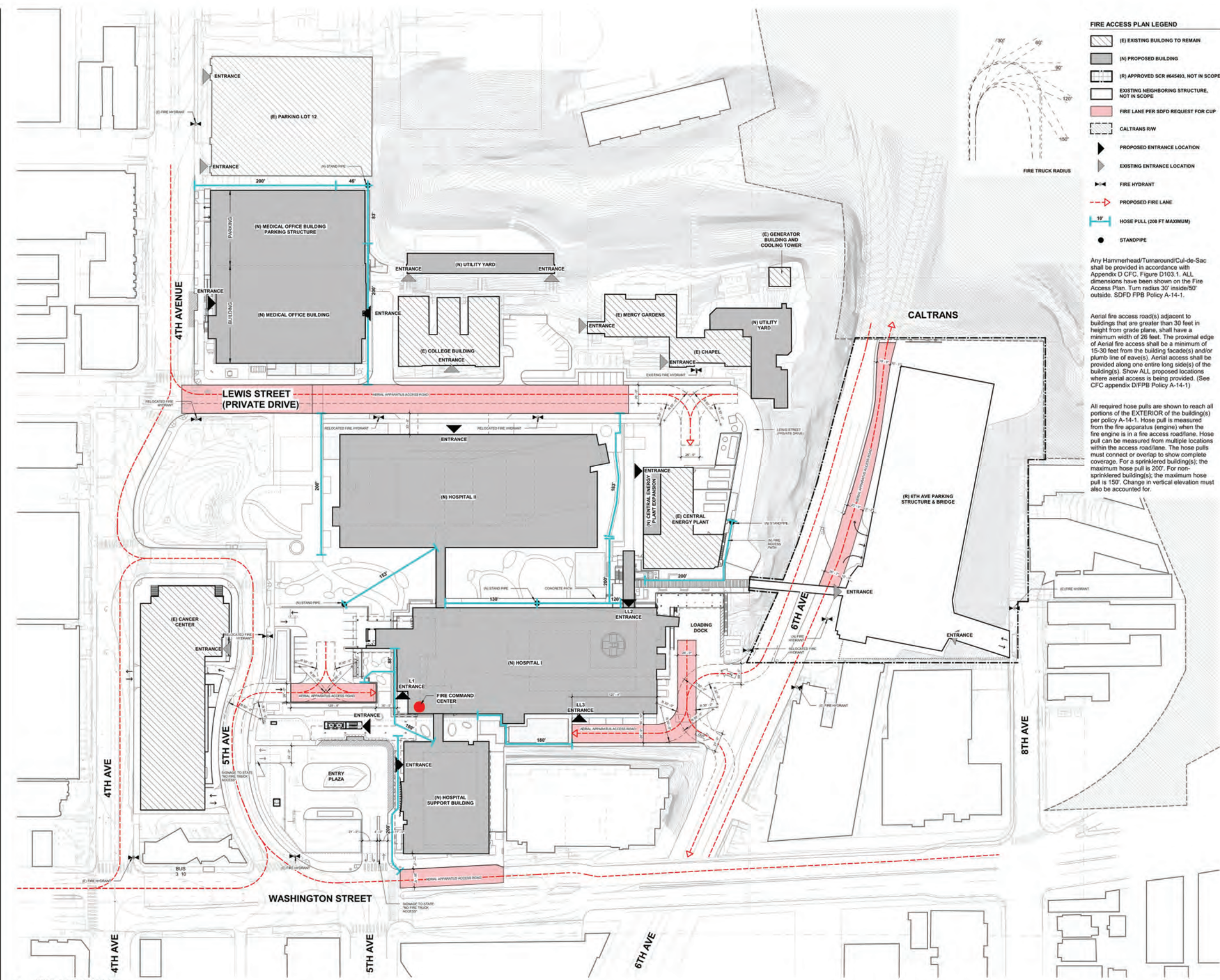
REVISIONS		
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FIRE ACCESS PLAN
 SCALE: 1" = 50'-0"
 DATE OF ISSUE: 07/21/23

CUP-22



1 FIRE ACCESS PLAN
 1" = 50'-0"

SITE SECTION LEGEND

	(E) EXISTING BUILDING TO REMAIN
	(N) PROPOSED BUILDING
	(R) APPROVED SCR #645493, NOT IN SCOPE
	EXISTING NEIGHBORING STRUCTURE, NOT IN SCOPE
	PROPERTY LINE

SETBACKS (CC-3-B)

FRONT MIN	NONE
FRONT MAX	10'
STREET SIDE MIN	NONE
STREET SIDE MAX	10'
SIDE YARD MIN	10'
REAR YARD MIN	10'

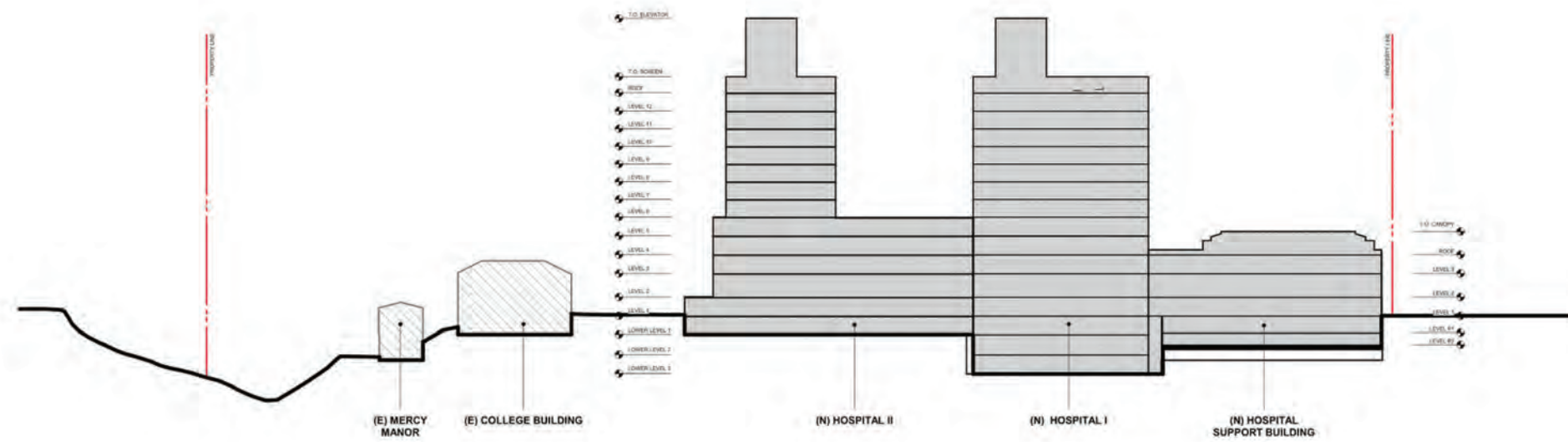
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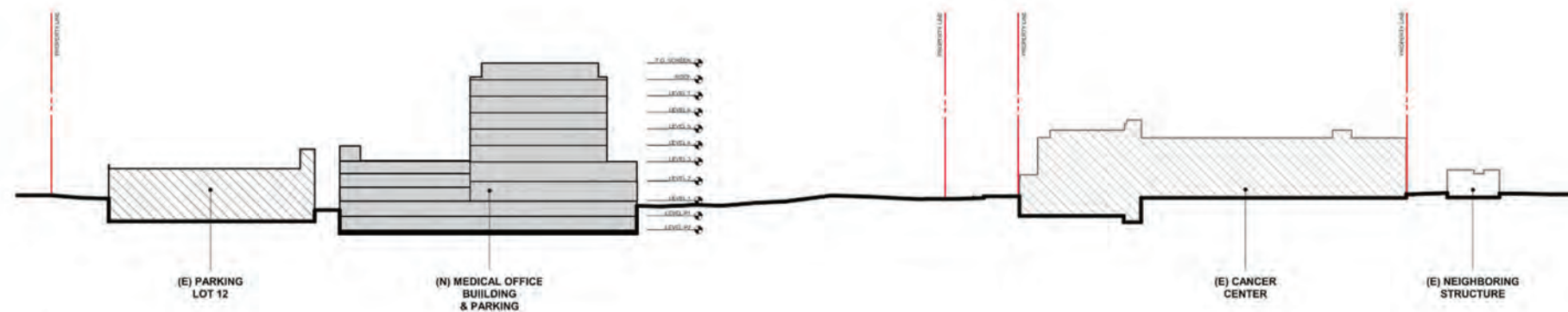
PROFESSIONAL STAMP



AGENCY STAMP



2 SITE SECTION 2 - LOOKING EAST
 1" = 50'-0"



1 SITE SECTION 1 - LOOKING EAST
 1" = 50'-0"

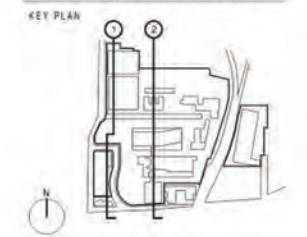
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 PROJECT (PTS) NO. 658548

REVISIONS

NO.	DATE	REVISION
1	4/10/20	REV 1
2	8/14/20	REV 2
3	11/18/20	REV 3
4	3/26/21	REV 4
5	6/11/21	REV 5
6	3/14/22	REV 6
7	6/10/22	REV 7
8	7/21/23	REV 8

Scripps
 SCRIPPS MERCY HOSPITAL CAMPUS PROJECT

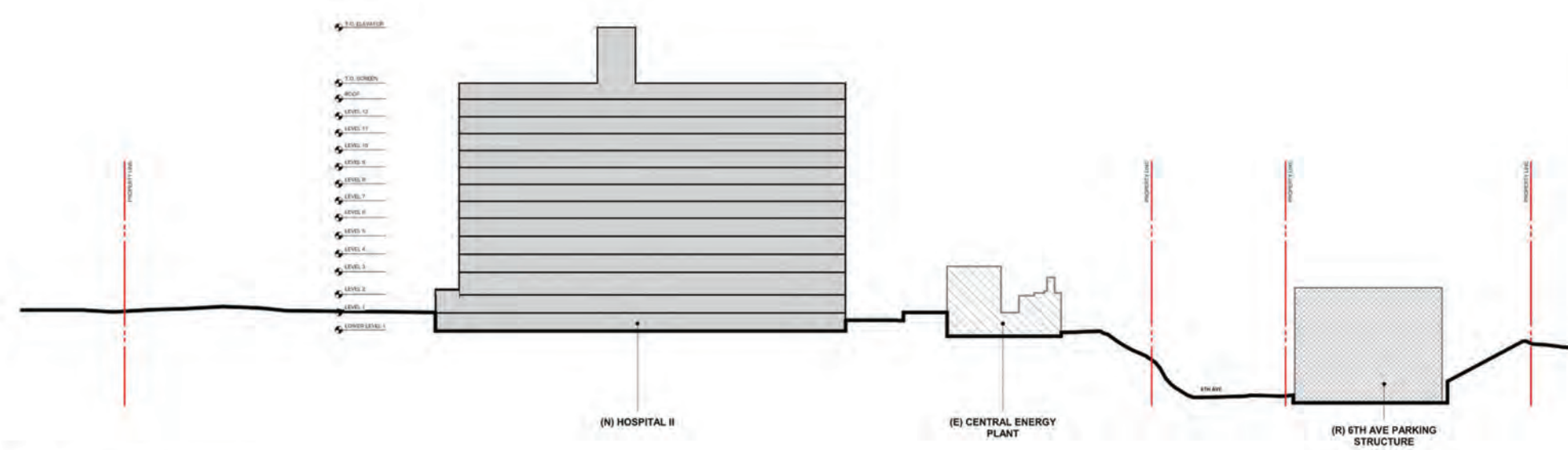
4077 Fifth Ave, San Diego, CA 92161
 SCRIPPS# 35-160608 DESIGN TEAM # 18003.000



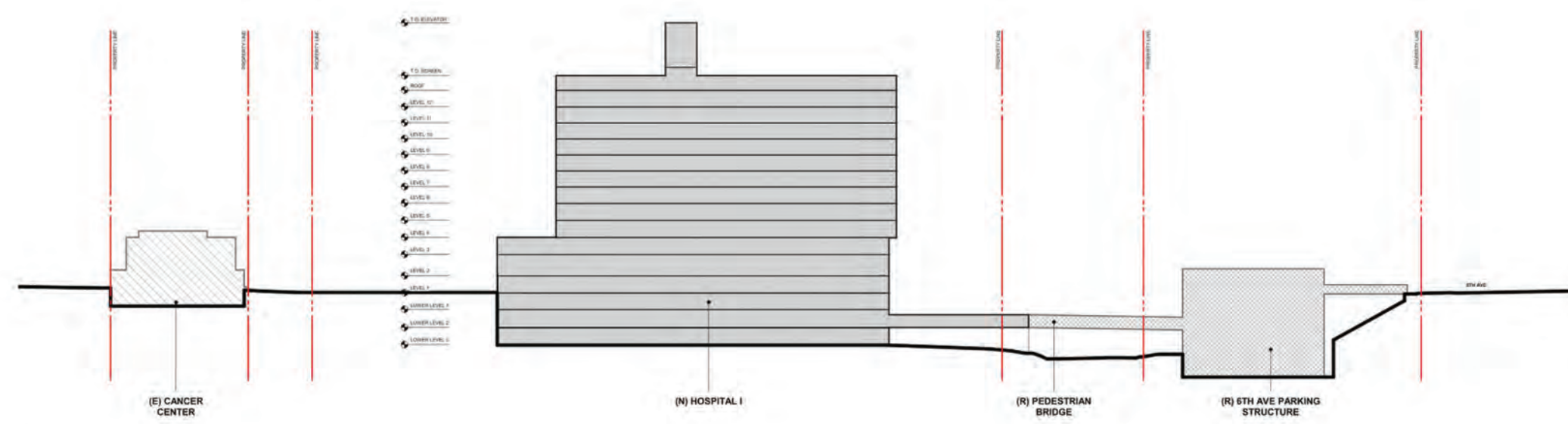
SITE SECTIONS

SCALE: 1" = 50'-0"
 DATE OF ISSUE: 07/21/23

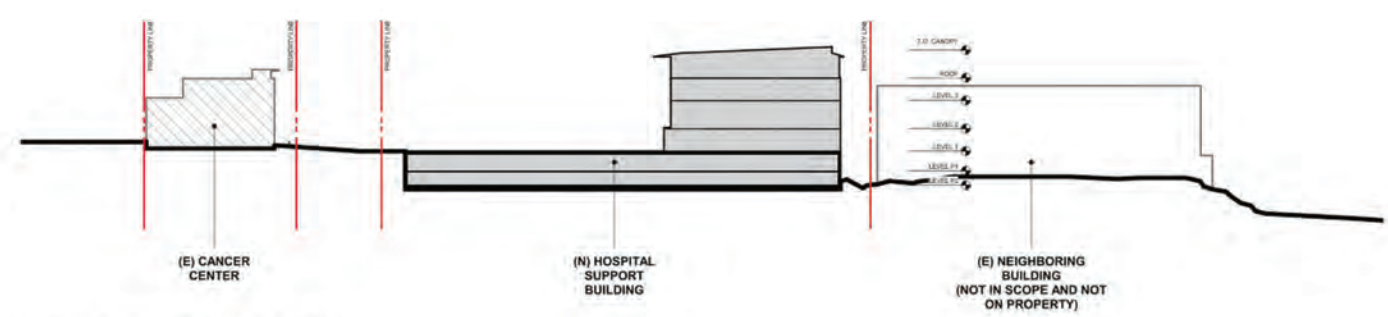
CUP-23



6 SITE SECTION 6 - LOOKING NORTH
1" = 50'-0"



5 SITE SECTION 5 - LOOKING NORTH
1" = 50'-0"



4 SITE SECTION 4 - LOOKING NORTH
1" = 50'-0"

SITE SECTION LEGEND

- (E) EXISTING BUILDING TO REMAIN
- (N) PROPOSED BUILDING
- (R) APPROVED SCR #645403, NOT IN SCOPE
- EXISTING NEIGHBORING STRUCTURE, NOT IN SCOPE
- PROPERTY LINE

SETBACKS (CC-3-B)

FRONT MIN	NCNE
FRONT MAX	10'
STREET SIDE MIN	NCNE
STREET SIDE MAX	10'
SIDE YARD MIN	10'
REAR YARD MIN	10'

CO ARCHITECTS

5750 Wilshire Boulevard, Suite 550
Los Angeles, California 90036
323.525.0500 phone, 323.525.0955 fax



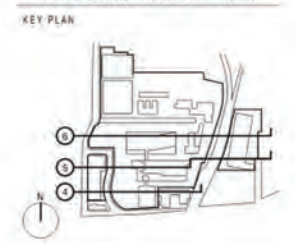
AGENCY STAMP

NEIGHBORHOOD USE PERMIT NO. 2605691
PLANNED DEVELOPMENT PROJECT NO. 2410288
EASEMENT VACATION NO. 2410271
SITE DEVELOPMENT PERMIT NO. 2410289
CONDITIONAL USE PERMIT NO. 2410279
TENTATIVE MAP NO. 242117Z
PROJECT (PTS) NO. 658548

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Scripps
SCRIPPS MERCY HOSPITAL CAMPUS PROJECT
4077 Fifth Ave, San Diego, CA 92163
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SITE SECTIONS

SCALE: 1" = 50'-0"
DATE OF ISSUE: 07/21/23