



THE CITY OF SAN DIEGO

Report to the Planning Commission

DATE ISSUED: November 30, 2023 REPORT NO. PC-23-048

HEARING DATE: December 14, 2023

SUBJECT: Verizon Ardath, Process Four Decision

PROJECT NUMBER: [678337](#)

OWNER/APPLICANT: Prism Development /Verizon Wireless

SUMMARY

Issue(s): Should the Planning Commission approve a modification to an existing Wireless Communication Facility (WCF) at 7990 Via Capri in the LJSPD-SF Zone of La Jolla Community Planning Area?

Staff Recommendations:

1. Approve Conditional Use Permit (CUP) No. 2615081
2. Approve Side Development Permit (SDP) No. 2615083.

Community Planning Group Recommendation: The applicant has elected to appear before the Planning Commission without presenting the Project to the La Jolla Community Planning Group. The applicant had tried multiple times to get on their schedule and did not receive any communications from them. (Attachment 6)

Environmental Review: This project was determined to be categorically exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15302 (Replacement or Reconstruction). The environmental exemption determination for this project was made on October 9, 2023, and the opportunity to appeal that determination ended October 23, 2023. (Attachment 9)

Fiscal Impact Statement: None with this action. All costs associated with the processing of this project are paid from a deposit account maintained by the applicant.

Code Enforcement Impact: None with this action.

Housing Impact Statement: None with this action.

BACKGROUND

The project is an existing Wireless Communication Facility (WCF) at the rear yard of a single-family residence located at 7990 Via Capri in the Single-Family Zone of La Jolla Shores Planned District-SF (LJSPD-SF) Coastal Overlay Zone (Non-Appealable) of the La Jolla Community Plan. The La Jolla Community Plan designates the property as Very Low Density Residential. Surrounding uses include single-family residential to the north, south and west. La Jolla Parkway (previously Ardath Road) is at the base of the hillside to the east (Attachments 1-3).

The original project which consisted of four antennas mounted to the two poles was approved in 1995. WCFs are allowed in the Residential (RS-1-1) zone with approval of a CUP pursuant to San Diego Municipal Code (SDMC) Sections [126.0302\(b\)](#), and [141.0420\(c\)\(2\)\(B\)](#) Process Four, Planning Commission.

The previous approval of CUP No. 729360, SDP No. 787723, and CDP No. 787722 expired on October 28, 2020, after a 10-year term. A 10-year expiration date was added to those permits to allow modification due to advancement in technology and design.

DISCUSSION

Project Description:

Verizon is requesting a new use permit to continue operation of an existing WCF, with modification at this location. The project site is a single-family home at the end of the cul-de-sac overlooking La Jolla Parkway. There are currently four pipe-mounted (pole) antennas in the back yard along with the equipment cabinets located on the slope inside an enclosure. All antennas and equipment are surrounded and screened by the existing shrub and trees. Since installation, this site has been operating without any incidents. There is also a Crown Castle-AT&T facility nearby that was installed in 1996. This is an ideal location for the WCF to provide service to the travelers along La Jolla Parkway, Interstate-5, and Highway 52.

Verizon Wireless is proposing to modify the project by removing four (4) 4'-0" antennas and replacing them with four (4) 8'-0" antennas. The



project also proposes to add four (4) Remote Radio Units (RRUs) behind the new antennas. Several antlers (faux branches) are proposed to be added around each antenna for blending it with the background. The equipment will continue to operate in the same location without any changes.

The poles and antennas will be painted green to match the existing landscaping. The existing equipment enclosure would remain unchanged. The fence screening the WCF will be painted green as well to integrate the site with the existing landscape.

Pursuant to SDMC Section [141.0420\(c\)\(2\)\(B\)](#) a CUP for a WCF is required for uses in a residential zone on premises that contains residential development. A SDP is required pursuant to SDMC Sections [126.0502\(a\)](#) and [143.0110\(2\)\(a\)\(1\)\(2\)](#) due to the steep slopes located on the rear portion of the property. The site is exempt from obtaining a CDP pursuant to SDMC Section [126.0704\(a\)](#) as it is improvement of existing structure.

Pursuant to SDMC Section [141.0420](#) for WCFs, various camouflaging techniques are required to reduce all visual impacts. All WCF's must be designed to be minimally visible through the use of architecture, landscape and siting solutions. This WCF is located on a slope in the rear portion of a property containing a single-family home. The WCF design benefits from a combination of the existing mature landscaping and the use of two antenna design concealment techniques: 1) Antler branches are proposed to provide screening in front of the antennas using pine needle materials to complement the adjacent landscaping; and 2) All WCF mounting pipes and antennas shall be painted to green to provide another layer of screening with the hillside.



Figure 1. Existing and proposed antennas and equipment screening

Verizon has indicated that this is a vital location for their existing WCF in order to continue coverage. This facility has been in this location for over two decades providing critical voice and data coverage to the surrounding residential area and travelers on Interstate-5 and Highway-52.

The Telecommunication Act of 1996 preempts local governments from regulating the "placement, construction and modification of wireless communication facilities on the basis of the environmental effects of Radio Frequency (RF) emissions to the extent that such facilities comply with the Federal Communication Commission's (FCC) standards for such emissions." A Radio Frequency

Electromagnetic Energy (RF-EME) Compliance Report has been submitted verifying that the proposed project meets or exceeds the requirements of the FCC upon implementation of proposed remediation. The report will be stamped as Exhibit "A" and provided within the project file.

The lower portion of the site is located within the steep slope and adjacent to potential sensitive vegetation, which requires processing of an SDP, a process three decision pursuant to SDMC Section 126.0501(1)(A). An SDP process is to establish a review process for proposed development that, because of its site, location, size, or some other characteristic, may have significant impacts on resources or on the surrounding area, even if developed in conformance with all regulations. The intent of these procedures is to apply site-specific conditions as necessary to assure that the development does not adversely affect the applicable land use plan and to help ensure that all regulations are met.

The upper portion of the site is improved with a single-family residence, landscape, and hardscape and approximately more than half of the southeastern portion of the property remains undeveloped, containing slope and natural vegetation. The existing poles and equipment are on the site within a fenced enclosure at the rear portion of the property and no new work is proposed outside the enclosure, therefore there will be no disturbance to the environmentally sensitive land.

Community Plan Analysis:

The La Jolla Community Plan and Local Coastal Program Land Use Plan states that telecommunication structures should be analyzed for visual impact. It also recommends that the WCFs comply with the Citywide Telecommunications Policy. The City of San Diego's General Plan (UD-A.15) requires that the visual impact of wireless facilities be minimized by concealing them inside existing structures or using screening techniques to hide or blend them into the surrounding area. The plan also calls for these facilities to be designed to be aesthetically pleasing and respectful of the neighborhood context. Furthermore, the plan states that equipment associated with wireless facilities shall be concealed from view. In this case, the WCF has been located on this property for the past 23 years. The existing landscaping screens the WCF from the surrounding properties as well as the public rights-of-way. The equipment is located back along the level area of the slope. The La Jolla Community Plan and Local Coastal program Land Use Plan also identifies steep slopes as an important environmental resource to be protected. The project does not propose any excavation for the modification of this project.

Verizon Wireless is proposing to modify the project by removing four (4) 4'-0" antennas and replacing them with four (4) 8'-0" antennas. The project also proposes to add four (4) RRUs behind the new antennas. The poles and antennas will be painted green and employ antler branches designed to wrap around each antenna to replicate the pine needle appearance to match the existing adjacent landscaping. The existing equipment enclosure will remain unchanged. The fence screening the WCF will be painted green as well to integrate the site with the surroundings.

The City's General Plan requires that WCF's be both minimally visible and visually respectful and compatible with the community. The antennas and equipment associated with this facility will be screened with native landscape. The project will remain consistent with the recommendations of

the Community Plan and the City's General Plan.

Environmental Analysis:

This project was determined to be categorically exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15302. CEQA Section 15302 allows for the replacement or reconstruction of existing structures and facilities where the new structure will be located on the same site and will have substantially the same purpose and capacity as the structure being replaced. The proposed project is modifying an existing WCF and would replace old equipment with new without expanding the use of the WCF. The environmental exemption determination for this project was made on October 9, 2023, and the opportunity to appeal that determination ended on October 23, 2023.

Council Policy 600-43:

Council Policy [600-43](#) guidelines establish hierarchy from the most preferred location (Preference 1) to the least preferred location (Preference 4) for WCFs. The project is proposed within a Preference 4 location according to Council Policy 600-43, which categorizes WCF's according to land use in which they are located. The applicant is required to and did submit a site justification explaining why a Preference 4 site was selected over any lower Preference level sites (Attachment 11). The coverage ring and the existing coverage consisting of residential uses nearby makes this site a viable candidate at the current height needed to maintain the necessary coverage objective. No lower preference level solutions were available. As a result, Verizon is proposing to remain at this location while maintaining the existing coverage area.

Conclusion:

The project has been determined by staff to be consistent with the purpose and intent of the applicable development regulations of the San Diego Municipal Code, which includes the development regulations (CUP) Section [126.0302\(c\)](#), [126.0502\(a\)](#) and Wireless Communication Facilities Regulations Section [141.0420\(c\)\(2\)\(B\)](#). Therefore, staff recommends that the Planning Commission approve Conditional Use Permit No. 2615081 and Site Development Permit No. 2615083.

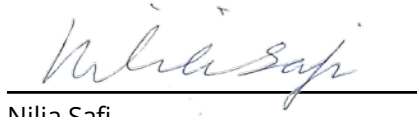
ALTERNATIVES

1. APPROVE CUP No. 2615081 and SDP No. 2615083, with modifications.
2. DENY CUP No. 2615081 and SDP No. 2615083, if the Planning Commission makes written findings based on substantial evidence that the approval is not authorized by state or local zoning law.

Respectfully submitted,



Simon Tse
Supervising Development Project Manager
Development Services Department

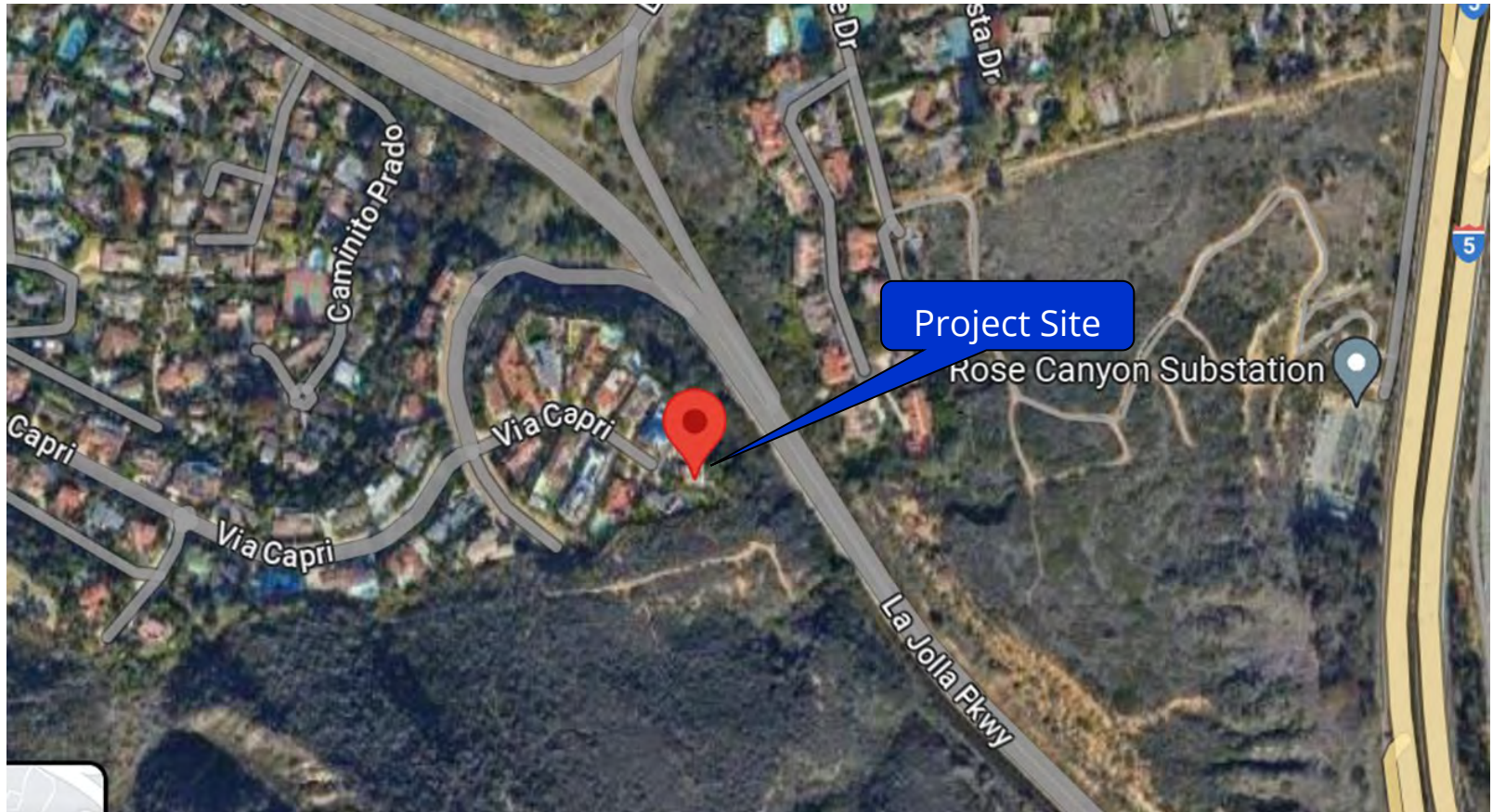


Nilia Safi
Development Project Manager
Development Services Department

Attachments:

1. Aerial Photographs
2. Community Plan Land Use Map
3. Project Location Map
4. Draft Permit with Conditions
5. Draft Permit Resolution with Findings
6. Community Planning Group
7. Photo Simulations
8. Photo Survey
9. Environmental Exemption
10. Site Justification
11. Project Plans
12. Ownership Form

Aerial Photograph



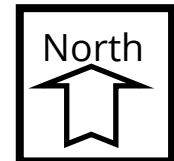
Verizon Ardath Project No. 678337
7990 Via Capri



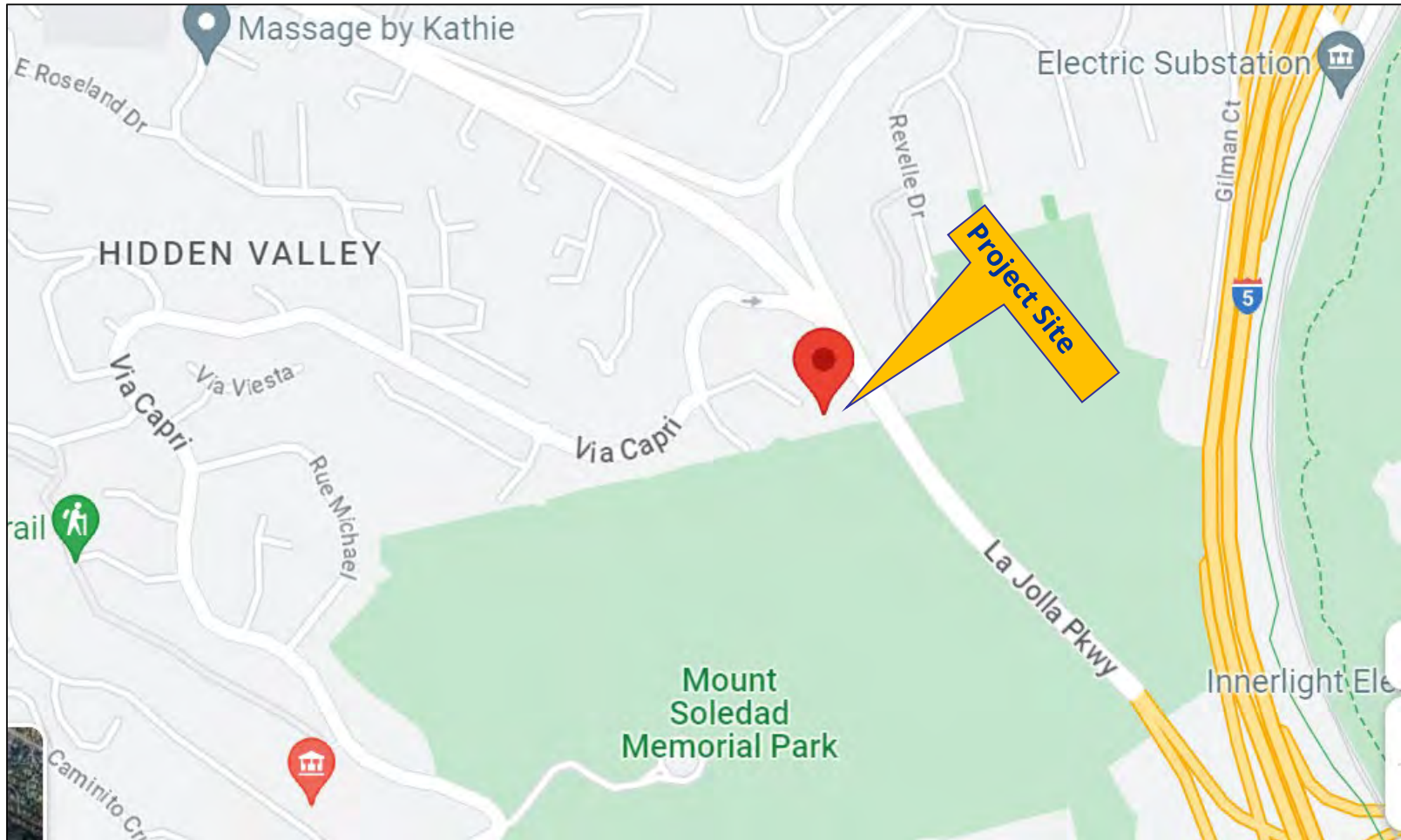
La Jolla Community Land Use Map



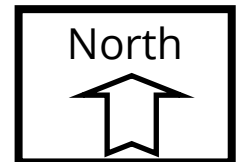
Verizon Ardath Project No. 678337
7990 Via Capri



Project Location Map



Verizon Ardath Project No. 678337
7990 Via Capri



RECORDING REQUESTED BY
CITY OF SAN DIEGO
DEVELOPMENT SERVICES
PERMIT INTAKE, MAIL STATION
501

Or
WHEN RECORDED MAIL TO
PROJECT MANAGEMENT
PERMIT CLERK
MAIL STATION 501

INTERNAL ORDER NUMBER: 11004545

SPACE ABOVE THIS LINE FOR RECORDER'S USE

CONDITIONAL USE PERMIT NO. 2615081
SITE DEVELOPMENT PERMIT No. 2615083
Verizon Ardath Project No. 678337
PLANNING COMMISSION

This Conditional Use Permit (CUP) No. 2615081 and Site Development Permit (SDP) No. 2615086 is granted by the Planning Commission of the City of San Diego to Prism Development, Owner and Verizon Wireless, Permittees, pursuant to San Diego Municipal Code [SDMC] Sections [141.0420](#), [126.0302](#), [143.0110](#) and [126.0502\(d\)\(3\)](#). The site is located at 7990 Via Capri in the LSPD-SF Zone of the La Jolla Shores Community Plan. The project site is legally described as all certain real property situated in the County of San Diego, State of California, described as Lot 36 of Azure Coast Unit No. 4, in the City of San Diego, County of San Diego, State of California, according to Map thereof No. 6662, filed in the Office of San Diego County, June 11, 1970;

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner/ Permittee for a Wireless Communication Facility (WCF) described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated December 14, 2023, on file in the Development Services Department.

The project shall include:

- Removal and replacement of four (4) 4'-tall antennas with four (4) 8'-tall antennas on existing poles on the slope, installation of four (4) RRUs and equipment remains unchanged side an existing enclosure.
- Antlers will be added to the poles as necessary to provide screening to the antennas to the satisfaction of Development Services Department.
- Antennas, all mounting apparatus, and the vinyl fence will be painted green to blend with the background.
- Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in

accordance with the adopted community plan, the California Environmental Quality Act [CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

STANDARD REQUIREMENTS:

1. This Permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36-month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by December 28, 2026.
2. The above utilization date notwithstanding, the granting of this discretionary permit does not entitle the continued operation of the existing, expired facility. Within 60 days of permit approval, applications must be made for all required construction permits. Within 90 days of application, all required construction permits must be issued. Within 90 days of permit issuance, final inspection must be obtained.
3. This Permit and corresponding use of this site shall expire on **December 14, 2033**. Upon expiration of this approval, the facilities and improvements described herein shall be removed from this site and the property shall be restored to its original condition preceding approval of this permit unless the applicant of record files a new application for a facility which will be subject to compliance with all regulations in effect at the time.
4. No later than ninety (90) days prior to the expiration of this approval, the Owner/Permittee may submit a new application to the Development Services Department for consideration with review and a decision by the appropriate decision maker at that time. Failure to submit prior to the deadline will be cause for enforcement for noncompliance, which may include penalties and fines.
5. Under no circumstances does approval of this Permit authorize the Owner/Permittee to utilize this site for WCF purposes beyond the permit expiration date. Use of this Permit approval beyond the expiration date of this permit is prohibited.
6. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
 - a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
 - b. The Permit is recorded in the Office of the San Diego County Recorder.
7. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.

8. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.

9. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.

10. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).

11. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.

12. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.

13. All of the conditions contained in this Permit have been considered and were determined necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

14. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of a disagreement between the City

and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by the Owner/Permittee.

LANDSCAPE REQUIREMENTS:

15. The Owner/Permittee shall be responsible for the maintenance of all landscape improvements shown on the approved plans, including in the right-of-way, unless long-term maintenance of said landscaping will be the responsibility of another entity approved by the Development Services Department. All required landscape shall be maintained consistent with the Landscape Standards in a disease, weed, and litter free condition at all times. Severe pruning or "topping" of trees is not permitted.

16. If any required landscape (including existing or new plantings, hardscape, landscape features, etc.) indicated on the approved construction documents is damaged or removed, the Owner/Permittee shall repair and/or replace in kind and equivalent size per the approved documents to the satisfaction of the Development Services Department within 30 days of damage or Certificate of Occupancy.

PLANNING/DESIGN REQUIREMENTS:

17. The WCF shall conform to the approved construction plans.

18. Photo simulations shall be printed in color on the construction plans.

19. All antennas shall require antler branches covering the face of the antenna to the satisfaction of the Development Services Department.

20. The City may require the Owner/Permittee to provide a topographical survey conforming to the provisions of the SDMC may be required if the City determines during construction, that there may be a conflict between the building(s) under construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Owner/Permittee.

21. The Owner/Permittee shall install and maintain appropriate warning signage on the WCF as required by State and Federal regulations. The Owner/Permittee shall be responsible for complying with all State and Federal regulations.

22. The accuracy and validity of the RF Compliance Report, submitted by the Permittee, shall be assured while the WCF is in operation. If requested by the City, Owner/Permittee shall provide an updated RF Compliance Report to address any issues associated with the emitting components of the WCF.

23. All equipment, including transformers, emergency generators and air conditioners belonging to the Owner/Permittee shall be designed and operated consistent with the City noise

ordinance. Ventilation openings shall be baffled and directed away from residential areas. Vibration resonance of operating equipment in the equipment enclosures shall be eliminated.

24. All facilities and related equipment shall be maintained in good working order. Any damaged equipment shall be repaired or replaced within thirty (30) calendar days of notification by the City of San Diego.

25. The Owner/Permittee shall notify the City within thirty (30) calendar days of the sale or transfer of this site to any other provider or if the site is no longer operational, in which case, the removal and the restoration of this site to its original condition is required.

INFORMATION ONLY:

- Please note that a Telecom Planning Inspection Issue will be placed on the project prior to Final Clearance from the City's Building Inspector to ensure compliance with the approved plans and associated conditions. Prior to calling for your Final Inspection from your building inspection official, please contact the Development Services Department Wireless Communication Facilities staff listed on City webpage, <https://www.sandiego.gov/development-services/codes-regulations/wireless-communication-facilities>, to schedule an inspection of the completed facility. Please schedule this administrative inspection at least five working days ahead of the requested Final Inspection date.
- The issuance of this development permit alone does not allow the immediate commencement or continued operation of the proposed use on site. The operation allowed by this discretionary permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Planning Commission of the City of San Diego on December 14, 2023 and Approved Resolution Number PC-XXXX.

Permit Type PTS Approval NO.: CUP No. 2615081
SDP NO. 2615083

Date of Approval: December 14, 2023

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES DEPARTMENT

Nilia Safi
Development Project Manager

**NOTE: Notary acknowledgment
must be attached per Civil Code
section 1189 et seq.**

The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of
this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

[Prism Development]
Owner

By _____
NAME
TITLE

[Verizon] Permittee

By _____
NAME
TITLE

**NOTE: Notary acknowledgments
must be attached per Civil Code
section 1189 et seq.**

Planning Commission RESOLUTION NO. XXXX
Conditional Use Permit (CUP) No. 2615081
Site Development Permit (SDP) No. 2615083
Verizon Ardath PROJECT NO. 678337

WHEREAS, Prism Development, Owner, and Verizon Wireless, Permittees, filed an application with the City of San Diego for a permit to maintain the use of an existing Wireless Communication Facility with modifications (as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Permit No. 2615081 and No.2615083),

WHEREAS, the project site is located at 7990 Via Capri in the LSPD-SF Zone of La Jolla Shores Community Plan;

WHEREAS, the project site is legally described as all certain real property situated in the County of San Diego, State of California, described as Lot 36 of Azure Coast Unit No. 4, in the City of San Diego, County of San Diego, State of California, according to Map thereof No. 6662, filed in the Office of San Diego County, June 11, 1970;

WHEREAS, on October 9, 2023, the City of San Diego, as Lead Agency, through the Development Services Department, made and issued an Environmental Determination that the project is exempt from the California Environmental Quality Act (CEQA) (Public Resources Code Section 21000 et seq.) under CEQA Guideline Section 15302 (Replacement or Reconstruction); and there was no appeal of the Environmental Determination filed within the time period provided by San Diego Municipal Code Section 112.0520;

WHEREAS, on December 14, 2023, the Planning Commission of the City of San Diego considered Conditional Use Permit (CUP) No. 2615081 and Site Development Permit (SDP) No. 2615083 pursuant to the Land Development Code of the City of San Diego;

BE IT RESOLVED by the Planning Commission of the City of San Diego, that it adopts the following findings with respect to CUP No. 2615081 and SDP No. 2615083:

Findings for Conditional Use Permit [San Diego Municipal Code (SDMC) 126.0305]:

(1) Findings for Conditional Use Permit

a. The proposed development will not adversely affect the applicable land use plan.

Verizon Wireless is requesting a new permit to continue the use of the existing Wireless Communication Facility (WCF) with minor modifications. These modifications include removing and replacing four 4'-tall antennas with four 8'-tall antennas and installing four Remote Radio Units (RRUs) on two existing poles in the rear yard slope of an existing residence. The equipment already onsite will remain unchanged. The site is located at 7990 Via Capri in the single-family residential zone of the La Jolla Shores Community Plan.

WCFs are allowed in the Residential Zone on premises that contains residential development with processing a Conditional Use Permit (CUP), a Process Four approval, pursuant to SDMC Section [141.0420\(c\)\(2\)\(B\)](#).

The La Jolla Community Plan defers all WCFs to the WCF Guidelines, regulations and the General Plan. The City of San Diego General Plan requires all wireless facilities to minimize visual impacts under [UD-A.15.a](#). It also includes the following provisions: A) Conceal wireless facilities in existing structures, when possible, otherwise use camouflage and screening techniques to hide or blend them into the surrounding area; B) Design facilities to be aesthetically pleasing and respectful of the neighborhood context; and C) Conceal mechanical equipment and devices associated with wireless facilities in underground vaults or unobtrusive structures.

The WCF has been located at this site since 1995. Verizon is proposing minor modifications to the existing WCF, involving the removal and replacement of four antennas on existing poles. In this instance, the replacement antennas will remain affixed to slender poles and will retain their antler branch design, carefully integrated with the mature landscaping. The antler branches will be securely fastened to the mounting pipes behind the antennas and will gracefully envelop the antennas to enhance the camouflage of the WCF. Furthermore, both the antennas and their mounting apparatus will be painted green to replicate the existing landscaping. The equipment is enclosed, enveloped by landscaping, and shielded by a green fence, contributing to the overall integration of the WCF.

The proposed modification of the WCF is minor and the WCF will not adversely affect the applicable land use and is compatible with the City of San Diego General Plan for WCFs. Therefore, the proposed development will not adversely affect the applicable land use plan.

b. The proposed development will not be detrimental to the public health, safety, and welfare; and

Verizon Wireless is requesting a new permit to continue the use of the existing WCF with minor modifications. These modifications include removing and replacing four 4'-tall antennas with four 8'-tall antennas and installing four RRUs on two existing poles in the rear yard slope of an existing residence. The equipment will remain unchanged. The site is located at 7990 Via Capri in the single-family residential zone of the La Jolla Shores Community Plan.

The project was determined to be exempt from CEQA pursuant to Section 15302 (Replacement or Reconstruction). The conditions of approval for the project will require compliance with several operational constraints and development controls intended to assure continued public health, safety, and welfare. All proposed improvement plans associated with the project will be reviewed prior to issuance of construction permits and inspected during construction to assure the project will meet or exceed all relevant and applicable building, electrical, mechanical, plumbing and fire codes.

The Telecommunication Act of 1996 preempts local governments from regulating the "placement, construction and modification of wireless communication facilities on the basis of the environmental effects of Radio Frequency (RF) emissions to the extent that such facilities comply with the Federal Communication Commission's (FCC) standards for such emissions." The proposed project would be consistent with the FCC's regulations for wireless facilities. Verizon has submitted an RF Report demonstrating compliance with the required FCC regulations.

Therefore, based on the above, the project would not result in any significant health or safety risks to the surrounding area within matters of City's jurisdiction.

c. The proposed development will comply with the regulations of the Land Development Code including any allowable deviations pursuant to the Land Development Code.

Verizon Wireless is requesting a new permit to continue the use of the existing WCF with minor modification that includes remove and replace four 4'-tall antennas with four 8'-tall antennas and four RRUs on two existing 7'-tall poles in the rear yard of an existing residence. The equipment on site will remain unchanged. The site is located at 7990 Via Capri, in the residential Zone of the Jolla Shores Community Plan.

Pursuant to SDMC Section [141.0420\(e\)](#), wireless communication facilities should utilize the smallest, least visually intrusive antennas, components, and other necessary equipment. In addition, the applicant shall use all reasonable means to conceal or minimize the visual impacts of the wireless communication facilities through integration and installation on existing structures. Integration with existing structures or among other existing uses shall be accomplished through the use of architecture, landscape, and sitting solutions.

Verizon is proposing minor modifications involving the removal and replacement of four antennas on existing poles. In this instance, the replacement antennas will remain affixed to slender poles and will retain their antler branch design, carefully

integrated with the mature landscaping. The antler branches will be securely fastened to the mounting pipes behind the antennas and will gracefully envelop the antennas to enhance the camouflage of the WCF. Furthermore, both the antennas and their mounting apparatus will be painted green to replicate the existing landscaping. The equipment is enclosed, enveloped by landscaping, and shielded by a green fence, contributing to the overall integration of the WCF. No deviation is proposed.

Therefore, the proposed development will comply with the regulations of the Land Development Code including any allowable deviations pursuant to the Land Development Code can be supported due to the design, coverage, and integration.

d. The proposed use is appropriate at the proposed location.

Verizon Wireless is requesting a new permit to continue the use of the existing WCF with minor modification that includes remove and replace four 4'-tall antennas with four 8'-tall antennas and four RRUs on two existing 7'-tall poles in the rear yard of an existing residence. The equipment on site will remain unchanged. The site is located at 7990 Via Capri, in the residential Zone of the Jolla Shores Community Plan.

Verizon is proposing minor modifications involving the removal and replacement of four antennas on existing poles. In this instance, the replacement antennas will remain affixed to slender poles and will retain their antler branch design, carefully integrated with the mature landscaping. The antler branches will be securely fastened to the mounting pipes behind the antennas and will gracefully envelop the antennas to enhance the camouflage of the Wireless Communication Facility (WCF). Furthermore, both the antennas and their mounting apparatus will be painted green to replicate the existing landscaping. The equipment is enclosed, enveloped by landscaping, and shielded by a green fence, contributing to the overall integration of the WCF.

The WCF at the Ardath site has been in operation on this property since 1995, serving as a vital infrastructure for the provision of essential voice and data services in the vicinity. This encompassing service includes the heavily traversed routes of La Jolla Parkway and Torrey Pines Road. The ongoing operation of the Ardath site is imperative to sustain the current service quality levels in these areas.

Council Policy 600-43 guidelines establish hierarchy from the most preferred location (Preference 1) to the least preferred location (Preference 4) for WCFs. The project is proposed within a Preference 4 location according to Council Policy 600-43, which categorizes WCF's according to land use in which they are located. The applicant is required to submit a site justification explaining why a Preference 4 site was selected over any lower Preference level sites. The coverage ring and the existing coverage consisting of residential uses nearby makes this site a viable candidate at the current height needed to maintain the necessary coverage objective. No lower preference level solutions were available. As a result, Verizon is proposing to remain at this location while maintaining the existing coverage area.

The project meets the General Plan requirements for design requirements. Therefore, the proposed use with minor modification is appropriate at this location.

Findings for Site Development Permit SDMC 126.0505

(1) Findings for all Site Development Permits:

a. The proposed development will not adversely affect the applicable land use plan.

As outlined in CUP Finding No. A.1.a. listed above and incorporated herein by reference, the proposed development will not adversely affect the applicable land use plan.

b. The proposed development will not be detrimental to the public health, safety, and welfare.

As outlined in CUP Finding No. A.1.b. listed above and incorporated herein by reference, the proposed development will not be detrimental to the public health, safety, and welfare.

c. The proposed development will comply with the regulations of the Land Development Code including any allowable deviations pursuant to the Land Development Code.

As outlined in CUP Finding No. A.1.c. listed above and incorporated herein by reference, the proposed development will comply with the regulations of the Land Development Code, including any allowable deviations pursuant to the Land Development Code.

2. Supplemental Findings – Environmentally Sensitive Lands

a. The site is physically suitable for the design and siting of the proposed development and the development will result in minimum disturbance to environmentally sensitive lands;

The Ardath site is an existing site for Verizon Wireless and any change in location would negatively impact customers' existing service. The existing wireless facility has been located on this property since 1995, providing critical voice and data service throughout the surrounding area including the heavily used La Jolla Parkway and Torrey Pines Road. The site is located on the rear portion of a single-family development. The home and backyard are relatively flat, but beyond the pad area the lot slopes steeply down to La Jolla Parkway where the majority of the property is considered steep slopes. A Site Development Permit (SDP) is required in order to ensure that the development proposed for this project complies with the Environmentally Sensitive Lands regulations.

This proposed permit is for the continued use of an existing site. As part of the previous permit within the steep slope area included trenching to provide conduit

from the equipment cabinet to the antennas, excavation for the new antenna post and holes for the new native landscape material. All areas of excavation were recompacted and any effected groundcover was replaced. Therefore, the site is physically suitable for the design and sitting of the proposed development and the proposed modification will not result in any disturbance to environmentally sensitive lands.

b. The proposed development will minimize the alteration of natural land forms and will not result in undue risk from geologic and erosional forces, flood hazards, or fire hazards;

The project contains minor modification that include replacing four 4-foot antennas with four eight-foot antennas on two poles, in the same location, the RRUs are also located on the same pole, as a result no new disturbance of the existing ground/vegetation is proposed. Therefore, the proposed development will minimize the alteration of natural landforms and will not result in undue risk from geologic and erosional forces, flood hazards, or fire hazards.

c. The proposed development will be sited and designed to prevent adverse impacts on any adjacent environmentally sensitive lands;

The project is located on the rear portion of a single-family development on a steeply sloping embankment. The project contains minor modification that include replacing four 4-foot-tall antennas with four eight-foot-tall antennas on two poles, in the same location, the new RRUs are located behind antennas on the same pole. All portions of the project are "existing", with no new disturbance to the ground. Reference Site Plan (attachment 11). Therefore, the proposed development will be sited and designed to prevent adverse impacts on any adjacent environmentally sensitive lands.

d. The proposed development will be consistent with the City of San Diego's Multiple Species Conservation Program (MSCP) Subarea Plan and Vernal Pool Habitat Conservation Plan (VPHCP);

The Project site is not located in the MHPA nor is it located immediately adjacent to it.

e. The proposed development will not contribute to the erosion of public beaches or adversely impact local shoreline sand supply; and

The Project site is located approximately 1 ½ miles east of the Pacific Ocean. Additionally, it consists of minor modifications to a previously existing WCF. Therefore, it will not contribute to the erosion of public beaches or adversely impact local shoreline sand supply.

f. The nature and extent of mitigation required as a condition of the permit is reasonably related to, and calculated to alleviate, negative impacts created by the proposed development.

No negative impacts occur as a result of this Project proposal and no mitigation is required.

The above findings are supported by the minutes, maps and exhibits, all of which are incorporated herein by this reference.

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the PLANNING COMMISSION, CUP No. 2615081 and SDP No. 2615083 is hereby GRANTED by the PLANNING COMMISSION to the referenced Owner/Permittee, in the form, exhibits, terms and conditions as set forth in CUP No. 2615081 and SDP No. 2615083, a copy of which is attached hereto and made a part hereof.

Nilia Safi
Development Project Manager
Development Services

Adopted on: December 14, 2023

IO#: 11004545

From: [Shelly Kilbourn](#)
To: [Safi, Nilia](#); [Tse, Simon](#)
Subject: [EXTERNAL] La Jolla CPG Meetings
Date: Tuesday, January 24, 2023 9:33:25 AM

****This email came from an external source. Be cautious about clicking on any links in this email or opening attachments.****

Hi Nilia and Simon,

I have been reaching out to the chair of the La Jolla CPG for several projects since March 2022 with no response. I have two projects on hold Crown Castle Ardath PRJ-1070777 and VZW Ardath PTS-678337. At this point, I either need City staff to get these items placed on the agenda or I am going to request that we move forward without CPG recommendation. This delay is unacceptable.

Thanks,

Shelly

Shelly A. Kilbourn

PlanCom, Inc. | 302 State Place, Escondido, CA 92029 | 619.208.4685

EXISTING



Proposed new and replacement antennas and equipment screened by existing landscaping

PROPOSED



PHOTO STUDY & KEY MAP

Verizon Wireless
"Ardath"

7990 Via Capri
La Jolla, CA 92037

Prepared for:
City of San Diego
Development Services Department

1222 First Avenue
San Diego, CA 92101

Prepared by:

PlanCom, Inc.
Contractor Representatives for
Verizon Wireless

302 State Place
Escondido, CA 92029
Contact: Shelly Kilbourn, Planning Consultant
(619) 208-4685

October 29, 2020



North Elevation – Photo 1



North Elevation close up



View East



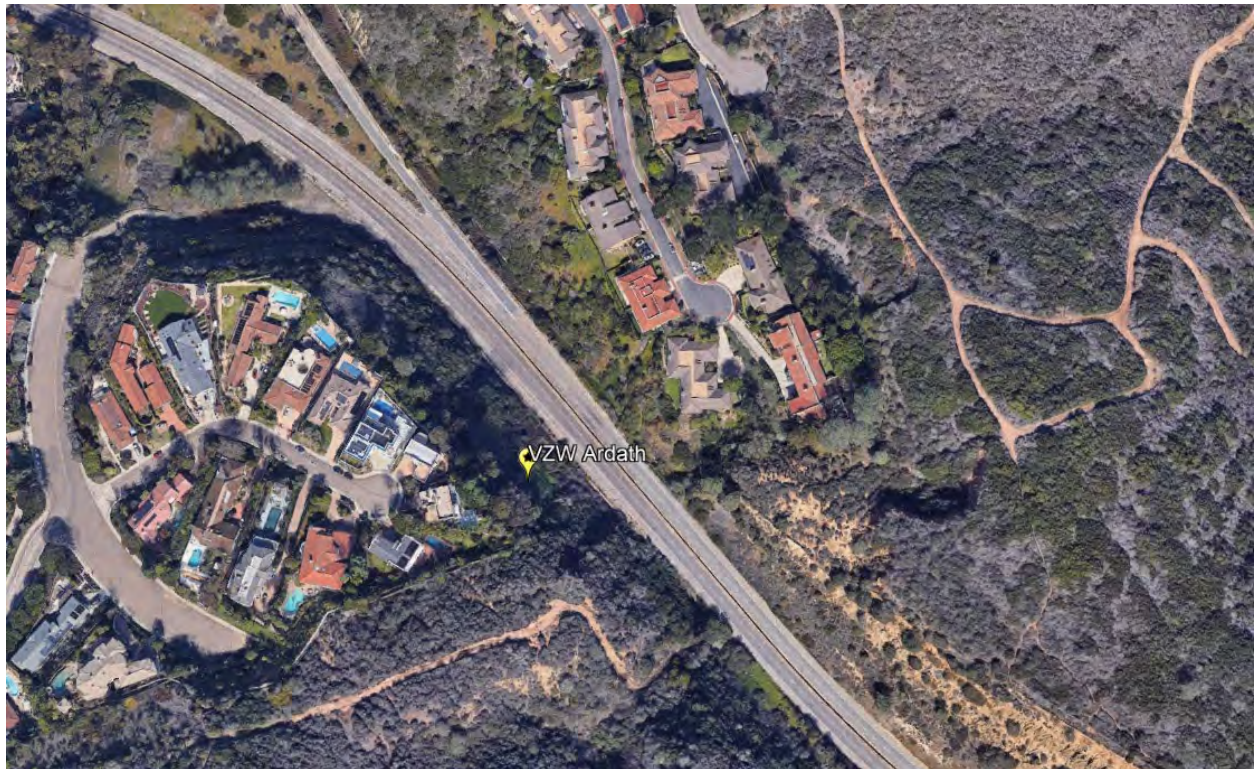
View North



View West



View South



Aerial Key Map

NOTICE OF EXEMPTION*(Check one or both)*

TO: ☒ Recorder/County Clerk
P.O. Box 1750, MS A-33
1600 Pacific Hwy, Room 260
San Diego, CA 92101-2400

From: City of San Diego
Development Services Department
1222 First Avenue, MS 501
San Diego, CA 92101

☐ Office of Planning and Research
1400 Tenth Street, Room 121
Sacramento, CA 95814

Project Name/Number: Via Capri WCF/678337

SCH No.: Not Applicable

Project Location-Specific: 7990 Via Capri, San Diego, CA 92037

Project Location-City/County: San Diego/San Diego

Description of nature and purpose of the Project: **Conditional Use Permit (CUP)** for continued use of an existing wireless communication facility (WCF) including removal and replacement of (4) antennas and installation of (2) new antennas on single poles, removal of (1) remote radio unit (RRU) and installation of 4 RRU's in the antenna area and upgrading the associated equipment inside a fenced shelter. The WCF is located shielded from view amongst existing landscaping on the slope of the rear yard of a private residence adjacent to La Jolla Parkway. The project is located at 7990 Via Capri in the LJSPD-SF Zone within the La Jolla Community Plan, the Coastal Zone (non-appealable) and City Council District 1. The WCF is unmanned and is not for human habitation.

Name of Public Agency Approving Project: City of San Diego

Name of Person or Agency Carrying Out Project: Shelly Kilbourn, PlanCom Inc 302 State Place, Escondido, CA 92029 (619) 208-4685

Exempt Status: (CHECK ONE)

- ☐ Ministerial (Sec. 21080(b)(1); 15268)
- ☐ Declared Emergency (Sec. 21080(b)(3); 15269(a))
- ☐ Emergency Project (Sec. 21080(b)(4); 15269 (b)(c))
- ☒ Categorical Exemption: Categorically exempt from CEQA pursuant to CEQA State Guidelines, Section 15302 (Replacement or Reconstruction)
- ☐ Statutory Exemptions:
- ☐ Other:

Reasons why project is exempt:

The City of San Diego conducted an environmental review and determined that the project would qualify to be categorically exempt from CEQA pursuant to Section 15302 (Replacement or Reconstruction). Section 15302 allows for the replacement or reconstruction of existing structures and facilities where the new structure will be located on the same site and will have substantially the same purpose and capacity as the structure being replaced. The proposed project is modifying an existing WCF and would replace old equipment with new with negligible expansion of the WCF. No environmental impacts were identified for the proposed project and none of the exceptions described in CEQA Guidelines Section 15300.2 apply.

Lead Agency Contact Person: Jeff Szymanski**Telephone:** (619) 446-5324**If filed by applicant:**

1. Attach certified document of exemption finding.
2. Has a notice of exemption been filed by the public agency approving the project? ☐ Yes ☐ No

It is hereby certified that the City of San Diego has determined the above activity to be exempt from CEQA

Jeff Szymanski Senior Planner
Signature/Title

October 24, 2023
Date

Check One:

- ☒ Signed By Lead Agency
☐ Signed by Applicant

Date Received for Filing with County Clerk or OPR:

ALL WORK AND MATERIALS SHALL BE PERFORMED AND INSTALLED IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE FOLLOWING CODES AS ADOPTED BY THE LOCAL GOVERNING AUTHORITIES. NOTHING IN THESE PLANS IS TO BE CONSTRUCTED TO PERMIT WORK NOT CONFORMING TO THESE CODES:

- 2019 CALIFORNIA BUILDING CODE(S) AND LOCAL AMENDMENTS
- 2019 NATIONAL ELECTRIC CODE(S) AND ALL LOCAL AMENDMENTS
- 2019 UNIFORM PLUMBING CODE(S) AND ALL LOCAL AMENDMENTS
- 2019 CALIFORNIA MECHANICAL CODE(S) AND ALL LOCAL AMENDMENTS
- 2019 CALIFORNIA RESIDENTIAL CODE
- 2019 GREEN BUILDING STANDARDS CODE
- 2019 EXISTING BUILDING CODE
- 2019 CALIFORNIA TITLE 24
- 2019 CALIFORNIA FIRE CODE
- 2019 CALIFORNIA ENERGY CODE
- ANSI/TIA-222-H OR LATEST EDITION
- LOCAL CODES AND AMENDMENTS

THIS WIRELESS COMMUNICATION FACILITY COMPLIES WITH FEDERAL STANDARDS FOR RADIO FREQUENCY IN ACCORDANCE WITH THE TELECOMMUNICATION ACT OF 1996 AND SUBSEQUENT AMENDMENTS AND ANY OTHER REQUIREMENTS IMPOSED BY STATE OR FEDERAL REGULATORY AGENCIES.

VERIZON
15505 SAND CANYON AVE
BUILDING 'D' 1st FLOOR
IRVINE, CA 92618
PHONE: (949) 286-7000

DR. GREGORY REESE
7990 VIA CAPRI
LA JOLLA, CA 92037

PRISM DEVELOPMENT
7660 FAY AVE., #531
LA JOLLA, CA 92037

7990 VIA CAPRI
LA JOLLA, CA 92111

353-170-16

CITY OF SAN DIEGO

LJSPB-16

N 32° 50' 40.17", W 117° 14' 28.13"

VERIZON RFDS TAB: 12/30/2019

- REMOVE (4) EXISTING 4'-0" PANEL ANTENNAS (2 PER SECTOR)
- INSTALL (4) NEW 8'-0" PANEL ANTENNAS (2 PER SECTOR)
- INSTALL (2) NEW COMBINERS AT ANTENNA AREA (1 PER SECTOR)
- INSTALL (4) NEW RRUS AT ANTENNA AREA (2 PER SECTOR)
- INSTALL (4) RRU CAGED ENCLOSURES, PAINT TO MATCH (E) SLOPED AREA
- REMOVE (3) EXISTING PIPE MOUNTS
- INSTALL (3) NEW PIPE MOUNTS
- REMOVE (1) EXISTING RRU AT EQUIPMENT AREA
- INSTALL DECORATIVE FAUX OR LIVE LANDSCAPE SCREENING ALONG (E) GREEN VINYL FENCING
- TO BE APPROVED BY LL & JX)
- NO WORK WILL BE PERFORMED IN THE RIGHT-OF-WAY
- (EXISTING LANDSCAPE TO BE REMOVED OR TRIMMED

PLANCOM, INC.
302 STATE PLACE, 2ND FLOOR
ESCONDIDO, CA 92029
CONTACT: JILL CLEVELAND
OFFICE: (760) 420-4833
EMAIL: jill.cleveland@plancominc.com

TECHNOLOGY ASSOCIATES EC, INC
2667 CAMINO DEL RIO SOUTH. STE. 205
SAN DIEGO, CA 92108
CONTACT: STEVEN VANDENBERG
OFFICE: (858) 300-2346 X 1542
EMAIL: steven.vandenberg@taec.net

The left map, titled "VICINITY MAP", shows the project site (indicated by a red square and arrow) located in the La Jolla area. Key landmarks include Mission Bay Montessori Academy, Mt. Soledad National Veterans Memorial, and San Clemente Canyon. Major roads like La Jolla Village Drive and San Diego Avenue are visible. A compass rose and "NOT TO SCALE" note are included.

The right map, titled "LOCAL MAP", provides an aerial view of the project site (indicated by a red square and arrow). The site is situated in a wooded area adjacent to a residential development with several houses and a swimming pool. A compass rose and "NOT TO SCALE" note are included.

1. TAKE I-405 SOUTH
2. MERGE ONTO I-5 SOUTH
3. TAKE EXIT 28 FOR LA JOLLA VILLAGE DR
4. USE THE RIGHT 2 LANES TO TURN RIGHT ONTO LA JOLLA VILLAGE DR
5. USE THE LEFT 2 LANES TO TURN LEFT ONTO TORREY PINES RD
6. SLIGHT LEFT TO STAY ON TORREY PINES RD
7. CONTINUE STRAIGHT ONTO HIDDEN VALLEY RD
8. TURN LEFT ONTO VIA CAPRI
9. SITE IS LOCATED AT END OF CUL-DE-SAC

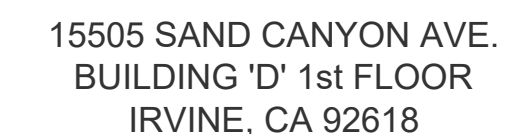
APPROVAL	SIGNATURE	DATE
VERIZON REPRESENTATIVE		
VERIZON RF ENGINEER		
SITE ACQUISITION		
VERIZON CONSTRUCTION MANAGER		
SITE OWNER		
<div style="text-align: center;"> <h1>APPROVALS</h1> </div>		

THE FACILITY IS UNMANNED AND NOT FOR HUMAN HABITATION. A TECHNICIAN WILL VISIT THE SITE AS REQUIRED FOR ROUTINE MAINTENANCE. THE PROJECT WILL NOT RESULT IN ANY SIGNIFICANT DISTURBANCE OR EFFECT ON DRAINAGE; NO SANITARY SEWER SERVICE, POTABLE WATER, OR TRASH DISPOSAL IS REQUIRED AND NO COMMERCIAL SIGNAGE IS NEW.

[illegible]

Know what's below.
CALL before you dig.

CALL AT LEAST TWO WORKING
DAYS BEFORE YOU DIG



B	04/09/2021	90% CX (JX COMMENTS)	SV
A	08/24/2020	90% CONSTRUCTION	HC
REV	DATE	DESCRIPTION	BY

IT IS A VIOLATION OF LAW FOR ANY PERSON,
UNLESS THEY ARE ACTING UNDER THE DIRECTION
OF A LICENSED PROFESSIONAL ENGINEER,
TO ALTER THIS DOCUMENT.

7990 VIA CAPRI
LA JOLLA, CA 92111
STEEL POLE

TITLE
SHEET

T-1

GENERAL NOTES

- THIS FACILITY IS EXEMPT FROM HANDICAP REQUIREMENTS PER 2019 CBC SECTION 11B-203.5. THIS FACILITY IS NON-OCCUPIABLE SPACE AND ENTERED ONLY BY SERVICE PERSONNEL. THIS SPACE IS NOT FOR HUMAN OCCUPANCY.
- THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS PRIOR TO SUBMITTING HIS BID. ANY DISCREPANCIES, CONFLICTS OR OMISSIONS SHALL BE REPORTED TO THE ENGINEER PRIOR TO SUBMITTING BIDS, AND PROCEEDING WITH ANY WORK.
- THE CONTRACTOR SHALL NOTIFY ENGINEER OF ANY ERRORS, OMISSIONS, OR DISCREPANCIES AS THEY MAY BE DISCOVERED IN THE PLANS, SPECIFICATIONS, & NOTES PRIOR TO STARTING CONSTRUCTION, INCLUDING BUT NOT LIMITED BY DEMOLITION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CORRECTING ANY ERRORS, OMISSION, OR INCONSISTENCY AFTER THE START OF CONSTRUCTION WHICH HAS NOT BEEN BROUGHT TO THE ATTENTION OF THE ARCHITECT/ENGINEER AND SHALL INCUR ANY EXPENSES TO RECTIFY THE SITUATION. THE METHOD OF CORRECTION SHALL BE APPROVED BY THE ARCHITECT OR THE ENGINEER RESPONSIBLE OF THE PROJECT.
- PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR HAS THE RESPONSIBILITY TO LOCATE ALL EXISTING UTILITIES, WHETHER OR NOT SHOWN ON THE PLANS, AND TO PROTECT THEM FROM DAMAGE. THE CONTRACTOR OR SUBCONTRACTOR SHALL BEAR THE EXPENSE OF REPAIRING OR REPLACING ANY DAMAGE TO THE UTILITIES CAUSED DURING THE EXECUTION OF THE WORK. CONTACT USA DIG ALERT @ 800-227-2600
- PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL PROTECT ALL AREAS FROM DAMAGE WHICH MAY OCCUR DURING CONSTRUCTION. ANY DAMAGE TO PROPOSED OR EXISTING SURFACES, STRUCTURES OR EQUIPMENT SHALL BE IMMEDIATELY REPAIRED OR REPLACED TO THE SATISFACTION OF THE PROPERTY OWNER. THE CONTRACTOR SHALL BEAR THE EXPENSE OF REPAIRING OR REPLACING ANY DAMAGED AREAS.
- A COPY OF THE APPROVED PLANS SHALL BE KEPT IN A PLACE SPECIFIED BY THE GOVERNING AGENCY, AND BY LAW SHALL BE AVAILABLE FOR INSPECTION AT ALL TIMES. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE ALL CONSTRUCTION SETS REFLECT THE SAME INFORMATION AS THE APPROVED PLANS. THE CONTRACTOR SHALL ALSO MAINTAIN ONE SET OF PLANS AT THE SITE FOR THE PURPOSE OF DOCUMENTING ALL AS-BUILT CHANGES, REVISIONS, ADDENDA, OR CHANGE ORDERS. THE CONTRACTOR SHALL FORWARD THE AS-BUILT/HIRED DRAWINGS TO THE ARCHITECT OR THE ENGINEER RESPONSIBLE OF THE PROJECT AT THE CONCLUSION OF THE PROJECT.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETE SECURITY OF THE SITE WHILE THE WORK IS IN PROGRESS UNTIL THE JOB IS COMPLETE.
- THE CONTRACTOR IS RESPONSIBLE TO PROVIDE TEMPORARY POWER, WATER, AND TOILET FACILITIES AS REQUIRED BY THE PROPERTY OWNER OR GOVERNING AGENCY.
- ALL CONSTRUCTION THROUGH THE PROJECT SHALL CONFORM TO THE LATEST C.B.C. AND ALL OTHER GOVERNING CODES, INCLUDING THE CALIFORNIA ADMINISTRATIVE CODES TITLE 8, 19, AND 24. THE MOST RESTRICTIVE CODE SHALL GOVERN.
- THE CONTRACTOR AND SUBCONTRACTOR SHALL COMPLY WITH ALL LOCAL AND STATE REGULATIONS INCLUDING ALL OSHA REQUIREMENTS.
- WHEN REQUIRED STORAGE OF MATERIALS OCCURS, THEY SHALL BE EVENLY DISTRIBUTED OVER THE FLOOR OR ROOF SO AS NOT TO EXCEED THE DESIGNED LIVE LOADS FOR THE STRUCTURE. TEMPORARY SHORING OR BRACING SHALL BE PROVIDED WHERE THE STRUCTURE OR SOIL HAS NOT ATTAINED THE DESIGN STRENGTH FOR THE CONDITIONS PRESENT.
- THE CONTRACTOR SHALL SUPERVISE AND COORDINATE ALL WORK, USING HIS PROFESSIONAL KNOWLEDGE AND SKILLS. HE IS SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, PROCEDURES AND SEQUENCING AND COORDINATING ALL PORTIONS OF THE WORK UNDER THE PROJECT.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO OBTAIN AND PAY FOR ALL PERMITS, LICENSES AND INSPECTIONS WITH RESPECT TO THE WORK TO COMPLETE THE PROJECT. BUILDING PERMIT APPLICATIONS SHALL BE FILED BY THE OWNER OR AUTHORIZED AGENT. CONTRACTOR SHALL OBTAIN THE PERMIT AND MAKE FINAL PAYMENT OF SAID DOCUMENT.
- ALL DIMENSIONS TAKE PRECEDENCE OVER SCALE. DRAWINGS ARE NOT TO BE SCALED UNDER ANY CIRCUMSTANCES.
- THE CONTRACTOR SHALL PROVIDE ALL NECESSARY BLOCKING, BACKING, FRAMING, HANGERS OR SUPPORTS FOR INSTALLATION OF ITEMS INDICATED ON THE DRAWINGS.
- THE CONTRACTOR SHALL PROVIDE THE FIRE MARSHALL WITH U.L. APPROVED MATERIALS TO FILL/SEAL PENETRATIONS THROUGH FIRE RATED ASSEMBLIES.
- PROPOSED CONSTRUCTION ADDED TO EXISTING CONSTRUCTION SHALL BE MATCHED IN FORM, TEXTURE, MATERIAL AND PAINT COLOR EXCEPT AS NOTED IN THE PLANS.
- THE CONTRACTOR IS TO PROVIDE PORTABLE FIRE EXTINGUISHERS HAVING A MINIMUM 2A-10-B-C RATING WITHIN 75FT. OF TRAVEL TO ALL PORTIONS OF THE CONSTRUCTION AREA.
(2019 CFC SECTION 908-1.1 & 7 AND SECTION 906.3.1)
- MATERIALS TESTING SHALL BE TO THE LATEST STANDARDS AVAILABLE AS REQUIRED BY THE LOCAL GOVERNING AGENCY RESPONSIBLE FOR APPROVING THE RESULTS.
- ALL GENERAL NOTES AND STANDARD DETAILS ARE THE MINIMUM REQUIREMENTS TO BE USED IN CONDITIONS WHICH ARE NOT SPECIFICALLY SHOWN OTHERWISE.
- ALL DEBRIS AND REFUSE IS TO BE REMOVED FROM THE PROJECT. PREMISES SHALL BE LEFT IN A CLEAN BROOM FINISHED CONDITION AT ALL TIMES.
- BUILDING INSPECTORS AND/OR OTHER BUILDING OFFICIALS ARE TO BE NOTIFIED PRIOR TO ANY GRADING AND CONSTRUCTION EFFORT AS MANDATED BY THE GOVERNING AGENCY.
- ALL SYMBOLS AND ABBREVIATIONS ARE CONSIDERED CONSTRUCTION INDUSTRY STANDARDS. IF A CONTRACTOR HAS A QUESTION REGARDING THEIR EXACT MEANING THE ARCHITECT OR THE ENGINEER RESPONSIBLE OF THE PROJECT SHALL BE NOTIFIED FOR CLARIFICATIONS.
- SITE CONTRACTOR TO CALL DIG ALERT (1-800-227-2600) TO LOCATE ANY AND ALL UNDERGROUND UTILITIES PRIOR TO ANY EXCAVATION.
- ALL FACILITIES TO BE INSTALLED ARE UNMANNED. NO (E) PARKING SPACES WILL BE USED OR REMOVED BY THIS PROJECT.
- PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMITS, THE APPLICANT SHALL INCORPORATE ANY CONSTRUCTION BEST MANAGEMENT PRACTICES NECESSARY TO COMPLY WITH THE CITY'S MUNICIPAL CODE INTO THE CONSTRUCTION PLANS OR SPECIFICATIONS.
- PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMITS, THE APPLICANT SHALL SUBMIT A WATER POLLUTION CONTROL PLAN (WPCP). THE WPCP SHALL BE PREPARED IN ACCORDANCE WITH THE GUIDELINES IN APPENDIX E OF THE CITY'S STORM WATER STANDARDS.
- THIS PROJECT PROPOSES NO DEVELOPMENT IMPROVEMENTS OUTSIDE THE EXISTING BUILDING FOOTPRINT FOR THIS DISCRETIONARY REVIEW AND THEREFORE DOES NOT REQUIRE ANY PERMANENT STORM WATER BEST MANAGEMENT PRACTICES.
- THIS IS ROOFTOP INSTALLATION ON AN EXISTING FACILITY AND NO GROUND DISTURBANCE OR TRENCHING IS PROPOSED BY THIS PROJECT.
- THIS PROJECT PROPOSES NO WORK WITHIN THE PUBLIC RIGHT-OF-WAY.

STORM WATER QUALITY NOTES CONSTRUCTION BMPs:

THIS PROJECT SHALL COMPLY WITH ALL REQUIREMENTS OF THE STATE PERMIT; CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD.

NOTES 1-6 BELOW REPRESENT KEY MINIMUM REQUIREMENTS FOR CONSTRUCTION BMPs.

- SUFFICIENT BMPs MUST BE INSTALLED TO PREVENT SILT, MUD OR OTHER CONSTRUCTION DEBRIS FROM BEING TRACKED INTO THE ADJACENT STREET(S) OR STORM WATER CONVEYANCE SYSTEMS DUE TO CONSTRUCTION VEHICLES OR ANY OTHER CONSTRUCTION ACTIVITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANING ANY SUCH DEBRIS THAT MAY BE IN THE STREET AT THE END OF EACH WORK DAY OR AFTER A STORM EVENT THAT CAUSES A BREACH IN THE INSTALLED CONSTRUCTION BMPs.
- ALL STOCK PILES OF UNCOMPACTED SOIL AND/OR BUILDING MATERIALS THAT ARE INTENDED TO BE LEFT UNPROTECTED FOR A PERIOD GREATER THAN SEVEN CALENDAR DAYS ARE TO BE PROVIDED WITH EROSION AND SEDIMENT CONTROLS, SUCH SOIL MUST BE PROTECTED EACH DAY WHEN THE PROBABILITY OF RAIN IS 40% OR GREATER.
- A CONCRETE WASHOUT SHALL BE PROVIDED ON ALL PROJECTS WHICH PROPOSE THE CONSTRUCTION OF ANY CONCRETE IMPROVEMENTS THAT ARE TO BE POURED IN PLACE ON THE SITE.
- ALL EROSION/SEDIMENT CONTROL DEVICES SHALL BE MAINTAINED IN WORKING ORDER AT ALL TIMES.
- ALL SLOPES THAT ARE CREATED OR DISTURBED BY CONSTRUCTION ACTIVITY MUST BE PROTECTED AGAINST EROSION AND SEDIMENT TRANSPORT AT ALL TIMES.
- THE STORAGE OF ALL CONSTRUCTION MATERIALS AND EQUIPMENT MUST BE PROTECTED AGAINST ANY POTENTIAL RELEASE OF POLLUTANTS INTO THE ENVIRONMENT.

GENERAL FIRE NOTES:

- BUILDINGS UNDERGOING CONSTRUCTION, ALTERATION, OR DEMOLITION SHALL BE IN ACCORDANCE WITH 2019 CFC CHAPTER 33 AND ALL GOVERNING CODES.
- ADDRESS SHALL BE PROVIDED FOR ALL PROPOSED AND EXISTING BUILDINGS IN A POSITION AS TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY.(2019 CFC SECTION 505.1)
- DECORATIVE MATERIALS SHALL BE MAINTAINED IN A FLAME-RETARDANT CONDITION.(2019 CFC SECTION 807.3)
- PORTABLE FIRE EXTINGUISHERS: AT LEAST ONE FIRE EXTINGUISHER WITH A MINIMUM RATING OF 2-A-10B-C SHALL BE PROVIDED WITHIN 75 FEET MAXIMUM TRAVEL DISTANCE FOR EACH 6,000 SQUARE FEET OR PORTION THEREOF ON EACH FLOOR.(2019 CFC SECTION 906.1.1 & 7 AND SECTION 906.3.1)

ABBREVIATION

DEFINITION

A.B.	ANCHOR BOLT
ABV.	ABOVE
ACCA	ANTENNA CABLE COVER ASSEMBLY
ADD'L	ADDITIONAL
A.F.F.	ABOVE FINISHED FLOOR
A.F.G.	ABOVE FINISHED GRADE
ALUM.	ALUMINUM
ALT.	ALTERNATE
ANT.	ANTENNA
APPRX.	APPROXIMATE(LY)
ARCH.	ARCHITECT(URAL)
AWG.	AMERICAN WIRE GAUGE
BLDG.	BUILDING
BLK.	BLOCK
BLKG.	BLOCKING
BM.	BEAM
B.N.	BOUNDARY NAILING
BTOW.	BARE TINNED COPPER WIRE
B.O.F.	BOTTOM OF FOOTING
B/U	BACK-UP CABINET
CAB.	CABINET
CANT.	CANTILEVER(ED)
C.I.P.	CAST IN PLACE
CLG.	CEILING
CLR.	CLEAR
COL.	COLUMN
CONC.	CONCRETE
CONN.	CONNECTION(OR)
CONST.	CONSTRUCTION
CONT.	CONTINUOUS
d	PENNY (NAILS)
DBL	DOUBLE
DEPT.	DEPARTMENT
D.F.	DOUGLAS FIR
DIA.	DIAMETER
DIAG.	DIAGONAL
DIM.	DIMENSION
DWG.	DRAWING(S)
DWL.	DOWEL(S)
EA.	EACH
EL.	ELEVATION
ELEC.	ELECTRICAL
ELEV.	ELEVATOR
EMT.	ELECTRICAL METALLIC TUBING
E.N.	EDGE NAIL
ENG.	ENGINEER
EQ.	EQUAL
EXP.	EXPANSION
(E)	EXISTING
EXT.	EXTERIOR

ABBREVIATION

DEFINITION

FAB.	FABRICATION(OR)
F.F.	FINISH FLOOR
F.G.	FINISH GRADE
FIN.	FINISH(ED)
FLR.	FLOOR
FDN.	FOUNDATION
F.O.C.	FACE OF CONCRETE
F.O.M.	FACE OF MASONRY
F.O.S.	FACE OF STUD
F.O.W.	FACE OF WALL
F.S.	FINISH SURFACE
FT.(')	FOOT(FEET)
FTG.	FOOTING
G.	GROWTH (CABINET)
GA.	GAUGE
GI.	GALVANIZE(D)
G.F.I.	GROUND FAULT CIRCUIT INTERRUPTER
GLB.(GLU-LAM)	GLUE LAMINATED BEAM
GPS	GLOBAL POSITIONING SYSTEM
GRND.	GROUND
HDR.	HEADER
HGR.	HANGER
HT.	HEIGHT
ICGB.	ISOLATED COPPER GROUND BUS
IN.(')	INCH(ES)
INT.	INTERIOR
LB.(#)	POUND(S)
L.B.	LAG BOLTS
L.F.	LINEAR FEET (FOOT)
L.	LONG(ITUDINAL)
MAS.	MASONRY
MAX.	MAXIMUM
M.B.	MACHINE BOLT
MECH.	MECHANICAL
MFR.	MANUFACTURER
MIN.	MINIMUM
MISC.	MISCELLANEOUS
MTL.	METAL
(N)	NEW
NO.(#)	NUMBER
N.T.S.	NOT TO SCALE
O.C.	ON CENTER
OPNG.	OPENING
(P)	PROPOSED
P/C	PRECAST CONCRETE
PCS	PERSONAL COMMUNICATION SERVICES
PLY.	PLYWOOD
PPC	POWER PROTECTION CABINET
PRC	PRIMARY RADIO CABINET
P.S.F.	POUNDS PER SQUARE FOOT

ABBREVIATION

DEFINITION

P.S.I.	POUNDS PER SQUARE INCH
P.T.	PRESSURE TREATED
PWR.	POWER (CABINET)
QTY.	QUANTITY
RAD.(R)	RADIUS
REF.	REFERENCE
REINF.	REINFORCEMENT(ING)
REQ'D.	REQUIRED
RGS.	RIGID GALVANIZED STEEL
RRU.	RADIO REMOTE UNIT
SCH.	SCHEDULE
SHT.	SHEET
SIM.	SIMILAR
SPEC.	SPECIFICATION(S)
SQ.	SQUARE
S.S.	STAINLESS STEEL
STD.	STANDARD
STL.	STEEL
STRUC.	STRUCTURAL
TEMP.	TEMPORARY
THK.	THICKNESS
TMA.	TOWER MOUNTED AMPLIFIER
T.N.	TOE NAIL
T.O.A.	TOP OF ANTENNA
T.O.C.	TOP OF CURB
T.O.F.	TOP OF FOUNDATION
T.O.P.	TOP OF PLATE (PARAPET)
T.O.S.	TOP OF STEEL
T.O.W.	TOP OF WALL
TYP.	TYPICAL
U.G.	UNDER GROUND
U.L.	UNDERWRITERS LABORATORY
U.N.O.	UNLESS NOTED OTHERWISE
V.I.F.	VERIFY IN FIELD
W.	WIDE(WIDTH)
W/	WITH
WD.	WOOD
W.P.	WEATHERPROOF
WT.	WEIGHT
☒	CENTERLINE
℞	PLATE

ABBREVIATIONS

⎓ PROPOSED ANTENNA

⎓ EXISTING ANTENNA

⊗ GROUND ROD

⎓ GROUND BUS BAR

● MECHANICAL GRND. CONN.

■ CADWELD

⊗ GROUND ACCESS WELL

⎓ ELECTRIC BOX

⎓ TELEPHONE BOX

☀ LIGHT POLE

○ FND. MONUMENT

⬢ SPOT ELEVATION

△ SET POINT

⚠ REVISION

⊗ GRID REFERENCE

⊗/xx DETAIL REFERENCE

⬆ ELEVATION REFERENCE

⬆ SECTION REFERENCE

⬆ GROUT OR PLASTER

⬆ (E) BRICK

⬆ (E) MASONRY

⬆ CONCRETE

⬆ EARTH

⬆ GRAVEL

⬆ PLYWOOD

⬆ SAND

⬆ WOOD CONT.

⬆ WOOD BLOCKING

⬆ STEEL

— — — CENTERLINE

— — — PROPERTY/LEASE LINE

◐ — MATCH LINE

◑ — WORK POINT

— GROUND CONDUCTOR

— T — TELEPHONE CONDUIT

— E — ELECTRICAL CONDUIT (POWER)

— A — COAXIAL CABLE

— F — FIBER

— P/F — POWER AND FIBER

— T/E — OVERHEAD SERVICE CONDUCTORS

— X — CHAIN LINK FENCING

— □ — WOOD FENCE

— ⬢ — OVERHEAD POWER LINE

— UGP — BURIED POWER LINE

— DHT — OVERHEAD TELEPHONE LINE

— UGT — BURIED TELEPHONE LINE

— W — BURIED WATER LINE

— SS — BURIED SANITARY SEWER

— SD — BURIED STORM DRAIN

1

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A	08/24/2020	90% CONSTRUCTION	HC
REV	DATE	DESCRIPTION	BY

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7990 VIA CAPRI
LA JOLLA, CA 92111
STEEL POLE

SHEET TITLE

GENERAL
NOTES

SHEET NUMBER

T-2

GENERAL NOTES

3

LEGEND

2

NOTE: THE ORIGINAL SIZE OF THIS PLAN IS 24" X 36". SCALE RATIO IS NOT VALID FOR REDUCED OR ENLARGED SHEET SIZES.

SHEET NUMBER
T-3



15505 SAND CANYON AVE.
BUILDING 'D' 1st FLOOR
IRVINE, CA 92618

302 STATE PLACE, 2ND FLOOR
ESCONDIDO, CA 92029

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SAN DIEGO, CA 92108
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STEEL POLE

SHEET TITLE

SITE
PHOTOS

SHEET NUMBER

T-4

- LANDSCAPING NOTES:
- EXISTING TREES TO REMAIN ON SITE WITHIN THE AREA OF WORK WILL BE PROTECTED IN PLACE. THE FOLLOWING PROTECTION MEASURES WILL BE PROVIDED:
1. A BRIGHT YELLOW OR ORANGE TEMPORARY FENCE WILL BE PLACED AROUND EXISTING TREES AT THE DRIP LINE.
2. STOCKPILING, TOPSOIL DISTURBANCE, VEHICLE USE, AND MATERIAL STORAGE OF ANY KIND IS PROHIBITED WITHIN THE DRIP LINE.
3. A TREE WATERING SCHEDULE WILL BE MAINTAINED AND DOCUMENTED DURING CONSTRUCTION
4. ALL DAMAGED TREES WILL BE REPLACED WITH ONE EQUAL OR GREATER SIZE.
 - IF ANY REQUIRED LANDSCAPE INDICATED ON THE APPROVED CONSTRUCTION DOCUMENT PLANS IS DAMAGED OR REMOVED DURING DEMOLITION OR CONSTRUCTION, IT SHALL BE REPAIRED AND/OR REPLACED IN KIND AND EQUIVALENT SIZE PER THE APPROVED DOCUMENTS TO THE SATISFACTION OF THE DEVELOPMENT SERVICES DEPARTMENT WITHIN 30 DAYS OF DAMAGE.

- NOTICE
- NOTICE TO THE APPLICANT/OWNER/ OWNER'S AGENT/ARCHITECT OR ENGINEER OF RECORD: BY USING THIS PERMITTED CONSTRUCTION DRAWINGS FOR CONSTRUCTION/INSTALLATION OF THE WORK SPECIFIED HEREIN, YOU AGREE TO COMPLY WITH THE REQUIREMENTS OF CITY OF SAN DIEGO FOR SPECIAL INSPECTIONS, STRUCTURAL OBSERVATIONS, CONSTRUCTION MATERIAL TESTING AND OFF-SITE FABRICATION OF BUILDING COMPONENTS, CONTAINED IN THE STATEMENT OF SPECIAL INSPECTIONS AND, AS REQUIRED BY THE CALIFORNIA CONSTRUCTION CODES.
 - NOTICE TO THE CONTRACTOR/BUILDER/INSTALLER/ SUB-CONTRACTOR/OWNER-BUILDER: BY USING THIS PERMITTED CONSTRUCTION DRAWINGS FOR CONSTRUCTION/INSTALLATION OF THE WORK SPECIFIED HEREIN, YOU ACKNOWLEDGE AND ARE AWARE OF, THE REQUIREMENTS CONTAINED IN THE STATEMENT OF SPECIAL INSPECTIONS, YOU AGREE TO COMPLY WITH THE REQUIREMENTS OF CITY OF SAN DIEGO FOR SPECIAL INSPECTIONS, STRUCTURAL OBSERVATIONS, CONSTRUCTION MATERIAL TESTING AND OFF-SITE FABRICATION OF BUILDING COMPONENTS, CONTAINED IN THE STATEMENT OF SPECIAL INSPECTIONS AND, AS REQUIRED BY THE CALIFORNIA CONSTRUCTION CODES.
 - THE SPECIAL INSPECTOR MUST BE CERTIFIED BY THE CITY OF SAN DIEGO, DEVELOPMENT SERVICES, IN THE CATEGORY OF WORK REQUIRED TO HAVE SPECIAL INSPECTION.
 - THE CONSTRUCTION MATERIALS TESTING LABORATORY MUST BE APPROVED BY THE CITY OF SAN DIEGO, DEVELOPMENT SERVICES, FOR TESTING OF MATERIALS, SYSTEMS, COMPONENTS AND, EQUIPMENT.
 - THE SPECIAL INSPECTIONS IDENTIFIED ON PLANS ARE, IN ADDITION TO, AND NOT A SUBSTITUTE FOR, THOSE INSPECTIONS REQUIRED TO BE PERFORMED BY A CITY'S BUILDING INSPECTOR.

DISCLAIMER

THESE DRAWINGS WERE PRODUCED WITHOUT THE BENEFIT OF A CURRENT LAND SURVEY. ALL PROPERTY LINES, EASEMENTS, AND SETBACKS SHALL BE VERIFIED PRIOR TO START OF CONSTRUCTION. TAEC DOES NOT GUARANTEE THE ACCURACY OF SAID PROPERTY LINES, EASEMENTS, ROADS AND SETBACKS.

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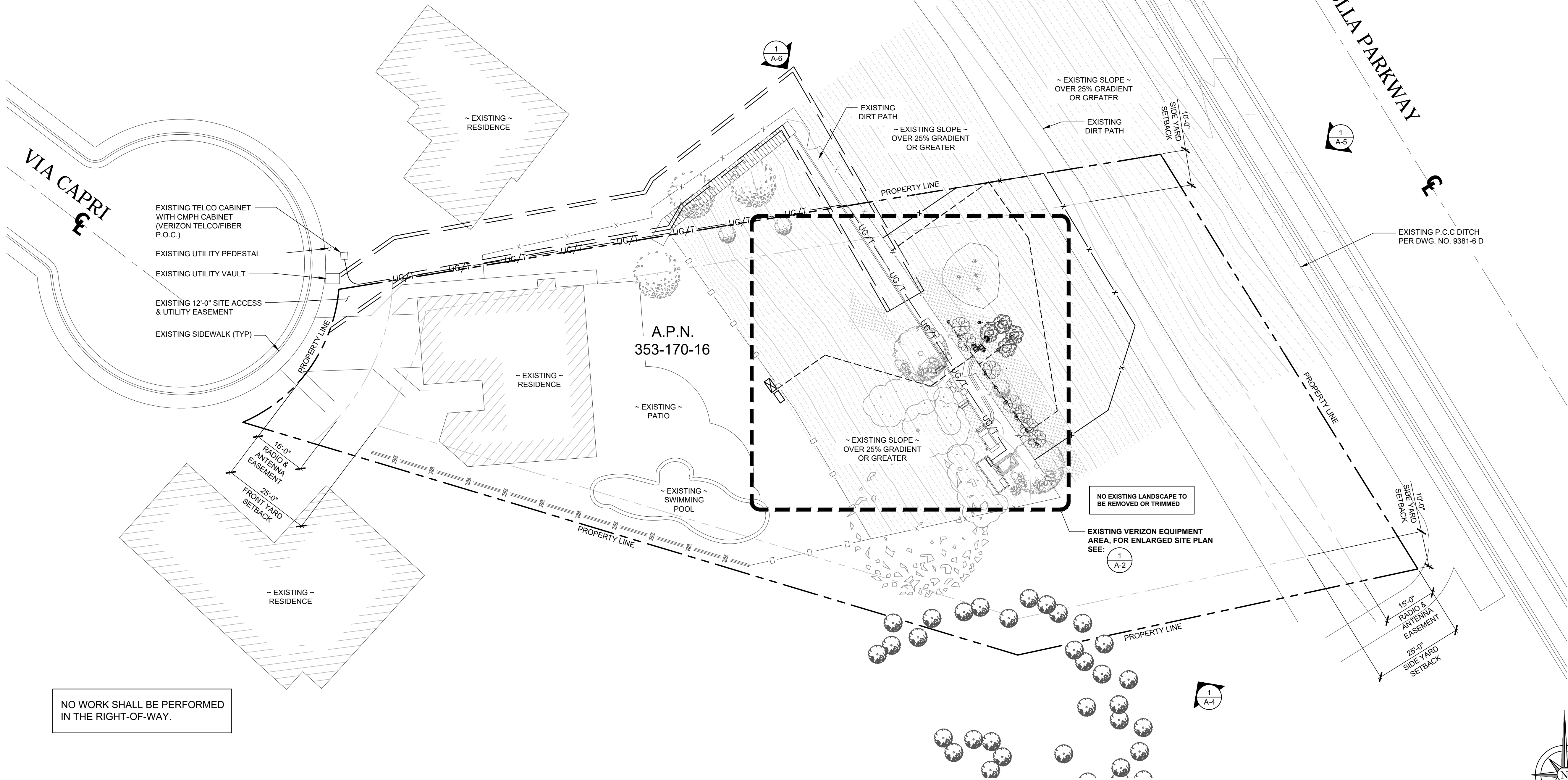
7990 VIA CAPRI
LA JOLLA, CA 92111
STEEL POLE

SHEET TITLE

SITE PLAN

SHEET NUMBER

A-1

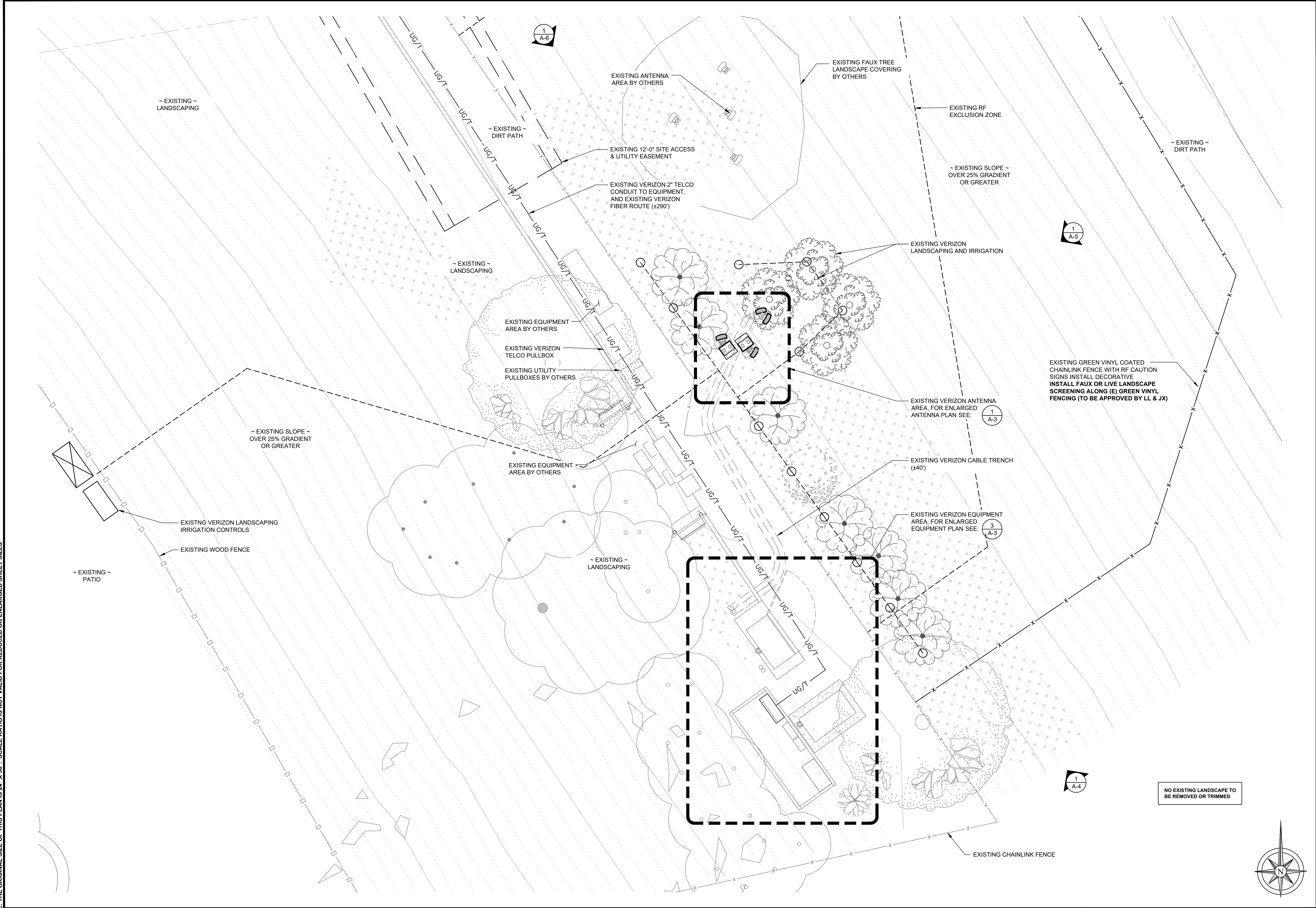


NOTE: THE ORIGINAL SIZE OF THIS PLAN IS 24" X 36". SCALE RATIO IS NOT VALID FOR REDUCED OR ENLARGED SHEET SIZES.

SITE PLAN

0 4' 8' 16' SCALE: 1/16" = 1'-0" (24x36)
(OR) 1/32" = 1'-0" (11x17)

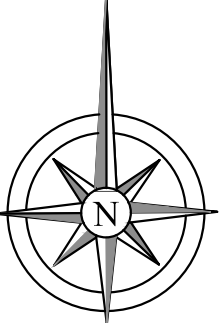
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ENLARGED SITE PLAN

0 1' 2' 4' SCALE: 1/4" = 1'-0" (24x36)
(OR) 1/8" = 1'-0" (11x17)



1



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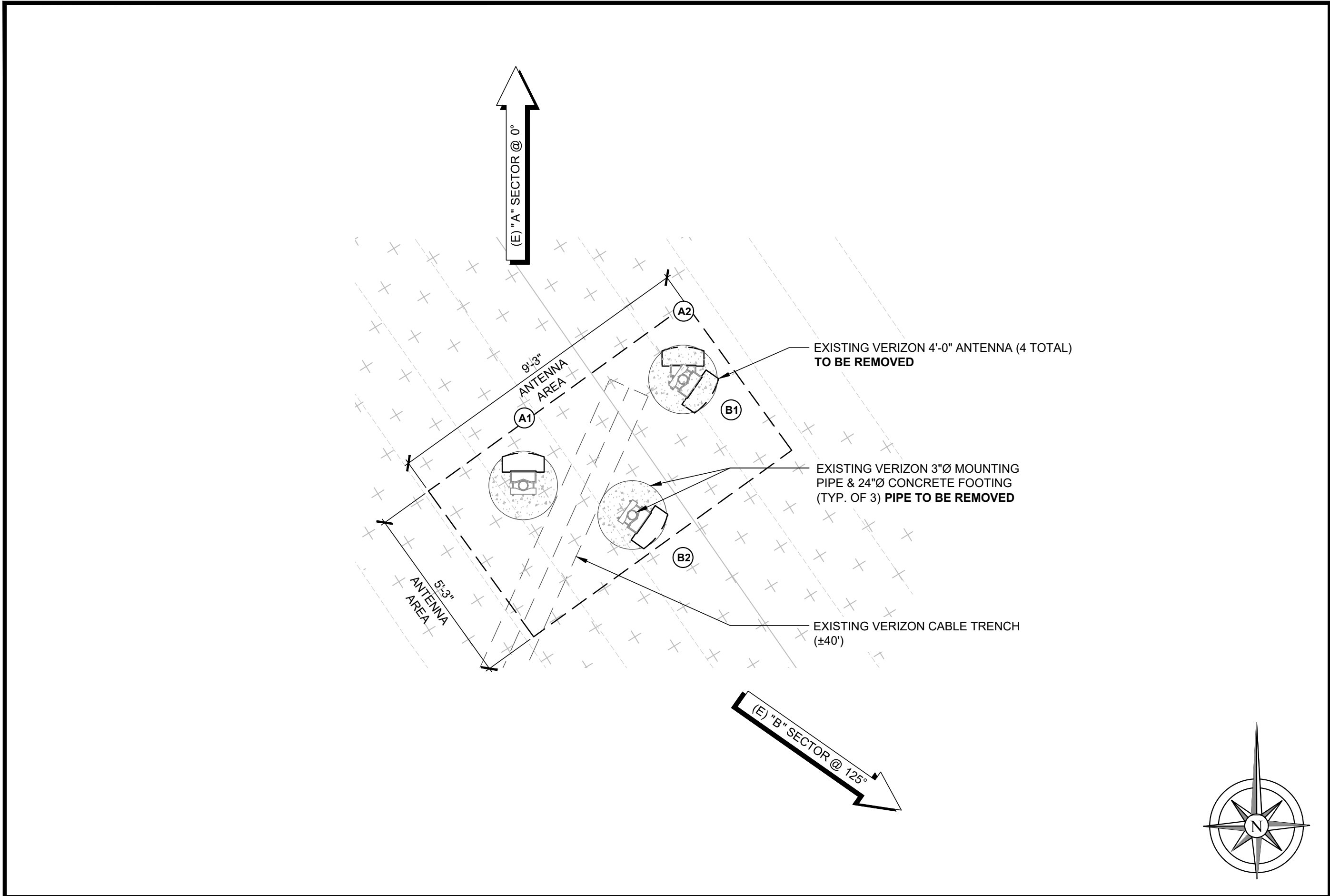
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SHEET TITLE

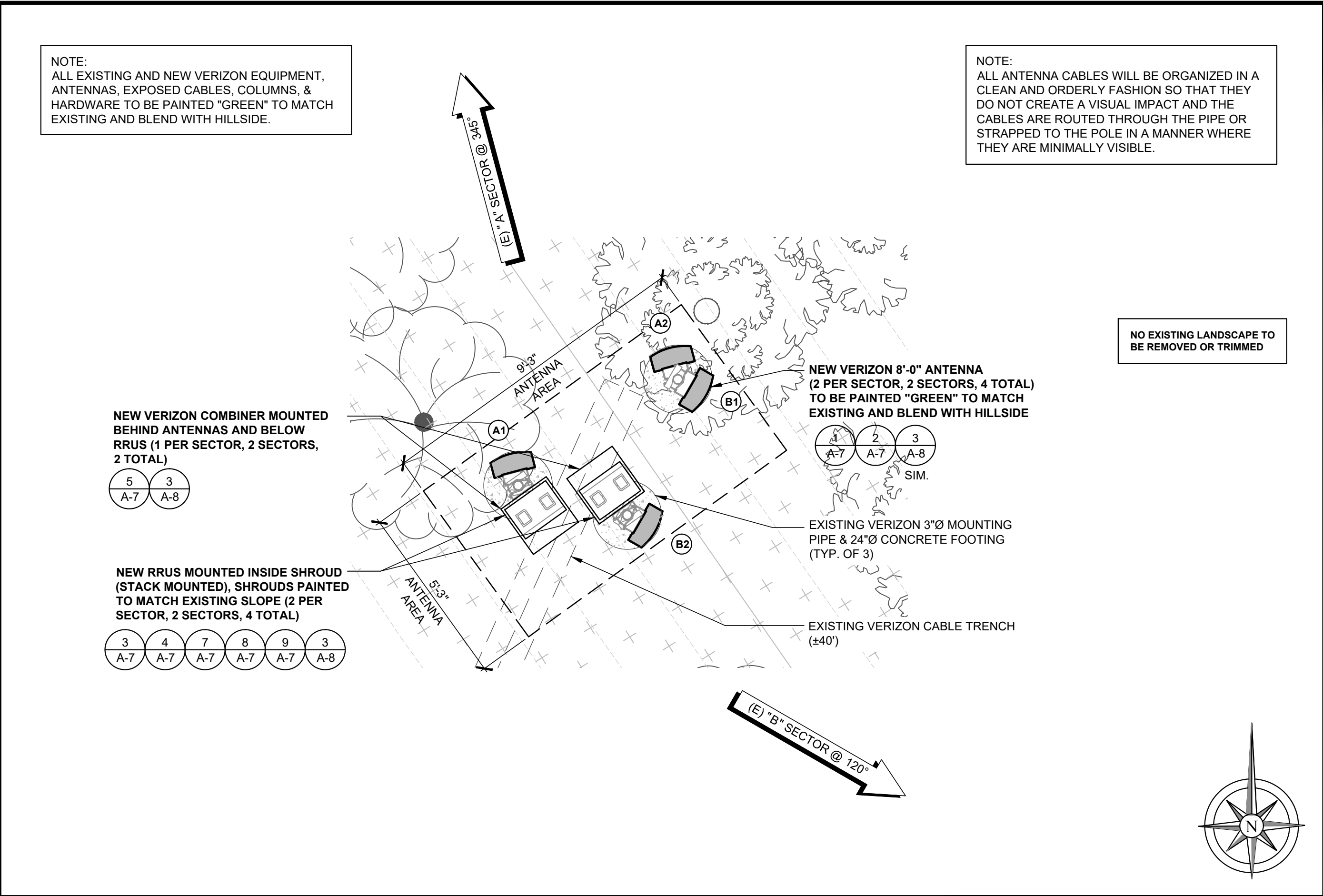
ENLARGED
SITE PLAN

SHEET NUMBER

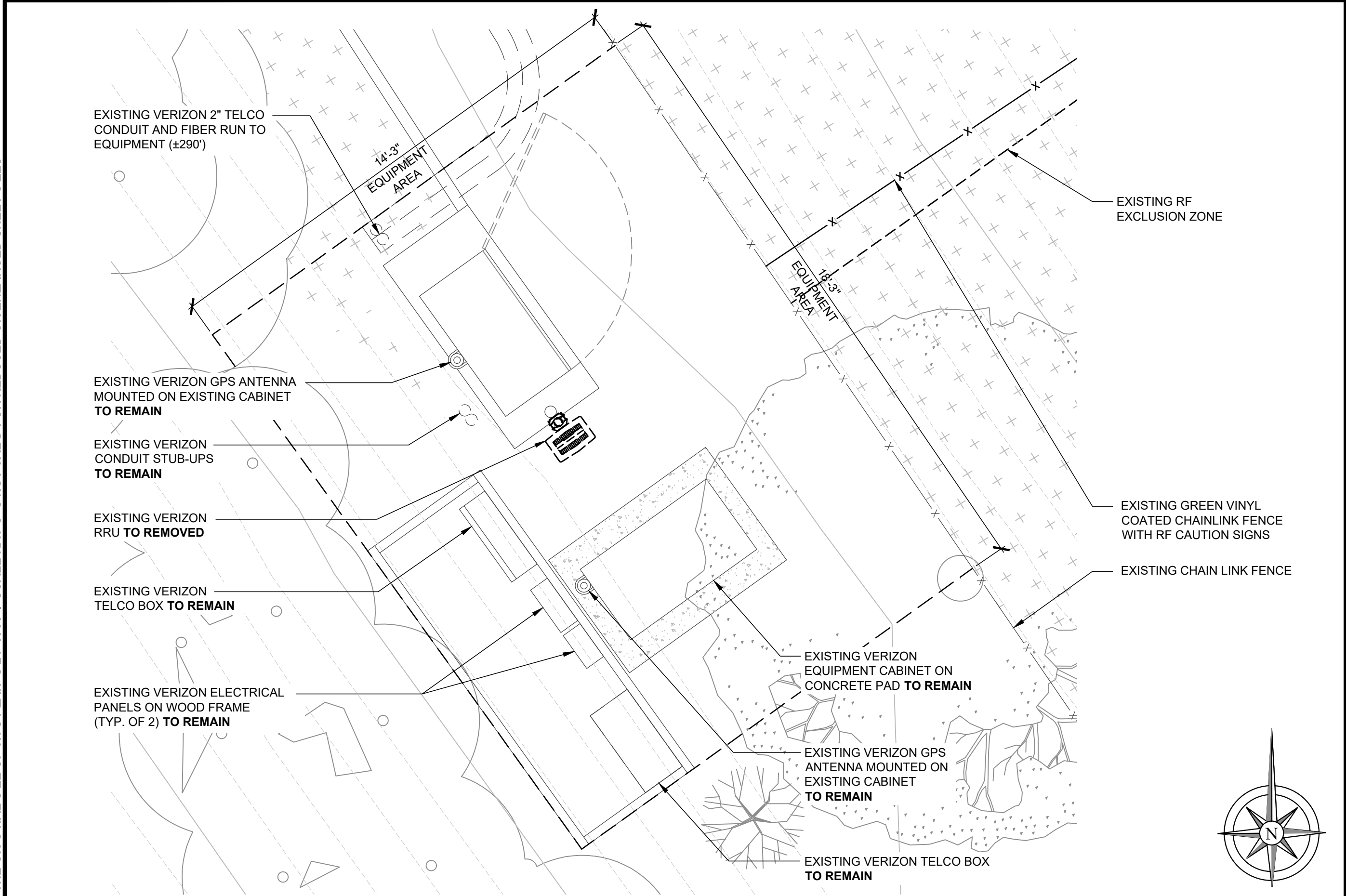
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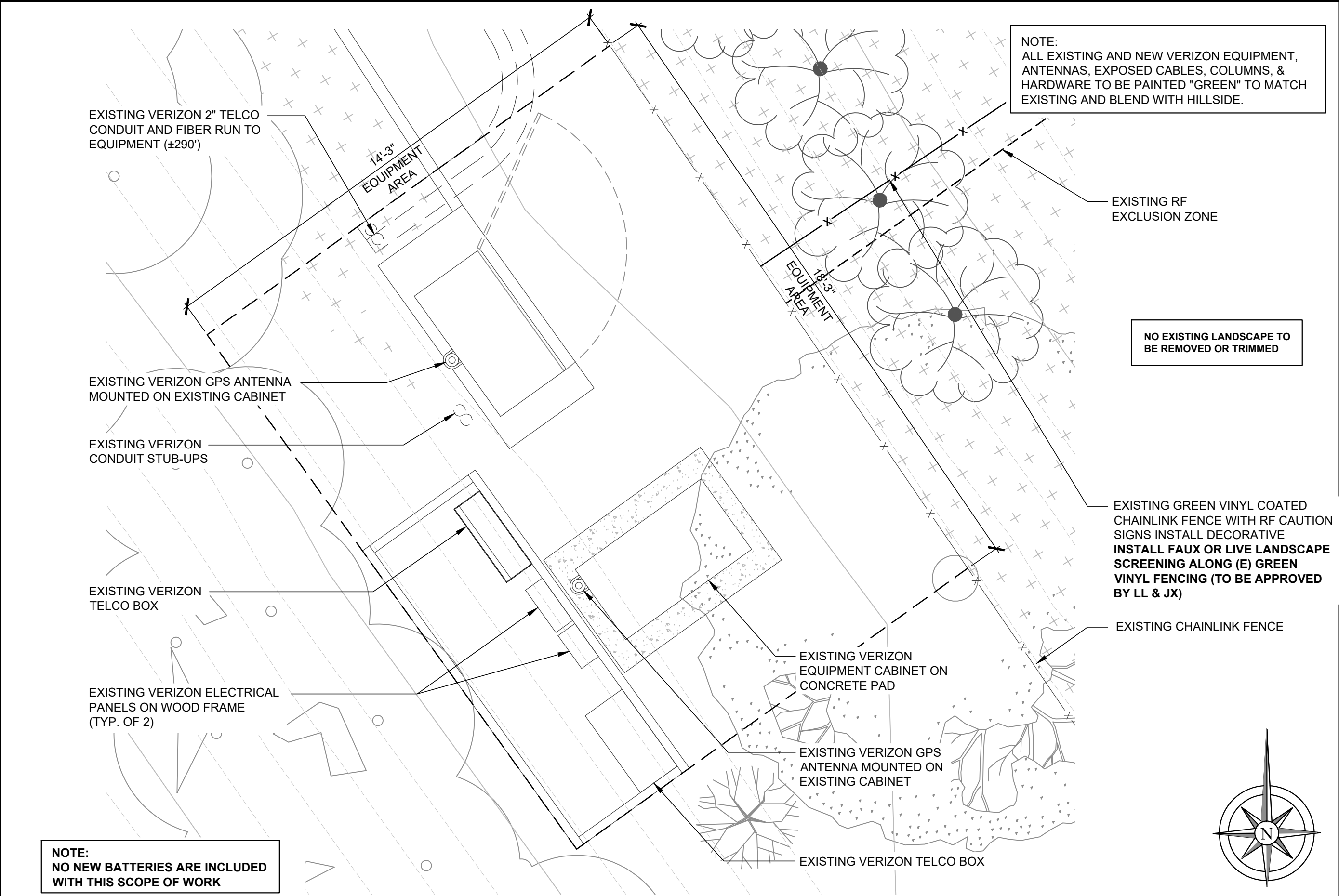
ANTENNA PLAN (EXISTING) 1



ANTENNA PLAN (FINAL) 2



EQUIPMENT PLAN (EXISTING) 3



EQUIPMENT PLAN (FINAL) 4

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STEEL POLE

SHEET TITLE

ANTENNA AND EQUIPMENT PLANS

SHEET NUMBER

A-3

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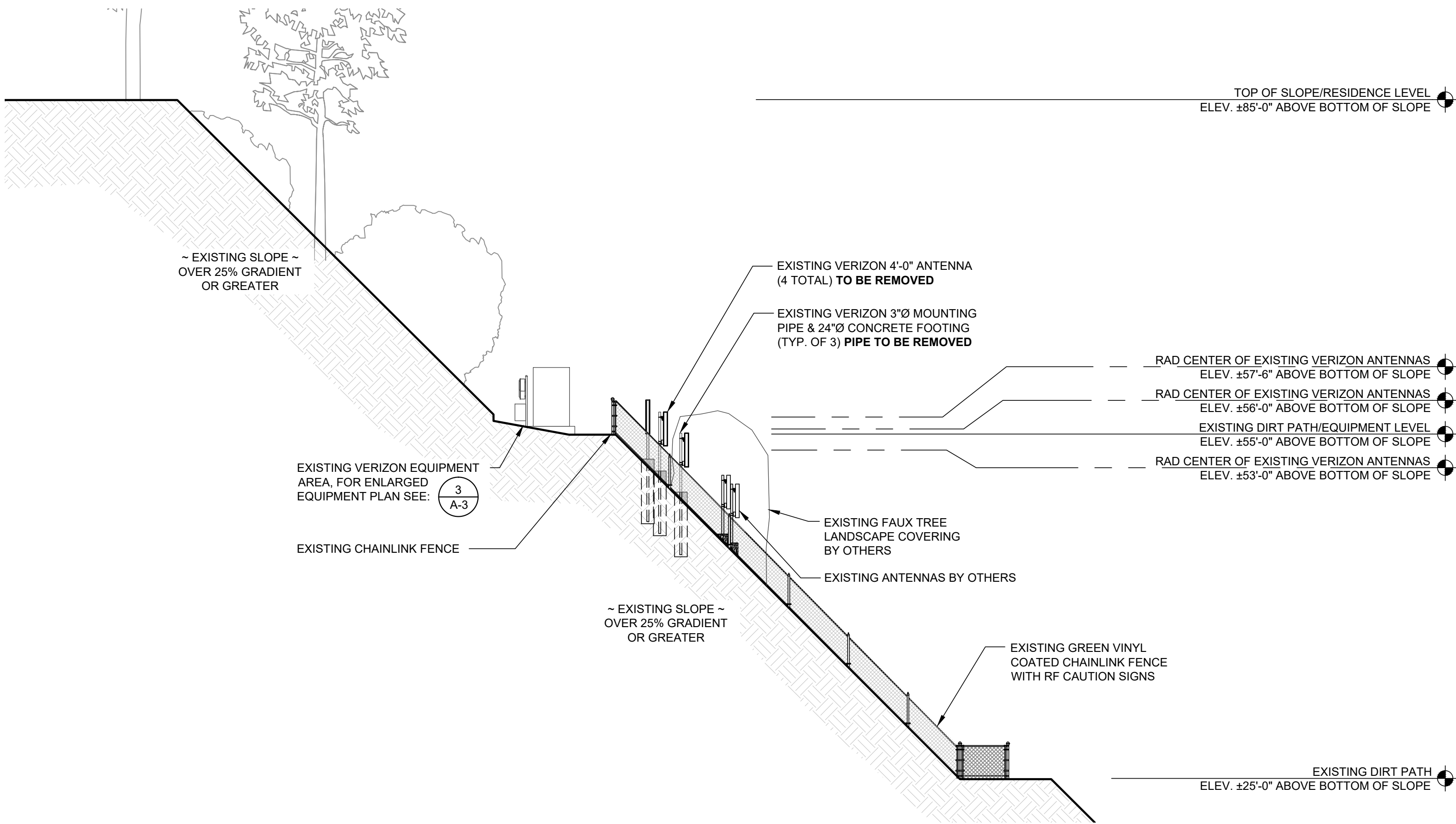
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STEEL POLE

SHEET TITLE

ELEVATIONS

SHEET NUMBER

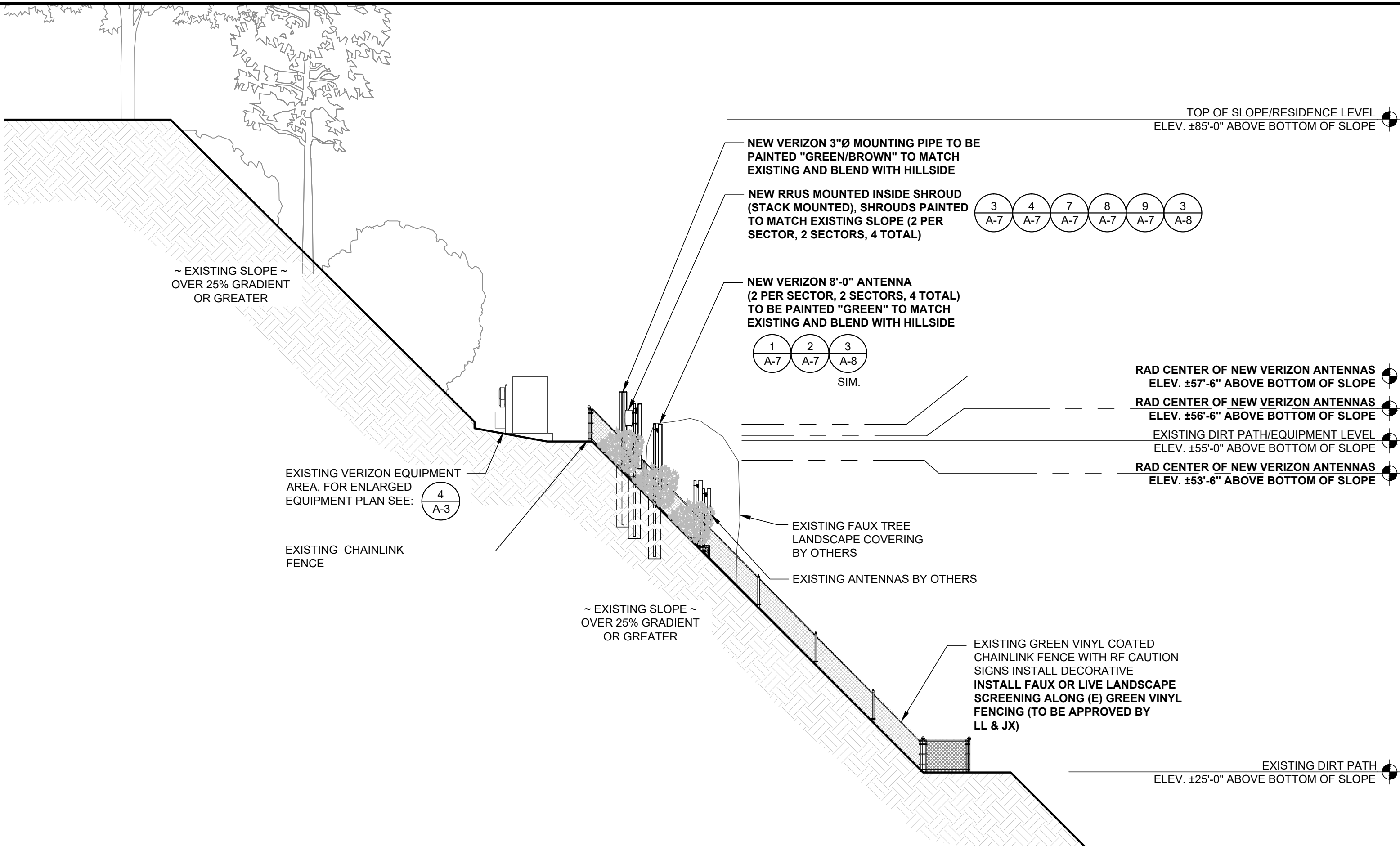
A-4



SOUTHEAST ELEVATION (EXISTING)

0 3' 6' 11' SCALE: 3/32" = 1'-0" (24x36)
(OR) 3/64" = 1'-0" (11x17)

1



SOUTHEAST ELEVATION (FINAL)

0 3' 6' 11' SCALE: 3/32" = 1'-0" (24x36)
(OR) 3/64" = 1'-0" (11x17)

2

NOTE: THE ORIGINAL SIZE OF THIS PLAN IS 24" X 36". SCALE RATIO IS NOT VALID FOR REDUCED OR ENLARGED SHEET SIZES.

NOTE:
ALL EXISTING AND NEW VERIZON EQUIPMENT,
ANTENNAS, EXPOSED CABLES, COLUMNS, &
HARDWARE TO BE PAINTED "GREEN" TO MATCH
EXISTING AND BLEND WITH HILLSIDE.

NOTE:
ALL ANTENNA CABLES WILL BE ORGANIZED IN
A CLEAN AND ORDERLY FASHION SO THAT
THEY DO NOT CREATE A VISUAL IMPACT AND
THE CABLES ARE ROUTED THROUGH THE PIPE
OR STRAPPED TO THE POLE IN A MANNER
WHERE THEY ARE MINIMALLY VISIBLE.

NO EXISTING LANDSCAPE TO
BE REMOVED OR TRIMMED



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STEEL POLE

SHEET TITLE

ELEVATIONS

SHEET NUMBER

A-5

TOP OF SLOPE/RESIDENCE LEVEL
ELEV. ±85'-0" ABOVE BOTTOM OF SLOPE

RAD CENTER OF EXISTING VERIZON ANTENNAS
ELEV. ±57'-6" ABOVE BOTTOM OF SLOPE
RAD CENTER OF EXISTING VERIZON ANTENNAS
ELEV. ±56'-0" ABOVE BOTTOM OF SLOPE
EXISTING DIRT PATH/EQUIPMENT LEVEL
ELEV. ±55'-0" ABOVE BOTTOM OF SLOPE
RAD CENTER OF EXISTING VERIZON ANTENNAS
ELEV. ±53'-0" ABOVE BOTTOM OF SLOPE

EXISTING DIRT PATH
ELEV. ±25'-0" ABOVE BOTTOM OF SLOPE

EXISTING VERIZON EQUIPMENT
AREA, FOR ENLARGED
EQUIPMENT PLAN SEE: 3
A-3

EXISTING EQUIPMENT
AREA BY OTHERS

EXISTING VERIZON 3"Ø MOUNTING
PIPE & 24"Ø CONCRETE FOOTING
(TYP. OF 3) PIPE TO BE REMOVED

EXISTING VERIZON 4'-0" ANTENNA
(4 TOTAL) TO BE REMOVED

EXISTING CHAINLINK FENCE

EXISTING SITE ACCESS STAIRS

EXISTING ANTENNAS
BY OTHERS

EXISTING FAUX TREE
LANDSCAPE COVERING
BY OTHERS

EXISTING GREEN VINYL
COATED CHAINLINK FENCE
WITH RF CAUTION SIGNS

~ EXISTING SLOPE ~
OVER 25% GRADIENT
OR GREATER

~ EXISTING SLOPE ~
OVER 25% GRADIENT
OR GREATER

NORTHEAST ELEVATION (EXISTING)

0 3' 6' 11" SCALE: 3/32" = 1'-0" (24x36)
(OR) 3/64" = 1'-0" (11x17)

1

TOP OF SLOPE/RESIDENCE LEVEL
ELEV. ±85'-0" ABOVE BOTTOM OF SLOPE

RAD CENTER OF NEW VERIZON ANTENNAS
ELEV. ±57'-6" ABOVE BOTTOM OF SLOPE
RAD CENTER OF NEW VERIZON ANTENNAS
ELEV. ±56'-6" ABOVE BOTTOM OF SLOPE
EXISTING DIRT PATH/EQUIPMENT LEVEL
ELEV. ±55'-0" ABOVE BOTTOM OF SLOPE
RAD CENTER OF NEW VERIZON ANTENNAS
ELEV. ±53'-6" ABOVE BOTTOM OF SLOPE

EXISTING DIRT PATH
ELEV. ±25'-0" ABOVE BOTTOM OF SLOPE

EXISTING VERIZON EQUIPMENT
AREA, FOR ENLARGED
EQUIPMENT PLAN SEE: 3
A-3

EXISTING EQUIPMENT
AREA BY OTHERS

NEW RRUS MOUNTED INSIDE SHROUD
(STACK MOUNTED), SHROUDS PAINTED
TO MATCH EXISTING SLOPE (2 PER
SECTOR, 2 SECTORS, 4 TOTAL)

NEW VERIZON 3"Ø MOUNTING PIPE TO BE
PAINTED "GREEN/BROWN" TO MATCH
EXISTING AND BLEND WITH HILLSIDE

NEW VERIZON 8'-0" ANTENNA
(2 PER SECTOR, 2 SECTORS, 4 TOTAL)
TO BE PAINTED "GREEN" TO MATCH
EXISTING AND BLEND WITH HILLSIDE

3 4 7
A-7 A-7 A-7
8 9 3
A-7 A-7 A-8

1 2 3
A-7 A-7 A-8
SIM.

EXISTING CHAINLINK FENCE

EXISTING SITE
ACCESS STAIRS

EXISTING VERIZON
LANDSCAPING

~ EXISTING SLOPE ~
OVER 25% GRADIENT
OR GREATER

~ EXISTING SLOPE ~
OVER 25% GRADIENT
OR GREATER

EXISTING GREEN VINYL COATED
CHAINLINK FENCE WITH RF CAUTION
SIGNS INSTALL DECORATIVE
INSTALL FAUX OR LIVE LANDSCAPE
SCREENING ALONG (E) GREEN VINYL
FENCING (TO BE APPROVED BY
LL & JX)

NOTE:
ALL EXISTING AND NEW VERIZON EQUIPMENT,
ANTENNAS, EXPOSED CABLES, COLUMNS, &
HARDWARE TO BE PAINTED "GREEN" TO MATCH
EXISTING AND BLEND WITH HILLSIDE.

NOTE:
ALL ANTENNA CABLES WILL BE ORGANIZED IN A
CLEAN AND ORDERLY FASHION SO THAT THEY
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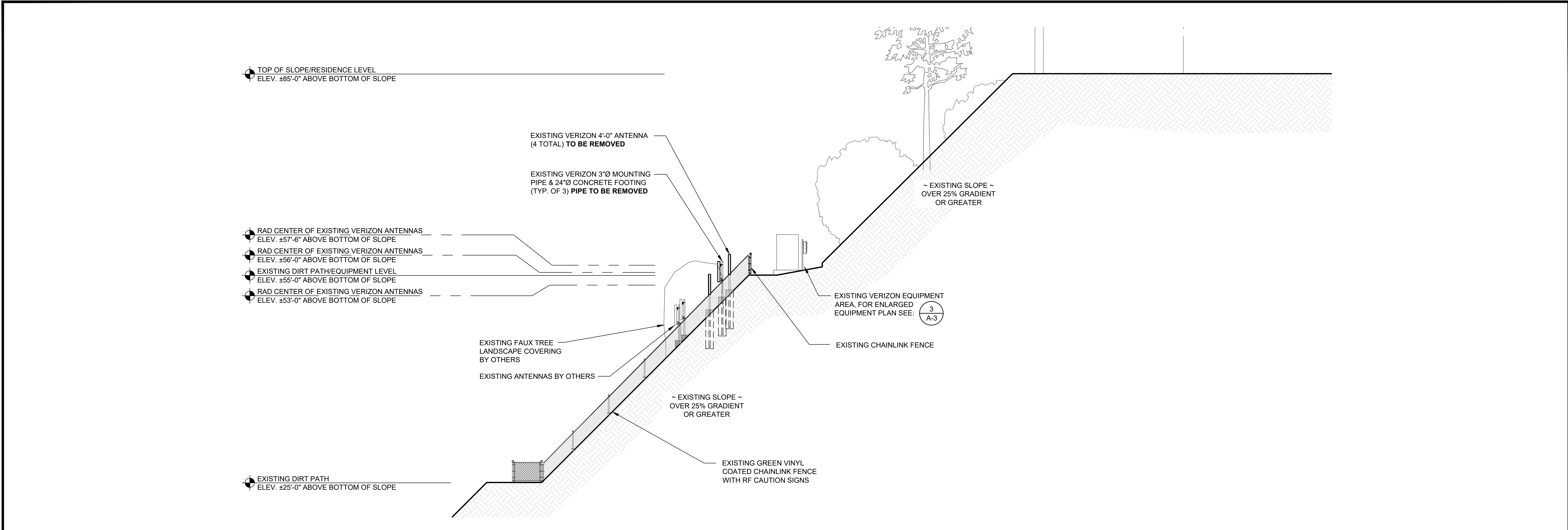
NO EXISTING LANDSCAPE TO
BE REMOVED OR TRIMMED

NORTHEAST ELEVATION (FINAL)

0 3' 6' 11" SCALE: 3/32" = 1'-0" (24x36)
(OR) 3/64" = 1'-0" (11x17)

2

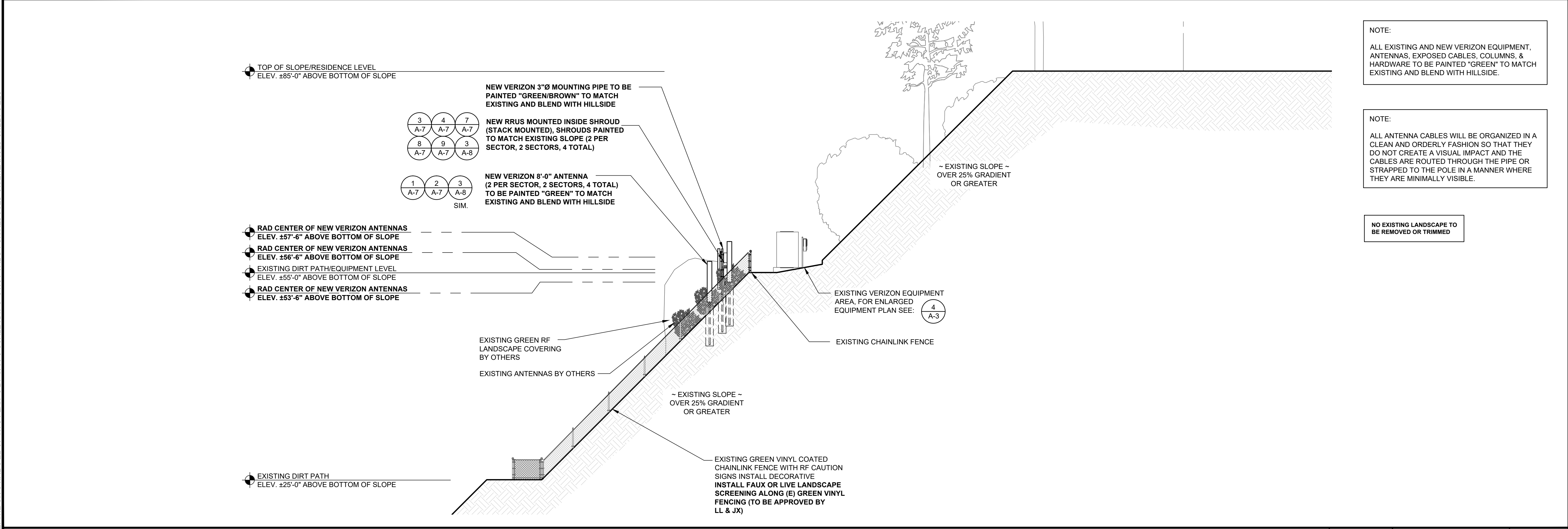
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NORTHWEST ELEVATION (EXISTING)

0 3' 6' 11" SCALE: 3/32" = 1'-0" (24x36)
(OR) 3/64" = 1'-0" (11x17)

1



NOTE:
ALL EXISTING AND NEW VERIZON EQUIPMENT, ANTENNAS, EXPOSED CABLES, COLUMNS, & HARDWARE TO BE PAINTED "GREEN" TO MATCH EXISTING AND BLEND WITH HILLSIDE.

NOTE:
ALL ANTENNA CABLES WILL BE ORGANIZED IN A CLEAN AND ORDERLY FASHION SO THAT THEY DO NOT CREATE A VISUAL IMPACT AND THE CABLES ARE ROUTED THROUGH THE PIPE OR STRAPPED TO THE POLE IN A MANNER WHERE THEY ARE MINIMALLY VISIBLE.

NO EXISTING LANDSCAPE TO BE REMOVED OR TRIMMED

NORTHWEST ELEVATION (FINAL)

0 3' 6' 11" SCALE: 3/32" = 1'-0" (24x36)
(OR) 3/64" = 1'-0" (11x17)

2

verizon

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LA JOLLA, CA 92111
STEEL POLE

SHEET TITLE

ELEVATIONS

SHEET NUMBER

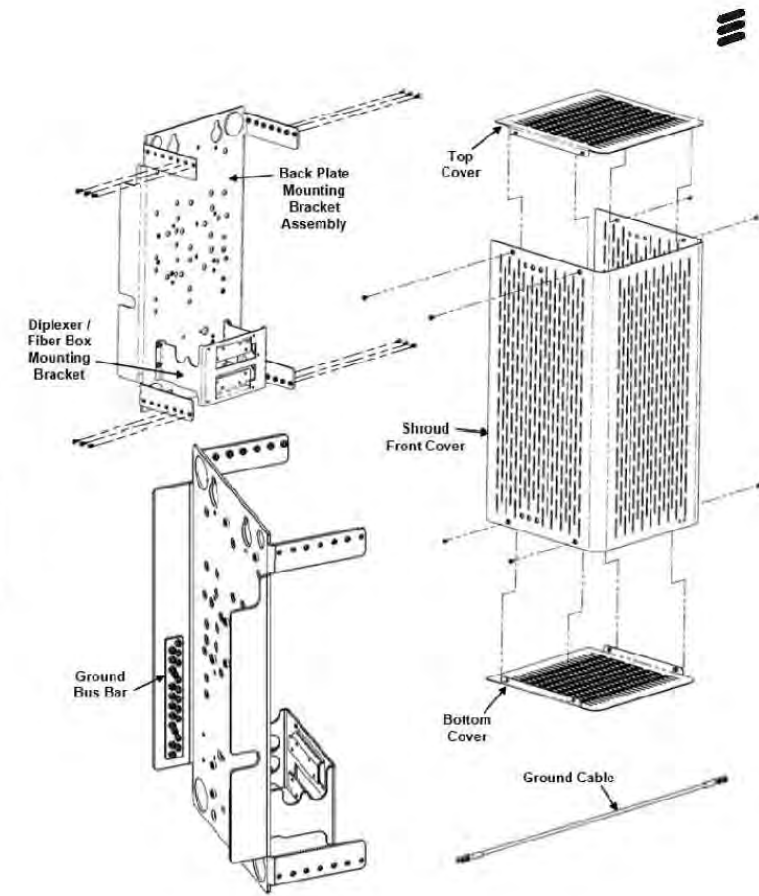
A-6

Shroud KITS

- The Base Shroud Kit (SXX 125 4244) consists of the back plate mounting bracket assembly, a diplexer / fiber box mounting bracket, the Shroud front cover, top and bottom covers, a ground bus bar assembly, one ground cable, and all associated mounting hardware. The Shroud is currently available in three colors:

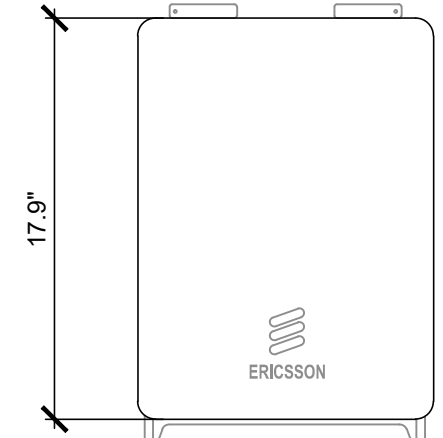
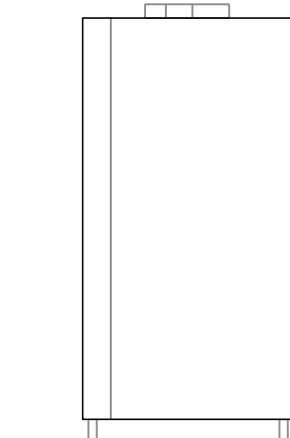
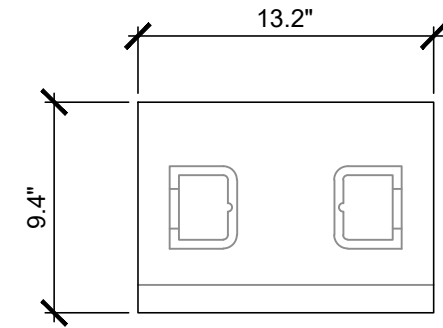
Product Number	Description	Color
SXX 125 4244	Dual Band Radio Shroud	Ericsson Grey
SXX 125 4244/A	Dual Band Radio Shroud	High Gloss Black
SXX 125 4244/B	Dual Band Radio Shroud	High Gloss Brown

CAUTION: to avoid overheating, do not use Top and Bottom covers with Radio 4449/8843



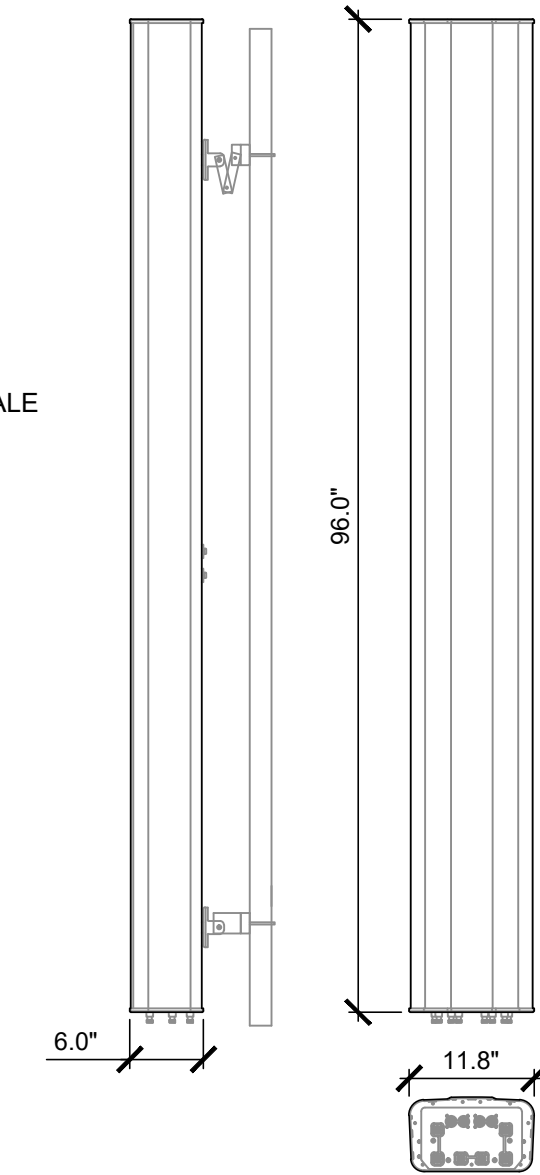
ERICSSON RRUS 4449

MANUFACTURER: ERICSSON
MODEL: 4449
RRU DIMENSIONS (HxWxD): 17.9" x 13.2" x 9.4"
455 x 335 x 240 (mm)
WEIGHT: 70.5 lbs. (32.0 kg)



KATHREIN 800 10866V01

RADOME MATERIAL: FIBERGLASS, UV RESISTANT
RADOME COLOR: LIGHT GRAY
DIMENSIONS, HxWxD: 96" x 11.8" x 6.0"
WEIGHT: 58.4 lb
RET CONNECTOR: 8-PIN DIN FEMALE | 8-PIN DIN MALE
2 FEMALE | 2 MALE



RRU SHROUD DETAIL

SCALE
N.T.S.

7

RRUS SPECIFICATIONS

SCALE
N.T.S.

4

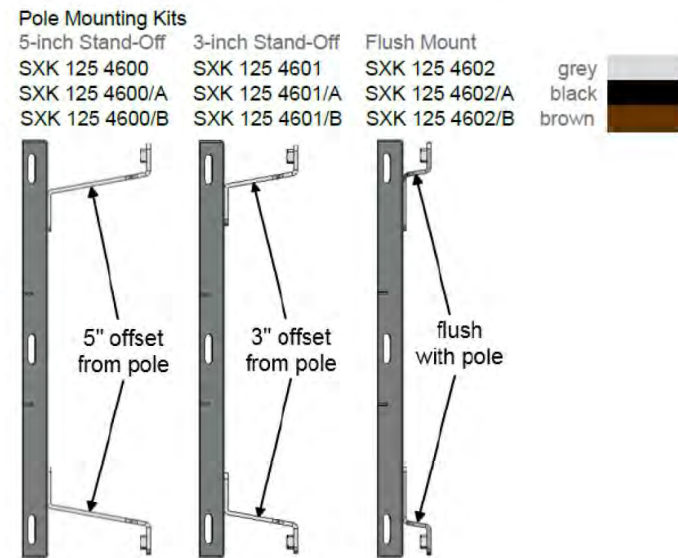
ANTENNA SPECIFICATIONS

SCALE
N.T.S.

1

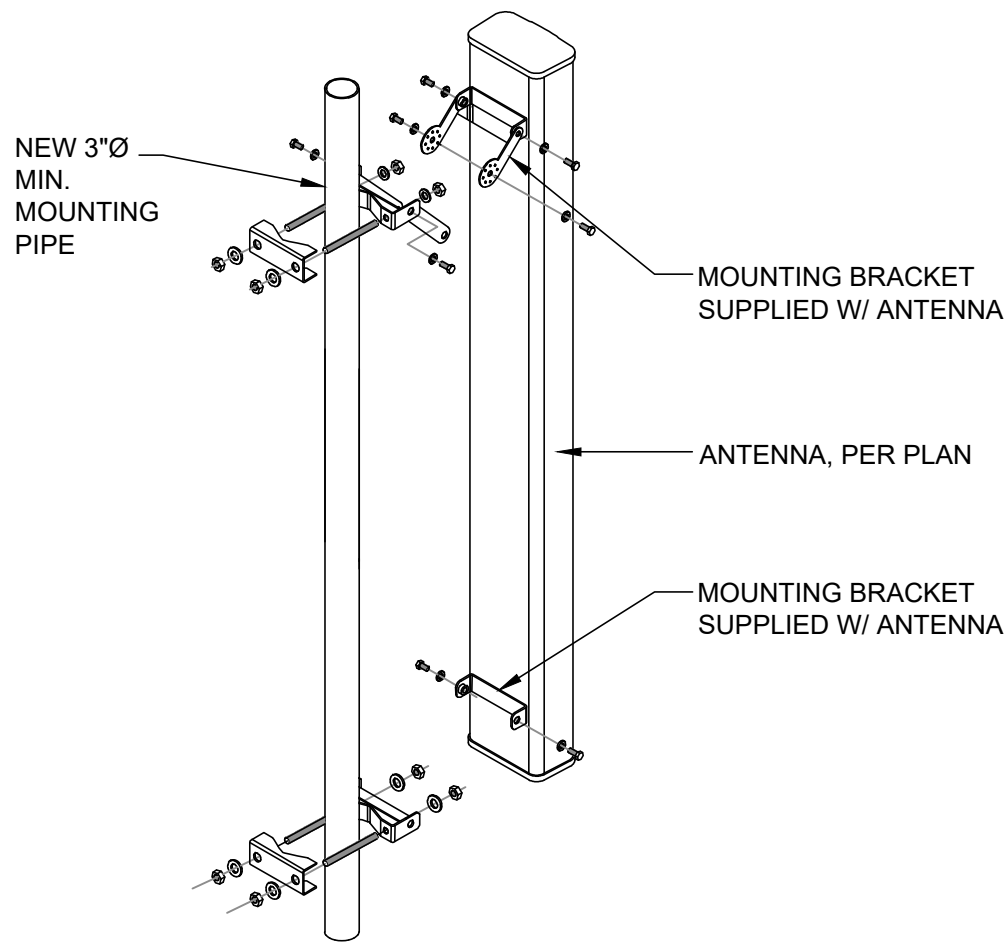
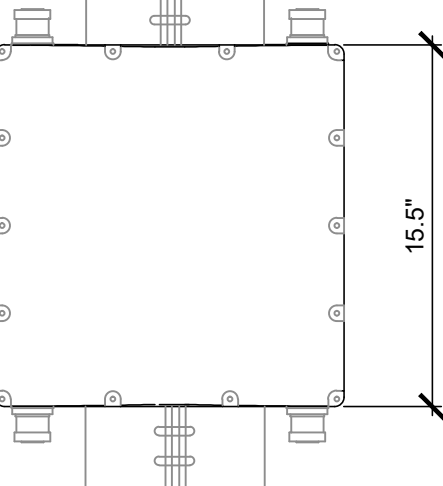
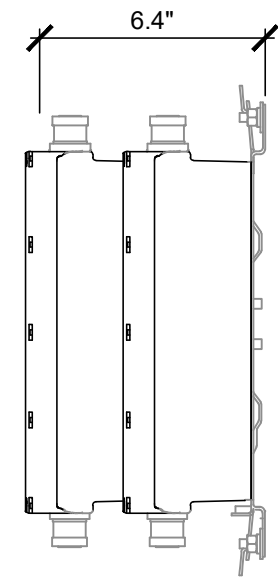
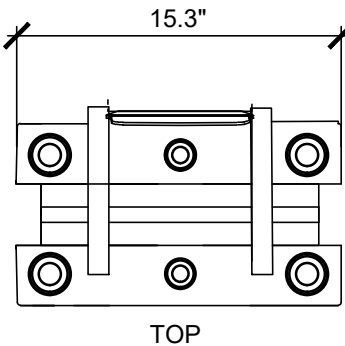
Pole Mounting Options

- Three pole-mounting kits are available
- Each kit contains:
 - The pole mounting bracket
 - A pair of stand-off arms that provide an offset distance from the pole
 - All associated fastening hardware.
- Offset distance options are 5 inches, 3 inches, or flush mounted with the pole.
- The pole-mounting kits also come powder coated from the manufacturer and are available in the same three colors as the shroud: Ericsson grey, high gloss black, and high gloss brown.



COMMSCOPE TD-850B-10LTE78

RANGE (MHz): 835.48-839.32
DIMENSION HxWxD: 15.5" x 15.3" x 6.4"
WEIGHT: 53 lbs.
RF CONNECTORS: 4.3-10 female



NOTE: CONTRACTOR TO FIELD VERIFY THAT THE (E) ANTENNA MOUNTING PIPE WILL SUPPORT (N) ANTENNA - PER PLAN

RRU SHROUD DETAIL

SCALE
N.T.S.

8

COMBINER SPECIFICATIONS

SCALE
N.T.S.

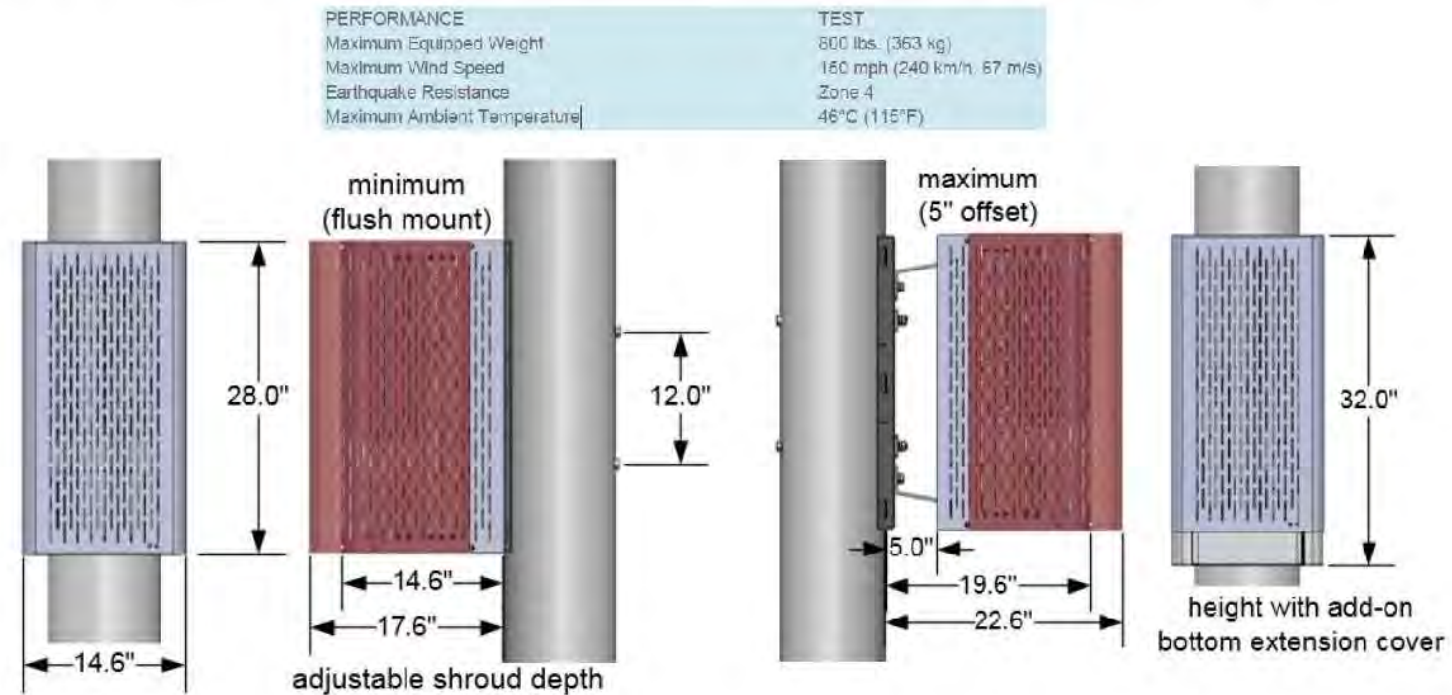
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ANTENNA TO PIPE MOUNTING

SCALE
N.T.S.

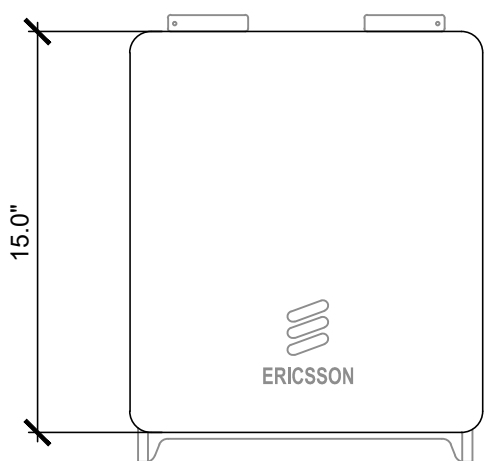
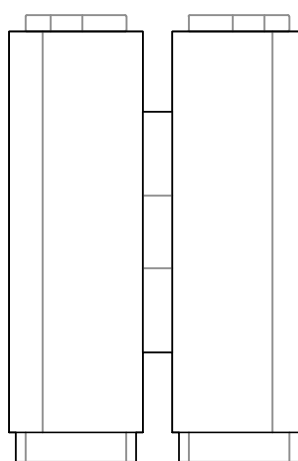
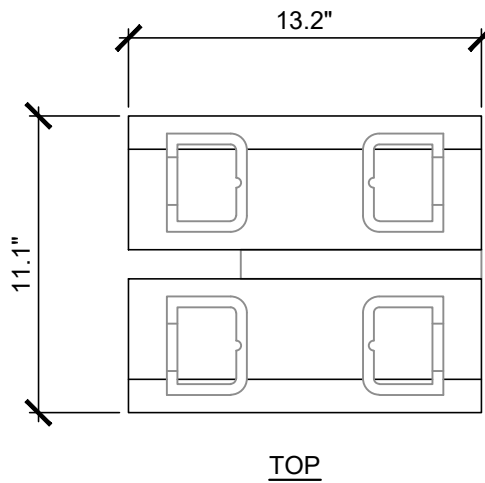
2

Dual-Band Shroud Dimensions and Performance



ERICSSON RRUS 8843

MANUFACTURER: ERICSSON
MODEL: 8843
RRU DIMENSIONS (HxWxD): 15" x 13.2" x 11.1"
380 x 335 x 282 (mm)
WEIGHT: 75.0 lbs. (34.02 kg)



RRU SHROUD DETAIL

SCALE
N.T.S.

9

NOT USED

SCALE
N.T.S.

6

RRUS SPECIFICATIONS

SCALE
N.T.S.

3

verizon

15505 SAND CANYON AVE.
BUILDING 'D' 1st FLOOR
IRVINE, CA 92618

PLANCOM

302 STATE PLACE, 2ND FLOOR
ESCONDIDO, CA 92029

Technology Associates

SAN DIEGO MARKET OFFICE
2667 CAMINO DEL RIO SOUTH, STE 205
SAN DIEGO, CA 92108
(858) 300-2346

REV	DATE	DESCRIPTION	BY
B	04/09/2021	90% CX (UX COMMENTS)	SV
A	08/24/2020	90% CONSTRUCTION	HC

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ARDATH

7990 VIA CAPRI
LA JOLLA, CA 92111
STEEL POLE

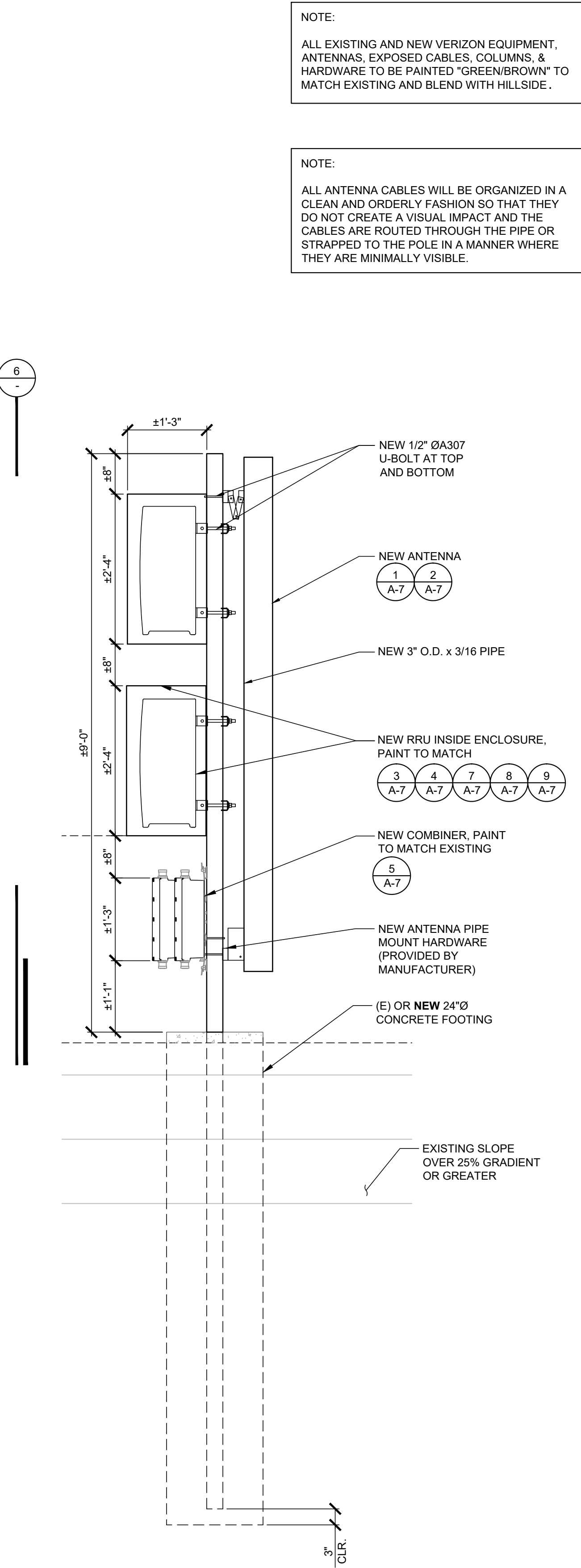
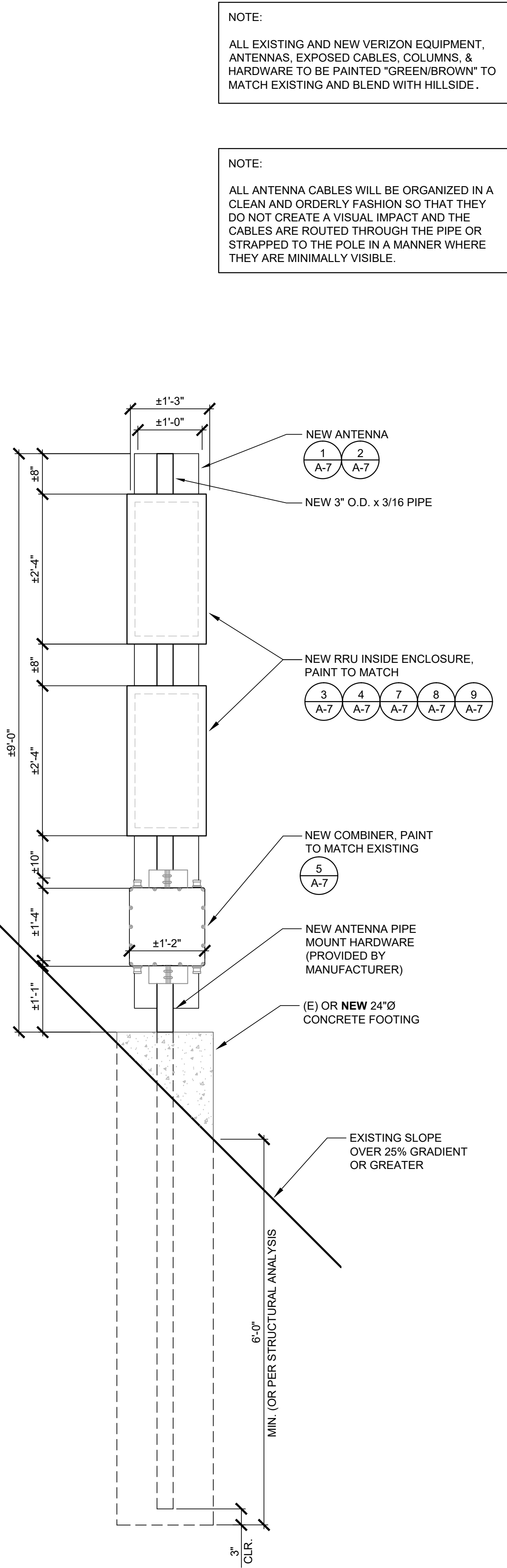
SHEET TITLE


DETAILS

SHEET NUMBER


A-7

NOT USED			NOT USED		
NOT USED			NOT USED		
NOT USED			NOT USED		
NOT USED			NOT USED		
NOT USED			NOT USED		






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STEEL POLE

SHEET TITLE

DETAILS

SHEET NUMBER

A-8

NOTE: THE ORIGINAL SIZE OF THIS PLAN IS 24" X 36". SCALE RATIO IS NOT VALID FOR REDUCED OR ENLARGED SHEET SIZES.

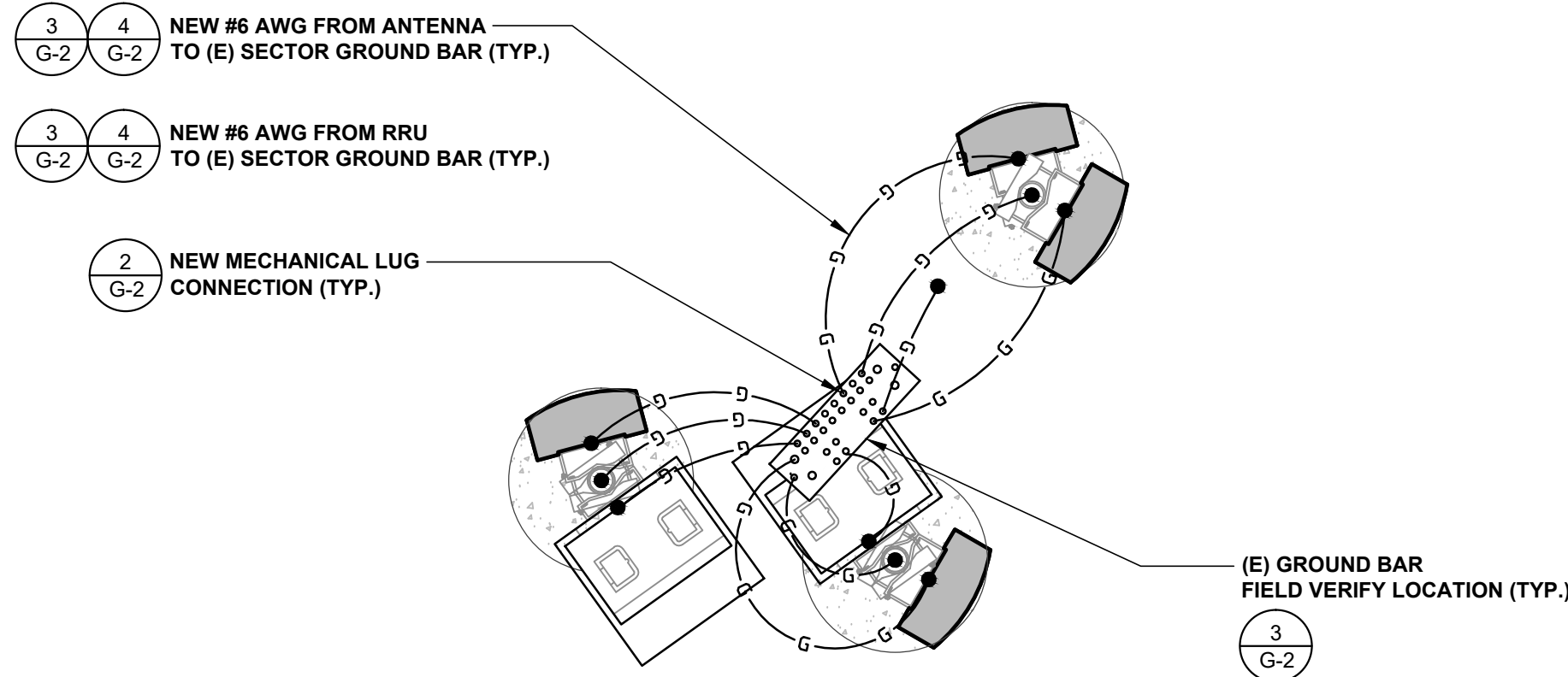
ELECTRICAL GROUNDING SPECIFICATIONS

- GROUNDING SHALL COMPLY WITH ARTICLE 250 OF THE NATIONAL ELECTRICAL CODE CURRENTLY IN EFFECT FOR THE AUTHORITY HAVING JURISDICTION.
- ALL GROUNDING DEVICES SHALL BE U.L. LISTED FOR THEIR INTENDED USE.
- GROUND WIRES SHALL BE TINNED #2 AWG BARE SOLID COPPER UNLESS OTHERWISE NOTED.
- CONNECTIONS OF ALL GROUND WIRES TO THE GROUND RING SHALL BE EXOTHERMIC (CAD-WELDED), UNLESS OTHERWISE NOTED. AND SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS AND VZW WIRELESS BROADBAND STANDARDS.
- GROUNDING CONDUCTORS SHALL BE ROUTED ALONG THE SHORTEST AND STRAIGHTEST PATH POSSIBLE. WHEN REQUIRED, GROUND LEADS SHALL BE BENT TO A MINIMUM OF 8" RADIUS.
- WHERE GROUND WIRES ARE ROUTED FROM ANY CONNECTION ABOVE GRADE TO THE GROUND RING, INSTALL WIRE IN 3/4" HEAVY WALL LIQUID TIGHT FLEXIBLE CONDUIT FROM CONNECTION POINT TO 5" BELOW GRADE AND SEAL THE TOP WITH SILICONE SEALANT.
- ALL GROUND BARS SHALL BE TINNED, 1/4" COPPER, SECTOR BARS 2", COLLECTOR AND MGB BARS 4", OF SUFFICIENT LENGTH TO ACCOMMODATE ALL REQUIRED CONNECTIONS WITHOUT DOUBLING LUGS, AND EACH INSTALLED WITH ISOLATORS. WHEN CONNECTING GROUND BARS (WITHIN 10 FEET OF GRADE) DIRECTLY TO THE GROUND RING, 2 EA. #2 SOLID DOWNLEADS SHALL BE CAD-WELDED TO THE GROUND BAR, 1 AT EACH OPPOSITE BOTTOM CORNER, AND EACH SHALL RUN IN 3/4" HEAVY WALL LIQUID TIGHT FLEXIBLE CONDUIT FROM GROUND BAR DOWN TO THE GROUND RING. WHEN CONNECTING SECTOR GROUND BARS, DAISY-CHAIN THE GROUND BARS AND RUN 1 EA. #2 AWG STRANDED COPPER WIRE WITH THWN INSULATION FROM THE MIDDLE GROUND BAR TO THE GROUND RING AND CAD-WELD TO THE RING.
- WHEN ATTACHING STRANDED GROUND LEADS TO THE GROUND BARS, 2 HOLE COMPRESSION LUGS SHALL BE USED, PROTECT WITH WEATHERPROOF HEAT SHRINK, AND WITH A THIN COAT OF "KOP'R SHIELD" OR EQUIVALENT PROPERLY APPLIED AND ATTACHED ONLY WITH STAINLESS STEEL HARDWARE.
- WHEN GROUNDING EQUIPMENT ENCLOSURES, PANELS, FRAMES, AND OTHER METAL APPARATUS, A #6 AWG STRANDED COPPER WIRE WITH THWN INSULATION SHALL BE ATTACHED UTILIZING A 2 HOLE COMPRESSION TYPE LUG, PROTECTED WITH WEATHERPROOF HEAT A CLEAN AND CORROSION FREE METALLIC SURFACE UTILIZING STAINLESS STEEL SELF-TAPPING SCREWS AS NOTED IN NOTE 10 BELOW.
- PREPARE ALL BONDING SURFACES FOR GROUND CONNECTIONS BY REMOVING ANY AND ALL PAINT AND CORROSION TO SHINY METAL. FOLLOWING CAD-WELDED CONNECTIONS TO NON-COPPER SURFACES, APPLY ONE COAT OF ANY ANTI-OXIDIZING PAINT, "COLD GALV" OR EQUIVALENT.
- GROUND RODS SHALL BE COPPER-CLAD STEEL 5/8"x10', SPACED NO LESS THAN 10' ON CENTER.
- ALL GROUND SYSTEM CONDUCTORS AND CONDUITS SHALL BE SECURED UTILIZING ONLY NONMETALLIC, NON-CONDUCTIVE, UV RATED CLAMPS, BRACKET, AND OR SUPPORTS.
- WHEN REQUIRED, THE CONTRACTOR SHALL ENGAGE THE SERVICES OF AN INDEPENDENT TESTING FIRM TO VERIFY, UTILIZING A MEGGER TEST, THAT THE RESISTANCE TO EARTH OF THE NEW GROUND SYSTEM IS EQUAL TO OR LESS THAN 5 (OHMS). A COPY OF THE COMPLETE TESTING REPORT SHALL BE PROVIDED TO THE VZW REPRESENTATIVE.
- ALL MATERIALS AND HARDWARE SHALL BR INSTALLED IN A WORKMAN-LIKE MANNER IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS, AND DEFINED IN NFPA-70 AND APPROVED BY A.H.J.

LEGEND	
■	EXOTHERMIC CONNECTION
●	MECHANICAL CONNECTION
⎓	EQUIPMENT GROUND BAR
⎓	ANTENNA GROUND BAR (AS REQUIRED)
⎓	#2 AWG GROUND LEAD (AS REQUIRED)

NOTE:

- CONTRACTOR TO REPLACE ALL MISSING GROUND BARS AND GROUNDING CONNECTIONS AS REQUIRED.
- NEW MOUNTING PIPE(S) INSTALLED FOR MODIFICATION SHALL HAVE AN EXOTHERMIC WELD THAT LEADS TO THE (E) SECTOR GROUND BAR. A MECHANICAL LUG CONNECTION SHALL OCCUR AT (E) SECTOR GROUND BAR.



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SAN DIEGO, CA 92108
(858) 300-2346

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A	08/24/2020	90% CONSTRUCTION	HC

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ARDATH

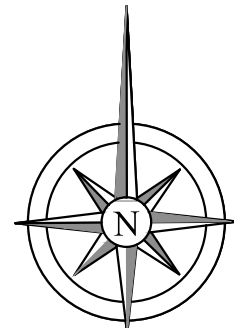
7990 VIA CAPRI
LA JOLLA, CA 92111
STEEL POLE

SHEET TITLE

GROUNDING
PLAN

SHEET NUMBER

G-1



SCALE
N.T.S.

2

NOTES & LEGEND

1

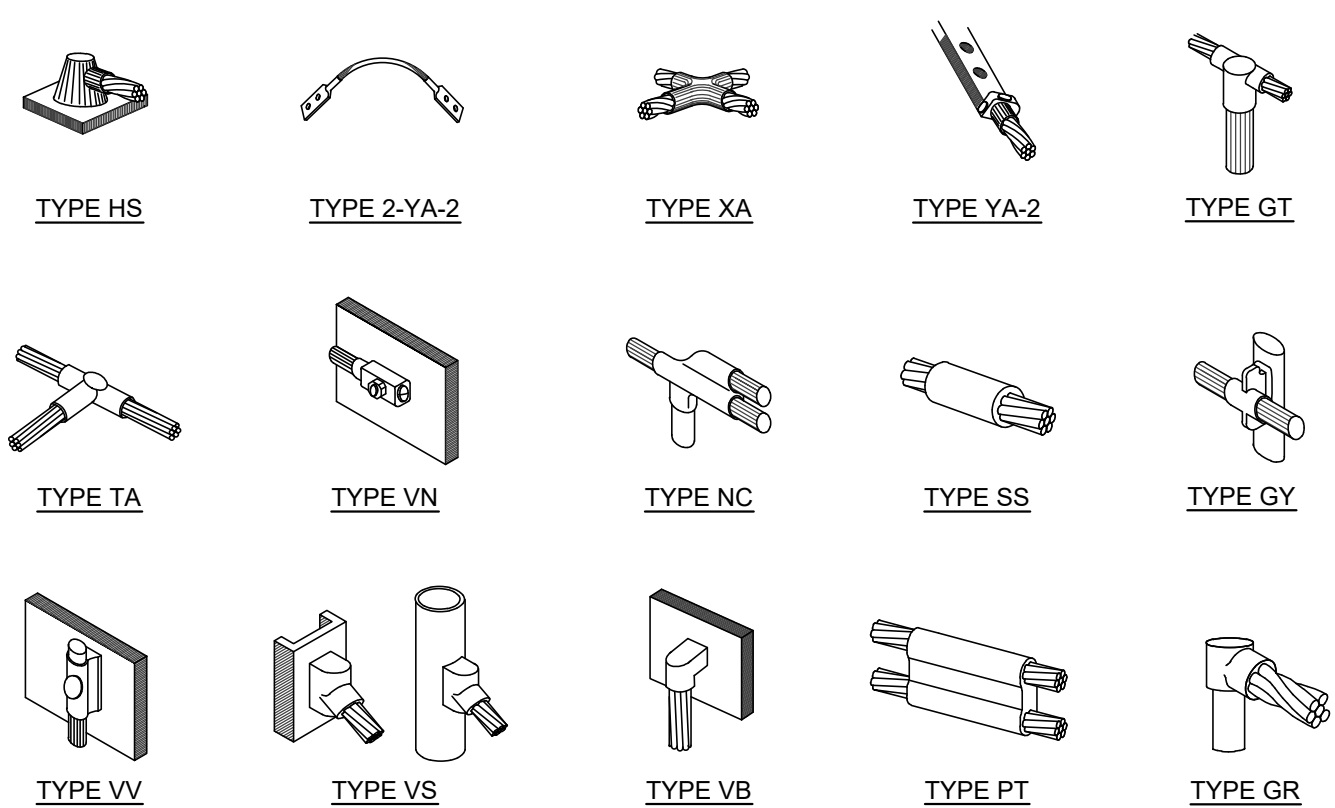
EQUIPMENT GROUNDING

NOTE: THE ORIGINAL SIZE OF THIS PLAN IS 24" X 36". SCALE RATIO IS NOT VALID FOR REDUCED OR ENLARGED SHEET SIZES.



NOTES:

1. DO NOT INSTALL CABLE GROUND KIT AT A BEND AND ALWAYS DIRECT GROUND WIRE DOWN TO GROUND BAR.
2. GROUNDING KIT TYPE SHALL BE APPROVED BY VERIZONW PRIOR TO INSTALLATION
3. WEATHERPROOFING SHALL INCORPORATE PPC WEATHERPROOFING TAPE KIT. COLD SHRINK SHALL NOT BE USED.



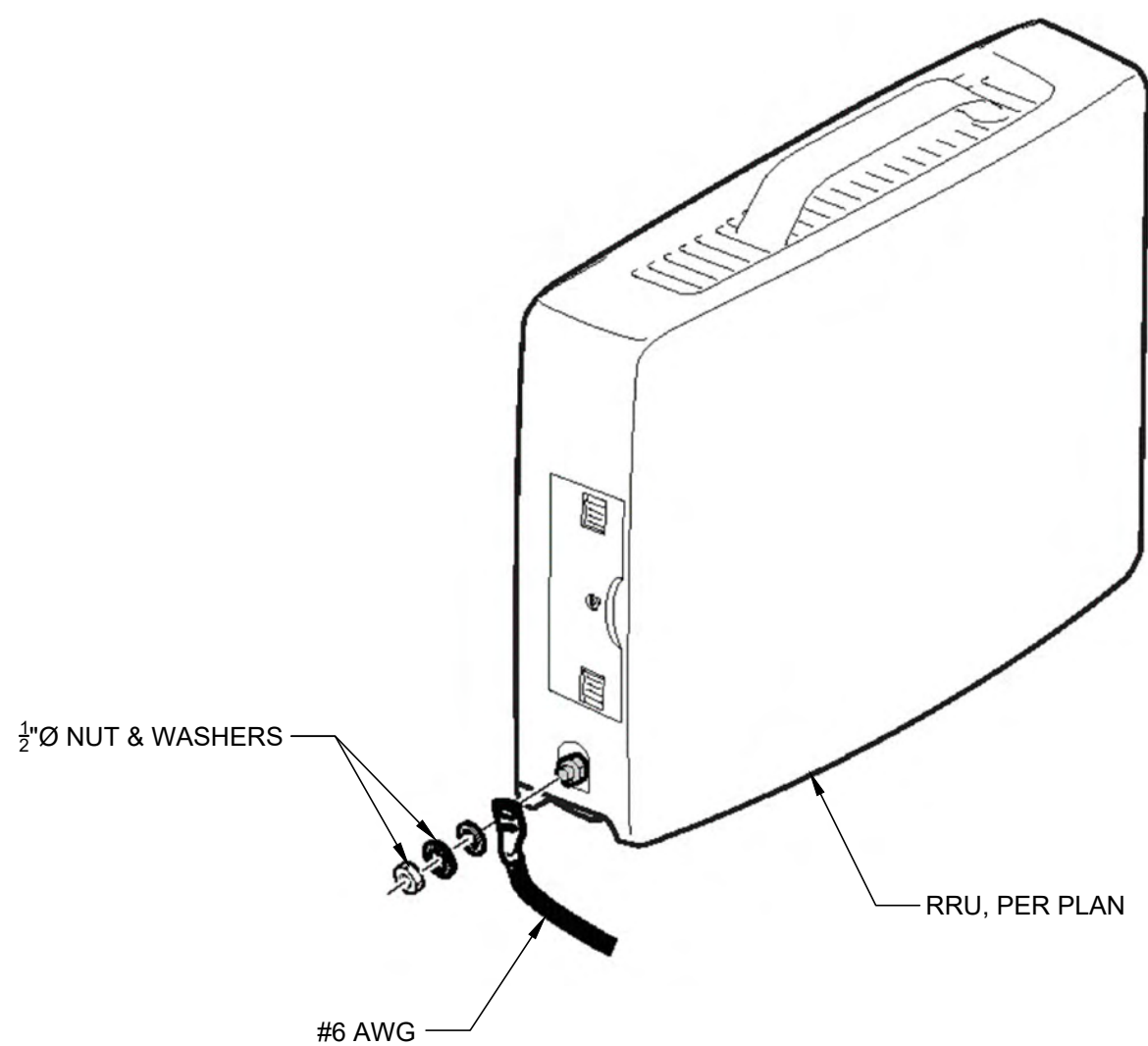
NOTE:

ERICO EXOTHERMIC "MOLD TYPES" SHOWN HERE ARE EXAMPLES. CONSULT WITH PROJECT MANAGER FOR SPECIFIC MOLDS TO BE USED FOR THIS PROJECT.

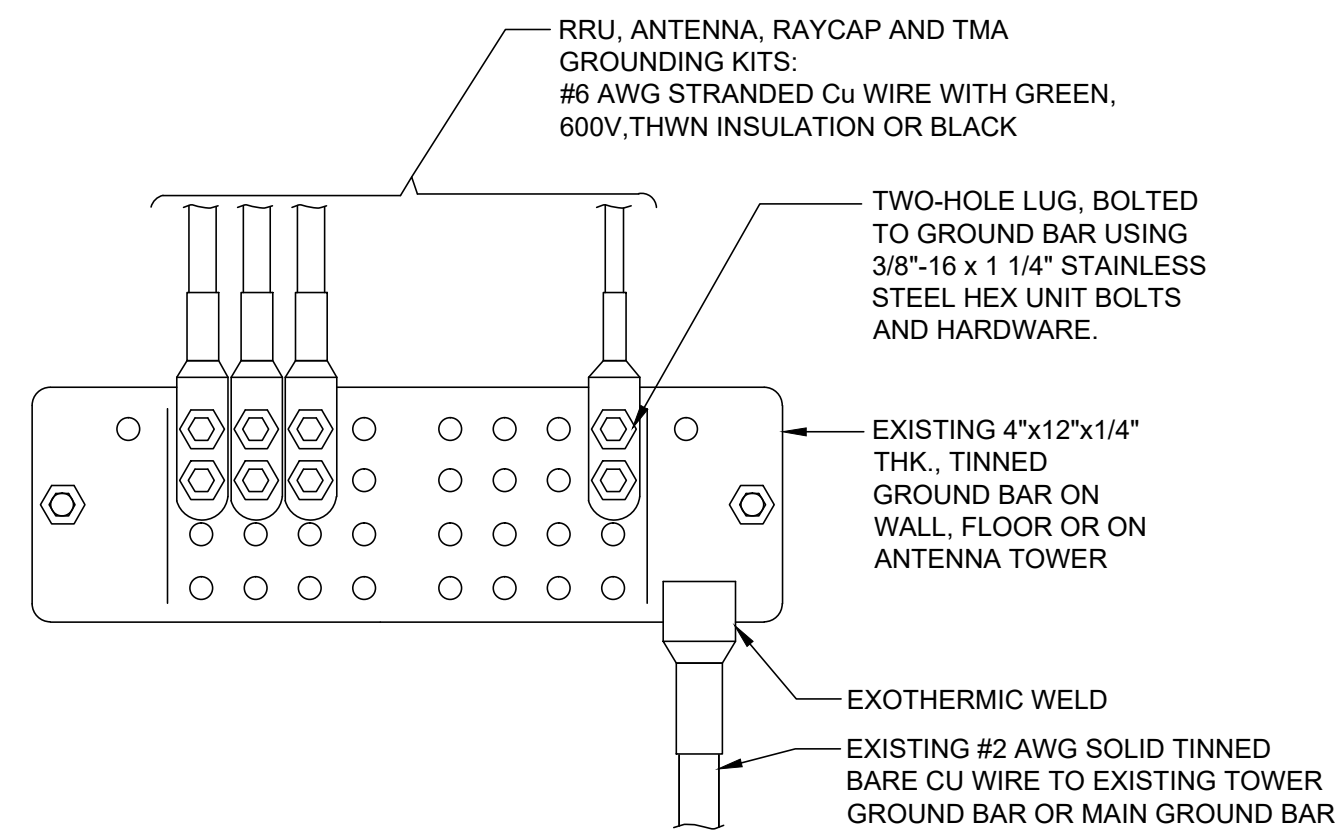
WIRE SIZE	BURNDY LUG	BOLT SIZE
#6 AWG GREEN INSULATED	YA6C-2TC38	3/8" - 16 NC S 2 BOLT
#2 AWG SOLID TINNED	YA3C-2TC38	3/8" - 16 NC S 2 BOLT
#2 AWG STRANDED	YA2C-2TC38	3/8" - 16 NC S 2 BOLT
#2/0 AWG STRANDED	YA26-2TC38	3/8" - 16 NC S 2 BOLT
#4/0 AWG STRANDED	YA28-2N	1/2" - 16 NC S 2 BOLT

NOTES:

1. ALL HARDWARE BOLTS, NUTS, LOCK WASHERS SHALL BE STAINLESS STEEL. ALL HARDWARE ARE TO BE AS FOLLOWS: BOLT, FLAT WASHER, GROUND BAR, GROUND LUG, FLAT WASHER, LOCK WASHER AND NUT.
2. COPPER SHIELD, ANTIOX, CR NO-OX OR EQUIVALENT SHALL BE IN PLACE WHERE ALL DISSIMILAR METALS CONNECT.
3. ALL LUGS ARE TO BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS.
4. ALL LUGS MUST HAVE INSULATION WINDOWS.



1. PROVIDE NO-OX GREASE AT CONTACT SURFACE BETWEEN LUG AND GROUND BAR
2. CONTRACTOR WILL VERIFY BUSS BAR GROUNDING TO THE TOWER OR RING.
3. GROUND BARS AT BOTTOM OF TOWERS OR MONOPOLES SHALL USE EXOTHERMIC CONNECTION.



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7990 VIA CAPRI
LA JOLLA, CA 92111
STEEL POLE

SHEET TITLE

GROUNDING DETAILS

SHEET NUMBER

G-2

SCALE	10
N.T.S.	

SCALE	7
N.T.S.	

CABLE GROUNDING

SCALE	4
N.T.S.	

EXOTHERMIC WELDING

SCALE	1
N.T.S.	

SCALE	11
N.T.S.	

SCALE	8
N.T.S.	

RRU GROUNDING

SCALE	5
N.T.S.	

MECHANICAL LUG

SCALE	2
N.T.S.	

SCALE	12
N.T.S.	

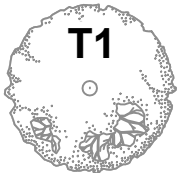

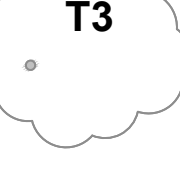
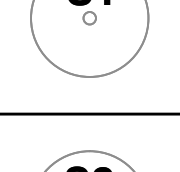
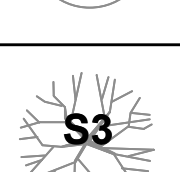
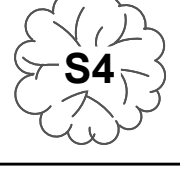
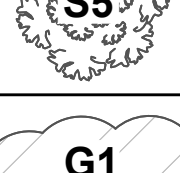

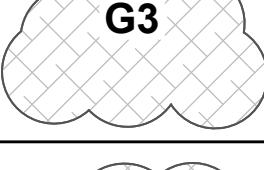



MAIN GROUND BAR

SCALE	6
N.T.S.	

SECTOR GROUND BAR

SCALE	3
N.T.S.	

PLANTING LEGEND:

SYMBOL	BOTANICAL NAME	COMMON NAME	PLANTING SIZE	QUANTITY	MATURE HEIGHT & SPREAD
	EXISTING PODOCARPUS HENKELII	LONG LEAF YELLOW WOOD PODOCARPUS	EXISTING	2	30' HEIGHT 30' SPREAD
	EXISTING EUCALYPTUS CITRIODORA	LEMON SCENTED EUCALYPTUS	EXISTING	2	60' HEIGHT 40' SPREAD
	EXISTING ACACIA MEARNSII	BLACK WATTLE	EXISTING	1	30' HEIGHT 30' SPREAD
	EXISTING TECOMARIA CAPENSIS	RED CAPE HONEYSUCKLE	EXISTING	-	20' HEIGHT 10' SPREAD
	EXISTING ACACIA RETINOIDES	MIMOSA ACACIA	EXISTING	-	20' HEIGHT 25' SPREAD
	EXISTING CORTADERIA SELLOANA (TO BE REMOVED)	PAMPAS GRASS	EXISTING	1	10' HEIGHT 10' SPREAD
	NEW RIBES SANGUINEUM GLUTINOSUM	PINK FLOWERED CURRANT	EXISTING	7	6' HEIGHT 6' SPREAD
	NEW CYTISUS SCOPARIUS	COMMON BROOM	EXISTING	4	4' HEIGHT 4' SPREAD
	EXISTING OSTEOSPERMIUM FRUTICOSUM	FREEWAY DAISY	EXISTING	-	1.5' HEIGHT 6' SPREAD
	EXISTING CORPOBROTUS EDULIS	HIGHWAY ICEPLANT	EXISTING	-	1' HEIGHT 30' SPREAD
	EXISTING ACACIA REDOLENS	PROSTRATE ACACIA	EXISTING	-	2' HEIGHT 15' SPREAD
	EXISTING APTENIA CORDIFOLIA	RED APPLE	EXISTING	-	6' HEIGHT 2' SPREAD

NOTE:
PATCH & REPAIR GROUND COVER WHERE DAMAGED BY TRENCHING
AND INSTALLATION OF LANDSCAPE SHRUBS & IRRIGATION.

EXISTING LANDSCAPE TREES AND SHRUBS ARE TO REMAIN. TRIM AS
REQUIRED INSTALL NEW CABINET ONLY. VERIFY WITH CITY OF SAN
DIEGO PLANNING DEPARTMENT PRIOR TO TRIMMING.



verizon

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7990 VIA CAPRI
LA JOLLA, CA 92111
STEEL POLE

SHEET TITLE
**EXISTING
LANDSCAPE
PLAN**

SHEET NUMBER
L-1

EXISTING LANDSCAPE PLAN

0 1.5' 3' 5' SCALE: 3/16" = 1'-0" (24x36)
(OR) 3/32" = 1'-0" (11x17)

1

NOTE: THE ORIGINAL SIZE OF THIS PLAN IS 24" X 36". SCALE RATIO IS NOT VALID FOR REDUCED OR ENLARGED SHEET SIZES.



NOTE: THE ORIGINAL SIZE OF THIS PLAN IS 24" X 36". SCALE RATIO IS NOT VALID FOR REDUCED OR ENLARGED SHEET SIZES.



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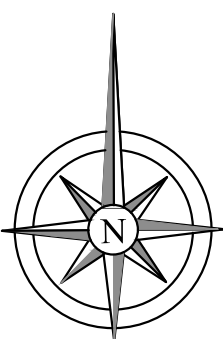
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7990 VIA CAPRI
LA JOLLA, CA 92111
STEEL POLE

SHEET TITLE
STORM WATER
CONTROL PLAN

SHEET NUMBER
SWC-1



STORM WATER CONTROL PLAN

0 2' 4' 8' SCALE: 1/8" = 1'-0" (24x36)
(OR) 1/16" = 1'-0" (11x17)

1

**Telecommunications Project Management****VERIZON WIRELESS – ARDATH
SITE JUSTIFICATION REPORT
7990 Via Capri****PROJECT DESCRIPTION**

Verizon Wireless is requesting approval to modify and continue operating of an existing wireless communication facility on a residential property located at 7990 Via Capri in the La Jolla Shores community. The property is located between Via Capri on the north side and La Jolla Parkway on the south side. The surrounding area is primarily residential with some commercial property further to the west at the corner of La Jolla Parkway and La Jolla Shores Drive. An aerial photograph of the property and surrounding area has been provided behind Tab 1.

The Ardath property is a Preference 4 location under Council Policy 600-43. It is zoned LJSFD-SF and designated in the community plan for residential uses. A zoning justification map has been provided behind Tab 2 to demonstrate the residential zone of the subject property as well as to identify surrounding Verizon. A Conditional Use Permit (Process 4) is required to a wireless communication facility on this site. Additionally, a Coastal Development Permit and a Site Development Permit are required for this project.

Verizon Wireless is proposing to modify the project by removing four (4) 4'-0" antennas and replacing them with four (4) 8'-0" antennas. The project also proposes to add six (6) RRUs behind the new antennas. The existing 7'-0" poles on which the antennas are located will be replaced with new poles. The poles will be painted green to match the existing landscaping and will continue to be screened from view by the existing landscaping, both live and faux from the other carries on site. There will be no change to the appearance of the existing equipment enclosure. The revised wireless facility has been designed to allow the new antennas and RRUs to preserve and expand existing coverage while concealing the antennas from view.

COVERAGE CONSIDERATIONS

The existing wireless facility has been located on this property since 1995, providing critical voice and data service throughout the surrounding area including the heavily used La Jolla Parkway and Torrey Pines Road. Continued operation of the Ardath site is necessary to maintain the existing levels of service to these areas. The site is an integral part of Verizon's network, as the site's operation is closely coordinated with many other Verizon Wireless sites in the La Jolla, La Jolla Shores, University City and UCSD areas.

Ardath Site Justification

Page 2

Coverage maps have been provided behind Tab 3 to demonstrate the existing coverage provided by the Ardath site and the predicted loss of coverage without the site. As indicated on the maps, loss of the existing coverage footprint from the Ardath site could result in significant impacts to those living, working, and traveling in the area. Moreover, over one-quarter of US households are “wireless-only,” and thus this degradation of service would have a significant impact on customers’ essential communications services.

SITE CONSIDERATIONS

The Ardath site is an existing site and any change in location would negatively impact customers’ existing service. Alternative sites have not been considered because replicating the exact coverage footprint from a different location is not possible. The resulting degradation in service would directly contravene Verizon Wireless’ commitment to improving the reliability and performance of its network and its customers’ wireless experience. Allowing the Ardath site to be modified and continue operating will ensure that existing customers are not impacted and services to those customers are enhanced.

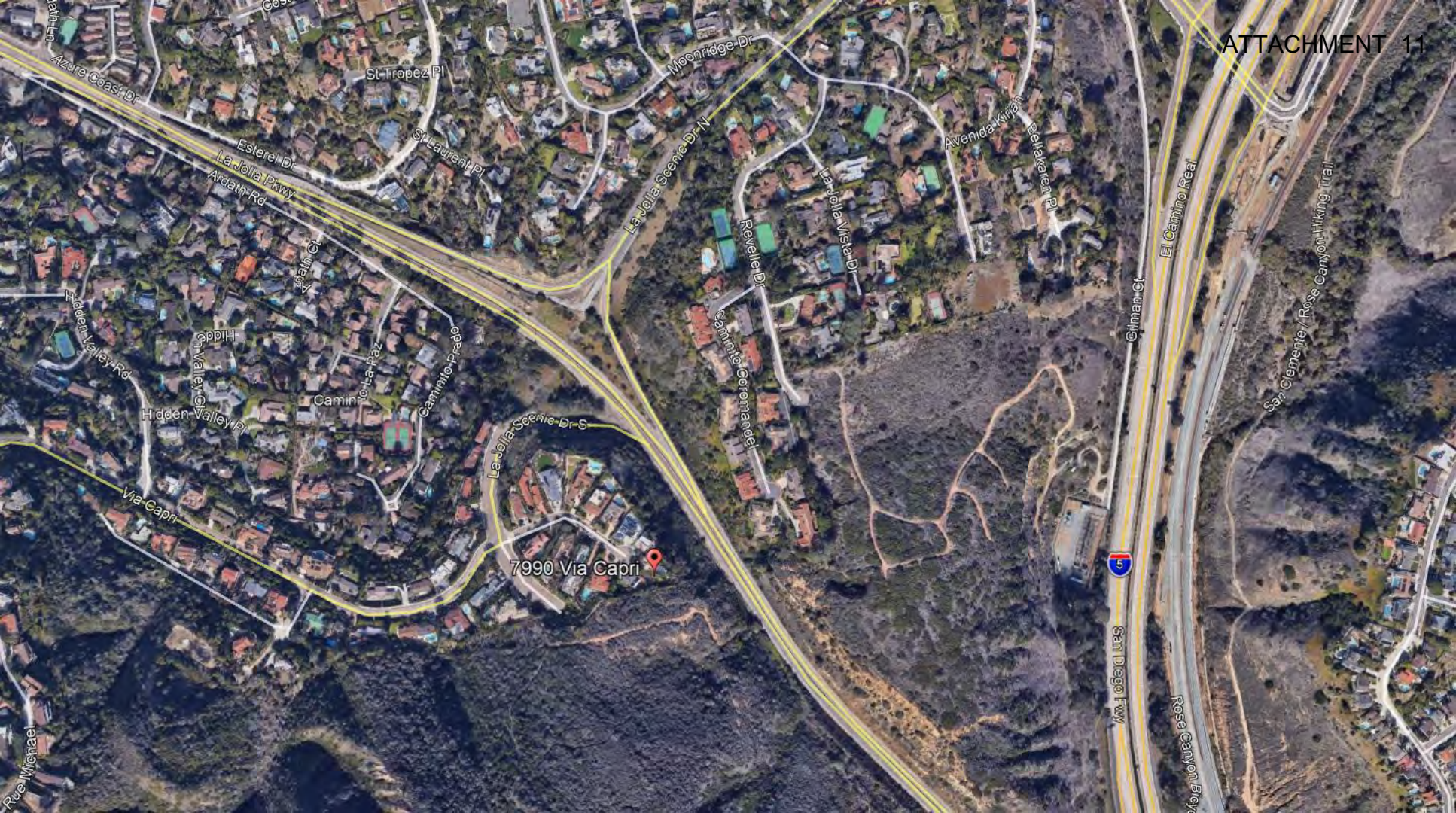
Attachments:

Tab 1 – Aerial photograph of existing facility

Tab 2 – Zoning Justification Map

Tab 3 – Radio Frequency Coverage Map

Aerial Photograph Tab 1



Zoning Justification Map Tab 2

Ardath
7990 Via Capri
La Jolla, CA 92037
MTX-48



Legend

Search Ring

Selected Site

Existing sites within 1 mile radius:

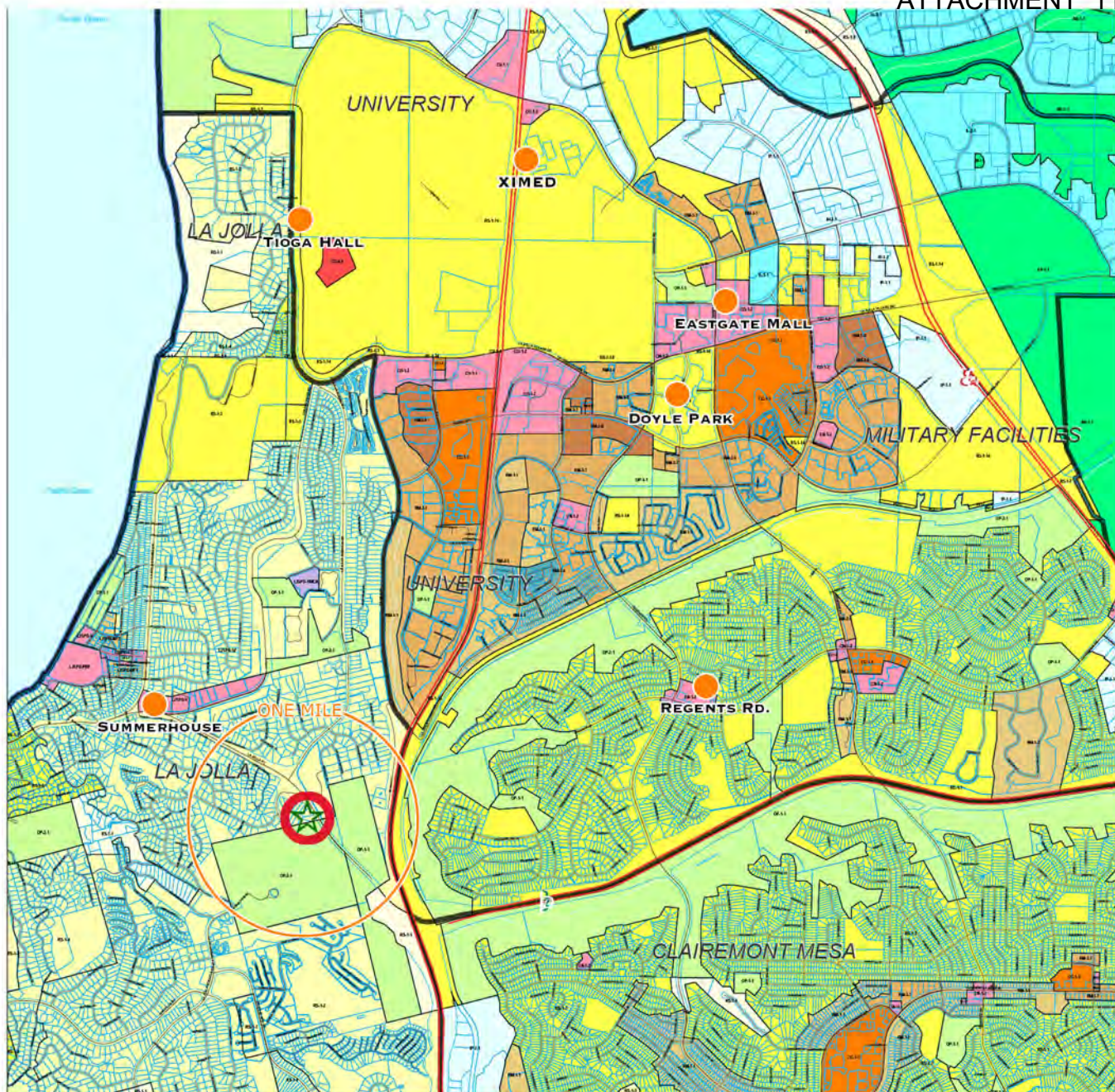
NO SITES WITHIN 1 MILE

Alternative Sites:

NO ALTERNATIVE SITES

SURROUNDING SITES:

52/GENESEE
5763 LODI ST.
SAN DIEGO CA 92117
ARDATH
7990 VIA CAPRI
LA JOLLA CA 92037
DOYLE PARK
8775 COSTA VERDE BLVD
LA JOLLA CA 92122
EASTGATE MALL
4352 LA JOLLA VILLAGE DR
SAN DIEGO CA 92121
GILMAN
7650 GILMAN CT
SAN DIEGO CA 92037
LA JOLLA
1020 PROSPECT #312
LA JOLLA CA 92037
REGENTS RD
3358 GOVERNOR DR.
SAN DIEGO CA 92122
SORRENTO TWRS
5355 MIRA SORRENTO PL
SAN DIEGO CA 92121
SUMMERHOUSE
7955 LA JOLLA SHORES DR
LA JOLLA CA 92037
TIOGA HALL
10007 N TORREY PINES RD
LA JOLLA CA 92161
UTC
9191 TOWNE CTR DR #L106
SAN DIEGO CA 92121
XIMED
9850 GENESEE AVE #930
LA JOLLA CA 92037



Service Center Address:
Ardath is located at 7990 Via Capri, La Jolla, CA 92037.
This map is for informational purposes only and does not constitute a contract.
The City of San Diego is not responsible for any errors or omissions on this map.
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City of San Diego
Development Services Department



GRID TILE: 27

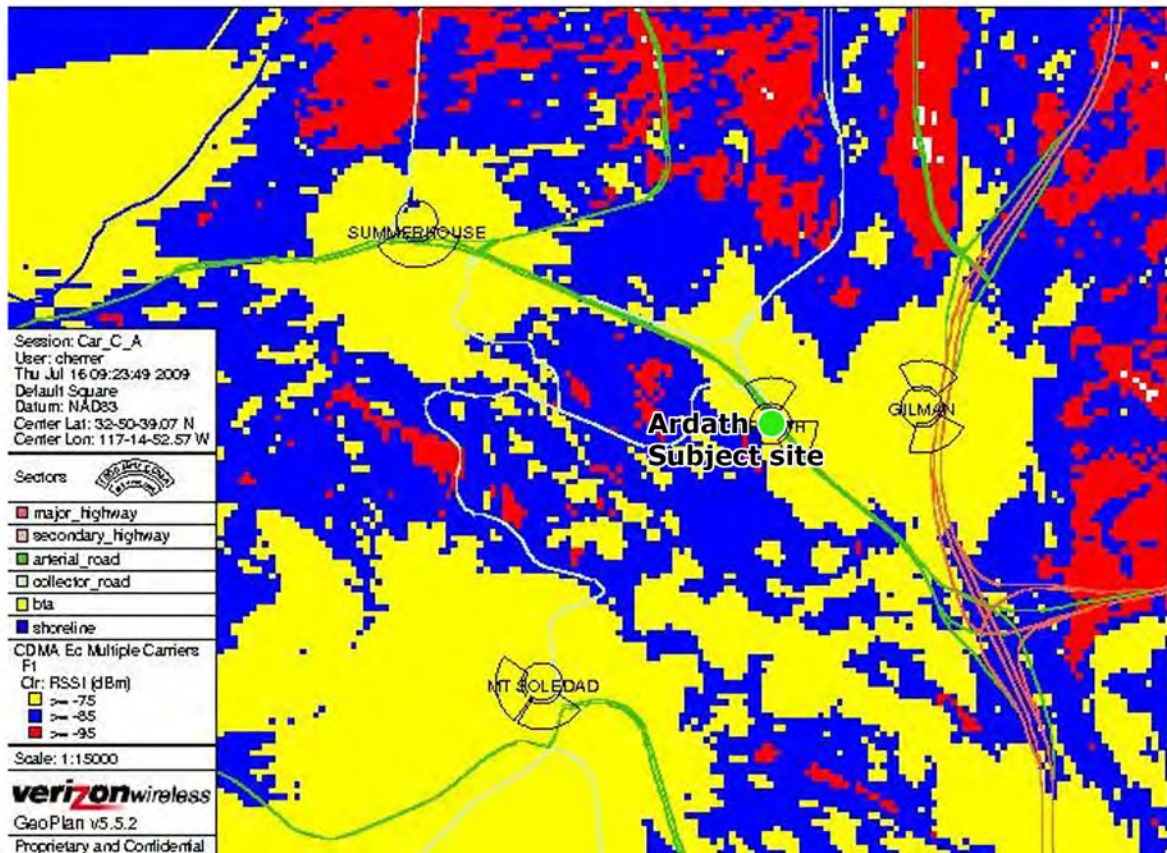
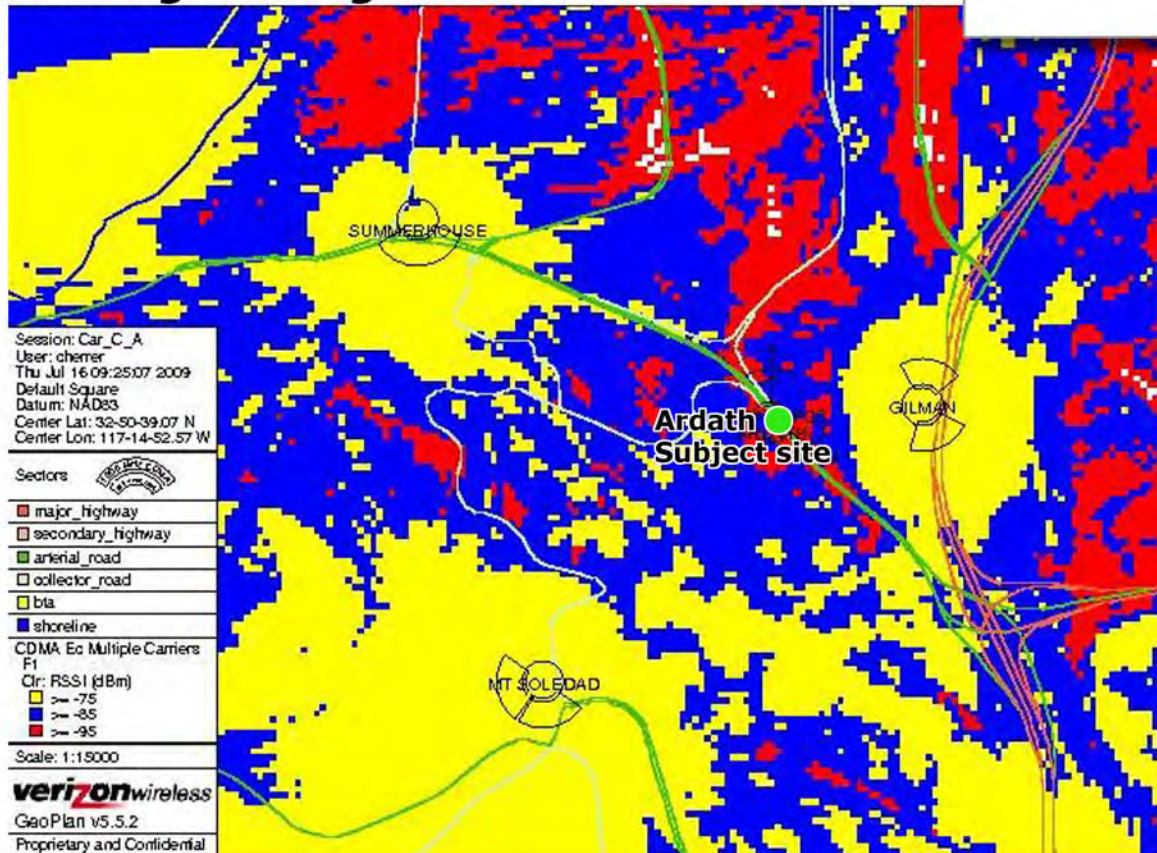
GRID SCALE: 800
DATE: 11/23/2005

& 31

Coverage Map Tab 3



Existing coverage



Coverage Levels:

- Excellent
- Good/Variable
- Poor

Proposed coverage

	City of San Diego Development Services 1222 First Ave., MS 302 San Diego, CA 92101 (619) 446-5000	<h1>Ownership Disclosure Statement</h1>	FORM
			DS-318
			October 2017

Approval Type: Check appropriate box for type of approval(s) requested: ☐ Neighborhood Use Permit ☐ Coastal Development Permit
☐ Neighborhood Development Permit ☐ Site Development Permit ☐ Planned Development Permit ☐ Conditional Use Permit ☐ Variance
☐ Tentative Map ☐ Vesting Tentative Map ☐ Map Waiver ☐ Land Use Plan Amendment • ☐ Other _____

Project Title: VZW Ardath **Project No. For City Use Only:** _____

Project Address: 7990 Via Capri

Specify Form of Ownership/Legal Status (please check):

☐ Corporation ☐ Limited Liability -or- ☐ General - What State? _____ Corporate Identification No. _____

☐ Partnership ☐ Individual

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter will be filed with the City of San Diego on the subject property with the intent to record an encumbrance against the property. Please list below the owner(s), applicant(s), and other financially interested persons of the above referenced property. A financially interested party includes any individual, firm, co-partnership, joint venture, association, social club, fraternal organization, corporation, estate, trust, receiver or syndicate with a financial interest in the application. If the applicant includes a corporation or partnership, include the names, titles, addresses of all individuals owning more than 10% of the shares. If a publicly-owned corporation, include the names, titles, and addresses of the corporate officers. (A separate page may be attached if necessary.) If any person is a nonprofit organization or a trust, list the names and addresses of **ANY** person serving as an officer or director of the nonprofit organization or as trustee or beneficiary of the nonprofit organization. A signature is required of at least one of the property owners. Attach additional pages if needed. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

Property Owner

Name of Individual: Daniel Broe, Vice President, Global Tower Holdings LLC, ☐ Owner ☐ Tenant/Lessee ☐ Successor Agency
as attorney in fact for for Fresh Start Ventures, LLC**

Street Address: c/o American Tower 10 Presidential Way

City: Woburn State: MA Zip: 01801

Phone No.: 781-926-4500 Fax No.: _____ Email: _____

Signature: [Signature] Daniel Broe, Vice President, Global Tower Holdings LLC
as attorney in fact for for Fresh Start Ventures, LLC** Date: 10/20/2020

Additional pages Attached: ☒ Yes ☐ No **For authority, see Easement and Assignment Agreement attached herewith

Applicant

Name of Individual: _____ ☐ Owner ☐ Tenant/Lessee ☐ Successor Agency

Street Address: _____

City: _____ State: _____ Zip: _____

Phone No.: _____ Fax No.: _____ Email: _____

Signature: _____ Date: _____

Additional pages Attached: ☐ Yes ☐ No

Other Financially Interested Persons

Name of Individual: _____ ☐ Owner ☐ Tenant/Lessee ☐ Successor Agency

Street Address: _____

City: _____ State: _____ Zip: _____

Phone No.: _____ Fax No.: _____ Email: _____

Signature: _____ Date: _____

Additional pages Attached: ☐ Yes ☐ No

Printed on recycled paper. Visit our web site at www.sandiego.gov/development-services.
 Upon request, this information is available in alternative formats for persons with disabilities.