

La Jolla Shores Planned District Advisory Board (LJSPDAB)
APPLICANT PROJECT INFORMATION FORM

Please provide the following information on this form to schedule your project at an upcoming La Jolla Shores Planned District Advisory Board meeting.

For Action Items

Project Tracking System (PTS) Number/Accela "PRJ" Number and Project Name (only submitted projects to the Development Services Department can be heard as action items):

- **PRJ # 705977 - Coppel Residence - Remodel & Addition + ADU**
- Address and APN(s):
- **7856 La Jolla Vista Drive, La Jolla, CA 92037, APN – 346-742-11-00**
- Project contact name, phone, e-mail:
- **Michael R. Morton AIA, (619) 857-8144, Michael@m2a.io**
- Project description:
- **Renovation of existing single-story single-family residence of 3,659 Square Feet (Main House) Addition and remodel to existing single-story single-family residence with 1,765 square feet to be demolished with and addition of 2,439 square feet. New detached ADU of 514 square feet. With a total addition of 625 detached garage square feet + 515 ADU = remodel area of 1,118 square feet. The proposed remodeled home to total 4,848+ 625 detached accessory garage = 5,473 square feet Total**
- Please indicate the action you are seeking from the Advisory Board:
 - Recommendation that the Project is minor in scope (Process 1)
 - Recommendation of approval of a Site Development Permit (SDP)
 - Recommendation of approval of a Site Development Permit (SDP) and Coastal Development Permit (CDP)
 - Other: _____

- In addition, provide the following:
 - lot size: **65,034 Square Feet** _____
 - existing structure square footage and FAR (if applicable): **4.785 S. F.**
 - proposed square footage and FAR: **5,473 S. F. - 18.7 FAR**
 - existing and proposed setbacks on all sides: _
 - **Front Yard @ Rivell Drive -Average 76'-10" Provided 191-3.5" FYSB**
 - **North Side Yard : Average 15'- 9" – Provided 49'-8**
 - **South Side Yard: Average 15'-9" – Provided 13'-8" at one point of angled building corner 97% above 15'-9" 4% encroaches - Allowed with detached accessory garage**
 - **Rear Yard @ La Jolla Vista Drive – 42'-0" - Provided 43'-0"**
 - **Rear Yard ADU setback – Allowed 4'-0" – Provided 11'-3.5**
 - height if greater than 1-story (above ground): **14'-5.5" Feet above adjacent grade** _____

For Information Items *(For projects seeking input and direction. No action at this time)*

Project name (Unsubmitted projects can be informational items if the development team is seeking comments and direction from the Board on the concept):

- **Coppel Residence - Remodel & Addition + ADU**
- Address and APN(s): _____
- Project contact name, phone, e-mail: _____
- Project description: _____
- In addition to the project description, please provide the following:
 - lot size:
 - existing structure square footage and FAR (if applicable): _____

- proposed square footage and FAR: _____
- existing and proposed setbacks on all sides: _____
- height if greater than 1-story (above ground): _____
- Project aspect(s) that the applicant team is seeking Advisory Board direction on. (Community character, aesthetics, design features, etc.): _____

Exhibits and other materials to provide:

Exhibits and other project-related presentation materials (e.g. site plan, elevations, exhibits showing addition/remodel areas, etc.) although not required, are extremely helpful in informing the Advisory Board's review and understanding of a project. The following exhibits and materials are recommended and if provided by the applicant, will be attached to the agenda and posted to the City's website: <https://www.sandiego.gov/planning/community/profiles/lajolla/pddoab> for view by the public:

- All exhibits should be sized to 8 ½" X 11" format
- Exhibits, which can contain the following:
 - A. A site plan showing the street, the property line on all sides, the setbacks on all sides, and the setbacks from the property lines to the neighboring building;
 - B. Elevations for all sides;
 - C. If the proposal is for a remodel, a clear delineation of what part of the proposed structure is new construction
 - D. If the proposal is for a building with more than one story, show:
 - how the upper story sits on the story beneath it (setback of the upper story from the lower story);
 - the distance from the proposed upper story to comparable stories of the neighboring buildings; and
 - the height of neighboring buildings compared to the proposed structure's height.
- Any surveys that indicate similarities in floor area or architectural style in the surrounding neighborhood
- Any communications such as letter and emails from adjacent neighbors, local neighborhood groups, and/or the Homeowners' Association
- The most recent Project Issues Report for the project from the Development Services Department

PLEASE DO NOT PROVIDE THE FOLLOWING:

- The complete plan set of the project. Complete plan sets take up a lot of memory to distribute and most of the information is not necessary for the Advisory Board's review.
- Plans or exhibits of the interior of the project. Interiors are not reviewed by the Advisory Board.
- Personal contact information of the property owners of the project should not be included, unless they are the "owner/applicant" and they are the designated point of contact

The Advisory Board members are very keen to know that the neighbors in the immediate vicinity have been noticed and their views noted. Community conformity, setbacks, FAR, parking, view corridors, bulk & scale, and articulation are key discussion points on all projects. Action Items will be heard first.

Thank you,

Please return the information requested to no later than a week before the scheduled meeting date:

Melissa Garcia, Senior Planner
magarcia@sandiego.gov
 City Planning Department
 619-236-6173



L64A-003B

Project Information

Project Nbr: 705977 **Title:** Dig Prelim 7856 LJ Vista Dr
Project Mgr: *System Managed, Project (619) 446-5000 DSDProjectInfo@sandiego.gov



Review Information

Cycle Type: 2 Prelim(LDR-Planning Review) **Submitted:**
Reviewing Discipline: LDR-Planning Review **Cycle Distributed:**
Reviewer: Vergara, Jose **Assigned:**
(619) 687-5922 **Started:**
Hours of Review: 0.00 **Review Due:**
Next Review Method: Prelim(LDR-Planning Review) **Completed:**
Closed:

Your project still has 14 outstanding review issues with LDR-Planning Review (None of which are new)

Prelim Info

<u>Cleared?</u>	<u>Issue Num</u>	<u>Issue Text</u>
<input type="checkbox"/>	1	Preliminary Reviews are designed to respond to specific submitted questions regarding a potential project and to identify major issues with the project. The absence of any information not addressed within the course of this review should not be construed as approval of any aspect of your project. This Preliminary Review is not a comprehensive plan review, nor is it intended to replace the services provided by design professionals. A complete review of the project will only be conducted when a complete set of plans is submitted as a part of the formal application. [Info Only] (From Cycle 1)
<input type="checkbox"/>	2	Although it is the intent of this Preliminary Review to aid you in the development of your project, it is ultimately the applicant's responsibility to ensure compliance with all applicable laws, governing policies, and regulations including information that may not have been addressed in this review. [Info Only] (From Cycle 1)
<input type="checkbox"/>	3	The applicant is responsible for knowing and understanding the governing policies and regulations applicable to the proposed development, and the City is not liable for any damages or loss resulting from any actual or alleged failure to inform the applicant of any laws or regulations that may be applicable to proposed development. [Info Only] (From Cycle 1)

Site Info and Scope

<u>Cleared?</u>	<u>Issue Num</u>	<u>Issue Text</u>
<input type="checkbox"/>	4	The subject site is located at 7856 La Jolla Vista Dr. San Diego, CA 92037 (APN 346-742-1100), in the LJSPD-SF zone, within the La Jolla Community Plan Area. The subject site is located within the following Overlay Zones: Airport Land Use Compatibility Zone- MCAS Miramar Airport Influence Area- MCAS Miramar-Review Area 2 Coastal Height Limit Overlay Zone-30 The proposed scope of work is for the remodeling and addition to an existing single-family dwelling unit. The proposed work is to an existing single-family dwelling unit on a develop lot. (From Cycle 1)

Questions & Responses

<u>Cleared?</u>	<u>Issue Num</u>	<u>Issue Text</u>
<input type="checkbox"/>	5	Q.1 Response: Staff have received resources in the form of a 300-foot radius map prepared by consultants to determine the general conformity of the vicinity. The resources provided can vary but must provide an accurate map that is to scale, along with a list of the properties, and setback analysis. Staff will not recommend the approval of any structure that is different in quality, form, materials, color, and relationship as to disrupt the architectural unity of the area. (From Cycle 1)
<input type="checkbox"/>	6	Q.2 Response: In accordance with section 1510.0304(b)(1), buildings with openings that face the side property line shall be constructed no closer than 4-feet from the property line. In addition, a 300-foot radius map will be used by staff to determine the general conformity with those in the vicinity. The resources provided may vary in form as long as it provides an accurate map that is to scale, list the properties within a 300-foot radius and contains the setback analysis. Staff will not recommend the approval of any structure that does not comply with those in the community. (From Cycle 1)

For questions regarding the 'LDR-Planning Review' review, please call Jose Vergara at (619) 687-5922. Project Nbr: 705977 / Cycle: 2





L64A-003B

<u>Cleared?</u>	<u>Issue Num</u>	<u>Issue Text</u>
<input type="checkbox"/>	7	<p>Q.3 Response:</p> <p>Staff recommends confirming property lines via a boundary survey- prepared by a licensed surveyor- and to confirm the existing easements via the title report for the property. (From Cycle 1)</p>
<input type="checkbox"/>	8	<p>Q.4 Response:</p> <p>The properties -identified as #12 & #13 on the property area and setbacks matrix- that reside West of the subject property do not need to be included in setback calculations. The listed properties were part of an existing discretionary permit Planned Residential Development (PRD-57) and are part of a multi-family development. (From Cycle 1)</p>
<input type="checkbox"/>	9	<p>Q. 5 Response:</p> <p>The setbacks of the property are to be calculated from a distance inward from and perpendicular to a property line. Regardless of if the property was subdivided, the setbacks of the buildings and structures for the subject property shall be in general conformity with those in the vicinity. The lot is double-fronted and as a result, the portion of the lot adjacent to La Jolla Vista Drive and Revelle Drive will also be considered a front yard setback. (From Cycle 1)</p>
<input type="checkbox"/>	10	<p>Q. 6 Response:</p> <p>Buildings and setbacks shall be in general conformity with those in the vicinity. The setbacks of the property are to be calculated from a distance inward from and perpendicular to a property line. Regardless of if the property was subdivided, the setbacks of the buildings and structures for the subject property shall be in general conformity with those in the vicinity. The lot is double-fronted and as a result, the portion of the lot adjacent to La Jolla Vista Drive and Revelle Drive will also be considered a front yard setback. Reference section 1510.0304. (From Cycle 1)</p>
<input type="checkbox"/>	11	<p>Q. 7 Response:</p> <p>The setbacks for the subject property will be determined based on the neighboring properties that fall within the 300-foot radius. A 300-foot radius map is required that encompasses the address, legal description, lot size, and all required yards in a tabular form for all properties within the 300-foot radius. (From Cycle 1)</p>
<input type="checkbox"/>	12	<p>Q. 8 Response:</p> <p>In residential zones the code allows for architectural encroachments, section 131.0140 Use of Yards and Landscaped Area in All Base Zones, does not identify tennis courts as an allowable use of yards. (From Cycle 1)</p>
<input type="checkbox"/>	13	<p>Q. 9 Response:</p> <p>The local rules and regulations applicable to the subject site regarding fences and retaining walls can be found in Chapter 14, Article 2, Division 3. Please reference section 142.0340 fence regulations for additional information on location, height, and allowances. (From Cycle 1)</p>
<input type="checkbox"/>	14	<p>Q. 10 Response:</p> <p>Aerial images show an existing curb cut; will this be to propose an additional driveway? Keep in mind that, per section 142.0560(j)(6) There shall be at least a 45-foot length of full-height curb between driveways serving the same premises, as illustrated in Diagram 142-05C. In addition, you will need to contact the city engineer for further information. (From Cycle 1)</p>

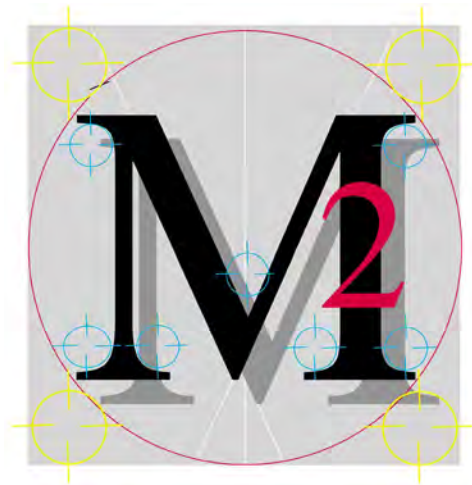


Photo Survey for 300' Radius 7856 La Jolla Vista Drive

7856 La Jolla Vista Drive
La Jolla, CA 92037
APN # 346-742-11-00

Project No. 2023-28

Date: 12-21-2023



Marengo Morton Architects
7724 Girard Avenue, Suite 200
La Jolla, CA 92037
Phone: 858-459-3769
Fax: 858-459-3768



MARENGO MORTON ARCHITECTS, INC.

7724 Girard Ave, Ste 200, La Jolla, CA 92037

Ph: 858-459-3769, Fax: 858-459-3768



AERIAL VIEW WITHIN 300 FEET

The existing homes in this area are an eclectic mix of ranch style, Mediterranean, contemporary, and midcentury modern. There is no prevailing style in the immediate vicinity. Therefore, the eclectic mix of architectural styles in the area allows for a wide variety of conforming designs. In conclusion, this remodel and addition to the midcentury home conforms to the architectural style in the vicinity.



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#	ADDRESS	LEGAL DESCRIPTION	LOT SIZE (+/-)	TOTAL LIVING AREA	FRONT YARD SETBACK
7	7855 LA JOLLA VISTA DR LA JOLLA, CA. 92037-3531	LOT 15*	20,202 SF	4326 SF	8' - 6"
3	7856 LA JOLLA VISTA DR LA JOLLA, CA. 92037-3530	LOT 1290*WLY 325 FT OF NLY 200 FT OF SLY 602 FT OF	66,618 SF	3842 SF	11' - 2" (required) 191' - 3 1/2" (proposed) 193' - 4 1/2" (existing)
1	7866 REVELLE DR LA JOLLA, CA. 92037-3538	LOT 17*	21,452 SF	5529 SF	17' - 0"
2	7866 LA JOLLA VISTA DR LA JOLLA, CA. 92037-3530	LOT 16*	20,378 SF	3590 SF	26' - 0"
6	7867 LA JOLLA VISTA DR LA JOLLA, CA. 92037-3531	LOT 14*	19,966 SF	4093 SF	26' - 0"
11	7856 REVELLE DR LA JOLLA, CA. 92037-3537	LOT 1*	20,753 SF	4636 SF	30' - 6"
4	7849 REVELLE DR LA JOLLA, CA. 92037-3538	LOT 1290*E 300 FT OF W 325 FT OF N 145 FT OF S 402 FT*	43,750 SF	5515 SF	64' - 0"
5	7851 REVELLE DR LA JOLLA, CA. 92037-3538	LOT 1290*ELY 300 OF WLY 325 FT OF NLY 127 OF SLY 257 FT OF	38,932 SF	3758 SF	94' - 0"
4	7849 REVELLE DR LA JOLLA, CA. 92037-3538	LOT 1290*E 300 FT OF W 325 FT OF N 145 FT OF S 402 FT*	43,750 SF	5515 SF	119' - 0"
5	7851 REVELLE DR LA JOLLA, CA. 92037-3538	LOT 1290*ELY 300 OF WLY 325 FT OF NLY 127 OF SLY 257 FT OF	38,932 SF	3758 SF	128' - 0"

* Reviewed by CSD Planning.

Average = 76.82

#	ADDRESS	LEGAL DESCRIPTION	LOT SIZE (+/-)	TOTAL LIVING AREA	REAR YARD SETBACK
1	7855 REVELLE DR LA JOLLA, CA. 92037-3538	LOT 17*	21,452 SF	5529 SF	42' - 0"
3	7856 LA JOLLA VISTA DR LA JOLLA, CA. 92037-3530	LOT 1290*WLY 325 FT OF NLY 200 FT OF SLY 602 FT OF	66,618 SF	3842 SF	42' - 0" (required) 43' - 0" (proposed) 16' - 11 1/2" (existing)
2	7866 LA JOLLA VISTA DR LA JOLLA, CA. 92037-3530	LOT 16*	20,378 SF	3590 SF	50' - 0"
11	7856 REVELLE DR LA JOLLA, CA. 92037-3537	LOT 1*	20,753 SF	4636 SF	65' - 0"
7	7855 LA JOLLA VISTA DR LA JOLLA, CA. 92037-3531	LOT 15*	20,202 SF	4326 SF	76' - 0"
6	7867 LA JOLLA VISTA DR LA JOLLA, CA. 92037-3531	LOT 14*	19,966 SF	4093 SF	94' - 6"
4	7849 REVELLE DR LA JOLLA, CA. 92037-3538	LOT 1290*E 300 FT OF W 325 FT OF N 145 FT OF S 402 FT*	43,750 SF	5515 SF	64' - 0"
5	7851 REVELLE DR LA JOLLA, CA. 92037-3538	LOT 1290*ELY 300 OF WLY 325 FT OF NLY 127 OF SLY 257 FT OF	38,932 SF	3758 SF	94' - 0"

Average = 62.81



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#	ADDRESS	LEGAL DESCRIPTION	LOT SIZE (+/-)	TOTAL LIVING AREA	SIDE YARD SETBACK
4	7849 REVELLE DR LA JOLLA, CA, 92037-3538	LOT 1290°E 300 FT OF W 325 FT OF N 145 FT OF S 402 FT*	43,750 SF	5515 SF	0'
9	7835 LA JOLLA VISTA DR LA JOLLA, CA, 92037-3531	LOT 1290°E 200 FT OF W 575.5 FT OF N 100 FT OF S 500 FT*	19,721 SF	3517 SF	0'
11	7856 REVELLE DR LA JOLLA, CA, 92037-3537	LOT 1*	20,753 SF	4636 SF	2'-0"
5	7851 REVELLE DR LA JOLLA, CA, 92037-3538	LOT 1290°ELY 300 OF WLY 325 FT OF NLY 127 OF SLY 257 FT OF	38,932 SF	3758 SF	3'-0"
6	7867 LA JOLLA VISTA DR LA JOLLA, CA, 92037-3531	LOT 14*	19,966 SF	4093 SF	3'-0"
7	7855 LA JOLLA VISTA DR LA JOLLA, CA, 92037-3531	LOT 15*	20,202 SF	4326 SF	9'-0"
2	7866 LA JOLLA VISTA DR LA JOLLA, CA, 92037-3530	LOT 16*	20,378 SF	3590 SF	9'-6"
9	7835 LA JOLLA VISTA DR LA JOLLA, CA, 92037-3531	LOT 1290°E 200 FT OF W 575.5 FT OF N 100 FT OF S 500 FT*	19,721 SF	3517 SF	11'-0"
1	7855 REVELLE DR LA JOLLA, CA, 92037-3538	LOT 17*	21,452 SF	5529 SF	11'-0"
5	7851 REVELLE DR LA JOLLA, CA, 92037-3538	LOT 1290°ELY 300 OF WLY 325 FT OF NLY 127 OF SLY 257 FT OF	38,932 SF	3758 SF	12'-0"
6	7867 LA JOLLA VISTA DR LA JOLLA, CA, 92037-3531	LOT 14*	19,966 SF	4093 SF	12'-0"
8	7845 LA JOLLA VISTA DR LA JOLLA, CA, 92037-3531	LOT 1290°E 200 FT OF W 575.5 FT OF N 100 FT OF S 600 FT*	20,800 SF	3200 SF	12'-6"
3	7856 LA JOLLA VISTA DR LA JOLLA, CA, 92037-3530	LOT 1290°WLY 325 FT OF NLY 200 FT OF SLY 602 FT OF	66,618 SF	3842 SF	4'-0" (required)* 49'-8" (north proposed) 13'-8" (south proposed) 32'-6" (north existing) 61'-10" (south existing)
10	7819 LA JOLLA VISTA DR LA JOLLA, CA, 92037-3531	LOT 1290°E 200 FT OF W 575.5 FT OF N 200 FT OF S 400 FT*	39,062 SF	5498 SF	13'-0"
1	7855 REVELLE DR LA JOLLA, CA, 92037-3538	LOT 17*	21,452 SF	5529 SF	13'-6"
8	7845 LA JOLLA VISTA DR LA JOLLA, CA, 92037-3531	LOT 1290°E 200 FT OF W 575.5 FT OF N 100 FT OF S 600 FT*	20,800 SF	3200 SF	15'-6"
4	7849 REVELLE DR LA JOLLA, CA, 92037-3538	LOT 1290°E 300 FT OF W 325 FT OF N 145 FT OF S 402 FT*	43,750 SF	5515 SF	20'-8"
2	7866 LA JOLLA VISTA DR LA JOLLA, CA, 92037-3530	LOT 16*	20,378 SF	3590 SF	26'-0"
11	7856 REVELLE DR LA JOLLA, CA, 92037-3537	LOT 1*	20,753 SF	4636 SF	28'-0"
10	7819 LA JOLLA VISTA DR LA JOLLA, CA, 92037-3531	LOT 1290°E 200 FT OF W 575.5 FT OF N 200 FT OF S 400 FT*	39,062 SF	5498 SF	35'-6"

Average = 15.79



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LOT RADIUS WITHIN 300 FEET



MARENGO MORTON ARCHITECTS, INC.

7724 Girard Ave, Ste 200, La Jolla, CA 92037

Ph: 858-459-3769, Fax: 858-459-3768



Lot Size: 39,062
Gross Area: 5498
Side Setback: 35'-6"
Side Setback: 13'-0"

7819 La Jolla Vista



Lot Size: 19,721
Gross Area: 3517
Side Setback: 11'-0"
Side Setback: 0'-0"

7835 La Jolla Vista



MARENGO MORTON ARCHITECTS, INC.

7724 Girard Ave, Ste 200, La Jolla, CA 92037

Ph: 858-459-3769, Fax: 858-459-3768



Lot Size: 20,800
Gross Area: 3200
Side Setback: 12'-6"
Side Setback: 15'-6"

7845 La Jolla Vista



Lot Size: 20,202
Gross Area: 4326
Front Setback: 9'-6"
Side Setback: 9'-0"

7855 La Jolla Vista



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7724 Girard Ave, Ste 200, La Jolla, CA 92037

Ph: 858-459-3769, Fax: 858-459-3768



Lot Size: 19,966
Gross Area: 4093
Front Setback: 26'-0"
Side Setback: 12'-0"
Side Setback: 3'-0"

7867 La Jolla Vista



Lot Size: 20,378
Gross Area: 3590
Front Setback: 26'-0"
Side Setback: 9'-6"
Side Setback: 26'-0"
Rear Setback: 50'-0"

7866 La Jolla Vista



MARENGO MORTON ARCHITECTS, INC.

7724 Girard Ave, Ste 200, La Jolla, CA 92037

Ph: 858-459-3769, Fax: 858-459-3768



Lot Size: 21,452
Gross Area: 5529
Front Setback: 17'-0"
Side Setback: 13'-6"
Side Setback: 11'-0"
Rear Setback: 42'-0"

7855 Revelle



Lot Size: 20,753
Gross Area: 4636
Front Setback: 30'-6"
Side Setback: 2'-0"
Side Setback: 28'-0"
Rear Setback: 65'-0"

7856 Revelle Dr



MARENGO MORTON ARCHITECTS, INC.

7724 Girard Ave, Ste 200, La Jolla, CA 92037

Ph: 858-459-3769, Fax: 858-459-3768



Lot Size: 43,750
Gross Area: 5515
Front Setback: 119'-0"
Side Setback: 20'-6"
Side Setback: 0'-0"
Rear Setback: 64'-0"

7849 Revelle



Lot Size: 38,932
Gross Area: 3758
Front Setback: 138'-0"
Side Setback: 12'-0"
Side Setback: 3'-0"
Rear Setback: 94'-0"

7851 Revelle



MARENGO MORTON ARCHITECTS, INC.

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Ph: 858-459-3769, Fax: 858-459-3768



7858 La Jolla Vista Drive – Existing Property – View from Driveway



7858 La Jolla Vista Drive – Existing Property – View from Revelle Drive

PROJECT SUMMARY

City of San Diego Minor Project / Site Developer

PRJ-705977

January 4, 2024

Zoning	Site Requirement	Allowed / Required		Proposed		Percentage/ Conforms
Zone	<i>LJSPD-SF</i>	Single Family		Single Family + ADU		Conforms to SDMC + LJSPDO
Overlay Zone	Airport Influence Area (AIA), Coastal Height Limit Overlay Zone, Coastal City, Impact Parking					
Area of Site		65,034	SF	65,034	SF	Conforms
Number of Units		1		1+1 ADU		Conforms
Number of Story's		1		1		Conforms
Allowable Hardscape Coverage Area:	50%	32,517.00	SF	22,516.0	SF	35%
Allowable FAR - Gross Floor Area-Habitable	45%	29,265.30	SF	5,473.0	SF	18.7%
Allowable Non - Habitable Area	45%	29,265.30	SF	543.0	SF	Total 5,473 SF - Conforms
Allowable FAR - Gross Floor Area- Non-Habitable		-997.00	SF	625.0	SF	Detached Accessory Garage-Conforms
Allowable Site Landscape Coverage Area:	30%	19,510.2	SF	42,527	SF	65.4%
Allowable ADU Area:		1,200.0	SF	515	SF	Conforms for ADU
Parking						
Number of Parking Spaces		2		4		9'-0" x 18'-0" - Conforms
Number of Standard Parking Spaces		2		2		9' x 18'-0" - Conforms
Number of Guest Spaces	In Driveway	0		2		9' x 18'-0" - Conforms
Driveway Length to Sidewalk		20'-0"		42'		Conforms
Unit Size						
First Floor Area - 4 Bedrooms & 4 1/2 Bath		29,265.30	SF	4,884	SF	Conforms for Main House
Garage Area - 1 Cars		400	SF	543	SF	Conforms for ADU
New Site Hardscape Coverage Area:	50%	32,517.00	SF	42,527.0	SF	Conforms
Building Height - 1 Story		30'-0"		14'- 4 1/2"		Conforms to Height Max. 30'
Setbacks						
Front Yard (Revelle Drive)		76' - 10"	Ft.	191'-3 1/2"	Ft.	Conforms
Side Yard - North		15' - 9.5"	Ft.	49' - 8"	Ft.	Conforms
Side Yard - South		15' - 9.5"	Ft.	13' - 8"	Ft.	97% Conforms as Home is Angled to PL @ 3%
Rear Yard (La Jolla Vista Drive)		42'-0"	Ft.	43'-0"	Ft.	Conforms
ADU - Rear Yard (La Jolla Vista Drive)		4'-0"	Ft.	11'-3 1/2"	Ft.	Conforms to new ADU City Ordinance
Climate Action Plan						
Roof Mounted Photovoltaic Panels	Recommended			15		Conforms
Energy Efficient Lighting - LED	Recommended			All Fixtures LED		Conforms
Low Water Usage Plumbing Fixtures	Recommended			All Low Water Usage		Conforms
Low Water Usage Landscape & Irrigation	Recommended			All Low Water Usage		Conforms
Program						
Main House - 4 Bed & 4-1/2 Bath				4,884.00	SF	Conforms for Main House
ADU - 2 Bed & 1 Bath				515.00	SF	Conforms for ADU

PROJECT ADDRESS 7856 LA JOLLA VISTA DRIVE
LA JOLLA, CA 92037

PROJECT DESCRIPTION: 1) RENOVATION OF EXISTING SINGLE-STORY, SINGLE-FAMILY RESIDENCE
2) ADDITION TO EXISTING SINGLE-STORY SINGLE-FAMILY RESIDENCE
3) NEW DETACHED ADU

ASSESSOR'S PARCEL NUMBER: 346-742-11-00

ZONE: LA JOLLA SHORES PLANNED DISTRICT - SINGLE FAMILY ZONE (LJSPD-SF)

HEIGHT LIMIT: 30' - 0" (PER COASTAL HEIGHT LIMIT OVERLAY ZONE)

LOT SIZE: 65,043 (PER SURVEY)

CONSTRUCTION TYPE: V-B

PROPOSED SETBACKS:	REQUIRED	EXISTING	PROPOSED
FRONT YARD:	11' - 2"	193' - 4 1/2"	191' - 3 1/2"
SIDE YARD (NORTH):	4' - 0"	32' - 8"	49' - 8"
SIDE YARD (SOUTH):	4' - 0"	61' - 10"	13' - 8"
REAR YARD:	42' - 0"	16' - 11 1/2"	43' - 0"

FLOOR AREA RATIO (FAR) CALCULATION:

MAXIMUM FLOOR AREA RATIO: 45% OF LOT AREA
LOT AREA: 65,043 SF

MAXIMUM FAR: $65,043 / 45\% =$
29,289.33 SF

GROSS FLOOR AREA

MAIN HOUSE: 5,426 SF
ADU: 515 SF
COVERED EXTERIOR: 2,532 SF

TOTAL: 8,473 SF

8,473 SF / 65,043 SF = 13% FLOOR AREA RATIO
CURRENT FAR COMPLIES

LOT COVERAGE CALCULATION:

MAXIMUM LOT COVERAGE: 60% OF LOT AREA
LOT AREA: 65,043 SF

MAXIMUM ALLOWABLE COVERAGE: **39,025.8 SF**

TOTAL LOT COVERAGE: 8,519 SF

8,519 SF / 65,043 SF = 13% TOTAL LOT COVERAGE
CURRENT LOT COVERAGE COMPLIES

LANDSCAPE COVERAGE CALCULATION:

MINIMUM LANDSCAPE COVERAGE: 30% OF LOT AREA
LOT AREA: 65,043 SF

MINIMUM LANDSCAPE COVERAGE: **19,513 SF**

HARDSCAPE COVERAGE: 13,997 SF
ROOF AREA: 8,519 SF

LANDSCAPE COVERAGE: $13,997 \text{ SF} + 8,519 \text{ SF} - 65,043 \text{ SF} =$
42,527 SF

42,527 SF / 65,043 SF = 65% OF TOTAL LOT AREA
CURRENT LANDSCAPE COVERAGE COMPLIES

APPLICABLE CODES:

CALIFORNIA BUILDING CODE (CBC), 2019 EDITION
CALIFORNIA RESIDENTIAL CODE (CRC), 2019 EDITION
NATIONAL ELECTRIC CODE (NEC), 2019 EDITION
CALIFORNIA MECHANICAL CODE (CMC), 2019 EDITION
CALIFORNIA PLUMBING CODE (CPC), 2019 EDITION
CITY OF SAN DIEGO MUNICIPAL CODE (CSDMC), 2019 EDITION

01 - ARCHITECTURAL	
A0.01	TITLE SHEET
A0.40	TOPOGRAPHIC SURVEY
A0.50	SETBACK DIAGRAM
A0.51	AREA DIAGRAM - EXISTING & PROPOSED
A0.52	FLOOR AREA RATIO & LOT COVERAGE
A0.53	LANDSCAPE & HARDSCAPE DIAGRAM
A0.60	AGENCY NOTES
A1.00	DEMOLITION SITE PLAN
A1.10	OVERALL SITE PLAN - PROPOSED
A1.20	SITE SECTIONS
A1.21	SITE SECTIONS
A2.00	DEMOLITION PLAN - LEVEL 1
A2.01	DEMOLITION PLAN - ROOF
A2.20	FLOOR PLAN - LEVEL 1
A2.21	ROOF PLAN
A3.00	EXTERIOR ELEVATIONS - EXISTING
A3.01	EXTERIOR ELEVATIONS - EXISTING
A3.10	EXTERIOR ELEVATIONS - PROPOSED
A3.11	EXTERIOR ELEVATIONS - PROPOSED

PROJECT INFORMATION 19

ARCHITECT:
WOODS+DANGARAN
5059 PICO BLVD
LOS ANGELES, CA 90019
323.272.3329

OWNER:
HEME VC PROPERTY LLC
7856 LA JOLLA VISTA DR
LA JOLLA, CA 92037

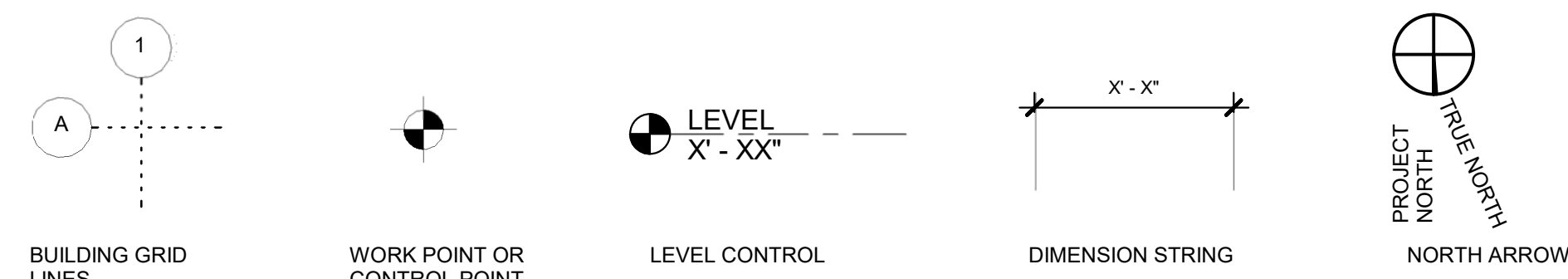
SOILS ENGINEER:
ACS SERVICES LLC
2235 WEST BROADWAY ROAD
MESA, AZ 85202
480.968.0190

SURVEYOR:
ETCHEVERRY LAND SURVEYING
P.O. BOX 2701
COTTONWOOD, AZ 86326
928.239.9525

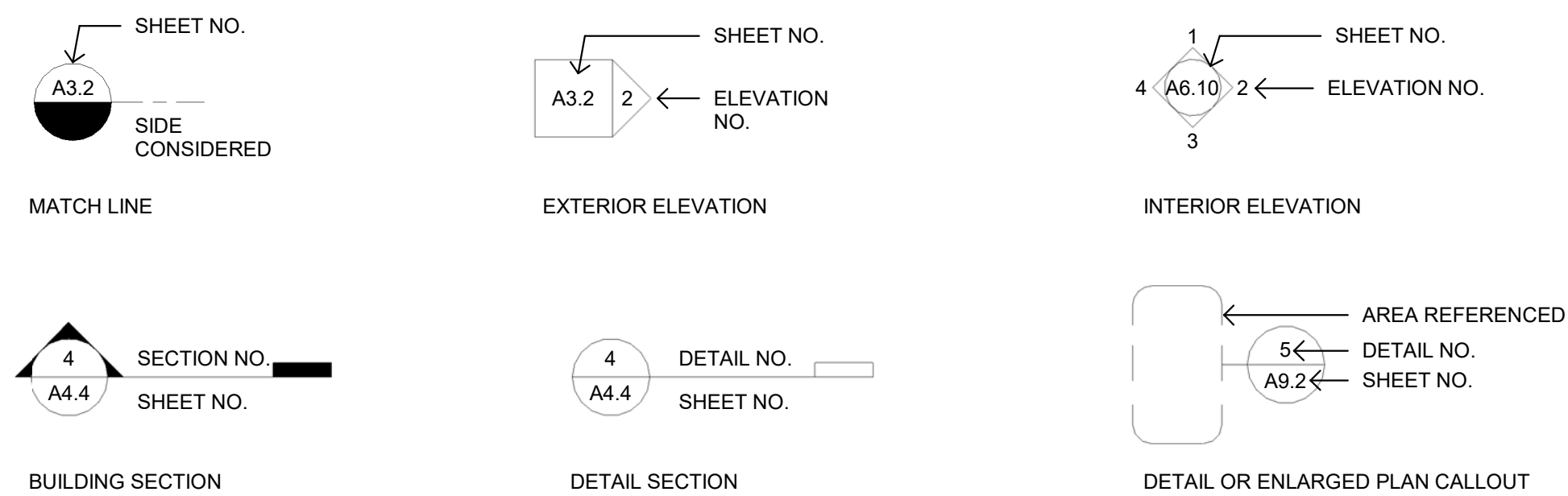
STRUCTURAL & CIVIL ENGINEER:
LFA
319 MAIN STREET,
EL SEGUNDO, CA 90245
213.239.9700

LANDSCAPE ARCHITECT:
CHRIS SOSA
8531 SANTA MONICA BOULEVARD,
WEST HOLLYWOOD, CA 90069
415.310.5770

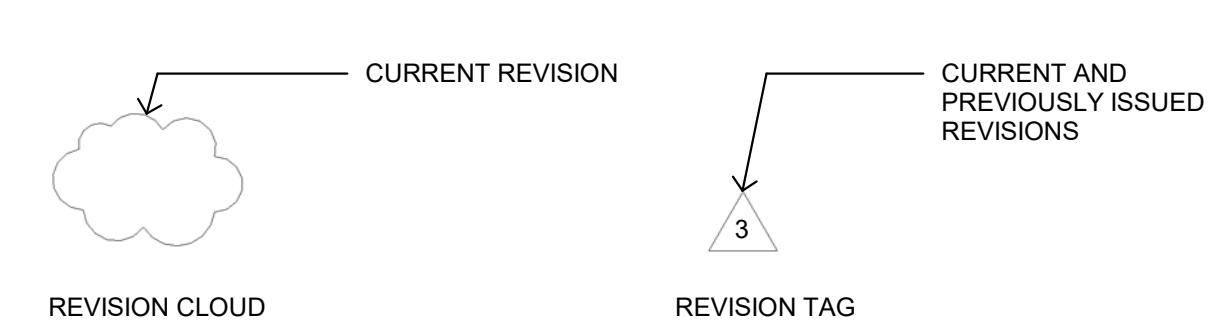
MEP & TITLE 24 ENGINEER:
K2D
13465 BEACH AVE. SUITE B,
MARINA DEL REY, CA 90292
310.935.3773



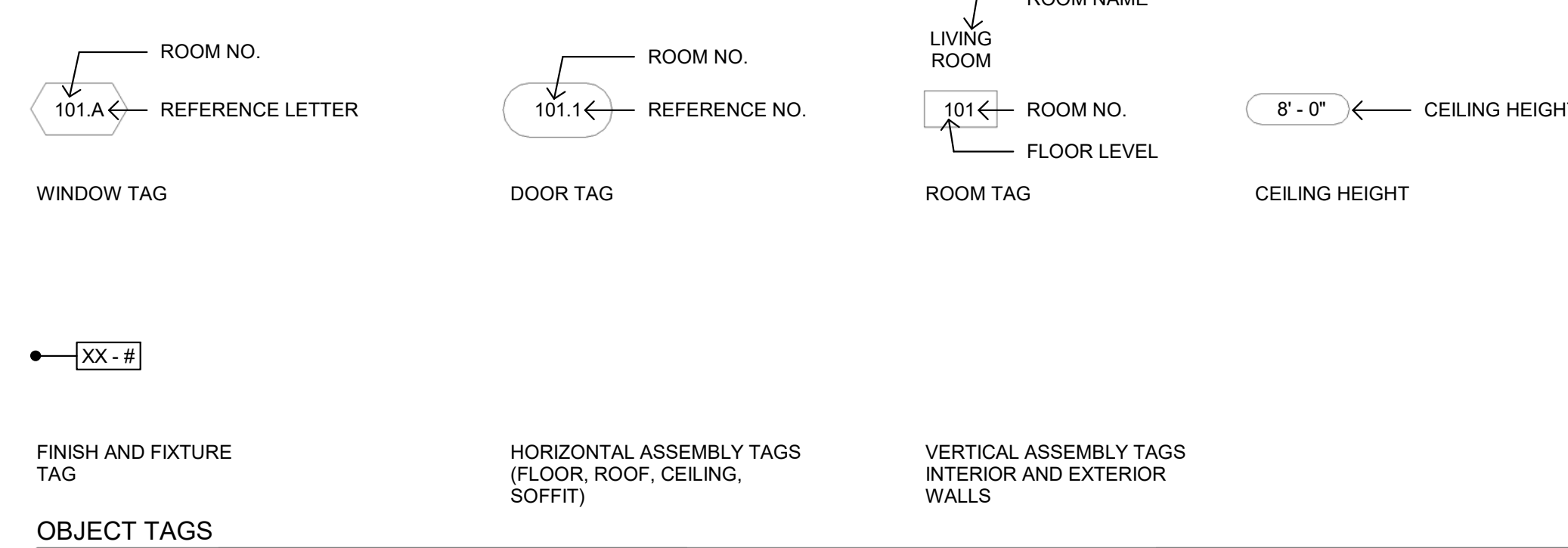
HORIZONTAL / VERTICAL CONTROL AND ORIENTATION



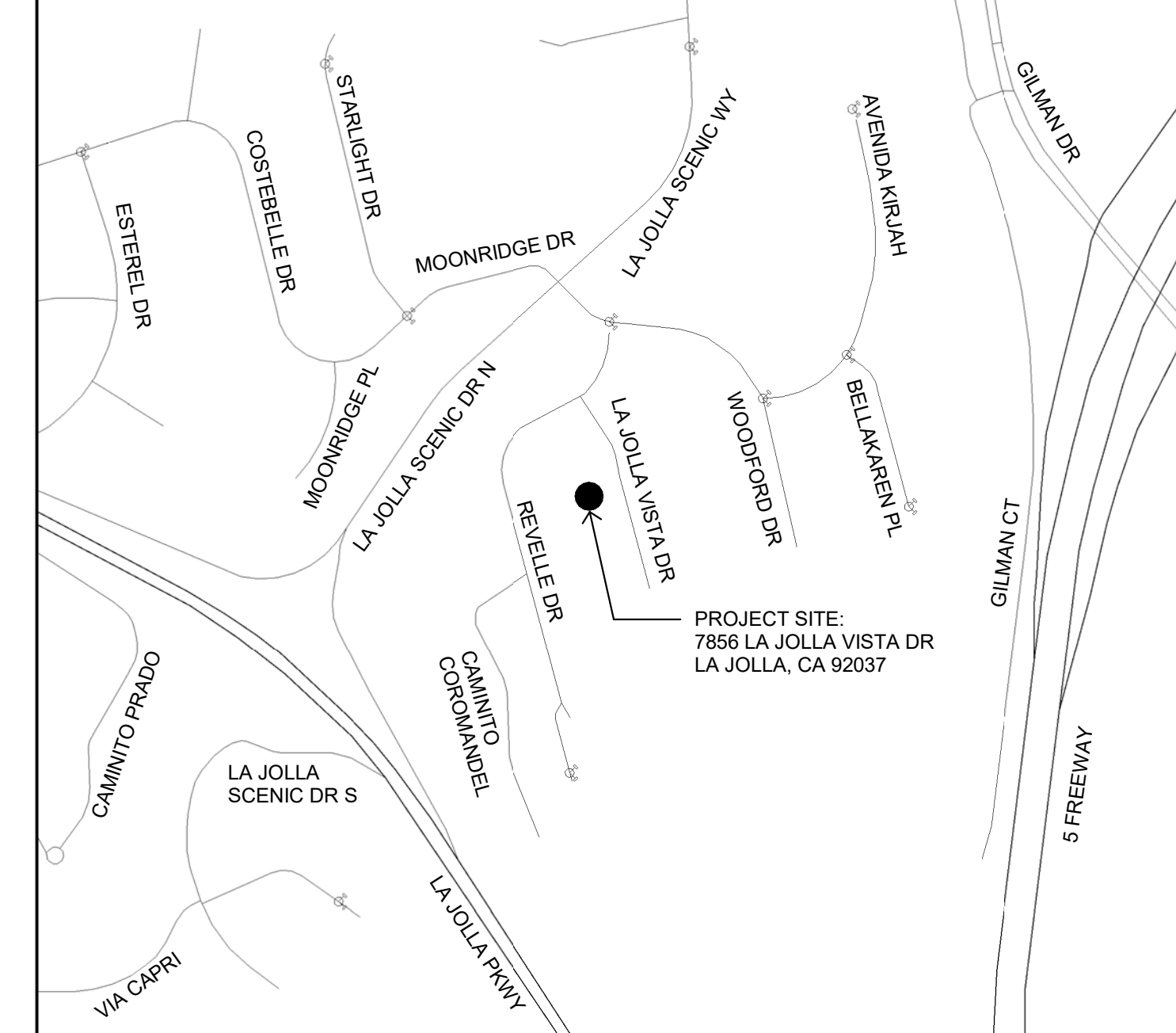
DRAWING REFERENCE



REVISIONS



OBJECT TAGS



SHEET INDEX 3

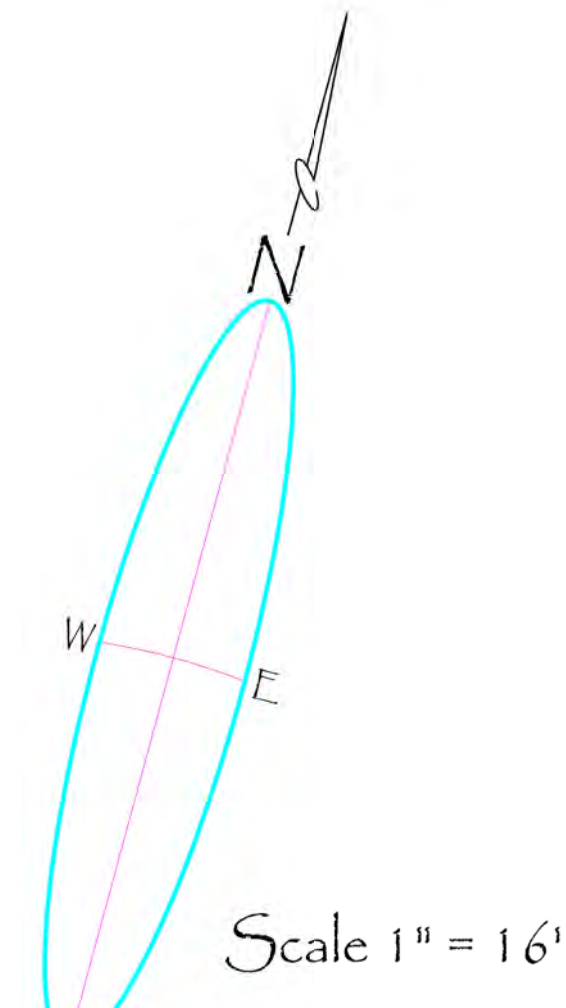
PROJECT DIRECTORY 20

PROJECT SYMBOLS 8

VICINITY MAP 4

Topography Survey

Formula To Determine Slope Density:
 $S = (I \times L) / 100 / A \times 43,560$
 $S = (2 \times 3746.7) / 100 / (1.4929 \times 43,560)$
 $S = 749,340 / 65,034$
 Slope Density = 11.52%



- Legend:**
- BS - Bottom of Board
 - BS - Bottom of Step
 - BV - Bottom of Vertical
 - BW - Bottom of Wall
 - FF - Finished Floor
 - FL - Flowline
 - FS - Finished Surface
 - GR - Ground
 - RF - Roof
 - TS - Top of Board
 - TC - Top of Curb
 - TH - Threshold
 - TS - Top of Step
 - TV - Top of Vertical
 - TW - Top of Wall

These plans are instruments of service and the property of NorthLake Land Surveying, Inc. All information contained on these drawings is for use on this specified project. If plans are provided in an electronic format (computer disk, compact disk or via e-mail, etc.) as a courtesy to our client, the delivery of electronic files does not constitute the delivery of our professional work product. Only paper prints signed by a licensed surveyor employed by NorthLake Land Surveying, Inc. constitute our professional work product. NorthLake Land Surveying, Inc. shall not be responsible for any modifications made to the electronic files, or for any products derived from electronic files which are not reviewed and signed by a licensed surveyor employed by NorthLake Land Surveying, Inc.

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- Notes:**
1. Boundary information is from Tract Map and legal description that was received for this property.
 2. Easements are shown per Certificate of Survey no. PS-1634. No title report was received for this property. All easements may not be shown.
 3. Parcel numbers are per Grant Deed 2022-0400220
 4. Tree drip lines are not to scale.

Legal Description: A portion of Lot 1290 of the Pueblo Lands of San Diego, Miscellaneous Map No. 36 as shown on Certificate of Survey PS-1634.

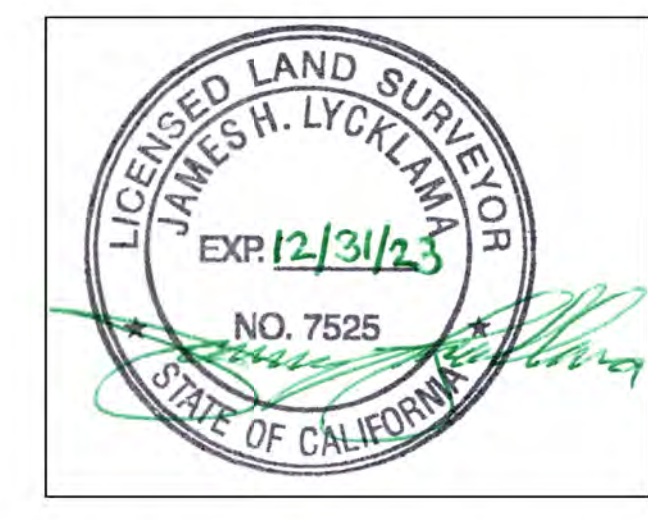
Bench Mark: The elevations shown hereon are per SDG & E Plan and Profile Map TL 673 drawing sheet 31 of 43 based on NAVD88 datum on 2.5" Caltrans Brass Disk in Concrete Walk. E.L.=799.51

Boundary: Record information adjusted to found survey monuments, as shown hereon.

Date of Survey: February 1, 2023

Site Address: 7856 La Jolla Vista Drive, La Jolla

Area: 65,034 square feet, 1.49 acres



Plan Prepared For:
Daniel Coppel
Belén Escalante

Plan Prepared By:
NorthLake Land Surveying, Inc.
32218 N. Big Oak Lane
Castaic, CA 91384
(661) 775-9130
James Lycklama, LS 7525

Job #010923



300' RADIUS SETBACK DIAGRAM 5

#	ADDRESS	LEGAL DESCRIPTION	LOT SIZE (+/-)	TOTAL LIVING AREA	FRONT YARD SETBACK
7	7855 LA JOLLA VISTA DR LA JOLLA, CA, 92037-3531	LOT 15*	20,202 SF	4326 SF	9' - 0"
3	7856 LA JOLLA VISTA DR LA JOLLA, CA, 92037-3530	LOT 1290°WLY 325 FT OF NLY 200 FT OF SLY 602 FT OF	66,618 SF	3842 SF	11' - 2" (required) 19' - 3 1/2" (proposed) 19' - 4 1/2" (existing)
1	7855 REVELLE DR LA JOLLA, CA, 92037-3538	LOT 17*	21,452 SF	5529 SF	17' - 0"
2	7866 LA JOLLA VISTA DR LA JOLLA, CA, 92037-3530	LOT 16*	20,378 SF	3590 SF	26' - 0"
6	7867 LA JOLLA VISTA DR LA JOLLA, CA, 92037-3531	LOT 14*	19,966 SF	4093 SF	26' - 0"
11	7856 REVELLE DR LA JOLLA, CA, 92037-3537	LOT 1*	20,753 SF	4636 SF	30' - 6"
4	7849 REVELLE DR LA JOLLA, CA, 92037-3538	LOT 1290°E 300 FT OF W 325 FT OF NLY 145 FT OF S 402 FT*	43,750 SF	5515 SF	64' - 0"
5	7851 REVELLE DR LA JOLLA, CA, 92037-3538	LOT 1290°ELY 300 OF WLY 325 FT OF NLY 127 OF SLY 257 FT OR	38,932 SF	3758 SF	94' - 0"
4	7849 REVELLE DR LA JOLLA, CA, 92037-3538	LOT 1290°E 300 FT OF W 325 FT OF NLY 145 FT OF S 402 FT*	43,750 SF	5515 SF	119' - 0"
5	7851 REVELLE DR LA JOLLA, CA, 92037-3538	LOT 1290°ELY 300 OF WLY 325 FT OF NLY 127 OF SLY 257 FT OR	38,932 SF	3758 SF	138' - 0"

* Reviewed by CSD Planning
Average = 76.82

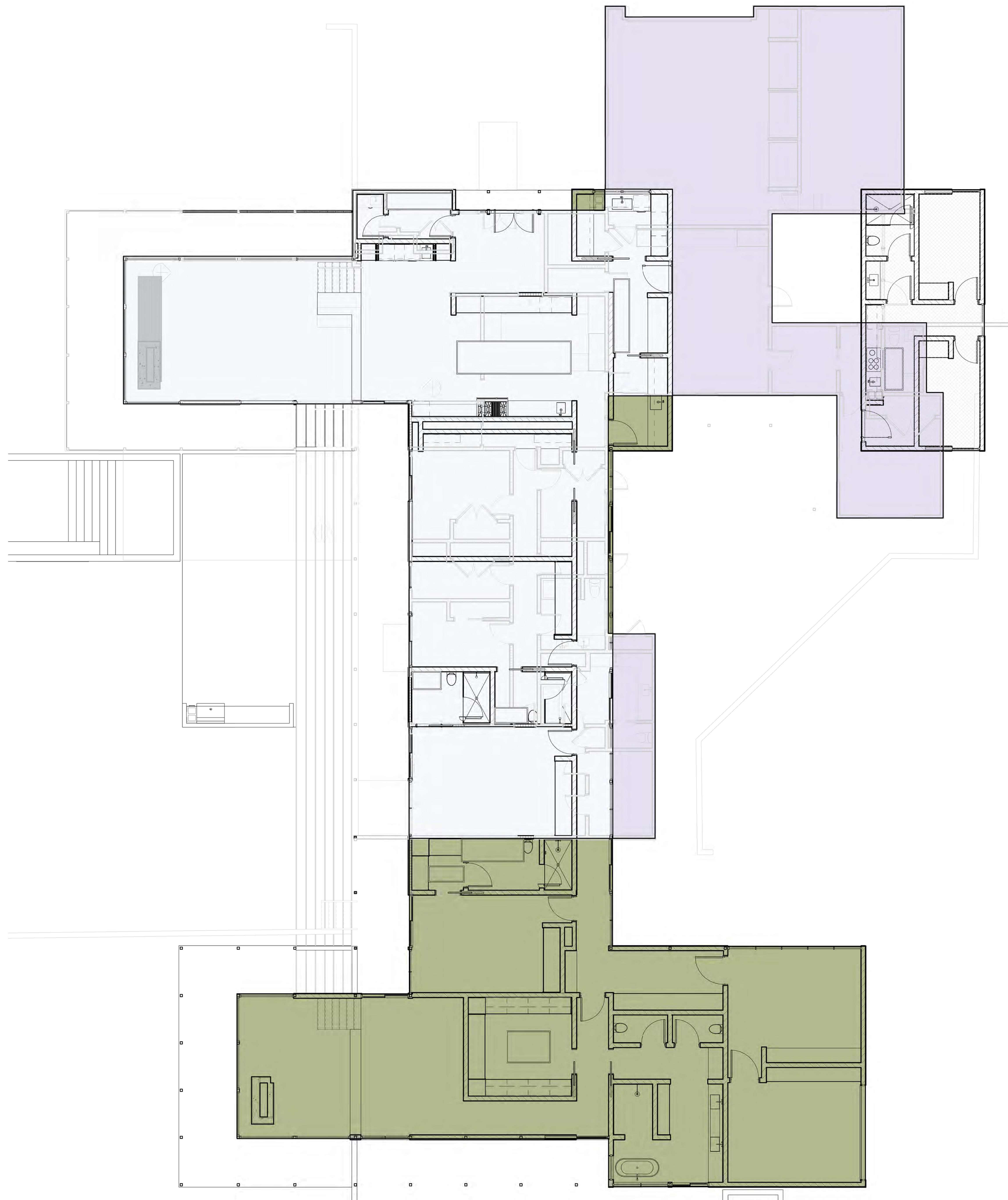
#	ADDRESS	LEGAL DESCRIPTION	LOT SIZE (+/-)	TOTAL LIVING AREA	REAR YARD SETBACK
1	7855 REVELLE DR LA JOLLA, CA, 92037-3538	LOT 17*	21,452 SF	5529 SF	42' - 0"
3	7856 LA JOLLA VISTA DR LA JOLLA, CA, 92037-3530	LOT 1290°WLY 325 FT OF NLY 200 FT OF SLY 602 FT OF	66,618 SF	3842 SF	42' - 0" (required) 43' - 0" (proposed) 16' - 11 1/2" (existing)
2	7866 LA JOLLA VISTA DR LA JOLLA, CA, 92037-3530	LOT 16*	20,378 SF	3590 SF	50' - 0"
11	7856 REVELLE DR LA JOLLA, CA, 92037-3537	LOT 1*	20,753 SF	4636 SF	65' - 0"
7	7855 LA JOLLA VISTA DR LA JOLLA, CA, 92037-3531	LOT 15*	20,202 SF	4326 SF	76' - 0"
6	7867 LA JOLLA VISTA DR LA JOLLA, CA, 92037-3531	LOT 14*	19,966 SF	4093 SF	94' - 6"
4	7849 REVELLE DR LA JOLLA, CA, 92037-3538	LOT 1290°E 300 FT OF W 325 FT OF NLY 145 FT OF S 402 FT*	43,750 SF	5515 SF	64' - 0"
5	7851 REVELLE DR LA JOLLA, CA, 92037-3538	LOT 1290°ELY 300 OF WLY 325 FT OF NLY 127 OF SLY 257 FT OR	38,932 SF	3758 SF	94' - 0"

Average = 62.81

#	ADDRESS	LEGAL DESCRIPTION	LOT SIZE (+/-)	TOTAL LIVING AREA	SIDE YARD SETBACK
4	7849 REVELLE DR LA JOLLA, CA, 92037-3538	LOT 1290°E 300 FT OF W 325 FT OF NLY 145 FT OF S 402 FT*	43,750 SF	5515 SF	0'
9	7835 LA JOLLA VISTA DR LA JOLLA, CA, 92037-3531	LOT 1290°E 200 FT OF W 575.5 FT OF N 100 FT OF S 500 FT*	19,721 SF	3517 SF	0'
11	7856 REVELLE DR LA JOLLA, CA, 92037-3537	LOT 1*	20,753 SF	4636 SF	2' - 0"
5	7851 REVELLE DR LA JOLLA, CA, 92037-3538	LOT 1290°ELY 300 OF WLY 325 FT OF NLY 127 OF SLY 257 FT OR	38,932 SF	3758 SF	3' - 0"
6	7867 LA JOLLA VISTA DR LA JOLLA, CA, 92037-3531	LOT 14*	19,966 SF	4093 SF	3' - 0"
7	7855 LA JOLLA VISTA DR LA JOLLA, CA, 92037-3531	LOT 15*	20,202 SF	4326 SF	9' - 0"
2	7866 LA JOLLA VISTA DR LA JOLLA, CA, 92037-3530	LOT 16*	20,378 SF	3590 SF	9' - 6"
9	7835 LA JOLLA VISTA DR LA JOLLA, CA, 92037-3531	LOT 1290°E 200 FT OF W 575.5 FT OF N 100 FT OF S 500 FT*	19,721 SF	3517 SF	11' - 0"
1	7855 REVELLE DR LA JOLLA, CA, 92037-3537	LOT 1*	21,452 SF	5529 SF	11' - 0"
5	7851 REVELLE DR LA JOLLA, CA, 92037-3538	LOT 1290°ELY 300 OF WLY 325 FT OF NLY 127 OF SLY 257 FT OR	38,932 SF	3758 SF	12' - 0"
6	7867 LA JOLLA VISTA DR LA JOLLA, CA, 92037-3531	LOT 14*	19,966 SF	4093 SF	12' - 0"
8	7845 LA JOLLA VISTA DR LA JOLLA, CA, 92037-3531	LOT 1290°E 200 FT OF W 575.5 FT OF N 100 FT OF S 600 FT*	20,800 SF	3200 SF	12' - 6"
3	7856 LA JOLLA VISTA DR LA JOLLA, CA, 92037-3530	LOT 1290°WLY 325 FT OF NLY 200 FT OF SLY 602 FT OF	66,618 SF	3842 SF	4' - 0" (required) 49' - 8" (north proposed) 13' - 8" (south proposed) 32' - 8" (north existing) 61' - 10" (south existing)
10	7819 LA JOLLA VISTA DR LA JOLLA, CA, 92037-3531	LOT 1290°E 200 FT OF W 575.5 FT OF N 200 FT OF S 400 FT*	39,062 SF	5498 SF	13' - 0"
1	7855 REVELLE DR LA JOLLA, CA, 92037-3537	LOT 17*	21,452 SF	5529 SF	13' - 6"
8	7845 LA JOLLA VISTA DR LA JOLLA, CA, 92037-3531	LOT 1290°E 200 FT OF W 575.5 FT OF N 100 FT OF S 600 FT*	20,800 SF	3200 SF	15' - 6"
4	7849 REVELLE DR LA JOLLA, CA, 92037-3538	LOT 1290°E 300 FT OF W 325 FT OF NLY 145 FT OF S 402 FT*	43,750 SF	5515 SF	20' - 6"
2	7866 LA JOLLA VISTA DR LA JOLLA, CA, 92037-3530	LOT 16*	20,378 SF	3590 SF	26' - 0"
11	7856 REVELLE DR LA JOLLA, CA, 92037-3537	LOT 1*	20,753 SF	4636 SF	28' - 0"
10	7819 LA JOLLA VISTA DR LA JOLLA, CA, 92037-3531	LOT 1290°E 200 FT OF W 575.5 FT OF N 200 FT OF S 400 FT*	39,062 SF	5498 SF	35' - 6"

Average = 15.79

SETBACK MATRIX 5

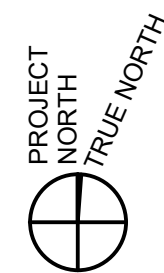
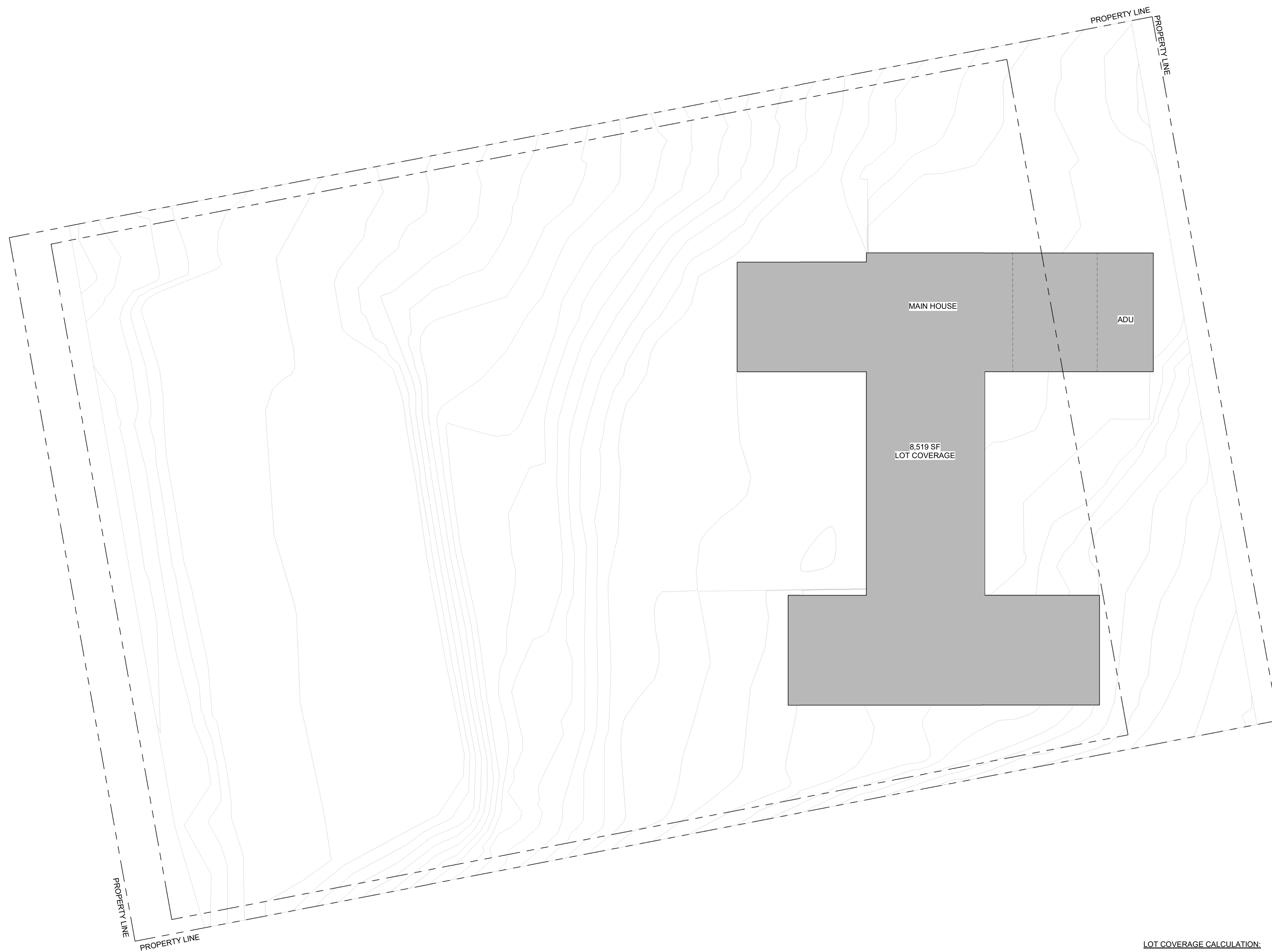


- (E) TO BE DEMOLISHED: 1,765 SF
- (N) ADDITION: 2,439 SF
- (E) TO BE REMODELED: 2,985 SF
- ADU: 514 SF

NET SF GAIN:
(E) TO BE DEMOLISHED: 1,765 SF
(N) ADDITION: 2,439 SF
 $2,439 - 1,765 = 674$ SF

TOTAL AREA:
MAIN HOUSE: 3,659 SF
(E) TO BE REMODELED: 2,985 SF
NET SF GAIN: 674 SF
 $2,985 + 674 = 3,659$ SF (MAIN HOUSE)

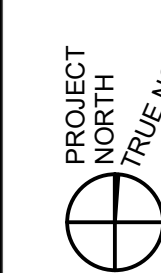
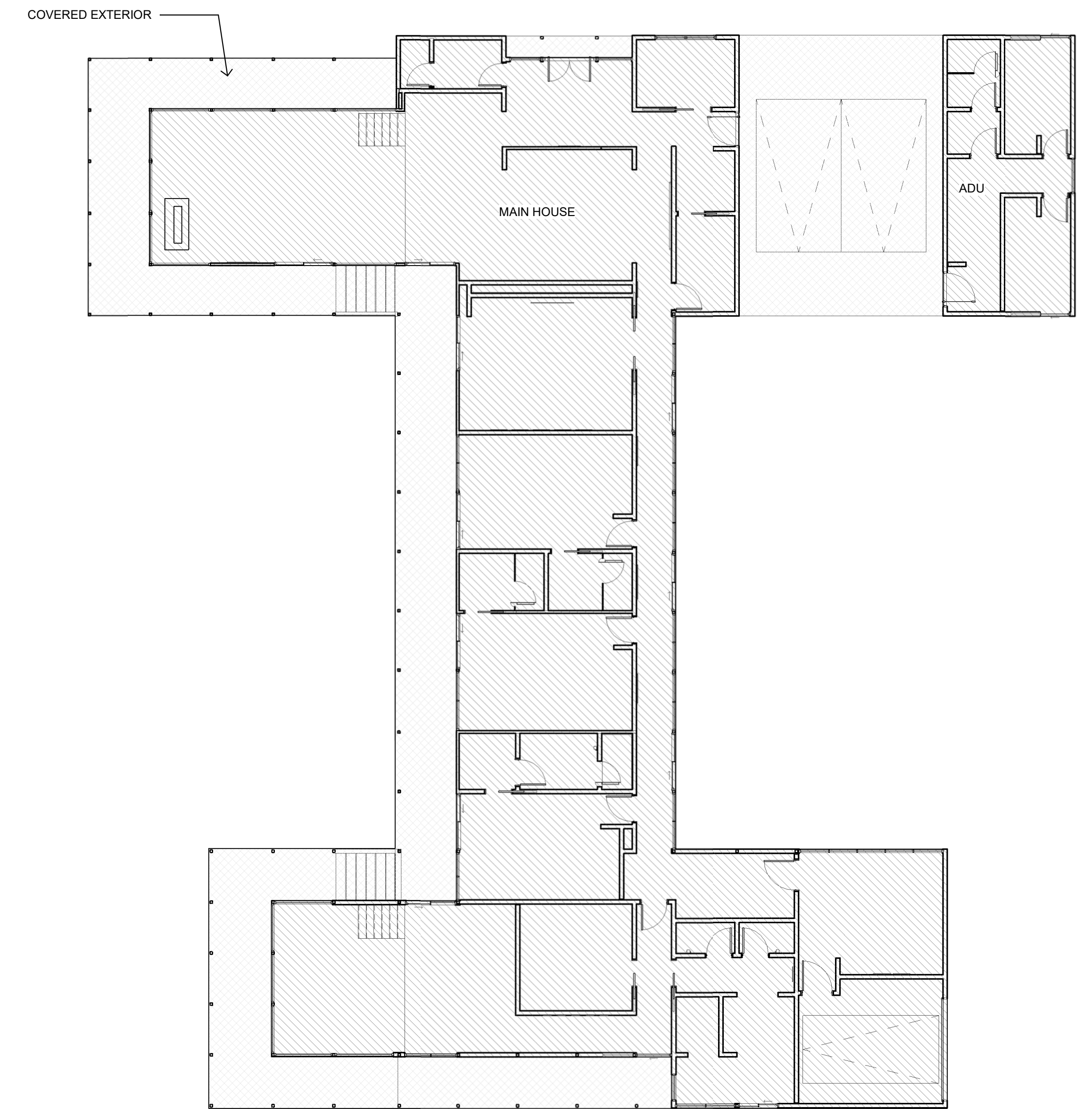
ADU: 514 SF



LOT COVERAGE CALCULATION:
 MAXIMUM LOT COVERAGE: 60% OF LOT AREA
 LOT AREA: 65,043 SF
 MAXIMUM ALLOWABLE COVERAGE: **39,025.8 SF**
 TOTAL LOT COVERAGE: **8,519 SF**
 8,519 SF / 65,043 SF = 13% TOTAL LOT COVERAGE
CURRENT LOT COVERAGE COMPLIES

LOT COVERAGE DIAGRAM
 1/16" = 1'-0"

11

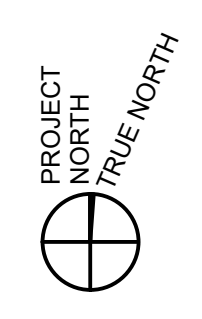
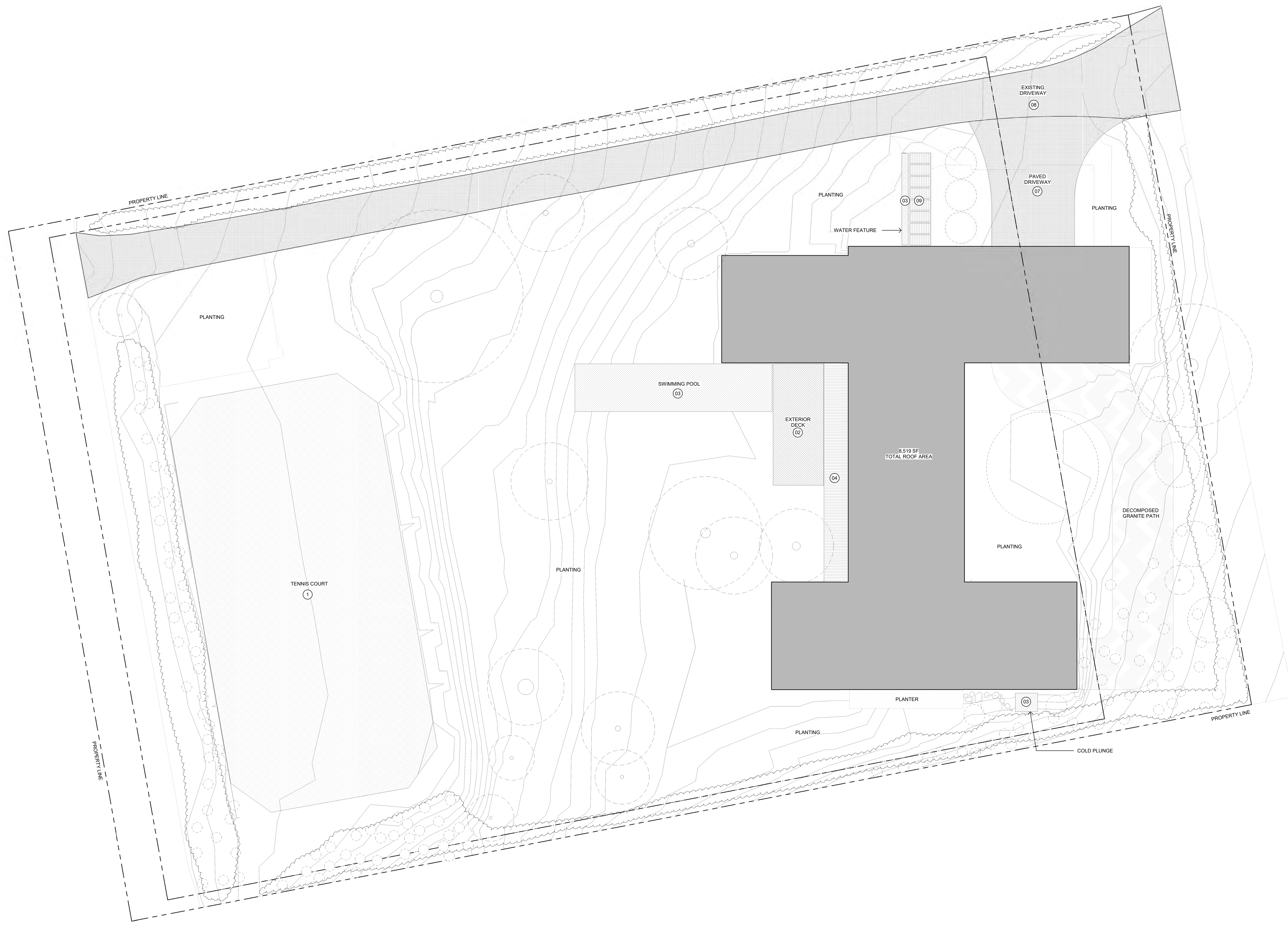


▨ INTERIOR FLOOR AREA
 □ COVERED EXTERIOR

FLOOR AREA RATIO (FAR) CALCULATION:
 MAXIMUM FLOOR AREA RATIO: 45% OF LOT AREA
 LOT AREA: 65,043 SF
 MAXIMUM FAR: $65,043 / 45\% =$ **29,293.33 SF**
GROSS FLOOR AREA
 MAIN HOUSE: 5,426 SF
 ADU: 515 SF
 COVERED EXTERIOR: 2,532 SF
 TOTAL: **8,473 SF**
 8,473 SF / 65,043 SF = 13% FLOOR AREA RATIO
CURRENT FAR COMPLIES

FLOOR AREA RATIO DIAGRAM
 3/32" = 1'-0"

3



HARDSCAPE & DRAINAGE DIAGRAM
3/32" = 1'-0"

3

<ul style="list-style-type: none"> PAVEMENT LANDSCAPE STAIRS WATER FEATURE STONE CONCRETE SLAB DECOMPOSED GRANITE 	<ul style="list-style-type: none"> (01) TENNIS COURT - 6,983 SF (02) EXTERIOR DECK - 498 SF (03) WATER FEATURES - 847 SF (04) EXTERIOR STAIRS - 438 SF (05) NEW DRIVEWAY - 1,028 SF TOTAL HARDSCAPE SF - 13,997 SF 	<ul style="list-style-type: none"> (06) EXISTING DRIVEWAY - 4,059 SF (07) PAVERS - 144 SF 	<p>LANDSCAPE COVERAGE CALCULATION:</p> <p>MINIMUM LANDSCAPE COVERAGE: LOT AREA: 65,043 SF MINIMUM LANDSCAPE COVERAGE: 19,813 SF</p> <p>HARDSCAPE COVERAGE: ROOF AREA: 8,519 SF LANDSCAPE COVERAGE: 13,997 SF + 8,519 SF - 65,043 SF = 45,827 SF</p> <p>42,527 SF / 65,043 SF = 65% OF TOTAL LOT AREA CURRENT LANDSCAPE COVERAGE COMPLIES</p>
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KEYNOTES - LANDSCAPE & HARDSCAPE
NO SCALE 12

KEYNOTES - LANDSCAPE & HARDSCAPE
NO SCALE 8

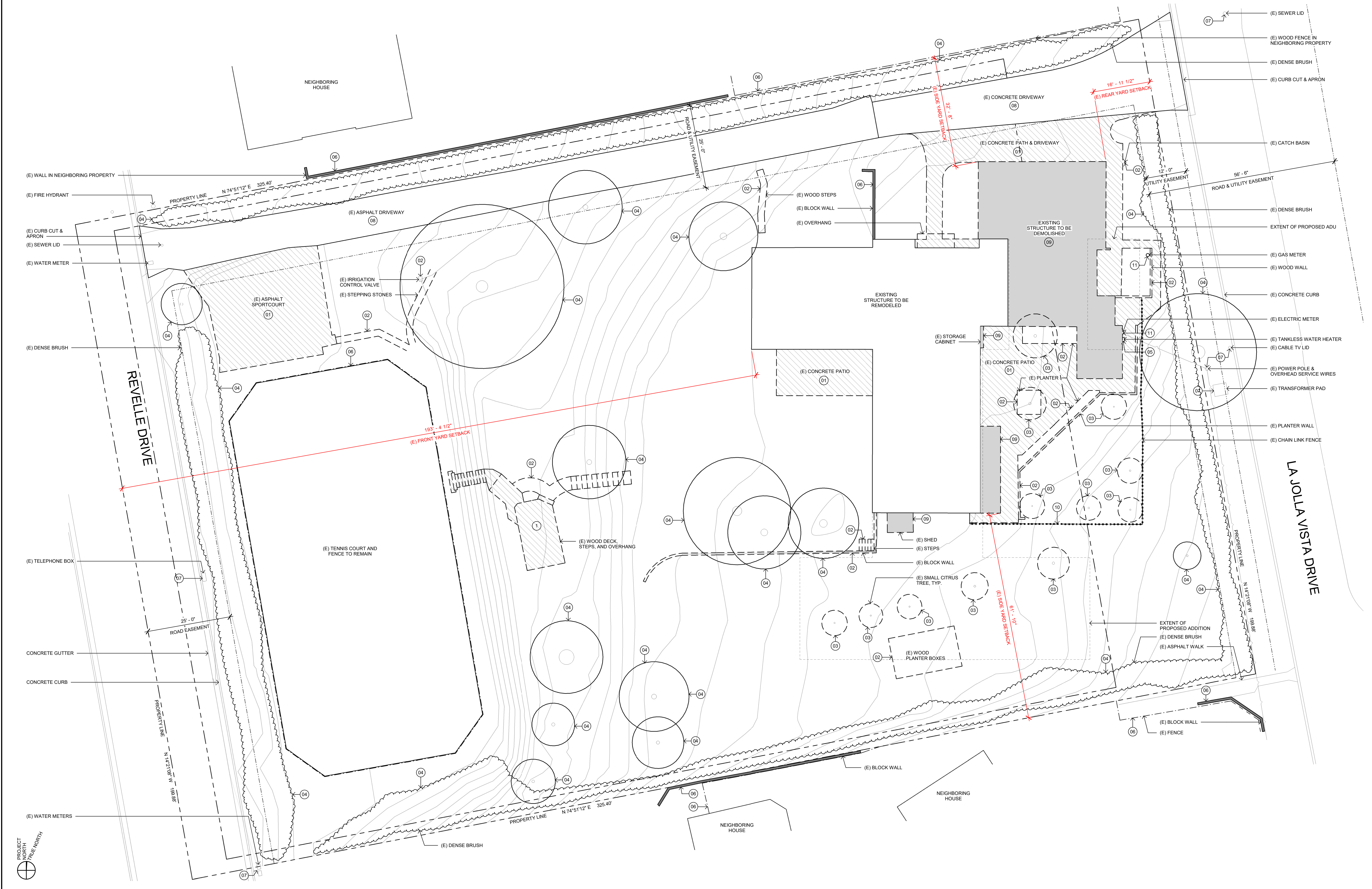
LEGEND - LANDSCAPE & HARDSCAPE
NO SCALE 4

NOTES - AGENCY

- 1. WHERE THERE IS AN EXCAVATION OF A GREATER DEPTH THAN ARE THE WALLS OR FOUNDATION OF AN ADJOINING BUILDING OR STRUCTURE AND LOCATED CLOSER TO THE PROPERTY LINE THAN THE DEPTH OF THE EXCAVATION, THE OWNER SHALL PROVIDE THE DEPARTMENT OF BUILDING AND SAFETY WITH EVIDENCE THAT THE ADJACENT PROPERTY OWNER(S) HAVE BEEN GIVEN A 30 DAY WRITTEN NOTICE OF SUCH INTENT TO MAKE AN EXCAVATION. THIS NOTICE SHALL STATE THE DEPTH OF SUCH EXCAVATION AND WHEN IT WILL COMMENCE. THIS NOTICE IS REQUIRED TO BE CERTIFIED MAIL WITH RETURN RECEIPT. PROVIDE THE RETURN RECEIPT TO THE PLAN CHECK ENGINEER PRIOR TO PERMIT ISSUANCE. (3307.11)(B; PBC 014-408)
- 2. THE SPRINKLER SYSTEM SHALL BE APPROVED BY PLUMBING DIVISION PRIOR TO INSTALLATION.
- 3. ALL PORTIONS OF REQUIRED FRONT YARD NOT USED FOR NECESSARY DRIVEWAYS, AND WALKWAYS, INCLUDING DECORATIVE WALKWAYS SHALL BE USED FOR PLANTING AND SHALL NOT BE PAVED. (12.21C)(9)(H)
- 4. THE CONSTRUCTION SHALL NOT RESTRICT A FIVE-FOOT CLEAR AND UNOBSTRUCTED ACCESS TO ANY WATER OR POWER DISTRIBUTION FACILITIES (POWER POLES, PULL-BOXES, TRANSFORMERS, VAULTS, PUMPS, VALVES, METERS, APPURTENANCES, ETC.) OR TO THE LOCATION OF THE HOOK-UP. THE CONSTRUCTION SHALL NOT BE WITHIN TEN FEET OF ANY POWER LINES-WHETHER OR NOT THE LINES ARE LOCATED ON THE PROPERTY. FAILURE TO COMPLY MAY CAUSE CONSTRUCTION DELAYS AND/OR ADDITIONAL EXPENSES.
- 5. AN APPROVED SEISMIC GAS SHUTOFF VALVE WILL BE INSTALLED ON THE FUEL GAS LINE ON THE DOWNSTREAM SIDE OF THE UTILITY METER AND BE RIGIDLY CONNECTED TO THE EXTERIOR OF THE BUILDING OR STRUCTURE CONTAINING THE FUEL GAS PIPING. (PER ORDINANCE 170.158) (SEPARATE PLUMBING PERMIT IS REQUIRED).
- 6. PLUMBING FIXTURES ARE REQUIRED TO BE CONNECTED TO A SANITARY SEWER OR TO AN APPROVED SEWAGE DISPOSAL SYSTEM (R306.3).
- 7. KITCHEN SINKS, LAVATORIES, BATHTUBS, SHOWERS, BIDETS, LAUNDRY TUBS, AND WASHING MACHINE OUTLETS SHALL BE PROVIDED WITH HOT AND COLD WATER AND CONNECTED TO AN APPROVED WATER SUPPLY (R306.4).
- 8. BATHTUB AND SHOWER FLOORS, WALLS ABOVE BATHTUBS WITH A SHOWERHEAD, AND SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NONABSORBENT SURFACE. SUCH WALL SURFACES SHALL EXTEND TO A HEIGHT OF NOT LESS THAN 6 FEET ABOVE THE FLOOR (R307.2).
- 9. PROVIDE ULTRA-LOW FLUSH WATER CLOSETS FOR ALL NEW CONSTRUCTION. EXISTING SHOWER HEADS AND TOILETS MUST BE ADAPTED FOR LOW WATER CONSUMPTION.
- 10. ALL NEW WATER HEATERS SHALL BE STRAPPED TO THE WALL IN 2 PLACES: ONE AT THE UPPER 1/3 OF THE TANK AND ONE IN THE LOWER 1/3 OF THE TANK. THE LOWEST POINT SHALL BE A MINIMUM OF 4 INCHES ABOVE THE CONTROLS. (PC 508.2) (SEC. 507.3, LAPC)
- 11. AUTOMATIC GARAGE DOOR OPENERS, IF PROVIDED, SHALL BE LISTED IN ACCORDANCE WITH UL 325. (R309.4).
- 12. SMOKE DETECTORS SHALL BE PROVIDED FOR ALL DWELLING UNITS INTENDED FOR HUMAN OCCUPANCY, WHERE A PERMIT IS REQUIRED FOR ALTERATIONS, REPAIRS, OR ADDITIONS. (R314.2)
- 13. WHERE A PERMIT IS REQUIRED FOR ALTERATIONS, REPAIRS OR ADDITIONS, EXISTING DWELLINGS OR SLEEPING UNITS THAT HAVE ATTACHED GARAGES OR FUEL-BURNING APPLIANCES SHALL BE PROVIDED WITH A CARBON MONOXIDE ALARM IN ACCORDANCE WITH SECTION R315.2. CARBON MONOXIDE ALARMS SHALL ONLY BE REQUIRED IN THE SPECIFIC DWELLING UNIT OR SLEEPING UNIT FOR WHICH THE PERMIT WAS OBTAINED. (R315.2)
- 14. EVERY SPACE INTENDED FOR HUMAN OCCUPANCY SHALL BE PROVIDED WITH NATURAL LIGHT BY MEANS OF EXTERIOR GLAZED OPENINGS IN ACCORDANCE WITH SECTION R303.1 OR SHALL BE PROVIDED WITH ARTIFICIAL LIGHT THAT IS ADEQUATE TO PROVIDE AN AVERAGE ILLUMINATION OF 6 FOOT-CANDELS (65 LUX) OVER THE AREA OF THE ROOM AT A HEIGHT OF 30 INCHES ABOVE THE FLOOR LEVEL. (R303.1)
- 15. A COPY OF THE EVALUATION REPORT AND/OR CONDITIONS OF LISTING SHALL BE MADE AVAILABLE AT THE JOB SITE.
- 16. THE BUILDING SHALL BE EQUIPPED WITH AN AUTOMATIC RESIDENTIAL FIRE SPRINKLER SYSTEM IN ACCORDANCE WITH SECTION R313.3 OR NFPA13D. (R313, 12.21A17)(d)
- 17. HEATER SHALL BE CAPABLE OF MAINTAINING A MINIMUM ROOM TEMPERATURE OF 68 DEGREES AT A POINT 3 FEET ABOVE THE FLOOR AND 2 FEET FROM EXTERIOR WALLS IN ALL HABITABLE ROOMS AT THE DESIGN TEMPERATURE. (R303.9)
- 18. AN APPROVED SMOKE ALARM SHALL BE INSTALLED IN EACH SLEEPING ROOM & HALLWAY OR AREA GIVING ACCESS TO A SLEEPING ROOM, AND ON EACH STORY AND BASEMENT FOR DWELLINGS WITH MORE THAN ONE STORY. SMOKE ALARMS SHALL BE INTERCONNECTED SO THAT ACTUATION OF ONE ALARM WILL ACTIVATE ALL THE ALARMS WITHIN THE INDIVIDUAL DWELLING UNIT.
- 19. AN APPROVED CARBON MONOXIDE ALARM SHALL BE INSTALLED IN DWELLING UNITS AND IN SLEEPING UNITS WITHIN WHICH FUEL-BURNING APPLIANCES ARE INSTALLED AND IN DWELLING UNITS THAT HAVE ATTACHED GARAGES. CARBON MONOXIDE ALARM SHALL BE PROVIDED OUTSIDE OF EACH SEPARATE DWELLING UNIT SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOM(S) AND ON EVERY LEVEL OF A DWELLING UNIT INCLUDING BASEMENTS. CARBON MONOXIDE ALARM SHALL BE INTERCONNECTED HARD-WIRED WITH BATTERY BACKUP. (R315)
- 20. THE MEANS OF EGRESS SHALL PROVIDE A CONTINUOUS AND UNOBSTRUCTED PATH OF VERTICAL AND HORIZONTAL EGRESS TRAVEL FROM ALL PORTIONS OF THE DWELLING TO THE EXTERIOR OF THE DWELLING AT THE REQUIRED EGRESS DOOR WITHOUT REQUIRING TRAVEL THROUGH A GARAGE. THE REQUIRED EGRESS DOOR SHALL OPEN DIRECTLY INTO A PUBLIC WAY OR TO A YARD OR COURT THAT OPENS TO A PUBLIC WAY. (R311.1).
- 21. AT LEAST ONE DOOR SHALL BE 36" WIDE BY 80" HIGH (R311.2).
- 22. CONSTRUCTION WASTE SHALL BE REDUCED BY 50%. CONSTRUCTION WASTE SHALL BE REMOVED BY A CITY OF BEVERLY HILLS CERTIFIED HAULER. CONSTRUCTION WASTE GENERATED ONSITE SHALL BE DIVERTED TO RECYCLE OR SALVAGE.
- 23. IN NEW CONSTRUCTION SMOKE ALARMS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING AND SHALL BE EQUIPPED WITH BATTERY BACK-UP. SMOKE ALARMS SHALL EMIT A SIGNAL WHEN THE BATTERIES ARE LOW. (BH 907.2.10.2)
- 24. IN LIEU OF EXTERIOR OPENINGS FOR VENTILATION OF HABITABLE ROOMS, AN APPROVED MECHANICAL VENTILATING SYSTEM CAPABLE OF 0.35 AIR CHANGE PER HOUR IN THE ROOM OR WHOLE-HOUSE VENTILATION SYSTEM CAPABLE OF 15-CFM PER OCCUPANT SHALL BE INSTALLED. (R303.1, EX)
- 25. BATHROOMS, WATER CLOSET COMPARTMENTS AND OTHER SIMILAR ROOMS SHALL BE PROVIDED WITH NATURAL VENTILATION OR WITH MECHANICAL VENTILATION CAPABLE OF 50 CFM EXHAUSTED DIRECTLY TO THE OUTSIDE. (R303.3)
- 26. CLOTHES DRYER MOISTURE EXHAUST DUCT MUST BE 4 INCHES IN DIAMETER, AND LENGTH IS LIMITED TO 14 FEET WITH 2 ELBOWS. THE DUCT LENGTH SHALL BE REDUCED BY 2 FEET FOR EVERY ELBOW IN EXCESS OF 2. (MC 504.3.2)
- 27. ALL INTERIOR AND EXTERIOR STAIRWAYS SHALL BE ILLUMINATED (R303.7 & R303.8). ALL STAIRWAYS SHALL HAVE AN ILLUMINATION LEVEL ON TREAD RUNS OF NO LESS THAN 1 FOOT-CANDLE (11 LUX). (R303.7)
- 28. PROVIDE A WHOLE-BUILDING VENTILATION OF 30-CFM THAT IS CONTINUOUSLY OPERATED PER ASHRAE STANDARD 62.2.
- 29. REQUIRED EGRESS DOORS SHALL HAVE A 1.5 INCH IN HEIGHT MAXIMUM THRESHOLD. DOOR MAY NOT OPEN ON AN EXTERIOR LANDING, PROVIDED THE DOOR DOES NOT SWING OVER THE EXTERIOR LANDING AND THE LANDING IS NOT MORE THAN 7.75 INCHES BELOW THE TOP OF THE THRESHOLD. STORM AND SCREEN DOORS ARE PERMITTED TO SWING OVER ALL EXTERIOR STAIRS AND LANDINGS. (R311.3)
- 30. DOORS BETWEEN GARAGE AND THE DWELLING UNIT SHALL HAVE A MINIMUM FIRE PROTECTION RATING OF 20 MINUTES AND SELF-CLOSING AND SELF-LATCHING DEVICES, OR SOLID WOOD OR SOLID HONEYCOMB CORE STEEL NOT LESS THAN 1 3/8" THICK. (R302.5.1)
- 31. INSTALL CONDUIT AND ELECTRICAL PANEL CAPACITY FOR FUTURE VEHICLE PARKING FOR AT LEAST 3% OF THE TOTAL PARKING SPACES BUT NOT LESS THAN ONE. (4.107 AND A5.106.5.3.3)
- 32. INSTALL CONDUIT FROM THE BUILDING ROOF OR EAVE TO A LOCATION WITHIN THE BUILDING IDENTIFIED AS SUITABLE FOR FUTURE INSTALLATION OF A CHARGE CONTROLLER (REGULATOR) AND INVERTER. (4.109)
- 33. ENCLOSED RAFTER VENTS SHALL PROVIDE CROSS VENTILATION AND A MINIMUM OF 1 INCH AIRSPACE BETWEEN INSULATION AND ROOF SHEATHING. UNVENTED ENCLOSED RAFTER ASSEMBLIES SHALL MEET ALL THE CONDITIONS IN SECTION R806.5, (R806.1, R806.2, R806.3)
- 34. VENT OPENINGS FOR ENCLOSED RAFTER SPACES SHALL RESIST BUILDING IGNITION FROM THE INTRUSION OF BURNING EMBERS AND FLAME THROUGH THE VENT OPENINGS. VENT OPENINGS SHALL BE PROTECTED BY CORROSION RESISTANT, NONCOMBUSTIBLE WIRE MESH WITH MIN. 1/16" AND MAX. 1/8" OPENINGS. (108A.2.R327.6.2)
- 35. ANY PORTION OF AN ATTACHED OR DETACHED ACCESSORY STRUCTURE (TRELLISES, ARBORS, PATIO COVERS, CARPORTS, GAZEBOS AND SIMILAR STRUCTURES) OR AN ACCESSORY OR MISCELLANEOUS CHARACTER WITHIN 50 FEET OF AN APPLICABLE BUILDING SHALL BE CONSTRUCTED OF:
 - NONCOMBUSTIBLE MATERIALS OR
 - IGNITION-RESISTANT MATERIALS OR
 - HEAVY TIMBER CONSTRUCTION. (710A.R327.10)
- 36. STAIRWAYS SHALL HAVE THE FOLLOWING: 7.75" MAXIMUM RISE AND MINIMUM 10" RUN (R311.7.5). MINIMUM 6'-0" HEADROOM CLEARANCE (R311.7.2). MINIMUM 36" CLEAR WIDTH (MAX. 4 1/2 INCH HANDRAIL PROJECTION IS PERMITTED ON EACH SIDE) (R311.7.1). THERE SHALL BE A 4 INCH MAX. OPENING AT OPEN TREADS (R311.7.5.1). HANDRAILS SHALL BE 34" TO 38" HIGH ABOVE TREAD NOSING (R311.7.8.1). THE HANDRIP PORTION OF HANDRAILS SHALL NOT BE LESS THAN 1.25" AND NO MORE THAN 2" CROSS-SECTIONAL DIMENSION HAVING A SMOOTH SURFACE WITH NO SHARP CORNERS (R311.7.8.3). MAXIMUM 4" CLEAR SPACING OPENING BETWEEN RAILS (R312.1.3).
- 37. HANDRAILS SHALL SATISFY THE FOLLOWING: PROVIDE A MINIMUM OF ONE CONTINUOUS HANDRAIL ON STAIRWAYS WITH 4 OR MORE RISERS AND AT ALL OPEN SIDES. (R311.8.3) HANDRAIL HEIGHT SHALL BE 34 TO 38 INCHES ABOVE THE NOSING OF TREADS. (R311.8.3.1) OPENINGS BETWEEN INTERMEDIATE BALLISTERS SHALL NOT ALLOW THE PASSAGE OF A 3/8 INCH DIAMETER SPHERE. THE TRIANGULAR OPENINGS FORMED BY THE RISER, TREAD AND BOTTOM RAIL SHALL NOT ALLOW THE PASSAGE OF A 6 INCH DIAMETER SPHERE. (R312.1.3 EX 1 & 2) HANDRAIL GRIPS SHALL BE EITHER TYPE I OR TYPE II SPECIFIED IN SECTION R311.7.8.3. RETURN HANDRAILS TO NEWEL POST OR WALL. (R311.8.3.3)
- 38. GUARDS SHALL MEET THE FOLLOWING: PROVIDE GUARDS WHERE THE OPEN SIDE IS MORE THAN 30 INCHES ABOVE THE FLOOR OR GRADE BELOW AT ANY POINT WITHIN 36 INCHES HORIZONTALLY TO THE EDGE OF THE OPEN SIDE. (R312.1) GUARD HEIGHT SHALL BE A MINIMUM OF 42 INCHES. (R312.1.2) REQUIRED GUARDS SHALL NOT HAVE OPENINGS WHICH ALLOW THE PASSAGE OF A SPHERE 4 INCHES IN DIAMETER. (R312.3)
- 39. GARAGE FLOOR SURFACES SHALL BE OF AN APPROVED NONCOMBUSTIBLE MATERIAL. (R309.1) FLOORS IN A GARAGE/CARPORT SHALL BE DESIGNED TO SUPPORT UNIFORMLY DISTRIBUTED LOAD OF 50 PSF OR CONCENTRATED LIVE LOADS OF 2,000 LBS ACTING ON AN AREA OF 20 SQ. IN. (T-R301.5)
- 40. ANNULAR SPACES AROUND PIPES, ELECTRIC CABLES, CONDUITS OR OTHER OPENINGS IN SOLE/BOTTOM PLATES AT EXTERIOR WALLS SHALL BE PROTECTED AGAINST THE PASSAGE OF RODENTS BY CLOSING SUCH OPENINGS WITH CEMENT MORTAR, CONCRETE MASONRY OR SIMILAR METHODS.

NOTES - AGENCY

- 41. AT THE TIME OF ROUGH INSTALLATION, OR DURING STORAGE ON THE CONSTRUCTION SITE AND UNTIL FINAL STARTUP OF THE HEATING, COOLING, AND VENTILATING EQUIPMENT, ALL DUCT AND OTHER RELATED AIR DISTRIBUTION COMPONENT OPENINGS SHALL BE COVERED WITH TAPE, PLASTIC, SHEETMETAL, OR OTHER ACCEPTABLE METHODS TO REDUCE THE AMOUNT OF WATER, DUST, AND DEBRIS WHICH MAY ENTER THE SYSTEM.
- 42. VERIFICATION OF COMPLIANCE WITH THESE SECTIONS MUST BE PROVIDED AT THE TIME OF FINAL INSPECTION AND SHALL BE DOCUMENTED ON THE BUILDING OPERATIONS AND MAINTENANCE MANUAL.
 - A. ADHESIVES, SEALANTS AND CAULKS SHALL MEET OR EXCEED THE STANDARDS OUTLINED IN SECTION 4.504.2.2 AND COMPLY WITH THE VOC LIMITS IN TABLE 4.504.1 AND 4.504.2 AS APPLICABLE
 - B. PAINTS AND COATINGS SHALL MEET OR EXCEED THE STANDARDS OUTLINED IN SECTION 4.504.2.2 AND COMPLY WITH THE VOC LIMITS IN TABLE 4.504.3
 - C. AEROSOL PAINTS AND COATINGS SHALL MEET OR EXCEED THE STANDARDS OUTLINED IN SECTION 4.504.2.3
 - D. ALL CARPET INSTALLED IN THE BUILDING INTERIOR SHALL MEET THE TESTING THE TESTING AND PRODUCT REQUIREMENTS OF ONE OF THE FOLLOWING:
 - I. CARPET AND RUG INSTITUTE'S GREEN LABEL PLUS PROGRAM OR
 - II. CALIFORNIA DEPARTMENT OF PUBLIC HEALTH STANDARD METHOD FOR TESTING OF VOC EMISSIONS (SPEC 01350) OR
 - III. NSF/ANSI 140 AT THE GOLD LEVEL OR
 - IV. SCIENTIFIC CERTIFICATION SYSTEMS INDOOR ADVANTAGE GOLD.
 - E. ALL CARPET CUSHION INSTALLED IN THE BUILDING INTERIOR SHALL MEET THE REQUIREMENTS OF THE CARPET AND RUG INSTITUTE GREEN LABEL PROGRAM. CARPET ADHESIVES SHALL NOT EXCEED A VOC LIMIT OF 80/L
 - F. A MINIMUM OF 80% OF FLOOR AREA RECEIVING RESILIENT FLOORING SHALL COMPLY WITH ONE OR MORE OF THE FOLLOWING:
 - I. VOC EMISSIONS LIMITS DEFINED IN THE CHPS HIGH PERFORMANCE PRODUCTS DATABASE OR
 - II. PRODUCTS COMPLIANT WITH CHPS CRITERIA CERTIFIED UNDER THE GREENGUARD CHILDREN AND SCHOOLS PROGRAM OR
 - III. CERTIFICATION UNDER THE RFCI FLOOR SCORE PROGRAM OR
 - IV. MEET THE CALIFORNIA DEPARTMENT OF PUBLIC HEALTH STANDARD METHOD FOR TESTING OF VOC EMISSIONS.
 - G. COMPOSITE WOOD PRODUCTS (HARDWOOD, PLYWOOD, PARTICLE BOARD, AND MDF) INSTALLED ON THE INTERIOR OR EXTERIOR OF THE BUILDING SHALL MEET OR EXCEED THE STANDARDS OUTLINED IN TABLE 4.504.5. VERIFICATION OF COMPLIANCE WITH THESE SECTIONS MUST BE PROVIDED AT THE TIME OF INSPECTION.
- 43. BUILDING MATERIALS WITH VISIBLE SIGNS OF WATER DAMAGE SHALL NOT BE INSTALLED. WALL AND FLOOR FRAMING SHALL NOT BE ENCLOSED WHEN THE FRAMING MEMBERS EXCEED 19% MOISTURE CONTENT. INSULATION PRODUCTS WHICH ARE VISIBLY WET OR HAVE HIGH MOISTURE CONTENT SHALL BE REPLACED OR ALLOWED TO DRY PRIOR TO ENCLOSURE IN WALL OR FLOOR CAVITIES.
- 44. ALL MECHANICAL EXHAUST FANS IN ROOMS WITH A BATHTUB OR SHOWER SHALL COMPLY WITH THE FOLLOWING: FANS SHALL BE ENERGY STAR COMPLIANT AND SHALL BE DUCTED TO TERMINATE OUTSIDE THE BUILDING. FANS MUST BE CONTROLLED BY A HUMIDITY CONTROL, CAPABLE OF ADJUSTMENT BETWEEN A RELATIVE HUMIDITY RANGE OF LESS THAN OR EQUAL TO 50% TO A MAXIMUM OF 80% UNLESS FUNCTIONING AS A COMPONENT OF A WHOLEHOUSE VENTILATION SYSTEM.
- 45. WOOD BURNING FIREPLACE IS PROHIBITED PER AQMD RULE 445. PROVIDE AND MAINTAIN AT ALL TIMES A SCREEN OVER THE OUTLET OF EVERY CHIMNEY OR STOVEPIPE THAT IS ATTACHED TO ANY FIREPLACE, STOVE, OR OTHER DEVICE THAT BURNS ANY SOLID OR LIQUID FUEL. THE SCREEN SHALL BE CONSTRUCTED AND INSTALLED IN ACCORDANCE WITH THE CALIFORNIA BUILDING STANDARDS CODE.
- 46. UNIT SKYLIGHTS SHALL BE LABELED BY A LA CITY APPROVED LABELING AGENCY. SUCH LABEL SHALL STATE THE APPROVED LABELING AGENCY NAME, PRODUCT DESIGNATION AND PERFORMANCE GRADE RATING. (RESEARCH REPORT NOT REQUIRED) (R308.6.9)
- 47. LOTS SHALL BE GRADED TO DRAIN SURFACE WATER AWAY FROM FOUNDATION WALLS WITH A MINIMUM FALL OF 6 INCHES WITHIN THE FIRST 10 FEET. (R401.3)
- 48. BARS, GRILLES, GRATES OR SIMILAR DEVICES ARE PERMITTED TO BE PLACED OVER EMERGENCY ESCAPE AND RESCUE OPENINGS PROVIDED THE MINIMUM NET CLEAR OPENING SIZE COMPLIES WITH MINIMUM SIZE REQUIREMENTS AND SUCH DEVICES SHALL BE RELEASABLE OR REMOVABLE FROM THE INSIDE WITHOUT THE USE OF A KEY, TOOL, SPECIAL KNOWLEDGE OR EFFORT, OR FORCE GREATER THAN THAT WHICH IS REQUIRED FOR NORMAL OPERATION OF THE ESCAPE AND RESCUE OPENING. SUCH BARS, GRILLS, GRATES OR ANY SIMILAR DEVICES SHALL BE EQUIPPED WITH AN APPROVED EXTERIOR RELEASE DEVICE FOR USE BY THE FIRE DEPARTMENT ONLY WHEN REQUIRED BY THE AUTHORITY HAVING JURISDICTION.
- 49. PROVIDE NATURAL LIGHT IN HABITABLE ROOMS BY MEANS OF EXTERIOR WALL OPENINGS WITH AN AREA NOT LESS THAN 8% OF FLOOR AREA. ARTIFICIAL LIGHTING MAY BE PERMITTED (R303.1).
- 50. VEHICULAR ACCESS DOORS SHALL COMPLY WITH SECTION R609.4.
- 51. BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBERS, BUILDING NUMBERS, OR APPROVED BUILDING IDENTIFICATION PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY (R319.1).
- 52. PROVIDE ANTI-GRAFFITI FINISH WITHIN THE FIRST 9 FEET, MEASURED FROM GRADE, AT EXTERIOR WALLS AND DOORS. EXCEPTION: MAINTENANCE OF BUILDING AFFIDAVIT IS RECORDED BY THE OWNER TO COVENANT AND AGREE WITH THE CITY OF LOS ANGELES TO REMOVE ANY GRAFFITI WITHIN 7-DAYS OF THE GRAFFITI BEING APPLIED. (6306)



DEMOLITION SITE PLAN 3/32" = 1'-0"		3
<ul style="list-style-type: none"> 01 REMOVE EXISTING SITE PAVING, DECK, FRAMING, AND FOOTINGS 02 REMOVE EXISTING LANDSCAPE, LANDSCAPE PATHS, PLANTER WALLS, IRRIGATION, AND LANDSCAPE LIGHTING 03 REMOVE EXISTING TREE, TRUNK, AND ROOT BALL 04 EXISTING TREE / PLANTING TO REMAIN 05 REMOVE EXISTING HOT WATER HEATER 06 EXISTING WALL / FENCE TO REMAIN 07 EXISTING UTILITY TO REMAIN 	<ul style="list-style-type: none"> 08 EXISTING PAVING TO BE REPAIRED AS NEEDED 09 REMOVE EXISTING STRUCTURE 10 REMOVE EXISTING FENCE 11 EXISTING UTILITY TO BE RELOCATED 	<ul style="list-style-type: none"> EXISTING WALL TO REMAIN EXISTING OBJECT TO BE REMOVED EXISTING FENCE TO BE REMOVED EXISTING FENCE TO REMAIN EXISTING OBJECT TO REMAIN EXISTING SITE PAVING / EXTERIOR DECK TO BE REMOVED
KEYNOTES - DEMOLITION NO SCALE	12	LEGEND - DEMOLITION NO SCALE
		8
		NOTES - DEMOLITION NO SCALE
		4

1. ANY DEMOLITION DRAWINGS AND NOTES ARE PROVIDED FOR CONVENIENCE AND INFORMATION ONLY AND ARE NOT INTENDED TO REPRESENT THE COMPREHENSIVE STATE OF THE BUILDING(S). VERIFY THE EXISTING STATE OF THE BUILDING(S) FINISHES AND BUILDING SYSTEMS.

2. CONTRACTOR TO COORDINATE AND VERIFY ALL DEMOLITION WITH ALL ALTERATION PLANS.

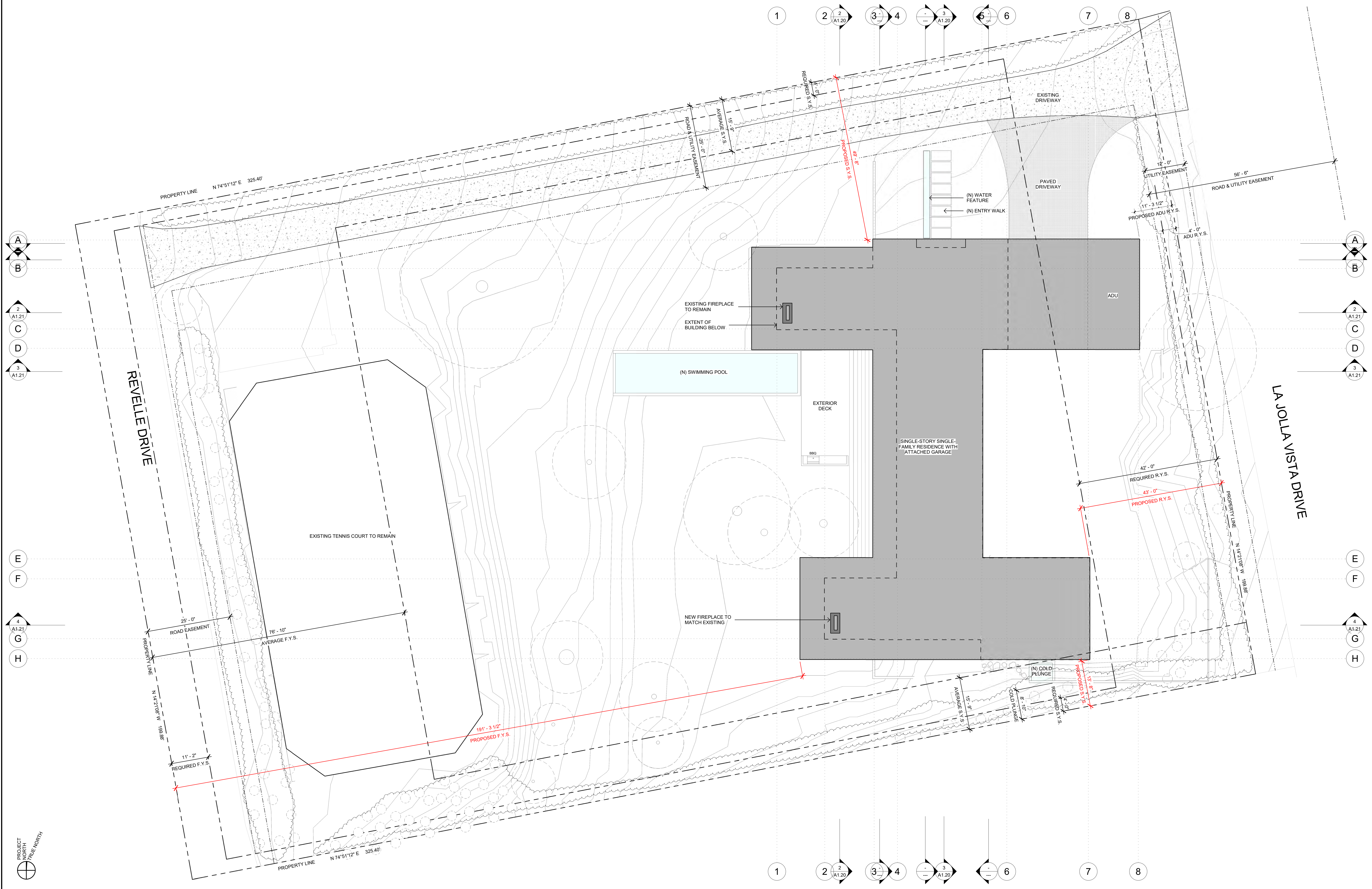
3. FOLLOWING DEMOLITION, ALL EXISTING DIMENSIONS AND CONDITIONS ARE TO BE CHECKED BY THE CONTRACTOR FOR CONFORMANCE WITH THE REQUIREMENTS OF THE NEW CONSTRUCTION. ANY INCONSISTENCIES OR UNFORESEEN CONDITIONS ARE TO BE SUBMITTED TO THE ARCHITECT FOR REVIEW PRIOR TO THE COMMENCEMENT OF WORK.

4. CONTRACTOR TO REMOVE ALL DEMOLISHED MATERIALS AND ITEMS FROM THE SITE IN ACCORDANCE WITH ALL APPLICABLE AGENCY CODES AND REGULATIONS.

5. CONTRACTOR SHALL TAKE SPECIAL CARE TO PRESERVE THOSE ELEMENTS THAT ARE TO REMAIN. ANY ITEMS THAT ARE TO BE RE-USED MUST BE STORED AND PROTECTED AS REQUIRED FOR RE-USE.

6. CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO ENSURE THE SAFETY OF THE EXISTING STRUCTURE.

7. CONTRACTOR SHALL PROVIDE, ERECT AND MAINTAIN ALL TEMPORARY BARRIERS AND GUARDS, AND ALL TEMPORARY SHORING AND BRACING AS REQUIRED BY ALL CITY AND STATE REGULATIONS.



OVERALL SITE PLAN - PROPOSED
3/32" = 1'-0"

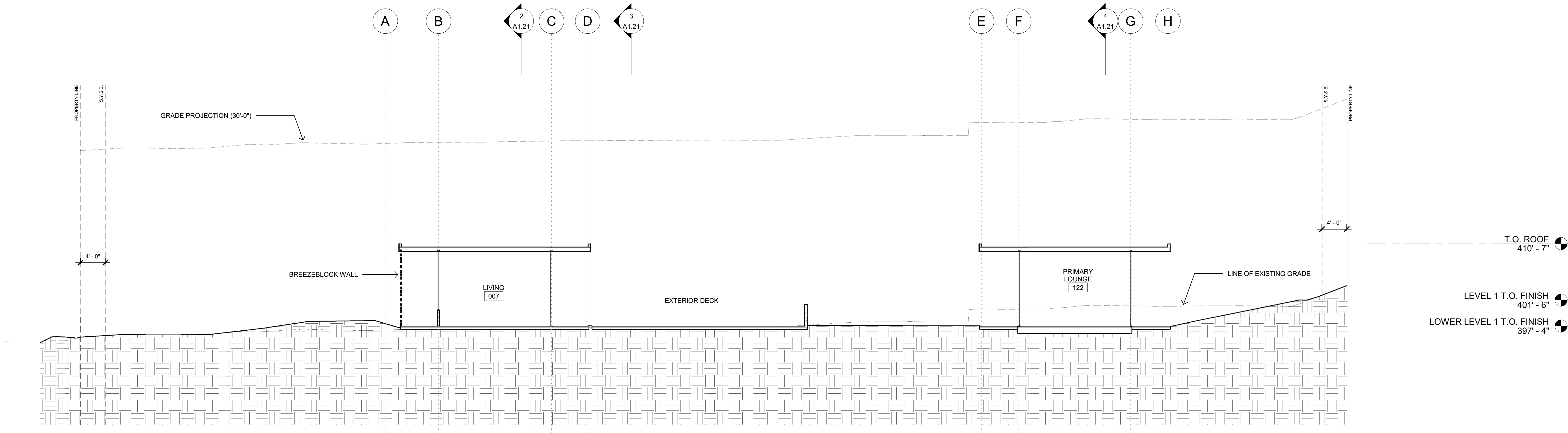
	MASONRY WALL		GAS BIB
	CONCRETE WALL		HOSE BIB
	EXTERIOR PAVING		
	PROPERTY LINE		
	SETBACK		
	EASEMENT		
	EDGE OF AVERAGE EXISTING GRADE		
	FENCE		

LEGEND - SITE PLAN
NO SCALE

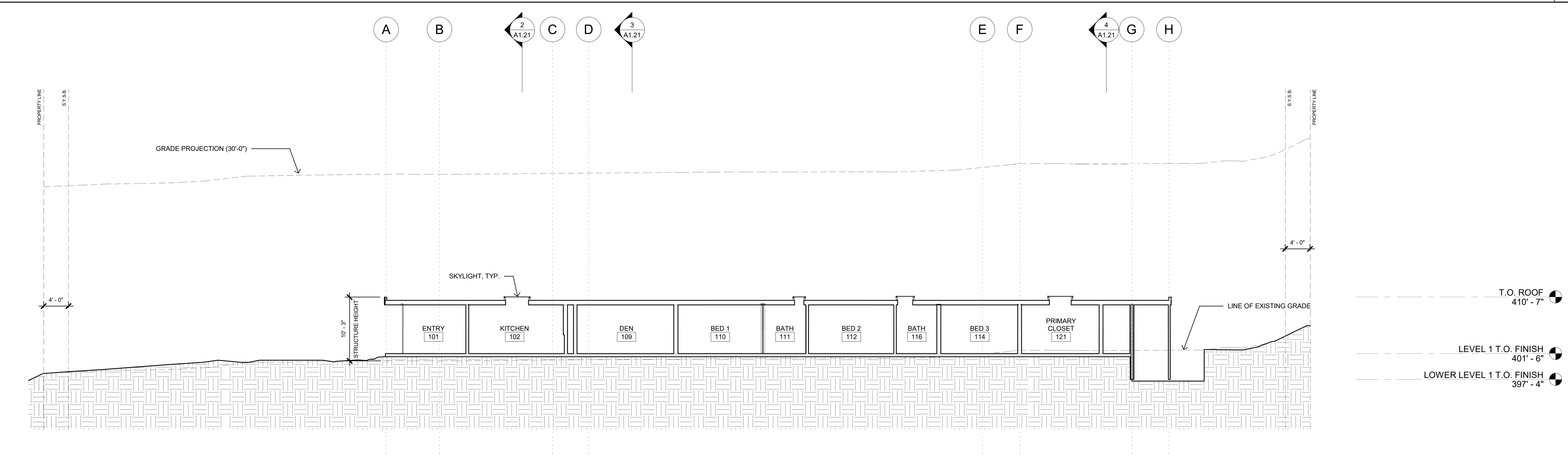
- ALL DIMENSIONS ARE TO FACE OF STRUCTURE (F.O.S.), UNLESS OTHERWISE NOTED.
- DO NOT SCALE FROM DRAWINGS.
- ANY INCONSISTENCIES OR UNFORESEEN CONDITIONS TO BE REVIEWED BY THE ARCHITECT PRIOR TO PROCEEDING WITH CONSTRUCTION.
- ALL DOORS AND WINDOWS DIMENSIONED TO CENTERLINE OF CLEAR OPENING.
- ALL CASEWORK DIMENSIONS TO FACE OF FINISH.
- PROVIDE 1.6 GALLONS OF WATER PER FLUSH TOILETS.
- WATER HEATERS ARE TO BE STRAPPED OR HAVE A RIGID CONNECTION TO AN ADJACENT WALL. (SEC 507.3, UPC)

- PROVIDE R-12 EXTERIOR BLANKET FOR HOT WATER HEATER. R-3 INSULATION SHALL BE PROVIDED FOR THE FIRST FIVE FEET OF THE WATER HEATER OUTLET PIPE. ALL WATER HEATING AND SPACE CONDITIONING EQUIPMENT, SHOWER HEADS AND FAUCETS SHALL BE C.E.C. CERTIFIED. ALL STEAM AND STEAM CONDENSATE RETURN PIPING AND ALL CONTINUOUSLY RECIRCULATING DOMESTIC HEATING OR HOT WATER PIPING SHALL BE INSULATED PER PLUMBING DIVISION.
- ALL INSULATION MATERIALS SHALL BE CERTIFIED BY THE MANUFACTURER AS COMPLYING WITH THE CALIFORNIA QUALITY STANDARDS FOR INSULATION MATERIAL. DOORS AND WINDOWS BETWEEN CONDITIONED AND UNCONDITIONED SPACE SHALL BE FULL WEATHER-STRIPPED.
- AN APPROVED SEISMIC SHUTOFF VALVE WILL BE INSTALLED ON THE FUEL GAS LINE ON THE DOWN STREAM SIDE OF THE UTILITY METER AND BE RIGIDLY CONNECTED TO THE EXTERIOR OF THE BUILDING OR STRUCTURE CONTAINING THE FUEL GAS PIPING.

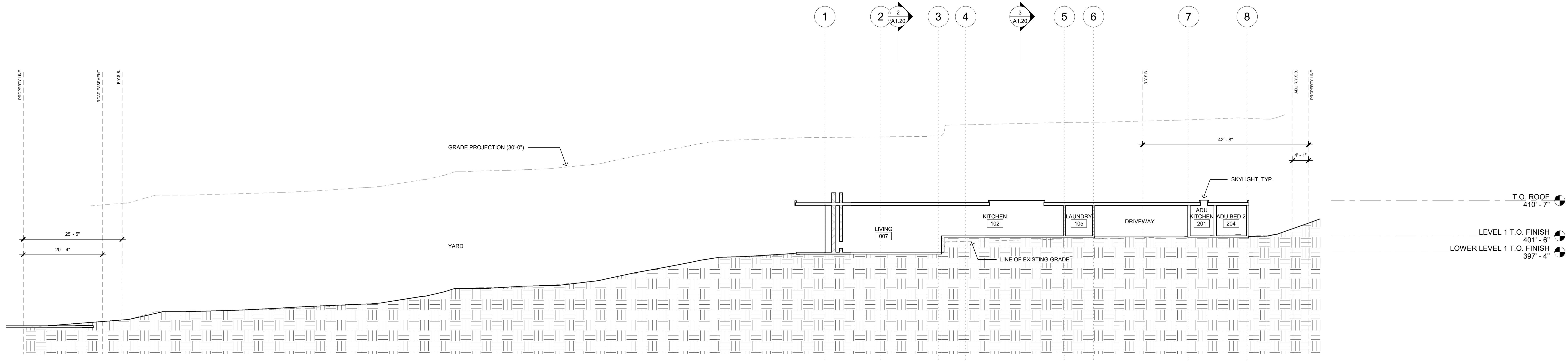
- CONTRACTOR SHALL PROVIDE, ERECT AND MAINTAIN ALL TEMPORARY BARRIERS AND GUARDS, AND ALL TEMPORARY SHORING AND BRACING AS REQUIRED BY ALL CITY AND STATE REGULATIONS.
- CONTRACTOR SHALL PROVIDE ADEQUATE WEATHER PROTECTION FOR THE BUILDING AND ITS CONTENTS DURING THE COURSE OF WORK.
- CONTRACTOR TO PROVIDE TEMPORARY POWER POLE AND METER FOR THE DURATION OF THE WORK. CONTRACTOR TO MAINTAIN TEMPORARY LIGHT AS REQUIRED FOR THE DURATION OF THE WORK. CONTRACTOR SHALL PROVIDE TEMPORARY SANITARY FACILITIES AS TO AT LEAST IMPACT NEIGHBORS AND AS DIRECTED BY CITY REGULATIONS.



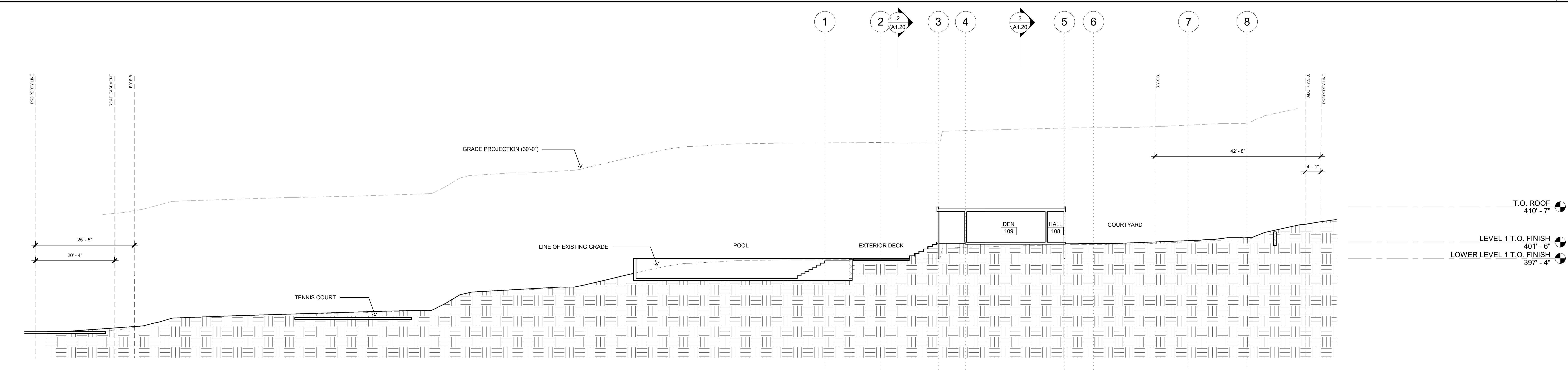
SITE SECTION - CROSS - 1
1/8" = 1'-0" 2



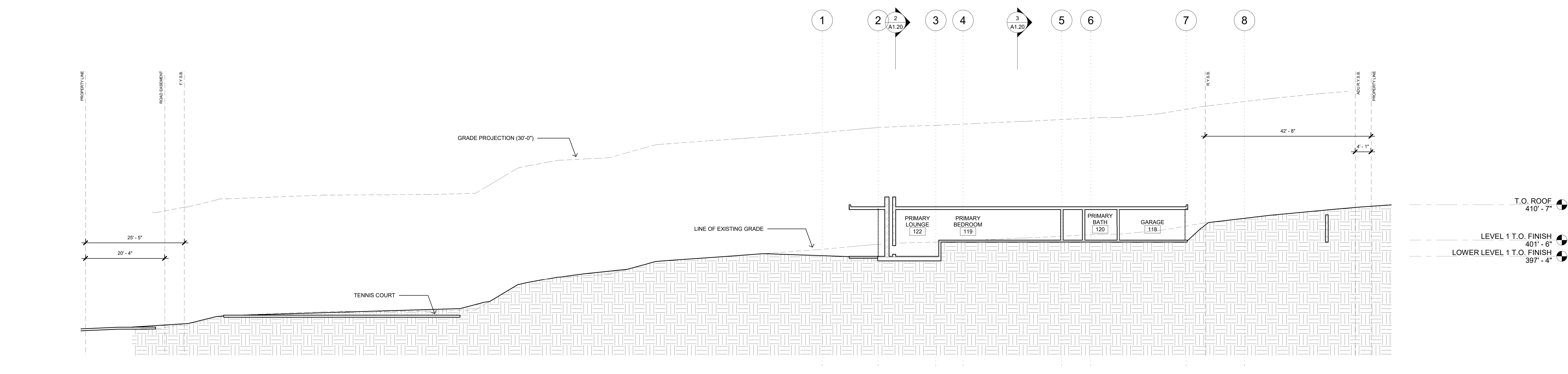
SITE SECTION - CROSS - 2
1/8" = 1'-0" 3



2



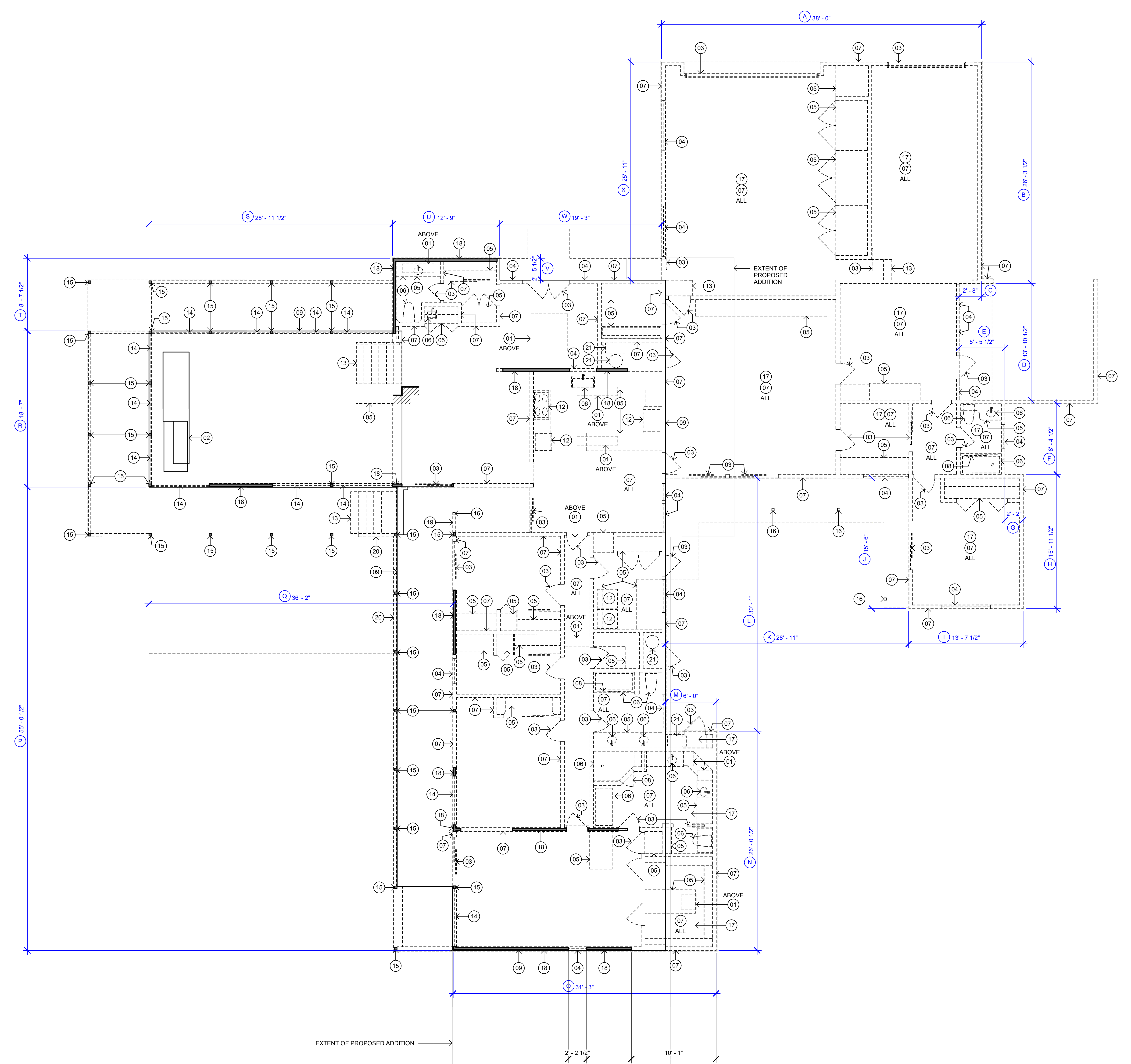
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4

WALL #	TOTAL LENGTH	DEMO LENGTH	LENGTH TO REMAIN
A	38' - 0"	38' - 0"	0'
B	26' - 3 1/2"	26' - 3 1/2"	0'
C	2' - 8"	2' - 8"	0'
D	13' - 10 1/2"	13' - 10 1/2"	0'
E	5' - 5 1/2"	5' - 5 1/2"	0'
F	8' - 4 1/2"	8' - 4 1/2"	0'
G	2' - 2"	2' - 2"	0'
H	15' - 11 1/2"	15' - 11 1/2"	0'
I	13' - 7 1/2"	13' - 7 1/2"	0'
J	15' - 6"	15' - 6"	0'
K	28' - 11"	28' - 11"	0'
L	30' - 1"	30' - 1"	0'
M	6' - 0"	6' - 0"	0'
N	26' - 0 1/2"	26' - 0 1/2"	0'
O	31' - 3"	12' - 3"	19' - 0"
P	55' - 0 1/2"	45' - 7 1/2"	9' - 5"
Q	36' - 2"	0'	36' - 2"
R	18' - 7"	0'	18' - 7"
S	28' - 11 1/2"	0'	28' - 11 1/2"
T	8' - 7 1/2"	0'	8' 7 1/2"
U	12' - 9"	5 1/2"	12' - 3 1/2"
V	2' - 5 1/2"	2' - 5 1/2"	0'
W	19' - 3"	19' - 3"	0'
X	25' - 11"	25' - 11"	0'

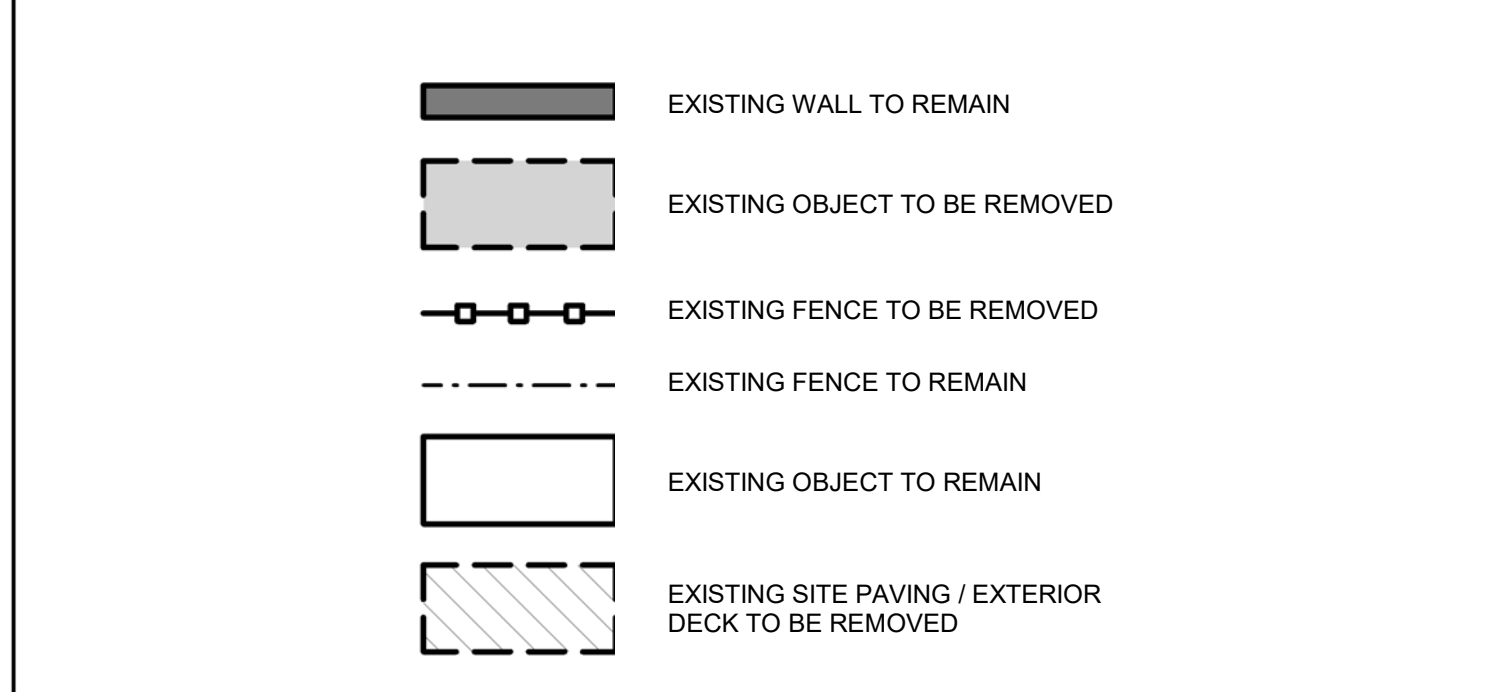
EXISTING TOTAL WALL LENGTH	463' - 10 1/2"
TOTAL WALL LENGTH DEMOLISHED	339' - 11"
TOTAL WALL LENGTH TO REMAIN	133' - 4 1/2"
PERCENTAGE OF EXISTING BUILDING TO REMAIN:	28.75%



EXTERIOR WALL MATRIX 1

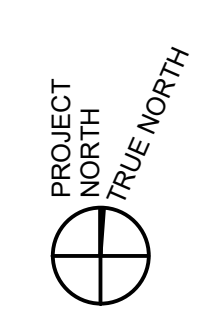
- 01 REMOVE EXISTING SKYLIGHT
- 02 EXISTING CMU BLOCK FIREPLACE AND CHIMNEY TO REMAIN
- 03 REMOVE EXISTING DOOR
- 04 REMOVE EXISTING WINDOW
- 05 REMOVE EXISTING CABINERY, SURROUNDING MILLWORK AND COUNTERTOPS
- 06 REMOVE EXISTING PLUMBING FIXTURES AND CAP PIPING AS NEEDED
- 07 REMOVE EXISTING WALL AND WALL FINISH
- 08 REMOVE EXISTING SHOWER ENCLOSURE
- 09 REMOVE EXISTING FINISH FLOORING. PREPARE EXISTING CONCRETE SLAB FOR NEW FINISH FLOORING AS REQUIRED PER PROPOSED PLANS AND SPECIFICATIONS
- 10 REMOVE EXISTING ROOFING MATERIAL. PREPARE ROOF SHEATHING FOR NEW ROOFING AS REQUIRED PER PROPOSED PLANS AND SPECIFICATIONS
- 11 REMOVE EXISTING SOLAR PANELS
- 12 REMOVE EXISTING APPLIANCES
- 13 REMOVE EXISTING STAIRS AND ASSOCIATED RAILS WHERE OCCURS
- 14 REMOVE EXISTING WINDOW AND REPLACE IN KIND IN EXISTING ROUGH OPENING
- 15 EXISTING 4X4 COLUMN TO REMAIN
- 16 REMOVE EXISTING 4X4 COLUMN
- 17 REMOVE EXISTING FINISH FLOORING AND CONCRETE SLAB
- 18 EXISTING WALL FRAMING TO REMAIN. REMOVE WALL FINISH
- 19 REMOVE EXISTING SCREEN
- 20 REMOVE EXISTING GUARDRAIL
- 21 REMOVE EXISTING HVAC AND WATER HEATER
- 22 REMOVE EXISTING ROOF
- 23 REMOVE EXISTING PHOTOVOLTAIC PANELS

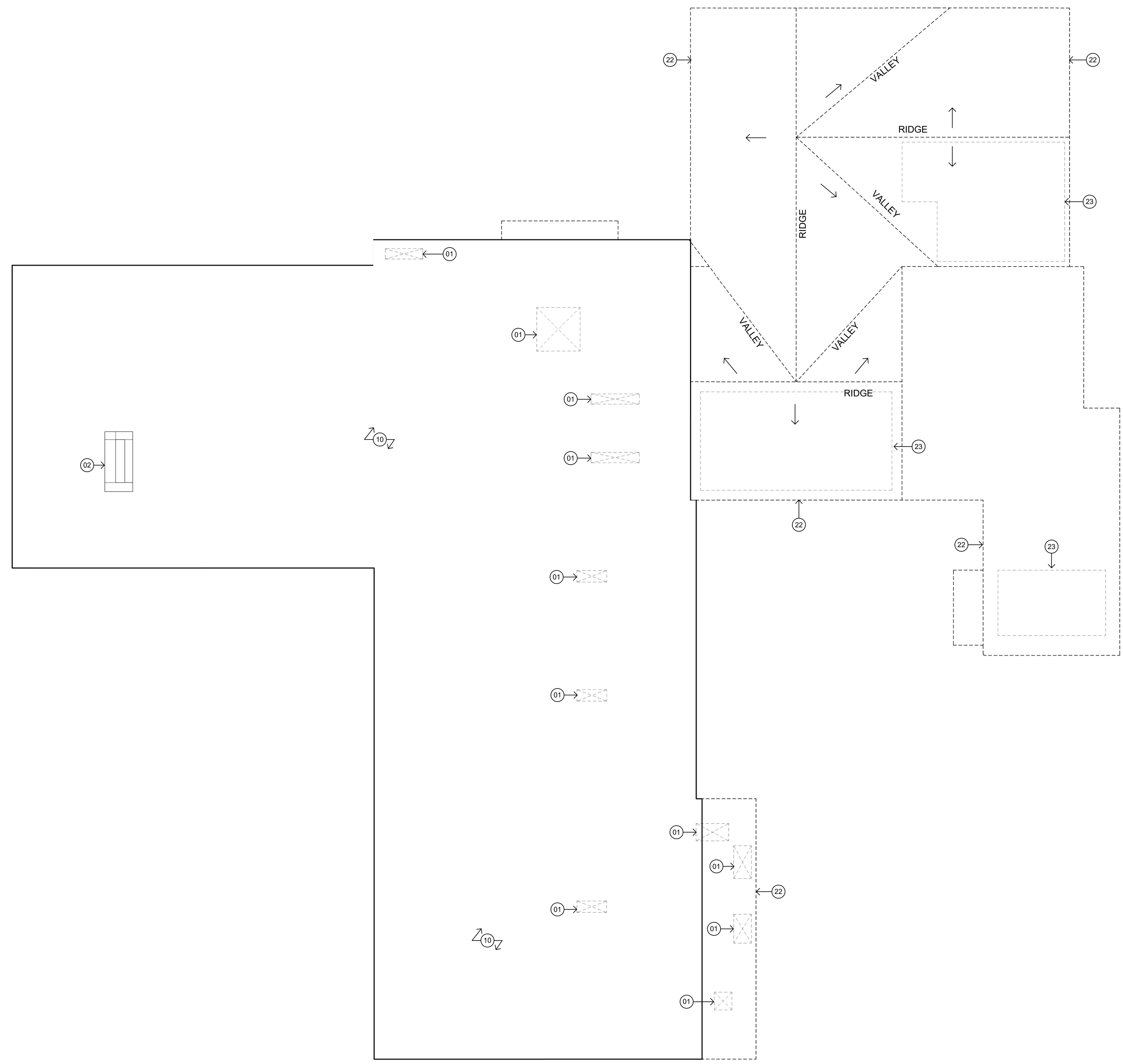
KEYNOTES - DEMOLITION 2



LEGEND - DEMOLITION 3

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2. CONTRACTOR TO COORDINATE AND VERIFY ALL DEMOLITION WITH ALL ALTERATION PLANS.
3. FOLLOWING DEMOLITION, ALL EXISTING DIMENSIONS AND CONDITIONS ARE TO BE CHECKED BY THE CONTRACTOR FOR CONFORMANCE WITH THE REQUIREMENTS OF THE NEW CONSTRUCTION. ANY INCONSISTENCIES OR UNFORESEEN CONDITIONS ARE TO BE SUBMITTED TO THE ARCHITECT FOR REVIEW PRIOR TO THE COMMENCEMENT OF WORK.
4. CONTRACTOR TO REMOVE ALL DEMOLISHED MATERIALS AND ITEMS FROM THE SITE IN ACCORDANCE WITH ALL APPLICABLE AGENCY CODES AND REGULATIONS.
5. CONTRACTOR SHALL TAKE SPECIAL CARE TO PRESERVE THOSE ELEMENTS THAT ARE TO REMAIN. ANY ITEMS THAT ARE TO BE RE-USED MUST BE STORED AND PROTECTED AS REQUIRED FOR RE-USE.
6. CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO ENSURE THE SAFETY OF THE EXISTING STRUCTURE.
7. CONTRACTOR SHALL PROVIDE, ERECT AND MAINTAIN ALL TEMPORARY BARRIERS AND GUARDS, AND ALL TEMPORARY SHORING AND BRACING AS REQUIRED BY ALL CITY AND STATE REGULATIONS.





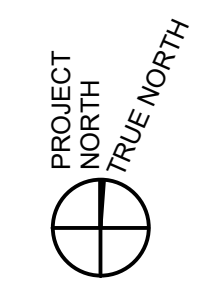
- 01 REMOVE EXISTING SKYLIGHT
- 02 EXISTING CMU BLOCK FIREPLACE AND CHIMNEY TO REMAIN
- 03 REMOVE EXISTING DOOR
- 04 REMOVE EXISTING WINDOW
- 05 REMOVE EXISTING CABINERY, SURROUNDING MILLWORK AND COUNTERTOPS
- 06 REMOVE EXISTING PLUMBING FIXTURES AND CAP PIPING AS NEEDED
- 07 REMOVE EXISTING WALL AND WALL FINISH
- 08 REMOVE EXISTING SHOWER ENCLOSURE
- 09 REMOVE EXISTING FINISH FLOORING. PREPARE EXISTING CONCRETE SLAB FOR NEW FINISH FLOORING AS REQUIRED PER PROPOSED PLANS AND SPECIFICATIONS
- 10 REMOVE EXISTING ROOFING MATERIAL. PREPARE ROOF SHEATHING FOR NEW ROOFING AS REQUIRED PER PROPOSED PLANS AND SPECIFICATIONS
- 11 REMOVE EXISTING SOLAR PANELS
- 12 REMOVE EXISTING APPLIANCES
- 13 REMOVE EXISTING STAIRS AND ASSOCIATED RAILS WHERE OCCURS
- 14 REMOVE EXISTING WINDOW AND REPLACE IN KIND IN EXISTING ROUGH OPENING
- 15 EXISTING 4X4 COLUMN TO REMAIN
- 16 REMOVE EXISTING 4X4 COLUMN
- 17 REMOVE EXISTING FINISH FLOORING AND CONCRETE SLAB
- 18 EXISTING WALL FRAMING TO REMAIN. REMOVE WALL FINISH
- 19 REMOVE EXISTING SCREEN
- 20 REMOVE EXISTING GUARDRAIL
- 21 REMOVE EXISTING HVAC AND WATER HEATER
- 22 REMOVE EXISTING ROOF
- 23 REMOVE EXISTING PHOTOVOLTAIC PANELS

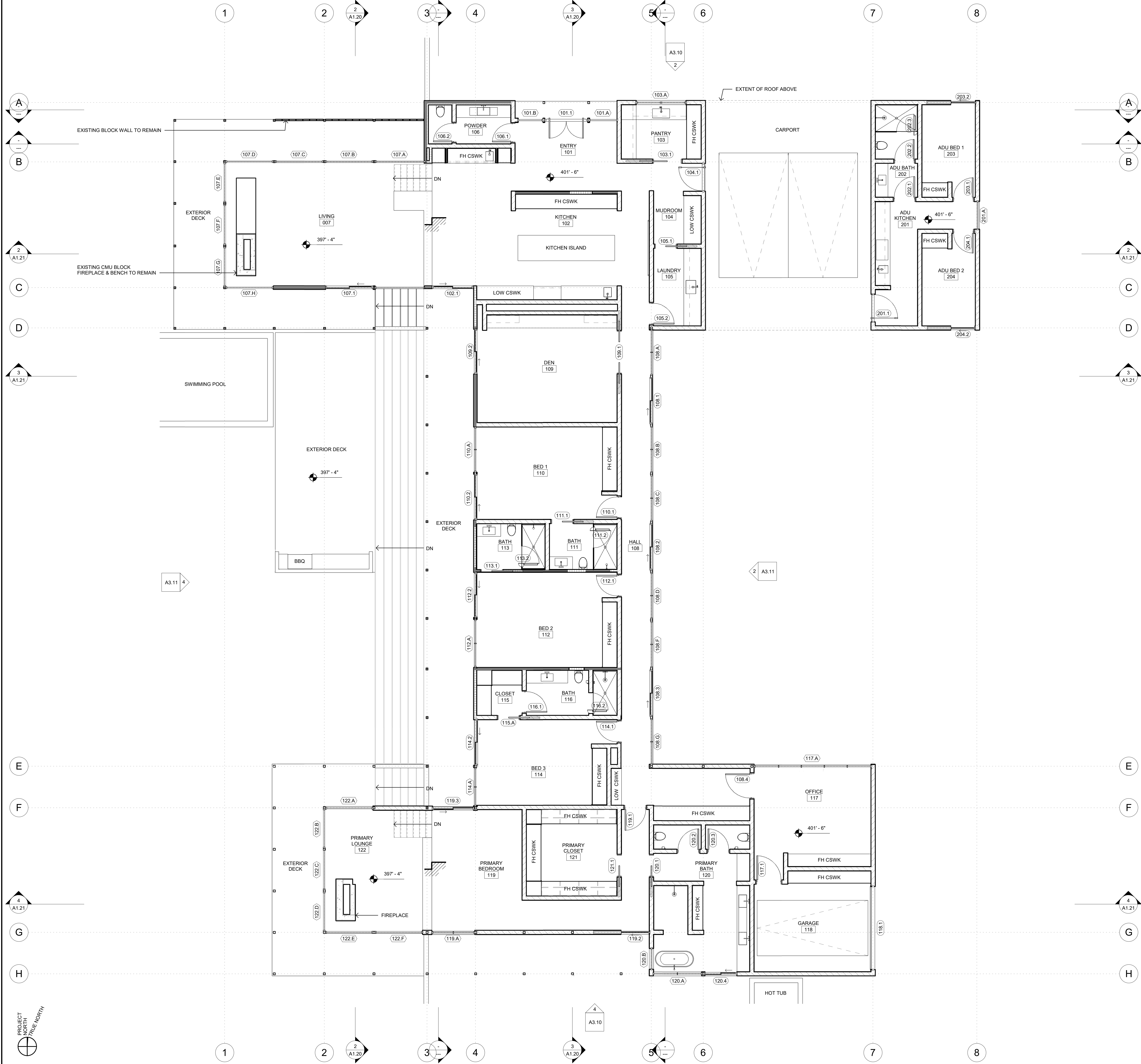
KEYNOTES - DEMOLITION 2

- EXISTING WALL TO REMAIN
- EXISTING OBJECT TO BE REMOVED
- EXISTING FENCE TO BE REMOVED
- EXISTING FENCE TO REMAIN
- EXISTING OBJECT TO REMAIN
- EXISTING SITE PAVING / EXTERIOR DECK TO BE REMOVED

LEGEND - DEMOLITION 3

1. ANY DEMOLITION DRAWINGS AND NOTES ARE PROVIDED FOR CONVENIENCE AND INFORMATION ONLY AND ARE NOT INTENDED TO REPRESENT THE COMPREHENSIVE STATE OF THE BUILDING(S). VERIFY THE EXISTING STATE OF THE BUILDING(S) FINISHES AND BUILDING SYSTEMS.
2. CONTRACTOR TO COORDINATE AND VERIFY ALL DEMOLITION WITH ALL ALTERATION PLANS.
3. FOLLOWING DEMOLITION, ALL EXISTING DIMENSIONS AND CONDITIONS ARE TO BE CHECKED BY THE CONTRACTOR FOR CONFORMANCE WITH THE REQUIREMENTS OF THE NEW CONSTRUCTION. ANY INCONSISTENCIES OR UNFORESEEN CONDITIONS ARE TO BE SUBMITTED TO THE ARCHITECT FOR REVIEW PRIOR TO THE COMMENCEMENT OF WORK.
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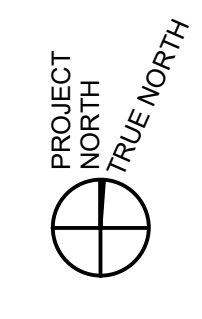
	EXISTING WALL TO REMAIN		HUMIDITY CONTROLLED MECHANICAL EXHAUST FAN. FANS SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING
	WOOD FURRING (THICKNESS VARIES)		COMBO HARDWIRED SMOKE DETECTOR AND CARBON MONOXIDE DETECTOR
	2X4 WOOD FRAMING		CHANGE IN ELEVATION (STRUCTURE TO STRUCTURE)
	2X6 WOOD FRAMING		FLOOR ASSEMBLY
	2X8 WOOD FRAMING		WALL ASSEMBLY
	MASONRY		
	CONCRETE		

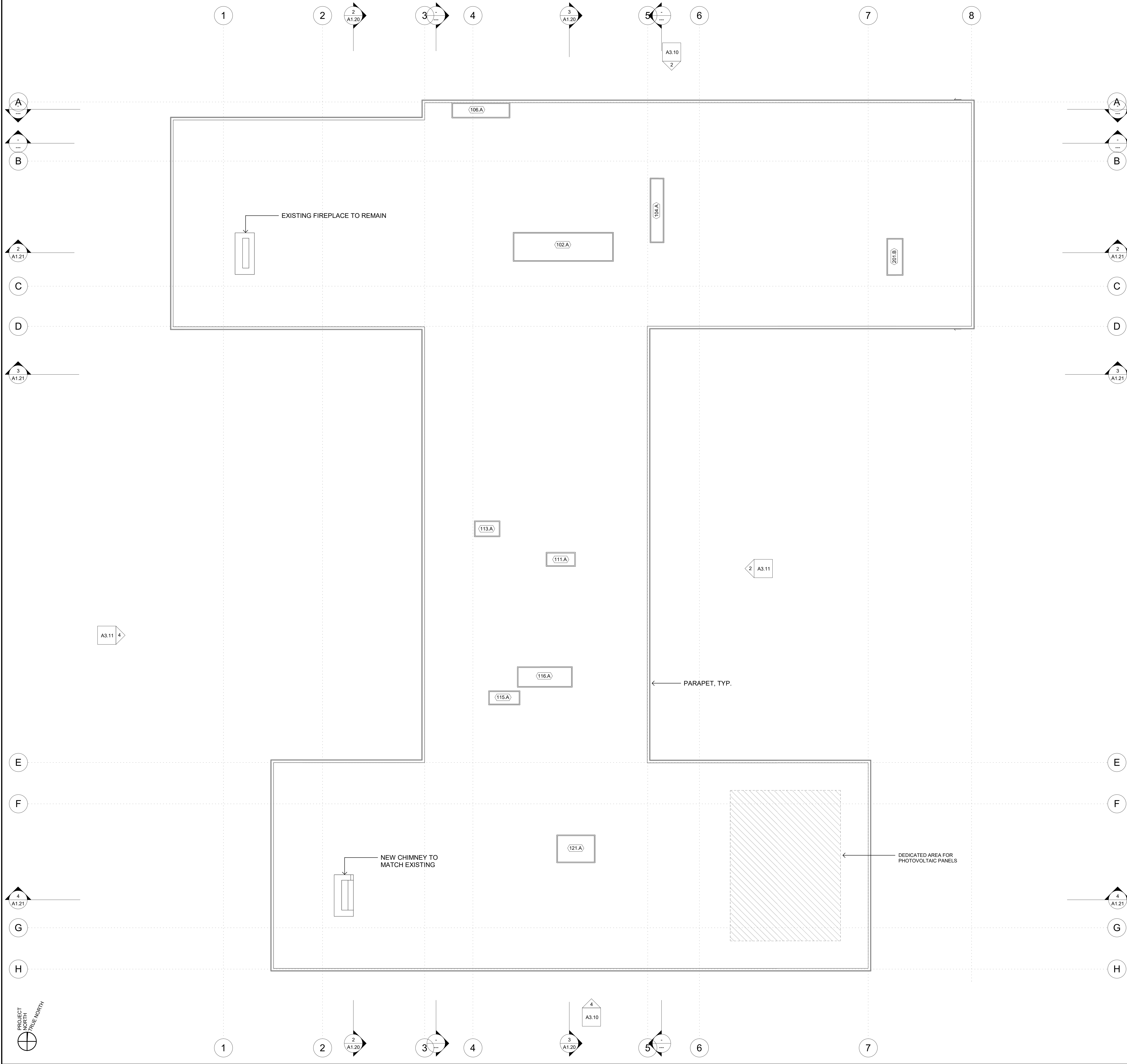
LEGEND - FLOOR PLAN 3

- ALL DIMENSIONS ARE TO FACE OF STRUCTURE (F.O.S.), UNLESS OTHERWISE NOTED.
- DO NOT SCALE FROM DRAWINGS.
- ANY INCONSISTENCIES OR UNFORESEEN CONDITIONS TO BE REVIEWED BY THE ARCHITECT PRIOR TO PROCEEDING WITH CONSTRUCTION.
- ALL DOORS AND WINDOWS DIMENSIONED TO CENTERLINE OF CLEAR OPENING.
- ALL CASEWORK DIMENSIONS TO FACE OF FINISH.
- PROVIDE 1.28 GALLONS OF WATER PER FLUSH TOILETS.
- WATER HEATERS ARE TO BE STRAPPED OR HAVE A RIGID CONNECTION TO AN ADJACENT WALL. (SEC 507.3, UPC)
- PROVIDE R-12 EXTERIOR BLANKET FOR HOT WATER HEATER. R-3 INSULATION SHALL BE PROVIDED FOR THE FIRST FIVE FEET OF THE WATER HEATER OUTLET PIPE. ALL WATER HEATING AND SPACE CONDITIONING EQUIPMENT, SHOWER HEADS AND FAUCETS SHALL BE C.E.C. CERTIFIED. ALL STEAM AND STEAM CONDENSATE RETURN PIPING AND ALL CONTINUOUSLY RECIRCULATING DOMESTIC HEATING OR HOT WATER PIPING SHALL BE INSULATED PER PLUMBING DIVISION.
- ALL INSULATION MATERIALS SHALL BE CERTIFIED BY THE MANUFACTURER AS COMPLYING WITH THE CALIFORNIA QUALITY STANDARDS FOR INSULATION MATERIAL. DOORS AND WINDOWS BETWEEN CONDITIONED AND UNCONDITIONED SPACE SHALL BE FULL WEATHER-STRIPPED.
- AN APPROVED SEISMIC SHUTOFF VALVE WILL BE INSTALLED ON THE FUEL GAS LINE ON THE DOWN STREAM SIDE OF THE UTILITY METER AND BE RIGIDLY CONNECTED TO THE EXTERIOR OF THE BUILDING OR STRUCTURE CONTAINING THE FUEL GAS PIPING.
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- CONTRACTOR SHALL PROVIDE ADEQUATE WEATHER PROTECTION FOR THE BUILDING AND ITS CONTENTS DURING THE COURSE OF WORK.
- CONTRACTOR TO PROVIDE TEMPORARY POWER POLE AND METER FOR THE DURATION OF THE WORK. CONTRACTOR TO MAINTAIN TEMPORARY LIGHT AS REQUIRED FOR THE DURATION OF THE WORK.
- CONTRACTOR SHALL PROVIDE TEMPORARY SANITARY FACILITIES AS TO LEAST IMPACT NEIGHBORS AND AS DIRECTED BY CITY REGULATIONS.

FLOOR PLAN - LEVEL 1
3/16" = 1'-0" 8

NOTES - FLOOR PLAN 4





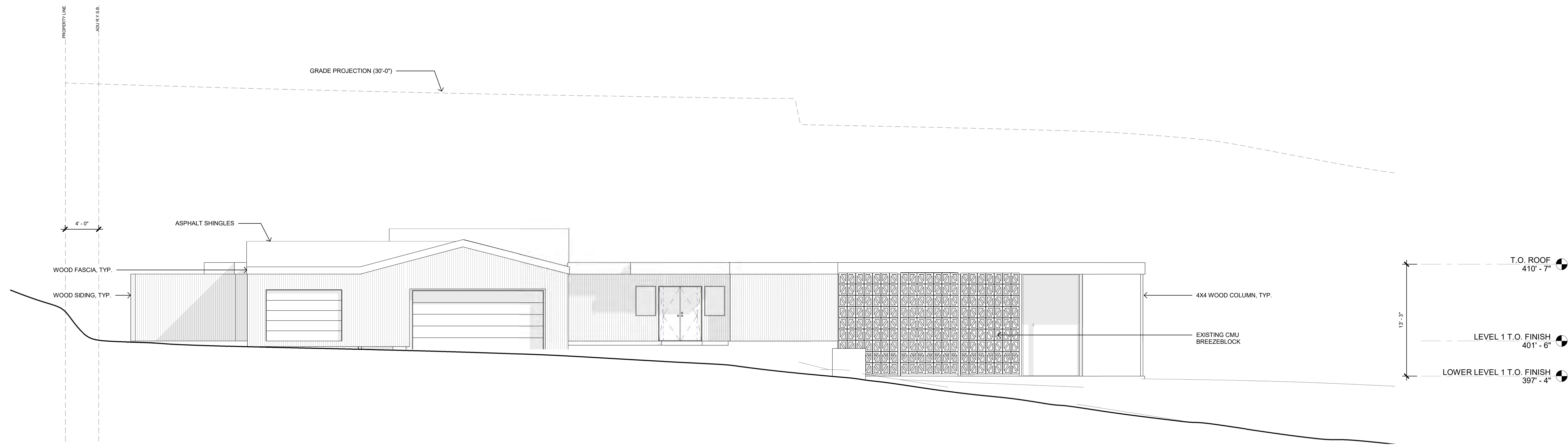
	EXISTING WALL TO REMAIN		HUMIDITY CONTROLLED MECHANICAL EXHAUST FAN. FANS SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING 50 CFM INTERMITTENT 20 CFM CONTINUOUS
	WOOD FURRING (THICKNESS VARIES)		COMBO HARDWIRED SMOKE DETECTOR AND CARBON MONOXIDE DETECTOR
	2X4 WOOD FRAMING		CHANGE IN ELEVATION (STRUCTURE TO STRUCTURE)
	2X8 WOOD FRAMING		FLOOR ASSEMBLY
	2X8 WOOD FRAMING		WALL ASSEMBLY
	MASONRY		
	CONCRETE		

LEGEND - FLOOR PLAN 3

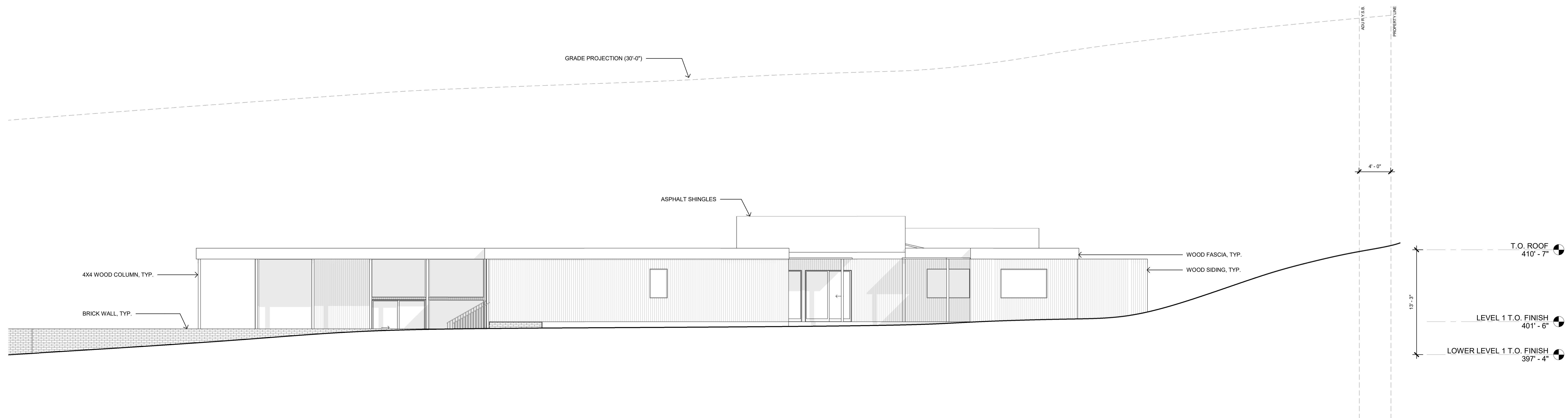
1. ALL DIMENSIONS ARE TO FACE OF STRUCTURE (F.O.S.), UNLESS OTHERWISE NOTED.
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3. ANY INCONSISTENCIES OR UNFORESEEN CONDITIONS TO BE REVIEWED BY THE ARCHITECT PRIOR TO PROCEEDING WITH CONSTRUCTION.
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14. CONTRACTOR SHALL PROVIDE TEMPORARY SANITARY FACILITIES AS TO LEAST IMPACT NEIGHBORS AND AS DIRECTED BY CITY REGULATIONS.

ROOF PLAN
3/16" = 1'-0" 8

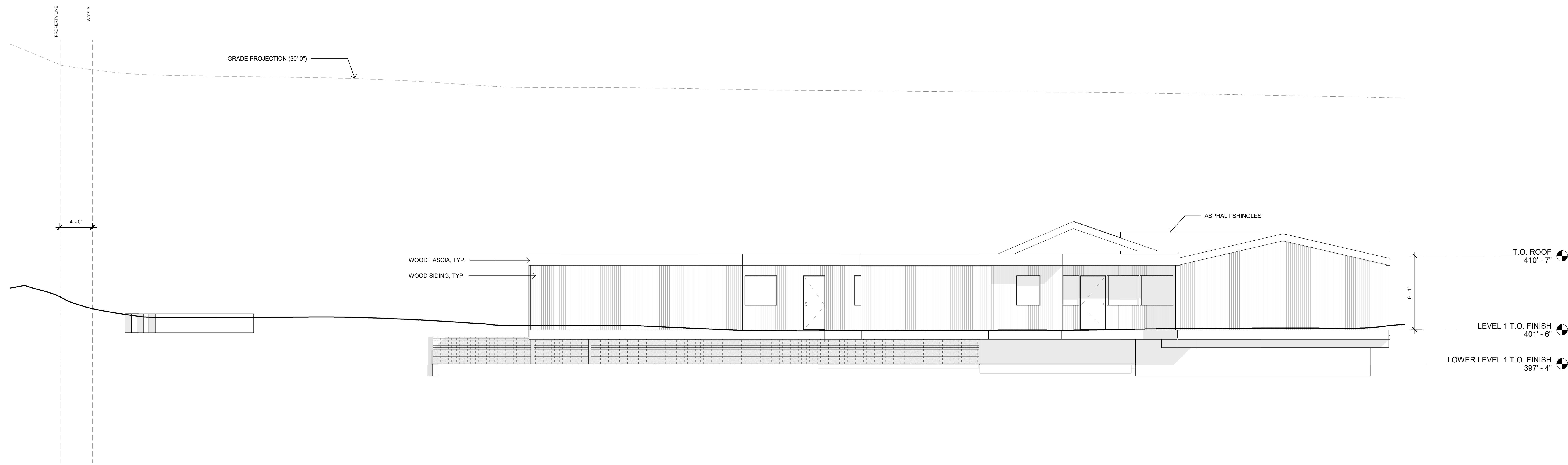
NOTES - FLOOR PLAN 4



EXTERIOR ELEVATION - NORTH - EXISTING
3/16" = 1'-0"

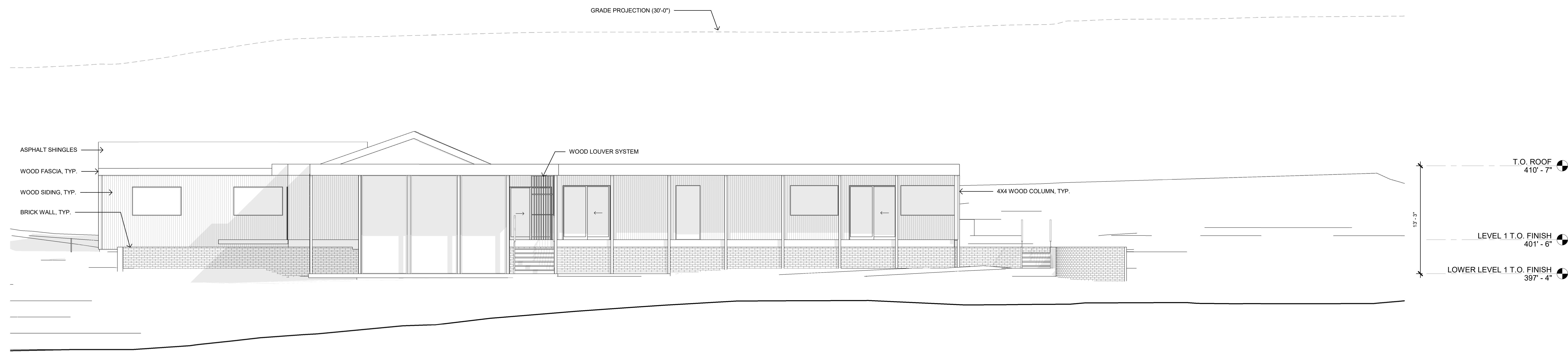


EXTERIOR ELEVATION - SOUTH - EXISTING
3/16" = 1'-0"

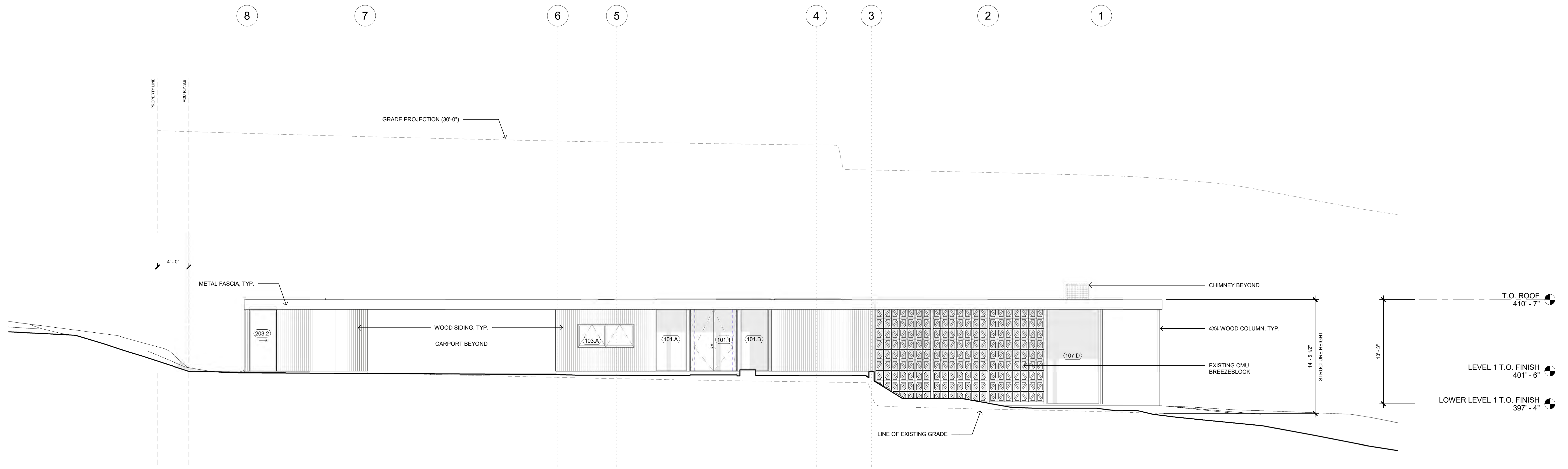


EXTERIOR ELEVATION - EAST - EXISTING
3/16" = 1'-0"

2

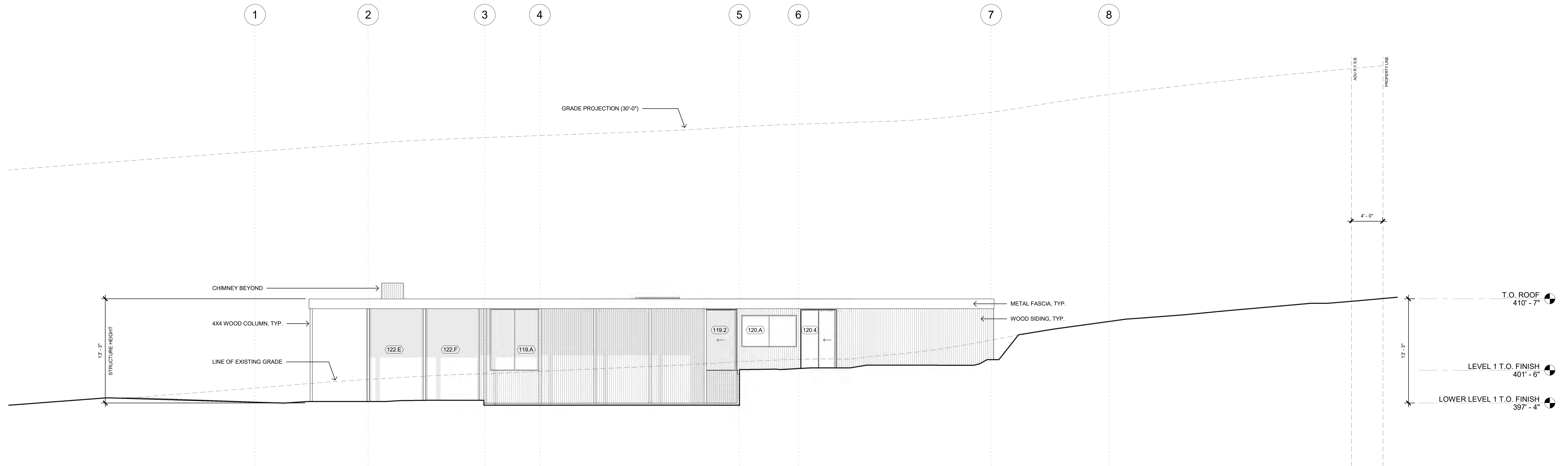


EXTERIOR ELEVATION - WEST - EXISTING
3/16" = 1'-0"



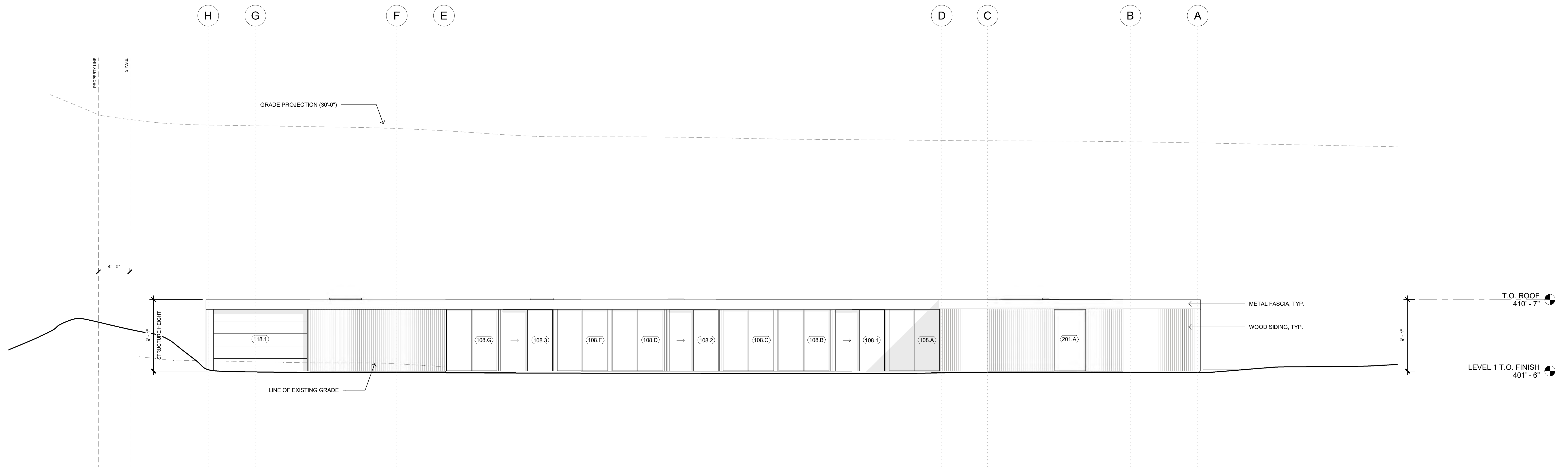
EXTERIOR ELEVATION - NORTH - PROPOSED
3/16" = 1'-0"

2

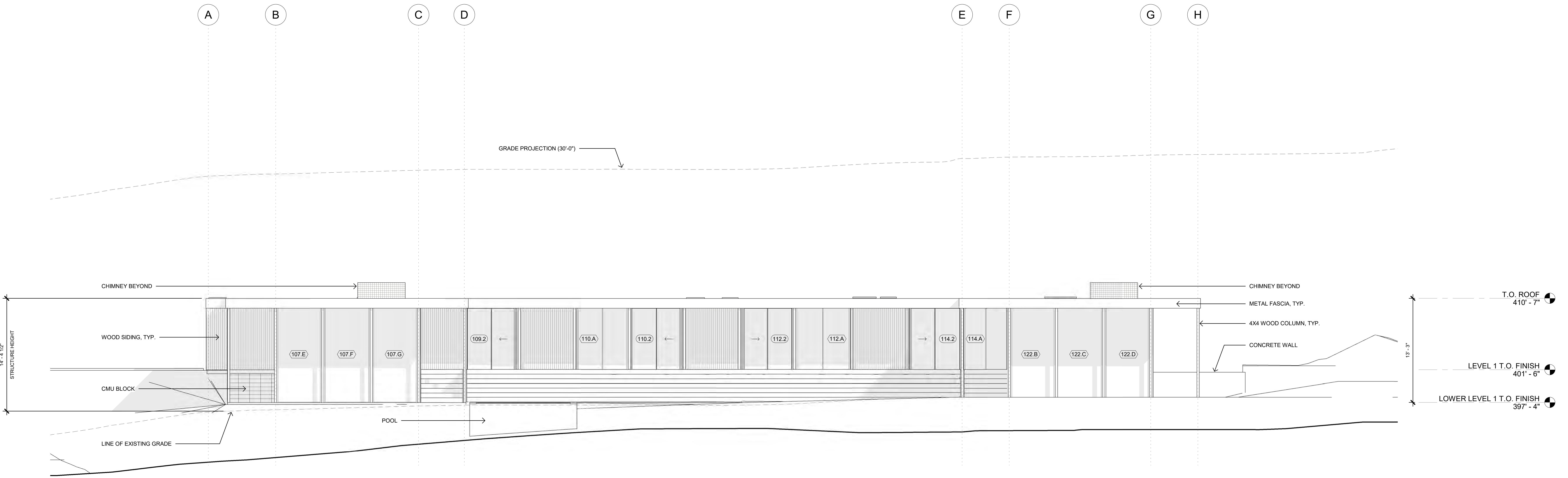


EXTERIOR ELEVATION - SOUTH - PROPOSED
3/16" = 1'-0"

4



EXTERIOR ELEVATION - EAST - PROPOSED
3/16" = 1'-0"



EXTERIOR ELEVATION - WEST - PROPOSED
3/16" = 1'-0"

WOODS + DANGARAN



Abechi/Wood Paneling
Exterior Siding

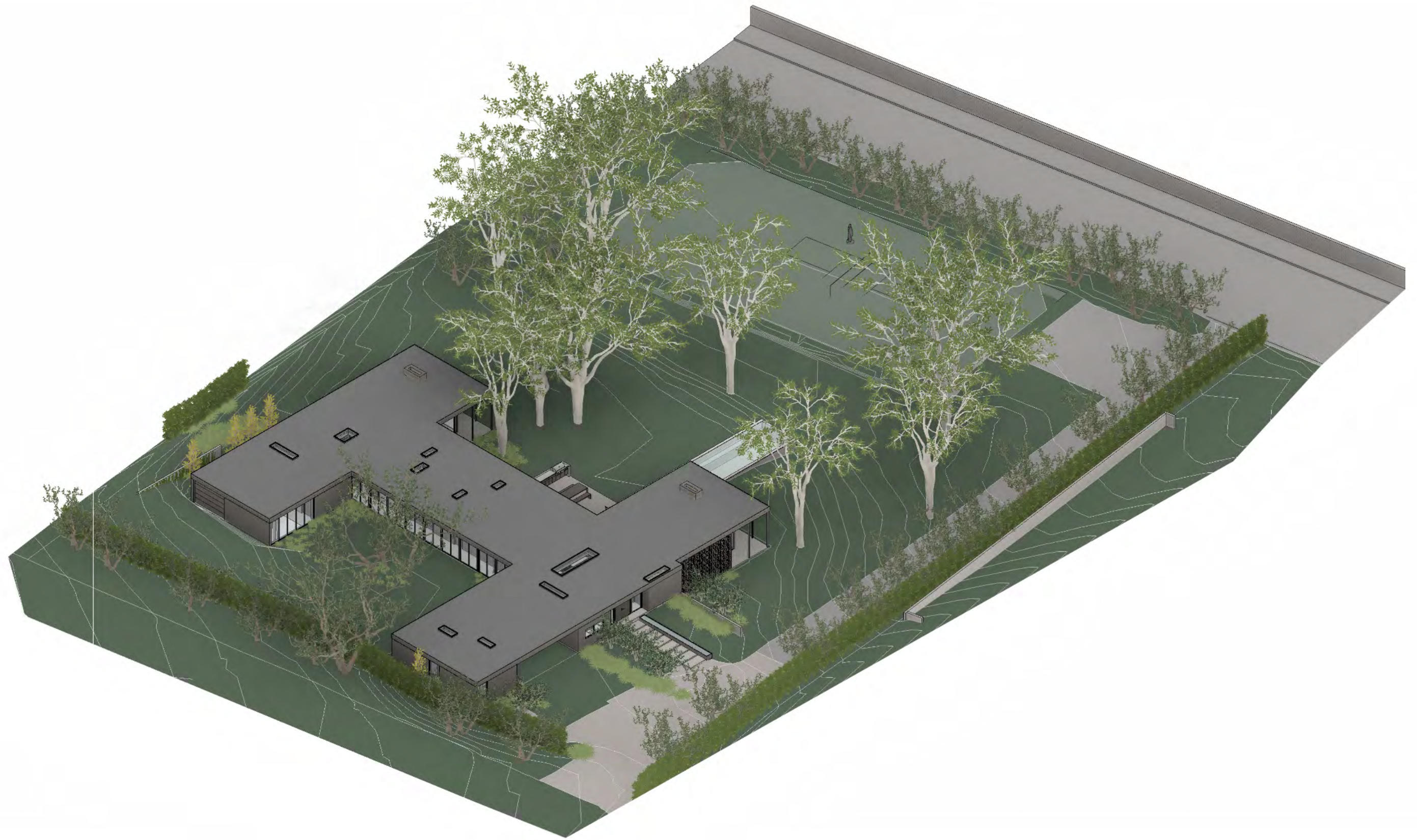
Travertine / Stone
Exterior Deck / Paving

Textured / Modeled Plaster Finish
Exterior Soffits

Dark Bronze
Window Frames & Fascia

Existing Textile Block
Formal Living Room Exterior Garden

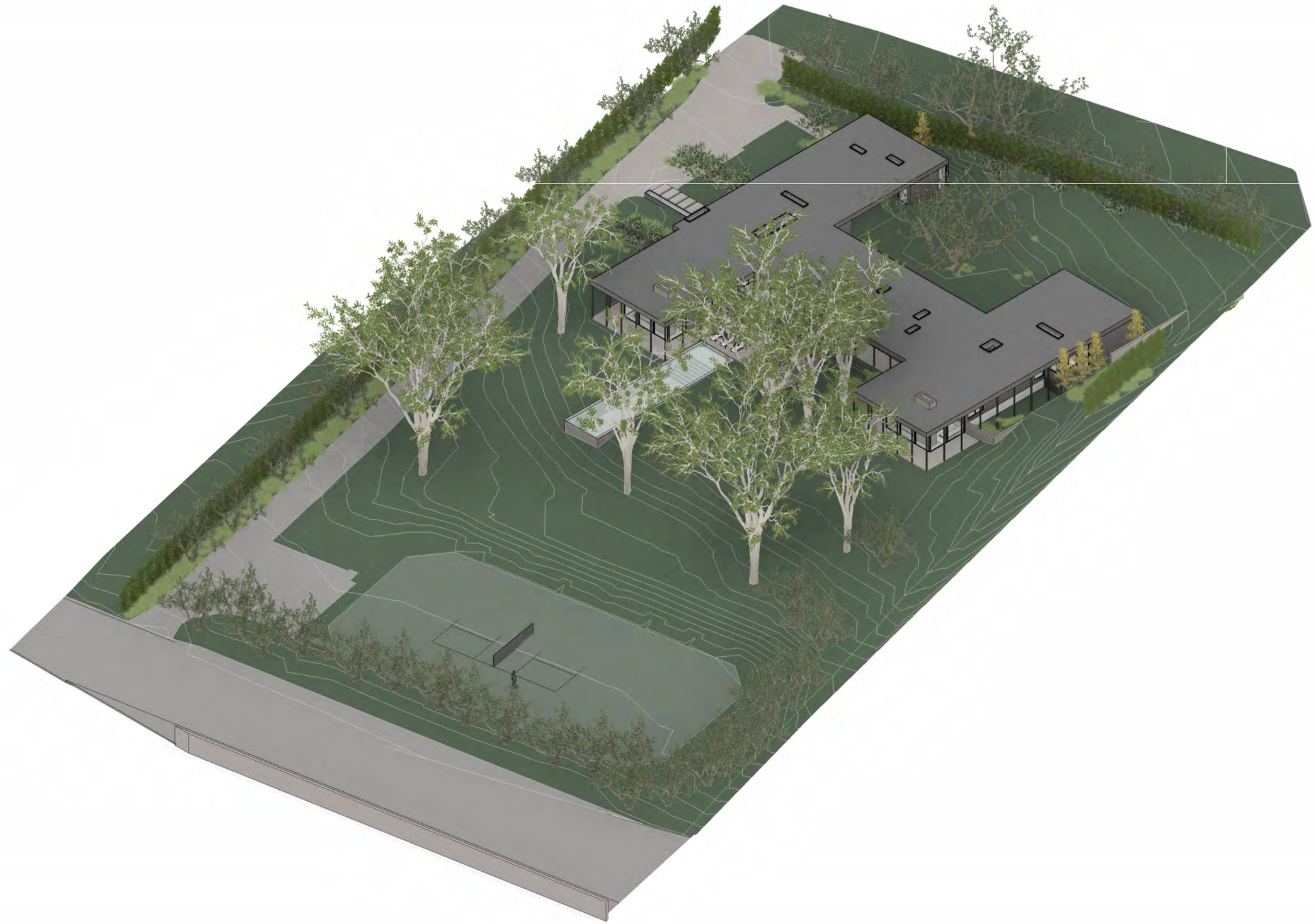
Existing CMU Block
Fireplace and Chimney



LA JOLLA RESIDENCE

AXONOMETRIC - NE - FROM LA JOLLA VISTA DR

WOODS + DANGARAN



LA JOLLA RESIDENCE

AXONOMETRIC - SW - FROM REVELLE DRIVE

WOODS + DANGARAN



LA JOLLA RESIDENCE

PERSPECTIVE - VIEW FROM LA JOLLA VISTA DRIVE - WITHOUT HEDGES

WOODS + DANGARAN



LA JOLLA RESIDENCE

PERSPECTIVE - VIEW FROM DRIVEWAY

WOODS + DANGARAN



LA JOLLA RESIDENCE

PERSPECTIVE - FORMAL ENTRY

WOODS + DANGARAN



LA JOLLA RESIDENCE

PERSPECTIVE - CARPORT AND ADU

WOODS + DANGARAN



LA JOLLA RESIDENCE

PERSPECTIVE - COURTYARD

WOODS + DANGARAN



LA JOLLA RESIDENCE

PERSPECTIVE - OVERALL WEST ELEVATION

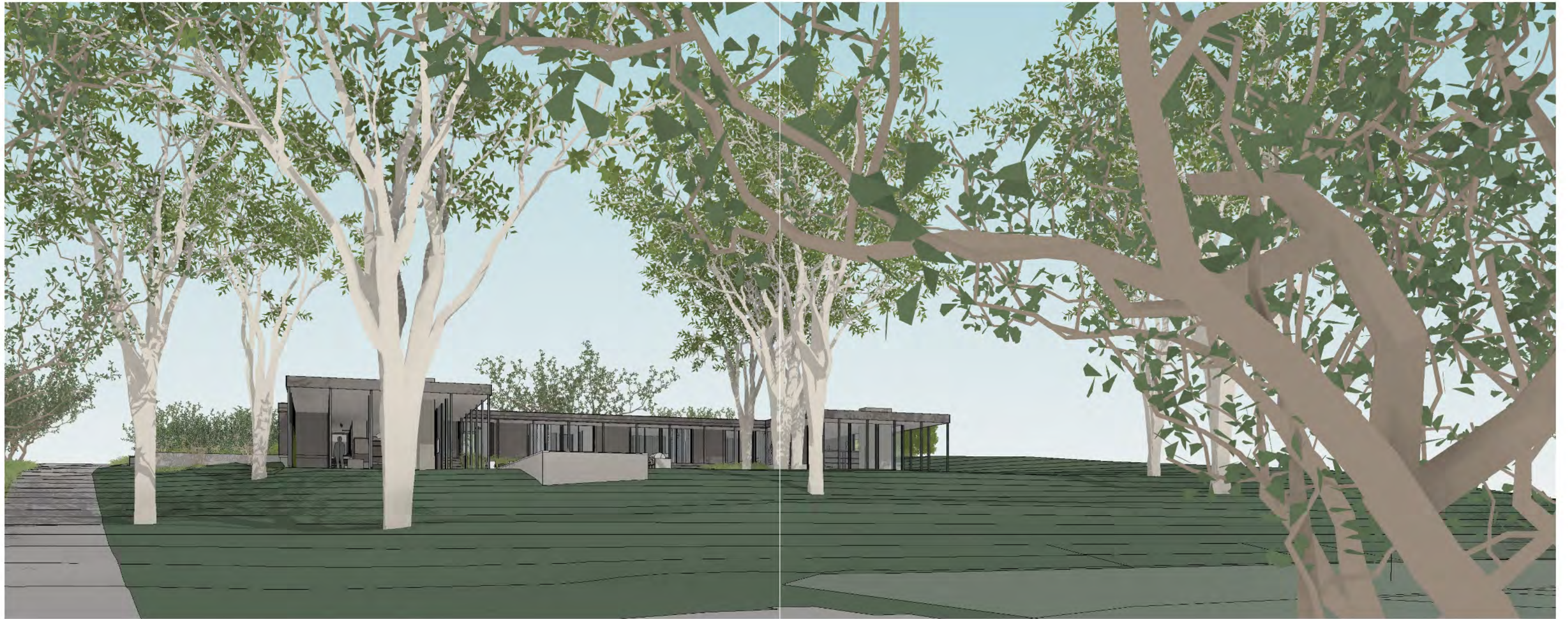
WOODS + DANGARAN



LA JOLLA RESIDENCE

PERSPECTIVE - OVERALL WEST ELEVATION

WOODS + DANGARAN



LA JOLLA RESIDENCE

PERSPECTIVE - VIEW FROM REVELLE DRIVE

WOODS + DANGARAN

WOODS + DANGARAN

WOODS + DANGARAN



LA JOLLA RESIDENCE

EXISTING PROPERTY - VIEW FROM REAR YARD - LA JOLLA VISTA DRIVE

WOODS + DANGARAN



LA JOLLA RESIDENCE

EXISTING PROPERTY - GARAGE & SIDEYARD

WOODS + DANGARAN



LA JOLLA RESIDENCE

EXISTING PROPERTY - VIEW FROM DRIVEWAY

WOODS + DANGARAN



LA JOLLA RESIDENCE

EXISTING PROPERTY - ENTRANCE

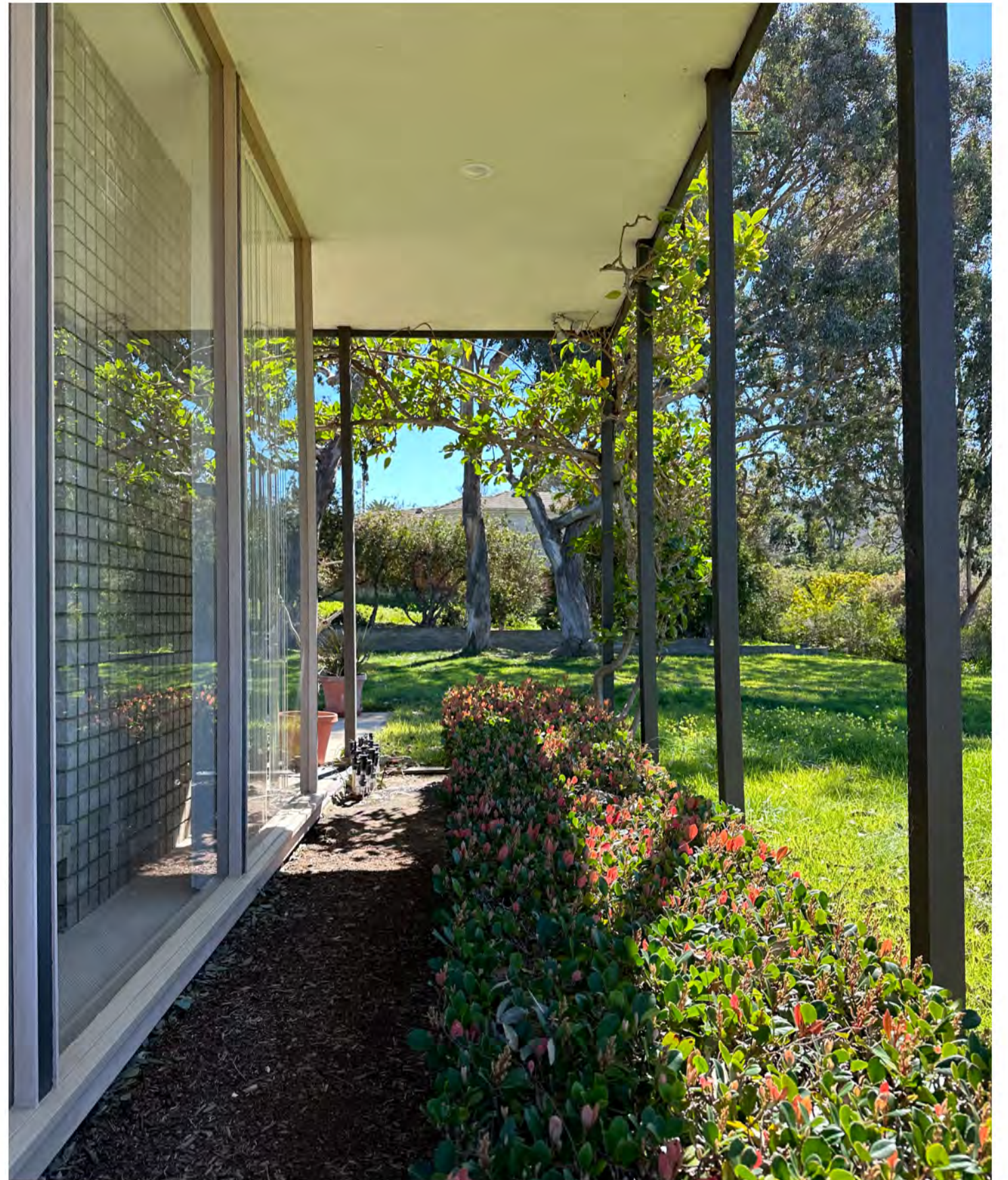
WOODS + DANGARAN



LA JOLLA RESIDENCE

EXISTING PROPERTY - EXTERIOR OF FORMAL LIVING ROOM

WOODS + DANGARAN





LA JOLLA RESIDENCE

EXISTING PROPERTY - EXTERIOR OF FORMAL LIVING ROOM AT WEST ELEVATION

WOODS + DANGARAN



LA JOLLA RESIDENCE

EXISTING PROPERTY - WEST ELEVATION

WOODS + DANGARAN



LA JOLLA RESIDENCE

EXISTING PROPERTY - CLOSEUP OF WEST ELEVATION

WOODS + DANGARAN





LA JOLLA RESIDENCE

EXISTING PROPERTY - CLOSEUP OF WEST ELEVATION

WOODS + DANGARAN



LA JOLLA RESIDENCE

EXISTING PROPERTY - VIEW FROM REVELLE DRIVE

WOODS + DANGARAN



LA JOLLA RESIDENCE

EXISTING PROPERTY - VIEW FROM FRONT YARD - REVELLE DRIVE

WOODS + DANGARAN

WOODS + DANGARAN



MARENGO MORTON ARCHITECTS, INC.

7724 Girard Avenue, Suite 200
La Jolla, CA 92037

Telephone: (858) 459-3769
Facsimile (858) 459-3768

Date: December 20, 2023

To: Jose Vergara

(619) 687-5922

Re: **LDR-Planning Review**

Title: Private Residence

Project No. **PTS-0705977** – 7856 La Jolla Vista Drive, La Jolla, CA 92037

Submitted By: Michael R. Morton, AIA | michael@m2a.io

[Comment 001]

Preliminary Reviews are designed to respond to specific submitted questions regarding a potential project and to identify major issues with the project. The absence of any information not addressed within the course of this review should not be construed as approval of any aspect of your project. This Preliminary Review is not a comprehensive plan review, nor is it intended to replace the services provided by design professionals. A complete review of the project will only be conducted when a complete set of plans is submitted as a part of the formal application. [Info Only] (From Cycle 1)
A-001) Noted. We will submit a complete set of Plans.

[Comment 002]

Although it is the intent of this Preliminary Review to aid you in the development of your project, it is ultimately the applicant's responsibility to ensure compliance with all applicable laws, governing policies, and regulations including information that may not have been addressed in this review. [Info Only] (From Cycle 1)
A-002) Comment noted.

[Comment 003]

The applicant is responsible for knowing and understanding the governing policies and regulations applicable to the proposed development, and the City is not liable for any damages or loss resulting from any actual or alleged failure to inform the applicant of any laws or regulations that may be applicable to proposed development. [Info Only] (From Cycle 1)
A-003) Comment noted.

[Comment 004]

The subject site is located at 7856 La Jolla Vista Dr. San Diego, CA 92037 (APN 346-742-1100), in the LJSPD-SF zone, within the La Jolla Community Plan Area.

The subject site is located within the following Overlay Zones:

Airport Land Use Compatibility Zone- MCAS Miramar

Airport Influence Area- MCAS Miramar-Review Area 2

Coastal Height Limit Overlay Zone-30



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The proposed scope of work is for the remodeling and addition to an existing single-family dwelling unit. The proposed work is to an existing single-family dwelling unit on a develop lot. (From Cycle 1)
A-004) Comment acknowledged.

[Comment 005]

Q.1 Response:

Staff have received resources in the form of a 300-foot radius map prepared by consultants to determine the general conformity of the vicinity. The resources provided can vary but must provide an accurate map that is to scale, along with a list of the properties, and setback analysis. Staff will not recommend the approval of any structure that is different in quality, form, materials, color, and relationship as to disrupt the architectural unity of the area. (From Cycle 1)

A-005) We will provide an updated 300' radius map to scale with updated list of properties with analysis on front, side & rear setbacks to show project conformance to LJPDO provision.

[Comment 006]

Q.2 Response:

In accordance with section 1510.0304(b)(1), buildings with openings that face the side property line shall be constructed no closer than 4-feet from the property line. In addition, a 300-foot radius map will be used by staff to determine the general conformity with those in the vicinity. The resources provided may vary in form as long as it provides an accurate map that is to scale, list the properties within a 300-foot radius and contains the setback analysis. Staff will not recommend the approval of any structure that does not comply with those in the community. (From Cycle 1)

A-006) Comment noted. See revised 300' setback survey on sheet A0.50. (Attached)

[Comment 007]

Q.3 Response:

Staff recommends confirming property lines via a boundary survey- prepared by a licensed surveyor- and to confirm the existing easements via the title report for the property. (From Cycle 1)

A-007) See the attached signed & dated topographic survey by licensed land surveyor #7525 (Attached)

[Comment 008]

Q.4 Response:

The properties -identified as #12 & #13 on the property area and setbacks matrix- that reside West of the subject property do not need to be included in setback calculations. The listed properties were part of an existing discretionary permit Planned Residential Development (PRD-57) and are part of a multi-family development. (From Cycle 1)

A-008) Comment Noted. Properties will be removed from 300' set back survey. See revised setback.

[Comment 009]

Q. 5 Response:

The setbacks of the property are to be calculated from a distance inward from and perpendicular to a property line. Regardless of if the property was subdivided, the setbacks of the buildings and



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structures for the subject property shall be in general conformity with those in the vicinity. The lot is double-fronted and as a result, the portion of the lot adjacent to La Jolla Vista Drive and Revelle Drive will also be considered a front yard setback. (From Cycle 1)

A-009) Comment noted. See revised site plan on A1.10 with the front yard setback located on La Jolla Vista Drive & Revelle Drive

[Comment 010]

Q. 6 Response:

Buildings and setbacks shall be in general conformity with those in the vicinity. The setbacks of the property are to be calculated from a distance inward from and perpendicular to a property line. Regardless of if the property was subdivided, the setbacks of the buildings and structures for the subject property shall be in general conformity with those in the vicinity. The lot is double-fronted and as a result, the portion of the lot adjacent to La Jolla Vista Drive and Revelle Drive will also be considered a front yard setback. Reference section 1510.0304. (From Cycle 1)

A-010) Comment noted. See revised site plan on A1.10 & 300' front setback survey on A0.50.

[Comment 011]

Q. 7 Response:

The setbacks for the subject property will be determined based on the neighboring properties that fall within the 300-foot radius. A 300-foot radius map is required that encompasses the address, legal description, lot size, and all required yards in a tabular form for all properties within the 300-foot radius. (From Cycle 1)

A-011) Acknowledged. Please see the 300' radius survey on sheet A0.50

[Comment 012]

Q. 8 Response:

In residential zones the code allows for architectural encroachments, section 131.0140 Use of Yards and Landscaped Area in All Base Zones, does not identify tennis courts as an allowable use of yards. (From Cycle 1)

A-012) Acknowledged.

[Comment 013]

Q. 9 Response:

The local rules and regulations applicable to the subject site regarding fences and retaining walls can be found in Chapter 14, Article 2, Division 3. Please reference section 142.0340 fence regulations for additional information on location, height, and allowances. (From Cycle 1)

A-013) Comment noted.

[Comment 014]

Q. 10 Response:

Aerial images show an existing curb cut; will this be to propose an additional driveway? Keep in mind that, per section 142.0560(j)(6) There shall be at least a 45-foot length of full-height curb between



MARENGO MORTON ARCHITECTS, INC.

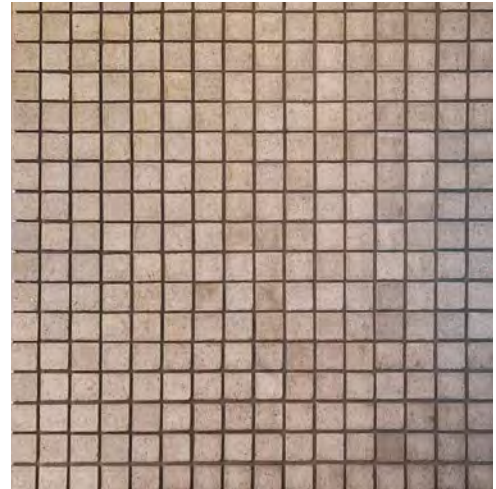
7724 Girard Avenue, Suite 200
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driveways serving the same premises, as illustrated in Diagram 142-05C. In addition, you will need to contact the city engineer for further information. (From Cycle 1)

A-014) There is only one curb cut at the east & west side of the property. Both of the curb cuts are more than 45' from each other and are 325.40' from west to east.

WOODS + DANGARAN



Abechi/Wood Paneling
Exterior Siding

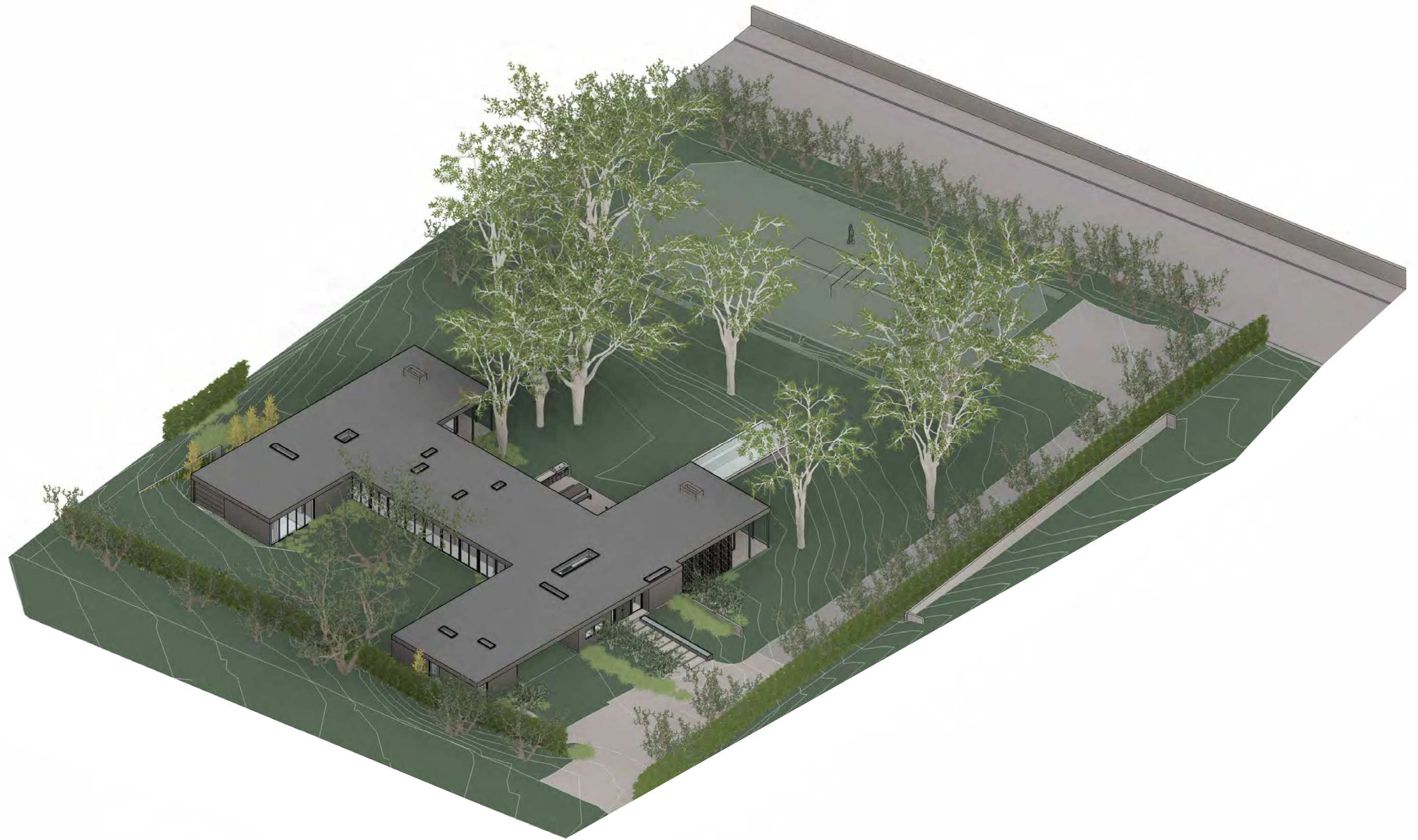
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Exterior Deck / Paving

Textured / Modeled Plaster Finish
Exterior Soffits

Dark Bronze
Window Frames & Fascia

Existing Textile Block
Formal Living Room Exterior Garden

Existing CMU Block
Fireplace and Chimney



LA JOLLA RESIDENCE

AXONOMETRIC - NE - FROM LA JOLLA VISTA DR

WOODS + DANGARAN



LA JOLLA RESIDENCE

AXONOMETRIC - SW - FROM REVELLE DRIVE

WOODS + DANGARAN



LA JOLLA RESIDENCE

PERSPECTIVE - VIEW FROM LA JOLLA VISTA DRIVE - WITHOUT HEDGES

WOODS + DANGARAN



LA JOLLA RESIDENCE

PERSPECTIVE - VIEW FROM DRIVEWAY

WOODS + DANGARAN



LA JOLLA RESIDENCE

PERSPECTIVE - FORMAL ENTRY

WOODS + DANGARAN



LA JOLLA RESIDENCE

PERSPECTIVE - CARPORT AND ADU

WOODS + DANGARAN



LA JOLLA RESIDENCE

PERSPECTIVE - COURTYARD

WOODS + DANGARAN



LA JOLLA RESIDENCE

PERSPECTIVE - OVERALL WEST ELEVATION

WOODS + DANGARAN



LA JOLLA RESIDENCE

PERSPECTIVE - OVERALL WEST ELEVATION

WOODS + DANGARAN



LA JOLLA RESIDENCE

PERSPECTIVE - VIEW FROM REVELLE DRIVE

WOODS + DANGARAN

WOODS + DANGARAN