

**La Jolla Shores Planned District Advisory Board (LJSPDAB)
APPLICANT PROJECT INFORMATION FORM**

Please provide the following information on this form to schedule your project at an upcoming La Jolla Shores Planned District Advisory Board meeting.

For Action Items

- Project Tracking System (PTS) Number/Accela "PRJ" Number and Project Name (only submitted projects to the Development Services Department can be heard as action items):
PRJ-1076668
- Address and APN(s): 7901 Avenida Kirjah, APN 346-820-02
- Project contact name, phone, e-mail: Kyle Stephens, kyle@ks-arch.com, 619-253-2742
- Project description: Partial demolition of existing SFR including an exist. exterior deck. The addition of 801 s.f. and 3 new exterior balconies.
- Please indicate the action you are seeking from the Advisory Board:
 - Recommendation that the Project is minor in scope (Process 1)
 - Recommendation of approval of a Site Development Permit (SDP)
 - Recommendation of approval of a Site Development Permit (SDP) and Coastal Development Permit (CDP)
 - Other: _____
- In addition, provide the following:
 - lot size: 40,075 s.f.
 - existing structure square footage and FAR (if applicable): 2,707 s.f., 0.07 FAR
 - proposed square footage and FAR: 3,508 s.f., 0.08 FAR
 - existing and proposed setbacks on all sides: Front: 5' exist and proposed, Sides: 19' exist. and proposed, Rear: 224' exist. and 210' proposed
 - height if greater than 1-story (above ground): 30' max height

For Information Items *(For projects seeking input and direction. No action at this time)*

- Project name (Unsubmitted projects can be informational items if the development team is seeking comments and direction from the Board on the concept): _____
- Address and APN(s): _____
- Project contact name, phone, e-mail: _____
- Project description: _____
- In addition to the project description, please provide the following:
 - lot size: _____
 - existing structure square footage and FAR (if applicable): _____
 - proposed square footage and FAR: _____
 - existing and proposed setbacks on all sides: _____
 - height if greater than 1-story (above ground): _____
- Project aspect(s) that the applicant team is seeking Advisory Board direction on. (Community character, aesthetics, design features, etc.): _____

Exhibits and other materials to provide:

Exhibits and other project-related presentation materials (e.g. site plan, elevations, exhibits showing addition/remodel areas, etc.) although not required, are extremely helpful in informing the Advisory Board’s review and understanding of a project. The following exhibits and materials are recommended and if provided by the applicant, will be attached to the agenda and posted to the City’s website:

<https://www.sandiego.gov/planning/community/profiles/lajolla/pddoab> for view by the public:

- All exhibits should be sized to 8 ½” X 11” format
- Exhibits, which can contain the following:
 - A. A site plan showing the street, the property line on all sides, the setbacks on all sides, and the setbacks from the property lines to the neighboring building;
 - B. Elevations for all sides;
 - C. If the proposal is for a remodel, a clear delineation of what part of the proposed structure is new construction
 - D. If the proposal is for a building with more than one story, show:
 - how the upper story sits on the story beneath it (setback of the upper story from the lower story);
 - the distance from the proposed upper story to comparable stories of the neighboring buildings; and
 - the height of neighboring buildings compared to the proposed structure’s height.
- Any surveys that indicate similarities in floor area or architectural style in the surrounding neighborhood
- Any communications such as letter and emails from adjacent neighbors, local neighborhood groups, and/or the Homeowners’ Association
- The most recent Project Issues Report for the project from the Development Services Department

PLEASE DO NOT PROVIDE THE FOLLOWING:

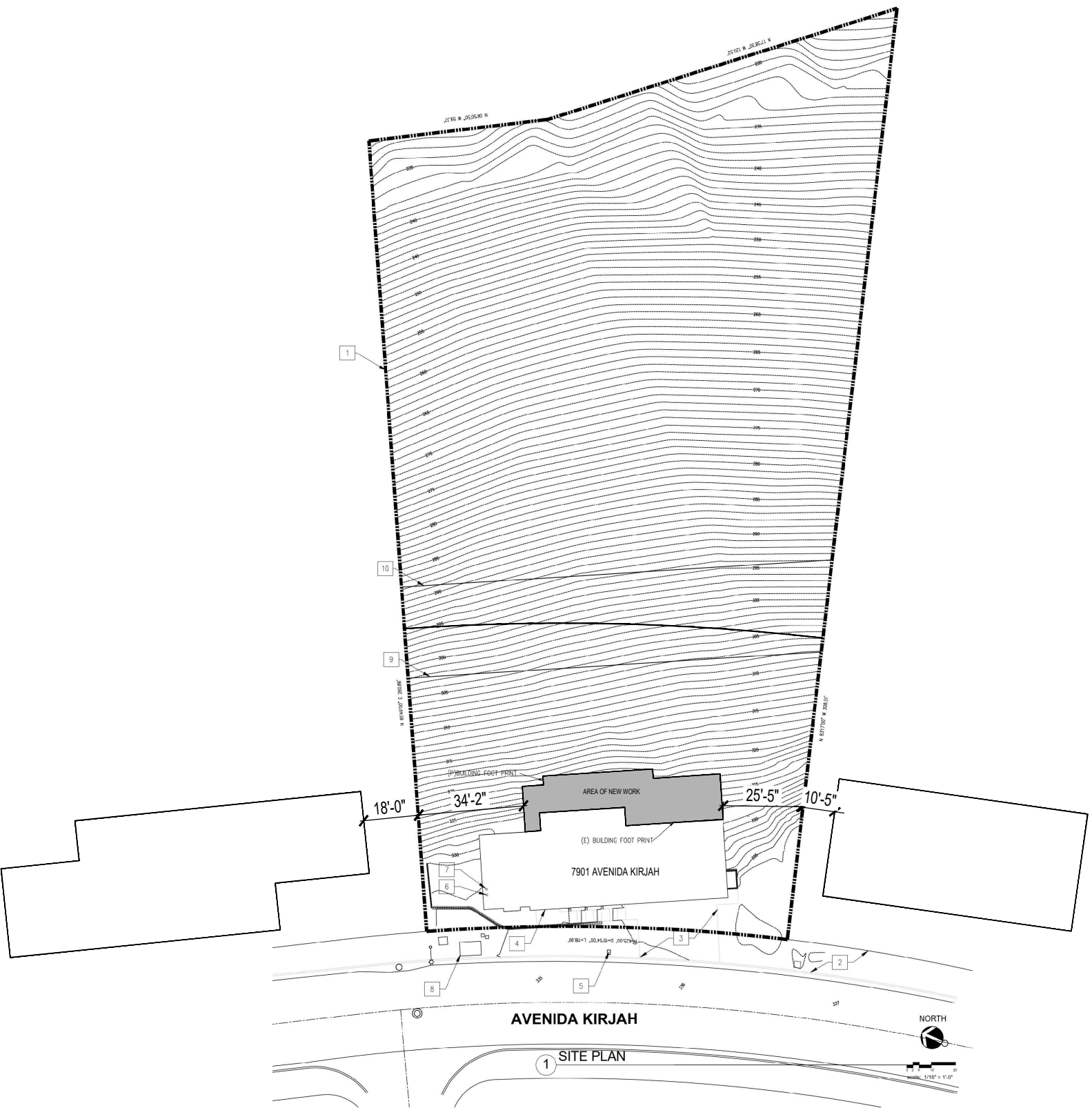
- The complete plan set of the project. Complete plan sets take up a lot of memory to distribute and most of the information is not necessary for the Advisory Board’s review.
- Plans or exhibits of the interior of the project. Interiors are not reviewed by the Advisory Board.
- Personal contact information of the property owners of the project should not be included, unless they are the “owner/applicant” and they are the designated point of contact

The Advisory Board members are very keen to know that the neighbors in the immediate vicinity have been noticed and their views noted. Community conformity, setbacks, FAR, parking, view corridors, bulk & scale, and articulation are key discussion points on all projects. Action Items will be heard first.

Thank you,

Please return the information requested to no later than a week before the scheduled meeting date:

Melissa Garcia, Senior Planner
magarcia@sandiego.gov
City Planning Department
619-236-6173

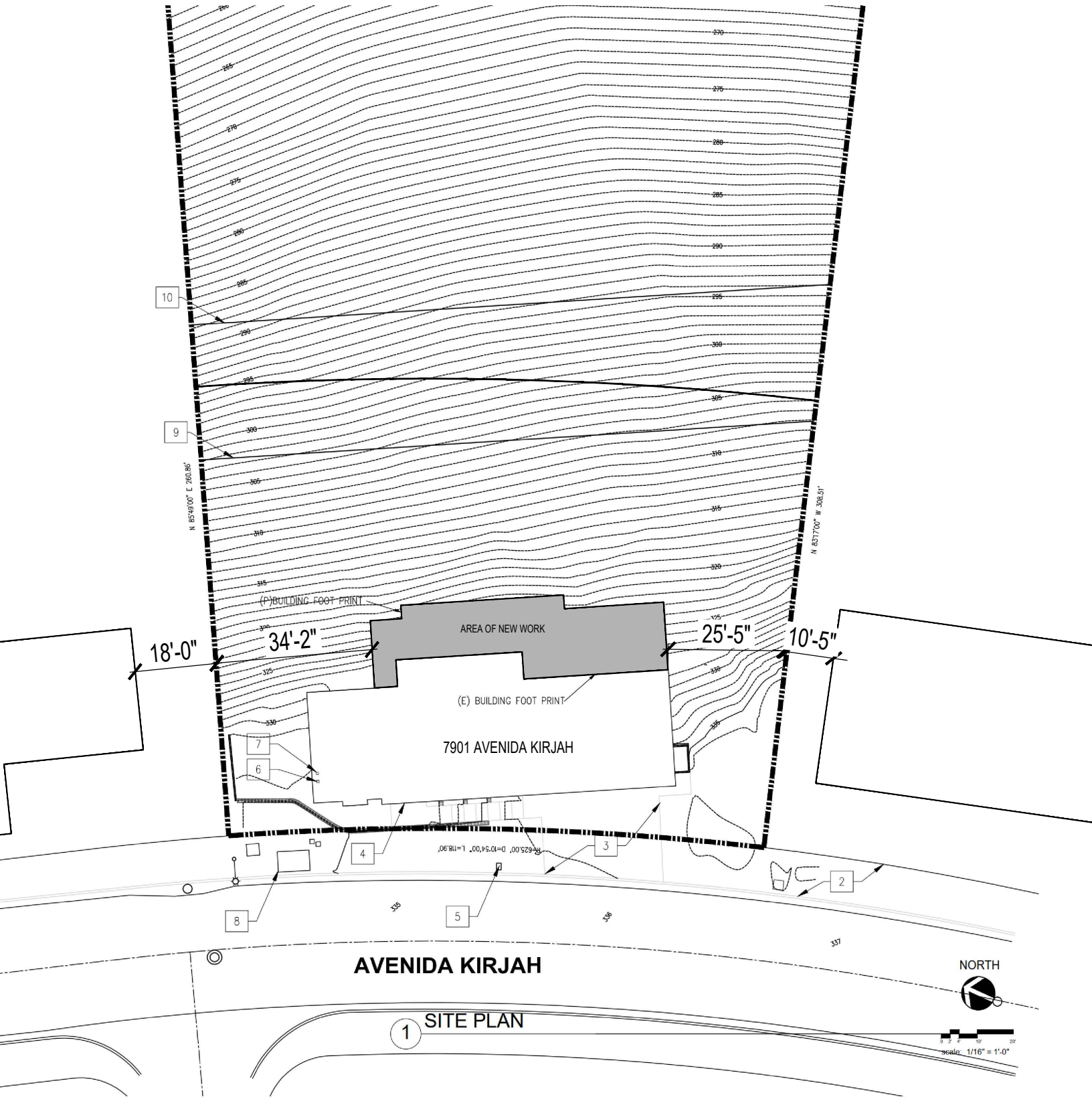


AVENIDA KIRJAH

1 SITE PLAN



1/16" = 1'-0"

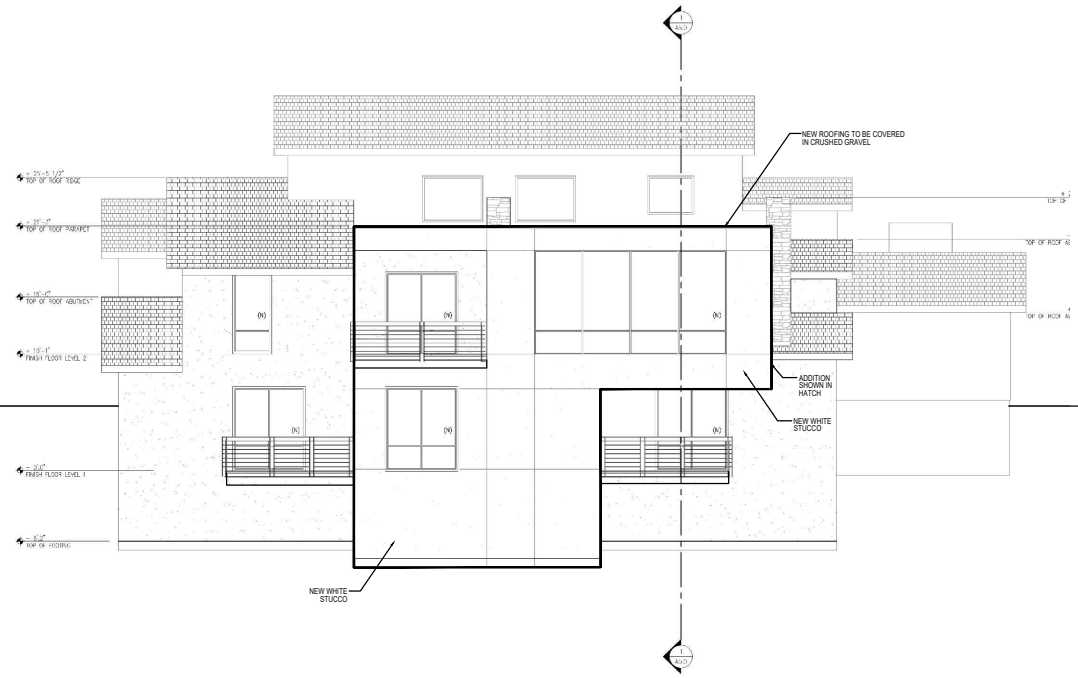


AVENIDA KIRJAH

1 **SITE PLAN**

NORTH

scale: 1/16" = 1'-0"



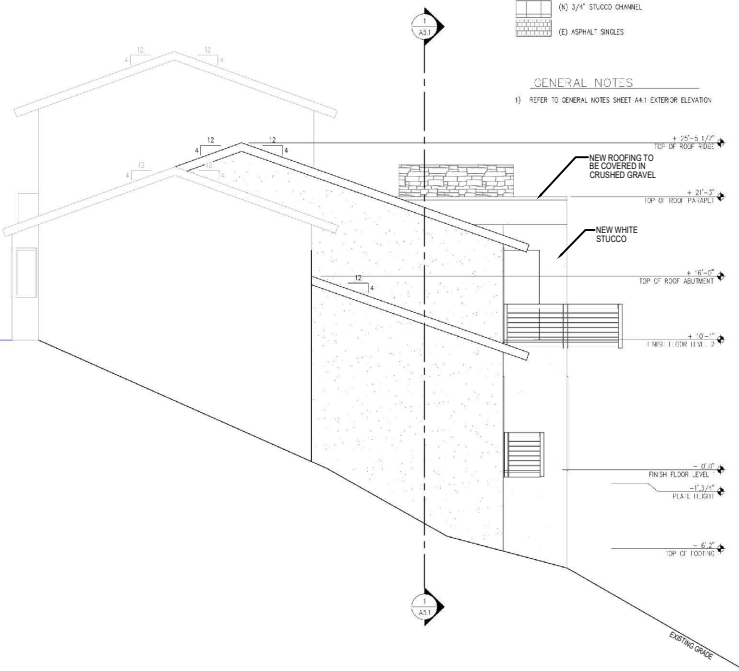
1 EASTERN ELEVATION

ELEVATION PLAN LEGEND

- (N) ROOF ASPHALT SHINGLES TO MATCH EXISTING
- (O) 3 COAT STUCCO FINISH TO MATCH EXISTING
- (O) 3 COAT STUCCO FINISH WITH SMOOTH FINISH
- (S) STONE VENEER
- (O) 3/4" STUCCO CHANNEL
- (E) ASPHALT SHINGLES

GENERAL NOTES

- 1) REFER TO GENERAL NOTES SHEET AA-1 EXTERIOR ELEVATION



2 SOUTHERN ELEVATION

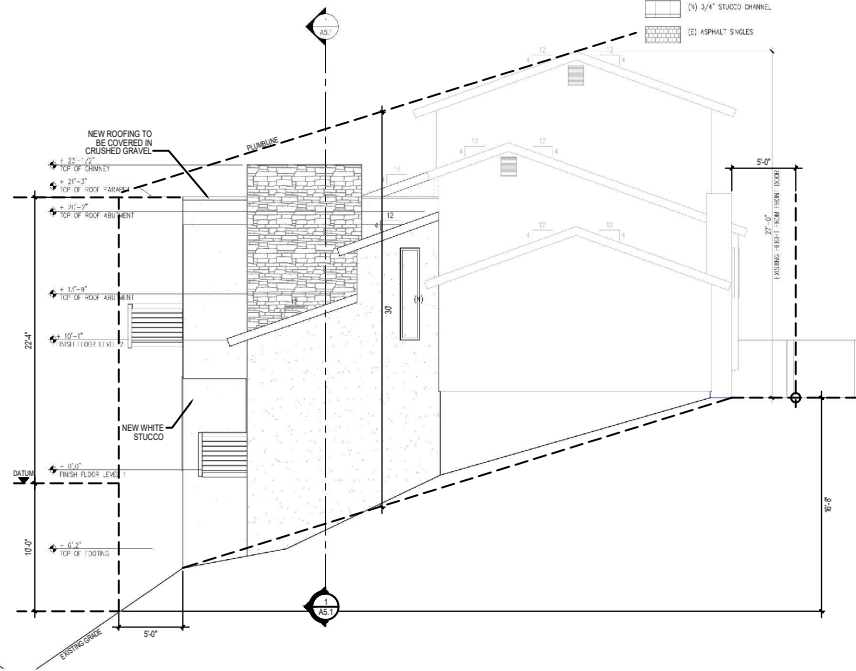
SCALE: 1/4" = 1'-0"

GENERAL NOTES

- 1) REFER TO GENERAL NOTES SHEET AA-1 EXTERIOR ELEVATION

ELEVATION PLAN LEGEND

- (N) ROOF ASPHALT SHINGLES TO MATCH EXISTING
- (O) 3 COAT STUCCO FINISH TO MATCH EXISTING
- (O) 3 COAT STUCCO FINISH WITH SMOOTH FINISH
- (S) STONE VENEER
- (O) 3/4" STUCCO CHANNEL
- (E) ASPHALT SHINGLES



1 NORTHERN ELEVATION

SCALE: 1/4" = 1'-0"



THE CITY OF SAN DIEGO
Development Services Department
1222 1st Avenue, San Diego, CA 92101

Project Address 7901 Avenida Kirjah
San Diego, CA

Project Type Building Construction

Instructions

<p>The following issues require corrections to the documents submitted.</p>

Building Construction Plans PRJ-1076668.pdf

DSD-Engineering Building Review

Rafael Larios Jr
RLarios@sandiego.gov
(619) 446-5218

[Comment 00057 | Sheet A1.0]

Please clearly delineate limits of soil disturbance/ area of work (light wiggly line around all area of work) for this project and show/call out the existing and new contour lines. Spots elevations can be used in lieu of contour lines.

[Comment 00064 | Sheet A1.0]

The proposed ground disturbance such as daylighting limits through a distinctive linetype in order to determine to which contour line the ground disturbance will take place. If ground disturbance is exceeded past a total of 5 feet, measured by contour lines by existing slope conditions, a traditional water pollution control plan must be provided as directed during past review.

If a virtual appointment is desired, please send me an email at rlarios@sandiego.gov so that I may send an Outlook Calendar invite. Note:

Other

DSD-Engineering Building Review

Rafael Larios Jr
RLarios@sandiego.gov
(619) 446-5218

[Comment 00063 | Page]



THE CITY OF SAN DIEGO
Development Services Department
1222 1st Avenue, San Diego, CA 92101

A Water Pollution Control Plan (WPCP) is required for this project (5,000 SF or **more OR have a 5ft elevation or greater differential over the project's disturbance area.**) The WPCP shall be drafted in accordance with Part 2, Chapter 4.2 and Appendix 'D' of the City of San Diego Storm Water Standards Manual.

The City's Water Pollution Control Plan Template is located at:

<https://www.sandiego.gov/planning/programs/landdevcode/landdevmanual#SWstandards2018>



THE CITY OF SAN DIEGO
Development Services Department
1222 1st Avenue, San Diego, CA 92101

Project Address 7901 Avenida Kirjah
San Diego, CA

Project Type Building Construction

Instructions

<p>The following issues require corrections to the documents submitted.</p>

Building Construction Plans PRJ-1076668.pdf

DSD-Historic

Andrew Wood
adwood@sandiego.gov

[Comment 00001 | Sheet CS]

- The property located at **7901 Avenida Kirjah, APN 346-820-0200**, is not an individually designated resource and is not located within a designated historic district. However, San Diego Municipal Code Section 143.0212 requires City staff to review all projects impacting a parcel that contains a structure 45 years old or older to determine whether a potentially significant historical resource exists on site prior to issuance of a permit. (Info Only, No Response Required)
- During this review buildings are evaluated for eligibility under local designation criteria. The designation criteria and guidelines for their application can be found on the City's website:
<http://www.sandiego.gov/planning/programs/historical/pdf/201102criteriaguidelines.pdf>
(Informational Only; No Response or Action Required)
- More information regarding this review process can be found in Information Bulletin 580:
<http://www.sandiego.gov/development-services/pdf/industry/info bulletin/ib580.pdf>
(Informational Only; No Response or Action Required)
- If City staff determines after review of these documents that no potentially significant historical resource exists on site, the parcel will be exempt from further historical review for five years from this date unless new information is provided that speaks to the building's eligibility for designation. (Informational Only; No Response or Action Required)
- If City staff determines that a potentially significant historical resource exists on the site, all modifications and additions will be evaluated to determine consistency with the Secretary of the Interior's Standards for Treatment of Historic Properties (Standards). If the proposed project is consistent with the Standards, the permit process may proceed and the parcel will require additional review for all future modifications. (continued...)
- (...continued) If the proposed project is not consistent with the Standards, the applicant may redesign the project or prepare a historic report that evaluates the building's integrity and eligibility under all designation criteria. (Informational Only; No Response or Action Required)
- Staff has reviewed the photos, Assessor's Building Record, water and sewer records and considered all other information received from the applicant as well as any input received through applicable public noticing and



THE CITY OF SAN DIEGO
Development Services Department
1222 1st Avenue, San Diego, CA 92101

outreach and have made the following determination:

[Comment 00002 | Sheet CS]

- Staff cannot make a determination with the information provided. Please provide the following documents:

Megan Walker
mewalker@sandiego.gov

[Comment 00073 | Sheet CS]

- A complete copy of the Assessor's Building Record must be provided. This document is available at the County Assessor's Office and includes information such as the date of construction, materials, date of alterations, and a dimensioned footprint of the building and subsequent additions. The owner's written consent is required in order to obtain this document from the County. You can request a copy of this document online by using the Authorization Form and instructions provided in the link below:
<https://www.sdarcc.gov/content/dam/arcc/assessor/forms/real-property-assessment/AuthRelRecds.pdf>

[Comment 00074 | Sheet CS]

- Adequate photo documentation of the property has not been provided. Provide a photo survey of the property consisting of clear, color photos of each elevation of each building on the site (regardless of whether or not the building will be directly impacted by the project); a view of the front of the building or structure from the street; and photographs of any additional details relevant to the project. The photo survey must include a photo key showing all building footprints and the location that each photo was taken from. The survey must provide clear, color photos showing each elevation. Photographs must be provided as quality color prints in PDF form. Please note: the photos must be current and must be taken by the applicant. Photos from sites such as Bing Maps and Google Maps will not be accepted.
 - Please include rear elevations of the property in the photo survey.

[Comment 00075 | Sheet CS]

- Please resubmit the required documents to the Development Services Department website for routing and review. Should you have any questions regarding these comments, please contact the "Reviewer" listed in bold at the top of this cycle issues report.



THE CITY OF SAN DIEGO
Development Services Department
1222 1st Avenue, San Diego, CA 92101

Project Address 7901 Avenida Kirjah
San Diego, CA

Project Type Building Construction

Instructions

<p>The following issues require corrections to the documents submitted.</p>

Building Construction Plans PRJ-1076668.pdf

DSD-Planning Review

Grecia Aceves
GAceves@sandiego.gov
(619) 446-5455

[Comment 00012 | Sheet CS]

Please address all issues noted as comments to this project and resubmit set of plans for recheck through Accela. Additional comments may follow once information has been provided.

[Comment 00015 | Sheet A1.0]

Please cite the source where the contour lines are presented on the site plan. Was this verified through a topographic surveyor?

[Comment 00016 | Sheet CS]

San Diego Municipal Code Sec. 1510.0201(d) requires a Site Development Permit for additions within the La Jolla Shores Planned District. However, this section allows for minor additions to be approved through a building permit without first obtaining a Site Development Permit. In addition, the project must be reviewed by the La Jolla Shores Advisory Board to determine if this project is consistent with the requirements of the planned district ordinance .

This project proposes to increase the floor area by over 10% (addition of 1,412 sqft). City staff would like input from the La Jolla Shores Advisory Board before staff makes a final determination.

Please contact Senior Planner Marlon I. Pangilinan of the City Planning and Community Investment Department at (619)235.5293 (mpangilinan@sandiego.gov) to be placed on a future agenda of the La Jolla Shores Advisory Board.

Marlon I. Pangilinan
Senior Planner
Planning Department
619.235.5293
mpangilinan@sandiego.gov"



THE CITY OF SAN DIEGO
Development Services Department
1222 1st Avenue, San Diego, CA 92101

[Comment 00020 | Sheet A1.0]

Historic Aerials - In 1978, the site may have had a graded pad. However, it is unclear where this graded pad resides on the site, as shown on the plans.

Geotechnical Report Provided - Comment Portionally Cleared-

Per 143.0110(c)(2), it must be demonstrated that the project is exempt and would not encroach into environmentally sensitive lands (biological resources & natural gradient steep hillside) during or after construction. Also, brush management zone 1 does not encroach into environmentally sensitive lands.

In addition, either maintain at least a 100 feet separation distance from sensitive biological resources and at least a 20 feet separation distance from the top of the slope of steep hillsides; ***or Locate development in a legally graded or developed portion of the premises separated from environmentally sensitive lands by an existing fence or other physical barriers.*****No existing barrier exists and does not apply.**

Planning staff cannot locate an existing barrier on the site. Please present the artificial fill of the geotechnical report transferred into an architectural site plan. Please present the footprint of the graded area on the site plan.

Geotechnical Report Provided - Comment Portionally Cleared-

In addition, a biology study would be required to confirm the existence of sensitive biological resources. The sensitive biological resources must be presented on an architectural site plan.

[Comment 00022 | Sheet A4.0]

This project is within the Coastal Height Limit Overlay and therefore will need to meet Plumb Line height, Overall Height, and Proposition D Height. Please see SDMC Section 113.0270 as well as [BLDG-5-4](#).

<https://www.sandiego.gov/sites/default/files/legacy/development-services/pdf/industry/techbulletin/bldg-5-4.pdf>

[Comment 00023 | Sheet A4.0]

In order to determine compliance with the City's zoning height requirements, a two-part measurement is taken.

§113.0270(2)(A) Plumb Line Height: First, the structure is measured from the top of the highest point of the building or to the top of any appurtenance, whichever is higher, to grade directly below it. If at any point that measurement exceeds 30 feet, the structure is over height. **Portion of Comment Cleared*****

§113.0270(2)(B) Overall Height: The second part of the height measurement can be considered a determination of the maximum overall building height. This measurement is the difference in elevation, within the building footprint, between the highest point of the building and lowest point of grade within five feet of the building perimeter (building wall, balcony, bay window, or similar architectural projection), or the property line, whichever is closer. This is illustrated in Diagram 113-02LL.

[Comment 00024 | Sheet A4.0]

In addition, this project is subject to Proposition "D" height requirements. Proposition "D" limits the height of buildings and structures to 30 feet. This height is measured to the highest point of the roof, equipment, antenna, or any other projection from the lowest point of elevation of the finished surface of the ground between the exterior wall of a building and points five feet from said wall to the finish adjacent grade. Refer to [Technical Bulletin BLDG 5-4](#)

Please note that Overall Height and Coastal Height Limitation (Prop "D") are two different types of measurements.

The applicant would need to provide both measurements on how the project will comply with the base zone measurements 30' (Overall Height & Plumb Line) and Prop "D" (Coastal Height Limitation).



THE CITY OF SAN DIEGO
Development Services Department
1222 1st Avenue, San Diego, CA 92101

[Comment 00025 | Sheet A4.0]

The applicant would need to demonstrate the datums on the roof plan to show the structure does not exceed all applicable height measurements. All height measurements should be shown in ASML.

The applicant must demonstrate the relationship of the grade on the site for each applicable height requirement. Please include additional sections/elevations if require to demonstrate this in great detail.

[Comment 00027 | Sheet A4.0]

Coastal Height Limitation "Prop "D".

On the site plan, please refer to Figure 1 of the reference datum and provide the 5' perimeter from the structure wall. The low and height point must be called out with the datum reference.

<https://www.sandiego.gov/sites/default/files/legacy/development-services/pdf/industry/techbulletin/bldg-5-4.pdf>

[Comment 00066 | Sheet A1.0]

Per comment 15, please provide the topographic survey with the surveyors' certified stamp.

[Comment 00067 | Sheet A1.0]

Per Comment 16, if the applicant hasn't done so, please contact the new senior planner assigned to the La Jolla Shores Advisory Board.

Melissa Garcia | magarcia@sandiego.gov;
Senior Planner | 619-236-6173
Planning Department

[Comment 00068 | Sheet A1.0]

Per comment 20, please note environmentally sensitive lands include sensitive steep hillsides and sensitive biological resources. Portion of the comment was addressed and requires a biological report/letter to review any sensitive biological resources on the site to satisfy the exemption for Environmentally Sensitive Lands (ESL) per 143.0110.

There is no existing barrier on the site and therefore, exemption 143.0110(c)(2)(E)(i) would need to apply .

143.0110(c)(2)(E) Would either: (i) Maintain at least a 100 feet separation distance from sensitive biological resources and at least a 20 feet separation distance from the top of slope of steep hillsides

[Comment 00069 | Sheet A4.0]

Comment 22-27 - The project requires providing ASML elevations to fully evaluate that the base zone height requirements and Coastal Height Limitation "Prop D" have not been exceeded.

Overall Height Limitation. The site plan should call out the highest and lowest datum from the structure's footprint to review the grade differential of the premise. Please refer to 113.0270(a)(2)(B) and 113-02LL. Then, the project shall show the measurement of 5' from the farthest projection (building wall, balcony, bay window or similar architectural projection). The project shows on Sheet A 2.5 Level 2 a proposed deck/balcony that extends further than the building but it is unclear whether this is the farthest projection to the lowest point of grade from the entire structure.

Note: Suggest including a legend on the site plan to determine areas of the first and second floors. The floor plans can also outline areas above or outlines of balconies from the second floor to review which is the farthest projection of the building.

[Comment 00070 | Sheet A4.0]



THE CITY OF SAN DIEGO
Development Services Department
1222 1st Avenue, San Diego, CA 92101

Sheet A 4.0 - Please provide the grade datum of where the 5' projection lands. Planning staff would like to review the contour where the grade datum is compared to the elevations.

[Comment 00071 | Sheet A4.0]

Sheet A 4.0 - Please call out the structure's highest point to review that the overall height does not exceed. Please include highest pitch areas on the roof plan to compare.

[Comment 00072 | Sheet A3.1]

Please include a legend on the site plan to determine areas of the first and second floors. The floor plans can also outline areas above or outlines of balconies from the second floor to review, which is the farthest projection of the building. In addition, provide the 5' dimension measurement from the **farthest projection** to reference the **lowest point of grade** on the site plan.

First review comments shall be cleared once all issues have been addressed.