La Jolla Shores Planned District Advisory Board (LJSPDAB) APPLICANT PROJECT INFORMATION FORM

Please provide the following information on this form to schedule your project at an upcoming La Jolla Shores Planned District Advisory Board meeting.

For Action Items

- Project Tracking System (PTS) Number/Accela "PRJ" Number and Project Name (only submitted projects to the Development Services Department can be heard as action items): _.
 PRJ-1086924 8559 Prestwick Drive
- Address and APN(s): 8559 Prestwick Drive, San Diego CA 92037
- Project contact name, phone, e-mail: Annett Mandujano 619-946-7555, email: annett@mosarchstudio.com
- Project description: Single Story Family Dwelling to be expanded and remodel, dwelling to remain single story. Replace roof and redesign facades.Provide rear cover Patio, upgrade electrical meter and provide BBQ area.
- Please indicate the action you are seeking from the Advisory Board:
 Recommendation that the Project is minor in scope (Process 1)
 - Recommendation of approval of a Site Development Permit (SDP)
 - □ Recommendation of approval of a Site Development Permit (SDP) and Coastal Development Permit (CDP)

□Other:___

- In addition, provide the following:
 - lot size: 12,162 s.f.
 - existing structure square footage and FAR (if applicable): _2,567 s.f. FAR: 52%
 - proposed square footage and FAR: 2,456 s.f
 - existing and proposed setbacks on all sides: Existing Front: 24'-9", Proposed Front 18'-6.5" Existing Rear 34'-2", Proposed Rear: 20'-0",_Existing West Side Setback _16'-2", Proposed West Side Setback: 16'-2", Existing East Side Setback 12'-11", Proposed East Setback: 5'-0"
 - height if greater than 1-story (above ground): not applicable

For Information Items (For projects seeking input and direction. No action at this time)

- Project name (Unsubmitted projects can be informational items if the development team is seeking comments and direction from the Board on the concept):
- Address and APN(s):
- Project contact name, phone, e-mail:
- Project description:
- In addition to the project description, please provide the following:
 - lot size: ____
 - existing structure square footage and FAR (if applicable): _____
 - proposed square footage and FAR: _
 - existing and proposed setbacks on all sides: _____

- height if greater than 1-story (above ground):
- Project aspect(s) that the applicant team is seeking Advisory Board direction on. (Community character, aesthetics, design features, etc.):

Exhibits and other materials to provide:

Exhibits and other project-related presentation materials (e.g. site plan, elevations, exhibits showing addition/remodel areas, etc.) although not required, are extremely helpful in informing the Advisory Board's review and understanding of a project. The following exhibits and materials are recommended and if provided by the applicant, will be attached to the agenda and posted to the City's website: <u>https://www.sandiego.gov/planning/community/profiles/lajolla/pddoab</u> for view by the public:

- All exhibits should be sized to 8 ½" X 11" format
- Exhibits, which can contain the following:
 - A. A site plan showing the street, the property line on all sides, the setbacks on all sides, and the setbacks from the property lines to the neighboring building;
 - B. Elevations for all sides;
 - C. If the proposal is for a remodel, a clear delineation of what part of the proposed structure is new construction
 - D. If the proposal is for a building with more than one story, show:
 - how the upper story sits on the story beneath it (setback of the upper story from the lower story);
 - the distance from the proposed upper story to comparable stories of the neighboring buildings; and
 - > the height of neighboring buildings compared to the proposed structure's height.
- Any surveys that indicate similarities in floor area or architectural style in the surrounding neighborhood
- Any communications such as letter and emails from adjacent neighbors, local neighborhood groups, and/or the Homeowners' Association

PLEASE DO NOT PROVIDE THE FOLLOWING:

- The complete plan set of the project. Complete plan sets take up a lot of memory to distribute and most of the information is not necessary for the Advisory Board's review.
- Plans or exhibits of the interior of the project. Interiors are not reviewed by the Advisory Board.
- Personal contact information of the property owners of the project should not be included, unless they are the "owner/applicant" and they are the designated point of contact

The Advisory Board members are very keen to know that the neighbors in the immediate vicinity have been noticed and their views noted. Community conformity, setbacks, FAR, parking, view corridors, bulk & scale, and articulation are key discussion points on all projects. Action Items will be heard first.

Thank you,

Please return the information requested to no later than a week before the scheduled meeting date:

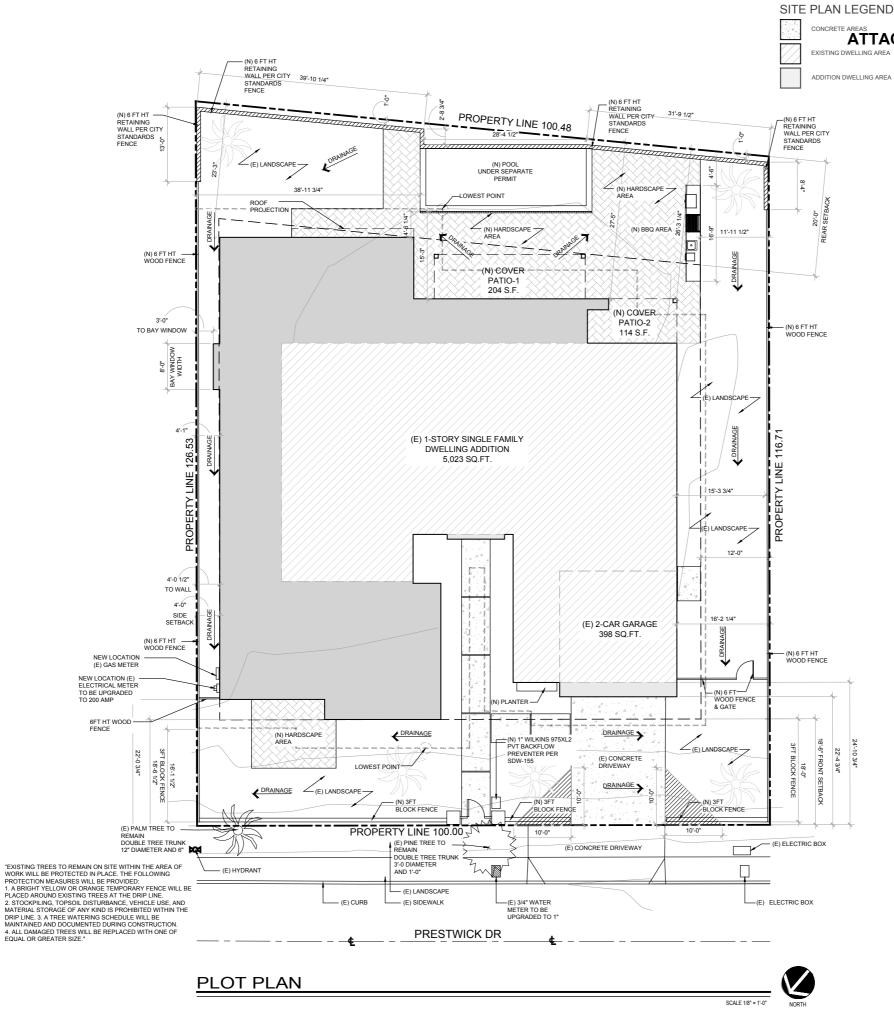
Melissa Garcia, Senior Planner magarcia@sandiego.gov City Planning Department 619-236-6173



PRESTWICK DR

8559 PRESTWICK DR LA JOLLA, CA 92037

mosarch studio



SITE PLAN GENERAL NOTES:

CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS PRIOR TO START ATTACHMENER ATINT Resetwick Drive at is lower than the

- NEXT UPSTREAM MANHOLE COVER OF THE PUBLIC OR PRIVATE SEWER, SERVING SUCH DRAINAGE PIPING, SHALL BE PROTECTED FROM BACKFLOW OF SEWAGE BY INSTALLING AN APPROVED TYPE OF BACKWATER VALVE. FIXTURES ON FLOOR LEVELS ABOVE SUCH ELEVATION SHALL NOT DISCHARGE THROUGH THE BACKWATER VALVE
- THE BACKWATER VALVE. STRUCTURE(S) WILL BE LOCATED ENTIRELY ON UNDISTURBED NATIVE SOIL. IF THE BUILDING SUSPECTS FLL, EXPANSE SOILS OR ANY GEOLOGIC INSTABILITY BASED UPON OBSERVATION OF THE FOUNDATION EXCAVATION, A SOILS OR GEOLOGICAL REPORT, AND RESUBBITITAL OF PLANS TO PLAN CHECK TO VERIF THAT THE REPORT RECOMMENDATIONS HAVE BEEN INCORPORATED, MAY BE OFGULUTO: REQUIRED.
- ALL PROPERTY LINES (REAL AND ASSUMED), EASEMENTS AND BUILDINGS (BOTH
- ALL PROPERTY LINES (REAL AND ASSUMED), EASEMENTS AND BUILDINGS (BOTH EXISTING AND PROPOSED), ARE SHOWN ON THIS STEP FLAN. WHERE A FIXTURE IS INSTALLED ON A FLOOR LEVEL THAT IS LOWER THAN THE NEXT UPSTREAM MANHOLE COVER OF THE PUBLIC OF PRIVATE SEWER, SERVING SUCH DRAINAGE PIPING, SHALL BE PROTECTED FROM BACKFLOW OF SEWAGE BY INSTALLING AN APPROVED TYPE OF BACKWATER VALVE, FIXTURES ON FLOOR LEVELS ABOVE SUCH ELEVATION SHALL NOT DISCHARGE THROUGH THE BACMWATED VALVE.
- THE BACKWATER VALVE. 6. CPC 708.0 GRADE OF HORIZONTAL DRAINAGE (SEWER) PIPIING (SLOPE). HORIZONTAL DRAINANGE PIPING SHALL BE RUN IN PRACTICAL ALIGMENT AND UNIFORM SLOPE OF NOT LESS THAN ONE FOURTH (1/4) INCH PER FOOT (20.9 MM/M) OR TWO (2) PERCENT TOWARD THE POINT OF DISPOSAL
- WHERE LOCAL STATIC WATER PRESSURE IS IN EXCESS OF (80) POUND PER SQUARE INCH, AN APPROVED PRESSURE REGULATOR PRECEDED BY AN ADEQUATE STRAINER SHALL BE INSTALLED AND THE STATIC PRESSURE REDUCED TO (80) POUNDS PER SQUARE INCH OR LESS. PLEASE PROVIDE PRESSURE REGULATOR OR PROVIDE LETTER FROM THE WATER DISTRIC
- PRESSURE REGULATOR OR PROVIDE LETTER FROM THE WATER DISTRIC INDICATING THAT THE LOCAL STATIC WATER PRESSURED IS LESS THAN 80 POUNDS PER SQUARE INCH. ON GRADED SITES, THE TOP OF ANY EXTERIOR FOUNDATION SHALL EXTEND ABOVE THE LEVATION OF THE STREET GUTTER AT POINT OF DISCHARGE AT THE INLET OF AN APPROVED DRAINAGE DEVICE A MINIMUM 12 INCHES PLUS 2%. PROVIDE ELEVATIONS ON THE SITE PLAN TO SHOW COMPLIANCE. PROVIDE ELEVATIONS ON THE SITE PLAN TO SHOW COMPLIANCE.
- DRAINAGE. SURFACE DRAINAGE SHALL BE DIVERTED TO A STORM SEWER CONVEYANCE OR OTHER APPROVED POINT OF COLLECTION THAT DOES NOT q CONVEYANCE OR OTHER APPROVED POINT OF COLLECTION THAT DOES NOT CREATE A HAZARD. LOTS SHALL BE GRADED TO DRAIN SURFACE WAYER AWAY FROM FOUNDATION WALLS. THE GRADE SHALL FALL A MINIMUM OF 6 NCHES (152 MM) WITHIN THE FIRST TO FEET (304 Bm). SECTION R401.3 NO WORK WILL BE PERFORMED IN THE RIGHT OF WAY. STORM WATER RUNOFF FROM PROPOSED IMPERVIOUS AREAS WILL BE ROUTED TO LANDSCAPE AREAS OR PLANTER BOXES, PRIOR TO REACHING THE PUBLIC DRAIN SYSTEM
- DRAIN SYSTEM
- 12. 12. EXCESS CUT MATERIAL SHALL BE USED ONSITE.

LOT IN VERY HIGH FIRE HAZARD SEVERITY ZONE:

THE LOT WHERE THIS PROJECT IS PROPOSED IS LOCATED PARTIALLY WITHIN THE VERY HIGH FIRE HAZARD SEVERITY ZONE DESIGNED ON THE VERY FIR HAZARD SEVERITY ZONE MAP ADOPTED PURSUANT TO ORDINANCE 0-19884 N.S. AND EFFECTIVE ON AUGUST 27, 2009, (SDMCE SEC, 55,5001)

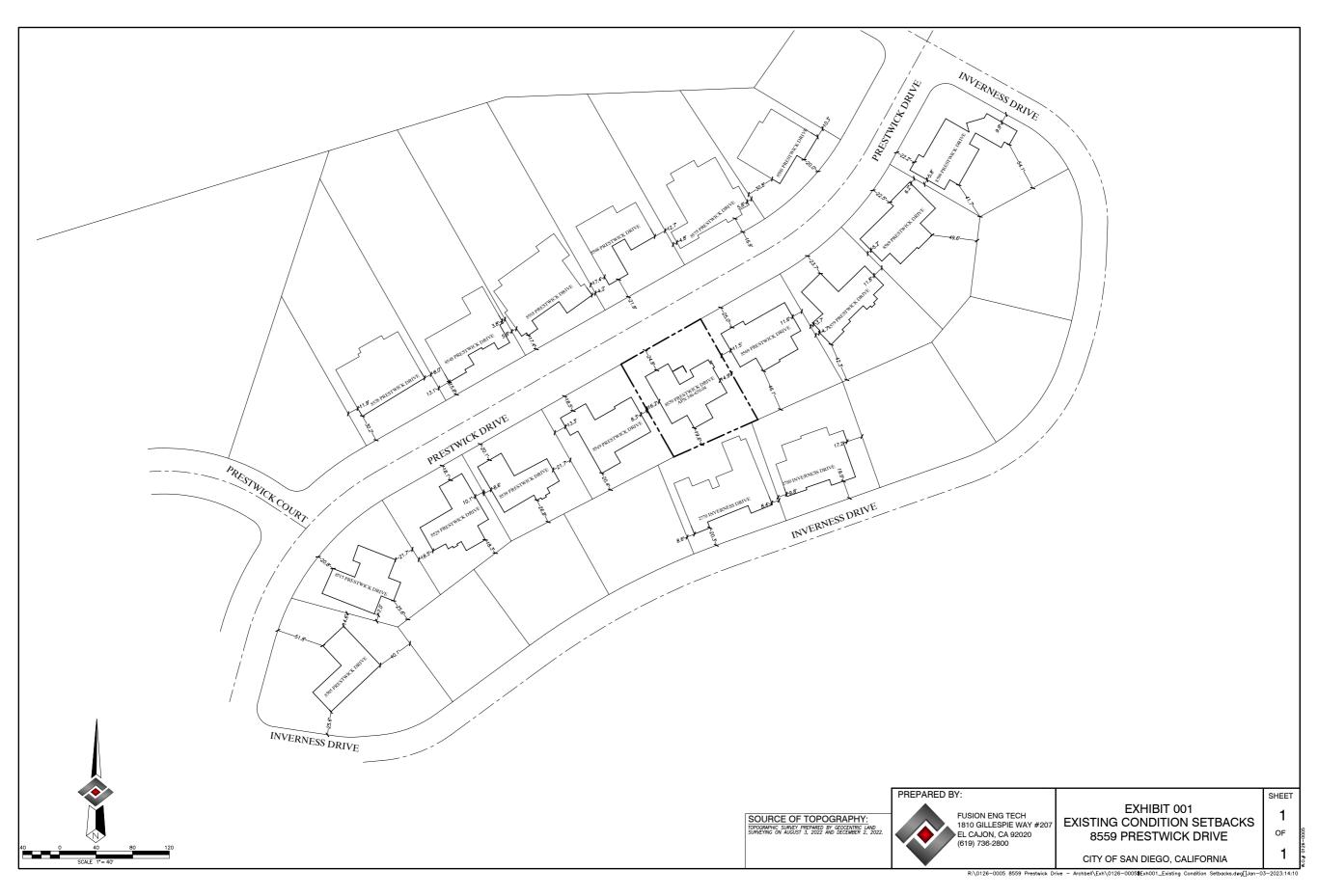
FIRE NOTES:

- 1. LOCATIONS AND CLASSIFICATIONS OF EXTINGUISHERS SHALL BE IN ACCORDANCE WITH CFC 906 AND CALIFORNIA CODE OF REGULATIONS (CCR), TILE 19
- 2. DURING CONSTRUCTION, AT LEAST ONE EXTINGUISHERS SHALL BE PROVIDED DURING CONSTRUCTION, AT LEAST ONE EXTINGUISHERS SHALL BE PROVIDED ON EACH FLOOR LEVEL AT EACH STARWAY, IN ALL STORAGE AND CONSTRUCTION SHEDS, IN LICATIONS WHERE FLAMMABLE OR COMBUSTIBLE LIQUIDS ARE STORED OR USE, ND WHERE OTHER SPECIAL HAZARDS ARE PRESENT PER CFC SECTION 33151.1°
 BUILDINGS UNDERGOING CONSTRUCTION, ALTERATION, OR DEMOLTION SHALL CONFORM OF CFC CHAPTER33, WELDING, CUTTING, AND OTHER HOT WORK SHALL BE CONFORMANCE WITH CFC CHAPTER 35.
- WORK SHALL BE CONFORMANCE WITH CFC CHAPTER 35. ADDRESS IDENTIFICATION SHALL BE PROVIDED FOR ALL NW AND EXISTING BUILDINGS IN A LOCATION THAT IS PLAINLY VISIBLE AND LEGIBLE ROM THE STREET OR ROAD FRONTING THE PROPERTY. WHERE ACCESS IS BY WAY OF PRIVATE ROAD ND THE BUILDING ADDRESS CANNOT BE VIEWED FROM THE PUBLIC WAY, AN APPROVED SIGN OR MANNOT BE VIEWED FROM THE PUBLIC WAY, AN APPROVED IDENTIFICATION SHALL DONFORM TO CRE SECTION 501.1 WALL FLOOR AND CEILING FINISHES AND MATERIALS HALL NOT EXCEED THE INTERIOR FINISH CLASSIFICATION IN CBC TABLE 803 9 AND SHALL MEET THE FLAME PROPAGATION PERFORMANCE CRITERIA OF THE CALIFORNIA CODE OF PECILIATIONS TITLE 14 DUVISION 1 DECORDATIVE MATERIALS SHALL MEET THE FLAME PROPAGATION PERFORMANCE CRITERIA OF THE CALIFORNIA CODE OF PECILIATIONS TITLE 14 DUVISION 1 DECORDATIVE MATERIALS SHALL MEET THE FLAME PROPAGATION PERFORMANCE CRITERIA OF THE CALIFORNIA CODE OF PECILIATIONS TITLE 14 DUVISION 1 DECORDATIVE MATERIALS SHALL MEET THE FLAME PROPAGATION PERFORMANCE CRITERIA OF THE CALIFORNIA CODE OF PECILIATIONS TITLE 14 DUVISION 1 DECORDATIVE MATERIALS SHALL MEET THE FLAME PROPAGATION PERFORMANCE CRITERIA OF THE CALIFORNIA CODE OF PECILIATIONS TITLE 14 DUVISION 1 DECORDATIVE MATERIALS SHALL MEET THE FLAME PROPAGATION PERFORMANCE CRITERIA OF THE CALIFORNIA CODE OF PECILIATIONS TITLE 14 DUVISION 1 DECORDATIVE MATERIALS SHALL MEET THE FLAME PROPAGATION PERFORMANCE CRITERIA OF THE CALIFORNIA CODE OF PECILIATIONS THE 10 DUVISION 1 DECORDATIVE MATERIALS SHALL MEET THE FLAME PROPAGATION PERFORMANCE CRITERIA OF THE CALIFORNIA CODE OF PECILIATIONS THE FLAME PROVISION 1 DUVISION Δ
- FLAME PROPAGATION PERFORMANCE CRITERIA OF THE CALIFORNIA CODE OF REGULATIONS. TITLE 19, DIVISION J. DECORATIVE MATERIALS SHALL BE PROPERLY TREATED BY A PRODUCT OR PROCESS APPROVED BY THE STATE FIRE MARSHAL WITH APPROPRIATE DOCUMENTATION PROVIDED TO THE CITY OF SAN DIEGO.
 DUMPSTER AND TRASH CONTAINERS EXCEEDING 1.5 CUBIC YARDS SHALL NOT BE STORED IN BUILDINGS OR PLACED WITHIN 5 FEET OF COMBUSTIBLE WALLS, OPENINGS OR COMBUSTIBLE ROOF EAVE LINES UNLESS PROTECTED BY AN ADREDIVED SEDIAVIE DE SYSTEM OF LOCATED IN A STORICTIPE
- APPROVED SPRINKLERS SYSTEM OR LOCATED IN A TYPE I OR IIA STRUCTURE SEPARATED BY 10 FEET FROM OTHER STRUCTURES, CONTAINERS LARGER
- SEPARATED B1 10 PEET FROM OTHER'S I ROUTIONES. CONTAINERS LARGER THAN 1 CUBIC YARD SHALL BE OF NON-OR LIMITED-COMBUSTIBLE MATERALS OR SIMILARLY PROTECTED OR SEPARATED. CFC 304.3 OPEN FLANES, FIRE AND BURNING ON ALLY PREMISES IS PROHIBITED EXCEPT AS SPECIFICALLY PERMITTED BY THE CITY OF SAN DIEGO AND CFC 308.

EARTHWORK QUANTITIES

2 CYD
5 CYD
0 CYD
1 Ft
2 IN
E 3,691 SQ. FT.
F 4,378 SQ. FT.
DF 3,925 SQ. FT.
8,303 SQ. FT.
89.00%

THE PROJECT PROPOSES TO EXPORT 0 CUBIC YARDS OF MATERIAL FROM THIS SITE. ALL EXPORT MATERIAL SHALL BE DISCHARGED TO A LEGAL DISPOSAL SITE. THE APPROVAL OF THIS PROJECT DOES NOT ALLOW PROCESSING AND SALE OF THE MATERIAL, ALL SUCH ACTIVITIES REQUIRE A SEPARATE CONDITIONAL USE PERMIT



ATTACHMENEMoLIPicestwiedkiDrive

 (E) WALL TO REMAIN
 WALL TO BE REMOVED
WALL COUNTS AS DEMO/ WALL TO REMAIN
 DOOR OR WINDOW TO BE REMOVED
DOOR OR WINDOW TO BE FRAMED IN.



CONTRACTOR TO VERIFY DIMESIONS ON FIELD AND CHECK IF RELOCATION IS NECESSARY PER PROPOSED FLOOR PLAN

+		6-5"HDR	6-8-1100 6-8-1100 41138 6-8-1100 50-0} DEMO 6-8-1100 	(E) COVER P. BHTCL BHTCL		19-0* 71040 SL 6-8* HDR	2.9- DBMO
(F)	4010 SL 617 HDR 4010 SL 617 HDR 1 1 1 1 1 1 1 1 1 1 1 1 1			(E) DINING TO BE PELICAT B FFIHT SL		(E) BEDROOM-2 TO BE RELOCATED SFTHT (E) BEDROOM-3 TO BE RELOCATED SFT HT (E) BEDROOM-4 TO BE RELOCATED SFT HT (E) BEDROOM-4 TO BE RELOCATED SFT HT	6030 SL 8-8" HDR
+	1 6			<u>ک</u>	(E) 3-	CAR GARAGE	2888 6040 SL 7-1' HDR
	*	22-6 <mark>1</mark> * DEMO	9°-1 <u>*</u>	69-0 <u>2</u> DEMO	2	8-7	
	 -	EXISTING/DEMO FLOOR PL/	AN				NORTH

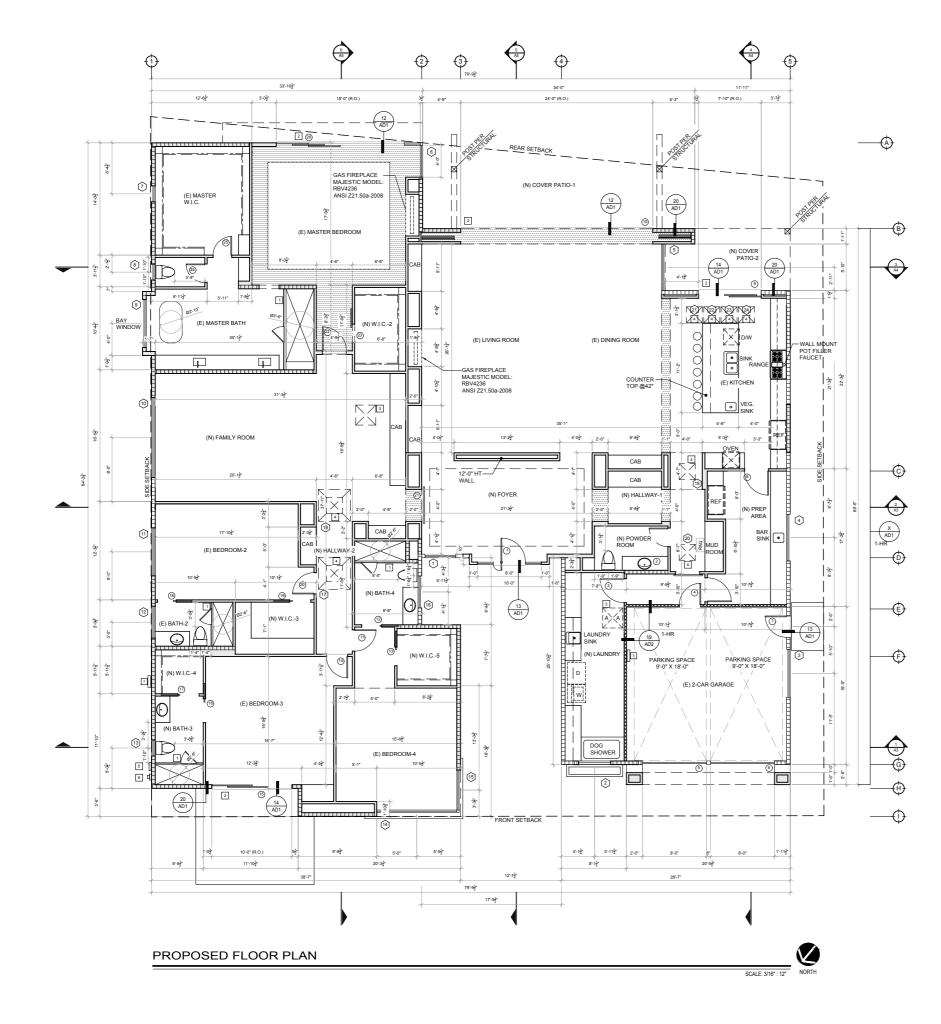
DEMOLITION CALCULATIONS						
WALL ORIENTATION	(E) WALL TOTAL LINEAR FEET	(E) WALL TO REMAIN	(E) WALL TO BE DEMO			
(A)	69'-0 1/4"	19'-0"	50'-0 1/4"			
(B)	61'-9"	59'-3"	2'-6"			
(C)	69'-0 1/4"	37'-8 1/2"	31'-3 3/4"			
(D)	25'-10 1/4"	25'-10 1/4"	0'-0"			
(E)	8'-2 3/4"	8'-2 3/4"	0'-0"			
(F)	44'-1 1/2"	0'-0"	44'-1 1/2"			
TOTAL	278'-0"	150'-0 1/2"	127'-11 1/2"			
TOTAL LINEAR FEET OF EXISTING WALLS = 278'-0" (100%)						

TOTAL LINEAR FEET OF EXISTING WALLS = 278-0 (100%) TOTAL LINEAR FEET OF EXISTING WALLS TO REMAIN = 150'-0 1/2" (53.97%)

TOTAL LINEAR FEET OF EXISTING WALLS TO BE REMOVED = 127'-11 1/2" (46.03%)

50% OF TOTAL LINEAR WALL = 139'-0"

139'-0" > 127'-11 1/2"



FLOOR PLAN LEGEND:

ATTACHHEN Twal: Prestwick Drive (N) 1 HR PROTECTION SOFFIT RAG RETURN AIR GRILI

FLOOR PLAN KEYNOTES:

- 1 TEMPERED GLASS ENCLOSURE AND FLUSH FLOOR
- 2 NEW CONCRETE AREA TO SLOPE AT A MIN OF 2% AWAY FROM BUILDING, MIN 36" DEPTH, THE WIDTH OF EACH LANDING SHALL NOT BE LESS THAN THE DOOR SERVED AND NOT MORE THAN 7 3/4" BELOW THE
- THRESHOLD.
- 3 ATTIC ACCESS; 24" X 30"
- 4 (N) SKYLIGHT 5 NEW LOCATION OF EXISTING GAS METER
- 6 NEW LOCATION OF EXISTING ELECTRICAL METER TO BE UPGRADED TO 200 AMP
- [7] (N) TWO RINNAI TANKLESS WATER HEATER R50LSI 5 GALLON/MINUTE; 200,000 BTU'S PER TITLE 24

NOTE: SLEEPING ROOMS MUST HAVE AN OPERABLE WINDOW OR EXTERIOR DOOR FOR EMERGENCY MEANS OF EGRESS WHICH OPENS DIRECTLY ONTO PUBLIC STREET, ALLEY, YARD OR EXTERIOR COURTYARD. PROVIDE SUL HEIGHT NOT OVER 44* ABOVE FLOOR, 57 SQ. FT. OF OPERABLE AREA 24* NET CLEAR OPENING HEIGHT, 20* NET CLEAR OPENING WIDTH.

WHEN THERE IS USABLE SPACE ABOVE AND BELOW THE CONCEALED SPACE OF FLORE-CELING ASSEMBLY IN A SINGLE-FAMILY DWELLING, DRAFT STOPS SHALL BE INSTALLED SO THAT THE AREA OF THE CONCEALED SPACE DOES NOT EXCEED 1000 SQUARE FEET. SHALL DIVIDE THE CONCEALED SPACE INTO APPROXIMATELY EQUAL AREAS. DRAFTSTOPPING MATERIALS SHALL BE NOT DRAFT STOPPING PANEL 38 INCH TYPE 2-M PARTICLE BOARD, OR OTHER LESS THAN 112 INCH GYPSUM BOARD, 318 INCH WOOD STRUCTURAL APPROVED MATERIALS ADEQUATELY SUPPORTED.

WINDOW OPENING CONTROL DEVICES SERVING EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL COMPLY WITH ASTM F2090

THIS PLAN DOES NOT PROVIDE COMPLETE FLASHING AND WATERPROOFING DETAILS. THE ARCHITECT AND ENGINEER DO NOT REPRESENT THEMSELVES TO BE EXPERTS IN THE FIELD OF WATERPROOFING. IT SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND/OR THE ROOFING/DECKING SUBCONTRACTOR TO PROVIDE THE RECESSARY STANDARD OF CARE, WORKMANSHIP, AND MATERIALS TO COMPLETE THE ROOF AND DECKS IN A WATERTIGHT CONDITION. ROOF AND/OR DECK DAMAGES SHALL NOT BE ALLOWED TO RUN BEHIND ANY FASCIA BOARDS OR ONTO THE EXTERIOR FINISH OF THE STRUCTURE

NOTE THE RESCUE OPENING AND EMERGENCY ESCAPE SHALL BE MAINTAINED AND FREE OF ANY THE RESULE OPENING AND EMERGENCY ESCAPE SHALL BE MAIN FAINED AND FREE OF ANY OBSTRUCTIONS OTHER THAN THOSE LISTED IN SECTION ORCR 7310. THE RELEASE MECHANISM SHALL BE MAINTAINED AND OPERABLE AT ALL TIME. SUCH BARS, GRILLS, AND GRATES OR ANY SIMILAR DEVICES SHALL BE EQUIPPED WITH AN APPROVED EXTERIOR RELEASE DEVICE FOR USE BY THE FIRE DEPARTMENT JURISDICTION ONLY REQUIRED WHEN REQUIRED BY THE AUTHORITY HAVING JURISDICTION. WINDOW OPENING CONTROL DEVICES SERVING EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL COMPLY WITH ASTM F2090

FLOOR PLAN GENERAL NOTES

- ALL NEW GLAZING (FENESTRATIONS) WILL BE INSTALLED WITH A CERTIFYING LABEL ATTACHED, SHOWING THE U-VALUE. MANUFACTURE WINDOWS SHALL HAVE A LABEL ATTACHED CERTIFIED BY THE NATIONAL FENESTRATION RATING COUNCIL (NFRC) AND SHOWING COMPLIANCE WITH ENERGY 2.
- TENESTRATION RATING COUNCIL (NFRC) AND STIUTING US... E.... CALCULATIONS. SHOWERS IN ALL OCCUPANCIES, OTHER THAN DWELLING UNITS SERVED BY INDIVIDUAL WATER HEATERS. SHALL BE PROVIDED WITH INDIVIDUAL SHOWER CONTROL VALVES OF THE PRESSURE BALANCE OR THE THERMOSTATIC MIXING VALVE. THET EMPERATURE LIMIT SHALL BE ADJUSTED TO 120 DEGREES F. BATHROOM MECHANICAL EXHAUST FANS., WHICH EXHAUST DIRECTLY FROM BATHROMS, SHALL COMPLY WITH THE FOLLOWING (CGC 4 506.1) 8. FANS SHALL BE "EXPERSY STAR" COMPLIANT AND TBE DUCTED TO TERMINATE OUTSIDE THE BUILDING.

- TO TERMINATE OUTSIDE THE BUILDING. b. UNLESS FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE
- VENTILATION SYSTEM, FANS MUST BE CONTROLLED BY A HUMIDISTAT WHICH SHALL BE READILY ACCESSIBLE AND HAVE
- CONTROLS CAPABLE OF ADJUSTMENT BETWEEN A RELATIVE JUMIDTY RANGE OF 50 AND 80 PERCENT
- MUNITIT RANGE OF 30 AND 30 PERCENT. WHOLE HOUSE FANS SHALL HAVE INSULATED LOUVERS OR COVERS, WHICH CLOSE WHEN THE FAN IS OFF. COVERS OR LOUVERS SHALL HAVE A MINIMUM INSULATION OF R-4-2.
- R-4-2. WHEN SINGLE SHOWER FIXTURES ARE SERVED BY MORE THAN ONE SHOWERHEAD, THE COMBINED FLOW RATE OF ALL THE SHOWERHEADS SHALL NOT EXCEED THE MAXIMUM FLOW RATES SPECIFIED IN THE 20 PERCENT REDUCTION COLUMN CONTAINED IN TABLE 4.303.2 OR THE SHOWER SHALL BE DESIGNED TO ONLY ALLOW ONE SHOWERHEAD TO BE IN OPERATION AT A TIME. SEE TABLE IN SHEET GAJ.3 FOR MORE INFORMATION. (GGC 7 4.303.2)
- 4.303.2)
 PLUMBING FIXTURES (WATER CLOSETS AND URINALS) AND FITTINGS (FAUCETS AND SHOWERHEADS) SHALL MEET THE STANDARDS REFERENCED IN TABLE (GCG4.303.3).
 ALL EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5.7 S.F. THE MINIMUM NET CLEAR OPENING FOR EMERGENCY SCAPE GRADE
- OPENING OF 57.57. THE MINIMUM NET CLEAR OPENING FOR EMERGENCT SUAPE GRADE FLOOR OPENING SHALL BE 5.57. (R310.11) 10. ALL EMERGENCY SECAPE AND RESCUE OPENING SHALL HAVE THE FOLLOWING DIMENSIONS: THE MINIMUM NET CLEAR OPENING HEIGHT DIMENSION SHALL BE 24 INCHES (SEC R310.12). THE MINIMUM NET CLEAR OPENING WOTH SHALL BE 08TAINED BY THE NORMAL OPERATION OF THE EMERGENCY SCAPE AND RESCUE OPENING FROM THE

- INSIDE I. SERGENCY ESCAPE AND RESCUE OPENINGS SHALL HAVE A STILL HEIGHT OF NOT MORE THAN 44 INCHES ABOVE THE FLOOR. (SEC R310.1). I. PERMANENT VACCUM BEGAKERS SHALL BE INCLUDED WITH ALL HOSE BIBBS. I. ALL ABS AND PVC PIPING AND FITTINGS SHALL BE ENCLOSED WITHIN WALL AND FLOORS COVERED WITH 'YTYE VST SUBJECTION. I. STATE HEALTH AND SAFETY CODE SEC 1792.1.9 BANS THE USE OF CHLORINATED POLYVYN'L CHLORIDE (CPVC) FOR INTERIOR WATER SUPPLY PIPINS. I. SHOWER COMPARTMENTS AND BATHTUBS WITH INSTALLED SHOWER HEADS SHALL BE FINISHED WITH A NONABSORBENT SURFACE THAT EXTENDS TO A HEIGHT OF NOT LESS THAN 6 FEET ABOVE THE FLOOR.
- THAN 6 FEET ABOVE THE FLOOR. 17. DUCTS IN THE GARAGE AND DUCTS PENETRATING THE WALLS OR CEILINGS SEPARATING THE DWELLING FROM THE GARAGE SHALL BE CONSTRUCTED OF MINIMUM NO.26 GAUGE SHEET STEEL OR OTHER APPROVED MATERIAL AND SHALL HAVE NO OPENINGS INTO THE
- 18. GLAZING FRAMES MADE OF VINYL MATERIALS SHALL HAVE WELDED CORNERS, METAL EINFORCEMENT IN HE INTERLOCK AREA, AND BE CERTIFIED TO HE OST CURRENT EDITION OF ANSI/AAMA/NVWWDA 101/I.S.2
- 19. ATTIC/ UNDER FLOOR INSTALLATION MUST COMPLY WITH SECTION 904, 908, 909 OF THE CALIFORNIA MECHANICAL CODE 20. PER 2019 GREEN CODE SEC 4.303.2. PLUMING FIXTURES (WATER CLOSETS AND URINALS)
- AND FITTINGS (FAUCETS AND SHOWERHEADS) SHALL BE INSTALLED IN ACCORDANCE WITH THE CALIFORNIA PLUMING CODE (CPC) AND TABLE 1401.1 OF THE CPC
- ENCLOSED FRAMING IN WOOD EXTERIOR BALCONIES AND DECKS SHALL BE PROVIDED WITH OPENINGS THAT PROVIDE A NET FREE CROSS VENTILATION AREA NOT LESS THAN 1/150 OF THE AREA OF EACH SEPARATE SPACE. CBC SECTION 2304.12.2.6, AS AMENDED BY EMERGENCY BUILDING STANDARDS.
- 22. WOOD BALCONIES AND DECKS THAT SUPPORT MOISTURE-PERMEABLE FLOORS SHALL BE WOOD BRECOMES AND BEAST INTERPORT MICH OFFENNMEND FEAST PROVIDED WITH AN IMPERVIOUS MOISTURE BARRIER SYSTEM UNDER THE MOISTURE-PERMEABLE FLOOR, WITH POSITIVE DRAINAGE. CBC SECTION 2304.12.2.5, AS AMENDED BY EMERGENCY BUILDING STANDARDS.

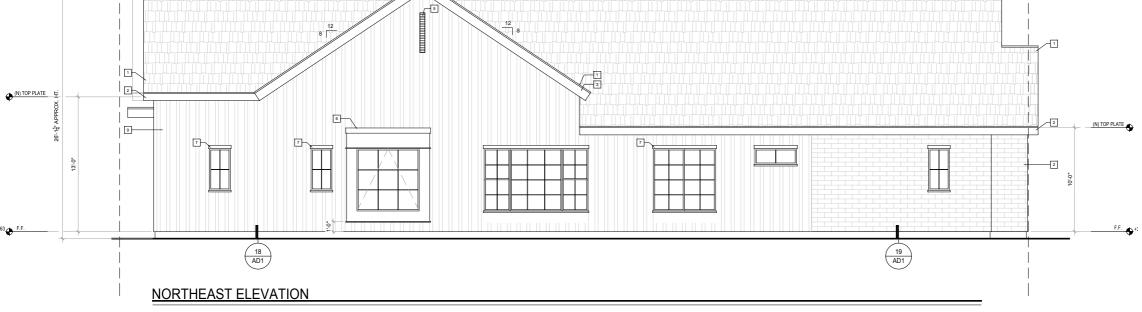
ATTACHMENT 1: Prestwick Drive





ATTACHMENT 1: Prestwick Drive ELEVATION KEYNOTES:























MATERIAL BOARD

8559 PRESTWICK DR



Timberline® HDZ Asphalt shingles Color: Charcoal by: GAF For roofing



Tundra Brick By: El Dorado Stone Size: 2.5" high and 7.875" long Color: Chalk dust



K Style copper rain gutter By:Gutter supply or similar For: Roof Gutters



Material: Aluminum Clad Color: Dark Bronze By: Sierra Pacific



Vertical cement siding Color: Celluloid By: Dunn Edwards Code: DET619