



THE CITY OF SAN DIEGO

Report to the Planning Commission

DATE ISSUED: February 15, 2024 REPORT NO. PC-24-009

HEARING DATE: February 22, 2024

SUBJECT: 5175 Del Mar Mesa Road, Process Four Decision

PROJECT NUMBER: [688918](#)

OWNER/APPLICANT: Keshif Properties LLC, Owner / Pasco Laret Suiter & Associates, Applicant

SUMMARY

Issue: Should the Planning Commission approve, deny or modify the proposed subdivision of an existing residential lot into three residential parcels (Parcels 1-3), including demolishing an existing single dwelling unit and accessory structures and the construction on Parcel 1 (3.29 acres) of a two-story, 9,610 square-foot single dwelling unit with attached garage and detached two-story, 3,124 square-foot RV garage at 5175 Del Mar Mesa Road within the Del Mar Mesa Specific Plan area?

Staff Recommendation: Approve Coastal Development Permit No. 2565089, Site Development Permit No. 2565088, Planned Development Permit No. 2616764, and Tentative Map No. 2564842.

Fiscal Considerations: None with this action. All costs associated with the processing of this application are recovered through a deposit account funded by the applicant.

Housing Impact Statement: The project proposes to demolish an existing single dwelling unit and accessory structures for the construction of a single dwelling unit.

Community Planning Group Recommendation: On July 14, 2022, the Del Mar Mesa Community Planning Group voted 10-0-0 to recommend approval of the project without conditions (Attachment 9).

Environmental Impact: The project was determined to be categorically exempt pursuant to Section 15303 (New Construction) of the California Environmental Quality Act on November 3, 2023, and the opportunity to appeal that determination ended November 20, 2023. There

were no project appeals (Attachment 8).

BACKGROUND

The 7.98-acre site is developed with a single dwelling unit and accessory structures located at 5175 Del Mar Mesa Road in a low-density residential and rural neighborhood within the Del Mar Mesa Specific Plan area (Specific Plan) (Attachments 1-3). The project site is in the AR-1-1 Zone, Coastal Overlay Zone, Fire Brush Zone, and High Fire Severity Zone.

The project site is located over three miles from the Pacific Ocean and there is no public view or coastal access from the project site. On July 22, 2021, the City's Historical Resources Board determined that the property does not meet the local designation criteria as an individually significant resource under any adopted Historical Resources Board Criteria.

Permits Required:

1. Pursuant to San Diego Municipal Code Section (SDMC) 125.0410 and 126.0502(d)(3), a Process 4 Tentative Map and Site Development Permit is required to subdivide an existing residential lot with environmentally sensitive lands (sensitive vegetation) into three parcels;
2. Pursuant to SDMC Section 126.0602 (b)(1), a Process 4 Planned Development Permit is required for development that does not comply with all of the base zone regulations; and
3. A Process 2 Coastal Development is required for all coastal development of a premises within the Coastal Overlay Zone, pursuant to SDMC Section 126.0702(a). Of note, the Coastal Commission confirmed to staff that the project site is bisected by the Coastal Overlay Zone (portion within Deferred Certified area) boundary, however the project is not within their permitting or appeals jurisdiction.

The discretionary actions have been consolidated under this application and processed concurrently, pursuant to the Consolidation of Processing regulations contained in SDMC Section 112.0103(a)(1) and are processed at the highest process level. Therefore, the decision to approve, conditionally approve, or deny the project shall be made by the Planning Commission, and the decision is appealable to the City Council.

DISCUSSION

Project Description:

The proposed project consists of subdividing the existing residential lot into three residential parcels (Parcels 1-3), demolishing the existing single dwelling unit and accessory structures, and constructing on Parcel 1 (3.29 acres) a two-story, 9,610 square-foot single dwelling unit with attached garage and detached two-story, 3,124 square-foot RV garage. Parcels 2 and 3

(totaling 4.69-acres) include a pad area only for future development (Attachment 12). The development of a single dwelling unit on Parcel 1 complies with the development regulations of the underlying AR-1-1 Zone (SDMC Section 131.0330(d)) for building height (34 feet) which does not exceed the AR-1-1 height limit (SDMC Section 131.0344), density, lot coverage, and setbacks. Additionally, the Tentative Map for the project was reviewed by staff and determined to be in compliance with the SDMC and Subdivision Map Act.

As previously mentioned, the project requires a Planned Development Permit (PDP) per SDMC Sections 126.0602 (b)(1) and 144.0211 for the subdivision of lots that do not have street frontage along a public road (Del Mar Mesa Road) as required by the AR-1-1 Zone (200 feet per SDMC Table 131-03C). The existing parcel has an unusual configuration since the entire 7.98-acre site has only 188 feet of frontage (188 feet for Parcel 1, and zero feet for Parcels 2 and 3) on a public street due to other adjacent parcels occupying the nearest street frontage. Since the AR-1-1 Zone requires new lots to have a minimum of 200 feet of street frontage, the development regulations would preclude the subdivision of the 7.98-acre site although the Specific Plan would allow three lots on the site.

The Specific Plan allows deviations with a PDP so long as the rural character of the community is maintained. A deviation to allow lots with less than 200 feet of street frontage is more desirable than the strict application of the development regulations since it would support the creation of new residential lots and provide additional housing opportunities in Del Mar Mesa, furthering Specific Plan goals. The new lots will also have legal access rights to a public road through an existing recorded easement. The newly created lots comply with the underlying zoning regulations for lot width, depth, and setbacks for new structures. The project also provides a land use that is consistent with the existing low-density residential and rural character of the neighborhood.

A biology report has been prepared for the site that determined that there are no impacts that would require mitigation or a brush management plan. There are no archaeological impacts, and the project site is not located within or adjacent to the City's Multiple Species Conservation Plan/Multiple Habitat Planning Area. A preliminary geotechnical report has also been prepared for the site that concluded that the project adequately addresses the site's soil and geologic conditions, and drainage for the project complies with the City's drainage regulations and standards.

Additionally, the project permit contains specific requirements to ensure compliance with the regulations of the Land Development Code, including those adopted to protect the public health, safety and welfare. Permit requirements include implementation of storm water construction best management practices; maintenance of all landscape improvements; requiring private water and sewer facilities be designed to meet the requirements of the California Uniform Plumbing Code; and submitting an updated geotechnical report that addresses the construction plans.

Specific Plan Analysis:

The Specific Plan designates the 7.98-acre site as estate residential which authorizes one dwelling unit per 2.5 acres, and the project is consistent with the land use designation and prescribed density. The project is consistent with the Specific Plan goal of preserving the rural character of the community by designing a project with building materials and an exterior color scheme that complements the site's topography and the surrounding low density residential and rural neighborhood. The project also complies with this Specific Plan goal by reducing the bulk and scale of structures and providing a project that has a low profile and set back from the main street, thereby not adversely impacting the streetscape. The main residence and garage are also set back sufficiently from the street which is consistent with the Specific Plan guideline for the desired type of private driveway and access to the residence.

Conclusion:

Staff has reviewed the proposal, including all the issues identified through the review process, and has determined that all project issues have been addressed. The project conforms with the Community Plan and the adopted City Council policies and regulations of the Land Development Code. Therefore, draft findings and conditions to support project approval are presented to the Hearing Officer for consideration.

ALTERNATIVES

1. Approve Coastal Development Permit No. 2565089, Site Development Permit No. 2565088, Planned Development Permit No. 2616764, and Tentative Map No. 2564842, with modifications.
2. Deny Coastal Development Permit No. 2565089, Site Development Permit No. 2565088, Planned Development Permit No. 2616764, and Tentative Map No. 2564842, if the findings required to approve the project cannot be affirmed.

Respectfully submitted,



Renee Mezo
Deputy Director
Development Services Department



Xavier Del Valle
Development Project Manager
Development Services Department

MEZO/XAD

Attachments:

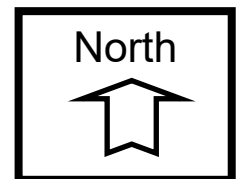
1. Aerial Photograph
2. Community Plan Land Use Map
3. Project Location Map
4. Draft Permit Resolution
5. Draft Permit
6. Draft Tentative Map Resolution
7. Draft Tentative Map Conditions
8. NORA Environmental Determination
9. Community Planning Group Recommendation
10. Site Photos
11. Ownership Disclosure Statement
12. Project Plans

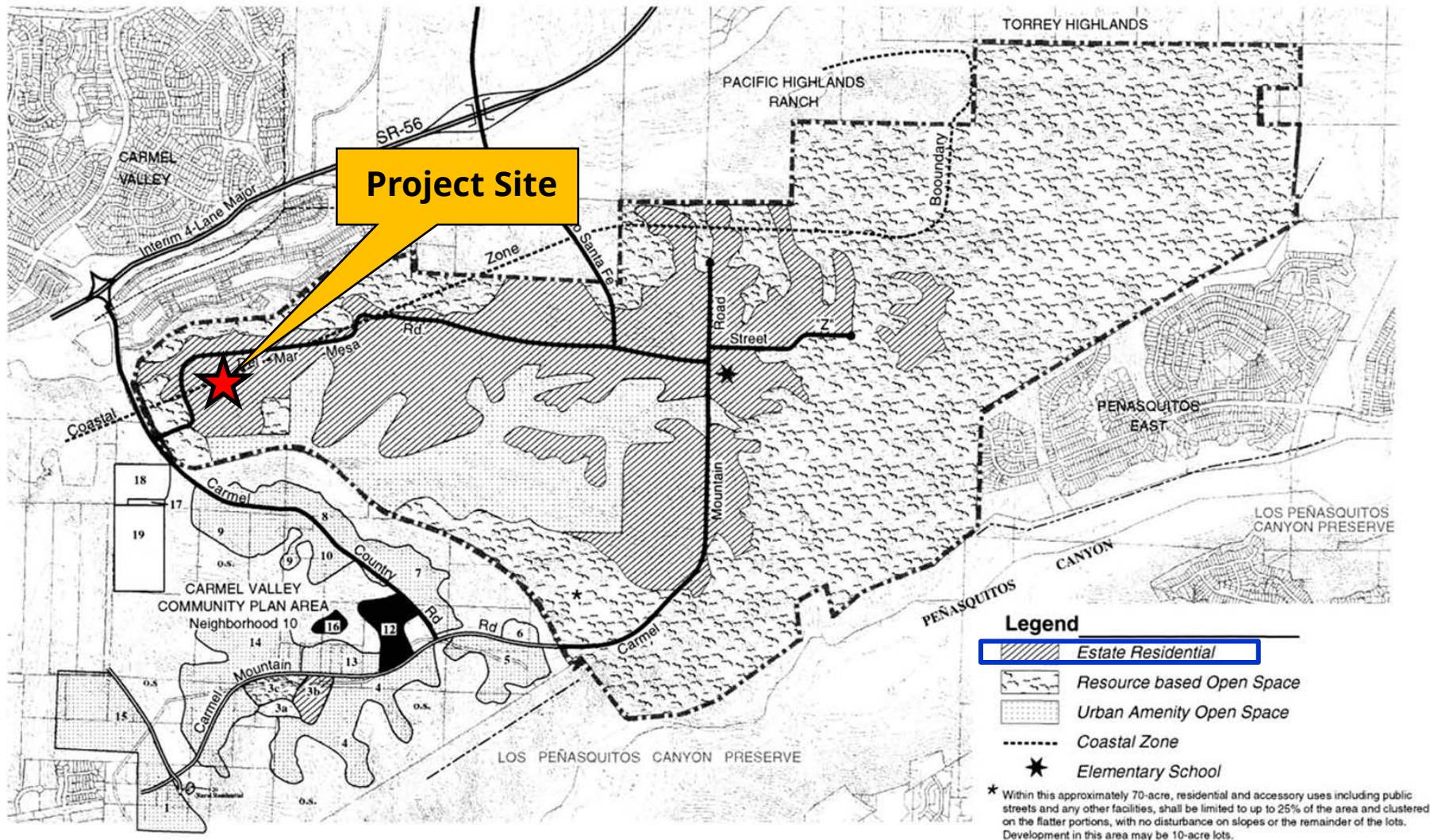


Aerial Photograph

5175 Del Mar Mesa Road

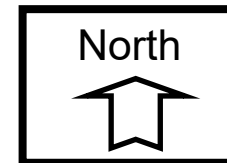
Project No. 688918 - 5175 Del Mar Mesa Road

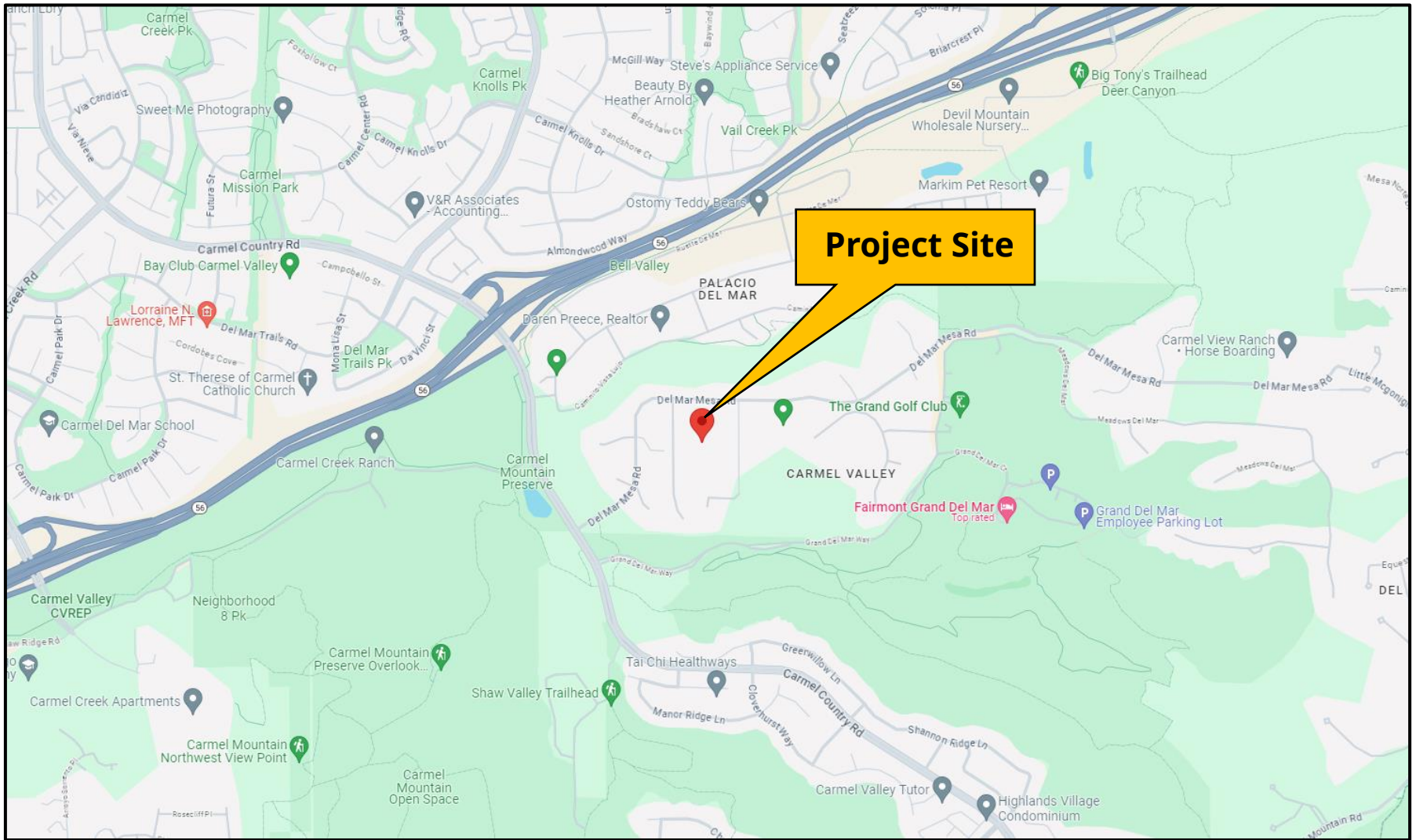




Land Use Map

5175 Del Mar Mesa Road
Project No. 688918 – 5175 Del Mar Mesa Road

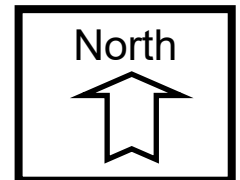




Project Location Map

5175 Del Mar Mesa Road

Project No. 688918 - 5175 Del Mar Mesa Road



PLANNING COMMISSION RESOLUTION NO. _____
COASTAL DEVELOPMENT PERMIT NO. 2565089
SITE DEVELOPMENT PERMIT NO. 2565088
PLANNED DEVELOPMENT PERMIT NO. 2616764
PROJECT NO. 688918 – 5175 DEL MAR MESA ROAD

WHEREAS, KESHIF PROPERTIES, LLC, a California Limited Liability Company, Owner/Permittee, filed an application with the City of San Diego for a permit to subdivide an existing residential lot into three residential parcels (Parcels 1-3), demolishing an existing single dwelling unit and accessory structures, and constructing on Parcel 1 (3.29 acres) a two-story, 9,610 square-foot single dwelling unit with attached garage and detached two-story, 3,124 square-foot RV garage (as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Coastal Development Permit No. 2565089, Site Development Permit No. 2565088, and Planned Development Permit No. 2616764) on portions of a 7.98-acre site;

WHEREAS, the project site is located at 5175 Del Mar Mesa Road in the AR-1-1 Zone, Coastal Overlay Zone, Fire Brush Zone, and High Fire Severity Zone within the Del Mar Mesa Community Plan area;

WHEREAS, the project site is legally described as Parcel 1: The Northwest quarter of the Northeast quarter of the Southeast quarter of Section 20, Township 14 South, Range 3 West, San Bernardino Base and Meridian, in the City of San Diego, County of San Diego, State of California, according to United States Government Survey, May 20, 1884; Parcel 2: An easement for road, utility and pipeline purposes over the Easterly 20 feet of the Northerly 120 feet of said Northwest quarter of the Northeast quarter of the Southeast quarter and over the Southerly 20 feet of the Northerly 140 feet of the Easterly 120 feet of said Northwest quarter of the Northeast quarter of the Southeast quarter; Parcel 3: A non-exclusive easement and right of way for ingress and egress for vehicle, pedestrian and utility purposes over, under and across the Westerly 20 feet of the East half together

with the Easterly 20 feet of the West half of the Northeast Quarter of the Southeast Quarter of Section 20, Township 14 South, Range 3 West, San Bernardino Base and Meridian, in the City of San Diego, County of San Diego, State of California, according to the Official Plat thereof; and Parcel 4: A non-exclusive easement and right of way for ingress and egress for vehicle, pedestrian and utility purposes over, under and across that portion of Parcel 1 of Parcel Map No. 20448 in the City of San Diego, County of San Diego, State of California filed in the Office of the County Recorder of San Diego County, March 7, 2008, as File No. 2008-0121935 of Official Records;

WHEREAS, on November 3, 2023, the City of San Diego, as Lead Agency, through the Development Services Department, made and issued an Environmental Determination that the project is exempt from the California Environmental Quality Act (CEQA) (Public Resources Code Section 21000 et seq.) under CEQA Guideline Section 15303 (New Construction) and there was no appeal of the Environmental Determination filed within the time period provided by San Diego Municipal Code Section 112.0520;

WHEREAS, on February 22, 2024, the Planning Commission of the City of San Diego considered Coastal Development Permit No. 2565089, Site Development Permit No. 2565088, and Planned Development Permit No. 2616764 pursuant to the Land Development Code of the City of San Diego; NOW, THEREFORE,

BE IT RESOLVED by the Planning Commission of the City of San Diego, that it adopts the following findings with respect to Coastal Development Permit No. 2565089, Site Development Permit No. 2565088, and Planned Development Permit No. 2616764:

A. COASTAL DEVELOPMENT PERMIT [San Diego Municipal Code Section (SDMC) Section 126.0708]

1. Findings for all Coastal Development Permits:

- a. The proposed coastal development will not encroach upon any existing physical accessway that is legally used by the public or any proposed public accessway identified in a Local Coastal Program land use plan; and the proposed coastal development will enhance and protect public views to and along the ocean and other scenic coastal areas as specified in the Local Coastal Program land use plan.**

The project site is located over three miles from the Pacific Ocean in a low-density residential and rural area within the Del Mar Mesa community. There is no public view or coastal access from the project site. The project complies with the community goals regarding public view preservation and enhancement since the project is consistent with the Specific Plan goal of preserving the rural character of the community. The project provides a design that complements the site's topography and the surrounding low density residential and rural neighborhood. The project also complies with this Specific Plan goal by reducing the bulk and scale of structures and providing a project that has a low profile and set back from the main street, thereby not adversely impacting the streetscape. Therefore, the project will not encroach upon any existing physical accessway that is legally used by the public or any proposed public accessway identified in a Local Coastal Program land use plan; and the proposed project will enhance and protect public views to and along the ocean and other scenic coastal areas as specified in the Local Coastal Program Land Use Plan.

- b. The proposed coastal development will not adversely affect environmentally sensitive lands.**

A biology report has been prepared for the site that determined that there are no impacts that would require mitigation or a brush management plan. There are no archaeological impacts, and the project site is not located within or adjacent to the City's Multiple Species Conservation Plan/Multiple Habitat Planning Area. Additionally, the project was determined to be categorically exempt from the California Environmental Quality Act pursuant to CEQA Guidelines Section 15303 (New Construction). Therefore, the proposed coastal development will not adversely affect environmentally sensitive lands.

- c. The proposed coastal development is in conformity with the certified Local Coastal Program land use plan and complies with all regulations of the certified Implementation Program.**

The project consists of subdividing the existing residential lot into three residential parcels (Parcels 1-3), demolishing the existing single dwelling unit and accessory structures, and constructing on Parcel 1 (3.29 acres) a two-story, 9,610 square-foot single dwelling unit with attached garage and detached two-story, 3,124 square-foot

RV garage. Parcels 2 and 3 (totaling 4.69-acres) include a pad area only for future development. On July 22, 2021, the City's Historical Resources Board determined that the property does not meet the local designation criteria as an individually significant resource under any adopted Historical Resources Board Criteria.

The development of a single dwelling unit on Parcel 1 complies with the development regulations of the underlying AR-1-1 Zone (SDMC Section 131.0330(d)) for building height (34 feet) which does not exceed the AR-1-1 height limit (SDMC Section 131.0344), lot coverage, density, and setbacks. Additionally, the Tentative Map for the project was reviewed by staff and determined to comply with the SDMC and Subdivision Map Act.

The project requires a Planned Development Permit (PDP) per SDMC Sections 126.0602 (b)(1) and 144.0211 for the subdivision of lots that do not have street frontage along a public road (Del Mar Mesa Road) as required by the AR-1-1 Zone (200 feet per SDMC Table 131-03C). The existing parcel has an unusual configuration since the entire 7.98-acre site has only 188 feet of frontage (188 feet for Parcel 1, and zero feet for Parcels 2 and 3) on a public street due to other adjacent parcels occupying the nearest street frontage. Since the AR-1-1 Zone requires new lots to have a minimum of 200 feet of street frontage, the development regulations would preclude the subdivision of the 7.98-acre site although the Specific Plan would allow three lots on the site.

The Specific Plan allows deviations with a PDP so long as the rural character of the community is maintained. A deviation to allow lots with less than 200 feet of street frontage is more desirable than the strict application of the development regulations since it would support the creation of new residential lots and provide additional housing opportunities in Del Mar Mesa, furthering Specific Plan goals. The new lots will also have legal access rights to a public road through an existing recorded easement. The newly created lots comply with the underlying zoning regulations for lot width, depth, and setbacks for new structures. The project also provides a land use that is consistent with the existing low-density residential and rural character of the neighborhood.

The Specific Plan designates the 7.98-acre site as estate residential which authorizes one dwelling unit per 2.5-acres, and the project is consistent with the land use designation and prescribed density. The project is consistent with the Specific Plan goal of preserving the rural character of the community by designing a project with building materials and an exterior color scheme that complements the site's topography and the surrounding low density residential and rural neighborhood. The project also complies with this Specific Plan goal by reducing the bulk and scale of structures and providing a project that has a low profile and set back from the main street, thereby not adversely impacting the streetscape. The main residence and garage are also set back sufficiently from the street which is consistent with the Specific Plan guideline for the desired type of private driveway and access to the residence. Therefore, the proposed project is in conformity with the certified Local

Coastal Program land use plan and complies with all regulations of the certified Implementation Program.

- d. For every Coastal Development Permit issued for any coastal development between the nearest public road and the sea or the shoreline of any body of water located within the Coastal Overlay Zone the coastal development is in conformity with the public access and public recreation policies of Chapter 3 of the California Coastal Act.**

The project site is not located between the nearest public road and the sea or the shoreline of any body of water. The project will be redeveloped entirely within private property and will not adversely impact public access or any public recreation opportunities. Therefore, the project conforms with the public access and public recreation policies of Chapter 3 of the California Coastal Act.

B. SITE DEVELOPMENT PERMIT [SDMC Section 126.0505]

1. Findings for all Site Development Permits:

- a. The proposed development will not adversely affect the applicable land use plan.**

The Specific Plan designates the 7.98-acre site as estate residential which authorizes one dwelling unit per 2.5-acres, and the project is consistent with the land use designation and prescribed density. The project is consistent with the Specific Plan goal of preserving the rural character of the community by designing a project with building materials and an exterior color scheme that complements the site's topography and the surrounding low density residential and rural neighborhood. The project also complies with this Specific Plan goal by reducing the bulk and scale of structures and providing a project that has a low profile and set back from the main street, thereby not adversely impacting the streetscape. The main residence and garage are also set back sufficiently from the street which is consistent with the Specific Plan guideline for the desired type of private driveway and access to the residence. Therefore, the proposed development will not adversely affect the applicable land use plan.

- b. The proposed development will not be detrimental to the public health, safety and welfare.**

A biology report has been prepared for the site that determined that there are no impacts that would require mitigation or a brush management plan. A preliminary geotechnical report has also been prepared for the site that concluded that the project adequately addresses the site's soil and geologic conditions, and drainage for the project complies with the City's drainage regulations and standards. Additionally, the project permit contains specific requirements to ensure compliance with the regulations of the Land Development Code, including those adopted to protect the public health, safety and welfare. Permit requirements include implementation of storm water construction best management practices; maintenance of all landscape

improvements; requiring private water and sewer facilities be designed to meet the requirements of the California Uniform Plumbing Code; and submitting an updated geotechnical report that addresses the construction plans. Therefore, the project will not be detrimental to the public, health, safety, and welfare.

c. The proposed development will comply with the regulations of the Land Development Code including any allowable deviations pursuant to the Land Development Code.

The project consists of subdividing the existing residential lot into three residential parcels (Parcels 1-3), demolishing the existing single dwelling unit and accessory structures, and constructing on Parcel 1 (3.29 acres) a two-story, 9,610 square-foot single dwelling unit with attached garage and detached two-story, 3,124 square-foot RV garage. Parcels 2 and 3 (totaling 4.69-acres) include a pad area only for future development. On July 22, 2021, the City's Historical Resources Board determined that the property does not meet the local designation criteria as an individually significant resource under any adopted Historical Resources Board Criteria.

The development of a single dwelling unit on Parcel 1 complies with the development regulations of the underlying AR-1-1 Zone (SDMC Section 131.0330(d)) for building height (34 feet) which does not exceed the AR-1-1 height limit (SDMC Section 131.0344), lot coverage, density, and setbacks. Additionally, the Tentative Map for the project was reviewed by staff and determined to be in compliance with the SDMC and Subdivision Map Act.

The project requires a Planned Development Permit (PDP) per SDMC Sections 126.0602 (b)(1) and 144.0211 for the subdivision of lots that do not have street frontage along a public road (Del Mar Mesa Road) as required by the AR-1-1 Zone (200 feet per SDMC Table 131-03C) for Del Mar Mesa. The existing parcel has an unusual configuration since the entire 7.98-acre site has only 188 feet of frontage (188 feet for Parcel 1, and zero feet for Parcels 2 and 3) on a public street due to other adjacent parcels occupying the nearest street frontage. Since the AR-1-1 Zone requires new lots to have a minimum of 200 feet of street frontage, the development regulations would preclude the subdivision of the 7.98-acre site although the Specific Plan would allow three lots on the site.

The Specific Plan allows deviations with a PDP so long as the rural character of the community is maintained. A deviation to allow lots with less than 200 feet of street frontage is more desirable than the strict application of the development regulations since it would support the creation of new residential lots and provide additional housing opportunities in Del Mar Mesa, furthering Specific Plan goals. The new lots will also have legal access rights to a public road through an existing recorded easement. The newly created lots comply with the underlying zoning regulations for lot width, depth, and setbacks for new structures. The project also provides a land use that is consistent with the existing low-density residential and rural character of the neighborhood. Therefore, the project will comply with the regulations of the

Land Development Code including any allowable deviations pursuant to the Land Development Code.

Supplemental Findings – Environmentally Sensitive Lands:

- a. The site is physically suitable for the design and siting of the proposed development and the development will result in minimum disturbance to environmentally sensitive lands.**

A biology report has been prepared for the site that determined that there are no impacts that would require mitigation or a brush management plan. There are no archaeological impacts, and the project site is not located within or adjacent to the City's Multiple Species Conservation Plan/Multiple Habitat Planning Area. A preliminary geotechnical report was also prepared for the site that concluded that the project adequately addresses the site's soil and geologic conditions, and drainage for the project complies with the City's drainage regulations and standards.

The development of a single dwelling unit on Parcel 1 complies with the development regulations of the underlying AR-1-1 Zone (SDMC Section 131.0330(d)), for building height (34 feet) which does not exceed the AR-1-1 height limit (SDMC Section 131.0344), lot coverage, density, and setbacks. Additionally, the Tentative Map for the project was reviewed by staff and determined to be in compliance with the SDMC and Subdivision Map Act.

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Additionally, the project permit contains specific requirements to ensure compliance with the regulations of the Land Development Code, including those adopted to protect the public health, safety and welfare. Permit requirements include implementation of storm water construction best management practices; maintenance of all landscape improvements; requiring private water and sewer facilities be designed to meet the requirements of the California Uniform Plumbing Code; and submitting an updated geotechnical report that addresses the construction plans. The project was determined to be categorically exempt from the California Environmental Quality Act pursuant to CEQA Guidelines Section 15303 (New Construction). Therefore, the site is physically suitable for the design and siting of the proposed development and the development will result in minimum disturbance to environmentally sensitive lands.

b. The proposed development will minimize the alteration of natural landforms and will not result in undue risk from geologic and erosional forces, flood hazards, or fire hazards.

A biology report has been prepared for the site that determined that there are no impacts that would require mitigation or a brush management plan. There are no archaeological impacts, and the project site is not located within or adjacent to the City's Multiple Species Conservation Plan/Multiple Habitat Planning Area. A preliminary geotechnical report has also been prepared for the site that concluded that the project adequately addresses the site's soil and geologic conditions, and drainage for the project complies with the City's drainage regulations and standards.

Additionally, the project permit contains specific requirements to ensure compliance with the regulations of the Land Development Code, including those adopted to protect the public health, safety and welfare. Permit requirements include implementation of storm water construction best management practices; maintenance of all landscape improvements; requiring private water and sewer facilities be designed to meet the requirements of the California Uniform Plumbing Code; and submitting an updated geotechnical report that addresses the construction plans. Therefore, the proposed development will minimize the alteration of natural landforms and will not result in undue risk from geologic and erosional forces, flood hazards, or fire hazards.

c. The proposed development will be sited and designed to prevent adverse impacts on any adjacent environmentally sensitive lands.

A biology report has been prepared for the site that determined that there are no impacts that would require mitigation or a brush management plan. There are no archaeological impacts, and the project site is not located within or adjacent to the City's Multiple Species Conservation Plan/Multiple Habitat Planning Area. A preliminary geotechnical report was also prepared for the site that concluded that the project adequately addresses the site's soil and geologic conditions, and drainage for the project complies with the City's drainage regulations and standards.

The development of a single dwelling unit on Parcel 1 complies with the development regulations of the underlying AR-1-1 Zone (SDMC Section 131.0330(d)), for building height (34 feet) which does not exceed the AR-1-1 height limit (SDMC Section 131.0344), lot coverage, density, and setbacks. Additionally, the Tentative Map for the project was reviewed by staff and determined to be in compliance with the SDMC and Subdivision Map Act.

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The Specific Plan allows deviations with a PDP so long as the rural character of the community is maintained. A deviation to allow lots with less than 200 feet of street frontage is more desirable than the strict application of the development regulations since it would support the creation of new residential lots and provide additional housing opportunities in Del Mar Mesa, furthering Specific Plan goals. The new lots will also have legal access rights to a public road through an existing recorded easement. The newly created lots comply with the underlying zoning regulations for lot width, depth, and setbacks for new structures. The project also provides a land use that is consistent with the existing low-density residential and rural character of the neighborhood.

Additionally, the project permit contains specific requirements to ensure compliance with the regulations of the Land Development Code, including those adopted to protect the public health, safety and welfare. Permit requirements include implementation of storm water construction best management practices; maintenance of all landscape improvements; requiring private water and sewer facilities be designed to meet the requirements of the California Uniform Plumbing Code; and submitting an updated geotechnical report that addresses the construction plans. The project was determined to be categorically exempt from the California Environmental Quality Act pursuant to CEQA Guidelines Section 15303 (New Construction). Therefore, the proposed development will be sited and designed to prevent adverse impacts on any adjacent environmentally sensitive lands.

d. The proposed development will be consistent with the City of San Diego's Multiple Species Conservation Program (MSCP) Subarea Plan and Vernal Pool Habitat Conservation Plan (VPHCP).

A biology report has been prepared for the site that determined that there are no impacts that would require mitigation or a brush management plan. There are no

archaeological impacts, and the project site is not located within or adjacent to the City's Multiple Species Conservation Plan/Multiple Habitat Planning Area. The project is not located within the Vernal Pool Habitat Conservation area. Therefore, the proposed development will be consistent with the City of San Diego's Multiple Species Conservation Program (MSCP) Subarea Plan and Vernal Pool Habitat Conservation Plan (VPHCP).

- e. The proposed development will not contribute to the erosion of public beaches or adversely impact local shoreline sand supply.**

The project site is located over three miles from the Pacific Ocean in a low-density residential and rural area within the Del Mar Mesa community. Therefore, the proposed development will not contribute to the erosion of public beaches or adversely impact local shoreline sand supply.

- f. The nature and extent of mitigation required as a condition of the permit is reasonably related to, and calculated to alleviate, negative impacts created by the proposed development.**

A biology report has been prepared for the site that determined that there are no impacts that would require mitigation or a brush management plan. There are no archaeological impacts, and the project site is not located within or adjacent to the City's Multiple Species Conservation Plan/Multiple Habitat Planning Area. Additionally, the project permit contains specific requirements to ensure compliance with the regulations of the Land Development Code, including those adopted to protect the public health, safety and welfare. Permit requirements include implementation of storm water construction best management practices; maintenance of all landscape improvements; requiring private water and sewer facilities be designed to meet the requirements of the California Uniform Plumbing Code; and submitting an updated geotechnical report that addresses the construction plans. Therefore, the nature and extent of mitigation required as a condition of the permit is reasonably related to, and calculated to alleviate, negative impacts created by the proposed development.

C. PLANNED DEVELOPMENT PERMIT [SDMC Section 126.0605(a)]

1. Findings for all Planned Development Permits:

- a. The proposed development will not adversely affect the applicable land use plan.**

See Site Development Permit finding B.1.a.

- b. The proposed development will not be detrimental to the public health, safety and welfare.**

See Site Development Permit finding B.1.b.

- c. **The proposed development will comply with the regulations of the Land Development Code including any proposed deviations pursuant to Section 126.0602(b)(1) that are appropriate for this location and will result in a more desirable project than would be achieved if designed in strict conformance with the development regulations of the applicable zone, and any allowable deviations that are otherwise authorized pursuant to the Land Development Code.**

The project consists of subdividing the existing residential lot into three residential parcels (Parcels 1-3), demolishing the existing single dwelling unit and accessory structures, and constructing on Parcel 1 (3.29 acres) a two-story, 9,610 square-foot single dwelling unit with attached garage and detached two-story, 3,124 square-foot RV garage. Parcels 2 and 3 (totaling 4.69-acres) include a pad area only for future development. On July 22, 2021, the City's Historical Resources Board determined that the property does not meet the local designation criteria as an individually significant resource under any adopted Historical Resources Board Criteria.

The development of a single dwelling unit on Parcel 1 complies with the development regulations of the underlying AR-1-1 Zone (SDMC Section 131.0330(d)) for building height (34 feet) which does not exceed the AR-1-1 height limit (SDMC Section 131.0344), lot coverage, density, and setbacks. Additionally, the Tentative Map for the project was reviewed by staff and determined to be in compliance with the SDMC and Subdivision Map Act.

The project requires a Planned Development Permit (PDP) per SDMC Sections 126.0602 (b)(1) and 144.0211 for the subdivision of lots that do not have street frontage along a public road (Del Mar Mesa Road) as required by the AR-1-1 Zone (200 feet per SDMC Table 131-03C). The existing parcel has an unusual configuration since the entire 7.98-acre site has only 188 feet of frontage (188 feet for Parcel 1, and zero feet for Parcels 2 and 3) on a public street due to other adjacent parcels occupying the nearest street frontage. Since the AR-1-1 Zone requires new lots to have a minimum of 200 feet of street frontage, the development regulations would preclude the subdivision of the 7.98-acre site although the Specific Plan would allow three lots on the site.

The Specific Plan allows deviations with a PDP so long as the rural character of the community is maintained. A deviation to allow lots with less than 200 feet of street frontage is more desirable than the strict application of the development regulations since it would support the creation of new residential lots and provide additional housing opportunities in Del Mar Mesa, furthering Specific Plan goals. The new lots will also have legal access rights to a public road through an existing recorded easement. The newly created lots comply with the underlying zoning regulations for lot width, depth, and setbacks for new structures. The project also provides a land use that is consistent with the existing low-density residential and rural character of the neighborhood. Therefore, the proposed development will comply with the regulations of the Land Development Code including any proposed deviations pursuant to Section 126.0602(b)(1) that are appropriate for this location and will

result in a more desirable project than would be achieved if designed in strict conformance with the development regulations of the applicable zone, and any allowable deviations that are otherwise authorized pursuant to the Land Development Code.

The above findings are supported by the minutes, maps and exhibits, all of which are incorporated herein by this reference.

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the Planning Commission, Coastal Development Permit No. 2565089, Site Development Permit No. 2565088, and Planned Development Permit No. 2616764 is hereby GRANTED by the Planning Commission to the referenced Owner/Permittee, in the form, exhibits, terms and conditions as set forth in Coastal Development Permit No. 2565089, Site Development Permit No. 2565088, and Planned Development Permit No. 2616764, a copy of which is attached hereto and made a part hereof.

Xavier Del Valle
Development Project Manager
Development Services

Adopted on February 22, 2024

IO#: 24008948

RECORDING REQUESTED BY
CITY OF SAN DIEGO
DEVELOPMENT SERVICES
PERMIT INTAKE, MAIL STATION
501

WHEN RECORDED MAIL TO
PROJECT MANAGEMENT
PERMIT CLERK
MAIL STATION 501

INTERNAL ORDER NUMBER: 24008948

SPACE ABOVE THIS LINE FOR RECORDER'S USE

COASTAL DEVELOPMENT PERMIT NO. 2565089

SITE DEVELOPMENT PERMIT NO. 2565088

PLANNED DEVELOPMENT PERMIT NO. 2616764

PROJECT NO. 688918 – 5175 DEL MAR MESA ROAD

PLANNING COMMISSION

This Coastal Development Permit No. 2565089, Site Development Permit No. 2565088, and Planned Development Permit No. 2616764 is granted by the Planning Commission of the City of San Diego to KESHIF PROPERTIES, LLC, a California Limited Liability Company, Owner/Permittee, pursuant to San Diego Municipal Code [SDMC] sections 126.0702 and 126.0502. The 7.98-acre site is located at 5175 Del Mar Mesa Road in the AR-1-1 Zone, Coastal Overlay Zone, Fire Brush Zone, and High Fire Severity Zone within the Del Mar Mesa Community Plan area. The project site is legally described as: Parcel 1: The Northwest quarter of the Northeast quarter of the Southeast quarter of Section 20, Township 14 South, Range 3 West, San Bernardino Base and Meridian, in the City of San Diego, County of San Diego, State of California, according to United States Government Survey, May 20, 1884; Parcel 2: An easement for road, utility and pipeline purposes over the Easterly 20 feet of the Northerly 120 feet of said Northwest quarter of the Northeast quarter of the Southeast quarter and over the Southerly 20 feet of the Northerly 140 feet of the Easterly 120 feet of said Northwest quarter of the Northeast quarter of the Southeast quarter; Parcel 3: A non-exclusive easement and right of way for ingress and egress for vehicle, pedestrian and utility purposes over, under and across the Westerly 20 feet of the East half together with the Easterly 20 feet of the West half of the Northeast Quarter of the Southeast Quarter of Section 20, Township 14 South, Range 3 West, San Bernardino Base and Meridian, in the City of San Diego, County of San Diego, State of California, according to the Official Plat thereof; and Parcel 4: A non-exclusive easement and right of way for ingress and egress for vehicle, pedestrian and utility purposes over, under and across that portion of Parcel 1 of Parcel Map No. 20448 in the City of San Diego, County of San Diego, State of California filed in the Office of the County Recorder of San Diego County, March 7, 2008, as File No. 2008-0121935 of Official Records;

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner/Permittee to demolish an existing single dwelling unit and accessory structures and the construction on Parcel 1 of a new two-story, single dwelling unit with attached garage and detached RV garage described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated February 22, 2024, on file in the Development Services Department.

The project shall include:

- a. Demolition of the existing single dwelling unit and accessory structures and the construction on Parcel 1 (3.29 acres) of a new two-story, 9,610 square-foot single dwelling unit with attached garage and detached two-story, 3,124 square-foot RV garage; and
- b. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act [CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

STANDARD REQUIREMENTS:

1. This Permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this Permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36-month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This Permit must be utilized by March 7, 2027.
2. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
 - a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
 - b. The Permit is recorded in the Office of the San Diego County Recorder.
3. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.
4. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.
5. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
6. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).

7. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.

8. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.

9. All of the conditions contained in this Permit have been considered and were determined necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

10. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

CLIMATE ACTION PLAN REQUIREMENTS:

11. Owner/Permittee shall comply with the Climate Action Plan (CAP) Consistency Checklist stamped as Exhibit "A." Prior to issuance of any construction permit, all CAP strategies shall be noted within the first three (3) sheets of the construction plans under the heading "Climate Action Plan

Requirements" and shall be enforced and implemented to the satisfaction of the Development Services Department.

ENGINEERING REQUIREMENTS:

12. The Coastal Development Permit and Site Development Permit shall comply with all Conditions of the Final Map for Tentative Map No. 2564842.
13. Prior to the issuance of any construction permits, the Owner/Permittee shall assure by permit and bond the reconstruction of the existing western driveway, per current City Standards adjacent to the site on Del Mar Mesa Road, satisfactory to the City Engineer.
14. The proposed drainage system as shown on the site plan is private and subject to approval by the City Engineer.
15. Prior to the issuance of any construction permits, the Owner/Permittee shall incorporate into the construction plans or specifications any construction Best Management Practices (BMPs) necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the SDMC.
16. Prior to the issuance of any construction permits, the Owner/Permittee shall enter into a Maintenance Agreement for the ongoing permanent BMP maintenance, satisfactory to the City Engineer.
17. Prior to the issuance of any construction permits, the Owner/Permittee shall submit a Technical Report that will be subject to final review and approval by the City Engineer, based on the Storm Water Standards in effect at the time of the construction permit issuance.
18. Development of this project shall comply with all storm water construction requirements of the State Construction General Permit, Order No. 2009-0009DWQ, or subsequent order, and the Municipal Storm Water Permit, Order No. R9-2013-0001, or subsequent order. In accordance with Order No. 2009-0009DWQ, or subsequent order, a Risk Level Determination shall be calculated for the site and a Storm Water Pollution Prevention Plan (SWPPP) shall be implemented concurrently with the commencement of grading activities.
19. Prior to issuance of any construction permits, a copy of the Notice of Intent (NOI) with a valid Waste Discharge ID number (WDID#) shall be submitted to the City of San Diego as a proof of enrollment under the Construction General Permit. When ownership of the entire site or portions of the site changes prior to filing of the Notice of Termination (NOT), a revised NOI shall be submitted electronically to the State Water Resources Board in accordance with the provisions as set forth in Section II.C of Order No. 2009-0009-DWQ and a copy shall be submitted to the City.

LANDSCAPE REQUIREMENTS:

20. Prior to issuance of any construction permits for grading, the Owner/Permittee shall submit complete construction documents for the revegetation and hydro-seeding of all disturbed land in accordance with the City of San Diego Landscape Standards, Storm Water Design Manual, and to the

satisfaction of the Development Services Department. All plans shall be in substantial conformance to this permit and Exhibit A on file in the Development Services Department.

21. Prior to issuance of any construction permits for public improvements, the Owner/Permittee shall submit complete landscape construction documents for public right-of-way improvements to the Development Services Department for approval. Improvement plans shall show, label, and dimension a 40-square-foot area around each tree which is unencumbered by utilities. Driveways, utilities, drains, water and sewer laterals shall be designed to not prohibit the placement of street trees.

22. Prior to issuance of any construction permits, the Owner/Permittee shall submit to the Development Services Department for approval complete landscape and irrigation construction documents which are consistent with the Landscape Standards. The construction documents shall be in substantial conformance with the Exhibit A Landscape Development Plan on file in the Development Services Department. Construction plans shall provide a 40-square-foot area around each tree that is unencumbered by hardscape and utilities unless otherwise approved per SDMC Section 142.0403(b)6.

23. In the event that a foundation only permit is requested by the Owner/Permittee, a site plan or staking layout plan shall be submitted to the Development Services Department identifying all landscape areas consistent with Exhibit A Landscape Development Plan, on file in the Development Services Department. These landscape areas shall be clearly identified with a distinct symbol, noted with dimensions, and labeled as "landscaping area."

24. The Owner/Permittee shall be responsible for the maintenance of all landscape improvements as shown on the approved plans, including in the public right-of-way, unless long-term maintenance of said landscaping will be the responsibility of another entity approved by the Development Services Department. All required landscaping shall be maintained consistent with the Landscape Standards in a disease, weed, and litter free condition at all times. Severe pruning or "topping" of trees is not permitted.

25. If any required landscaping (including existing or new plantings, hardscape, landscape features, etc.) as shown on the approved construction documents is damaged or removed, the Owner/Permittee shall repair and/or replace in kind and in an equivalent size per the approved documents to the satisfaction of the Development Services Department within 30 days of damage or Final Inspection.

GEOLOGY REQUIREMENTS:

26. Prior to the issuance of any construction permits, the Owner/Permittee shall submit a geotechnical investigation report or updated letter prepared in accordance with the City's "Guidelines for Geotechnical Reports" that specifically addresses the proposed construction plans. The geotechnical investigation report or updated letter shall be reviewed for adequacy by the Geology Section of the Development Services Department prior to issuance of any construction permits.

27. The Owner/Permittee shall submit an as-graded geotechnical report prepared in accordance with the City's "Guidelines for Geotechnical Reports" following completion of the grading. The as-graded geotechnical report shall be reviewed for adequacy by the Geology Section of the Development Services Department prior to exoneration of the bond and grading permit close-out.

PLANNING/DESIGN REQUIREMENTS:

28. A topographical survey conforming to the provisions of the SDMC may be required if it is determined, during construction, that there may be a conflict between the building(s) under construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Owner/Permittee.

29. All private outdoor lighting shall be shaded and adjusted to fall on the same premises where such lights are located and in accordance with the applicable regulations in the SDMC.

TRANSPORTATION REQUIREMENTS

30. All on-site parking stalls and aisle widths shall be in compliance with requirements of the City's Land Development Code and shall not be converted and/or utilized for any other purpose, unless otherwise authorized in writing authorized by the appropriate City decision maker in accordance with the SDMC.

WATER AND SEWER DEVELOPMENT REQUIREMENTS:

31. Prior to the issuance of any construction permits, the Owner/Permittee shall assure by permit and bond the design and construction of new water and sewer services outside of any driveway or drive aisle, including the abandonment of any existing unused water and sewer services within the public right-of-way adjacent to the project site, in a manner satisfactory to the Public Utilities Director and the City Engineer.

32. Prior to the issuance of any construction permits, the Owner/Permittee shall apply for a plumbing permit for the installation of appropriate private back flow prevention devices (BFPDs) on each water service (domestic, fire and irrigation), in a manner satisfactory to the Public Utilities Department and the City Engineer. The BFPDs shall be located above ground on private property, in line with the service and immediately adjacent to the public right-of-way.

33. All proposed private water and sewer facilities shall be designed to meet the requirements of the California Uniform Plumbing Code and will be reviewed as part of the building permit plan check.

34. The Owner/Permittee will be required to record a private water easement for private water mains on Parcel 1 in favor of Parcel 2 and 3.

35. No trees or shrubs exceeding three feet in height at maturity shall be installed within ten feet of any sewer facilities and five feet of any water facilities.

INFORMATION ONLY:

- The issuance of this discretionary permit alone does not allow the immediate commencement or continued operation of the proposed use on site. Any operation allowed by this discretionary permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Planning Commission of the City of San Diego on February 22, 2024 and [Approved Resolution Number].

ATTACHMENT 5

Coastal Development Permit No. 2565089
Planned Development Permit No. 2616764
Site Development Permit No. 2565088
February 22, 2024

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES DEPARTMENT

Xavier Del Valle
Development Project Manager

**NOTE: Notary acknowledgment
must be attached per Civil Code
section 1189 et seq.**

The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

**KESHIF PROPERTIES, LLC,
Owner/Permittee**

By _____
Tanner Halicioglu, Owner

**NOTE: Notary acknowledgments
must be attached per Civil Code
section 1189 et seq.**

PLANNING COMMISSION RESOLUTION NUMBER _____
TENTATIVE MAP NO. 2564842
5175 DEL MAR MESA ROAD – PROJECT NO. 688918

WHEREAS, KESHIF PROPERTIES, LLC, Subdivider, and Pasco Laret Suiter & Associates, Engineer, submitted an application to the City of San Diego for Tentative Map No. 2564842 to demolish an existing single dwelling unit and accessory structures and construct on Parcel 1 (3.29 acres) a two-story, 9,610 square-foot single dwelling unit with attached garage and detached two-story, 3,124 square-foot RV garage. The project site is located at 5175 Del Mar Mesa Road in the AR-1-1 Zone, Coastal Overlay Zone, Fire Brush Zone, and High Fire Severity Zone within the Del Mar Mesa Community Plan area. The property is legally described as Parcel 1: The Northwest quarter of the Northeast quarter of the Southeast quarter of Section 20, Township 14 South, Range 3 West, San Bernardino Base and Meridian, in the City of San Diego, County of San Diego, State of California, according to United States Government Survey, May 20, 1884; Parcel 2: An easement for road, utility and pipeline purposes over the Easterly 20 feet of the Northerly 120 feet of said Northwest quarter of the Northeast quarter of the Southeast quarter and over the Southerly 20 feet of the Northerly 140 feet of the Easterly 120 feet of said Northwest quarter of the Northeast quarter of the Southeast quarter; Parcel 3: A non-exclusive easement and right of way for ingress and egress for vehicle, pedestrian and utility purposes over, under and across the Westerly 20 feet of the East half together with the Easterly 20 feet of the West half of the Northeast Quarter of the Southeast Quarter of Section 20, Township 14 South, Range 3 West, San Bernardino Base and Meridian, in the City of San Diego, County of San Diego, State of California, according to the Official Plat thereof; and Parcel 4: A non-exclusive easement and right of way for ingress and egress for vehicle, pedestrian and utility purposes over, under and across that portion of Parcel 1 of Parcel Map No. 20448 in the City of San

Diego, County of San Diego, State of California filed in the Office of the County Recorder of San Diego County, March 7, 2008, as File No. 2008-0121935 of Official Records; and

WHEREAS, the Map proposes the Subdivision of a 7.98-acre site into three residential lots; and

WHEREAS, on November 3, 2023, the City of San Diego, as Lead Agency, through the Development Services Department, made and issued an Environmental Determination that the project is exempt from the California Environmental Quality Act [CEQA] (Public Resources Code section 21000 et. seq.) under CEQA Guideline Section 15303 (New Construction) and there was no appeal of the Environmental Determination filed within the time period provided by San Diego Municipal Code Section 112.0520; and

WHEREAS, the project complies with the requirements of a preliminary soils and/or geological reconnaissance report pursuant to Subdivision Map Act sections 66490 and 66491(b)-(f) and San Diego Municipal Code section 144.0220; and

WHEREAS, on February 22, 2024, the Planning Commission of the City of San Diego considered Tentative Map No. 2564842, pursuant to San Diego Municipal Code section 125.0440 and Subdivision Map Act section 66428, received for its consideration written and oral presentations, evidence having been submitted, and testimony having been heard from all interested parties at the public hearing, and the Planning Commission having fully considered the matter and being fully advised concerning the same; NOW THEREFORE,

BE IT RESOLVED by the Planning Commission of the City of San Diego, that it adopts the following findings with respect to Tentative Map No. 2564842:

Findings for Tentative Map - San Diego Municipal Code Section 125.0440:**1. The proposed subdivision and its design or improvement are consistent with the policies, goals, and objectives of the applicable land use plan.**

The Specific Plan designates the 7.98-acre site as estate residential which authorizes one dwelling unit per 2.5-acres, and the project is consistent with the land use designation and prescribed density. The project is consistent with the Specific Plan goal of preserving the rural character of the community by designing a project with building materials and an exterior color scheme that complements the site's topography and the surrounding low density residential and rural neighborhood. The project also complies with this Specific Plan goal by reducing the bulk and scale of structures and providing a project that has a low profile and set back from the main street, thereby not adversely impacting the streetscape. The main residence and garage are also set back sufficiently from the street which is consistent with the Specific Plan guideline for the desired type of private driveway and access to the residence. Therefore, the project subdivision design and related improvements will be consistent with the policies, goals, and objectives of the applicable land use plan.

2. The proposed subdivision complies with the applicable zoning and development regulations of the Land Development Code, including any allowable deviations pursuant to the land development code.

The project consists of subdividing the existing residential lot into three residential parcels (Parcels 1-3), demolishing the existing single dwelling unit and accessory structures, and constructing on Parcel 1 (3.29 acres) a two-story, 9,610 square-foot single dwelling unit with attached garage and detached two-story, 3,124 square-foot RV garage. Parcels 2 and 3 (totaling 4.69-acres) include a pad area only for future development. On July 22, 2021, the City's Historical Resources Board determined that the property does not meet the local designation criteria as an individually significant resource under any adopted Historical Resources Board Criteria.

The development of a single dwelling unit on Parcel 1 complies with the development regulations of the underlying AR-1-1 Zone (SDMC Section 131.0330(d)) for building height (34 feet) which does not exceed the AR-1-1 height limit (SDMC Section 131.0344), lot coverage, density, and setbacks. Additionally, the Tentative Map for the project was reviewed by staff and determined to be in compliance with the SDMC and Subdivision Map Act.

The project requires a Planned Development Permit (PDP) per SDMC Sections 126.0602 (b)(1) and 144.0211 for the subdivision of lots that do not have street frontage along a public road (Del Mar Mesa Road) as required by the AR-1-1 Zone (200 feet per SDMC Table 131-03C). The existing parcel has an unusual configuration since the entire 7.98-acre site has only 188 feet of frontage (188 feet for Parcel 1, and zero feet for Parcels 2 and 3) on a public street due to other adjacent parcels occupying the nearest street frontage. Since the AR-1-1 Zone requires new lots to have a minimum of 200 feet of street frontage, the development regulations would preclude the subdivision of the 7.98-acre site although the Specific Plan would allow three lots on the site.

The Specific Plan allows deviations with a PDP so long as the rural character of the community is maintained. A deviation to allow lots with less than 200 feet of street frontage is more desirable than the strict application of the development regulations since it would support the creation of new residential lots and provide additional housing opportunities in Del Mar Mesa, furthering Specific Plan goals. The new lots will also have legal access rights to a public road through an existing recorded easement. The newly created lots comply with the underlying zoning regulations for lot width, depth, and setbacks for new structures. The project also provides a land use that is consistent with the existing low-density residential and rural character of the neighborhood. Therefore, the proposed subdivision complies with the applicable zoning and development regulations of the Land Development Code, including any allowable deviations pursuant to the Land Development Code.

3. The site is physically suitable for the type and density of development.

A biology report has been prepared for the site that determined that there are no impacts that would require mitigation or a brush management plan. There are no archaeological impacts, and the project site is not located within or adjacent to the City's Multiple Species Conservation Plan/Multiple Habitat Planning Area. A preliminary geotechnical report has also been prepared for the site that concluded that the project adequately addresses the site's soil and geologic conditions, and drainage for the project complies with the City's drainage regulations and standards.

The development of a single dwelling unit on Parcel 1 complies with the development regulations of the underlying AR-1-1 Zone (SDMC Section 131.0330(d)) for building height (34 feet) which does not exceed the AR-1-1 height limit (SDMC Section 131.0344), lot coverage, density, and setbacks. Additionally, the Tentative Map for the project was reviewed by staff and determined to be in compliance with the SDMC and Subdivision Map Act.

The project requires a Planned Development Permit (PDP) per SDMC Sections 126.0602 (b)(1) and 144.0211 for the subdivision of lots that do not have street frontage along a public road (Del Mar Mesa Road) as required by the AR-1-1 Zone (200 feet per SDMC Table 131-03C). The existing parcel has an unusual configuration since the entire 7.98-acre site has only 188 feet of frontage (188 feet for Parcel 1, and zero feet for Parcels 2 and 3) on a public street due to other adjacent parcels occupying the nearest street frontage. Since the AR-1-1 Zone requires new lots to have a minimum of 200 feet of street frontage, the development regulations would preclude the subdivision of the 7.98-acre site although the Specific Plan would allow three lots on the site.

The Specific Plan allows deviations with a PDP so long as the rural character of the community is maintained. A deviation to allow lots with less than 200 feet of street frontage is more desirable than the strict application of the development regulations since it would support the creation of new residential lots and provide additional housing opportunities in Del Mar Mesa, furthering Specific Plan goals. The new lots will also have legal access rights to a public road through an existing recorded easement. The newly created lots comply with the underlying zoning regulations for lot width, depth, and setbacks for new structures. The project also provides a land use that is consistent with the existing low-density residential and rural character of the neighborhood.

The Specific Plan designates the 7.98-acre site as estate residential which authorizes one dwelling unit per 2.5-acres, and the project is consistent with the land use designation and prescribed density. The project is consistent with the Specific Plan goal of preserving the rural character of the community by designing a project with building materials and an exterior color scheme that complements the site's topography and the surrounding low density residential and rural neighborhood. The project also complies with this Specific Plan goal by reducing the bulk and scale of structures and providing a project that has a low profile and set back from the main street, thereby not adversely impacting the streetscape. The main residence and garage are also set back sufficiently from the street which is consistent with the Specific Plan guideline for the desired type of private driveway and access to the residence. Therefore, the site is physically suitable for the type and density of development.

4. The design of the subdivision or the proposed improvements are not likely to cause substantial environmental damage or substantially and avoidably injure fish or wildlife or their habitat.

A biology report has been prepared for the site that determined that there are no impacts that would require mitigation. The project site is not located within or adjacent to the City's Multiple Species Conservation Plan/Multiple Habitat Planning Area. Additionally, the project was determined to be categorically exempt from the California Environmental Quality Act pursuant to CEQA Guidelines Section 15303 (New Construction). Therefore, the design of the subdivision and the proposed improvements are not likely to cause substantial environmental damage or substantially and avoidably injure fish or wildlife or their habitat.

5. The design of the subdivision or the type of improvement will not be detrimental to the public health, safety, and welfare.

A biology report has been prepared for the site that determined that there are no impacts that would require mitigation or a brush management plan. There are no archaeological impacts, and the project site is not located within or adjacent to the City's Multiple Species Conservation Plan/Multiple Habitat Planning Area. A preliminary geotechnical report has also been prepared for the site that concluded that the project adequately addresses the site's soil and geologic conditions, and drainage for the project complies with the City's drainage regulations and standards. Additionally, the project permit contains specific requirements to ensure compliance with the regulations of the Land Development Code, including those adopted to protect the public health, safety and welfare. Permit requirements include implementation of storm water construction best management practices; maintenance of all landscape improvements; requiring private water and sewer facilities be designed to meet the requirements of the California Uniform Plumbing Code; and submitting an updated geotechnical report that addresses the construction plans. Therefore, the design of the subdivision or the type of improvement will not be detrimental to the public health, safety, and welfare.

6. **The design of the subdivision or the type of improvements will not conflict with easements acquired by the public at large for access through or use of property within the proposed subdivision.**

All easements granted to the City over the property have been left in place and are not affected by the project. The project requires recording a private water easement for private water mains on Parcel 1 in favor of Parcels 2 and 3 on the project site. Therefore, the design of the subdivision or the type of improvements will not conflict with easements acquired by the public at large for access through or use of property within the proposed subdivision.

7. **The design of the proposed subdivision provides, to the extent feasible, for future passive or natural heating and cooling opportunities.**

The project includes a design that has a low profile that is set back from the main street and designed with large spaces between structures. Additionally, the project is designed with building materials and an exterior color scheme that complements the site's topography and the surrounding low density residential and rural character of the neighborhood. Therefore, the design of the proposed subdivision provides, to the extent feasible, for future passive or natural heating and cooling opportunities.

8. **The decision maker has considered the effects of the proposed subdivision on the housing needs of the region and that those needs are balanced against the needs for public services and the available fiscal and environmental resources.**

The project consists of subdividing the existing residential lot into three residential parcels (Parcels 1-3), demolishing the existing single dwelling unit and accessory structures, and constructing on Parcel 1 (3.29 acres) a two-story, 9,610 square-foot single dwelling unit with attached garage and detached two-story, 3,124 square-foot RV garage. Parcels 2 and 3 (totaling 4.69-acres) include a pad area only for future development. The project does not adversely impact public or environmental resources. A biology report has been prepared for the site that determined that there are no impacts that would require mitigation. The project was also determined to be categorically exempt from the California Environmental Quality Act pursuant to CEQA Guidelines Section 15303 (New Construction). Therefore, the decision maker has considered the effects of the proposed subdivision on the housing needs of the region and that those needs are balanced against the needs for public services and the available fiscal and environmental resources.

BE IT FURTHER RESOLVED, that based on the Findings hereinbefore adopted by the Planning Commission, Tentative Map No. 2564842 is hereby granted to Pasco Laret Suiter & Associates subject to the attached conditions which are made a part of this resolution by this reference.

By _____
Xavier Del Valle
Development Project Manager
Development Services Department

ATTACHMENT: Tentative Map Conditions

Internal Order No. 24008948

DRAFT

PLANNING COMMISSION
CONDITIONS FOR TENTATIVE MAP NO. 2564842
PROJECT NO. 688918 – 5175 DEL MAR MESA ROAD

ADOPTED BY RESOLUTION NO. R-_____ ON FEBRUARY 22, 2024

GENERAL

1. This Tentative Map will expire ON March 7, 2027.
2. Compliance with all of the following conditions shall be completed and/or assured, to the satisfaction of the City Engineer, prior to the recordation of the Parcel Map, unless otherwise noted.
3. Prior to the Tentative Map expiration date, a Parcel Map to consolidate the existing lots into one lot shall be recorded in the Office of the San Diego County Recorder.
4. Prior to the recordation of the Parcel Map, taxes must be paid on this property pursuant to Subdivision Map Act section 66492. To satisfy this condition, a tax certificate stating that there are no unpaid lien conditions against the subdivision must be recorded in the Office of the San Diego County Recorder.
5. The Tentative Map shall comply with the conditions of Coastal Development Permit No. 2565089, Site Development Permit No. 2665088, and Planned Development Permit No. 2616764.
6. The Subdivider shall defend, indemnify, and hold the City (including its agents, officers, and employees [together, "Indemnified Parties"]) harmless from any claim, action, or proceeding, against the City and/or any Indemnified Parties to attack, set aside, void, or annul City's approval of this project, which action is brought within the time period provided for in Government Code section 66499.37. City shall promptly notify Subdivider of any claim, action, or proceeding and shall cooperate fully in the defense. If City fails to promptly notify Subdivider of any claim, action, or proceeding, or if City fails to cooperate fully in the defense, Subdivider shall not thereafter be responsible to defend, indemnify, or hold City and/or any Indemnified Parties harmless. City may participate in the defense of any claim, action, or proceeding if City both bears its own attorney's fees and costs, City defends the action in good faith, and Subdivider is not required to pay or perform any settlement unless such settlement is approved by the Subdivider.

ENGINEERING

7. Prior to the issuance of any construction permits, the Subdivider shall obtain a bonded grading permit for the grading proposed for this project. All grading shall conform to the requirements of the City of San Diego Municipal Code, in a manner satisfactory to the City Engineer.

8. The Subdivider shall ensure that all onsite utilities serving the subdivision shall be undergrounded with the appropriate permits. The subdivider shall provide written confirmation from applicable utilities that the conversion has taken place, or provide other means to assure the undergrounding, satisfactory to the City Engineer.

MAPPING

9. Prior to the expiration of the Tentative Map, a Parcel Map to subdivide the 7.98-acre property into three (3) Parcels shall be recorded at the San Diego County Recorder's Office.
10. Prior to the recordation of the Parcel Map, taxes must be paid or bonded for this property pursuant to section 66492 of the Subdivision Map Act. A current original tax certificate, recorded in the office of the San Diego County Recorder must be provided to satisfy this condition.

If a tax bond is required as indicated in the tax certificate, ensure that it is paid or posted at the County Clerk of the Board of Supervisors Office and supply proof prior to the recordation of the Parcel Map.

11. Prior to the recordation of the Parcel Map, all private streets and drives shall be shown with bearings and distances along the centerline and width of the streets shown on a non-title sheet on the Parcel Map. The street names shall be submitted to the City's Street Name Coordinator for approval and published on the Parcel Map.
12. The Parcel Map shall be based on field survey and all lot corners must be marked with durable survey monuments pursuant to Section 144.0311(d) of the City of San Diego Land Development Codes and Subdivision Map Act Section 66495.

All survey monuments shall be set prior to the recordation of the Parcel Map, unless the setting of monuments is deemed impractical due to the proposed improvements and/or grading associated with the project, in which case, delayed monumentation may be applied on the Parcel Map in accordance with Section 144.0130 of the City of San Diego Land Development Codes.

13. All subdivision maps in the City of San Diego are required to be tied to the California Coordinate System of 1983 (CCS83), Zone 6 pursuant to section 8801 through 8819 of the California Public Resources Code.

The Parcel Map shall:

- a. Use of the California Coordinate System for its "Basis of Bearings" and express all measured and calculated bearing values in terms of said system. The angle of grid divergence from a true meridian (theta or mapping angle) and the north point of said map shall appear on each sheet thereof. Establishment of said Basis of Bearings may be by use of existing Horizontal Control stations or astronomic observations.
- b. Show two measured ties from the boundary of the map to existing Horizontal Control stations having California Coordinate values of First Order accuracy. These

tie lines to the existing control shall be shown in relation to the California Coordinate System (i.e., grid bearings and grid distances). All other distances shown on the map are to be shown as ground distances. A combined factor for conversion of grid-to-ground shall be shown on the map.

INFORMATION:

- The approval of this Tentative Map by the Planning Commission of the City of San Diego does not authorize the subdivider to violate any Federal, State, or City laws, ordinances, regulations, or policies including but not limited to, the Federal Endangered Species Act of 1973 and any amendments thereto (16 USC § 1531 et seq.).
- If the Subdivider makes any request for new water and sewer facilities (including services, fire hydrants, and laterals), the Subdivider shall design and construct such facilities in accordance with established criteria in the most current editions of the City of San Diego water and sewer design guides and City regulations, standards and practices pertaining thereto. Off-site improvements may be required to provide adequate and acceptable levels of service and will be determined at final engineering.
- Subsequent applications related to this Tentative Map will be subject to fees and charges based on the rate and calculation method in effect at the time of payment.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of the Tentative Map, may protest the imposition within ninety days of the approval of this Tentative Map by filing a written protest with the San Diego City Clerk pursuant to Government Code sections 66020 and/or 66021.
- Where in the course of development of private property, public facilities are damaged or removed, the Subdivider shall at no cost to the City, obtain the required permits for work in the public right-of-way, and repair or replace the public facility to the satisfaction of the City Engineer (San Diego Municipal Code Section 142.0607).

Internal Order No. 24008948



THE CITY OF SAN DIEGO

Date of Notice November 3, 2023

NOTICE OF RIGHT TO APPEAL ENVIRONMENTAL DETERMINATION

DEVELOPMENT SERVICES DEPARTMENT

SAP No. 24008948

PROJECT NAME/NUMBER: Del Mar Mesa Road /688918

COMMUNITY PLAN AREA: Del Mar Mesa

COUNCIL DISTRICTS: 1

LOCATION: The project is located at 5175 Del Mar Mesa Road, San Diego, CA 92130

PROJECT DESCRIPTION: Tentative Map (TM), Site Development Permit (SDP) and Coastal Development Permit (CDP) for the subdivision of an existing residential lot into 3 residential parcels located at 5175 Del Mar Mesa Road. The scope of work also includes demolition of existing buildings on Lot 1 (3.29 acres) and the construction of a new 2-story, 9,610- square-foot (sf) single family residence with attached garage and 3,124- sf detached RV garage. The 7.98-acre site is in the AR-1-1 Zone and Coastal Overlay (DEF-CER) Zone within the Del Mar Mesa Community Plan area. Council District 1. The project complies with all height and bulk regulations and is located on a site that can be served by public utilities.

ENTITY CONSIDERING PROJECT APPROVAL: City of San Diego, Planning Commission

ENVIRONMENTAL DETERMINATION: Section 15303 (New Construction)

ENTITY MAKING ENVIRONMENTAL DETERMINATION: City of San Diego, Development Services Department

STATEMENT SUPPORTING REASON FOR ENVIRONMENTAL DETERMINATION: The City of San Diego conducted an environmental review and determined that the project would qualify to be exempt from CEQA pursuant to CEQA Section 15303 (New Construction). Section 15303 applies to projects that consist of the construction of a limited number of new small facilities or structures, including the construction of up to three single family units. Since the project is constructing one single family residence, on a previously developed site it was determined that the CEQA exemption was appropriate and the exceptions listed in CEQA Section 15300.2 would not apply.

DEVELOPMENT PROJECT MANAGER: Xavier Del Valle
MAILING ADDRESS: 1222 First Avenue, MS 501, San Diego, CA 92101-4153
PHONE NUMBER/EMAIL: (619) 557-7941/ xdelvalle@sandiego.gov

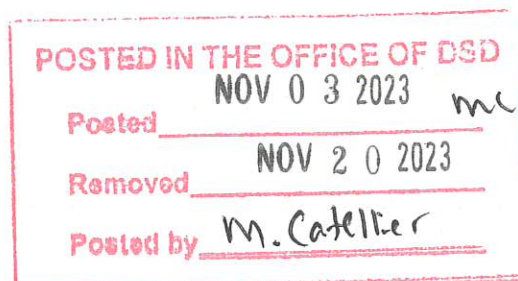
On November 3, 2023 the City of San Diego made the above-referenced environmental determination pursuant to the California Environmental Quality Act (CEQA). This determination is appealable to the City Council. If you have any questions about this determination, contact the City Development Project Manager listed above.

Applications to appeal CEQA determinations made by staff (including the City Manager) to the City Council must be filed in the office of the City Clerk within 10 business days from the date of the posting of this Notice so the final day to file an appeal is November 20, 2023. Appeals to the City Clerk must be filed by email or in-person as follows:

- 1) Appeals filed via E-mail: The Environmental Determination Appeal Application Form [DS-3031](#) can be obtained at <https://www.sandiego.gov/sites/default/files/legacy/development-services/pdf/industry/forms/ds3031>. Send the completed appeal form (including grounds for appeal and supporting documentation in pdf format) by email to Hearings1@sandiego.gov by 5:00p.m. on the last day of the appeal period; your email appeal will be acknowledged within 24 business hours. You must separately mail the appeal fee by check payable to the City Treasurer to: City Clerk/Appeal, MS 2A, 202 C Street, San Diego, CA 92101. The appeal filing fee must be United States Postal Service (USPS) postmarked before or on the final date of the appeal. Please include the project number on the memo line of the check.
- 2) Appeals filed in person: Environmental Determination Appeal Application Form [DS-3031](#) can be obtained at <https://www.sandiego.gov/sites/default/files/legacy/development-services/pdf/industry/forms/ds3031.pdf>. Bring the fully completed appeal application [DS-3031](#) (including grounds for appeal and supporting documentation) to the City Administration Building—Public Information Counter (Open 8:00am to 5:00pm Monday through Friday excluding City-approved holidays), 1st Floor Lobby, located at 202 C Street, San Diego, CA 92101, by 5:00pm on the last day of the appeal period. The completed appeal form shall include the required appeal fee, with a check payable to: City Treasurer.

The appeal application can also be obtained from the City Clerk, 202 'C' Street, Second Floor, San Diego, CA 92101.

This information will be made available in alternative formats upon request.



Page 3		City of San Diego · Information Bulletin 620		August 2018						
		City of San Diego Development Services 1222 First Ave., MS-302 San Diego, CA 92101		Community Planning Committee Distribution Form						
Project Name: Niemann Ranch TM/SDP/CDP			Project Number: PTS 688918							
Community: Del Mar Mesa										
<p>For project scope and contact information (project manager and applicant), log into OpenDSD at https://aca.accela.com/SANDIEGO.</p> <p>Select "Search for Project Status" and input the Project Number to access project information.</p>										
<input checked="" type="checkbox"/> Vote to Approve <input type="checkbox"/> Vote to Approve with Conditions Listed Below <input type="checkbox"/> Vote to Approve with Non-Binding Recommendations Listed Below <input type="checkbox"/> Vote to Deny				Date of Vote: July 14, 2022						
# of Members Yes 10		# of Members No 0		# of Members Abstain 0						
Conditions or Recommendations: Approved as presented.										
<input type="checkbox"/> No Action (Please specify, e.g., Need further information, Split vote, Lack of quorum, etc.)										
NAME: Paul Metcalf										
TITLE: Chair				DATE: January 12, 2023						
<i>Attach additional pages if necessary (maximum 3 attachments).</i>										

Visit our web site at www.sandiego.gov/development-services.

Upon request, this information is available in alternative formats for persons with disabilities.

DS-5620 (08-18) ONLINE FORM

Photographic Survey



Photographic Survey Key

5175 Del Mar Mesa Road



Plate 1

View of the South (Left) and East (Right) Façades of the Circa 1916 Structure, Facing Northwest

5175 Del Mar Mesa Road





Plate 2

View of the Porch on the South Façade of the Circa 1916 Structure, Facing North

5175 Del Mar Mesa Road



Plate 3

View of the Porch on the South Façade of the Circa 1916 Structure, Facing Northeast

5175 Del Mar Mesa Road





Plate 4

Close-Up View of the Porch Doors on the South Façade of the Circa 1916 Structure, Facing North

5175 Del Mar Mesa Road





Plate 5

View of the West (Left) and South (Right) Façades of the Circa 1916 Structure, Facing Northeast

5175 Del Mar Mesa Road





Plate 6

View of the West Façade of the 1892 to Circa 1916 (Left to Right) Building Complex, Facing East

5175 Del Mar Mesa Road





Plate 7

View of the West Façade of the Circa 1916 Structure, Facing East

5175 Del Mar Mesa Road





Plate 8

**View of the West Façades of the Circa 1895 (Left), Circa 1900
(Center), and Circa 1916 (Right) Structures, Facing Southeast**

5175 Del Mar Mesa Road





Plate 9

View of the West Façade of the Circa 1900 Structure, Facing East

5175 Del Mar Mesa Road





Plate 10

View of the West Façades of the Circa 1895 (Left) and Circa 1900 (Right) Structures, Facing East

5175 Del Mar Mesa Road



Plate 11

**View of the West Façades of the 1892 (Left), Circa 1895
(Center), and Circa 1900 (Right) Structures, Facing East**

5175 Del Mar Mesa Road





Plate 12

View of the Gable End on the West Façade of the Circa 1900 Structure, Facing Southeast

5175 Del Mar Mesa Road



Plate 13

View of the West Façade of the Circa 1895 Structure, Facing East

5175 Del Mar Mesa Road





Plate 14

View of the West Façade of the 1892 Structure, Facing East

5175 Del Mar Mesa Road



Plate 15
Close-Up View of the West Façade Foundation of the Circa 1895 Structure
5175 Del Mar Mesa Road



Plate 16

**View of the West Façade of the Circa 1900 Structure
Showing the Connection to the Circa 1916 Structure, Facing South**

5175 Del Mar Mesa Road





Plate 17

View of the North Façade of the 1892 Structure, Facing Southeast

5175 Del Mar Mesa Road



Plate 18

View of the North Façade of the 1892 Structure, Facing Southwest

5175 Del Mar Mesa Road



Plate 19

View of the East Façade of the Circa 1895 Structure, Facing Southwest

5175 Del Mar Mesa Road



Plate 20

View of the East Façade of the 1892 to Circa 1916 (Right to Left) Building Complex, Facing West

5175 Del Mar Mesa Road



Plate 21

**View of the Southeast Corner of the Circa 1916 Structure (Left)
and the East Façade of the Circa 1900 Structure (Right), Facing Southwest**

5175 Del Mar Mesa Road





Plate 22

**View of the Connection Between the Circa 1900 (Right)
and Circa 1916 (Left) Structures, Facing South**

5175 Del Mar Mesa Road





Plate 23

**View of the East Façades of the Circa 1900 (Left)
and Circa 1895 (Right) Structures, Facing Northwest**

5175 Del Mar Mesa Road





Plate 24

**View of the East Façades of the Circa 1916 (Left), Circa 1900
(Center), and Circa 1895 (Right) Structures, Facing West**

5175 Del Mar Mesa Road





Plate 25

View of the East Façade of the Circa 1916 Structure, Facing West

5175 Del Mar Mesa Road



Plate 26

View of the East Façade of the Circa 1916 Structure, Facing Northwest

5175 Del Mar Mesa Road



Plate 27

Clos-Up View of Original Windows on the East Façade of the Circa 1916 Structure

5175 Del Mar Mesa Road



Plate 28

Close-Up View of the Porch Steps on the South Façade of the Circa 1916 Structure

5175 Del Mar Mesa Road



Plate 29

Close-Up View of the Southwest Corner of the Circa 1916 Structure Pier Foundation

5175 Del Mar Mesa Road



Plate 30

View of the West Façade Entry to the Circa 1916 Structure, Facing East

5175 Del Mar Mesa Road





Plate 31

View of the West Façade Entry to the Circa 1916 Structure, Facing Northeast

5175 Del Mar Mesa Road





Plate 32

**Close-Up View of the Non-Original Picture
Window on the West Façade of the Circa 1916 Structure**

5175 Del Mar Mesa Road





Plate 33

**Close-Up View of the Original Second-Floor
Window on the West Façade of the Circa 1916 Structure**

5175 Del Mar Mesa Road





Plate 34

View of the North Façade of the Circa 1916 Structure, Facing East

5175 Del Mar Mesa Road





Plate 35

View of the East Façade of the 1974 to 1980 Shed, Facing West

5175 Del Mar Mesa Road



Plate 36

View of the West (Left) and South (Right) Façades of the 1974 to 1980 Shed, Facing Northeast

5175 Del Mar Mesa Road



Plate 37

View of the North Façade of the 1974 to 1980 Shed, Facing South

5175 Del Mar Mesa Road

	City of San Diego Development Services 1222 First Ave., MS 302 San Diego, CA 92101 (619) 446-5000	FORM DS-318 October 2017
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Approval Type: Check appropriate box for type of approval(s) requested: ☐ Neighborhood Use Permit ☒ Coastal Development Permit
☐ Neighborhood Development Permit ☒ Site Development Permit ☐ Planned Development Permit ☐ Conditional Use Permit ☐ Variance
☒ Tentative Map ☐ Vesting Tentative Map ☐ Map Waiver ☐ Land Use Plan Amendment • ☐ Other _____

Project Title: 5175 Del Mar Mesa Rd **Project No. For City Use Only:** 688918

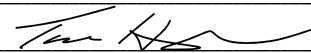
Project Address: 5175 Del Mar Mesa Rd, San Diego, CA 92130

Specify Form of Ownership/Legal Status (please check):

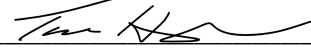
☐ Corporation ☒ Limited Liability -or- ☐ General – What State? CA Corporate Identification No. 45-4896340
☐ Partnership ☐ Individual

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter will be filed with the City of San Diego on the subject property with the intent to record an encumbrance against the property. Please list below the owner(s), applicant(s), and other financially interested persons of the above referenced property. A financially interested party includes any individual, firm, co-partnership, joint venture, association, social club, fraternal organization, corporation, estate, trust, receiver or syndicate with a financial interest in the application. If the applicant includes a corporation or partnership, include the names, titles, addresses of all individuals owning more than 10% of the shares. If a publicly-owned corporation, include the names, titles, and addresses of the corporate officers. (A separate page may be attached if necessary.) If any person is a nonprofit organization or a trust, list the names and addresses of **ANY** person serving as an officer or director of the nonprofit organization or as trustee or beneficiary of the nonprofit organization. A signature is required of at least one of the property owners. Attach additional pages if needed. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

Property Owner

Name of Individual: Keshif Properties LLC ☒ Owner ☐ Tenant/Lessee ☐ Successor Agency
 Street Address: 11512 El Camino Real, Suite 340
 City: San Diego State: CA Zip: 92130
 Phone No.: 619-722-0227 Fax No.: _____ Email: properties@keshif.com
 Signature:  Date: May 11, 2021
 Additional pages Attached: ☐ Yes ☐ No

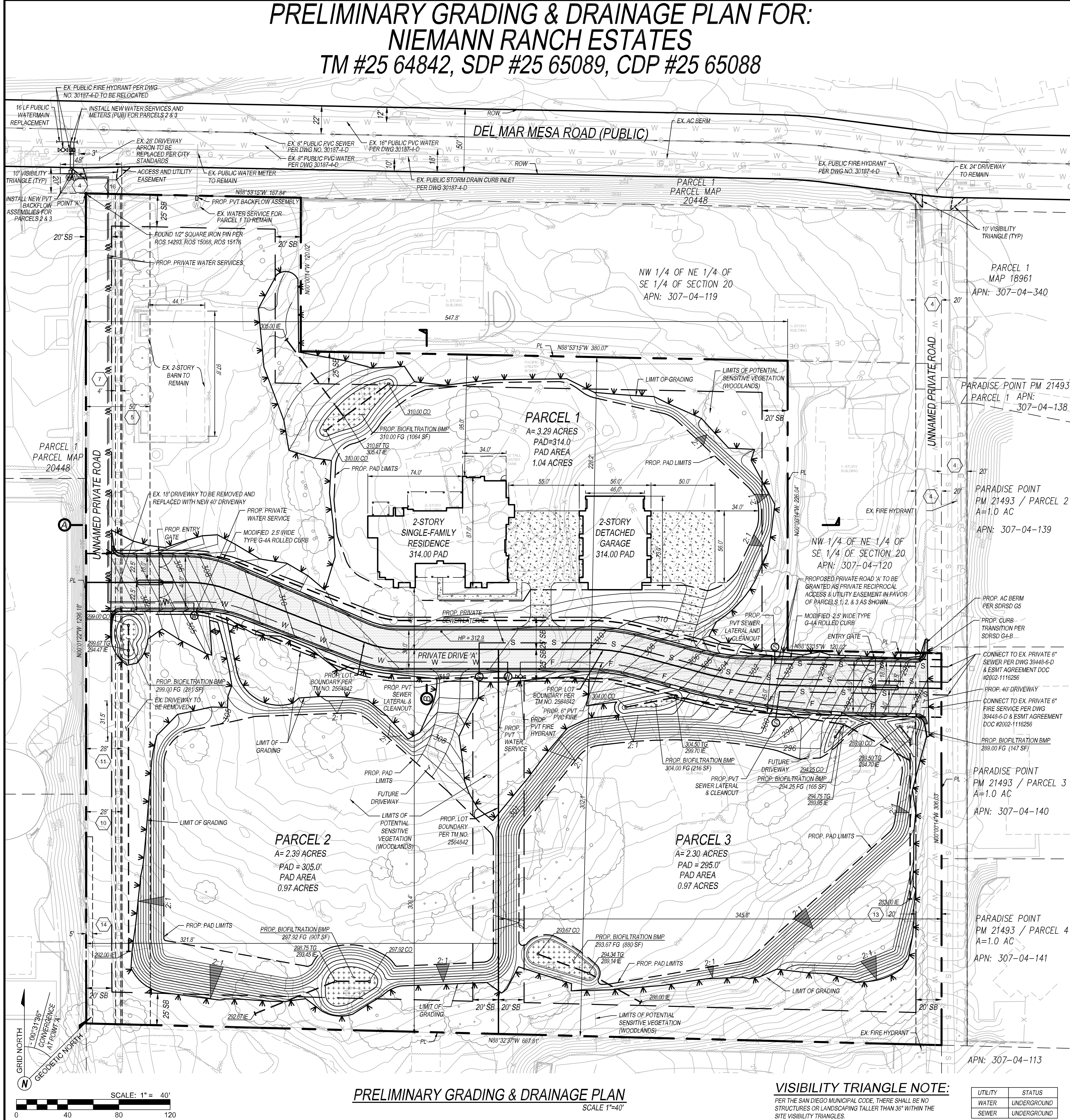
Applicant

Name of Individual: Keshif Properties LLC ☐ Owner ☐ Tenant/Lessee ☐ Successor Agency
 Street Address: 11512 El Camino Real, Suite 340
 City: San Diego State: CA Zip: 92130
 Phone No.: 619-722-0227 Fax No.: _____ Email: properties@keshif.com
 Signature:  Date: May 11, 2021
 Additional pages Attached: ☐ Yes ☐ No

Other Financially Interested Persons

Name of Individual: _____ ☐ Owner ☐ Tenant/Lessee ☐ Successor Agency
 Street Address: _____
 City: _____ State: _____ Zip: _____
 Phone No.: _____ Fax No.: _____ Email: _____
 Signature: _____ Date: _____
 Additional pages Attached: ☐ Yes ☐ No

PRELIMINARY GRADING & DRAINAGE PLAN FOR:
NIEMANN RANCH ESTATES
TM #25 64842, SDP #25 65089, CDP #25 65088



EASEMENTS OF RECORD

- EXISTING PRIVATE EASEMENTS FOR ACCESS, UTILITIES BY VARIOUS DEEDS OVER PARCELS 2, 3 AND 4.
- AN EASEMENT FOR ROAD AND INCIDENTAL PURPOSES, RECORDED JUNE 01, 1959, INSTRUMENT NO. 59-108950, BOOK 7691, PAGE 507, O.R.
- THE TERMS AND PROVISIONS CONTAINED IN THE DOCUMENT ENTITLED "WATER AGREEMENT" RECORDED JUNE 01, 1959, INSTRUMENT NO. 59-108953, BOOK 7691, PAGE 510, O.R.
- AN EASEMENT FOR PUBLIC UTILITIES, INGRESS AND EGRESS AND INCIDENTAL PURPOSES, RECORDED FEBRUARY 27, 1970, INSTRUMENT NO. 70-36849, O.R. (IN FAVOR OF SAN DIEGO GAS & ELECTRIC).
- THE TERMS AND PROVISIONS CONTAINED IN THE DOCUMENT ENTITLED "DECLARATION OF COVENANTS FOR PUBLIC IMPROVEMENTS" RECORDED JULY 28, 1978, INSTRUMENT NO. 78-318554, O.R.
- THE EFFECT OF A DOCUMENT ENTITLED "RESOLUTION NUMBER R-293156", RECORDED JUNE 12, 2000, INSTRUMENT NO. 2000-308786, O.R.
- AN EASEMENT FOR RIGHT OF WAY FOR ROAD PURPOSES AND INCIDENTAL PURPOSES, RECORDED JULY 10, 2000, INSTRUMENT NO. 00-362543, O.R.
- AN EASEMENT FOR PUBLIC UTILITIES, INGRESS AND EGRESS AND INCIDENTAL PURPOSES, RECORDED JULY 19, 2002, INSTRUMENT NO. 2002-609912, O.R. (IN FAVOR OF SAN DIEGO GAS & ELECTRIC).
- THE TERMS, PROVISIONS AND EASEMENT(S) CONTAINED IN THE DOCUMENT ENTITLED "AGREEMENT TERMINATING EXISTING EASEMENTS" RECORDED DECEMBER 09, 2002, INSTRUMENT NO. 02-1116255, O.R.
- THE TERMS, PROVISIONS AND EASEMENT(S) CONTAINED IN THE DOCUMENT ENTITLED "EASEMENT AGREEMENT" RECORDED DECEMBER 09, 2002, INSTRUMENT NO. 02-1116256, O.R.
- AN EXISTING PRIVATE EASEMENT FOR WATERLINE PURPOSES RECORDED FEBRUARY 5, 2003, INSTRUMENT NO. 2003-0132567, O.R.
- CONTAINS 1" RESIDENTIAL WATER SERVICE.
- CUP NO. 681056, CDP NO. 681055, RECORDED NOVEMBER 6, 2009, INSTRUMENT NO. 2009-0621971, OF OFFICIAL RECORDS.
- EASEMENT AGREEMENT FOR ACCESS AND UTILITIES, RECORDED OCTOBER 14, 2013, INSTRUMENT NO. 2013-0615591, O.R.

GRADING TABULATIONS:

TOTAL AMOUNT OF SITE TO BE GRADED: 5.2 ACRES
PERCENTAGE OF TOTAL SITE: 65%
AMOUNT OF CUT: 9,300 CY
MAXIMUM DEPTH OF CUT: 10'
AMOUNT OF FILL: 9,300 CY
MAXIMUM DEPTH OF FILL: 10'
NET IMPORT/EXPORT OF SOIL: BALANCED

EARTHWORK QUANTITIES SHOWN ARE FOR PERMITTING PURPOSES ONLY. CONTRACTOR TO VERIFY THESE QUANTITIES PRIOR TO BID AND CONSTRUCTION.

IMPERVIOUS AREA TABULATIONS:

TOTAL SITE AREA: 8.0 ACRES / 346,931 SQ. FT.
PROPOSED PROJECT FOOTPRINT: 9.2 ACRES / 226,822 SQ. FT.
EXISTING IMPERVIOUS AREA: 0.41 ACRES / 17,757 SQ. FT.
PROPOSED IMPERVIOUS AREA: 2.3 ACRES / 100,172 SQ. FT.

SETBACKS:

FRONT YARD: 25'
SIDE YARD: 25' (40' BETWEEN STRUCTURES)
REAR YARD: 25'

PARCEL SUMMARY:

	PARCEL 1	PARCEL 2	PARCEL 3
NUMBER OF EXISTING LOTS:	1		
NUMBER OF PROPOSED LOTS:	3		
AREA (AC)	3.29 AC	2.39 AC	2.30 SF
WIDTH (FT)	543 FT	322 FT	346 FT
DEPTH (FT)	230 FT	300 FT	300 FT

WATER & SEWER NOTES:

ALL PROPOSED WATER AND SEWER FACILITIES, BOTH PUBLIC AND PRIVATE, WHICH ARE TO BE LOCATED WITHIN THE PUBLIC ROW OR PUBLIC EASEMENT MUST BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH THE CRITERIA ESTABLISHED WITHIN THE CITY OF SAN DIEGO'S CURRENT WATER AND SEWER FACILITY DESIGN GUIDELINES, REGULATIONS, STANDARDS, AND PRACTICES PERTAINING THERETO.

ALL PROPOSED PRIVATELY MAINTAINED WATER AND SEWER FACILITIES LOCATED WITHIN A SINGLE LOT OR PRIVATE EASEMENT MUST BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH THE CRITERIA ESTABLISHED WITHIN THE CURRENT CALIFORNIA PLUMBING CODE.

NO TREES OR SHRUBS WHOSE HEIGHT WILL 3' AT MATURITY SHALL BE INSTALLED OR RETAINED WITHIN 5' OF ANY PUBLICLY MAINTAINED WATER FACILITIES OR WITHIN 10' OF ANY PUBLICLY MAINTAINED SEWER FACILITIES.

ALL DOMESTIC WATER SERVICE LINE DIAMETERS ARE PROVIDED FOR CLARITY OF INTENT ONLY. ACTUAL SERVICE LINE DIAMETERS WILL BE BASED UPON THE PROJECT'S APPROVED WATER METER DATA CARD.

ALL ON-SITE WATER AND SEWER MAINS AND SERVICE LATERALS ARE PRIVATE.

BASIS OF BEARINGS:

THE BASIS OF BEARING FOR THIS SURVEY IS THE CALIFORNIA COORDINATE SYSTEM 1983 (CCS83), ZONE 12, 2017.5 EPSCH AND IS DETERMINED BY GPS MEASUREMENTS TAKEN ON JULY 24, 2017 AT POINTS A & B SHOWN HEREON. POINTS A & B WERE ESTABLISHED FROM CONTINUOUSLY OPERATING REFERENCE STATIONS (CORS) 1472 AND 5165 DERIVED FROM GEODETIC VALUES PUBLISHED BY THE CALIFORNIA SPATIAL REFERENCE CENTER (CSRC) AND/OR NATIONAL GEODETIC SURVEY (NGS), RESPECTIVELY. BEARING FROM POINT A TO POINT B: N84°44'14"W.

THE COMBINED GRID FACTOR AT POINT A IS 0.99999393
GRID DISTANCE = GROUND DISTANCE X COMBINED GRID FACTOR
ELEVATION AT POINT A IS 291.152 (NGVD29)

BENCHMARK:

ELEVATIONS SHOWN HEREON ARE BASED ON CITY OF SAN DIEGO BRASS PLUG LOCATED AT THE NORTHEAST CORNER OF THE INTERSECTION OF CARMEL COUNTRY ROAD AND CARMEL MISSION ROAD.
E.L. = 164.91, NGVD29

TOPOGRAPHY SOURCE:

PREPARED BY: GARY MELLOM, PLS 8837
PASCO LARET SUITER & ASSOCIATES
535 N. HIGHWAY 101, SUITE A
SAN DIEGO, CA 92108
SURVEY DATED 07/16/2020

MAPPING NOTE:

A PARCEL MAP SHALL BE FILED AT THE COUNTY RECORDER'S OFFICE PRIOR TO THE EXPIRATION OF THE TENTATIVE MAP. IF APPROVED, A DETAILED PROCEDURE OF SURVEY SHALL BE SHOWN ON THE PARCEL MAP AND ALL PROPERTY CORNERS SHALL BE MARKED WITH DURABLE SURVEY MONUMENTS.

PROJECT DATA:

EXISTING USE: (1) RESIDENTIAL PARCEL

PROPOSED USE: (3) RESIDENTIAL PARCELS

EXISTING AND PROPOSED ZONE: AR-1-1

MINIMUM LOT AREA: 1 ACRE

REQUIRED LOT WIDTH: 100 FEET (MIN)

REQUIRED LOT DEPTH: 150 FEET (MIN)

LOT COVERAGE: 30% (TWO-STORY), 40% (ONE-STORY)

OVERLAY ZONES: COASTAL PARKING IMPACT, FIRE BRUSH

ZONE MAP, FIRE HAZARD SEVERITY ZONE, AFFORDABLE HOUSING PARKING DEMAND (HIGH), PALEONTOLOGICAL SENSITIVITY AREA (HIGH), DEL MAR MESA SPECIFIC PLAN

GEOLOGIC HAZARD CATEGORY: 33

LEGEND

- SUBDIVISION BOUNDARY
- ADJACENT LOT LINE
- PROPOSED PARCEL BOUNDARY
- EXISTING EASEMENT
- PROPOSED EASEMENT
- PROPOSED BUILDING FOOTPRINT
- PROPOSED PAD LIMITS
- PROPOSED LIMIT OF GRADING
- PROPOSED PVC 6" SEWER LINE
- PROPOSED SEWER MANHOLE
- PROPOSED PVT SEWER LATERAL
- PROPOSED WATERLINE
- PROPOSED WATER SERVICE
- PROPOSED FIRE HYDRANT
- PROPOSED 2.5' WIDE ROLLED CURB
- PROPOSED DRIVEWAY
- PROPOSED SWING GATE
- CUT SLOPE
- FILL SLOPE
- PROP. CONCRETE HARDSCAPE
- PROP. ASPHALT CONCRETE
- PROP. BIOFILTRATION BASIN
- PROP. 6" PVC STORM DRAIN
- POTENTIAL SENSITIVE VEGETATION LIMIT PER CITY GIS (WOODLANDS)
- EXISTING WATER
- EXISTING SEWER
- EXISTING GAS
- EXISTING FIRE HYDRANT
- EXISTING CONTOUR
- EXISTING BRUSH LINE
- EXISTING TREE

OWNER/APPLICANT

KESHIF PROPERTIES LLC
1151 EL CAMINO REAL #340, SAN DIEGO, CA 92130
PROPERTIES@KESHIF.COM
619-722-0227

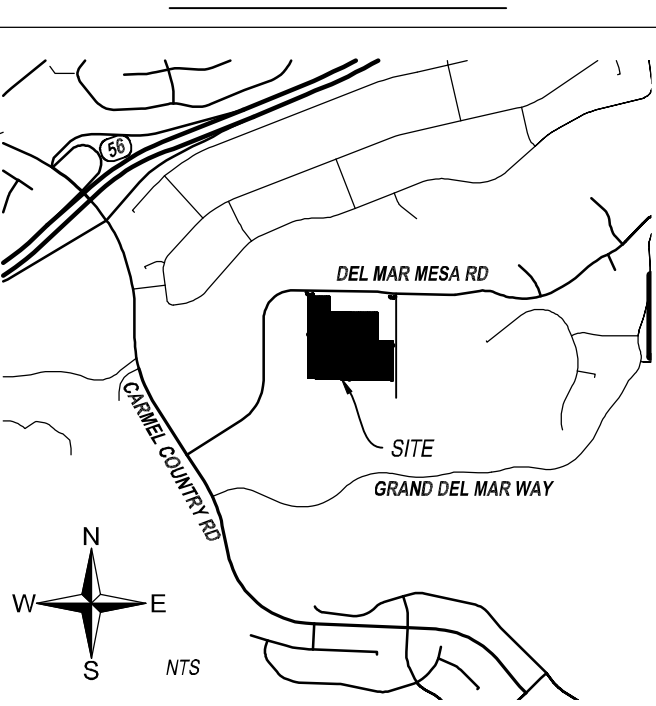
LEGAL DESCRIPTION:

REAL PROPERTY IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, DESCRIBED AS FOLLOWS:
PARCEL 1: THE NORTHWEST QUARTER OF THE NORTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 20, TOWNSHIP 14 SOUTH, RANGE 3 WEST, SAN BERNARDINO MERIDIAN, IN THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO UNITED STATES GOVERNMENT SURVEY, MAY 20, 1884, EXCEPTING THE NORTHERLY 120 FEET OF THE EASTERLY 500 FEET THEREOF, ALSO EXCEPTING THE SOUTHERLY 228 FEET OF THE NORTHERLY 346 FEET OF THE EASTERLY 120 FEET THEREOF, ALSO EXCEPTING THEREFROM 50 PERCENT OF ALL MINERALS AND RIGHTS IN RELATION THERETO, INCLUDING ALL OIL AND PETROLEUM AND LIKE SUBSTANCES, AS EXCEPTED IN DEED FROM JOHN NIEMANN, A SINGLE MAN, RECORDED JULY 25, 1952.
PARCEL 2: AN EASEMENT FOR ROAD, UTILITY AND PIPELINE PURPOSES OVER THE NORTHERLY 120 FEET OF SAID NORTHEAST QUARTER OF THE NORTHEAST QUARTER OF THE SOUTHWEST QUARTER AND OVER THE SOUTHERLY 20 FEET OF THE NORTHERLY 140 FEET OF THE EASTERLY 120 FEET OF SAID NORTHEAST QUARTER OF THE NORTHEAST QUARTER OF THE SOUTHWEST QUARTER, THE EASEMENT HEREIN DESCRIBED IS HEREBY DECLARED TO BE APPURTENANT TO AND FOR THE USE AND BENEFIT OF THE PRESENT AND FUTURE OWNERS OF ALL OR ANY PORTION OF PARCEL 1, ABOVE.
PARCEL 3: A NON-EXCLUSIVE EASEMENT AND RIGHT OF WAY FOR INGRESS AND EGRESS FOR VEHICLE, PEDESTRIAN AND UTILITY PURPOSES OVER, UNDER AND ACROSS THE WESTERLY 20 FEET OF THE EAST HALF TOGETHER WITH THE EASTERLY 20 FEET OF THE WEST HALF OF THE NORTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 20, TOWNSHIP 14 SOUTH, RANGE 3 WEST, SAN BERNARDINO MERIDIAN, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO THE OFFICIAL PLAT THEREOF, EXCEPTING THEREFROM THAT PORTION THEREOF LYING WITHIN PARCEL 1, ABOVE DESCRIBED.
PARCEL 4: A NON-EXCLUSIVE EASEMENT AND RIGHT OF WAY FOR INGRESS AND EGRESS FOR VEHICLE, EQUESTRIAN, PEDESTRIAN AND UTILITY PURPOSES OVER, UNDER AND ACROSS THAT PORTION OF PARCEL 1, OF PARCEL MAP NO. 20448, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, MARCH 7, 2008 AS FILE NO. 2008-0121235 OF OFFICIAL RECORDS, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:
BEGINNING AT THE NORTHWEST CORNER OF NORTHEAST QUARTER OF THE NORTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 20, TOWNSHIP 14 SOUTH, RANGE 3 WEST, SAN BERNARDINO MERIDIAN, 3229' WEST, 20.00 FEET, THENCE NORTH 00°00'11" WEST, 20.00 FEET TO A POINT ON THE NORTHERLY LINE OF SAID PARCEL 1, THENCE EASTERLY ALONG SAID NORTHERLY LINE OF PARCEL 1, SOUTH 88°52'39" EAST, 18.70 FEET, THENCE CONTINUING ALONG SAID NORTHERLY LINE NORTH 88°49'55" EAST, 20.30 FEET, THENCE LEAVING SAID NORTHERLY LINE SOUTH 00°01'15" EAST, 21.18 FEET TO A POINT ON THE SOUTHERLY LINE OF SAID PARCEL 1, THENCE WESTERLY ALONG SAID SOUTHERLY LINE NORTH 88°52'39" WEST, 28.01 FEET TO THE POINT OF BEGINNING.
APN: 307-04-19-00

TRANSIT NOTE:

THERE ARE NO EXISTING OR PROPOSED TRANSIT STOPS ADJACENT TO THE PROJECT SITE. WALKING DISTANCE BETWEEN PROJECT SITE AND NEAREST TRANSIT STOP IS 4 MILES.

VICINITY MAP



PRELIMINARY GRADING & DRAINAGE PLAN FOR:

NIEMANN RANCH ESTATES

5175 DEL MAR MESA ROAD, SAN DIEGO, CA 92130

PTS-688918

NAD83 COORDS: 1922, 6261



PASCO LARET SUITER & ASSOCIATES

San Diego | Encinitas | Orange County

Phone 858.259.8212 | www.plsaeengineering.com

11/2/2023

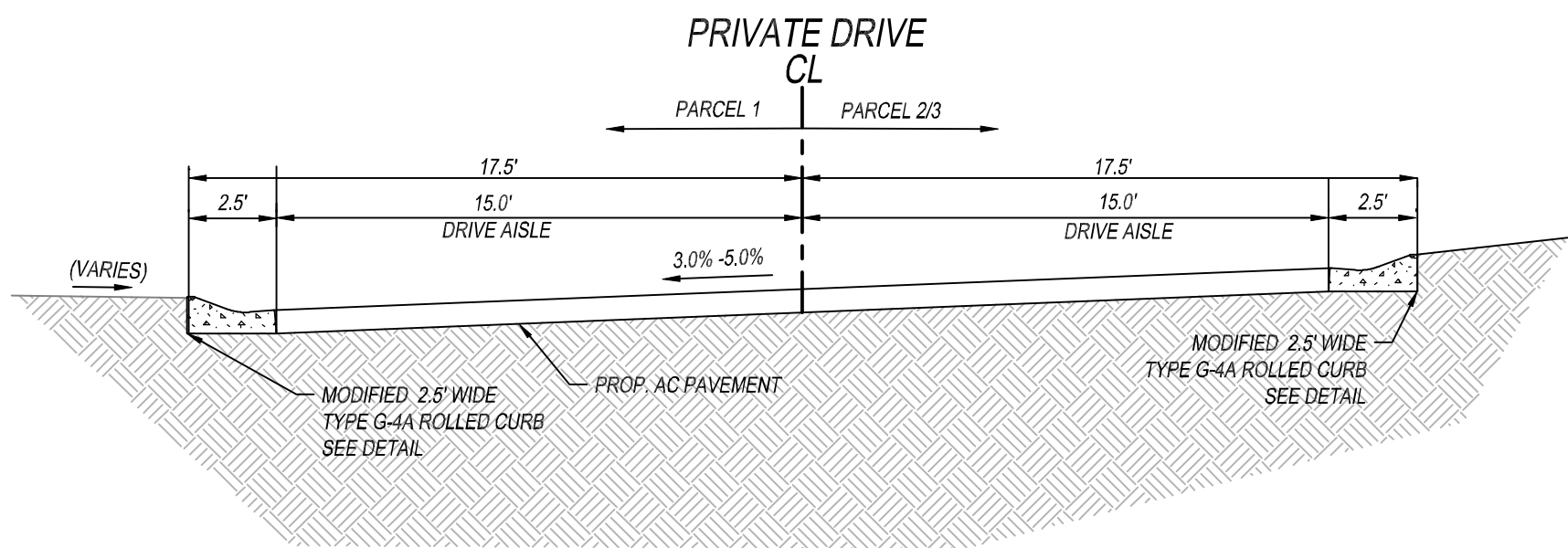
P.E. 73620

revision	date
DSO 1ST SUBMITTAL	07/15/21
DSO 2ND SUBMITTAL	02/08/22
DSO 3RD SUBMITTAL	08/25/22
DSO 4TH SUBMITTAL	08/18/23
date:	11/02/23
drawn by:	S. HESS
checked by:	W. MACK
job:	PLSA 3379
Sheet	

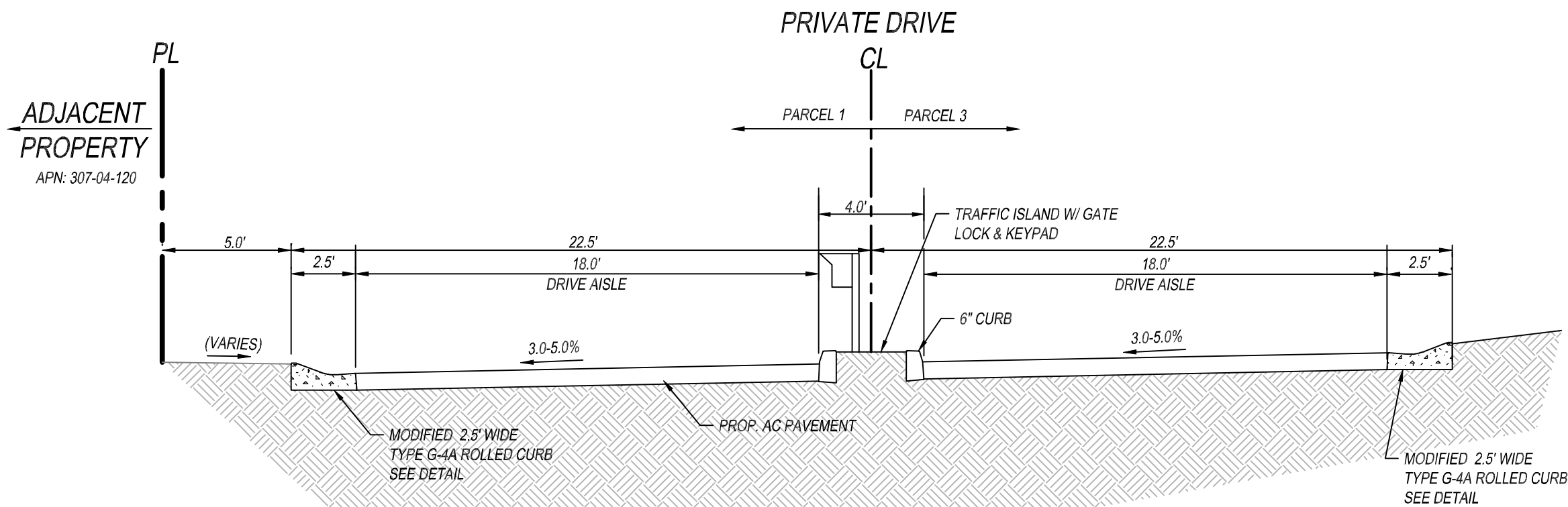
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of 22

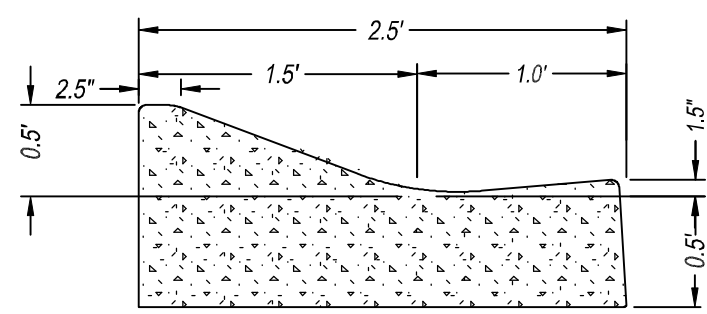
PRELIMINARY SITE SECTIONS & DETAILS FOR:
NIEMANN RANCH ESTATES
TM #25 64842, SDP #25 65089, CDP #25 65088



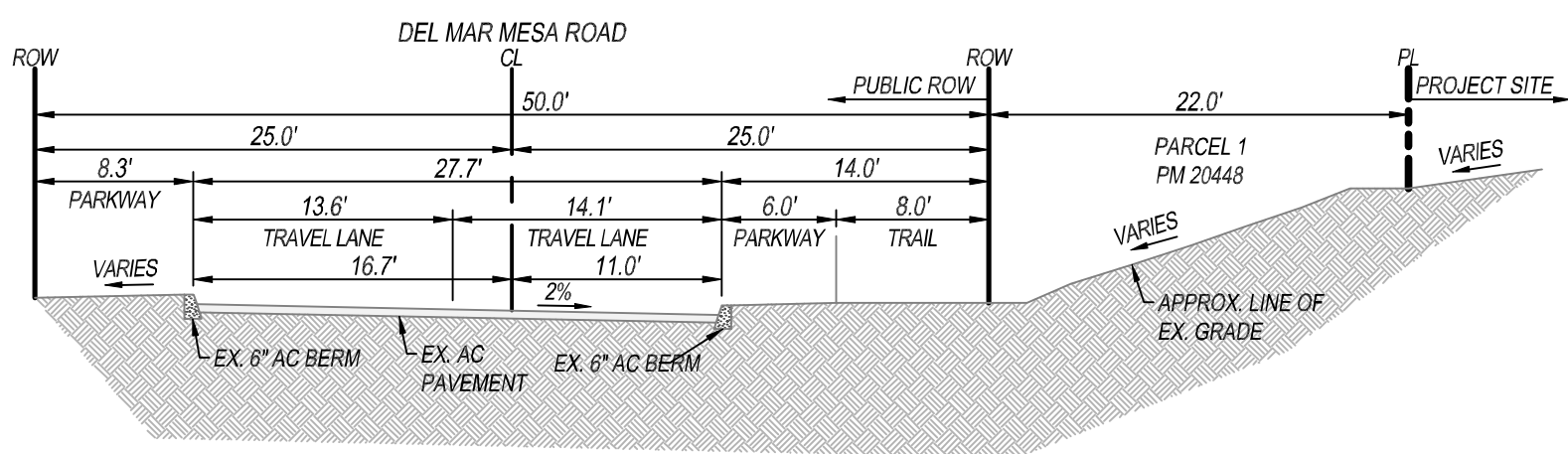
TYPICAL SECTION - PRIVATE DRIVE
NTS



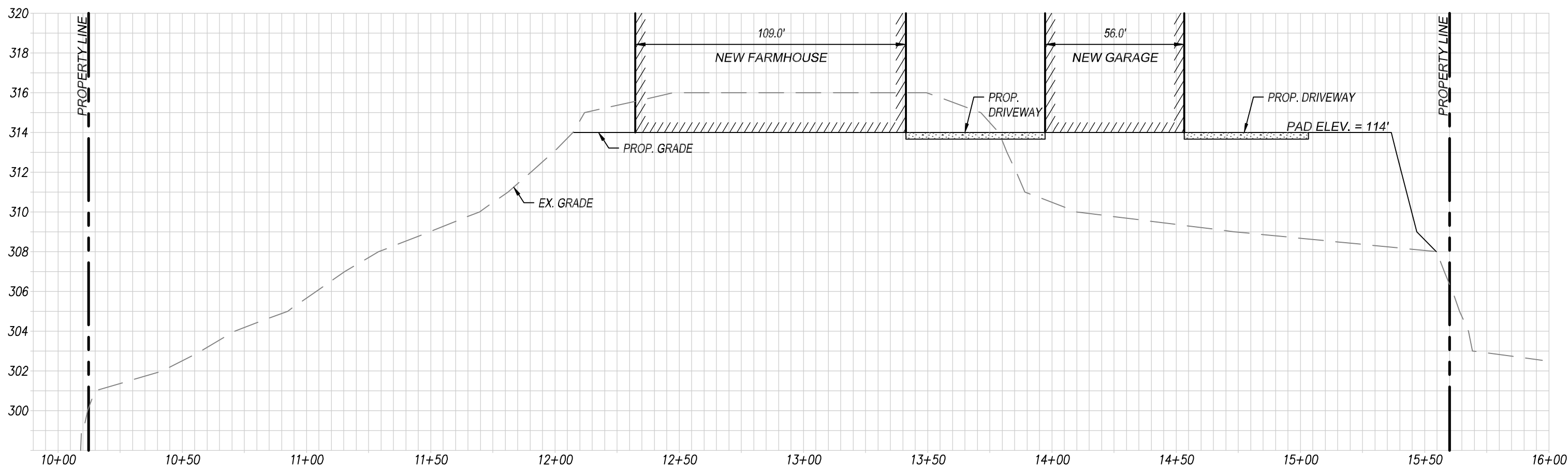
TYPICAL SECTION - PRIVATE DRIVE AT ENTRANCE
NTS



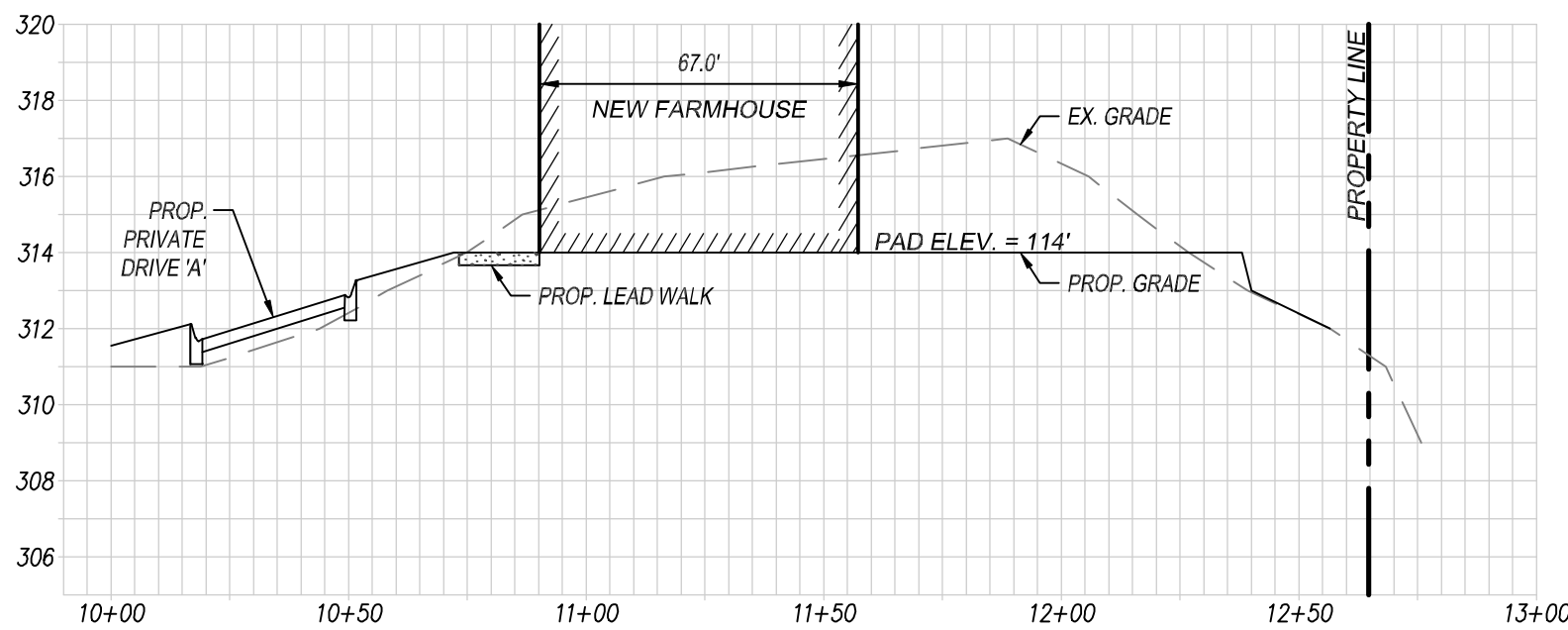
DETAIL - ROLLED CURB
NTS



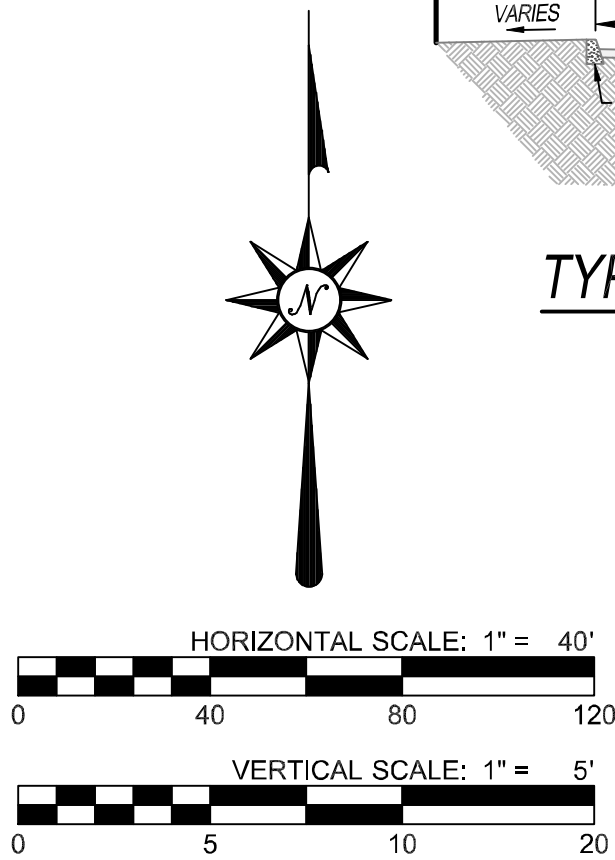
TYPICAL SECTION - DEL MAR MESA ROAD
NTS



SITE SECTION:
A
H: 1" = 40'
V: 1" = 5'



SITE SECTION:
B
H: 1" = 40'
V: 1" = 5'



PRELIMINARY SITE SECTIONS & DETAILS FOR:

NIEMANN RANCH ESTATES

5175 DEL MAR MESA ROAD, SAN DIEGO, CA 92130

PTS-688918

NAD83 COORDS: 1922, 6261



PASCO LARET SUITER & ASSOCIATES
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11/2/2023
P.E. 73620
WILLIAM GREGG MACK

revision	date
DSD 1ST SUBMITTAL	07/15/21
DSD 2ND SUBMITTAL	02/08/22
DSD 3RD SUBMITTAL	08/25/22
DSD 4TH SUBMITTAL	08/18/23

date: 11/02/23

drawn by: S. HESS

checked by: W. MACK

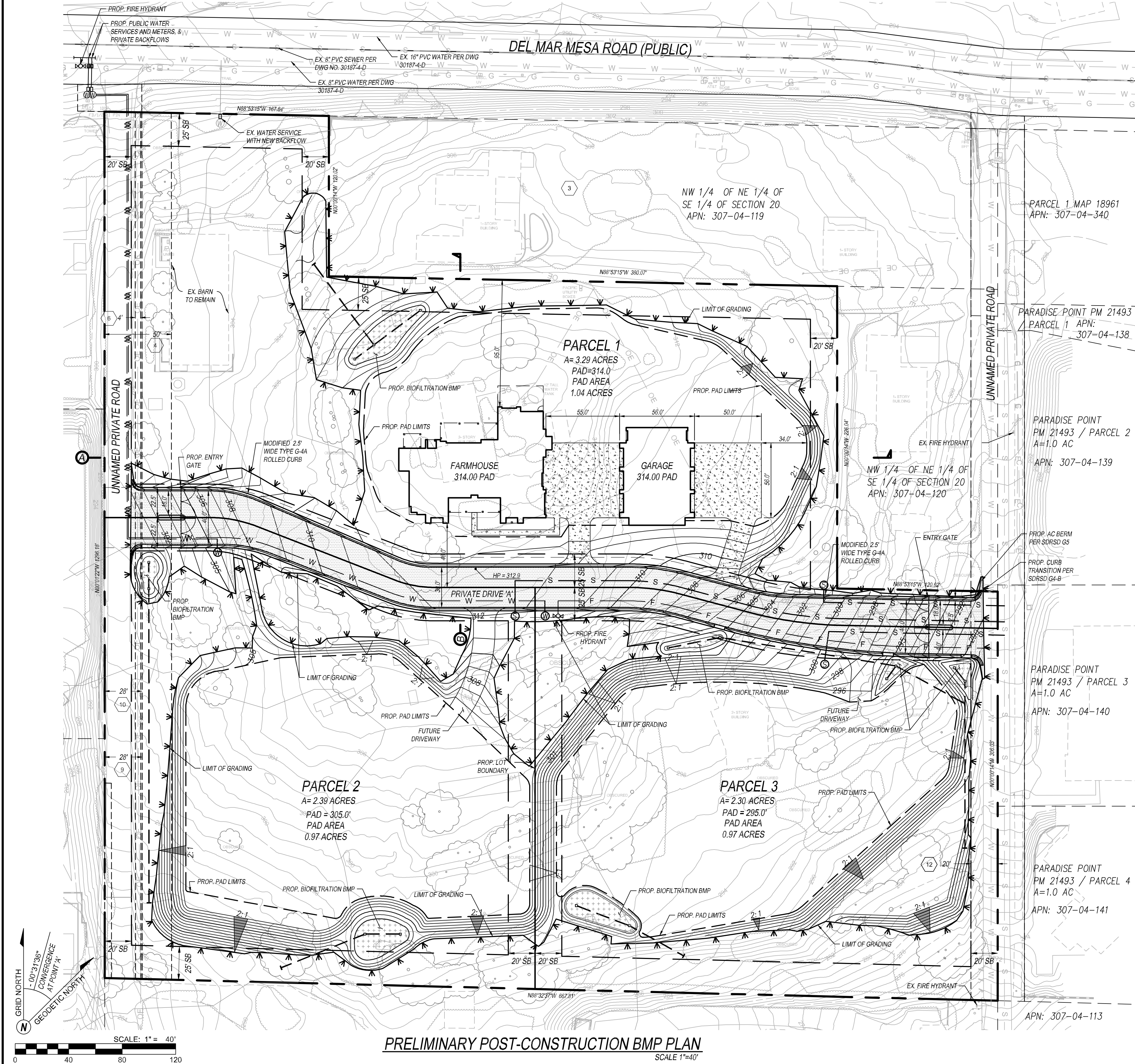
job: PLSA 3379

Sheet

C2.0

of 22

PRELIMINARY POST-CONSTRUCTION BMP PLAN:
5175 DEL MAR MESA ROAD, SAN DIEGO, CA 92130
TM #25 64842, SDP #25 65089, CDP #25 65088



LEGEND

DESCRIPTION	SYMBOL
SUBDIVISION BOUNDARY	---
ADJACENT LOT LINE	---
CENTERLINE	---
EXISTING EASEMENT	---
PROPOSED BUILDING FOOTPRINT	---
PROPOSED PAD LIMITS	---
PROPOSED LIMIT OF GRADING	---
PROPOSED PVC 6" SEWER LINE	---
PROPOSED SEWER MANHOLE	---
PROPOSED SEWER SERVICE LATERAL	---
PROPOSED 6" PVC WATER MAIN	---
PROPOSED WATER SERVICE	---
PROPOSED FIRE HYDRANT	---
PROPOSED 2.5' WIDE ROLLED CURB	---
PROPOSED DRIVEWAY	---
PROPOSED SWING GATE	---
CUT SLOPE	---
FILL SLOPE	---
PROP. CONCRETE HARDSCAPE	---
PROP. ASPHALT CONCRETE	---
PROP. BIOFILTRATION BASIN	---

IMPERVIOUS AREA TABULATIONS:

TOTAL SITE AREA: 8.0 ACRES / 346,931 SQ. FT.
PROPOSED PROJECT FOOTPRINT: 4.9 ACRES / 213,637 SQ. FT.
EXISTING IMPERVIOUS AREA: 0.41 ACRES / 17,757 SQ. FT.
PROPOSED IMPERVIOUS AREA: 2.3 ACRES / 100,172 SQ. FT.

SITE DESIGN, SOURCE CONTROL AND POLLUTANT CONTROL BMP OPERATION & MAINTENANCE PROCEDURE									
STORM WATER MANAGEMENT AND DISCHARGE CONTROL MAINTENANCE AGREEMENT APPROVAL NO.:									
O&M RESPONSIBLE PARTY DESIGNEE: (PROPERTY OWNER) / HOA / CITY / OTHER KESHIF PROPERTIES, LLC									
BMP DESCRIPTION	INSPECTION FREQUENCY	MAINTENANCE FREQUENCY	MAINTENANCE METHOD	QUANTITY	INCLUDED IN O&M MANUAL		SHEET NUMBER(S)		
SITE DESIGN ELEMENTS	ANNUAL	AS NEEDED	REMOVE AND PROPERLY DISPOSE ACCUMULATED MATERIALS	N/A	YES	NO	N/A		
SOURCE CONTROL ELEMENTS									
DESCRIPTION: NATIVE LANDSCAPING									
DESCRIPTION: ON-SITE DRAINS	ANNUAL	AS NEEDED	REMOVE CLOGS, STENCILING/SIGNS	7	YES	NO	N/A		
DESCRIPTION: PROTECT OUTDOOR STORAGE	ANNUAL	AS NEEDED	ADD COVER OR STABILIZATION	N/A	YES	NO	N/A		
DESCRIPTION: POLLUTANT CONTROL BMP(S)	BI-ANNUAL	BI-ANNUAL	MOWING AND DEBRIS COLLECTION	7	YES	NO	C1.0, C3.0		
DESCRIPTION: HMP FACILITY (IF SEPARATE)		AS NEEDED	AS NECESSARY		YES	NO			
DESCRIPTION: HMP EXEMPT							NO		

PRELIMINARY POST-CONSTRUCTION BMP PLAN FOR:
NIEMANN RANCH ESTATES
5175 DEL MAR MESA ROAD, SAN DIEGO, CA 92130

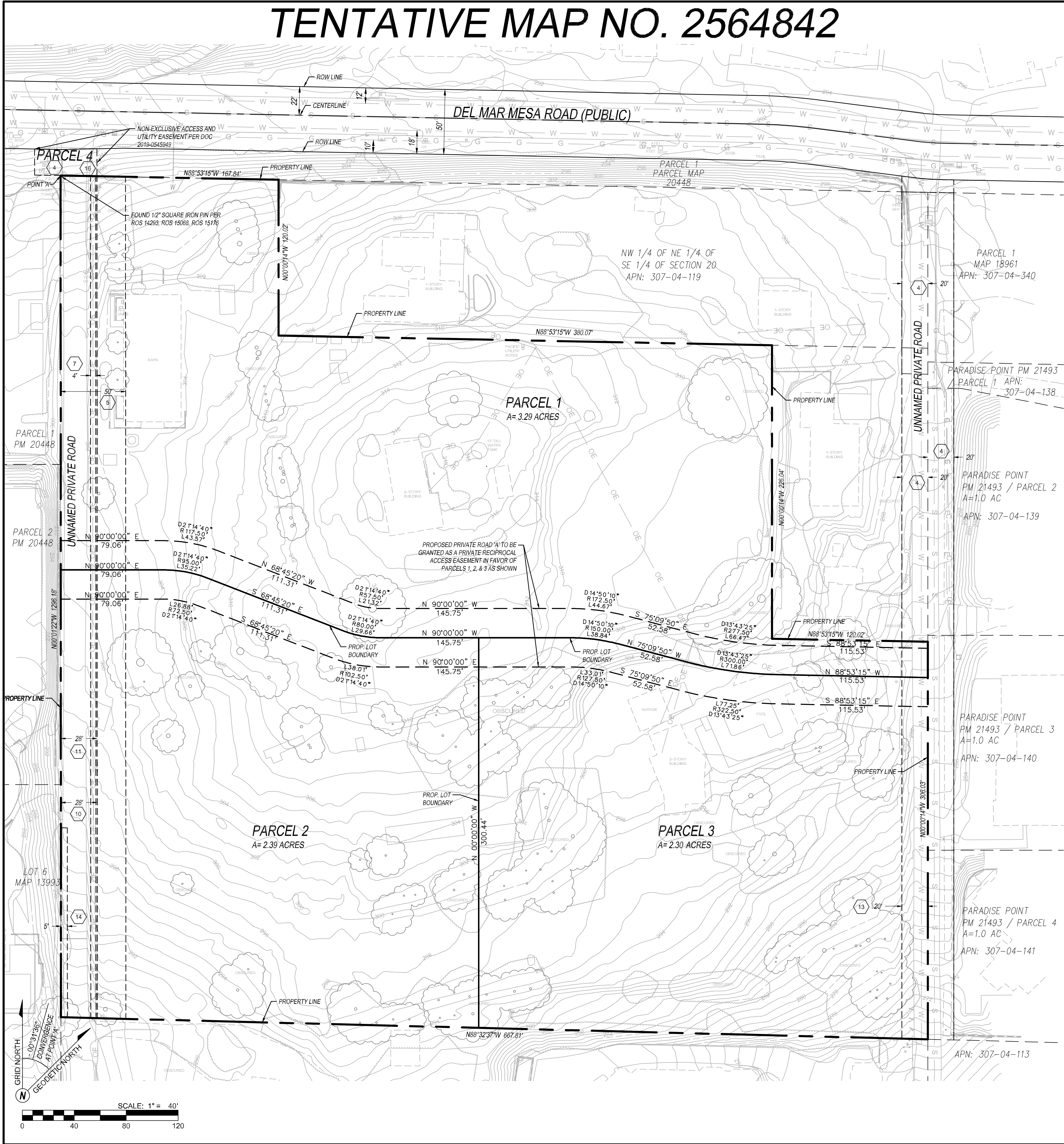


PASCO LARET SUITER & ASSOCIATES
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revision	date
DSD 1ST SUBMITTAL	07/15/21
DSD 2ND SUBMITTAL	02/08/22
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DSD 4TH SUBMITTAL	08/18/23
date:	11/02/23
drawn by:	S. HESS
checked by:	W. MACK
job:	PLSA 3379

Sheet
C3.0
of 22

TENTATIVE MAP NO. 2564842



LEGEND

SUBDIVISION BOUNDARY	---
ADJACENT LOT LINE	---
ROAD CENTERLINE	---
EXISTING EASEMENT	---
PROPOSED EASEMENT	---
PROPOSED LOT LINE	---
EXISTING WATER	W W W
EXISTING SEWER	S S S
EXISTING GAS	G G G
EXISTING FIRE HYDRANT	X
EXISTING CONTOUR	320
EXISTING BRUSH LINE	---
EXISTING TREE	○

EASEMENTS OF RECORD

- EXISTING PRIVATE EASEMENTS FOR ACCESS, UTILITIES BY VARIOUS DEEDS OVER PARCELS 2, 3 AND 4.
- AN EASEMENT FOR ROAD AND INCIDENTAL PURPOSES, RECORDED JUNE 01, 1959, INSTRUMENT NO. 59-109850, BOOK 7691, PAGE 507, O.R.
- THE TERMS AND PROVISIONS CONTAINED IN THE DOCUMENT ENTITLED "WATER AGREEMENT" RECORDED JUNE 01, 1959, INSTRUMENT NO. 59-109853, BOOK 7691, PAGE 510, O.R.
- AN EASEMENT FOR PUBLIC UTILITIES, INGRESS AND EGRESS AND INCIDENTAL PURPOSES, RECORDED FEBRUARY 27, 1970, INSTRUMENT NO. 70-36849, O.R. (IN FAVOR OF SAN DIEGO GAS & ELECTRIC)
- THE TERMS AND PROVISIONS CONTAINED IN THE DOCUMENT ENTITLED "DECLARATION OF COVENANTS FOR PUBLIC IMPROVEMENTS" RECORDED JULY 28, 1978, INSTRUMENT NO. 78-318554, O.R.
- THE EFFECT OF A DOCUMENT ENTITLED "RESOLUTION NUMBER R-293158", RECORDED JUNE 12, 2000, INSTRUMENT NO. 2000-307676, O.R.
- AN EASEMENT FOR RIGHT OF WAY FOR ROAD PURPOSES AND INCIDENTAL PURPOSES, RECORDED JULY 10, 2000, INSTRUMENT NO. 00-362543, O.R.
- AN EASEMENT FOR PUBLIC UTILITIES, INGRESS AND EGRESS AND INCIDENTAL PURPOSES, RECORDED JULY 19, 2002, INSTRUMENT NO. 2002-609912, O.R. (IN FAVOR OF SAN DIEGO GAS & ELECTRIC)
- THE TERMS, PROVISIONS AND EASEMENT(S) CONTAINED IN THE DOCUMENT ENTITLED "AGREEMENT TERMINATING EXISTING EASEMENTS" RECORDED DECEMBER 09, 2002, INSTRUMENT NO. 02-116255, O.R.
- THE TERMS, PROVISIONS AND EASEMENT(S) CONTAINED IN THE DOCUMENT ENTITLED "EASEMENT AGREEMENT" RECORDED DECEMBER 09, 2002, INSTRUMENT NO. 02-116256, O.R.
- AN EXISTING PRIVATE EASEMENT FOR WATERLINE PURPOSES RECORDED FEBRUARY 5, 2003, INSTRUMENT NO. 2003-0132567, O.R. (CONTAINS 1" RESIDENTIAL WATER SERVICE)
- CUP NO. 681056, COP NO. 681055, RECORDED NOVEMBER 6, 2009, INSTRUMENT NO. 2009-0621971, OF OFFICIAL RECORDS, EASEMENT AGREEMENT FOR ACCESS AND UTILITIES, RECORDED OCTOBER 14, 2013, INSTRUMENT NO. 2013-0616591, O.R.

MAPPING NOTE:

A PARCEL MAP SHALL BE FILED AT THE COUNTY RECORDERS' OFFICE PRIOR TO THE EXPIRATION OF THE TENTATIVE MAP. IF APPROVED, A DETAILED PROCEDURE OF SURVEY SHALL BE SHOWN ON THE PARCEL MAP AND ALL PROPERTY CORNERS SHALL BE MARKED WITH DURABLE SURVEY MONUMENTS.

PROJECT DATA:

EXISTING USE: (1) RESIDENTIAL PARCEL
PROPOSED USE: (3) RESIDENTIAL PARCELS
EXISTING AND PROPOSED ZONE: AR-1-1
MINIMUM LOT AREA: 1 ACRE
REQUIRED LOT WIDTH: 100 FEET (MIN)
REQUIRED LOT DEPTH: 150 FEET (MIN)
LOT COVERAGE: 30% (TWO-STORY), 40% (ONE-STORY)
OVERLAY ZONES: COASTAL, PARKING IMPACT, FIRE BRUSH ZONE 300', FIRE HAZARD SEVERITY ZONE, AFFORDABLE HOUSING PARKING DEMAND (HIGH), PALEONTOLOGICAL SENSITIVITY AREA (HIGH), DEL MAR MESA SPECIFIC PLAN GEOLOGIC HAZARD CATEGORY: 53
ENVIRONMENTALLY SENSITIVE LANDS: SENSITIVE VEGETATION (WOODLANDS)

OWNER/DEVELOPER

KESHIF PROPERTIES LLC
11512 EL CAMINO REAL #340, SAN DIEGO, CA 92130
PROPERTIES@KESHIF.COM
619-722-0227

TANER HALICIOGLU Nov 20, 2023
DATE

WILLIAM G. MACK 11/2/2023
DATE
WILLIAM G. MACK
PLS NO. 9389
EXP. 09-30-2023

EXISTING LEGAL DESCRIPTION:

REAL PROPERTY IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, DESCRIBED AS FOLLOWS:
PARCEL 1:
THE NORTHWEST QUARTER OF THE NORTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 20, TOWNSHIP 14 SOUTH, RANGE 3 WEST, SAN BERNARDINO MERIDIAN, IN THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO UNITED STATES GOVERNMENT SURVEY, MAY 20, 1894, EXCEPTING THE NORTHERLY 120 FEET OF THE EASTERLY 360 FEET THEREOF;
ALSO EXCEPTING THE SOUTHERLY 226 FEET OF THE NORTHERLY 346 FEET OF THE EASTERLY 120 FEET THEREOF; ALSO EXCEPTING THEREFROM 50 PERCENT OF ALL MINERALS AND RIGHTS IN RELATION THERETO, INCLUDING ALL OIL, AND PETROLEUM AND LIKE SUBSTANCES, AS EXECUTED IN DEED FROM JOHN NIEMANN, A SINGLE MAN, RECORDED JULY 25, 1952.
PARCEL 2:
AN EASEMENT FOR ROAD, UTILITY AND PIPELINE PURPOSES OVER THE EASTERLY 20 FEET OF THE NORTHERLY 120 FEET OF SAID NORTHWEST QUARTER OF THE NORTHEAST QUARTER OF THE SOUTHWEST QUARTER, AND OVER THE SOUTHERLY 20 FEET OF THE NORTHERLY 140 FEET OF THE EASTERLY 120 FEET OF SAID NORTHWEST QUARTER OF THE NORTHEAST QUARTER OF THE SOUTHWEST QUARTER.
THE EASEMENT HEREIN DESCRIBED IS HEREBY DECLARED TO BE APPURTENANT TO AND FOR THE USE AND BENEFIT OF THE PRESENT AND FUTURE OWNERS OF ALL OR ANY PORTION OF PARCEL 1, ABOVE.
PARCEL 3:
A NON-EXCLUSIVE EASEMENT AND RIGHT OF WAY FOR INGRESS AND EGRESS FOR VEHICLE, PEDESTRIAN AND UTILITY PURPOSES OVER, UNDER AND ACROSS THE WESTERLY 20 FEET OF THE EAST HALF TOGETHER WITH THE EASTERLY 20 FEET OF THE WEST HALF OF THE NORTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 20, TOWNSHIP 14 SOUTH, RANGE 3 WEST, SAN BERNARDINO MERIDIAN, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO THE OFFICIAL PLAT THEREOF.
EXCEPTING THEREFROM THAT PORTION THEREOF LYING WITHIN PARCEL 1 ABOVE DESCRIBED.
PARCEL 4:
A NON-EXCLUSIVE EASEMENT AND RIGHT-OF-WAY FOR INGRESS AND EGRESS FOR VEHICLE, EQUESTRIAN, PEDESTRIAN AND UTILITY PURPOSES OVER, UNDER AND ACROSS THAT PORTION OF PARCEL 1 OF PARCEL MAP NO. 20448, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, MARCH 7, 2008 AS FILE NO. 2008-012195 OF OFFICIAL RECORDS, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:
BEGINNING AT THE NORTHWEST CORNER OF NORTHWEST QUARTER OF THE NORTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 20, TOWNSHIP 14 SOUTH, RANGE 3 WEST, 59M; THENCE NORTH 88 DEGREE 52'39" WEST, 20.00 FEET; THENCE NORTH 00 DEGREE 11'15" WEST, 20.00 FEET TO A POINT ON THE NORTHERLY LINE OF SAID PARCEL 1; THENCE EASTERLY ALONG SAID NORTHERLY LINE OF PARCEL 1, SOUTH 88°52'39" EAST, 18.70 FEET; THENCE CONTINUING ALONG SAID NORTHERLY LINE NORTH 88°49'55" EAST, 29.30 FEET; THENCE LEAVING SAID NORTHERLY LINE SOUTH 00°01'16" EAST, 21.18 FEET TO A POINT ON THE SOUTHERLY LINE OF SAID PARCEL 1; THENCE WESTERLY ALONG SAID SOUTHERLY LINE NORTH 88°52'39" WEST, 28.01 FEET TO THE POINT OF BEGINNING.
APN: 307-04-09-00

TOPOGRAPHY SOURCE:

PREPARED BY: GARY MELLUM, PLS #537
PASCO LARET SUITER & ASSOCIATES
535 N. HIGHWAY 101, SUITE A
SOLANA BEACH, CA 92075
SURVEY DATED 07/16/2020

BASIS OF BEARINGS:

THE BASIS OF BEARING FOR THIS SURVEY IS THE CALIFORNIA COORDINATE SYSTEM 1983 (CCS83), ZONE 6, 2017.5 EPOCH, AND IS DETERMINED BY G.P.S. MEASUREMENTS TAKEN ON JULY 24, 2020 AT POINTS A & B SHOWN HEREON. POINTS A & B WERE ESTABLISHED FROM CONTINUOUSLY OPERATING REFERENCE STATIONS (CORS) PATZ AND SIO5 DERIVED FROM GEODETIC VALUES PUBLISHED BY THE CALIFORNIA SPATIAL REFERENCE CENTER (CSRC) AND/OR NATIONAL GEODETIC SURVEY (NGS), RESPECTIVELY. BEARING FROM POINT A TO POINT B: N89°40'41"W.

THE COMBINED GRID FACTOR AT POINT 'A' IS 0.99996390
GRID DISTANCE = GROUND DISTANCE X COMBINED GRID FACTOR
ELEVATION AT POINT 'A' IS 261.152 (NGVD29)

BENCHMARK:

ELEVATIONS SHOWN HEREON ARE BASED ON CITY OF SAN DIEGO BRASS PLUG LOCATED AT THE NORTHEAST CORNER OF THE INTERSECTION OF CARMEL COUNTRY ROAD AND CARMEL MISSION ROAD.
EL = 164.311, NGVD 29

SETBACKS:

FRONT YARD: 25'
SIDE YARD: 20' (40' BETWEEN STRUCTURES)
REAR YARD: 25'

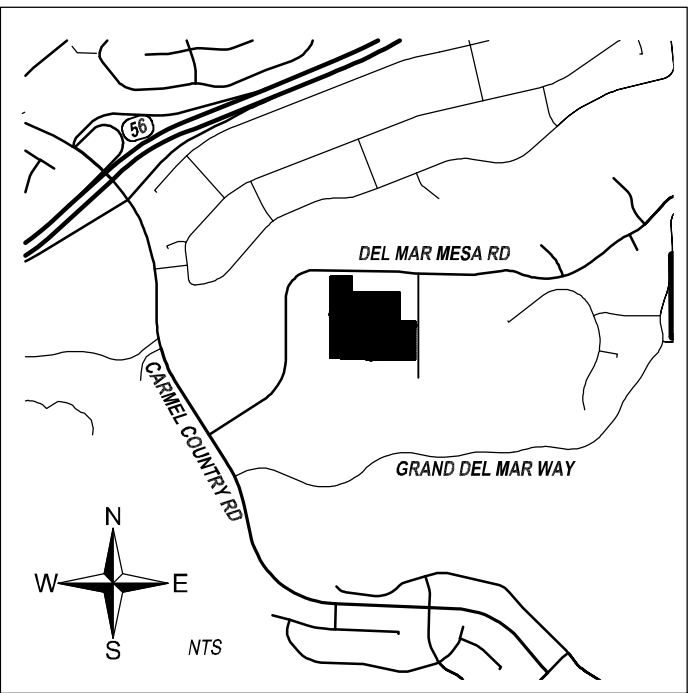
PARCEL SUMMARY:

NUMBER OF EXISTING LOTS:	1		
NUMBER OF PROPOSED LOTS:	3		
	PARCEL 1	PARCEL 2	PARCEL 3
AREA (AC)	3.29 AC	2.39 AC	2.30 SF
WIDTH (FT)	548 FT	322 FT	346 FT
DEPTH (FT)	230 FT	300 FT	300 FT

TRANSIT NOTE:

THERE ARE NO EXISTING OR PROPOSED TRANSIT STOPS ADJACENT TO THE PROJECT SITE. WALKING DISTANCE BETWEEN PROJECT SITE AND NEAREST TRANSIT STOP IS 4 MILES.

VICINITY MAP



PASCO LARET SUITER & ASSOCIATES

San Diego | Encinitas | Orange County
Phone 858.259.8212 | www.plsaengineering.com

PROJECT ADDRESS: 5175 DEL MAR MESA ROAD SAN DIEGO, CA 92130 APN: 307-04-09-00	APPLICANT: KESHIF PROPERTIES LLC 11512 EL CAMINO REAL #340 SAN DIEGO, CA 92130
--	---

PROJECT NAME: NIEMANN RANCH ESTATES PTS-688918 I.O. NO.: 24008948	
--	--

SCALE 1"=40' DATE: 11/02/23	NAD83 COORDS: 1922, 6265 LAMBERT COORDS: 282, 1705
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FIRE ACCESS PLAN FOR:
5175 DEL MAR MESA ROAD, SAN DIEGO, CA 92130
TM #25 64842, SDP #25 65089, CDP #25 65088

LEGEND

SUBDIVISION BOUNDARY	---
ADJACENT LOT LINE	- - - -
CENTERLINE	---
EXISTING EASMENT	- - - - -
PROPOSED BUILDING FOOTPRINT	---
PROPOSED PAD LIMITS	- - - -
PROPOSED LIMIT OF GRADING	---
PROPOSED PVC 6" SEWER LINE	— S —
PROPOSED SEWER MANHOLE	○
PROPOSED SEWER SERVICE LATERAL	○ —
PROPOSED 6" PVC WATER MAIN	— W —
PROPOSED WATER SERVICE	○ —
PROPOSED FIRE HYDRANT	⊗
PROPOSED 2.5' WIDE ROLLED CURB	==
PROPOSED DRIVEWAY	---

GENERAL NOTES:

FIRE APPARATUS ACCESS ROADS SHALL BE DESIGNED AND MAINTAINED TO SUPPORT THE IMPOSED LOADS OF FIRE APPARATUS AND SHALL BE SURFACED SO AS TO PROVIDE ALL WEATHER DRIVING CAPABILITIES. CFC 503.2.3

FIRE APPARATUS ACCESS ROADS AND WATER SUPPLIES FOR FIRE PROTECTION, SHALL BE INSTALLED AND MADE SERVICEABLE PRIOR TO AND DURING TIME OF CONSTRUCTION. CFC 501.4.

ALL REQUIRED HOSE PULLS ARE SHOWN TO REACH ALL PORTIONS OF THE EXTERIOR OF THE BUILDING(S) PER POLICY A-14-1. HOSE PULL IS MEASURED FROM THE FIRE APPARATUS (ENGINE) WHEN THE FIRE ENGINE IS IN A FIRE ACCESS ROADLANE. HOSE PULL CAN BE MEASURED FROM MULTIPLE LOCATIONS WITHIN THE ACCESS ROADLANE. THE HOSE PULLS MUST CONNECT OR OVERLAP TO SHOW COMPLETE COVERAGE. FOR A SPRINKLERED BUILDING(S), THE MAXIMUM HOSE PULL IS 200'. FOR NON-SPRINKLERED BUILDING(S), THE MAXIMUM HOSE PULL IS 150'. CHANGE IN VERTICAL ELEVATION MUST ALSO BE ACCOUNTED FOR.

FIRE ACCESS PLAN FOR:
5175 DEL MAR MESA ROAD
SAN DIEGO, CA 92130

PTS-688918

NAD83 COORDS: 1922, 6261



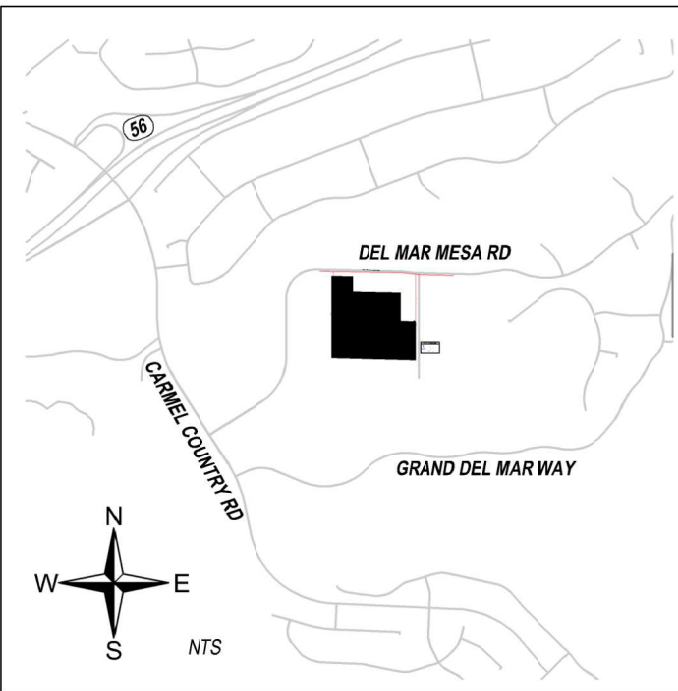
PASCO LARET SUITER & ASSOCIATES
San Diego | Solana Beach | Orange County
Phone 858.259.8212 | www.plsaengineering.com

11/2/2023
P.E. 73620
WILLIAM GREGG MACK

revision	date
DSD 1ST SUBMITTAL	07/15/21
DSD 4TH SUBMITTAL	06/27/23
date:	06/27/23
drawn by:	S. HESS
checked by:	W. MACK
job:	PLSA 3379

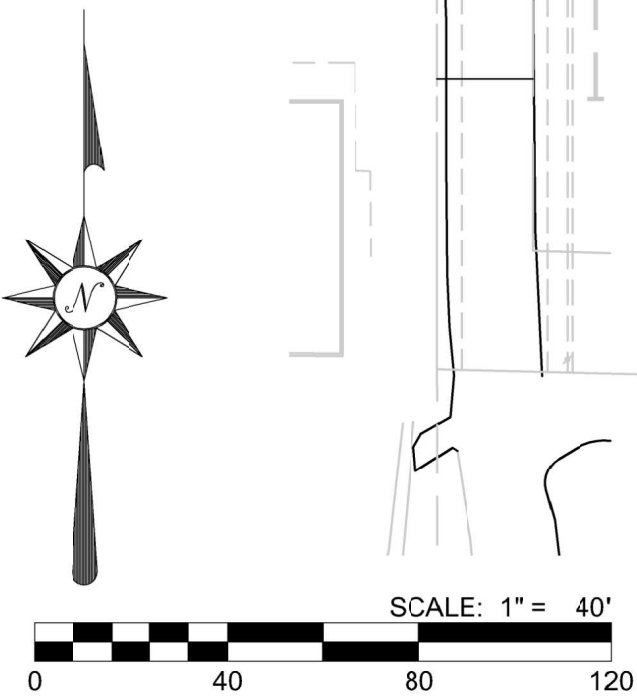
Sheet
C5.0
of 22

VICINITY MAP



SHEET INDEX

C1.0	PRELIMINARY GRADING & DRAINAGE PLAN
C2.0	PRELIMINARY SITE SECTIONS & DETAILS
C3.0	PRELIMINARY POST-CONSTRUCTION BMP PLAN
C4.0	TENTATIVE MAP
C5.0	FIRE ACCESS PLAN
1-15	ARCHITECTURAL SET
L-1	PRELIMINARY LANDSCAPE PLAN
	TOPOGRAPHIC SURVEY MAP
TOTAL SHEETS: 22	



FIRE ACCESS PLAN

SCALE 1"=40'

5175 DEL MAR MESA RD

K-8 LOT 1

SAN DIEGO, CALIFORNIA
BY
KESHIF PROPERTIES, LLC

PROJECT TEAM

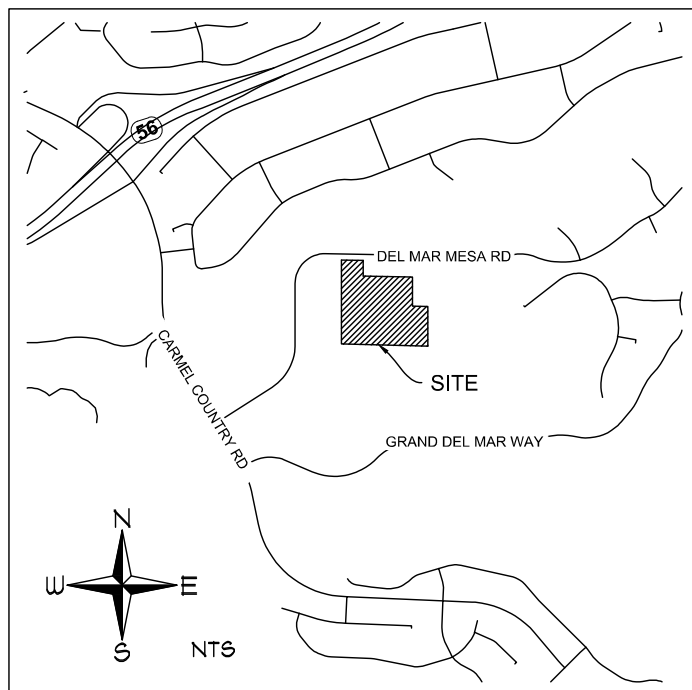
OWNER:
KESHIF PROPERTIES
990 Highland Drive, Suite 314
Solana Beach, CA 92075
Contact: Tamer Hascioglu
Email: tamer@keshif.com

ARCHITECT:
STARCK ARCHITECTURE + PLANNING
2045 Kettner Blvd, Suite 100
San Diego, CA 92101
Contact: Dan Mullen
(619) 299-7070 x104
(619) 295-8768 FAX
Email: dan@starckap.com

CONTRACTOR:
WVC GENERAL CONTRACTORS, INC.
5411 Avenida Encinas, Suite 255
Carlsbad, CA 92008
Contact: Bruce Wegand, Bart Neglia
(760) 803-2427 Bruce
(760) 271-8676 Bart
Email: bruce@wvcncommunities.com; bart@wvcncommunities.com

CIVIL:
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4730 Palm Avenue, #210
La Mesa, CA 91941
Contact: George Mercer
(619) 463-7676
(619) 244-6753 cell
Email: gmercers@ebcgblol.net

VICINITY MAP



PROJECT DATA

PROJECT DESCRIPTION: CONSTRUCTION OF NEW TWO STORY SINGLE FAMILY DETACHED RESIDENCE AND ACCESSORY STRUCTURES.

AFN: 307-041-09-00

PROJECT ADDRESS: 5175 DEL MAR MESA RD
SAN DIEGO CA, 92130

TYPE OF CONSTRUCTION: TYPE V B (NON RATED CONSTRUCTION)

CODE: 2019 CRC

OCCUPANCY GROUP: R-3, U

NUMBER OF STORIES: 2

FIRE SPRINKLERS: YES, NFPA 13D (SPF RESIDENTIAL)

ZONE: AR-1-1 AND DEL MAR MESA SPECIFIC PLAN

OVERLAY ZONES: COASTAL, PARKING IMPACT, FIRE BRUSH ZONE 300, FIRE HAZARD SEVERITY ZONE, AFFORDABLE HOUSING PARKING DEMAND (HIGH), PALEONTOLOGICAL SENSITIVITY AREA(HIGH)

ENVIRONMENTALLY SENSITIVE LANDS: SENSITIVE VEGETATION(HIGH)

VERY HIGH FIRE HAZARD SEVERITY ZONE MAP: VHFSZ 4 300 BRUSH BUFFER

GEOLOGICAL HAZARD CATEGORY: 53

AREA ANALYSIS

MAIN HOUSE	
FIRST FLOOR	4765.29 S.F.
SECOND FLOOR	2714.41 S.F.
TOTAL LIVING AREA	7479.70 S.F.
GARAGE	1221.00 S.F.
FRONT PORCH	439.00 S.F.
CALIFORNIA ROOM	676.00 S.F.
MEDIA ROOM PATIO	143.00 S.F.
DECK	467.00 S.F.
SECRET ROOM DECK	127.37 S.F.

RV GARAGE	
FIRST FLOOR STORAGE (CONDITIONED)	405.91 S.F.
SECOND FLOOR STORAGE(UNCONDITIONED)	335.47 S.F.
TOTAL STORAGE AREA	741.38 S.F.
GARAGE	3124.25 S.F.

LOT COVERAGE	
BUILDING COVERAGE	14315.00 S.F.
LOT AREA	143463.00 S.F.
ACTUAL LOT COVERAGE	9.94%
ALLOWED LOT COVERAGE (SPECIFIC PLAN TABLE 8)	30%

LEGAL DESCRIPTION

THE NORTHWEST QUARTER OF THE NORTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 20, TOWNSHIP 14, SOUTH, RANGE 3 WEST, SAN BERNARDINO MERIDIAN, IN THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO UNITED STATES GOVERNMENT SURVEY, MAY 20, 1894, EXCEPTING THE NORTHERLY 120 FEET OF THE EASTERLY 500 FEET THEREOF, ALSO EXCEPTING THE SOUTHERLY 226 FEET OF THE NORTHERLY 346 FEET OF THE EASTERLY 120 FEET THEREOF, ALSO EXCEPTING THEREFROM 5.0 PER-CENT OF ALL MINERALS AND RIGHTS IN RELATION THERETO, INCLUDING ALL OIL AND PETROLEUM AND LIKE SUBSTANCES, AS EXECUTED IN DEED FROM JOHN NIEMANN, A SINGLE MAN, RECORDED JULY 25, 1952.

SHEET INDEX

SHEET NO.	SHEET TITLE
1	TITLE SHEET
2	MAIN HOUSE - FIRST FLOOR PLAN
3	MAIN HOUSE - SECOND FLOOR PLAN
4	MAIN HOUSE - ROOF PLAN
5	MAIN HOUSE - EXTERIOR ELEVATIONS
6	MAIN HOUSE - EXTERIOR ELEVATIONS
7	MAIN HOUSE - EXTERIOR ELEVATIONS
8	MAIN HOUSE - EXTERIOR ELEVATIONS
9	RV GARAGE - FIRST FLOOR PLAN
10	RV GARAGE - SECOND FLOOR PLAN
11	RV GARAGE - ROOF PLAN
12	RV GARAGE - EXTERIOR ELEVATIONS
13	RV GARAGE - EXTERIOR ELEVATIONS
14	SITE SECTIONS
15	COLOR SCHEDULE



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PHONE #: (619) 299-7070

PROJECT ADDRESS:
SAN DIEGO, CALIFORNIA

PROJECT NAME:
5175 DEL MAR MESA RD

LEGAL DESCRIPTION:
REFER TO TABLE ON TITLE SHEET

SHEET TITLE:
TITLE SHEET
N.T.S.

REVISION 14: _____

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REVISION 12: _____

REVISION 11: _____

REVISION 10: _____

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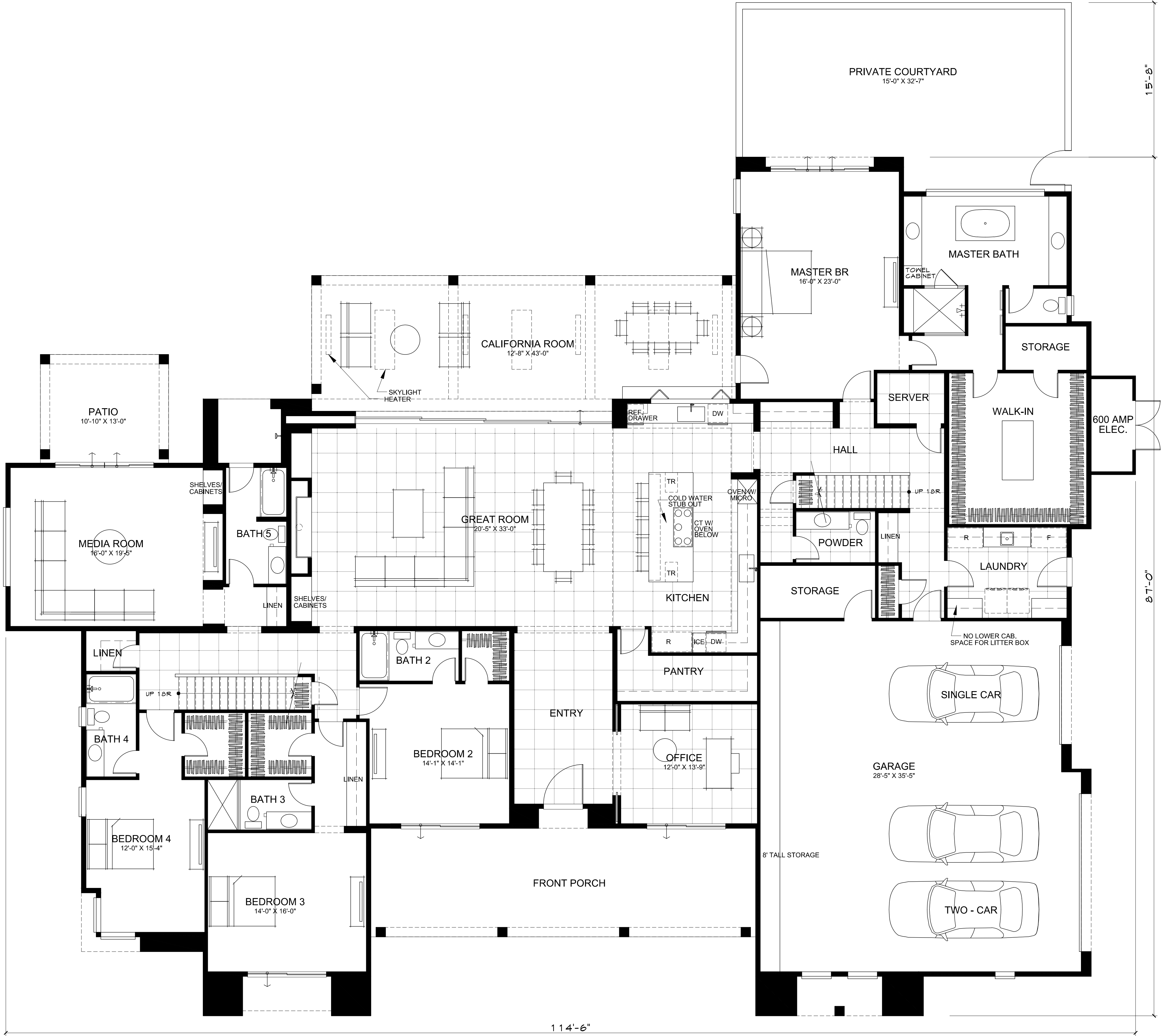
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REVISION 01: 12/14/2021

ORIGINAL DATE: 04/01/2021

SHEET **A1** **OF** **22**

PCD/RPO# _____



MAIN HOUSE - FIRST FLOOR PLAN

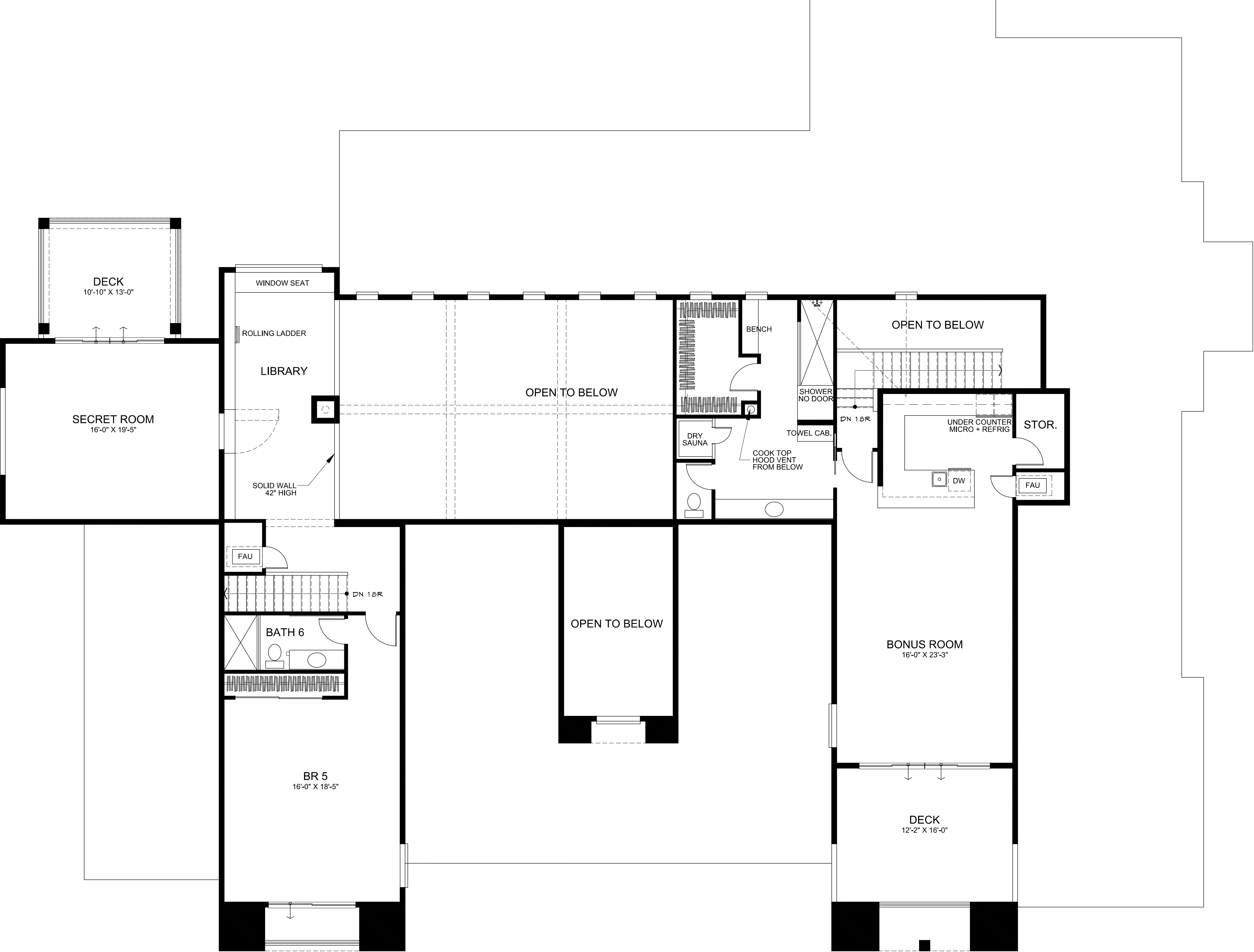


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ADDRESS:	2045 KETTNER BLVD, SUITE 100	REVISION 12:	
	SAN DIEGO, CALIFORNIA 92101	REVISION 11:	
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		REVISION 09:	
PROJECT ADDRESS:	SAN DIEGO, CALIFORNIA	REVISION 08:	
		REVISION 07:	
		REVISION 06:	
		REVISION 05:	
PROJECT NAME:	5175 DEL MAR MESA RD	REVISION 04:	
		REVISION 03:	
		REVISION 02:	
		REVISION 01:	
LEGAL DESCRIPTION:	REFER TO TABLE ON TITLE SHEET	ORIGINAL DATE:	04/01/2021
SHEET TITLE:	MAIN HOUSE	SHEET	A2 OF 22
	FIRST FLOOR PLAN	PCD/RPO#	
	3/16"=1'-0"		



MAIN HOUSE - SECOND FLOOR PLAN



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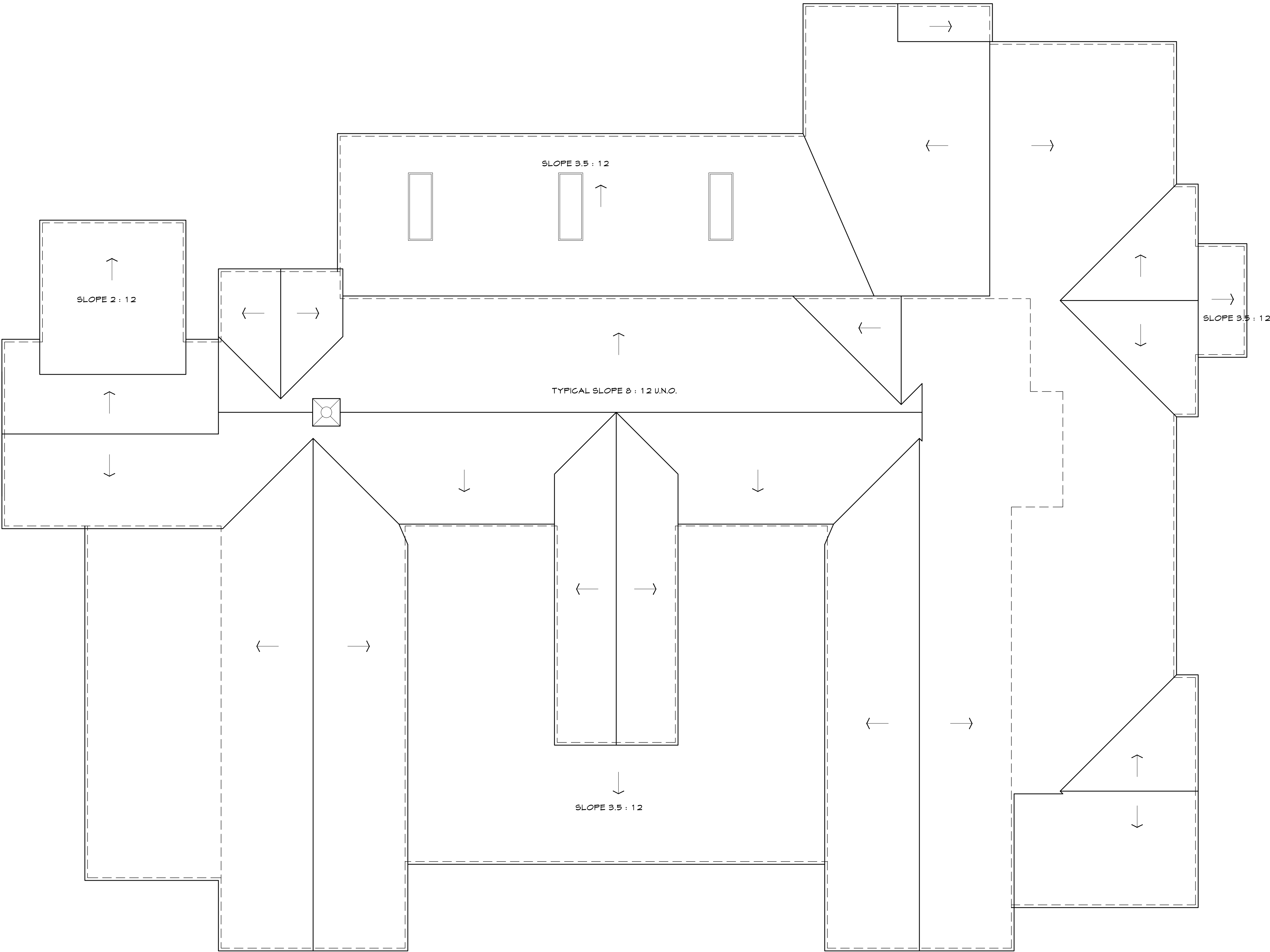
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PHONE #: (619) 299-7070
PROJECT ADDRESS:
SAN DIEGO, CALIFORNIA
PROJECT NAME:
5175 DEL MAR MESA RD
LEGAL DESCRIPTION:
REFER TO TABLE ON TITLE SHEET
SHEET TITLE:
MAIN HOUSE
SECOND FLOOR PLAN
3/16"=1'-0"

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ORIGINAL DATE: 04/01/2021

SHEET **A3** OF **22**

PCD/RPO# _____

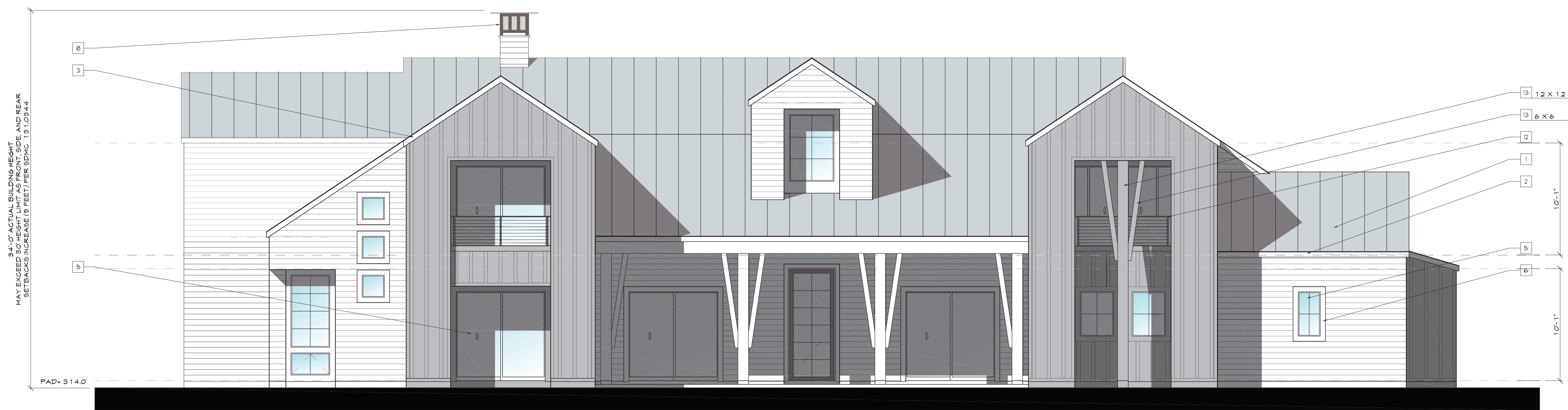


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PHONE #: (619) 299-7070
PROJECT ADDRESS: SAN DIEGO, CALIFORNIA
PROJECT NAME: 5175 DEL MAR MESA RD
LEGAL DESCRIPTION: REFER TO TABLE ON TITLE SHEET
SHEET TITLE: MAIN HOUSE
ROOF PLAN
3/16"=1'-0"

REVISION 14: _____
REVISION 13: _____
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REVISION 01: -
ORIGINAL DATE: 04/01/2021
SHEET A4 OF 22
PCD/RPO# _____



MAIN HOUSE - SOUTH ELEVATION



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TYPICAL BUILDING MATERIALS

- 1 STANDING SEAM METAL ROOF.
- 2 4X RESAWN WOOD FASCIA
- 3 4X RESAWN RAKE BOARD.
- 4 SKYLIGHT.
- 5 METAL WINDOWS/ SLIDING GLASS DOORS.
- 6 WOOD WINDOW TRIM.
- 7 MAIN DOOR.
- 8 METAL CHIMNEY CAP.
- 9 MAIN ENTRY DOOR.
- 10 FRENCH DOOR.
- 11 SECTIONAL ROLL-UP GARAGE DOOR.
- 12 METAL GUARDRAIL/ GATE.

13 RESAWN WOOD POST/ BEAM/ BRACKET/ BRACE/ CORBEL. SIZE AS NOTED.

* ALL WOOD AND METAL ELEMENTS TO BE PAINTED.

HATCH SCHEDULE

- HORIZONTAL LAP SIDING
- BOARD AND BATT SIDING

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SAN DIEGO, CALIFORNIA
PROJECT NAME:
5175 DEL MAR MESA RD
LEGAL DESCRIPTION:
REFER TO TABLE ON TITLE SHEET
SHEET TITLE:
MAIN HOUSE
EXTERIOR ELEVATIONS
3/16"=1'-0"

REVISION 14: _____
REVISION 13: _____
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REVISION 11: _____
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ORIGINAL DATE: 04/01/2021
SHEET **A5** OF **22**
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MAIN HOUSE - EAST ELEVATION



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PROJECT ADDRESS:
SAN DIEGO, CALIFORNIA

PROJECT NAME:
5175 DEL MAR MESA RD

LEGAL DESCRIPTION:
REFER TO TABLE ON TITLE SHEET

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MAIN HOUSE
EXTERIOR ELEVATIONS
3/16"=1'-0"

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ORIGINAL DATE: 04/01/2021

SHEET A6 OF 22

PCD/RPO# _____

TYPICAL BUILDING MATERIALS

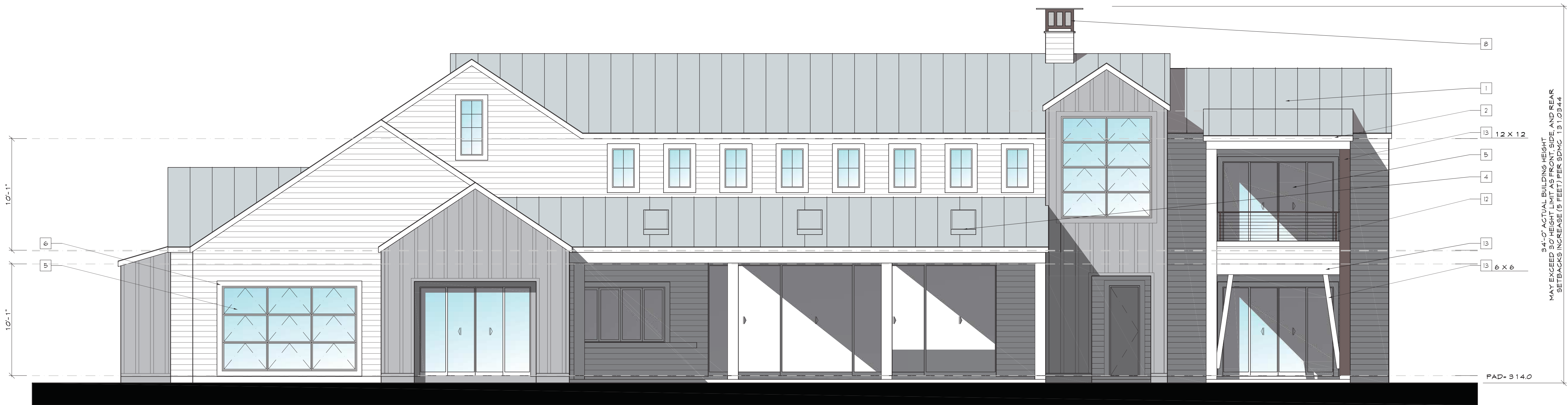
- 1 STANDING SEAM METAL ROOF.
- 2 4X RESAWN WOOD FASCIA
- 3 4X RESAWN RAKE BOARD.
- 4 SKYLIGHT.
- 5 METAL WINDOWS/ SLIDING GLASS DOORS.
- 6 WOOD WINDOW TRIM.
- 7 MAIN DOOR.
- 8 METAL CHIMNEY CAP.
- 9 MAIN ENTRY DOOR.
- 10 FRENCH DOOR.
- 11 SECTIONAL ROLL-UP GARAGE DOOR.
- 12 METAL GUARDRAIL/ GATE.

- 13 RESAWN WOOD POST/ BEAM/ BRACKET/ BRACE/ CORBEL. SIZE AS NOTED.

* ALL WOOD AND METAL ELEMENTS TO BE PAINTED.

HATCH SCHEDULE

- HORIZONTAL LAP SIDING
- BOARD AND BATT SIDING



MAIN HOUSE - NORTH ELEVATION



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TYPICAL BUILDING MATERIALS

- 1 STANDING SEAM METAL ROOF.
- 2 4X RESAWN WOOD FASCIA
- 3 4X RESAWN RAKE BOARD.
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* ALL WOOD AND METAL ELEMENTS TO BE PAINTED.

HATCH SCHEDULE

- HORIZONTAL LAP SIDING
- BOARD AND BATT SIDING

PREPARED BY:
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SAN DIEGO, CALIFORNIA 92101
PHONE #: (619) 299-7070
PROJECT ADDRESS:
SAN DIEGO, CALIFORNIA
PROJECT NAME:
5175 DEL MAR MESA RD
LEGAL DESCRIPTION:
REFER TO TABLE ON TITLE SHEET
SHEET TITLE:
MAIN HOUSE
EXTERIOR ELEVATIONS
3/16"=1'-0"

REVISION 14: _____
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ORIGINAL DATE: 04/01/2021
SHEET A7 OF 22
PCD/RPO# _____



MAIN HOUSE - WEST ELEVATION



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TYPICAL BUILDING MATERIALS

- 1 STANDING SEAM METAL ROOF.
- 2 4X RESAWN WOOD FASCIA
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- 12 METAL GUARDRAIL/ GATE.

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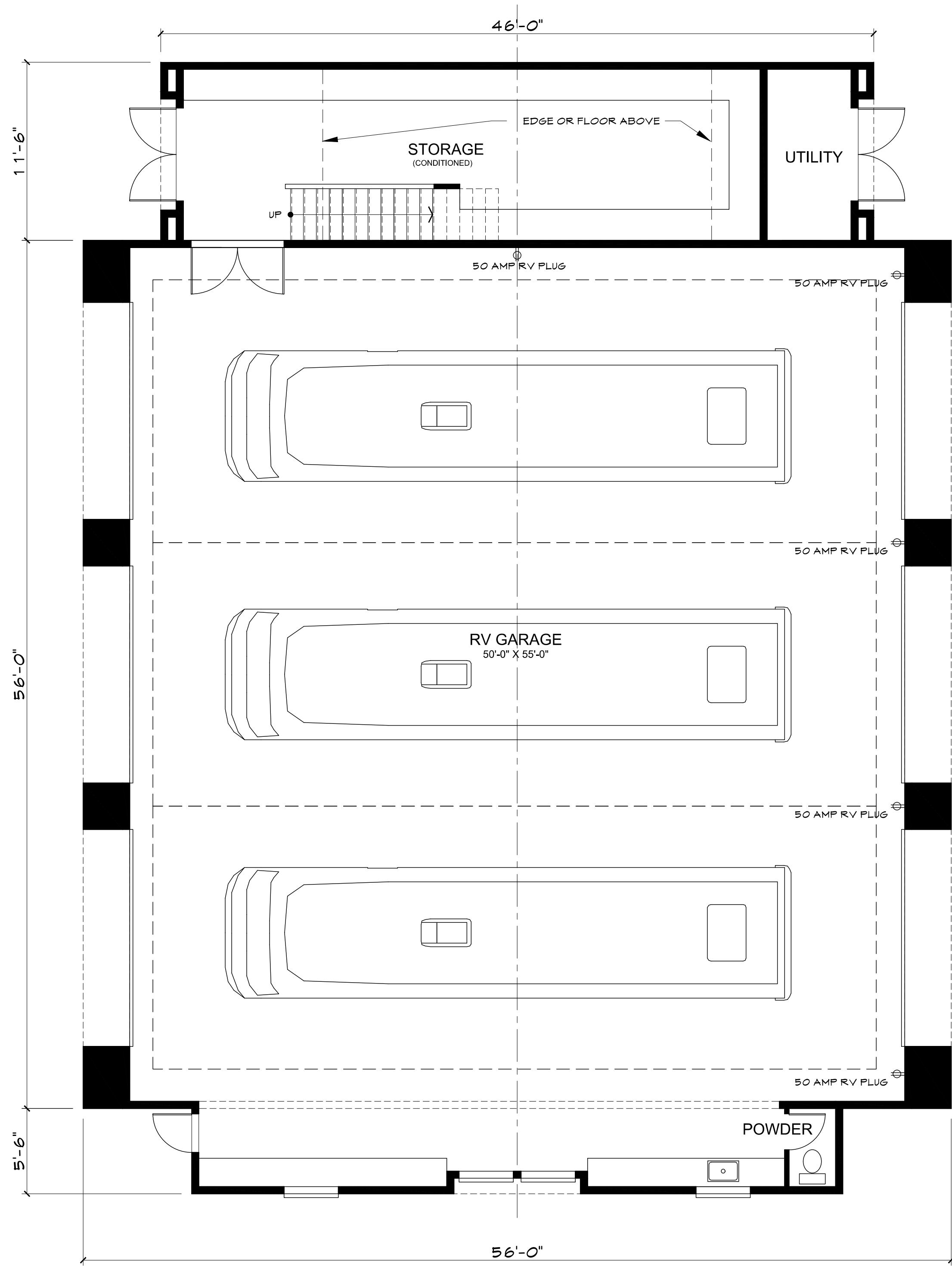
* ALL WOOD AND METAL ELEMENTS TO BE PAINTED.

HATCH SCHEDULE

- HORIZONTAL LAP SIDING
- BOARD AND BATT SIDING

PREPARED BY: STARCK ARCHITECTURE & PLANNING
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PHONE #: (619) 299-7070
PROJECT ADDRESS: SAN DIEGO, CALIFORNIA
PROJECT NAME: 5175 DEL MAR MESA RD
LEGAL DESCRIPTION: REFER TO TABLE ON TITLE SHEET
SHEET TITLE: MAIN HOUSE
EXTERIOR ELEVATIONS
3/16"=1'-0"

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REVISION 01: _____
ORIGINAL DATE: 04/01/2021
SHEET A8 OF 22
PCD/RPO# _____



RV GARAGE - FIRST FLOOR PLAN

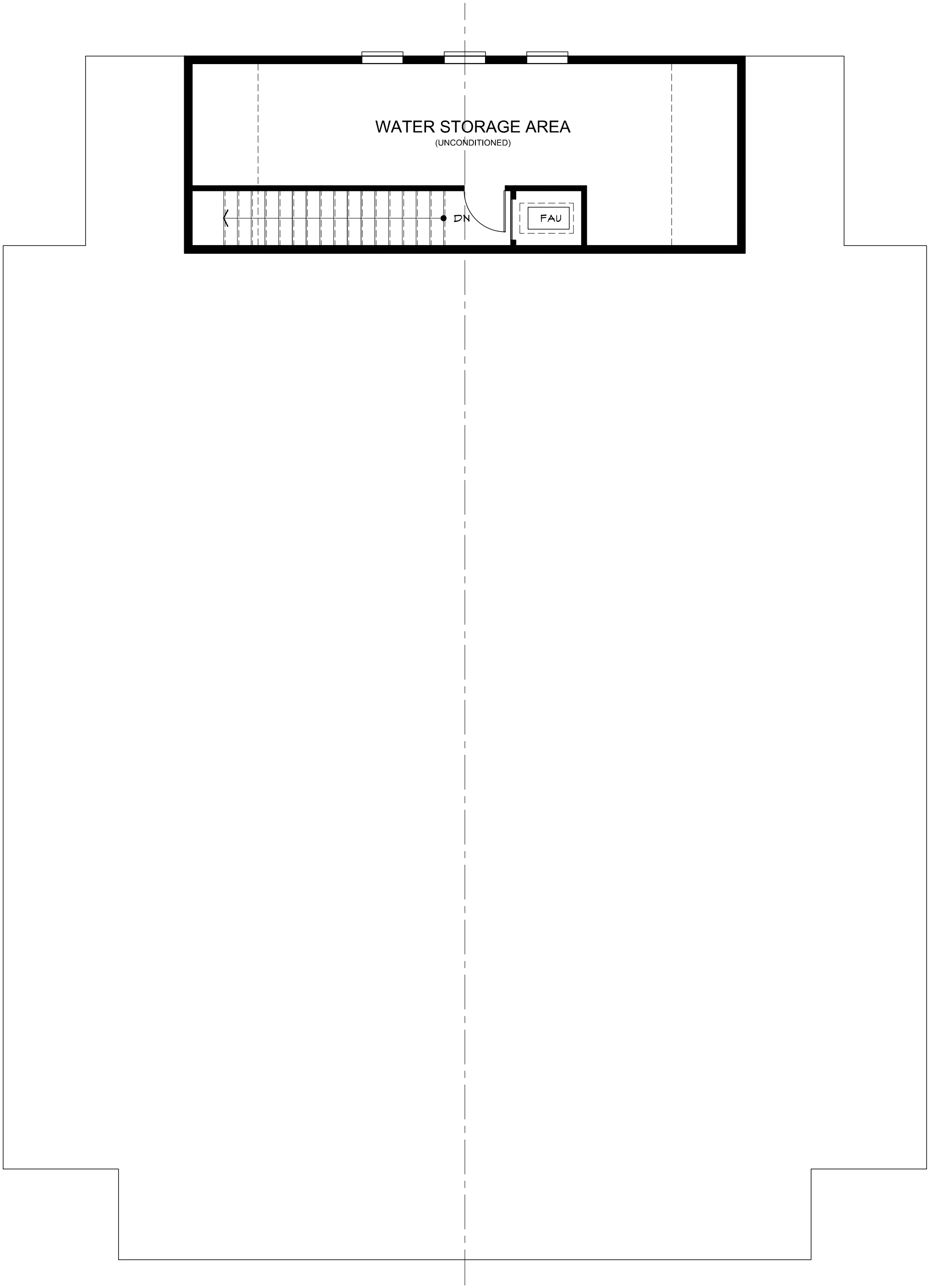


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PHONE #: (619) 299-7070
PROJECT ADDRESS:
SAN DIEGO, CALIFORNIA
PROJECT NAME:
5175 DEL MAR MESA RD
LEGAL DESCRIPTION:
REFER TO TABLE ON TITLE SHEET
SHEET TITLE:
RV GARAGE
FIRST FLOOR PLAN
3/16"=1'-0"

REVISION 14: _____
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ORIGINAL DATE: 04/01/2021
SHEET A9 OF 22
PCD/RPO# _____



RV GARAGE - SECOND FLOOR PLAN



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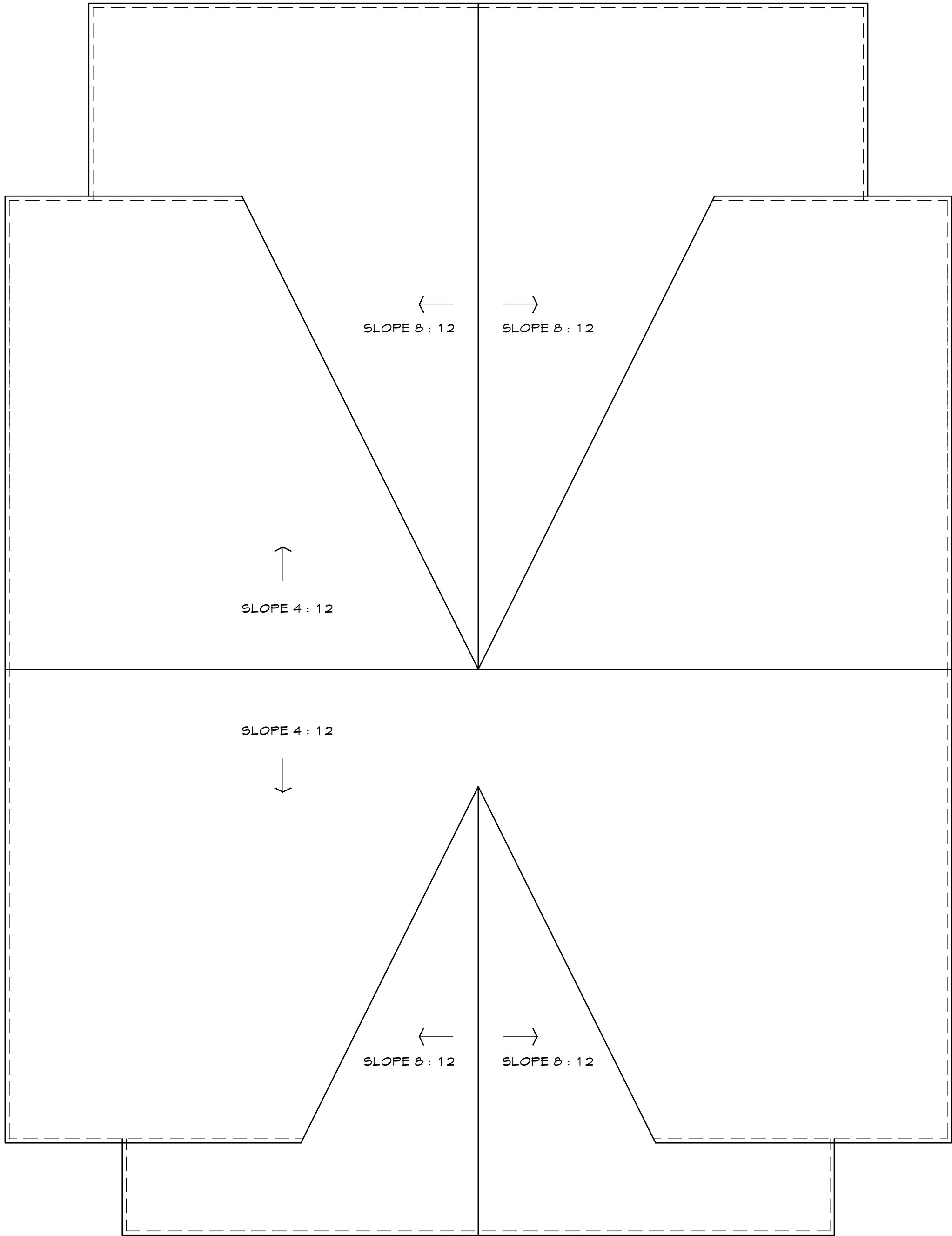
PREPARED BY:
NAME: STARCK ARCHITECTURE & PLANNING
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SAN DIEGO, CALIFORNIA 92101
PHONE #: (619) 299-7070
PROJECT ADDRESS:
SAN DIEGO, CALIFORNIA
PROJECT NAME:
5175 DEL MAR MESA RD
LEGAL DESCRIPTION:
REFER TO TABLE ON TITLE SHEET
SHEET TITLE:
RV GARAGE
SECOND FLOOR PLAN
3/16"=1'-0"

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REVISION 03: _____
REVISION 02: _____
REVISION 01: _____

ORIGINAL DATE: 04/01/2021

SHEET A10 OF 22

PCD/RPO# _____



RV GARAGE - ROOF PLAN



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PROJECT ADDRESS:
SAN DIEGO, CALIFORNIA

PROJECT NAME:
5175 DEL MAR MESA RD

LEGAL DESCRIPTION:
REFER TO TABLE ON TITLE SHEET

SHEET TITLE:
RV GARAGE
ROOF PLAN
3/16"=1'-0"

REVISION 14: _____
REVISION 13: _____
REVISION 12: _____
REVISION 11: _____
REVISION 10: _____
REVISION 09: _____
REVISION 08: _____
REVISION 07: _____
REVISION 06: _____
REVISION 05: _____
REVISION 04: _____
REVISION 03: _____
REVISION 02: _____
REVISION 01: _____

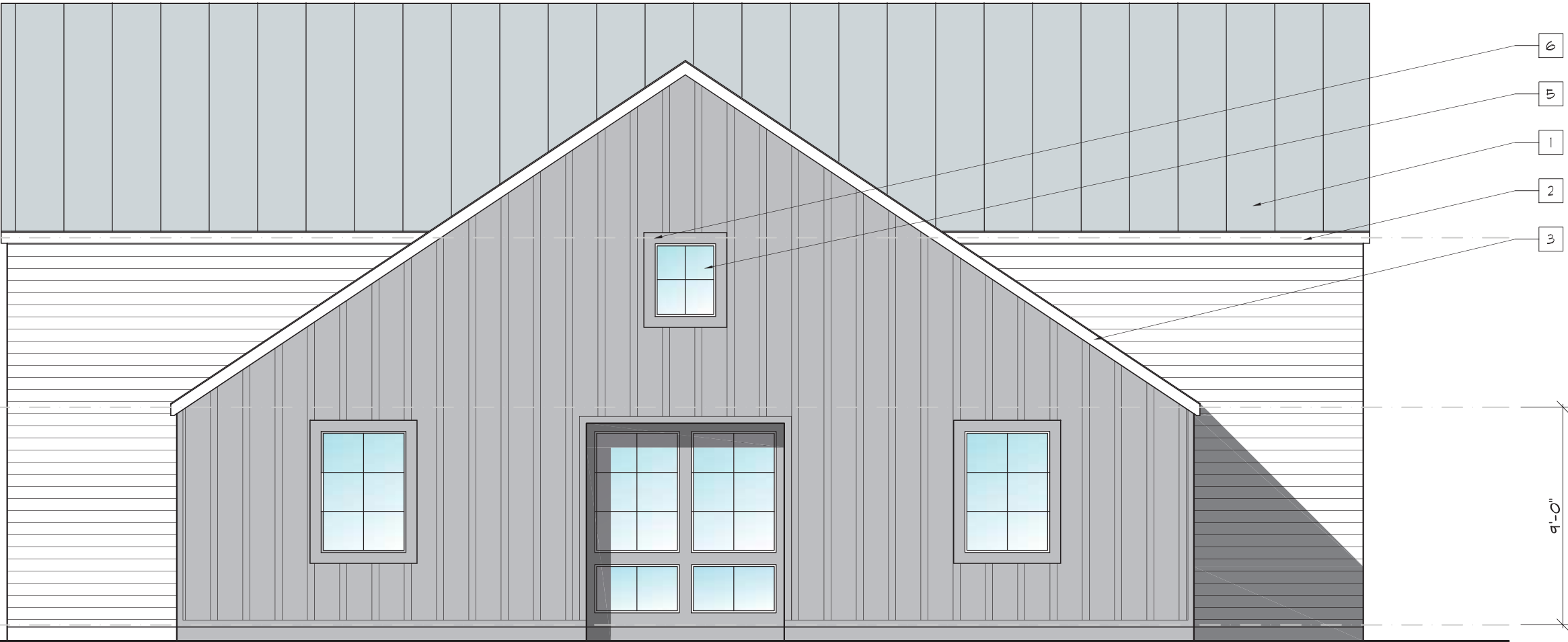
ORIGINAL DATE: 04/01/2021

SHEET A11 OF 22

PCD/RPO# _____



RV GARAGE - WEST ELEVATION



RV GARAGE - SOUTH ELEVATION

TYPICAL BUILDING MATERIALS

- 1 STANDING SEAM METAL ROOF.
- 2 4X RESAWN WOOD FASCIA
- 3 4X RESAWN RAKE BOARD.
- 4 SKYLIGHT.
- 5 METAL WINDOWS/ SLIDING GLASS DOORS.
- 6 WOOD WINDOW TRIM.
- 7 MAIN ENTRY DOOR.
- 8 METAL CHIMNEY CAP.
- 9 MAIN ENTRY DOOR.
- 10 FRENCH DOOR.
- 11 SECTIONAL ROLL-UP GARAGE DOOR.
- 12 METAL GUARDRAIL/ GATE.

- 13 RESAWN WOOD POST/ BEAM/ BRACKET/ BRACE/ CORBEL. SIZE AS NOTED.

* ALL WOOD AND METAL ELEMENTS TO BE PAINTED.

HATCH SCHEDULE

- HORIZONTAL LAP SIDING
- BOARD AND BATT SIDING



STARCK
Architecture + Planning

2045 Kettner Blvd, Suite 100
San Diego, CA 92101
619.299.7070
www.starckap.com

PREPARED BY:
NAME: STARCK ARCHITECTURE & PLANNING
ADDRESS: 2045 KETTNER BLVD, SUITE 100
SAN DIEGO, CALIFORNIA 92101
PHONE #: (619) 299-7070

PROJECT ADDRESS:
SAN DIEGO, CALIFORNIA

PROJECT NAME:
5175 DEL MAR MESA RD

LEGAL DESCRIPTION:
REFER TO TABLE ON TITLE SHEET

SHEET TITLE:
RV GARAGE
EXTERIOR ELEVATIONS
3/16"=1'-0"

REVISION 14: _____
REVISION 13: _____
REVISION 12: _____
REVISION 11: _____
REVISION 10: _____
REVISION 09: _____
REVISION 08: _____
REVISION 07: _____
REVISION 06: _____
REVISION 05: _____
REVISION 04: _____
REVISION 03: _____
REVISION 02: _____
REVISION 01: _____

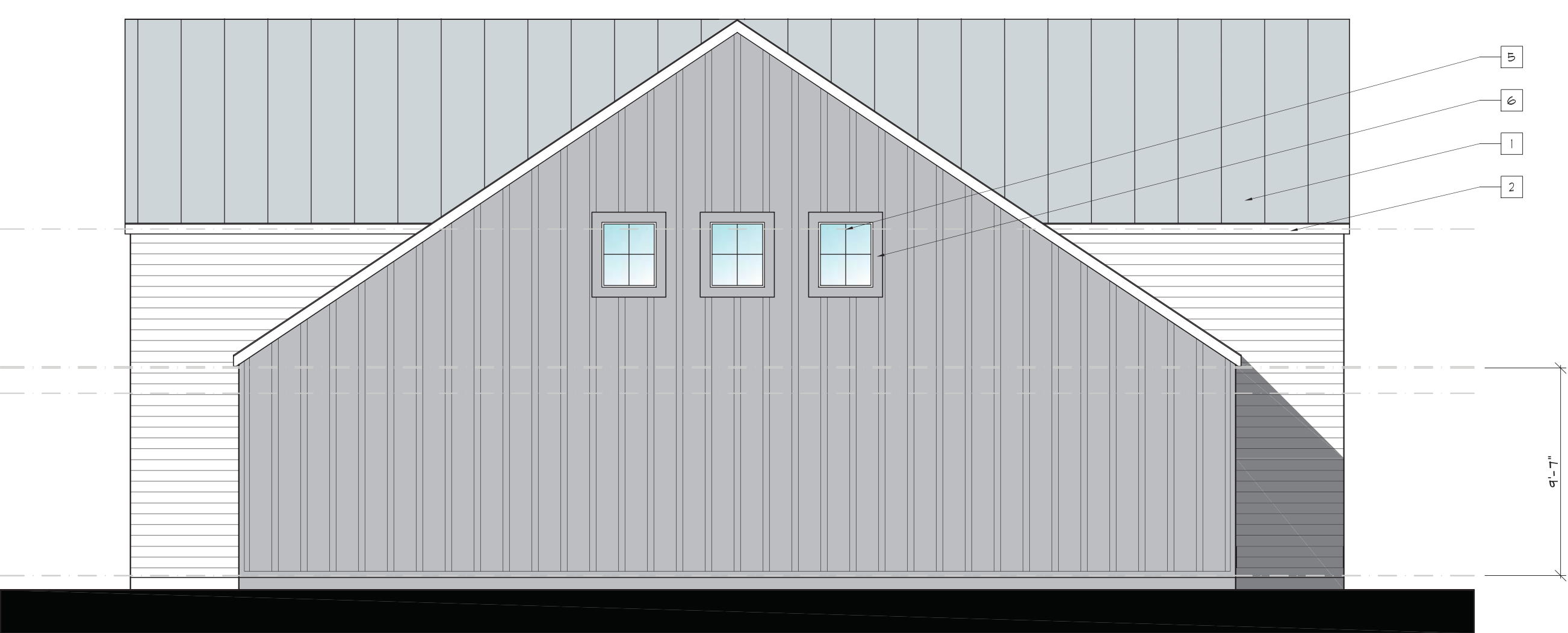
ORIGINAL DATE: 04/01/2021

SHEET A12 OF 22

PCD/RPO# _____



RV GARAGE - EAST ELEVATION



RV GARAGE - NORTH ELEVATION

TYPICAL BUILDING MATERIALS	
1 STANDING SEAM METAL ROOF.	13 RESAWN WOOD POST/ BEAM/ BRACKET/ BRACE/ CORBEL SIZE AS NOTED.
2 4X RESAWN WOOD FASCIA	
3 4X RESAWN RAKE BOARD.	
4 SKYLIGHT.	
5 METAL WINDOWS/ SLIDING GLASS DOORS.	
6 WOOD WINDOW TRIM.	
7 MAIN ENTRY DOOR.	
8 METAL CHIMNEY CAP.	
9 MAIN ENTRY DOOR.	
10 FRENCH DOOR.	
11 SECTIONAL ROLL-UP GARAGE DOOR.	
12 METAL GUARDRAIL/ GATE.	

* ALL WOOD AND METAL ELEMENTS TO BE PAINTED.

HATCH SCHEDULE	
	HORIZONTAL LAP SIDING
	BOARD AND BATT SIDING



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PHONE #: (619) 299-7070

PROJECT ADDRESS:
SAN DIEGO, CALIFORNIA

PROJECT NAME:
5175 DEL MAR MESA RD

LEGAL DESCRIPTION:
REFER TO TABLE ON TITLE SHEET

SHEET TITLE:
RV GARAGE
EXTERIOR ELEVATIONS
3/16"=1'-0"

REVISION 14: _____

REVISION 13: _____

REVISION 12: _____

REVISION 11: _____

REVISION 10: _____

REVISION 09: _____

REVISION 08: _____

REVISION 07: _____

REVISION 06: _____

REVISION 05: _____

REVISION 04: _____

REVISION 03: _____

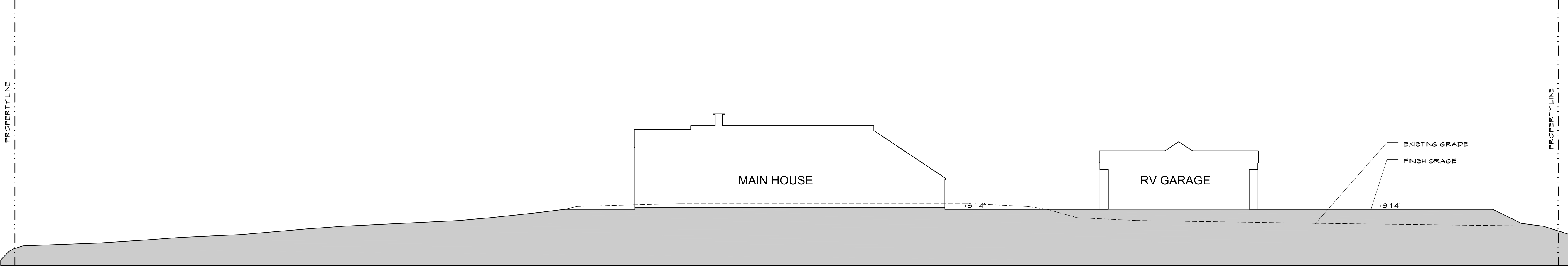
REVISION 02: _____

REVISION 01: _____

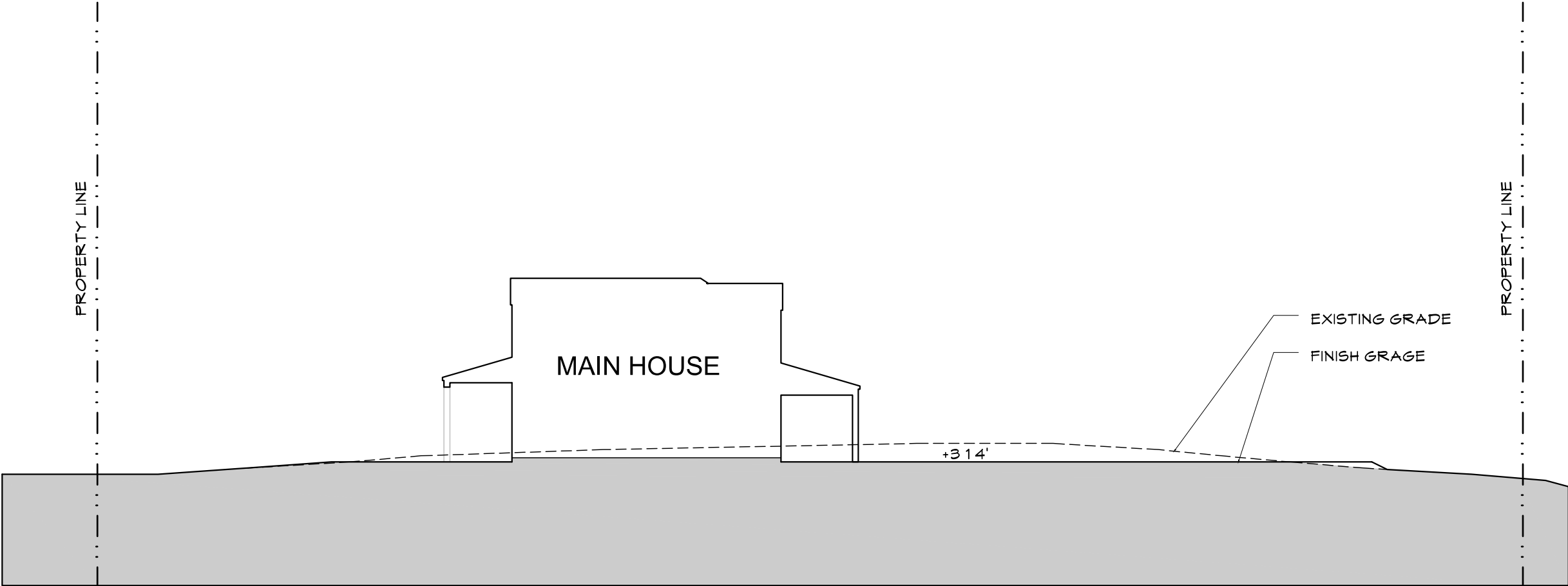
ORIGINAL DATE: 04/01/2021

SHEET A13 OF 22

PCD/RPO# _____



SECTION A-A



SECTION B-B



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PREPARED BY:
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SAN DIEGO, CALIFORNIA 92101
PHONE #: (619) 299-7070
PROJECT ADDRESS:
SAN DIEGO, CALIFORNIA
PROJECT NAME:
5175 DEL MAR MESA RD
LEGAL DESCRIPTION:
REFER TO TABLE ON TITLE SHEET
SHEET TITLE:
SITE SECTIONS
1"=20'-0"

REVISION 14: _____
REVISION 13: _____
REVISION 12: _____
REVISION 11: _____
REVISION 10: _____
REVISION 09: _____
REVISION 08: _____
REVISION 07: _____
REVISION 06: _____
REVISION 05: _____
REVISION 04: _____
REVISION 03: _____
REVISION 02: _____
REVISION 01: _____

ORIGINAL DATE: 04/01/2021

SHEET **A14** OF **22**

PCD/RPO# _____

K8- LOT 1 COLOR SCHEDULE					
Keshif 2020017					
Exterior Color Schemes					
April 1, 2021					
COLOR SCHEME	• HORIZONTAL LAP SIDING • FASCIA • WIDOW TRIM AT HZ • POSTS AND BEAMS AT HZ • MAN DOORS AT HZ	• BOARD AND BATT SIDING • WIDOW TRIM AT B&B • POSTS AND BEAMS AT B&B • MAN DOORS AT B&B	• STEEL GUARDRAILS • CHIMNEY CAP	• FRONT DOOR • FRENCH DOORS	• STANDING SEAM METAL ROOF
1	SW 7008 255-C2	SW 7669 282-C5	SW 6994 251-C6	SW 6994 251-C6	ZINCALUME PLUS SRI-65 24 GAUGE
ALL COLOR TO BREAK INSIDE CORNERS. RAIN GUTTERS AND DOWNSPOUTS TO BE FACTORY-FINISH BEST-MATCH TO ADJACENT SURFACE.					
•	PAINT: BY SHERWIN WILLIAMS (SW). CONTACT: JOHN DUMESNIL / (619) 665-9341 / john.t.dumesnil@sherwin.com				
•	STANDING SEAM METAL ROOF: 24 GAUGE KYNAR BY NU-RAY METALS. PANELS: NRM-1000 16" WIDE WITH 1.5" RIB HEIGHT				
•	HIGHLIGHTS DISPLAY ADJUSTMENTS MADE TO THE ORIGINAL COLOR SCHEDULE, DATED 3/17/21				



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PREPARED BY:
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SAN DIEGO, CALIFORNIA 92101
PHONE #: (619) 299-7070

PROJECT ADDRESS:
SAN DIEGO, CALIFORNIA

PROJECT NAME:
5175 DEL MAR MESA RD

LEGAL DESCRIPTION:
REFER TO TABLE ON TITLE SHEET

SHEET TITLE:
COLOR SCHEDULE
N.T.S.

REVISION 14: _____

REVISION 13: _____

REVISION 12: _____

REVISION 11: _____

REVISION 10: _____

REVISION 09: _____

REVISION 08: _____

REVISION 07: _____

REVISION 06: _____

REVISION 05: _____

REVISION 04: _____

REVISION 03: _____

REVISION 02: _____

REVISION 01: _____

ORIGINAL DATE: 04/01/2021

SHEET A15 OF 22

PCD/RPO# _____

GMA
GEORGE MERGER ASSOCIATES INC.
LANDSCAPE ARCHITECTURE
990 SEACREST DRIVE, STE. 20
IMPERIAL BEACH, CA 91932
(619) 882-2499
E-mail: smercers@sbcglobal.net



CLIENT
Keshif Properties LLC

PROJECT
5 175 DEL MAR MESA RD.

CHANGES

5/8/21	PROGRESS
1/24/22	PROGRESS

PROGRESS PRINT DATE

DESIGN	GM
DRAWN	GM
CHECKED	
SCALE	1" = 40'
PROJECT	21-045

SHEET
L-1
OF 22 SHEET

PLANTING LEGEND

SYMBOL	DESCRIPTION	SIZE
	DEL MAR MESA ROAD STREET TREE SUCH AS: QUERCUS AGRIFOLIA - COAST LIVE OAK SCHINUS MOLLE - CALIFORNIA PEPPER TREE	24" BOX STANDARD/ SINGLE TRUNK
	INTERNAL STREET TREE SUCH AS: ACACIA STENOPHYLLA - SHOESTRING ACACIA GEUERA PARVIFLORA - AUSTRALIAN WILLOW KOELREUTERIA BIPINNATA - CHINESE FLAME TREE PODOCARPUS GRACILIOR - FERN PINE	24" BOX STANDARD/ SINGLE TRUNK
	FLOWERING ACCENT TREE SUCH AS: CASSIA LEPTOPHYLLA - GOLD MEDALLION TREE CORYMBIA FICIFOLIA - RED FLOWERING GUM LAGERSTROEMIA CV. - CRAPE MYRTLE	24" BOX
	SLOPE TREE SUCH AS: EUCALYPTUS SIDEROXYLON - BLACK IRONBARK RHUS LANCEA - SUMAC SCHINUS MOLLE - CALIFORNIA PEPPER	15 GAL.
	SLOPE SHRUB SUCH AS: ACACIA 'DESERT CARPET' - PROSTRATE NATAL PLUM CEARANTHUS 'YANKEE POINT' - CARMEL CREEPER LANTANA CAMARA CVS. ROSMARINUS 'IRENE' - PROSTRATE ROSEMARY CISTUS SSP. - ROCK ROSES SALVIA SPECIES - SAGES WESTRINGIA FRUTICOSA - COAST ROSEMARY	5 GAL.
	MEDIUM SHRUB SUCH AS: CALLISTEMON 'LITTLE JOHN' - DWARF BOTTLEBRUSH PITTOPOSORUM TOB. 'VARIEGATA' RHAPHIOLEPIS INDICA 'CLARA' RHAPHIOLEPIS UMBELLATA 'MINOR' - DWARF YEDDO STRELITZIA REGINAE - BIRD-OF-PARADISE	5 GAL.
	ACCENT SHRUBS SUCH AS: AGAVE ATTENUATA - FOXTAIL AGAVE ALOE STRIATA - CORAL ALOE DIANELLA TASMANICA - 'VARIEGATA' - BLUEBERRY FLAX LILY PHORMIUM CVS. - NEW ZEALAND FLAX LIMONIUM PEREZII - STATICE	1 GAL.
	ON SLOPES: GROUND COVERS SUCH AS: BACCHARIS TWIN PEAKS 2 - PROSTRATE COYOTE BUSH GAZANIA 'MITSUWA YELLOW' - YELLOW TRAILING GAZANIA MYOPORUM PARVIFOLIUM PLANTED THROUGH EROSION CONTROL STRAW MATTING	1 GAL.
	AT ALL PLANTED AREAS AND PAD AREAS: 3" DEPTH MULCH: 'FOREST FINES' OR SIMILAR FROM AGRISERVICE	
	AT BIOSWALES/FILTRATION BASINS: CAREX DIVULSA/PANSA - BERKELEY SEDGE/MEADOW SEDGE WITH ACCENT GROUPS OF: CHONDROPETALUM TECTORUM, MUHLENBERGIA RIGENS AND MONKEY FLOWER	1 GAL.
	EXISTING TREES TO REMAIN PROVIDE LOW VOLUME IRRIGATION TO EXISTING TREES TO REMAIN, AS NECESSARY TO SUSTAIN VEGETATION IN A HEALTHY CONDITION AND TO PROMOTE FIRE RESISTANCE	
	EXISTING TREES TO BE REMOVED TREE SPECIES: EU - EUCALYPTUS SPECIES PI - PINE SM - SCHINUS MOLLE - CALIFORNIA PEPPER TREE	

LANDSCAPE STANDARDS:
All landscape and irrigation shall conform to the standards of the City-Wide Landscape Regulations and the City of San Diego Landscape Development Manual Landscape Standards and all other landscape related City and Regional Standards

APPLICABLE LANDSCAPE REGULATIONS
Per Table 141-04A the proposed project is subject to SDMC 142.0403, 142.0412, and 142.0413.

MINIMUM TREE SEPARATION DISTANCE
Traffic signals / stop signs - 20 feet
Underground utility lines - 5 feet (10' for sewer)
Above ground utility structures - 10 feet
Driveway (entries) - 10 feet
Intersections (intersecting curb lines of two streets) - 25 feet

IRRIGATION
An automatic, electrically controlled irrigation system shall be provided as required by LDC 142.0403(c) for proper irrigation, development, and maintenance of the vegetation in a healthy, disease-resistant condition. The design of the system shall provide adequate support for the vegetation selected. Irrigation shall be drip and bubbler type at level pad areas. Bioretention basins shall be irrigated with low volume MP rotator system.

MAINTENANCE
All required landscape areas shall be maintained by the Property Owner. Landscape and irrigation areas in the public right-of-way shall be maintained by the Property Owner. The landscape areas shall be maintained free of debris and litter, and all plant material shall be maintained in a healthy growing condition. Diseased or dead plant material shall be satisfactorily treated or replaced per the conditions of the permit.

TREE ROOT ZONE
A minimum root zone of 40 sf in area shall be provided for all trees. The minimum dimension for this area shall be 5 feet, per SDMC 142.0403(b)(5).

TREE ROOT BARRIERS
Tree root barriers shall be installed where trees are placed within 5 feet of public improvements including walks, curbs or street pavements, or where new public improvements are placed adjacent to existing trees. The root barrier will not wrap around the root ball.

LONG TERM MAINTENANCE
All required onsite landscape as shown on these plans shall be maintained by the Property Owner.

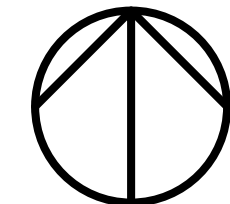
MULCH
All planting areas, except those receiving decorative rock, shall receive min. 3" depth of decorative shredded mulch per City of San Diego Standards

LANDSCAPE DESIGN STATEMENT

The landscape design of the project is intended to meet the criteria established by the City of San Diego and current codes.

The plant palettes and automatic irrigation systems are designed to be within the Water Budget as defined by City Code.

No invasive exotic species (as defined by the California Invasive Plant Council) will be planted at the project. The street palette follows the City of San Diego criteria, utilizing the existing Mexican fan palms theme of the area



NORTH



GRAPHIC SCALE

SCALE: 1" = 40'



PRELIMINARY LANDSCAPE PLAN
NOT FOR CONSTRUCTION

IF PLAN IS LESS THAN 24" X 36"
IT IS A REDUCED PRINT.
REDUCE SCALE ACCORDINGLY.

EASEMENTS OF RECORD

- 4 EASEMENTS FOR ACCESS, UTILITIES BY VARIOUS DEEDS OVER PARCELS 2, 3 AND 4.
- 5 AN EASEMENT FOR ROAD AND INCIDENTAL PURPOSES, RECORDED JUNE 01, 1959, INSTRUMENT NO. 59-109850, BOOK 7691, PAGE 507, O.R.
- 6 THE TERMS AND PROVISIONS CONTAINED IN THE DOCUMENT ENTITLED "WATER AGREEMENT" RECORDED JUNE 01, 1959, INSTRUMENT NO. 59-109853, BOOK 7691, PAGE 510, O.R.
- 7 AN EASEMENT FOR PUBLIC UTILITIES, INGRESS AND EGRESS AND INCIDENTAL PURPOSES, RECORDED FEBRUARY 27, 1970, INSTRUMENT NO. 70-38949, O.R.
- 8 THE TERMS AND PROVISIONS CONTAINED IN THE DOCUMENT ENTITLED "DECLARATION OF COVENANTS FOR PUBLIC IMPROVEMENTS" RECORDED JULY 28, 1978, INSTRUMENT NO. 78-318554, O.R.
- 9 THE EFFECT OF A DOCUMENT ENTITLED "RESOLUTION NUMBER R-293156", RECORDED JUNE 12, 2000, INSTRUMENT NO. 2000-308786, O.R.
- 10 AN EASEMENT FOR RIGHT OF WAY FOR ROAD PURPOSES AND INCIDENTAL PURPOSES, RECORDED JULY 10, 2000, INSTRUMENT NO. 00-362543, O.R.
- 11 AN EASEMENT FOR PUBLIC UTILITIES, INGRESS AND EGRESS AND INCIDENTAL PURPOSES, RECORDED JULY 19, 2002, INSTRUMENT NO. 2002-609912, O.R.
- 12 THE TERMS, PROVISIONS AND EASEMENT(S) CONTAINED IN THE DOCUMENT ENTITLED "AGREEMENT TERMINATING EXISTING EASEMENTS" RECORDED DECEMBER 09, 2002, INSTRUMENT NO. 02-116256, O.R.
- 13 THE TERMS, PROVISIONS AND EASEMENT(S) CONTAINED IN THE DOCUMENT ENTITLED "EASEMENT AGREEMENT" RECORDED DECEMBER 09, 2002, INSTRUMENT NO. 02-116256, O.R.
- 14 AN EASEMENT FOR WATERLINE PURPOSES RECORDED FEBRUARY 5, 2003, INSTRUMENT NO. 2003-013267, O.R., CUP NO. 681056, CDP NO. 681055, RECORDED NOVEMBER 6, 2009, INSTRUMENT NO. 2009-0621971, OF OFFICIAL RECORDS.
- 16 EASEMENT AGREEMENT FOR ACCESS AND UTILITIES, RECORDED OCTOBER 14, 2013, INSTRUMENT NO. 2013-0616591, O.R.

LEGAL DESCRIPTION

REAL PROPERTY IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, DESCRIBED AS FOLLOWS:

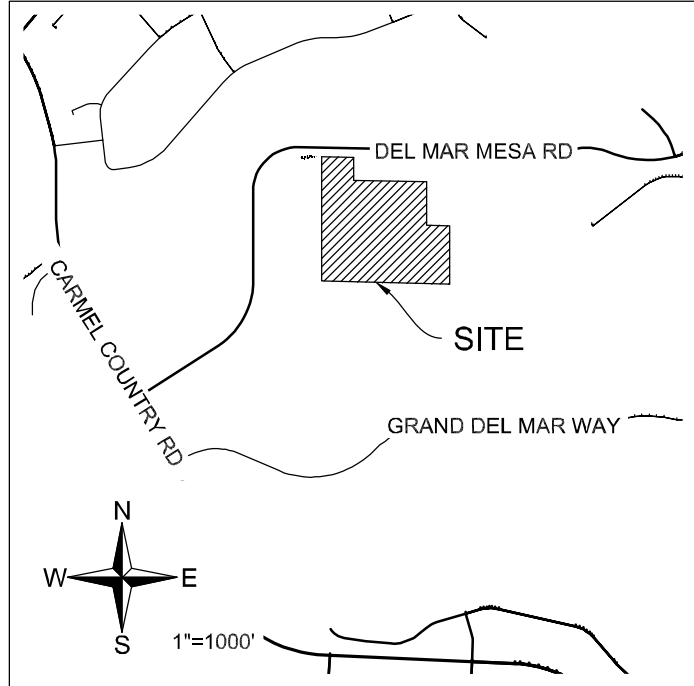
PARCEL 1: THE NORTHWEST QUARTER OF THE NORTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 20, TOWNSHIP 14 SOUTH, RANGE 3 WEST, SAN BERNARDINO MERIDIAN, IN THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO UNITED STATES GOVERNMENT SURVEY, MAY 20, 1884, EXCEPTING THE NORTHERLY 120 FEET OF THE EASTERLY 500 FEET THEREOF, ALSO EXCEPTING THE SOUTHERLY 226 FEET OF THE NORTHERLY 348 FEET OF THE EASTERLY 120 FEET THEREOF, ALSO EXCEPTING THEREFROM 50 PER-CENT OF ALL MINERALS AND RIGHTS IN RELATION THERETO, INCLUDING ALL OIL, GAS AND PETROLEUM AND LINE SUBSTANCES, AS EXECUTED IN DEED FROM JOHN NIEMANN, A SINGLE MAN, RECORDED JULY 25, 1952.

PARCEL 2: AN EASEMENT FOR ROAD, UTILITY AND PIPELINE PURPOSES OVER THE EASTERLY 20 FEET OF THE NORTHERLY 120 FEET OF SAID NORTHWEST QUARTER OF THE NORTHEAST QUARTER OF THE SOUTHEAST QUARTER AND OVER THE SOUTHERLY 20 FEET OF THE NORTHERLY 140 FEET OF THE EASTERLY 120 FEET OF SAID NORTHWEST QUARTER OF THE NORTHEAST QUARTER OF THE SOUTHEAST QUARTER. THE EASEMENT HEREIN DESCRIBED IS HEREBY DECLARED TO BE APPURTENANT TO AND FOR THE USE AND BENEFIT OF THE PRESENT AND FUTURE OWNERS OF ALL OR ANY PORTION OF PARCEL 1, ABOVE.

PARCEL 3: A NON-EXCLUSIVE EASEMENT AND RIGHT OF WAY FOR INGRESS AND EGRESS FOR VEHICLE, PEDESTRIAN AND UTILITY PURPOSES OVER, UNDER AND ACROSS THE WESTERLY 20 FEET OF THE EAST HALF TOGETHER WITH THE EASTERLY 20 FEET OF THE WEST HALF OF THE NORTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 20, TOWNSHIP 14 SOUTH, RANGE 3 WEST, SAN BERNARDINO MERIDIAN, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO THE OFFICIAL PLAT THEREOF, EXCEPTING THEREFROM THAT PORTION THEREOF LYING WITHIN PARCEL 1 ABOVE DESCRIBED.

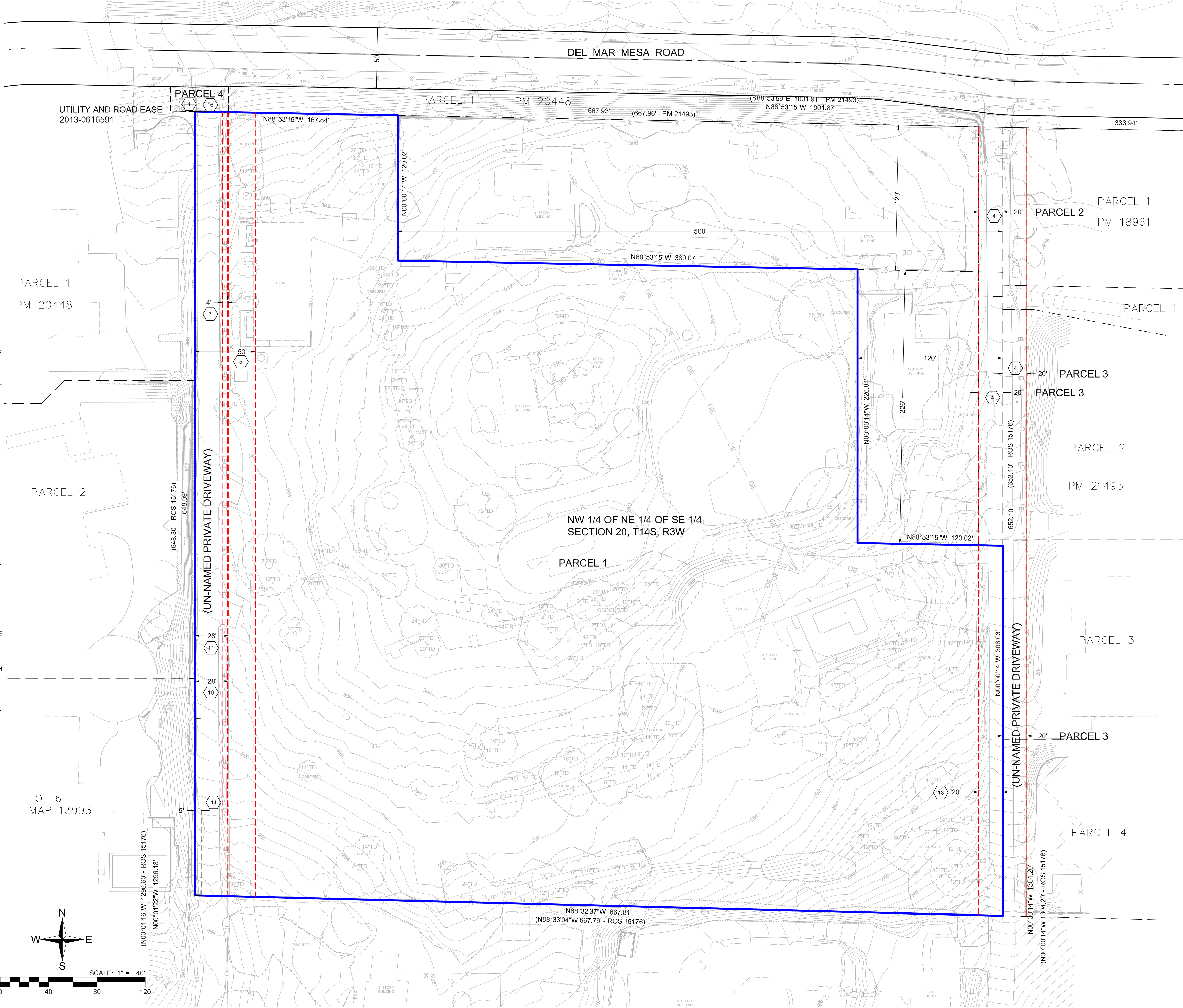
PARCEL 4: A NON-EXCLUSIVE EASEMENT AND RIGHT-OF-WAY FOR INGRESS AND EGRESS FOR VEHICLE, EQUESTRIAN, PEDESTRIAN AND UTILITY PURPOSES OVER, UNDER AND ACROSS THAT PORTION OF PARCEL 1 OF PARCEL MAP NO. 20448, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, MARCH 7, 2008 AS FILE NO. 2008-0121935 OF OFFICIAL RECORDS, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: BEGINNING AT THE NORTHWEST CORNER OF NORTHWEST QUARTER OF THE NORTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 20, TOWNSHIP 14 SOUTH, RANGE 3 EAST, 36M; THENCE NORTH 88°52'39" WEST, 20.00 FEET; THENCE NORTH 00°01'16" WEST, 20.00 FEET TO A POINT ON THE NORTHERLY LINE OF SAID PARCEL 1; THENCE EASTERLY ALONG SAID NORTHERLY LINE OF PARCEL 1, SOUTH 88°52'39" EAST, 18.70 FEET; THENCE CONTINUING ALONG SAID NORTHERLY LINE NORTH 88°49'55" EAST, 29.30 FEET; THENCE LEAVING SAID NORTHERLY LINE SOUTH 00°01'16" EAST, 21.18 FEET TO A POINT ON THE SOUTHERLY LINE OF SAID PARCEL 1; THENCE WESTERLY ALONG SAID SOUTHERLY LINE NORTH 88°52'39" WEST, 28.01 FEET TO THE POINT OF BEGINNING. APN: 307-041-09-00

VICINITY MAP



PASCO LARET SUITER & ASSOCIATES
San Diego | Solana Beach | Orange County
Phone 858.259.8212 | www.plsaengineering.com

TOPOGRAPHIC SURVEY MAP -- 5175 DEL MAR MESA ROAD



SURVEYOR'S STATEMENT

THIS MAP CORRECTLY REPRESENTS A SURVEY MADE BY ME OR UNDER MY DIRECTION IN CONFORMANCE WITH THE REQUIREMENTS OF THE PROFESSIONAL LAND SURVEYORS' ACT ON JULY 16, 2020.

GARY D. MELLOM
GARY D. MELLOM, PLS 8537
5/28/2021 (REV2)
9/17/2020 (REV1)
8/6/2020
DATE



PROJECT INFORMATION

CLIENT: KESHIF PROPERTIES, LLC
ADDRESS: 5175 DEL MAR MESA ROAD, SAN DIEGO, CA 92130
APN: 307-041-09

SURVEY NOTES

- THE BOUNDARIES AND DIMENSIONS OF THE SURVEYED PARCEL(S) SHOWN HEREON ARE BASED ON A FIELD SURVEY. RECORD DIMENSIONS MAY VARY. THE BOUNDARIES OF ADJOINING PARCELS WERE COMPILED FROM RECORDED OR FILED DATA, AND ARE TO BE USED FOR PLANNING PURPOSES ONLY.
- THE BASIS OF BEARING FOR THIS SURVEY IS THE CALIFORNIA COORDINATE SYSTEM 1983 (CCS83), ZONE 6, 2017.5 EPOCH, AND IS DETERMINED BY G.P.S. MEASUREMENTS TAKEN ON JULY 24, 2020 AT POINTS A & B SHOWN HEREON. POINTS A & B WERE ESTABLISHED FROM CONTINUOUSLY OPERATING REFERENCE STATIONS (CORS) P472 AND S105 DERIVED FROM GEODETIC VALUES PUBLISHED BY THE CALIFORNIA SPATIAL REFERENCE CENTER (CSRC) AND/OR NATIONAL GEODETIC SURVEY (NGS), RESPECTIVELY. BEARING FROM POINT A TO POINT B: N89°40'41"W. ELEVATIONS SHOWN HEREON ARE BASED ON CITY OF SAN DIEGO BRASS PLUG LOCATED AT THE NORTHEAST CORNER OF THE INTERSECTION OF CARMEL COUNTRY ROAD AND CARMEL MISSION ROAD. EL = 164.31. NGVD 29
- THE LOCATIONS OF UNDERGROUND UTILITY LINES AND/OR STRUCTURES AS SHOWN HEREON ARE BASED ON OBSERVED ABOVE GROUND EVIDENCE AND RECORD INFORMATION PROVIDED TO THE SURVEYOR. NO EXCAVATIONS WERE MADE DURING THE COURSE OF THIS SURVEY TO LOCATE UNDERGROUND UTILITIES. LOCATIONS OF UNDERGROUND UTILITIES MAY VARY FROM LOCATIONS SHOWN HEREON. ADDITIONAL UNDERGROUND UTILITIES MAY EXIST.
- TITLE COMMITMENT PROVIDED BY LAWYERS TITLE COMPANY, FILE NO. 321322893, DATED MAY 13, 2021
- AERIAL MAPPING FLOWN JULY 16, 2020, PROVIDED BY PLSA.

LEGEND

- FOUND MONUMENT AS INDICATED
- RECORD BOUNDARY DATA AS INDICATED
- PROPERTY LINE
- RIGHT-OF-WAY LINE
- CENTER LINE
- ADJOINING PROPERTY LINE
- TIE LINE / REFERENCE LINE
- EASEMENT LINE
- OE POWER - OVERHEAD
- E POWER - UTILITY MARKOUT
- C COMM - UTILITY MARKOUT
- SD STORM - UTILITY MARKOUT
- S SANITARY - UTILITY MARKOUT
- G GAS - UTILITY MARKOUT
- W WATER - UTILITY MARKOUT
- X FENCE
- WALL
- BUILDING OVERHANG
- INDEX CONTOUR LINE
- INTERMEDIATE CONTOUR LINE
- SPOT ELEVATION
- METER - WATER
- METER - ELECTRIC
- METER - GAS
- LIGHT POLE
- UTILITY POLE
- VAULT
- UTILITY BOX
- FIRE HYDRANT
- VALVE - GAS
- VALVE - WATER
- VALVE - UNKNOWN
- VALVE - IRRIGATION
- CLEANOUT
- MH - SANITARY
- MH - DRAINAGE
- MH - ELECTRIC
- MH - COMMUNICATION
- MH - WATER
- MH - UNKNOWN
- DRAIN INLET
- PULLBOX - COMMUNICATION
- PULLBOX - ELECTRIC
- PULLBOX - TELCO
- PULLBOX - WATER
- RISER - ELECTRIC
- RISER - COMMUNICATION
- MAILBOX
- BOLLARD
- SIGN
- VEGETATION
- TREES ADDED 9/17/2020