



THE CITY OF SAN DIEGO

Report to the Planning Commission

DATE ISSUED: May 9, 2024 REPORT NO. PC-24-026

HEARING DATE: May 16, 2024

SUBJECT: 2182 Oliver Avenue, Coastal Development Permit and Public Right-of-Way Vacation, Process Five Decision

PROJECT NUMBER: [PRJ 0696078](#)

OWNER/APPLICANT: Nathan and Miriam Siefken/ Ed Siefken

SUMMARY

Issue: Should the Planning Commission recommend approval of a Coastal Development Permit and Public Right-of-Way Vacation to demolish an existing detached garage and construct a new two-story 1,408 square-foot single-dwelling unit and vacation a portion of Olney Street located at [2182 Oliver Avenue](#) in the [Pacific Beach Community Plan](#) area?

Proposed Actions:

1. Recommend the City Council approve a resolution determining the project is categorically exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines Section 15332 (In-Fill Development);
2. Recommend the City Council approve Coastal Development Permit No. PMT-2581618; and
3. Recommend the City Council approve Public Right-of-Way Street Vacation No. PMT-2581617.

Fiscal Considerations: All costs of improvements and associated fees for processing of the application are recovered through a fee paid for by the applicant.

Community Planning Group Recommendation: On July 12, 2023, the Pacific Beach Planning Group voted 10-0-1 to recommend the approval of the proposed project with recommendations (Attachment 8).

Environmental Impact: This project was determined to be categorically exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA section 15332 (In-Fill Development). The project's CEQA exemption will be considered by City Council at a future public hearing (Attachment 9).

BACKGROUND

The project site is located at 2182 Oliver Avenue at the corner of Olney Street and currently contains one 1,173 square-foot single dwelling unit with a detached two-car garage and pool on a 0.17-acre site (Figure 1). The project site is located approximately 0.2 miles north of Mission Bay and approximately 1.7 miles east of the Pacific Ocean. Access to the site is via a driveway on Oliver Avenue and is bounded by an unnamed alley to the north. The right-of-way area to be vacated is an existing undeveloped pathway and a concrete sidewalk will be installed to replace it.

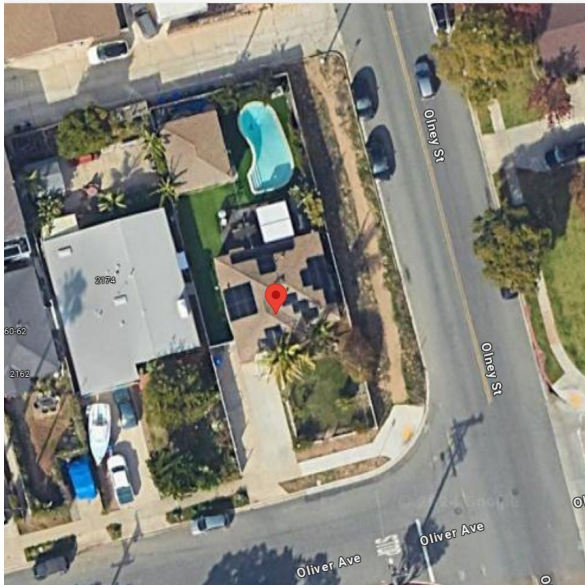


Figure 1. Existing Aerial View

DISCUSSION

Project Description:

The site is in the RM-1-1 Zone, the Coastal Overlay (Non-Appealable Area 2), Coastal Height Limit Overlay Zone (CHLOZ) and the Parking Impact Overlay Zone (PIOZ) within the Pacific Beach Community Plan Area. The project includes the demolition of the existing detached garage and the construction of a new two-story 1,408 square-foot (sf) dwelling unit with roof deck, enclosed lounge, covered patio, and 37 linear feet of retaining walls not exceeding 3 feet in height. The existing 1,173 sf single dwelling unit shall remain.

The proposed public right-of-way vacation is eight feet in width and approximately 1,000 square feet

along Olney Street (Figure 2) and is conditioned to construct a new sidewalk along Olney Street and reserve easements for existing third-party utilities (AT&T, COX, and SDG&E). The project would accommodate the construction of a new single dwelling unit in the rear yard of the existing lot. The vacation of the unimproved portion on Olney Street would not impact access or circulation, and the use of the land for public right-of-way purposes is not required as it does not provide vehicular or pedestrian access, and vacating this portion of the public right-of-way reduces the City's liability. It is in the public interest to vacate the public right-of-way.

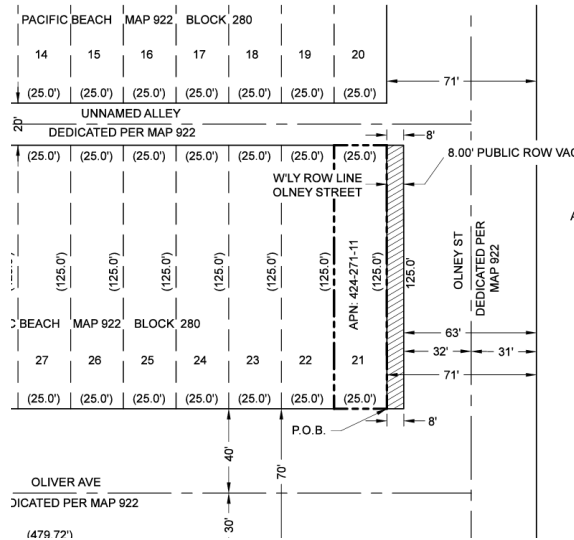


Figure 2. Proposed Public Right-of-Way Vacation

A survey of the surrounding neighborhood shows that the project conforms to the scale, mass and height of surrounding properties based on the Community Plan and Coastal Development regulations. The project site is located approximately 0.2 miles north of Mission Bay and approximately 1.7 miles east of the Pacific Ocean within the Pacific Beach Community Plan and Local Coastal Program Land Use Plan (Community Plan) area. The Community Plan does not identify any public accessways across the site, and there is no physical accessway legally used by the public on this property. The maximum overall structure height is thirty feet four inches, however as measured from the rear of the property, the structure height is twenty-seven eight inches, which complies with the City's thirty-foot coastal height limitation. The project site does not contain, is not adjacent to and the project will not impact public views listed on the Community Plan identified Public Vantage Points Map (Figure 16). Therefore, the proposed coastal development will not encroach upon any existing physical accessway that is legally used by the public or any proposed public accessway identified in a Local Coastal Program land use plan nor will the project impact public views to and along the ocean or other scenic coastal areas and is consistent with the goals of protecting the scenic coastal views and public accessways as specified in the Community Plan.

Permits Required:

- A Process 2 Coastal Development Permit per San Diego Municipal Code (SDMC) Section 126.0707(a) is required for development within the Coastal Overlay Zone.

- A Process 5 Public Right-of-Way Vacation per SDMC Section 125.0940 is required for the vacating a public right-of-way.

Pursuant to the consolidation of processing per SDMC Section 112.0103 all actions are processed as a Process Five with the final approval by the City Council.

Community Plan Analysis:

The Pacific Beach Community Plan and Local Coastal Program Land Use Plan (Community Plan) contains Residential Land Use Goals which state that development should “Implement design standards for single-family and multifamily development to ensure that redeveloped properties reflect the scale and character of the neighborhood.” The architectural form proposed for the new two-story dwelling unit is consistent with similar homes in the surrounding neighborhood providing a Nautical theme. Materials include ship lag siding and bold window trim. Project architecture is similar in nature to homes in the vicinity and from the public right-of-way, the roof height is Thirty feet height at the roof peek. Maximum structure height is thirty feet at the center of the property, which complies with the City’s thirty-foot coastal height limitation,

The Community Plan also states, “Create safe and pleasant pedestrian linkages among residential neighborhoods, commercial facilities, and other neighborhood destinations.” The project is 0.2 miles from Mission Bay and is located north of Pacific Beach Boulevard which is the nearest public road and the sea. The project site is located approximately 0.2 miles north of Mission Bay and approximately 1.7 miles east of the Pacific Ocean within the Pacific Beach Community Plan and Local Coastal Program Land Use Plan (Community Plan) area and is not located between the nearest public roadway (Pacific Beach Drive). The Community Plan does not identify any public accessways across the site, and there is no physical accessway legally used by the public on this property. The project is adjacent to but will not impact the Onley Class III Bike Route and is approximately .03 miles from Admiral Hartman Neighborhood Park. No public access or public recreation facilities exist on or adjacent to the project site which would be impacted by the proposed project. The project private improvements will be located completely within private property, there will be no encroachments upon any existing or proposed public physical accessways as defined in Figure 15 of the Community Plan. Therefore, the proposed project is in conformity with the Pacific Beach Community Plan and Local Coastal Program Land Use Plan.

Conclusion:

Staff has reviewed the proposed project and all issues identified through the review process have been resolved in conformance with the adopted City Council policies and regulations of the Land Development Code. Staff has provided a draft resolution and conditions of approval and recommends that the Planning Commission recommend to the City Council to approve the project.

ALTERNATIVES

1. Recommend Approval of Coastal Development Permit No. PMT-2581618 and Public Right-of-Way Vacation PMT- No. 2581617, with modifications.

2. Recommend Denial of Coastal Development Permit No. PMT-2581618 and Public Right-of-Way Vacation Permit No. PMT- No. 2581617, if the findings required to approve the project cannot be affirmed.

Respectfully submitted,



Renee Mezo
Assistant Deputy Director
Development Services Department



Will Rogers
Development Project Manager
Development Services Department

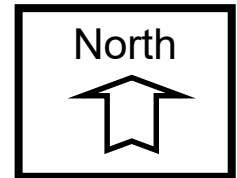
Attachments:

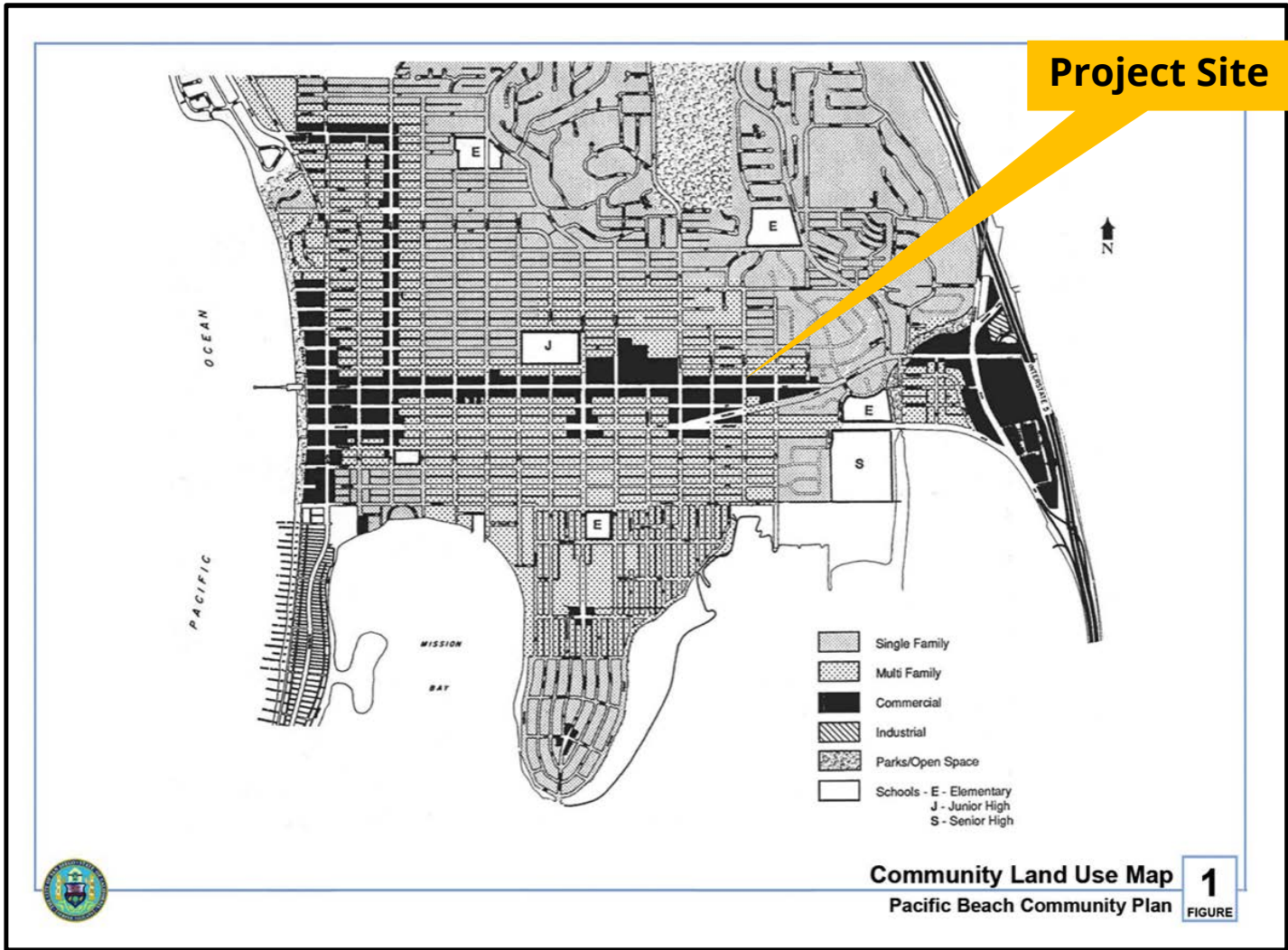
1. Aerial Photographs
2. Community Plan Land Use Map
3. Draft Permit with Conditions
4. Draft Permit Resolution with Findings
5. Draft CEQA Resolution
6. Draft Public Right-of-Way Vacation Resolution with Findings
7. Drawing No. 42547-B for Public Right-of-Way Vacation
8. Legal Description for Public Right-of-Way Vacation
9. Community Planning Group Recommendation
10. Environmental Exemption Resolution (NOE)
11. Ownership Disclosure Statement
12. Project Plans



Aerial Photograph

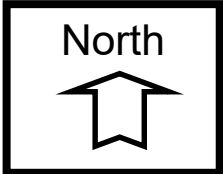
2182 Oliver Ave, CDP/ROW VACATION
Project No. 0696078





Land Use Map

2182 Oliver Ave, CDP/ROW VACATION
Project No.0696078



RECORDING REQUESTED BY
 CITY OF SAN DIEGO
 DEVELOPMENT SERVICES
 PERMIT INTAKE, MAIL STATION
 501

WHEN RECORDED MAIL TO
PROJECT MANAGEMENT
PERMIT CLERK
MAIL STATION 501

INTERNAL ORDER NUMBER: 24009104

SPACE ABOVE THIS LINE FOR RECORDER'S USE

COASTAL DEVELOPMENT PERMIT NO. PMT-2581618
2182 OLIVER AVENUE - PROJECT NO. PRJ-0696078
CITY COUNCIL

This Coastal Development Permit No. PMT-2581618 is granted by the City Council of the City of San Diego to Nathan Siefken and Miriam Siefken: Husband and Wife as Joint Tenants, Owner/Permittee, pursuant to San Diego Municipal Code (SDMC) section 126.0708. The 0.17-acre site is located at 2182 Oliver Avenue with a 1,173 square foot (SF) existing single dwelling unit and is in the RM-1-1 Zone. Coastal (Non-Appealable Area 2) Overlay Zone, Coastal Height Limit Overlay Zone, and Parking Impact Overlay Zone (PIOZ) within the Pacific Beach Community Plan area and Council District 2. The application was filed on January 21, 2022.

The project site is legally described as: Lot 21 and 22, Block 280 of Pacific Beach, according to Map thereof No. 922, filed in the office of the County Recorder of San Diego County, September 24, 1904.

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner/Permittee to demolish an existing detached garage and construct a new two-story 1,408 square-foot single dwelling unit with roof deck and enclosed lounge, covered patio, and retaining walls located at 2182 Oliver Avenue as described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated XXXXX.

The project shall include:

- a. Existing 1,173 SF single-dwelling unit shall remain; and
- b. Demolition of an existing detached garage located 2182 Oliver Avenue and construct a new two-story 1,408 square-foot single dwelling unit with roof deck enclosed lounge, covered patio, and retaining walls; and
- c. Off-street parking;
- d. Public Right-of-Way PMT-2581617 for the vacation of a portion of Olney Street; and

- e. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act [CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

STANDARD REQUIREMENTS:

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36-month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision-maker. This permit must be utilized by **date**.
2. This Coastal Development Permit shall become effective on the eleventh working day following receipt by the California Coastal Commission of the Notice of Final Action.
3. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
 - a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
 - b. The Permit is recorded in the Office of the San Diego County Recorder.
4. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision-maker.
5. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.
6. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
7. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State, or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).
8. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements

may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.

9. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.

10. All of the conditions contained in this Permit have been considered and were determined necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

11. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by the Owner/Permittee.

CLIMATE ACTION PLAN REQUIREMENTS:

12. Owner/Permittee shall comply with the Climate Action Plan (CAP) Consistency Checklist stamped as Exhibit "A." Prior to issuance of any construction permit, all CAP strategies shall be noted within the first three (3) sheets of the construction plans under the heading "Climate Action Plan Requirements" and shall be enforced and implemented to the satisfaction of the Development Services Department.

ENGINEERING REQUIREMENTS:

13. Prior to the issuance of any building permit, the Owner/Permittee shall assure by permit and bond the closure of non-utilized driveway and installation of curb, gutter and sidewalk, adjacent to the site on Oliver Avenue, satisfactory to the City Engineer.
14. Prior to the issuance of any building permit, the Owner/Permittee shall obtain an Encroachment Maintenance Removal Agreement for landscape and irrigation located within the City's right-of-way, satisfactory to the City Engineer.
15. Prior to the issuance of any building permit, the Owner/Permittee shall assure by permit and bond the construction of a new 12-foot-wide City Standard driveway, on Oliver Avenue, satisfactory to the City Engineer.
16. Prior to the issuance of any building permit, the Owner/Permittee shall assure by permit and bond the construction of a new City Standard sidewalk, adjacent to the site on Olney Street, satisfactory to the City Engineer.
17. Prior to the issuance of any building permit, the Owner/Permittee shall assure by permit and bond the construction of a new City Standard curb ramp at the alley entrance, satisfactory to the City Engineer.
18. Prior to the issuance of any building permits, the Owner/Permittee shall assure by permit and bond the reconstruction of the existing alley apron with City Standard alley apron, satisfactory to the City Engineer.
19. Prior to the issuance of any building permit, the Owner/Permittee shall assure by permit and bond the reconstruction of the alley pavement with City Standard concrete alley, full width, satisfactory to the City Engineer.
20. Prior to the recordation of the Vacation Exhibit, the applicant shall construct the required public improvements as shown on the approved Exhibit A, satisfactory to the City Engineer.
21. Prior to the issuance of any construction permit, the Owner/Permittee shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be prepared in accordance with the guidelines in Part 2 of Construction BMP Standards Chapter 4 of the City's Storm Water Standards.

PUBLIC UTILITIES REQUIREMENTS:

22. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, the design and construction of new water and sewer service(s) outside of any driveway or drive aisle and the abandonment of any existing unused water and sewer services within the right-of-way adjacent to the project site, in a manner satisfactory to the Public Utilities Department and the City Engineer.

23. Owner/Permittee shall apply for a plumbing permit for the installation of appropriate private back flow prevention device(s), on each water service (domestic, fire and irrigation), in a manner satisfactory to the Public Utilities Department and the City Engineer. BFPDs shall be located above ground on private property, in line with the service and immediately adjacent to the right-of-way.
24. All proposed private water and sewer facilities are to be designed to meet the requirements of the California Uniform Plumbing Code and will be reviewed as part of the building permit plan check.
25. No trees or shrubs exceeding three feet in height at maturity shall be installed within ten feet of any sewer facilities and five feet of any water facilities.

TRANSPORTATION REQUIREMENTS:

26. The automobile, motorcycle and bicycle parking spaces must be constructed in accordance with the requirements of the SDMC. All on-site parking stalls and aisle widths shall be in compliance with requirements of the City's Land Development Code and shall not be converted and/or utilized for any other purpose, unless otherwise authorized in writing authorized by the appropriate City decision maker in accordance with the SDMC.
27. Prior to issuance of any building permit, the applicant shall assure by permit and bond the removal of the existing 10-foot-wide driveway and replace with 12-foot driveway and to be ADA compliant, satisfactory to the City Engineer.
28. Prior to issuance of any building permit, the applicant shall assure by permit and bond the construction of 5-foot non-contiguous sidewalk along project's frontage on Olney Street, satisfactory to the City Engineer.

LANDSCAPE REQUIREMENTS:

29. Prior to issuance of any construction permit for grading, the Owner/Permittee shall submit complete construction documents for the revegetation and hydro-seeding of all disturbed land in accordance with the City of San Diego Landscape Standards, Storm Water Design Manual, and to the satisfaction of the Development Services Department. All plans shall be in substantial conformance to this permit (including Environmental conditions) and Exhibit "A," on file in the Development Services Department.
30. Prior to issuance of any construction permit for public improvements, the Owner/Permittee shall submit complete landscape construction documents for right-of-way improvements to the Development Services Department for approval. Improvement plans shall show, label, and dimension a 40-square-foot area around each tree which is unencumbered by utilities. Driveways, utilities, drains, water and sewer laterals shall be designed so as not to prohibit the placement of street trees.
31. Prior to issuance of any construction permit for building (including shell), the Owner/Permittee shall submit complete landscape and irrigation construction documents, which are consistent with

the Landscape Standards, to the Development Services Department for approval. The construction documents shall be in substantial conformance with Exhibit "A," Landscape Development Plan, on file in the Development Services Department. Construction plans shall provide a 40-square-foot area around each tree that is unencumbered by hardscape and utilities unless otherwise approved per §142.0403(b)6.

32. In the event that a foundation only permit is requested by the Owner/Permittee, a site plan or staking layout plan, shall be submitted to the Development Services Department identifying all landscape areas consistent with Exhibit "A," Landscape Development Plan, on file in the Development Services Department. These landscape areas shall be clearly identified with a distinct symbol, noted with dimensions, and labeled as 'landscaping area.'

33. The Owner/Permittee shall be responsible for the maintenance of all landscape improvements shown on the approved plans, including in the right-of-way, unless long-term maintenance of said landscaping will be the responsibility of another entity approved by the Development Services Department. All required landscape shall be maintained consistent with the Landscape Standards in a disease, weed, and litter free condition at all times. Severe pruning or "topping" of trees is not permitted.

34. If any required landscape (including existing or new plantings, hardscape, landscape features, etc.) indicated on the approved construction documents is damaged or removed, the Owner/Permittee shall repair and/or replace in kind and equivalent size per the approved documents to the satisfaction of the Development Services Department within 30 days of damage or Certificate of Occupancy.

PLANNING/DESIGN REQUIREMENTS:

35. A topographical survey conforming to the provisions of the SDMC may be required if it is determined, during construction, that there may be a conflict between the building(s) under construction and a condition of this Permit or regulation of the underlying zone. The cost of any such survey shall be borne by the Owner/Permittee.

36. All private outdoor lighting shall be shaded and adjusted to fall on the same premises where such lights are located and in accordance with the applicable regulations in the SDMC.

INFORMATION ONLY:

- The issuance of this discretionary permit alone does not allow the immediate commencement or continued operation of the proposed use on site. Any operation allowed by this discretionary permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received a final inspection.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the

approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.

- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the City Council of the City of San Diego on XXXX, 2024, and Resolution Number CC-XXXX.

COASTAL DEVELOPMENT PERMIT PMT-2581618
DATE OF APPROVAL:

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES DEPARTMENT

Will Rogers
Development Project Manager

**NOTE: Notary acknowledgment
must be attached per Civil Code
section 1189 et seq.**

The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

Nathan Siefken and Miriam Siefken:
Husband and Wife as Joint Tenants,
Owners/Permittee

By _____
Nathan Siefken
Owners/Permittee

By _____
Miriam Siefken
Owners/Permittee

**NOTE: Notary acknowledgments
must be attached per Civil Code
section 1189 et seq.**

CITY COUNCIL RESOLUTION NO. [REDACTED]
COASTAL DEVELOPMENT PERMIT NO. PMT-2581618
2182 OLIVER AVENUE - PROJECT NO. PRJ-0696078
CITY COUNCIL

WHEREAS, to Nathan Siefken and Miriam Siefken, Husband and Wife as Joint Tenants, Owners/Permitees, filed an application for a Coastal Development Permit and Public Right-of-Way Vacation for the demolition of an existing detached garage, and the construction of a two-story, 1,408-square-foot (SF) dwelling unit with a roof deck, roof deck and enclosed lounge, covered patio, and 37 linear feet of retaining walls located at 2182 Oliver Avenue . The existing single dwelling unit shall remain.

WHEREAS, the 0.17-acre site is located at 2182 Oliver Avenue and is in the RM-1-1 Base Zone, Coastal (Non-Appealable Area 2) Overlay Zone Coastal Height Limit Overlay Zone, and Parking Impact Overlay Zone (PIOZ) within the Pacific Beach Community Plan area and Council District 2. The application was filed on January 21, 2022; and

WHEREAS, the project site is legally described as: LOT 21 AND 22, BLOCK 280

OF PACIFIC BEACH, ACCORDING TO MAP THEREOF NO. 922, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, SEPTEMBER 24, 1904; and

WHEREAS, on November 14, 2022, the City of San Diego, as Lead Agency, through the Development Services Department, made and issued an Environmental Determination that the project is exempt from the California Environmental Quality Act [CEQA] (Public Resources Code section 21000 et. seq.). CEQA Guidelines Section pursuant to CEQA Guidelines Section 15332 (In-Fill Development). The project's CEQA exemption will be considered by City Council at a future public hearing; and

WHEREAS, under Charter section 280(a)(2) this resolution is not subject to veto by the Mayor because this matter requires the City Council to act as a quasi-judicial body and where a public hearing was required by law implicating due process rights of individuals affected by the decision and where the Council was required by law to consider evidence at the hearing and to make legal findings based on the evidence presented; and

WHEREAS, the matter was set for public hearing on xxx, 2024, testimony having been heard, evidence having been submitted, and the City Council having fully considered the matter and being fully advised concerning the same; and

WHEREAS, the Office of the City Attorney has drafted this resolution based on the information provided by City staff, including information provided by affected third parties and verified by City staff, with the understanding that this information is complete, true, and accurate;

NOW, THEREFORE,

BE IT RESOLVED, by the Council of the City of San Diego, that it adopts the following findings with respect to Coastal Development Permit No. PMT-2581618;

A. COASTAL DEVELOPMENT PERMIT [San Diego Municipal Code (SDMC) Section 126.0708]

1. Findings for all Coastal Development Permit Permits:

- a. The proposed coastal development will not encroach upon any existing physical accessway that is legally used by the public or any proposed public accessway identified in a Local Coastal Program land use plan; and the proposed coastal development will enhance and protect public views to and along the ocean and other scenic coastal areas as specified in the Local Coastal Program land use plan;**

The project proposes the demolition of an existing detached garage and the construction of a new two-story, 1,408-square-foot (SF) single dwelling unit with a roof deck, roof deck and enclosed lounge, covered patio, and thirty seven linear feet of retaining walls located at 2182 Oliver Avenue on a 0.17-acre site. The existing 1,173 SF single dwelling unit will remain. The project site is located approximately 0.2 miles north of Mission Bay and approximately 1.7 miles east of the Pacific Ocean within the Pacific Beach Community Plan and Local Coastal Program Land Use Plan

(Community Plan) area. The project site is designated for medium density residential (9-15 dwelling units per acre) per the Community Plan (Figure 13). The project includes one existing single-dwelling unit and a new single-dwelling unit in the rear yard. The project density of approximately 2.38 dwelling units per acre on 0.17 acre. The Community Plan does not identify any public accessways across the site, and there is no physical accessway legally used by the public on this property. The proposed development's roof spot elevation is 41.37 at the ridge line and 13.67 at the base of the coastal height measurement. The maximum overall structure height is thirty feet four inches, however as measured from the rear of the property, the structure height is twenty-seven feet eight inches which complies with the City's 30-foot coastal height limitation. The project site does not contain, is not adjacent to and the project will not impact public views listed on the Community Plan identified Public Vantage Points Map (Figure 16). Therefore, the proposed coastal development will not encroach upon any existing physical accessway that is legally used by the public or any proposed public accessway identified in a Local Coastal Program land use plan nor will the project impact public views to and along the ocean or other scenic coastal areas and is consistent with the goals of protecting the scenic coastal views and public accessways as specified in the Community Plan.

b. The proposed coastal development will not adversely affect environmentally sensitive lands.

The project proposes the demolition of an existing detached garage and the construction of a new two-story, 1,408-square-foot (SF) single dwelling unit with a roof deck, roof deck and enclosed lounge, covered patio, and thirty seven linear feet of retaining walls located at 2182 Oliver Avenue on a 0.17-acre site. The existing 1,173 SF single dwelling unit will remain. The project site is located approximately 0.2 miles north of Mission Bay and approximately 1.7 miles east of the Pacific Ocean within the Pacific Beach Community Plan and Local Coastal Program Land Use Plan (Community Plan) area. The project site is designated for medium density residential (9-15 dwelling units per acre) per the Community Plan (Figure 13). The project includes one existing single-dwelling unit and a new single-dwelling unit in the rear yard. The project density of approximately 2.38 dwelling units per acre on 0.17 acre.

The proposed activity is exempt from CEQA section 15332 (In-Fill Development Projects) of the State of CEQA Guidelines.

The project site is previously graded and developed with an existing single-dwelling unit. A review of resource maps, and aerial and street-level photography shows that the project site does not contain any environmentally sensitive lands. The project site does not contain, nor is it adjacent to the Multi-Habitat Planning Area (MHPA) and any designated lands of the City's Multiple Species Conservation Program. The project site is a previously graded subdivision that does not contain steep hillsides or floodplains. In addition, the project site is in a developed subdivision with no drainage impacts to adjacent properties and the project has been conditioned to comply with Storm Water Regulations that will reduce runoff impacts to the Pacific

Ocean. Therefore, the project will not adversely affect environmentally sensitive lands.

c. The proposed coastal development is in conformity with the certified Local Coastal Program land use plan and complies with all regulations of the certified Implementation Program.

The proposed development conforms with the Community Plan and complies with all regulations and goals identified in the Community Plan as supported below. The site is consistent with the Community Plan by adding a single dwelling unit within the Pacific Beach Community in a Multi-Dwelling Unit zone (RM-1-1). The project site is designated for medium density residential (9-15 dwelling units per acre) per the Community Plan (Figure 13). The project includes one existing single-dwelling unit and a new single-dwelling unit in the rear yard. The Community Plan states that the area is "characterized by lower intensity multifamily housing, such as two-on-ones of duplexes," (page 52). The project density of approximately 2.38 dwelling units per acre on 0.17 acre. The project implements the prescribed density, as well as a key policy of the Community Plan, which is to maintain Pacific Beach as a primarily residential and recreational oriented community by protecting its residential areas and historic resources, maintaining its public recreational areas, and enhancing its commercial districts. The project implements the Community Plan goals by " Promote the development of a variety of housing types and styles in Pacific Beach to provide a greater opportunity for housing that is both affordable and accessible by everyone," (Page 52). The proposed development's roof spot elevation is 41.37 at the ridge line and 13.67 at the base of the coastal height measurement. The maximum overall structure height is thirty feet four inches however as measured from the rear of the property, the structure height is twenty-seven feet eight inches", which complies with the City's Thirty-foot coastal height limitation. Therefore, the coastal development is in conformity with the certified Local Coastal Program land use plan and complies with all regulations of the certified Implementation Program.

d. For every Coastal Development Permit issued for any coastal development between the nearest public road and the sea or the shoreline of any body of water located within the Coastal Overlay Zone the coastal development is in conformity with the public access and public recreation policies of Chapter 3 of the California Coastal Act.

The project is 0.2 miles from Mission Bay and is located north of Pacific Beach Boulevard which is the nearest public road and the sea. The project site is located approximately 0.2 miles north of Mission Bay and approximately 1.7 miles east of the Pacific Ocean within the Pacific Beach Community Plan and Local Coastal Program Land Use Plan (Community Plan) area and is not located between the nearest public road way (Pacific Beach Drive). The Community Plan does not identify any public accessways across the site, and there is no physical accessway legally used by the public on this property. The project is adjacent to but will not impact the Onley Class III Bike Route and is approximately .03 miles from Admiral Hartman Neighborhood Park. No public access or public recreation facilities exist on or adjacent to the project site which would be impacted by the proposed project. The

project private improvements will be located completely within private property, there will be no encroachments upon any existing or proposed public physical accessways as defined in Figure 15 of the Community Plan. Therefore, the proposed project is in conformity with the public access and public recreation policies of Chapter 3 of the California Coastal Act.

The above findings are supported by the minutes, maps and exhibits, all of which are incorporated herein by this reference.

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the City Coastal Development Permint No. PMT-2581618 is hereby GRANTED by the City Council to the referenced Owner/Permittee, in the form, exhibits, terms and conditions as set forth in Permit No. PMT-2581618, a copy of which is attached hereto and made a part hereof.

Will Rogers
Development Project Manager
Development Services

Adopted on: xxxx

IO#: 24009104

RESOLUTION NUMBER R-_____

DATE OF FINAL PASSAGE _____

**A RESOLUTION OF THE COUNCIL OF THE CITY OF SAN DIEGO
DETERMINING THAT THE APPROVAL OF THE 2180 Oliver CDP ROWV
PRJ-0696708 IS CATEGORICALLY EXEMPT FROM THE CALIFORNIA
ENVIRONMENTAL QUALITY ACT PURSUANT TO CEQA
GUIDELINES SECTION 15332**

WHEREAS, Nathan Siefken and Miriam Siefken: Husband and Wife as Joint Tenants, Applicants, , filed an application with the City of San Diego for a Coastal Development Permit and Public Right-of-Way Vacation to demolish an existing detached garage and construct a new two-story 1,408 square-foot single-dwelling unit and vacation a portion of Olney Street located at 2182 Oliver Avenue in the Pacific Beach Community Plan area; and

WHEREAS, the California Environmental Quality Act (CEQA) (Public Resources Code section 21000 et seq.), section 21084, states that the CEQA Guidelines thereto (California Code of Regulations, Title 14, Chapter 3, Section 15000 et seq.) shall list those classes of projects which have been determined not to have a significant effect on the environment and which shall be exempt from CEQA; and

WHEREAS, pursuant to that authority, CEQA Guidelines sections 15300-15333 list the categorical exemptions promulgated by the California Office of Planning and Research and adopted by the Secretary of the California Natural Resources Agency for those classes of Projects which have been determined not to have a significant effect on the environment; and

WHEREAS, the Development Services Department has established that the Project is categorically exempt from CEQA pursuant to CEQA Guidelines section 15332 and that no exception to the exemption, as set forth in CEQA Guidelines section 15300.2, applies to the Project; and

WHEREAS, the Council of the City of San Diego has considered the potential environmental effects of the Project, and

WHEREAS, on [insert date of Council meeting], the Council of the City of San Diego held a duly noticed public meeting and considered the written record for the Project as well as public comment; and

WHEREAS, the Council of the City of San Diego, using its independent judgment, has determined that the Project will not have a significant effect on the environment as the proposed development occurs within city limits on a project site of no more than five acres and is substantially surrounded by urban uses; the project site has no value as habitat for endangered, rare or threatened species; the project would not result in any significant effects related to air quality, noise, traffic or water quality; and the site can be adequately serviced by all required utilities and public services; and

WHEREAS, under Charter section 280(a)(2) this resolution is not subject to veto by the Mayor because this matter requires the City Council to act as a quasi-judicial body and where a public hearing was required by law implicating due process rights of individuals affected by the decision and where the City Council was required by law to consider evidence at the hearing and to make legal findings based on the evidence presented; and

WHEREAS, the Office of the City Attorney has drafted this resolution based on the information provided by City staff, including the information provided by affected third parties and verified by City staff, with the understanding that this information is complete, true, and accurate;

NOW, THEREFORE,

BE IT RESOLVED, that the Council of the City of San Diego determines that the Project is categorically exempt from CEQA pursuant to CEQA Guidelines section 15332; and,

BE IT FURTHER RESOLVED, that the Council of the City of San Diego has determined that an exception(s) to the exemption as set forth in CEQA Guidelines section 15300.2 does not apply.

BE IT FURTHER RESOLVED, that the City Clerk, or designee, is directed to file a Notice of Exemption in accordance with CEQA with the Clerk of the Board of Supervisors for the County of San Diego and the State Clearinghouse in the Office of Planning and Research regarding the Project.

APPROVED: [MARA W. ELLIOTT, CITY ATTORNEY or DEVELOPMENT PROJECT MANAGER]

By: _____
[NAME], [DEPUTY CITY ATTORNEY or DEVELOPMENT PROJECT MANAGER]

RESOLUTION NUMBER R-_____

DATE OF FINAL PASSAGE _____

**A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF SAN DIEGO TO VACATE A PORTION OF
OLENY STREET PURSUANT TO PUBLIC RIGHT-OF-WAY VACATION NO. PMT-2581617, WITH
RESERVATIONS OF PUBLIC UTILITY EASEMENTS**

2182 OLIVER AVENUE - PROJECT NO. PRJ-0696078

WHEREAS, California Streets and Highways Code section 8330 *et seq.* and San Diego Municipal Code section 125.0901 *et seq.* provide a procedure for the formal vacation of public rights-of-way by City Council resolution; and

WHEREAS, Nathan Siefken and Miriam Siefken: Husband and Wife as Joint Tenants, Applicants, filed an application to vacate an eight-foot by an approximately 1,000 square-foot area along Olney Street adjacent to 2182 Oliver Street, legally described as: Lot 21 and 22, Block 280 of Pacific Beach, according to Map thereof No. 922, filed in the office of the County Recorder of San Diego County, September 24, 1904, being described as Public Right-of-Way Vacation No. PMT-2581617 and in conjunction with Coastal Development Permit No. PMT-2581618; and

WHEREAS, this public right-of-way, or this portion of the public right-of-way, is excess public right-of-way and is not required for street or highway purposes: and

WHEREAS, in connection with Public Right-of-Way Vacation No. PMT-2581617, the City desires to reserve and except a public easement(s); and

WHEREAS, there are no existing public utility facilities that are in use that would be affected by the vacation; and

WHEREAS, under Charter Section 280(a)(2), this resolution is not subject to veto by the Mayor because this matter requires the City Council to act as a quasi-judicial body, a public hearing was required by law implicating due process rights of individuals affected by the decision, and the Council was required by law to consider evidence at the hearing and to make legal findings based on the evidence presented; and

WHEREAS, the matter was set for public hearing on XXXX, testimony having been heard, evidence having been submitted, and the City Council having fully considered the matter and being fully advised concerning the same; and

WHEREAS, the Office of the City Attorney has drafted this resolution based on the information provided by City staff, including information provided by affected third parties and verified by City staff, with the understanding this information is complete, true, and accurate; NOW, THEREFORE,

BE IT RESOLVED, by the Council of the City of San Diego, that with respect to Public Right-of-Way Vacation No. PMT-2581617 as described on the legal description on the attached "Exhibit B," the Council finds pursuant to San Diego Municipal Code (SDMC) section 125.0941 that:

(a) There is no present or prospective public use for the public right-of-way, either for the facility for which it was originally acquired or for any other public use of a like nature that can be anticipated.

The project proposes to vacate an eight-foot by an approximately 1,000 square-foot area along Olney Street between Oliver Avenue and Unnamed Alley adjacent located at 2182 Oliver Street. The vacation area will be acquired as part of the development of a dwelling unit at the rear

yard of 2182 Oliver Avenue. The area is no longer required because the street is in a long-established neighborhood and there are no future plans to widen Olney Street. The vacation will maintain consistency with the existing curb alignment with the west portion of Olney Street right-of-way.

The City of San Diego will reserve a public utility easement on the southwest portion of Olney Street between Oliver Avenue and an Unnamed Alley for existing third-party utilities in that area including the Pacific Bell Telephone Company (AT&T California) and San Diego Gas & Electric Company. All public water and sewer utilities that affect the proposed vacation will be abandoned and/or relocated prior to the recordation of the vacation. Except for the public utility easement, there is no present or prospective use for the public right-of-way, either for the facility for which originally acquired, or for any other public use of a like nature that can be anticipated. Therefore, there is no present or prospective public use for this portion of public right-of-way, or for any other public use of a like nature that can be anticipated.

(b) The public will benefit from the action through improved use of the land made available by the vacation.

After recordation of the public right-of-way vacation, all rights of ownership shall revert to the abutting parcel's underlying fee owner. The City will benefit from vacating the public right-of-way as the property will be returned to the tax rolls and the City will be relieved of potential liability.

Olney Street currently provides a sixty-one-foot right-of-way. Olney Street is classified as a two-lane collector street in the Pacific Beach Community Plan with a minimum parkway width of fourteen feet. The project is conditioned to dedicate eight feet of the right-of-way to construct a

non-contiguous sidewalk five-foot sidewalk on the west portion of Olney Street between Oliver Avenue and an Unnamed Alley as well as provide street trees.

The right-of-way improvements would align with the goals and policies in the Pacific Beach Community Plan and Local Coastal Program Land Use Plan, General Plan, and the Street Design Manual and would benefit the public through improved use of the land and improvements made available by the vacation.

(c) The vacation does not adversely affect any applicable land use plan.

The project site is located in the Pacific Beach Residential Land Use Element of the Community Plan (Community Plan) area. The land which is subject of the proposed right-of-way vacation has the land use designation of Low-Medium Density, 9-15 dwelling units per acre (DU/AC), page 53 of the Community Plan. The project proposes to vacate an eight-foot by an approximately 1,000 square-foot area along Olney Street between Oliver Avenue and Unnamed Alley adjacent located at 2182 Oliver Street. The vacation area will be acquired as part of the development of a single-dwelling unit at the rear yard of 2182 Oliver Avenue, for a total of two units. The project site has a density which allows approximately 2.38 dwelling units per acre on 0.17 acre. The site is in the RM-1-1 Zone (Multi-Dwelling Unit) which permits a maximum density of one dwelling unit for each 3,000 square feet of lot area. The project proposes one additional dwelling unit on a 7,405 square-foot site for a total of two dwelling units and therefore complies with the density of the underlying zone. These designations and zones will not change as a result of the right-of-way vacation.

The Community Plan identifies Olney Street as a "Collector North/ South Corridor" with the goal of creating a safe, pleasant, and useful pedestrian and bicycle pathways to connect the residential neighborhoods of Pacific Beach (p. 33) and to promote the development of a variety of housing types and styles in Pacific Beach to provide a greater opportunity for housing that is both affordable and accessible to everyone and to enhance residential neighborhoods by establishing and maintaining street tree patterns and promoting general maintenance and improvement of residential properties. With the public right-of-way vacation, the vacated portions will create a more cohesive space that will enhance the connectivity by providing a new non-contiguous sidewalk and planting street trees on the west side of Olney Street. Therefore, the vacation does not adversely affect any applicable land use plan.

(d) The public facility for which the public right-of-way was originally acquired will not be detrimentally affected by the vacation.

The vacation area on Olney Street will include City Standard curb ramps in order to provide safety to the area and the project will be conditioned to dedicate and improve additional right-of-way on the adjacent property located at 2182 Oliver Avenue which will allow for enhancement of this area to construct non-contiguous sidewalk and the planting street trees. The project would accommodate the construction of a new single dwelling unit in the rear yard of the existing lot. The vacation of the unimproved portion on Olney Street would not impact access or circulation. and the use of the land for public right-of-way purposes is not required as it does not provide vehicular or pedestrian access, and vacating this portion of the public right-of-way reduces the City's liability. It is in the public interest to vacate the public right-of-way. Therefore, the public facility for which the right-of-

way was originally acquired will not be detrimentally affected by the vacation.

BE IT FURTHER RESOLVED, that Public Right-of-Way Vacation No. PMT-2581617 as more particularly described in the legal description marked as Exhibit "A" and shown on Drawing No. 42547-B, marked as Exhibit "B," which are by this reference incorporated herein and made a part hereof, is hereby ordered vacated subject to the following conditions which are made a part of this resolution:

1. Prior to the recordation of the vacation, the applicant shall enter into an agreement to indemnify, protect, and hold harmless the City, its officials, and employees from any and all claims, demands, causes or action, liability or loss because of, or arising out of surface drainage entering into the property from the right-of-way.
2. Prior to the recordation of the vacation the applicant shall assure, by permit and bond the completion of the abandonment or privatization of all public water and sewer facilities, in a manner satisfactory to the Director of Public Utilities and the City Engineer.
3. Prior to the recordation of the vacation the applicant shall obtain an Encroachment Maintenance Removal Agreement for the private water main encroaching into the Public Right-of-Way.

BE IT FURTHER RESOLVED, that the City of San Diego reserves and excepts from Public Right-of-Way Vacation No. PMT-2581617 the permanent easement for public utility purposes, as more particularly described hereinafter:

An easement for Pacific Bell Telephone Company dba AT&T California as it may from

time to time require to construct, place, operate, inspect, maintain, repair, replace and remove such underground and aerial communication facilities (including ingress thereto and egress therefrom) consisting of wires, cables, conduits, pipes, manholes, handholes, service boxes, aboveground markers, risers, service pedestals, underground and aboveground switches, fuses, terminals, terminal equipment cabinets, transformers with associated concrete pads, associated electrical conductors, necessary fixtures and appurtenances. Poles, anchors, guys, wires, cables, crossarms, terminals, terminal equipment cabinets, service boxes, associated electrical conductor, and necessary fixtures and appurtenances.

An easement unto Cox Communications California, LLC, A Delaware Limited Liability Company its successors and assigns, as it may require from time to time, to construct, place, operate, repair, maintain, replace, and remove aerial and/or underground telecommunications equipment consisting of one or more lines of cables, wires, conduits, pedestals, guy anchors attached to the ground, and all necessary fixtures and appurtenances in, over, under, and upon the hereinafter described Easement, together with the right to ingress thereto and egress therefrom and across certain real property, in the City of San Diego, County of San Diego, State of California; and

An easement for San Diego Gas & Electric Company (SDG&E) Grantee ,to erect, construct, change the size of, improve, reconstruct, relocate, repair, remove, maintain and use facilities consisting of overhead and underground electric facilities, communication facilities and all appurtenances including necessary anchorage for the transmission and distribution of electricity and for pipelines and appurtenances, together with the right of ingress thereto and egress

therefrom over said easement and over other practical routes. No building or other structure shall be permitted within the easement excepting other utility facilities that meet SDG&E's separation requirements. SDG&E's prior written consent shall be required before planting any trees or increasing/decreasing the ground elevation within the easement. The Grantee shall have the right but not the duty, to trim or remove trees and brush along or adjacent to this easement and remove roots from within this easement whenever Grantee deems it necessary. Said right shall not relieve Grantor of the duty as owner to trim or remove trees and brush to prevent danger or hazard to property or persons.

BE IT FURTHER RESOLVED, that the easements granted and reserved herein are in, under, over, upon, along, and across that portions of Oliver Avenue, Onley Steet, and an Unnamed Alley, vacated by this Document and as more particularly described in the legal description marked as Exhibit "A" and shown on Drawing No. 42547-B, marked as Exhibit "B."

BE IT FURTHER RESOLVED, that the Development Services Department shall record a certified copy of this resolution with attached exhibits, attested by the City Clerk under seal, in the Office of the County Recorder.

APPROVED: , City Attorney

By _____

[Attorney]

Deputy City Attorney

[Initials]:[Initials]

[Month]/[Day]/[Year]

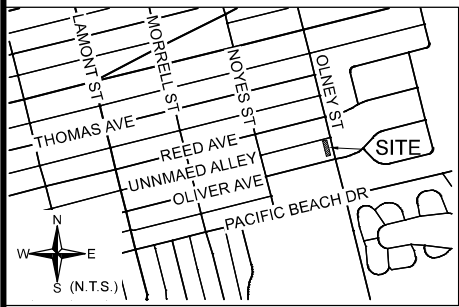
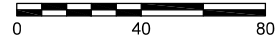
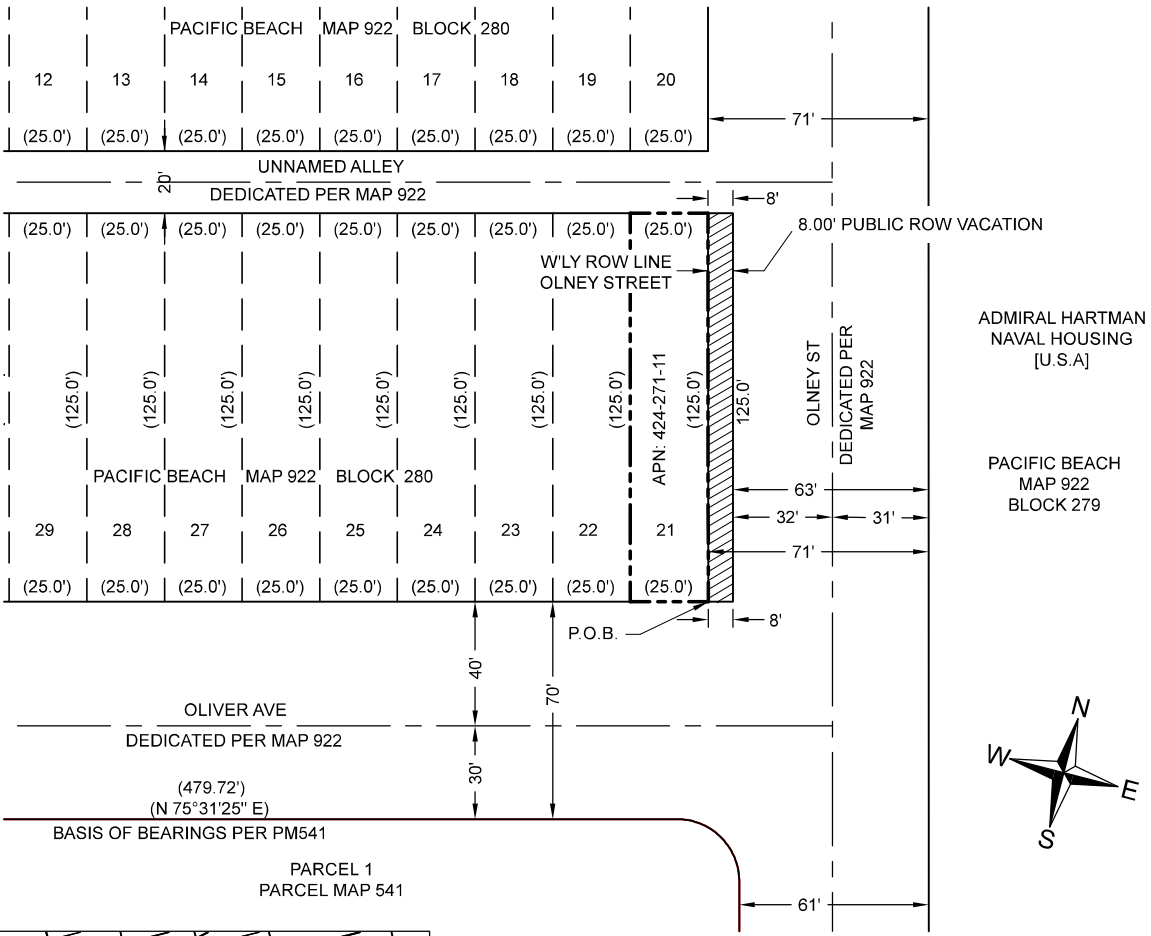
Or.Dept:[Dept]

Document No:

Drawing No. 42547-B

Doc No. xxxxxxxxxxxxxx

EXHIBIT "B"



LEGEND

- PROPERTY LINE
- RIGHT-OF-WAY LINE
- CENTER LINE
- LOT LINE PER MAP NO. 922
- RECORD DATA PER MAP NO. 922
- INDICATES PUBLIC RIGHT-OF-WAY VACATION AREA: 1,000 SF (0.023 ACRES) MORE OR LESS
- P.O.B. POINT OF BEGINNING

WILLIAM G. MACK PLS 9389

PASCO LARET SUITER & ASSOCIATES
 San Diego | Solana Beach | Orange County
 Phone 858.259.8212 | www.plsengineering.com



DOCUMENT NO.: _____

RECORDED: _____

PUBLIC RIGHT-OF-WAY VACATION
 A PORTION OF OLNEY STREET ADJACENT TO LOT 21 IN BOCK 280 OF PACIFIC BEACH, ACCORDING TO MAP THEREOF NO. 922

DESCRIPTION	BY	APPROVED	DATE	FILMED	CITY OF SAN DIEGO SHEET 1 OF 1	I.O.# <u> N/A </u> P.T.S.# <u> 696078 </u>
ORIGINAL						
					FOR CITY SURVEYOR _____ DATE _____	1870-6259 CCS 83 COORD
						230-1699 LAMBERT COORD
						42547 - B
STATUS						

EXHIBIT "A"
LEGAL DESCRIPTION
PUBLIC RIGHT-OF-WAY VACATION

THAT PORTION OF OLNEY STREET ADJOINING LOT 21, IN BLOCK 280 OF PACIFIC BEACH, ACCORDING TO MAP THEREOF NO. 922, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, SAID PORTION BEING BOUNDED ON THE NORTH BY AN UNNAMED 20 FOOT ALLEY AND ON THE SOUTH BY OLIVER AVE, SAID PORTION BEING 8 FEET IN WIDTH, AND MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHEAST CORNER OF SAID LOT 21, BEING THE INTERSECTION OF THE WESTERLY RIGHT OF WAY OF OLNEY STREET WITH THE NORTH RIGHT OF WAY OF OLIVER AVENUE, THENCE NORTHERLY ALONG SAID RIGHT OF WAY LINE OF OLNEY STREET AND LOT 21, A DISTANCE OF 125.00 FEET TO THE NORTHEAST CORNER OF SAID LOT 21, ALSO BEING A POINT ON THE SOUTHERLY RIGHT OF WAY LINE OF SAID UNNAMED 20 FOOT ALLEY; THENCE LEAVING SAID COMMON LINE WITH LOT 21 AND OLNEY STREET, EASTERLY AND PERPENDICULAR TO SAID RIGHT OF WAY OF OLNEY STREET, A DISTANCE OF 8.00 FEET, THENCE; SOUTHERLY AND PARALLEL WITH SAID LOT 21 AND RIGHT OF WAY LINE OF OLNEY STREET A DISTANCE OF 125.00 FEET, THENCE; WESTERLY, A DISTANCE OF 8.00 FEET TO THE POINT OF BEGINNING.

SAID LAND CONTAINS 1,000 SQUARE FEET (0.023 ACRES), MORE OR LESS.

ATTACHED HERETO IS DRAWING NO. 42547-8 LABELED EXHIBIT 11811 AND BY THIS REFERENCE MADE A PART HEREOF.

PRJ NO. 0696078

DRAWING NO. 42547-B

Page 3	City of San Diego · Information Bulletin 620		August 2018
	City of San Diego Development Services 1222 First Ave., MS-302 San Diego, CA 92101		<h2 style="text-align: center;">Community Planning Committee Distribution Form</h2>
Project Name: 2180 Oliver Unit		Project Number: 696078	
Community: Pacific Beach			
<p style="text-align: center;">For project scope and contact information (project manager and applicant), log into OpenDSD at https://aca.accela.com/SANDIEGO.</p> <p style="text-align: center;">Select "Search for Project Status" and input the Project Number to access project information.</p>			
<input checked="" type="radio"/> Vote to Approve <input type="checkbox"/> Vote to Approve with Conditions Listed Below <input type="checkbox"/> Vote to Approve with Non-Binding Recommendations Listed Below <input type="checkbox"/> Vote to Deny			Date of Vote: <p style="text-align: center;">July 12, 2023</p>
# of Members Yes 10	# of Members No 0	# of Members Abstain 1	
Conditions or Recommendations: N/A			
<input type="checkbox"/> No Action (Please specify, e.g., Need further information, Split vote, Lack of quorum, etc.)			
NAME: JOHN C TERELL			
TITLE: Chair, Development Subcommittee		DATE: July 14, 2023	
<i>Attach additional pages if necessary (maximum 3 attachments).</i>			

Visit our web site at www.sandiego.gov/development-services.

Upon request, this information is available in alternative formats for persons with disabilities.

DS-5620 (08-18) ONLINE FORM

NOTICE OF EXEMPTION

TO: Recorder/County Clerk
P.O. Box 1750, MS A-33
1600 Pacific Hwy, Room 260
San Diego, CA 92101-2400

From: City of San Diego
Development Services Department
1222 First Avenue, MS 501
San Diego, CA 92101

Office of Planning and Research
1400 Tenth Street, Room 121
Sacramento, CA 95814

Project Title / Number: 2180 Oliver CDP ROWV / 069078

State Clearinghouse No.: N/A

Project Location-Specific: 2180 Oliver Ave., San Diego, 92109

Project Location-City/County: San Diego/San Diego

Description of nature and purpose of the Project: Coastal Development Permit and Public Right-of-Way Vacation to demolish an existing detached garage and construct a new 2-story 1,408 S.F. dwelling unit with roof deck, roof deck cabana, covered patio, and retaining walls located at 2182 Oliver Avenue. ROW Vacation of approximately 1,000 S.F. area along Olney Street. The 0.17-acre site is in the RM-1-1 Zone and Coastal Overlay (Non-Appealable Area 2) within the Pacific Beach Community Plan area, Council District 1
LEGAL DESCRIPTION: LOTS 21 & 22, MAP 922, PACIFIC BEACH SUB, BLK, 280

Name of Public Agency Approving Project: City of San Diego

Name of Person or Agency Carrying Out Project: Ed Siefken, 7126 Hyatt St., San Diego, CA 92111, (619) 778-9750

Exempt Status: (Check one)

- Ministerial (Sec. 21080(b)(1); 15268)
- Declared Emergency (Sec. 21080(b)(3); 15269(a))
- Emergency Project (Sec. 21080(b)(4); 15269 (b)(c))
- Categorical Exemption: 15332, In-fill Development
- Statutory Exemptions
- Other:

Reasons why project is exempt: The City of San Diego conducted an environmental review that determined the project would not have the potential to cause a significant effect on the environment. The project meets the criteria set forth in CEQA Section 15332. The project is consistent with the existing land use designation, and all applicable general plan policies as well as with the applicable zoning designation and regulations. The proposed development occurs within city limits on a project site of no more than 5 acres and is substantially surrounded by urban uses. The project site has no value as habitat for endangered, rare or threatened species. The project

would not result in any significant effects related to air quality, noise, traffic or water quality. The site is not included on any list compiled pursuant to Government Code Section 65962.5 for hazardous waste sites.

Lead Agency Contact Person: Holowach

Telephone: (619) 446-5187

If filed by applicant:

1. Attach certified document of exemption finding.
2. Has a notice of exemption been filed by the public agency approving the project? Yes No

It is hereby certified that the City of San Diego has determined the above activity to be exempt from the California Environmental Quality Act.

Signature/Title

Date

Check One:

- Signed by Lead Agency
 Signed by Applicant

Date Received for Filing with County Clerk or OPR:

	City of San Diego Development Services 1222 First Ave., MS 302 San Diego, CA 92101 (619) 446-5000	<h1 style="text-align: center;">Ownership Disclosure Statement</h1>	FORM DS-318
			October 2017

Approval Type: Check appropriate box for type of approval(s) requested: Neighborhood Use Permit Coastal Development Permit
 Neighborhood Development Permit Site Development Permit Planned Development Permit Conditional Use Permit Variance
 Tentative Map Vesting Tentative Map Map Waiver Land Use Plan Amendment • Other _____

Project Title: 2180 OLIVER UNIT **Project No. For City Use Only:** 696078
Project Address: 2182 OLIVER AVE.
SAN DIEGO, CA 92109

Specify Form of Ownership/Legal Status (please check):

Corporation Limited Liability -or- General – What State? _____ Corporate Identification No. _____
 Partnership Individual

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter will be filed with the City of San Diego on the subject property with the intent to record an encumbrance against the property. Please list below the owner(s), applicant(s), and other financially interested persons of the above referenced property. A financially interested party includes any individual, firm, co-partnership, joint venture, association, social club, fraternal organization, corporation, estate, trust, receiver or syndicate with a financial interest in the application. If the applicant includes a corporation or partnership, include the names, titles, addresses of all individuals owning more than 10% of the shares. If a publicly-owned corporation, include the names, titles, and addresses of the corporate officers. (A separate page may be attached if necessary.) If any person is a nonprofit organization or a trust, list the names and addresses of **ANY** person serving as an officer or director of the nonprofit organization or as trustee or beneficiary of the nonprofit organization. A signature is required of at least one of the property owners. Attach additional pages if needed. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

Property Owner

Name of Individual: NATHAN SIEFKEN Owner Tenant/Lessee Successor Agency
 Street Address: 2182 OLIVER AVE.
 City: SAN DIEGO State: CA Zip: 92109
 Phone No.: 619-249-2261 Fax No.: _____ Email: NATHANSIEFKEN@GMAIL.COM
 Signature: [Signature] Date: 7/27/2001
 Additional pages Attached: Yes No

Applicant

Name of Individual: _____ Owner Tenant/Lessee Successor Agency
 Street Address: _____
 City: _____ State: _____ Zip: _____
 Phone No.: _____ Fax No.: _____ Email: _____
 Signature: _____ Date: _____
 Additional pages Attached: Yes No

Other Financially Interested Persons

Name of Individual: _____ Owner Tenant/Lessee Successor Agency
 Street Address: _____
 City: _____ State: _____ Zip: _____
 Phone No.: _____ Fax No.: _____ Email: _____
 Signature: _____ Date: _____
 Additional pages Attached: Yes No

Table with 2 columns: NO., REVISION DESCRIPTION BY

7126 HYATT STREET
SAN DIEGO, CA 92111
SIEFKEN & ASSOC.

2180 OLIVER AVENUE
SAN DIEGO, CA 92109

2180 OLIVER UNIT
DRAWN BY ED SIEFKEN
CHECKED BY ES
DATE: 8/27/20

OWNER :

NATHAN & MPH SIEFKEN
2182 OLIVER AVE.
SAN DIEGO, CA 92109

LEGAL DESCRIPTION:

A.P.M. : 424-271-11
LOTS 21 & 22, MAP 922, PACIFIC BEACH SUB, BLK. 280

DESIGNER:

ED SIEFKEN
SIEFKEN & ASSOCIATES
7126 HYATT STREET
SAN DIEGO, CA 92111 (619) 779-9750

CIVIL ENGINEER:

WILL MACK
FAISCO LAREY SUITES
SUITE A
SOLANA BEACH, CA 92075 (858) 259-8912

PROJECT DATA:

Table with 3 columns: OCCUPANCY, TYPE OF CONSTRUCTION, TYPE VB, AUTOMATIC FIRE SPRINKLER SYSTEM, ZONE, COASTAL DEVELOPMENT PERMIT/OVERLAY, COASTAL HEIGHT LIMIT/OVERLAY, PARKING IMPACT (COASTAL), TRANSIT PRIORITY AREA, GEOLOGIC HAZARD CATALOGRY, MAX. HEIGHT ALLOWED, YEAR HOME AND DETACHED GARAGE WERE BUILT, SETBACKS, FRONT YARD, INTERIOR SIDE YARD, STREET SIDE YARD, REAR YARD, PROPOSED LOT AREA, ALLOWABLE GFA, EXISTING LIVING AREA, PROPOSED FIRST FLOOR LIVING AREA, PROPOSED SECOND FLOOR LIVING AREA, TOTAL PROPOSED LIVING AREA, PROPOSED ROOF DECK CABANA AREA, PROPOSED COVERED PATIO AREA, TOTAL PROPOSED GFA, TOTAL SCHOOL FEES AREA, PROPOSED FEE, PROPOSED ROOF DECK AREA.

SHEET INDEX:

Table with 3 columns: SHEET, SITE PLAN, EXISTING SITE/FLOOR PLAN, ROOF PLAN, ELEVATIONS, SECTION, LANDSCAPE PLAN

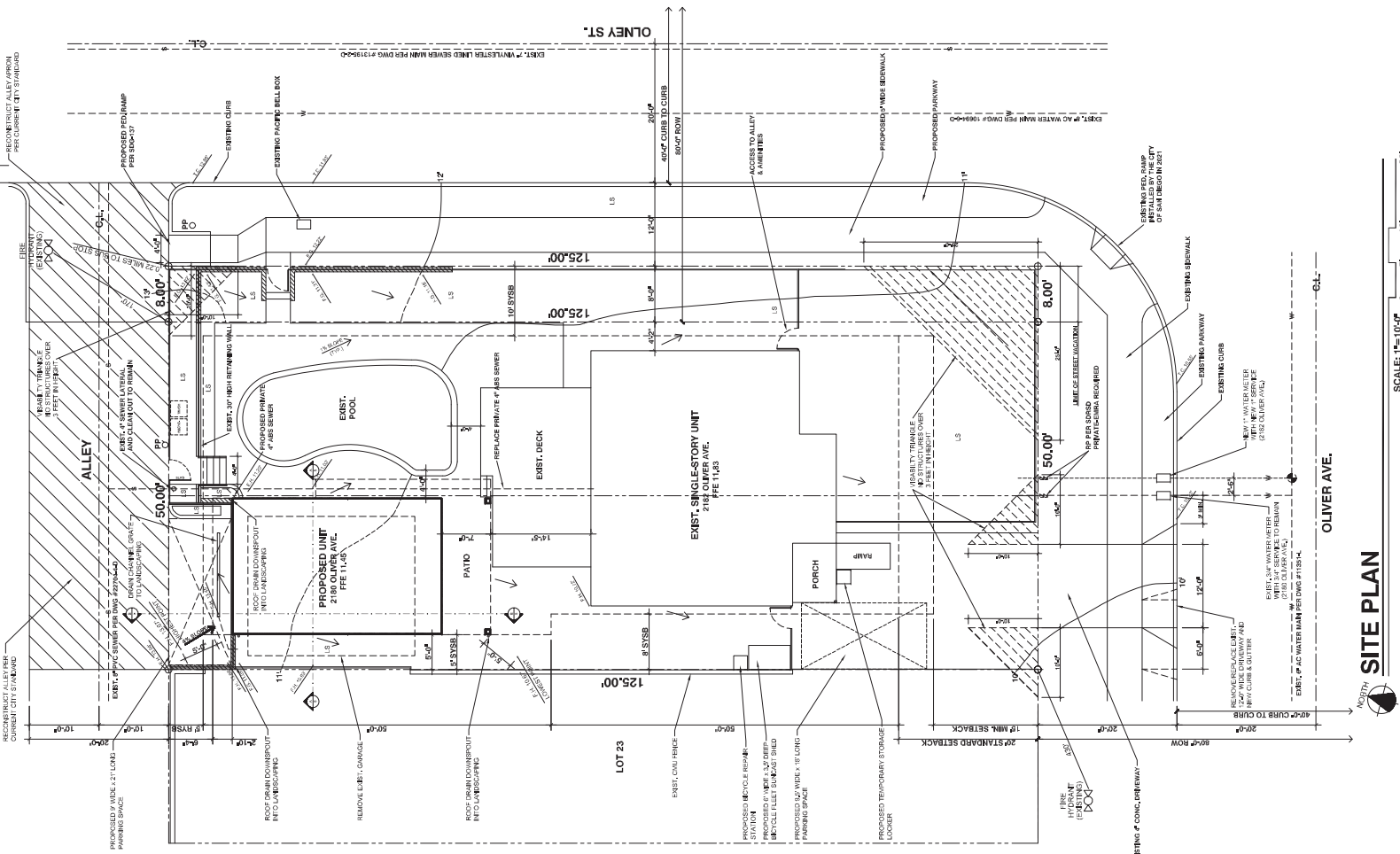
PREPARED BY: ED SIEFKEN
SIEFKEN & ASSOCIATES
7126 HYATT STREET
SAN DIEGO, CA 92111 (619) 779-9750

PROJECT ADDRESS: 2180 OLIVER AVE.
SAN DIEGO, CALIFORNIA 92109

PROJECT NAME: 2180 OLIVER UNIT

SHEET TITLE: SITE PLAN

REVISION 1: 10/25/22
REVISION 2: 2/22/23
REVISION 3: 8/15/23
REVISION 4: 10/25/23
REVISION 5: 11/27/23
REVISION 6: 12/13/23
REVISION 7: 12/27/23
REVISION 8: 1/17/24
REVISION 9: 2/15/24
REVISION 10: 4/1/24
REVISION 11: 7/1/24
REVISION 12: 8/1/24
REVISION 13: 8/27/24



TRANSPORTATION AMENITY TABLE:

Table with 2 columns: AMENITY TYPE, TOTAL AMENITY POINTS PROVIDED

PARKING TABULATION TABLE 142-05C:

Table with 2 columns: CATEGORY, PARKING SPACES PROVIDED

SITE PLAN

SCALE: 1"=10'-0"



GENERAL NOTES:

- 1. CONTRACTOR SHALL VERIFY ALL DIMENSIONS (INCLUDING SETBACKS & ROOF PITCH) PRIOR TO STARTING.
2. TO NOMINAL ROUGH FINISHING.
3. ALL WORK SHALL COMPLY WITH THE 2019 CALIFORNIA BUILDING CODE (CBC) AND ALL APPLICABLE ORDINANCES.
4. THE 2019 CALIFORNIA BUILDING CODE (CBC) AND ALL APPLICABLE ORDINANCES SHALL BE USED FOR ALL REGULATIONS AND STANDARDS, INCLUDING THE 2019 CALIFORNIA ELECTRICAL CODE, THE 2019 CALIFORNIA MECHANICAL CODE, THE 2019 CALIFORNIA PLUMBING CODE, THE 2019 CALIFORNIA BUILDING ENERGY EFFICIENCY STANDARDS, THE 2019 CALIFORNIA BUILDING CODE, AND THE 2019 CALIFORNIA FIRE CODE.
5. ALL PLUMBING FIXTURES AND FITTINGS WILL BE WATER CONSERVING, FLUSH (GPF), AND LOW FLOW (LGF) COMPLIANT WITH THE 2019 CALIFORNIA BUILDING CODE.
6. SHOWERHEADS SHALL HAVE A MAXIMUM 1.4 GPM FLOW. LAVATORY FAUCETS SHALL HAVE A MAXIMUM 1.2 GPM FLOW AND KITCHEN FAUCETS SHALL HAVE A MAXIMUM 1.8 GPM FLOW.
7. ALL PERMANENTLY WIRED SMOKE AND HEAT DETECTORS IN ALL BEDROOMS AND OTHER SLEEPING AREAS SHALL BE BATTERY OPERATED. SMOKE DETECTORS SHALL SOUND AN ALARM AUDIBLE IN ALL SLEEPING AREAS OF THE PRIMARY RESIDENCE.
8. THE INSTALLATION OF SMOKE ALARMS AND SMOKE DETECTORS SHALL COMPLY WITH THE 2019 CALIFORNIA BUILDING CODE AND THE 2019 CALIFORNIA FIRE CODE.
9. ALL VENT OPENINGS SHALL BE COVERED WITH CORROSION RESISTANT WIRE MESH WITH MESH OPENINGS OF NOT LESS THAN 1/16-INCH AND NOT MORE THAN 1/8-INCH IN SIZE.
10. SURFACE WATER SHALL DRAIN AWAY FROM BUILDING.
11. ALL NEW GLAZING (FENESTRATIONS) SHALL BE INSTALLED WITH A CERTIFYING LABEL ATTACHED, SHOWING U-VALUE.
12. STATE HEALTH & SAFETY CODE SEC. 1792.12(B) BANS THE USE OF CHLORINATED POLYVINYL CHLORIDE (CPVC) & CROSS-LINKED POLYETHYLENE (PEX) FOR INTERIOR INTERIORS (IFCC).
13. ALL BEDROOM ELECTRICAL OUTLETS MUST BE PROTECTED BY ARC FAULT CIRCUIT INTERRUPTERS (AFCI).
14. PERMANENTLY WIRED CARBON MONOXIDE ALARM WITH BATTERY BACK UP WILL BE INSTALLED ACCORDING TO THE 2019 CBC, SECTION 315.
15. THE HIGHEST POINT OF THE ROOF, EQUIPMENT, OR ANY VENT PIPE, ANTENNA OR OTHER PROJECTION SHALL NOT EXCEED 30 FEET ABOVE THE REFERENCE DATUM ESTABLISHED IN ACCORDANCE WITH CITY OF SAN DIEGO TECHNICAL BULLETIN 06-054. PERMITS SHALL BE OBTAINED FOR ANY CONSTRUCTION BEST MANAGEMENT PRACTICES (BMP) NECESSARY TO COMPLY WITH CHAPTER 14, ARTICLE 2, DIVISION 1 (GRADING REGULATIONS) OF THE SAN DIEGO MUNICIPAL CODE INTO THE CONSTRUCTION PLANS OR SPECIFICATIONS.
16. PERMANENTLY WIRED CARBON MONOXIDE ALARM WITH BATTERY BACK UP WILL BE INSTALLED ACCORDING TO THE 2019 CBC, SECTION 315.
17. PERMANENTLY WIRED SMOKE AND HEAT DETECTORS IN ALL BEDROOMS AND OTHER SLEEPING AREAS SHALL BE BATTERY OPERATED. SMOKE DETECTORS SHALL SOUND AN ALARM AUDIBLE IN ALL SLEEPING AREAS OF THE PRIMARY RESIDENCE.
18. THE INSTALLATION OF SMOKE ALARMS AND SMOKE DETECTORS SHALL COMPLY WITH THE 2019 CALIFORNIA BUILDING CODE AND THE 2019 CALIFORNIA FIRE CODE.
19. ALL VENT OPENINGS SHALL BE COVERED WITH CORROSION RESISTANT WIRE MESH WITH MESH OPENINGS OF NOT LESS THAN 1/16-INCH AND NOT MORE THAN 1/8-INCH IN SIZE.
20. SURFACE WATER SHALL DRAIN AWAY FROM BUILDING.
21. ALL NEW GLAZING (FENESTRATIONS) SHALL BE INSTALLED WITH A CERTIFYING LABEL ATTACHED, SHOWING U-VALUE.
22. STATE HEALTH & SAFETY CODE SEC. 1792.12(B) BANS THE USE OF CHLORINATED POLYVINYL CHLORIDE (CPVC) & CROSS-LINKED POLYETHYLENE (PEX) FOR INTERIOR INTERIORS (IFCC).
23. ALL BEDROOM ELECTRICAL OUTLETS MUST BE PROTECTED BY ARC FAULT CIRCUIT INTERRUPTERS (AFCI).
24. PERMANENTLY WIRED CARBON MONOXIDE ALARM WITH BATTERY BACK UP WILL BE INSTALLED ACCORDING TO THE 2019 CBC, SECTION 315.
25. THE HIGHEST POINT OF THE ROOF, EQUIPMENT, OR ANY VENT PIPE, ANTENNA OR OTHER PROJECTION SHALL NOT EXCEED 30 FEET ABOVE THE REFERENCE DATUM ESTABLISHED IN ACCORDANCE WITH CITY OF SAN DIEGO TECHNICAL BULLETIN 06-054. PERMITS SHALL BE OBTAINED FOR ANY CONSTRUCTION BEST MANAGEMENT PRACTICES (BMP) NECESSARY TO COMPLY WITH CHAPTER 14, ARTICLE 2, DIVISION 1 (GRADING REGULATIONS) OF THE SAN DIEGO MUNICIPAL CODE INTO THE CONSTRUCTION PLANS OR SPECIFICATIONS.
26. PERMANENTLY WIRED CARBON MONOXIDE ALARM WITH BATTERY BACK UP WILL BE INSTALLED ACCORDING TO THE 2019 CBC, SECTION 315.
27. PERMANENTLY WIRED SMOKE AND HEAT DETECTORS IN ALL BEDROOMS AND OTHER SLEEPING AREAS SHALL BE BATTERY OPERATED. SMOKE DETECTORS SHALL SOUND AN ALARM AUDIBLE IN ALL SLEEPING AREAS OF THE PRIMARY RESIDENCE.
28. THE INSTALLATION OF SMOKE ALARMS AND SMOKE DETECTORS SHALL COMPLY WITH THE 2019 CALIFORNIA BUILDING CODE AND THE 2019 CALIFORNIA FIRE CODE.
29. ALL VENT OPENINGS SHALL BE COVERED WITH CORROSION RESISTANT WIRE MESH WITH MESH OPENINGS OF NOT LESS THAN 1/16-INCH AND NOT MORE THAN 1/8-INCH IN SIZE.
30. SURFACE WATER SHALL DRAIN AWAY FROM BUILDING.

EARTHWORK/SITE DISTURBANCE:

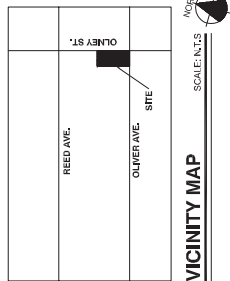
Table with 2 columns: CATEGORY, VALUE

SCOPE OF WORK:

OBTAIN CDP TO BUILD A DETACHED TWO STORY UNIT WITH ROOF DECK, ROOF DECK CABANA, COVERED PATIO, SITE RETAINING WALLS AND AN 8' WIDE STREET VACATION.

MSL DATUM:

BENCHMARK-CITY OF SAN DIEGO BRASS PLUG AT THE NE CORNER OF THE INTERSECTION OF REED ST. AND OLNEY ST. ELEV. 21.25' MGD 29 DATUM



VICINITY MAP

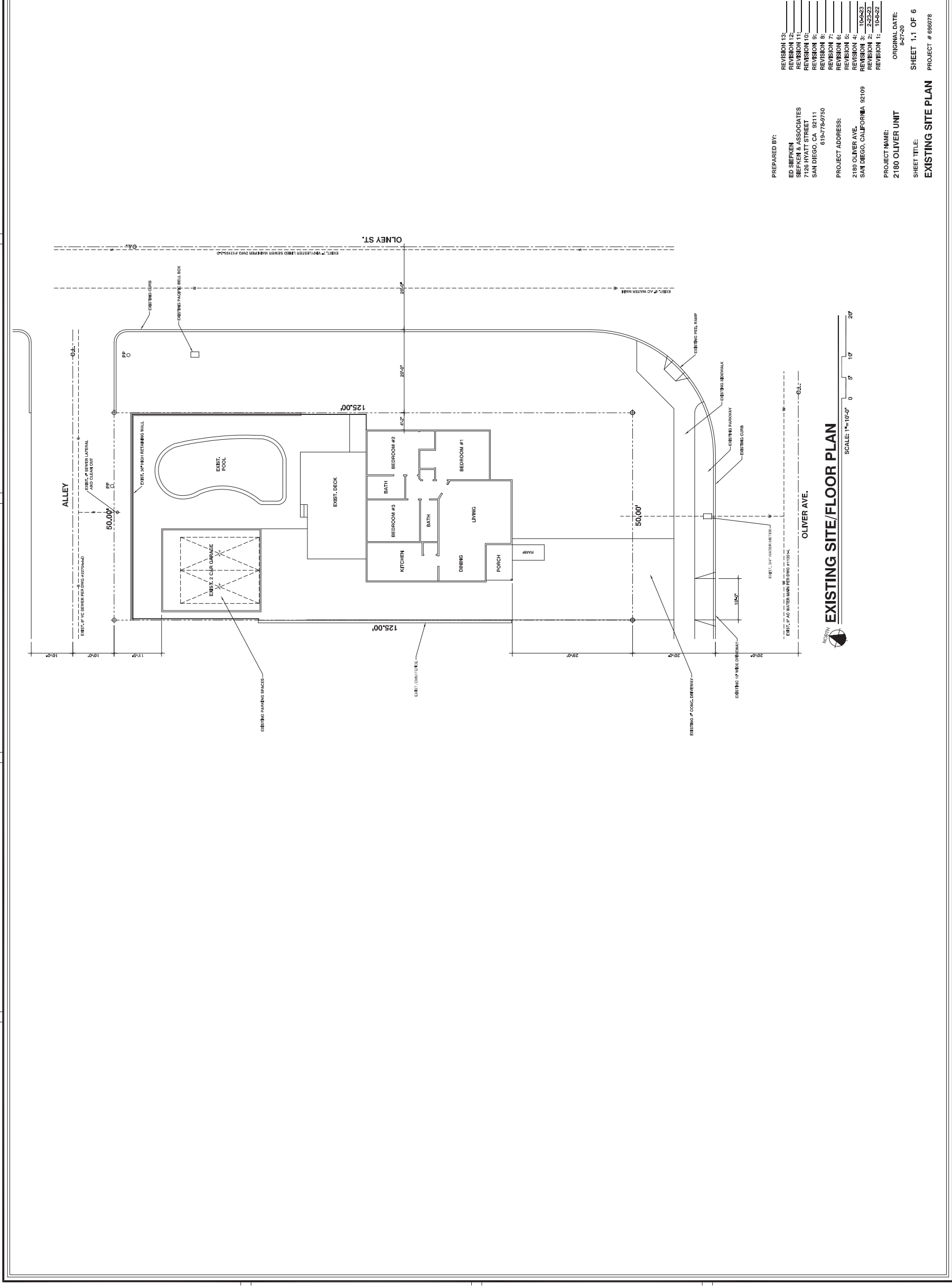


NO.	REVISION DESCRIPTION BY

SIEFKEN & ASSOC.
 7126 HYATT STREET
 SAN DIEGO, CA 92111

2180 OLIVER UNIT
 2180 OLIVER AVENUE
 SAN DIEGO, CA 92109

DESIGNED BY
ED SIEFKEN
 DRAWN
ES
 CHECKED
ES
 DATE
 8/27/20
 SCALE
NOTED
 JOB NO.
 SHEET
1.1
 SHEET: OF:



PREPARED BY:
 ED SIEFKEN
 SIEFKEN & ASSOCIATES
 7126 HYATT STREET
 SAN DIEGO, CA 92111
 619-776-9750

PROJECT ADDRESS:
 2180 OLIVER AVE.
 SAN DIEGO, CALIFORNIA 92109

PROJECT NAME:
 2180 OLIVER UNIT

ORIGINAL DATE:
 8-27-20

SHEET TITLE:
EXISTING SITE PLAN
 PROJECT # 698078

REVISION 13:
 REVISION 12:
 REVISION 11:
 REVISION 10:
 REVISION 9:
 REVISION 8:
 REVISION 7:
 REVISION 6:
 REVISION 5:
 REVISION 4:
 REVISION 3:
 REVISION 2:
 REVISION 1:

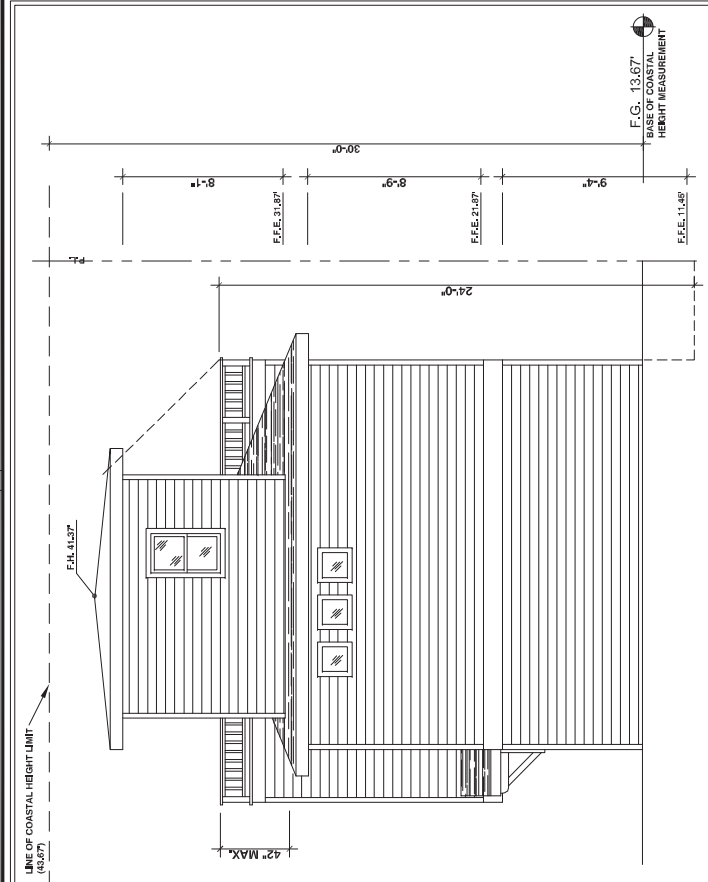
EXISTING SITE/FLOOR PLAN
 SCALE: 1"=10'-0"
 0 5 10 20'

NO.	REVISION DESCRIPTION	BY

SIEFKEN & ASSOC.
 7126 HYATT STREET
 SAN DIEGO, CA 92111

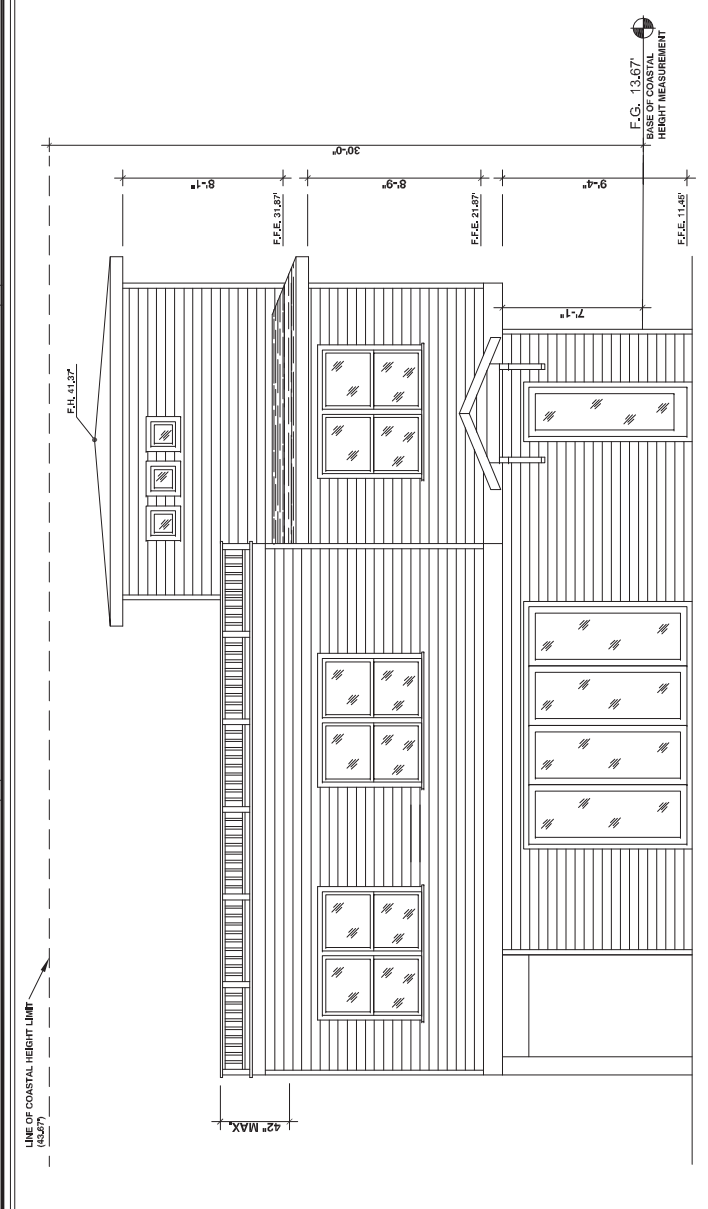
2180 OLIVER UNIT
 2180 OLIVER AVENUE
 SAN DIEGO, CA 92109

DESIGN BY ED SIEFKEN	CHECKED ES	DATE 8/27/20	SCALE NOTED	JOB NO. 	SHEET
4					
SHEET 4 OF 6					
PROJECT #688078					



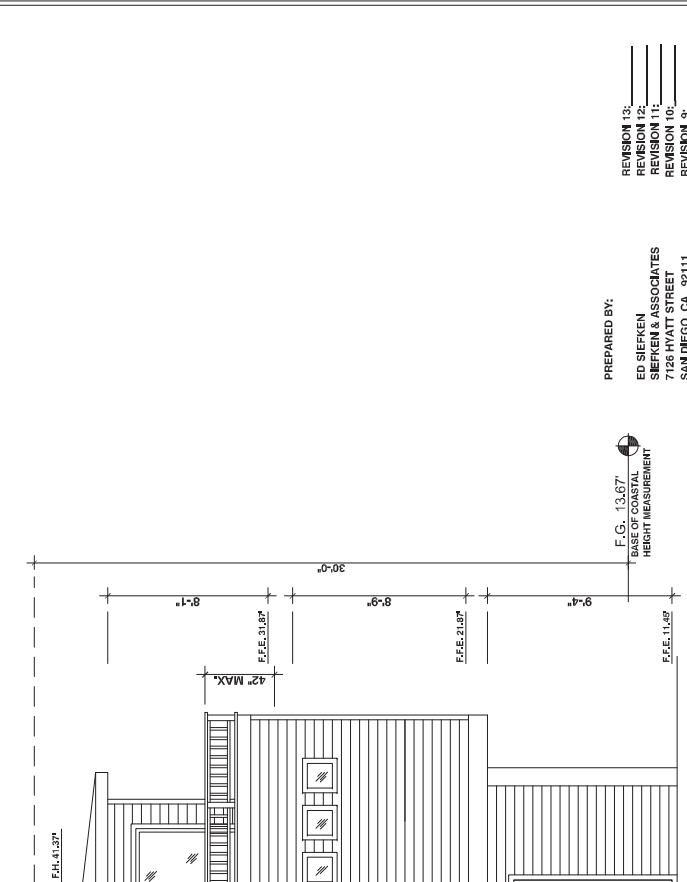
NORTH ELEVATION

SCALE: 1/4"=1'-0"
 0 4 8 10'



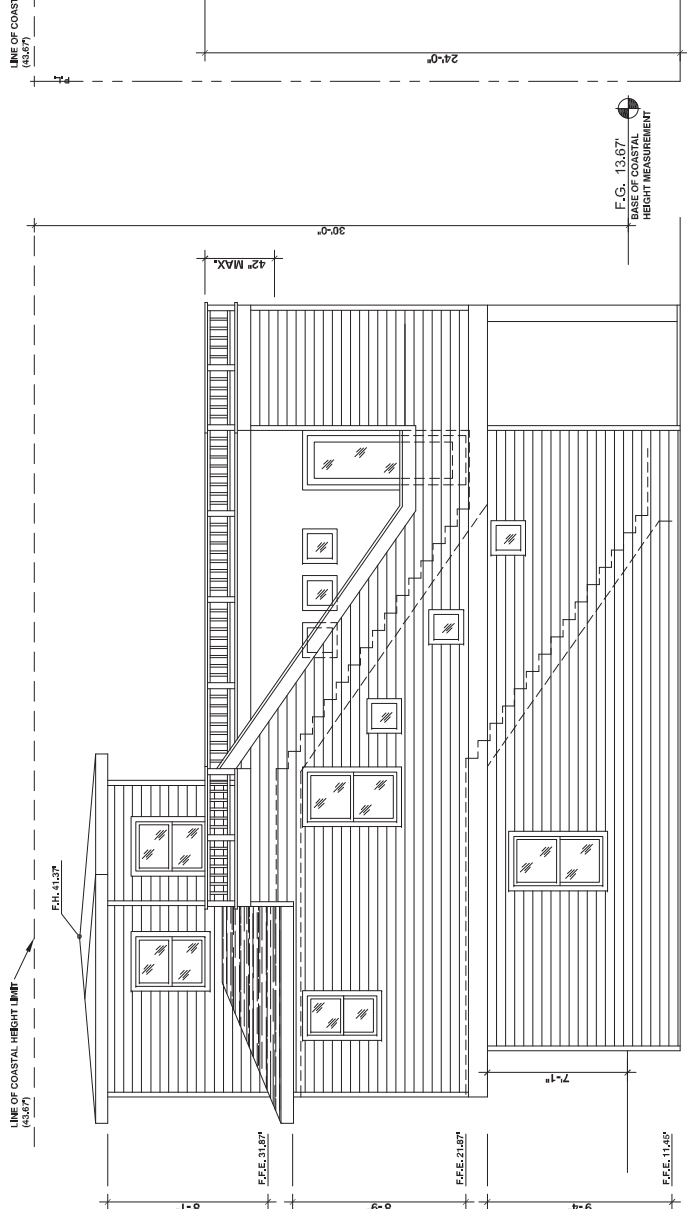
EAST ELEVATION

SCALE: 1/4"=1'-0"
 0 4 8 10'



SOUTH ELEVATION

SCALE: 1/4"=1'-0"
 0 4 8 10'



WEST ELEVATION

SCALE: 1/4"=1'-0"
 0 4 8 10'

- REVISION 13: _____
- REVISION 12: _____
- REVISION 11: _____
- REVISION 10: _____
- REVISION 9: _____
- REVISION 8: _____
- REVISION 7: _____
- REVISION 6: _____
- REVISION 5: _____
- REVISION 4: _____
- REVISION 3: _____
- REVISION 2: _____
- REVISION 1: _____
- ORIGINAL DATE: 8-27-20

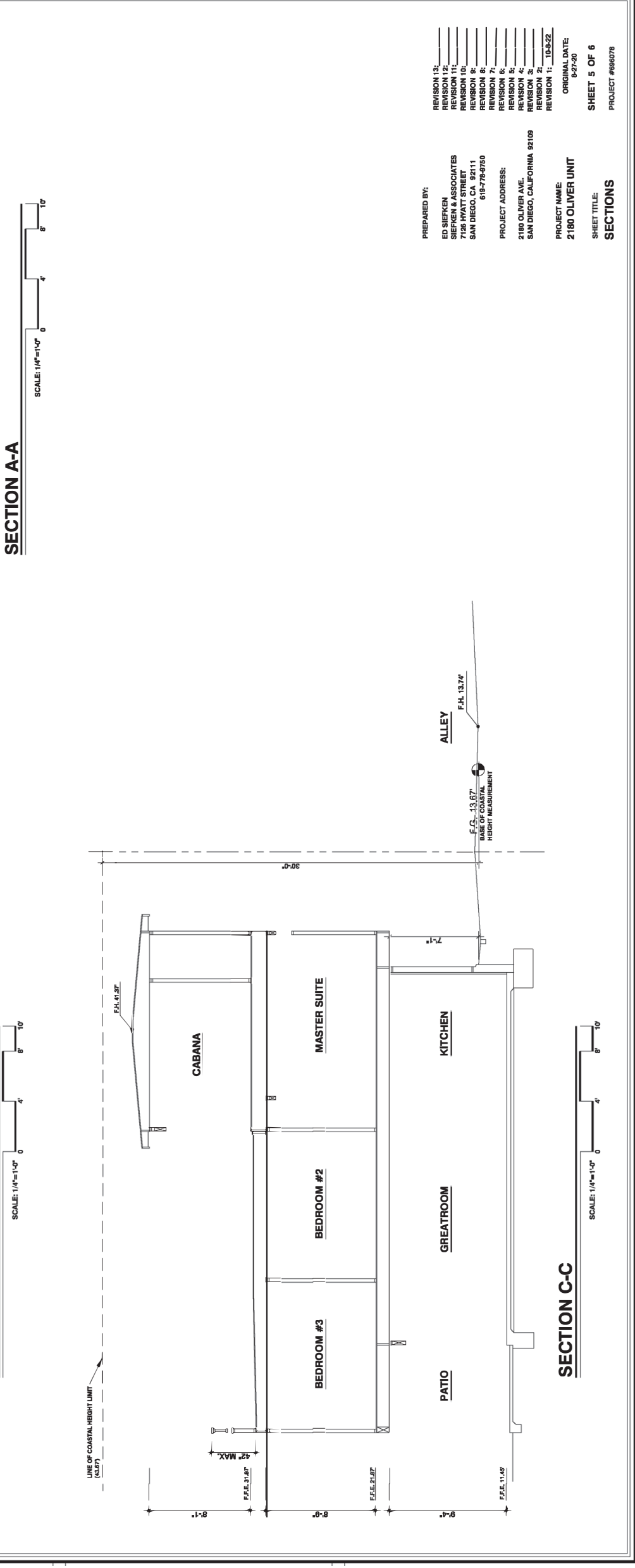
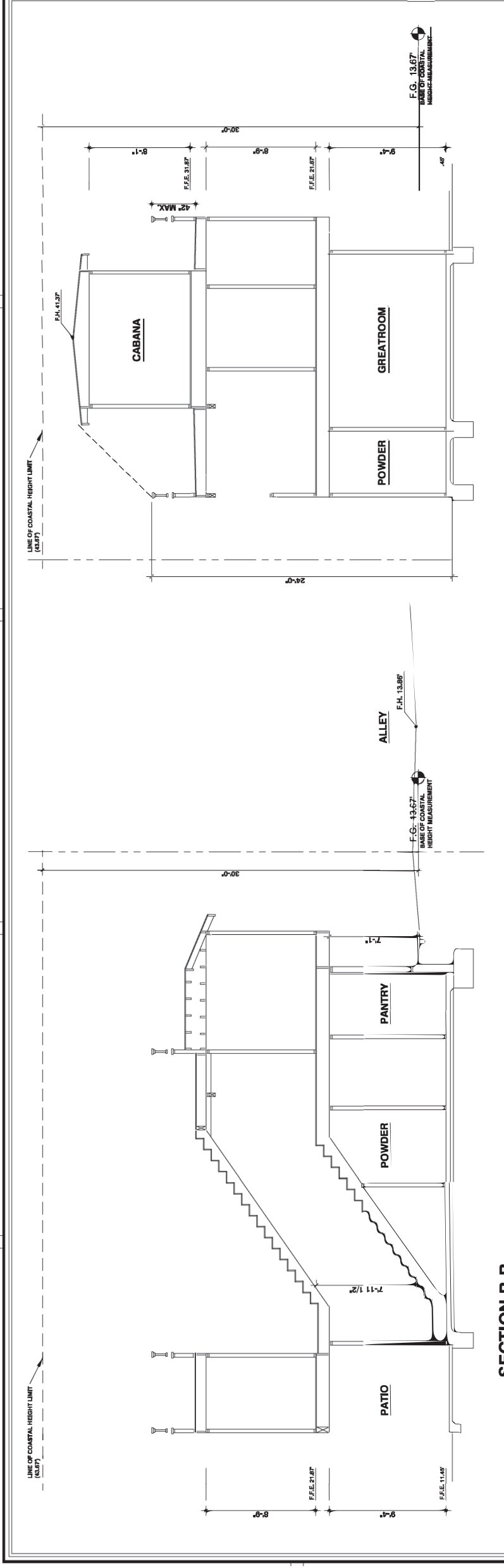
PREPARED BY:
 ED SIEFKEN
 SIEFKEN & ASSOCIATES
 7126 HYATT STREET
 SAN DIEGO, CA 92111
 619-798-9760

PROJECT ADDRESS:
 2180 OLIVER AVE.
 SAN DIEGO, CALIFORNIA 92109

PROJECT NAME:
 2180 OLIVER UNIT

SHEET TITLE:
ELEVATIONS

SHEET 4 OF 6
 PROJECT #688078



NO.	REVISION DESCRIPTION	BY

SIEFKEN & ASSOC.
7126 HYATT STREET
SAN DIEGO, CA 92111

2180 OLIVER UNIT
2180 OLIVER AVENUE
SAN DIEGO, CA 92109

DESIGN BY: ED SIEFKEN
DRAWN: ES
CHECKED: _____
DATE: 8/27/20
SCALE: NOTED
JOB NO.: _____
SHEET: _____
OF: **5**

PREPARED BY:
ED SIEFKEN
SIEFKEN & ASSOCIATES
1455 AVENUE
SAN DIEGO, CA 92111
619-778-9760

PROJECT ADDRESS:
2180 OLIVER AVE.
SAN DIEGO, CALIFORNIA 92109

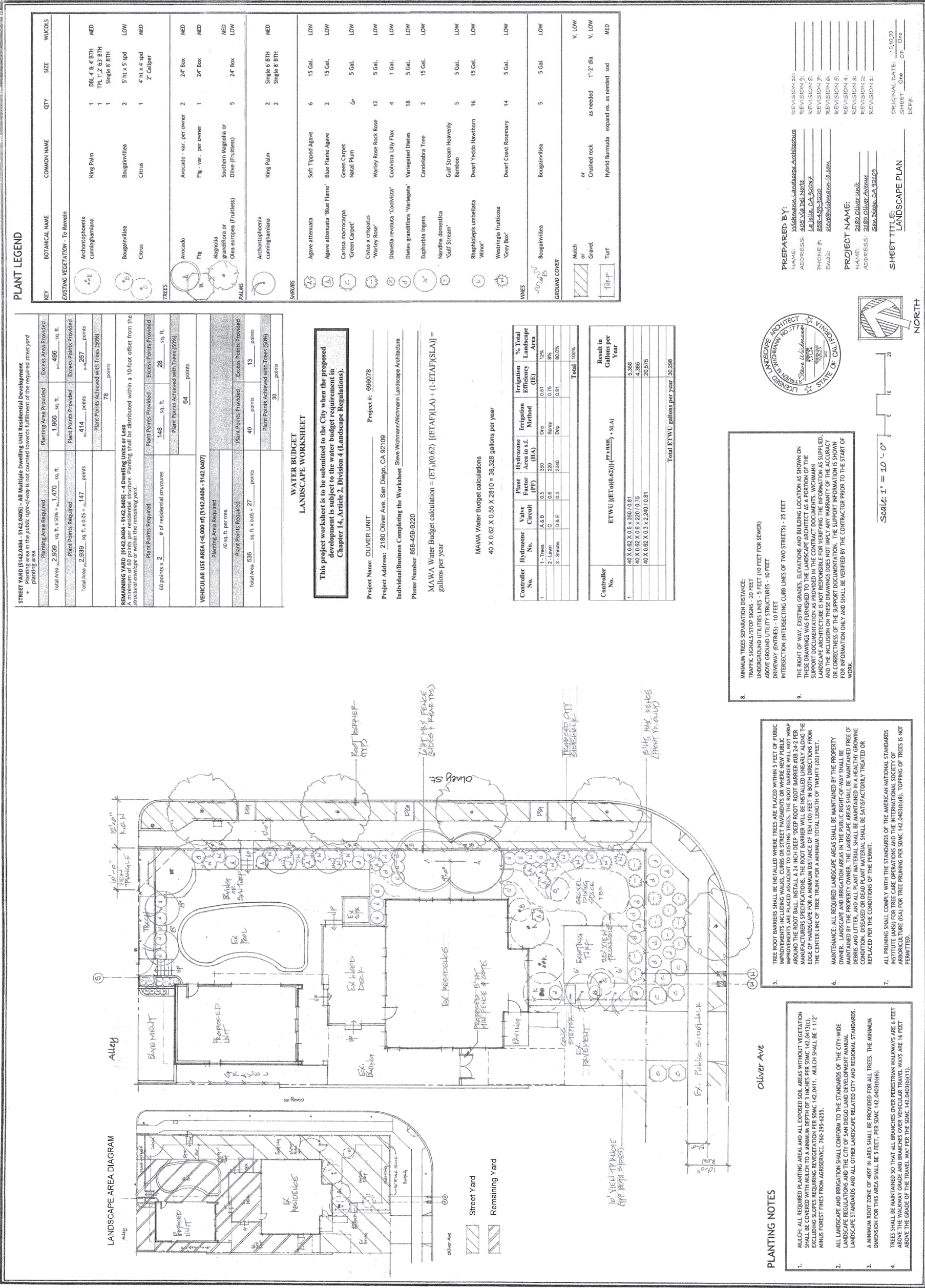
PROJECT NAME:
2180 OLIVER UNIT

SHEET TITLE:
SECTIONS

REVISION 13: _____
REVISION 12: _____
REVISION 11: _____
REVISION 10: _____
REVISION 9: _____
REVISION 8: _____
REVISION 7: _____
REVISION 6: _____
REVISION 5: _____
REVISION 4: _____
REVISION 3: _____
REVISION 2: _____
REVISION 1: 10-3-22

ORIGINAL DATE:
8-27-20

SHEET 5 OF 6
PROJECT #686078



STREET YARD [§142.0404 - §142.0405] - All Multiple Dwelling Unit Residential Development
 in the public right-of-way is not counted towards fulfillment of the required street yard planting area.

Planting Area Required	Planting Area Provided	Excess Area Provided
Total Area = 2,939 sq. ft. x 0.50 = 1,470 sq. ft.	1,908 sq. ft.	486 sq. ft.
Plant Points Required = 414 points	Plant Points Provided = 287 points	Excess Points Provided = 127 points
Total Area = 2,939 sq. ft. x 0.25 = 735 sq. ft.	78 points	Plant Points Achieved with Trees (50%) = 78 points

REMAINING YARD [§142.0404 - §142.0405] - Dwelling Units or less
 A minimum of 60 points per residential structure planting shall be distributed within a 10-foot offset from the structural envelope or within the remaining yard.

Planting Area Required	Planting Area Provided	Excess Points Provided
60 points x 2 = 120 points	148 sq. ft.	28 points
Plant Points Required = 64 points	Plant Points Provided = 64 points	Plant Points Achieved with Trees (50%) = 64 points

VEHICULAR USE AREA (<= 6,000 sq ft) [§142.0406 - §142.0407]
 40 sq. ft. per tree.

Planting Area Required	Planting Area Provided	Excess Points Provided
Total Area = 536 sq. ft. x 0.05 = 27 points	40 points	13 points
Plant Points Required = 30 points	Plant Points Provided = 30 points	Plant Points Achieved with Trees (50%) = 30 points

WATER BUDGET LANDSCAPE WORKSHEET

This project worksheet is to be submitted to the City when the proposed development is subject to the water budget requirement in Chapter 14, Article 2, Division 4 (Landscape Regulations).

Project Name: OLIVER UNIT Project #: 696078
 Project Address: 2180 Oliver Ave. San Diego, CA 92109
 Individual/Business Completing the Worksheet: Steve Wichmann/Wichmann Landscape Architecture
 Phone Number: 658-459-9220
 MAWA Water Budget calculation = $(ET_0)(0.62) [(ETAF)(LA) + (1-ETAF)(SLA)] =$ gallons per year

MAWA Water Budget calculations
 $40 \times 0.62 \times 0.55 \times 2810 = 38,328$ gallons per year

Controller No.	Hydrozone No.	Valve Circuit	Plant Factor (PF)	Hydrozone Area (HA)	Irrigation Method	Irrigation Efficiency (IE)	% Total Landscape Area
1	1 - Trees	A & B	0.5	350	Drip	0.81	12%
	2 - Lawn	C	0.6	220	Spray	0.75	8%
	3 - Shrubs	D & E	0.3	2240	Drip	0.61	80.0%
Total							100%

Controller No.	ETWU [ET ₀ (0.62)] [(ETAF)(LA) + (1-ETAF)(SLA)]	Result in Gallons per Year
1	$40 \times 0.62 \times 0.55 \times 2810 = 38,328$	38,328
	$40 \times 0.62 \times 0.6 \times 220 = 5,456$	5,456
	$40 \times 0.62 \times 0.3 \times 2240 = 10,912$	10,912
Total ETWU gallons per year		54,696

MINIMUM TREES SEPARATION DISTANCE:
 TRAFFIC SIGNALS/STOP SIGNS - 30 FEET
 ABOVE GROUND UTILITIES LINES - 3 FEET (10 FEET FOR SEWER)
 DRIVEWAY (ENTRIES) - 10 FEET
 INTERSECTION (INTERSECTING CURB LINES OF TWO STREETS) - 25 FEET
 THE RIGHT OF WAY, EXISTING GRADES, ELEVATIONS AND BUILDING LOCATION AS SHOWN ON THESE DRAWINGS WAS FURNISHED TO THE LANDSCAPE ARCHITECT AS A PORTION OF THE SUPPORT DOCUMENTATION AS PROVIDED IN THE CONTRACT DOCUMENTS. WICHMANN LANDSCAPE ARCHITECTURE IS NOT RESPONSIBLE FOR VERIFYING THE INFORMATION AS SUPPLIED, AND THE INCLUSION ON THESE DRAWINGS DOES NOT IMPLY ANY WARRANTY OF THE ACCURACY AND THE SUITABILITY OF THE SUPPORT DOCUMENTATION FOR THE PROJECT. THE CONTRACTOR SHALL VERIFY ALL INFORMATION AND SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION FOR INFORMATION ONLY AND SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO THE START OF WORK.



PREPARED BY:
 NAME: Steve Wichmann, Landscape Architect
 ADDRESS: 405 VA Del Norte, Ste. C, La Jolla, CA 92037-6761
 PHONE #: 658-459-9220
 EMAIL: SW@Wichmann-LA.com

PROJECT NAME:
 NAME: 2180 Oliver Unit
 ADDRESS: 2180 Oliver Avenue, San Diego, CA 92109

REVISION 10:
 REVISION 9:
 REVISION 8:
 REVISION 7:
 REVISION 6:
 REVISION 5:
 REVISION 4:
 REVISION 3:
 REVISION 2:
 REVISION 1:

ORIGINAL DATE: 10.10.22
 SHEET: One of One
 SHEET#: _____

5. THESE ROOT BARRIERS SHALL BE INSTALLED WHERE TREES ARE PLACED WITHIN 5 FEET OF PUBLIC IMPROVEMENTS INCLUDING WALLS, CURBS OR STREET PAVEMENTS OR WHERE NEW PUBLIC IMPROVEMENTS ARE PLACED ADJACENT TO EXISTING TREES. THE ROOT BARRIER WILL NOT WRAP AROUND THE ROOT BALL. INSTALL A 24 INCH DEEP "DEEP ROOT" ROOT BARRIER #UB 24-2 PER MANUFACTURERS SPECIFICATIONS. THE ROOT BARRIER WILL BE INSTALLED UNILATERALY ALONG THE EDGE OF HARDSCAPE FOR A MINIMUM DISTANCE OF TEN (10) FEET IN BOTH DIRECTIONS FROM THE CENTER LINE OF THE TRUNK FOR A MINIMUM TOTAL LENGTH OF TWENTY (20) FEET.

6. MAINTENANCE: ALL REQUIRED LANDSCAPE AREAS SHALL BE MAINTAINED BY THE PROPERTY OWNER. LANDSCAPE AND BRIGRATION AREAS IN THE PUBLIC RIGHT-OF-WAY SHALL BE MAINTAINED BY THE PROPERTY OWNER. THE LANDSCAPE AREAS SHALL BE MAINTAINED FREE OF DEBRIS AND LITTER, AND ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION. DISPOSED OR DEAD PLANT MATERIAL SHALL BE SATISFACTORILY TREATED OR REPLACED PER THE CONDITIONS OF THE PERMIT.

7. ALL PRUNING SHALL COMPLY WITH THE STANDARDS OF THE AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI) FOR TREE CARE OPERATIONS AND THE INTERNATIONAL SOCIETY OF ARBORICULTURE (ISA) FOR TREE PRUNING PER SOMC 142.0403(D)(8). TOPPING OF TREES IS NOT PERMITTED.

1. MULCH: ALL REQUIRED PLANTING AREAS AND ALL EXPOSED SOIL AREAS WITHOUT VEGETATION SHALL BE COVERED WITH MULCH TO A MINIMUM DEPTH OF 3 INCHES PER SOMC 142.0413(C), EXCLUDING SLOPES REQUIRING REVEGETATION PER SOMC 142.0411. MULCH SHALL BE 1 1/2" MINUS FOREST FINES FROM AGRISERVIC, 769-295-6235.

2. ALL LANDSCAPE AND IRRIGATION SHALL CONFORM TO THE STANDARDS OF THE CITY-WIDE LANDSCAPE REGULATIONS AND THE CITY OF SAN DIEGO LAND DEVELOPMENT MANUAL LANDSCAPE STANDARDS AND ALL OTHER LANDSCAPE RELATED CITY AND REGIONAL STANDARDS.

3. A MINIMUM ROOT ZONE OF 48" IN AREA SHALL BE PROVIDED FOR ALL TREES. THE MINIMUM DIMENSION FOR THIS AREA SHALL BE 5 FEET, PER SOMC 142.0403(B)(6).

4. TREES SHALL BE MAINTAINED SO THAT ALL BRANCHES OVER PEDESTRIAN WALKWAYS ARE 6 FEET ABOVE THE WALKWAY GRADE AND BRANCHES OVER VEHICULAR TRAVEL WAYS ARE 16 FEET ABOVE THE GRADE OF THE TRAVEL WAY PER THE SOMC 142.0403(B)(11).

2180 OLIVER UNIT
 2180 Oliver Avenue
 SAN DIEGO, CA 92109

WICHMANN
 LANDSCAPE ARCHITECTURE
 405 VA Del Norte, Ste. C, La Jolla, CA 92037-6761
 658-459-9220

Date	Job #	Rev
10.15.22	R 2213	1
10.23.22		2
10.23.22		3
10.23.22		4
10.23.22		5
10.23.22		6
10.23.22		7
10.23.22		8
10.23.22		9
10.23.22		10

Sheet
 ONE OF ONE