



THE CITY OF SAN DIEGO

Report to the Hearing Officer

DATE ISSUED: July 17, 2024 REPORT NO. HO-24-030

HEARING DATE: July 24, 2024

SUBJECT: 3083 RACETRACK VIEW DRIVE, Process Three Decision

PROJECT NUMBER: [PRJ-1089824](#)

OWNER/APPLICANT: Bayardo Abaunza and Cynthia Abaunza, Owners
San Diego Permit Company, Applicant

SUMMARY

Issue: Should the Hearing Officer approve a Coastal Development Permit for the proposed construction of a new 695-square-foot attached accessory dwelling unit above an existing garage, a 237-square-foot exterior deck and stairs for access to the new accessory dwelling unit, a 50-square-foot extension of the existing garage, and a 177-square-foot new hobby room addition to an existing garage of a one-story single dwelling unit located at [3083 Racetrack View Drive](#) within the [Torrey Pines Community Planning and Local Coastal Program](#) area?

Proposed Actions:

1. APPROVE Coastal Development Permit No. PMT-3230010.

Fiscal Considerations: None. All costs associated with the processing of the application are recovered through a deposit account funded by the applicant.

Code Enforcement Impact: There are no open code enforcement cases for this site.

Housing Impact Statement: The project proposes an addition to an existing single-dwelling unit, in addition to the construction of a new accessory dwelling unit. The proposed development supports the housing element of the General Plan by maintaining the City's existing housing stock and increasing housing opportunities in areas zoned for single-dwelling unit residential densities.

Community Planning Group Recommendation: On November 21, 2023, the Torrey Pines Community Planning group voted unanimously 14-0-0 on the consent agenda to recommend approval of the project with no conditions (Attachment 9).

Environmental Impact: The City of San Diego conducted an environmental review and determined that the project would qualify to be categorically exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15303 (New Construction). Section 15303 allows for the construction of new, small structures including accessory structures. This project is not pending an appeal of the environmental determination. The environmental exemption determination for this project was made on March 7, 2024, and the opportunity to appeal that determination ended on March 21, 2024.

BACKGROUND

The project site is located at 3083 Racetrack View Drive within the Torrey Pines Community Plan area and Council District 1. The .62-acre project site is zoned within the single-dwelling unit, RS-1-2 base zone. The Torrey Pines Community Plan land use plan designates the project site as Very Low Residential with zero to four dwelling units per acre (0-4 DU/AC). The project site is constrained by the Coastal Overlay Zone (appealable), the Coastal Height Limit Overlay Zone, the Coastal Overlay First Public Roadway, and the Very High Fire Hazard Severity Zone.

The existing 2,297-square-foot home was built in 1987 in the Del Mar Estates subdivision established per Map No. 11375 in 1985. The parcel lies east and north of the Crest Canyon Open Space Park, south of the San Dieguito Lagoon Ecological Reserve, and immediately west of Interstate 5 (I-5). The project site is situated in a cul-de-sac at the terminus of Racetrack View Drive. Because cul-de-sacs do not provide continuous public access, the parcel is therefore set between the San Dieguito Lagoon and Interstate 5 which is the first public roadway.

Previously permitted activities on the existing site include the installation of rooftop-mounted photovoltaic panels in 2021 and the construction of a custom in-ground pool in 2022.

DISCUSSION

Project Description:

The project seeks approval of a Coastal Development Permit for additions to an existing one-story, 2,297-square-foot single-dwelling unit home. The proposed development consists of a 50-square-foot extension of the existing attached two-car garage on the western façade and a 177-square-foot hobby room addition on the eastern façade, as well as a second-floor addition of a 695-square-foot accessory dwelling unit (ADU) above the extended garage and hobby room. A 237-square-foot deck and exterior staircase at the southern façade provide access to the ADU.

The height of the existing structure is approximately 19 feet. With the addition of the second floor ADU, the proposed height will be approximately 24 feet 2 inches, which is below the 30-foot height limit in conformance with the Coastal Height Limit Overlay Zone regulations SDMC 132.0505(a).

The premises is fully developed and directly abuts similar single-dwelling unit development to the north and south, and the developed CalTrans right-of-way to the east. The proposed development is separated from any Open Space areas by approximately 200 feet. As such, the site is devoid of any sensitive biological resources, or forms of Environmentally Sensitive Lands (ESL). In addition, the site

is not subject to the Supplemental Regulations within Areas of Future Sea Level Rise as it is located outside of the area of future sea level rise based on the most current sea level rise vulnerability map.

Although the project site is fully developed and disturbed, it is located within the Very High Fire Hazard Severity Zone. Accordingly, the project will implement a brush management program establishing a 35-foot Zone One and a 65-foot Zone Two defensible space between the habitable structure and areas of more native/naturalized vegetation, protecting the safety and security of its residents.

The proposed development will be conditioned to remove and replace damaged portions of the existing sidewalk along the project frontage on the eastern side of Racetrack View Drive and to reconstruct the driveway to comply with current Americans with Disabilities Act (ADA) requirements. Existing trees adjacent to the driveway within 10-foot of the limit of work for the reconstruction will be protected in place.

Permits Required:

- Process 2 – A City-issued Coastal Development Permit (CDP) for an Accessory Dwelling Unit (ADU) in the appealable area of the Coastal Overlay Zone in accordance with the following San Diego Municipal Code (SDMC) sections:
 - SDMC 126.0704(a)(2) for an increase in building height by more than 10% where the structure is located between the sea and the first public roadway; and
 - SDMC 126.0704(a)(9) for an ADU that is not completely contained in the existing primary structure or includes an increase in habitable area; and
 - SDMC 126.0707(a) and (b) for a city-issued CDP for an ADU in the appealable Coastal Overlay Zone where the decision is made in accordance with Process 2.
- Process 3 – A City-issued CDP for the garage and hobby room additions in the appealable area of the Coastal Overlay Zone in accordance with SMDC 126.0707(b).

The Consolidation of Processing Regulations under SDMC 112.0103 mandates that all actions be consolidated and processed at the highest decision level, which in this case, is a Process 3 decision.

Community Plan Analysis: The Torrey Pines Community Plan and Local Coastal Program specifically discusses the Del Mar Estates subdivision along Racetrack View Drive, describing it as a subdivision comprised of large single-family detached homes of 25 feet in height. The height of the existing home on the subject premises is 19 feet, and the addition of the second-story accessory dwelling unit will raise the roof line to only 24 feet 2 inches, thereby maintaining a similar bulk and scale to existing homes within the subdivision. Overall, the Torrey Pines community planning area maintains a predominantly low-density residential character. The addition of an accessory dwelling unit is consistent with the residential element of the community plan which specifically proposes a wide range of product types and densities. To that point, while the Very Low Residential land use density is 0-4 DU/AC, accessory dwelling units are not subject to the density limitations for a premises as per the separately regulated residential use regulations SDMC 141.0302(b)(3)(B). Therefore, the project proposal is consistent with the density of the governing land use plan.

A pedestrian trail entrance into the northern portion of the Crest Canyon park system is located opposite the project site at the western side of Racetrack View Drive. However, the development does not encroach upon any physical accessway or any known view corridors per the Torrey Pines Community Plan and Local Coastal Program.

Conclusion:

Staff recommends approval of a Coastal Development Permit as the proposed development complies with the development regulations of the Land Development Code, the underlying RS-1-2 base zone, and the 0-4 DU/AC density within the land use plan of the community plan and local coastal program.

ALTERNATIVES

1. Approve Coastal Development Permit No. PMT-3230010 with modifications.
2. Deny Coastal Development Permit No. PMT-3230010 if the findings required to approve the project cannot be affirmed.

Respectfully submitted,



Daniel Neri
Development Project Manager
Development Services Department

Attachments:

1. Project Location Map
2. Community Plan Land Use Map
3. Zoning Map
4. Future Sea Level Rise Exhibit
5. Aerial View
6. Draft Permit with Conditions
7. Draft Permit Resolution with Findings
8. Notice of Exemption
9. Community Planning Group Recommendation
10. Ownership Disclosure Statement (DS-318)
11. Project Plans

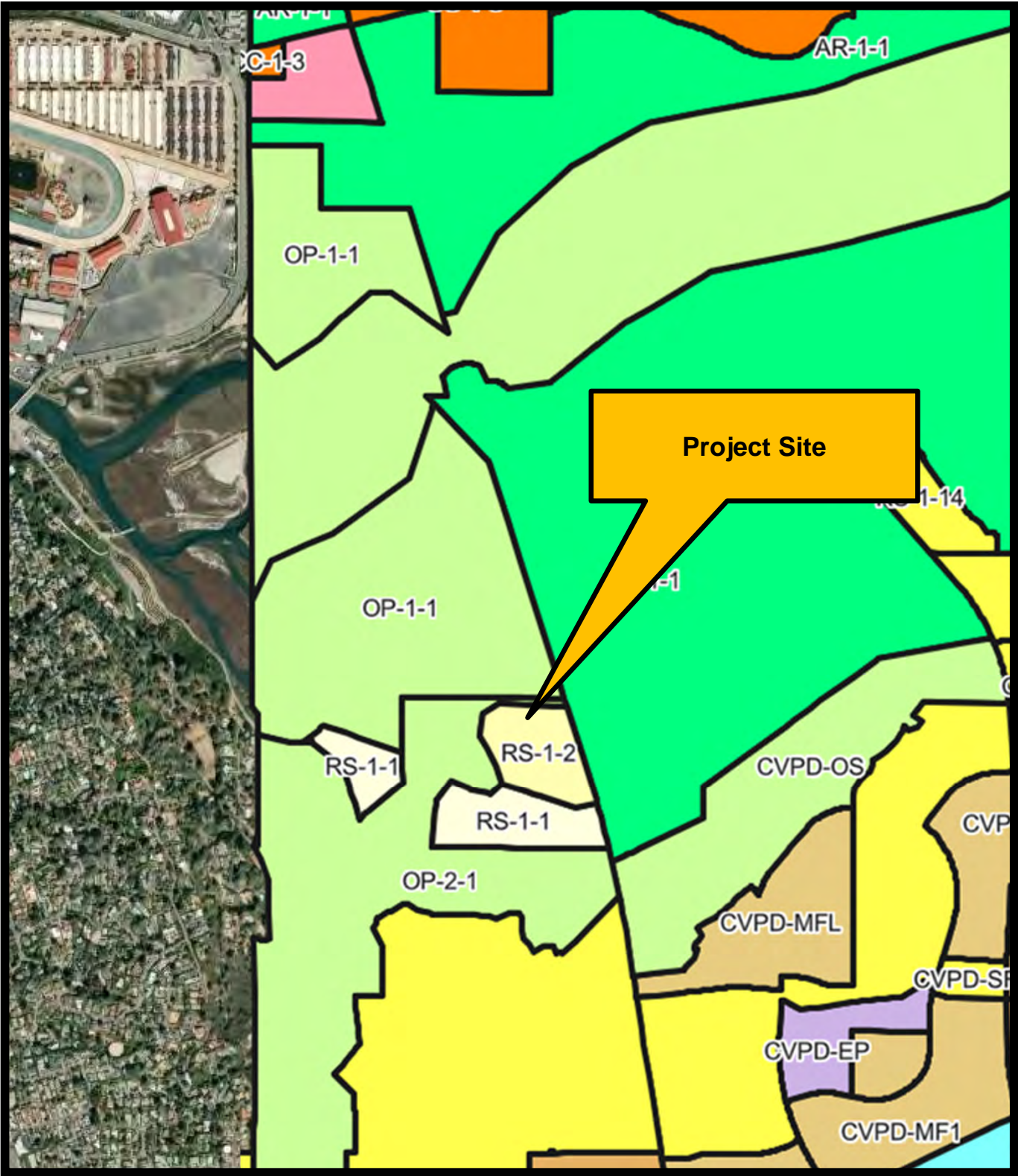


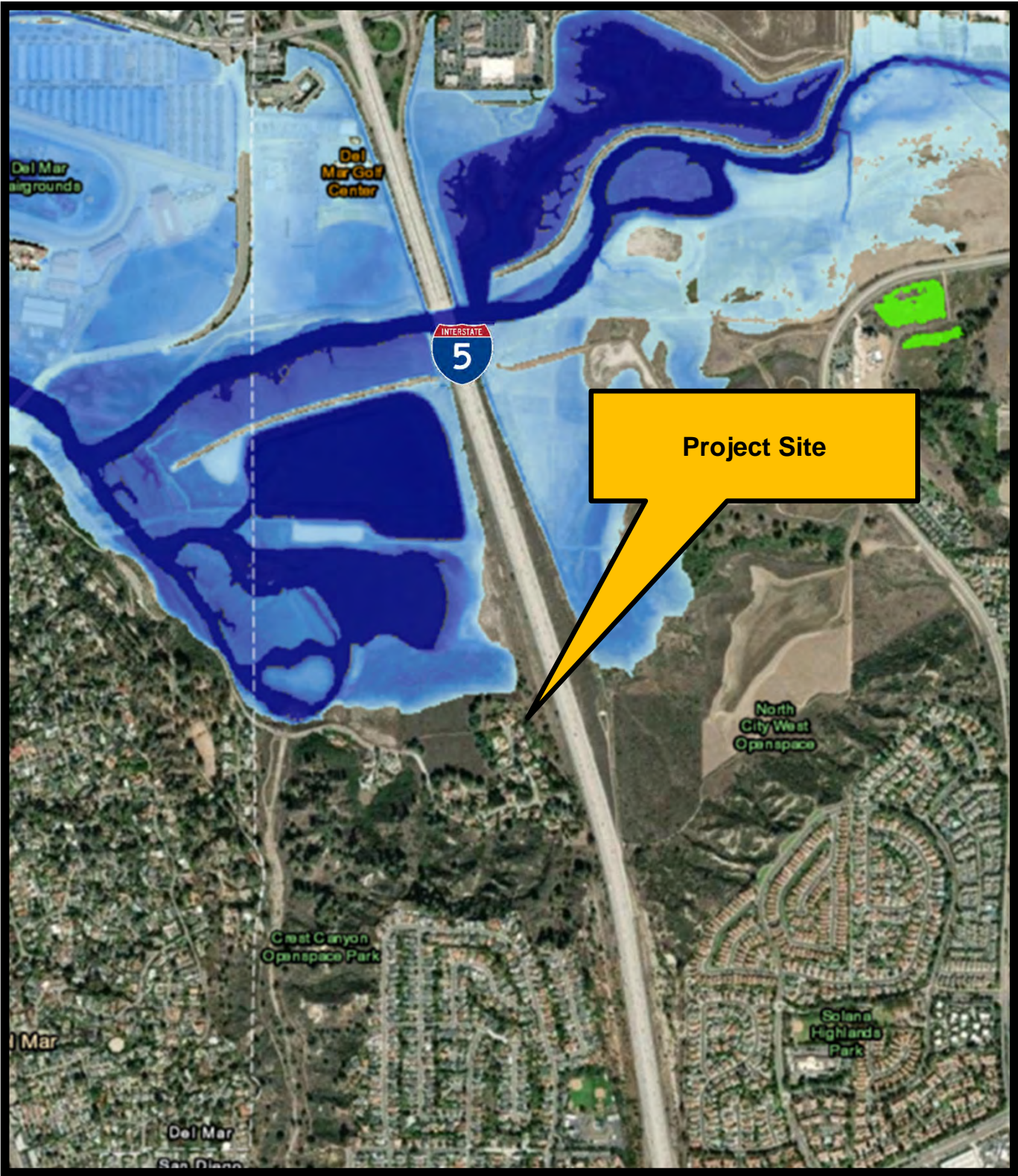
Project Location

3083 Racetrack View Drive
Project No. PRJ-1089824











RECORDING REQUESTED BY
CITY OF SAN DIEGO
DEVELOPMENT SERVICES
PERMIT INTAKE, MAIL STATION
501

WHEN RECORDED MAIL TO
PROJECT MANAGEMENT
PERMIT CLERK
MAIL STATION 501

INTERNAL ORDER NUMBER: 24009914

SPACE ABOVE THIS LINE FOR RECORDER'S USE

COASTAL DEVELOPMENT PERMIT NO. PMT-3230010
3083 RACETRACK VIEW DRIVE – PROJECT NO. PRJ-1089824
HEARING OFFICER

This Coastal Development Permit No. PMT-3230010 is granted by the Hearing Officer of the City of San Diego to Bayardo Abaunza and Cynthia Abaunza, husband and wife, Owner and Permittee, pursuant to San Diego Municipal Code [SDMC] section 126.0702. The 0.62-acre site is located at 3083 Racetrack View Drive in the RS-1-2 base zone, Coastal (appealable), Coastal Height, First Public Roadway, and Very High Fire Hazard Severity overlay zones within the Torrey Pines Community Plan. The project site is legally described as: Lot 15 of Del Mar Estates, in the City of San Diego, County of San Diego, State of California, according to Map thereof No. 11375, filed in the Office of the County Recorder of said County, November 25, 1985.

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner/Permittee to construct an attached accessory dwelling unit above the existing garage, including additions to the existing garage and to the existing one-story single-dwelling unit residence, described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated [INSERT Approval Date], on file in the Development Services Department.

The project shall include:

- a. A new 695-square-foot attached accessory dwelling unit above an existing garage, a 237-square-foot exterior deck and stairs for access to the new accessory dwelling unit, a 50-square-foot extension of the existing garage, and a 177-square-foot new hobby room addition to an existing garage; and
- b. Landscaping (planting, irrigation and landscape related improvements); and
- c. Off-street parking; and
- d. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act

[CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

STANDARD REQUIREMENTS:

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36-month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision-maker. This permit must be utilized by [ENTER DATE typically 3 years, including the appeal time].
2. This Coastal Development Permit shall become effective on the eleventh working day following receipt by the California Coastal Commission of the Notice of Final Action or following all appeals.
3. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
 - a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
 - b. The Permit is recorded in the Office of the San Diego County Recorder.
4. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision-maker.
5. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.
6. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
7. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).
8. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.

9. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.

10. All of the conditions contained in this Permit have been considered and were determined necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

11. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation-related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

ENGINEERING REQUIREMENTS:

12. Prior to the issuance of any construction permit, the Owner/Permittee shall incorporate any construction Best Management Practices necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the San Diego Municipal Code, into the construction plans or specifications, satisfactory to the City Engineer.

13. Prior to the issuance of any construction permit, the Owner/Permittee shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be drafted in accordance with Part 2, Chapter 4.2 and Appendix 'D' of the City of San Diego Storm Water Standards Manual.

14. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, the reconstruction of the existing driveway with a new 17-foot driveway per current City Standards, adjacent to the site on Racetrack View Drive, satisfactory to the City Engineer.

LANDSCAPE REQUIREMENTS:

15. Prior to the issuance of any construction permit for grading, the Owner/Permittee shall submit complete construction documents for the revegetation and hydro-seeding of all disturbed land in accordance with the City of San Diego Landscape Standards, Storm Water Design Manual, and to the satisfaction of the Development Services Department. All plans shall be in substantial conformance to this permit (including Environmental conditions) and Exhibit "A," on file in the Development Services Department.

16. Prior to the issuance of any construction permit for public improvements, the Owner/Permittee shall submit complete landscape construction documents for right-of-way improvements to the Development Services Department for approval. Improvement plans shall show, label, and dimension a 40-square-foot area around each tree which is unencumbered by utilities. Driveways, utilities, drains, water and sewer laterals shall be designed so as not to prohibit the placement of street trees.

17. Prior to the issuance of any construction permit for building (including shell), the Owner/Permittee shall submit complete landscape and irrigation construction documents, which are consistent with the Landscape Standards, to the Development Services Department for approval. The construction documents shall be in substantial conformance with Exhibit "A," Landscape Development Plan, on file in the Development Services Department. Construction plans shall provide a 40-square-foot area around each tree that is unencumbered by hardscape and utilities unless otherwise approved per §142.0403(b)6.

18. The Owner/Permittee shall be responsible for the maintenance of all landscape improvements shown on the approved plans, including in the right-of-way, unless long-term maintenance of said landscaping will be the responsibility of another entity approved by the Development Services Department. All required landscape shall be maintained consistent with the Landscape Standards in a disease, weed, and litter-free condition at all times. Severe pruning or "topping" of trees is not permitted.

19. If any required landscape (including existing or new plantings, hardscape, landscape features, etc.) indicated on the approved construction documents is damaged or removed, the Owner/Permittee shall repair and/or replace in kind and equivalent size per the approved documents to the satisfaction of the Development Services Department within 30 days of damage or Final Inspection.

20. Existing trees (and existing Erythrina tree adjacent to driveway) to remain on site within 10-ft of the area of work will be protected in place. The following protection measures will be provided:

- a. A bright yellow or orange temporary fence will be placed around existing trees at the drip line.

- b. Stockpiling, topsoil disturbance, vehicle use, and material storage of any kind is prohibited within the drip line.
- c. Root systems of existing trees will be protected from flooding, erosion, chemical spills, and excessive wetting and drying during dewatering.
- d. The existing grade will be maintained within the drip line of existing trees.
- e. Roots of existing trees will be cut back approximately 6-inches from the new construction.
- f. A Certified Consulting Arborist shall oversee pruning of any roots 4-inches or greater in diameter.
- g. A tree watering schedule will be maintained and documented during construction.
- h. All damaged trees will be replaced with one of equal or greater size."

BRUSH MANAGEMENT PROGRAM REQUIREMENTS:

- 21. The Owner/Permittee shall implement the following requirements in accordance with the Brush Management Program shown on Exhibit "A" on file in the Development Services Department.
- 22. The Brush Management Program shall consist of a standard Zone One of 35-feet in width, and a Zone Two of 65-feet in width, extending out from the structure towards the native/naturalized vegetation, consistent with §142.0412.
- 23. Prior to the issuance of any construction permit for grading, landscape construction documents required for the engineering permit shall be submitted showing the brush management zones on the property in substantial conformance with Exhibit "A."
- 24. Prior to the issuance of any construction permit for building, a complete Brush Management Program shall be submitted for approval to the Development Services Department and shall be in substantial conformance with Exhibit "A" on file in the Development Services Department. The Brush Management Program shall comply with the City of San Diego's Landscape Regulations and the Landscape Standards.
- 25. Within Zone One, combustible accessory structures (including, but not limited to decks, trellises, gazebos, etc.) shall not be permitted while accessory structures of non-combustible, one-hour fire-rated, and/or Type IV heavy timber construction may be approved within the designated Zone One area subject to Fire Marshal's approval.
- 26. The Brush Management Program shall be maintained at all times in accordance with the City of San Diego's Landscape Standards.

PLANNING/DESIGN REQUIREMENTS:

- 27. A topographical survey conforming to the provisions of the SDMC may be required if it is determined, during construction, that there may be a conflict between the building(s) under

construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Owner/Permittee.

28. Prior to the issuance of any construction permit for building, all proposed development must be in substantial conformance with the approved Exhibit "A."

29. The Accessory Dwelling Unit (ADU) may not be sold or conveyed separately from the primary dwelling unit unless all of the criteria listed under 141.0302(c)(1)(B) apply.

30. An ADU or Junior ADU shall not be used for a rental term of less than 31 consecutive days per SDMC 141.0302(b)(1)(B).

INFORMATION ONLY:

- The issuance of this discretionary permit alone does not allow the immediate commencement or continued operation of the proposed use on site. Any operation allowed by this discretionary permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Hearing Officer of the City of San Diego on [INSERT Approval Date] and [Approved Resolution Number].

ATTACHMENT 6

Coastal Development Permit No. PMT-3230010

Date of Approval: XX

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES DEPARTMENT

Daniel Neri
Development Project Manager

**NOTE: Notary acknowledgment
must be attached per Civil Code
section 1189 et seq.**

The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

By _____
BAYARDO ABAUNZA
Owner/Permittee

By _____
CYNTHIA ABAUNZA
Owner/Permittee

**NOTE: Notary acknowledgments
must be attached per Civil Code
section 1189 et seq.**

HEARING OFFICER RESOLUTION NO. [REDACTED]
COASTAL DEVELOPMENT PERMIT NO. PMT-3230010
3083 RACETRACK VIEW DRIVE – PROJECT NO. PRJ-1089824

WHEREAS, BAYARDO ABAUNZA AND CYNTHIA ABAUNZA, husband and wife, Owners/Permittees, filed an application with the City of San Diego for a permit to construct a new 695-square foot attached accessory dwelling unit above an existing garage, a 50-square foot extension of the existing garage, and a 177-square foot new hobby room addition to an existing one-story single dwelling unit residence as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Permit No. PMT-3230010, on portions of a 0.62-acre site;

WHEREAS, the project site is located at 3083 Racetrack View Drive in the RS-1-2 zone of the Torrey Pines Community Plan area;

WHEREAS, the project site is legally described as LOT 15 OF DEL MAR ESTATES, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 11375, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, NOVEMBER 25, 1985;

WHEREAS, on March 7, 2024, the City of San Diego, as Lead Agency, through the Development Services Department, made and issued an Environmental Determination that the project is exempt from the California Environmental Quality Act (CEQA) (Public Resources Code Section 21000 et seq.) under CEQA Guideline Section 15303(a), New Construction or Conversion of Small Structures, and there was no appeal of the Environmental Determination filed within the time period provided by San Diego Municipal Code Section 112.0520;

WHEREAS, on July 24, 2024, the Hearing Officer of the City of San Diego considered Coastal Development Permit No. PMT-3230010 pursuant to the Land Development Code of the City of San Diego;

NOW, THEREFORE,

BE IT RESOLVED by the Hearing Officer of the City of San Diego, that it adopts the following findings with respect to Coastal Development Permit No. PMT-3230010:

A. COASTAL DEVELOPMENT PERMIT SDMC Section 126.0708

1. Findings for all Coastal Development Permits:

- a. The proposed coastal development will not encroach upon any existing physical accessway that is legally used by the public or any proposed public accessway identified in a Local Coastal Program land use plan; and the proposed coastal development will enhance and protect public views to and along the ocean and other scenic coastal areas as specified in the Local Coastal Program land use plan.**

This project site is located at 3083 Racetrack View Drive within the Torrey Pines Community Plan and Local Coastal Program area, south of the San Dieguito Lagoon Conservation Area, and east of the Crest Canyon open space park. The base zone of the subject parcel is RS-1-2 for residential single-dwelling unit development, and the property is surrounded by similar single-dwelling unit development. Encumbered by the appealable Coastal Overlay Zone, the project site is located on the eastern side of the public right-of-way at the end of a cul-de-sac, and immediately adjacent to Cal Trans property and Interstate 5. The project site and abutting properties are all fully developed on previously graded/disturbed land and the proposed development remains fully within the boundaries of the parcel property lines. There is a pedestrian trail entrance into the northern portion of the Crest Canyon park system at the western side of Racetrack View Drive, opposite the project site. Therefore, there is no encroachment upon any physical accessway. Furthermore, no public views into Crest Canyon, nor the San Dieguito Lagoon Conservation area or other scenic coastal areas, would be obstructed by the proposed development.

- b. The proposed coastal development will not adversely affect environmentally sensitive lands.**

The subdivision of Del Mar Estates was established in 1985 and the construction of the existing single-dwelling unit development was completed in 1987. The project site is fully developed on graded/disturbed land and surrounded by similar single-dwelling unit development. The site is void of sensitive biological resources and steep hillsides, and is not part of the city's Multiple Habitat Planning Area. Therefore, the proposed development will not adversely affect environmentally sensitive lands.

- c. The proposed coastal development is in conformity with the certified Local Coastal Program land use plan and complies with all regulations of the certified Implementation Program.**

The Torrey Pines Community Plan land use plan designates the project site as Very Low Residential with zero to four dwelling units per acre (0-4 DU/AC). Per the Accessory Dwelling Unit Regulations under Chapter 14, Article, 1, Division 3, accessory dwelling units are not subject to the density limitations for the premises. Therefore, the proposed accessory dwelling unit development, together with the small additions of a 50-square-foot extension of the existing garage and a 177-square-foot new hobby room to the existing single-dwelling unit, conform to the density of Local Coastal Program, the citywide RS-1-2 base zone, and to the San Diego Municipal Code (SDMC) regulations of the certified Implementation Program.

The Local Coastal Program states, "New development should first be located adjacent to developed areas able to accommodate it, and where it will not have significant adverse effects on coastal resources." Incorporating findings "a." and "b." above by reference, the proposed development is in conformity with all regulations of the certified Local Coastal Program.

- d. For every Coastal Development Permit issued for any coastal development between the nearest public road and the sea or the shoreline of any body of water located within the Coastal Overlay Zone the coastal development is in conformity with the public access and public recreation policies of Chapter 3 of the California Coastal Act.**

Incorporating finding "a." above by reference. Therefore, the proposed development is in conformity with the public access and public recreation policies of Chapter 3 of the California Coastal Act.

The above findings are supported by the minutes, maps, and exhibits, all of which are incorporated herein by this reference.

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the Hearing Officer, Coastal Development Permit No. PMT-3230010 is hereby GRANTED by the Hearing Officer to the referenced Owner/Permittee, in the form, exhibits, terms, and conditions as set forth in Permit No. PMT-3230010, a copy of which is attached hereto and made a part hereof.

Daniel Neri
Development Project Manager
Development Services

Adopted on: **DATE OF APPROVAL**

IO#: 24009914

NOTICE OF EXEMPTION

TO: Recorder/County Clerk
 P.O. Box 1750, MS A-33
 1600 Pacific Hwy, Room 260
 San Diego, CA 92101-2400

From: City of San Diego
 Development Services Department
 1222 First Avenue, MS 501
 San Diego, CA 92101

Office of Planning and Research
 1400 Tenth Street, Room 121
 Sacramento, CA 95814

Project Name/Number: Racetrack View Drive ADU/1089824

SCH No.: Not Applicable

Project Location-Specific: 3083 Racetrack View Drive San Diego, CA 92037

Project Location-City/County: San Diego/San Diego

Description of nature and purpose of the Project: Coastal Development Permit (CDP)

for a 695 square-foot dwelling unit (ADU) above an existing garage, a 50 square-foot extension of the existing garage and a new 177 square-foot hobby room adjacent to the existing garage to a 1-story single family residence. The project is located at 3083 Racetrack View Drive in the RS-1-2 Residential Zone, Coastal (appealable) Overlay Zone within the Torrey Pines Community Plan, and City Council District 1.

Name of Public Agency Approving Project: City of San Diego

Name of Person or Agency Carrying Out Project: San Diego Permit Company PO Box 124979 San Diego, CA 92112 (619) 395-5967

Exempt Status: (CHECK ONE)

- ☐ Ministerial (Sec. 21080(b)(1); 15268)
- ☐ Declared Emergency (Sec. 21080(b)(3); 15269(a))
- ☐ Emergency Project (Sec. 21080(b)(4); 15269 (b)(c))
- ☒ Categorical Exemption: Categorically exempt from CEQA pursuant to CEQA State Guidelines, Section 15303(a) (New Construction).
- ☐ Statutory Exemptions:
- ☐ Other:

Reasons why project is exempt: The City of San Diego conducted an environmental review and determined that the project would qualify to be categorically exempt from CEQA pursuant to Section 15303(a) (New Construction). Section 15303(a) allows for the construction of new small structures including accessory structures. Since the project would be constructing an ADU above an existing garage, a small hobby room adjacent to the garage and a 50 square-foot extension to the existing garage of an existing single-family home and no environmental impacts would occur, the exemption was deemed appropriate. None of the exceptions described in CEQA Guidelines Section 15300.2 apply.

Lead Agency Contact Person: Jeff Szymanski

Telephone: (619) 446-5234

If filed by applicant:

1. Attach certified document of exemption finding.
2. Has a notice of exemption been filed by the public agency approving the project? ☐ Yes ☐ No

It is hereby certified that the City of San Diego has determined the above activity to be exempt from CEQA.



Signature/Title

Senior Planner


March 22, 2024

Date

Check One:

- ☒ Signed By Lead Agency
☐ Signed by Applicant

Date Received for Filing with County Clerk or OPR:

Page 3	City of San Diego • Information Bulletin 620		August 2018
	City of San Diego Development Services 1222 First Ave., MS-302 San Diego, CA 92101		Community Planning Committee Distribution Form
Project Name: 3083 <u>Racetrack</u> View Dr PRJ-1089824		Project Number: 1089824	
Community: Torrey Pines			
<p>For project scope and contact information (project manager and applicant), log into OpenDSD at https://aca.accela.com/SANDIEGO.</p> <p>Select "Search for Project Status" and input the Project Number to access project information.</p>			
<input checked="" type="radio"/> Vote to Approve <input type="checkbox"/> Vote to Approve with Conditions Listed Below <input type="checkbox"/> Vote to Approve with Non-Binding Recommendations Listed Below <input type="checkbox"/> Vote to Deny			Date of Vote: November 21,
# of Members Yes 14	# of Members No 0	# of Members Abstain 0	
Conditions or Recommendations:			
<input type="checkbox"/> No Action (Please specify, e.g., Need further information, Split vote, Lack of quorum, etc.)			
NAME: Adam Gevanthor			
TITLE: Chair		DATE: January 17, 2024	
<p align="center"><i>Attach additional pages if necessary (maximum 3 attachments).</i></p>			

Visit our web site at www.sandiego.gov/development-services.

Upon request, this information is available in alternative formats for persons with disabilities.

DS-5620 (08-18) ONLINE FORM

	City of San Diego Development Services 1222 First Ave., MS 302 San Diego, CA 92101 (619) 446-5000	<h1 style="margin: 0;">Ownership Disclosure Statement</h1>	FORM DS-318 October 2017
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Approval Type: Check appropriate box for type of approval(s) requested: ☐ Neighborhood Use Permit ☐ Coastal Development Permit
☐ Neighborhood Development Permit ☐ Site Development Permit ☐ Planned Development Permit ☐ Conditional Use Permit ☐ Variance
☐ Tentative Map ☐ Vesting Tentative Map ☐ Map Waiver ☐ Land Use Plan Amendment • ☐ Other _____

Project Title: Bayardo & Cindy Abaunza **Project No. For City Use Only:** _____

Project Address: 3083 Racetrack View Drive, Del Mar, CA 92014

Specify Form of Ownership/Legal Status (please check):

☐ Corporation ☐ Limited Liability -or- ☐ General - What State? _____ Corporate Identification No. _____

☐ Partnership ☒ Individual

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter will be filed with the City of San Diego on the subject property with the intent to record an encumbrance against the property. Please list below the owner(s), applicant(s), and other financially interested persons of the above referenced property. A financially interested party includes any individual, firm, co-partnership, joint venture, association, social club, fraternal organization, corporation, estate, trust, receiver or syndicate with a financial interest in the application. If the applicant includes a corporation or partnership, include the names, titles, addresses of all individuals owning more than 10% of the shares. If a publicly-owned corporation, include the names, titles, and addresses of the corporate officers. (A separate page may be attached if necessary.) If any person is a nonprofit organization or a trust, list the names and addresses of ANY person serving as an officer or director of the nonprofit organization or as trustee or beneficiary of the nonprofit organization. A signature is required of at least one of the property owners. Attach additional pages if needed. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

Property Owner

Name of Individual: Bayardo Abaunza ☒ Owner ☐ Tenant/Lessee ☐ Successor Agency

Street Address: 3083 Racetrack View Drive

City: Del Mar State: CA Zip: 92014

Phone No.: 8584146435 Fax No.: _____ Email: bayardoabaunza@gmail.com

Signature:  Date: 3/14/2023

Additional pages Attached: ☐ Yes ☒ No

Applicant

Name of Individual: Bayardo Abaunza ☒ Owner ☐ Tenant/Lessee ☐ Successor Agency

Street Address: 3083 Racetrack View Drive

City: Del Mar State: CA Zip: 92014

Phone No.: 8584146435 Fax No.: _____ Email: bayardoabaunza@gmail.com

Signature:  Date: 3/14/2023

Additional pages Attached: ☐ Yes ☒ No

Other Financially Interested Persons

Name of Individual: Cynthia Abaunza ☒ Owner ☐ Tenant/Lessee ☐ Successor Agency

Street Address: 3083 Racetrack View Drive

City: Del Mar State: CA Zip: 92014

Phone No.: 9546751215 Fax No.: _____ Email: cjabauza@gmail.com

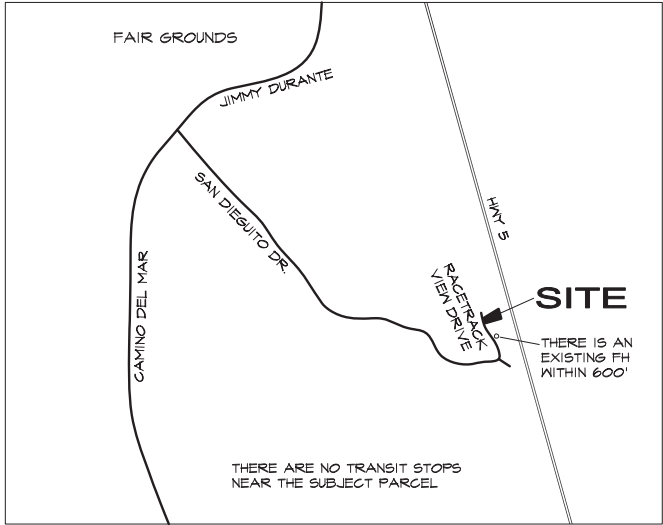
Signature:  Date: 3/14/2023

Additional pages Attached: ☐ Yes ☒ No

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CDP SET FOR: BAYARDO & CINDY ABAUNZA NEW ADU & ADDITION

LOCATION MAP:



PROJECT DATA:

CDP PROJECT #: 1089824
BLDG PERMIT PROJ #: 1065486

OWNER: BAYARDO & CINDY ABAUNZA
CONTACT #: 658 414 6435 BAYARDOABAUNZA@GMAIL.COM

PROJ. ADDRESS:
MAIN HOUSE: 3083 RACETRACK VIEW DR. • DEL MAR, CA • 92014
NEW ADU: 3085 RACETRACK VIEW DR. • DEL MAR, CA • 92014

CONTRACTOR: LORRAINE ADKINS
CONTACT #: 760 917 6885 GNACONST3@YAHOO.COM

PLAN PROCESSING: IAN AT SD PERMIT COMPANY
CONTACT #: 619 395 7275 IAN@SDPERMITCO.COM

APN: 300-490-15-00
LOT #: LOT 15 OF TRACT 11375
YEAR BUILT: 1987
ZONING: RS-1-2
OVERLAY ZONES: SENSITIVE VEGETATION, COASTAL HEIGHT LIMIT, PARKING IMPACT, AND COASTAL OVERLAY ZONE. THIS IS AN APPEALABLE PORTION OF THE COASTAL ZONE AND WILL BE HEARD BY A HEARING OFFICER FOR A PROCESS 3 CDP.

FIRE: HIGH FIRE SEVERITY = YES
GEOLOGIC HAZARD: CATEGORY 52
OCCUPANCY: R3
TYPE: TYPE VB
STORIES: ONE EXISTING (AND NEW 2ND FLOOR GUEST QUARTERS PROPOSED)
SEWER: Existing Community System
WATER: Existing Community System

FIRE SPRINKLERS: NO SPRINKLERS EXISTING OR PROPOSED

CODES: "THE PROJECT WILL COMPLY WITH THE FOLLOWING BUILDING CODES AND ASSOCIATED CITY OF SAN DIEGO AMENDMENTS"
2019 GRC AND / OR 2019 CBC, AS APPLICABLE
2019 CEC, 2019 CMC, 2019 CPC, 2019 CFC, AND
2019 C6BSC (ENERGY STANDARDS)

SHEET INDEX:

- A1 PROJECT DATA
A1.1 SITE PLAN
A1.2 CITY BMP NOTES & LANDSCAPING & BRUSH MANAGEMENT DATA
A1.3 LANDSCAPING & BRUSH MANAGEMENT PLAN
- A2 EXISTING / DEMO FLOOR PLAN
A2.1 PROPOSED LOWER FLOOR PLAN
A2.2 DEMO FLOOR PLAN
A3 PROPOSED UPPER FLOOR & ROOF PLAN
A4 EXISTING EXTERIOR ELEVATIONS
A4.1 EXISTING EXTERIOR ELEVATIONS
A5 SECTION

NOTES:

1. THIS PROPERTY IS CONNECTED TO THE SDGE POWER GRID.
2. THIS PROPERTY HAS NATURAL GAS.
4. SEE FIXTURE WATER USE TABLE ON SHEET N2 (GREEN STANDARDS NOTE #18)
5. SMOKE DETECTORS & CO DETECTORS ARE SHOWN ON SHEET E1.
FINAL INSPECTION WILL NOT BE APPROVED UNTIL THE INSPECTOR SEES THAT THE REQUIRED DETECTORS ARE INSTALLED PER THESE PLANS.
6. A TEMPERATURE LIMITING DEVICE SHALL BE PROVIDED AT THE NEW SHOWER PER CURRENT CPC SECTION 414.5.
7. ALL NEW PLUMBING FIXTURES MUST MEET THE REQUIREMENTS OF THE CURRENT CPC SECTION 402 ON WATER CONSERVING FIXTURES AND FITTINGS.
8. THIS PROJECT IS LOCATED WITHIN THE FIRST PUBLIC ROADWAY. THIS PROJECT EXCEEDS A 10% GFA AND HEIGHT INCREASE AND SHALL REQUIRE A COASTAL DEVELOPMENT PERMIT, WHICH HAS BEEN SUBMITTED AND IS UNDER REVIEW.
24. Safety during construction:
Note on plans: "During construction, at least one extinguisher shall be provided on each floor level at each stairway, in all storage and construction sheds, in locations where flammable or combustible liquids are stored or used, and where other special hazards are present per CFC Section 3315.1."
Note on plans: "Buildings undergoing construction, alteration, or demolition shall conform to CFC Chapter 33. Welding, cutting, and other hot work shall be in conformance with CFC Chapter 35."
Protect adjoining property from damage during construction and demolition work. Provide protection for footings, foundations, walls, chimneys, skylights and roofs. Control water runoff and erosion during construction or demolition activities. Note on the plans: "The person making or causing an excavation to be made shall provide written notice to the owners of adjoining buildings advising them that the excavation is to be made and that the adjoining buildings should be protected, delivered not less than 10 days prior to the scheduled excavation starting date." (CBC 3307.1)
54. "Per City of San Diego Municipal Code Sections 12.0104, 43.010, 129.0104(a)(4), and 142.0220, permits are required to be inspected by City Inspection staff to ensure compliance with issued construction permit. This includes, but not limited to, Stormwater Compliance Inspection Requirements associated with each permit."

PROJECT S.F.

EXISTING RESIDENCE:	2297 SF	2474 TOTAL NEW RES SF
PROPOSED HOBBY ROOM ADDITION:	177 SF	
PROPOSED ADU ABOVE GARAGE:	695 SF	
PROPOSED ADU STAIRS & DECK:	237 SF	
PROPOSED 3RD BAY GARAGE ADDITION:	50 SF	
EXISTING PORCHES:	146 SF	
EXISTING 2-CAR GARAGE:	572 SF	
AREA OF REMODEL WORK:	NO ADDITIONAL SPACES	
LOT SIZE:	27,007 SF	
FAR:	2474 + 695 + 50 / 27,007 = 12% (MAX = 45%)	
LOT COVERAGE:	3383 / 27,007 = 13%	

SCOPE OF WORK:

THIS COASTAL DEVELOPMENT PERMIT SET IS FOR SEVERAL THINGS;
- A CONDITIONED SPACE HOBBY ROOM ADDITION BEHIND THE GARAGE
- A SMALL ADDITION TO THE FRONT OF THE GARAGE
- A NEW ADU ABOVE THE GARAGE
- NEW EXTERIOR STAIRS AND DECK TO ALLOW ACCESS TO THE ADU

A CDP IS REQUIRED FOR THIS PROPERTY BECAUSE IT IS WITHIN THE MEAN HIGH TIDE & THE FIRST PUBLIC ROADWAY, AS DEFINED AND SHADED ON CITY MAPS.

THERE WILL BE STANDARD FRAMING, DRYWALL, PAINT, FLOORING, TILE, ELECTRICAL, ROOFING, STUCCO, CONCRETE, WINDOWS, HVAC, AND PLUMBING WORK.

THE AREA OF WORK IS OVER EXIST FLAT HARDSCAPE, SO THERE IS NO GRADING AND NO IMPACT ON ANY SENSITIVE VEGETATION OR PALEONTOLOGICAL POSSIBILITIES.

HERS NOTES:

1. PROPERLY COMPLETED AND ELECTRONICALLY SIGNED CERTIFICATE OF INSTALLATION (CF2R FORMS) SHALL BE POSTED WEATHER PROTECTED WITHIN BUILDING FOR REVIEW BY INSPECTORS - EES 10-103(a)3, 10-103(b)1A - BY THE INSTALLING CONTRACTOR AND SUBMITTED TO THE FIELD INSPECTOR DURING CONSTRUCTION AT THE SITE. FOR PROJECTS REQUIRING HERS VERIFICATION, THE CF2R FORMS SHALL BE REGISTERED WITH A CALIFORNIA APPROVED HERS PROVIDER DATA REGISTRY WITH ITS OWN UNIQUE 21 DIGIT REGISTRATION NUMBER LOCATED AT THE BOTTOM OF EACH PAGE. THE FIRST 12 DIGITS WILL MATCH THE REGISTRATION NUMBER ASSOCIATED WITH THE CF2R FORM. CERTIFICATE OF OCCUPANCY WILL NOT BE ISSUED UNTIL THE CF2R FORMS ARE REVIEWED AND APPROVED.
2. PROPERLY COMPLETED & ELECTRONICALLY SIGNED AND REGISTERED CERTIFICATE(S) OF FIELD VERIFICATION AND DIAGNOSTIC TESTING (CF3R) SHALL BE POSTED WEATHER PROTECTED WITHIN THE BUILDING SITE BY A CERTIFIED HERS RATER. A REGISTERED CF3R WILL HAVE A UNIQUE 25 DIGIT REGISTRATION NUMBER LOCATED AT THE BOTTOM OF EACH PAGE. THE FIRST 20 DIGITS OF THE NUMBER WILL MATCH THE REGISTRATION NUMBER ASSOCIATED WITH THE CF2R. CERTIFICATE OF OCCUPANCY WILL NOT BE ISSUED UNTIL THE CF3R IS REVIEWED AND APPROVED. EES 10-103(a)3, 10-103(b)1A.
3. CF1R REGISTRATION FORMS ARE LOCATED ON THE PLANS. IF REGISTRATION IS REQUIRED, A WATER-MARK AND REGISTRATION NUMBER WILL BE VISIBLE. HERS TESTS REQUIRED FOR THIS PROJECT ARE:
VARIABLE CAPACITY HEAT PUMP - Ductless units located in conditioned space. Airflow in habitable rooms, wall mounted thermostat and Verify heat pump rated capacity and Refrigerant charge.
KITCHEN RANGE HOOD CFM VERIFICATION (100 CFM, = 3 SONES)
IAQ MECHANICAL VENTILATION - 36 CFM for ADU only
5. FOR IAQ FAN - 36 CFM REQUIRED FOR A CONTINUOUSLY OPERATING EXHAUST FAN. PROVIDE A TIMER SWITCH WITH A MANUAL OFF AND A SOUND RATING OF 1 SONE (3 SONES MAX FOR AN INTERMITTANT FAN). THIS FAN TO PROVIDE A WHOLE BUILDING INDOOR AIR QUALITY VENTILATION WITH OUTDOOR AIR IN COMPLIANCE WITH ASHRAE STANDARD 62.2 AS ADOPTED BY THE CALIFORNIA ENERGY COMMISSION.
6. SPECIAL FEATURES: VCHP required items listed above.



Arten
Designed & Drawn By:

A Residence Renovation and ADU addition for:
BAYARDO & CINDY ABAUNZA
3083 & 3085 RACETRACK VIEW DR. • DEL MAR, CA • 92014

PROJECT DATA
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Date:
25 APR 2022
16 JUN 2023
6 SEP 2023
5 JAN 2024
20 APR 2024

Sheet:
A1

THERE IS NO SITE GRADING FOR THIS PROJECT
(FLAT LOT IN AREA OF WORK)
THERE IS NO LANDSCAPE PROPOSED AS A PART OF THIS PROJECT

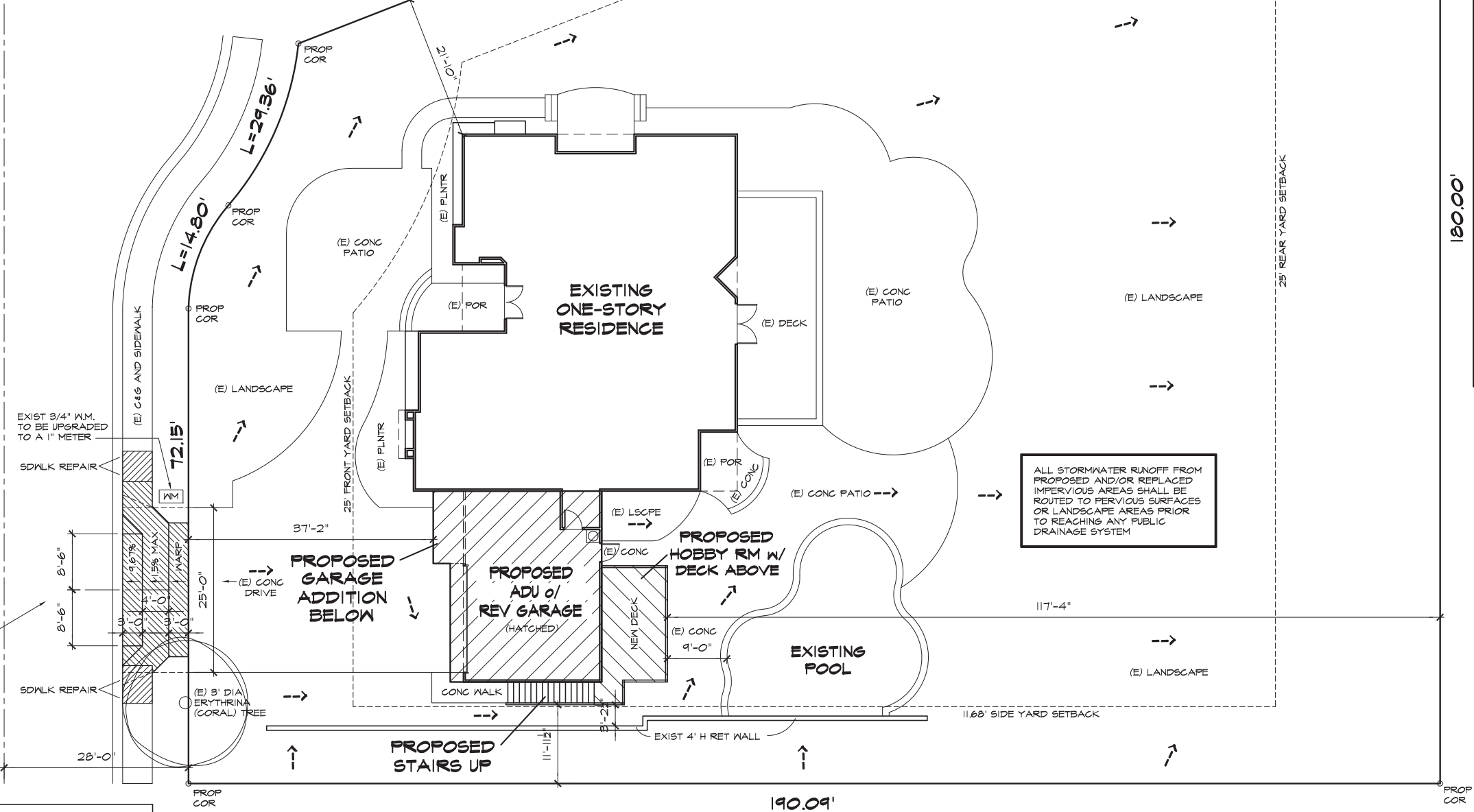
EARTHWORK QUANTITIES:

A - TOTAL DISTURBANCE AREA:	277 SF
B - EXISTING IMPERVIOUS AREA:	8445 SF
C - PROPOSED IMPERVIOUS AREA:	8412 SF
D - NEW REPLACED AREA:	8412 SF
E - TOTAL IMPERVIOUS AREA:	8445 SF
F - TOTAL CUT / FILL VOLUME:	4 CY CUT (FTGS)

SLOPE GRADE AT 2%
FOR 10' AWAY FROM
ALL SIDES OF ADDITION.

CONTRACTOR TO VERIFY ADEQUATE SS
LATERAL DEPTH BEFORE COMMENCING
ANY WORK ON PROJECT!!

3083 RACETRACK VIEW DR.



ALL STORMWATER RUNOFF FROM
PROPOSED AND/OR REPLACED
IMPERVIOUS AREAS SHALL BE
ROUTED TO PERVIOUS SURFACES
OR LANDSCAPE AREAS PRIOR
TO REACHING ANY PUBLIC
DRAINAGE SYSTEM

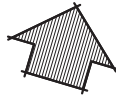
CAUTION!!
FENCE LINES ARE SHOWN
IN AN ASSUMED RELATIONSHIP
TO PROPERTY LINE.
TO VERIFY THIS HAVE A
SURVEYOR LOCATE PROPERTY
CORNERS PRIOR TO ANY CONST.

CAUTION!!
CALL DIGALERT
BEFORE YOU DIG
811

CAUTION!!
CONTRACTOR
TO VERIFY IF SLAB
IS POST-TENSION
WHERE EVIDENCE OF A POST-TENSION
SLAB EXISTS USE EXTREME CAUTION
WHEN SAW CUTTING SLAB AND FOLLOW
ALL PROPER STANDARD PRACTICES.

NOTE FOR ANY HATCHED AREAS OF CONCRETE:
REMOVE AND REPLACE ANY PORTIONS OF SIDEWALK OR
DRIVE APPROACH PER SAN DIEGO CITY STANDARDS.
(EITHER BROKEN OR NON-CONFORMING)
REMOVE AND REPAVE NON-COMPLIANT DRIVEWAY WITH NEW
ADA COMPLIANT DRIVEWAY PER CITY STANDARD
DRAWING # SDG-154

EXISTING & PROPOSED
SITE PLAN



SCALE: 1" = 10'-0"

design / drafting
ARLEN ROPER INC.
1443 Panorama Ridge Rd. • Oceanside, CA • 92056
760.522.3447

ARLEN ROPER
Designed & Drawn By:

A Residence Renovation and ADU addition for:
BAYARDO & CINDY ABAUNZA
3083 & 3085 RACETRACK VIEW DR. • DEL MAR, CA • 92014
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SITE PLAN

Date:

25 APR 2022
16 JUN 2023
6 SEP 2023
5 JAN 2024
20 APR 2024

Sheet:
A1.1

BMP NOTES:

STORM WATER QUALITY NOTES – CONSTRUCTION BMPs

This project shall comply with all current requirements of the State Permit; California Regional Water Quality Control Board (SDRWQCB, San Diego Municipal Storm Water Permit, The City of San Diego Land Development Code, and the Storm Water Standards Manual.

PRIOR TO ANY SOIL DISTURBANCE, TEMPORARY SEDIMENT CONTROLS SHALL BE INSTALLED BY THE CONTRACTOR OR QUALIFIED PERSON(S) AS INDICATED BELOW:

1. ALL REQUIREMENTS OF THE CITY OF SAN DIEGO "STORM WATER STANDARDS MANUAL" MUST BE INCORPORATED INTO THE DESIGN AND CONSTRUCTION OF THE PROPOSED GRADING/IMPROVEMENTS CONSISTENT WITH THE APPROVED STORM WATER POLLUTION PREVENTION PLAN (SWPPP) AND/OR WATER POLLUTION CONTROL PLAN (WPCP) FOR CONSTRUCTION LEVEL BMPs AND, IF APPLICABLE, THE STORM WATER QUALITY MANAGEMENT PLAN (SWQMP) FOR POST-CONSTRUCTION BMPs.

2. THE CONTRACTOR SHALL INSTALL AND MAINTAIN ALL STORM DRAIN INLET PROTECTION, INLET PROTECTION IN THE PUBLIC RIGHT-OF-WAY MUST BE TEMPORARILY REMOVED PRIOR TO A RAIN EVENT TO ENSURE NO FLOODING OCCURS AND REINSTALLED AFTER RAIN IS OVER.

3. ALL CONSTRUCTION BMPs SHALL BE INSTALLED AND PROPERLY MAINTAINED THROUGHOUT THE DURATION OF CONSTRUCTION.

4. THE CONTRACTOR SHALL ONLY GRADE, INCLUDING CLEARING AND GRUBBING, AREAS FOR WHICH THE CONTRACTOR OR QUALIFIED CONTACT PERSON CAN PROVIDE EROSION AND SEDIMENT CONTROL MEASURES.

5. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ALL SUB-CONTRACTORS AND SUPPLIERS ARE AWARE OF ALL STORM WATER BMPs AND IMPLEMENT SUCH MEASURES. FAILURE TO COMPLY WITH THE APPROVED SWPPP/WPCP WILL RESULT IN THE ISSUANCE OF CORRECTION NOTICES, CITATIONS, CIVIL PENALTIES, AND/OR STOP WORK NOTICES.

6. THE CONTRACTOR OR QUALIFIED CONTACT PERSON SHALL BE RESPONSIBLE FOR CLEANUP OF ALL SILT, DEBRIS, AND MUD ON AFFECTED AND ADJACENT STREET(S) AND WITHIN STORM DRAIN SYSTEM DUE TO CONSTRUCTION VEHICLES/EQUIPMENT AND CONSTRUCTION ACTIVITY AT THE END OF EACH WORK DAY.

7. THE CONTRACTOR SHALL PROTECT NEW AND EXISTING STORM WATER CONVEYANCE SYSTEMS FROM SEDIMENTATION, CONCRETE BANKS, OR OTHER CONSTRUCTION-RELATED DEBRIS AND DISCHARGES WITH THE APPROPRIATE BMPs THAT ARE ACCEPTABLE TO THE CITY RESIDENT ENGINEER AND AS INDICATED IN THE SWPPP/WPCP.

8. THE CONTRACTOR OR QUALIFIED CONTACT PERSON SHALL CLEAR DEBRIS, SILT, AND MUD FROM ALL DITCHES AND SWALES PRIOR TO AND WITHIN 3 BUSINESS DAYS AFTER EACH RAIN EVENT OR PRIOR TO THE NEXT RAIN EVENT, WHICHEVER IS SOONER.

9. IF A NON-STORM WATER DISCHARGE LEAVES THE SITE, THE CONTRACTOR SHALL IMMEDIATELY STOP THE ACTIVITY AND REPAIR THE DAMAGES. THE CONTRACTOR SHALL NOTIFY THE CITY RESIDENT ENGINEER OF THE DISCHARGE, PRIOR TO RESUMING CONSTRUCTION ACTIVITY. ANY AND ALL WASTE MATERIAL, SEDIMENT, AND DEBRIS FROM EACH NON-STORM WATER DISCHARGE SHALL BE REMOVED FROM THE STORM DRAIN CONVEYANCE SYSTEM AND PROPERLY DISPOSED OF BY THE CONTRACTOR.

10. EQUIPMENT AND WORKERS FOR EMERGENCY WORK SHALL BE MADE AVAILABLE AT ALL TIMES. ALL NECESSARY MATERIALS SHALL BE STOCKPILED ON-SITE AT CONVENIENT LOCATIONS TO FACILITATE RAPID DEPLOYMENT OF CONSTRUCTION BMPs WHEN RAIN IS IMMINENT.

11. THE CONTRACTOR SHALL RESTORE AND MAINTAIN ALL EROSION AND SEDIMENT CONTROL BMPs TO WORKING ORDER YEAR-ROUND.

12. THE CONTRACTOR SHALL INSTALL ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES DUE TO UNFORESEEN CIRCUMSTANCES TO PREVENT NON-STORM WATER AND SEDIMENT-LOADED DISCHARGES.

13. THE CONTRACTOR SHALL BE RESPONSIBLE AND SHALL TAKE NECESSARY PRECAUTIONS TO PREVENT PUBLIC TRESPASS ONTO AREAS WHERE IMPOUNDED WATERS CREATE A HAZARDOUS CONDITION.

14. ALL EROSION AND SEDIMENT CONTROL MEASURES PROVIDED PER THE APPROVED SWPPP/WPCP SHALL BE INSTALLED AND MAINTAINED. ALL EROSION AND SEDIMENT CONTROLS FOR INTERIM CONDITIONS SHALL BE PROPERLY DOCUMENTED AND INSTALLED TO THE SATISFACTION OF THE CITY RESIDENT ENGINEER.

15. AS NECESSARY, THE CITY RESIDENT ENGINEER SHALL SCHEDULE MEETINGS FOR THE PROJECT TEAM (GENERAL CONTRACTOR, QUALIFIED CONTACT PERSON, EROSION CONTROL SUB-CONTRACTOR IF ANY, ENGINEER OF WORK, OWNER/DEVELOPER, AND THE CITY RESIDENT ENGINEER) TO EVALUATE THE ADEQUACY OF THE EROSION AND SEDIMENT CONTROL MEASURES AND OTHER BMPs RELATIVE TO ANTICIPATED CONSTRUCTION ACTIVITIES.

16. THE CONTRACTOR OR QUALIFIED CONTACT PERSON SHALL CONDUCT VISUAL INSPECTIONS AND MAINTAIN ALL BMPs DAILY AND AS NEEDED. VISUAL INSPECTIONS AND MAINTENANCE OF ALL BMPs SHALL BE CONDUCTED BEFORE, DURING, AND AFTER EVERY RAIN EVENT AND EVERY 24 HOURS DURING ANY PROLONGED RAIN EVENT. THE CONTRACTOR SHALL MAINTAIN AND REPAIR ALL BMPs AS SOON AS POSSIBLE AS SAFETY ALLOWS.

17. CONSTRUCTION ENTRANCE AND EXIT AREA. TEMPORARY CONSTRUCTION ENTRANCE AND EXITS SHALL BE CONSTRUCTED IN ACCORDANCE WITH CASQA FACT SHEET TC-10R CALTRANS FACT SHEET TC-01 TO PREVENT TRACKING OF SEDIMENT AND OTHER POTENTIAL POLLUTANTS ONTO PAVED SURFACES AND TRAVELED WAYS. WIDTH SHALL BE 10' OR THE MINIMUM NECESSARY TO ACCOMMODATE VEHICLES AND EQUIPMENT WITHOUT BY-PASSING THE ENTRANCE. (a) NON-STORM WATER DISCHARGES SHALL BE EFFECTIVELY MANAGED PER THE SAN DIEGO MUNICIPAL CODE CHAPTER 4, ARTICLE 3, DIVISION 3 "STORM WATER MANAGEMENT AND DISCHARGE CONTROL".

BRUSH MANAGEMENT & LANDSCAPE NOTES:

Offsite Brush Management on Adjacent Properties

Offsite brush management shall be the responsibility of adjacent property owners. For fuel-load maintenance issues, contact the Fire-Rescue Department's Fire Hazard Advisor – Brush/Weed Complaint line at: (619) 533-4444.

Existing trees to remain on site within 10-ft of the area of work will be protected in place. The following protection measures will be provided:

1. A bright yellow or orange temporary fence will be placed around existing trees at the drip line.
2. Stockpiling, topsoil disturbance, vehicle use, and material storage of any kind is prohibited within the drip line.
3. Root systems of existing trees will be protected from flooding, erosion, chemical spills, and excessive wetting and drying during dewatering.
4. The existing grade will be maintained within the drip line of existing trees.
5. Roots of existing trees will be cut back approximately 6-inches from the new construction.
6. A Certified Consulting Arborist shall oversee pruning of any roots 4-inches or greater in diameter.
7. A tree watering schedule will be maintained and documented during construction.
8. All damaged trees will be replaced with one of equal or greater size.

BRUSH MANAGEMENT REQUIREMENTS (SDMC Section 142.0412)

Any property containing a habitable structure and native or naturalized vegetation is required to provide 100 feet of brush management in two distinct zones: Zone 1 and Zone 2. Special requirements may apply (i.e. pre-1989 development). Check with Fire-Rescue or DSD before you begin brush management work.

Brush Management **Zone 1** typically extends 35 feet out from the habitable structure towards flammable vegetation, and occurs on the level portion of a property:

- **Zone 1** must be maintained on a regular basis by thinning and pruning trees and plants, controlling weeds, and maintaining irrigation systems.
- No habitable structures are permitted. New construction (i.e. fences, walls, palapas, play structures, gazebos, and decks) must be non-combustible and/or have a minimum 1-hour fire resistance rating. Previously conforming structures (legally constructed prior to ordinance) may remain unless they constitute a distinct danger to life or property.
- Plants should be primarily low-growing (less than 4 feet in height), low-fuel, and fire-resistant.
- All portions of trees, other than the trunk, which extend within ten feet of a structure or the outlet of any chimney, must be cut back.
- Trees adjacent to or overhanging any building must be free of dead wood.
- Roof and rain gutters must be free of leaves, needles, or other dead vegetative growth.

Brush Management **Zone 2** is the remaining 65 feet that extends beyond Zone 1, typically comprised of undisturbed vegetation on a slope subject to sensitive biological resource protections.

- **Zone 2** must be maintained on a regular basis by controlling weeds and removing invasive species. (See back of Bulletin under additional information.)
- Selective thinning and pruning of native and non-native plants is required to reduce the fuel-load. Do not grade or grub native plants, soils or habitats. Non-native plants must be pruned before native plants. See detailed instructions provided in this Bulletin. Violators will be responsible for restoration and mitigation costs as applicable.
- Brush management activity is not allowed March 1 through August 15 in coastal sage scrub, maritime succulent scrub, or coastal sage-chaparral habitats, unless an exception is specifically granted.
- NO structures or permanent irrigation are allowed in Zone 2.
- A permit is required to re-vegetate or reconfigure Brush Management Zone 2. Failure to obtain the required permits could result in costly corrective action.

How to Selectively Thin and Prune Plants and Trees in Zone 2 and Avoid Clearing Sensitive Vegetation in Violation of the Code.

Step 1: Remove....as much dead wood as you can and invasive species within the Brush Management Zone areas.

Step 2: Thin....the entire Zone 2 area. Start by cutting down 50% of the plants over 2 feet in height to a height of 6 inches. Don't go any lower than 6 inches so the roots remain to control soil erosion. The goal is to create a "mosaic" or more natural look, as shown below, so do your cutting in a "staggered" pattern. Leave uncut plant groupings up to 400 square feet -- that's a 20x20-foot area, or an area that can be encircled by an 80-foot rope -- separated by groupings of plants cut down to 6 inches. Thinning should be prioritized as follows: 1) invasive non-native species; 2) non-native species; 3) flammable native species; 4) native species; and 5) regionally sensitive species.

Before Brush Management **After Thinning and Pruning**

Step 3: Prune....all plants or plant groupings that are left after the thinning process to achieve the horizontal and vertical clearances shown in the illustration below. (For trees in Eucalyptus Woodland areas, see FFB Policy B-08-1.)

Tree and Shrub Spacing

Remaining plants, 4 feet or more in height, should then be cut and shaped into "umbrellas." This means pruning one-half of the lower branches to create umbrella-shaped canopies. This allows you to see and deal with what is growing underneath. Upper branches may then be shortened to reduce fuel load as long as the canopy is left intact. This keeps the plant healthy and the shade from the plant canopy reduces weed and plant growth underneath. Vegetation that is less than 4 feet in height, like coastal sage scrubs, should be cut back to within 12 inches of the root crown.

Chaparral Plant Before Pruning **Chaparral Plant After Pruning**

Step 4: Dispose....of the cuttings and dead wood by either hauling it to a landfill, or by chipping/bunching it on-site and spreading it out in the Zone 2 area to a depth of not more than 4 inches.

Step 5: Thin and prune annually.... because plants will grow back.

BRUSH MANAGEMENT BACK YARD PHOTOS:

(SEE LOCATION OF PHOTOS TAKEN ON BRUSH MGMT PLAN)

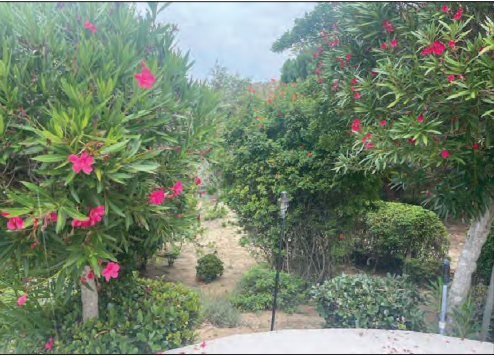


PHOTO 1



PHOTO 2



PHOTO 3

design / drafting
ARLEN ROPER INC.
1443 Panorama Ridge Rd. • Oceanside, CA • 92056
760 . 522 . 3447

Designed & Drawn by:
ARLEN

A Residence Renovation and ADU addition for:
BAYARDO & CINDY ABAUNZA
3083 & 3085 RACETRACK VIEW DR. • DEL MAR, CA • 92014

BMP NOTES & LANDSCAPING &
BRUSH MGMT DATA

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Date:

6 SEP 2023
5 JAN 2024
20 APR 2024

Sheet:
A1.2

LANDSCAPE LEGEND:



EXISTING TREE
ALL TREES 10' AWAY FROM THE STRUCTURE

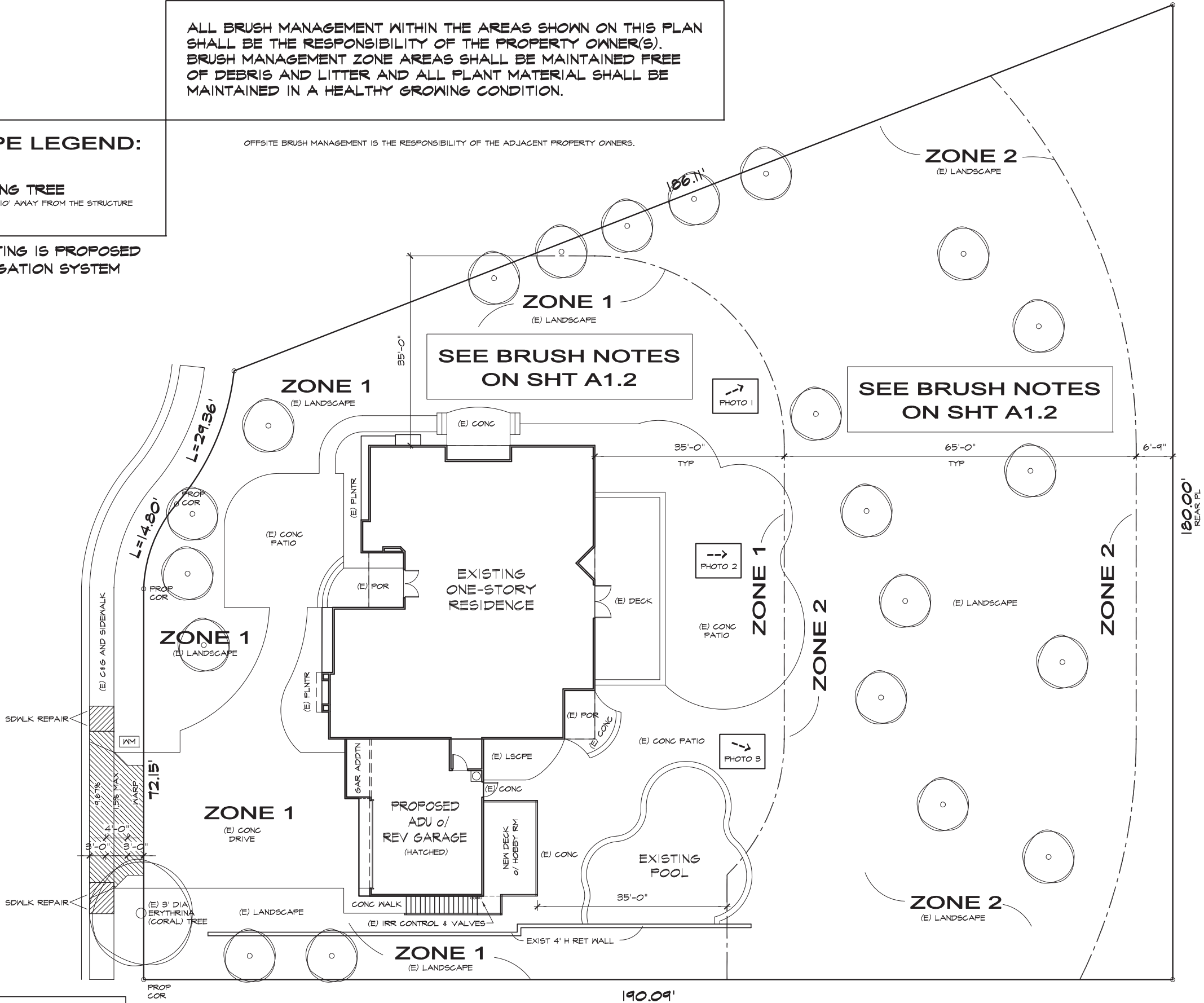
— NO NEW PLANTING IS PROPOSED

— EXISTING IRRIGATION SYSTEM

ALL BRUSH MANAGEMENT WITHIN THE AREAS SHOWN ON THIS PLAN SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER(S). BRUSH MANAGEMENT ZONE AREAS SHALL BE MAINTAINED FREE OF DEBRIS AND LITTER AND ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION.

OFFSITE BRUSH MANAGEMENT IS THE RESPONSIBILITY OF THE ADJACENT PROPERTY OWNERS.


3083 RACETRACK VIEW DR.



NOTE FOR ANY HATCHED AREAS OF CONCRETE: REMOVE AND REPLACE ANY PORTIONS OF SIDEWALK OR DRIVE APPROACH PER SAN DIEGO CITY STANDARDS. (EITHER BROKEN OR NON-CONFORMING) REMOVE AND REPLACE NON-COMPLIANT DRIVEWAY WITH NEW ADA COMPLIANT DRIVEWAY PER CITY STANDARD DRAWING # SDG-159



design / drafting
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760.522.3447



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A Residence Renovation and ADU addition for:

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LANDSCAPING & BRUSH MGMT PLAN

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Date:

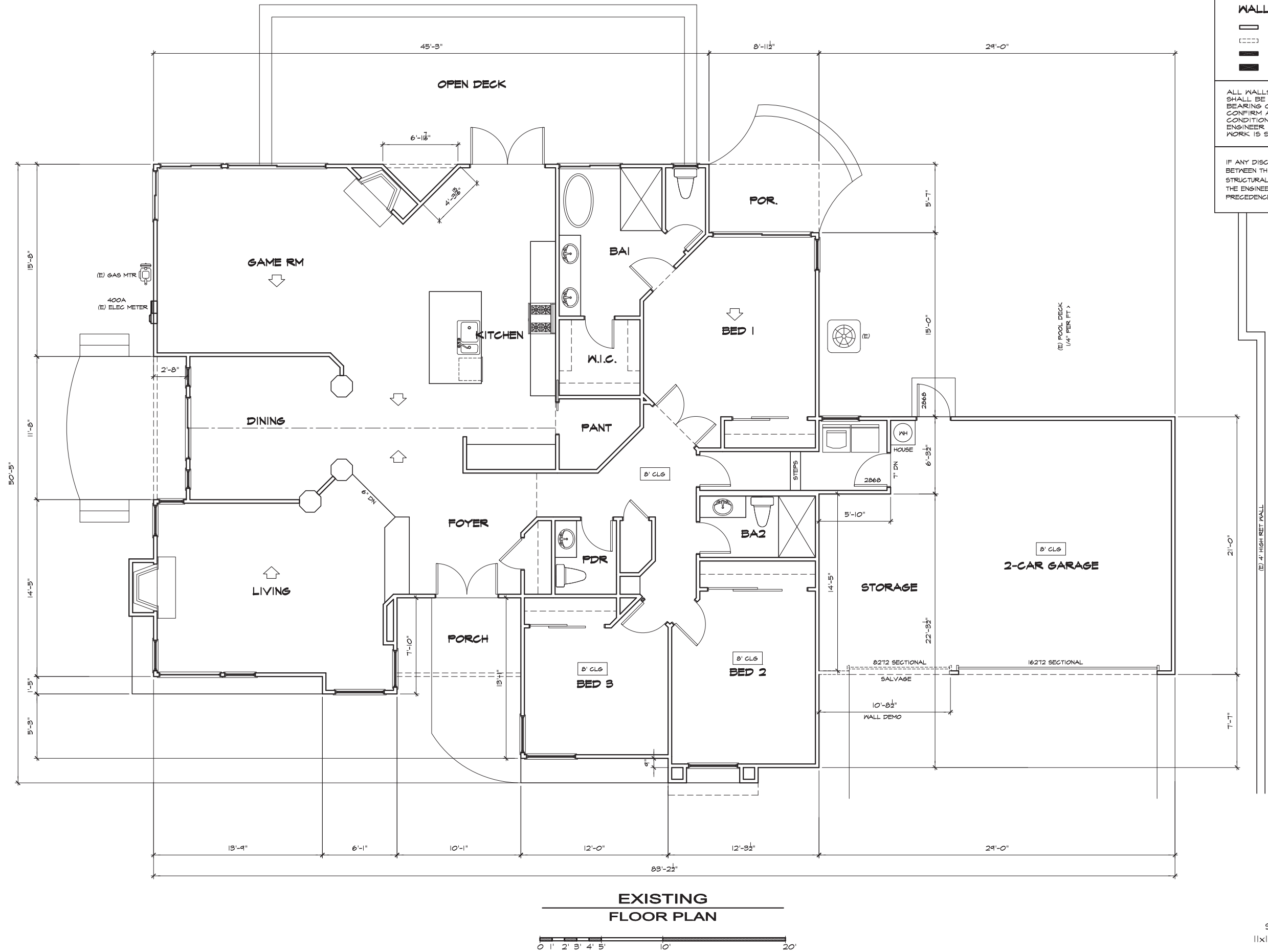
6 SEP 2023
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20 APR 2024

Sheet:

A1.3



SCALE: 1" = 10'-0"



WALL LEGEND:

- WALL TO REMAIN
- WALL TO BE REMOVED
- NEW 2X4 WALL
- NEW 2X6 WALL

ALL WALLS TO BE REMOVED SHALL BE SHORED WHERE BEARING CONDITIONS EXIST. CONFIRM ANY UNKNOWN CONDITIONS WITH STRUCTURAL ENGINEER BEFORE ANY DEMO WORK IS STARTED!

IF ANY DISCREPANCIES OCCUR BETWEEN THIS PLAN AND THE STRUCTURAL ENGINEERING PLANS, THE ENGINEERING NOTES SHALL TAKE PRECEDENCE AND BE USED.

design / drafting

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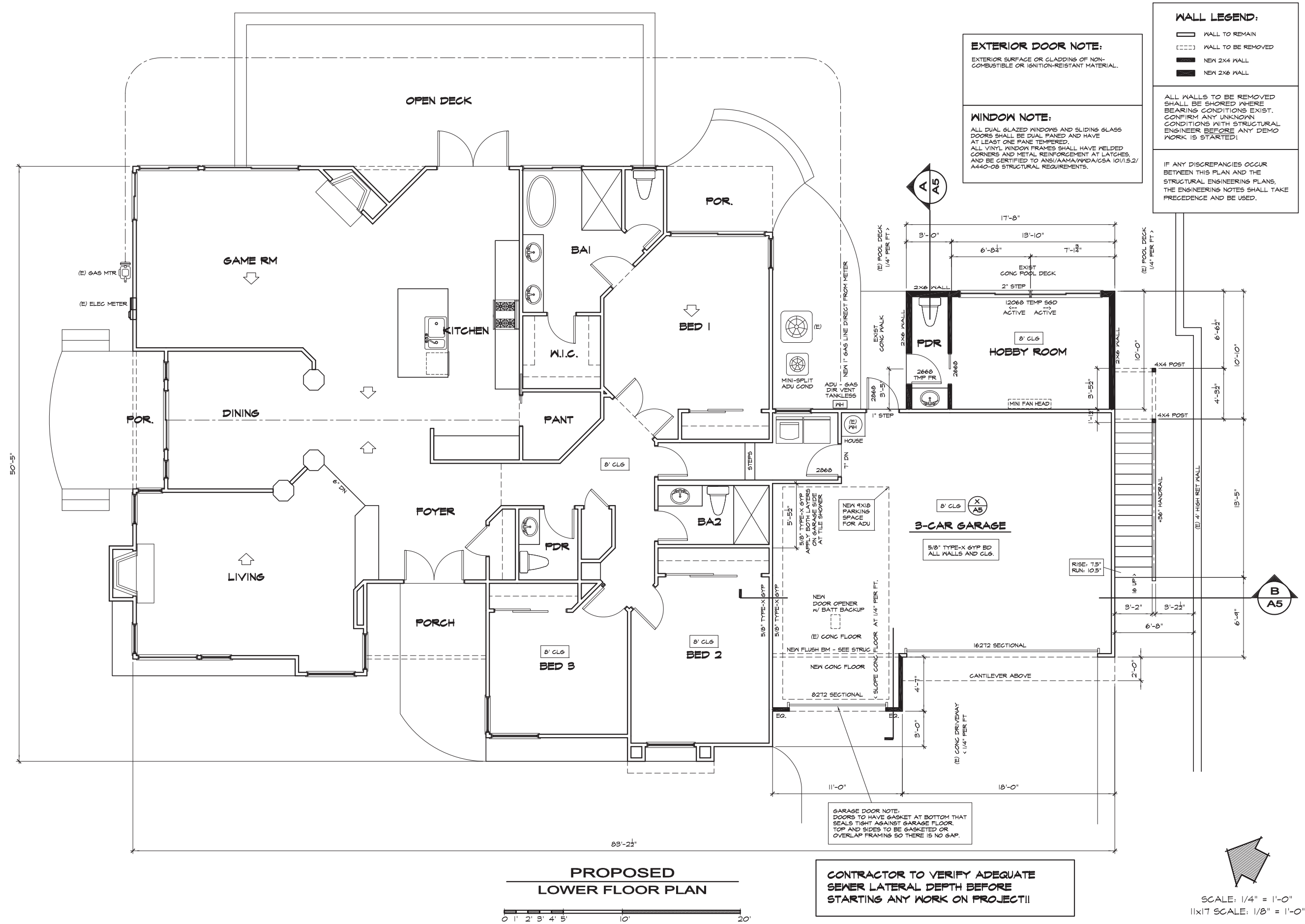
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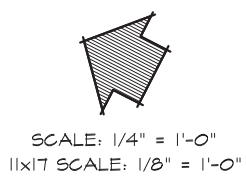
16 JUN 2023

6 SEP 2023

Sheet:

A2





WALL DEMO MATRIX		TOTAL EXISTING WALL	WALL OR WINDOW REMOVAL	WALL TO REMAIN
FRONT / WESTERLY WALLS:				
TOTAL EXISTING WALLS:		83'-3"		
1	EXISTING EXTERIOR WALL SEGMENTS:		10'-9"	72'-6"
LEFT / NORTHERLY WALLS:				
TOTAL EXISTING WALLS:		44'-2"		
2	EXISTING EXTERIOR WALL SEGMENTS:		0	44'-2"
REAR / EASTERLY WALLS:				
TOTAL EXISTING WALLS:		83'-3"		
3	EXISTING EXTERIOR WALL SEGMENTS:		17'-8"	65'-7"
RIGHT / SOUTHERLY WALLS:				
TOTAL EXISTING WALLS:		44'-2"		
4	EXISTING EXTERIOR WALL SEGMENTS:		4'-7"	44'-7"
TOTAL WALLS:		264'-10"	33'-0"	231'-10"
TOTAL WALL TO REMAIN %:		88%		

	Designed & Drawn by:
	AtPaper

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DEMO FLOOR PLAN

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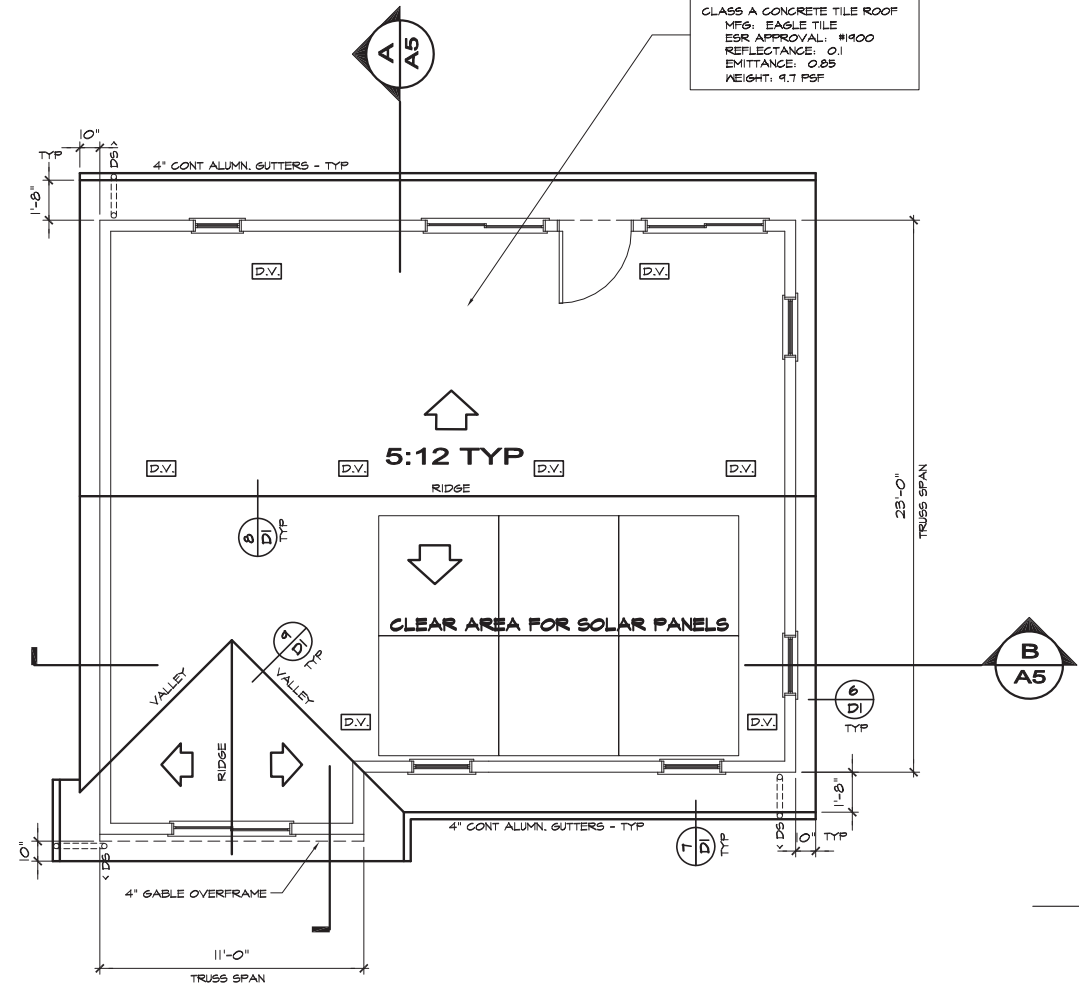
Sheet:

A2.2

NO COOL ROOF REQUIRED
RADIANT BARRIER ROOF SHEATHING REQUIRED
THERE ARE ROOF GUTTERS

ATTIC VENT CALCS:
REQUIRED VENTILATION FOR NEW ATTIC:
645 / 150 = 4.63 S.F. REQ.
2.32 S.F. REQUIRED HIGH & LOW
4 HIGH & 4 LOW DORMER VENTS
O'HAGIN FIRE & ICE VENTS W/ 1/8" MESH
[D.V.] = LOW PROFILE VENT (MODEL M)
FOR TILE ROOFS
AT 0.60 S.F. EA. (86.25 S.I. MIN)
1/8" NON-COMB. CORROSION-RESISTANT METAL MESH.
VENTS SHALL RESIST INTRUSION OF FLAMES AND EMBERS

MATCH EXISTING COLOR & STYLE
CLASS A CONCRETE TILE ROOF
MFG: EAGLE TILE
ESR APPROVAL: #1900
REFLECTANCE: 0.1
EMITTANCE: 0.85
HEIGHT: 4.1 PSF



PROPOSED ROOF PLAN

FIELD VERIFY ROOF PITCH
BEFORE ORDERING TRUSSES!

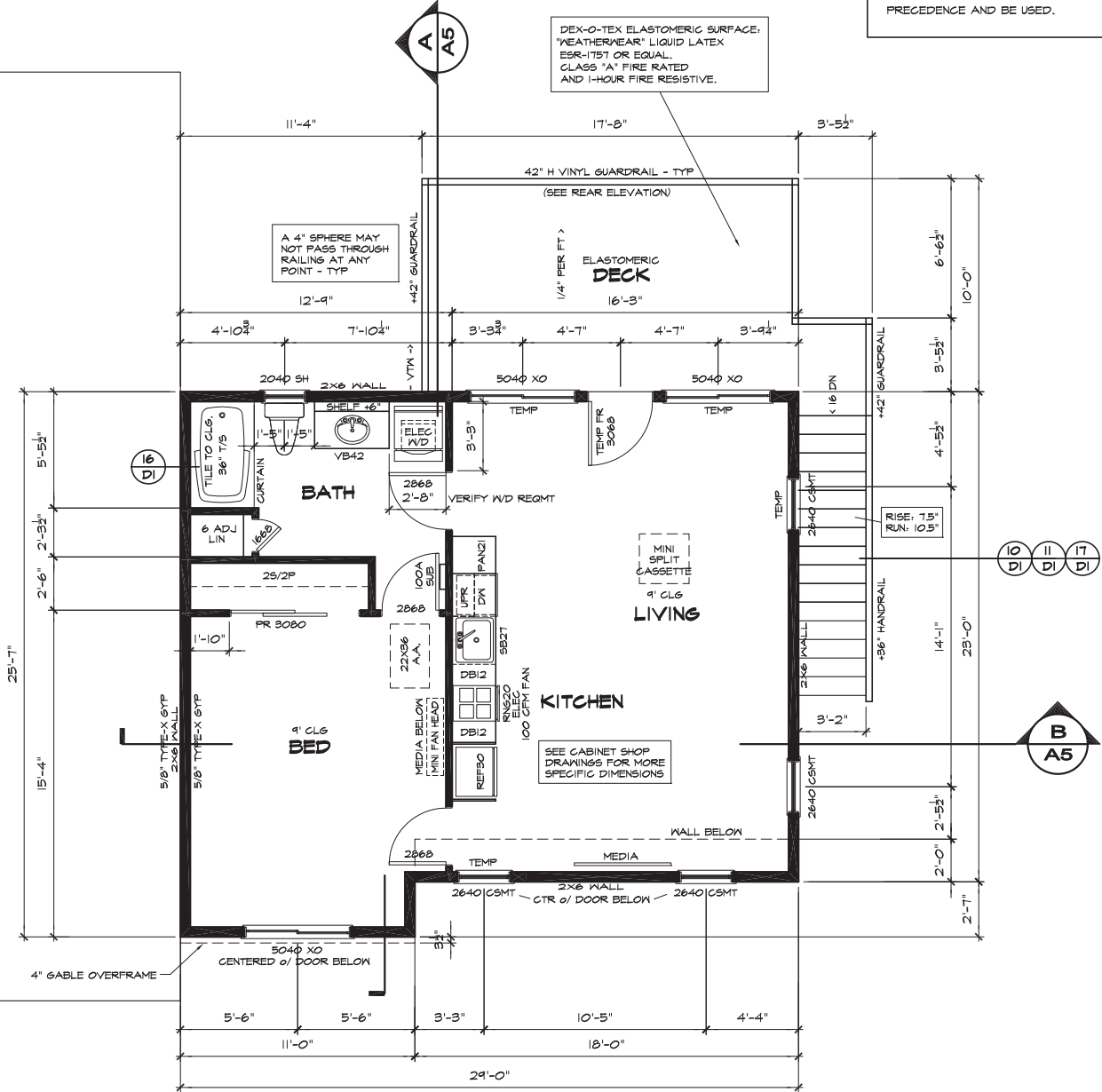


WALL LEGEND:

- [Solid line] WALL TO REMAIN
- [Dashed line] WALL TO BE REMOVED
- [Thick solid line] NEW 2X4 WALL
- [Thin solid line] NEW 2X6 WALL

ALL WALLS TO BE REMOVED SHALL BE SHORED WHERE BEARING CONDITIONS EXIST. CONFIRM ANY UNKNOWN CONDITIONS WITH STRUCTURAL ENGINEER BEFORE ANY DEMO WORK IS STARTED!

IF ANY DISCREPANCIES OCCUR BETWEEN THIS PLAN AND THE STRUCTURAL ENGINEERING PLANS, THE ENGINEERING NOTES SHALL TAKE PRECEDENCE AND BE USED.



PROPOSED ADU
UPPER FLOOR PLAN = 695 SF

SCALE: 1/4" = 1'-0"
11x17 SCALE: 1/8" = 1'-0"

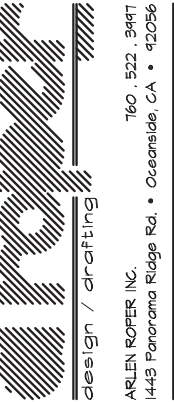
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FLOOR PLAN

A3

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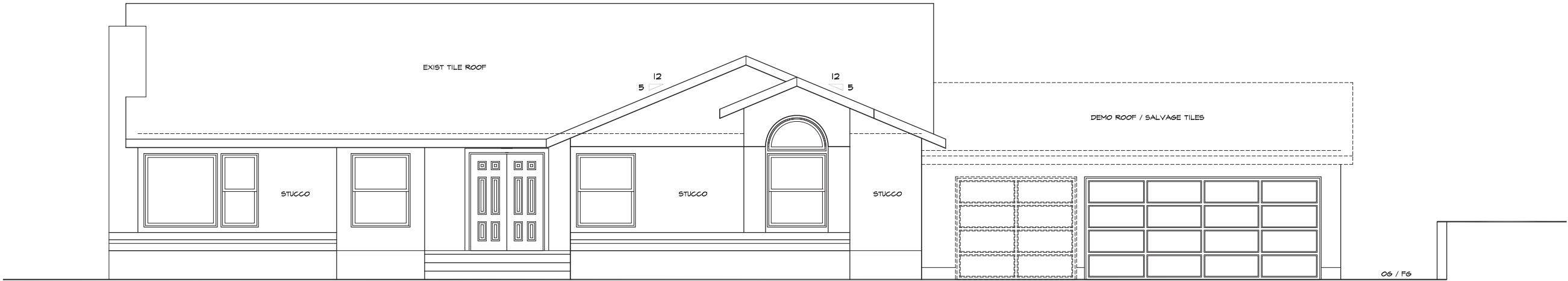
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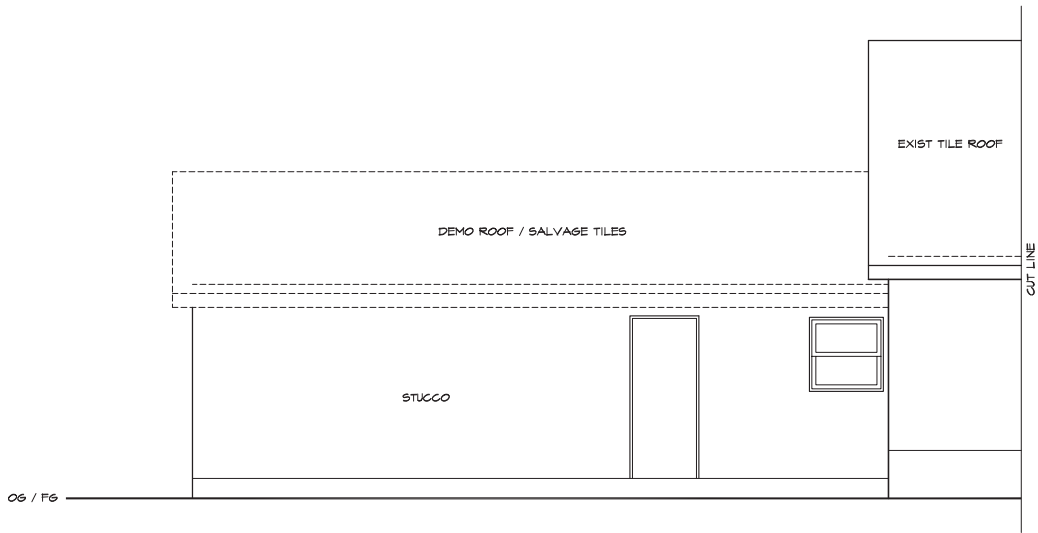
ELEVATIONS
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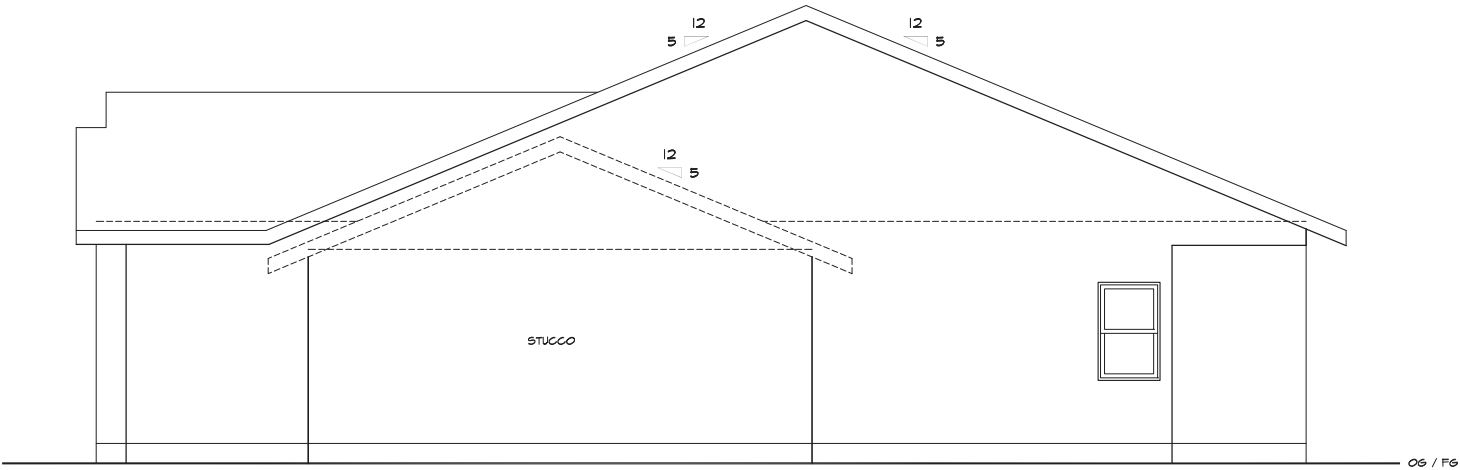
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A4



EXISTING FRONT / WEST ELEV



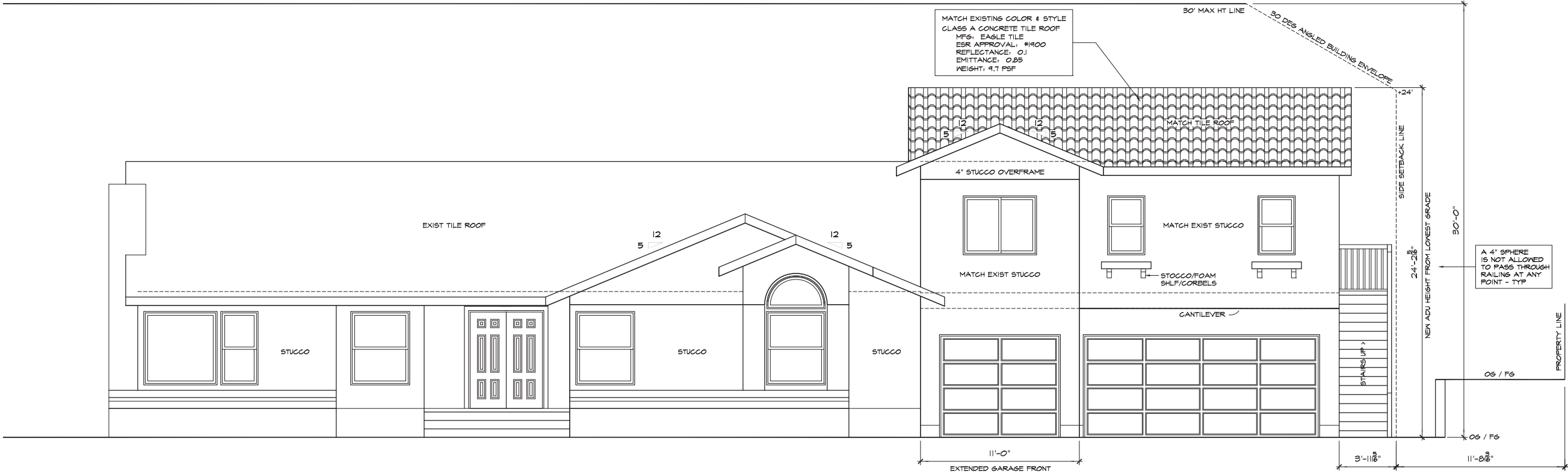
EXISTING PARTIAL REAR / EAST ELEV
(BACK OF GARAGE)



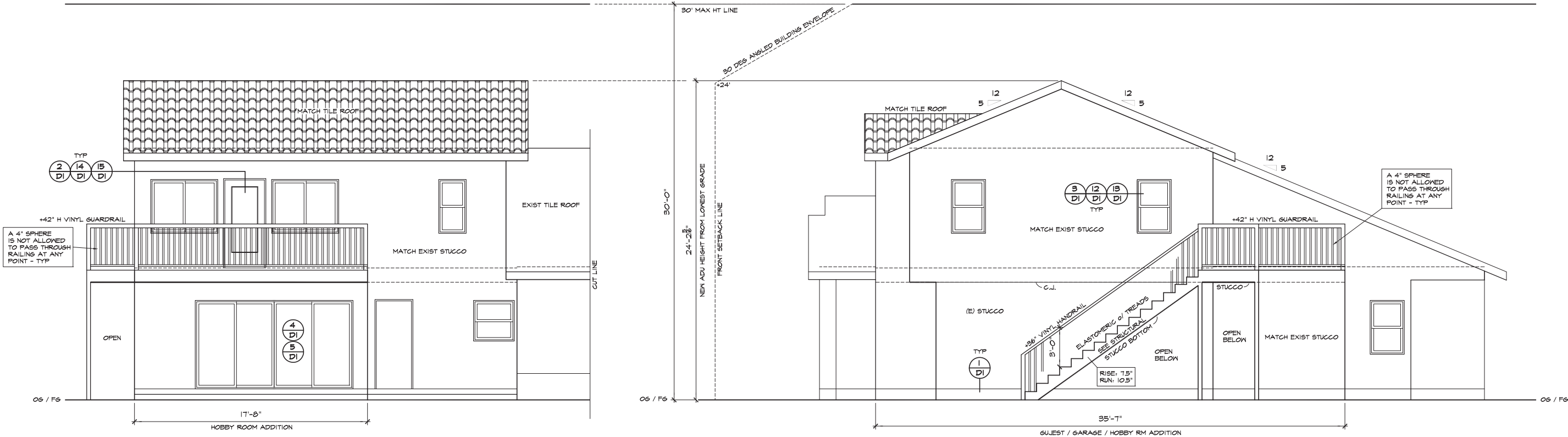
EXISTING RIGHT / SOUTH ELEV



SCALE: 1/4" = 1'-0"
11x17 SCALE: 1/8" = 1'-0"



PROPOSED FRONT / WEST ELEV



PROPOSED PARTIAL REAR / EAST ELEV
(BACK OF GARAGE)

PROPOSED RIGHT / SOUTH ELEV

Add note on building elevations: "The highest point of the roof, equipment, or any vent, pipe, antenna or other projection shall not exceed 30 feet above base of measurement (reference datum)." [SDMC Section 132.0505]



SCALE: 1/4" = 1'-0"
11x17 SCALE: 1/8" = 1'-0"

design / drafting

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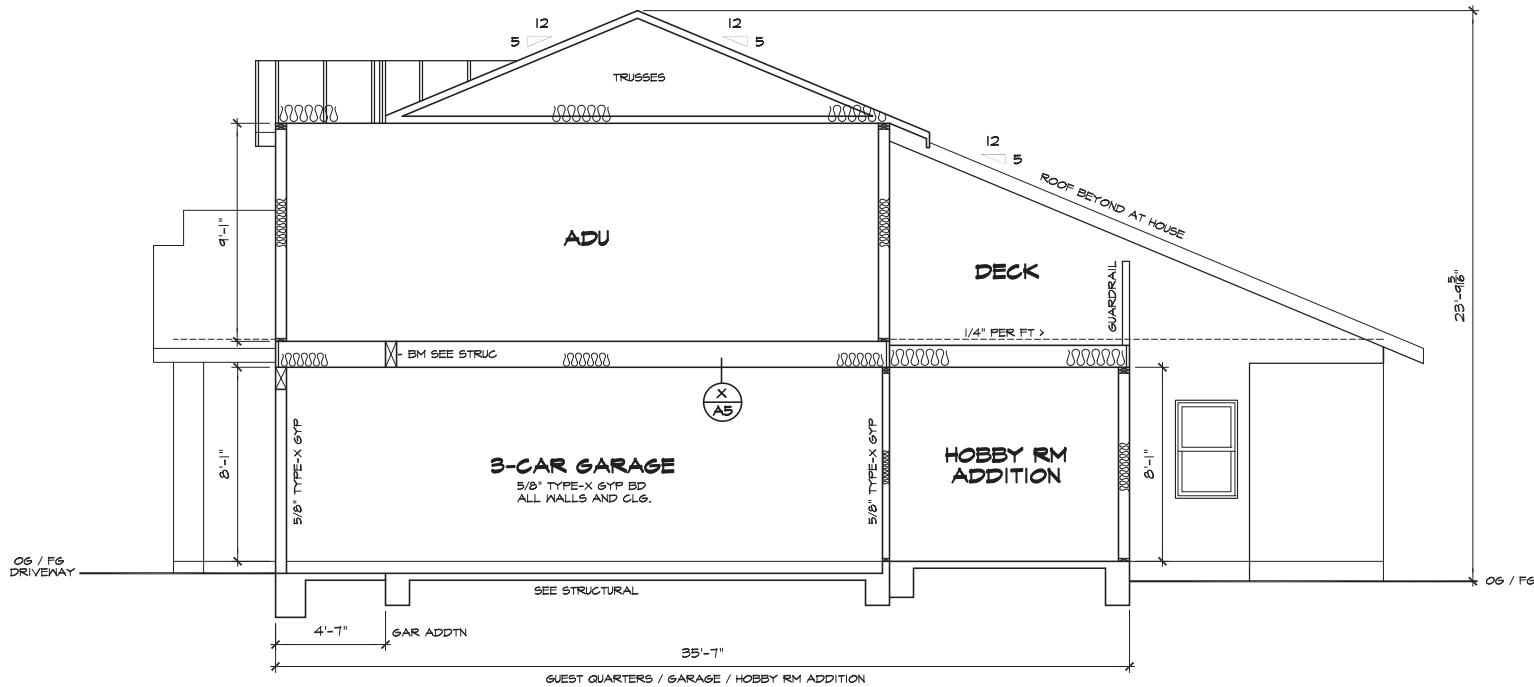
ELEVATIONS

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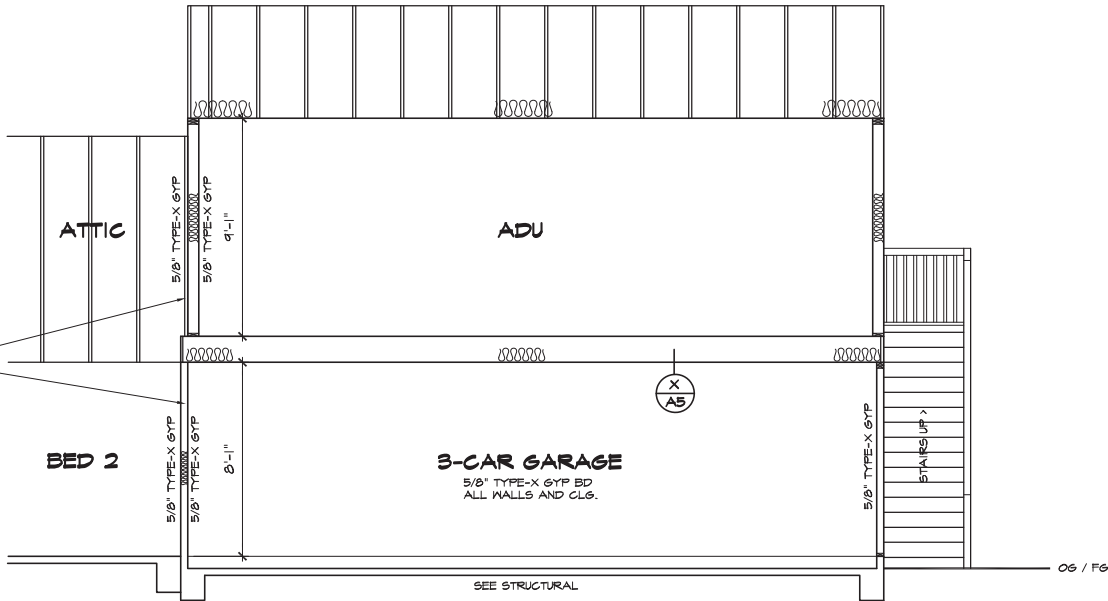
SECTION - A

TYPICAL CONST:

- INTERIOR WALLS: 2X4 STUDS AT 16" O.C. (U.N.O.)
- EXTERIOR WALLS: 2X6 STUDS AT 16" O.C.
- WALL BOARD: 1/2" GYP. BD. WITH TROWEL FINISH ALL PARTIAL STRIPS TO BE AT FLOOR! (NO UNFINISHED EDGES MID WALL)
- CEILING BOARD: 5/8" GYP. BD. WITH TROWEL FINISH
- ATTIC INSULATION: PER T-24
- WALL INSULATION: PER T-24
- FLOOR INSULATION: PER T-24
- EXTERIOR FINISH: 1/8" STUCCO o/ 2-LAYERS 'D' PAPER
- ROOF SHEATHING: 15/32" MIN. OSB (VERIFY W/ SHINGLE MF'G.)

1-HOUR FIRE RATED WALL PER GYPSUM ASSOC. FIRE DESIGN MANUAL DETAIL # WP 3115

APPLY ONE LAYER OF PROPRIETARY 5/8" TYPE-X GYPSUM PANEL APPLIED PARALLEL OR AT RIGHT ANGLES TO BOTH SIDES OF 2X4 (MIN) WOOD STUDS AT 16" O.C. BOTH 1-1/8" TYPE W SCREWS SPACED AT 1" O.C. STAGGER VERTICAL JOINTS 16" ON EACH SIDE



SECTION - B

FLOOR-CEILING SYSTEMS, WOOD FRAMED			
GA FILE NO. FC 5075	PROPRIETARY*	1 HOUR FIRE	55 to 59 STC SOUND
GYPSUM PANELS, RESILIENT CHANNELS, WOOD I-JOISTS			
Fire Design:			
Base layer 5/8" proprietary type X gypsum panels applied at right angles to resilient channels 16" o.c. with 1" Type S screws 8" o.c. Resilient channels applied at right angles to 9-1/2" deep wood joists with 1-1/4" deep x 1-3/4" wide flanges and 3/8" webs, 24" o.c. with 1-5/8" Type S screws. Face layer 5/8" proprietary type X gypsum panel applied at right angles to channels with 1-5/8" Type S screws 8" o.c. Wood joists supporting 23/32" sheetrock or oriented strand board applied at right angles to joists with 2-1/2" long smooth shank nails spaced 6" o.c. at the perimeter and 12" o.c. in the field.			
Sound Design:			
Sound tested with 11-7/8" wood joists 3-1/2" glass fiber insulation against the floor side in joist spaces, 3/4" proprietary gypsum floor topping poured over 1/8" proprietary sound reduction mat. Finish flooring of vinyl plank, sheet vinyl, cushioned sheet vinyl, carpet & pad, ceramic tile, or engineered wood laminate.			
PROPRIETARY GYPSUM PANEL			
United States Gypsum Company 5/8" Sheetrock® Brand EcoSmart Panels Firecode® X Levelock® Brand Floor Underlayment			
Approx. Ceiling Weight: 4 psf (Fire and Sound)		File Test:	
		LA 81316, 478788736, 7-22-16;	
		4707489.02, 9-29-16;	
		4767966037, 11-18-16;	
		4768222241, 6-29-17	
		UL Design M552	
		Sound Test:	
		ITS H5048.02, 9/18/17;	
		ITS H5048.03, 9/18/17;	
		ITS H5048.04, 9/18/17;	
		ITS H5048.05, 9/18/17;	
		ITS H5048.06, 9/18/17;	
		ITS H5048.07, 9/18/17;	
		IIC Test:	
		9/18/17;	
		(53 vinyl plank) ITS H5048.02,	
		9/18/17;	
		(51 sheet vinyl) ITS H5048.03,	
		9/18/17;	
		(57 wood floor) ITS H5048.04,	
		9/18/17;	
		(51 tie and sheet membrane)	
		ITS H5048.05, 9/18/17;	
		(78 carpet & pad) ITS H5048.06,	
		9/18/17;	
		(56 laminate flooring) ITS	
		H5048.07, 9/18/17	

SOUND & FIRE SEPARATION AT FLOOR OF ADU

NO SCALE

X

SCALE: 1/4" = 1'-0"
11x17 SCALE: 1/8" = 1'-0"

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BUILDING SECTION

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