



BUILDING MIX

BUILDING TYPE	FIRST FLOOR GFA	SECOND FLOOR GFA	THIRD FLOOR GFA	SUBTOTAL GFA	BUILDING QUANTITY	TOTAL GFA
BUILDING A	7849	8101	8101	24051	1	24051
BUILDING B	8373	8625	8625	25623	1	25623
BUILDING C	15489	15993	15993	47475	2	94950
BUILDING D	23921	25139	25139	74199	1	74199
BUILDING E		1083		1083	8	8664
LEASING	3720			3720	1	3720
TOTAL						231207
FAR						0.90

COMPLETENESS REVIEW CERTIFICATION STATEMENT

I hereby acknowledge and certify that:

- I am accountable for knowing and complying with the governing policies, regulations and submittal requirements applicable to this proposed development;
- I have performed reasonable research to determine the required approvals and decision process for the proposed project, and that failure to accurately identify an approval or decision process could significantly delay the permitting process;
- I have taken the Professional Certification for Development Permit Completeness Review training and am on the approved list for Professional Certification;
- Maintaining my Professional Certification for Development Permit Completeness Review privilege requires accurate submittals on a consistent basis;
- Submitting incomplete documents and plans on a consistent basis may result in the revocation of my Professional Certification for Development Permit Completeness Review;
- If required documents or plan content is missing, project review will be delayed; and
- This submittal package meets all of the minimum submittal requirements contained in Land Development Manual, Volume 1, Chapter 1, Section 4.

Responsible Certified Professional Name: Brittany Ruggels Wallace

Signature: *Brittany Ruggels Wallace*

Date: November 10, 2021

SCOPE OF WORK

- 198 APARTMENT UNITS (INCLUDING 8 AFFORDABLE UNITS) IN 13 BUILDINGS
- ONE RECREATION/LEASING BUILDING TO INCLUDE FITNESS CENTER, COMMUNITY LOUNGE, CO-WORKING SPACES, AND A LEASING OFFICE
- RECREATION AREAS TO INCLUDE POOL, SPA, FIRE PIT, BARBEQUE AREAS, TURF AREAS, PLAYGROUNDS, COURTYARD SEATING AREAS
- DEVIATIONS INCLUDE SETBACKS, BUILDING HEIGHT AND RETAINING WALL HEIGHT:

MUNICIPAL CODE SECTION	REQUIREMENT	PROPOSAL
§142.0340(d)(1)	TWO RETAINING WALLS WITH A MAXIMUM HEIGHT OF SIX FEET EACH.	ONE RETAINING WALL UP TO 24.5 FEET IN HEIGHT.
§131.0443(e)(1)(A)	UP TO 50 PERCENT OF THE WIDTH OF THE BUILDING ENVELOPE MAY OBSERVE THE MINIMUM 15-FOOT FRONT SETBACK, PROVIDED THE REMAINING PERCENTAGE OF THE BUILDING ENVELOPE WIDTH OBSERVES THE STANDARD 20-FOOT SETBACK.	100 PERCENT OF THE BUILDING ENVELOPE OBSERVES THE MINIMUM 15-FOOT FRONT SETBACK.
§131.0443(e)(2)(A)	THE MINIMUM SIDE SETBACK IS 5 FEET OR 10 PERCENT OF THE PREMISES WIDTH (22 FEET), WHICHEVER IS GREATER.	BUILDING ENCROACH INTO THE REQUIRED SIDE SETBACK. 7.9 FEET PROPOSED
Table 131-04G	MAXIMUM STRUCTURE HEIGHT: 40 FEET	MAXIMUM STRUCTURE HEIGHT: 59 FEET, SIX INCHES (FROM EXISTING GRADE)

PROJECT TEAM

OWNER
 D.I.M.E. HOLLISTER LLC
 AMBIENT COMMUNITIES
 DUNCAN BUDINGER
 O: 760-230-1000
 C: 619-417-4193

ARCHITECTURE
 SUMMA ARCHITECTURE
 DAMIAN TAITANO
 760-724-1198

CIVIL
 PASCO LARET SUITER & ASSOCIATES
 GREG LANG
 858-259-8212

LANDSCAPE
 HOWARD ASSOICIATES
 JULIE HOWARD
 619-718-9660

SHEET INDEX

ARCHITECTURE	
A001	COVER SHEET
A002	SITE PLAN
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A004	BUILDING A COMPOSITE
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A017	REC/LEASING BUILDING
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A020	REC/LEASING PERSPECTIVES
A021	SITE SECTIONS
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A023	FIRE EXHIBIT
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LANDSCAPE	
L001	LANDSCAPE DEVELOPMENT PLAN
L002	LANDSCAPE DEVELOPMENT PLAN
L003	OFF-SITE LANDSCAPING
CIVIL	
C001	COVER SHEET
C002	EXISTING CONDITIONS
C003	TENTATIVE MAP
C004	OFF SITE ACCESS PLAN
C005	GRADING PLAN
C006	SITE UTILITIES
C007	PUBLIC SEWER PLAN
C008	PUBLIC SEWER PLAN
C009	PUBLIC SEWER PLAN
C010	FIRE ACCESS PLAN
C011	SLOPE ANALYSIS
C012	SITE SECTIONS

SAN DIEGO, CA

AMBIENT COMMUNITIES
 179 CALLE MAGDALENA STE 201
 ENCINITAS, CA 92024
 760.230.1000

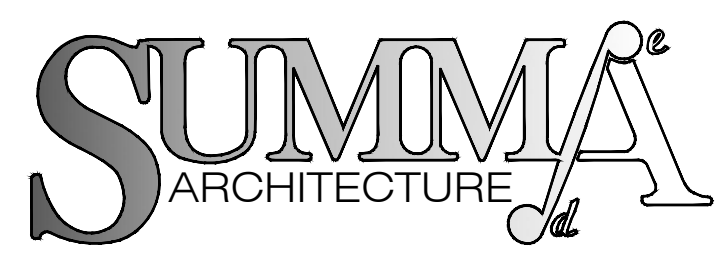
PALM AND HOLLISTER

JULY 13, 2023

SCALE:

Revision 5: _____
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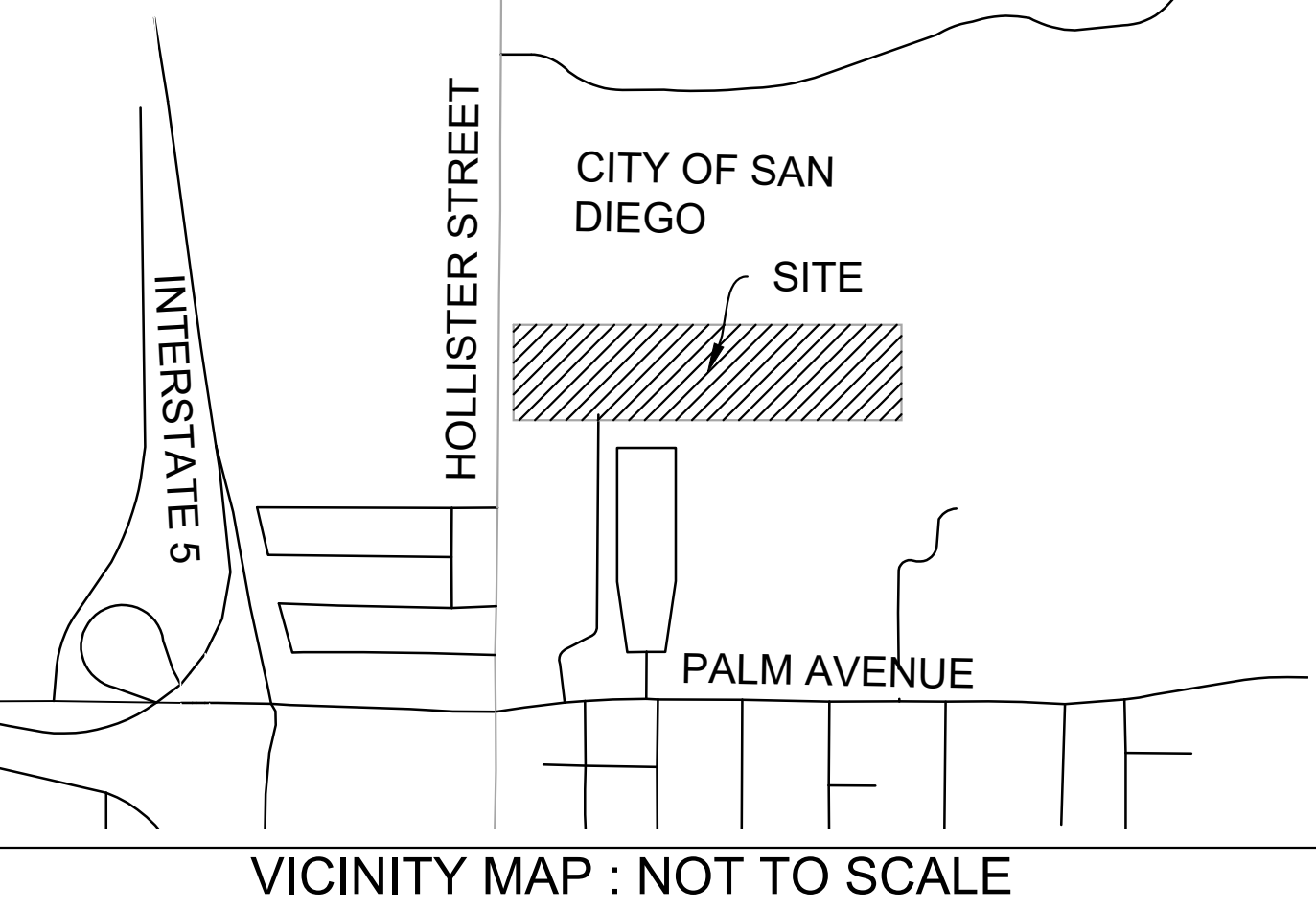
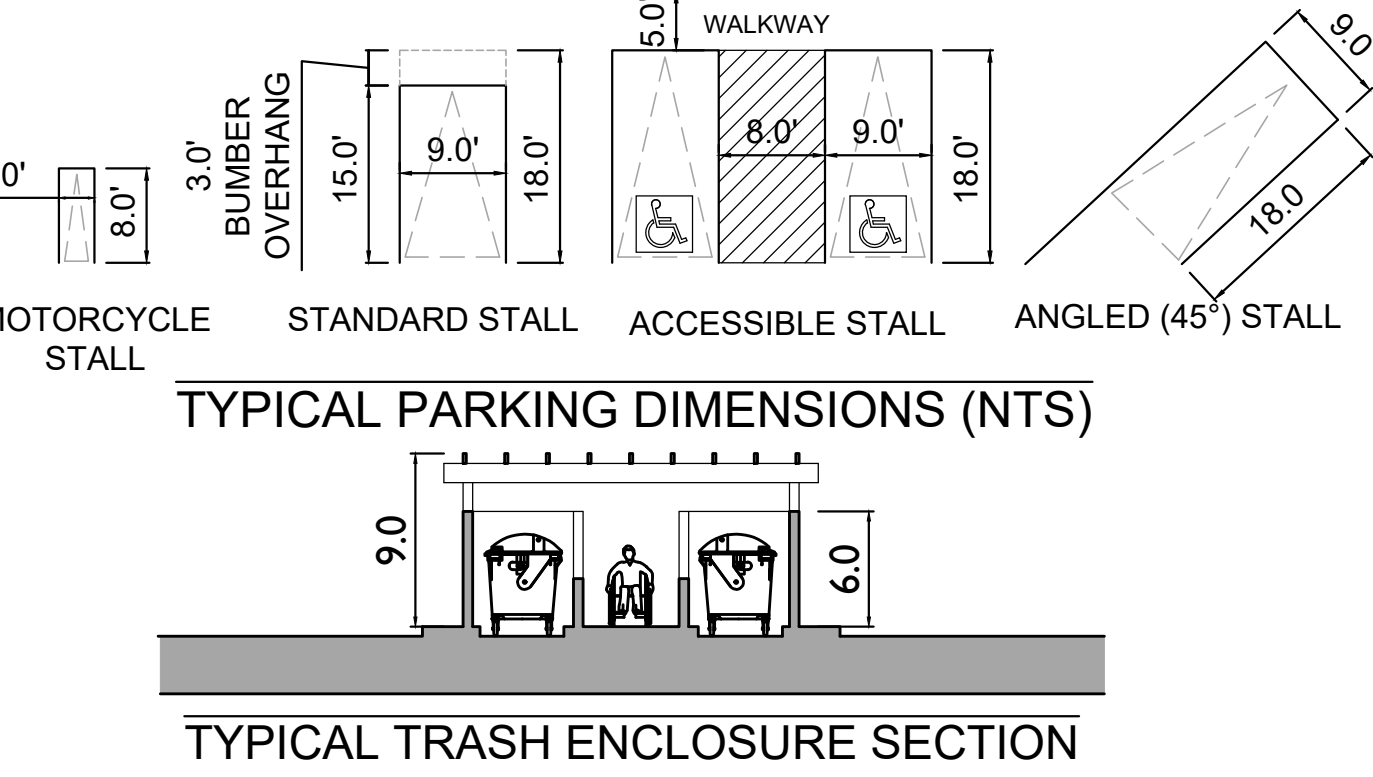
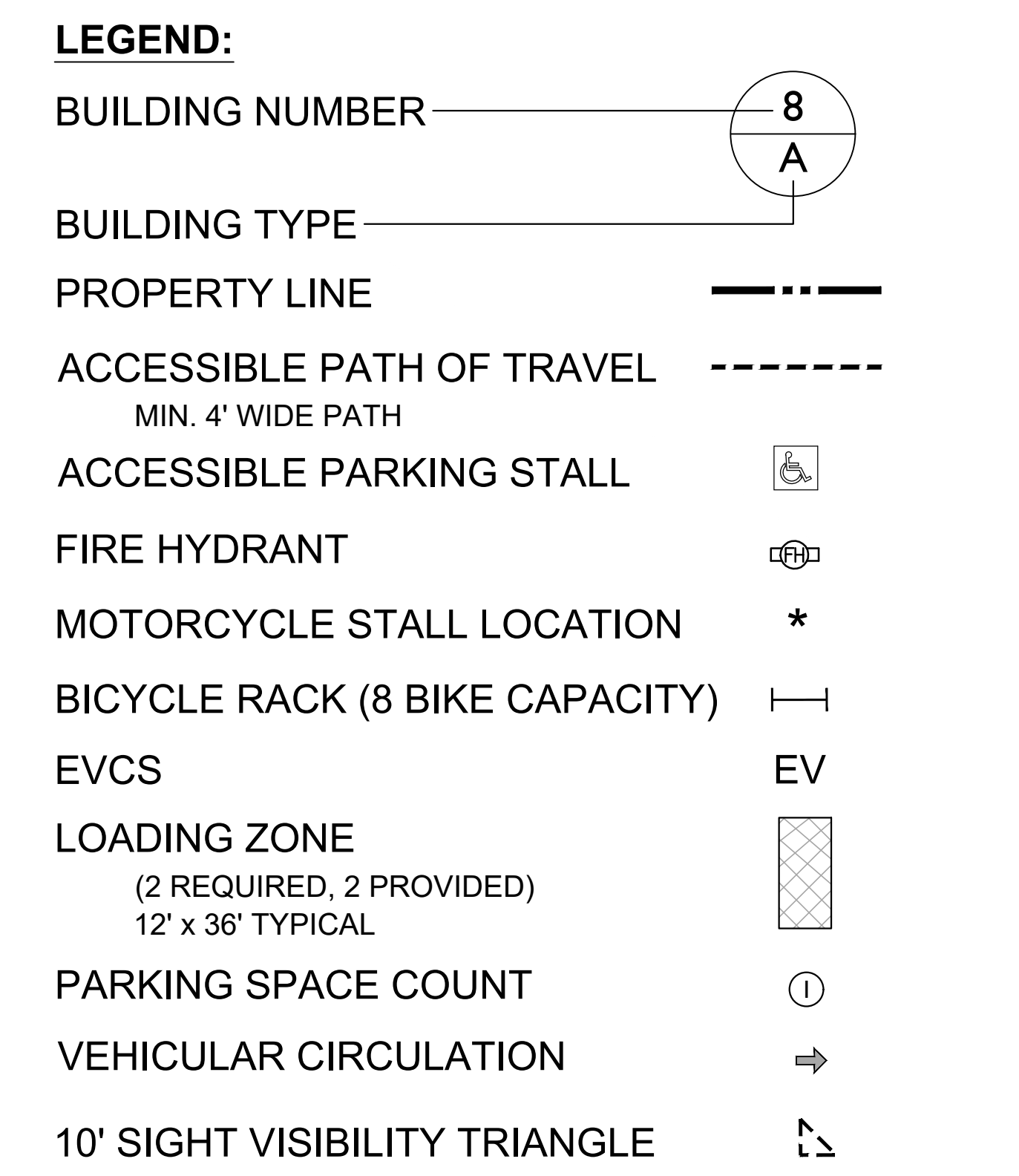
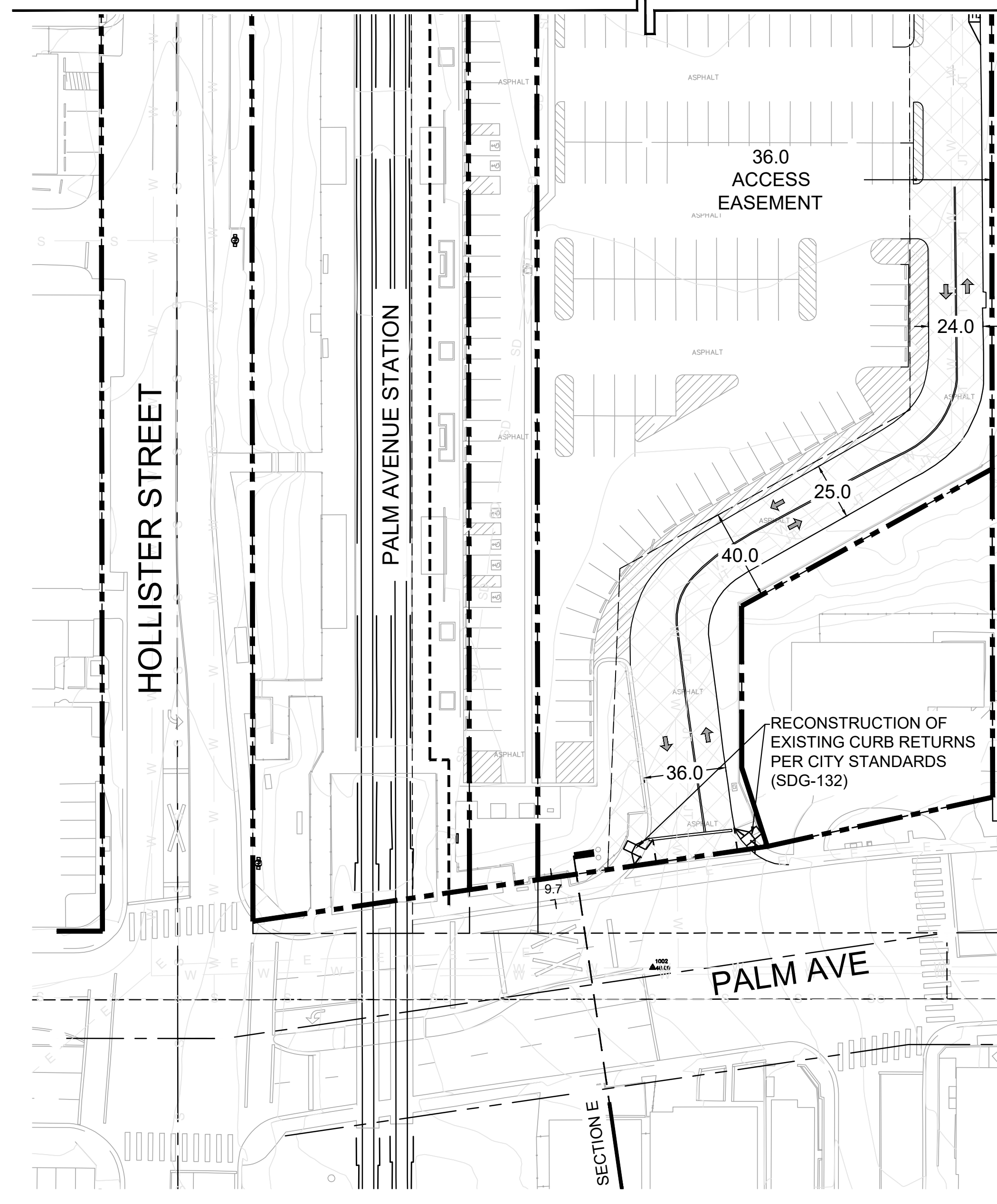
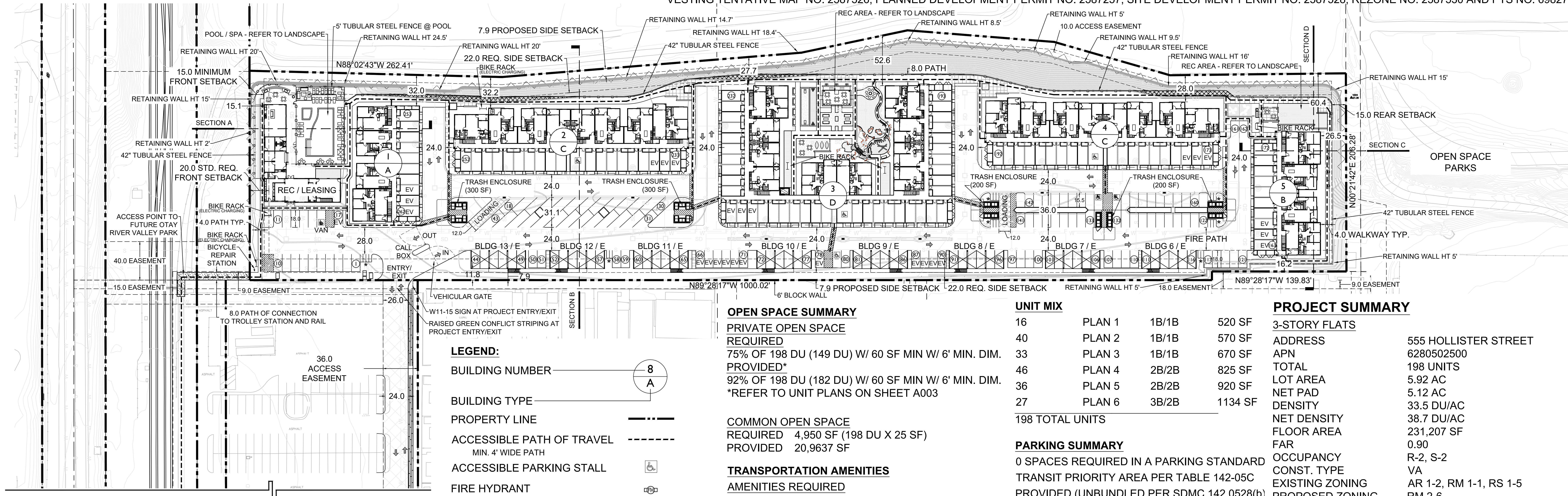


5256 S. Mission Road, Ste 404
 Bonsall, CA 92003
 760.724.1198

A001

PROJECT NO. 698277

COVER SHEET



OPEN SPACE SUMMARY

PRIVATE OPEN SPACE REQUIRED
 75% OF 198 DU (149 DU) W/ 60 SF MIN W/ 6' MIN. DIM. PROVIDED*
 92% OF 198 DU (182 DU) W/ 60 SF MIN W/ 6' MIN. DIM. *REFER TO UNIT PLANS ON SHEET A003

COMMON OPEN SPACE REQUIRED 4,950 SF (198 DU X 25 SF)
PROVIDED 20,963 SF

TRANSPORTATION AMENITIES AMENITIES REQUIRED

Project Applicant:	Project Address:
Burcan Building	555 Hollister Street
Project No:	Phone:
164A-003B	760-230-1000

The purpose of this form is to determine the transportation amenity requirement per San Diego Municipal Code (SDMC) Section 142.0528. This applies to multifamily residential developments within Parking Standards Transit Priority Areas. This form must be completed by the project applicant and submitted to Development Services at time of project submittal.

Enter APN:	6280502500
Step 1: (Please type in and do not copy and paste) Find out if your parcel is located within a Parking Standards TPA?	Within a Parking Standards TPA; proceed to Steps 3 & 4 for Transportation Amenity Requirement

Please note:
 - If parcel is located within a Parking Standards TPA, zero minimum parking standards apply.
 - If parcel is located within Downtown, maximum parking requirements also apply.
 - If parcel is located within Coastal Overlay Zone, zero minimum parking standards are not in effect.
 - If parcel is NOT located within a Parking Standards TPA, zero minimum parking standards do not apply.

Step 3: Enter Total Number of Units:	198
Step 4: Enter Total Number of Bedrooms:	334
Bedroom Ratio:	1.69
Jobs Within a Mile (Walking):	1,594
CalEnviro Screen:	27.99
Employment within a 30-Minute Transit Trip:	741
Bedroom Ratio Score:	4
Jobs-Housing Score:	0
Environmental Priority Index Score:	1
Transit Commute Score:	2
Transportation Amenity Score:	7
Transportation Amenity Requirement:	4 Points

AMENITIES PROVIDED
 ON SITE BICYCLE REPAIR STATION (2 POINTS)
 CO-WORKING SPACE (2 POINTS)

TRASH ENCLOSURES

REQUIRED	
TRASH	384 SF
RECYCLING	384 SF
ORGANIC WASTE	384 SF
TOTAL REQUIRED	1,152 SF
PROVIDED	
TRASH	400 SF
RECYCLING	400 SF
ORGANIC WASTE	400 SF
TOTAL PROVIDED	1,200 SF

UNIT MIX

16	PLAN 1	1B/1B	520 SF
40	PLAN 2	1B/1B	570 SF
33	PLAN 3	1B/1B	670 SF
46	PLAN 4	2B/2B	825 SF
36	PLAN 5	2B/2B	920 SF
27	PLAN 6	3B/2B	1134 SF
198 TOTAL UNITS			

PARKING SUMMARY

0 SPACES REQUIRED IN A PARKING STANDARD TRANSIT PRIORITY AREA PER TABLE 142-05C
PROVIDED (UNBUNDLED PER SDMC 142.0528(b))

GARAGE	100 SP
CARPORTS	48 SP
OPEN	114 SP
TOTAL PROVIDED	262 (1.32 SP/DU)

ACCESSIBLE PARKING

ASSIGNED	245 X 2% =	5 SP
UNASSIGNED	17 X 5% =	1 SP
TOTAL REQUIRED		6 SP
TOTAL PROVIDED		7 SP

VAN ACCESSIBLE PARKING

1 IN 8 ACCESSIBLE SPACES SHALL BE VAN ACCESSIBLE (1 REQUIRED, 1 PROVIDED)

ELECTRIC VEHICLE PARKING

262 SP X 10% = 27 SP
 1 IN 25 SHALL BE LOCATED ADJACENT TO AN ACCESSIBLE PARKING SPACE OR ON AN ACCESSIBLE ROUTE (2 REQUIRED, 2 PROVIDED)

MOTORCYCLE PARKING

TOTAL REQUIRED	198 X .1 =	20 SP
TOTAL PROVIDED		20 SP*

BICYCLE PARKING

49 1BD X .4 =	20 SP
42 2BD X .5 =	21 SP
7 3BD X .6 =	5 SP
TOTAL REQUIRED	46 SP
TOTAL PROVIDED	48 SP

EBIKE CHARGERS : 50% OF THE REQUIRED SPACES TO BE SUPPLIED WITH INDIVIDUAL OUTLETS FOR ELECTRIC CHARGING
 46 SP X 50% = 23 SP

PROJECT SUMMARY

3-STORY FLATS	
ADDRESS	555 HOLLISTER STREET
APN	6280502500
TOTAL	198 UNITS
LOT AREA	5.92 AC
NET PAD	5.12 AC
DENSITY	33.5 DU/AC
NET DENSITY	38.7 DU/AC
FLOOR AREA	231,207 SF
FAR	0.90
OCCUPANCY	R-2, S-2
CONST. TYPE	VA
EXISTING ZONING	AR 1-2, RM 1-1, RS 1-5
PROPOSED ZONING	RM 2-6
EXISTING USE	SPACED RURAL RESIDENTIAL
PROPOSED USE	MULTI-FAMILY RESIDENTIAL
HAZARD CATEGORY	53 / 31
LANDSCAPE AREA	53,520 SF

LEGAL DESCRIPTION:

THAT PORTION OF THE NORTH QUARTER OF THE WEST HALF OF THE SOUTHWEST QUARTER AND THE NORTH 5 ACRES OF THE EAST HALF OF THE SOUTHWEST QUARTER OF SECTION 22, TOWNSHIP 18 SOUTH, RANGE 2 WEST, SAN BERNARDINO MERIDIAN, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, MORE FULLY DESCRIBED IN GRANT DEED RECORDED IN THE OFFICE OF THE SAN DIEGO COUNTRY RECORDER AS DOCUMENT NO. 2017-0387959.

EXISTING STRUCTURES:

3 EXISTING STRUCTURES DATING BACK TO ROUGHLY 1920 TO BE DEMOLISHED. NONE WERE SUBJECT TO A RECORDED COVENANT ORDINANCE OR LAW THAT RESTRICTS RENTS FOR VERY LOW INCOME OR LOW INCOME HOUSEHOLDS OR WERE OCCUPIED BY VERY LOW INCOME HOUSEHOLDS.

SCOPE OF WORK

- 198 APARTMENT UNITS (INCLUDING 8 AFFORDABLE UNITS) IN 13 BUILDINGS
- ONE RECREATION/LEASING BUILDING TO INCLUDE FITNESS CENTER, COMMUNITY LOUNGE, CO-WORKING SPACES, AND A LEASING OFFICE
- RECREATION AREAS TO INCLUDE POOL, SPA, FIRE PIT, BARBEQUE AREAS, TURF AREAS, PLAYGROUNDS, COURTYARD SEATING AREAS
- DEVIATIONS INCLUDE SETBACKS, BUILDING HEIGHT, AND RETAINING WALL HEIGHT

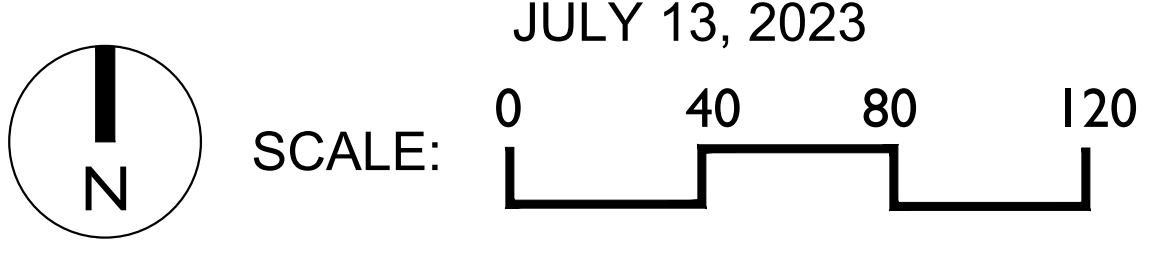
NOTE:

BUILDING ADDRESS NUMBERS SHALL BE VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY PER FHPS POLICY P-00-6 (UFC 901.4.4)

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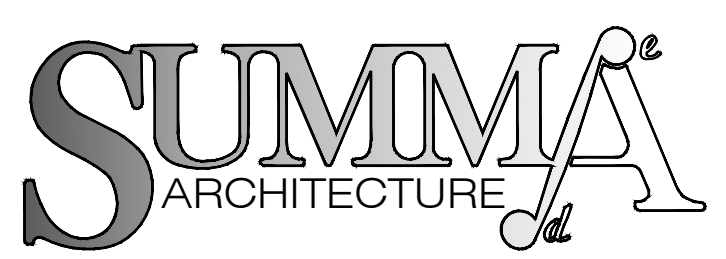
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JULY 13, 2023

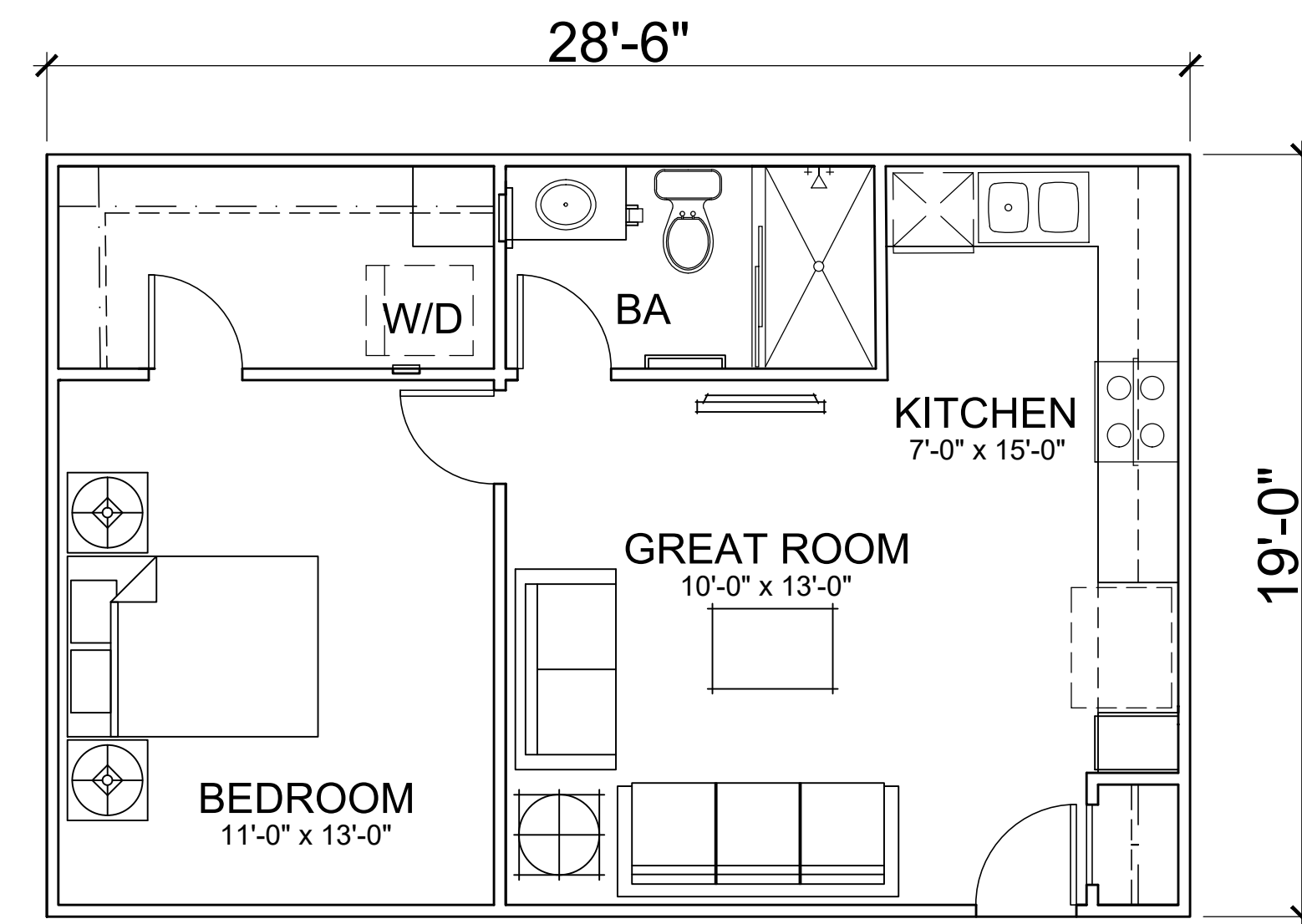
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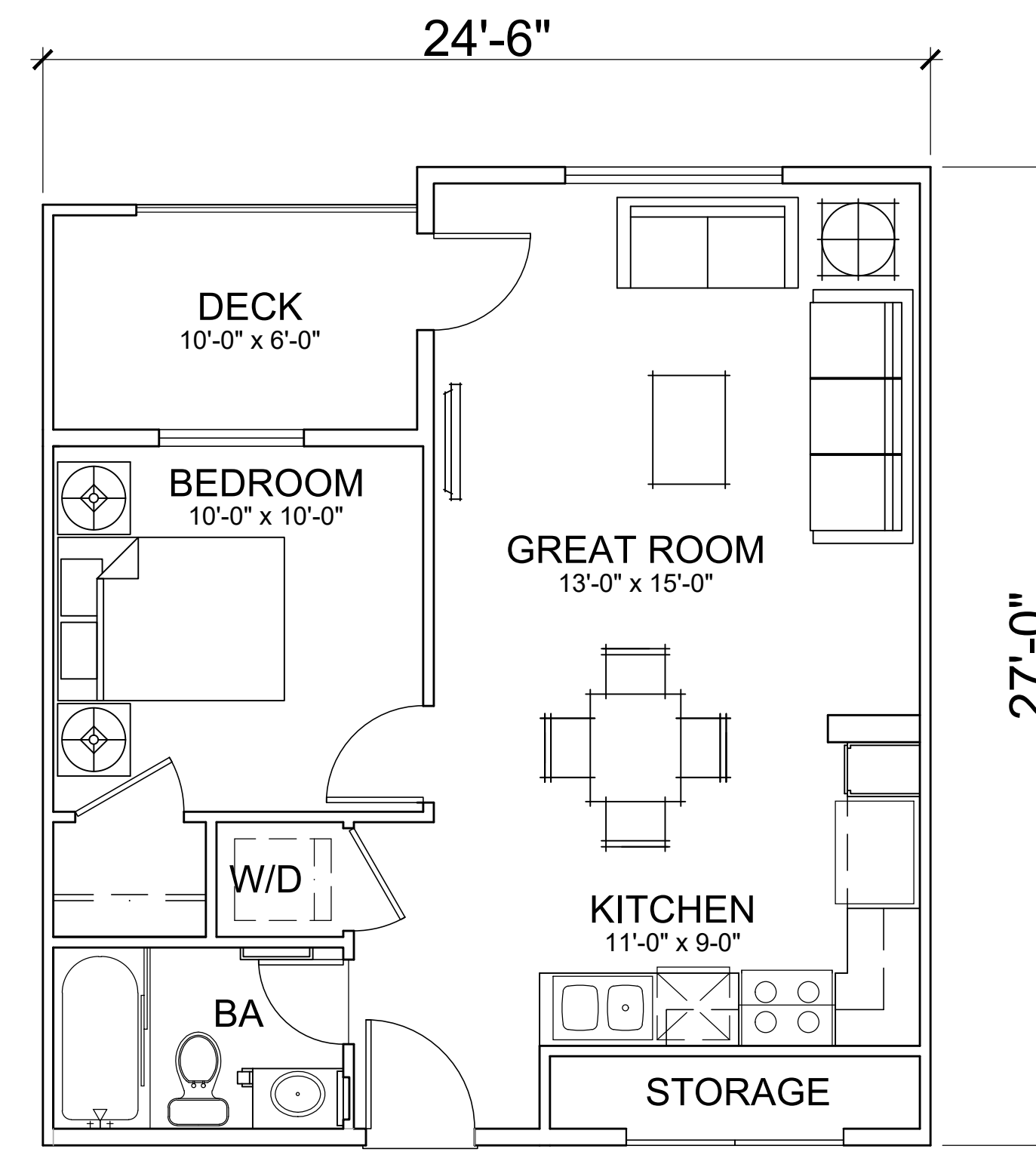
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A002

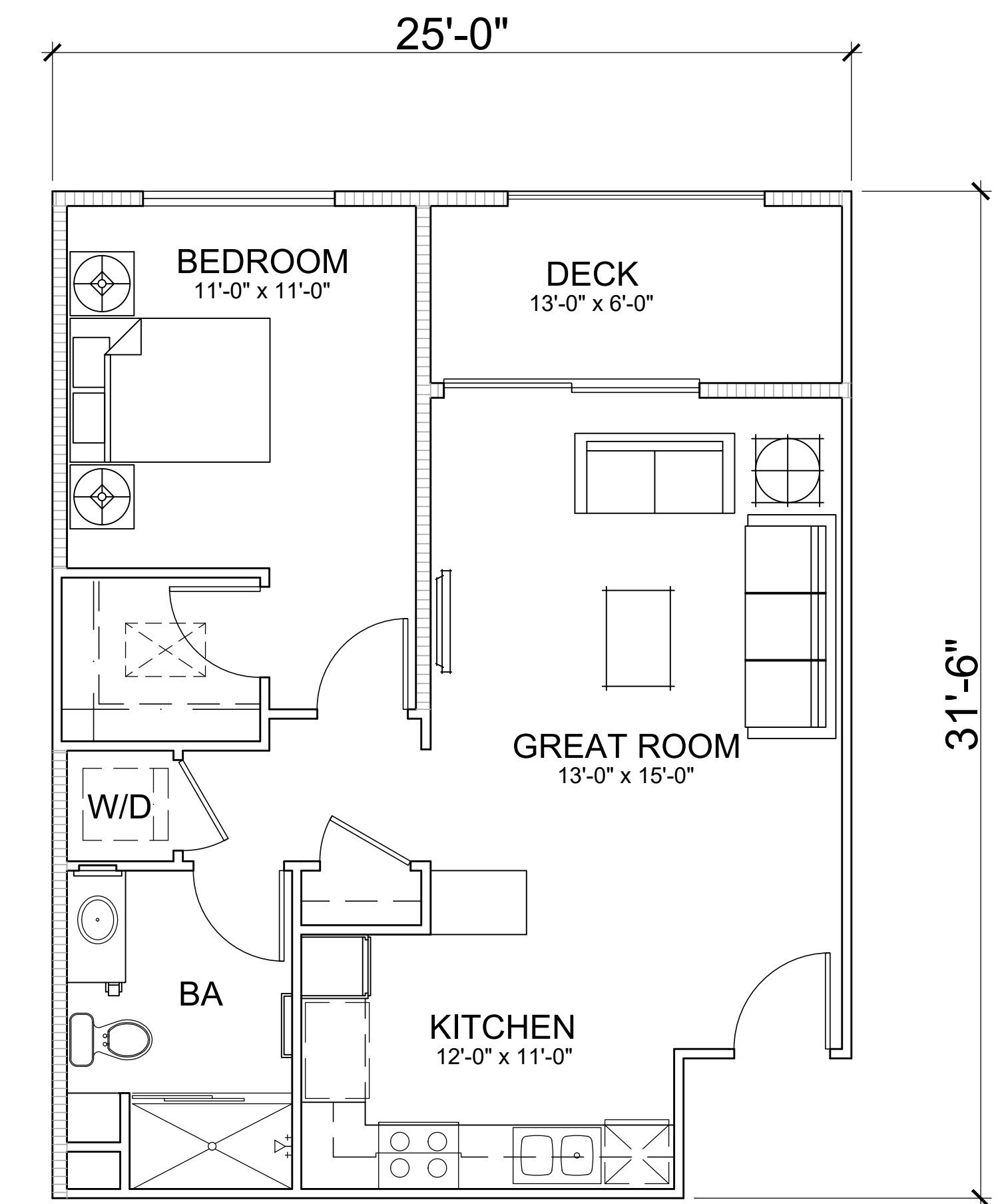
PROJECT NO. 698277



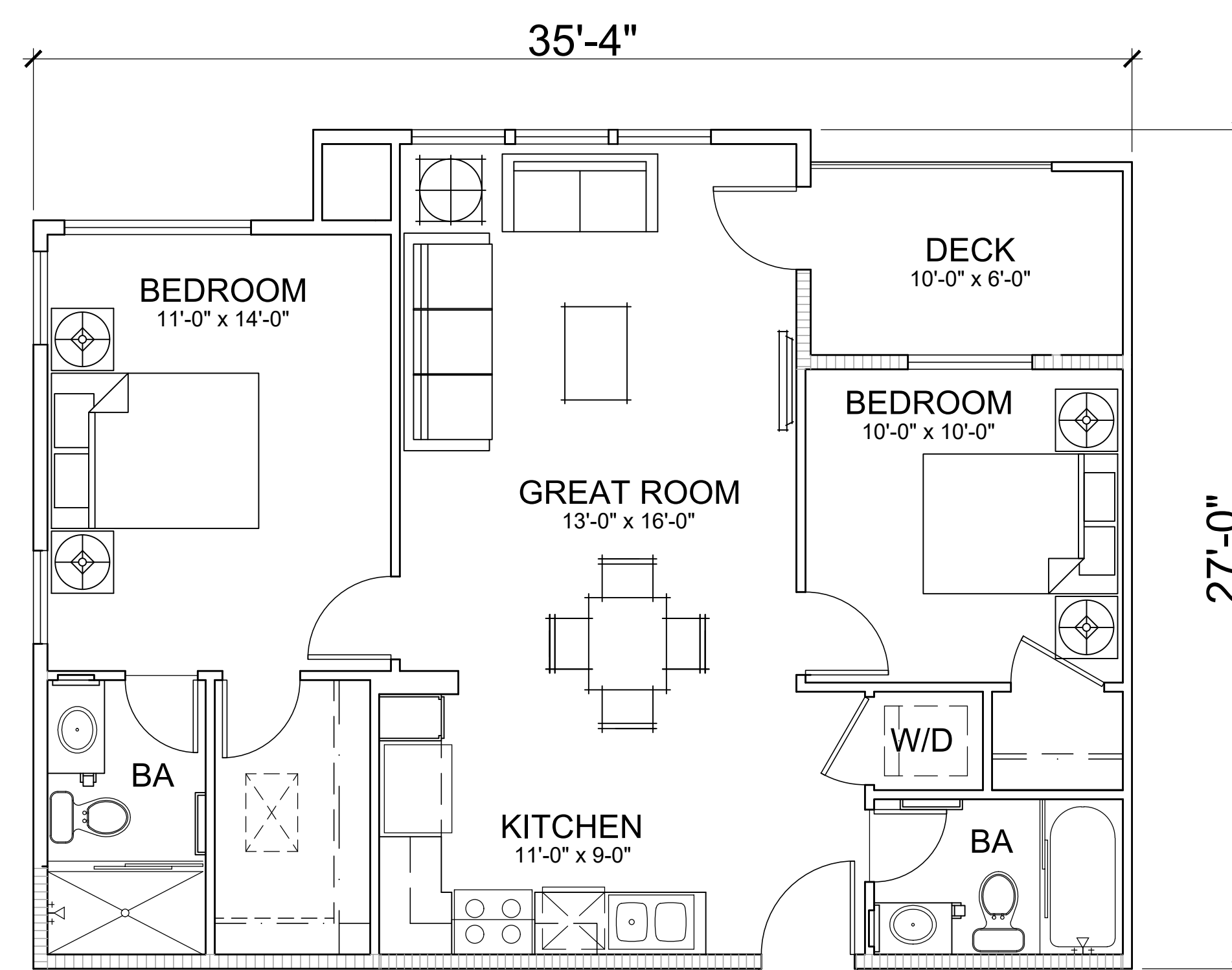
PLAN 1: 1BD/1BA
TOTAL 520 S.F.



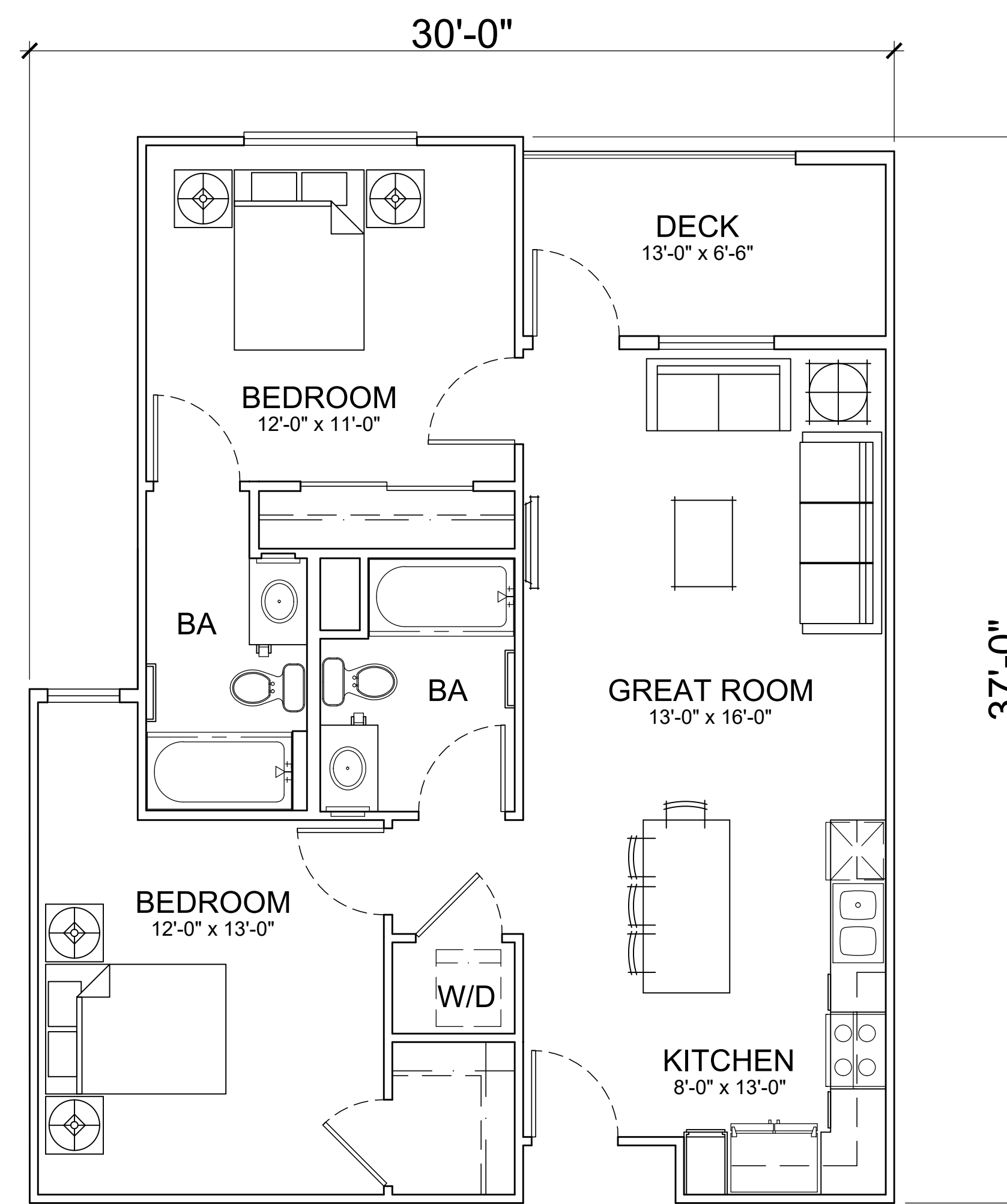
PLAN 2: 1BD/1BA
TOTAL 570 S.F.
DECK 62 S.F.



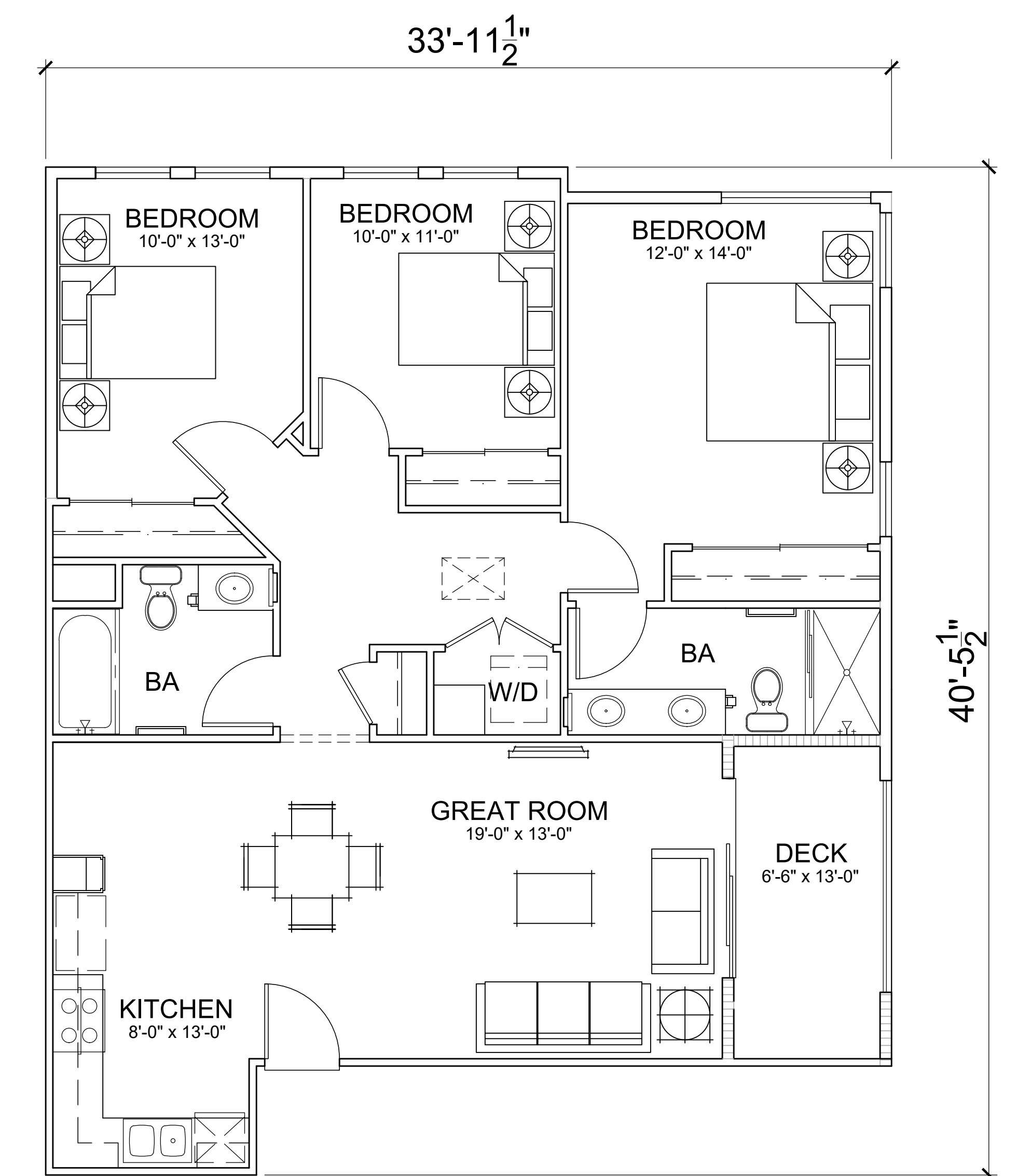
PLAN 3: 1BD/1BA
TOTAL 670 S.F.
DECK 77 S.F.



PLAN 4: 2BD/2BA
TOTAL 825 S.F.
DECK 62 S.F.



PLAN 5: 2BD/2BA
TOTAL 920 S.F.
DECK 80 S.F.



PLAN 6: 3BD/2BA
TOTAL 1134 S.F.
DECK 80 S.F.

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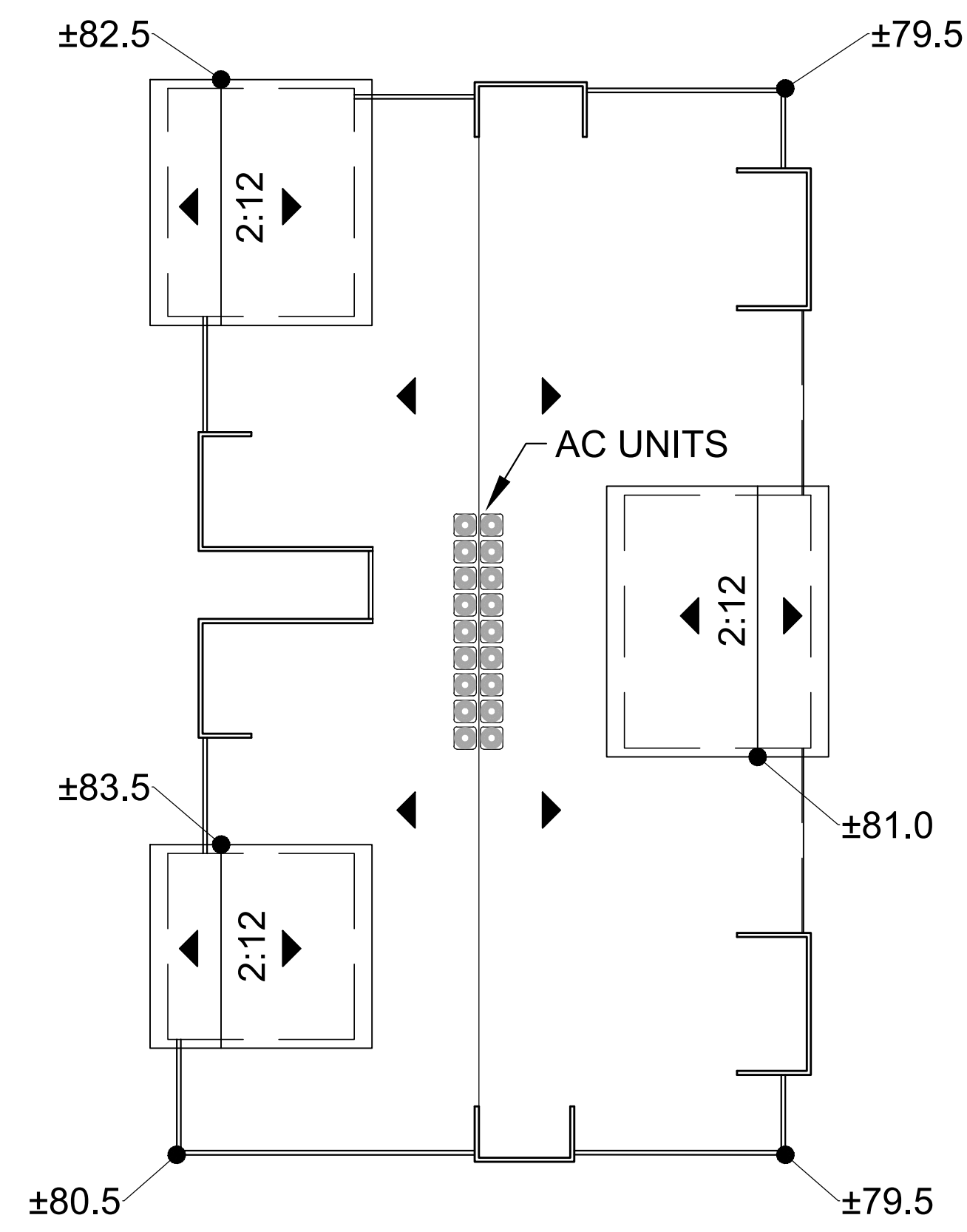


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A003

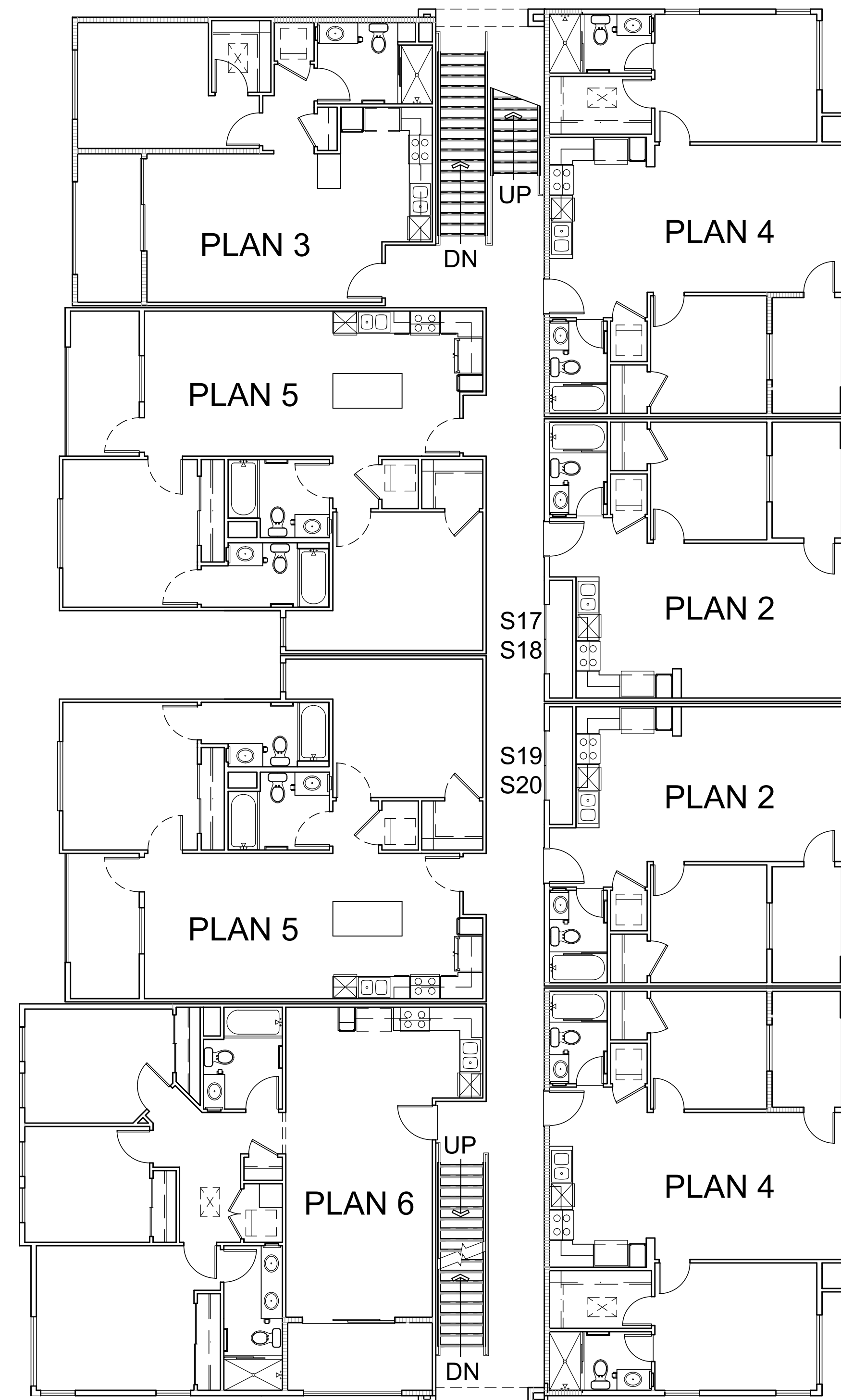
PROJECT NO. 698277

UNIT PLANS

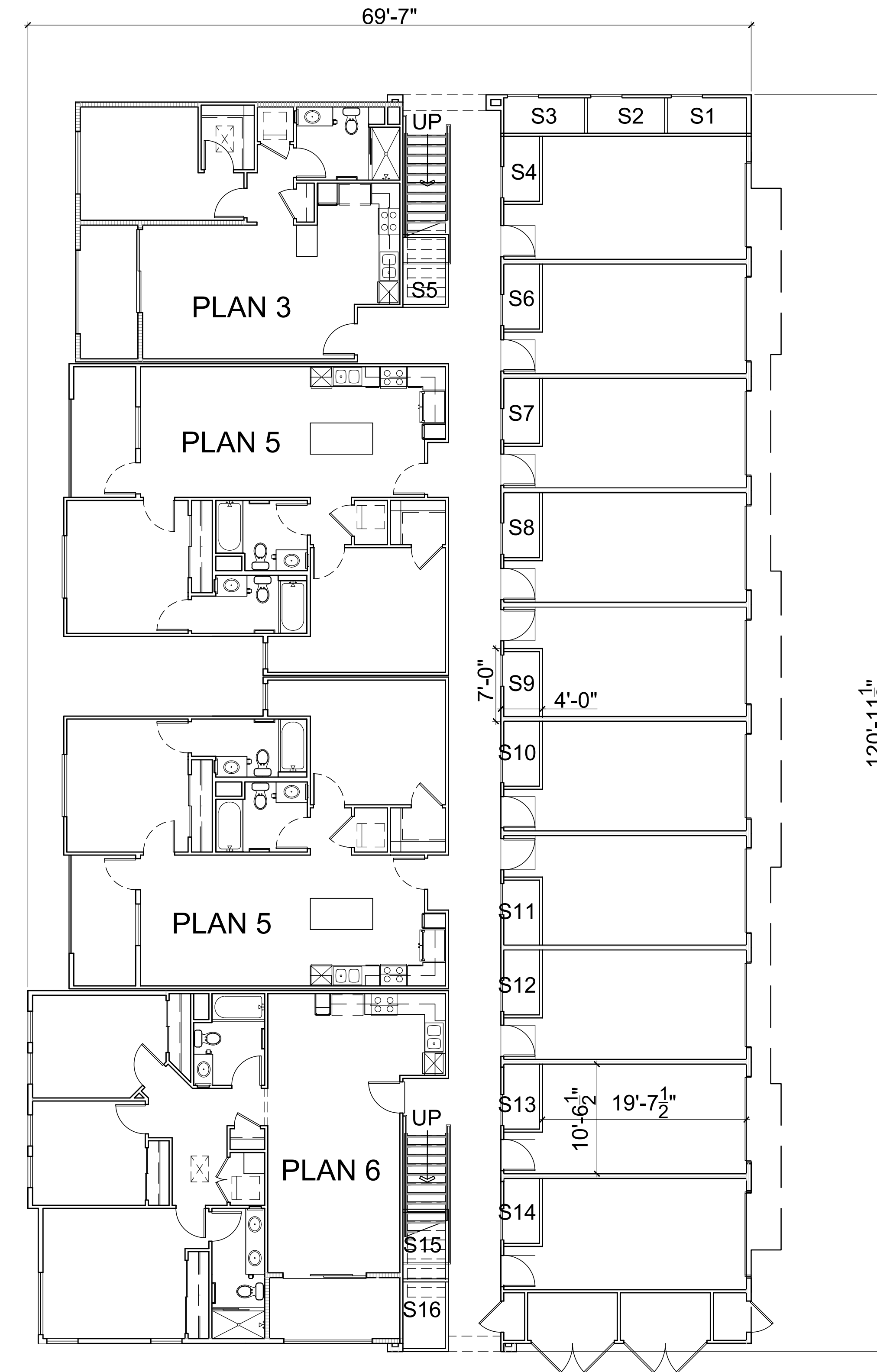


ROOF PLAN
SCALE: 1/16" = 1'-0"

BUILDING A			
UNIT MIX			
4	PLAN 2	1B/1B	570 SF
3	PLAN 3	1B/1B	670 SF
4	PLAN 4	2B/2B	825 SF
6	PLAN 5	2B/2B	920 SF
3	PLAN 6	3B/2B	1134 SF
20 TOTAL UNITS			



SECOND AND THIRD FLOOR



FIRST FLOOR

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PALM AND HOLLISTER

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A004

PROJECT NO. 698277

BUILDING A COMPOSITE



SOUTH



EAST



NORTH



WEST

MATERIAL SCHEDULE

- 1 ROOF - BUILT UP PARAPET
- 2 ROOF - CONCRETE TILE
- 3 2X WOOD FASCIA
- 4 WALL - STUCCO
- 5 WALL - STONE VENEER
- 6 WALL - HORIZONTAL SIDING
- 7 TRIM - 2X STUCCO OVER
- 8 METAL RAILING

SAN DIEGO, CA

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BUILDING A ELEVATION

A005

PROJECT NO. 698277



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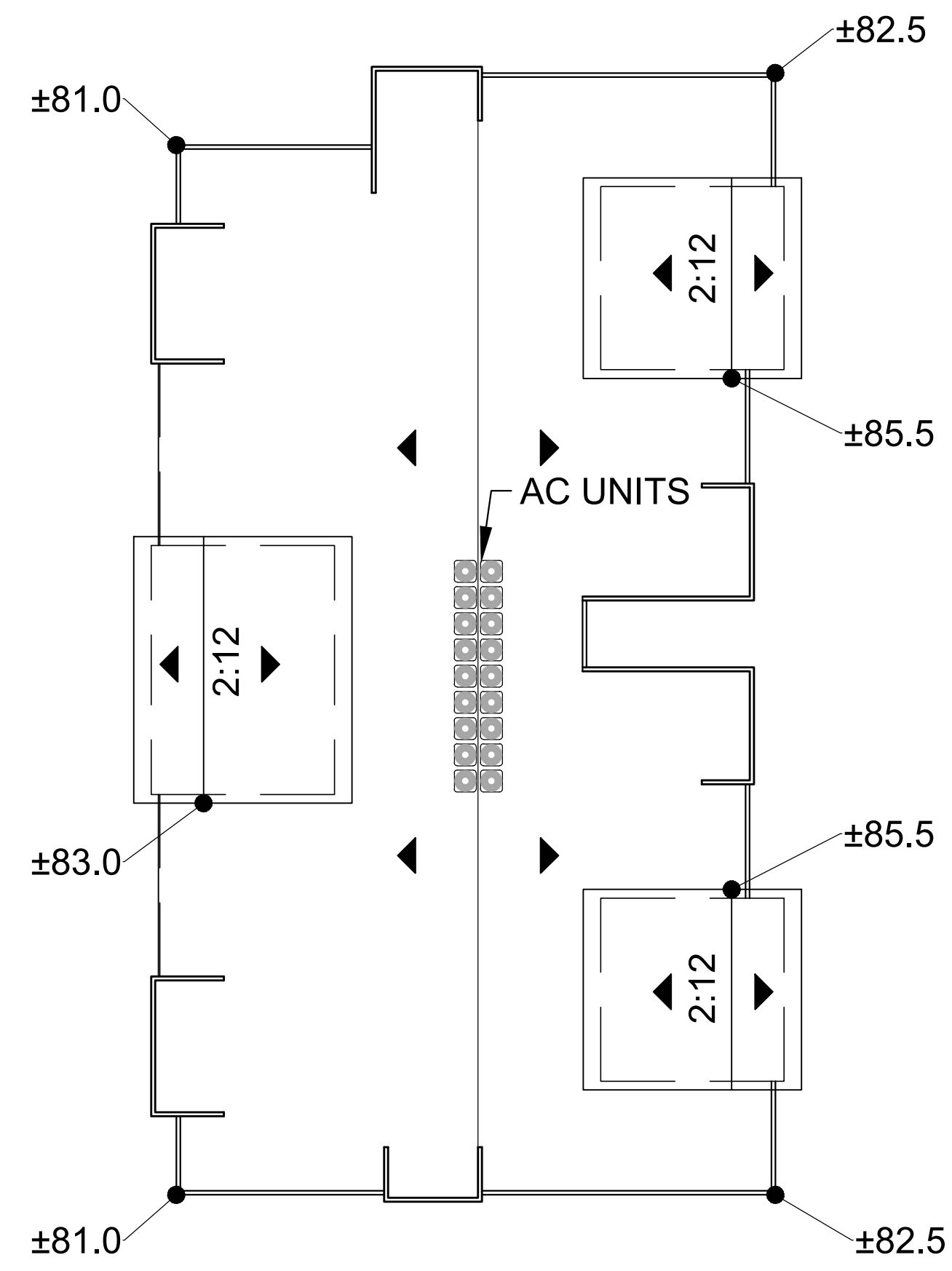
BUILDING A PERSPECTIVES



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A006

PROJECT NO. 698277

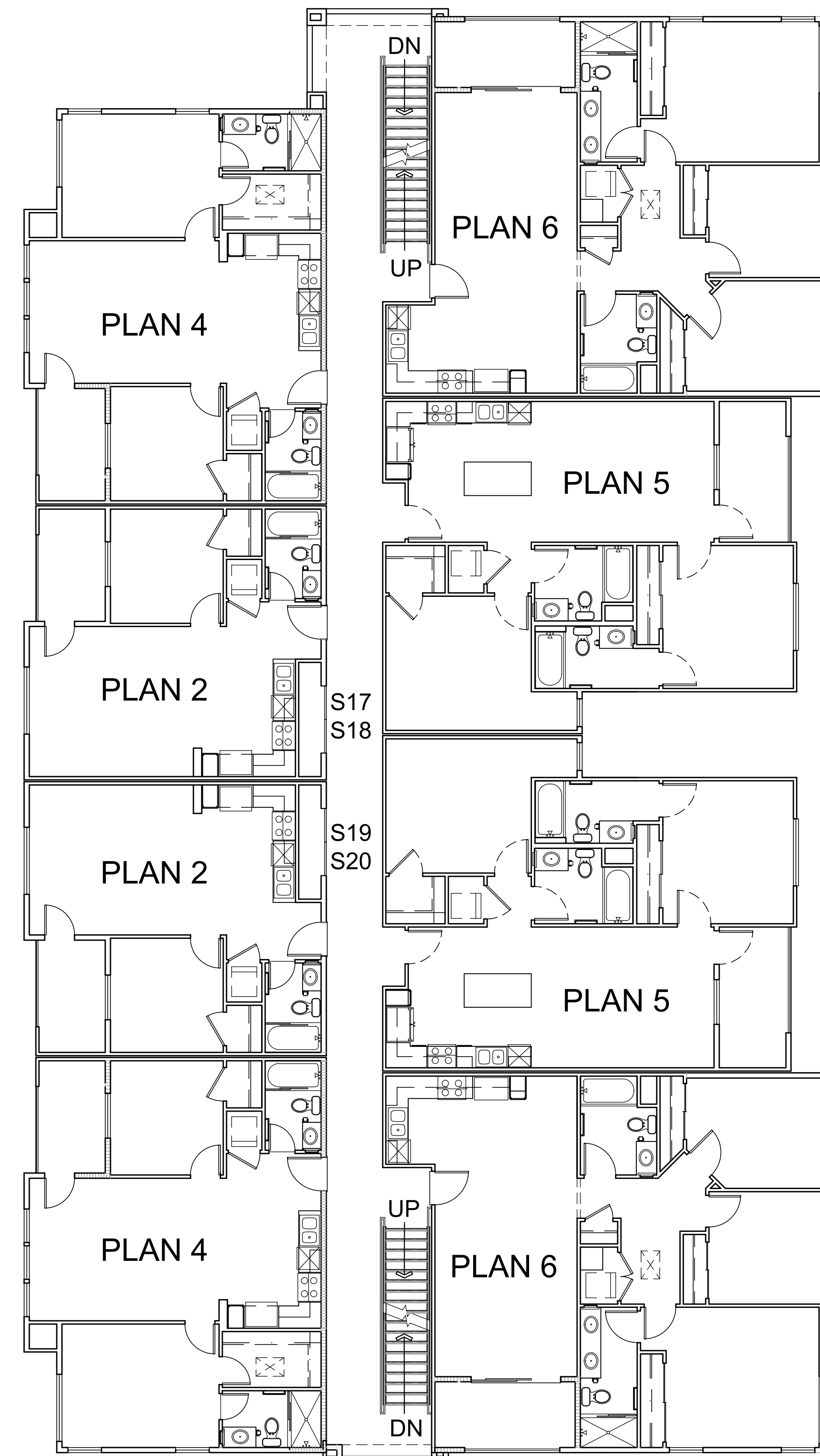


ROOF PLAN
SCALE: 1/16" = 1'-0"

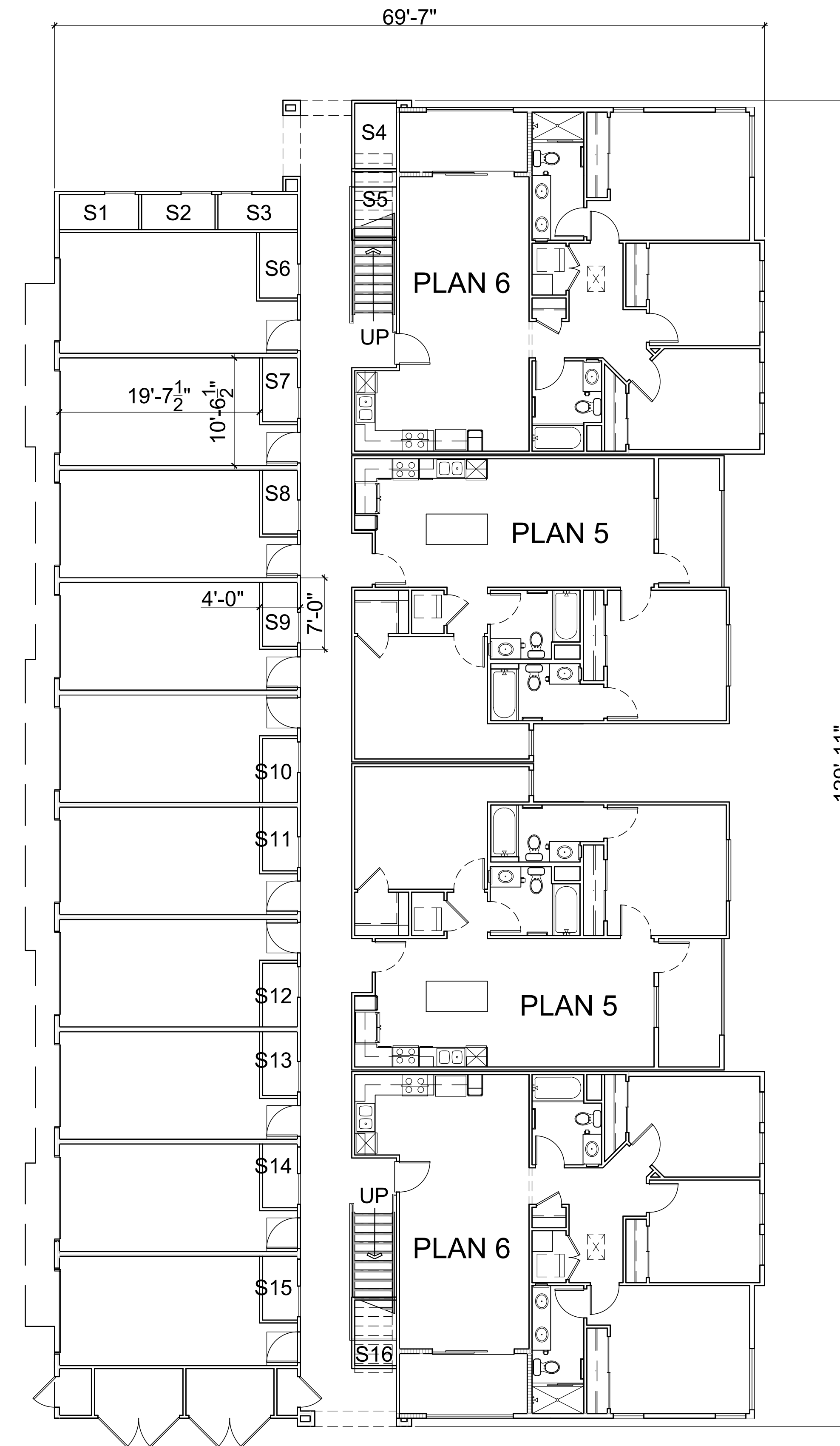
BUILDING B

UNIT MIX

4	PLAN 2	1B/1B	570 SF
4	PLAN 4	2B/2B	825 SF
6	PLAN 5	2B/2B	920 SF
6	PLAN 6	3B/2B	1134 SF
20 TOTAL UNITS			



SECOND AND THIRD FLOOR

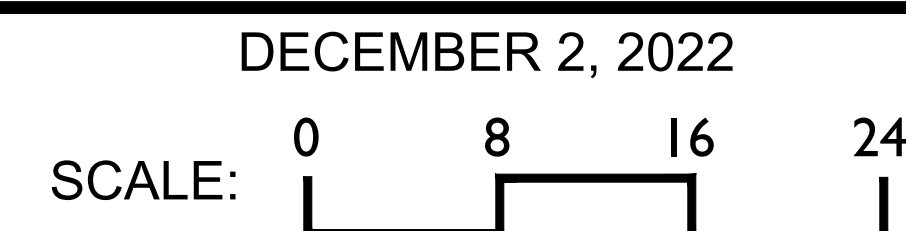


FIRST FLOOR

SAN DIEGO, CA

AMBIENT COMMUNITIES
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760.230.1000

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A007

PROJECT NO. 698277



NORTH



WEST



SOUTH



EAST

MATERIAL SCHEDULE

- 1 ROOF - BUILT UP PARAPET
- 2 ROOF - CONCRETE TILE
- 3 2X WOOD FASCIA
- 4 WALL - STUCCO
- 5 WALL - STONE VENEER
- 6 WALL - HORIZONTAL SIDING
- 7 TRIM - 2X STUCCO OVER
- 8 METAL RAILING

SAN DIEGO, CA

AMBIENT COMMUNITIES
 179 CALLE MAGDALENA STE 201
 ENCINITAS, CA 92024
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PALM AND HOLLISTER

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A008

PROJECT NO. 698277

BUILDING B ELEVATION



SAN DIEGO, CA

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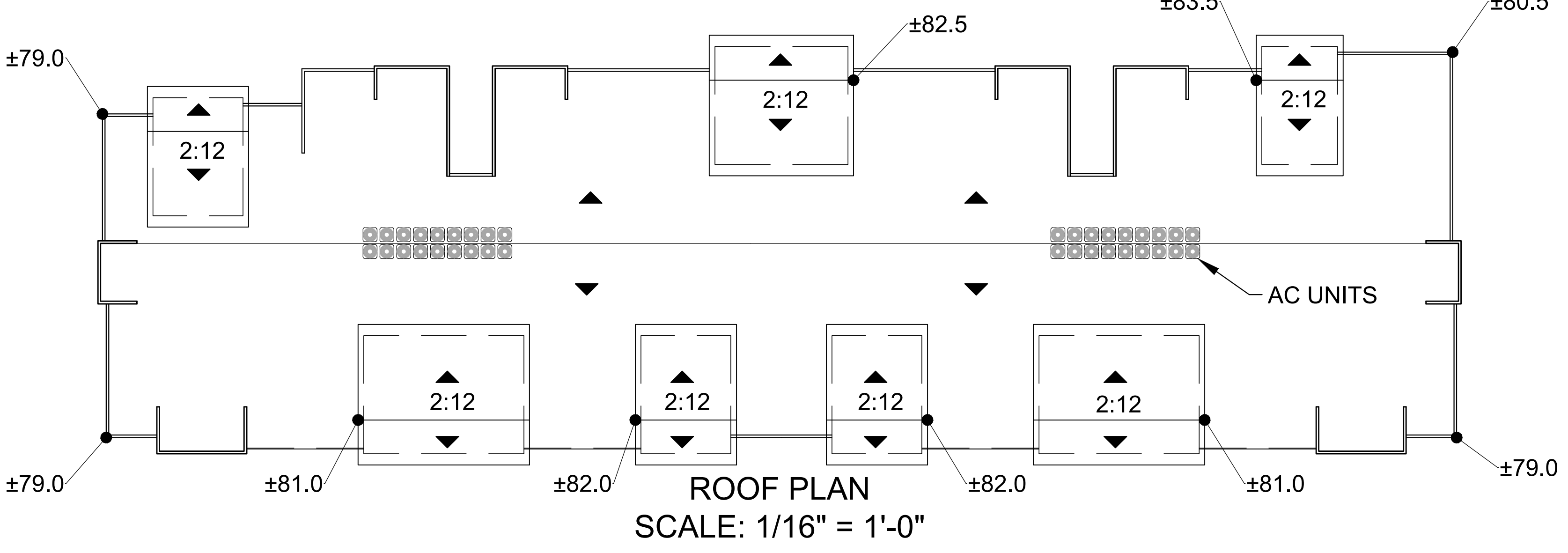
BUILDING B PERSPECTIVES



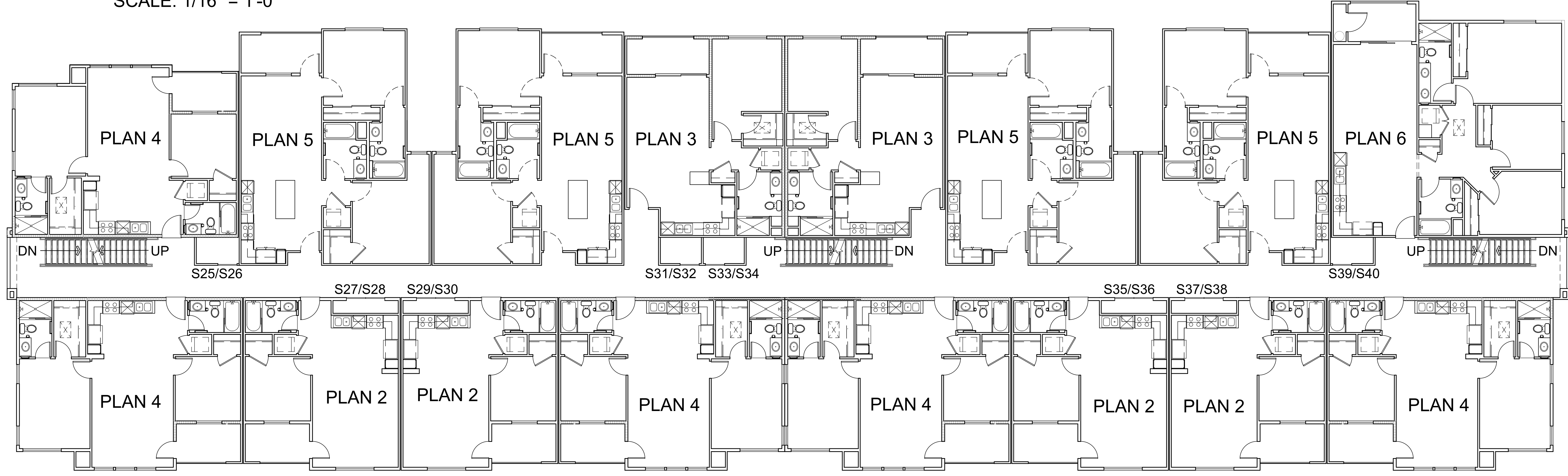
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A009

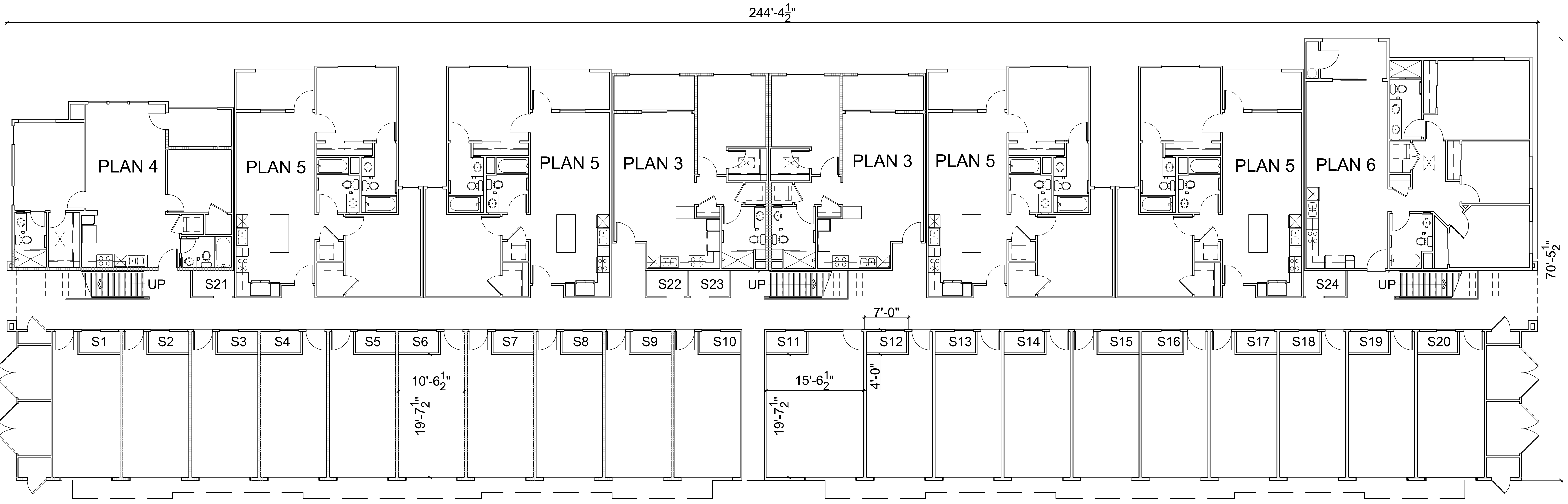
PROJECT NO. 698277



BUILDING C			
UNIT MIX			
8	PLAN 2	1B/1B	570 SF
6	PLAN 3	1B/1B	670 SF
11	PLAN 4	2B/2B	825 SF
12	PLAN 5	2B/2B	920 SF
3	PLAN 6	3B/2B	1134 SF
40 TOTAL UNITS			



SECOND AND THIRD FLOOR



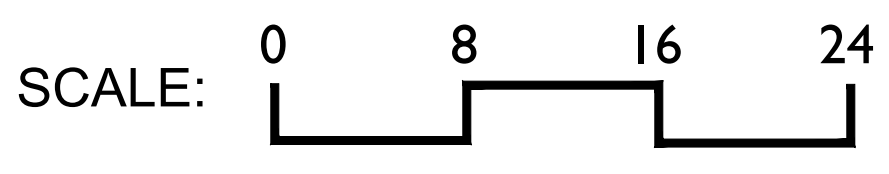
FIRST FLOOR

SAN DIEGO, CA

AMBIENT COMMUNITIES
179 CALLE MAGDALENA STE 201
ENCINITAS, CA 92024
760.230.1000

PALM AND HOLLISTER

DECEMBER 2, 2022



- Revision 5: _____
- Revision 4: _____
- Revision 3: 12-02-2022
- Revision 2: 07-08-2022
- Revision 1: 03-22-2022
- Original Date: 11-11-2021
- Revision 10: _____
- Revision 9: _____
- Revision 8: _____
- Revision 7: _____
- Revision 6: _____



5256 S. Mission Road, Ste 404
Bonsall, CA 92003
760.724.1198

A010

PROJECT NO. 698277



SOUTH



EAST



WEST



NORTH

MATERIAL SCHEDULE

- 1 ROOF - BUILT UP PARAPET
- 2 ROOF - CONCRETE TILE
- 3 2X WOOD FASCIA
- 4 WALL - STUCCO
- 5 WALL - STONE VENEER
- 6 WALL - HORIZONTAL SIDING
- 7 TRIM - 2X STUCCO OVER
- 8 METAL RAILING

SAN DIEGO, CA

AMBIENT COMMUNITIES
 179 CALLE MAGDALENA STE 201
 ENCINITAS, CA 92024
 760.230.1000

PALM AND HOLLISTER

DECEMBER 2, 2022
 SCALE: 0 8 16 24

Revision 5: _____ Revision 10: _____
 Revision 4: _____ Revision 9: _____
 Revision 3: 12-02-2022 Revision 8: _____
 Revision 2: 07-08-2022 Revision 7: _____
 Revision 1: 03-22-2022 Revision 6: _____
 Original Date: 11-11-2021

BUILDING C ELEVATION - BLDG 2



5256 S. Mission Road, Ste 404
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A011

PROJECT NO. 698277



MATERIAL SCHEDULE

- 1 ROOF - BUILT UP PARAPET
- 2 ROOF - CONCRETE TILE
- 3 2X WOOD FASCIA
- 4 WALL - STUCCO
- 5 WALL - STONE VENEER
- 6 WALL - HORIZONTAL SIDING
- 7 TRIM - 2X STUCCO OVER
- 8 METAL RAILING

SAN DIEGO, CA

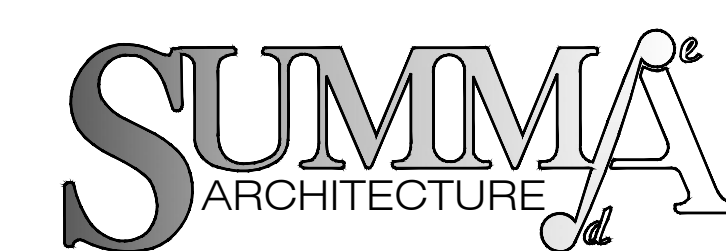
AMBIENT COMMUNITIES
 179 CALLE MAGDALENA STE 201
 ENCINITAS, CA 92024
 760.230.1000

PALM AND HOLLISTER

DECEMBER 2, 2022
 SCALE: 0 8 16 24

Revision 5: _____ Revision 10: _____
 Revision 4: _____ Revision 9: _____
 Revision 3: 12-02-2022 Revision 8: _____
 Revision 2: 07-08-2022 Revision 7: _____
 Revision 1: 03-22-2022 Revision 6: _____
 Original Date: 11-11-2021

BUILDING C ELEVATION - BLDG 4



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A012

PROJECT NO. 698277



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PALM AND HOLLISTER

DECEMBER 2, 2022

SCALE:

Revision 5:	_____	Revision 10:	_____
Revision 4:	_____	Revision 9:	_____
Revision 3:	12-02-2022	Revision 8:	_____
Revision 2:	07-08-2022	Revision 7:	_____
Revision 1:	03-22-2022	Revision 6:	_____
Original Date:	11-11-2021		

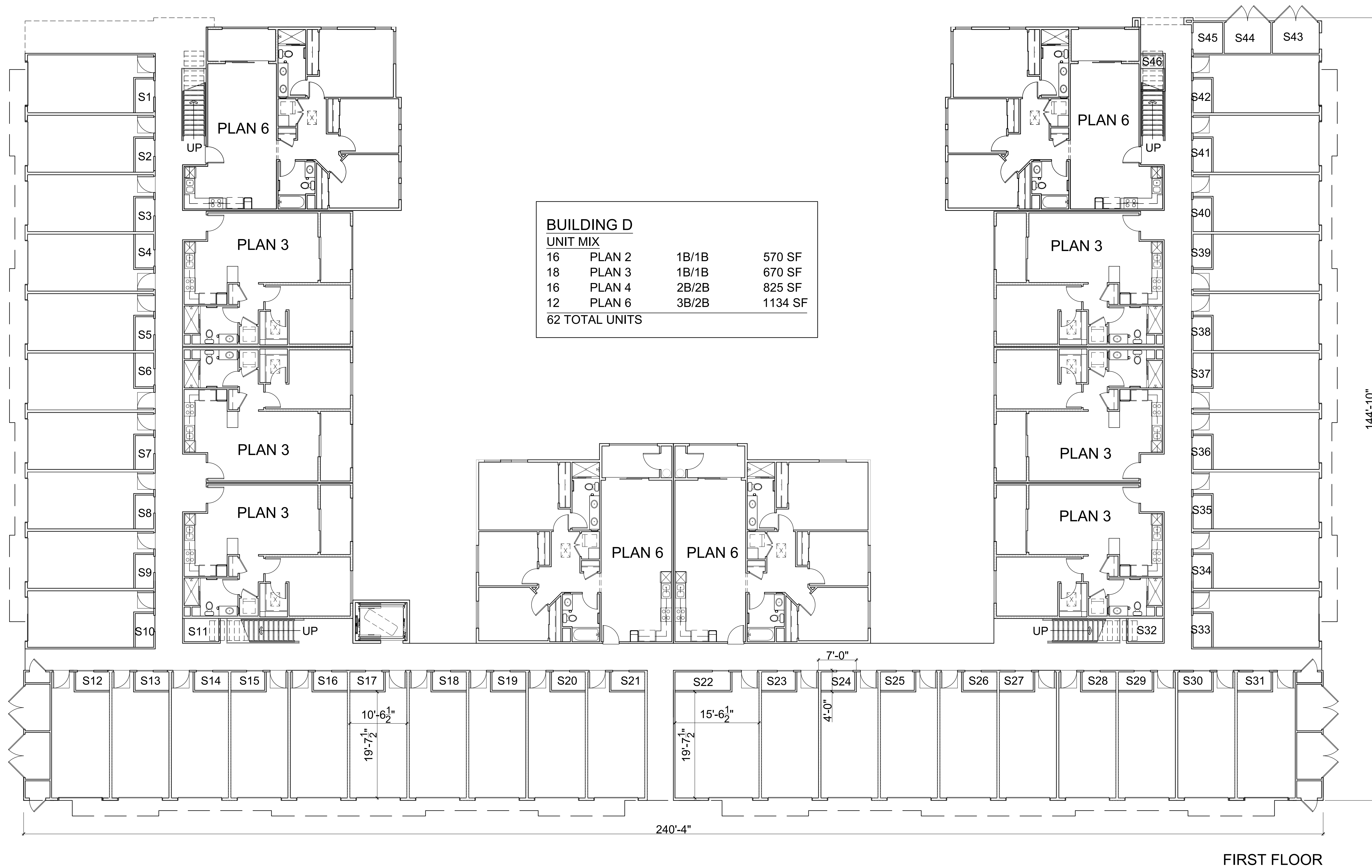
BUILDING C PERSPECTIVES



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A013

PROJECT NO. 698277



SAN DIEGO, CA

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PALM AND HOLLISTER

DECEMBER 2, 2022
 SCALE: 0 40 80 120

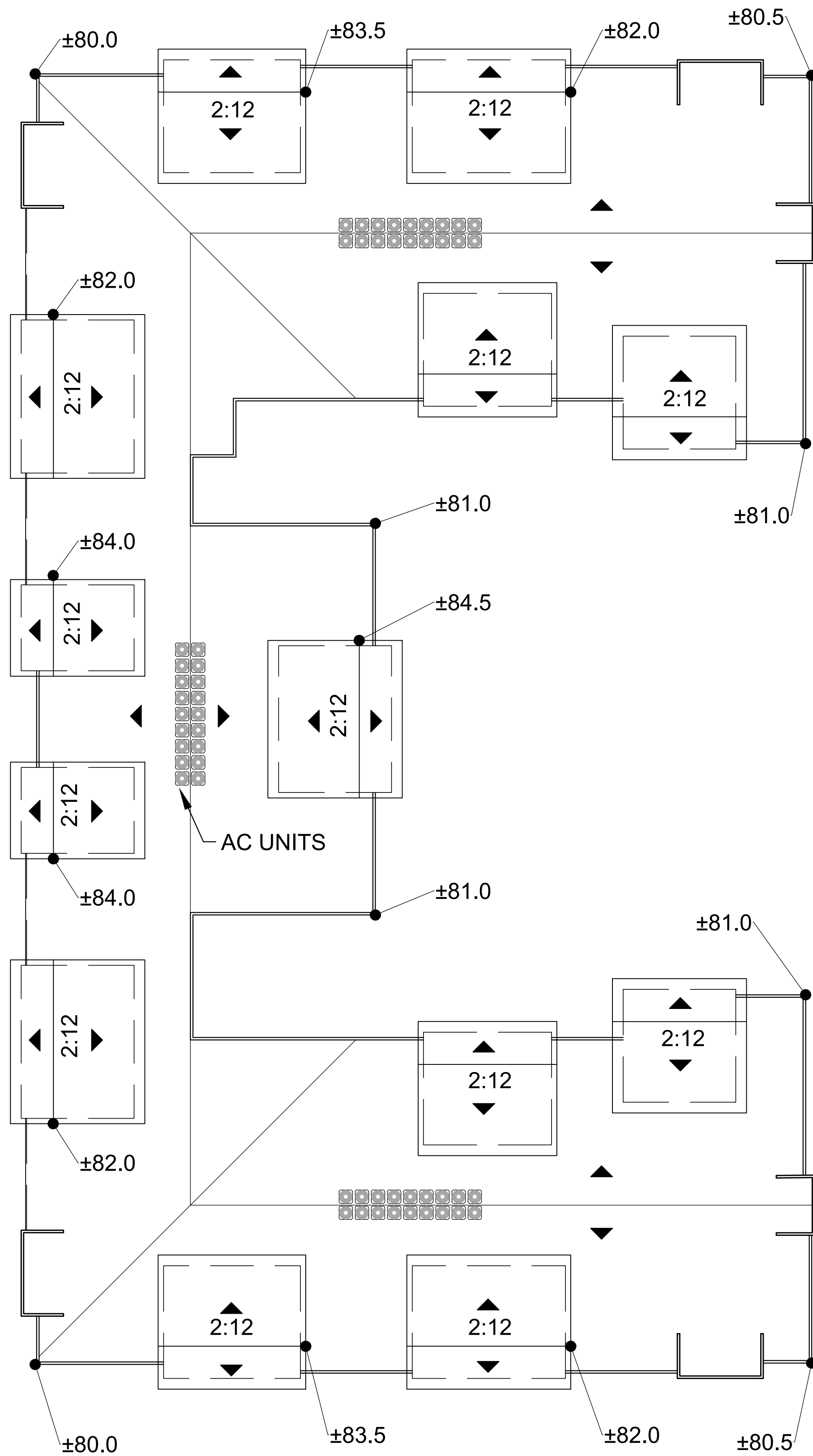
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 Revision 4: _____ Revision 9: _____
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 Revision 2: 07-08-2022 Revision 7: _____
 Revision 1: 03-22-2022 Revision 6: _____
 Original Date: 11-11-2021



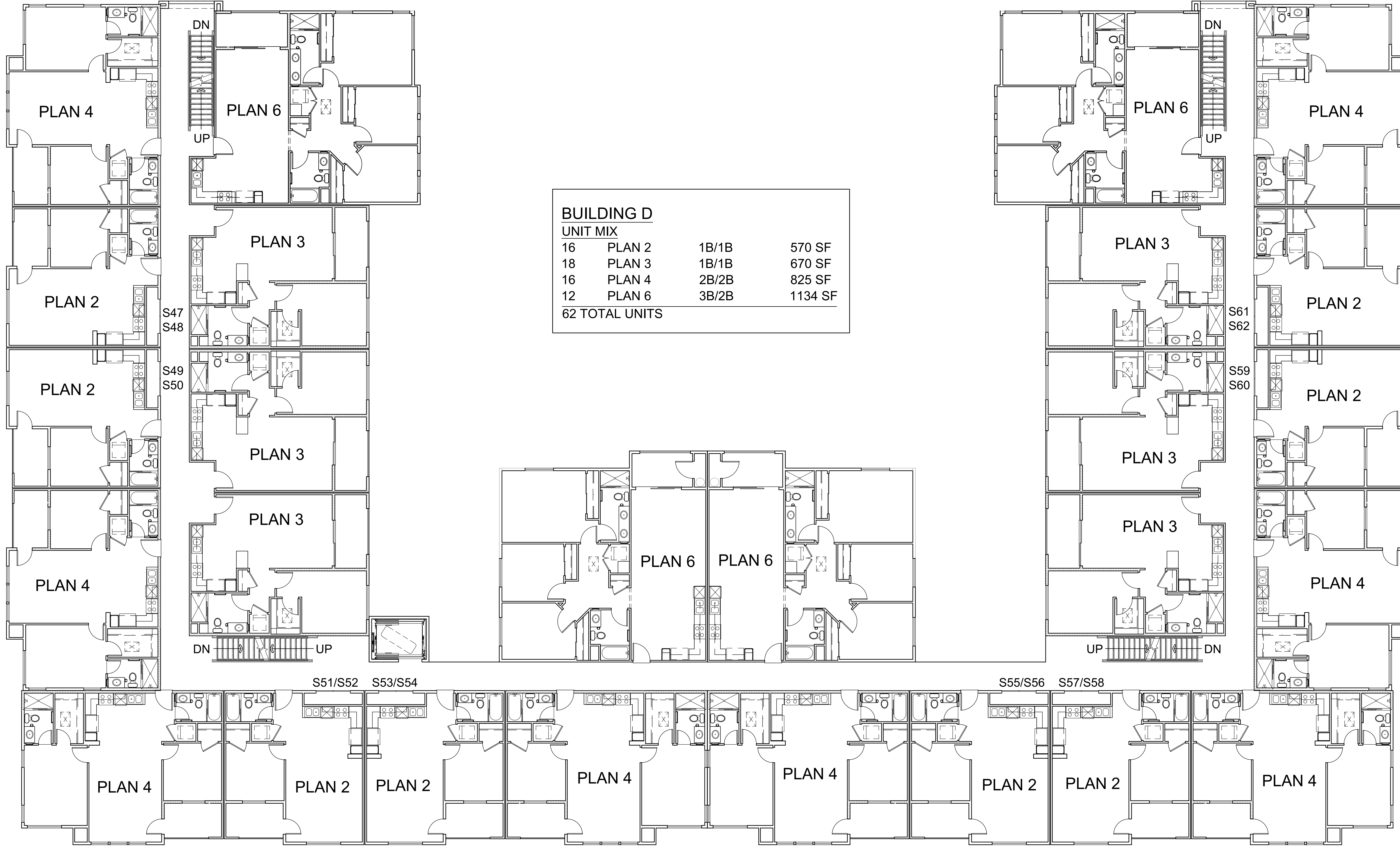
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A014

PROJECT NO. 698277



ROOF PLAN
SCALE: 1/16" = 1'-0"



BUILDING D			
UNIT MIX			
16	PLAN 2	1B/1B	570 SF
18	PLAN 3	1B/1B	670 SF
16	PLAN 4	2B/2B	825 SF
12	PLAN 6	3B/2B	1134 SF
62 TOTAL UNITS			

SECOND AND THIRD FLOOR

SAN DIEGO, CA

AMBIENT COMMUNITIES
179 CALLE MAGDALENA STE 201
ENCINITAS, CA 92024
760.230.1000

PALM AND HOLLISTER

DECEMBER 2, 2022
SCALE: 0 40 80 120

Revision 5: _____
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Revision 3: 12-02-2022
Revision 2: 07-08-2022
Revision 1: 03-22-2022
Original Date: 11-11-2021

Revision 10: _____
Revision 9: _____
Revision 8: _____
Revision 7: _____
Revision 6: _____

BUILDING D COMPOSITE



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A015

PROJECT NO. 698277



MATERIAL SCHEDULE

- 1 ROOF - BUILT UP PARAPET
- 2 ROOF - CONCRETE TILE
- 3 2X WOOD FASCIA
- 4 WALL - STUCCO
- 5 WALL - STONE VENEER
- 6 WALL - HORIZONTAL SIDING
- 7 TRIM - 2X STUCCO OVER
- 8 METAL RAILING

SAN DIEGO, CA

AMBIENT COMMUNITIES
 179 CALLE MAGDALENA STE 201
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PALM AND HOLLISTER

DECEMBER 2, 2022
 SCALE: 0 8 16 24

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 Revision 4: _____ Revision 9: _____
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 Original Date: 11-11-2021



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A016

PROJECT NO. 698277

BUILDING D ELEVATION



REFER TO LANDSCAPE FOR REC LAYOUT



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PALM AND HOLLISTER

DECEMBER 2, 2022

SCALE:

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Revision 4: _____	Revision 9: _____
Revision 3: <u>12-02-2022</u>	Revision 8: _____
Revision 2: <u>07-08-2022</u>	Revision 7: _____
Revision 1: <u>03-22-2022</u>	Revision 6: _____
Original Date: <u>11-11-2021</u>	

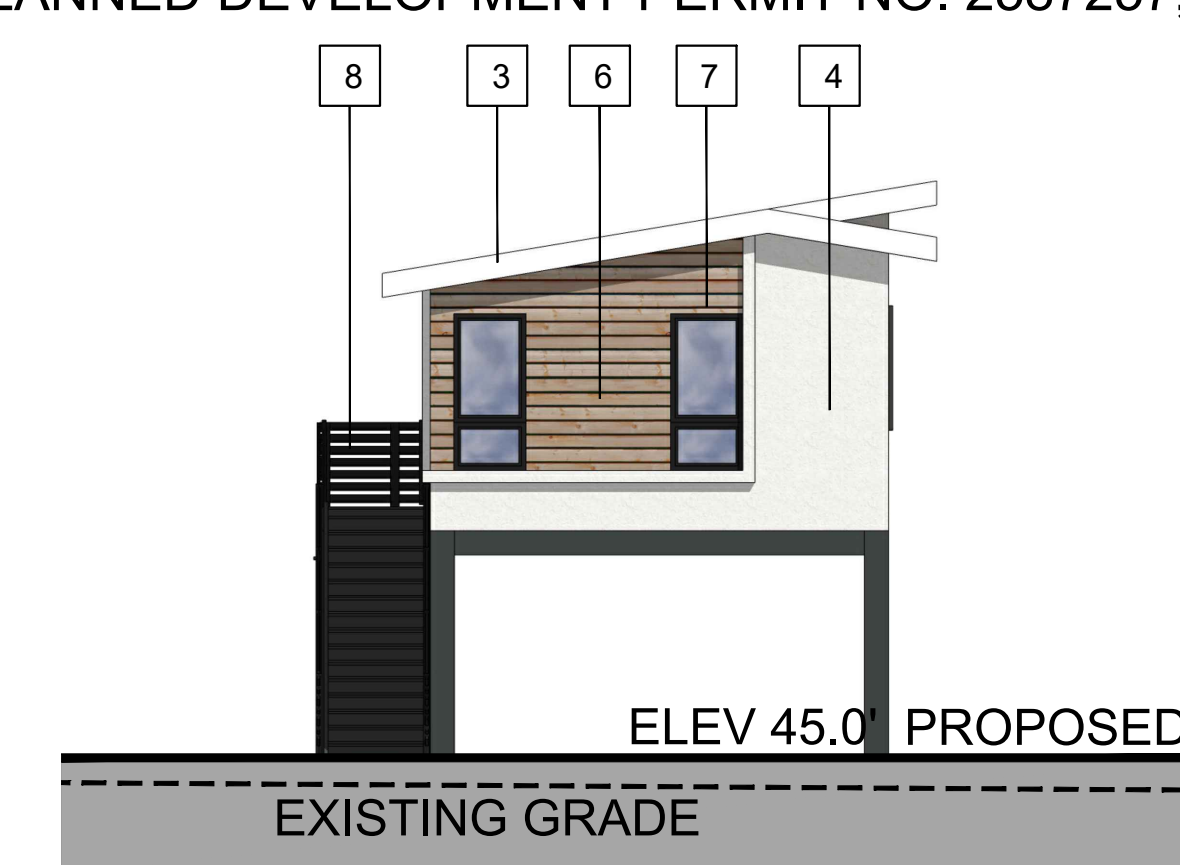


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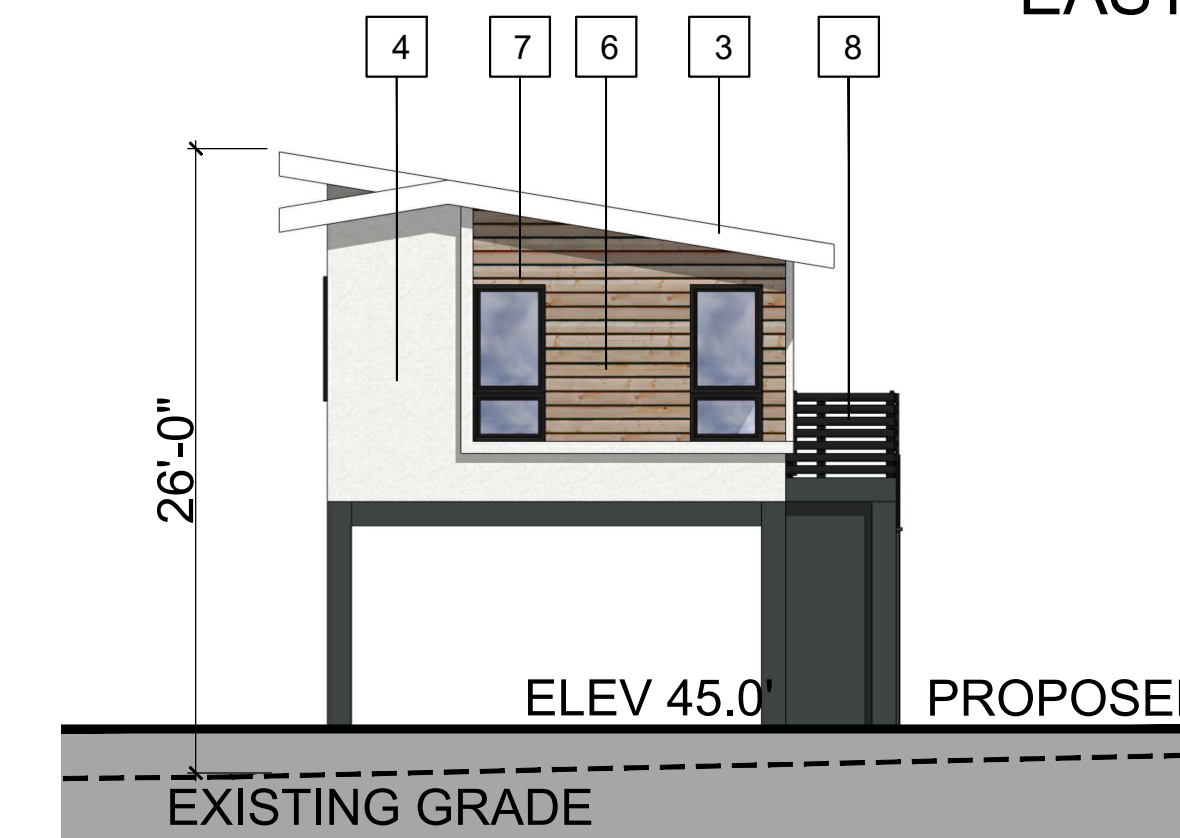
A017

PROJECT NO. 698277

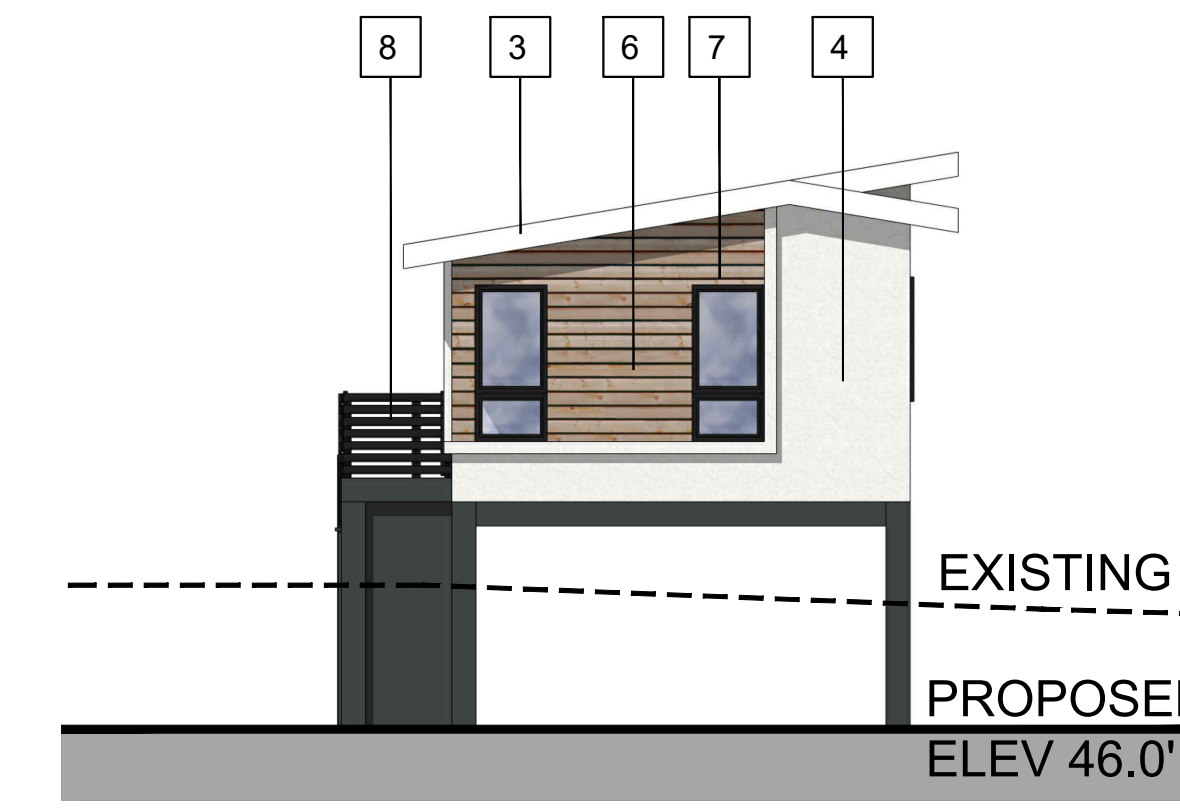
BUILDING D PERSPECTIVES



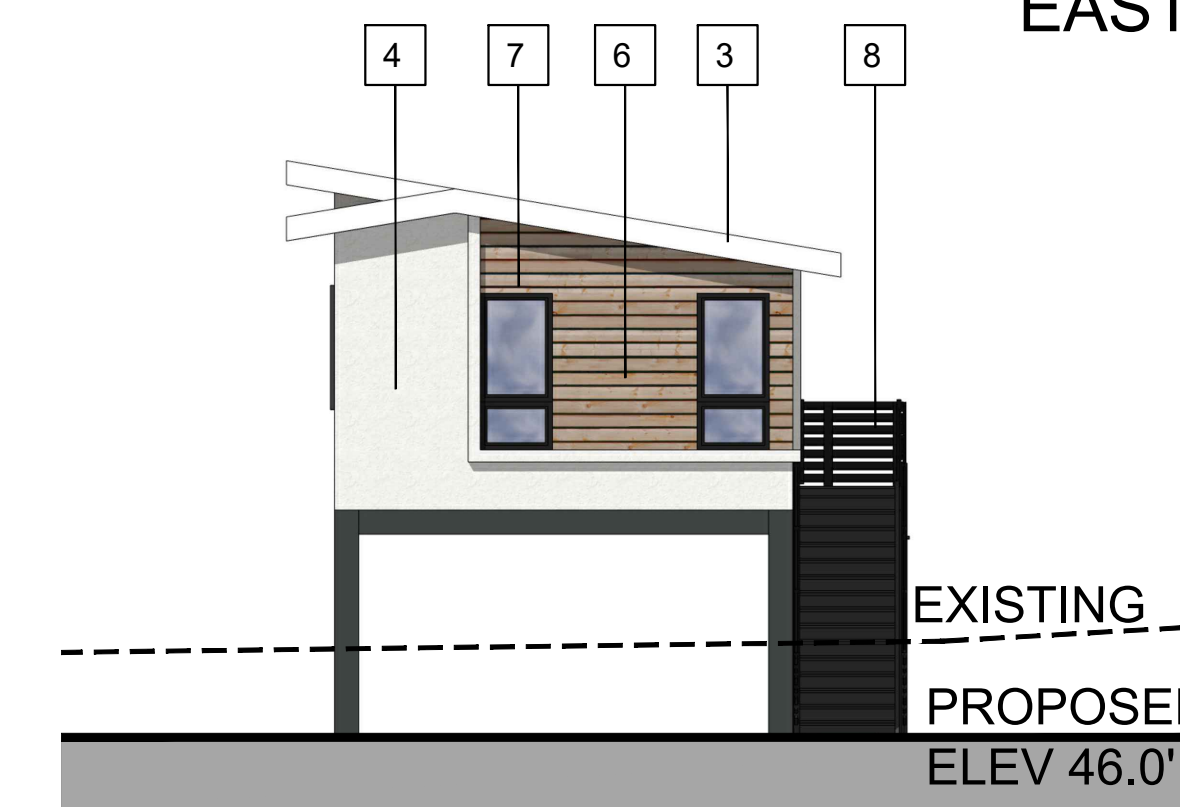
EAST



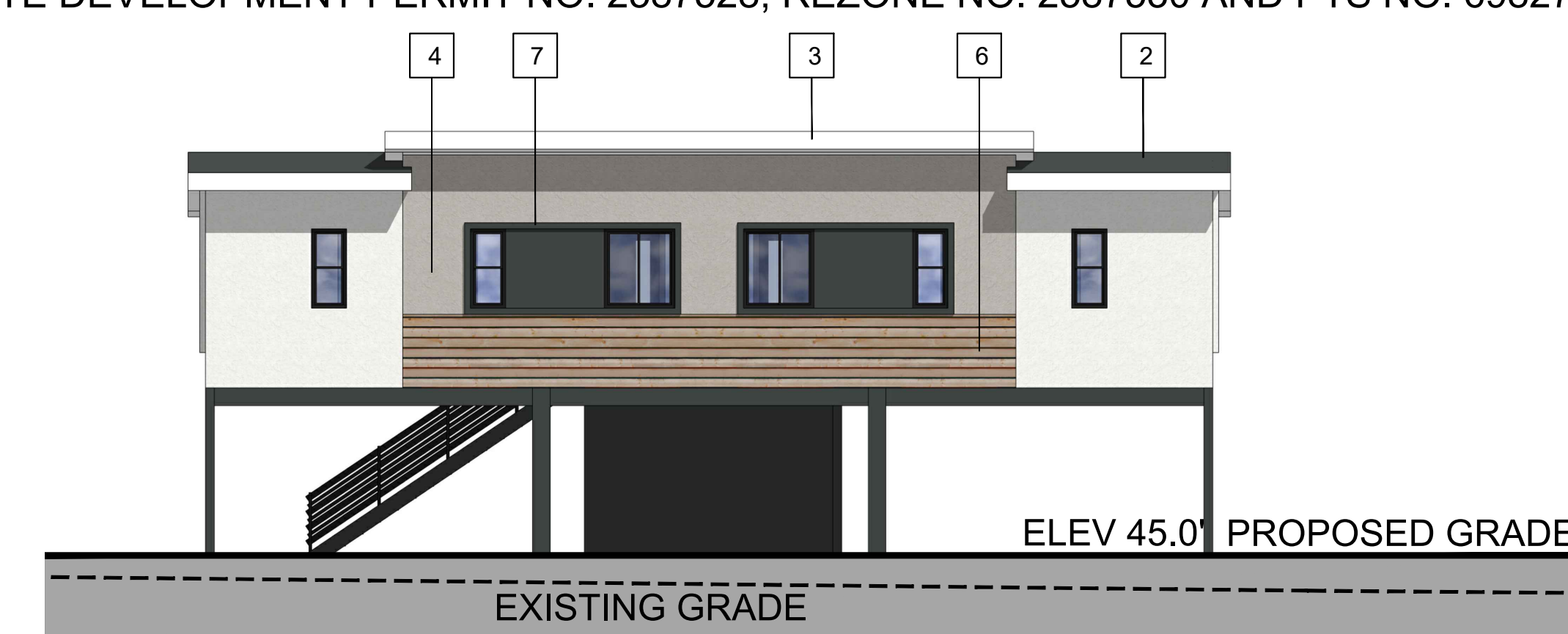
WEST



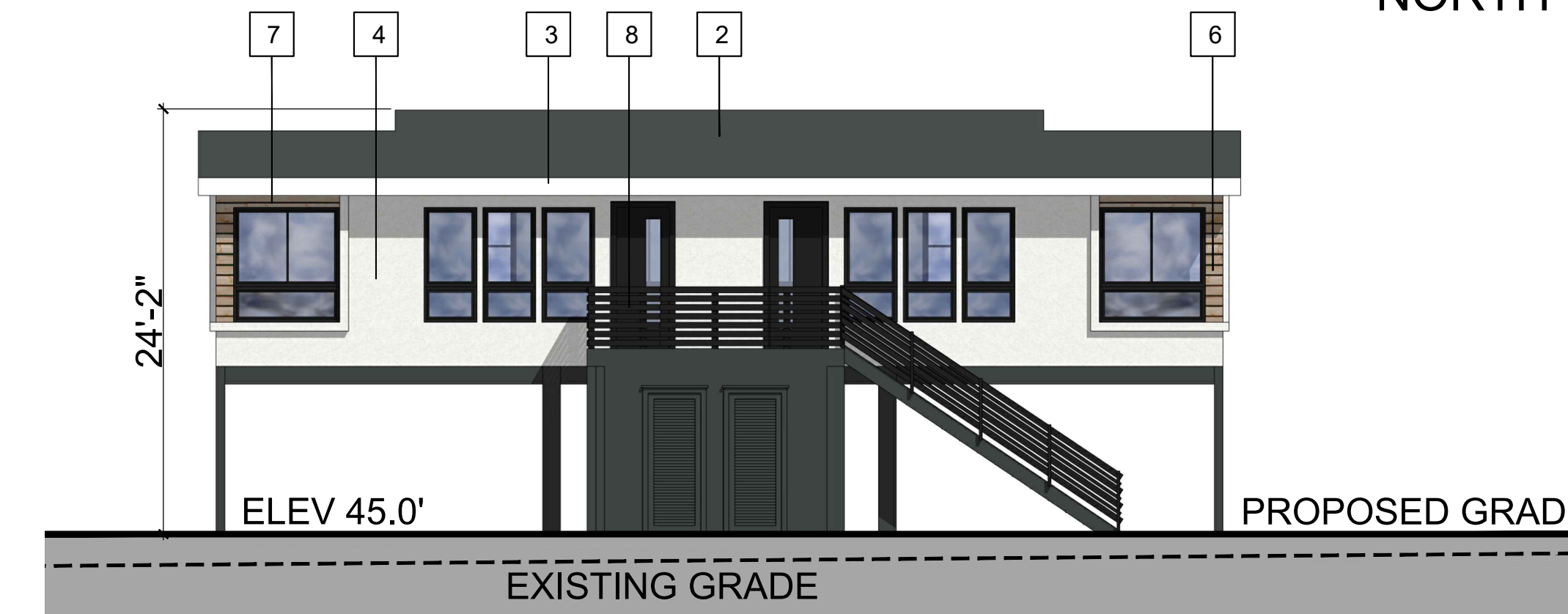
EAST



WEST

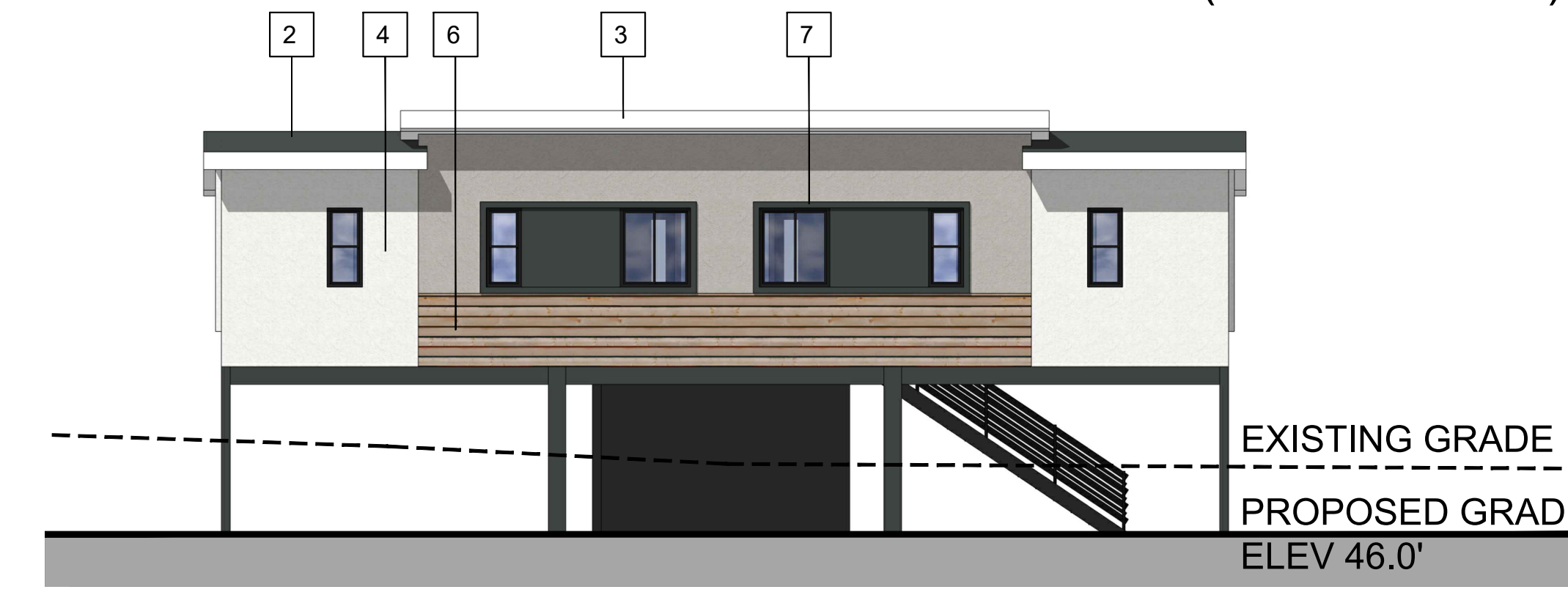


NORTH

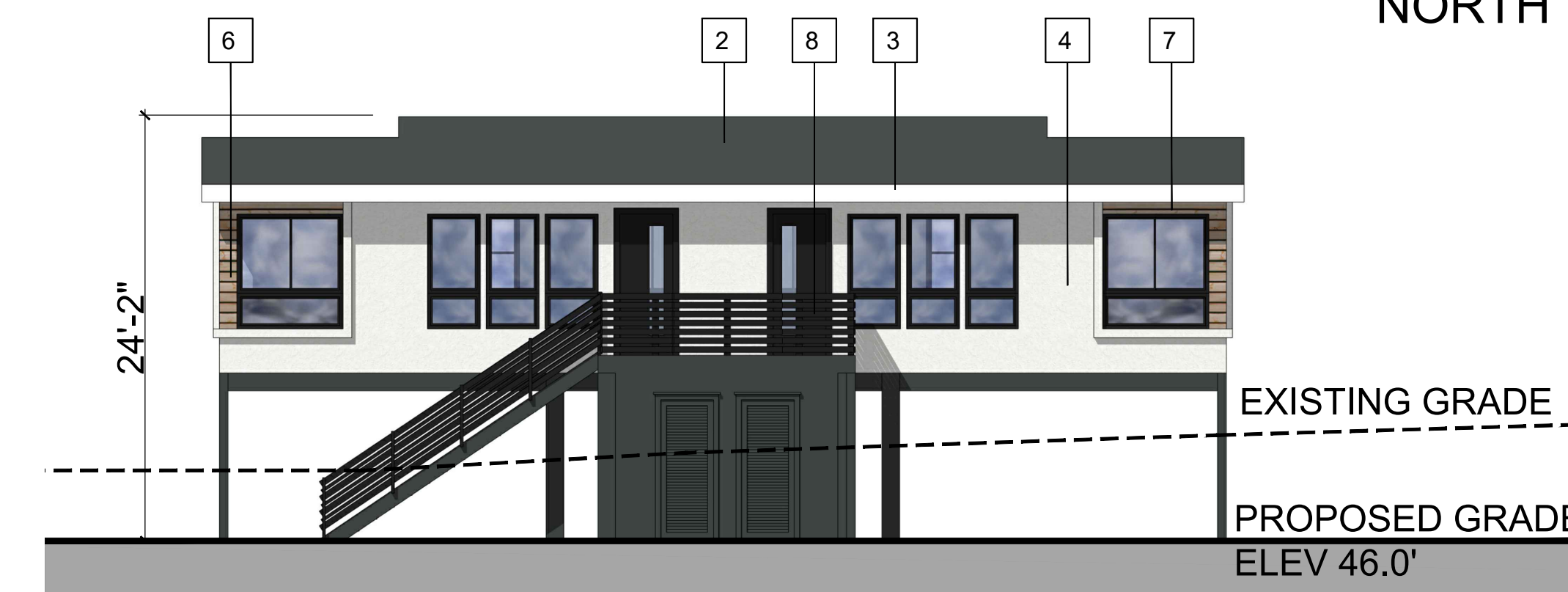


SOUTH

BUILDING 13 (WORST CASE)

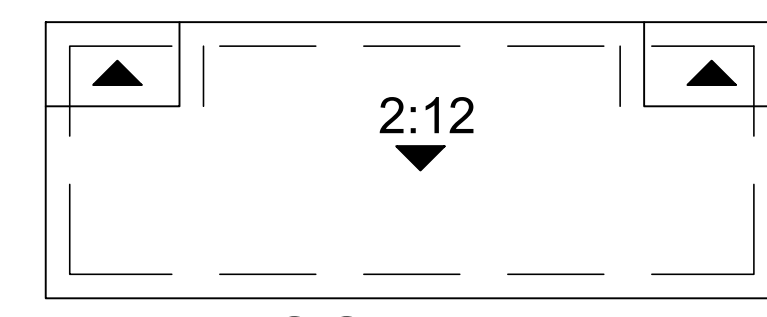


NORTH



SOUTH

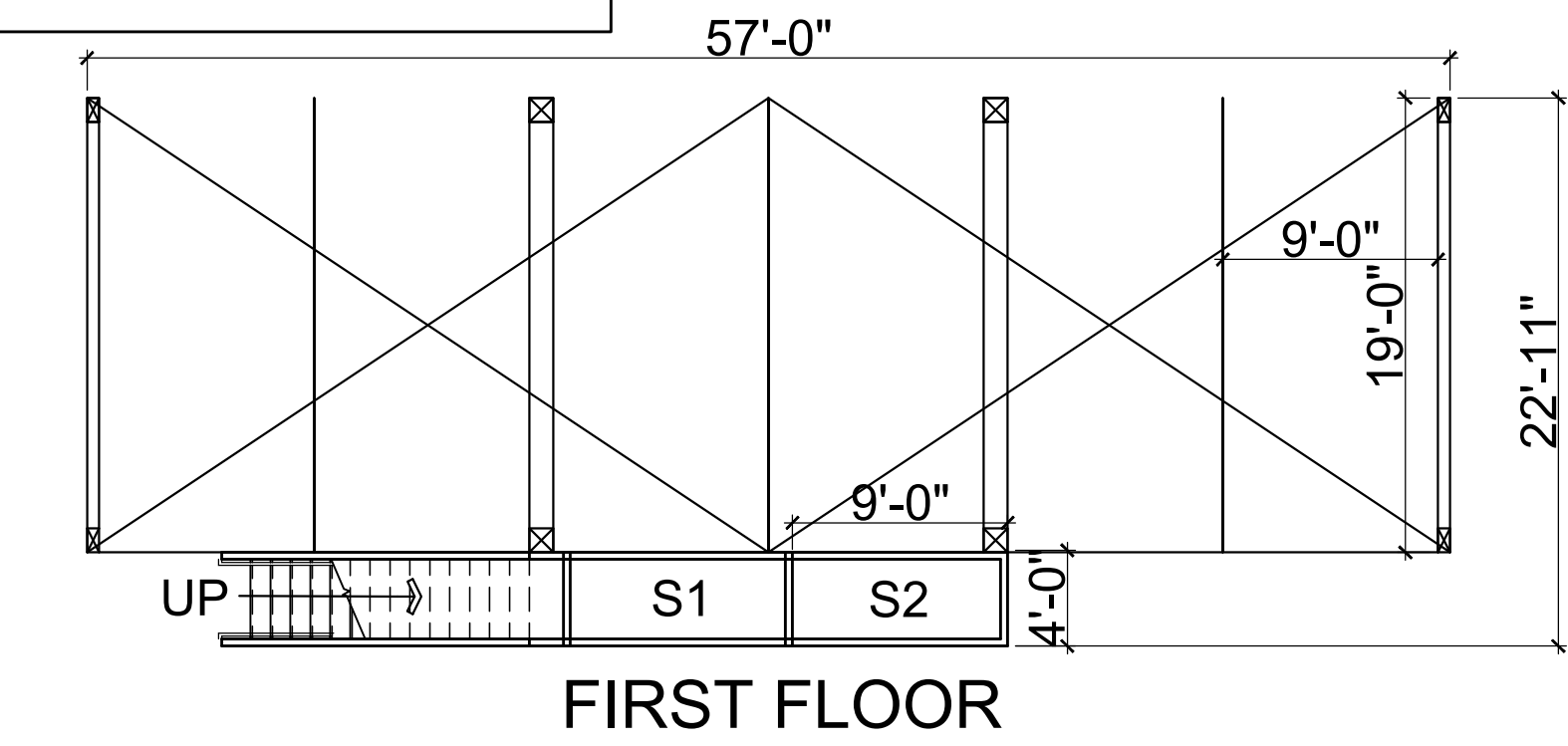
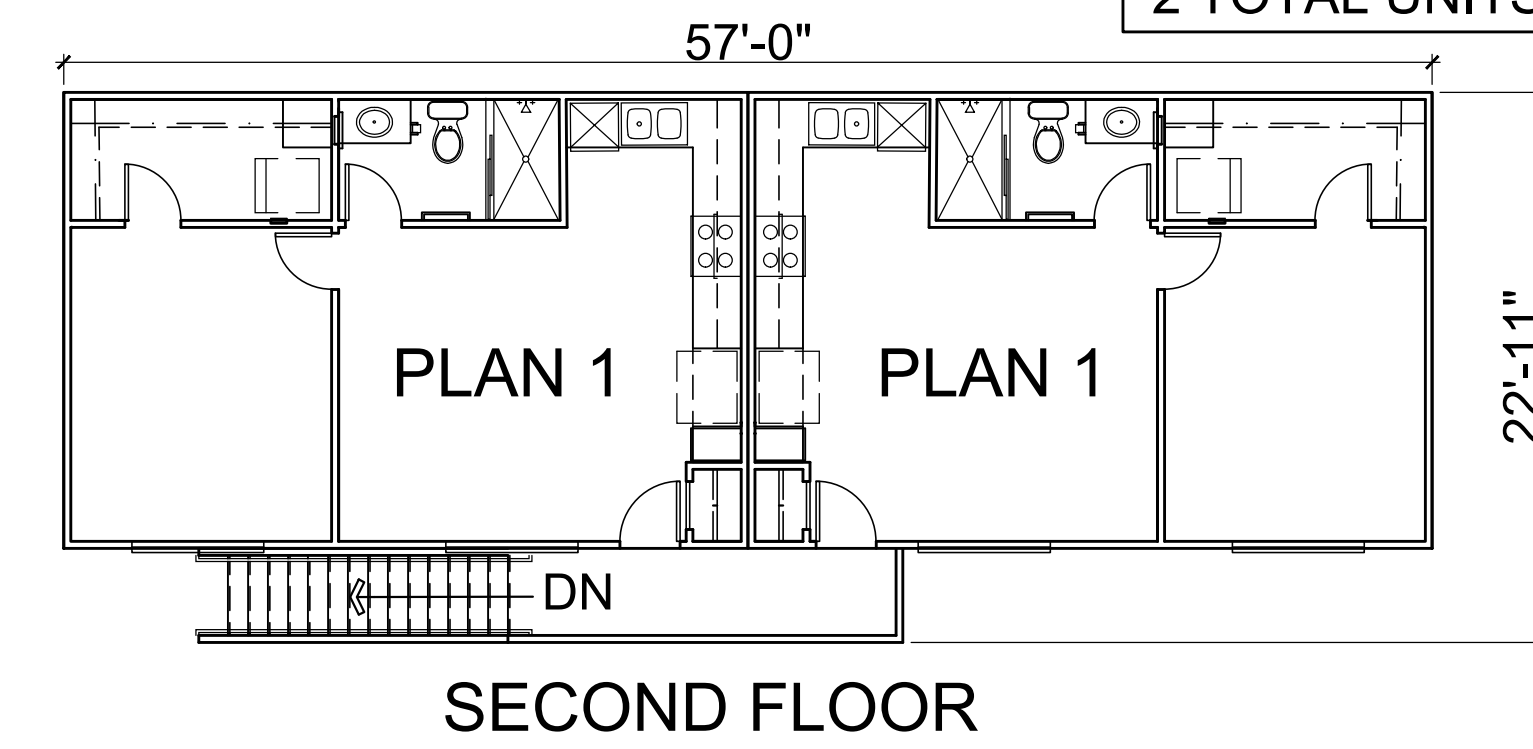
BUILDING 6 (BEST CASE)



MATERIAL SCHEDULE

- | | | | |
|---|-------------------------|---|--------------------------|
| 1 | ROOF - BUILT UP PARAPET | 5 | WALL - STONE VENEER |
| 2 | ROOF - CONCRETE TILE | 6 | WALL - HORIZONTAL SIDING |
| 3 | 2X WOOD FASCIA | 7 | TRIM - 2X STUCCO OVER |
| 4 | WALL - STUCCO | 8 | METAL RAILING |

UNIT MIX			
2	PLAN 2	1B/1B	520 SF
2 TOTAL UNITS			



SAN DIEGO, CA

AMBIENT COMMUNITIES
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ENCINITAS, CA 92024
760.230.1000

PALM AND HOLLISTER

DECEMBER 2, 2022
SCALE: 0 8 16 24

- | | | | |
|----------------|------------|--------------|-------|
| Revision 5: | _____ | Revision 10: | _____ |
| Revision 4: | _____ | Revision 9: | _____ |
| Revision 3: | 12-02-2022 | Revision 8: | _____ |
| Revision 2: | 07-08-2022 | Revision 7: | _____ |
| Revision 1: | 03-22-2022 | Revision 6: | _____ |
| Original Date: | 11-11-2021 | | |

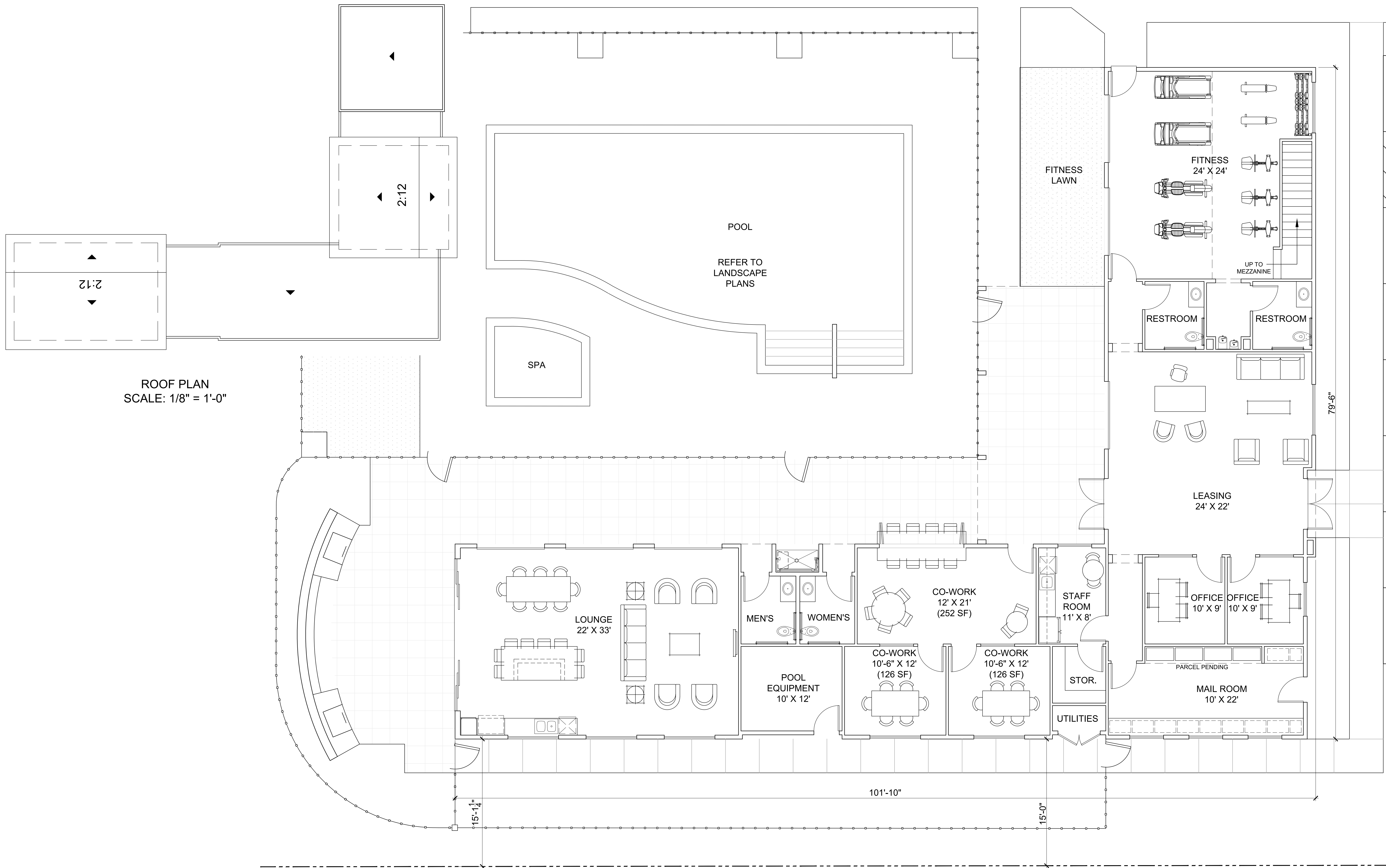


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A018

PROJECT NO. 698277

BUILDING E



SAN DIEGO, CA

AMBIENT COMMUNITIES
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ENCINITAS, CA 92024
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PALM AND HOLLISTER

DECEMBER 2, 2022
SCALE: 0 4 8 12

- Revision 5: _____
- Revision 4: _____
- Revision 3: 12-02-2022
- Revision 2: 07-08-2022
- Revision 1: 03-22-2022
- Original Date: 11-11-2021
- Revision 10: _____
- Revision 9: _____
- Revision 8: _____
- Revision 7: _____
- Revision 6: _____



REC / LEASING PLAN

5256 S. Mission Road, Ste 404
Bonsall, CA 92003
760.724.1198

A019

PROJECT NO. 698277



MATERIAL SCHEDULE

- 1 ROOF - BUILT UP PARAPET
- 2 ROOF - CONCRETE TILE
- 3 2X WOOD FASCIA
- 4 WALL - STUCCO
- 5 WALL - STONE VENEER
- 6 WALL - HORIZONTAL SIDING
- 7 TRIM - 2X STUCCO OVER
- 8 METAL RAILING

SAN DIEGO, CA

AMBIENT COMMUNITIES
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PALM AND HOLLISTER

DECEMBER 2, 2022
 SCALE: 0 4 8 12

Revision 5: _____ Revision 10: _____
 Revision 4: _____ Revision 9: _____
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 Revision 2: 07-08-2022 Revision 7: _____
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 Original Date: 11-11-2021



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A020

PROJECT NO. 698277

REC / LEASING ELEVATIONS



MATERIAL SCHEDULE

- 1 ROOF - BUILT UP PARAPET
- 2 ROOF - CONCRETE TILE
- 3 2X WOOD FASCIA
- 4 WALL - STUCCO
- 5 WALL - STONE VENEER
- 6 WALL - HORIZONTAL SIDING
- 7 TRIM - 2X STUCCO OVER
- 8 METAL RAILING

SAN DIEGO, CA

AMBIENT COMMUNITIES
 179 CALLE MAGDALENA STE 201
 ENCINITAS, CA 92024
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PALM AND HOLLISTER

DECEMBER 2, 2022
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A021

PROJECT NO. 698277

REC / LEASING ELEVATIONS



NORTHEAST
(REFER TO LANDSCAPE FOR POOL LAYOUT)



SOUTH

SAN DIEGO, CA

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760.230.1000

PALM AND HOLLISTER

DECEMBER 2, 2022

SCALE:

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Revision 4: _____	Revision 9: _____
Revision 3: <u>12-02-2022</u>	Revision 8: _____
Revision 2: <u>07-08-2022</u>	Revision 7: _____
Revision 1: <u>03-22-2022</u>	Revision 6: _____
Original Date: <u>11-11-2021</u>	

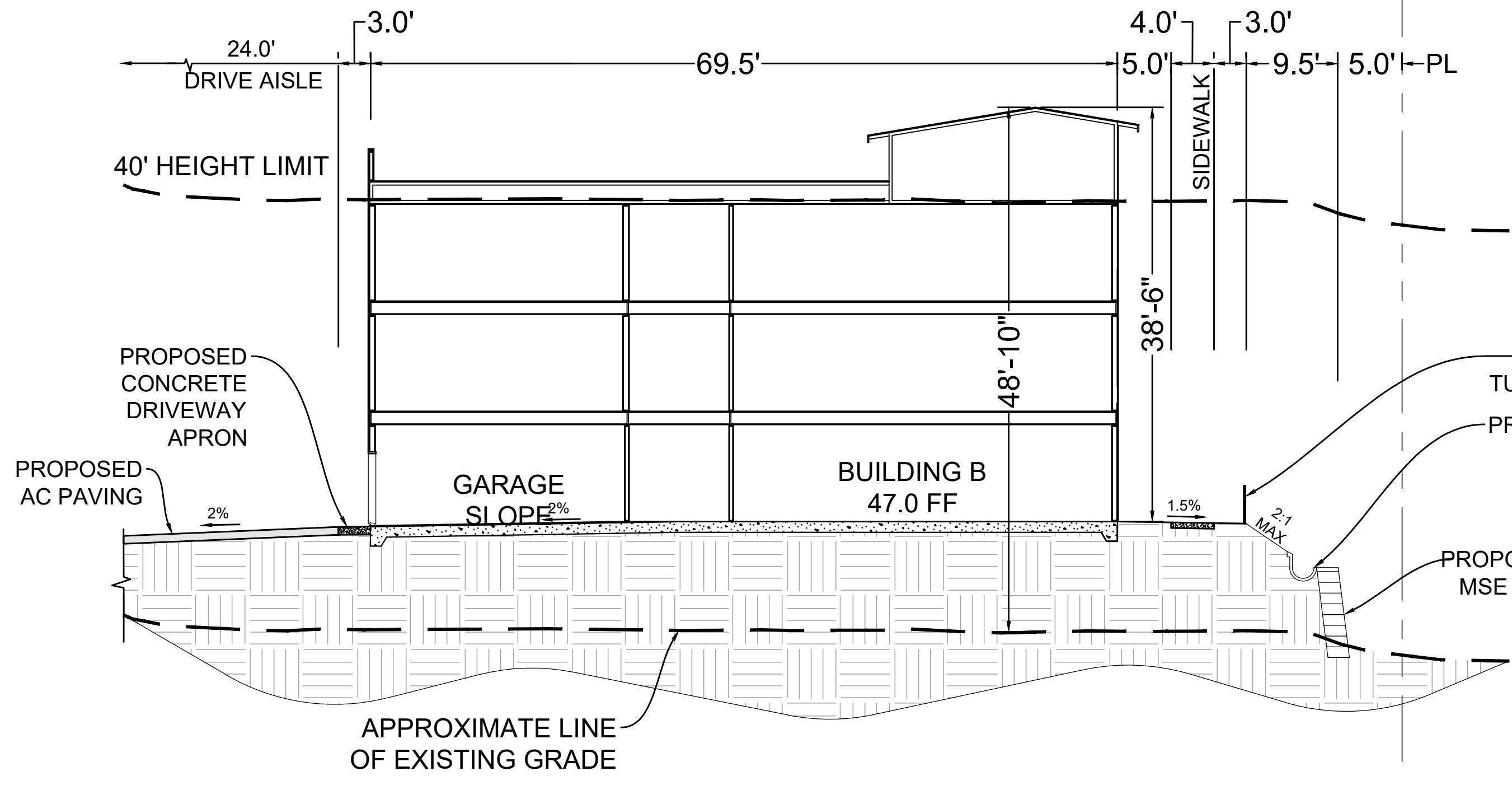
REC / LEASING PERSPECTIVES



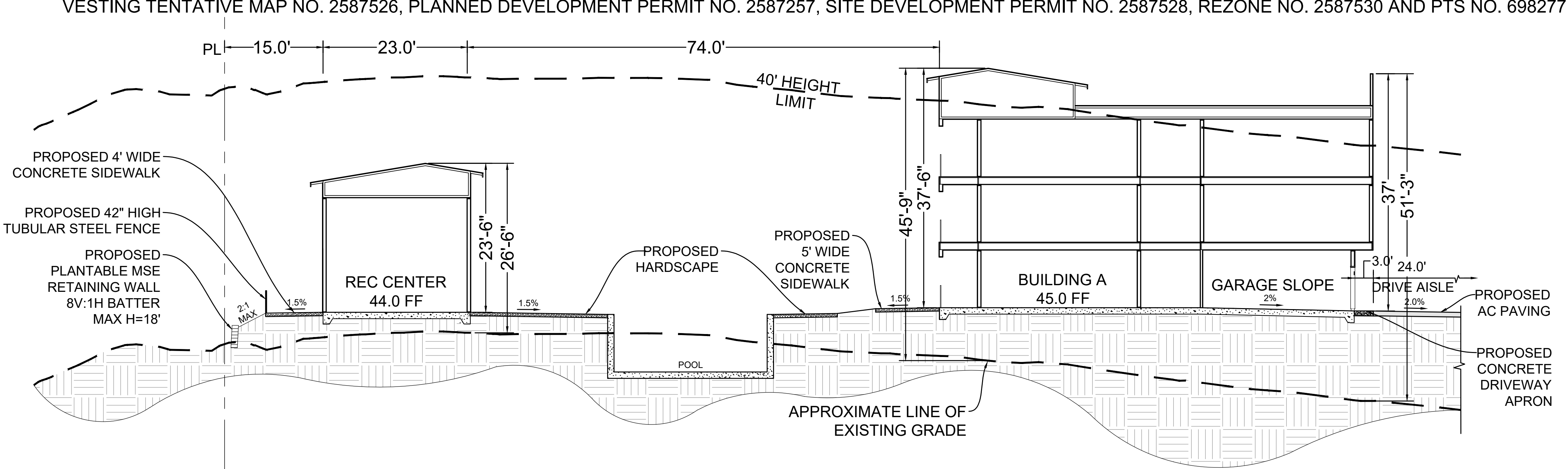
5256 S. Mission Road, Ste 404
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A022

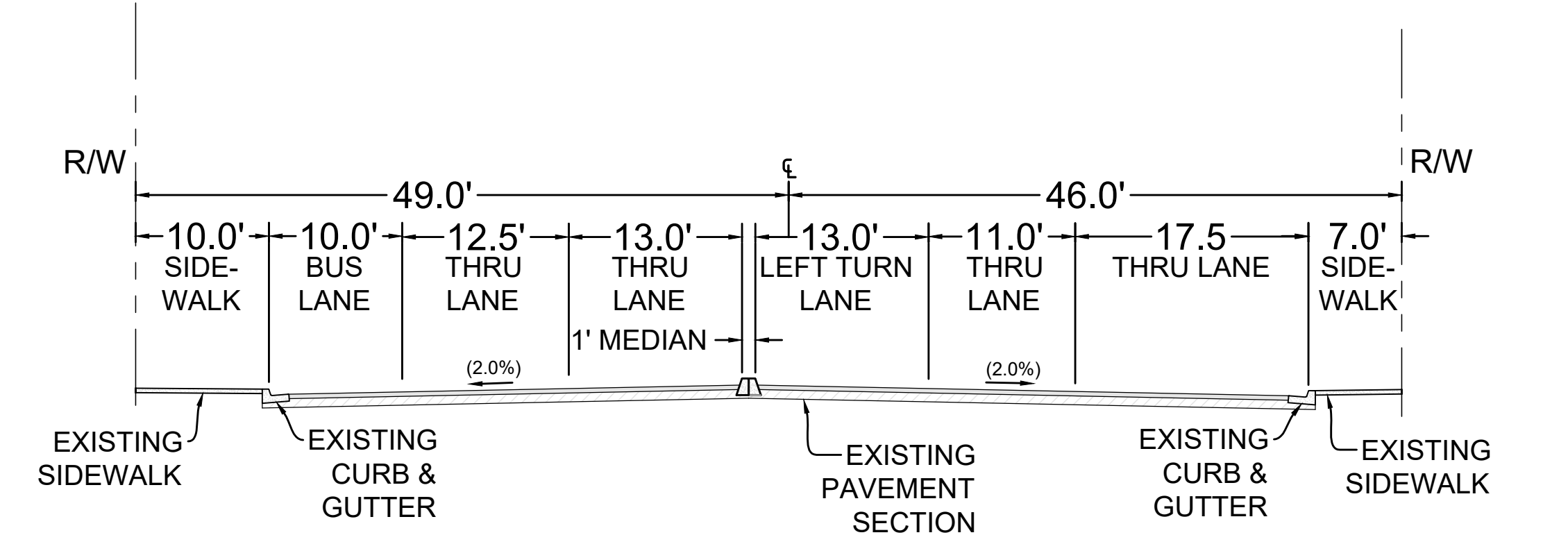
PROJECT NO. 698277



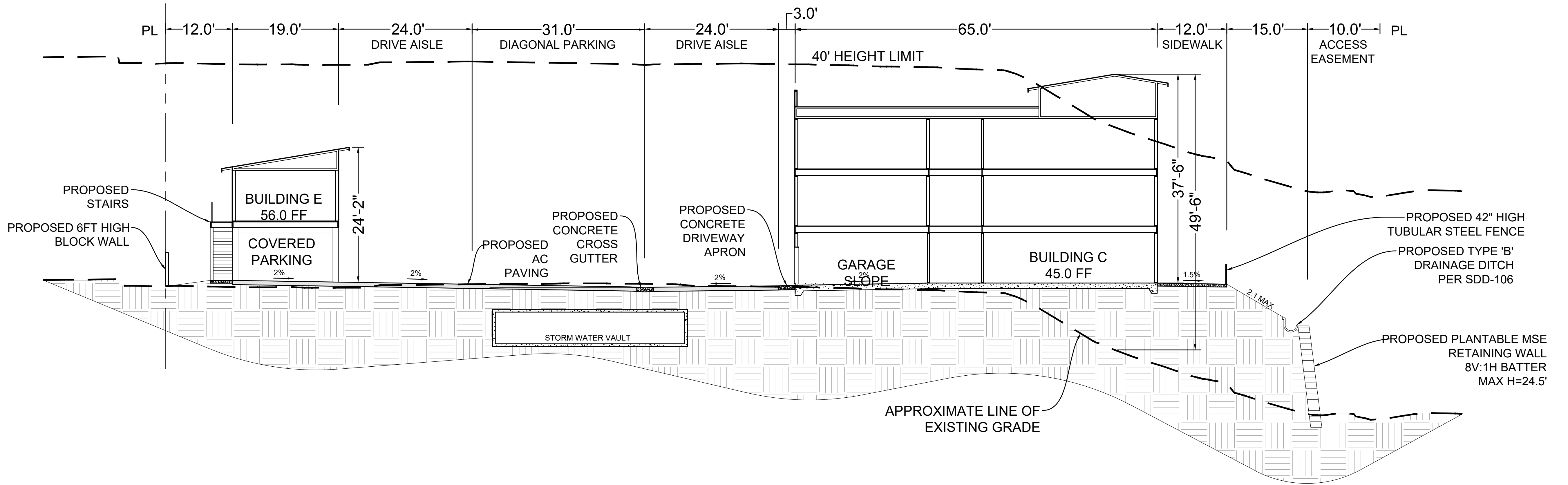
SECTION C



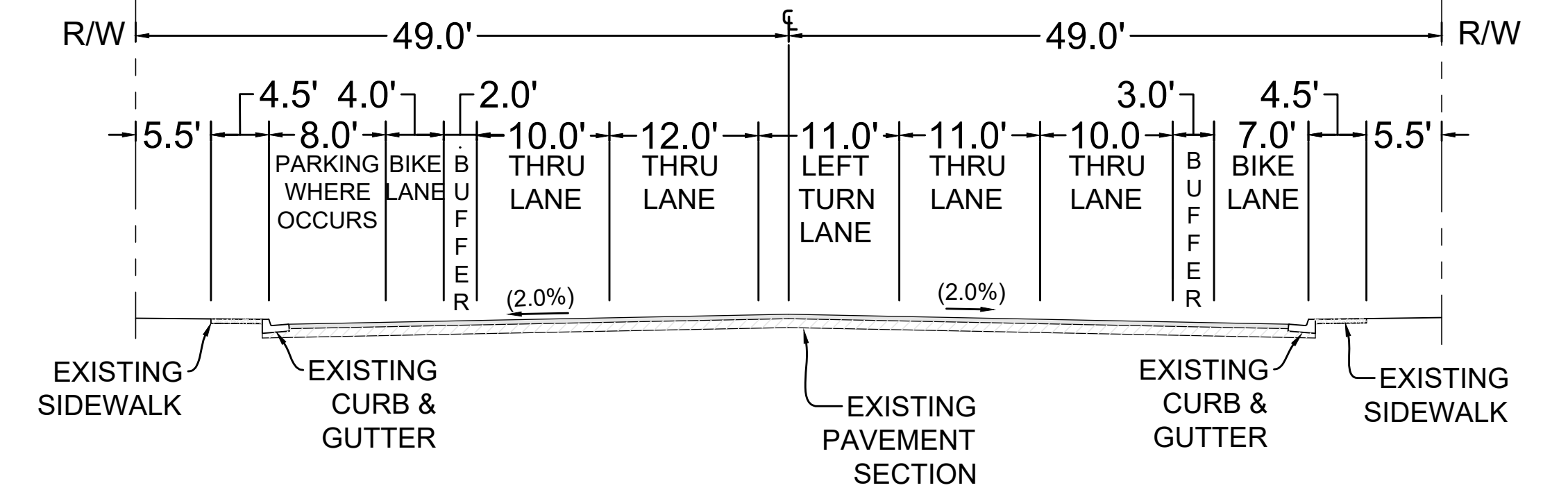
SECTION A



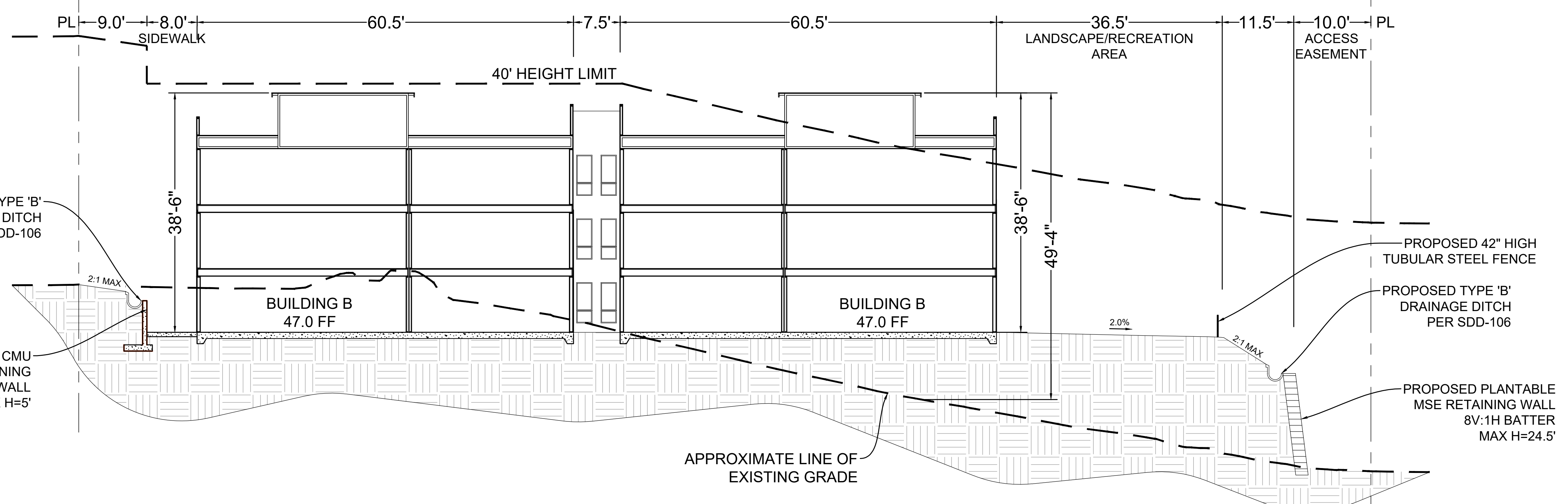
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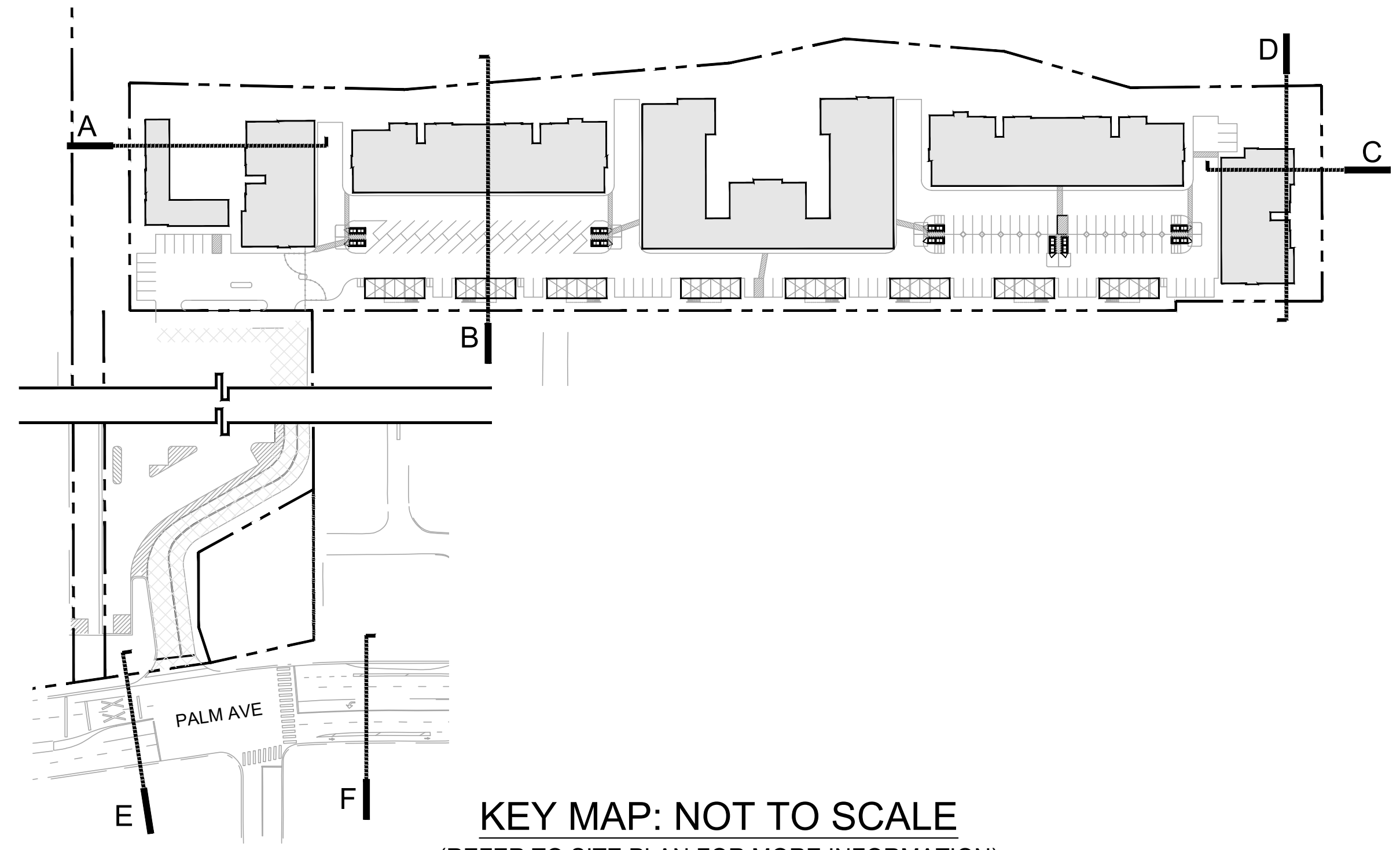
SECTION B



SECTION F



SECTION D



KEY MAP: NOT TO SCALE
(REFER TO SITE PLAN FOR MORE INFORMATION)

SAN DIEGO, CA

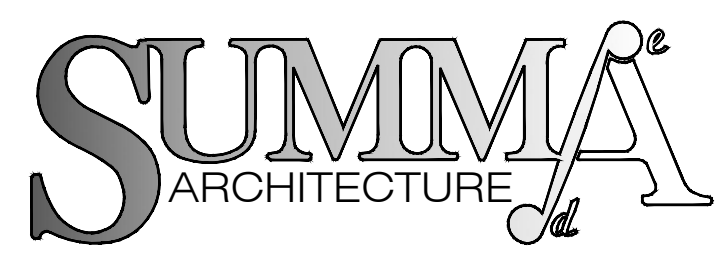
AMBIENT COMMUNITIES
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PALM AND HOLLISTER

DECEMBER 2, 2022
SCALE: 0 10 20 30

Revision 5: _____
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A023

PROJECT NO. 698277

SITE SECTIONS



TYPICAL SIDE ELEVATION



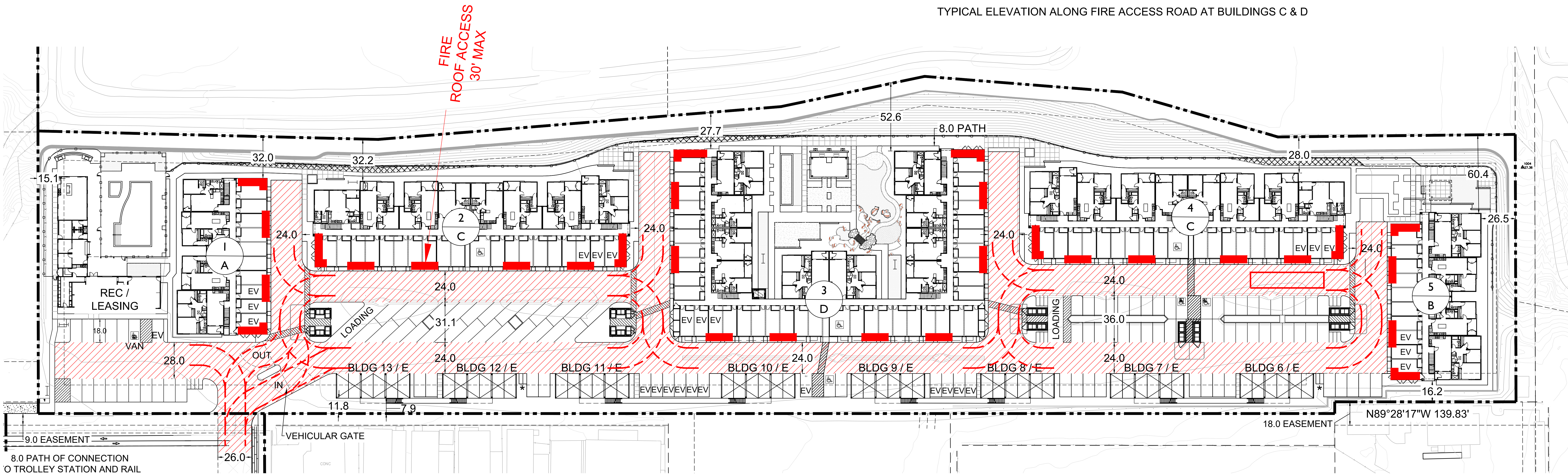
TYPICAL ELEVATION ALONG FIRE ACCESS ROAD AT BUILDINGS A & B



TYPICAL ELEVATION ALONG FIRE ACCESS ROAD AT BUILDINGS C & D

LEGEND:

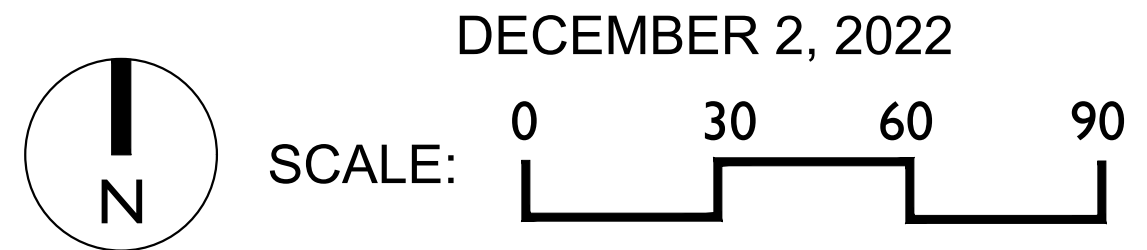
- BUILDING NUMBER
- BUILDING TYPE
- PROPERTY LINE
- FIRE ROOF ACCESS 30' MAX
- FIRE ACCESS ROAD
- PIERCE FIRE TRUCK TURNING RADIUS



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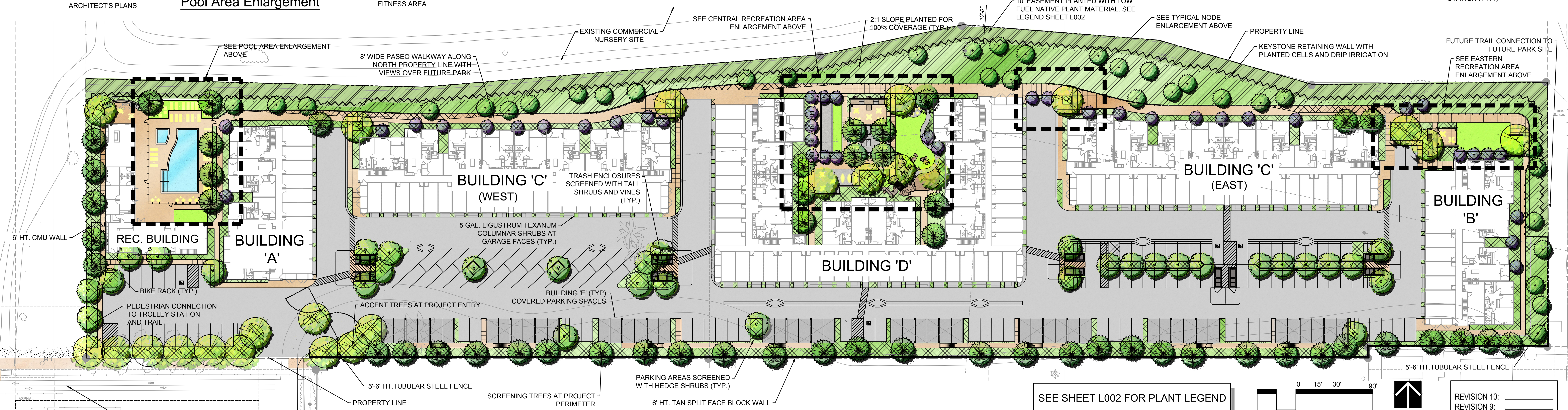
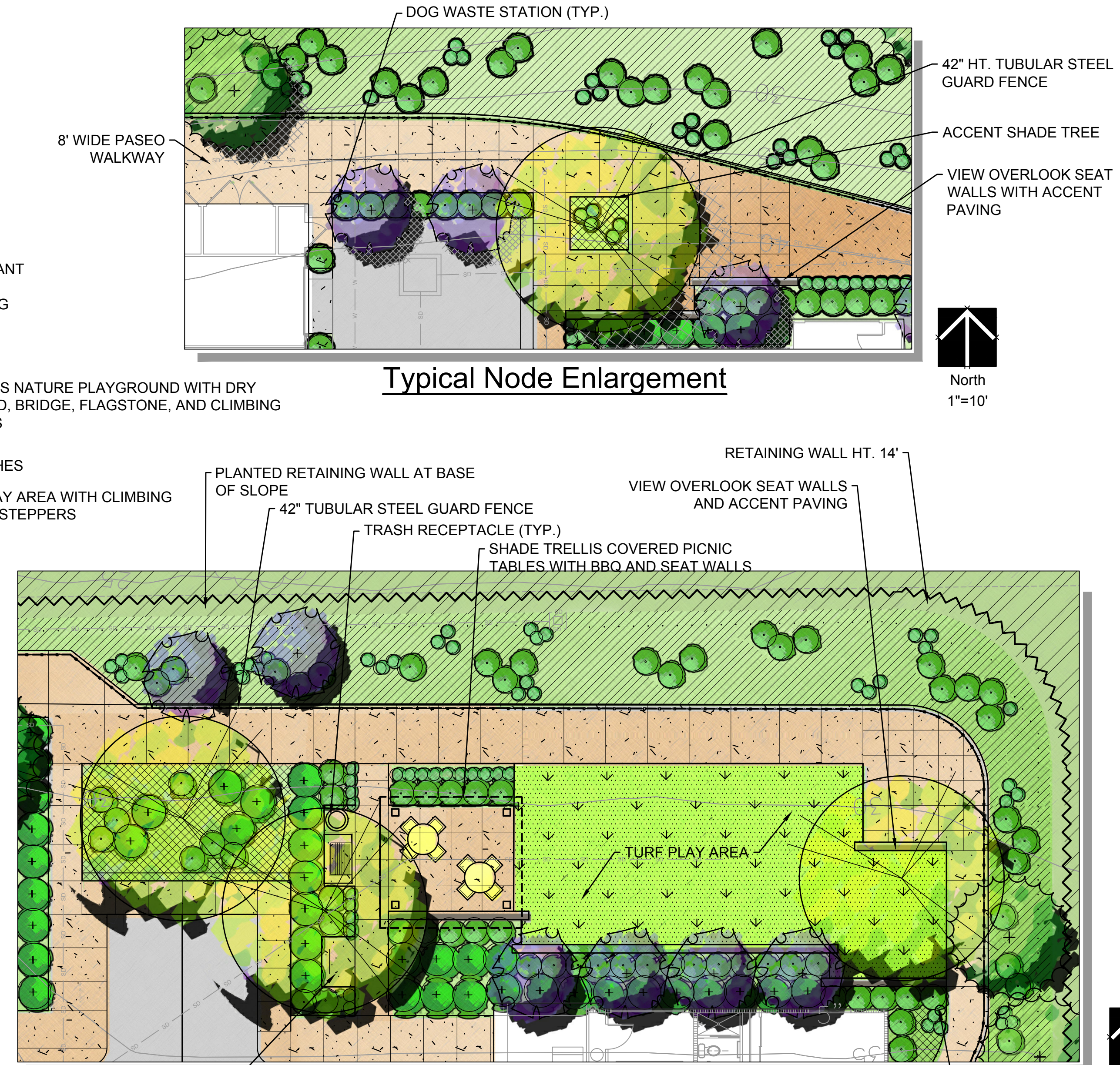
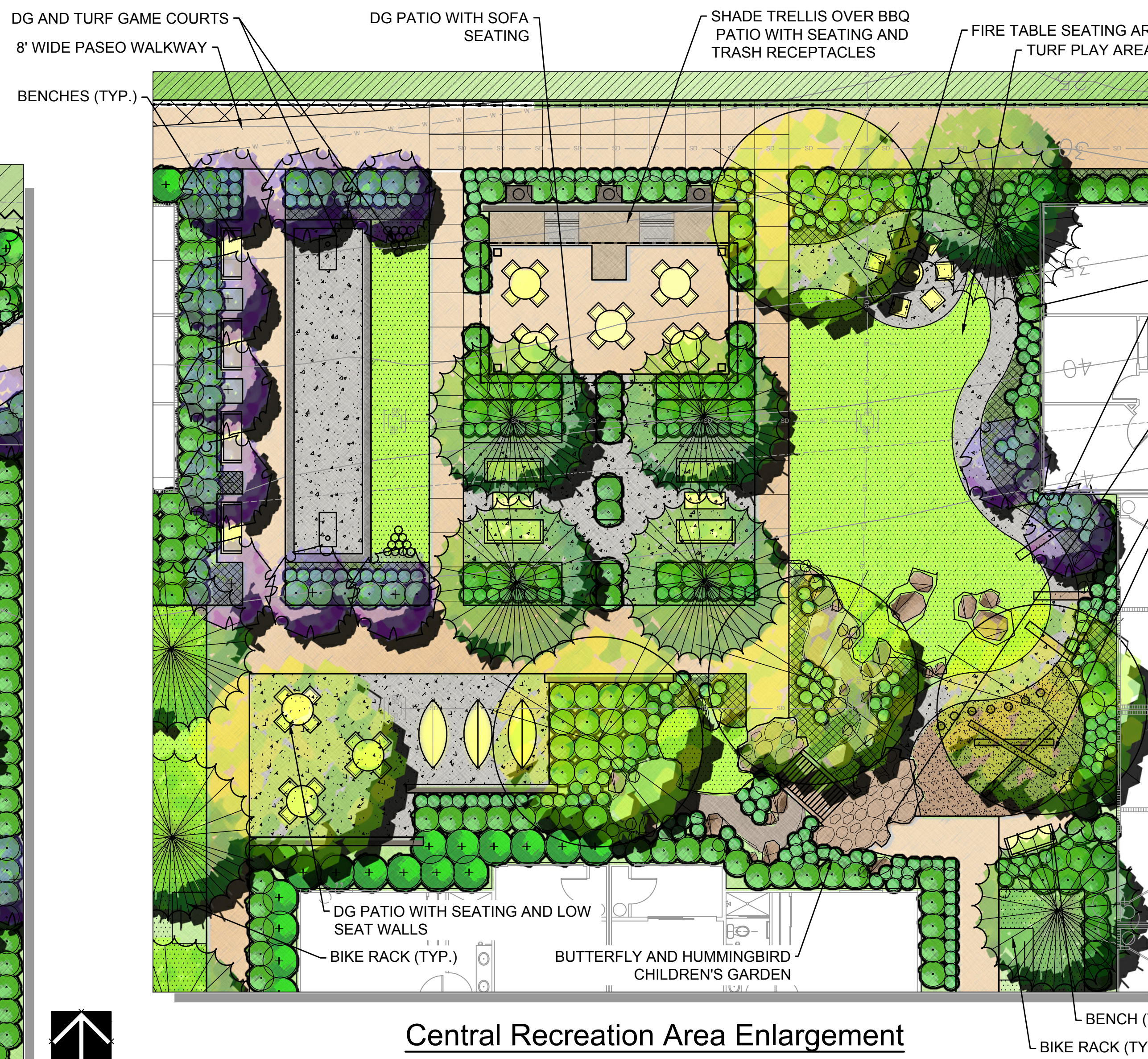
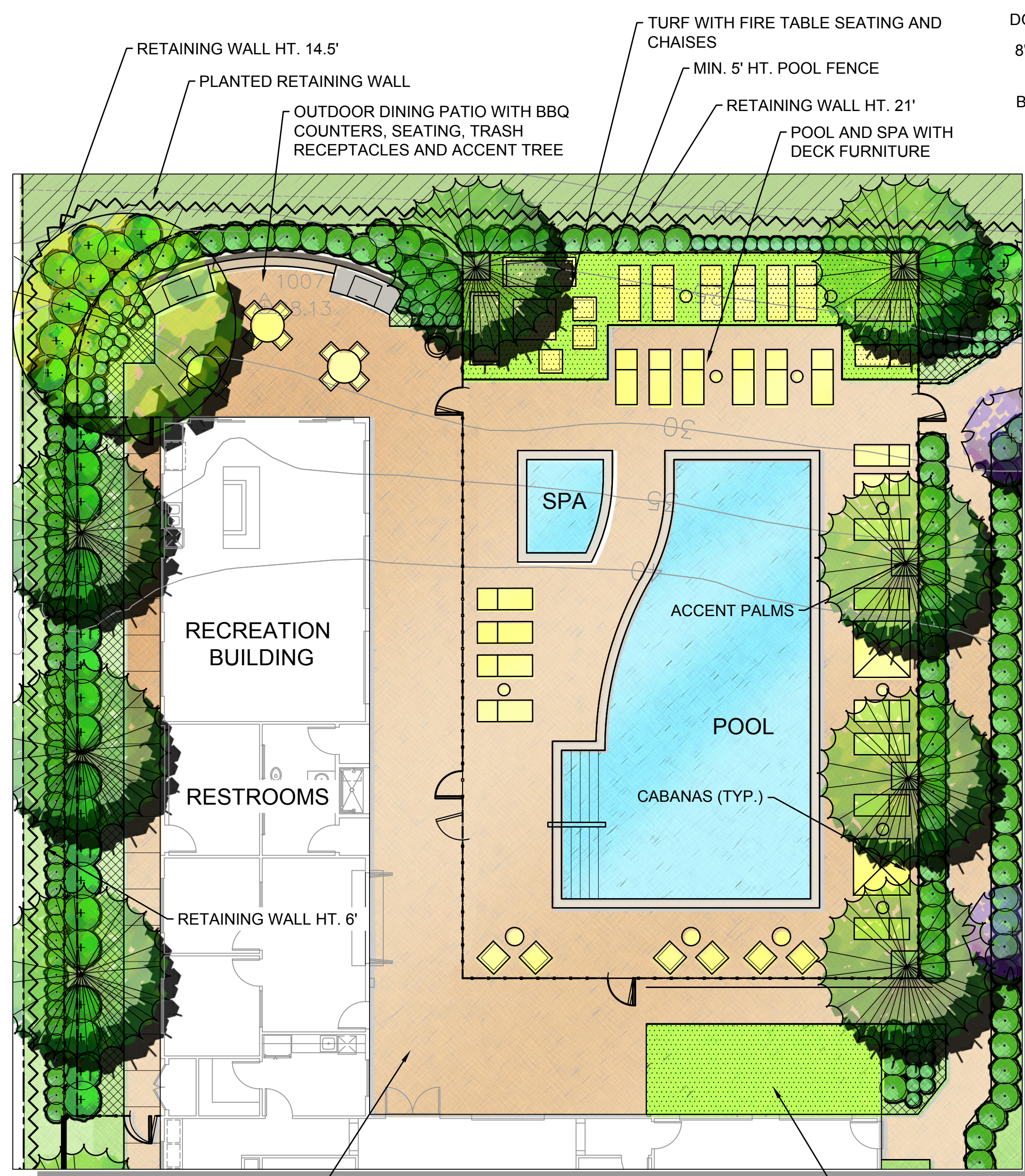


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FIRE EXHIBIT

A024

PROJECT NO. 698277



Landscape Concept Statement:

The landscape has been designed to be aesthetic pleasing as well as welcoming to residences and guests. Low water use plant material have been utilized to meet all current codes and requirements. A number of recreation areas have been located throughout the project to provide a variety of experiences. These areas are linked by a paseo which provides views into the future park site.

- Notes:**
- All landscape and irrigation shall conform to the standards of the county-wide landscape regulations and the 'City of San Diego Land Development Manual Landscape Standards', and all other landscape related City and regional standards
 - The irrigation system will be designed to afford optimum coverage for the support of plant growth. The coverage will meet the water requirements for the selected plant material and within the given planting areas. The design will take into consideration the type of exposure the system will have. The irrigation system will be designed with respect to water conservation. Irrigation heads shall be chosen for maximum coverage with low-gallonage and precipitation qualities. The irrigation system shall be a fully automatic system and as maintenance-free as possible. The materials for the system will be of an extremely durable nature, and will have been selected for wear resistance and long life. The overall system shall be designed for ease of maintenance.
 - Maintenance: All landscape shown on this plan shall be maintained by the property owner. The landscape areas shall be kept free of litter and debris, and all plant material shall be maintained in a healthy growing condition. Diseased or dead plant material shall be satisfactorily treated or replaced per the conditions of the permit.
 - The irrigation system will be designed to afford optimum coverage for the support of plant growth. The coverage will meet the water requirements for the selected plant material and within the given planting areas. The design will take into consideration the type of exposure the system will have. The irrigation system will be designed with respect to water conservation. Irrigation heads shall be chosen for maximum coverage with low-gallonage and precipitation qualities. The irrigation system shall be a fully automatic system and as maintenance-free as possible. The materials for the system will be of an extremely durable nature and will have been selected for wear resistance and long life. The overall system shall be designed for ease of maintenance. All landscape and irrigation shall conform to the standards of the citywide landscape regulations and the landscape standards and all other landscape related city and regional standards. A separate irrigation sub-water meter shall be installed.

IMPROVEMENT	MINIMUM DISTANCE TO STREET TREE
TRAFFIC SIGNALS AND STOP SIGNS	20'
UNDERGROUND UTILITY LINES	5'
SEWER LINES	10'
ABOVEGROUND UTILITY STRUCTURES	10'
DRIVEWAY ENTRIES	10'
INTERSECTIONS	25'

Existing Tree Survey:

Existing mature trees on site to be removed:

- (7) Tipuana tipu
- (19) Schinus molle
- (1) Ficus nitida
- (4) Phoenix canariensis

Trees to be removed: 31 ea.
Proposed new Trees: 187 ea.

REVISION 10: _____

REVISION 9: _____

REVISION 8: _____

REVISION 7: _____

REVISION 6: _____

REVISION 5: _____

REVISION 4: _____

REVISION 3: _____

REVISION 2: _____

REVISION 1: _____

ORIGINAL DATE: 12/21/2022

L001

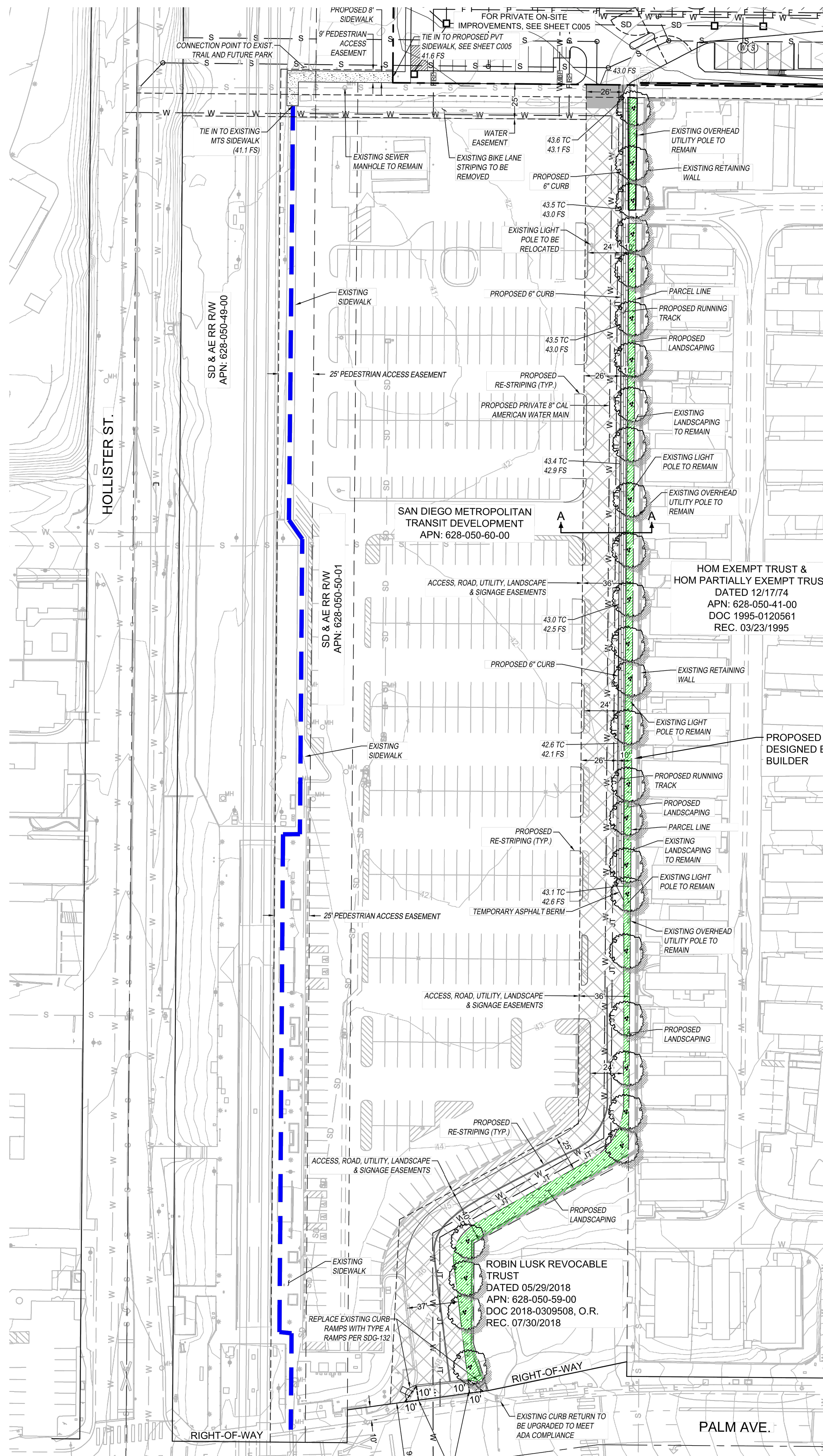
PROJECT NO: 698277

Palm & Hollister Landscape Development Plan

HOWARD ASSOCIATES

landscape architecture

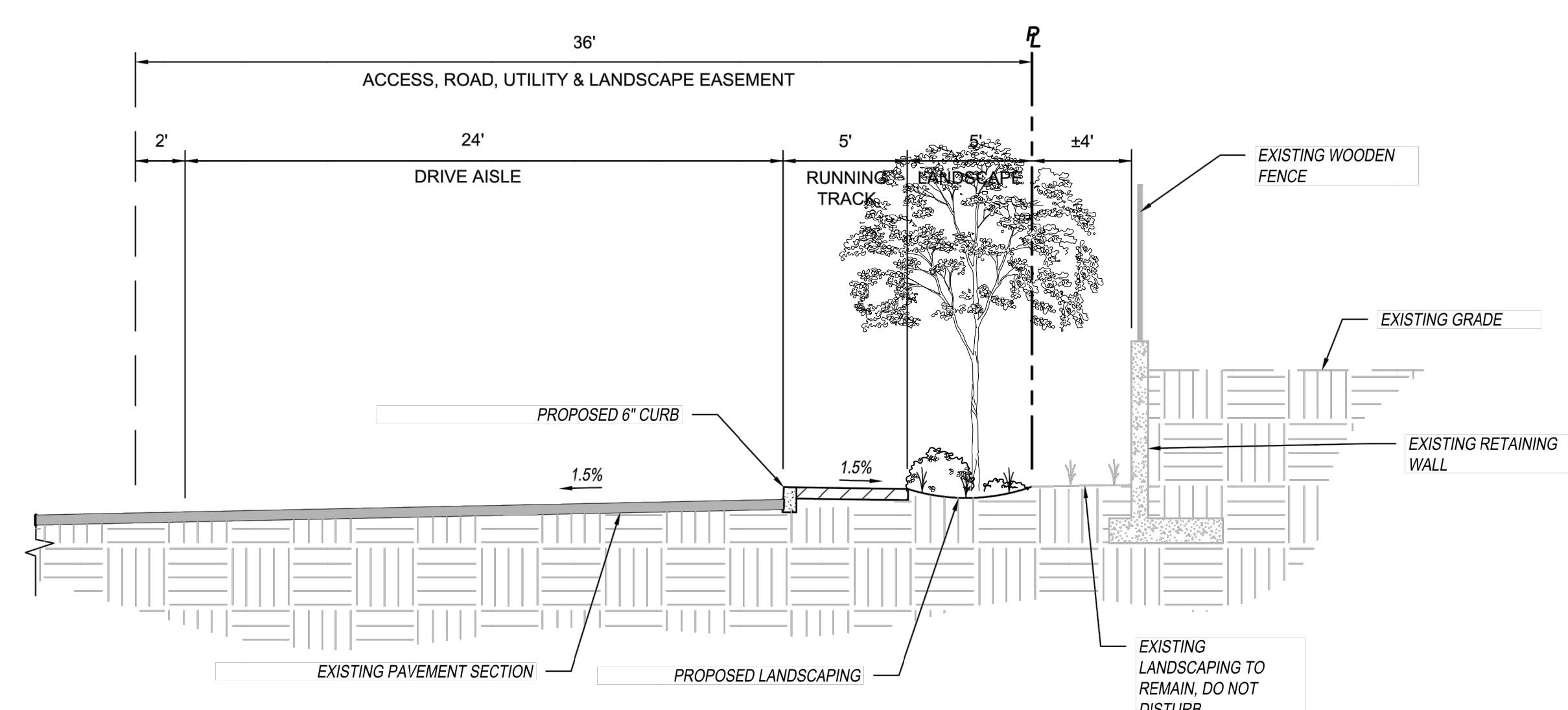
1951 fourth avenue, suite 302
san diego ca 92101 619 718 9660



Off-Site Landscaping

LEGEND

PROPERTY LINE	---
RIGHT-OF-WAY	---
ADJACENT PARCEL LINE	---
PROPOSED EASEMENT LINE	---
ROADWAY CENTERLINE	---
EXISTING CONTOUR	---
PROPOSED PRIVATE WATER MAIN	W
PROPOSED DRY UTILITY JOINT TRENCH	JT
PROPOSED PRIVATE FIRE MAIN	F
PROPOSED PRIVATE SEWER MAIN	S
PROPOSED PRIVATE STORM DRAIN	SD
EXISTING STORM DRAIN	SD
EXISTING SEWER	S
EXISTING WATER	W
EXISTING STORM DRAIN STRUCTURE	[Symbol]
PROPOSED 6" PCC CURB	---
EXISTING RETAINING WALL	---
PROPOSED CONCRETE SIDEWALK	[Symbol]
PROPOSED RUNNING TRACK	[Symbol]
PROPOSED LANDSCAPING	[Symbol]
PROPOSED ASPHALT PAVING	[Symbol]
PROPOSED SLURY SEAL	[Symbol]
PEDESTRIAN ACCESS TO SITE	---
SITE VISIBILITY AREA	[Symbol]
TYPE A CURB RAMP PER SDG-132	[Symbol]
Off-Site Landscaped Area	[Symbol]



Section A-A

REVISION 10:	_____
REVISION 9:	_____
REVISION 8:	_____
REVISION 7:	_____
REVISION 6:	_____
REVISION 5:	_____
REVISION 4:	_____
REVISION 3:	_____
REVISION 2:	_____
REVISION 1:	_____

ORIGINAL DATE: 12/21/2022

L003

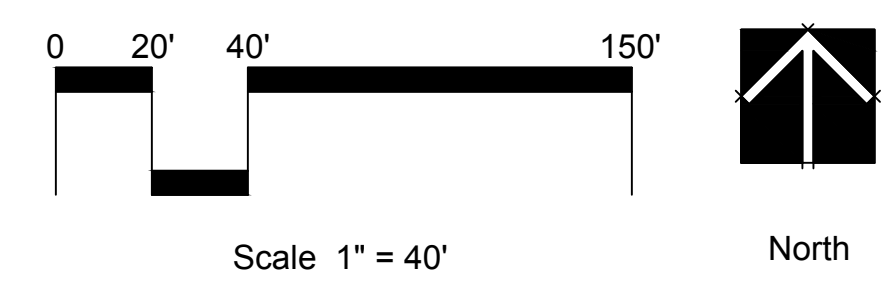
PROJECT NO: 698277

Palm & Hollister

Off-Site Landscaping



HOWARD ASSOCIATES
 landscape architecture
 1951 fourth avenue, suite 303
 san diego ca 92101 619 718 9660



VESTING TENTATIVE MAP NO. 2587526
 NEIGHBORHOOD DEVELOPMENT PERMIT NO. 2596225/SITE DEVELOPMENT
 PERMIT NO. 2587528/REZONE NO. 2587530
PALM HOLLISTER APARTMENTS
 CITY OF SAN DIEGO, CALIFORNIA

LEGEND

- PROPERTY LINE
- RIGHT-OF-WAY
- ADJACENT PARCEL LINE
- PROPOSED BUILDING FOOTPRINT
- PROPOSED RETAINING WALL
- PROPOSED UNITS ABOVE PARKING

TOPOGRAPHY SOURCE

TOPOGRAPHIC INFORMATION SHOWN HEREON IS BY AERIAL MAPPING FLOWN JANUARY 12, 2020, PROVIDED BY SAN DIEGO AERIAL SURVEYS.

BENCHMARK

ELEVATIONS SHOWN HEREON ARE BASED ON 3.75" USCS&S BRASS DISK, STAMPED Y 895 RESET, IN CONCRETE, AT THE NORTHEAST CORNER OF PALM AVENUE BRIDGE, OVER I-5, PER ROS 14492.

ELEVATION: 38.411' M.S.L. (NGVD 29)
 VERTICAL BENCH TABLE PUBLISHED JANUARY 2008, CITY OF SAN DIEGO

BASIS OF BEARINGS

THE BASIS OF BEARINGS FOR THIS SURVEY IS THE CALIFORNIA COORDINATE SYSTEM, NAD 83 (CCS83) EPOCH 1991.35, ZONE 6, AS DETERMINED LOCALLY BY A LINE BETWEEN FIRST ORDER CONTROL STATIONS 185 AND 1374 BEING A GRID BEARING OF N5°14'21"E AS DERIVED FROM GEODETIC VALUES SHOWN ON RECORD OF SURVEY 14492, CITY OF SAN DIEGO CONTROL SURVEY, FILED ON MARCH 31, 1994 AS FILE NUMBER 1994-0214720, IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY.
 QUOTED BEARINGS FROM REFERENCE MAPS OR DEEDS MAY OR MAY NOT BE IN TERMS OF SAID SYSTEM.
 THE COMBINED GRID FACTOR AT POINT 'A' IS 0.99995790. GRID DISTANCE = GROUND DISTANCE X COMBINED GRID FACTOR. ELEVATION AT POINT 'A' IS 41.51 (NGVD 29).
 DISTANCES SHOWN HEREON ARE GROUND.

ZONING

EXISTING: 3.23 ACRES AR-1-2, 0.82 ACRES RM-1-1, 1.87 ACRES RS-1-7
 PROPOSED: 5.92 ACRES RM-2-6

GRADING QUANTITIES

TOTAL SITE AREA	5.92 ACRES
GRADED AREA	5.50 ACRES
CUT QUANTITIES	15,000 CY
FILL QUANTITIES	38,500 CY
IMPORT	23,500 CY
MAX CUT DEPTH	13 FT
MAX FILL DEPTH	25 FT
MAX SLOPE	2:1

REMEDIAL GRADING QUANTITIES

TOTAL VOLUME: 67,000 CY
 MAX CUT: 17 FT

REFERENCE DRAWINGS

- CITY OF SAN DIEGO DWG 21819-D (IMPROVEMENT PLAN FOR THE INSTALLATION OF THE 8" P.V.C. SEWER IN HOLLISTER ST.)
- CITY OF SAN DIEGO DWG 12056-D (HOLLISTER STREET, PALM AVE. SEWER PLAN)
- CITY OF SAN DIEGO DWG 14603-D (PLANS FOR THE IMPROVEMENT OF SEWER IN PALM AVENUE)
- PARCEL MAP 4417
- RECORD OF SURVEY 24087
- RECORD OF SURVEY 1001
- RECORD OF SURVEY 15594
- RECORD OF SURVEY 15149
- RECORD OF SURVEY 8728
- RECORD OF SURVEY 16992
- CORNER RECORD 15444
- CORNER RECORD 19871
- DEED, RECORDED 12/29/81, F/P 1981-405156, O.R.
- DEED, RECORDED 08/24/17, F/P 2017-0387959, O.R.

MAPPING AND MONUMENTATION

A FINAL MAP SHALL BE FILED AT THE COUNTY RECORDER'S OFFICE PRIOR TO THE EXPIRATION OF THE TENTATIVE MAP. IF APPROVED, A DETAILED PROCEDURE OF SURVEY SHALL BE SHOWN ON THE FINAL MAP AND ALL PROPERTY CORNERS SHALL BE MARKED WITH DURABLE SURVEY MONUMENTS.

CONDOMINIUM NOTE

THIS IS A CONDOMINIUM PROJECT AS DEFINED IN SECTION 4125 OF THE CIVIL CODE OF THE STATE OF CALIFORNIA AND IS FILED PURSUANT TO THE SUBDIVISION MAP ACT. TOTAL NUMBER OF RESIDENTIAL UNITS:

LOT 1: 198

LOT SUMMARY TABLE

LOT #	AREA (ACRES)	RESIDENTIAL/CONDO UNITS
PROPOSED LOT 1	5.92	198

UTILITY COMPANIES

- WATER: CALIFORNIA AMERICAN WATER
- SEWER: CITY OF SAN DIEGO
- FIRE: CITY OF SAN DIEGO
- GAS & ELECTRIC: SDG&E
- TELEPHONE: AT&T

APPROVAL NUMBERS:

VESTING TENTATIVE MAP APPROVAL NO. 2587526
 SDP APPROVAL NO. 2587528
 NDP APPROVAL NO. 2596225
 REZONE NO. 2587530

OWNER

APN: 628-050-24-00
 D.J.M.E. HOLLISTER LLC
 CONTACT: DANIEL HERNANDEZ
 2284 PALM AVENUE
 SAN DIEGO, CA 92154
 PH: (619) 213-3392

SIGNATURE _____ DATE _____

APPLICANT

PALM HOLLISTER LLC
 CONTACT: DUNCAN BUDINGER
 179 CALLE MAGDELENA STE 201
 ENCINITAS, CA 92024
 PH: (619) 417-4193

LEGAL DESCRIPTION

A PORTION OF THE NORTH QUARTER OF THE WEST HALF OF THE SOUTHWEST QUARTER AND THE NORTH 5 ACRES OF THE EAST HALF OF THE SOUTHWEST QUARTER OF SECTION 22, TOWNSHIP 18 SOUTH, RANGE 2 WEST, SAN BERNARDINO MERIDIAN, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, MORE FULLY DESCRIBED IN GRANT DEED RECORDED IN THE OFFICE OF THE SAN DIEGO COUNTY RECORDER AS DOCUMENT NO. 2017-0387959.

TITLE REPORT

PREPARED BY:
 CHICAGO TITLE COMPANY
 2365 NORTH SIDE DRIVE SUITE 800
 SAN DIEGO, CA 92108
 PHONE: (619) 521-3500
 REPORT ORDER No. 00122512-996-SD1-CF2
 DATED: OCTOBER 21, 2021

ENGINEER OF WORK

PASCO LARET SUITER & ASSOCIATES, INC.
 119 ABERDEEN DRIVE
 CARDIFF-BY-THE-SEA, CA 92007
 GREGORY W. LANG, RCE 68075
 (858) 259-8212

DECLARATION OF RESPONSIBLE CHARGE

"I HEREBY DECLARE THAT I AM THE ENGINEER OF WORK FOR THIS PROJECT, THAT I HAVE EXERCISED RESPONSIBLE CHARGES OVER THE DESIGN OF THE PROJECT AS DEFINED IN SECTION 6703 OF THE BUSINESS & PROFESSIONS CODE AND THAT THE DESIGN IS CONSISTENT WITH CURRENT STANDARDS.

I UNDERSTAND THAT THE CHECK OF PROJECT DRAWINGS AND SPECIFICATIONS BY THE CITY OF SAN DIEGO AND THE SAN DIEGO COUNTY DEPARTMENT OF ENVIRONMENTAL HEALTH IS CONFINED TO A REVIEW ONLY AND DOES NOT RELIEVE ME, AS ENGINEER OF WORK, OF MY RESPONSIBILITIES FOR PROJECT DESIGN."

GARY D. MELLOM
 PLS 8637

DATE _____



VICINITY MAP
 NOT TO SCALE

SHEET INDEX

- C001 COVER SHEET
- C002 EXISTING CONDITIONS
- C003 TENTATIVE MAP
- C004 OFF-SITE ACCESS PLAN
- C005 GRADING PLAN
- C006 SITE UTILITIES
- C007-C009 PUBLIC SEWER PLAN
- C010 FIRE ACCESS PLAN
- C011 SLOPE ANALYSIS
- C012 SITE SECTIONS

PREPARED BY:
PASCO LARET SUITER & ASSOCIATES
 San Diego | Encinitas | Orange County
 Phone 858.259.8212 | www.plsaengineering.com

PROJECT ADDRESS:
 555 HOLLISTER STREET
 SAN DIEGO, CA 92154

SHEET No. / TITLE:
 COVER SHEET
 SHEET C001

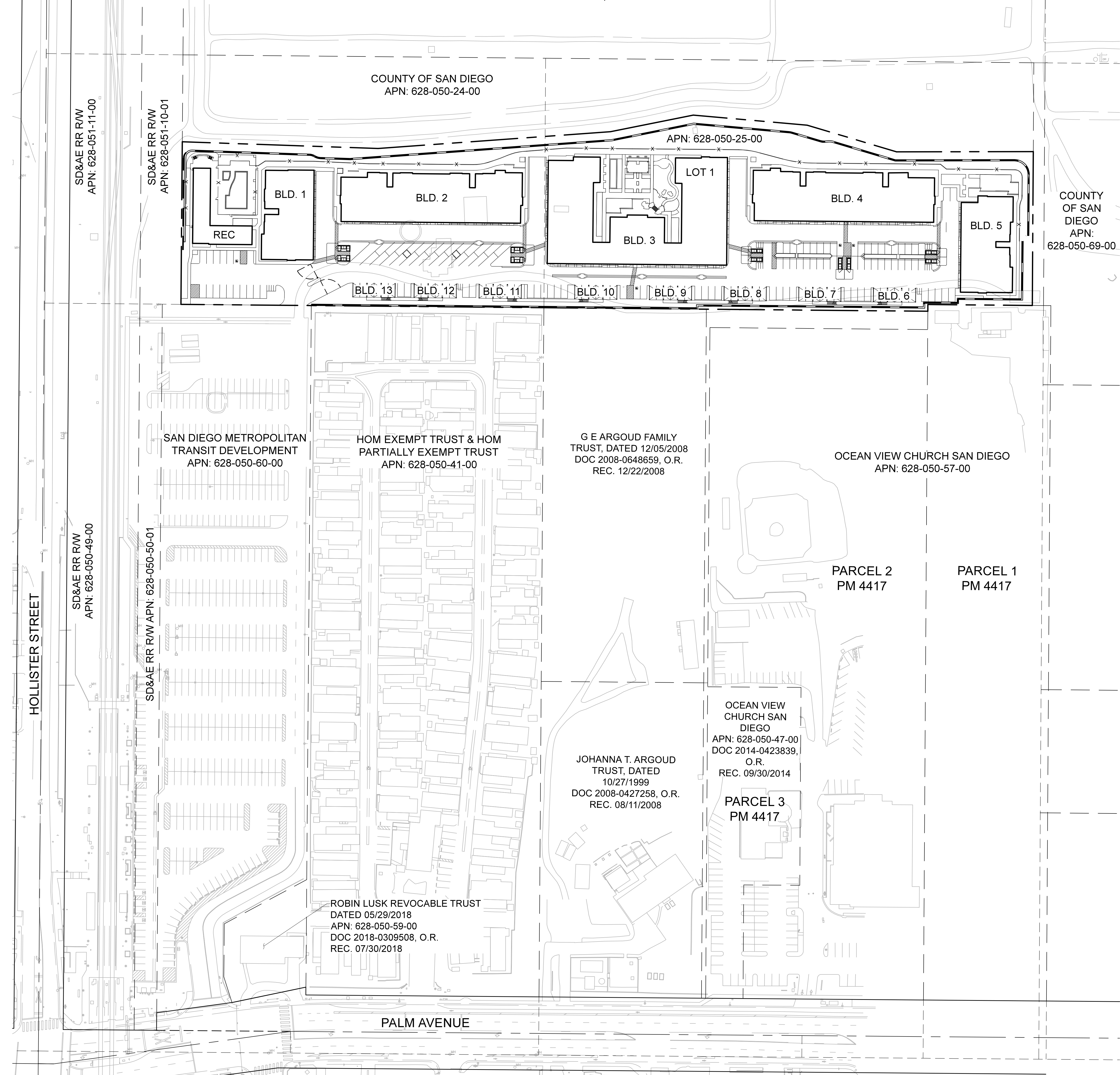
PROJECT NO.: 698277

REVISION 10: _____
 REVISION 9: _____
 REVISION 8: _____
 REVISION 7: _____
 REVISION 6: _____
 REVISION 5: _____
 REVISION 4: _____
 REVISION 3: 12/02/22
 REVISION 2: 07/08/22
 REVISION 1: 03/22/22

ORIGINAL DATE: 11/11/21

GRAPHIC SCALE: 1" = 60'

VESTING TENTATIVE MAP 2587526
 PLANNED DEVELOPMENT PERMIT/SITE DEVELOPMENT PERMIT/REZONE
PALM HOLLISTER APARTMENTS
 CITY OF SAN DIEGO, CALIFORNIA
 THIS IS A PLANNED RESIDENTIAL DEVELOPMENT PROJECT AS DEFINED IN THE SAN DIEGO LAND DEVELOPMENT CODE



VESTING TENTATIVE MAP NO. 2587526
 NEIGHBORHOOD DEVELOPMENT PERMIT NO. 2596225/SITE DEVELOPMENT PERMIT NO. 2587528/REZONE NO. 2587530

PALM HOLLISTER APARTMENTS

CITY OF SAN DIEGO, CALIFORNIA

LEGEND

---	PROPERTY LINE
---	RIGHT-OF-WAY LINE
---	CENTER LINE
---	ADJOINING PROPERTY LINE
---	TIE LINE / REFERENCE LINE
---	EASEMENT LINE

EASEMENTS OF RECORD - PER PTR

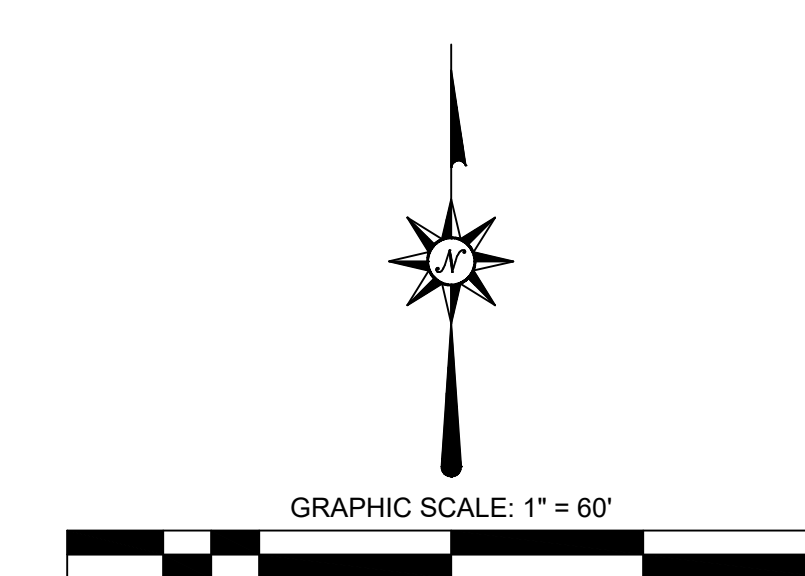
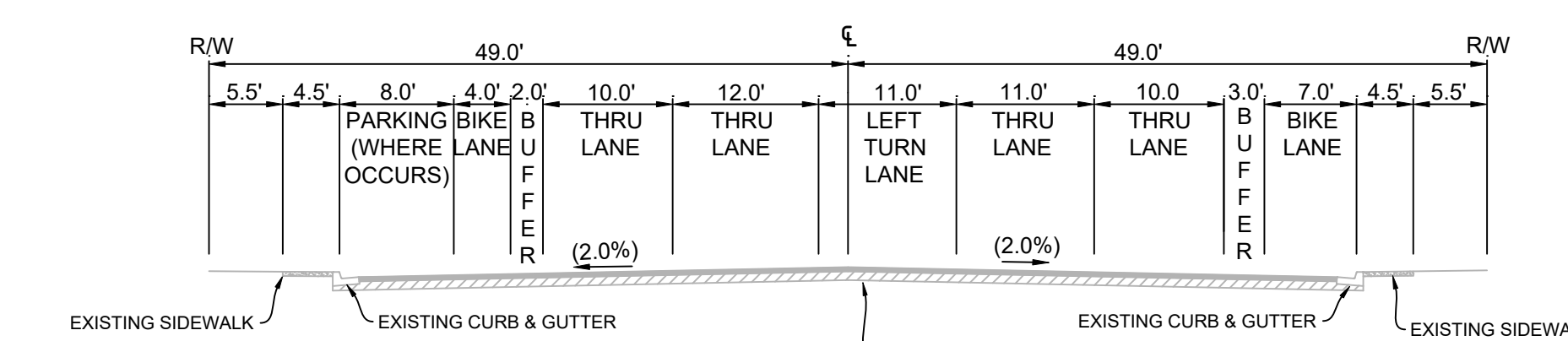
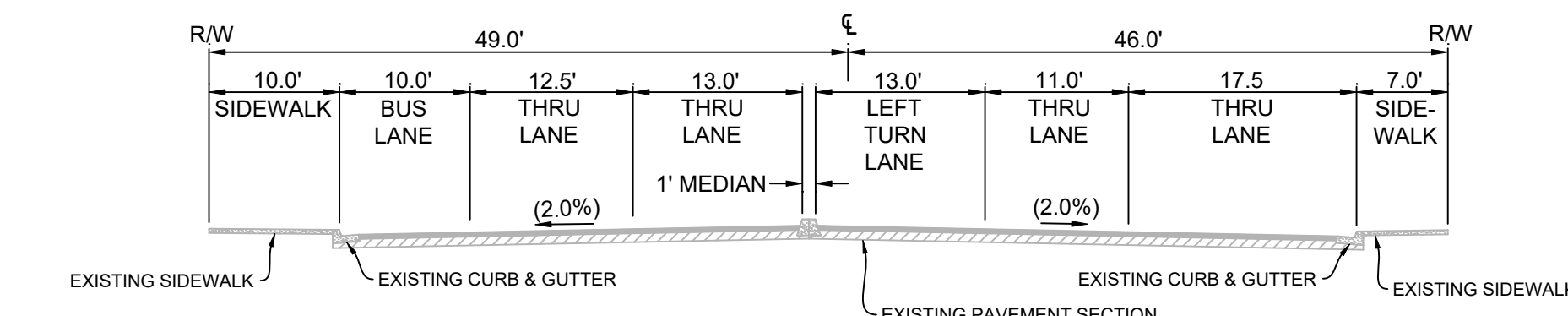
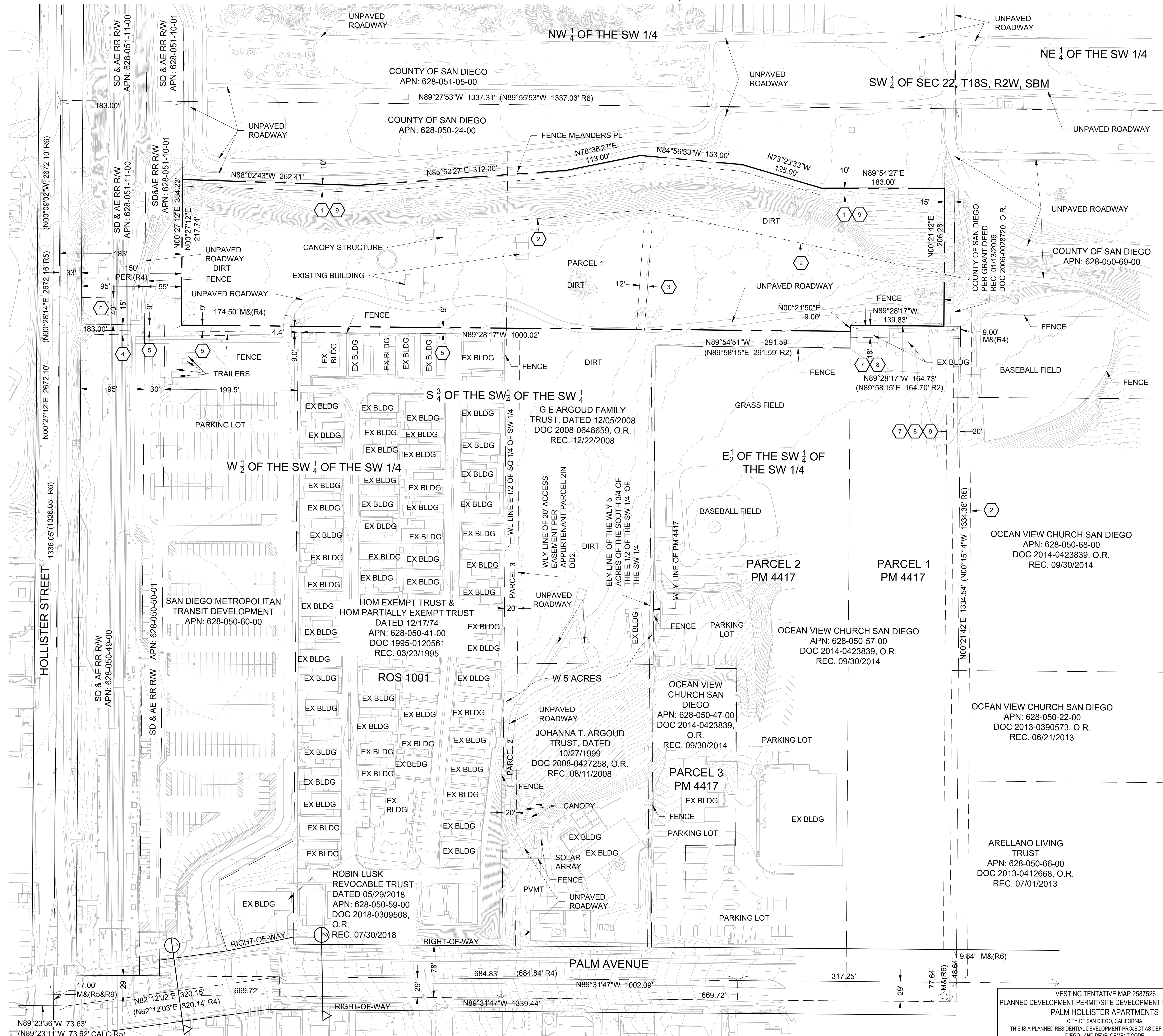
- 1 FRED W. STAFFORD, ET UX HOLDER OF AN EASEMENT FOR INGRESS AND EGRESS REC. 08/03/1954 B/P 5320-67, O.R.
- 2 SAN DIEGO GAS AND ELECTRIC COMPANY HOLDER OF AN EASEMENT FOR INGRESS AND EGRESS, REC. 07/03/1942 B/P 1355-177, O.R.
- 3 SAN DIEGO GAS AND ELECTRIC COMPANY HOLDER OF A UTILITY AND ACCESS EASEMENT, REC. 09/04/1959 B/P 7667-440, O.R.

EASEMENTS OF RECORD - PER DOCUMENTS

- 4 EDWIN HOM HOLDER OF A SEWER EASEMENT REC. 07/10/85, F/P 1985-246527, O.R.
- 5 LUTHER JOHNSON ET UX HOLDER OF AN ACCESS EASEMENT RESERVED IN GRANT DEED, REC. 06/01/1893 B/P 211-412, O.R.
- 6 LUTHER JOHNSON ET UX HOLDER OF AN ACCESS EASEMENT RESERVED IN GRANT DEED, REC. 09/14/1909 B/P 476-115, O.R.
- 7 R.J. JAGER HOLDER OF AN ACCESS EASEMENT REC. 11/04/1910, B/P 501-373, DEEDS
- 8 LUTHER AND SARAH JOHNSON HOLDER OF AN ACCESS EASMENT, REC. 01/26/1897, B/P 264-64, DEEDS
- 9 COUNTY OF SAN DIEGO HOLDER OF AN EASEMENT FOR INGRESS AND EGRESS REC. 01/13/06 AS F/P 2006-0028720, O.R.

REFERENCES

- R1 - ROS 18992
- R2 - PM 4417
- R3 - ROS 1001
- R4 - ROS 15594
- R5 - ROS 15149
- R6 - ROS 8728
- R7 - CR 15444
- R8 - CR 19871
- R9 - ROS 24087
- DD1 - DEED, REC 12/29/81; F/P 1981-405156, O.R.
- DD2 - DEED, REC 08/24/17; F/P 2017-0387959, O.R.



APPROVAL NUMBERS:

VESTING TENTATIVE MAP APPROVAL NO. 2587526
 SDP APPROVAL NO. 2596225
 NDP APPROVAL NO. 2587528
 REZONE NO. 2587530

	PREPARED BY:	PROJECT NO.:
	PASCO LARET SUITER & ASSOCIATES San Diego Encinitas Orange County Phone 858.259.8212 www.plasengineering.com	698277
PROJECT ADDRESS:	SHEET NO. / TITLE:	REVISION 10: _____
555 HOLLISTER STREET SAN DIEGO, CA 92154	EXISTING CONDITIONS SHEET C002	REVISION 9: _____
		REVISION 8: _____
		REVISION 7: _____
		REVISION 6: _____
		REVISION 5: _____
		REVISION 4: _____
		REVISION 3: 12/02/22
		REVISION 2: 07/08/22
		REVISION 1: 03/22/22
		ORIGINAL DATE: 11/11/21

VESTING TENTATIVE MAP 2587526
 PLANNED DEVELOPMENT PERMIT/SITE DEVELOPMENT PERMIT/REZONE
 PALM HOLLISTER APARTMENTS
 CITY OF SAN DIEGO, CALIFORNIA
 THIS IS A PLANNED RESIDENTIAL DEVELOPMENT PROJECT AS DEFINED IN THE SAN DIEGO LAND DEVELOPMENT CODE

VESTING TENTATIVE MAP NO. 2587526
 NEIGHBORHOOD DEVELOPMENT PERMIT NO. 2596225/SITE DEVELOPMENT PERMIT NO. 2587528/
 REZONE NO. 2587530

PALM HOLLISTER APARTMENTS

CITY OF SAN DIEGO, CALIFORNIA

LEGEND

- PROPERTY LINE
- RIGHT-OF-WAY LINE
- CENTER LINE
- ADJOINING PROPERTY LINE
- TIE LINE / REFERENCE LINE
- EASEMENT LINE
- MONUMENT PER ROS 24087

OWNER

APN: 628-050-24-00
 D.I.M.E. HOLLISTER LLC
 CONTACT: DANIEL HERNANDEZ
 2284 PALM AVENUE
 SAN DIEGO, CA 92154
 PH: (619) 213-3352

SIGNATURE _____ DATE _____

APPLICANT

PALM HOLLISTER LLC
 CONTACT: DUNCAN BUDINGER
 179 CALLE MAGDELENA STE 201
 ENCINITAS, CA 92024
 PH: (619) 417-4193

LEGAL DESCRIPTION

A PORTION OF THE NORTH QUARTER OF THE WEST HALF OF THE SOUTHWEST QUARTER AND THE NORTH 5 ACRES OF THE EAST HALF OF THE SOUTHWEST QUARTER OF SECTION 22, TOWNSHIP 18 SOUTH, RANGE 2 WEST, SAN BERNARDINO MERIDIAN, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, MORE FULLY DESCRIBED IN GRANT DEED RECORDED IN THE OFFICE OF THE SAN DIEGO COUNTY RECORDER AS DOCUMENT NO. 2017-0387959.

TOPOGRAPHY SOURCE

TOPOGRAPHIC INFORMATION SHOWN HEREON IS BY AERIAL MAPPING FLOWN JANUARY 12, 2020, PROVIDED BY SAN DIEGO AERIAL SURVEYS.

BENCHMARK

ELEVATIONS SHOWN HEREON ARE BASED ON 3.75" USC&GS BRASS DISK, STAMPED Y 895 RESET, IN CONCRETE, AT THE NORTHEAST CORNER OF PALM AVENUE BRIDGE, OVER I-5, PER ROS 14492.

ELEVATION: 38.41' M.S.L. (NGVD 28)
 VERTICAL BENCH TABLE PUBLISHED JANUARY 2008, CITY OF SAN DIEGO

ZONING

EXISTING: 3.23 ACRES AR-1-2, 0.82 ACRES RM-1-1, 1.87 ACRES RS-1-7
 PROPOSED: 5.92 ACRES RM-2-6

MAPPING AND MONUMENTATION

A FINAL MAP SHALL BE FILED AT THE COUNTY RECORDER'S OFFICE PRIOR TO THE EXPIRATION OF THE TENTATIVE MAP. IF APPROVED, A DETAILED PROCEDURE OF SURVEY SHALL BE SHOWN ON THE FINAL MAP AND ALL PROPERTY CORNERS SHALL BE MARKED WITH DURABLE SURVEY MONUMENTS.

EXISTING EASEMENT TABLE

NO.	PURPOSE	OWNER	REFERENCE	DATE	DISPOSITION
1	ACCESS	FRED W. STAFFORD	BOOK 5320 PAGE 67	AUGUST 3, 1954	TO REMAIN
2	ACCESS	SAN DIEGO GAS & ELECTRIC	BOOK 1385 PAGE 177	JULY 3, 1954	TO BE VACATED
3	UTILITY AND ACCESS	SAN DIEGO GAS & ELECTRIC	BOOK 7667 PAGE 440	SEPTEMBER 4, 1959	TO BE VACATED
4	PVT SEWER	EDWIN HOM	DOC. NO. 1985-246527	JULY 10, 1985	TO REMAIN
5	ACCESS	LUTHER JOHNSON	BOOK 211 PAGE 412	JUNE 1, 1893	QUITCLAIM
6	ACCESS	LUTHER JOHNSON	BOOK 476 PAGE 115	SEPTEMBER 14, 1909	QUITCLAIM
7	ACCESS	R. J. JAGER	BOOK 501 PAGE 373	NOVEMBER 4, 1910	TO REMAIN
8	ACCESS	LUTHER AND SARAH JOHNSON	BOOK 264 PAGE 64	JANUARY 26, 1897	TO REMAIN
9	ACCESS	COUNTY OF SAN DIEGO	DOC. NO. 2006-0028720	JANUARY 13, 2006	TO REMAIN

PROPOSED EASEMENTS

- | | | |
|---|------------------------|------------------------------|
| 1 RAILWAY UTILITY EASEMENT | 4 ACCESS ROAD EASEMENT | 7 PEDESTRIAN ACCESS EASEMENT |
| 2 ACCESS EASEMENT | 5 LANDSCAPE EASEMENT | 8 WATER EASEMENT |
| 3 UTILITY (WATER/ELECTRICAL/GAS) EASEMENT | 6 SIGNAGE EASEMENT | 9 SEWER EASEMENT |

CONDOMINIUM NOTE

THIS IS A CONDOMINIUM PROJECT AS DEFINED IN SECTION 4125 OF THE CIVIL CODE OF THE STATE OF CALIFORNIA AND IS FILED PURSUANT TO THE SUBDIVISION MAP ACT. TOTAL NUMBER OF RESIDENTIAL UNITS:

LOT 1: 198

LOT SUMMARY TABLE


LOT #	AREA (ACRES)	RESIDENTIAL/CONDO UNITS
PROPOSED LOT 1	5.92	198

REFERENCES

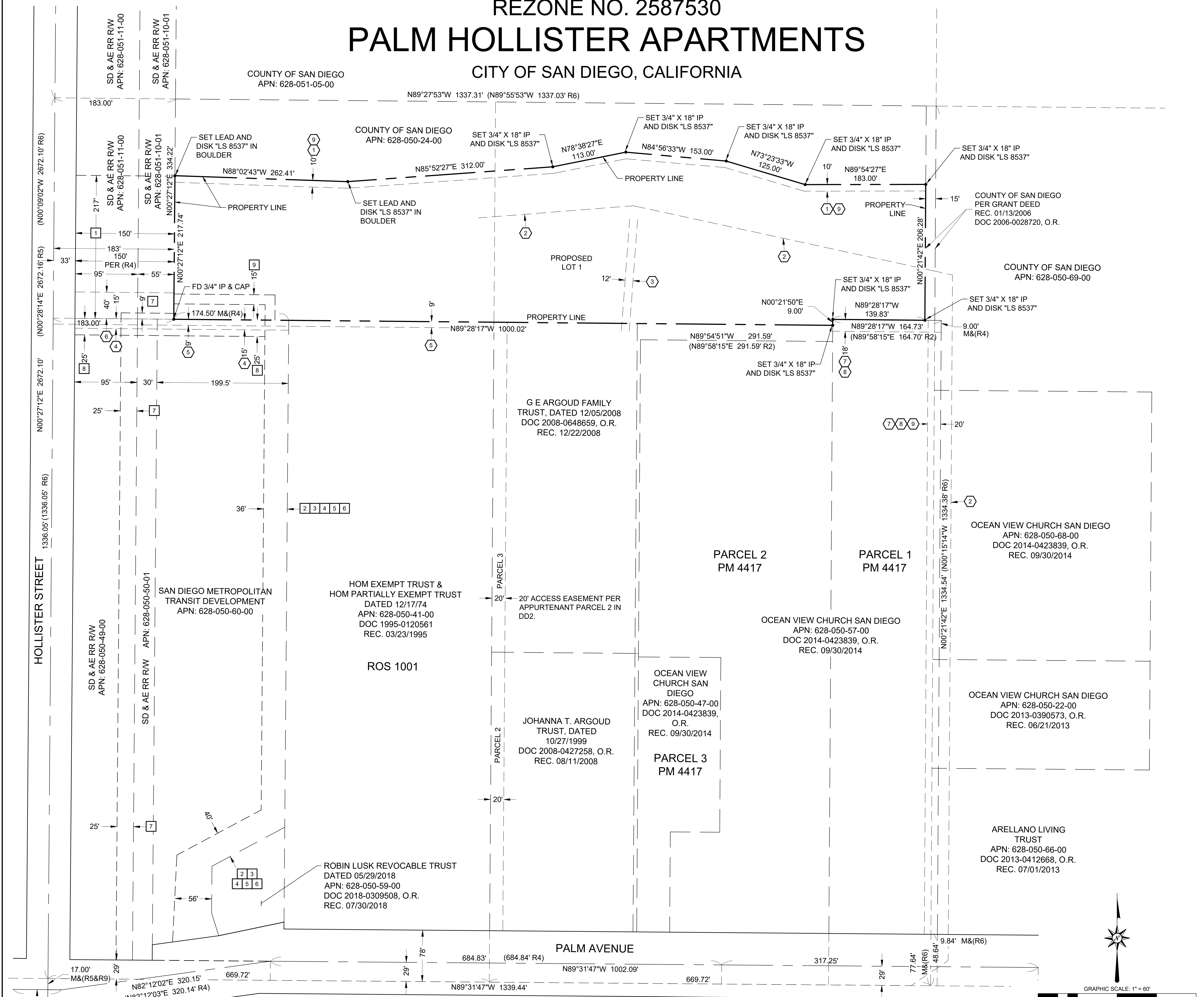
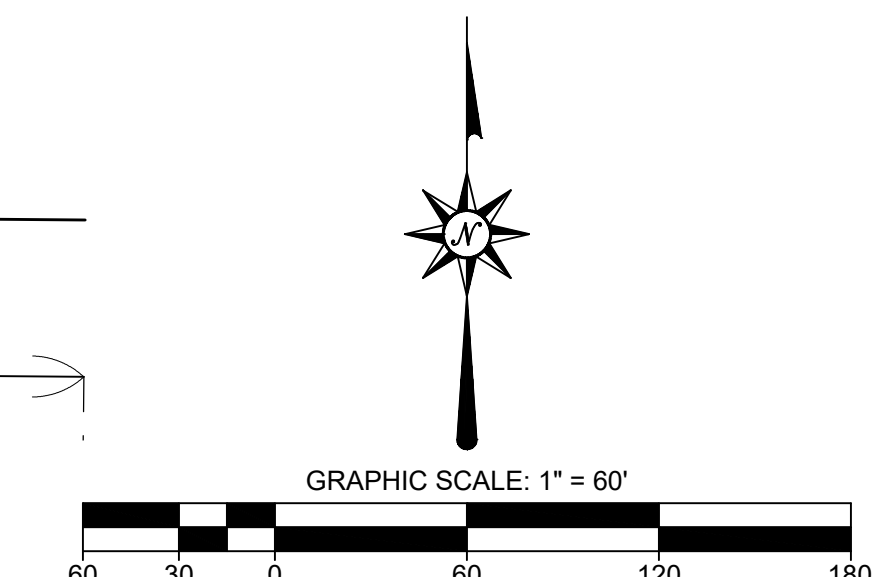
- R1 - ROS 18992
- R2 - PM 4417
- R3 - ROS 1001
- R4 - ROS 15594
- R5 - ROS 15149
- R6 - ROS 8728
- R7 - CR 15444
- R8 - CR 19871
- R9 - ROS 24087
- DD1 - DEED, REC 12/29/81; F/P 1981-405156, O.R.
- DD2 - DEED, REC 08/24/17; F/P 2017-0387959, O.R.

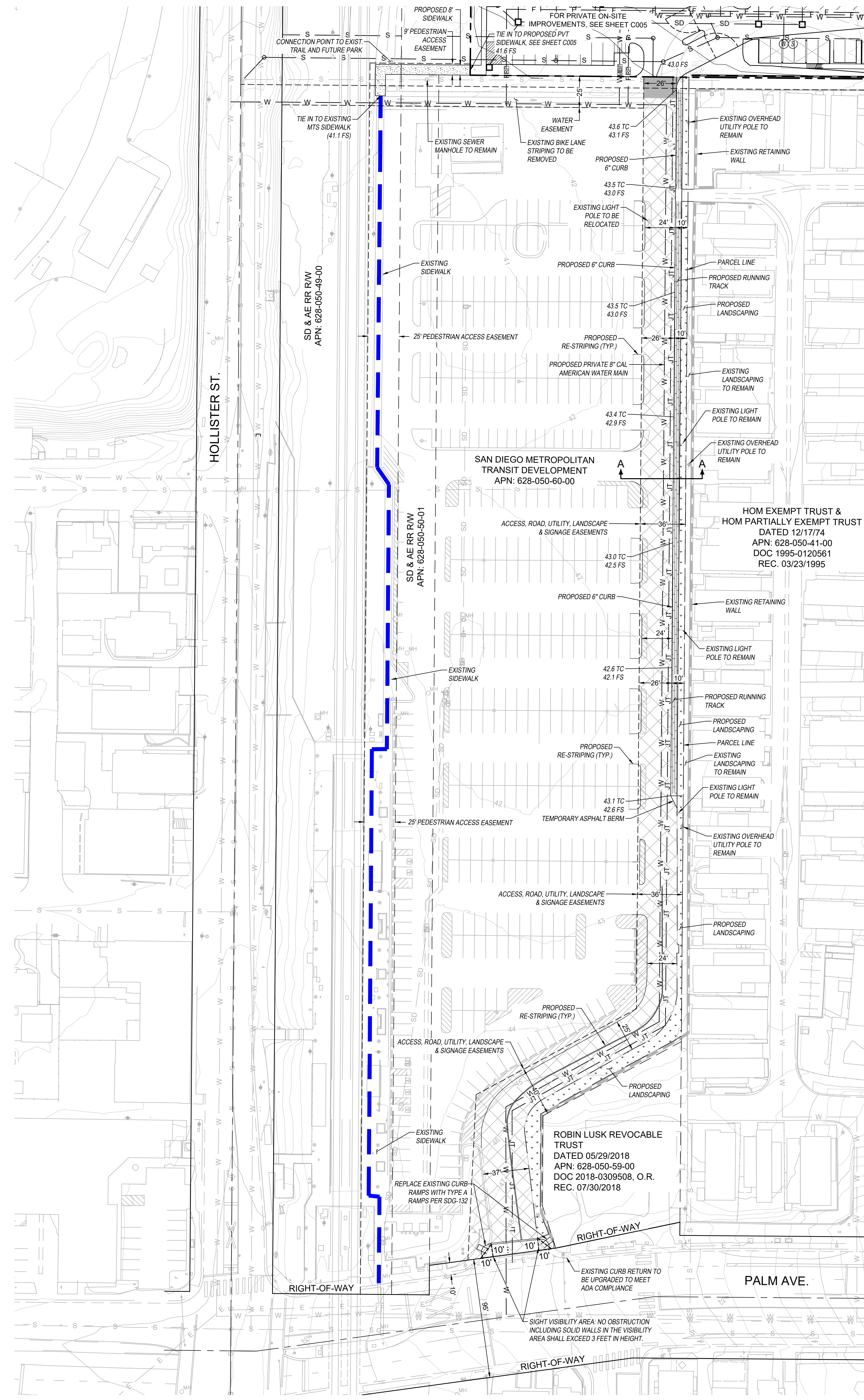
APPROVAL NUMBERS:

VESTING TENTATIVE MAP APPROVAL NO. 2587526
 SDP APPROVAL NO. 2587528
 NDP APPROVAL NO. 2596225
 REZONE NO. 2587530

	PREPARED BY: PASCO LARET SUITER & ASSOCIATES San Diego Encinitas Orange County Phone 858.259.8212 www.plsaengineering.com	PROJECT NO.: 698277
	PROJECT ADDRESS: 555 HOLLISTER STREET SAN DIEGO, CA 92154	SHEET No. / TITLE: VESTING TENTATIVE MAP SHEET_C003

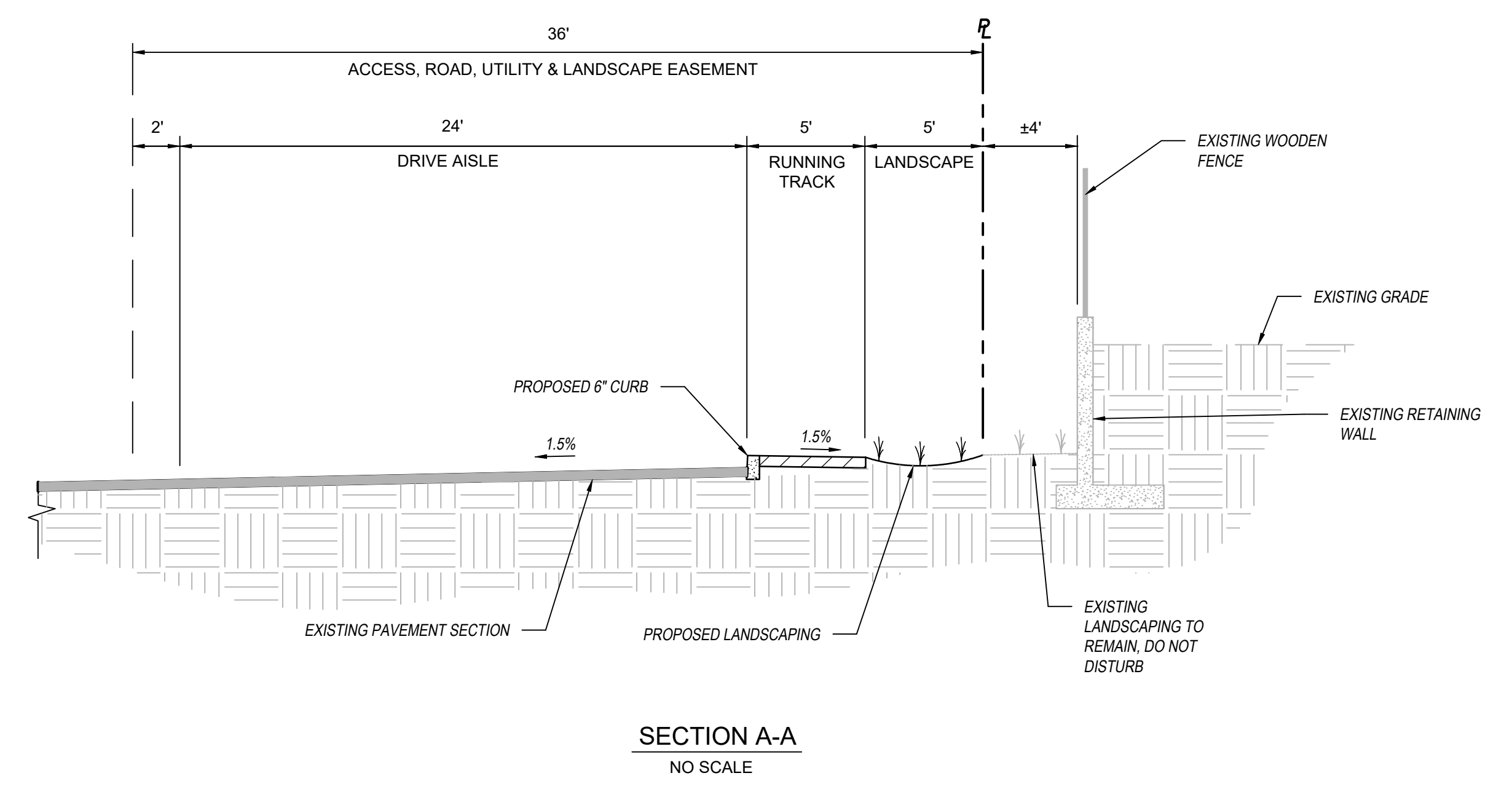
VESTING TENTATIVE MAP 2587526
 PLANNED DEVELOPMENT PERMIT/SITE DEVELOPMENT PERMIT/REZONE
 PALM HOLLISTER APARTMENTS
 CITY OF SAN DIEGO, CALIFORNIA
 THIS IS A PLANNED RESIDENTIAL DEVELOPMENT PROJECT AS DEFINED IN THE SAN DIEGO LAND DEVELOPMENT CODE



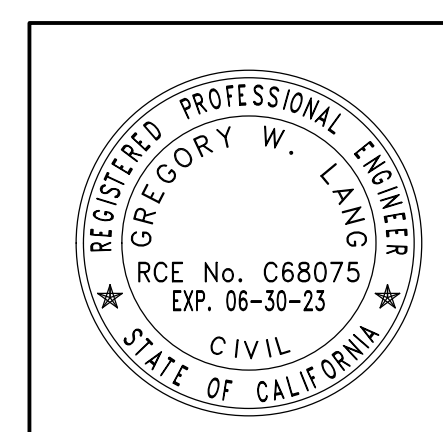
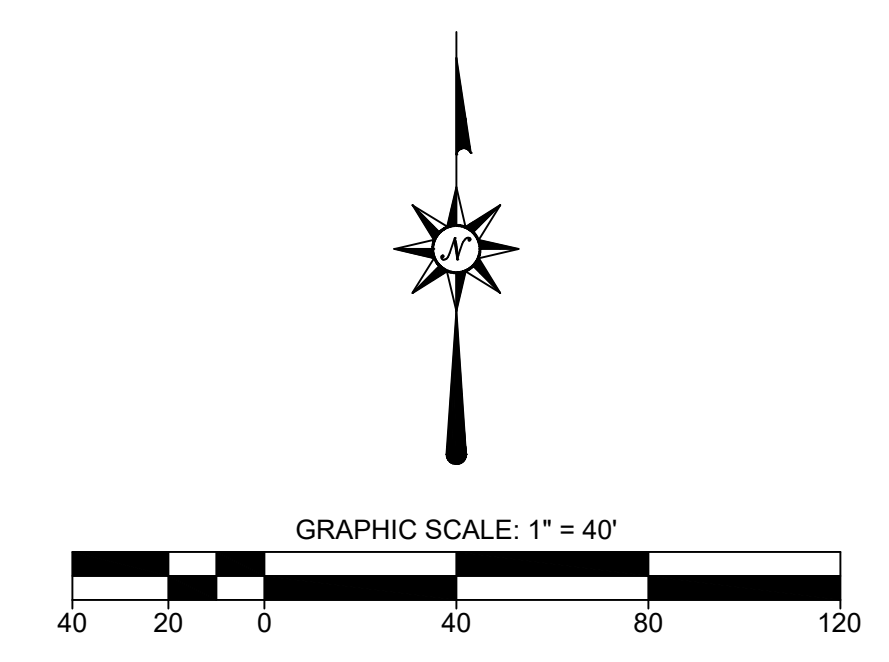


LEGEND

PROPERTY LINE	---
RIGHT-OF-WAY	---
ADJACENT PARCEL LINE	---
PROPOSED EASEMENT LINE	---
ROADWAY CENTERLINE	---
EXISTING CONTOUR	---
PROPOSED PRIVATE WATER MAIN	W
PROPOSED DRY UTILITY JOINT TRENCH	JT
PROPOSED PRIVATE FIRE MAIN	F
PROPOSED PRIVATE SEWER MAIN	S
PROPOSED PRIVATE STORM DRAIN	SD
EXISTING STORM DRAIN	SD
EXISTING SEWER	S
EXISTING WATER	W
EXISTING STORM DRAIN STRUCTURE	□
PROPOSED 6" PCC CURB	---
EXISTING RETAINING WALL	---
PROPOSED CONCRETE SIDEWALK	---
PROPOSED RUNNING TRACK	---
PROPOSED LANDSCAPING	---
PROPOSED ASPHALT PAVING	---
PROPOSED SLURRY SEAL	---
PEDESTRIAN ACCESS TO SITE	---
SITE VISIBILITY AREA	---
TYPE A CURB RAMP PER SDG-132	---



APPROVAL NUMBERS:
 VESTING TENTATIVE MAP APPROVAL NO. 2587526
 SDP APPROVAL NO. 2587528
 NDP APPROVAL NO. 2596225
 REZONE NO. 2587530



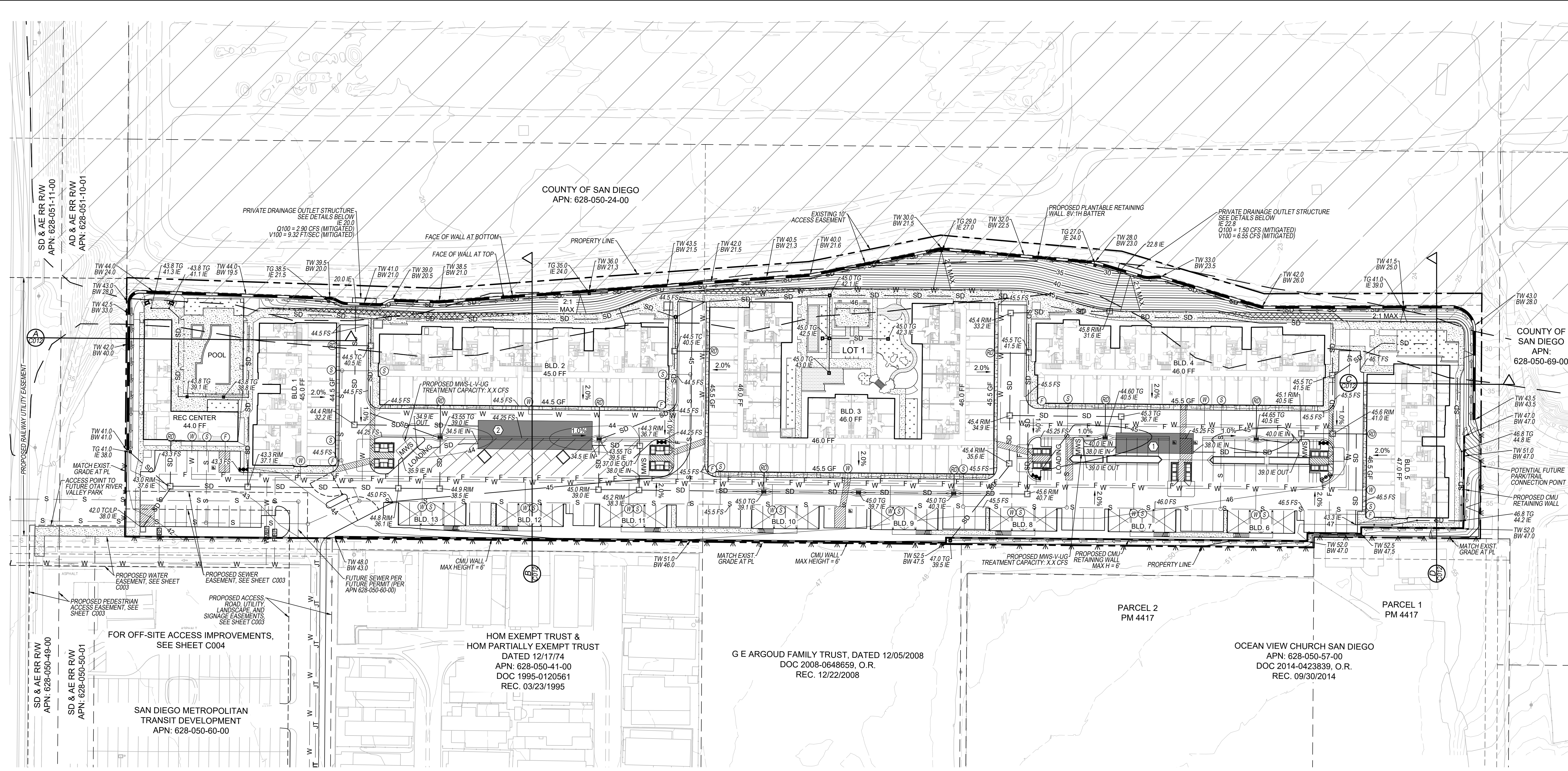
PREPARED BY:
PASCO LARET SUITER & ASSOCIATES
 San Diego | Encinitas | Orange County
 Phone 858.259.8212 | www.plsengineering.com

PROJECT NO:	698277
REVISION 10:	
REVISION 9:	
REVISION 8:	
REVISION 7:	
REVISION 6:	
REVISION 5:	
REVISION 4:	12/02/22
REVISION 3:	07/08/22
REVISION 2:	03/22/22
REVISION 1:	
ORIGINAL DATE:	11/11/21

VESTING TENTATIVE MAP 2587526
 PLANNED DEVELOPMENT PERMIT/SITE DEVELOPMENT PERMIT/REZONE
PALM HOLLISTER APARTMENTS
 CITY OF SAN DIEGO, CALIFORNIA
 THIS IS A PLANNED RESIDENTIAL DEVELOPMENT PROJECT AS DEFINED IN THE SAN DIEGO LAND DEVELOPMENT CODE

PROJECT ADDRESS:
 555 HOLLISTER STREET
 SAN DIEGO, CA 92154

SHEET NO. / TITLE:
 OFF-SITE ACCESS PLAN
 SHEET_C004



LEGEND

PROPERTY LINE	---
ADJACENT PARCEL LINE	---
ROADWAY CENTERLINE	---
EXISTING CONTOUR	350
EXISTING SEWER MANHOLE / MAIN	S
EXISTING PUBLIC SANITARY SEWER MAIN	S
EXISTING PUBLIC WATER MAIN	W
EXISTING STORM DRAIN STRUCTURE	---
PROPOSED CONTOUR	350
PROPOSED 6" PCC CURB	---
PROPOSED 6" PCC CURB & GUTTER	---
LIMIT OF GRADING LINE	---
PROPOSED SEWER MANHOLE (SMH)	S
PROPOSED PRIVATE FIRE MAIN	F
PROPOSED PRIVATE WATER MAIN	W
PROPOSED PRIVATE SANITARY SEWER MAIN	S
PROPOSED STORM DRAIN	SD
PROPOSED DRY UTILITY JOINT TRENCH	JT
PROPOSED STORM DRAIN STRUCTURE / INLET	---
PROPOSED UNDERGROUND STORM WATER CISTERN	---
PROPOSED MODULAR WETLAND SYSTEM	MWS
BUILDING FIRE SERVICE	---
BUILDING WATER SERVICE	---
BUILDING SEWER SERVICE	---
BUILDING ROOF DRAIN	---
PROPOSED BROW DITCH	---
PROPOSED RETAINING WALL	---
PROPOSED DECK OVERHANG PER LANDSCAPE SHEETS	---
PROPOSED DOMESTIC WATER METER AND BACKFLOW DEVICE	M&BF
PROPOSED FIRE SERVICE BACKFLOW	RP
PROPOSED PRIVATE FIRE HYDRANT	---
PROPOSED PRIVATE FDCPIV	---
PROPOSED CONCRETE SIDEWALK PER LANDSCAPE SHEETS	---
PROPOSED DECOMPOSED GRANITE PER LANDSCAPE SHEETS	---
PROPOSED ARTIFICIAL TURF PER LANDSCAPE SHEETS	---
EXISTING FEMA ZONE AE PER MAP NUMBER 06073C2154H REVISED APRIL 5, 2016	---
EXISTING FEMA ZONE X PER MAP NUMBER 06073C2154H REVISED APRIL 5, 2016	---
SITE SECTION (SEE SHEET C012)	---

GRADING QUANTITIES

TOTAL SITE AREA	5.92 ACRES
GRADED AREA	5.50 ACRES
CUT QUANTITIES	15,000 CY
FILL QUANTITIES	38,500 CY
IMPORT	23,500 CY
MAX CUT DEPTH	13 FT
MAX FILL DEPTH	25 FT
MAX SLOPE	2:1

NOTE: THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THEIR OWN INDEPENDENT QUANTITY & MATERIAL TAKE-OFFS TO CONSTRUCT THE DESIGN AS INDICATED ON THESE DRAWINGS & IN CONFORMANCE WITH THE PROJECT'S GEOTECHNICAL REPORT & SUBSEQUENT UPDATE LETTERS.

REMEDIAL GRADING QUANTITIES

TOTAL VOLUME	67,000 CY
MAX CUT	17 FT

- ### STORM DRAINAGE SYSTEM
- THIS PROJECT WILL NOT DISCHARGE ANY INCREASE IN STORM WATER RUN-OFF ONTO THE EXISTING HILLSIDE AREAS.
 - AT THE STORM WATER DISCHARGE LOCATIONS, SUITABLE ENERGY DISSIPATORS ARE TO BE INSTALLED TO REDUCE THE DISCHARGE TO NON-ERODIBLE VELOCITIES.
 - MULTIPLE STORM WATER DISCHARGE LOCATIONS WILL BE USED TO MIMIC THE EXISTING DRAINAGE PATTERN.
 - RUNOFF QUALITY WILL BE MAINTAINED USING BEST MANAGEMENT PRACTICES (BMPs) IN ACCORDANCE WITH THE STORM WATER QUALITY MANAGEMENT PLAN (SWQMP). MODIFICATION OF BMP TYPE MAY BE REQUIRED DURING FINAL DESIGN OF PROJECT. MODIFICATIONS OR CHANGES SHALL BE ACCOMPLISHED BY APPROVED ADDENDUM TO THE SWQMP AT FINAL DESIGN. ALL STORM WATER BMPs SHALL BE MAINTAINED BY THE STORM WATER MANAGEMENT AND DISCHARGE CONTROL MAINTENANCE AGREEMENT EXECUTED WITH THE FINAL DESIGN.
 - ALL STORM DRAINS WILL BE 12 INCHES IN DIAMETER UNLESS OTHERWISE NOTED.
 - BIO SWALES TO BE CONSTRUCTED IN ACCORDANCE WITH EPA AND/OR CALIFORNIA STORM WATER QUALITY ASSOCIATION GUIDELINES.
 - THE DRAINAGE SYSTEM PROPOSED FOR THIS SUBDIVISION AS SHOWN ON THE VESTING TENTATIVE MAP IS SUBJECT TO FINAL APPROVAL BY THE CITY ENGINEER DURING FINAL DESIGN.
 - ALL GRATE INLETS SHALL HAVE GRATES SAFE FOR PEDESTRIAN AND ARE TRAFFIC RATED.

STORM WATER CISTERN TABLE

BMP ID	BMP TYPE	STRUCTURAL BMP ID	OWNERSHIP	BMP VOLUME REQUIRED*	BMP VOLUME PROVIDED*	VAULT FLOOR ELEV.	PONDING ELEV.	VAULT SOFFIT	VAULT IE IN	VAULT IE OUT	LOW FLOW ORIFICE SIZE (IN)	OVERFLOW WEIR LENGTH (FT)	OVERFLOW WEIR HEIGHT (FT)	OVERFLOW WEIR ELEV.
1	CISTERN (HU-1)	BMP 1	AMBIENT COMMUNITIES	7,192 CF	7,192 CF	37.00	42.37	42.67	38.00	37.00	4"	14	0.3	42.37
2	CISTERN (HU-1)	BMP 2	AMBIENT COMMUNITIES	14,807 CF	14,807 CF	33.50	38.67	38.17	34.50	33.50	6"	13	0.5	38.67

* BMP VOLUMES INCLUDE A 26" GRAVEL LAYER FOR BMP 1 AND AN 23" GRAVEL LAYER FOR BMP 2, BELOW THE VAULT.

ONSITE UTILITY TABLE

UTILITY TYPE	UTILITY STATUS	UTILITY NOTES
WATER	UNDERGROUND	PROPOSED
SEWER	UNDERGROUND	PROPOSED
STORM DRAIN	UNDERGROUND	PROPOSED
FIRE	UNDERGROUND	PROPOSED
ELECTRICAL	UNDERGROUND	EXISTING OVERHEAD UTILITY TO BE UNDERGROUNDED PER SDGE WORK ORDER NO.
GAS	UNDERGROUND	PROPOSED

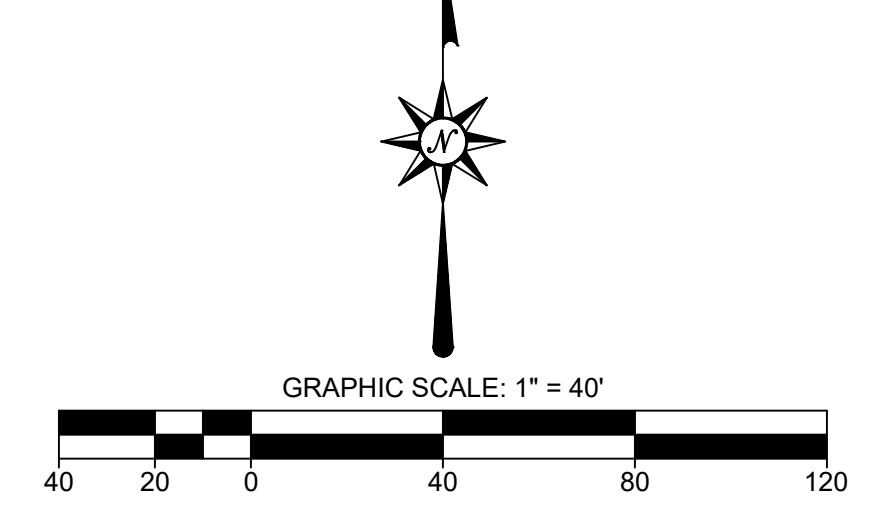
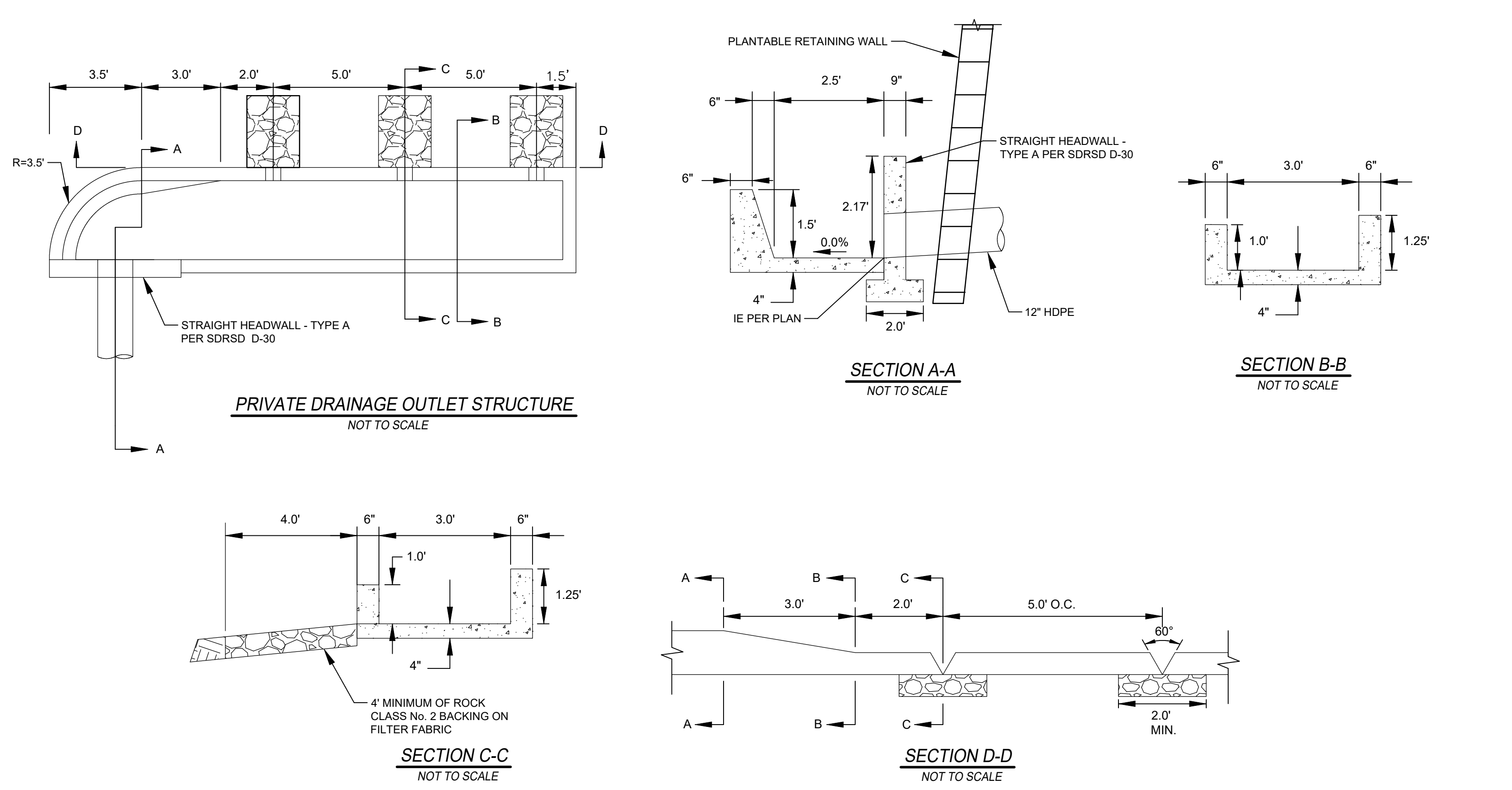
NOTE: THE SUBDIVIDER SHALL ENSURE THAT ALL ONSITE UTILITIES SERVING THE SUBDIVISION SHALL BE UNDERGROUNDED WITH THE APPROPRIATE PERMITS

IMPERVIOUS AREAS

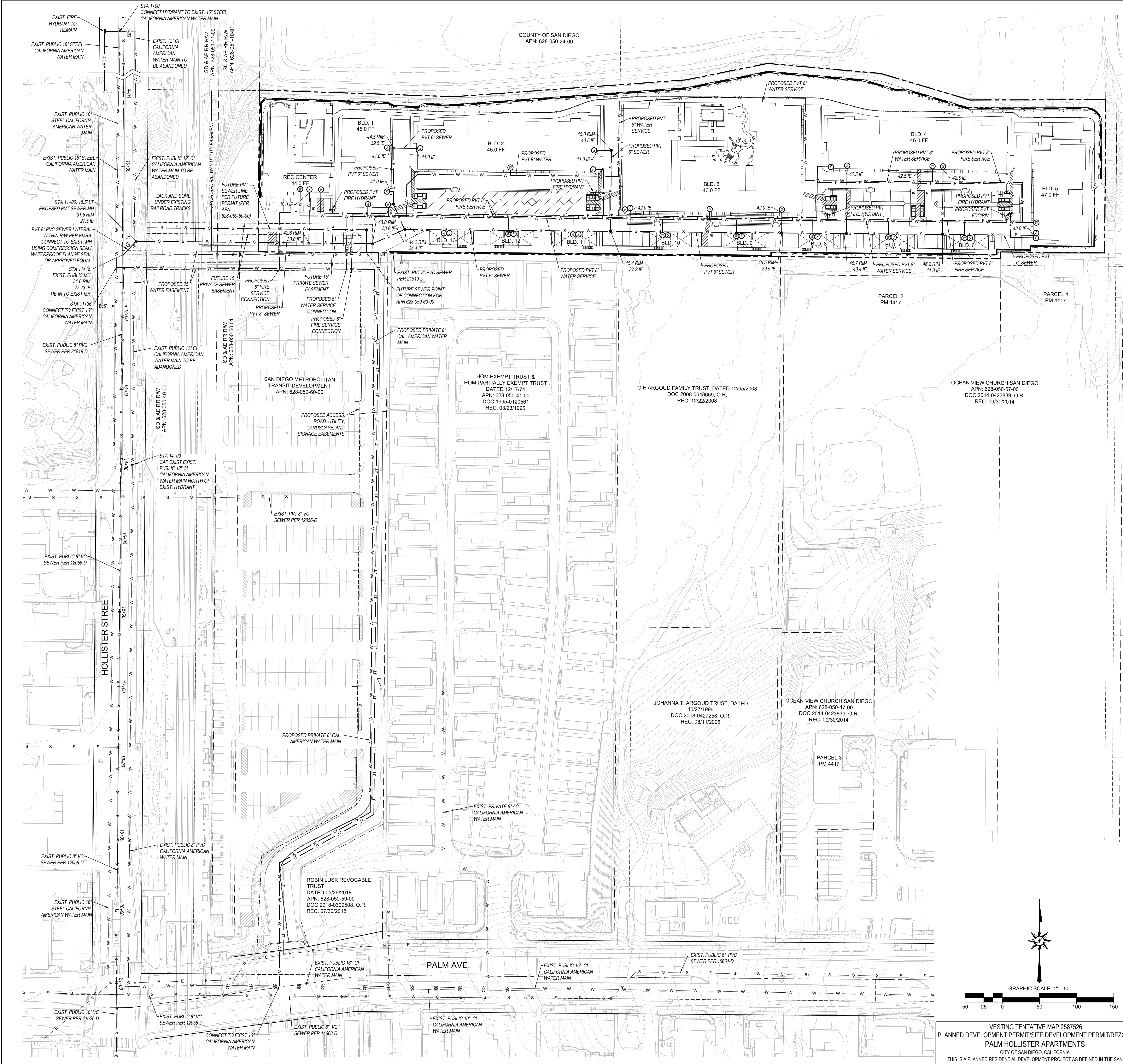
TOTAL DISTURBANCE AREA: 5.59 ACRES
 EXISTING AMOUNT OF IMPERVIOUS AREA: 0.07 ACRES
 PROPOSED AMOUNT OF IMPERVIOUS AREA: 4.28 ACRES
 AMOUNT OF REPLACED IMPERVIOUS AREA: 0.07 CY
 EXISTING AMOUNT OF PERVIOUS AREA: 5.85 CY
 PROPOSED AMOUNT OF PERVIOUS AREA: 1.31 ACRES
 TOTAL IMPERVIOUS AREA: 4.28 ACRES
 IMPERVIOUS % INCREASE: 6114%

STORM WATER BMP NOTE:

THE PROPOSED PROJECT WILL COMPLY WITH ALL THE REQUIREMENTS OF THE CURRENT CITY OF SAN DIEGO STORM WATER STANDARDS MANUAL BEFORE A GRADING OR BUILDING PERMIT IS ISSUED. IT IS THE RESPONSIBILITY OF THE OWNER/DESIGNER/APPLICANT TO ENSURE THAT THE CURRENT STORM WATER PERMANENT BMP DESIGN STANDARDS ARE INCORPORATED INTO THE PROJECT.



APPROVAL NUMBERS: VESTING TENTATIVE MAP APPROVAL NO. 2587526 SDP APPROVAL NO. 2587528 NDP APPROVAL NO. 2596225 REZONE NO. 2587530	VESTING TENTATIVE MAP 2587526 PLANNED DEVELOPMENT PERMIT/SITE DEVELOPMENT PERMIT/REZONE PALM HOLLISTER APARTMENTS CITY OF SAN DIEGO, CALIFORNIA THIS IS A PLANNED RESIDENTIAL DEVELOPMENT PROJECT AS DEFINED IN THE SAN DIEGO LAND DEVELOPMENT CODE	PROJECT ADDRESS: 555 HOLLISTER STREET SAN DIEGO, CA 92114	SHEET NO. / TITLE: GRADING AND DRAINAGE SHEET C005	PROJECT NO.: 698277 REVISION 10: _____ REVISION 9: _____ REVISION 8: _____ REVISION 7: _____ REVISION 6: _____ REVISION 5: _____ REVISION 4: 12/02/22 REVISION 3: 07/08/22 REVISION 2: 03/22/22 ORIGINAL DATE: 11/11/21
			PREPARED BY: PASCO LARET SUITER & ASSOCIATES San Diego Encinitas Orange County Phone 858.259.8212 www.plsaengineering.com	



LEGEND

PROPERTY LINE	---
RIGHT-OF-WAY	---
PROPOSED EASEMENT LINE	---
ADJACENT PARCEL LINE	---
ROADWAY CENTERLINE	---
EXISTING INDEX CONTOUR	25
EXISTING SEWER MANHOLE / MAIN	○ S
EXISTING PUBLIC SANITARY SEWER MAIN	— S — S
EXISTING PUBLIC WATER MAIN	— W — W
PROPOSED 6" PCC CURB	====
PROPOSED 6" PCC CURB & GUTTER	=====
PROPOSED SEWER MANHOLE (SMH)	○ S
PROPOSED PRIVATE FIRE MAIN	— F — F
PROPOSED PRIVATE WATER MAIN	— W — W
PROPOSED PRIVATE SANITARY SEWER MAIN	— S — S
PROPOSED DRY UTILITY JOINT TRENCH	— JT —
BUILDING FIRE SERVICE	⊙
BUILDING WATER SERVICE	⊙
BUILDING SEWER SERVICE	⊙
PROPOSED RETAINING WALL	—
PROPOSED PRIVATE FIRE HYDRANT	⊙
PROPOSED PRIVATE FDC/PIV	⊙
PROPOSED DOMESTIC WATER METER AND BACKFLOW	⊙
PROPOSED FIRE SERVICE BACKFLOW	⊙

GENERAL UTILITY NOTES

WATER SYSTEM*

- ALL PRIMARY FIRE DISTRIBUTION LINES WILL BE 8 INCHES IN DIAMETER UNLESS OTHERWISE NOTED.
- THE OWNER SHALL DESIGN AND CONSTRUCT ALL PUBLIC WATER FACILITIES, BOTH POTABLE AND RECLAIMED, AS REQUIRED AND NECESSARY TO SERVE THIS DEVELOPMENT. WATER FACILITIES, AS SHOWN ON THE APPROVED VESTING TENTATIVE MAP MAY REQUIRE MODIFICATION BASED ON FINAL ENGINEERING.
- THE OWNER SHALL INSTALL FIRE HYDRANTS AT LOCATION SATISFACTORY TO THE FIRE DEPARTMENT AND THE CITY ENGINEER. IF MORE THAN TWO (2) FIRE HYDRANTS ARE LOCATED ON A DEAD END MAIN THEN THE OWNER SHALL INSTALL A REDUNDANT WATER SYSTEM SATISFACTORY TO THE WATER DEPARTMENT DIRECTOR. FIRE HYDRANTS WILL BE INSTALLED SO THAT ALL BUILDINGS HAVE ACCESS WITHIN 300 FEET TO AT LEAST ONE HYDRANT, UNLESS OTHERWISE APPROVED BY THE FIRE MARSHALL.
- THE OWNER SHALL GRANT ADEQUATE WATER EASEMENTS INCLUDING VEHICULAR ACCESS TO EACH APURTENANCE (METERS, BLOW OFFS, VALVES, FIRE HYDRANTS, ETC.) FOR ALL PUBLIC WATER FACILITIES THAT ARE NOT LOCATED IN THE PUBLIC RIGHT-OF-WAY, SATISFACTORY TO THE WATER DEPARTMENT DIRECTOR.
- THE OWNER SHALL PROCESS ENCROACHMENT MAINTENANCE AND REMOVAL AGREEMENT (EMRA) FOR ALL ACCEPTABLE ENCROACHMENTS, INCLUDING BUT NOT LIMITED TO STRUCTURES, ENHANCED PAVING, OR LANDSCAPING, INTO ANY EASEMENT CONTAINING PUBLIC WATER FACILITIES. NO STRUCTURES OR LANDSCAPING OF ANY KIND SHALL BE INSTALLED IN OR OVER ANY VEHICULAR ACCESS ROADWAY.
- THE OWNER SHALL DESIGN AND CONSTRUCT ALL IRRIGATION SYSTEMS TO UTILIZE RECLAIMED WATER IN A MANNER SATISFACTORY TO THE WATER DEPARTMENT DIRECTOR.
- THE OWNER AGREES TO DESIGN AND CONSTRUCT ALL PROPOSED PUBLIC WATER METER FACILITIES INCLUDING BUT NOT LIMITED TO SERVICES, METERS, AND EASEMENT, IN ACCORDANCE WITH ESTABLISHED CRITERIA IN THE MOST CURRENT EDITION OF THE CITY OF SAN DIEGO WATER FACILITY DESIGN GUIDELINES AND THE CITY REGULATIONS, STANDARDS AND PRACTICES PERTAINING THERETO. WATER FACILITIES SHALL BE MODIFIED AT FINAL ENGINEERING TO COMPLY WITH STANDARDS.

PRIVATE SANITARY SEWER*

- PRIVATE SEWER FACILITIES THAT SERVICE MORE THAN ONE LOT WILL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH THE MOST CURRENT CITY OF SAN DIEGO SEWER DESIGN GUIDE. ACCORDINGLY, A SEWER STUDY, IMPROVEMENT DRAWINGS, AND INSPECTION BY THE FIELD ENGINEERING DIVISION WILL BE REQUIRED. ALL SEWERAGE FACILITIES ARE PRIVATELY OWNED AND MAINTAINED. THE CC&R'S FOR THIS DEVELOPMENT WILL OUTLINE RESPONSIBILITY AND MAINTENANCE REQUIREMENTS FOR THE ON-SITE PRIVATE SEWER SYSTEM FOR THIS PROJECT.
- NO LANDSCAPING WILL BE PERMITTED THAT OBSTRUCTS VEHICULAR ACCESS TO THE SEWER MAINS. NO TREES OR SHRUBS EXCEEDING THREE FEET IN HEIGHT AT MATURITY SHALL BE INSTALLED WITHIN 10 FEET OF ANY SEWER FACILITY OR LATERALS.
- ALL UTILITIES (PUBLIC OR PRIVATE) ARE REQUIRED TO MEET THE CITY'S DESIGN STANDARDS FOR SEPARATION. THE SEWER MAINS MUST BE 5' EDGE-TO-EDGE FROM STORM DRAIN AND 10' EDGE-TO-EDGE FROM ALL OTHER UTILITIES OR IMPROVEMENTS.
- PRIOR TO THE ISSUANCE OF ANY BUILDING PERMITS, THE DEVELOPER SHALL ASSURE, BY PERMIT AND BOND, THE DESIGN AND CONSTRUCTION OF ALL SEWER FACILITIES NECESSARY TO SERVE THIS DEVELOPMENT.

FIRE NOTES

- POST INDICATOR VALVES, FIRE DEPARTMENT CONNECTIONS, AND ALARM BELLS ARE TO BE LOCATED ON THE ADDRESS/ACCESS SIDE OF THE STRUCTURE.
- PROVIDE BUILDING ADDRESS NUMBERS, VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY PER FHPS POLICY P-00-6.

UTILITY EASEMENTS

- NEW UTILITY EASEMENTS WILL BE DEDICATED PER THE FINAL MAP BASED ON THE FINAL ENGINEERING AND DESIGN OF THE PUBLIC FACILITIES.

*ALL ON-SITE WATER AND SEWER SYSTEMS ARE PRIVATE.

BACKFLOW PREVENTION

ALL WATER SERVICES TO THE SITE, INCLUDING DOMESTIC, IRRIGATION AND FIRE, WILL REQUIRE PRIVATE, ABOVE GROUND BACK FLOW PREVENTION DEVICES (BFPDS). BFPDS SHALL BE LOCATED ON PRIVATE PROPERTY, IN LINE WITH THE SERVICE AND IMMEDIATELY ADJACENT TO THE RIGHT-OF-WAY. THE REQUIRED BFPDS TO BE LOCATED BELOW GRADE OR WITHIN THE STRUCTURE.

EMRA NOTE

PRIVATE SEWER LATERAL ENCROACHING INTO THE PUBLIC RIGHT OF WAY WILL REQUIRE AN ENCROACHMENT, MAINTENANCE AND REMOVAL AGREEMENT (EMRA).

APPROVAL NUMBERS:

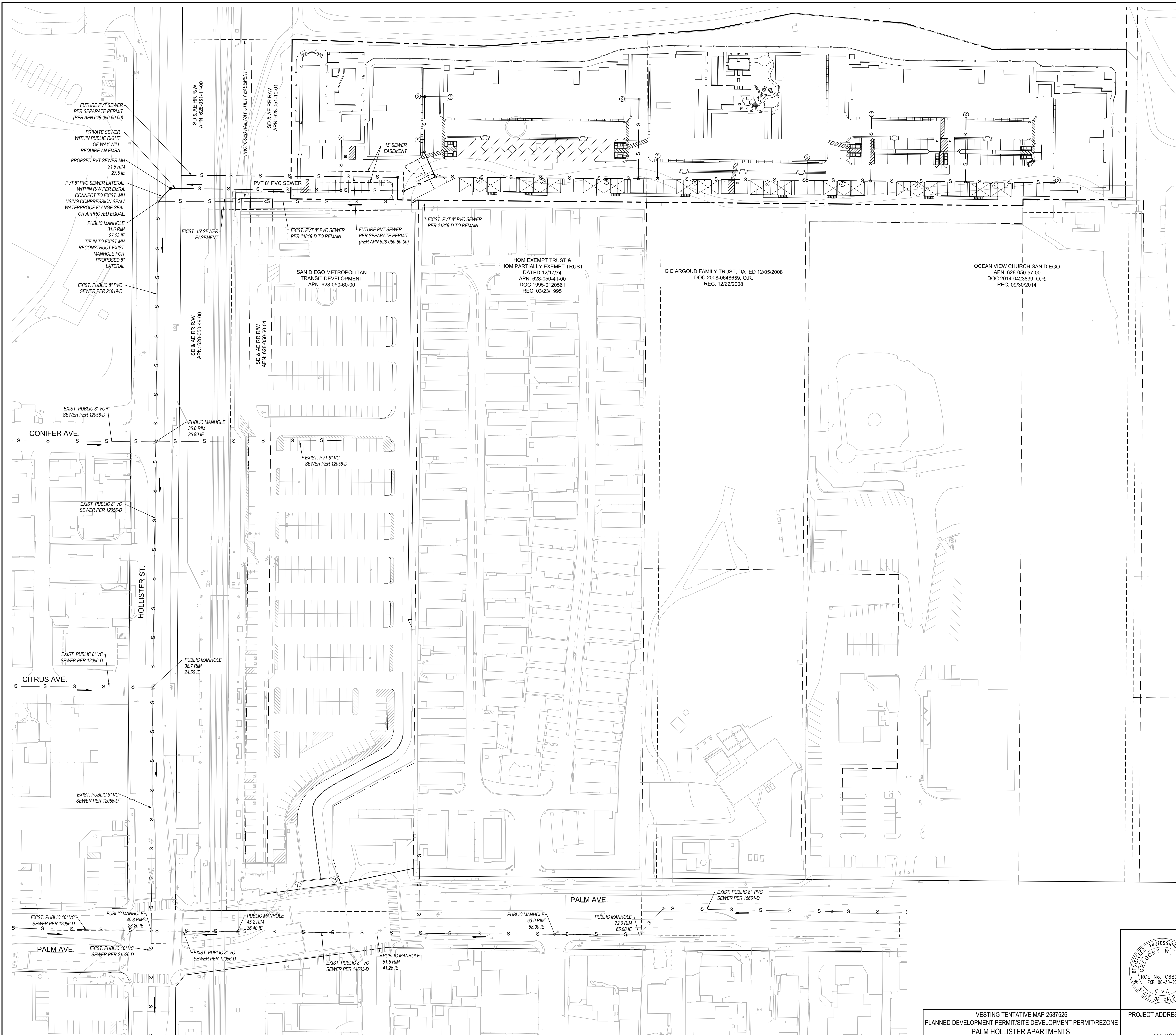
VESTING TENTATIVE MAP APPROVAL NO. 2587526
 SDP APPROVAL NO. 2587528
 NDP APPROVAL NO. 2596225
 REZONE NO. 2587530

	PREPARED BY: PASCO LARET SUITER & ASSOCIATES San Diego Encinitas Orange County Phone 858.259.8212 www.plsaengineering.com	PROJECT NO.: 698277
	PROJECT ADDRESS: 555 HOLLISTER STREET SAN DIEGO, CA 92154	SHEET No. / TITLE: SITE UTILITIES SHEET_C006

VESTING TENTATIVE MAP 2587526
 PLANNED DEVELOPMENT PERMIT/SITE DEVELOPMENT PERMIT/REZONE
PALM HOLLISTER APARTMENTS
 CITY OF SAN DIEGO, CALIFORNIA
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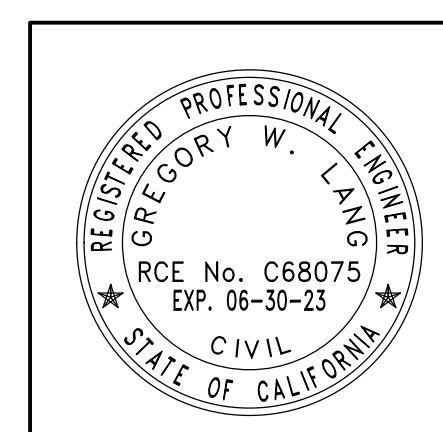
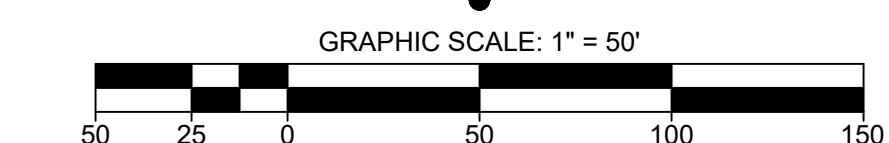
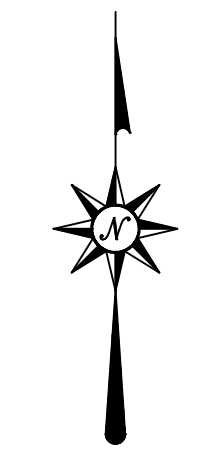
LEGEND

- PROPERTY LINE
- RIGHT-OF-WAY
- EASEMENT LINE
- ADJACENT PARCEL LINE
- EXISTING SEWER MANHOLE / MAIN
- EXISTING PUBLIC SANITARY SEWER MAIN
- PROPOSED SEWER MANHOLE (SMH)
- PROPOSED PRIVATE SANITARY SEWER MAIN
- BUILDING SEWER SERVICE
- SEWER FLOW DIRECTION



APPROVAL NUMBERS:

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 SDP APPROVAL NO. 2587528
 NDP APPROVAL NO. 2596225
 REZONE NO. 2587530



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REVISION 5:	
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REVISION 3:	07/08/22
REVISION 2:	03/22/22
REVISION 1:	
ORIGINAL DATE:	11/11/21

VESTING TENTATIVE MAP 2587526
 PLANNED DEVELOPMENT PERMIT/SITE DEVELOPMENT PERMIT/REZONE
PALM HOLLISTER APARTMENTS
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PROJECT ADDRESS:
 555 HOLLISTER STREET
 SAN DIEGO, CA 92154

SHEET No. / TITLE:
 PUBLIC SEWER
 SHEET_C007

MATCH LINE - SEE SHEET C008

LEGEND

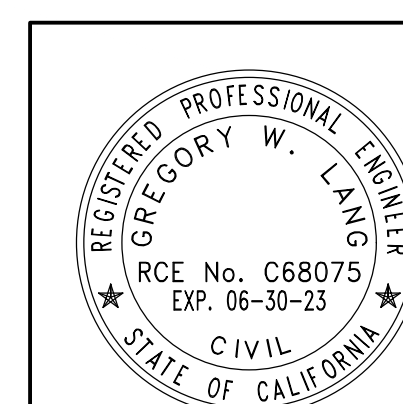
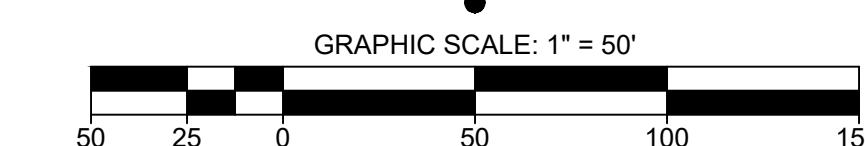
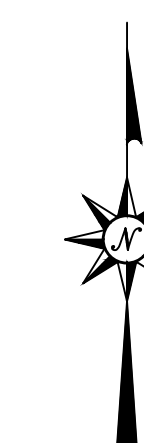
- RIGHT-OF-WAY
- EXISTING PUBLIC SANITARY SEWER MAIN S
- EXISTING PUBLIC SANITARY SEWER MANHOLE
- SEWER FLOW DIRECTION ←



MATCH LINE - SEE SHEET C009

APPROVAL NUMBERS:

VESTING TENTATIVE MAP APPROVAL NO. 2587526
 SDP APPROVAL NO. 2587528
 NDP APPROVAL NO. 2596225
 REZONE NO. 2587530



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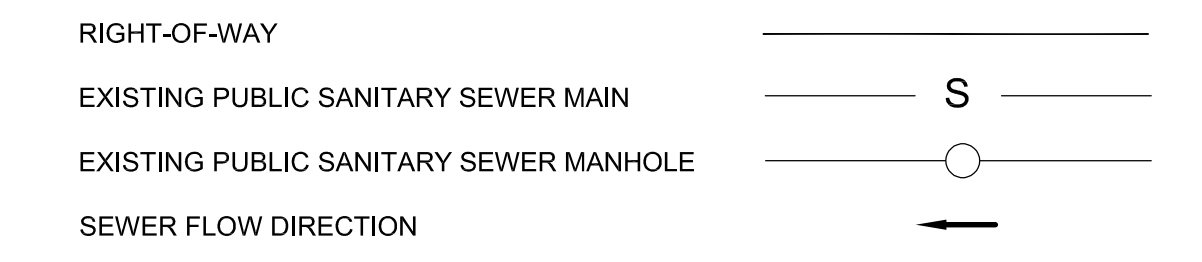
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 555 HOLLISTER STREET
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SHEET No. / TITLE:
 PUBLIC SEWER
 SHEET_C008

ORIGINAL DATE: 11/11/21

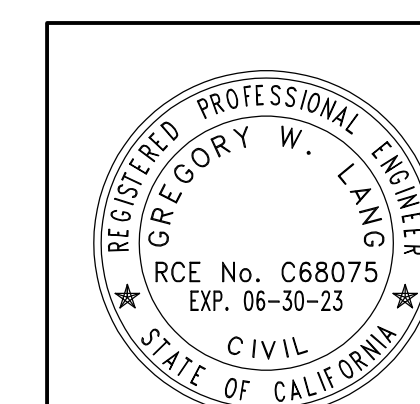
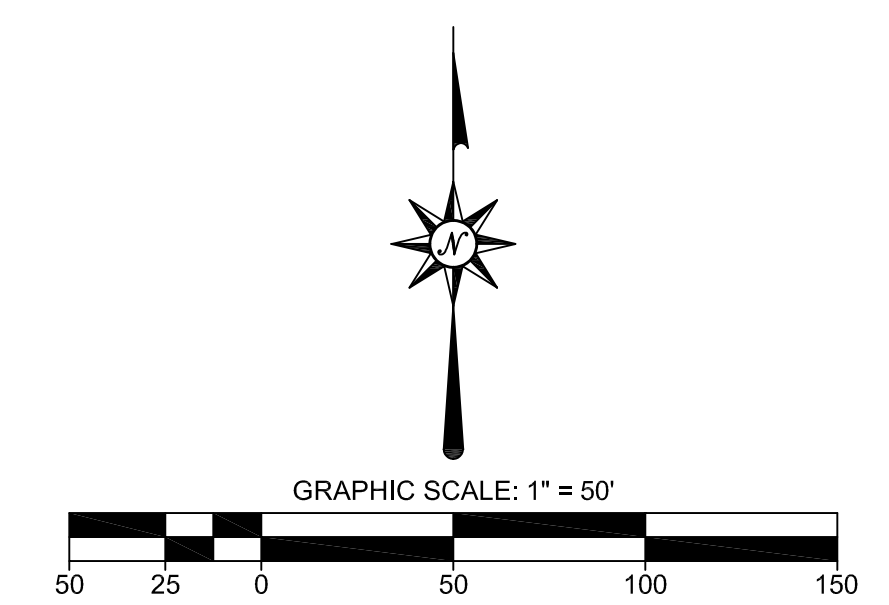
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MATCH LINE - SEE SHEET C008

APPROVAL NUMBERS:

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 NDP APPROVAL NO. 2586225
 REZONE NO. 2587530



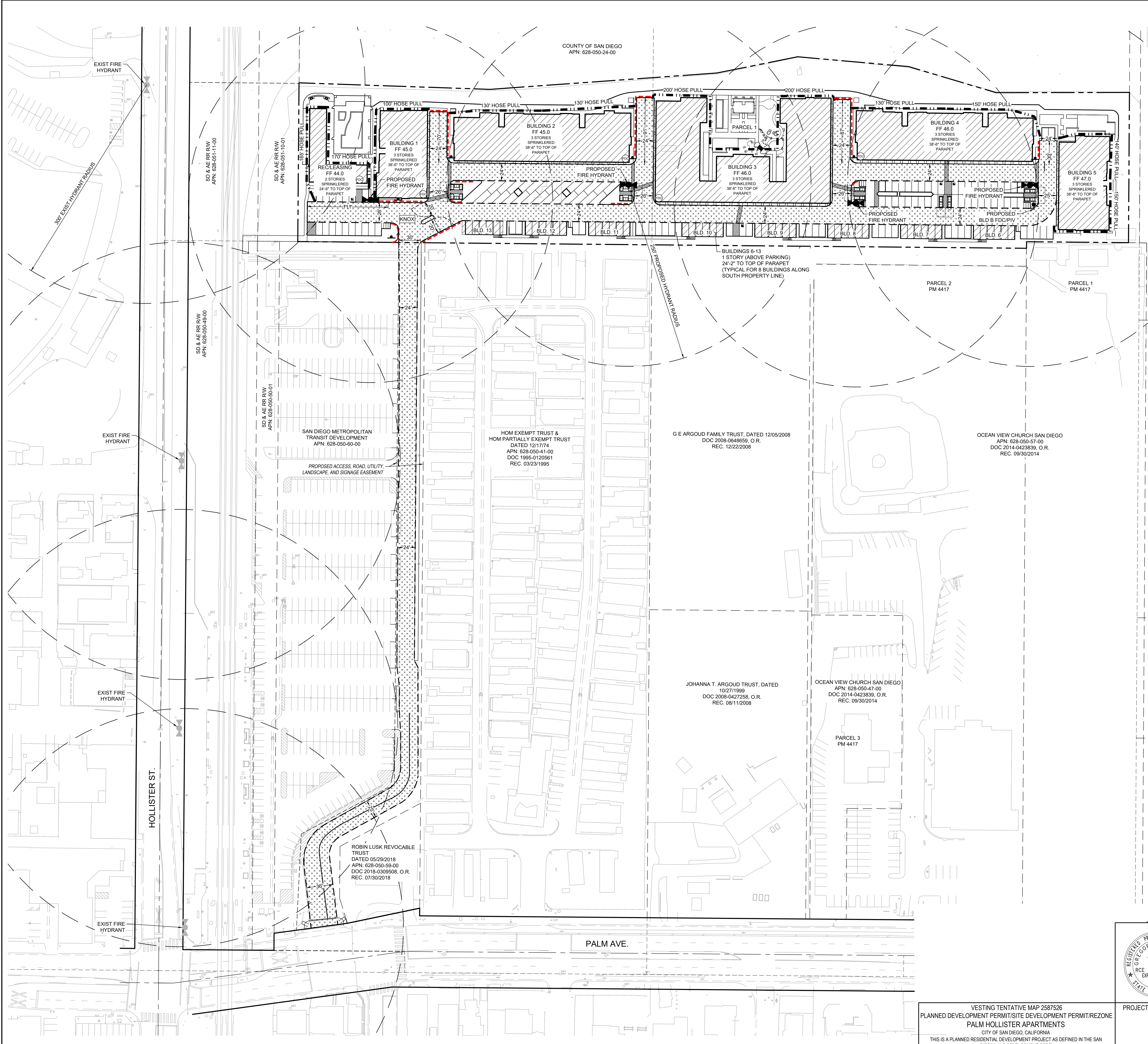
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VESTING TENTATIVE MAP 2587526
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PALM HOLLISTER APARTMENTS
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 SAN DIEGO, CA 92154

SHEET No. / TITLE:
 PUBLIC SEWER
 SHEET_C009



LEGEND

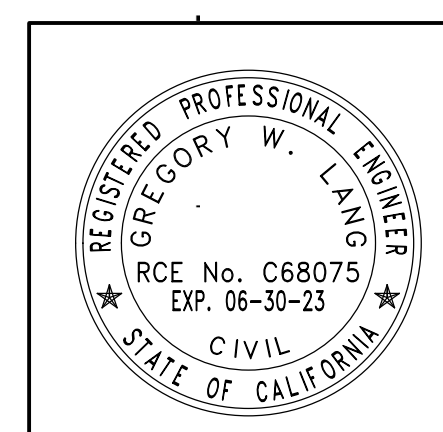
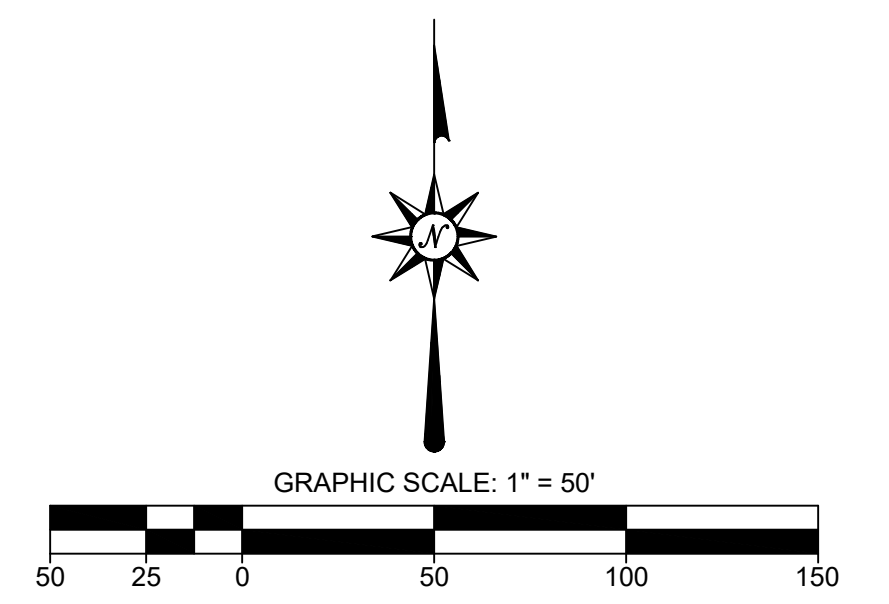
- PROPERTY LINE
- ADJACENT PARCEL LINE
- RIGHT-OF-WAY
- BUILDING FOOTPRINT
- HOSE EXTENSION AT BUILDING, FULLY SPRINKLERED
- RED PAINTED CURB
- PROPOSED FIRE HYDRANT WITH 250 FT RADIUS INDICATED
- EXISTING FIRE HYDRANT WITH 300 FT RADIUS INDICATED
- FIRE ACCESS LANE
- KNOX BOX MOUNTED BETWEEN 5 FT - 7 FT ABOVE FINISHED GRADE MEASURED FROM THE TOP OF THE BOX
- PROPOSED FDC/PIV
- "NO PARKING FIRE LANE" SIGN
- BUILDING MOUNTED PIV/FDC
- FIRE HYDRANT RADIUS

FIRE ACCESS ROAD NOTE

MINIMUM INSIDE TURNING RADI OF FIRE ACCESS ROADS ARE 18'-4" AND MINIMUM WALL TO WALL TURNING RADI ARE 38'-8" TO MEET PIERCE FIRE TRUCK TURNING REQUIREMENTS FOR THE CITY OF SAN DIEGO.

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SHEET No. / TITLE:
 FIRE ACCESS PLAN
 SHEET C010

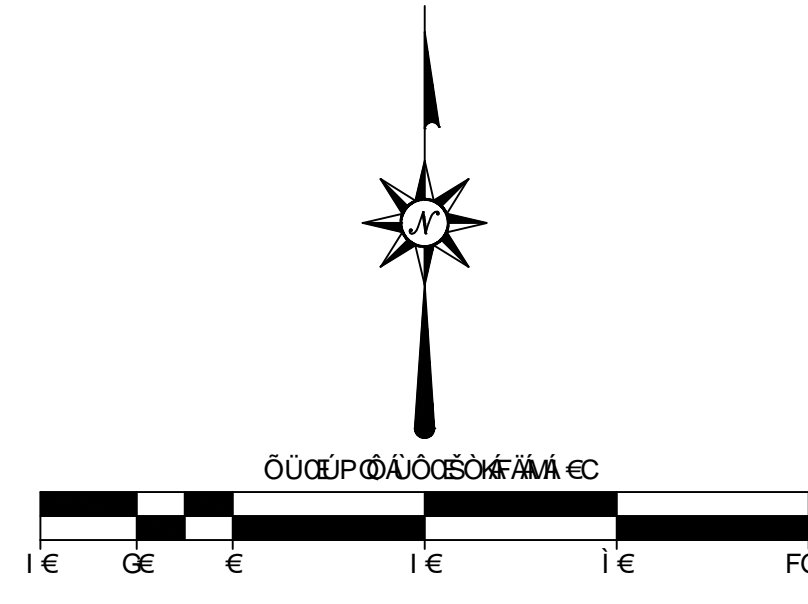
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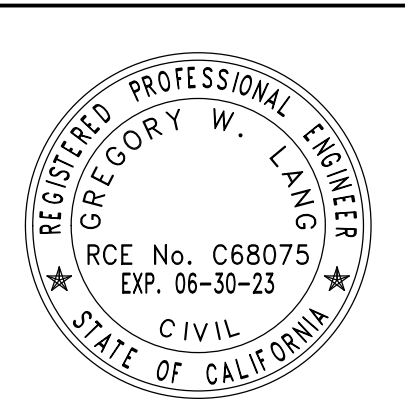
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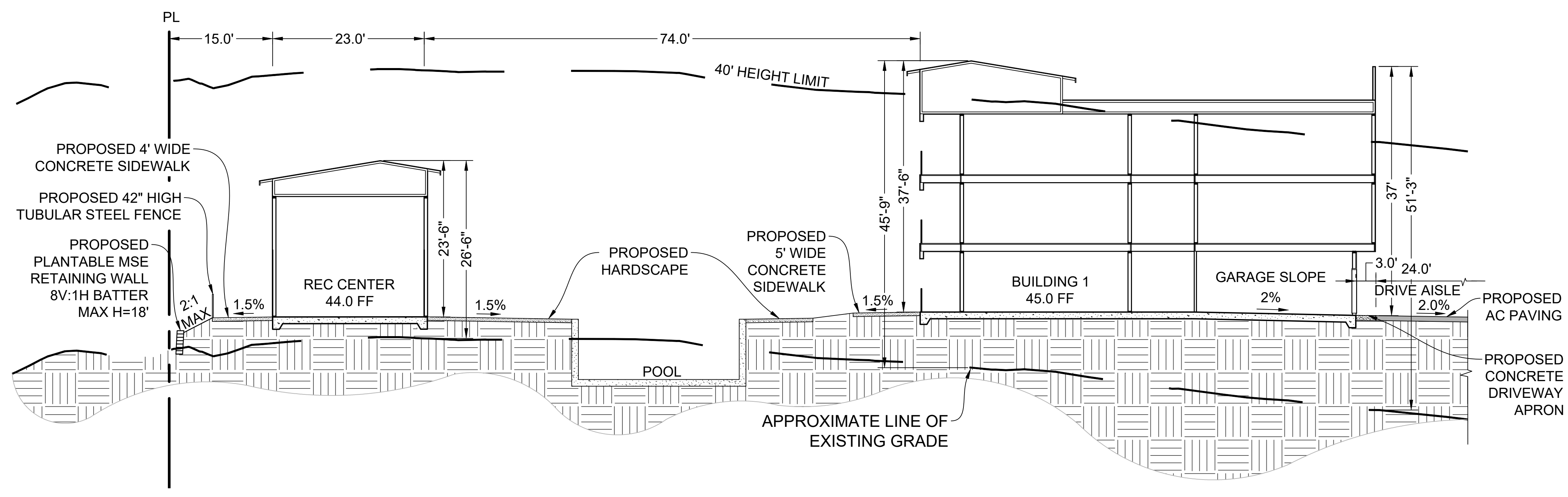


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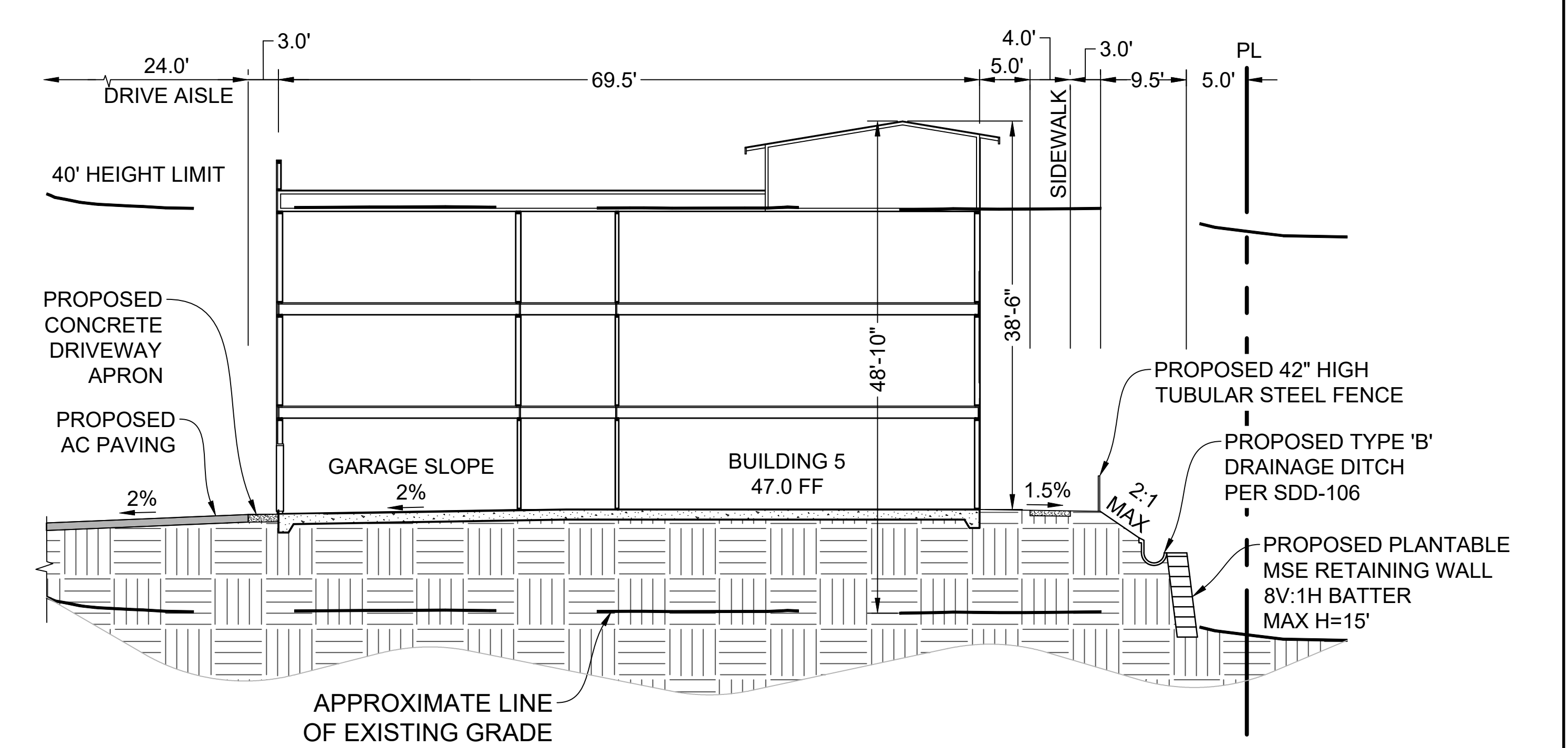
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 THIS IS A PLANNED RESIDENTIAL DEVELOPMENT PROJECT AS DEFINED IN THE SAN DIEGO LAND DEVELOPMENT CODE



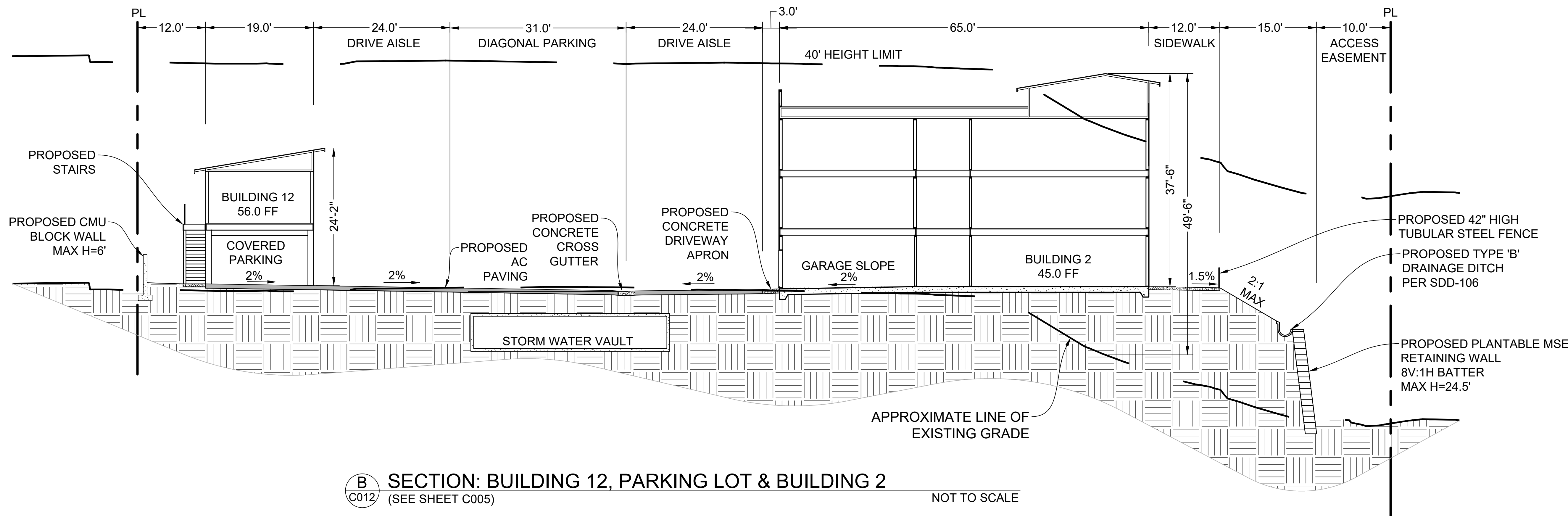
PREPARED BY: PASCO LARET SUITER & ASSOCIATES San Diego Encinitas Orange County Phone 858.259.8212 www.plsaengineering.com	PROJECT ADDRESS: 555 HOLLISTER STREET SAN DIEGO, CA 92154	SHEET No. / TITLE: ÚÓÓÓÚÚÚÚÚÚ SHEET 0EFF	PROJECT NO.: 698277 REVISION 10: _____ REVISION 9: _____ REVISION 8: _____ REVISION 7: _____ REVISION 6: _____ REVISION 5: _____ REVISION 4: 12/02/22 REVISION 3: 07/08/22 REVISION 2: 03/22/22 REVISION 1: _____ ORIGINAL DATE: 11/11/21
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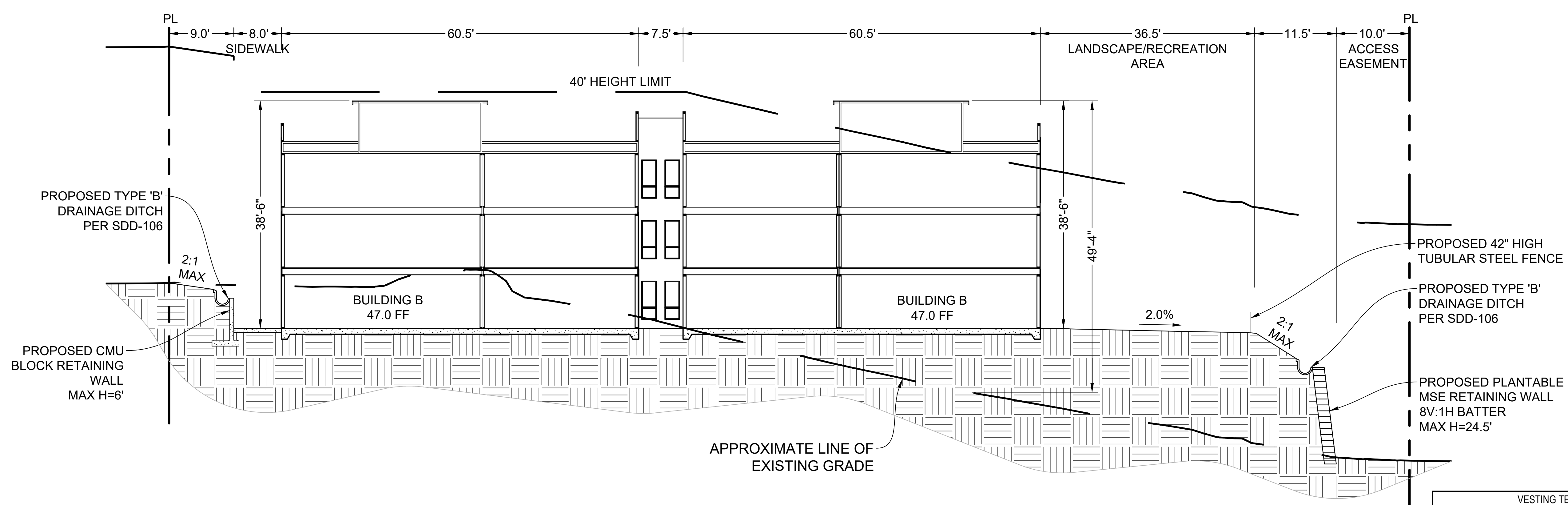
A SECTION: REC CENTER, POOL & BUILDING 1
 (SEE SHEET C005) NOT TO SCALE



C SECTION: BUILDING 5 (EAST-WEST)
 (SEE SHEET C005) NOT TO SCALE

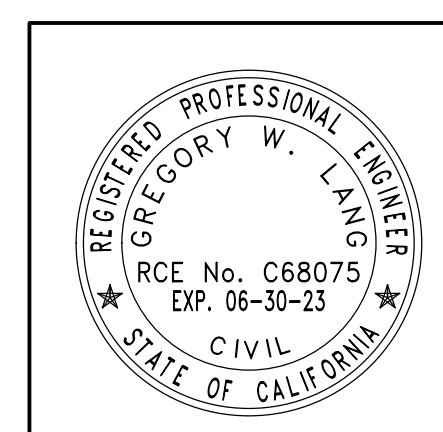


B SECTION: BUILDING 12, PARKING LOT & BUILDING 2
 (SEE SHEET C005) NOT TO SCALE



D SECTION: BUILDING 5 (NORTH-SOUTH)
 (SEE SHEET C005) NOT TO SCALE

APPROVAL NUMBERS:
 VESTING TENTATIVE MAP APPROVAL NO. 2587526
 SDP APPROVAL NO. 2587528
 NDP APPROVAL NO. 2596225
 REZONE NO. 2587530



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PROJECT NO.:	698277
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REVISION 9:	
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REVISION 1:	03/22/22
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VESTING TENTATIVE MAP 2587526
 PLANNED DEVELOPMENT PERMIT/SITE DEVELOPMENT PERMIT/REZONE
 PALM HOLLISTER APARTMENTS
 CITY OF SAN DIEGO, CALIFORNIA
 THIS IS A PLANNED RESIDENTIAL DEVELOPMENT PROJECT AS DEFINED IN THE SAN DIEGO LAND DEVELOPMENT CODE

PROJECT ADDRESS:
 555 HOLLISTER STREET
 SAN DIEGO, CA 92154

SHEET NO. / TITLE:
 SITE SECTIONS
 SHEET_C012