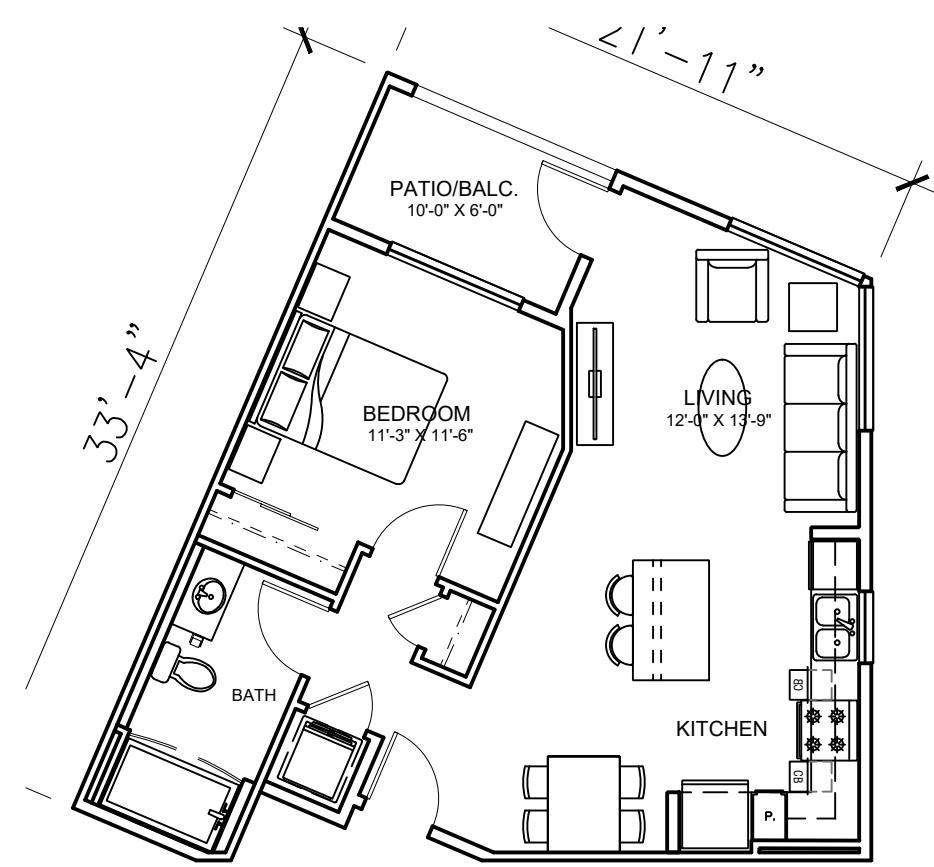
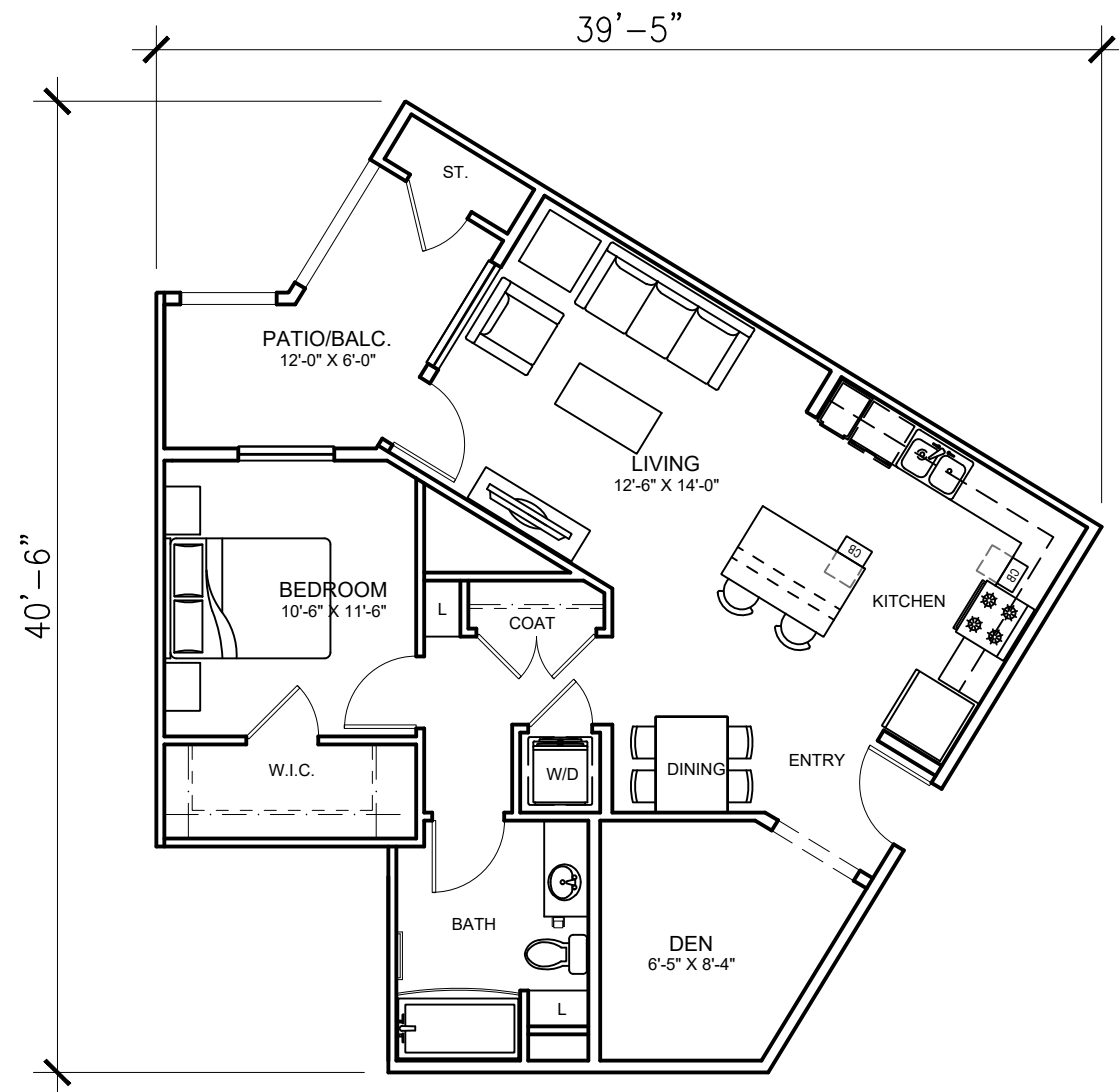




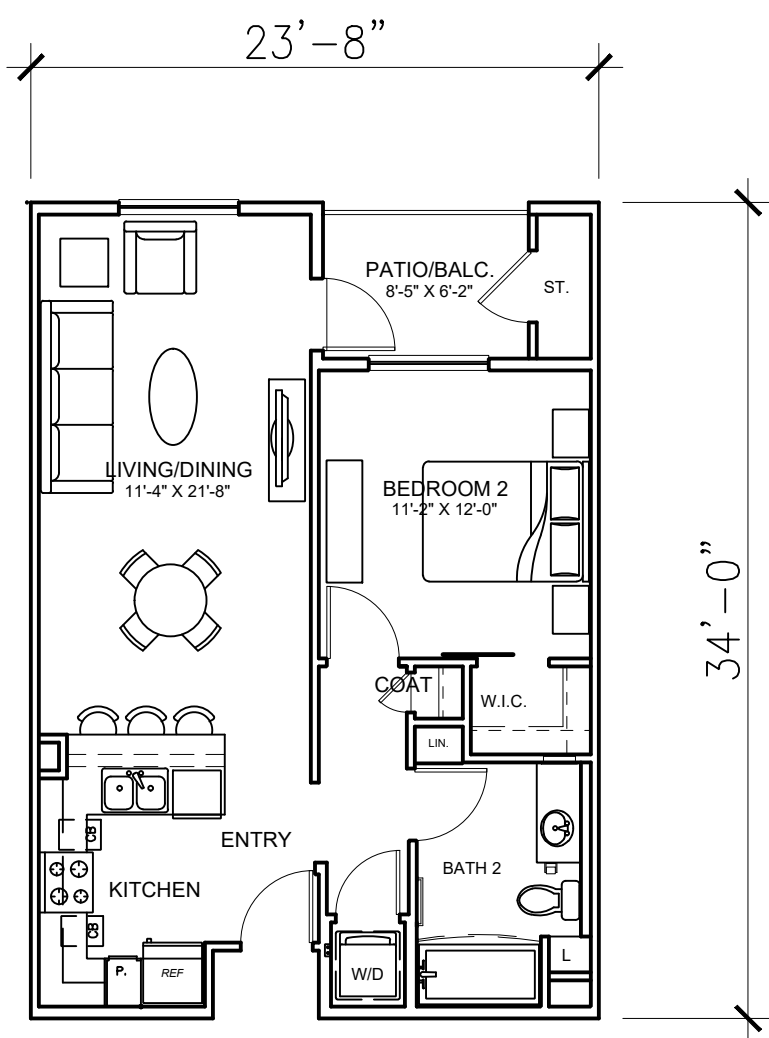
UNIT A5: 1BR / 1BA

LIVABLE AREA: 716 SQ. FT.
PATIO/BALCONY: 60 SQ. FT.



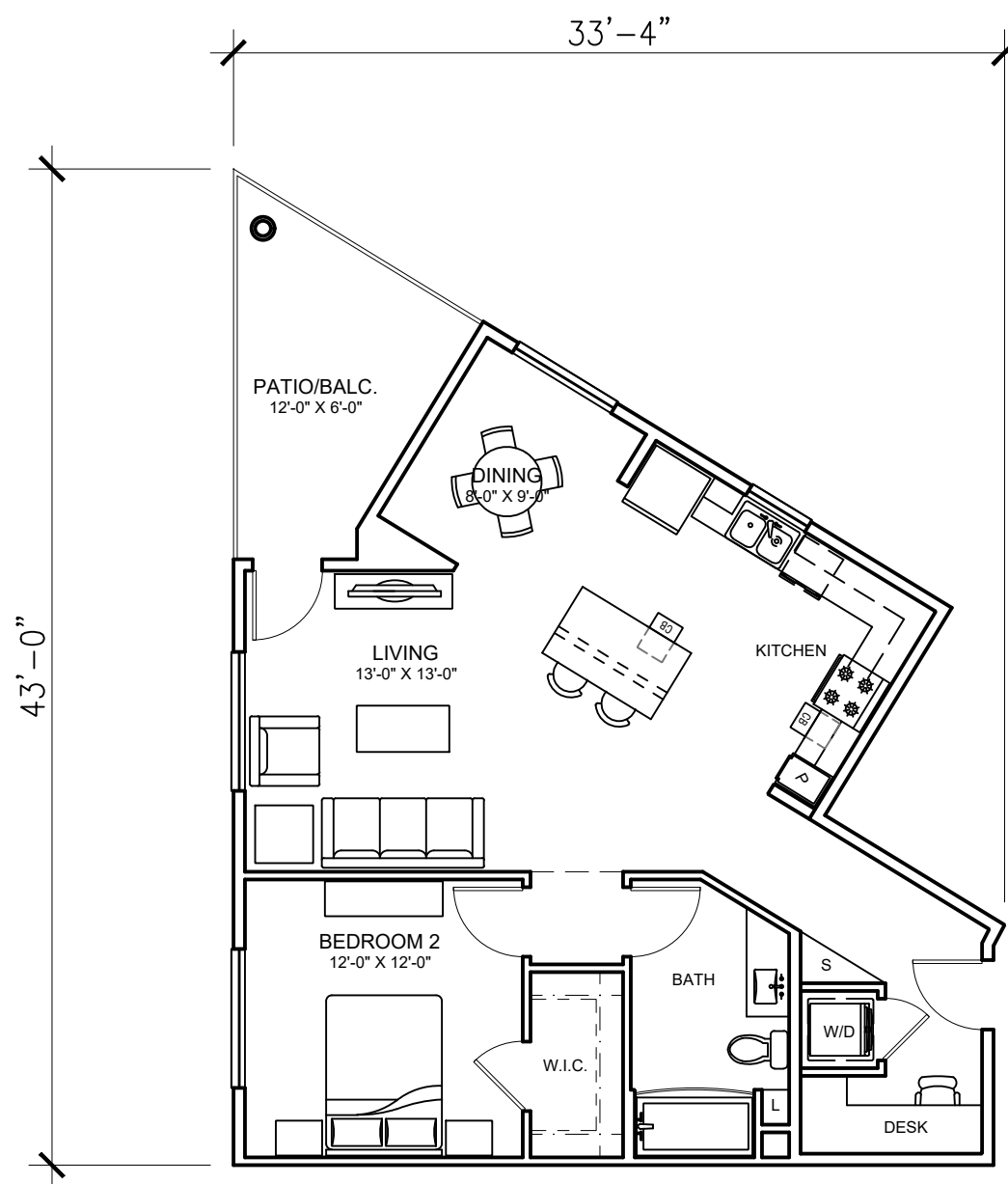
UNIT A7: 1BR +DEN / 1BA

LIVABLE AREA: 904 SQ. FT.
PATIO/BALCONY: 94 SQ. FT.



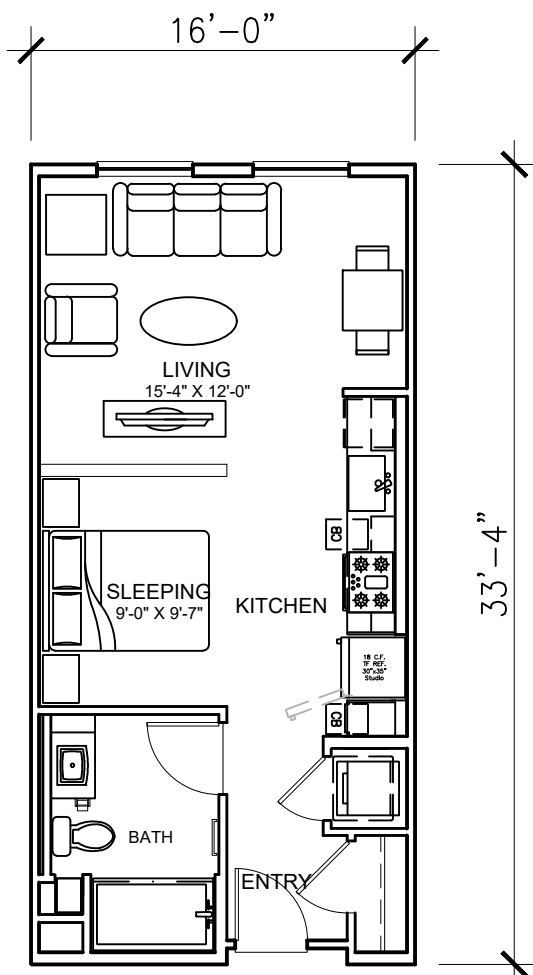
UNIT A8: 1BR / 1BA

LIVABLE AREA: 717 SQ. FT.
PATIO/BALCONY: 52 SQ. FT.



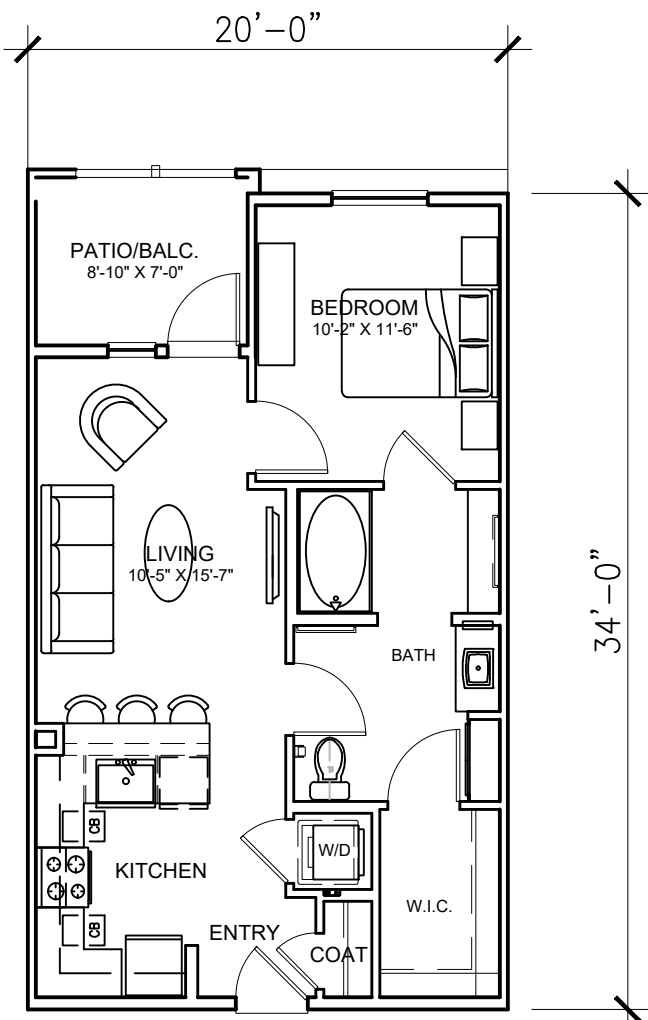
UNIT A10: 1BR / 1BA

LIVABLE AREA: 913 SQ. FT.
PATIO/BALCONY: 109 SQ. FT.



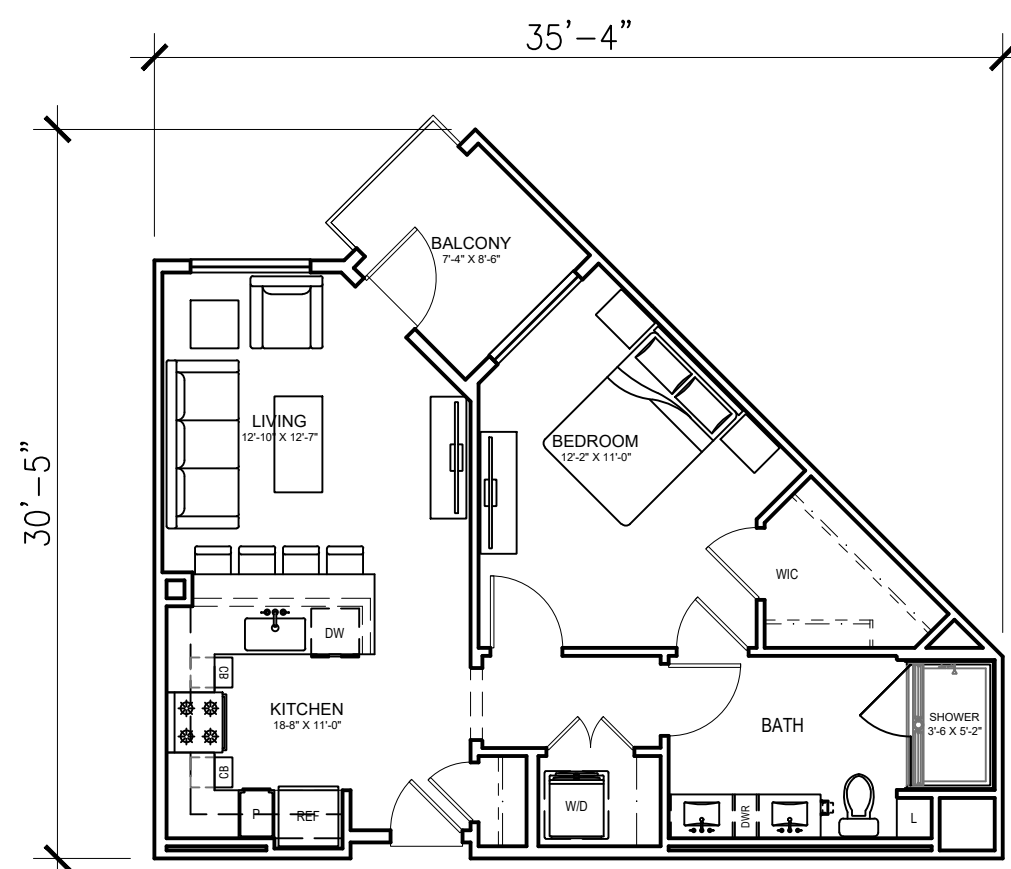
UNIT S1: STUDIO / 1BA

LIVABLE AREA: 530 SQ. FT.



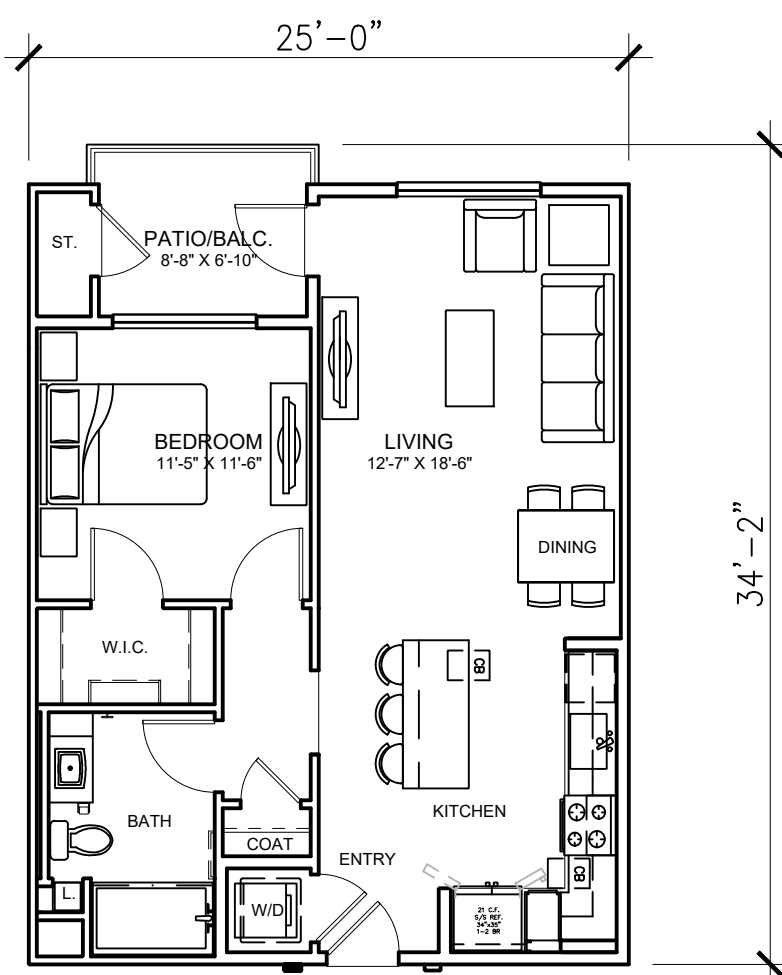
UNIT A0: JR 1BR / 1BA

LIVABLE AREA: 622 SQ. FT.
PATIO/BALCONY: 62 SQ. FT.



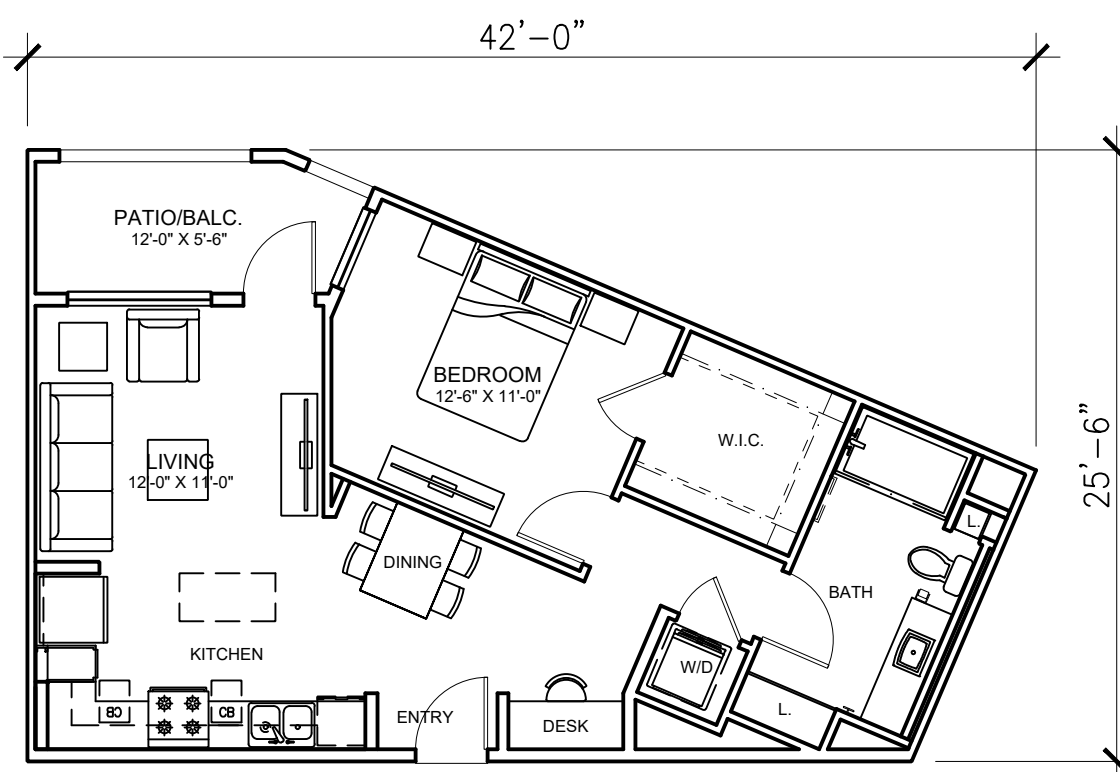
UNIT A1: 1BR / 1BA

LIVABLE AREA: 710 SQ. FT.
PATIO/BALCONY: 60 SQ. FT.



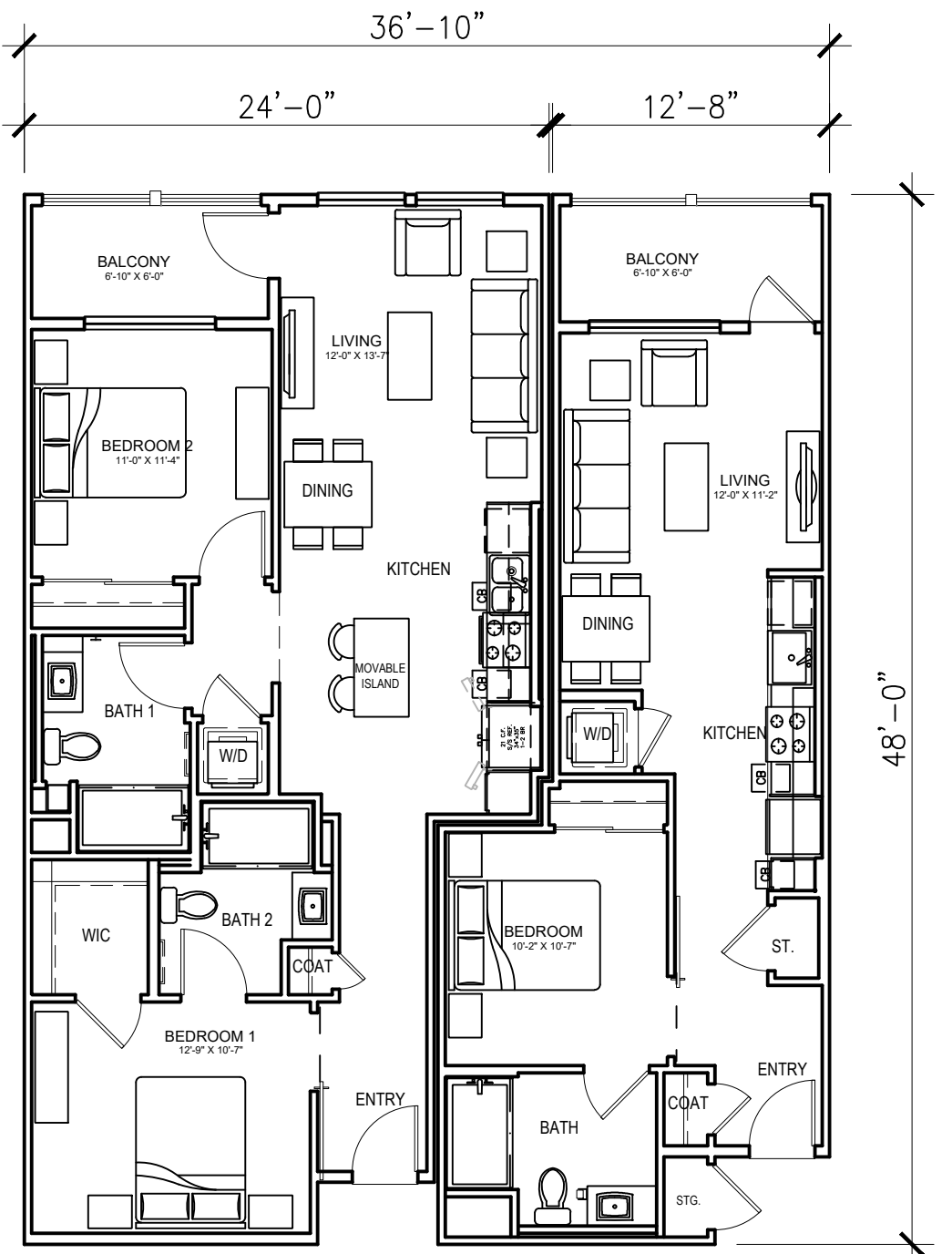
UNIT A2: 1BR / 1BA

LIVABLE AREA: 749 SQ. FT.
PATIO/BALCONY: 60 SQ. FT.



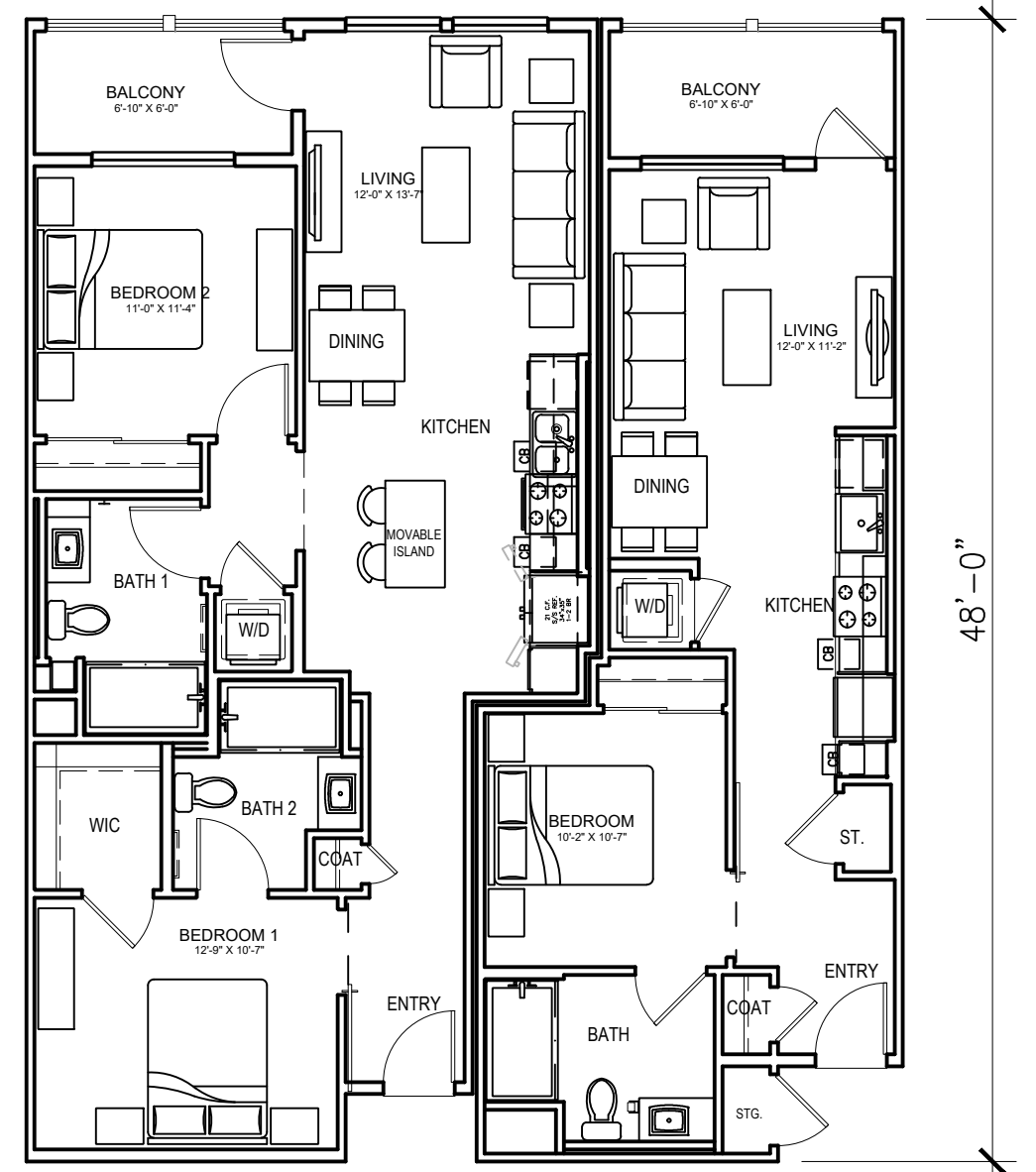
UNIT A4: 1BR / 1BA

LIVABLE AREA: 751 SQ. FT.
PATIO/BALCONY: 70 SQ. FT.



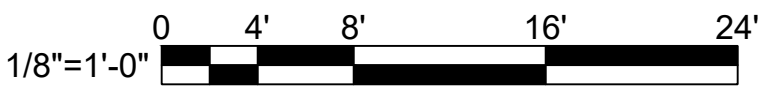
UNIT B3: 2BR / 2BA

LIVABLE AREA: 971 SQ. FT.
PATIO/BALCONY: 56 SQ. FT.



UNIT A3: 1BR / 1BA

LIVABLE AREA: 605 SQ. FT.
PATIO/BALCONY: 66 SQ. FT.



UNIT PLANS

A3.11

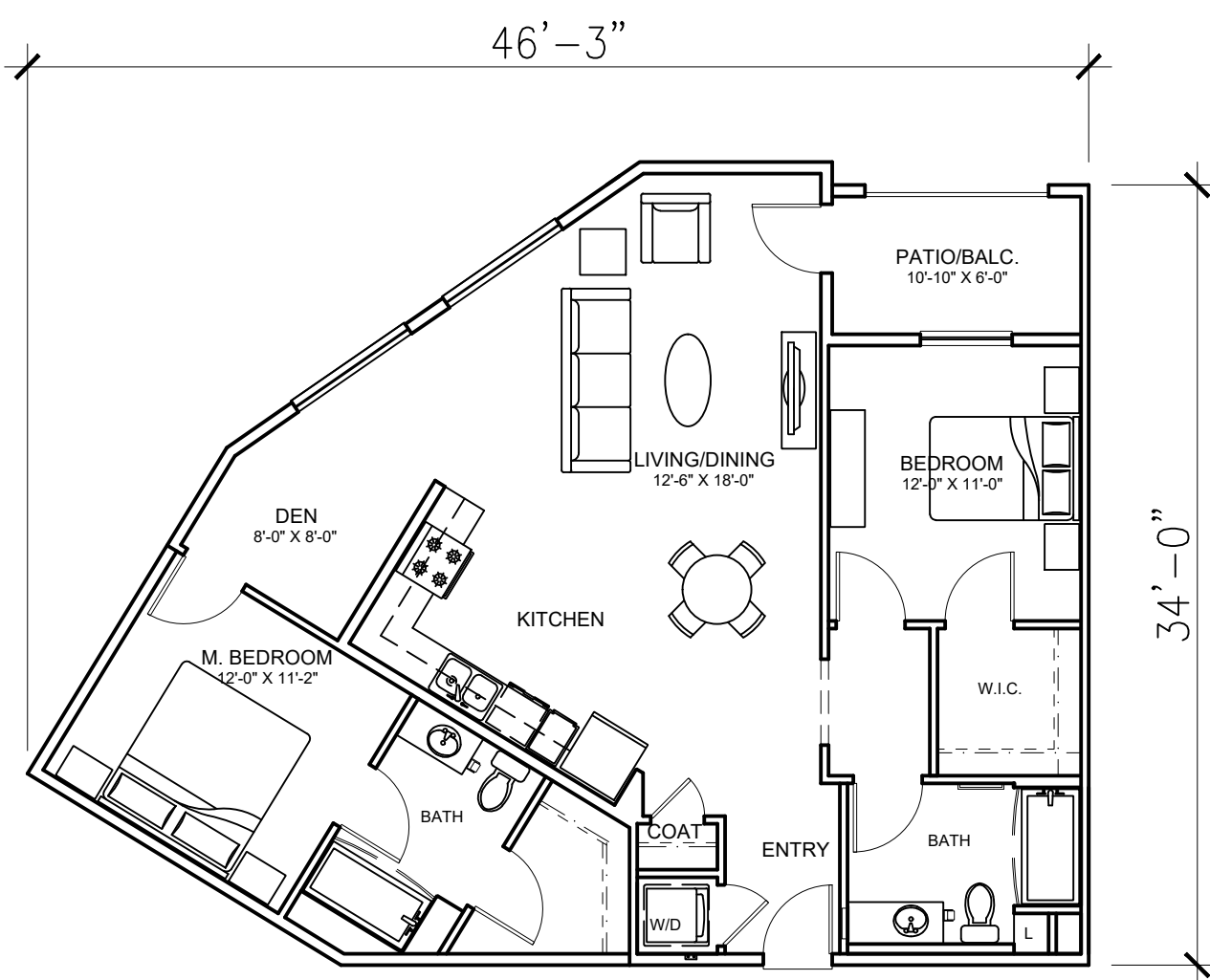
SHEET 25 OF 43

DATE: 10-03-22
JOB NO.: 2020-020

AO ARCHITECTS

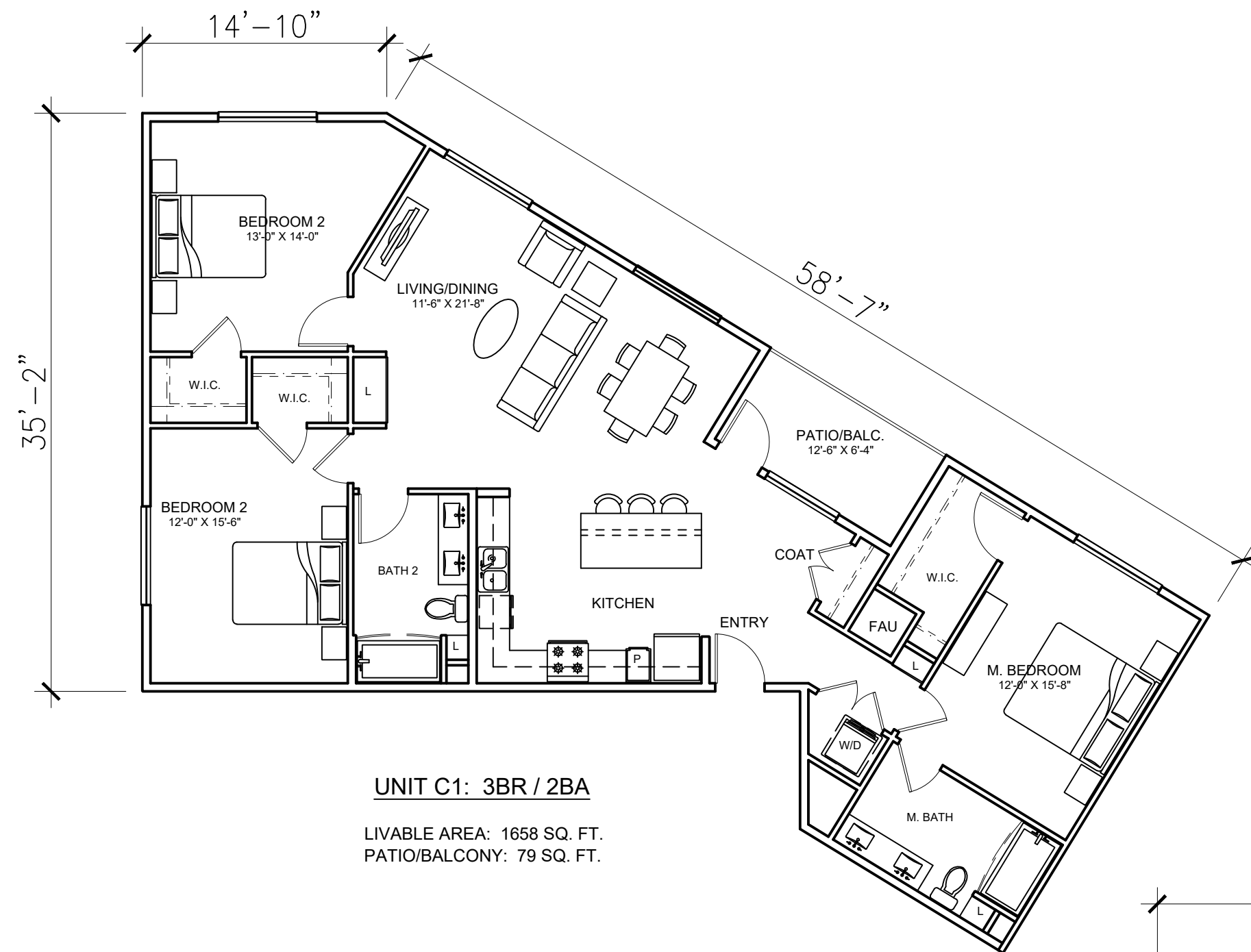
144 NORTH ORANGE ST., ORANGE, CA 92866
(714) 639-9860





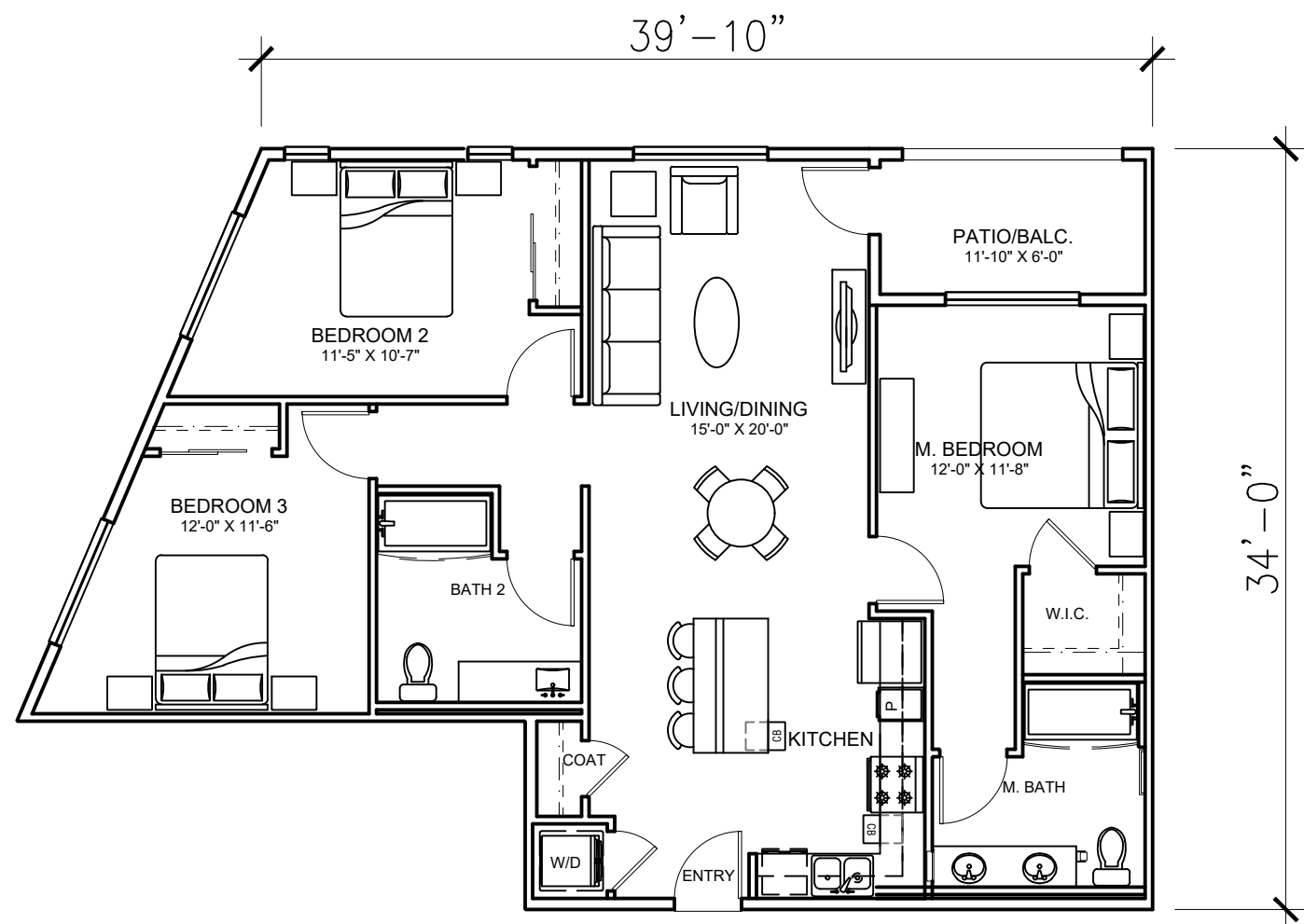
UNIT B9: 2BR+DEN / 2BA

LIVABLE AREA: 1196 SQ. FT.
PATIO/BALCONY: 65 SQ. FT.



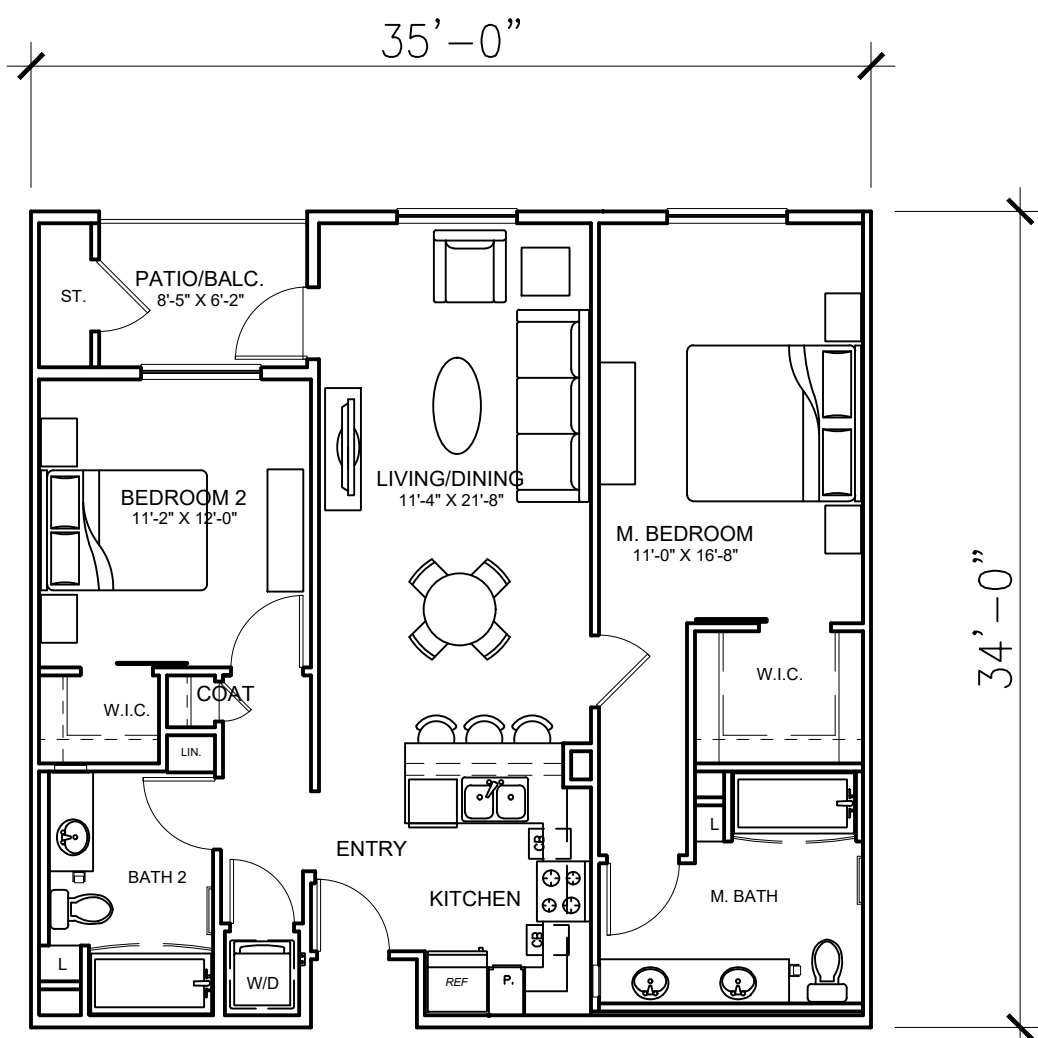
UNIT C1: 3BR / 2BA

LIVABLE AREA: 1658 SQ. FT.
PATIO/BALCONY: 79 SQ. FT.



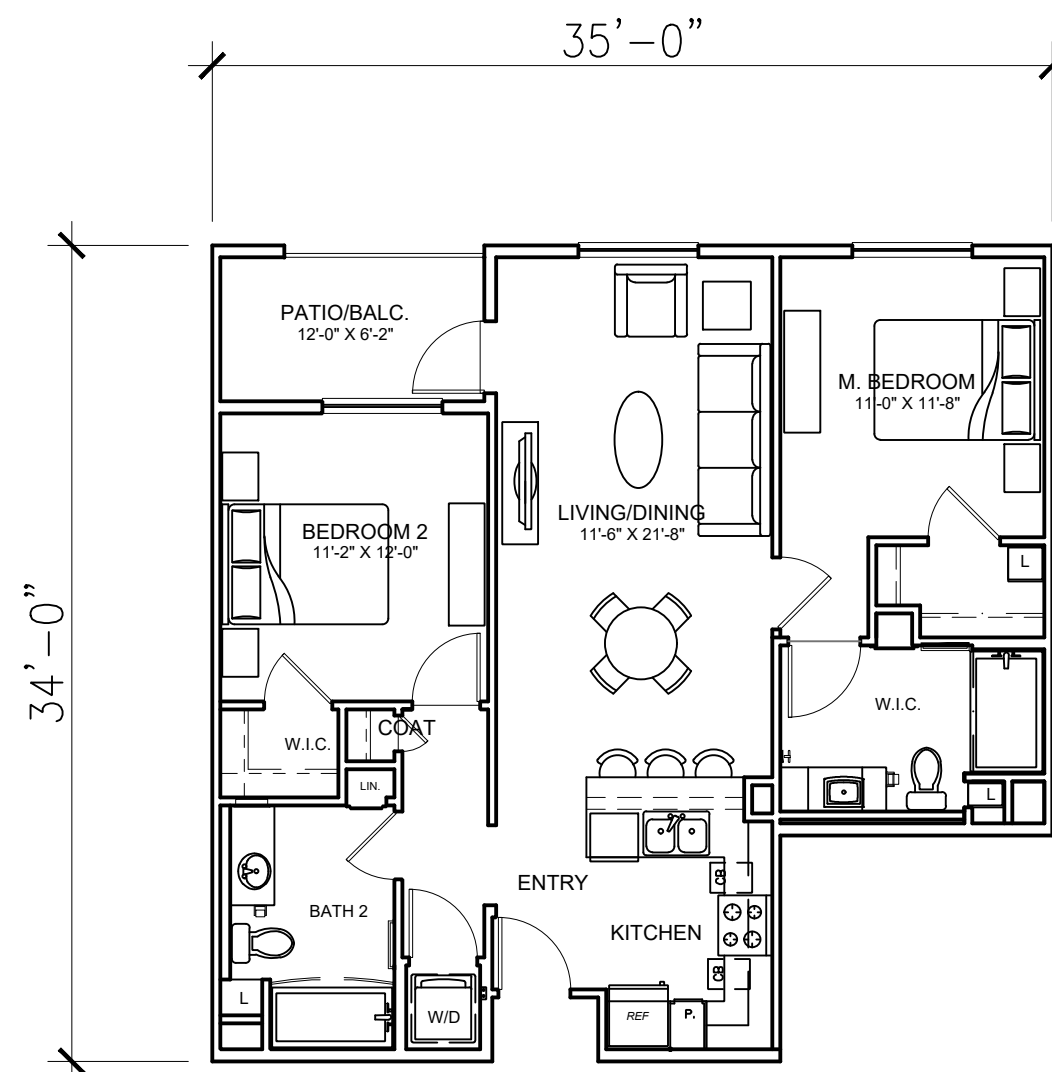
UNIT C2: 3BR / 2BA

LIVABLE AREA: 1315 SQ. FT.
PATIO/BALCONY: 71 SQ. FT.



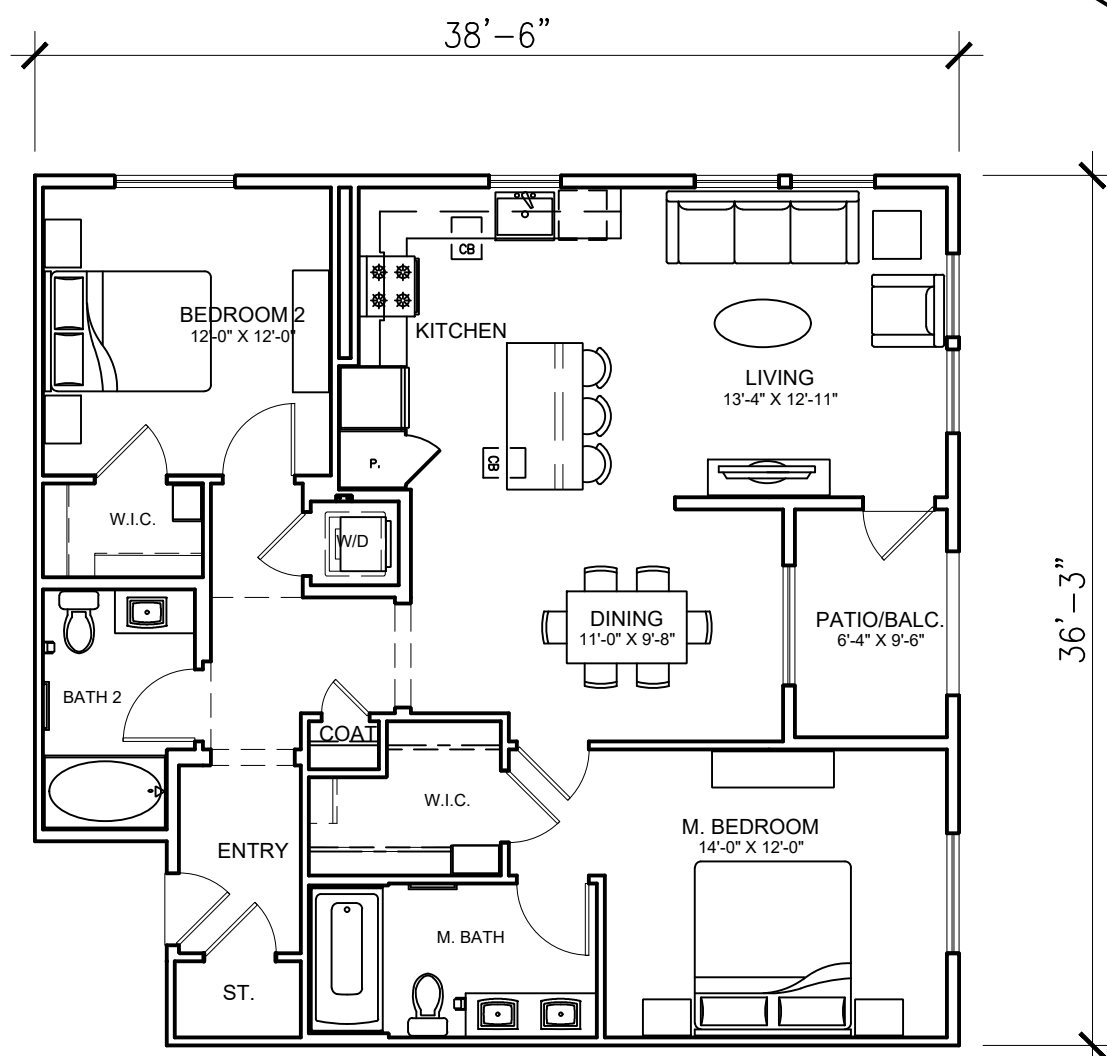
UNIT B1: 2BR / 2BA

LIVABLE AREA: 1103 SQ. FT.
PATIO/BALCONY: 52 SQ. FT.



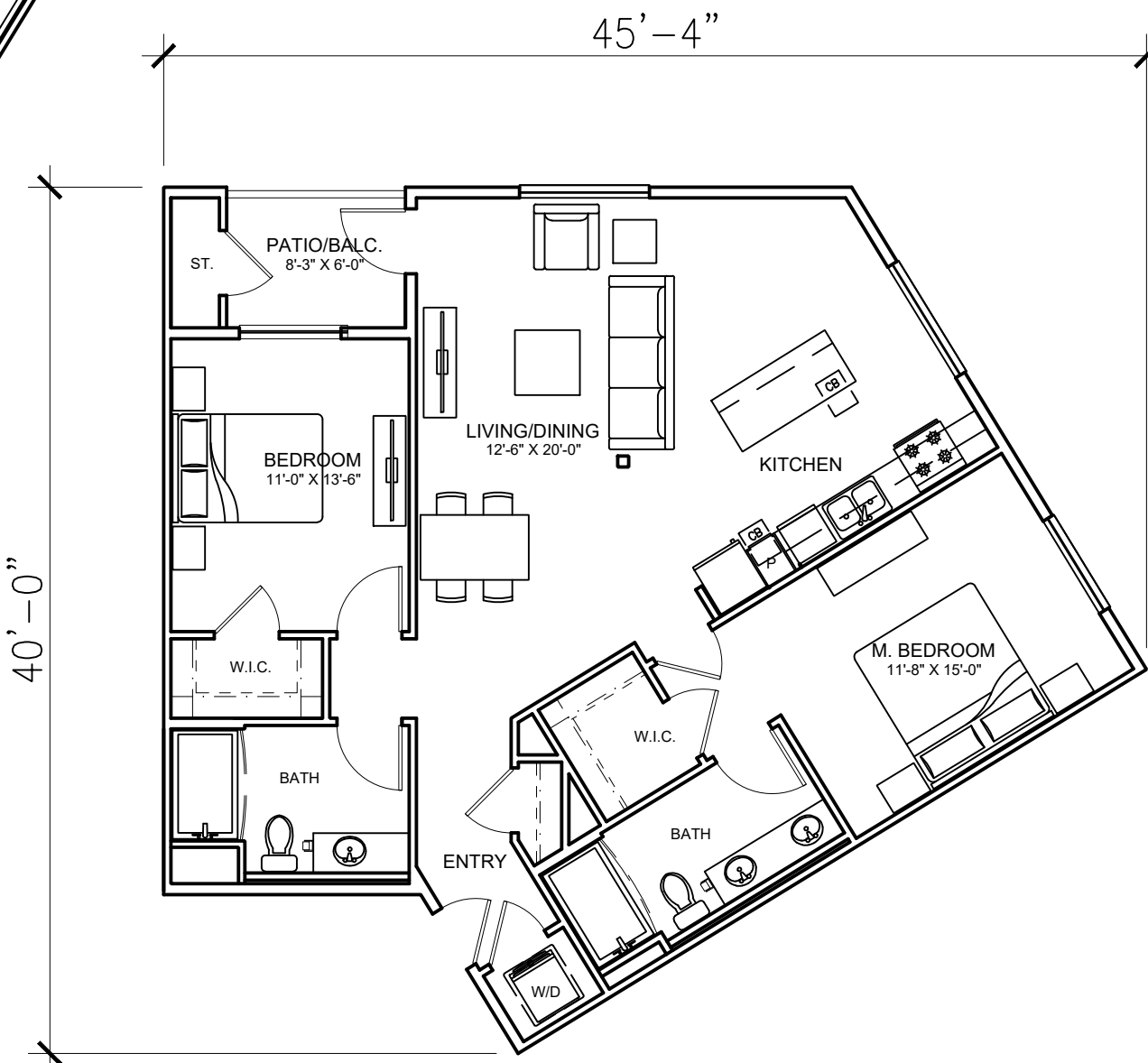
UNIT B2: 2BR / 2BA

LIVABLE AREA: 998 SQ. FT.
PATIO/BALCONY: 66 SQ. FT.



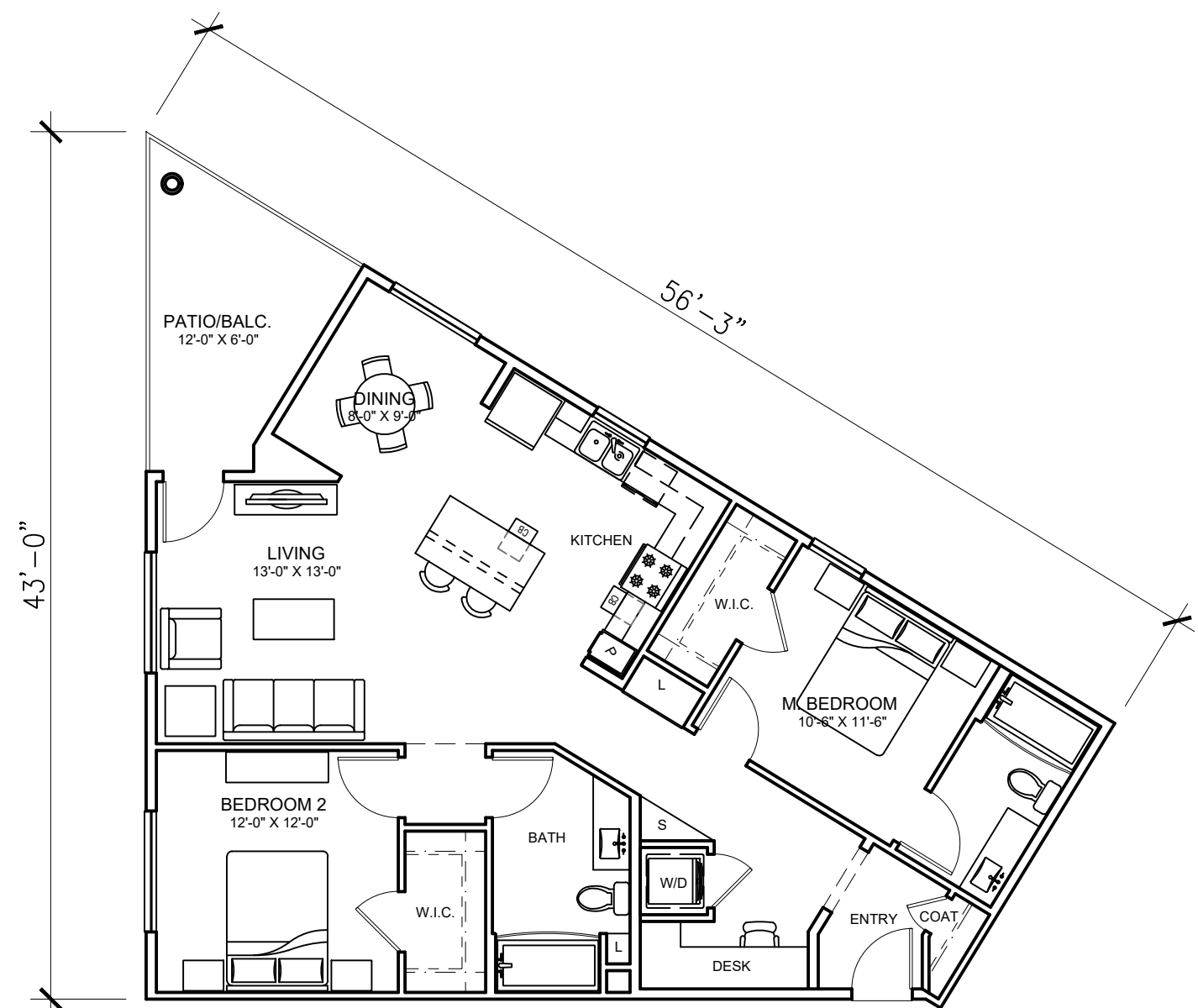
UNIT B4: 2BR / 2BA

LIVABLE AREA: 1284 SQ. FT.
PATIO/BALCONY: 60 SQ. FT.



UNIT B5: 2BR / 2BA

LIVABLE AREA: 1230 SQ. FT.
PATIO/BALCONY: 49 SQ. FT.



UNIT B8: 2BR / 1BA

LIVABLE AREA: 1190 SQ. FT.
PATIO/BALCONY: 109 SQ. FT.



CONCEPTUAL UNIT PLANS

A3.12

SHEET 26 OF 43

DATE: 10-03-22
JOB NO.: 2020-020

AO ARCHITECTS

144 NORTH ORANGE ST., ORANGE, CA 92866
(714) 639-9860



CLAIREMONT VILLAGE

CLAIREMONT VILLAGE QUAD, LLC
12625 HIGH BLUFF DR #310, SAN DIEGO CA. 92130
858.481.3081

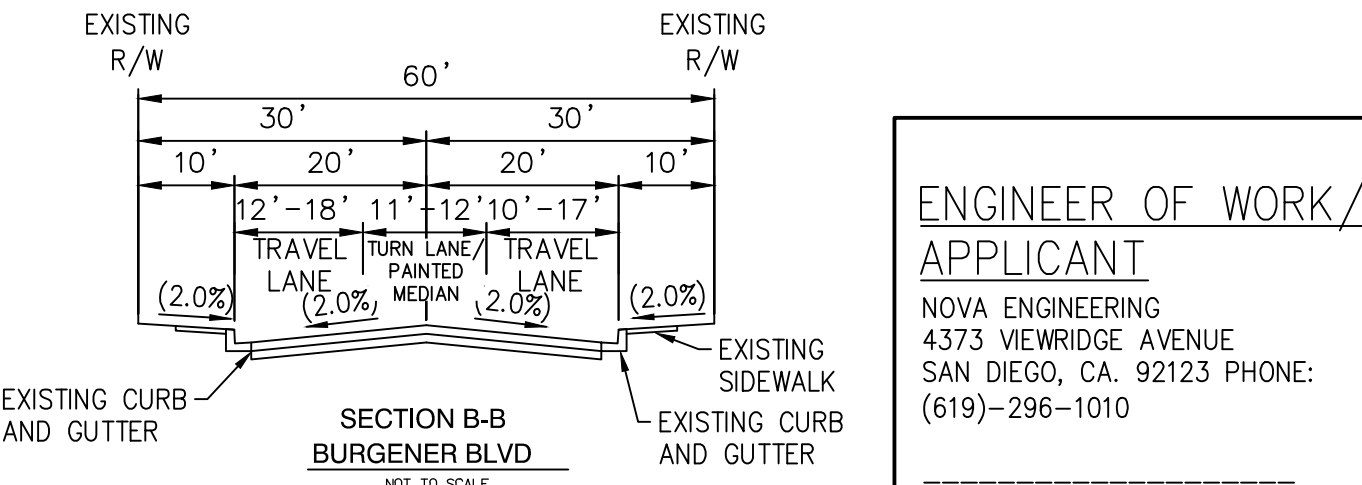
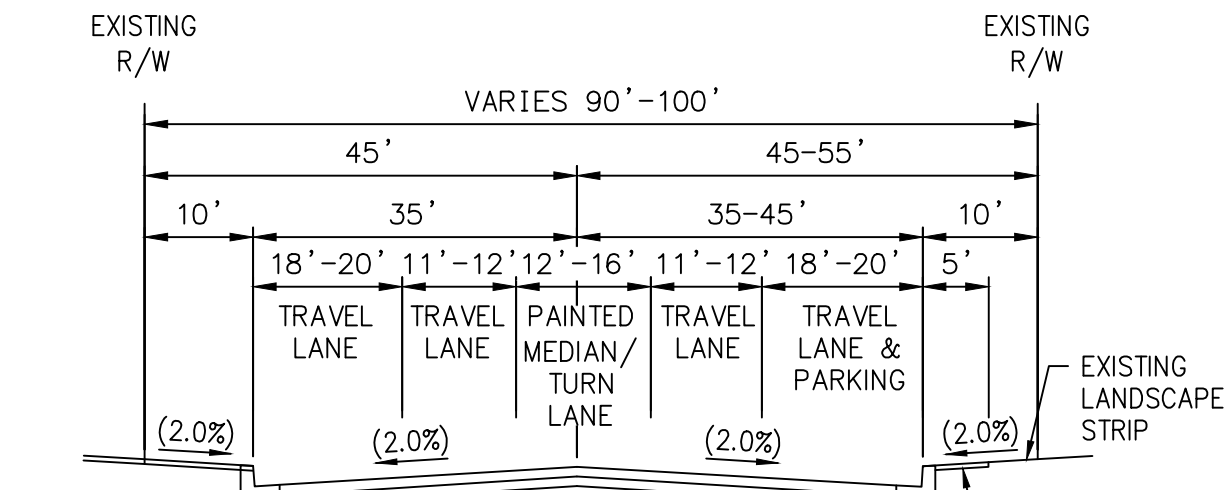
SAN DIEGO, CA

NEIGHBORHOOD DEVELOPMENT PERMIT
CLAIREMONT VILLAGE
LEGEND

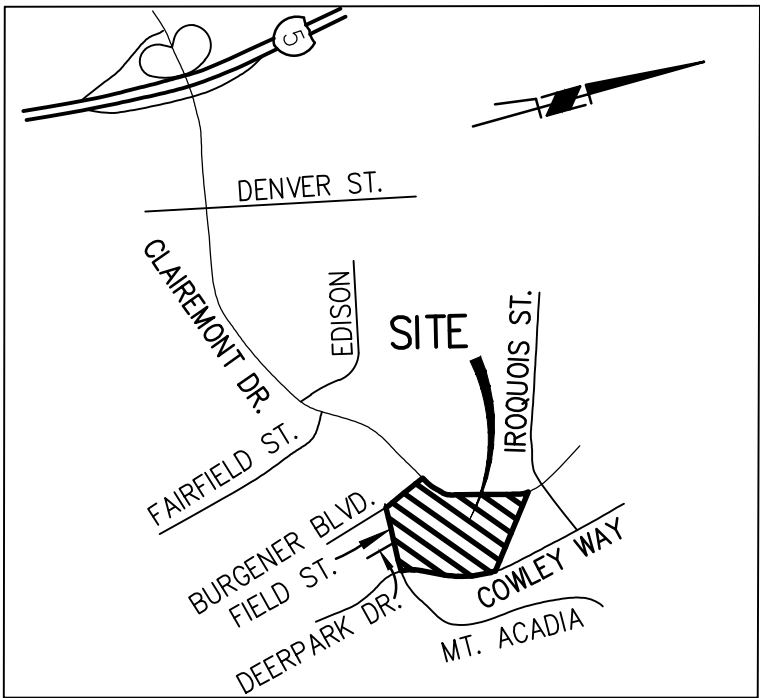
ITEM	SYMBOL
EXISTING BUILDING	
EXISTING WALL	
EXISTING DOMESTIC WATER LINE	
EXISTING FIRE SERVICE LINE	
EXISTING SANITARY SEWER	
EXISTING STORM DRAIN LINE	
EXISTING ELECTRICAL LINE	
EXISTING GAS LINE	
EXISTING TELECOMMUNICATION LINE	
EXISTING FIBER OPTIC LINE	
EXISTING CONCRETE PAVEMENT	
EXISTING FIRE HYDRANT	
EXISTING POWER POLE	
EXISTING STREET LIGHT (150W HPS)	
EXISTING CONTOUR	
EXISTING EASEMENT	
EXISTING TREE	
PROPERTY LINE	
RIGHT-OF-WAY LINE	
PROPOSED EASEMENT	
PROPOSED CONTOUR	
PROPOSED FIRE SERVICE	
PROPOSED WATER LATERAL	
PROPOSED SEWER LATERAL	
PEDESTRIAN WALKWAY PATH TO BUS STOP (710')	
DIRECTION OF DRAINAGE FLOW	
VISIBILITY TRIANGLES 10'X10'/25'X25'	
PROPOSED DRIVEWAY PER SGD-163	
PROPOSED BUS STOP SLAB PER SGD-102	
PROPOSED 150 WATT HPS STREET LIGHT	
PROPOSED BACKFLOW PREVENTER	
PROPOSED FIRE DEPARTMENT CONNECTION (FDC)	

STORM WATER NOTE:

THE PROPOSED PROJECT WILL COMPLY WITH ALL THE REQUIREMENTS OF THE CURRENT CITY OF SAN DIEGO STORM WATER STANDARDS MANUAL BEFORE A GRADING OR BUILDING PERMIT IS ISSUED. IT IS THE RESPONSIBILITY OF THE OWNER/DESIGNER/APPLICANT TO ENSURE THAT THE CURRENT STORM WATER PERMANENT BMP DESIGN STANDARDS ARE INCORPORATED INTO THE PROJECT.



CROSS SECTIONS NOTE:
SEE SHEET C-2 FOR STREET SECTIONS C-C AND D-D.



SHEET INDEX	
SHEET NUMBER	SHEET TITLE
C-1	OVERALL SITE PLAN
C-2	SITE PLAN
C-3	GRADING AND DRAINAGE PLAN

PREPARED BY:



4373 VIEWHIDE AVENUE, SUITE A
SAN DIEGO, CA 92123
(619) 296-1010



ENGINEER OF WORK/
APPLICANT

NOVA ENGINEERING
4373 VIEWHIDE AVENUE
SAN DIEGO, CA 92123 PHONE:
(619)-296-1010

MELLOR R. LANDY

PROJECT NAME: CLAREMONT VILLAGE

SHEET TITLE: OVERALL SITE PLAN

DATE PREPARED: MAY 3, 2022

NO.	DATE	REVISION
1	09/15/2021	1ST SUBMITTAL
2	05/03/2022	REVISION 1
3	08/23/2022	REVISION 2
4	10/03/2022	REVISION 3

ARCHITECT:

AO ARCHITECTS
144 NORTH ORANGE STREET
ORANGE, CA 92666
PHONE: (714)-639-9860

OWNER:

CLAIREMONT VILLAGE QUAD, LLC
12525 HIGH BLUFF DRIVE, SUITE 310
SAN DIEGO, CA 92130
PHONE: (858)-481-3081

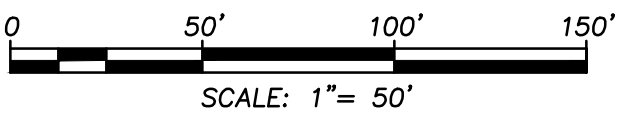
BRUCE KLEEGER

SHEET 27 OF 41

C-1

OVERALL SITE PLAN

SCALE: 1" = 50'



NEIGHBORHOOD DEVELOPMENT PERMIT
CLAIREMONT VILLAGE
LEGEND

ITEM	SYMBOL
EXISTING BUILDING	
EXISTING WALL	
EXISTING DOMESTIC WATER LINE	
EXISTING FIRE SERVICE LINE	
EXISTING SANITARY SEWER	
EXISTING STORM DRAIN LINE	
EXISTING ELECTRICAL LINE	
EXISTING GAS LINE	
EXISTING TELECOMMUNICATION LINE	
EXISTING FIBER OPTIC LINE	
EXISTING CONCRETE PAVEMENT	
EXISTING FIRE HYDRANT	
EXISTING POWER POLE	
EXISTING STREET LIGHT (150W HPS)	
EXISTING CONTOUR	
EXISTING EASEMENT	
EXISTING TREE	
PROPERTY LINE	
RIGHT-OF-WAY LINE	
PROPOSED EASEMENT	
PROPOSED CONTOUR	
PROPOSED FIRE SERVICE	
PROPOSED WATER LATERAL	
PROPOSED SEWER LATERAL	
VISIBILITY TRIANGLES 10'X10'/25'X25'	
PROPOSED 150 WATT HPS STREET LIGHT	
PROPOSED FIRE DEPARTMENT CONNECTION (FDC)	

PUBLIC UTILITIES

STORM DRAIN	CITY OF SAN DIEGO
WATER	CITY OF SAN DIEGO
SEWER	CITY OF SAN DIEGO
FIRE & POLICE	CITY OF SAN DIEGO
GAS (UNDERGROUND)	SDG&E
ELECTRICITY (OVERHEAD)	SDG&E
CABLE TV (OVERHEAD)	COX CABLE
TELEPHONE (OVERHEAD)	AT&T
SCHOOL DISTRICTS	SAN DIEGO UNIFIED

NOTE: ALL PROPOSED UTILITIES SHALL BE INSTALLED UNDERGROUND

GRADING DATA

GRADED AREA	2.16 ACRES	MAX. CUT DEPTH	11 FEET
IMPACTED AREA	2.67 ACRES*	MAX. CUT SLOPE HEIGHT & RATIO	N/A
CUT QUANTITIES	29,000 CY	MAX FILL DEPTH	1.5 FEET
FILL QUANTITIES	20,000 CY	MAX FILL SLOPE HEIGHT & RATIO	N/A
EXPORT	26,000 CY	TOTAL DRAINAGE AREA	5.91 AC
		TOTAL IMPERVIOUS AREA	5.38 AC
		TOTAL PEROUS AREA	0.53 AC
		RETAINING WALL	700 SF

THIS PROJECT PROPOSES TO EXPORT 26,000 CUBIC YARDS OF MATERIAL FROM THIS SITE. ALL EXPORT MATERIAL SHALL BE DISCHARGED TO A LEGAL DISPOSAL SITE. THE APPROVAL OF THIS PROJECT DOES NOT ALLOW PROCESSING AND SALE OF THE MATERIAL. ALL SUCH ACTIVITIES REQUIRE A SEPARATE CONDITIONAL USE PERMIT.
*IMPACTED AREA INCLUDES GRADED AREA AND CONSTRUCTION SETBACK/STAGING AREA WITH NO SOIL/GROUND DISTURBANCE.

BENCH MARK

CITY OF SAN DIEGO, BENCHMARK SWBP AT THE INTERSECTION OF COWLEY WAY AND FIELD STREET ELEVATION OF 295.29' M.S.L.

NOTES

- NO FENCES/SHRUBS HIGHER THAN 24" IN HEIGHT ARE PERMITTED IN THE VISIBILITY TRIANGLE AREAS OF THE PROPOSED DRIVEWAYS AND STREET INTERSECTIONS.
- ALL EXISTING WATER SERVICES AND SEWER LATERALS TO REMAIN UNLESS OTHERWISE NOTED ON C-3
- PUBLIC EASEMENTS ASSOCIATED WITH THE DEVELOPMENT (I.E. ALL ABUTTING ROW, ALLEY, AND PUBLIC UTILITY EASEMENTS) ALL PROPOSED AND/OR RETAINED SEWER LATERALS MUST HAVE A MINIMUM SEPARATION OF 10' (EDGE TO EDGE) FROM THE TRUNK OF ANY EXISTING OR PROPOSED TREE
- ALL PROPOSED AND/OR RETAINED WATER SERVICES MUST HAVE A MINIMUM OF 5' SEPARATION (EDGE TO EDGE) FROM THE TRUNK OF ANY EXISTING AND/OR PROPOSED TREE.
- EX. CURB & GUTTER TO BE REPLACED ALONG ENTIRE COWLEY WAY FRONTAGE (WEST SIDE ONLY)

PROJECT NAME: CLAIREMONT VILLAGE

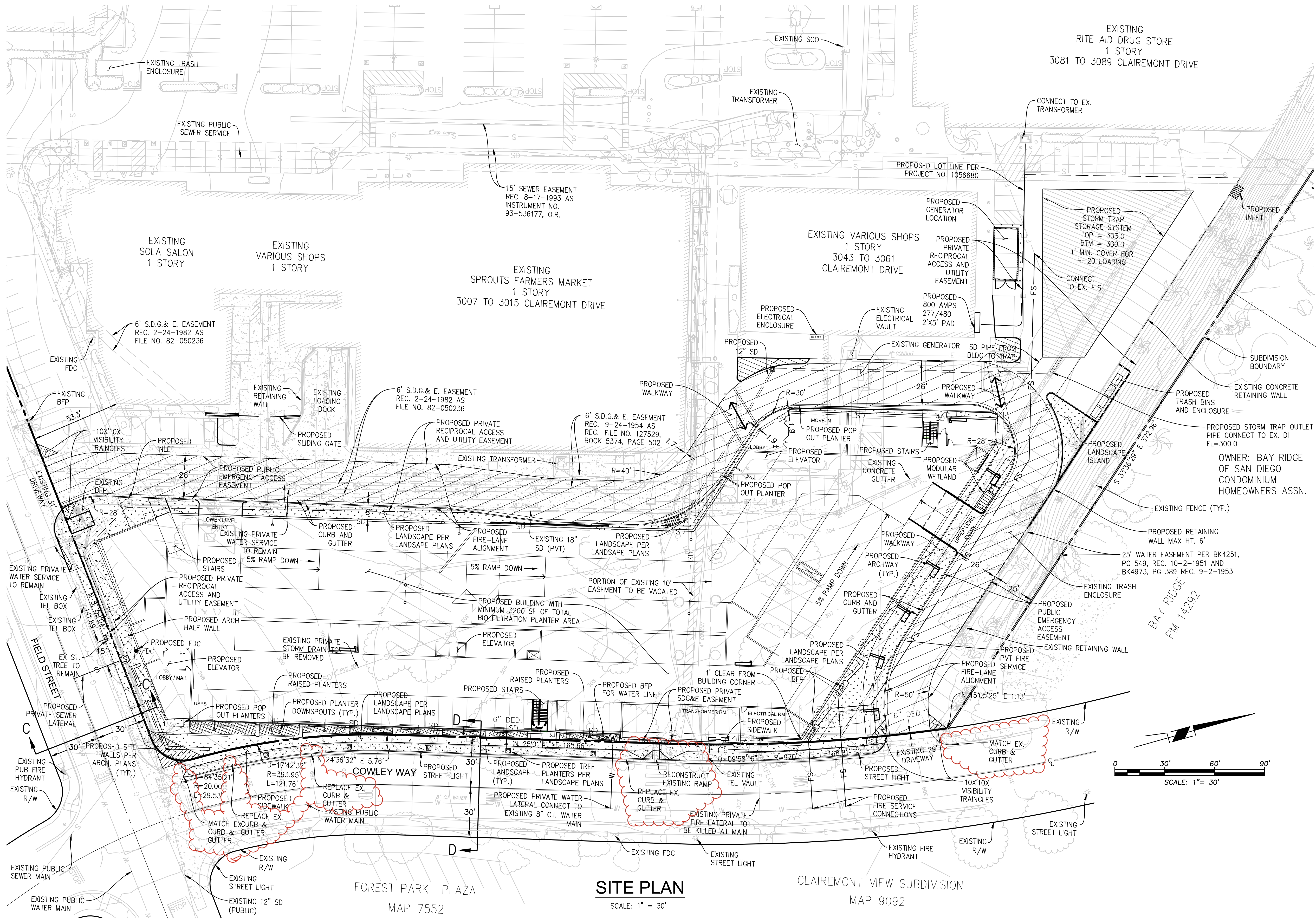
SHEET TITLE: SITE PLAN

DATE PREPARED: MAY 3, 2022

NO.	DATE	REVISION	
1	09/15/2021	1ST SUBMITTAL	
2	05/03/2022	REVISION 1	
3	08/23/2022	REVISION 2	
4	10/03/2022	REVISION 3	

SHEET 28 OF 41

C-2



SITE PLAN

SCALE: 1" = 30'

LEGAL DESCRIPTION

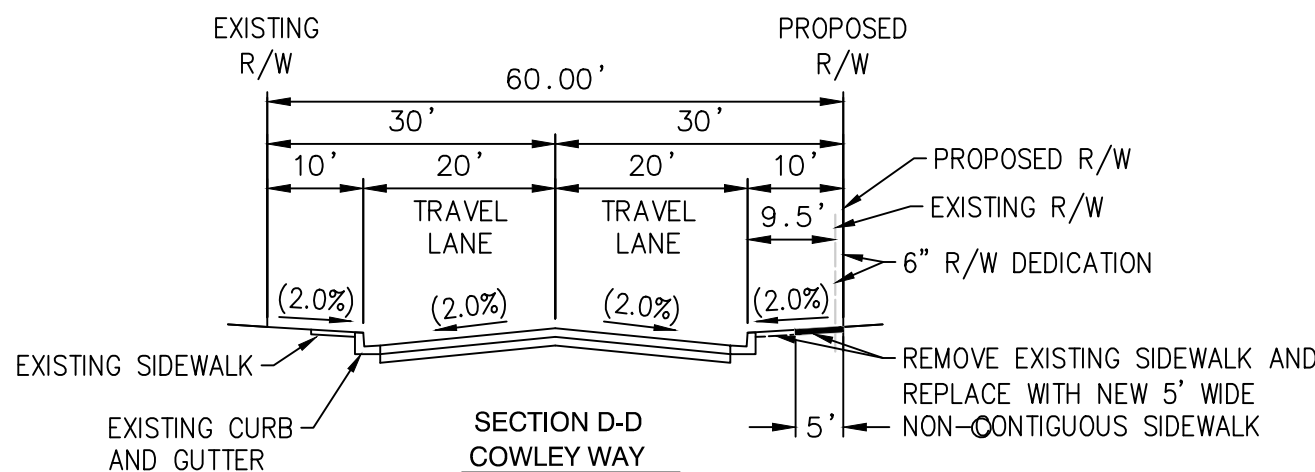
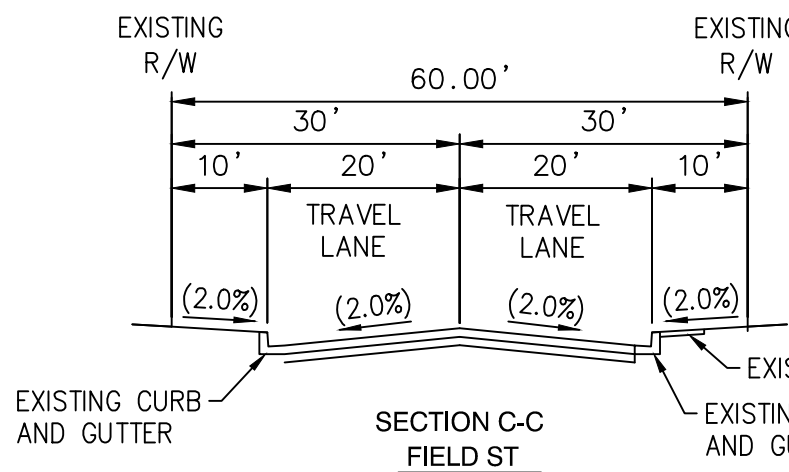
PARCEL 1 OF PARCEL MAP NO. 13891, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, JULY 31, 1985 AS INSTRUMENT NO. 85-274379 OF OFFICIAL RECORDS.

APN #

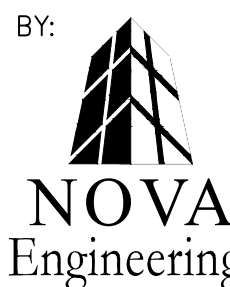
425-680-09 & 425-680-10

SITE ADDRESS

CLAIREMONT VILLAGE
3007 CLAIREMONT DRIVE
SAN DIEGO, CA 92117



PREPARED BY:



4373 VIEWRIDGE AVENUE, SUITE A
SAN DIEGO, CA 92123
(619) 296-1010



PROJECT NAME: CLAIREMONT VILLAGE

SHEET TITLE: SITE PLAN

DATE PREPARED: MAY 3, 2022

NEIGHBORHOOD DEVELOPMENT PERMIT
CLAIREMONT VILLAGE
LEGEND

ITEM	SYMBOL
EXISTING BUILDING	
EXISTING WALL	
EXISTING DOMESTIC WATER LINE	
EXISTING FIRE SERVICE LINE	
EXISTING SANITARY SEWER	
EXISTING STORM DRAIN LINE	
EXISTING ELECTRICAL LINE	
EXISTING GAS LINE	
EXISTING TELECOMMUNICATION LINE	
EXISTING FIBER OPTIC LINE	
EXISTING CONCRETE PAVEMENT	
EXISTING FIRE HYDRANT	
EXISTING POWER POLE	
EXISTING STREET LIGHT (150W HPS)	
EXISTING CONTOUR	
EXISTING EASEMENT	
EXISTING TREE	
PROPERTY LINE	
RIGHT-OF-WAY LINE	
PROPOSED EASEMENT	
PROPOSED CONTOUR	
PROPOSED FIRE SERVICE	
PROPOSED WATER LATERAL	
PROPOSED SEWER LATERAL	
DIRECTION OF DRAINAGE FLOW	
VISIBILITY TRIANGLES 10'X10'/25'X25'	
PROPOSED 150 WATT HPS STREET LIGHT	
PROPOSED BACKFLOW PREVENTER	

CONSTRUCTION NOTES

- PROPOSED FIRE-LANE ALIGNMENT
- PROPOSED TRASH BINS AND ENCLOSURE
- PROPOSED GENERATOR LOCATION
- PROPOSED 800 AMPS 277/480 2'X5' PAD
- PROPOSED CURB INLET AND MODULAR WETLAND SYSTEM
- PROPOSED STORM DRAIN INLET
- PROPOSED ADA CROSSWALK
- PROPOSED LANDSCAPE PER LANDSCAPE PLANS
- PROPOSED RETAINING WALL MAXIMUM HEIGHT 6'
- PROPOSED FIRE SERVICE
- PROPOSED BACKFLOW PREVENTER
- PROPOSED WATER LATERAL CONNECT TO EXISTING 8" C.I. WATER MAIN
- PROPOSED SEWER LATERAL CONNECT TO EXISTING SEWER MAIN
- PROPOSED FIRE SERVICE CONNECT TO EXISTING 8" C.I. WATER MAIN
- PROPOSED FIRE SERVICE CONNECT TO EXISTING FIRE SERVICE
- PROPOSED CURB RAMP
- PROPOSED ELECTRICAL LINE CONNECT TO EXISTING TRANSFORMER
- PROPOSED RECYCLING CENTER
- PROPOSED ELEVATED BIOFILTRATION PLANTERS HUNG FROM EAST SIDE OF STRUCTURE
- PROPOSED 12" STORM DRAIN (PVT)
- PROPOSED STORM TRAP OUTLET PIPE CONNECT TO EXISTING DI FL = 300.0
- PROPOSED STORM DRAIN PIPE FROM BUILDING TO STORM TRAP
- PROPOSED STORM TRAP UNIT
- PROPOSED CURB AND GUTTER
- PROPOSED POP OUT PLANTER
- PROPOSED ARCHITECTURAL HALF WALL
- PROPOSED ELECTRICAL ENCLOSURE
- PROPOSED TREE PLANTERS PER LANDSCAPE PLANS
- PROPOSED RAISED BIOFILTRATION PLANTERS LOCATED ON UPPER LEVEL PODIUM DECK
- PROPOSED BIOFILTRATION PLANTER PVC SD DISCHARGE PIPE ROUTED IN OVERHEAD OF 2ND FLOOR PARKING, TIGHT TO PERIMETER WALL. EXACT ROUTING PER PLUMBING DESIGNER.
- BIOFILTRATION PLANTER SD DISCHARGE RISER PIPE TO ROUTE UNDERGROUND AT THIS LOCATION AND GRAVITY FLOW TO PROPOSED STORM TRAP STORAGE SYSTEM
- NO FENCES/SHRUBS OR ANY OBJECTS HIGHER THAN 24 INCHES ARE PROPOSED WITHIN THE VISIBILITY TRIANGLE AREAS OF THE EXISTING AND PROPOSED DRIVEWAYS AND STREET INTERSECTIONS
- ROOF DRAINS TO BE ROUTED TO BIOFILTRATION PLANTER VIA INTERNAL PIPES PER BUILDING PLUMBING PLANS.

FINAL DISCHARGE NOTE

THE FINAL DISCHARGE POINT IS THE EXISTING GRATE AT THE SOUTH EASTERLY CORNER OF THE SITE THE RUN OFF DISCHARGE INTO THE EXISTING 12" STORM DRAIN (PUBLIC) ACROSS COWLEY WAY AND FIELD STREET.

PREPARED BY:



4373 VIEWRIDGE AVENUE, SUITE A
SAN DIEGO, CA 92123
(619) 296-1010



PROJECT NAME: CLAIREMONT VILLAGE

SHEET TITLE: GRADING AND DRAINAGE PLAN

DATE PREPARED: MAY 3, 2022

NO.	DATE	REVISION
1	09/15/2021	1ST SUBMITTAL
2	05/03/2022	REVISION 1
3	08/23/2022	REVISION 2
4	10/03/2022	REVISION 3

SHEET 28 OF 40

C-3

ABBREVIATIONS:

AC	ASPHALT CONCRETE	IE	INVERT ELEVATION
APN	ASSESSOR'S PARCEL NUMBER	INV	INVERT
ASPH	ASPHALT	LAT	LATERAL
BLDG	BUILDING	R	PROPERTY LINE
BFP	BACKFLOW PREVENTER	PROJ	PROJECT
BW	BOTTOM OF WALL FG	PROP	PROPOSED
C	CENTERLINE	PUB	PUBLIC
CONC	CONCRETE	PVT	PRIVATE
DWY	DRIVEWAY	RD	ROOF DRAIN
ESMT	EASEMENT	RET	RETAINING
EX/EXIST/(E)	EXISTING	R/W	RIGHT OF WAY
FDC	FIRE DEPARTMENT CONNECTION	SB	SETBACK
FG	FINISHED GRADE	SD	STORM DRAIN
FL	FLOW LINE	TEL	TELEPHONE
FH	FIRE HYDRANT	TW	TOP OF WALL FG
FS	FINISHED SURFACE	TYP	TYPICAL
GF	GARAGE FLOOR	VAR	VARIES

PROJECT DESCRIPTION:

A 5 STORY TYPE II--A RESIDENTIAL BUILDING CONSISTING OF 224 UNITS OVER 2 STORY TYPE I PARKING STRUCTURE WITH 351 PARKING STALLS.

PRELIMINARY GRADING PLAN NOTES:

- THIS PLAN IS PROVIDED TO ALLOW FOR FULL AND ADEQUATE DISCRETIONARY REVIEW OF A PROPOSED DEVELOPMENT PROJECT. THE PROPERTY OWNER ACKNOWLEDGES THAT ACCEPTANCE OR APPROVAL OF THIS PLAN DOES NOT CONSTITUTE AN APPROVAL TO PERFORM ANY GRADING SHOWN HEREON, AND AGREES TO OBTAIN A VALID GRADING PERMIT BEFORE COMMENCING SUCH ACTIVITY.
- ALL EXISTING & PROPOSED UTILITIES SHALL BE UNDERGROUND. EASEMENTS SHALL BE PROVIDED, REMOVED OR RELOCATED AS REQUIRED BY THE CITY ENGINEER, PUBLIC UTILITIES AND THEIR APPROPRIATE DISTRICTS.
- SOURCE OF TOPOGRAPHY: NOVA ENGINEERING -- AERIAL -- DATED 8-6-19
- CONTOURED INTERVALS: 1 FEET (EXISTING) AND 1 FEET (PROPOSED)
- MANUFACTURED SLOPE RATIOS SHALL BE VARIABLE PER PGP (2:1 MAX.)
- FINISHED GRADES ARE APPROXIMATE ONLY AND SUBJECT TO CHANGE AT FINAL DESIGN, CONSISTENT WITH THE CITY'S SUBSTANTIAL CONFORMANCE GUIDELINES.
- SOIL INFORMATION WAS OBTAINED FROM THE GEOLOGIC RECONNAISSANCE REPORT PREPARED BY: GEOCON INC. DATED: 10/28/2021
- STORM DRAIN DETENTION SHALL BE PROVIDED IN ACCORDANCE WITH THE REQUIREMENTS OF THE CITY.
- THIS PROJECT IS SUBJECT TO UTILIZING LOW IMPACT DESIGN TECHNIQUES IN CONTAINING STORM WATER ON SITE PER THE SATISFACTION OF CITY ENGINEER.
- LANDSCAPE AREAS ADJACENT TO COWLEY WAY SHALL BE DESIGNED SO THAT FERTILIZERS, PESTICIDES, OR SUBSTANCES CONTAINING THE POLLUTANTS OF CONCERN DO NOT NEED TO BE ADDED TO THE SUBJECT LANDSCAPED AREAS. THE GRADING AND IRRIGATION SYSTEMS FOR THESE AREAS SHALL BE DESIGNED TO PREVENT RUNOFF OF IRRIGATION WATER.
- PRIOR TO ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITEE SHALL SUBMIT WATER POLLUTION CONTROL PLAN (WPCP). THE WPCP SHALL BE PREPARED IN ACCORDANCE WITH THE GUIDELINES IN PART 2 CONSTRUCTION BMP STANDARDS CHAPTER 4 OF THE CITY'S STORM WATER STANDARDS.

SITE SUMMARY:

PROJECT TEAM
CIVIL ENGINEER
NOVA ENGINEERING
4373 VIEWRIDGE AVENUE
SAN DIEGO, CA 92123
619-296-1010

ARCHITECTURAL DESIGNER
AO ARCHITECTS
144 NORTH ORANGE STREET
ORANGE, CA 92866
714-639-9860

OWNER
CLAIREMONT VILLAGE QUAD, LLC
12625 HIGH BLUFF DRIVE, SUITE 310
SAN DIEGO, CA 92130
858-481-3081

LEGAL DESCRIPTION

PARCEL 1 OF PARCEL MAP NO. 13891, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, JULY 31, 1985 AS INSTRUMENT NO. 85-274379 OF OFFICIAL RECORDS

BASE ZONE
CC-1-3/RM 2-5

EXISTING USE
COMMERCIAL PARKING LOT

PROPOSED USE
MULTI-FAMILY RESIDENTIAL

AREA OF IMPACT
2.67 AC

GRADING QUANTITIES
29,000 CY CUT
3,000 CY FILL
26,000 CY EXPORT

GENERAL NOTES:

EXISTING TRANSIT STOP IS LOCATED ALONG CLAIREMONT DRIVE APPROXIMATELY 710' AWAY FROM THE LOBBY ENTRANCE OF THE PROPOSED 5 STORY BUILDING.

TOPOGRAPHY SOURCE:

NOVA ENGINEERING
AERIAL TOPOGRAPHY
DATE: 8/6/2019
DATUM: NGVD 29

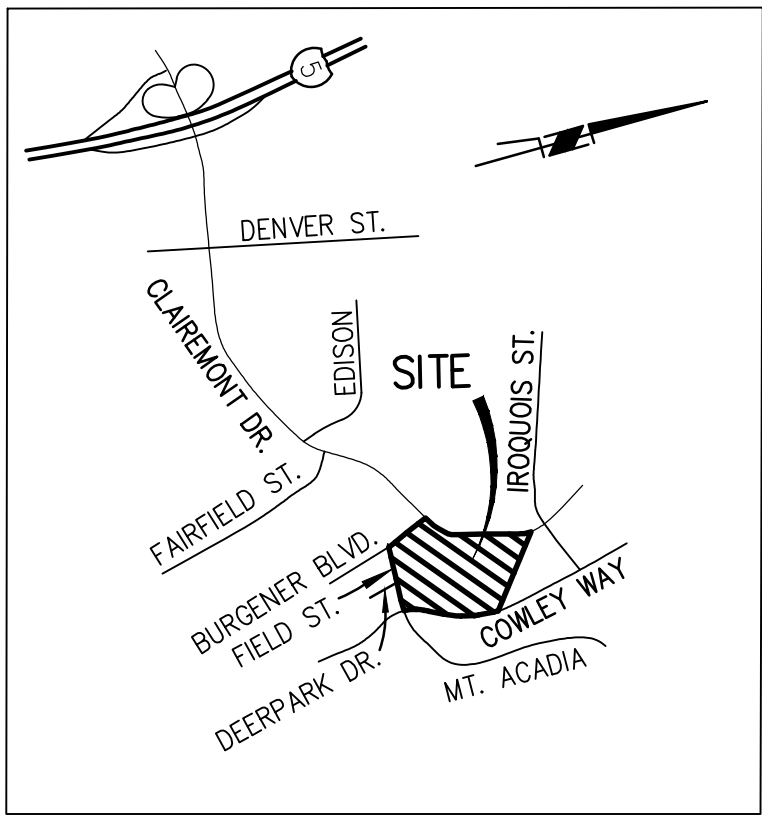
BENCHMARK:

CITY OF SAN DIEGO, BENCHMARK SWBP AT THE INTERSECTION OF COWLEY WAY AND FIELD STREET

ELEVATION: 295.29'
DATUM: M.S.L.

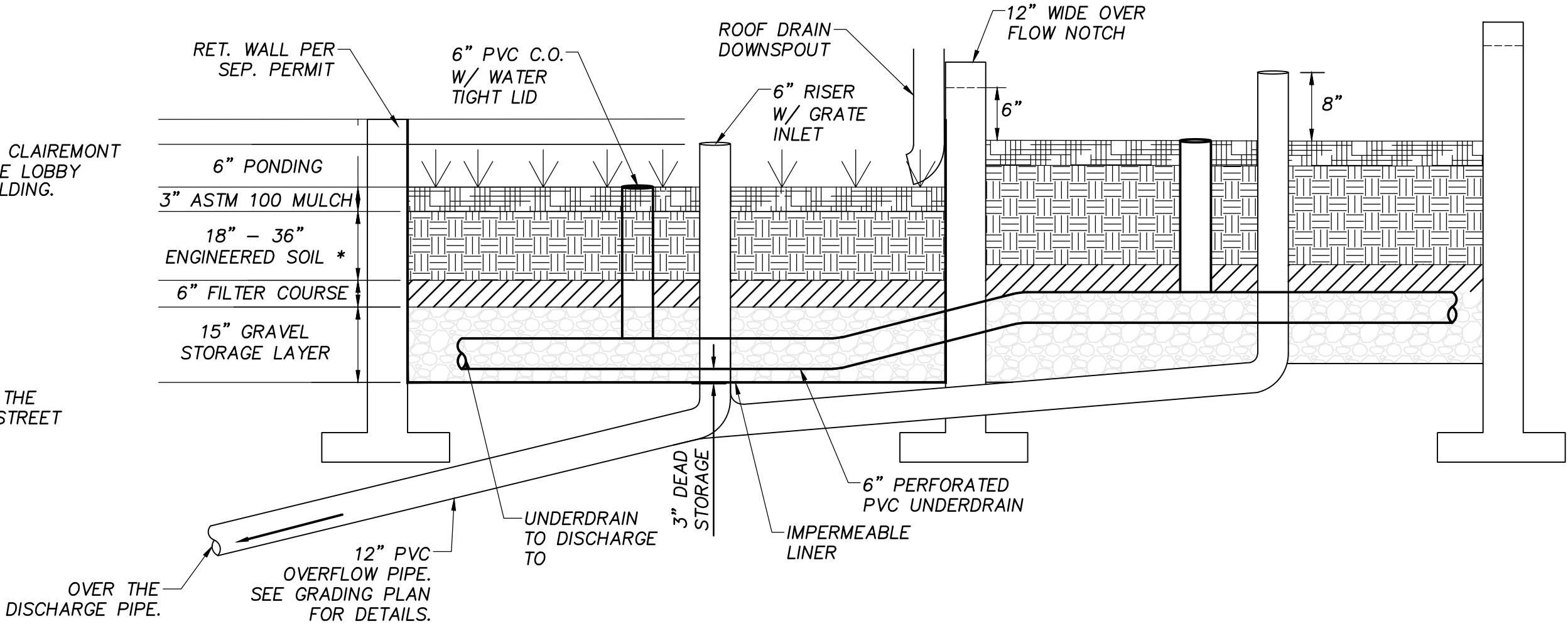
ASSESSOR'S PARCEL NO.:

425-680-09 & 425-680-10



VICINITY MAP
NO SCALE

SHEET INDEX	
SHEET NUMBER	SHEET TITLE
C-4	COVER
C-5	GRADING AND DRAINAGE PLAN
C-6	OVERALL SITE PLAN
C-7	SITE PLAN



MEDIA SPECIFICATION:

- 18" ENGINEERED SOIL MEDIA CONSISTS OF 80% SAND, 8" SILT, 3% CLAY AND 9% COMPOST BY WEIGHT.
- 6" FILTER COURSE CONSISTS OF 3" CLEAN AND WASHED ASTM 33 FINE AGGREGATE SAND OVER 3" OF ASTM NO. 8 STONE.
- 15" GRAVEL STORAGE LAYER CONSISTS OF CLEAN 3/4" GRAVEL.
- 18" MIN. ESM FOR SMALL PLANTS, 36" MIN. FOR SHRUBS AND TREES

SECTION: BIOFILTRATION PLANTER

SCALE: NTS

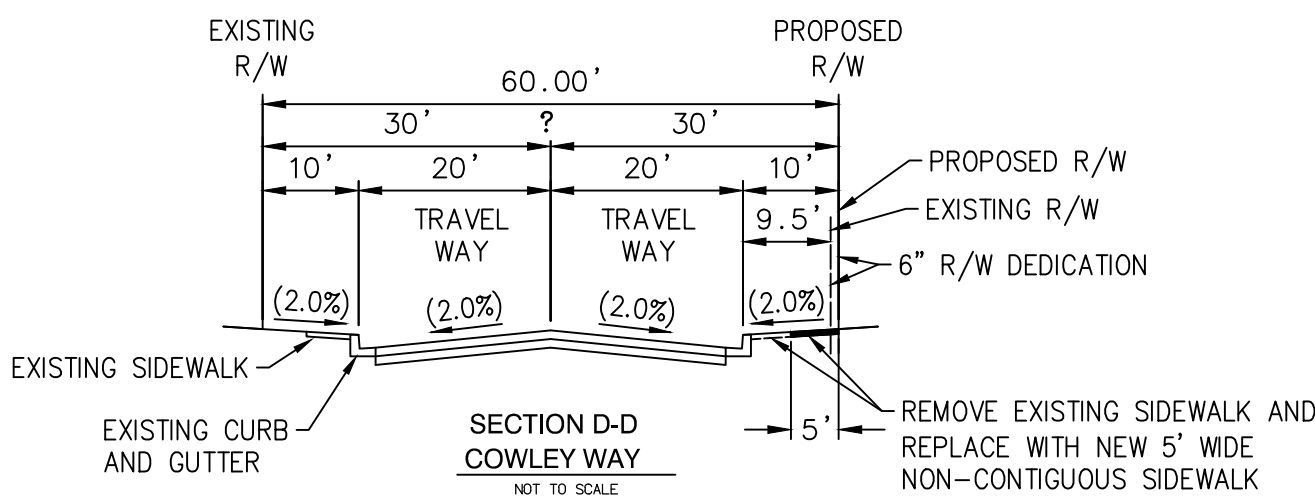
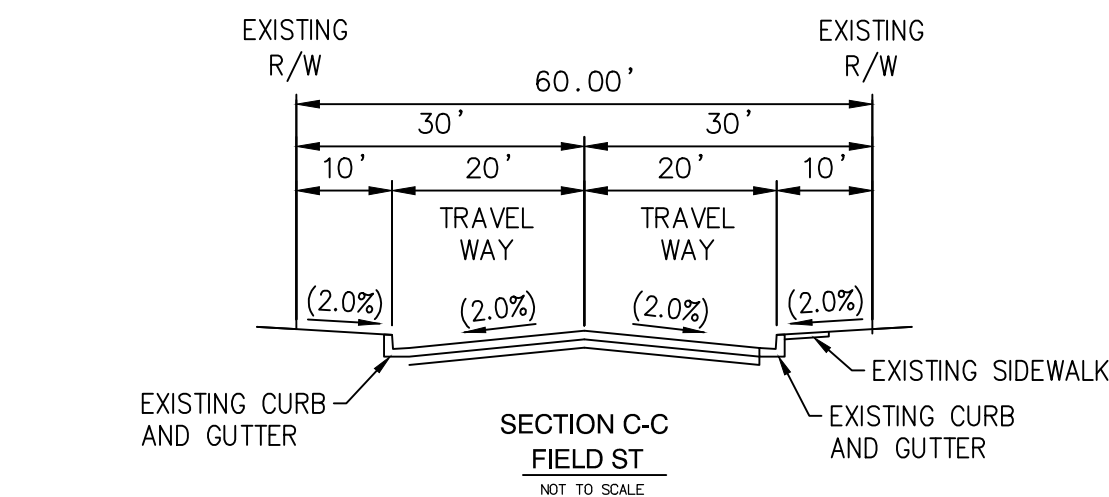
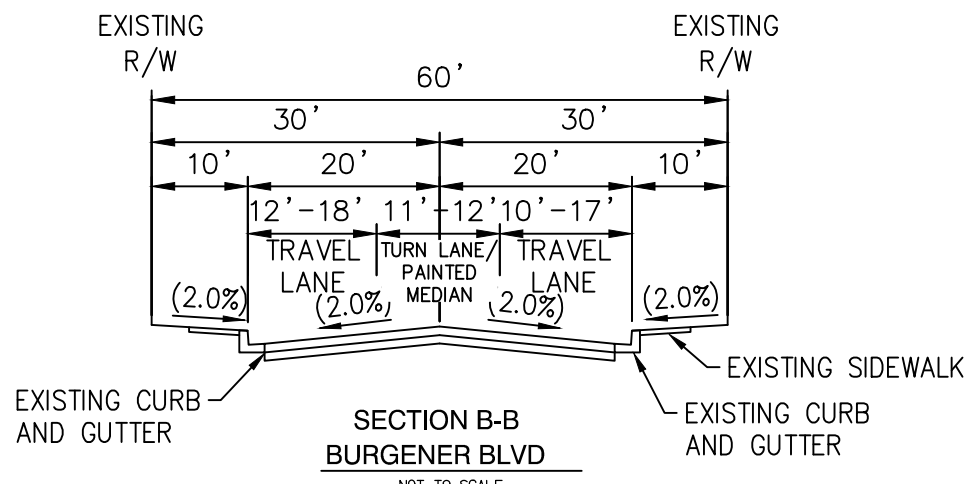
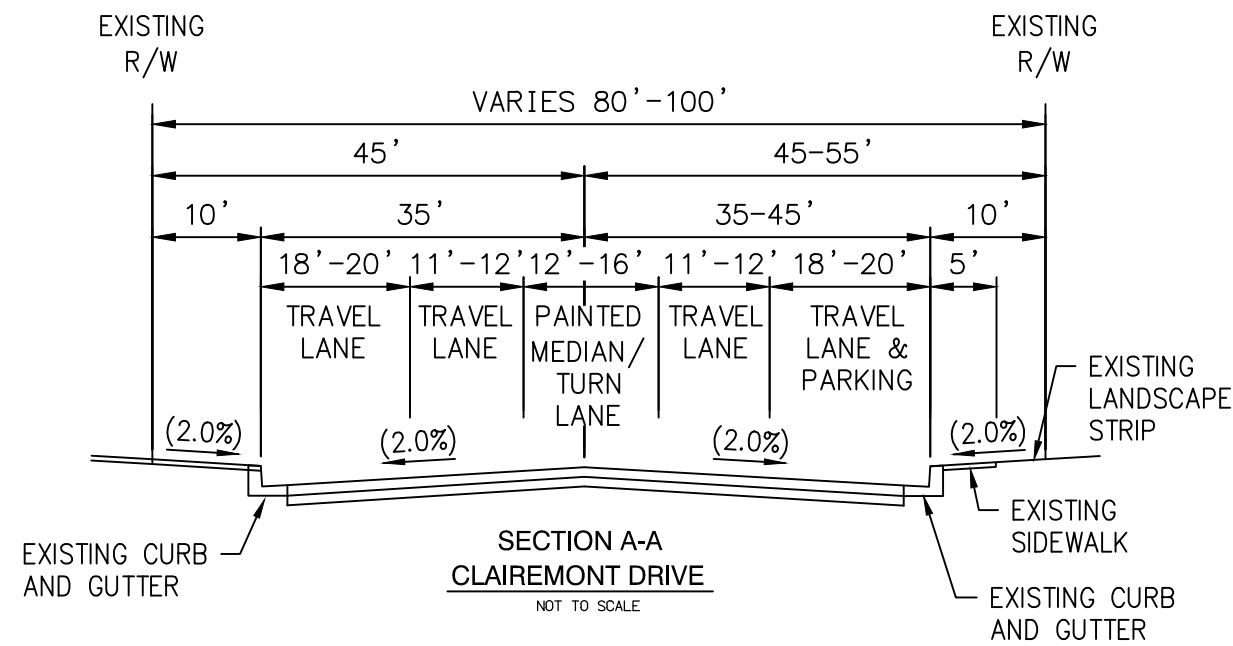
SITE DEVELOPMENT PERMIT

CLAIREMONT VILLAGE
LEGEND

ITEM	SYMBOL
EXISTING BUILDING	
EXISTING WALL	
EXISTING DOMESTIC WATER LINE	
EXISTING FIRE SERVICE LINE	
EXISTING SANITARY SEWER	
EXISTING STORM DRAIN LINE	
EXISTING ELECTRICAL LINE	
EXISTING GAS LINE	
EXISTING TELECOMMUNICATION LINE	
EXISTING FIBER OPTIC LINE	
EXISTING CONCRETE PAVEMENT	
EXISTING FIRE HYDRANT	
EXISTING POWER POLE	
EXISTING STREET LIGHT (150W HPS)	
EXISTING CONTOUR	
EXISTING EASEMENT	
EXISTING TREE	
PROPERTY LINE	
RIGHT-OF-WAY LINE	
PROPOSED EASEMENT	
PROPOSED CONTOUR	
PROPOSED FIRE SERVICE	
PROPOSED WATER LATERAL	
PROPOSED SEWER LATERAL	
PEDESTRIAN WALKWAY PATH TO BUS STOP (710')	
DIRECTION OF DRAINAGE FLOW	
VISIBILITY TRIANGLES 10'X10'	
PROPOSED DRIVEWAY PER SGD-163	
PROPOSED BUS STOP SLAB PER SDG-102	
PROPOSED 150 WATT HPS STREET LIGHT	
PROPOSED BACKFLOW PREVENTER	
PROPOSED FIRE DEPARTMENT CONNECTION (FDC)	

STORM WATER NOTE:

THE PROPOSED PROJECT WILL COMPLY WITH ALL THE REQUIREMENTS OF THE CURRENT CITY OF SAN DIEGO STORM WATER STANDARDS MANUAL BEFORE A GRADING OR BUILDING PERMIT IS ISSUED. IT IS THE RESPONSIBILITY OF THE OWNER/DESIGNER/APPLICANT TO ENSURE THAT THE CURRENT STORM WATER PERMANENT BMP DESIGN STANDARDS ARE INCORPORATED INTO THE PROJECT.



CROSS SECTIONS NOTE: SEE SHEET C-6 FOR STREET SECTIONS A-A, B-B, C-C, AND D-D LOCATIONS.

PREPARED BY:



4373 VIEWRIDGE AVENUE, SUITE A
SAN DIEGO, CA 92123
(619) 296-1010



ENGINEER OF WORK/
APPLICANT

NOVA ENGINEERING
4373 VIEWRIDGE AVENUE
SAN DIEGO, CA 92123 PHONE:
(619)-296-1010

MELLOR R. LANDY
R.C.E. 81085

PROJECT NAME: CLAIREMONT VILLAGE

SHEET TITLE: COVER

DATE PREPARED: MAY 3, 2022

ARCHITECT:

AO ARCHITECTS
144 NORTH ORANGE STREET
ORANGE, CA. 92866
PHONE: (714)-639-9860

OWNER:

CLAIREMONT VILLAGE QUAD, LLC
12625 HIGH BLUFF DRIVE, SUITE 310
SAN DIEGO, CA 92130
PHONE: (858)-481-3081

BRUCE KLEEGER

NO.	DATE	REVISION
1	09/15/2021	1ST SUBMITTAL
2	05/03/2022	REVISION 1
3	08/23/2022	REVISION 2
4	10/03/2022	REVISION 3

SHEET 30 OF 41

C-4

SITE DEVELOPMENT PERMIT
CLAIREMONT VILLAGE
LEGEND

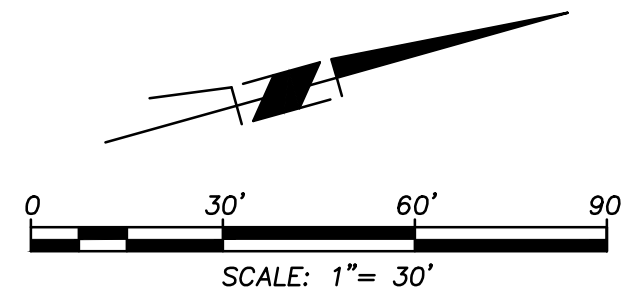
ITEM	SYMBOL
EXISTING BUILDING	
EXISTING WALL	
EXISTING DOMESTIC WATER LINE	
EXISTING FIRE SERVICE LINE	
EXISTING SANITARY SEWER	
EXISTING STORM DRAIN LINE	
EXISTING ELECTRICAL LINE	
EXISTING GAS LINE	
EXISTING TELECOMMUNICATION LINE	
EXISTING FIBER OPTIC LINE	
EXISTING CONCRETE PAVEMENT	
EXISTING FIRE HYDRANT	
EXISTING POWER POLE	
EXISTING STREET LIGHT (150W HPS)	
EXISTING CONTOUR	
EXISTING EASEMENT	
EXISTING TREE	
PROPERTY LINE	
RIGHT-OF-WAY LINE	
PROPOSED EASEMENT	
PROPOSED CONTOUR	
PROPOSED FIRE SERVICE	
PROPOSED WATER LATERAL	
PROPOSED SEWER LATERAL	
DIRECTION OF DRAINAGE FLOW	
VISIBILITY TRIANGLES 10'X10'/25'X25'	
PROPOSED 150 WATT HPS STREET LIGHT	
PROPOSED BACKFLOW PREVENTER	

CONSTRUCTION NOTES

- PROPOSED FIRE-LANE ALIGNMENT
- PROPOSED TRASH BINS AND ENCLOSURE
- PROPOSED GENERATOR LOCATION
- PROPOSED 800 AMPS 277/480 2'X5' PAD
- PROPOSED CURB INLET AND MODULAR WETLAND SYSTEM
- PROPOSED STORM DRAIN INLET
- PROPOSED SIDEWALK
- PROPOSED LANDSCAPE PER LANDSCAPE PLANS
- PROPOSED RETAINING WALL MAXIMUM HEIGHT 6'
- PROPOSED FIRE SERVICE
- PROPOSED BACKFLOW PREVENTER
- PROPOSED WATER LATERAL CONNECT TO EXISTING 8" C.I. WATER MAIN
- PROPOSED SEWER LATERAL CONNECT TO EXISTING SEWER MAIN
- PROPOSED FIRE SERVICE CONNECT TO EXISTING 8" C.I. WATER MAIN
- PROPOSED FIRE SERVICE CONNECT TO EXISTING FIRE SERVICE
- PROPOSED CURB RAMP
- PROPOSED ELECTRICAL LINE CONNECT TO EXISTING TRANSFORMER
- PROPOSED RECYCLING CENTER
- PROPOSED ELEVATED BIOFILTRATION PLANTERS HUNG FROM EAST SIDE OF STRUCTURE
- PROPOSED 12" STORM DRAIN (PVT)
- PROPOSED STORM TRAP OUTLET PIPE CONNECT TO EXISTING DI FL = 300.0
- PROPOSED STORM DRAIN PIPE FROM BUILDING TO STORM TRAP
- PROPOSED STORM TRAP UNIT
- PROPOSED CURB AND GUTTER
- PROPOSED POP OUT PLANTER
- PROPOSED ARCHITECTURAL HALF WALL
- PROPOSED ELECTRICAL ENCLOSURE
- PROPOSED TREE PLANTERS PER LANDSCAPE PLANS
- PROPOSED RAISED BIOFILTRATION PLANTERS LOCATED ON UPPER LEVEL PODIUM DECK
- PROPOSED BIOFILTRATION PLANTER PVC SD DISCHARGE PIPE ROUTED IN OVERHEAD OF 2ND FLOOR PARKING, TIGHT TO PERIMETER WALL. EXACT ROUTING PER PLUMBING DESIGNER.
- BIOFILTRATION PLANTER SD DISCHARGE RISER PIPE TO ROUTE UNDERGROUND AT THIS LOCATION AND GRAVITY FLOW TO PROPOSED STORM TRAP STORAGE SYSTEM
- NO FENCES/SHRUBS OR ANY OBJECTS HIGHER THAN 24 INCHES ARE PROPOSED WITHIN THE 10'X10' VISIBILITY TRIANGLE AREAS OF THE EXISTING AND PROPOSED DRIVEWAYS
- ROOF DRAINS TO BE ROUTED TO BIOFILTRATION PLANTER VIA INTERNAL PIPES PER BUILDING PLUMBING PLANS.

GRADING AND DRAINAGE PLAN

SCALE: 1" = 30'



PREPARED BY:

NOVA
Engineering

4373 VIEWRIDGE AVENUE, SUITE A
SAN DIEGO, CA 92123
(619) 296-1010



PROJECT NAME: CLAIREMONT VILLAGE			
SHEET TITLE: GRADING AND DRAINAGE PLAN			
DATE PREPARED: MAY 3, 2022			
SHEET 31 OF 41			
NO.	DATE	REVISION	
1	09/15/2021	1ST SUBMITTAL	
2	05/03/2022	REVISION 1	
3	08/23/2022	REVISION 2	
4	10/03/2022	REVISION 3	

C-5

SITE DEVELOPMENT PERMIT
CLAIREMONT VILLAGE
LEGEND

ITEM	SYMBOL
EXISTING BUILDING	
EXISTING WALL	
EXISTING DOMESTIC WATER LINE	
EXISTING FIRE SERVICE LINE	
EXISTING SANITARY SEWER	
EXISTING STORM DRAIN LINE	
EXISTING ELECTRICAL LINE	
EXISTING GAS LINE	
EXISTING TELECOMMUNICATION LINE	
EXISTING FIBER OPTIC LINE	
EXISTING CONCRETE PAVEMENT	
EXISTING FIRE HYDRANT	
EXISTING POWER POLE	
EXISTING STREET LIGHT (150W HPS)	
EXISTING CONTOUR	
EXISTING EASEMENT	
EXISTING TREE	
PROPERTY LINE	
RIGHT-OF-WAY LINE	
PROPOSED EASEMENT	
PROPOSED CONTOUR	
PROPOSED FIRE SERVICE	
PROPOSED WATER LATERAL	
PROPOSED SEWER LATERAL	
PEDESTRIAN WALKWAY PATH TO BUS STOP (710')	
DIRECTION OF DRAINAGE FLOW	
VISIBILITY TRIANGLES 10'X10'	
PROPOSED DRIVEWAY PER SGD-163	
PROPOSED BUS STOP SLAB PER SGD-102	
PROPOSED 150 WATT HPS STREET LIGHT	
PROPOSED BACKFLOW PREVENTER	
PROPOSED FDC	

CROSS SECTIONS NOTE:
SEE SHEET C-4 FOR STREET CROSS SECTIONS A-A, B-B, C-C AND D-D.

OVERALL SITE PLAN
SCALE: 1" = 50'

PREPARED BY:

NOVA
Engineering
4373 VIEWRIDGE AVENUE, SUITE A
SAN DIEGO, CA 92123
(619) 296-1010



PROJECT NAME: CLAIREMONT VILLAGE
SHEET TITLE: OVERALL SITE PLAN
DATE PREPARED: MAY 3, 2022

NO.	DATE	REVISION
1	09/15/2021	1ST SUBMITTAL
2	05/03/2022	REVISION 1
3	08/23/2022	REVISION 2
4	10/03/2022	REVISION 3

SITE DEVELOPMENT PERMIT
CLAIREMONT VILLAGE
LEGEND

ITEM	SYMBOL
EXISTING BUILDING	
EXISTING WALL	
EXISTING DOMESTIC WATER LINE	
EXISTING FIRE SERVICE LINE	
EXISTING SANITARY SEWER	
EXISTING STORM DRAIN LINE	
EXISTING ELECTRICAL LINE	
EXISTING GAS LINE	
EXISTING TELECOMMUNICATION LINE	
EXISTING FIBER OPTIC LINE	
EXISTING CONCRETE PAVEMENT	
EXISTING FIRE HYDRANT	
EXISTING POWER POLE	
EXISTING STREET LIGHT (150W HPS)	
EXISTING CONTOUR	
EXISTING EASEMENT	
EXISTING TREE	
PROPERTY LINE	
RIGHT-OF-WAY LINE	
PROPOSED EASEMENT	
PROPOSED CONTOUR	
PROPOSED FIRE SERVICE	
PROPOSED WATER LATERAL	
PROPOSED SEWER LATERAL	
VISIBILITY TRIANGLES 10'X10'/25'X25'	
PROPOSED 150 WATT HPS STREET LIGHT	

CROSS SECTIONS NOTE:

SEE SHEET C-4 FOR STREET CROSS SECTIONS C-C AND D-D.

PUBLIC UTILITIES

STORM DRAIN	CITY OF SAN DIEGO
WATER	CITY OF SAN DIEGO
SEWER	CITY OF SAN DIEGO
FIRE & POLICE	CITY OF SAN DIEGO
GAS (UNDERGROUND)	SDG&E
ELECTRICITY (OVERHEAD)	SDG&E
CABLE TV (OVERHEAD)	COX CABLE
TELEPHONE (OVERHEAD)	AT&T
SCHOOL DISTRICTS	SAN DIEGO UNIFIED

NOTE: ALL PROPOSED UTILITIES SHALL BE INSTALLED UNDERGROUND

GRADING DATA

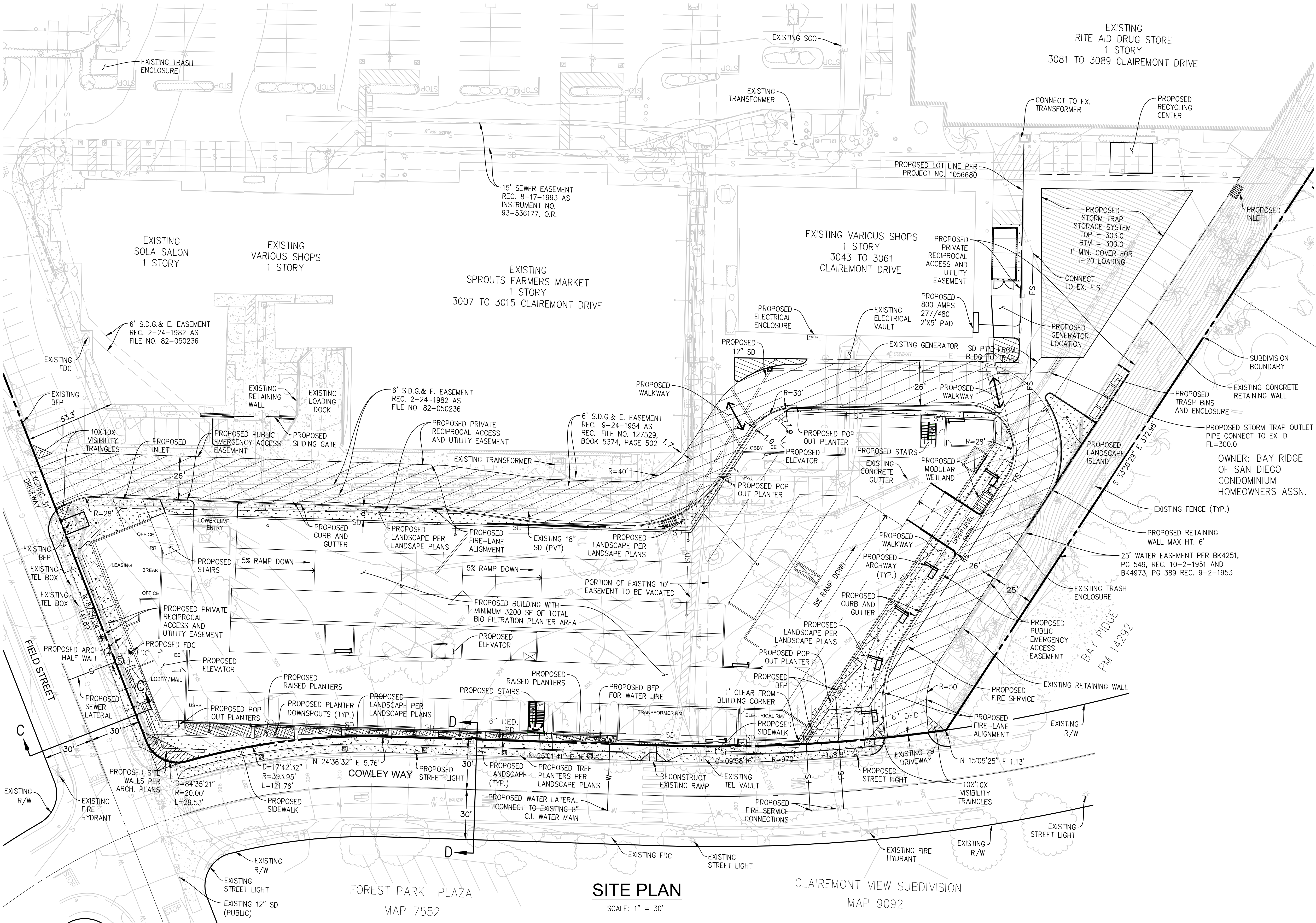
GRADED AREA	2.37 ACRES	MAX. CUT DEPTH	11 FEET
IMPACTED AREA	2.67 ACRES*	MAX. CUT SLOPE HEIGHT & RATIO	N/A
CUT QUANTITIES	29,000 CY	MAX. FILL DEPTH	1.5 FEET
FILL QUANTITIES	3,000 CY	MAX. FILL SLOPE HEIGHT & RATIO	N/A
EXPORT	26,000 CY	TOTAL DRAINAGE AREA	5.91 AC
		TOTAL IMPERVIOUS AREA	5.38 AC
		TOTAL PERVIOUS AREA	0.53 AC
		RETAINING WALL	700 SF

THIS PROJECT PROPOSES TO EXPORT 26,000 CUBIC YARDS OF MATERIAL FROM THIS SITE. ALL EXPORT MATERIAL SHALL BE DISCHARGED TO A LEGAL DISPOSAL SITE. THE APPROVAL OF THIS PROJECT DOES NOT ALLOW PROCESSING AND SALE OF THE MATERIAL. ALL SUCH ACTIVITIES REQUIRE A SEPARATE CONDITIONAL USE PERMIT.

*IMPACTED AREA INCLUDES GRADED AREA AND CONSTRUCTION SETBACK/STAGING AREA WITH NO SOIL/GROUND DISTURBANCE.

BENCH MARK

CITY OF SAN DIEGO, BENCHMARK SWBP AT THE INTERSECTION OF COWLEY WAY AND FIELD STREET ELEVATION OF 295.29' M.S.L.



LEGAL DESCRIPTION

PARCEL 1 OF PARCEL MAP NO. 13891, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, JULY 31, 1985 AS INSTRUMENT NO. 85-274379 OF OFFICIAL RECORDS.

APN #

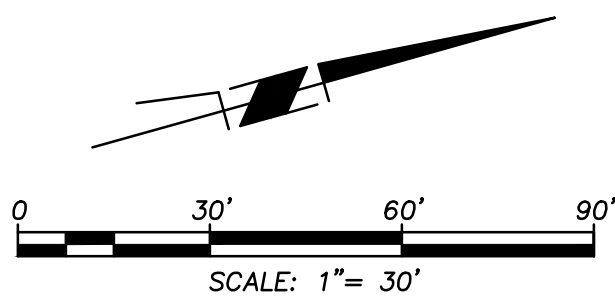
425-680-09 & 425-680-10

SITE ADDRESS

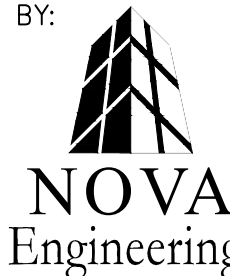
CLAIREMONT VILLAGE
3007 CLAIREMONT DRIVE
SAN DIEGO, CA 92117

SITE PLAN

SCALE: 1" = 30'



PREPARED BY:



4373 VIEWRIDGE AVENUE, SUITE A
SAN DIEGO, CA 92123
(619) 296-1010

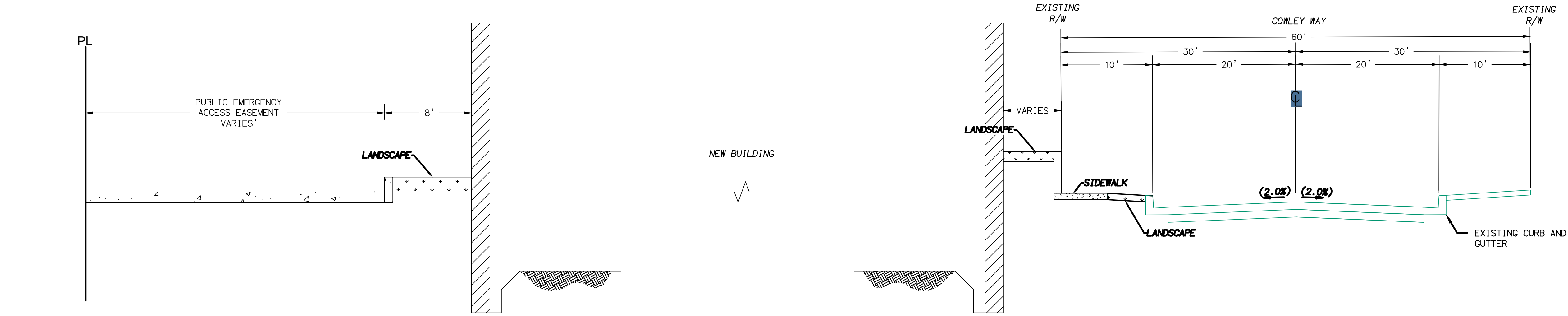


PROJECT NAME: CLAIREMONT VILLAGE

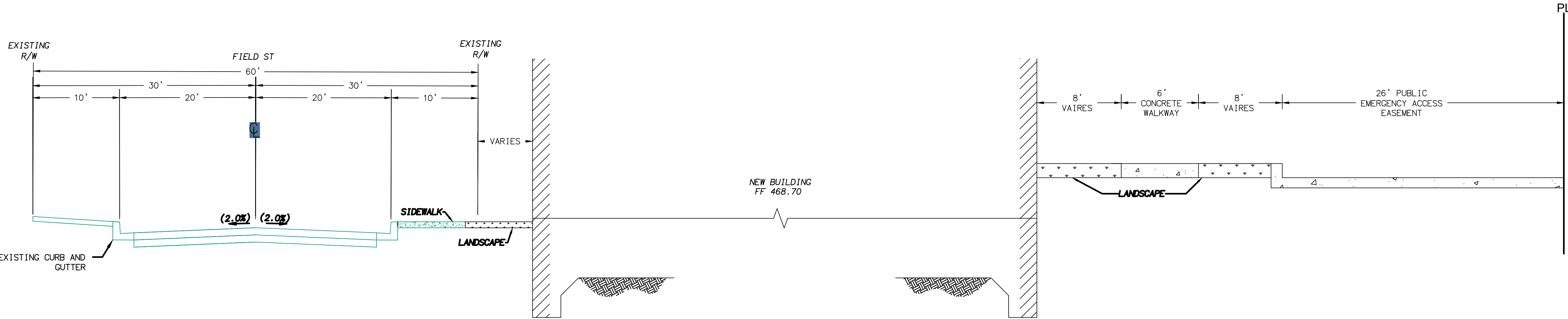
SHEET TITLE: SITE PLAN

DATE PREPARED: MAY 3, 2022

NO.	DATE	REVISION	SHEET 33 OF 41
1	09/15/2021	1ST SUBMITTAL	C-7
2	05/03/2022	REVISION 1	
3	08/23/2022	REVISION 2	
4	10/03/2022	REVISION 3	



SECTION E-E
NOT TO SCALE



SECTION F-F
NOT TO SCALE

PREPARED BY:

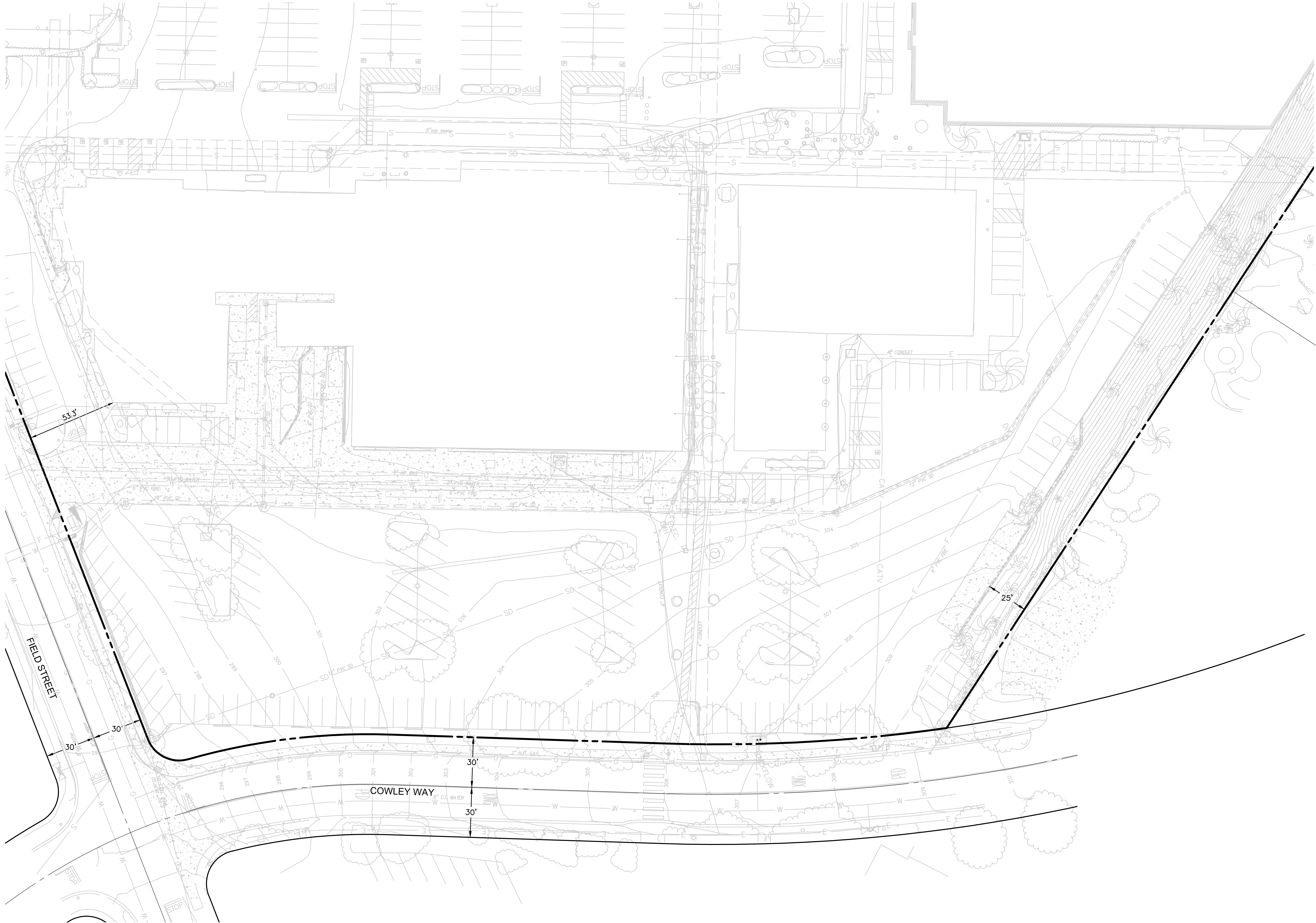
NOVA
Engineering
4373 VIEWRIDGE AVENUE, SUITE A
SAN DIEGO, CA 92123
(619) 296-1010



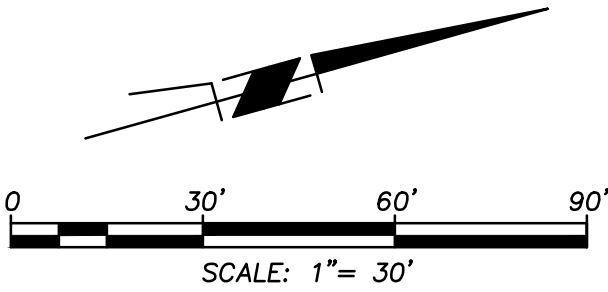
PROJECT NAME: CLAIREMONT VILLAGE
SHEET TITLE: CROSS SECTIONS
DATE PREPARED: SEPTEMBER 29, 2022

NO.	DATE	REVISION	SHEET 34 OF 41
1	09/15/2021	1ST SUBMITTAL	C-8
2	05/03/2022	REVISION 1	
3	08/23/2022	REVISION 2	
4	10/03/2022	REVISION 3	

EX. TOPO AND SLOPE
CLAIREMONT VILLAGE



EX. TOPO
SCALE: 1" = 30'



PREPARED BY:

NOVA
Engineering
4373 VIEWRIDGE AVENUE, SUITE A
SAN DIEGO, CA 92123
(619) 296-1010



PROJECT NAME: CLAIREMONT VILLAGE
SHEET TITLE: EX. TOPO AND SLOPE
DATE PREPARED: AUGUST 18, 2022

NO.		DATE	REVISION
1	09/15/2021	1ST SUBMITTAL	
2	05/03/2022	REVISION 1	
3	08/23/2022	REVISION 2	
4	10/03/2022	REVISION 3	

AMENITY LIST

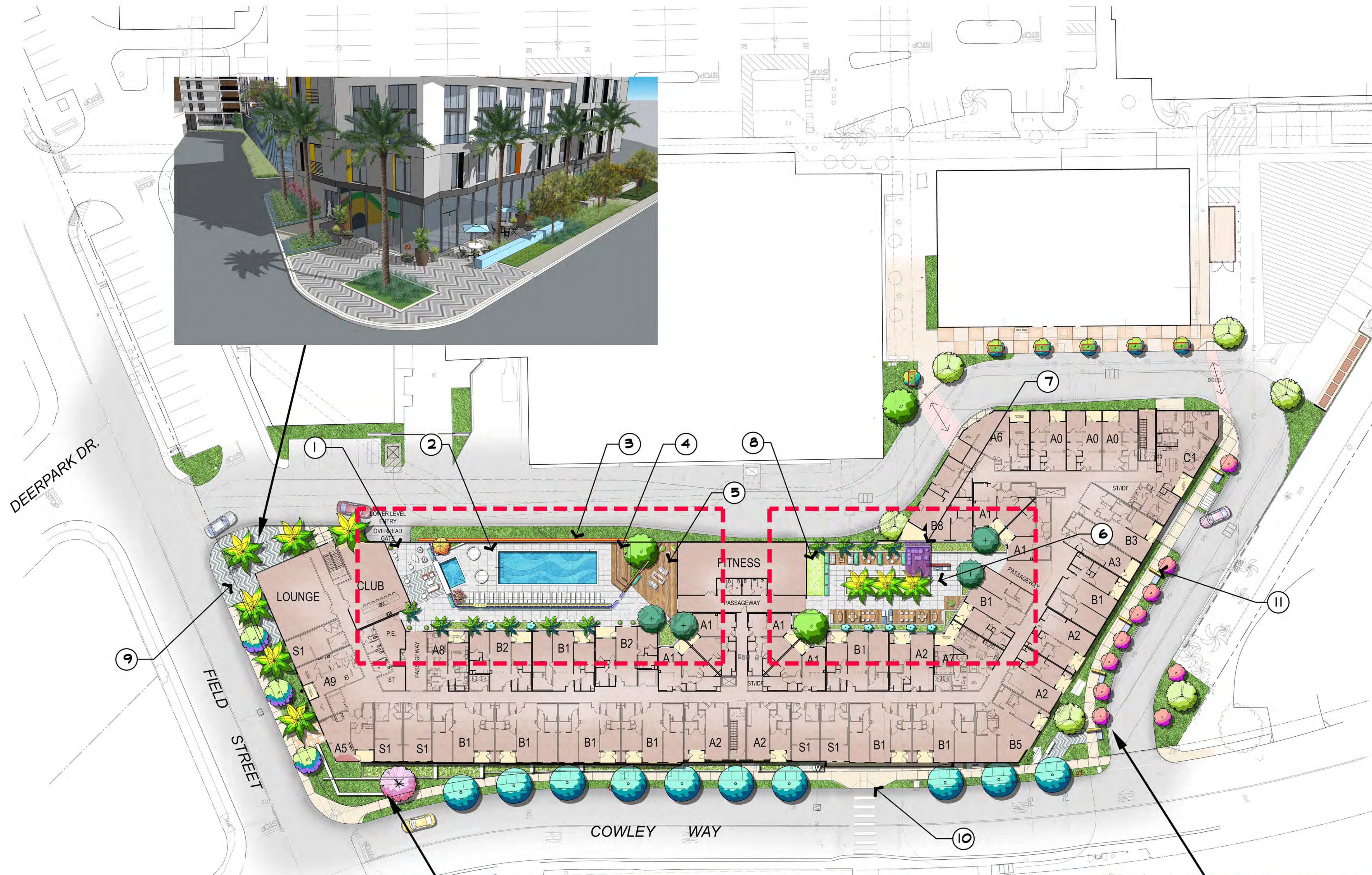
- 1 CLUB ROOM EXTENDED LOUNGE
 - 2-SIDED FIREPLACE
 - VARIETY OF SEATING
 - ENHANCED PAVING
- 2 POOL & SPA AREA
 - SPA W/ SEE THROUGH 2-SIDED FIREPLACE
 - ENCLOSED BY GLASS FENCE
 - LARGE LAP POOL
- 3 DECORATIVE MURAL SCREEN EXTENDS FROM THE 1ST FLOOR UP TO 6' ABOVE POOL DECK ELEVATION TO HELP SCREEN ROOFTOP BEYOND
- 4 WOOD STADIUM SEATING
 - 4 LEVELS FOR LOUNGE SEATING
- 5 ENTERTAINMENT DECK
 - OUTDOOR TV ON 8' WOOD WALL
 - FIRE TABLES WITH SOFT SEATING THROUGHOUT
 - WOOD TILE FLOORING
 - GAME TABLES
- 6 TRANQUIL COURTYARD
 - SINGLE & GROUP BOOTH SEATING
 - OUTDOOR KITCHENS W/ FLEXIBLE WOOD PARTITIONS TO VARY & DINING TABLE BOOTH SIZES
 - CENTRAL TURF AREA W/ LARGE PALM IN SQUARE POTS
- 7 OVERHEAD TRELLIS W/ FESTIVE LIGHTS CREATE AN OUTDOOR CONVERSATION AREA
- 8 YOGA AREA
 - EXTENSION OF ADJACENT FITNESS ROOM
 - SYNTHETIC TURF FRAMED BY LINEAR POTS
- 9 LEASING ENTRY PAVING
 - ENHANCED PAVING
 - LINEAR SEAT WALL INTERNAL ILLUMINATED TO MATCH MURAL SCREEN AT POOL DECK
- 10 PEDESTRIAN CROSSING NODULES
 - VESTIBULE AREA W/ MATCHING SEAT WALL
 - GREEN SCREEN ON BUILDING
- 11 PEDESTRIAN PASEO
 - THEMED DECORATIVE ARCHES W/ SEATING PROVIDES COLOR LIGHTS, AND SEATING OPPORTUNITIES ALONG WALKWAY
 - LUSHLY LANDSCAPED WALKWAY

DESIGN STATEMENT

The overall landscape theme of the project is California Contemporary. We have utilized wood, natural concrete and glass fence as design elements to create an attractive and inviting space. Amenities include a pool area with space for seating and an outdoor fire table. The space has been designed to fully integrate ADA accessibility requirements in an aesthetically pleasing manner.

The plant material has been selected for its low to moderate water requirements as well as its ability to thrive in the project location. Grasses have been selected for use in the BMP water infiltration zones, and colorful succulents and perennials border the architecture, creating a visually engaging part of the project.

The irrigation system will be high efficiency subsurface drip irrigation, isolated by hydrozone requirements. The controller shall be weather based with the ability to suspend irrigation during rain events.



CLAIREMONT VILLAGE

CLAIREMONT VILLAGE QUAD, LLC
12625 HIGH BLUFF DR #310, SAN DIEGO CA. 92130
858.481.3081

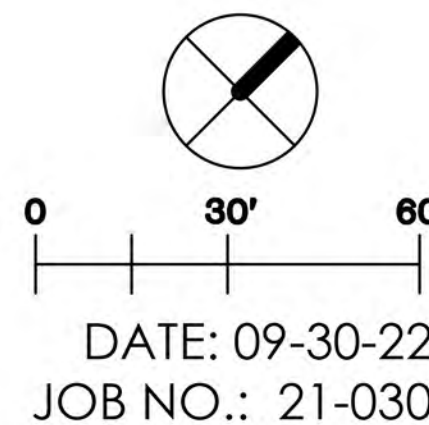
SAN DIEGO, CA

PRELIMINARY LANDSCAPE PLAN



3190-B2 Airport Loop Drive
Costa Mesa, CA 92626
Richard Potholus, License # 2782
(949) 644-9370 FAX (714) 210-3140

AO ARCHITECTS
144 NORTH ORANGE ST., ORANGE, CA 92866
(714) 639-9860



L1
37 OF 43



AMENITY LIST

- 1

18' x 55' LARGE LAP POOL
- 2

10'X15' SPA
- 3

DECORATIVE WOOD TILE @ ENTERTAINMENT DECK
- 4

FIREPIT W/ LOUNGE SEATING
- 5

9' HIGH TILED SPA BACKDROP WALL / FIRE PLACE
- 6

DECORATIVE PAVERS @ FIREPLACE
- 7

GLASS POOL ENCLOSURE PROVIDED FOR SAFETY
- 8

DECORATIVE POTS
- 9

WOOD STADIUM SEATING @ POOL AREA

10

30" HIGH PLANTER WALLS. TYPICAL.

11

24" HIGH PLANTER WALLS @ GLASS POOL ENCLOSURE

12

CONTEMPORARY STYLE CHAISE LOUNGES W/ SIDE TABLES

13

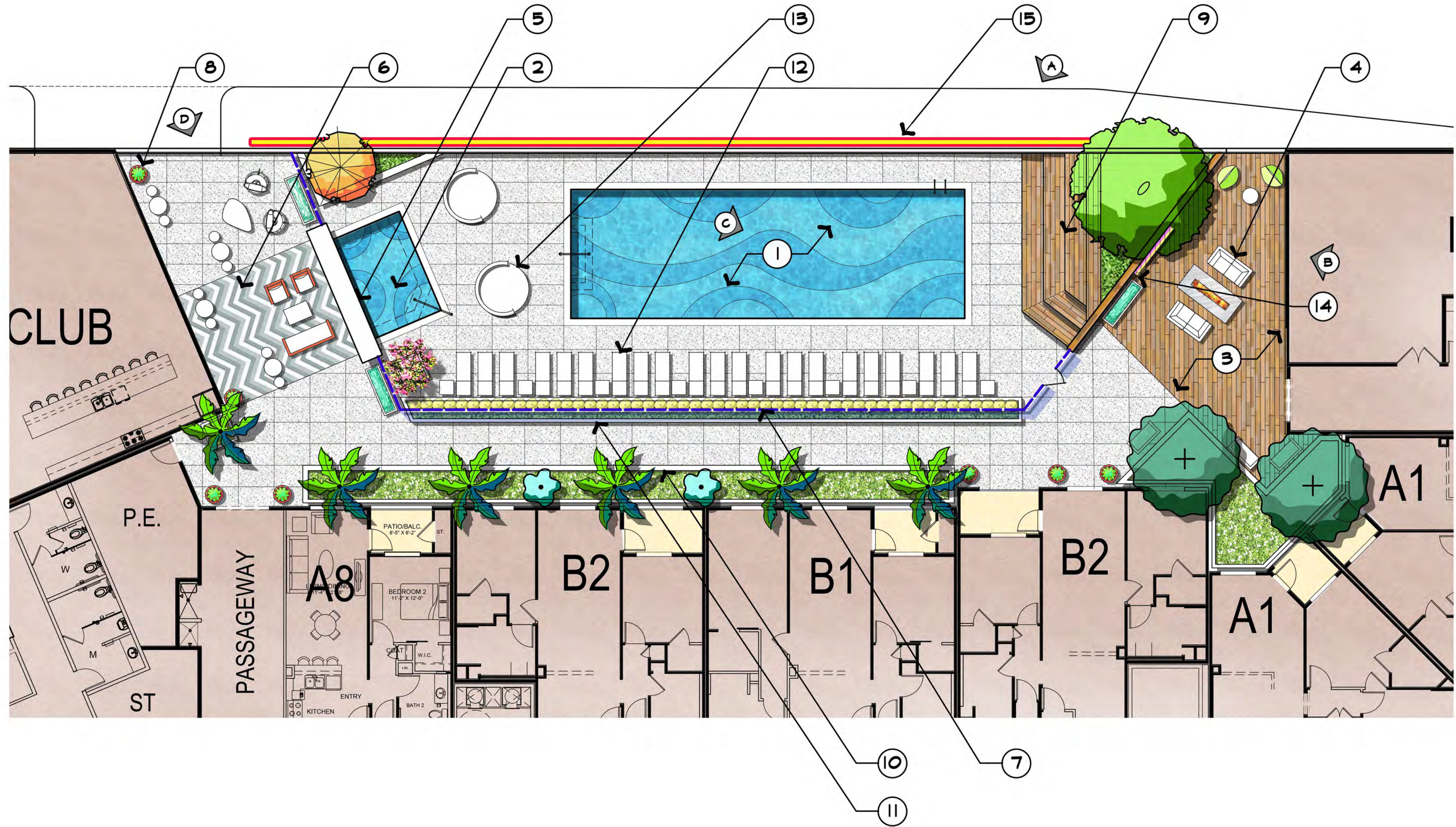
CONTEMPORARY STYLE DAYBEDS

14

7' HIGH MEDIA WALL

15

DECORATIVE MURAL SCREEN EXTENDS FROM THE 1ST FLOOR UP TO 6' ABOVE POOL DECK ELEVATION TO HELP SCREEN ROOFTOP BEYOND



CLAIREMONT VILLAGE

CLAIREMONT VILLAGE QUAD, LLC
12625 HIGH BLUFF DR #310, SAN DIEGO CA. 92130
858.481.3081

SAN DIEGO, CA

POOL & SPA COURTYARD ENLARGEMENT - PODIUM LEVEL



SITE SCAPES
Landscape Architecture & Planning
3190-B2 Airport Loop Drive
Costa Mesa, CA 92626
Richard Potholus, License # 2782
(949) 644-9370 FAX (714) 210-3140

0 30' 60'
DATE: 09-30-22
JOB NO.: 21-030

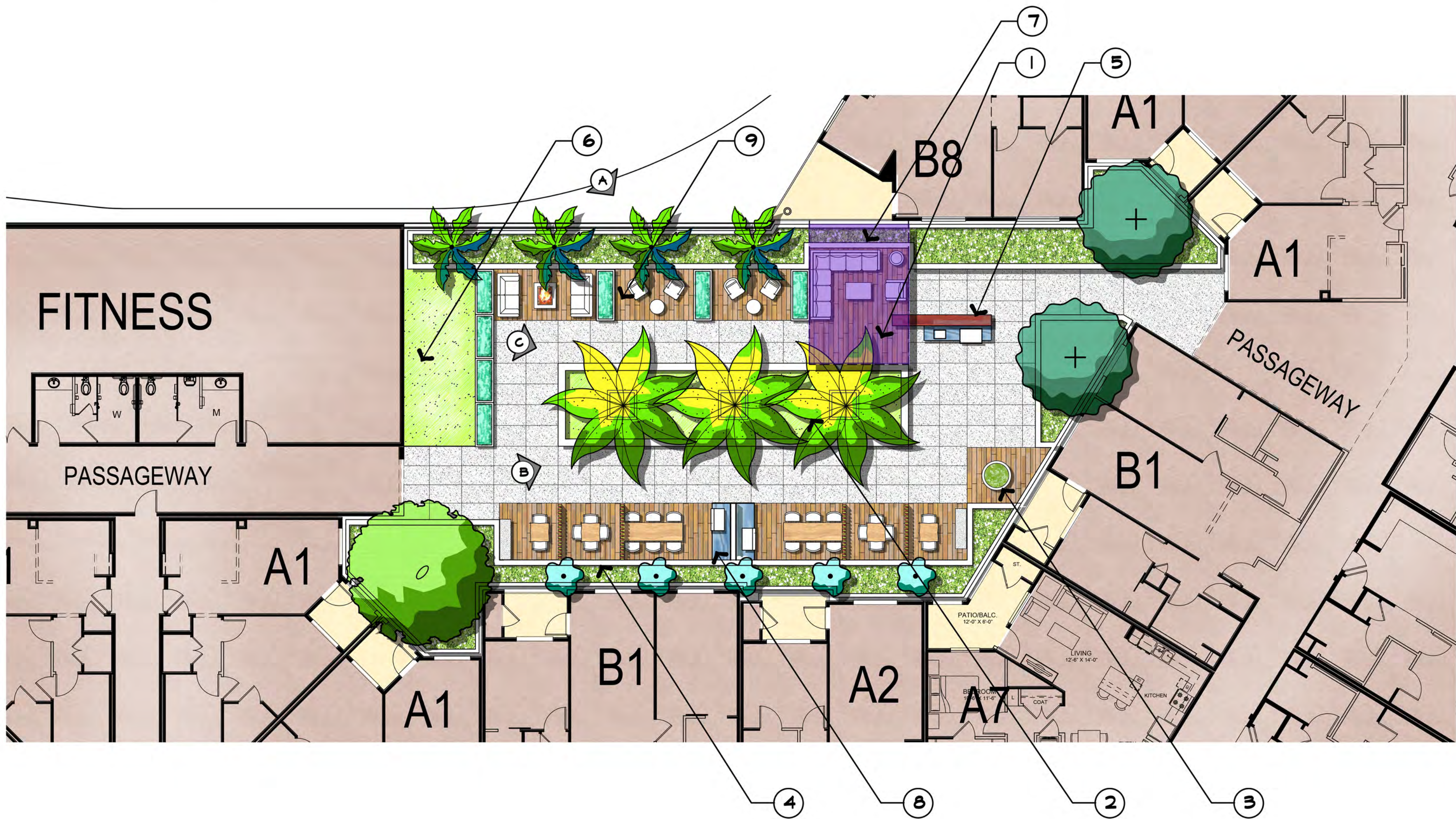
AO ARCHITECTS
144 NORTH ORANGE ST., ORANGE, CA 92866
(714) 639-9860

L2
38 OF 43

AO
Architecture.
Design.
Relationships.

AMENITY LIST

- 1 DECORATIVE WOOD TILE PAVING
- 2 ELEVATED TURF PANEL
 - 48" SQ. DECORATIVE POTS W/ PALM TREES
 - ARTIFICIAL TURF ELEVATED 12"
- 3 12" HIGH ELEVATED WOOD TILE DECK W/ DECORATIVE POT
- 4 30" HIGH PLANTER WALLS. TYPICAL.
- 5 7.5' HIGH PARTITION WALL W/ OUTDOOR KITCHEN
- 6 YOGA AREA
 - EXTENSION OF ADJACENT FITNESS ROOM
 - SYNTHETIC TURF FRAMED BY LINEAR POTS
- 7 CANTILEVER SHADE STRUCTURE W/ LOUNGE SEATING
- 8 OUTDOOR KITCHEN & DINING AREA
 - FLEXIBLE WOOD PARTITIONS
 - WOOD TILE PAVING
 - DINING TABLES W/ CHAIRS
- 9 CASUAL SEATING AREA
 - CASUAL CHAIRS W/ TABLE
 - FIREPIT W/ LOUNGE SEATING
 - WOOD TILE PAVING
 - DECORATIVE LINEAR POTS



CLAIREMONT VILLAGE

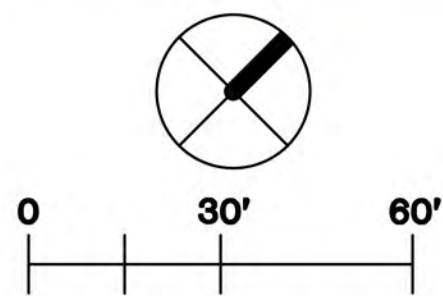
CLAIREMONT VILLAGE QUAD, LLC
12625 HIGH BLUFF DR #310, SAN DIEGO CA. 92130
858.481.3081

SAN DIEGO, CA

TRANQUIL COURTYARD ENLARGEMENT - PODIUM LEVEL



SITE SCAPES
Landscape Architecture & Planning
3190-B2 Airport Loop Drive
Costa Mesa, CA 92626
Richard Polhemus, License # 2782
(949) 644-9370 FAX (714) 210-3140

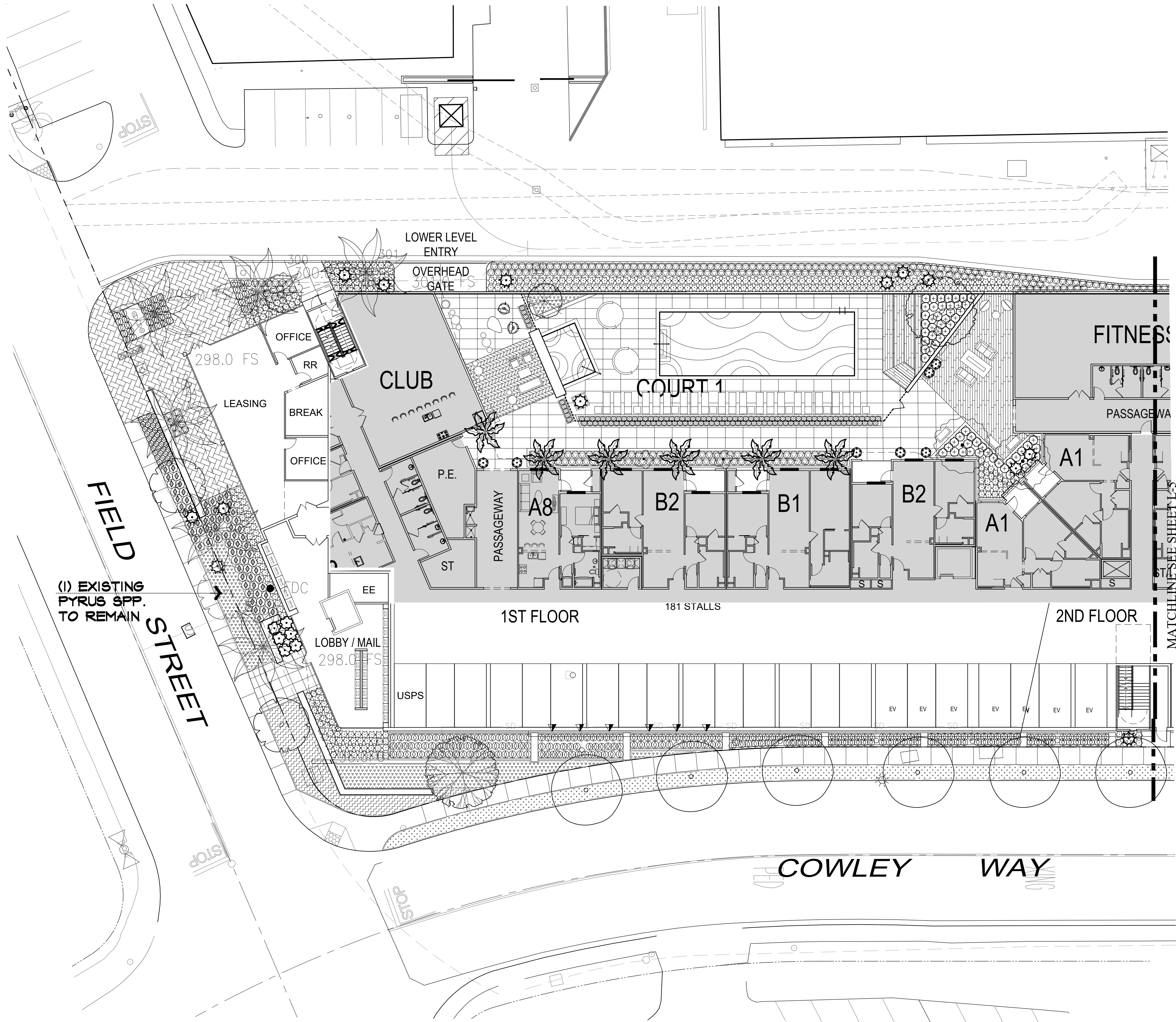


DATE: 09-30-22
JOB NO.: 21-030

AO ARCHITECTS
144 NORTH ORANGE ST., ORANGE, CA 92866
(714) 639-9860

L3
39 OF 43





ROOT ZONE NOTE:
A minimum root zone of 40 s.f. in area shall be provided for all trees. The minimum dimension for this area shall be 5 feet, per SDMC 142.0403(b)(5).

TREE MAINTENANCE NOTE:
All pruning shall comply with the standards of the American National Standards Institute (ANSI) for tree care operations and the International Society of Arboriculture (ISA) for tree pruning. Topping of the trees is not permitted.

LANDSCAPE NOTE:
All landscape and irrigation shall conform to the standards for the City-Wide Landscape Regulations and the City of San Diego Land Development Manual Landscape Standards and all other landscape related City and Regional Standards.

PLANT LEGEND

SYMBOLS	BOTANICAL NAME	COMMON NAME	SIZE	QTY.	COMMENTS	WUCOLS	FORM	HEIGHT/ SPREAD	POINTS	TOTAL POINTS
TREES										
	Arbutus 'Marina'	Strawberry Tree	36" Box	1	Std.		Accent	40x40	50	50
	Bauhinia blakeana	Hong Kong Orchid Tree	36" Box		Std.	M	Flowering	20x20		
	Erythrina cafra	Coral Tree	60" Box	1	Multi	L	Accent	40x60	100	100
	Jacaranda mimosifolia	Jacaranda	60" Box		Std.	M	Flowering	50x60		
	Lagerstroemia hybrids 'Muskogee'	Crape Myrtle (Lavender)	36" Box	16	Std.	M	Round	20x20	50	800
	Rhaphiolepis 'Majestic Beauty'	Majestic Beauty Indian Hawthorn	36" Box		Std.	M	Flowering	20x15		
	Magnolia grandiflora 'Little Gem'	Southern Magnolia	36" Box	1	Low Branching	M	Pyramidal	25x15	50	50
	Laurus nobilis	Sweet Bay	36" Box		Std.	L	Pyramidal	30x20		
	Geijera parviflora	Australian Willow	24" Box	10	Std.	M	Canopy	30x20	20	200
	Cupaniopsis anacardioides	Carrotwood	24" Box		Std.	M	Canopy	25x35		
	Dracaena draco	Dragon Tree	24" Box	7	Multi	L	Accent	25x25	20	140
	Strelitzia nicholai	Giant Bird-of-Paradise	24" Box		Std.	L	Fanlike	30x10		
	Platanus acerifolia 'Columbia'	London Plane Tree	24" Box	5	Std.	L	Vertical	90x70	20	100
	Liquidambar styraciflua	American Sweet Gum	24" Box		Std.	L	Oval	75x50		
	Pyrus kawakamii	Evergreen Pear	24" Box	2	Std.	M	Canopy	25x25	20	40
			1	Existing						
	Tristania conferta	Brisbane Box	36" Box	4	Std.	M	Vertical	50x40	50	200
	Magnolia grandiflora 'Samuel Sommer'	Samuel Sommer Southern Magnolia	36" Box		Std.	M	Pyramidal	50x30		
	Specimen Trees	T.B.D.	72" Box	2	Std.	M	Canopy	-	100	200
PALMS										
	Archontophoenix cunninghamiana	King Palm	36" Box	17	Std.	M	Fountain	60x12	15	255
	Dypsis decaryi	Triangle Palm	36" Box		Std.	M	Fountain	20x15		
	Phoenix dactylifera	Date Palm	20" B.T.H	9	Std.	L	Fountain	100x40	30	270
	Phoenix dactylifera 'Medjool'	Medjool Date Palm	20" B.T.H		Std.	L	Fountain	100x40		
TOTAL:										2,405

SHRUB LEGEND

SYMBOLS	BOTANICAL NAME	COMMON NAME	SIZE	QTY.	WUCOLS	FORM	HEIGHT/ SPREAD	POINTS	TOTAL POINTS
SHRUBS									
	Aeonium arboreum	Tree Aeonium	1G	212	L	Irregular	4x2	1	212
	Echeveria species	Echeveria							
	Agave attenuata	Foxtail Agave	5G	63	L	Spikey	5x8	2	126
	Agave 'Blue Glow'	Blue Glow Agave							
	Aloe bainesii (barberae)	N.C.N.	24" Box	28	L	Vase	30x20	20	560
	Yucca elephanites	Spineless Yucca							
	Bambusa multiplex 'Alphonse Karr'	Alphonse Karr Bamboo	15G	8	M	Clumping	25x10	10	80
	Chondropetalum tectorum	Cape Rush	5G	84	L	Upright	3x4	2	168
	Hesperaloe parviflora	Red Yucca							
	Clivia miniata	Kaffir Lily	5G	12	M	Spreading	2x3	2	24
	Philodendron x 'Xanadu'	Dwarf Philodendron							
	Dianella revoluta 'DR5000'	Little Rev Flax Lily	5G @ 24" O.C.	515	L	Vase	4x2	2	1,030
	Carex spissa	San Diego Sedge							
	Dianella tasmanica 'Silver Streak'	Silver Streak Flax Lily	5G @ 36" O.C.	663	M	Vase	2x2	2	1,292
	Litiope muscari 'Silvery Sunproof'	Silvery Sunproof Lilyturf							
	Dracaena marginata	N.C.N.	15G	7	M	Palm like	20x10	10	70
	Cordyline indivisa	Blue Dracaena Palm							
	Lomandra longifolia 'LM300'	Breeze Dwarf Mat Rush	5G	379	L	Grass like	3x4	2	766
	Juncus patens	California Gray Rush							
	Ligustrum compactum	Compact Privet	5G	21	M	Upright	10x6	2	42
	Prunus caroliniana 'Compacta'	Compact Carolina Cherry							
	Myoporum parvifolium 'Putah Creek'	Prostratum Myoporum	1G @ 24" O.C.	108	L	Spreading	2x15	1	108
	Trachelospermum asiaticum	Asian Jasmine							
	Philodendron x 'Xanadu'	Dwarf Philodendron	5G	136	M	Spreading	3x5	2	272
	Aucuba japonica	Japanese Laurel							
	Phoenix roebellenii	Pygmy Date Palm	15G	8	M	Feathered	10x8	10	80
	Butia capitata	Pindo Palm							
	Podocarpus elongatus 'Monmal'	Icee Blue Yellow-Wood	15G	16	M	Pyramidal	12x5	10	160
	Ilex crenata 'Sky Pencil'	Japanese Holly							
	Sansevieria trifasciata	Snake Plant	5G	185	M	Erect	3x8	2	370
	Dracaena angolensis	Cylindrical Snake Plant							
	Strelitzia reginae	Bird-of-Paradise	15G	321	M	Fan like/ Vase	6x4	10	3,210
	Moraea bicolor	Fortnight Lily							
	Olea europaea 'Montra' P.P.#6266	Little Olive	5G	337	L	Rounded	8x5	2	674
	Westringia fruticosa 'WES03'	Blue Gem Westringia							
VINES									
	Ficus pumila (repens)	Creeping Fig	5G	6	M	Vine	15x6	2	12
	Campsis radicans 'Flava'	Yellow Trumpet Vine							
TOTAL:									9,256

MAINTENANCE NOTE:

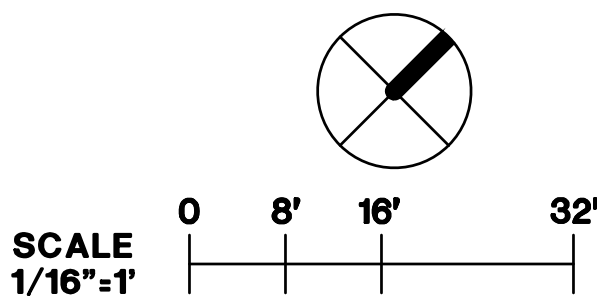
Maintenance: All required landscape areas shall be maintained by owners representative. Landscape and irrigation areas in the public right-of-way shall be maintained by owners representative. The landscape areas shall be maintained free of debris and litter, and all plant material shall be maintained in a healthy growing condition. Diseased or dead plant material shall be satisfactorily treated or replaced per the conditions of the permit.

MINIMUM TREE SEPARATION NOTE:

MINIMUM TREE SEPARATION DISTANCE
Traffic signals/stop signs - 20 feet
Underground utility lines - 5 feet (10' for sewer)
Above ground utility structures - 10 feet
Driveway (entries) - 10 feet (5' for residential streets < 25 mph)
Intersections (intersecting curb lines of two streets) - 25 feet

NET CANOPY TREE GAIN NOTE:

Existing canopy trees to be removed=15
Proposed canopy trees to be added=29
Net increase in the number of canopy trees = 14



DATE: 09-30-22
JOB NO.: 21-030

CLAIREMONT VILLAGE

CLAIREMONT VILLAGE QUAD, LLC
12625 HIGH BLUFF DR #310, SAN DIEGO CA. 92130
858.481.3081

SAN DIEGO, CA

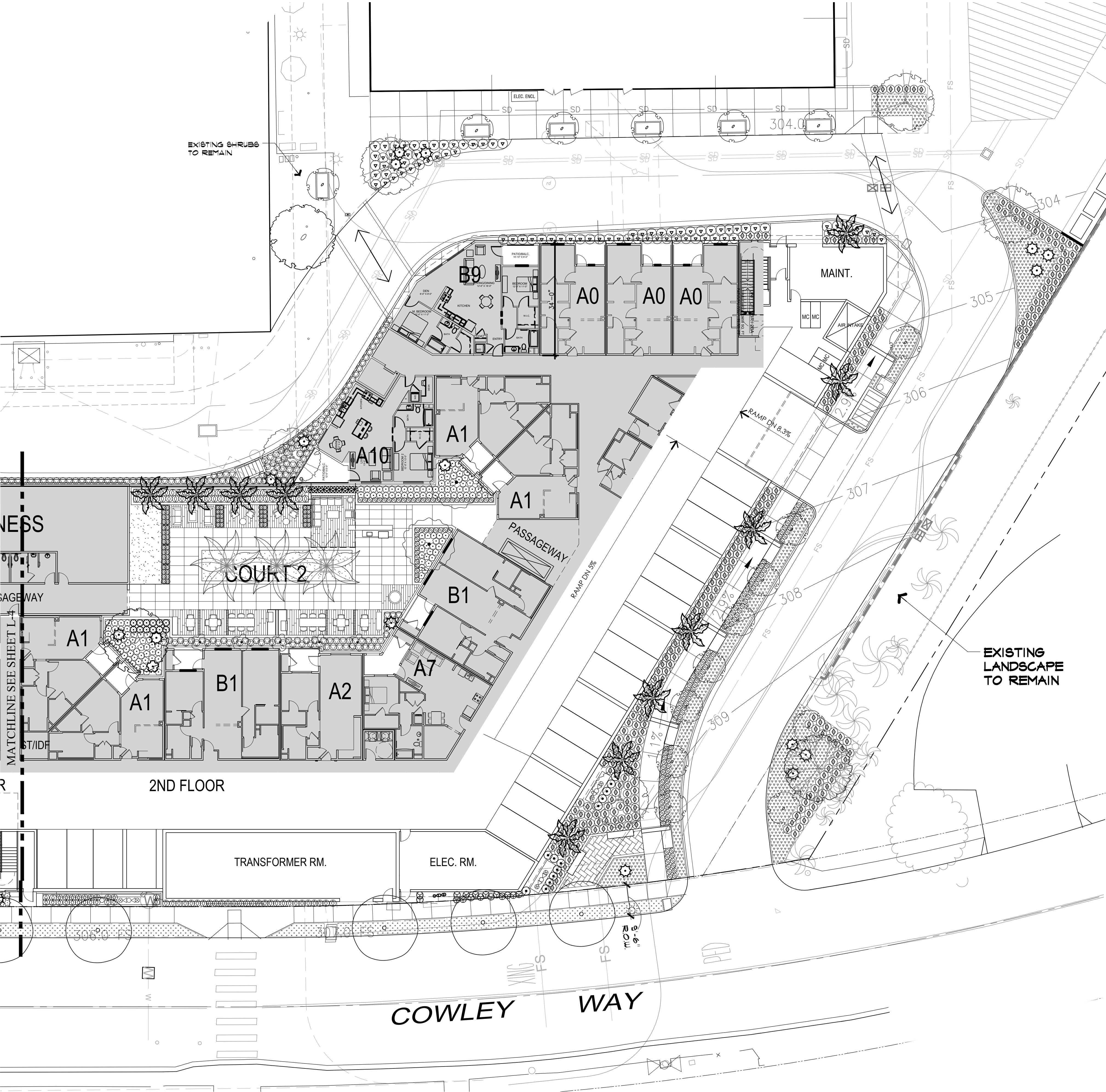
PRELIMINARY LANDSCAPE PLAN



Landscape Architecture & Planning
3190-B2 Airport Loop Drive
Costa Mesa, CA 92626
Richard Pothman, License # 2782
(949) 644-9370 FAX (714) 210-3140

AO ARCHITECTS

144 NORTH ORANGE ST., ORANGE, CA 92866
(714) 639-9860



PLANT LEGEND

SYMBOLS	BOTANICAL NAME	COMMON NAME	SIZE	QTY.	COMMENTS	WUCOLS	FORM	HEIGHT/ SPREAD	POINTS	TOTAL POINTS
TREES										
	Arbutus 'Marina'	Strawberry Tree	36" Box	1	Std.	L	Accent	40x40	50	50
	Bauhinia blakeana	Hong Kong Orchid Tree	36" Box		Std.	M	Flowering	20x20		
	Erythrina caffra	Coral Tree	60" Box	1	Multi	L	Accent	40x60	100	100
	Jacaranda mimosifolia	Jacaranda	60" Box		Std.	M	Flowering	50x60		
	Lagerstroemia hybrids 'Muskogee'	Crape Myrtle (Lavender)	36" Box	16	Std.	M	Round	20x20	50	800
	Rhaphiotepis 'Majestic Beauty'	Majestic Beauty Indian Hawthorn	36" Box		Std.	M	Flowering	20x15		
	Magnolia grandiflora 'Little Gem'	Southern Magnolia	36" Box	1	Low Branching	M	Pyramidal	25x15	50	50
	Laurus nobilis	Sweet Bay	36" Box		Std.	L	Pyramidal	30x20		
	Geijera parviflora	Australian Willow	24" Box	10	Std.	M	Canopy	30x20	20	200
	Cupaniopsis anacardioides	Carrotwood	24" Box		Std.	M	Canopy	25x35		
	Dracaena draco	Dragon Tree	24" Box	7	Multi	L	Accent	25x25	20	140
	Strelitzia nicholai	Giant Bird-of-Paradise					Fanlike	30x10		
	Platanus acerifolia 'Columbia'	London Plane Tree	24" Box	5	Std.	L	Vertical	90x70	20	100
	Liquidambar styraciflua	American Sweet Gum					Oval	75x50		
	Pyrus kawakamii	Evergreen Pear	24" Box	2	Std.	M	Canopy	25x25	20	40
		Existing		1						
	Tristania conferta	Brisbane Box	36" Box	4	Std.	M	Vertical	50x40	50	200
	Magnolia grandiflora 'Samuel Sommer'	Samuel Sommer Southern Magnolia	36" Box		Std.	M	Pyramidal	50x30		
	Specimen Trees	T.B.D.	72" Box	2	Std.	M	Canopy	-	100	200
PALMS										
	Archontophoenix cunninghamiana	King Palm	36" Box	17	Std.	M	Fountain	60x12	15	255
	Dypsis decaryi	Triangle Palm	36" Box		Std.	M	Fountain	20x15		
	Phoenix dactylifera	Date Palm	20' B.T.H	9	Std.	L	Fountain	100x40	30	270
	Phoenix dactylifera 'Medjool'	Medjool Date Palm	20' B.T.H		Std.	L	Fountain	100x40		
									TOTAL:	2,405

SHRUB LEGEND

SYMBOLS	BOTANICAL NAME	COMMON NAME	SIZE	QTY.	WUCOLS	FORM	HEIGHT/ SPREAD	POINTS	TOTAL POINTS
SHRUBS									
⊙	Aeonium arboreum Echeveria species	Tree Aeonium Echeveria	1G	212	L	Irregular	4x2	1	212
⊙	Agave attenuata Agave 'Blue Glow'	Foxtail Agave Blue Glow Agave	5G	63	L	Spikey	5x8	2	126
⚙	Aloe bainesii (barberae) Yucca elephantipes	N.C.N. Spineless Yucca	24" Box	28	L	Vase	30x20	20	560
✱	Bambusa multiplex 'Alphonse Karr'	Alphonse Karr Bamboo	15G	8	M	Clumping	25x10	10	80
⊙	Chondropetalum tectorum Hesperaloe parviflora	Cape Rush Red Yucca	5G	84	L	Upright	3x4	2	168
⊙	Clivia miniata Philodendron x 'Xanadu'	Kaffir Lily Dwarf Philodendron	5G	12	M	Spreading	2x3	2	24
⊙	Dianella revoluta 'DR5000'	Little Rev Flax Lily	5G @ 24" O.C.	515	L	Vase	4x2	2	1,030
⊙	Carex spissa Dianella tasmanica 'Silver Streak'	San Diego Sedge Silver Streak Flax Lily	5G	663	M	Vase	2x2	2	1,292
⊙	Litiope muscari 'Silvery Sunproof'	Silvery Sunproof Lilyturf	36" O.C.						
⊙	Dracaena marginata Cordylina indivisa	N.C.N. Blue Dracaena Palm	15G	7	M	Palm like	20x10	10	70
⊙	Lomandra longifolia 'LM300'	Breeze Dwarf Mat Rush	5G	379	L	Grass like	3x4	2	766
⊙	Juncus patens	California Gray Rush							
⊙	Ligustrum compactum Prunus caroliniana 'Compacta'	Compact Privet Compact Carolina Cherry	5G	21	M	Upright	10x6	2	42
⊙	Myoporum parvifolium 'Putah Creek'	Prostratum Myoprum	1G	108	L	Spreading	2x15	1	108
⊙	Trachelospermum asiaticum	Asian Jasmine	24" O.C.						
⊙	Philodendron x 'Xanadu'	Dwarf Philodendron	5G	136	M	Spreading	3x5	2	272
⊙	Aucuba japonica	Japanese Laurel							
⊙	Phoenix roebellenii Butia capitata	Pygmy Date Palm Pindo Palm	15G	8	M	Feathered	10x8	10	80
⊙	Podocarpus elongatus 'Monmal'	Icee Blue Yellow-Wood	15G	16	M	Pyramidal	12x5	10	160
⊙	Ilex crenata 'Sky Pencil'	Japanese Holly							
⊙	Sansevieria trifasciata Dracaena angolensis	Snake Plant Cylindrical Snake Plant	5G	185	M	Erect	3x8	2	370
⊙	Strelitzia reginae Moraea bicolor	Bird-of-Paradise Fortnight Lily	15G	321	M	Fan like/ Vase	6x4	10	3,210
⊙	Olea europaea 'Montra' P.P.#6266 Westringia fruticosa 'WES03'	Little Olive Blue Gem Westringia	5G	337	L	Rounded	8x5	2	674
VINES									
▼	Ficus pumila (repens) Campsis radicans 'Flava'	Creeping Fig Yellow Trumpet Vine	5G	6	M	Vine	15x6	2	12
TOTAL:									9,256

CLAIREMONT VILLAGE

CLAIREMONT VILLAGE QUAD, LLC
12625 HIGH BLUFF DR #310, SAN DIEGO CA. 92130
858.481.3081

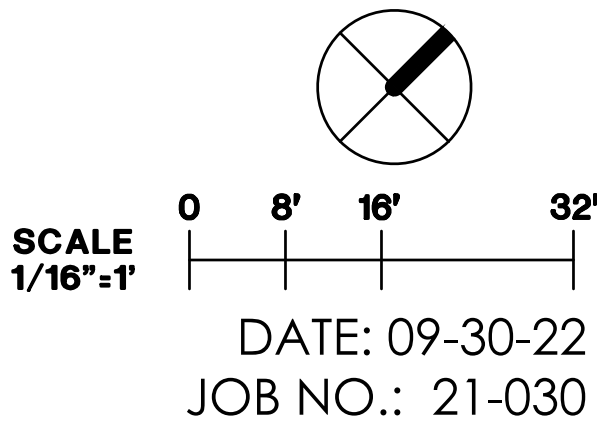
SAN DIEGO, CA

PRELIMINARY LANDSCAPE PLAN



SITE SCAPES
Landscape Architecture & Planning
3190-B2 Airport Loop Drive
Costa Mesa, CA 92626
Richard Pothmus, License # 2782
(949) 644-9370 FAX (714) 210-3140

AO ARCHITECTS
144 NORTH ORANGE ST., ORANGE, CA 92866
(714) 639-9860



L5
41 OF 43



LANDSCAPE CALCULATION / DIAGRAM

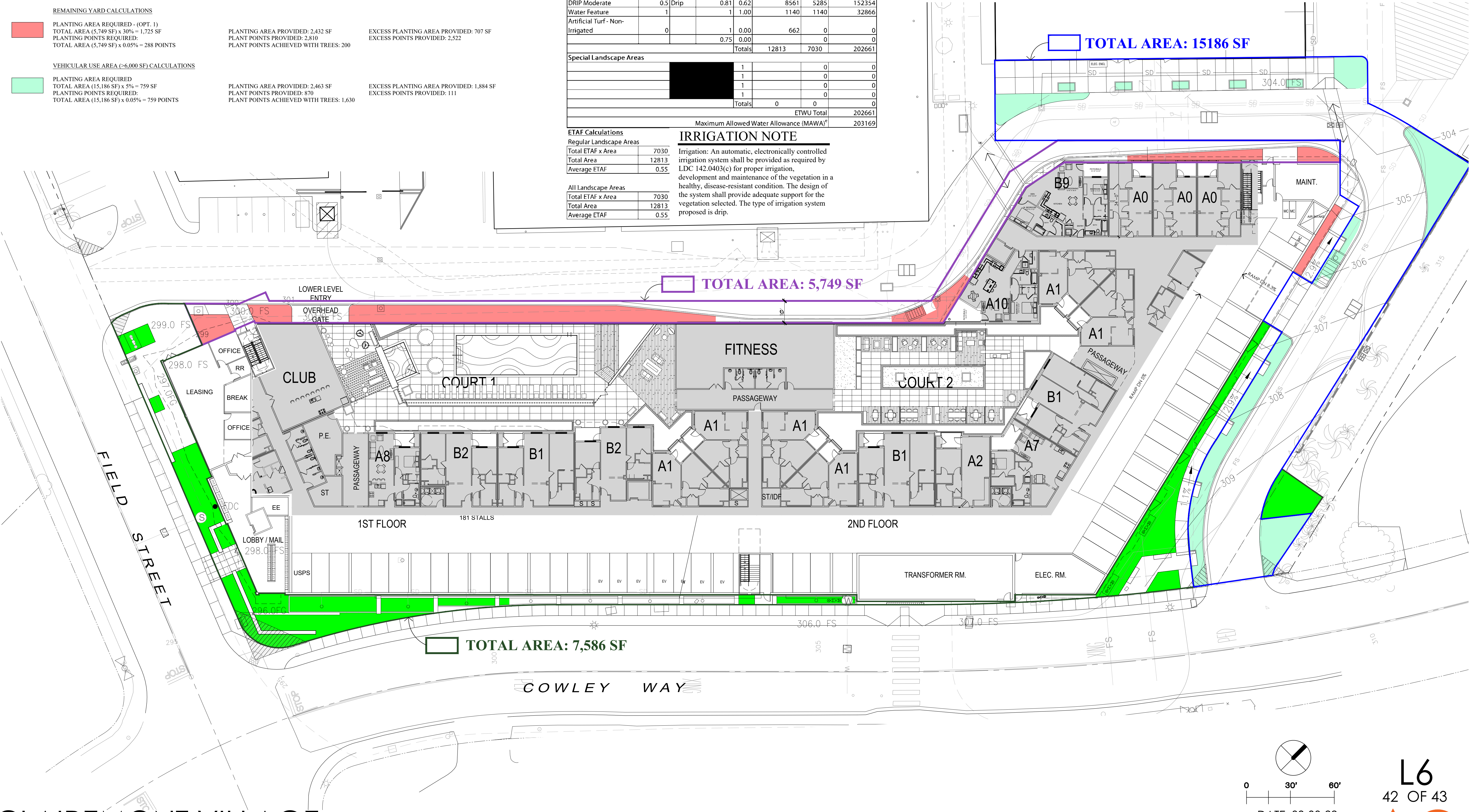
LANDSCAPE CALCULATIONS WORKSHEET		
STREET YARD CALCULATIONS		
	PLANTING AREA REQUIRED: TOTAL AREA (7,586 SF) x 50% = 3,793 SF PLANTING POINTS REQUIRED: TOTAL AREA (7,586 SF) x 0.05% = 379.30 POINTS	PLANTING AREA PROVIDED: 3,973 SF PLANT POINTS PROVIDED: 2,062 PLANT POINTS ACHIEVED WITH TREES: 620
REMAINING YARD CALCULATIONS		
	PLANTING AREA REQUIRED - (OPT. 1) TOTAL AREA (5,749 SF) x 30% = 1,725 SF PLANTING POINTS REQUIRED: TOTAL AREA (5,749 SF) x 0.05% = 288 POINTS	PLANTING AREA PROVIDED: 2,432 SF PLANT POINTS PROVIDED: 2,810 PLANT POINTS ACHIEVED WITH TREES: 200
VEHICULAR USE AREA (>6,000 SF) CALCULATIONS		
	PLANTING AREA REQUIRED TOTAL AREA (15,186 SF) x 50% = 7,593 SF PLANTING POINTS REQUIRED: TOTAL AREA (15,186 SF) x 0.05% = 759 POINTS	PLANTING AREA PROVIDED: 2,463 SF PLANT POINTS PROVIDED: 870 PLANT POINTS ACHIEVED WITH TREES: 1,630

WATER USE CALCULATION WORKSHEET

California Water Efficient Landscape Worksheet							
Reference Evapotranspiration (ET _a)	46.5	Project Type	Residential	ETAF	0.55		
Hydrozone # / Planting Description ^a	Plant Factor (PF)	Irrigation Method ^b	Irrigation Efficiency (IE) ^b (PF/IE)	Landscape Area (Sq. Ft.)	ETAF x Area	Estimated Total Water Use	
Regular Landscape Areas							
DRIP Low	0.2	Drip	0.81	0.25	2450	605	17440
DRIP Moderate	0.5	Drip	0.81	0.62	8561	5285	152354
Water Feature	1		1	1.00	1140	1140	32866
Artificial Turf - Non-Irrigated	0		1	0.00	662	0	0
			0.75	0.00		0	0
Totals					12813	7030	202661
Special Landscape Areas							
			1			0	0
			1			0	0
			1			0	0
			1			0	0
Totals					0	0	0
						ETWU Total	202661
						Maximum Allowed Water Allowance (MAWA) ^c	203169
ETAF Calculations							
Regular Landscape Areas							
Total ETAF x Area				7030			
Total Area				12813			
Average ETAF				0.55			
All Landscape Areas							
Total ETAF x Area				7030			
Total Area				12813			
Average ETAF				0.55			
Irrigation: An automatic, electronically controlled irrigation system shall be provided as required by LDC 142.0403(c) for proper irrigation, development and maintenance of the vegetation in a healthy, disease-resistant condition. The design of the system shall provide adequate support for the vegetation selected. The type of irrigation system proposed is drip.							

IRRIGATION NOTE

Irrigation: An automatic, electronically controlled irrigation system shall be provided as required by LDC 142.0403(c) for proper irrigation, development and maintenance of the vegetation in a healthy, disease-resistant condition. The design of the system shall provide adequate support for the vegetation selected. The type of irrigation system proposed is drip.



CLAIREMONT VILLAGE

CLAIREMONT VILLAGE QUAD, LLC
12625 HIGH BLUFF DR #310, SAN DIEGO CA. 92130
858.481.3081

SAN DIEGO, CA

LANDSCAPE CALCULATION PLAN

S I T E S C A P E S
Landscape Architecture & Planning
3190-B2 Airport Loop Drive
Costa Mesa, CA 92626
Richard Potholus, License # 2782
(949) 644-9370 FAX (714) 210-3140

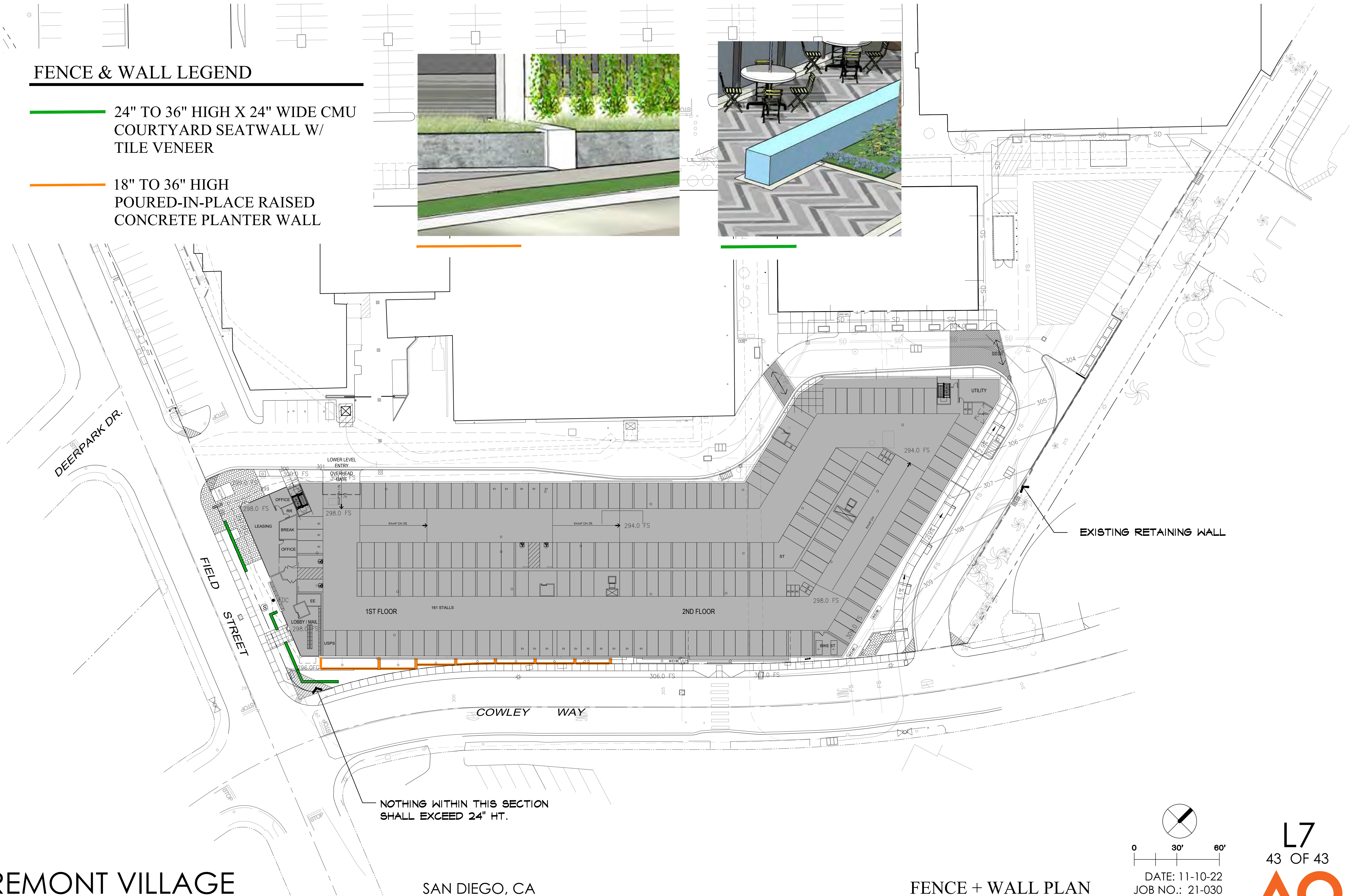
AO ARCHITECTS
144 NORTH ORANGE ST., ORANGE, CA 92866
(714) 639-9860

DATE: 09-30-22
JOB NO.: 21-030

L6
42 OF 43
AO
Architecture.
Design.
Relationships.

FENCE & WALL LEGEND

- 24" TO 36" HIGH X 24" WIDE CMU
COURTYARD SEATWALL W/
TILE VENEER
- 18" TO 36" HIGH
POURED-IN-PLACE RAISED
CONCRETE PLANTER WALL



CLAIREMONT VILLAGE

CLAIREMONT VILLAGE QUAD, LLC
12625 HIGH BLUFF DR #310, SAN DIEGO CA. 92130
858.481.3081

SAN DIEGO, CA



SITE SCAPES
Landscape Architecture & Planning
3190-B2 Airport Loop Drive
Costa Mesa, CA 92626
Richard Pothomus, License # 2782
(949) 644-9370 FAX (714) 210-3140

FENCE + WALL PLAN

AO ARCHITECTS
144 NORTH ORANGE ST., ORANGE, CA 92866
(714) 639-9860

