

Mira Mesa Community Planning Group Draft Agenda & Public Notice

Date/Time: Wednesday, February 19, 2025, 7:00pm

Location: Mira Mesa Public Library, 8405 New Salem Street, San Diego CA 92126

Action/Information: All items noted as (Action) items may be moved/seconded as a Question for discussion and vote. All items not so noted will be information items.

Order of Consideration: Items on this agenda may be discussed in an order different than shown here for the convenience of elected officials, representatives of government agencies or other participants.

Call to Order/Confirm quorum:

1. Modifications to the Agenda
2. Adopt Previous Meeting Minutes (Action).
 - a. Minutes of January 23, 2025 meeting
3. Non-Agenda Public Comments: 3 Minutes per speaker.
4. Planning Group Member Comments
5. Reports
 - a. Report of the Chair
 - b. Community Planners Committee
 - c. Los Peñasquitos Canyon Preserve Citizens Advisory Committee
6. Old Business
 - a. Update from Elections Subcommittee (Informational)
7. New Business
 - a. PRJ-1124012- 8748 Gold Coast Drive Conditional Use Permit for Child Care Center (Action)
8. Elected Officials/Government Agencies
 - a. United States Congress – California 51st District for Sara Jacobs
 - b. California Senate – District 40 Marc Schaefer for Brian Jones
 - c. California Assembly – District 78 Michael Bravo for Chris Ward
 - d. San Diego County – Board of Supervisors District 3 Becca Smith for Terra Lawson-Remer
 - e. San Diego – Mayor’s Office Michaela Valk for Todd Gloria
 - f. San Diego – City Council District 6 Ana Serrano for Kent Lee
 - g. MCAS Miramar
9. Adjourn

Mira Mesa Community Planning Group Draft Meeting Minutes

Date/Time: Thursday, January 23, 2025, 7:00pm

Location: Mira Mesa Public Library, 8405 New Salem Street, San Diego CA 92126

Attendees (17 Members): Bo Gibbons, Andrew Miklusicak, Lillith Nover, Chris Cate, ~~Ria Otero~~, Joe Frichtel, ~~Bari Vaz~~, Sean Tompkins, ~~Dorothy Lorenz~~, Keith Flitner, ~~Julia Schriber~~, Tiffany English, ~~David Mandelbaum~~, ~~Mike Linton~~, Phillip Linssen, Jacob Ricketts, ~~Tracee Denby~~.

(2 Open Seats) – One landowner and one business seat

Call to Order/Confirm quorum: 7:01, Quorum 9 of 19 (*Minimum of 8 required for Quorum*)

1. Modifications to the Agenda – None.
2. Adopt Previous Meeting Minutes (Action) – Lillith/Joe: Motion to approve with amendments
 - a. Minutes of November 18, 2024 meeting
 - b. 9 approved, 0 abstain, 0 opposed
3. Non-Agenda Public Comments: 3 Minutes per speaker.
 - a. Pam Stevens: MMTC and Scripps Mesa Fireworks preparing for the July 3rd fireworks celebration. The watch party will be at Hourglass beginning at 4pm and the fireworks show will begin at 9pm. First meeting will be on 1/24 at Mira Mesa Presbyterian Church.
4. Planning Group Member Comments – None.
5. Reports
 - a. Report of the Chair
 - Epicentre Groundbreaking on 1/29 at 4pm
 - IBA Budget Review Townhall meeting on Thursday 2/20 from 6-8pm at the Senior Center
 - February’s MMCPG meeting will be on 2/19 at 7pm
 - b. Community Planners Committee
 - Presented by Bo.
 - Comments relating to Coastal Resiliency Master Plan, Land Development Code Update process, “Footnote 7”, and increasing the budget for CPGs
 - c. Los Peñasquitos Canyon Preserve Citizens Advisory Committee
 - Presented by Pam.
 - No quorum for the January 16 meeting.
6. Old Business
 - a. None
7. New Business
 - a. Coastal Commission Modification to Mira Mesa Community Plan (Informational)
 - Information only, no action taken. Presentation on file.
 - b. Appointment of Election Committee (Action)
 - Presented by Jeff Stevens
 - Andrew/Lillith: Motion to appoint Sean and Keith to the Election Subcommittee
 - Motion approved. 9-0-0

Mira Mesa Community Planning Group Draft Meeting Minutes

- c. Measure B Cost of Service Study Results (Informational)
 - Information only, no action taken. Presentation on file.
- d. Wireless Facility – 7598 1/3 Calle Cristobal (Action)
 - Presentation on file.
 - Phil/Bo: Motion to approve
 - Motion approved. 9-0-0
- e. Mira Mesa Mall Street Vacation – (Action)
 - Presentation on file.
 - Phil/Sean: Motion to approve
 - Motion approved. 9-0-0

8. Elected Officials/Government Agencies

- a. United States Congress – California 51st District for Sara Jacobs – No representative
- b. California Senate – District 40 Marc Schaefer for Brian Jones – No representative
- c. California Assembly – District 78 Michael Bravo for Chris Ward – No representative
- d. San Diego County – Board of Supervisors District 3 Becca Smith for Terra Lawson-Remer – No representative
- e. San Diego – Mayor’s Office Michaela Valk for Todd Gloria

- This will be my last meeting before I go on maternity leave through July/August. In my absence, my colleague Lucero Maganda (cc'd here and her email address is lmaganda@sandiego.gov) will be filling in as the Acting Director of Community Engagement and the point of contact for the neighborhoods in Council District 6 for the Mayor's office as well as the Asian Pacific Islander constituency. Lucero will be overseeing three council districts in addition to other responsibilities, so her ability to go to the community meetings will be limited but in case you need any assistance from the Mayor's office or a meeting that is important to have our presence please don't hesitate to reach out to her. Likewise, Lucero will be directly in touch with you about any Mira Mesa community matters as well as monthly updates from the Mayor.

- **Mira Mesa Community Park Phase II Improvements:**

Installation of exterior site lighting, concrete placement for the aquatic building slab and footings, and installation of an underground stormwater retention system are underway. Additionally, work has commenced on renovating the existing recreation center.

- **Salk Neighborhood Park Joint Use Development:**

Construction is approximately 79% complete. Due to the ongoing legal issues related to the shade structure procurement by the contractor, limited construction is happening at the site, including Grading and forming sundial at Oval Field. Comfort Station: Grouting 3rd lift of CMU. Oval Field: Install irrigation mainline and complete surface drainage at the butterfly area. Substantial completion is projected for June 2025.

There is a delay with the lead time and DSA review of the shade structure and the retaining walls at Maddox Park and Dog Park, among other unforeseen

Mira Mesa Community Planning Group Draft Meeting Minutes

conditions. The Plant Establishment Period/Park Opening scheduled in late spring of 2025.

- **Wangenheim Neighborhood Park Joint Use Facility:**

The project is about 99.6% complete. The turf over the north area (Walker Park) has been replaced and is currently under a plant establishment period. Following turf establishment, the stormwater facilities need to be inspected for final acceptance, which is projected to be in the spring of 2025.

- **Preparing for Floods and Fires:**

One year ago, the January 22, 2024 floods devastated many of our communities and is one of the most significant natural disasters in San Diego History. One of the on-going efforts the City has done to help educate residents about flood preparation is by mailing the attached Flood Preparedness brochure (attached) to those who live in or own property located in a floodplain as identified by the Federal Emergency Management Agency. The brochure includes tips on how to prepare for flood emergencies, protect property, and report issues in a neighborhood. Staying informed is essential to your successful preparedness during an emergency. For additional information, please visit <https://www.sandiego.gov/oes/emergencypreparedness>.

During this critical fire weather period, [CalOES](#) urges all Californians to remain vigilant and adhere to the guidance provided by emergency officials.

It's important that every resident prepare their home and their family for the possibility of a major fire. San Diego Fire Rescue recommends residents to review and follow their [Ready Set Go](#) Guide.

f. San Diego – City Council District 6 Ana Serrano for Kent Lee

- Mira Mesa Community Park Phase II Improvements

- The website for this Capital Improvement Project contains the latest updates.
- Rough Grading & USRS excavation Completed: The rough grading for the project and the excavation for the underground stormwater retention structure has been completed.
- Underground system installation: Crews are putting in underground systems for water, sewage, and the drainage pipes. For the aquatic building PCL has completed the installation for the plumbing and electrical conduit.
- Recreation Center: The recreation center has undergone termite treatment.

- Salk Neighborhood Park Joint Use Development

- Due to the ongoing legal issues related to the shade structure procurement by the contractor, limited construction is happening at the site.
- Expected Project Completion: Plant Establishment Period/Park Opening still scheduled for late spring of 2025. As of now, the projected timeline for Salk Park's completion has not changed, this depends on the current legal issue with the shade structures.

Mira Mesa Community Planning Group Draft Meeting Minutes

- Wangenheim Neighborhood Park Joint Use
 - The project is nearly complete.
 - The turf over the north area (Walker Park) has been replaced and is currently under a plant establishment period.
 - Following turf establishment, the stormwater facilities need to be inspected for final acceptance, which is projected to be spring 2025
 - SRG 1801
 - Through December 20, 2024: Crews worked on storm drains at Camino Ruiz and Gold Coast Drive and added new asphalt to trench lines. They also installed highline along the curb on Parkdale Avenue (Flanders Drive to Dancy Road).
 - Through January 10, 2025: Crews have been prepping for paving on Parkdale Avenue (Port Royal Drive to Northrup Drive) and conducting utility exploration at Mira Mesa Blvd./Parkdale Ave. and Gold Coast Dr./San Ramon Dr.
 - January 6 to February 3, 2025: Crews have encountered several utilities within our proposed paving sections during the paving prep work. As a result, paving will need to be pushed back a couple weeks while we actively work with the utilities to resolve these issues.
 - Epicentre (from County):
 - Epicentre groundbreaking will be happening next week on Thursday, January 29th at 4 pm.
 - OTHER
 - CM was voted Council President Pro Tem
 - Committee appointments for this year:
 - Chair, Land Use and Housing Committee
 - Vice Chair, Active Transportation and Infrastructure Committee
 - Vice Chair, Rules Committee
 - Member, Budget and Government Efficiency Committee
 - Member, Economic Development and Intergovernmental Relations Committee
 - g. MCAS Miramar – Kristen Camper
 - Three fires in the last 3 weeks
 - Airshow will be September 26-28th
 - Officially called “America’s Airshow”
9. Adjourn X:XXpm; Next Meeting February XX, 2025

Kiddies Korner Preschool

8748 GOLD COAST DRIVE



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architect, inc.
760.977.9128
1228 Avenida Amistad
San Marcos, CA 92069
brandy@bjyarch.com
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WELCOME TO KIDDIES KORNER PRESCHOOL

Kiddies Korner Preschool has been helping children in building a strong foundation packed with social and educational backgrounds.



Ages Served

We are committed to providing quality education within the ages of 2 - 5 years



Hours of Operation

7:00 am to 5:30 pm Mon - Fri



FRONT OF HOUSE FROM GOLD COAST DRIVE

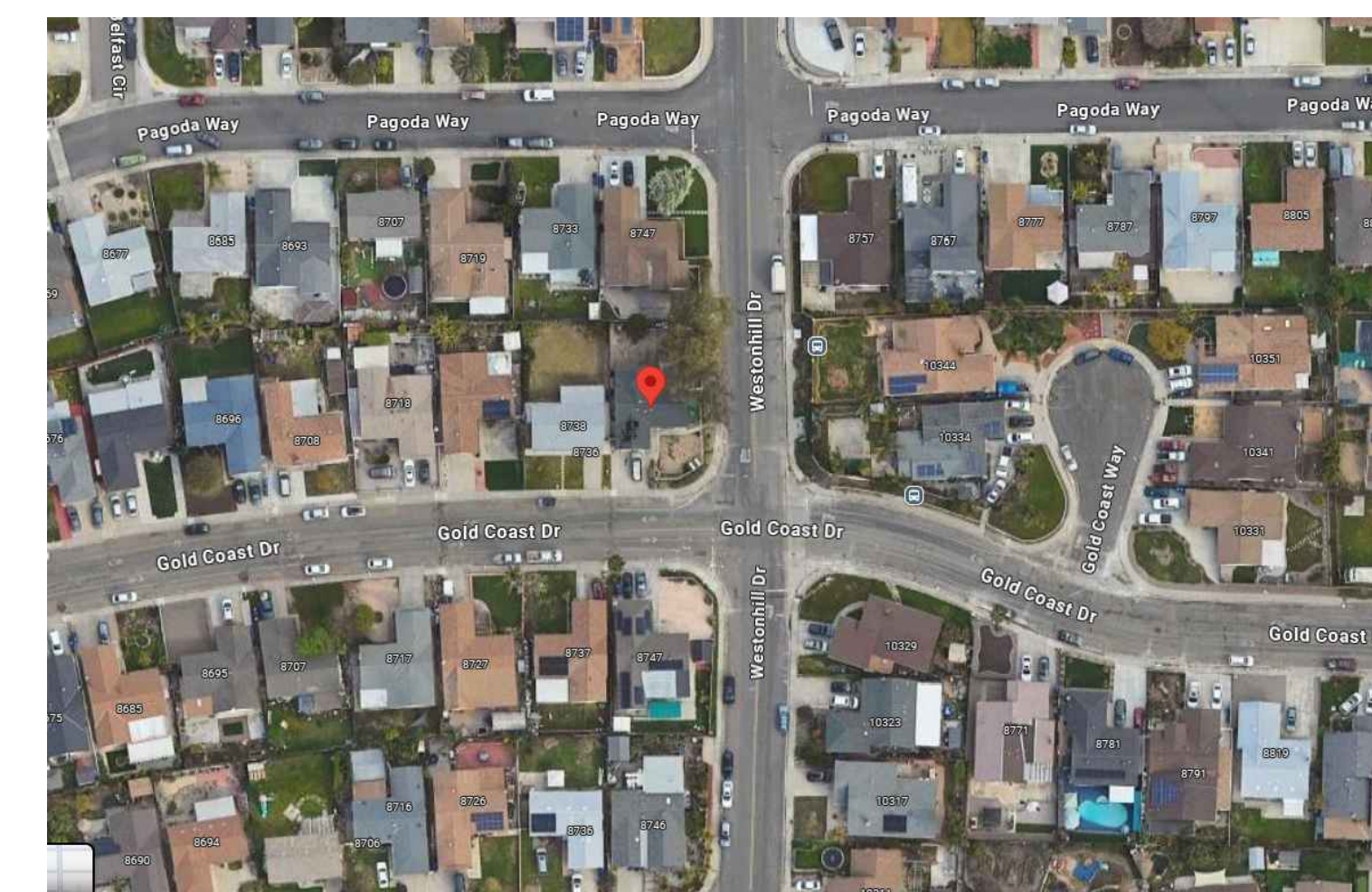


BACKYARD PLAY AREA

Kiddies Korner Preschool has been since 1972.

It is located in Mira Mesa.

Kiddies Korner Preschool provides a safe, developmentally appropriate, nurturing environment that promotes social, emotional, cognitive and physical growth, as well as a positive self-image and a love of learning. The Preschool Place and Kindergarten is recognized as a leader in the community for providing a strong foundation for future academic success.



NEIGHBORHOOD MAP

CONDITIONAL USE PERMIT FOR:
KIDDIES KORNER PRESCHOOL
8748 GOLD COAST DRIVE
SAN DIEGO, CA 92126

PROJECT:

| REVISIONS | DATE |
|-----------------|------------|
| CUP SUBMITTAL | 2024.09.25 |
| CUP RESUBMITTAL | 2025.02.06 |
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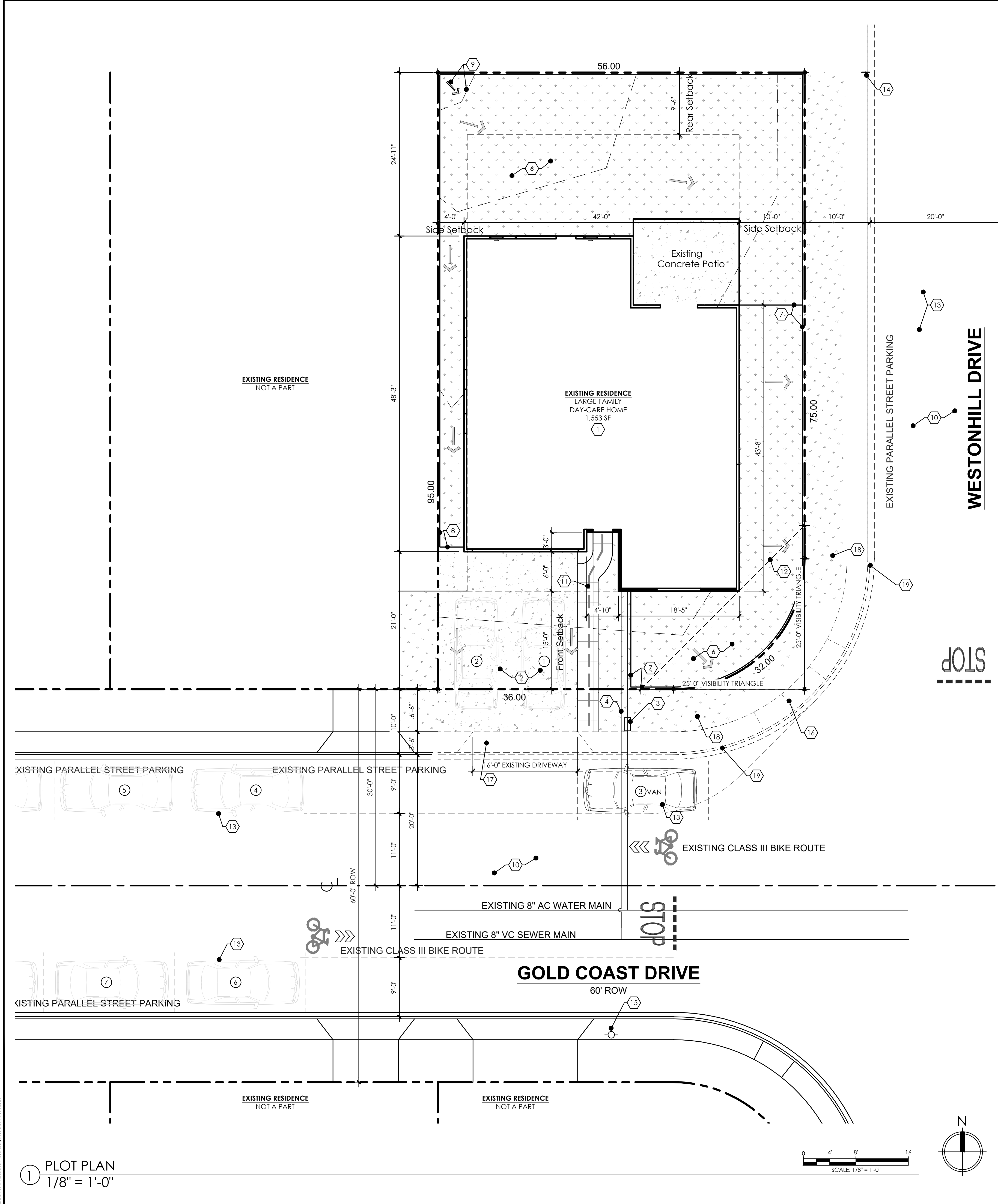
SEAL:

PROJECT NUMBER
PRJ-1067308
22.34.02 GOLD COAST
ISSUE DATE: 2024.09.25
PLOT DATE: 2025.02.14
SHEET NAME:

TITLE SHEET

SHEET NUMBER:

T0.1



CODE INFORMATION:
 2022 CALIFORNIA BUILDING CODE (CBC)
 2022 CALIFORNIA ELECTRICAL CODE (CEC)
 2022 CALIFORNIA MECHANICAL CODE (CMC)
 2022 CALIFORNIA PLUMBING CODE (CPC)
 2022 CALIFORNIA GREEN BUILDINGS STANDARDS CODE (CALGREEN)
 2022 CALIFORNIA ENERGY CODE (CLIMATE ZONE 10 - 92078)
 2022 CALIFORNIA RESIDENTIAL CODE (CRC)
 2022 CALIFORNIA FIRE CODE
 2022 CALIFORNIA ADMINISTRATIVE CODE (CAC)
 CITY OF SAN DIEGO MUNICIPAL CODE NOISE AND ABATEMENT CONTROL ORDINANCE SECTION 59.5.04
 CITY OF SAN DIEGO MUNICIPAL CODE GENERAL PLAN NOISE ELEMENT
 CITY OF SAN DIEGO MUNICIPAL CODE GAP SECTION §143.14 CONSISTENCY REGULATIONS

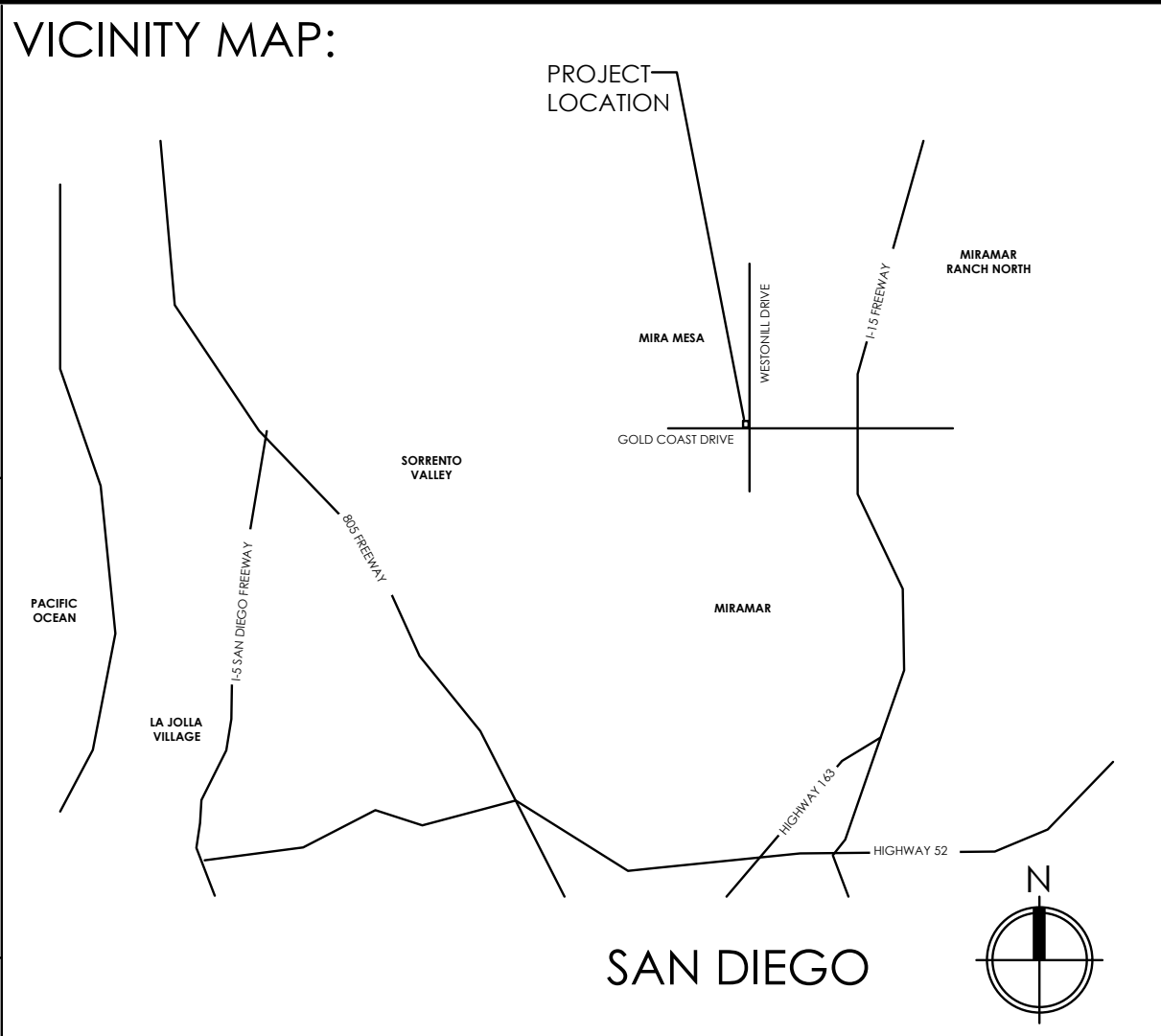
DESCRIPTION OF WORK:
 • CONDITIONAL USE PERMIT FOR CHANGE FROM EXISTING LARGE FAMILY HOME DAY CARE (14 CHILDREN, AGE 2-5) TO CHILD CARE CENTER.

NOTES:
 • NO BUILDING ALTERATIONS ARE PROPOSED.
 • NO NEW LANDSCAPE PROPOSED.
 • NO WORK IS PROPOSED OUTSIDE OF THE BUILDING FOOTPRINT.
 • NO CHANGE IS PROPOSED FOR THE IMPERVIOUS AREA.
 • NO GRADING IS PROPOSED.
 • NO EASEMENTS ON SITE.
 • NO PRIOR DISCRETIONARY APPROVALS.
 • NO PREVIOUS ENVIRONMENTAL REVIEWS.

DEFERRED SUBMITTALS:
 NONE

SITE PLAN KEYNOTES:
 1 EXISTING LARGE FAMILY DAY-CARE HOME TO BE REMODELED TO REPAIR FIRE AND SMOKE DAMAGE.
 2 EXISTING OFF-STREET PARKING FOR DROP OFF AND PICK UP.
 3 EXISTING DOMESTIC 3/4" WATER METER WITH BACKFLOW DEVICE TO REMAIN.
 4 EXISTING DOMESTIC 4" SEWER LATERAL TO REMAIN. ANY UNUSED SEWER LATERALS TO BE PLUGGED AT PROPERTY LINE.
 5 EXISTING CONCRETE DRIVEWAY TO REMAIN.
 6 EXISTING LANDSCAPE TO REMAIN. NO LANDSCAPE HIGHER THAN 36 INCHES SHALL BE LOCATED WITHIN THE 25' X25' VISIBILITY AREA.
 7 EXISTING 5H WROUGHT IRON FENCE TO REMAIN.
 8 EXISTING 5H WOOD FENCE TO REMAIN.
 9 EXISTING HIGH POINT OF SITE WITH DIRECTION OF SURFACE DRAINAGE FLOW TO PERIMETER LANDSCAPING. ALL STORM WATER RUNOFF FROM PROPOSED AND/OR REPLACED IMPERVIOUS AREAS SHALL BE ROUTED TO PVIOUS SURFACES OR LANDSCAPING PRIOR TO REACHING THE PUBLIC DRAIN SYSTEM.
 10 NO WORK IS PROPOSED IN THE RIGHT-OF-WAY AT THIS TIME. FUTURE 1' DEDICATION ON GOLD COAST DRIVE.
 11 EXISTING ACCESSIBLE PATH OF TRAVEL.
 12 25' VISIBILITY TRIANGLE. NO STRUCTURE OR LANDSCAPE HIGHER THAN 36 INCHES SHALL BE LOCATED WITHIN THE 25' X25' VISIBILITY AREA INCLUDING LANDSCAPE OR OTHER OBSTRUCTIONS.
 13 EXISTING ON-STREET PARKING SPACE FOR DROP OFF/PICK UP.
 14 EXISTING BUS STOP LOCATION.
 15 EXISTING FIRE HYDRANT.
 16 FUTURE RECONSTRUCTION OF EXISTING CURB RAMP WITH CITY STANDARD DUAL/DIRECTIONAL CURB RAMPS FOR ULTIMATE ROAD WIDTH. ENCROACHMENT PERMIT REQUIRED. SEE STANDARD DETAIL SDG-135 ON SHEET A0.3.
 17 FUTURE RECONSTRUCTION OF THE EXISTING DRIVEWAY WITH CITY STANDARD DRIVEWAY FOR ULTIMATE ROAD WIDTH. ENCROACHMENT PERMIT REQUIRED. SEE DETAIL SDG-160 ON A0.3.
 18 EXISTING ROW WITH LANDSCAPE.
 19 CURB, GUTTER & SIDEWALK TO BE REPLACED WITH PARKWAY IN FUTURE FOR ULTIMATE ROAD WIDTH. SEE SHEET A0.2.
 20 VAN PARKING ON-STREET. SEE SDM-117 ON SHEET A0.3 FOR REQUIREMENTS.

SITE PLAN LEGEND:
 [Symbol] EXISTING LANDSCAPE
 [Symbol] EXISTING SIDEWALK PAVING
 [Symbol] EXISTING CONCRETE
 [Symbol] EXISTING ACCESSIBLE PATH OF TRAVEL



PROJECT DATA:

| | |
|------------------------------|---|
| OWNER INFO: | ALIREZA HAMI 13060 TRAIL DUST AVE SAN DIEGO, CA 92129 SHEILAHAMI72@GMAIL.COM (858) 269 - 7035 |
| SD BUSINESS LICENSE: | 2019013506 KIDDIES KORNER PRESCHOOL CHILD DAYCARE SERVICES |
| EXISTING/PRIMARY USE: | LARGE FAMILY HOME DAYCARE |
| PROPOSED USE: | CHILD CARE CENTER |
| APN: | 311-091-22-00 |
| LEGAL DESCRIPTION: | TR 6571 LOT 857 |
| YEAR BUILT: | 1971 |
| ZONE: | RS-1-14 |
| EXISTING OCCUPANCY: | R3, LARGE FAMILY DAY CARE HOME |
| PROPOSED OCCUPANCY: | I-4, DAYCARE |
| TYPE OF CONSTRUCTION: | V-B (NO CHANGE) |
| SPRINKLERS: | NO |
| FIRE ALARM: | YES |
| FIRE ZONE: | NO VHF52 |
| GEOLOGICAL HAZARD: | YES, S2 |
| TOTAL SITE AREA: | 6,049 SF |
| BUILDING: | EXISTING RESIDENCE 1,553 SF EXISTING F.A.R. 0.28 EXISTING BUILDING HEIGHT 15'-4" |
| LANDSCAPE: | EXISTING TO REMAIN: 1,998 SF NO NEW LANDSCAPE PROPOSED. |
| UTILITIES: | SDG&E - GAS & ELEC SERVICE CITY OF SAN DIEGO WATER & SEWER |

SHEET INDEX:

| ARCHITECTURAL | |
|-----------------------|---------------------------------|
| A0.1 | PROJECT INFO & PLOT PLAN |
| A0.2 | ULTIMATE RIGHT-OF-WAY SITE PLAN |
| A0.3 | CITY STANDARD NOTES & DETAILS |
| A1.1 | FLOOR PLAN |
| A4.0 | EXTERIOR ELEVATIONS |
| 5 SHEETS TOTAL | |

OPERATIONS & MANAGEMENT INFORMATION:

| | |
|--------------------------------------|---|
| HOURS OF OPERATION: | MONDAY THROUGH FRIDAY 7:30 AM TO 5:00 PM |
| NUMBER OF CHILDREN PROPOSED: | 36 KIDS, AGE 2 TO 5 YEARS OLD. |
| NOISE CONTROL: | EXISTING SOUND ATTENUATION WITHIN EXTERIOR WALLS. LIMITED HOURS IN THE OUTDOOR AREA |
| LITTER CONTROL/TRASH STORAGE: | TRASH CANS THROUGHOUT PROPERTY. TRASH STORAGE IN CITY BINS IN GARAGE. "DO NOT LITTER" SIGNS OUTSIDE THE FACILITY. |
| COMMUNICATIONS PLAN: | GUARDIAN CONTACT INFORMATION (EMAIL, PHONE) PROVIDED AT REGISTRATION. |
| DROP OFF/PICK UP CIRCULATION: | 2 ON-SITE PARKING SPACES IN DRIVEWAY. 4 OFF-SITE PARKING SPACES FRONTING PROPERTY. DROP OFF & PICK UP TIMES ARE STAGGERED AS SCHEDULED BY INDIVIDUAL FAMILY. CARS WILL ENTER FROM WESTONHILL DRIVE AND EXIT WESTBOUND ON GOLD COAST. NO TURNAROUNDS ARE REQUIRED. |

PROJECT TEAM:
 ARCHITECT:
 BRANDY YAMAMOTO
 1228 AVENIDA AMISTAD
 SAN MARCOS, CA 92069
 BRANDY@BJYARCH.COM
 760.977.9128

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 brandy@bjyarch.com
 www.bjyarch.com

CONDITIONAL USE PERMIT FOR:
 KIDDIES KORNER PRESCHOOL
 8748 GOLD COAST DRIVE
 SAN DIEGO, CA 92126

REVISIONS

| REVISIONS | DATE |
|-----------------|------------|
| CUP SUBMITTAL | 2024.09.25 |
| CUP RESUBMITTAL | 2025.02.06 |

PROJECT NUMBER:
 PRJ-1067308
 22.34.02 GOLD COAST

ISSUE DATE: 2024.09.25
PLOT DATE: 2025.02.14
SHEET NAME:

PROJECT INFO & PLOT PLAN

SHEET NUMBER:
 A0.1



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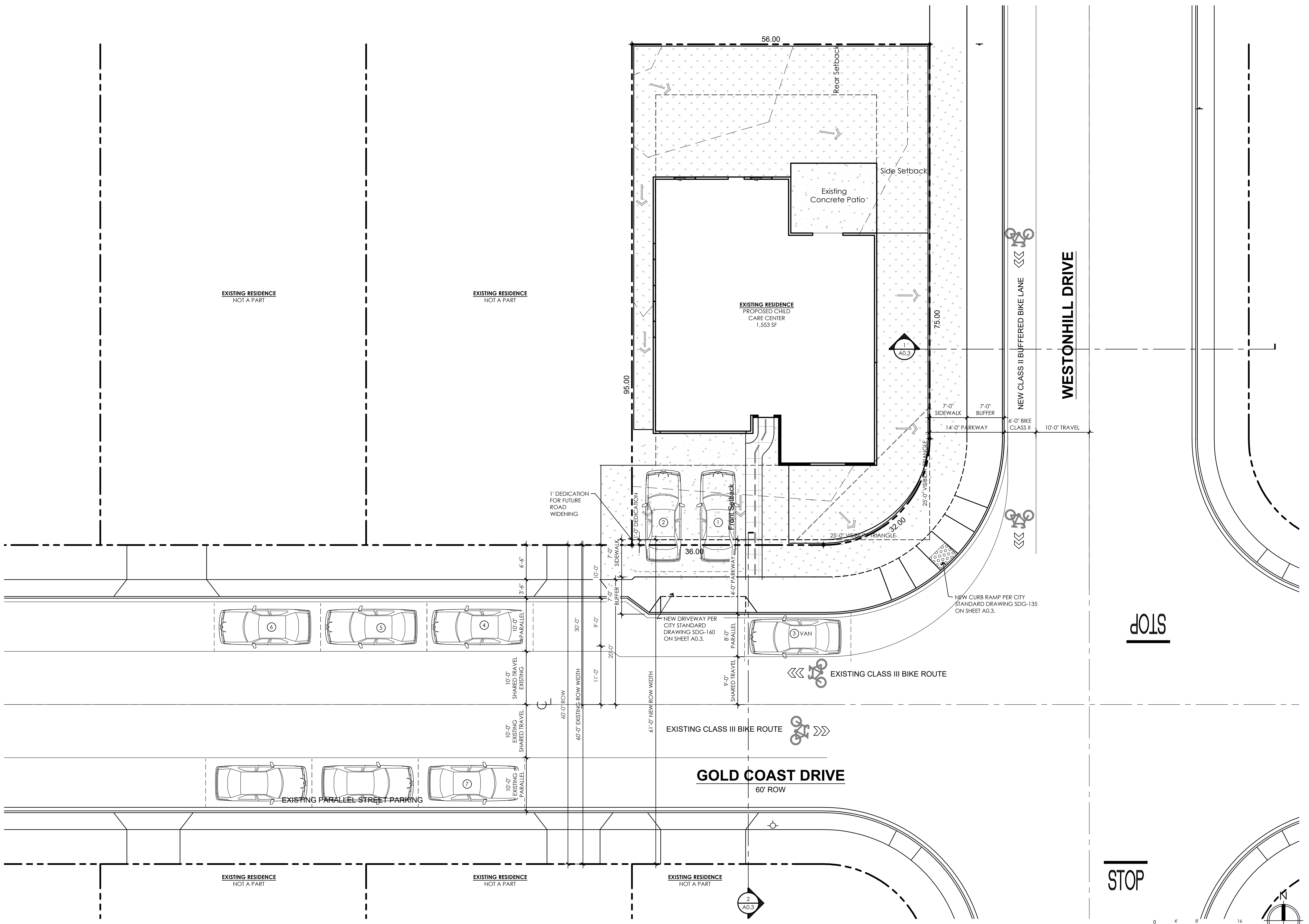
SEAL:

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ISSUE DATE: 2024.09.25
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SHEET NAME:
ULTIMATE RIGHT-OF-WAY
SITE PLAN

SHEET NUMBER:
A0.2



1 PROPOSED SITE PLAN WITH ULTIMATE ROAD CLASSIFICATION
1/8" = 1'-0"

BRANDY J. YAMAMOTO ARCHITECT, INC. COPYRIGHT 2024

§ 126.0305 FINDINGS FOR CUP APPROVAL:

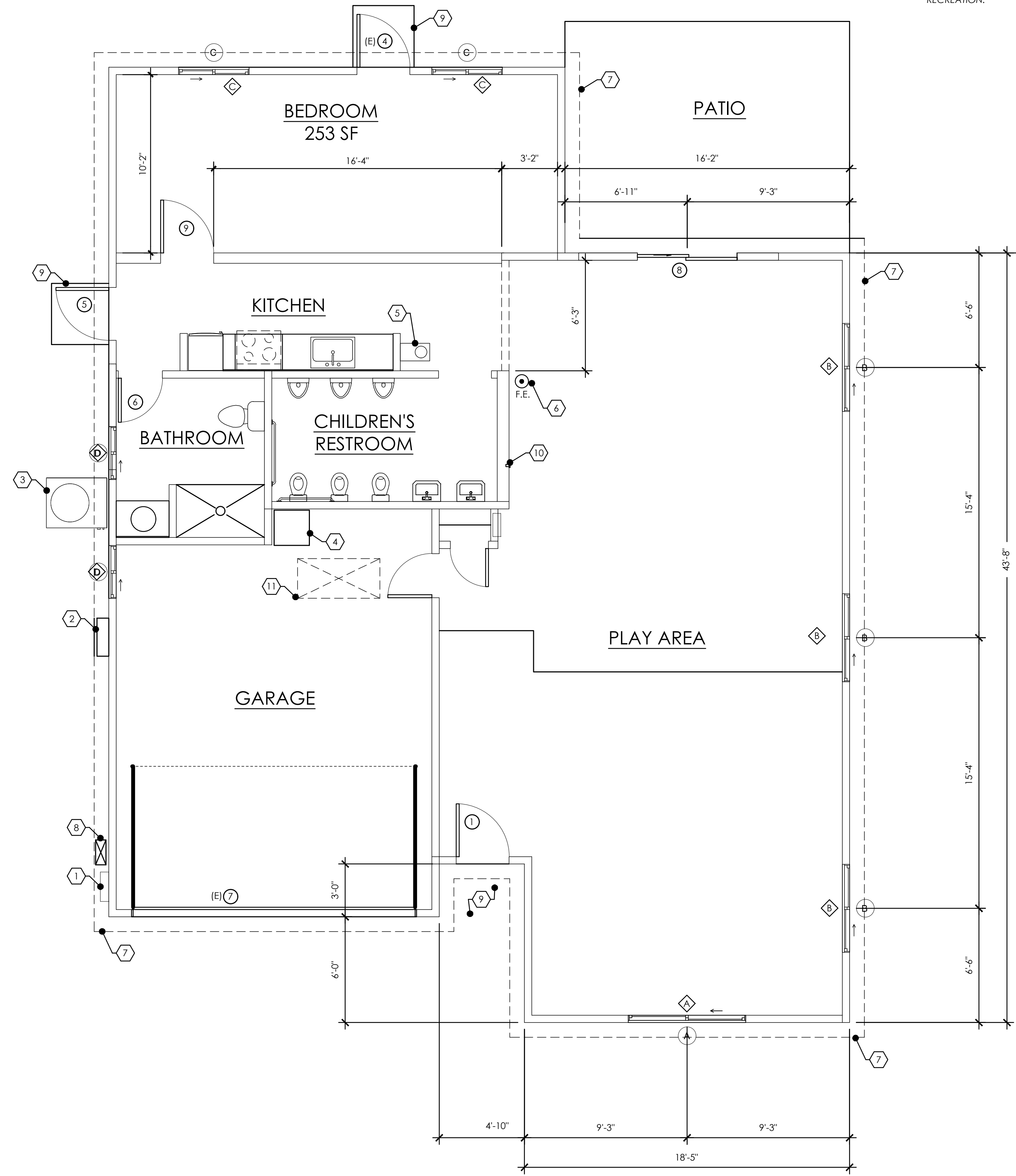
AN APPLICATION FOR A CONDITIONAL USE PERMIT MAY BE APPROVED OR CONDITIONALLY APPROVED ONLY IF THE DECISION MAKER MAKES THE FOLLOWING FINDINGS:
 A. THE PROPOSED DEVELOPMENT WILL NOT ADVERSELY AFFECT THE APPLICABLE LAND USE PLAN; - THE CHILD CARE CENTER WILL BE CONDUCTED PRIMARILY INDOORS. THE LOCATION IS SITUATED AT AN INTERSECTION WHERE THE AMBIENT NOISE FROM TRAFFIC WILL MUTE ANY NOISE DURING OUTSIDE PLAY AREAS.
 B. THE PROPOSED DEVELOPMENT WILL NOT BE DETRIMENTAL TO THE PUBLIC HEALTH, SAFETY, AND WELFARE; - NO ACTIVITIES ARE PROPOSED THAT WOULD AFFECT PUBLIC HEALTH, SAFETY, OR WELFARE. PRESCHOOL LEARNING ACTIVITIES WILL BE PROVIDED TO THE CHILDREN TO ENHANCE THEIR GROWTH & DEVELOPMENT.
 C. THE PROPOSED DEVELOPMENT WILL COMPLY TO THE MAXIMUM EXTENT FEASIBLE WITH THE REGULATIONS OF THE LAND DEVELOPMENT CODE; AND - THE BUILDING WILL COMPLY WITH ALL APPLICABLE REQUIREMENTS PER THE CUP AND BUILDING PERMIT.
 D. THE PROPOSED USE IS APPROPRIATE AT THE PROPOSED LOCATION. [ADDED 12-9-1997 BY O-18451 N.S.; EFFECTIVE 1-1-2000.] - ADEQUATE SPACE AND FACILITIES ARE AVAILABLE FOR THE SAFE CARE OF THE PROPOSED CHILDREN FOR LEARNING, EATING, TOILETING, AND RECREATION.

FLOOR PLAN KEYNOTES:

- (E) ELECTRICAL PANEL
- (E) TANKLESS GAS WATER HEATER, OUTDOOR WALL MOUNT.
- (E) 3-TON CONDENSER
- (E) STACKABLE WASHER/DRYER.
- (E) DRINKING FOUNTAIN
- 2A10BC FIRE EXTINGUISHERS ARE REQUIRED WITHIN 75' OF TRAVEL FROM ANY POINT IN PUBLIC AREA. THEY MUST BE MOUNTED CONSPICUOUSLY. FINAL LOCATIONS TO BE CONFIRMED BY FIRE INSPECTOR.
- LINE OF ROOF OVERHANG ABOVE.
- (E) GAS METER
- (E) MINIMUM 3' X 3' LEVEL LANDING.
- (E) FIRE ALARM PULL STATION
- (E) F.A.U. LOCATED IN ATTIC. 81,000 BTU.

FLOOR PLAN GENERAL NOTES:

1. EXISTING WALL ASSEMBLY CONSISTS OF 5/8" GWB ON INTERIOR, FULL HEIGHT R15 BATT (3/8" THICK) INSULATION BETWEEN 2X4 STUDS AT 16" O.C. AND 1/2" PLYWOOD EXTERIOR SHEATHING AND CEMENT PLASTER FINISH. TOTAL STC RATING IS 46 MINIMUM. USG ACOUSTICAL ASSEMBLY:
- | Layer | Description | STC | STC Rating |
|-------|----------------------|-----|------------|
| 1 | 5/8" Gypsum Board | 5 | 5 |
| 2 | 1/2" Plywood | 5 | 10 |
| 3 | 1" Mineral Wool | 36 | 46 |
| 4 | 2x4 Studs @ 16" O.C. | 0 | 46 |
| 5 | 1/2" Cement Plaster | 5 | 51 |
2. HOURS OF OPERATION ARE 7:30 AM TO 5:00 PM. CALIFORNIA GUIDELINES FOR PRESCHOOL OUTDOOR PLAY IS 60 TO 90 MINUTES, 2 TO 3 TIMES PER DAY, WEATHER PERMITTING.
 - MORNING: 9:00 AM TO 10:00 AM
 - AFTER LUNCH: 1:00 AM TO 2:00 PM
 - LATE AFTERNOON: 4:00 PM TO 5:00 PM.



DOOR SCHEDULE:

| Mark | Door Description | Type | Width | Height |
|-------|----------------------------|------------|----------|---------|
| 1 | Single-Flush | 36" x 84" | 3' - 0" | 7' - 0" |
| 2 | Single-Flush | 30" x 80" | 2' - 6" | 6' - 8" |
| 3 | Single-Flush | 26" x 80" | 2' - 2" | 6' - 8" |
| (E) 4 | Single-Flush | 36" x 80" | 3' - 0" | 6' - 8" |
| (E) 5 | Single-Flush | 36" x 80" | 3' - 0" | 6' - 8" |
| 6 | Single-Flush | 30" x 80" | 2' - 6" | 6' - 8" |
| 7 | Door-Garage-Embossed_Panel | 192" x 84" | 16' - 0" | 7' - 0" |
| 8 | Door-Double-Sliding | 68" x 80" | 5' - 8" | 6' - 8" |
| 9 | Single-Flush | 36" x 80" | 3' - 0" | 6' - 8" |

WINDOW SCHEDULE:

| Window Type | Count | Window Description | Width | Height |
|-------------|-------|-----------------------|---------|---------|
| 1 | 1 | Window-Fixed-Double | 6' - 8" | 2' - 6" |
| 2 | 1 | Window-Fixed-Double | 6' - 8" | 4' - 0" |
| 3 | 3 | Window-Sliding-Double | 5' - 0" | 4' - 0" |
| (E) 4 | 2 | Window-Sliding-Double | 4' - 0" | 4' - 0" |
| 5 | 2 | Window-Sliding-Double | 3' - 0" | 4' - 0" |

1 EXISTING FLOOR PLAN (NO CHANGES PROPOSED)
 1/4" = 1'-0"

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CONDITIONAL USE PERMIT FOR:
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 SAN DIEGO, CA 92126

PROJECT:

| REVISIONS | DATE |
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| CUP SUBMITTAL | 2024.09.25 |
| CUP RESUBMITTAL | 2025.02.06 |
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SEAL:

PROJECT NUMBER
 PRJ-1067308
 22.34.02 GOLD COAST
 ISSUE DATE: 2024.09.25
 PLOT DATE: 2025.02.14

SHEET NAME:
 FLOOR PLAN

SHEET NUMBER:
A1.1



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CONDITIONAL USE PERMIT FOR:
KIDDIE'S KORNER PRESCHOOL
8748 GOLD COAST DRIVE
SAN DIEGO, CA 92126

PROJECT:

| REVISIONS | DATE |
|-----------------|------------|
| CUP SUBMITTAL | 2024.09.25 |
| CUP RESUBMITTAL | 2025.02.06 |
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SEAL:

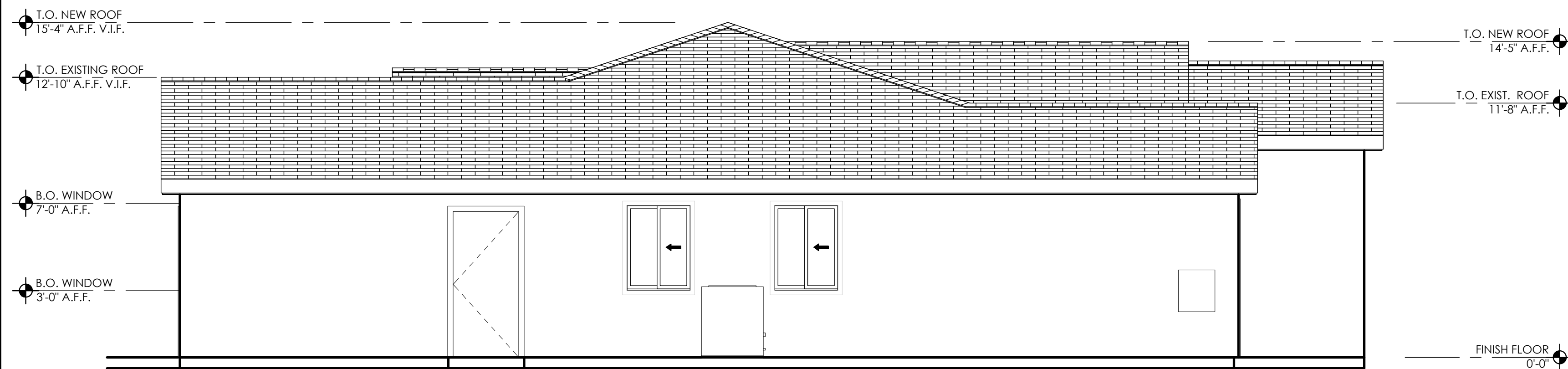
PROJECT NUMBER
PRJ-1067308
22.34.02 GOLD COAST

ISSUE DATE: 2024.09.25
PLOT DATE: 2024.09.26
SHEET NAME:

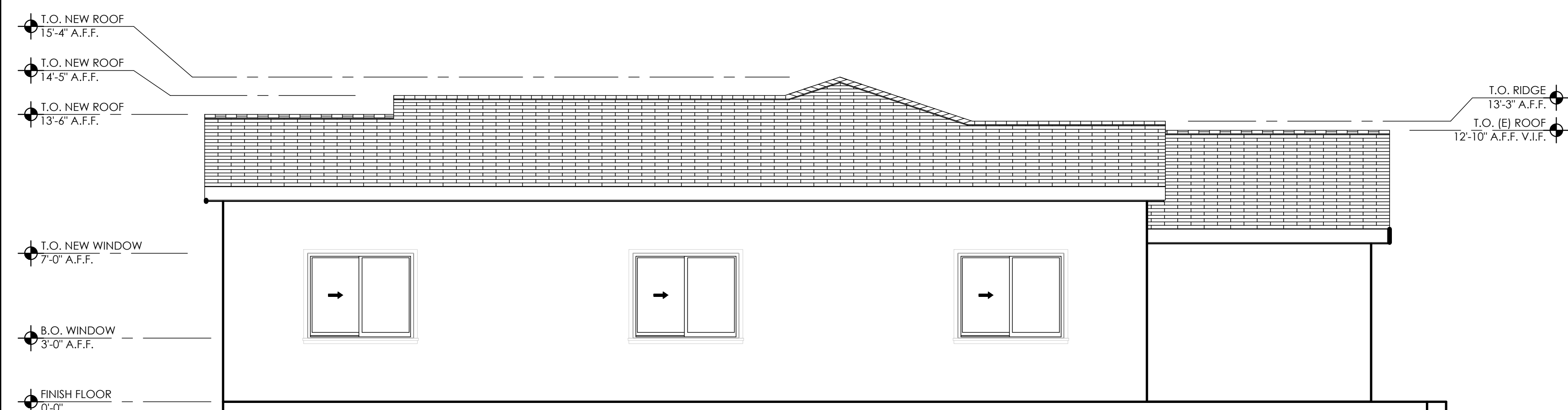
EXISTING EXTERIOR ELEVATIONS

SHEET NUMBER:

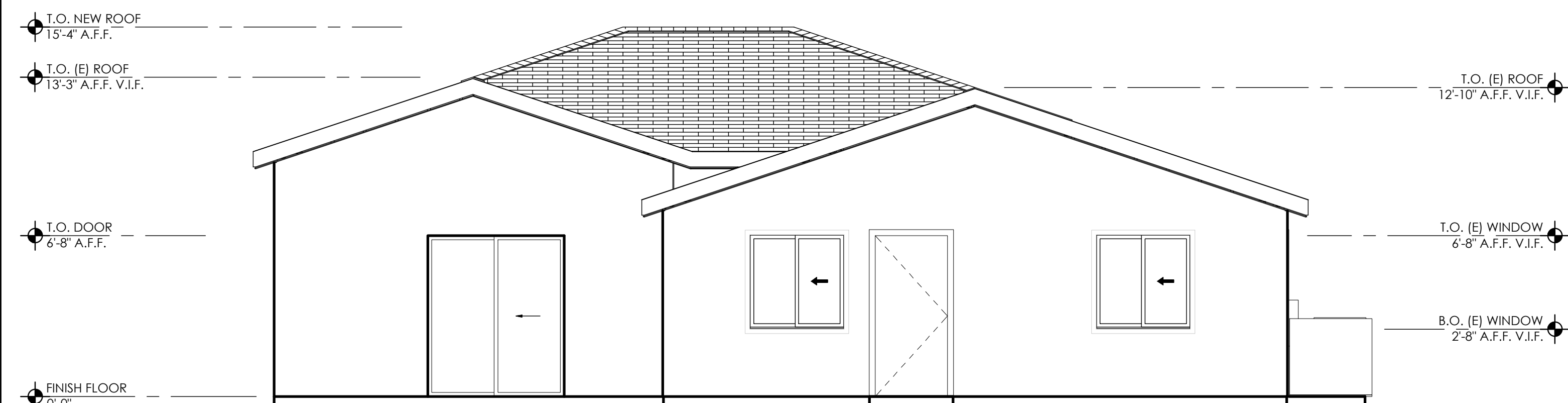
A4.0



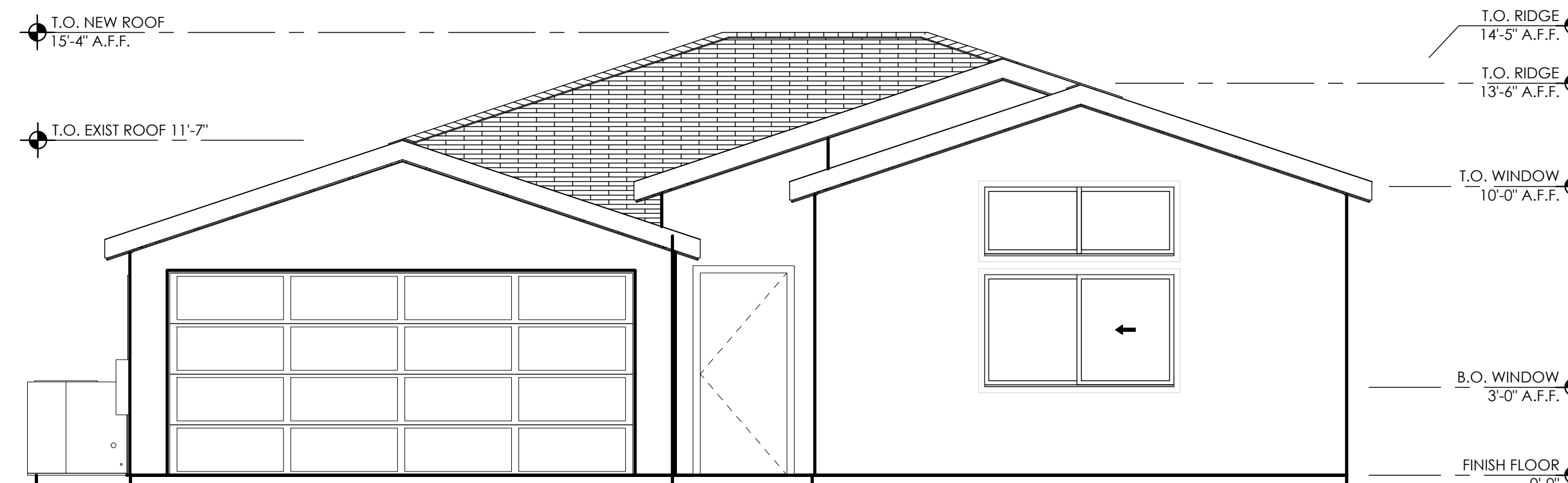
④ WEST EXTERIOR ELEVATION
1/4" = 1'-0"



② EAST EXTERIOR ELEVATION
1/4" = 1'-0"



① NORTH EXTERIOR ELEVATION
1/4" = 1'-0"



③ SOUTH EXTERIOR ELEVATION
1/4" = 1'-0"

EXISTING ELEVATIONS FOR REFERENCE ONLY. NO CHANGES PROPOSED.