### HISTORICAL RESOURCE TECHNICAL REPORT FOR THE 3220, 3240, 3250 & 3350 SPORTS ARENA BOULEVARD BUILDINGS SAN DIEGO, CALIFORNIA 92110

### PRJ-1106734

3220, 3240, 3250 & 3350 Sports Arena Boulevard San Diego, California 92110

### Report Submitted To:

The City of San Diego Project Management Development Services Department 1222 First Avenue, Fifth Floor San Diego, California 92101

### **Report Prepared For:**

Midway Rising LLC 700 2<sup>nd</sup> Street Encinitas, California 92024

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### HISTORICAL RESOURCE TECHNICAL REPORT FOR THE 3220, 3240, 3250 & 3350 SPORTS ARENA BOULEVARD BUILDINGS SAN DIEGO, CALIFORNIA 92110

### **Executive Summary**

This Historical Resource Technical Report (HRTR) was prepared at the request of Midway Rising, LLC in order to determine the potential historical and/or architectural significance of four (4) one-story, Modern Contemporary style commercial buildings, and their associated ancillary structures, located at 3220, 3240, 3250 and 3350 Sports Arena Boulevard (identified as the "Properties") in the City of San Diego's Midway community, California according to National Register of Historical Places, California Register of Historical Resources, and City of San Diego Historical Resources Board designation criteria. The study is consistent with the adopted City of San Diego, Historical Resources Board (HRB), Historical Resource Technical Report Guidelines and Requirements (Land Development Manual, Historical Resources Guidelines, Appendix E, Part 1.2, February 2009) and the adopted Guidelines for the Application of Historical Resources Guidelines, Appendix E, Part 2, August 27, 2009). This HRTR was prepared in conjunction with the "Midway Rising Project" (PRJ-106734) to determine whether the Properties can be considered historically and/or architecturally significant.

The Properties are defined as 3220 Sports Arena Boulevard (Assessor's Parcel Number 760-102-04-00; a portion of Pueblo Lot 337); 3240 Sports Arena Boulevard (Assessor's Parcel Number 760-102-05-00; portions of Pueblo Lots 313, 314, 332, and 338); 3250 Sports Arena Boulevard (760-102-01-00; portions of Pueblo Lots 313, 319, 337, and 338); and 3350 Sports Arena Boulevard (760-102-32-00; portions of Pueblo Lots 313 and 338). They are owned by the City of San Diego (a Public Agency).

The Properties largely consist of one and two-story, One-Part Commercial Block and/or Modern Contemporary style commercial buildings constructed between 1967-1978. Historical research indicates that the Properties are not historically and/or architecturally significant. None of the buildings are associated with any important events or individuals; do not embody the distinctive characteristics of a style, type, period, or method of One-Part Commercial Block and/or Modern Contemporary construction; do not represent the notable works of "master" architects and/or important, creative individuals; or possess high artistic values. Consequently, the Properties are not eligible for listing in the National Register of Historic Places, the California Register of Historical Resources, the California Historic Resources Inventory, or the San Diego Historical Resources Board Register.

### **Introduction**

### **Report Organization**

This HRTR was prepared to determine the potential historical and/or architectural significance of four (4) one-story, Modern Contemporary style commercial buildings, and their associated ancillary structures, located at 3220, 3240, 3250 and 3350 Sports Arena Boulevard in San Diego's Midway community. The HRTR was prepared in conjunction with the "Midway Rising" Project. The 3250 Sports Arena Boulevard building was constructed in 1967 (with ancillary structures erected thereafter), the 3220 Sports Arena Boulevard building was constructed in 1968, the 3240 Sports Arena Boulevard building was constructed in 1969, and the 3350 Sports Arena Boulevard was constructed in 1978. As such, the buildings are between approximately forty-six (46) and fifty-seven (57) years of age. Since structures that are at least forty-five (45) years of age may be considered potential historic resources under the California Environmental Quality Act (CEQA), the Properties were researched and evaluated as potential historic resources in accordance with City of San Diego Historical Resources Board (HRB) local criteria; California Register of Historical Resources (state) criteria; and National Register of Historic Places (national) criteria by Scott A. Moomjian, Esq., Historic Properties Consultant, from November 2023-April 2024. The Properties were determined by the present study not to be historically and/or architecturally significant.

The HRTR includes a Title Page; Table of Contents; Executive Summary; Introduction (Report Organization; Project Area; Project Personnel); Project Setting (Physical Project Setting; Project Area and Vicinity; Property Histories; Historical Overview of the Midway community); Methods and Results (Archival Research; Field Survey; and Description Of Surveyed Resources with current photographs); Significance Evaluation; Findings and Conclusions; Bibliography; and Appendices. The Appendices consist of Building Development Information (Notices of Completion; Water and Sewer Connection Records; and Construction/Building Permits); Ownership and Occupant Information (Chain of Title; and San Diego City Directory Occupant Listings); Maps (800:1 Scale Engineering Map; U.S.G.S. La Jolla Quadrangle; and Original Subdivision Map); California Department of Parks & Recreation (DPR) Inventory Forms; and Report Preparer Qualifications (Resume).

### Project Area

The Properties are located in San Diego's Midway community. The Properties are defined as 3220 Sports Arena Boulevard (Assessor's Parcel Number 760-102-04-00; a portion of Pueblo Lot 337); 3240 Sports Arena Boulevard (Assessor's Parcel Number 760-102-05-00; portions of Pueblo Lots 313, 314, 332, and 338); 3250 Sports Arena Boulevard (760-102-01-00; portions of Pueblo Lots 313, 319, 337, and 338); and 3350 Sports Arena Boulevard (760-102-32-00; portions of Pueblo Lots 313 and 338). The site area is located within a built, urban environment along the 3200-3300 blocks of Sports Arena Boulevard. Collectively, the parcels are irregular in shape and contribute to approximately 3,010,400 square feet (69.109 acres). They are located within the Pueblo Lands of San Diego (Map MM36) which was filed in February 1876. The Properties are bounded by Kurtz Street to

the north, Camino del Rio West to the east, Midway Drive to the south, and Hancock Street to the west.

The surrounding neighborhood was largely developed during the 1940s through the 1960s. Such development has continued to the present day. The original neighborhood setting in and around the Properties generally consisted of temporary, residential housing used during the Second World War. During the 1950s and 1960s, the setting evolved to include light industrial and commercial uses, including business, store, and warehouse construction. In 1966, the San Diego International Sports Arena (now Pechanga Arena) was built northwest of the Property locations. Subsequently, an assortment of ancillary retail, commercial, recreational, and entertainment venues became established. Since this time, commercial/retail construction has continued throughout the area to the present day, and architectural styles are eclectic in nature, generally reflecting a mix of Modern/Contemporary and vernacular/utilitarian designs.

### **Project Personnel**

Project personnel included Scott A. Moomjian, Esq., Historic Properties Consultant, who conducted the field survey, archival research, and prepared the final report with its findings and conclusions. All chain of title research was conducted by First American Title Insurance Company.

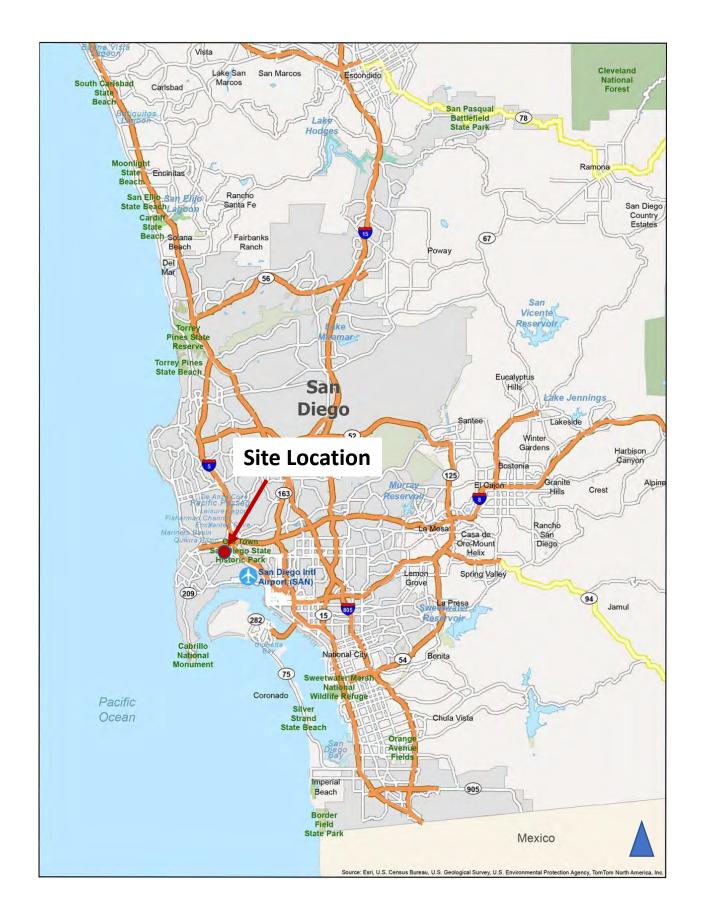
### **Project Setting**

### Physical Project Setting

The Properties are located in San Diego's Midway community within the Pueblo Lands of San Diego. The site area is located within a built, urban environment. Prior to the development of the Properties, the surrounding area was previously known as the "Frontier Housing Project," which comprised 3,500 temporary dwellings constructed in 1944 to house workers during the Second World War. The buildings were only meant to be used for up to two years, however, many remained up to ten years until they fell into disrepair. Subsequently, all were demolished by 1957. As the push for post-World War II development began, the area was cleared of old housing and transformed into an area consisting of commercial, industrial, and entertainment buildings. The largest catalyst for change within the immediate area occurred after the construction of the adjacent Pechanga Arena (originally known as the San Diego International Sports Area) in 1966. Over the years the neighborhood setting in and around the Properties has dramatically changed, and the architectural styles in the area are eclectic in nature. Such styles generally reflect a mix of Modern/Contemporary and vernacular/utilitarian designs.

### Project Area and Vicinity

The overall area in and around the Properties largely consists of light industrial and commercial uses, and includes businesses, stores, and warehouses. Within the nearby vicinity, other commercial ventures include restaurants, retail shops, and

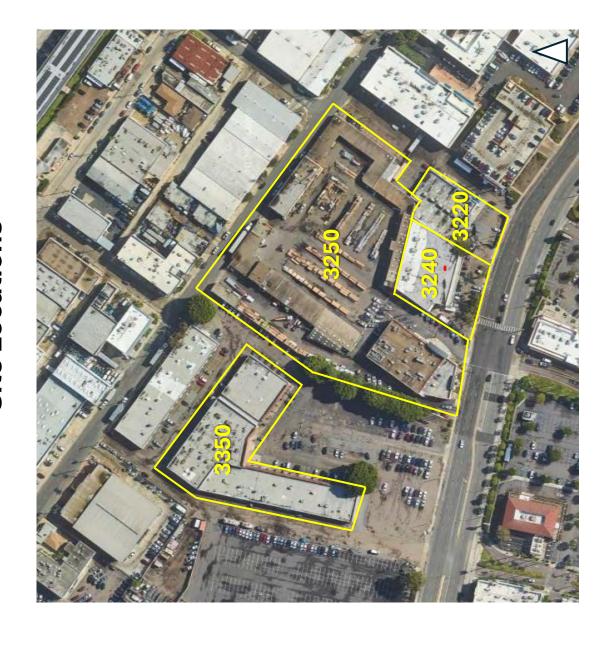


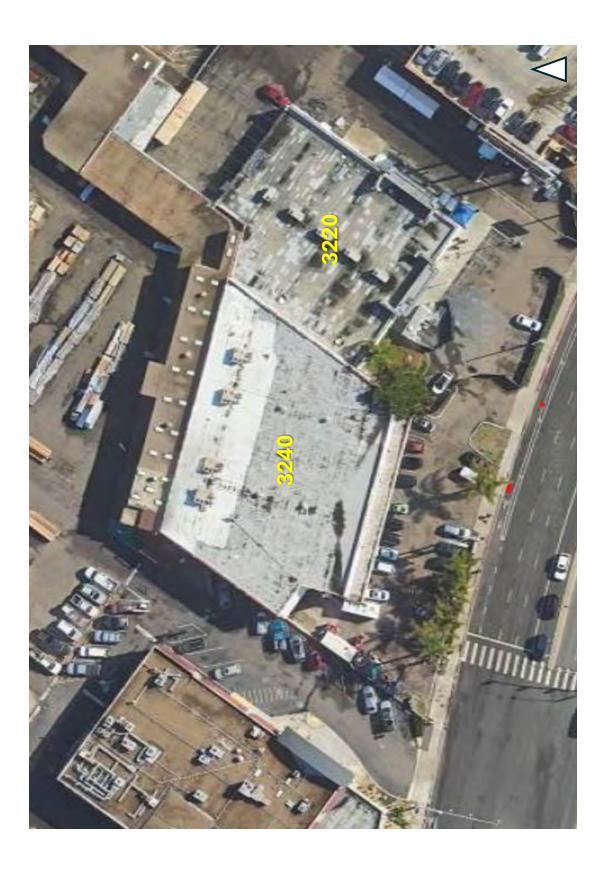
**Regional Location Map** 

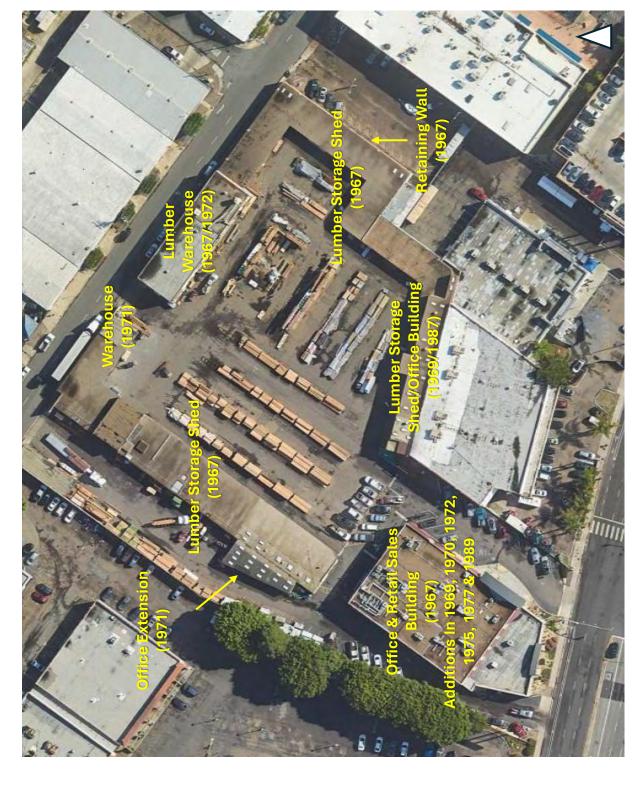


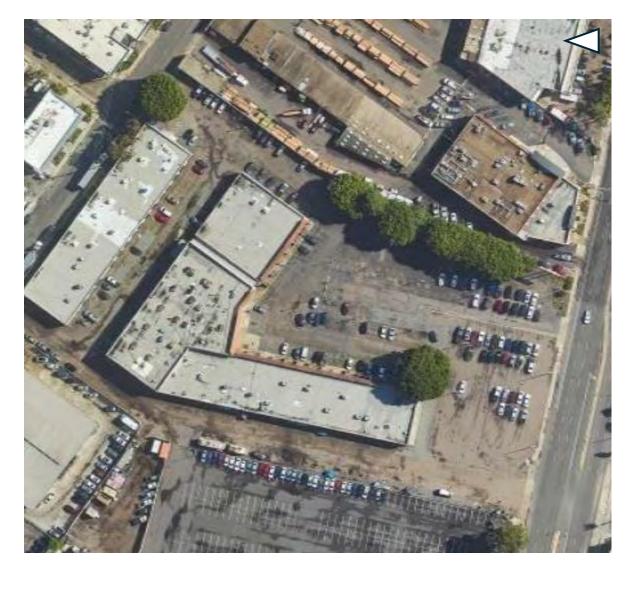
**Site Location Map** 

# 3220, 3240, 3250 & 3350 Sports Arena Boulevard Site Locations









recreation/entertainment venues, primarily along Sports Arena Boulevard. Over the years, the original neighborhood setting in and around the Properties has substantially changed from residential to light industrial and commercial use. Overall, architectural styles in and around the Properties are eclectic in nature and generally reflect a mix of Modern/Contemporary and vernacular/utilitarian designs.

### **Property Histories**

The 3220, 3240, 3250 and 3350 Sports Arena Boulevard buildings were not documented, or inventoried, in any prior historic survey or historic inventory. Specifically, they were not included or evaluated as part of the *Midway-Pacific Highway Community Plan Area*, *Historic Resources Survey Report*, *Historic Context & Reconnaissance Survey*, prepared by Galvin Preservation Associates, Inc. in September 2018.

The Properties on which the 3220, 3240, 3250 and 3350 Sports Arena Boulevard buildings are today located, Assessor's Parcel Numbers 760-102-04-00, 760-102-05-00, 760-102-01-00, and 760-102-32-00, were acquired by the United States of America in January 1944. Subsequently, the properties were deeded to the City of San Diego in October 1964. Today, the properties are still owned by the City of San Diego and subject to various leaseholds.

### 3220 Sports Arena Boulevard

The 3220 Sports Arena Boulevard building is located on a portion of Pueblo Lot 337. Historical research indicates that the structure was built as a commercial retail store for Pier 1 Imports in 1968. While Commercial-Industrial Records could not be obtained for the building due to the fact that the property is owned by the City of San Diego (a Public Agency), a *San Diego Union* newspaper article reported in August 1968 that "Pier One Imports is starting a commercial building at 3220 Sports Arena Blvd., valued on the permit on \$88,000. The building will have 9,850 square feet." This is supported by a City of San Diego Building Permit Application which indicates that A.L. Wildey and T. Ota from Newport Beach, California, designed the structure for Pier 1 Imports as a "Concrete Tilt-Up Retail & Warehouse," and the building was constructed by Don Koll Company, Inc. (also from Newport Beach). Another City of San Diego Building Permit Application filed one month later indicated that the structure was under construction by this time and proposed an addition measuring approximately 20 x 71.6 feet.

Review of original architectural plans (Plan-File Number 13539-D) filed in conjunction with the San Diego Building Permit Application (E-19057), indicates that the 3220 Sports Arena Boulevard building was designed as a simple, one-story Modern Contemporary style commercial building for Pier 1 Imports. The design allowed for the construction of a square-shaped "Future Addition" (which was never built) along the north elevation. The structure had precast concrete wall panels with scored stucco along approximately one-half of the main (southwest) elevation, as well as divided storefront glass windows and double-glass entry door along the remaining southeast elevation. It was devoid of both ornamentation and front façade signage area. Sometime before 2007, the building was modified and altered to reflect its current appearance.

Between 1968-2020, the 3220 Sports Arena Boulevard building was used as a commercial retail store by Pier 1 Imports, Inc. The building was one of four stores which operated in the San Diego region (San Diego, La Jolla, La Mesa, and Carlsbad). Over this period, the building was subject to four (4) different sign installations (1968, 1969, 1970, and 1977) and roofing (rock) repair (1976). Since 2021, the building has operated as a homeless shelter under the management of Alpha Project.

Historical research indicates that Pier 1 Imports, Inc. is an online retailer and former Fort Worth, Texas based retail chain, specializing in imported home furnishings and décor. Pier 1 Imports, Inc. was established in 1962 when Charles D. Tandy and Luther Henderson (with the Tandy Corporation), provided a loan to California-based Cost Plus Imports in exchange for franchise rights. That year, the partners opened their first store as Cost Plus Imports, in San Mateo, California. By 1966, their franchises had grown to 16 Pier 1 Imports locations in California and Texas with corporate headquarters established in Fort Worth, Texas.

In 1970, Pier 1 Imports went public on the American Stock Exchange and later joined the New York Stock Exchange in 1972. By this time, the company had established 123 stores both nationally and internationally in Australia and Europe. By 1985, the chain grew to 265 stores, and continued to grow through the 2000s. However, by 2020, the company suffered due to decreasing sales prior to, and after, the Covid-19 Pandemic. In January 2020, the company announced it would close up to 450 stores, citing "a reduction in corporate headcount." One month later, Pier 1 Imports, Inc. and seven affiliated companies filed for bankruptcy. In June 2020, Retail Ecommerce Ventures (REV) acquired Pier 1 Imports for \$31 million with the intent of establishing it as an online e-commerce business. In October 2020, the last Pier 1 Imports store closed, and online operations were moved to Dallas, Texas.

### 3240 Sports Arena Boulevard

The 3240 Sports Arena Boulevard building is located on portions of Pueblo Lots 313, 314, 332, and 338. Historical research indicates that the structure was built as a commercial retail store for Trend Furniture Company in 1969. While Commercial-Industrial Records could not be obtained for the building due to the fact that the property is owned by the City of San Diego (a Public Agency), a *San Diego Union* newspaper article reported in August 1969 that "a building permit valued at \$262,000 was issued for construction of a furniture store at 3240 Sports Arena Blvd. The owner is Victor Schulman and the lessee will be Trend Furniture Co." This article is supported by a City of San Diego Building Permit Application in May 1969 which indicates that John S.M. Daniels designed the structure for owner Victor Schulman as a "Masonry & Wood Frame Bldg.," to be used as a "Retail Store." The structure was built by the Melhorn Construction Company, and was signed by its vice-president and manager, M.W. (Martin W.) Melhorn. It should be noted that Martin W. Melhorn was the son of William B. Melhorn (1894-1969) and the grandson of Martin V. Melhorn (1866-1925), both of whom have been established by the City of San Diego as "master" builders. Due to the fact that the former Melhorn retired in 1958 and died in April

1969 (before the 3240 Sports Arena Boulevard building was constructed), it is clear that he did not have any association with the structure.

Review of original architectural plans (Plan-File Number 18256-D) filed in conjunction with the San Diego Building Permit Application (E-64278), indicates that the 3240 Sports Arena Boulevard building was designed as a one-story, Modern Contemporary style commercial building for Trend Furniture Company. The structure included an upper horizontal stucco signage section above four areas of decorative stone veneer with large, fixed panes storefront glass, and two aluminum entry doors flanking a large, fixed glass pane along the main (south) elevation. At the southwest elevation, there was an area that functioned as a "Truck Well" for service deliveries.

Historical research indicates that the 3240 Sports Arena Boulevard building served as a furniture store for Trend Furniture Company from 1969-1998. At the time the building opened in November 1969, it included 20,000 square feet of retail space and was described as having a "contemporary design" which allowed for the future construction of a second floor with 12,000 square feet of space (which was never built). The structure was the second store commissioned by Trend Furniture Company. The first store, located at 5310 Jackson Drive in La Mesa, opened in April 1966. It was designed by Fred Bergendorff and Associates and built by Melhorn Construction Company. This store, designed in a Modern Contemporary style, was almost identical in appearance to the 3240 Sports Arena Boulevard building. After Trend Furniture Company vacated the premises, the building was used by La Jolla Patio & Mattress from 1999-2000. Sometime between 2002-2003, the building became used by its current occupant, the Salvation Army, as a Thrift and Donation Center.

### 3250 Sports Arena Boulevard

The 3250 Sports Arena Boulevard building is located on portions of Pueblo Lots 313, 319, 337, and 338. The building largely consists of a one and two-story, heavily modified, Modern Contemporary style commercial retail structure, built in conjunction with Dixieline Lumber Company, as well as three (3), major, associated ancillary structures, including a one-story, lumber storage shed with office extension, located along the west elevation; a one-story, lumber storage shed, located along with east and south elevations with second-story office; and a two-story, lumber mill, located along the north elevation.

Historical research indicates that the Dixieline Lumber Company began in 1913 when it was then known as the "North Park Lumber Company." This firm commenced operations along the east side of Ohio Street between University and Lincoln Avenues (3919 Ohio Street) in North Park. Fresh lumber was brought in from the Great Northwest on Clipper Ships as San Diego was becoming a major metropolis. Once the Panama Canal opened in 1914, San Diego decided to host the California Panama Exposition to promote San Diego as a major port. This sparked a local building boom, and the company quickly established itself as the premier supplier of lumber and building materials in Southern California. In 1916, the business changed its name to "Dixie Lumber & Supply Company." Under the ownership and operation of William S. Cowling, Sr., the company continued to grow

during the 1920s, and after the Second World War, included the sale of cement, paint, and general contractor supplies.

In the early 1950s, Dixie Lumber & Supply Company established a site located at Harbor Drive and 28<sup>th</sup> Street. In 1957, the company merged with Airline Lumber Company and the enterprise then became the "Dixieline Lumber Company." In 1958, the company moved its operations to Old Town (4009 Rosecrans Street) and in 1963, William Cowling, Jr. became its president. Soon thereafter, the company acquired a six and one-half acre site in National City, and in 1967, leased the 3250 Sports Arena Boulevard property from the City of San Diego. This site served as a retail location with a Modern-style office headquarters. In 1979, the Cowling family sold Dixieline Lumber Company to Weyerhaeuser, however, it regained control of the company in 1994. In 2003, Dixieline Lumber Company was acquired by Lanoga Corporation, and in January 2006, it was acquired by its current parent, Pro-Build Holdings, Inc. Today, the company has ten locations throughout San Diego County.

While Commercial-Industrial Records could not be obtained for the 3250 Sports Arena Boulevard building due to the fact that the property is owned by the City of San Diego (a Public Agency), a City of San Diego Building Permit Application indicates that the structure was built as an "Office & Sales Bldg. For Lumber Yard" in 1967. According to the Building Permit, Weber & Edwards served as the architects. The architectural firm of Weber & Edwards was composed of James Weber and Robert Edwards. James Francis Weber was born in Cleveland, Ohio on April 14, 1931, and obtained his bachelor's degree in architecture from Ohio State University in 1954. Between 1954-1957 he worked for Richard G. Wheeler, AIA. By 1962, he established James F. Weber & Associates in Pacific Beach. This firm, with partner Robert Edwards, operated from 1963-1989. Over the course of its career, the firm designed numerous single-family, multi-family, commercial, and religious buildings.

According to a Notice of Completion, the 3250 Sports Arena Boulevard building was completed by McKee Construction Company for Dixieline Lumber Company in November 1967. Erected at the main Sports Arena Boulevard entrance to the site, a historical photograph shows the office and sales structure as one and two-stories in height with a flat roof, slender vertical wood fascia panels, and vertical wood siding. Historical research indicates that over the course of its existence, the building was substantially modified and altered. Inspection of historical photographs from 1970, 1978, and 1979, coupled with a review of City of San Diego Building Permit Applications, indicate that the structure was subject to first and second story additions in 1969, 1970, 1972, 1975, 1977, and 1989 which dramatically transformed the size, footprint, and appearance of the structure, thereby eliminating its original Modern Contemporary style. The architects and/or designers associated with these changes include Weber & Edwards, S/W Associates, Architects, Robert K. Burkett, George J. Fletcher, C.E., and Don Coorot. Dixieline Lumber Company served as the builder.

At the same time the 3250 Sports Arena Boulevard building was constructed, a City of San Diego Building Permit Application indicates that Weber & Edwards designed a 270 foot

long retaining wall composed of 24" concrete blocks. This feature appears to exist along the east elevation today.

Following the construction of the 3250 Sports Arena building, City of San Diego Building Permit Applications indicate that three additional structures followed in 1967, designed by architects Weber & Edwards, including two, one-story "lumber storage rack[s]" and a one-story "Lumber Mill Building." These structures effectively enclosed the site and were built along the north, south, east, and west elevations. As with the 3250 Sports Arena Boulevard building, these structures were also modified over the years. In 1971, an office extension was built along the southwest elevation of the western storage rack, and in 1987, a partial office area was built atop the south elevation of the eastern storage rack. In addition, the Lumber Mill was subject to a second story addition in 1971. Finally, a small warehouse was added to the site along the northwest elevation in 1971. The architects and/or designers associated with these changes include S/W Associates, Architects, Robert K. Burkett, and Don Coorot. Dixieline Lumber Company served as the builder.

### 3350 Sports Arena Boulevard

The 3350 Sports Arena building is located on portions of Pueblo Lots 313 and 338. Historical research indicates that the structure was built in 1978 as a commercial movie theatre and retail stores in 1978. While Commercial-Industrial Records could not be obtained for the building due to the fact that the property is owned by the City of San Diego (a Public Agency), a City of San Diego Building Permit Application in March 1977 indicates that architect Roy Johnson of La Mesa designed the structure for Equity Investments as a "masonry commercial building." Valued at approximately \$1,097,500, the building was constructed by G.L. Frieh Construction Company and opened as "Mann's Sports Arena 6" on July 21, 1978. The movie theatre contained six screens (a "Six-Plex") and was part of the "Sports Arena Square" along with several other commercial tenants.

The 3350 Sports Arena Boulevard building was part of Mann Theatres, a movie theater chain which predominately operated in the western United States, with a heavy concentration of theaters in Southern California. The Mann Theatres chain was named after Ted Mann, founder of the original Minnesota chain. In 1973, Mann purchased the theatre division of National General Pictures, which primarily consisted of the original Fox Theatres chain. In 1986, Mann Theatres was acquired by Gulf and Western Industries, and in turn, in 1987, Warner Communications was brought in as a partner. In 1997, Mann Theatres was sold to WestStar. After this time, all Mann Theatre cinemas were gradually sold off to other chains, and the company ceased operation on December 27, 2011.

Historical research indicates that the 3350 Sports Arena Boulevard building served a number of different commercial tenants from approximately 1981-2021. (See Appendix B, Ownership and Occupant Information, City Directory Listing Of Occupants). These include, but are not limited to, restaurant, athletic, medical, supply, electronic, and home/décor businesses. Over this period, the building experienced a number of changes, primarily in relation to interior, tenant improvements. By 2002, the movie theatre had closed, and it became occupied by SOMA, an independent, live music entertainment venue.

At this time, additional tenant improvements were undertaken, including "structural and non-structural work." In 2019, the building was extensively remodeled in 2019. Today, in addition to SOMA, the building serves as the location of other commercial tenants, including, but not limited to, Kite Country, Built, Troy Crossfit, Prima Materia, The Arena, and Crack In The Wall.

### Historical Overview Of The Midway Community

The 3220, 3240, 3250 and 3350 Sports Arena Boulevard buildings are located within San Diego's Midway community. Frequently identified as the "Midway-Pacific Highway Community Plan Area," this area encompasses approximately 800 acres of relatively flat land, which is situated north of Downtown between Old Town and the north end of the Peninsula Community Plan area. The community is comprised of two basic elements: the Midway area and the narrow, linear-shaped Pacific Highway corridor. The Midway area consists of an urbanized commercial core containing numerous retail centers, motels and institutional facilities that cater to the needs of nearby residential and visitor populations. Wide streets, flat topography, and a mixture of large and small commercial buildings characterize the area. There are pockets of multi-family residential buildings in the western portion of the community, adjacent to the Peninsula Community Plan area. Pechanga Arena (formerly known as the San Diego International Sports Arena), which is surrounded by acres of surface parking lots, is a focal point of the area. Interstate 8 (I-8) functions as the northern boundary, with the San Diego River and the Mission Bay area located north of I-8.

In the 1850s when the first attempt was made to build a city on the present area of Downtown, a group of Old Town citizens bought the land to the south of Old Town and established a rival subdivision closer to the bay. The subdivision began around present-day Witherby Street and extended south along the shoreline of the bay to about present-day A Street. The portion of the land that was subdivided and laid out into streets, squares, blocks, and lots was designated Middletown.

The development of Middletown, as well as Old Town, was stymied by a severe drought, followed by the onset of the Civil War. These troubles led to an actual drop in the town's population from 650 in 1850, to 539 in 1860. Not until land speculator and developer Alonzo Horton arrived in 1867 did San Diego begin to develop fully into an active American town Alonzo Horton's development of New Town in 1867 began to swing the community focus away from Old Town and began the urbanization of San Diego. Horton purchased 800 acres and began an aggressive promotional campaign, offering free lots to anyone who would build a house worth \$500 on it. Horton's successful promotion attracted other speculators and developers to San Diego, and within the next five years 15 new subdivisions were laid out around Horton's Addition.

The years 1868 and 1869 were "boom" years, with steady growth until the economic panic of 1873 occurred. The population dropped to 1,500 in 1875, but then rebounded. San Diego's civic leaders continued to focus on the development of the railroad. Construction of the Santa Fe Railroad began in 1880 and the first trains arrived in San Diego in 1882,

leading to a period of renewed and steady growth. During the late 1800s and early 1900s, the areas of Golden Hill, Uptown, Banker's Hill, and Sherman Heights, located on hills immediately adjacent to downtown, were developed.

This period of steady growth was followed by another boom that resulted in a population of 35,000 and a full-fledged land investment and speculation frenzy, which created 30 new real estate tracts countywide by 1888. These new tracts included the areas of Hillcrest and University Heights, located roughly two miles outside of the downtown core and accessed by new streetcar lines running along 4th Avenue and Switzer Canyon into the Uptown area. These and the other subdivisions located on the periphery of downtown became San Diego's first streetcar suburbs. The boom resulted in over \$10 million in new improvements, including paving, electrical streetlights and railways, sewage systems, and new construction before ending suddenly when the bottom fell out of the real estate market in the spring of 1888. By the 1890s the city's population settled to around 17,000.

Although it would appear that the Midway area was conveniently located between Old Town and New Town, attempts at development floundered because of its early, swamp-like conditions. Historically, the Midway area was part of the San Diego River delta, comprising the flat land between the hill of the San Diego Presidio and the hills of Point Loma. The San Diego River switched back and forth between emptying into Mission Bay, through the Midway area, into the San Diego Bay. The silt it carried built sand bars and eventually blocked channels. To protect the main harbor from these deposits, the U.S. Army Corps of Engineers decided to make the Mission Bay route of the river permanent. In 1853, George Derby, an army land surveyor, engineered the construction of a dike just south of the present flood channel, extending northeasterly from what is now the junction of Midway Drive and Sports Arena Boulevard.

During the late 19th and early 20th centuries, transportation improvements and the development of early industries, as well as the presence of the airport and military, resulted in the slow expansion of the Midway area. However, large sections of the area remained undeveloped. During the Second World War, areas along Pacific Highway were used for numerous defense industries. The post-war development of the area mainly consisted of small warehouses and commercial buildings that sprang up in a rather haphazard fashion.

While there were a few isolated residential and commercial buildings prior to the Second World War, the commercial and residential development of the Midway area was random and sparse. A few homesteaders constructed small houses, but the earth was too sandy and salty for agriculture. As early as 1900, San Diegans initiated efforts to attract the attention of the Navy Department in hopes that officials would choose it for naval bases and other shore activities. The military presence in San Diego began in 1901 with the establishment of the Navy Coaling Station in Point Loma. In addition, the City attempted to assist in the search for homes by developing a Defense Housing Commission, which listed available vacancies within the area. The City also lifted ordinances against rooming houses in residential zones, but nothing could meet the continuous immigration of defense workers.

In 1940, the federal government passed the Lanham Act, which appropriated \$150 million to the Federal Works Agency to provide massive amounts of housing in congested defense industry centers. The development of defense housing units within San Diego would be located within undeveloped areas both east and north of the city's downtown. "The Frontier Housing Project" was one of the largest such developments. It was located at the intersection of Midway and Rosecrans. In 1943, the Federal Public Housing Agency took bids for the construction of 3,500 temporary dwelling units. By May 1944, 1,100 units were ready for occupancy. Although the buildings were only intended to last for two years, some remained for 20. Between 1954-1955, the Federal government relinquished control of the Properties to the City of San Diego. However, by this time, Navy families and San Diego State University students occupied many of the units.

After the Second World War, small warehouses and industrial buildings began to fill in the undeveloped areas along the Pacific Highway corridor. The Consolidated Aircraft plant continued to be a strong visual element and economic force in the area. The Midway area gave way to commercial strip and shopping center development that mainly catered to nearby residential and visitor populations. Streets were widened, removed, and renamed to facilitate the movement of automobiles. Interstates 5 and 8 were constructed, which formed rigid barriers between the neighborhoods on the north and east.

During the 1950s, several of the large parcels occupied by the Frontier Housing Project were purchased by the City of San Diego and later sold for development. However, business continued to be oriented toward the automobile and mainly consisted of freestanding buildings surrounded by large surface parking lots. Consequently, residential and commercial uses were physically and architecturally disconnected from one another. Overall, the area was characterized by the presence of several motels and auto camps, interspersed with single-family residences, commercial buildings, and vacant lots. Businesses that required large flat parcels such as lumberyards, drive-in theaters, and nurseries also began to locate in the area.

The character of the Midway area that exists today began to take shape during the 1960s. Modern commercial buildings were constructed on vacant lots or replaced older commercial and residential buildings. Multi-family residential complexes also began appearing in the Midway area during the 1960s. The greatest change to the area was the construction of the San Diego International Sports Arena (today Pechanga Arena) in 1966. As early as the 1950s, San Diego had been seeking to attract professional sports franchises. Robert Breitbard acquired the Gulls (then a member of the Western Hockey League) and laid plans for the construction of an indoor arena. The land was formerly part of the Frontier Housing Project and owned by the City of San Diego; however, the \$6,500,000 for construction was privately financed. The Arena opened in November 1966. It was designed for seating 13,500 hockey and 16,000 for other sporting and public events. Within a year a professional basketball team, the San Diego Rockets, was added. The Gulls continued to play in the arena until 1995 when the team disbanded, however, it returned in 2015. From the 1960s to the present, the Midway area has become less industrial and more commercial. Today, the area is now mainly known for its large, region-serving retail establishment and its multi-lane traffic arteries.

### **Methods and Results**

### Archival Research

The archival research for this HRTR included, but was not necessarily limited to, preparing a chain of title from recorded legal documents obtained by First American Title Insurance Company; City of San Diego Building Permit Application records research; City of San Diego water and sewer connection records research; San Diego City Directories; Sanborn Fire Insurance Map research; historical photographs; online research; local, state, and federal inventories/surveys/database material; personal research/archival material in possession of Scott A. Moomjian, Esq.; and standard and authoritative sources related to local history, architecture, and building development information.

### Field Survey

The field survey work was conducted by Scott A. Moomjian, Esq. on November 16, 2023, February 16, 2024, and April 9, 2024. An intensive survey of the subject Properties and surrounding neighborhood was undertaken during these times. The Properties were recorded on the appropriate DPR 523 forms according to instructions and publications produced by the California Office of Historic Preservation (See Attachment D).

### <u>Description of Surveyed Resources</u>

### 3220 Sports Arena Boulevard

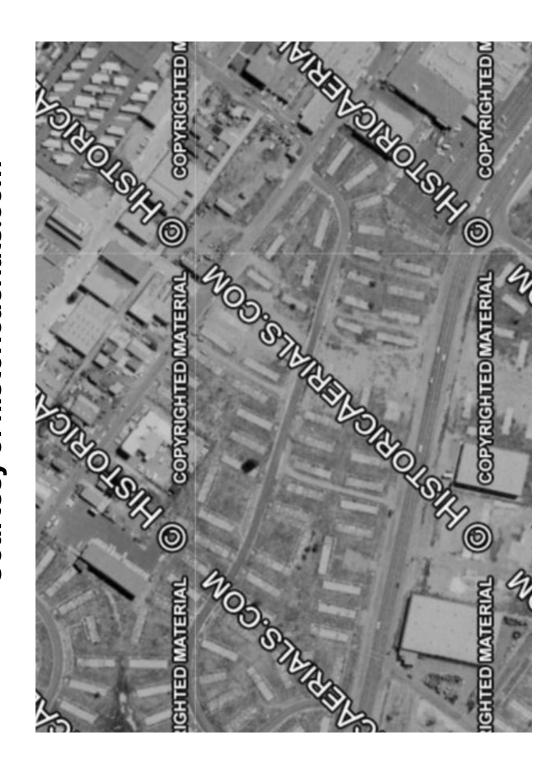
The 3220 Sports Arena Boulevard building is a One-Part Commercial Block structure with Modern Contemporary style elements. Constructed in 1968, it is irregular in shape and is set back from Sports Arena Boulevard to allow for a small, surface parking lot in front. Additional parking areas are located east and northeast of the building.

Of standard wood-frame construction, the 3220 Sports Arena Boulevard building has a flat roof with no eave overhang, and a stucco exterior. Originally, the main (south) elevation featured precast concrete wall panels with scored stucco along approximately one-half of the main (southwest) elevation, as well as divided storefront glass windows and double-glass entry door along the remaining southeast elevation. It was devoid of both ornamentation and front façade signage area. Sometime before 2007, however, the building was modified and altered to include the introduction of a thick cornice along the south elevation roofline; new stucco and scoring along the southwest elevation; and the construction of a projecting, central storefront area with rough concrete block pilasters, recessed entry with glass panes and transoms, and upper storefront area with vertical wood veneer to allow for signage. Today, no signage exists, and overall, the building appears to be in good condition.

### Historical Photograph #1 1953 Courtesy of historicaerials.com



### Historical Photograph #2 1964 Courtesy of historicaerials.com



### Historical Photograph #3 1966 Courtesy of EDR



### Historical Photograph #4 1970 Courtesy of EDR



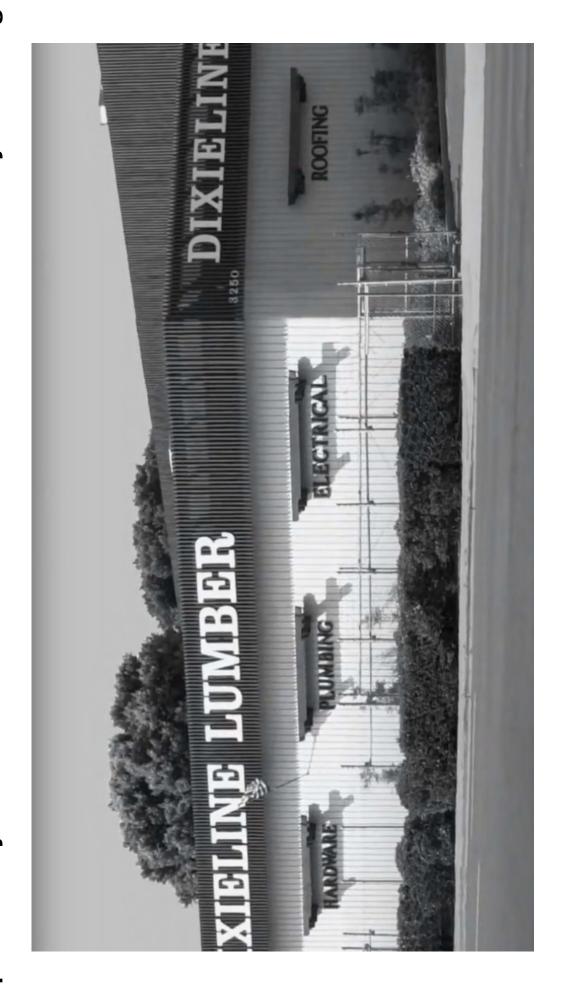
### Historical Photograph #5 1978 Courtesy of historicaerials.com



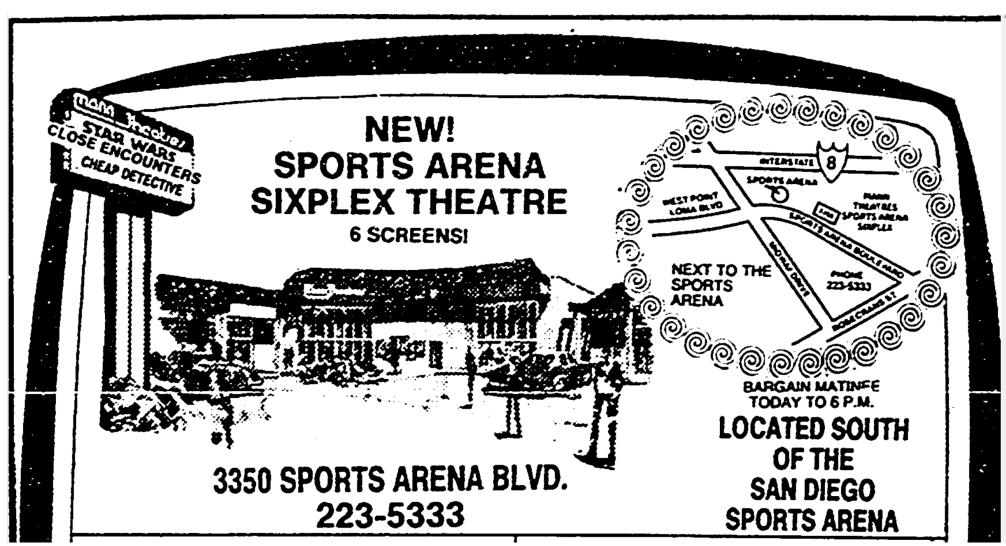
### Historical Photograph #6 1979 Courtesy of EDR



Photograph Courtesy Of Dixieline Lumber & Home Centers 100<sup>th</sup> Anniversary—San Diego History Original Dixieline Lumber Service/Retail Sales Building (c. 1967) 3250 Sports Arena Boulevard Historical Photograph #7

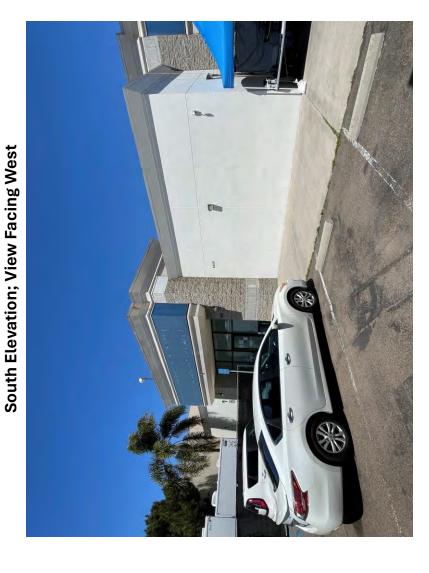


### Historical Photograph #8 3350 Sports Arena Boulevard San Diego Union August 25, 1978



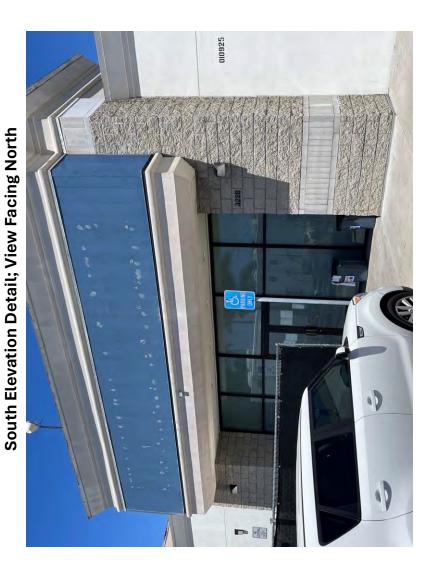
3220 Sports Arena E

Photograph #1
South Elevation; View Facing North



Photograph #3

West Elevation; View Facing North





7 STOCO 0250

South & East Elevations; View Facing Northwest

Photograph #5



Photograph #7
East Elevation; View Facing West





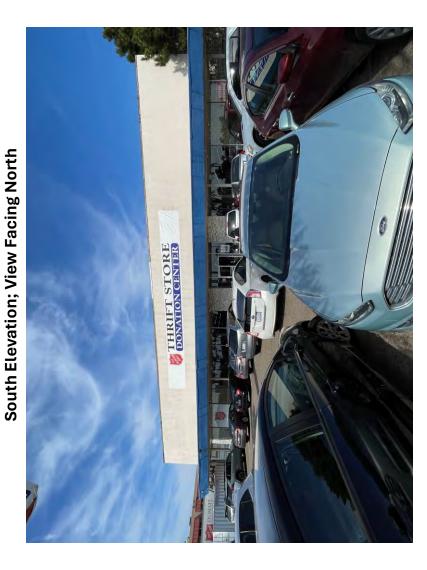
31

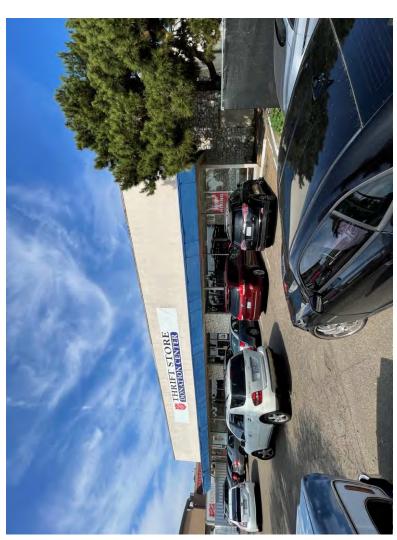
Photograph #9
North Elevation; View Facing West



Photograph #1

South Elevation; View Facing Northwest



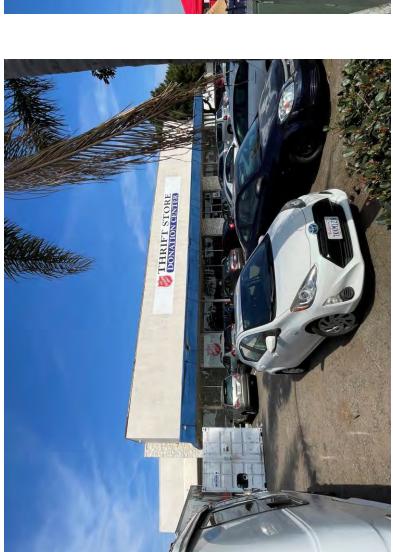


Photograph #3

South Elevation; View Facing Northeast

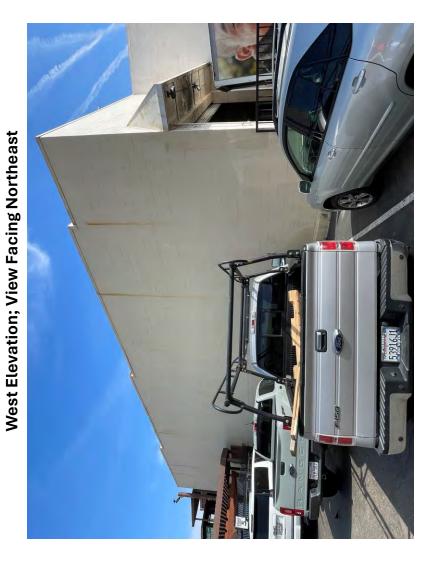
South Elevation; View Facing Northeast

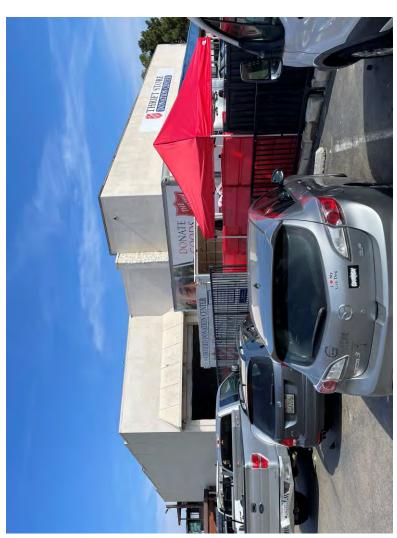




Photograph #5

West & South Elevations; View Facing Northeast

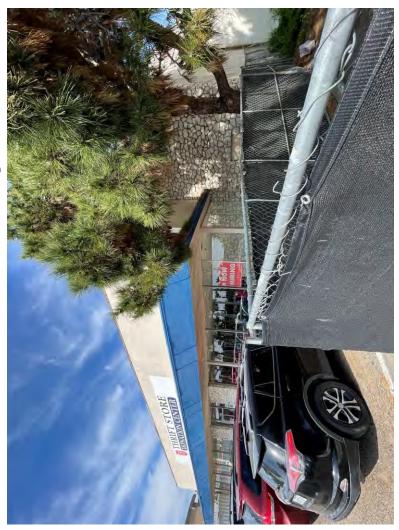




Photograph #7

South & East Elevations; View Facing Northwest





Photograph #9

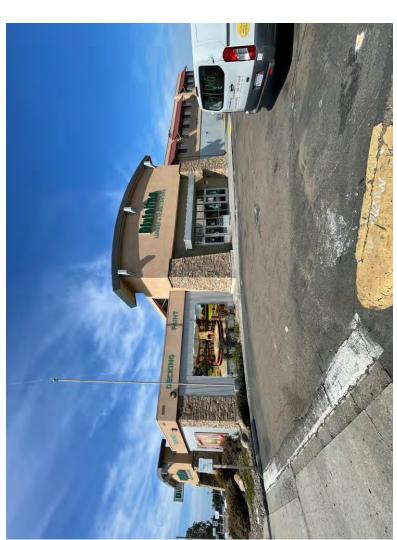


Photograph #1

South & East Elevations; View Facing Northwest Service/Retail Sales Building

Service/Retail Sales Building Photograph #2







Photograph #3 Service/Retail Sales Building

South Elevation; View Facing Northeast



Service/Retail Sales Building West & South Elevations; View Facing Northeast



Photograph #5 Service/Retail Sales Building

Service/Retail Sales Building

West Elevation; View Facing Northeast



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Photograph #7

Service/Retail Sales Building

North & West Elevations; View Facing South

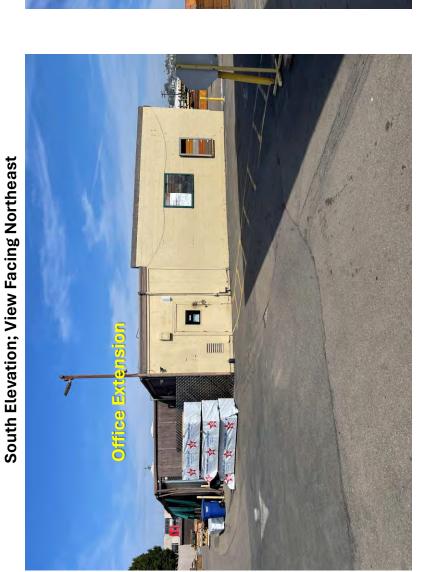


Photograph #8
Service/Retail Sales Building
East & North Elevations; View Facing Southwest

Photograph #9

Lumber Storage Shed/Building

**Lumber Storage Shed/Building** Photograph #10



South & East Elevations; View Facing North

Photograph #11

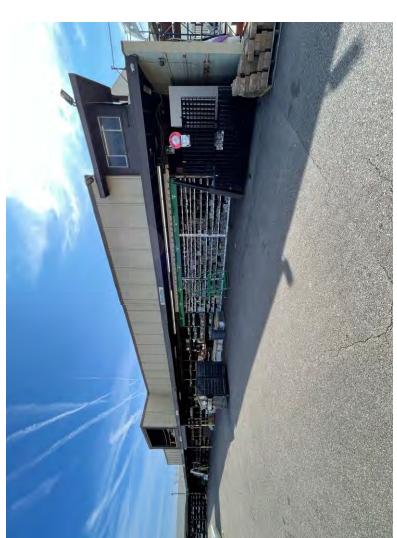


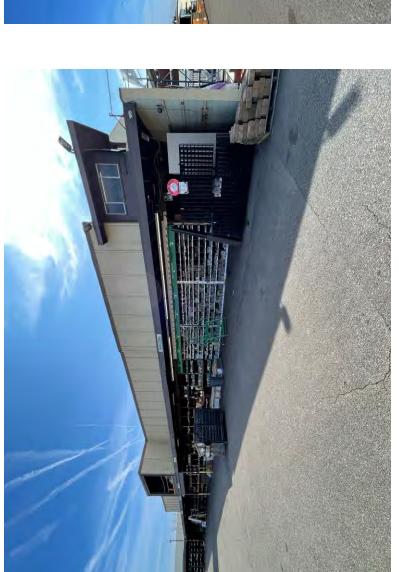
East Elevation; View Facing Northwest Lumber Storage Shed/Building

Photograph #13

North Elevation; View Facing Southeast Office Building/Lumber Storage Shed

Lumber Warehouse (Left) & Lumber Storage Shed (Right) West & South Elevations; View Facing Northeast Photograph #14





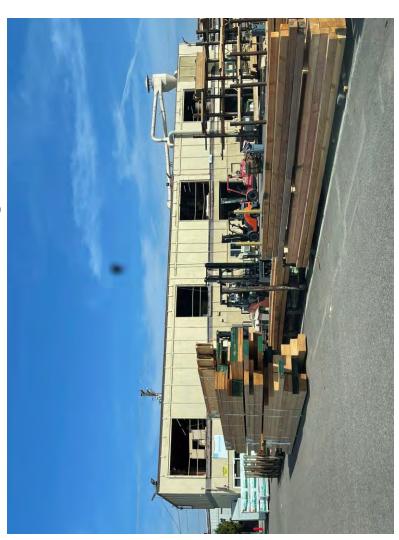
Photograph #15

**Lumber Warehouse** 

South Elevation; View Facing Northeast



West Elevation; View Facing Southeast

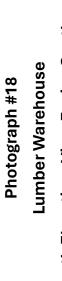




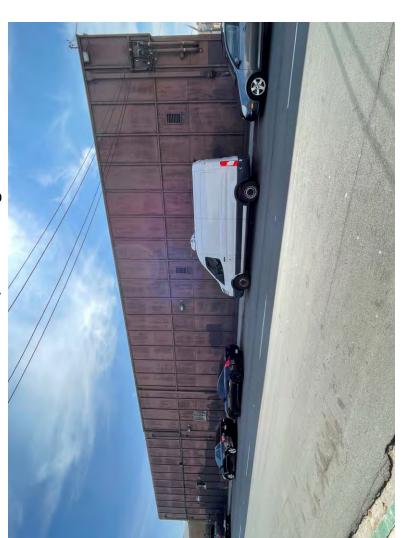
Photograph #17

**Lumber Warehouse** 

North Elevation; View Facing South









South Elevation; View Facing North Photograph #1





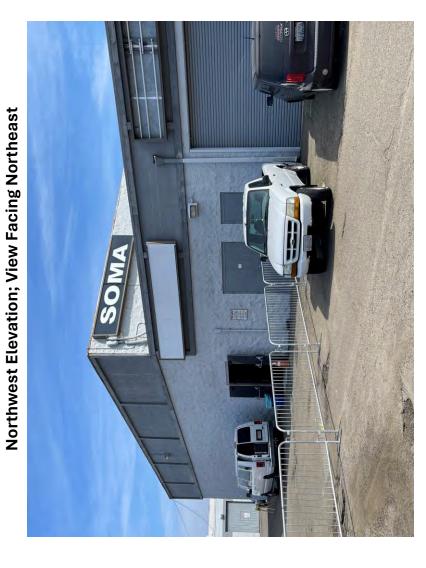
Southwest Elevation; View Facing North Photograph #3

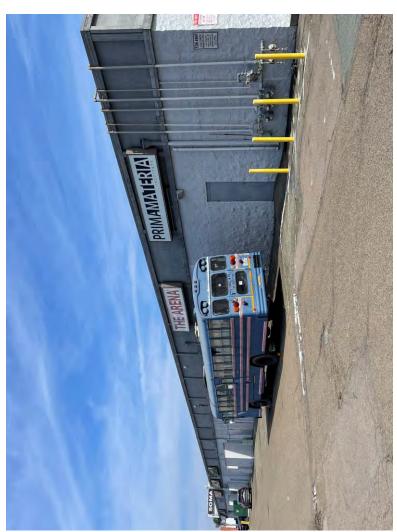


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Photograph #5

West Elevation; View Facing North

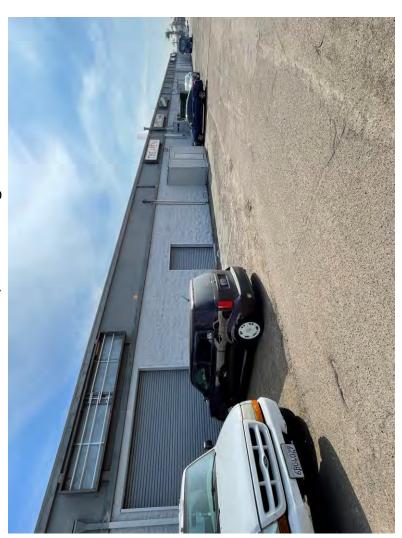




Photograph #7

West Elevation; View Facing South

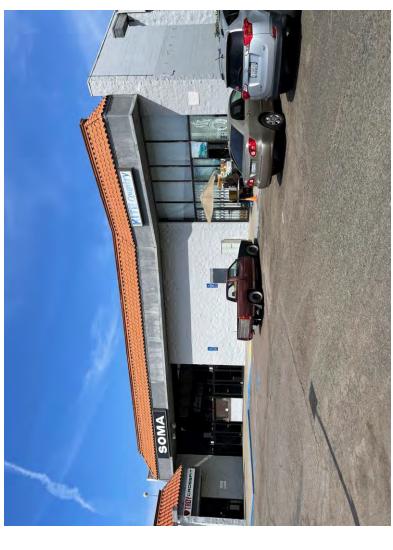




Photograph #9

South/Southeast Elevation; View Facing North

South/Southeast Elevation; View Facing Northwest





Photograph #11

Southeast Elevation; View Facing Northeast



Photograph #13

East Elevation; View Facing West



Photograph #15

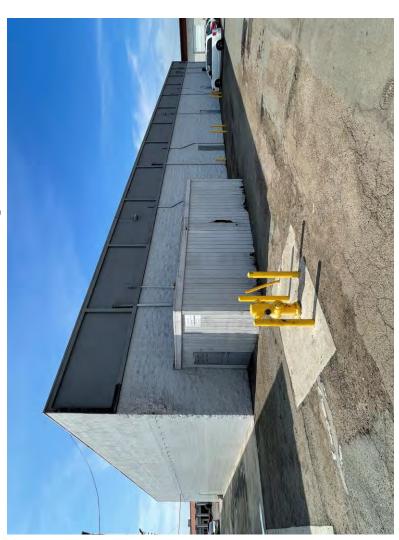


North Elevation; View Facing South

Photograph #17

North Elevation; View Facing Southwest





The 3240 Sports Arena Boulevard building is a One-Part Commercial Block structure with Modern Contemporary style elements. Constructed in 1969, the building was designed stylistically similar to another commercial structure built in La Mesa in 1966. The 3240 Sports Arena Boulevard building has a parallelogram shape and is set back from Sports Arena Boulevard to allow for a small, surface parking lot in front. The west elevation serves as a warehouse/distribution area. This area is recessed from the main (south) elevation and rectangular in shape. It has a flat roof with small, side parapets, and bay entrance with a shed roof and metal "pull up" style door.

Of standard wood-frame construction, the 3240 Sports Arena Boulevard building has a flat roof with no eave overhang, and a stucco exterior. Along the side (southeast and southwest) elevations, the structure has a decorative stone veneer. The main, front façade has a lower, metal storefront, composed of large, fixed panes of glass, and metal/glass entry doors, flanked by decorative stone veneer. Above the storefront is a wide, horizontal, cantilevered canopy composed of stucco. Between the roofline and canopy exists a horizontal façade reserved for signage of which the building is devoid, safe for a printed banner attached to the structure identifying it as "Thrift Store/Donation Center" for the Salvation Army. Overall, the building appears to be in good condition.

## 3250 Sports Arena Boulevard

The 3250 Sports Arena Boulevard site largely consists of approximately four (4) main structures used in conjunction with a commercial lumber yard. The main building (3250 Sports Arena Boulevard) is located along the southwest elevation, adjacent to the main entry area along Sports Arena Boulevard. This structure serves as a company office and retail sales building. Constructed in 1967, it was originally Modern Contemporary in style one and two-stories in height, with a flat roof with slender vertical wood fascia panels, and vertical wood exterior siding. Over the course of its existence, the structure was subject to first and second story additions in 1969, 1970, 1972, 1975, 1977, and 1989.

Of standard wood-frame construction, the 3250 Sports Arena Boulevard building is today one and two-stories, and generally rectangular except for the south elevation which is irregular in configuration. Along the north elevation, the building is two-stories in height with a flat roof, no eave overhang, and stucco exterior. Metal stairs which lead to the second story are located along the north elevation, and shed, metal window visors are located along the northeast elevation. Windows are composed of vinyl sliders. The main entrance to the building is located along the east elevation, underneath a broad, arched roof section with projecting beams, and an exterior composed of stucco with columns sheathed in stone. The entry is composed of metal glass doors under a projecting canopy. A similar arched roof section is located on the south elevation. It may have been used at one time for another entrance to the building, however, the pedestrian access area appears to have been in-filled. Other exterior features on the building include stucco, vertical metal, and stone siding. Overall, the building appears to be in good condition.

## **Lumber Storage Sheds**

The site includes two, one-story, lumber storage sheds. Both sheds were built in 1967, and enclose the site along the west, east, and south perimeters. Of wood-frame construction, the western storage shed is wide and "L"-shaped with a low-pitched (almost flat) roof. It is open along its east side and connects to a small warehouse structure, built in 1971, located at the northwest corner of the site. At the southwest elevation, there is a small office extension built in 1971. Overall, it appears to be in fair condition.

Of wood-frame construction, the eastern storage shed is also wide, irregular in shape, has a low-pitched (almost flat) roof, and is open along its north and east sides. It connects to the lumber warehouse along the northeast corner of the side runs southward, and then jogs westward along the north elevation of the adjacent 3240 Sports Arena Boulevard building. At this location, the shed has a two-story, office building component built in 1989 with a projecting, central square section, wood panel exterior, and corner area with a flat roof and wide eave overhang. Overall, it appears to be in fair condition.

## Lumber Mill

The site includes a two-story structure used as a lumber mill. It is located along the north elevation adjacent to Kurtz Street and is attached to the lumber storage shed to the east. Originally built in 1967 as a one-story building, it was subject to a second story addition in 1972. The building is rectangular in shape and the roof is flat with no eave overhang. The exterior is composed of concrete blocks and board and batten siding along the first story, and board and batten on the second story. Large openings exist on both the first and second stories to accommodate the transportation of wood. Overall, it appears to be in fair condition.

## 3350 Sports Arena Boulevard

The 3350 Sports Arena Boulevard building was designed and built in a Modern Contemporary style in 1978 as a one-story, six-screen movie theatre with attached commercial units. Today, the building no longer serves as a movie theatre. The movie screens, as well as physical elements indicative of its original use, have been removed, and the former movie theatre space largely serves as a live entertainment venue (SOMA). Approximately nine (9) commercial units (spaces) are used as well. Overall, the building appears to be in good condition.

The 3350 Sports Arena Boulevard building is "L"-shaped and divided into two components. The first component consists of two, attached rectangular sections. The first section consists of the former movie theatre space attached to the commercial units. This section is located along the northwest and west elevations. It has a masonry/concrete block exterior, flat roof with no eave overhang and parapets. Some areas along the roofline have wood panels. Along the front (south) elevation, the upper area has a projecting element with a shed roof and red, Mission tile. Below these elements, the south elevation has two separate areas of large, fixed, multi-paned metal windows and glass entry doors. Along

the east elevation, there are storefront units composed of large, fixed metal windows and glass entry doors. These units are recessed underneath a projecting canopy which is supported by a series of masonry columns and projecting wood beams.

The second component of the 3350 Sports Arena Boulevard building is detached and located along the northeast elevation. It is square in shape and has a masonry/concrete block exterior. The roof is flat with no eave overhang and parapets. Some areas along the roofline have wood panels. Along its front (south) elevation, the upper area has a projecting canopy with a shed roof and red, Mission tile. It is supported by a series of masonry columns and projecting wood beams.

## Significance Evaluation

## **Integrity Evaluation**

In addition to determining the significance of a property under state and national criteria, it must also possess integrity. The national, state, and local registers recognize seven aspects of integrity—location, design, setting, materials, workmanship, feeling, and association.

Integrity is defined by the National Register of Historic Places as the "ability of a property to convey and maintain its significance." In order to be listed in the National Register, a property must not only be shown to be significant under the National Register criteria, but it also must have integrity. Historic properties either retain integrity (this is, convey their significance) or they do not. To retain historic integrity, a property will always possess several, and usually most, of the aspects. The retention of specific aspects of integrity is paramount for a property to convey its significance. Within the concept of integrity, the National Register criteria recognize seven aspects or qualities that, in various combinations, define integrity. These are location, design, setting, materials, workmanship, feeling, and association.

Integrity is defined by the California Register as the "authenticity of an historical resource's physical identity evidenced by the survival of characteristics that existed during the resource's period of significance." In order to be listed in the California Register, properties must not only be shown to be significant under the California Register criteria but must also retain enough of their historic character, or appearance, to be recognizable as historical resources and convey the reasons for their significance.

Integrity is defined by the HRB *Guidelines for the Application of Historical Resources Board Designation Criteria* as "the authenticity of a historical resource's physical identity clearly indicated by the retention of characteristics that existed during the resource's period of significance." Further, integrity relates "to the presence or absence of historic materials and character defining features" of a resource.

## Location

Location is defined by the National Register as "the place where the historic property was constructed or the place where the historic event occurred." It is defined by the HRB Designation Guidelines as "the place where a resource was constructed or where an event occurred."

The 3220, 3240, 3250 and 3350 Sports Arena Boulevard buildings were constructed in 1968, 1969, 1967, and 1978, respectively. Therefore, the Properties have remained in their original locations throughout their existence.

## <u>Design</u>

Design is defined by the National Register as the "combination of elements that create the form, plan, space, structure, and style of a property." It is defined by the HRB Designation Guidelines as resulting "from intentional decisions made during the conception and planning of a resource. Design includes form, plan, space, structure, and style of a property."

Over the course of their existence, the 3240 and 3350 Sports Arena Boulevard buildings have not been substantially modified or altered from that of their original designs. Therefore, the structures retain their original design elements for integrity purposes.

The 3220 Sports Arena Boulevard building, as well as the 3250 Sports Arena Boulevard building (including its related ancillary structures), have been substantially modified and altered from that of their original design/construction. These changes have compromised their original form, plan, space, structure, and style such that they no longer retain their original design elements for integrity purposes.

## Setting

Setting is defined by the National Register as the physical environment of a historic property. It is defined by the HRB Designation Guidelines as applying "to a physical environment, the character of a resource's location, and a resource's relationship to the surrounding area."

The 3220, 3240, 3250 and 3350 Sports Arena Boulevard buildings have been sited at their original locations since they were constructed in 1968, 1969, 1967, and 1978, respectively. Inspection of the surrounding neighborhood today indicates the presence of some original structures, however, many buildings in the immediate area have been removed or remodeled over the years, such that the overall physical environment of the area has been adversely impacted. In addition, the character of the surrounding area has transformed from single-family residential use to light industrial and commercial uses. As a result, the Properties no longer retain their original setting elements for integrity purposes.

## Materials

Materials are defined by the National Register as the physical elements that were combined or deposited during a particular period of time and in a particular pattern or configuration to form a historic property. It is defined by the HRB Designation Guidelines as comprising "the physical elements combined or deposited in a particular pattern or configuration to form a property."

The majority of materials which have gone into the construction of the 3240 and 3350 Sports Arena Boulevard buildings are largely original. As a result, the structures retain their materials elements for integrity purposes.

The 3220 Sports Arena Boulevard building, as well as the 3250 Sports Arena Boulevard building (including its related ancillary structures), have been substantially modified and altered from that of their original design/construction. As a result, the buildings no longer retain their original materials elements for integrity purposes.

## Workmanship

Workmanship is defined by the National Register as "the physical evidence of the crafts of a particular culture or people during any given period in history or prehistory." It is defined by the HRB Designation Guidelines as consisting "of the physical evidence of crafts employed by a particular culture, people, or artisan, which includes traditional, vernacular, and high styles."

As with the materials discussion above, the workmanship which has gone into the construction of the 3240 and 3350 Sports Arena Boulevard buildings is largely original. As a result, the structures retain their workmanship elements for integrity purposes.

The 3240 and 3250 Sports Arena Boulevard buildings (and its related ancillary structures), have been substantially modified and altered from that of their original design/construction. As a result, the buildings no longer retain their original workmanship elements for integrity purposes.

## Feeling

Feeling is defined by the National Register as "a property's expression of the aesthetic or historic sense of a particular period of time." It is defined by the HRB Designation Guidelines as relying "on present physical features of a property to convey and evoke an aesthetic or historic sense of past time and place."

In its current condition, the 3240 Sports Arena Boulevard building still imparts an aesthetic sense of late 1960s Modern Contemporary style commercial construction. As a result, the structure retains its feeling elements for integrity purposes.

In their current condition, the 3320, 3250 and 3350 Sports Arena Boulevard buildings no longer impart an aesthetic sense of late 1960s/1970s Modern Contemporary style commercial construction. This is largely due to the modifications and alterations which the 3220 and 3250 Sports Arena Boulevard building (including its related ancillary structures), have sustained over the years. Since the 3350 Sports Arena Boulevard building no longer functions as a movie theatre, and physical features related to its original use no longer exist, the structure does not evoke an aesthetic or historic sense of past time and place. Therefore, these buildings no longer retain their original feeling elements for integrity purposes.

## **Association**

Association is defined by the National Register as "the direct link between an important historic event or person and a historic property." It is defined by the HRB Designation Guidelines as directly [linking] a historic property with a historic event, activity, or person or past time and place; and requires the presence of physical features to convey the property's historic character."

The 3220, 3240, 3250 and 3350 Sports Arena Boulevard buildings are not directly linked to any important historic events or persons. As a result, the Properties do not possess, nor have they ever possessed, associative elements for integrity purposes.

## Application of San Diego Historical Resources Board (HRB) Register Significance Criteria

According to the City of San Diego Land Development Code, *Historical Resources Guidelines* (Adopted September 28, 1999; Amended June 6, 2000; April 30, 2001), a building, structure, sign, interior element and fixture, feature, site, place, district, area or object may be designated as historic by the City of San Diego Historical Resources Board if it meets any of the following below criteria. Guidelines in applying the criteria for designation exist in the *Guidelines for the Application of Historical Resources Board Designation Criteria* (Land Development Manual, Historical Resources Guidelines, Appendix E, Part 2, and Adopted August 27, 2009).

<u>Criterion A--</u> If it exemplifies or reflects special elements of a City's, a community's or a neighborhood's historical, archaeological, cultural, social, economic, political, aesthetic, engineering, landscaping or architectural development.

## "Special Elements of Development"

According to the HRB Designation Guidelines, special elements of development refer to a resource that is distinct among others of its kind or that surpass the usual in significance. It is not enough for a resource to simply reflect an aspect of development, as all buildings, structures, and objects do. For each aspect of development, the resource shall exemplify or reflect a special element of that development which either maintains an established precedent or may in itself be the model for development.

No historical evidence was identified which would support the contention that the 3220, 3240, 3250 and 3350 Sports Arena Boulevard buildings exemplify or reflect *special* elements of San Diego's, the Pueblo Lands of San Diego's, Midway's, or Sports Arena Boulevard' historical, archaeological, cultural, social, economic, political, aesthetic, engineering, landscaping, or architectural development. The structures in no way exemplify or reflect "special elements" of City, community, or neighborhood development any more than other existing structures (new or old) along Sports Arena Boulevard or within the Pueblo Lands of San Diego.

Under the Guidelines for the Application of the Historical Resources Board Designation Criteria, the 3220, 3240, 3250 and 3350 Sports Arena Boulevard buildings do not possess special elements of development which are distinct among others of their kind or that surpass the usual in significance. As specified under the Guidelines, it is not enough for a resource to simply reflect an aspect of development as all buildings do. Similarly, the 3220, 3240, 3250 and 3350 Sports Arena Boulevard buildings do not reflect a special element of development any more than other structures which were constructed throughout the Pueblo Lands of San Diego or the Midway community. The Properties do not reflect an element of development which maintains an established precedent, nor were they the model of development in the Pueblo Lands of San Diego or the Midway community.

<u>Historical Development</u>—In order to be significant for Historical Development, a resource shall exemplify or reflect a special or unique aspect of the City's general historical development; or shall exemplify or reflect a unique aspect of the City's history.

No historical evidence was identified which would support the contention that the 3220, 3240, 3250 and 3350 Sports Arena Boulevard buildings exemplify or reflect a special or unique aspect of the City's general historical development; or exemplify or reflect a unique aspect of the City's history. The Properties, therefore, are not significant with respect to any form of historical development.

<u>Archaeological Development</u>—In order to be significant for Archaeological Development, a resource shall be prehistoric or historic in nature but must exemplify archaeological development through subsurface deposits and may include associated surface features.

The 3220, 3240, 3250 and 3350 Sports Arena Boulevard buildings are not prehistoric or historic archaeological resources and, therefore, the Properties are not significant with respect to any form of archaeological development.

<u>Cultural Development</u>—In order to be significant for Cultural Development, a resource shall exemplify or reflect development that is associated with a group of people linked together by shared values, beliefs, and historical associations, or are properties associated with significant achievement in the visual and fine arts, (painting, sculpture, architecture, theater, dance, music) literature, philosophy, religion, science, mathematics, the social studies, or any of the disciplines that are commonly associated with public and private institutions of higher learning and/or academic inquiry.

No historical evidence was identified which would support the contention that the 3220, 3240, 3250 and 3350 Sports Arena Boulevard buildings exemplify or reflect an association with a group of people linked together by shared values, beliefs, and historical associations, or are associated with significant achievements in the visual and fine arts, literature, philosophy, religion, science, mathematics, the social studies, or any of the disciplines that are commonly associated with public and private institutions of higher learning and/or academic inquiry. The Properties, therefore, are not significant with respect to any form of cultural development.

<u>Social Development</u>—In order to be significant for Social Development, a resource shall exemplify or reflect development that is associated with relations and interactions with others.

No historical evidence was identified which would support the contention that the 3220, 3240, 3250 and 3350 Sports Arena Boulevard buildings exemplify or reflect development associated with relations and interactions with others. The Properties, therefore, are not significant with respect to any form of social development.

<u>Economic Development</u>—In order to be significant for Economic Development, a resource shall exemplify or reflect development associated with the local, regional, state or national economy or economics, including manufacturing, labor and agriculture, maritime and transportation industries.

No historical evidence was identified which would support the contention that the 3220, 3240, 3250 and 3350 Sports Arena Boulevard buildings exemplify or reflect development associated with economics or economic industries. The Properties, therefore, are not significant with respect to any form of economic development.

<u>Political Development</u>—In order to be significant for Political Development, a resource shall exemplify or reflect development associated with politics or the political atmosphere, including women's suffrage, neighborhood activism, labor organizations and the Civil Rights Movement associated with ethnic and gay/lesbian issues.

No historical evidence was identified which would support the contention that the 3220, 3240, 3250 and 3350 Sports Arena Boulevard buildings exemplify or reflect development associated with politics or the political atmosphere/environment. The Properties, therefore, are not significant with respect to any form of political development.

<u>Aesthetic Development</u>—In order to be significant for Aesthetic Development, a resource shall exemplify or reflect development associated with an artistic arrangement in theory or practice.

No historical evidence was identified which would support the contention that the 3220, 3240, 3250 and 3350 Sports Arena Boulevard buildings exemplify or reflect development associated with artistic arrangement in theory or practice. The Properties, therefore, are not significant with respect to any form of aesthetic development.

<u>Engineering Development</u>—In order to be significant for Engineering Development, a resource shall exemplify or reflect development associated with engineering. Engineering development may include professionally applied standards or design ingenuity within engineering disciplines. Engineering solutions may be applied within individual buildings, structures and objects, or be associated with large scale infrastructure development like ports, railroads, roads and freeways, dams and flood control, electrical transmission and water systems.

No historical evidence was identified which would support the contention that the 3220, 3240, 3250 and 3350 Sports Arena Boulevard buildings exemplify or reflect development associated engineering, including professional engineering standards, engineering design ingenuity, or engineering disciplines. The Properties, therefore, are not significant with respect to any form of engineering development.

<u>Landscape Development</u>—In order to be significant for Landscape Development, a resource shall exemplify or reflect development associated with garden and park design, subdivision design, or ecosystem/habitat restoration and may include professionally applied standards or design ingenuity within landscape disciplines.

No historical evidence was identified which would support the contention that the 3220, 3240, 3250 and 3350 Sports Arena Boulevard buildings exemplify or reflect development associated with garden and park design, subdivision design, ecosystem/habitat restoration, or professional landscaping standards, or design ingenuity within landscape disciplines. The Properties, therefore, are not significant with respect to any form of landscape development.

<u>Architectural Development</u>—In order to be significant for Architectural Development, a resource shall exemplify or reflect development associated with the City's built environment, especially that designed and constructed by non-architects, including real estate developers, contractors, speculators, homeowners and others associated with the building industry.

No historical evidence was identified which would support the contention that the 3220, 3240, 3250 and 3350 Sports Arena Boulevard buildings exemplify or reflect development associated with the City's built environment, including architecture designed and constructed by non-architects, real estate developers, contractors, speculators, homeowners, and others associated with the building industry. The Properties, therefore, are not significant with respect to any form of architectural development.

Therefore, based upon the above analysis, the Properties do not qualify under any aspect of HRB Criterion A (Community Development).

<u>Criterion B</u>--Is identified with persons or events significant in local, state, or national history.

According to the HRB Designation Guidelines, resources associated with individuals whose specific contributions to history can be identified and documented may qualify under Criterion B for persons significant in history. Persons significant in our past refers to individuals associated with San Diego whose activities, achievements and contributions are demonstrably important within the City, state, or nation.

Eligibility under Criterion B for significant person(s) involves first determining the importance of the individual, second ascertaining the length and nature of the individual's association with the resource under study and comparison to other resources associated with the individual, and third determining if the resource is significant under HRB Criterion B as a resource that is best identified with a person(s) significant in local, state, or national history.

A person would not be considered historically significant simply by virtue of position/title, association, affiliation, race, gender, ethnicity or religion. Criterion B is generally restricted to those properties that are associated with a person's important achievements, rather than those that are associated with their birth or retirement, or that are commemorative in nature. The person must have made demonstrable achievements and contributions to the history of San Diego, the state, or the nation. In addition, the resource must be associated with the person during the period that the person's significant achievements and contributions occurred.

If the resource is not associated with the historical person during the person's significant period, research other resources associated with the person in order to identify those that best represent the person's historic contributions. Determine the status of the associative properties as demolished, extant, or out of the locality and length of time associated with the person. The best representatives are properties associated with the person's productive life. Properties associated with the person's formative or later years may also qualify if it can be demonstrated that the person's activities during this period were historically significant or if no properties from the person's productive years survive elsewhere.

No historical evidence was found which would suggest that the 3220, 3240, 3250 and 3350 Sports Arena Boulevard buildings were ever associated with any persons or events significant in local, state, or national history. None of the persons or entities identified with the Properties performed any activities, achievements or contributions which were demonstrably important within the City, state, or nation. Therefore, the Properties do not qualify under HRB Criterion B (Historic Person).

<u>Criterion C</u>--Embodies distinctive characteristics of a style, type, period or method of construction or is a valuable example of the use of indigenous materials or craftsmanship.

According to the HRB Designation Guidelines, this Criterion applies to resources significant for their physical design or method of construction. To embody the distinctive characteristics of a style, type, period or method of construction refers to the way in which a property was conceived, designed, or fabricated by an individual, a group of people, or

a culture. Distinctive characteristics are those physical features or traits that commonly recur in individual styles, types, periods or methods of construction.

In order to qualify under this Criterion, a resource must embody distinctive characteristics of an architectural style, a type of construction, a recognized construction period, or an identifiable method of construction, as established through accepted bodies of scholarly and professional work. Comparison to other resources of the same style, type, period, or method of construction is not required unless scholarly work has not been done on a particular property type or unless surviving examples of a property type are extremely rare. In these instances where it has not been determined what physical features a property must possess in order for it to reflect the significance of a historic context, comparison with similar properties should be undertaken.

It is important to note that Criterion C states that a resource embody the distinctive characteristics of a style, type, period or method of construction; it does not state that the resource must be a unique or distinguished example of a style, type, period or method of construction. Resources which do not embody the distinctive characteristics of a style, type, period or method of construction as supported by established sources do not qualify.

## 3220 Sports Arena Boulevard

The 3220 Sports Arena Boulevard building was originally constructed as a One-Part Commercial Block structure with Modern Contemporary style elements in 1968. In its current appearance, the building is not considered to be a representative example of the One-Part Commercial Block architectural style and is not considered a valuable example of the use of indigenous materials or craftsmanship. In this regard, the structure does not embody the distinctive characteristics of a style, type, period, or method of One-Part Commercial Block construction.

## One-Part Commercial Block Architecture

One-Part Commercial Block architecture is an accepted architectural style (Longstreth 1987). The development of distinctive architectural forms for commercial purposes is a recent phenomenon. Buildings accommodating the transaction of business have existed since antiquity, yet examples with physical traits different from those serving other functions were long the exception. The growth of commercial architecture was nowhere more intense and rich in its manifestations than in the United States. America's rise as a major economic power was closely related to the settlement of its territory and the enormous growth of its population. As private enterprise was the principal generator of the nation's development, commercial architecture played a central role in defining the character of its settlements.

According to historian Richard Longstreth, the identification system of commercial architecture is based upon the ways in which a façade is composed. No matter how intricate their details, façade compositions can be reduced to a simple diagram or pattern that reveals the major divisions or elements used. When these patterns appear frequently enough, they

can be labeled as types. Collectively, Longstreth has identified 11 types of commercial architecture which were erected before the mid-20<sup>th</sup> century. Each type has characteristics that are easily recognizable. At the same time, these characteristics may encompass numerous variations in size, scale, expression, and decorative motifs.

Commercial architectural types fall into two basic categories. With six types (two-part commercial block, stacked vertical block, two-part vertical block, three-part vertical block, enframed block, and central block with wings), the primary identifying characteristics are the ways in which the façade is divided into distinct sections or zones. Materials, elements (such as doors, windows, cornices, and porticos), decorative details and stylistic expression are secondary characteristics that may relate to, but are at the same time separate from, the basic compositional arrangement. These secondary characteristics may be valuable in describing the special qualities of one building or a group of buildings, but they do not define the underlying common features of the type. Four other types (the enframed window wall, temple front, vault, and arcaded block) have not basic zone divisions. The primary characteristics of this group derive from the arrangement of a few major features such as columns, large openings, and enframing wall surfaces. The configuration of minor elements, materials employed, decorative details, and stylistic expression remain secondary characteristics. Finally, the last type, the one-part commercial block, possesses neither basic zone divisions nor a distinguishing set of major elements. It can instead be seen as a fragment (the lower section of a two-part commercial block).

The One-Part Commercial Block was a popular commercial architectural style across the United States from the 1850s through the 1940s. It has only a single story, which is treated in much the same variety of ways as the lower zone of the two-part commercial block. Essentially, it is a fragment of the larger type and should not be confused with the one-story shop, freestanding and capped by a pitched roof, which could be found in settlements during the 18<sup>th</sup> and 19<sup>th</sup> centuries. Rather than appearing somewhat like a small house or service facility on a sizable farm or plantation, the One-Part Commercial Block is a simple box with a decorated façade and thoroughly urban in its overtones.

The One-Part Commercial Block type appears to have been developed during the mid-19<sup>th</sup> century and soon became a common feature in towns and cities. It proliferated because of the rapid growth of Victorian communities, large and small, and the hopes speculators held for continued expansion. By catering to the swelling demand for services, these buildings could generate income, yet they represented a comparatively small investment. Often their most important purpose was defraying the costs of land that was likely to increase in value and thus at some future time support a larger, more profitable building. In this sense, the One-Part Commercial Block represented a claim staked on urban ground. Often, these ventures met with success, if not always as soon as anticipated. Examples constructed in cities before 1900 are now rare, although they still abound in places where the pressures for development have not been as intense.

Most One-Part Commercial Blocks constructed during the 19<sup>th</sup> century were used as retail stores. In many cases, the street frontage is narrow, and the façade comprises little more than plate glass windows and an entry surmounted by a cornice or parapet. A sizable wall

area often exists between the windows and cornice to provide a place for advertising and make the façade appear larger and more urban than would otherwise be the case. Some retail stores dating from the early 20<sup>th</sup> century differ little from their Victorian predecessors, except for a greater uninterrupted expanse of plate glass across the front. In cities, the One-Part Commercial Block continued to be popular for modest buildings in neighborhoods. Grouped units are a ubiquitous feature along what once were streetcar lines, where commercial development often grew to be quite extensive. While composed in an orderly manner, most examples from this period have few, if any, historical references. Particularly with retail stores, the configuration permits little embellishment except near the roofline. At a time when simple design was ever more held as a virtue, ornate buildings that were small and provided no more than basic services would have been considered pretentious. Furthermore, investors showed an understandable reluctance to add costly decoration to buildings that might be replaced.

By the 1920s, however, efforts emerged to make the One-Part Commercial Block in suburban areas more ornamental and visually harmonious with its domestic surroundings. The abundance of automobiles and corresponding traffic congestion also fostered the concept that low-density commercial development was preferable, at least in enclaves of the well-to-do. Some of the resulting changes are minor, such as the use of a few decorative embellishments. In other instances, the shift in character may be quite pronounced, with large, picturesque elements modifying the basic configuration.

The 3220 Sports Arena Boulevard building features several physical characteristics which support a One-Part Commercial Block classification. These elements include its original commercial use; one-story form; and wall area between windows and cornice to provide advertising space. However, in its current appearance, the building fails to possess several other typical elements which would denote a true, intact and representative example of this style. For example, the building lacks ornate, decorative embellishments and a lack of large, picturesque elements. Further, the existing wall area along the south elevation to allow for signage, as well as stucco/scoring, cornice, concrete pilasters, entry area, and storefront glass, are not original. Consideration of a narrow street frontage appears not to have occurred from a conscious design preference, but rather from necessity, given the site location and its tight constraints. Finally, the building is devoid of integrated, original advertising signage.

For these reasons, the 3220 Sports Arena Boulevard building does not embody the distinctive characteristics of a style, type, period, or method of One-Part Commercial Block construction. In addition, due to the fact that no indigenous materials went into the construction of the building, it is not a valuable example of the use of indigenous materials or craftsmanship. The property does not qualify under HRB Criterion C (Architecture).

#### Modern Contemporary Architecture

In addition to the One-Part Commercial Block architectural style analysis above, since the building possesses some elements of the Modern Contemporary style, it has also been

examined herein under the City of San Diego, San Diego Modernism Historic Context Statement ("Modernism Context Statement").

In October 2007, the City of San Diego developed and implemented the Modernism Context Statement." The stated purpose of the Modernism Context Statement is to "assist in the identification, evaluation and preservation of significant historic buildings, districts, sites and structures associated with the Modernism movement in San Diego from 1935 to 1970" and was created to better understand "Modern era resources and the types of resources that are significant to the history and development of San Diego." The City of San Diego utilizes the Modernism Context Statement in conjunction with the evaluation of potential historical resources constructed within the Modern era from 1935-1970. An examination of the 3220 Sports Arena Boulevard building under the Modernism Context Statement indicates that the structure does not embody the distinctive characteristics of a style, type, period, or method of Modern Contemporary construction to be eligible for designation under HRB Criterion C (Architecture). Further, the building is not considered to be a valuable example of the use of indigenous materials or craftsmanship.

## <u>Modernism Context Statement—General Characteristics Of The Modern Contemporary</u> Style

According to the Modernism Context Statement, Modern Contemporary style buildings were generally constructed between 1955-1965. They employed the latest styles and materials including such modern features as interior courtyards, aluminum framed windows, sliding-glass doors, and attached carports or garages (for homes). Some also included upgrades to basic model units, allowing a homeowner to customize their properties. In addition to residential construction, Modern Contemporary buildings also included commercial structures and streetscapes. These buildings display many of the same design features as Contemporary style homes, such as angular massing, varied materials use, and unusual roof forms.

The 3220 Sports Arena Boulevard building possesses no original, general characteristics associated with the Modern Contemporary architectural style. As an initial matter, the structure was built in 1968, after the generally recognized "period of significance" for Modern Contemporary structures (i.e. 1955-1965). Further, the building lacks interior courtyards; sliding glass doors; varied use of exterior building materials (the exterior largely consists of stucco); and an unusual roof form (the roof is flat). Based upon the foregoing, therefore, the structure does not possess general characteristics indicative of Modern Contemporary construction as detailed in the Modernism Context Statement.

#### Modernism Context Statement—Primary-Character Defining Features

According to the Modernism Context Statement, there are three (3) "Primary" Character-Defining features of Modern Contemporary construction. The following Primary character-defining features noted in the Modernism Context Statement have been specifically applied to the Property, accordingly:

1. Strong roof forms, including flat, gabled, shed or butterfly, typically with deep overhangs.

The 3220 Sports Arena Boulevard building has a flat roof with no eave overhangs. This roof is not considered to be "strong." Therefore, the building does not possess this Primary Character-Defining feature of Modern Contemporary construction.

2. Large windows, often aluminum framed.

The 3220 Sports Arena Boulevard building contains several large, aluminum storefront windows. However, these windows are not original. Therefore, the building does not possess this Primary Character-Defining feature of the Modern Contemporary construction.

3. Non-traditional exterior finishes, including vertical wood siding, concrete block, stucco, flagstone and mullion-free glass.

The 3220 Sports Arena Boulevard building generally features a stucco exterior, concrete block pilasters, and vertical wood siding located above the main entry along the south elevation. However, these elements are not original. Further, no flagstone or mullion-free glass exists. Therefore, the building does not possess this Primary Character-Defining feature of Modern Contemporary construction.

Summary: Of the three Primary Character-Defining features of Modern Contemporary construction expressed in the Modernism Context Statement, the Property does not possess any of them.

#### Modernism Context Statement—Secondary Character-Defining Features

According to the Modernism Context Statement, there are eight (8) "Secondary" Character-Defining features of Modern Contemporary construction. The following Secondary character-defining features noted in the Modernism Context Statement have been specifically applied to the Property, accordingly:

#### 1. Angular massing.

The 3220 Sports Arena Boulevard building features one-story, angular massing. Therefore, the building possesses this Secondary Character-Defining feature of Modern Contemporary construction.

2. Sunshades, screens or shadow block accents.

The 3220 Sports Arena Boulevard building does not feature any sunshades, screens, or shadow block accents. Therefore, the building does not possess this Secondary Character-Defining feature of Modern Contemporary construction.

3. Attached garages or carports for homes.

As a commercial structure, this Secondary Character-Defining features of Modern Contemporary construction is inapplicable to the 3220 Sports Arena Boulevard building.

4. Split-level design, especially on sloped residential sites.

The 3220 Sports Arena Boulevard building does not feature a split-level design. The structure is one-story in height. Therefore, the building does not possess this Secondary Character-Defining feature of Modern Contemporary construction.

5. Horizontally oriented commercial buildings.

The 3220 Sports Arena Boulevard building is a commercial structure and is horizontally oriented. Therefore, the building possesses this Secondary Character-Defining feature of Modern Contemporary construction.

6. Distinctive triangular, parabolic or arched forms.

The 3220 Sports Arena Boulevard building does not feature any triangular, parabolic or arched forms. Therefore, the building does not possess this Secondary Character-Defining feature of Modern Contemporary construction.

7. "Eyebrow" overhangs on commercial buildings; and

The 3220 Sports Arena Boulevard building is a commercial structure, but it lacks an "eyebrow" overhang. Therefore, the building does not possess this Secondary Character-Defining feature of Modern Contemporary construction.

8. Integrated, stylized signage on commercial buildings.

The 3220 Sports Arena Boulevard building is a commercial structure, but it does not feature integrated, stylized signage. Therefore, the building does not possess this Secondary Character-Defining feature of Modern Contemporary construction.

Summary: Out of the seven applicable Primary Character-Defining features of Modern Contemporary construction expressed in the Modernism Context Statement, the Property possesses two of these features—Angular massing and a horizontal orientation.

#### Modernism Context Statement—Evaluation Criteria

In evaluating the potential significance and eligibility for designation of Modern Contemporary buildings, the Modernism Context Statement notes the following:

• "While this style was relatively popular in San Diego tract construction, many of these homes and buildings have been extensively remodeled diminishing their level of integrity and reducing the abundance of good examples from this sub-style substantially."

The 3220 Sports Arena Boulevard building is located within the Midway community. This community contains an abundance of original, Modern Contemporary structures, some of which have been extensively remodeled and over the years. Nevertheless, the area still contains a number of intact examples of this style.

• "...Houses [buildings] may still poses [sic. possess] significance due to their association with a potential master architect."

Historical research indicates that the 3220 Sports Arena Boulevard building was designed by A.L. Wildey and T. Ota from Newport Beach, California. It is not known whether these individuals were architects and no other examples of their work have been identified. In any event, Wildey and Ota have not been established by the City of San Diego as "master" architects, are not identified in the Modernism Context Statement as a "Contributing Designers Of Modern San Diego" and are not recognized for greatness in the field of architecture. In particular, the 3220 Sports Arena Boulevard building does not display any "notable" physical characteristics which would warrant recognition.

• "Good examples of this style that retain a high degree of integrity should therefore be considered for individual designation, especially if... associated with a significant architect. Due to the somewhat limited supply of unaltered examples, retention of all character defining features may not be necessary for listing, if comparative analysis demonstrates that the building retains a relatively high degree of integrity compared to other extant examples."

The 3220 Sports Arena Boulevard building does not possess original integrity and is not associated with a significant architect(s) to warrant designation as a "notable" architectural example. Further, it lacks the vast majority of character-defining features of the Modern Contemporary architectural style.

• "The Contemporary style was widely used on major streets and boulevards such as El Cajon Boulevard in North Park, Girard Avenue in La Jolla, Washington Street in Mission Hills, and Rosecrans Boulevard in Point Loma. Buildings in these areas exemplify the style with long horizontal massing, extensive use of glass windows to open the interior space as to the street, updated Moderne elements such as "eyebrow" overhangs, and minimal architectural details on the façade....Signage for Contemporary commercial buildings that is original to the structure should be considered as part of the resource."

The 3220 Sports Arena Boulevard building is a commercial structure which is located along Sports Arena Boulevard (a major street not typically associated with an abundance of Modern Contemporary commercial buildings).

In summary, the 3220 Sports Arena Boulevard building does not possess the General, Primary, or Secondary character-defining features of Modern Contemporary construction to be considered a true, representative example which is significant under the Modernism Context Statement. The building does not meet the potential significance and eligibility criteria for designation under the Modernism Context Statement. As such, the structure does not embody the distinctive characteristics of a style, type, period, or method of Modern Contemporary construction. The building is not architecturally significant. In addition, due to the fact that no indigenous materials went into the construction of the building means that it is not a valuable example of the use of indigenous materials or craftsmanship. The property does not qualify under HRB Criterion C (Architecture).

## 3240 Sports Arena Boulevard

The 3240 Sports Arena Boulevard building was constructed as a One-Part Commercial Block structure with Modern Contemporary style elements in 1969. In its current appearance, the building is not considered to be a representative example of the One-Part Commercial Block architectural style and is not considered a valuable example of the use of indigenous materials or craftsmanship. In this regard, the structure does not embody the distinctive characteristics of a style, type, period, or method of One-Part Commercial Block construction.

#### One-Part Commercial Block Architecture

One-Part Commercial Block architecture is an accepted architectural style (Longstreth 1987). The development of distinctive architectural forms for commercial purposes is a recent phenomenon. Buildings accommodating the transaction of business have existed since antiquity, yet examples with physical traits different from those serving other functions were long the exception. The growth of commercial architecture was nowhere more intense and rich in its manifestations than in the United States. America's rise as a major economic power was closely related to the settlement of its territory and the enormous growth of its population. As private enterprise was the principal generator of the nation's development, commercial architecture played a central role in defining the character of its settlements.

According to historian Richard Longstreth, the identification system of commercial architecture is based upon the ways in which a façade is composed. No matter how intricate their details, façade compositions can be reduced to a simple diagram or pattern that reveals the major divisions or elements used. When these patterns appear frequently enough, they can be labeled as types. Collectively, Longstreth has identified 11 types of commercial architecture which were erected before the mid-20<sup>th</sup> century. Each type has characteristics that are easily recognizable. At the same time, these characteristics may encompass numerous variations in size, scale, expression, and decorative motifs.

Commercial architectural types fall into two basic categories. With six types (two-part commercial block, stacked vertical block, two-part vertical block, three-part vertical block, enframed block, and central block with wings), the primary identifying characteristics are the ways in which the façade is divided into distinct sections or zones. Materials, elements

(such as doors, windows, cornices, and porticos), decorative details and stylistic expression are secondary characteristics that may relate to, but are at the same time separate from, the basic compositional arrangement. These secondary characteristics may be valuable in describing the special qualities of one building or a group of buildings, but they do not define the underlying common features of the type. Four other types (the enframed window wall, temple front, vault, and arcaded block) have not basic zone divisions. The primary characteristics of this group derive from the arrangement of a few major features such as columns, large openings, and enframing wall surfaces. The configuration of minor elements, materials employed, decorative details, and stylistic expression remain secondary characteristics. Finally, the last type, the one-part commercial block, possesses neither basic zone divisions nor a distinguishing set of major elements. It can instead be seen as a fragment (the lower section of a two-part commercial block).

The One-Part Commercial Block was a popular commercial architectural style across the United States from the 1850s through the 1940s. It has only a single story, which is treated in much the same variety of ways as the lower zone of the two-part commercial block. Essentially, it is a fragment of the larger type and should not be confused with the one-story shop, freestanding and capped by a pitched roof, which could be found in settlements during the 18<sup>th</sup> and 19<sup>th</sup> centuries. Rather than appearing somewhat like a small house or service facility on a sizable farm or plantation, the One-Part Commercial Block is a simple box with a decorated façade and thoroughly urban in its overtones.

The One-Part Commercial Block type appears to have been developed during the mid-19<sup>th</sup> century and soon became a common feature in towns and cities. It proliferated because of the rapid growth of Victorian communities, large and small, and the hopes speculators held for continued expansion. By catering to the swelling demand for services, these buildings could generate income, yet they represented a comparatively small investment. Often their most important purpose was defraying the costs of land that was likely to increase in value and thus at some future time support a larger, more profitable building. In this sense, the One-Part Commercial Block represented a claim staked on urban ground. Often, these ventures met with success, if not always as soon as anticipated. Examples constructed in cities before 1900 are now rare, although they still abound in places where the pressures for development have not been as intense.

Most One-Part Commercial Blocks constructed during the 19<sup>th</sup> century were used as retail stores. In many cases, the street frontage is narrow, and the façade comprises little more than plate glass windows and an entry surmounted by a cornice or parapet. A sizable wall area often exists between the windows and cornice to provide a place for advertising and make the façade appear larger and more urban than would otherwise be the case. Some retail stores dating from the early 20<sup>th</sup> century differ little from their Victorian predecessors, except for a greater uninterrupted expanse of plate glass across the front. In cities, the One-Part Commercial Block continued to be popular for modest buildings in neighborhoods. Grouped units are a ubiquitous feature along what once were streetcar lines, where commercial development often grew to be quite extensive. While composed in an orderly manner, most examples from this period have few, if any, historical references. Particularly with retail stores, the configuration permits little embellishment except near

the roofline. At a time when simple design was ever more held as a virtue, ornate buildings that were small and provided no more than basic services would have been considered pretentious. Furthermore, investors showed an understandable reluctance to add costly decoration to buildings that might be replaced.

By the 1920s, however, efforts emerged to make the One-Part Commercial Block in suburban areas more ornamental and visually harmonious with its domestic surroundings. The abundance of automobiles and corresponding traffic congestion also fostered the concept that low-density commercial development was preferable, at least in enclaves of the well-to-do. Some of the resulting changes are minor, such as the use of a few decorative embellishments. In other instances, the shift in character may be quite pronounced, with large, picturesque elements modifying the basic configuration.

The 3240 Sports Arena Boulevard building features several physical characteristics which support a One-Part Commercial Block classification. These elements include its original commercial use; one-story form; and wall area between windows and cornice to provide advertising space. However, in its current appearance, the building fails to possess several other typical elements which would denote a true, intact and representative example of this style. For example, the building lacks ornate, decorative embellishments and a lack of large, picturesque elements. Consideration of a narrow street frontage appears not to have occurred from a conscious design preference, but rather from necessity, given the site location and its tight constraints. Further, the building is devoid of integrated, advertising signage despite abundant space.

For these reasons, the 3240 Sports Arena Boulevard building does not embody the distinctive characteristics of a style, type, period, or method of One-Part Commercial Block construction. In addition, due to the fact that no indigenous materials went into the construction of the building, it is not a valuable example of the use of indigenous materials or craftsmanship. The property does not qualify under HRB Criterion C (Architecture).

### Modern Contemporary Architecture

In addition to the One-Part Commercial Block architectural style analysis above, since the building possesses some elements of the Modern Contemporary style, it has also been examined herein under the City of San Diego, San Diego Modernism Historic Context Statement ("Modernism Context Statement").

In October 2007, the City of San Diego developed and implemented the Modernism Context Statement." The stated purpose of the Modernism Context Statement is to "assist in the identification, evaluation and preservation of significant historic buildings, districts, sites and structures associated with the Modernism movement in San Diego from 1935 to 1970" and was created to better understand "Modern era resources and the types of resources that are significant to the history and development of San Diego." The City of San Diego utilizes the Modernism Context Statement in conjunction with the evaluation of potential historical resources constructed within the Modern era from 1935-1970. An examination of the 3240 Sports Arena Boulevard building under the Modernism Context

Statement indicates that the structure does not embody the distinctive characteristics of a style, type, period, or method of Modern Contemporary construction to be eligible for designation under HRB Criterion C (Architecture). Further, the building is not considered to be a valuable example of the use of indigenous materials or craftsmanship.

# Modernism Context Statement—General Characteristics Of The Modern Contemporary Style

According to the Modernism Context Statement, Modern Contemporary style buildings were generally constructed between 1955-1965. They employed the latest styles and materials including such modern features as interior courtyards, aluminum framed windows, sliding-glass doors, and attached carports or garages (for homes). Some also included upgrades to basic model units, allowing a homeowner to customize their properties. In addition to residential construction, Modern Contemporary buildings also included commercial structures and streetscapes. These buildings display many of the same design features as Contemporary style homes, such as angular massing, varied materials use, and unusual roof forms.

The 3240 Sports Arena Boulevard building has only limited, general characteristics associated with the Modern Contemporary architectural style. As an initial matter, the structure was built in 1969, after the generally recognized "period of significance" for Modern Contemporary structures (i.e. 1955-1965). Further, the building lacks interior courtyards; sliding glass doors; varied use of exterior building materials (the exterior largely consists of stucco with a stone veneer accent); and an unusual roof form (the roof is flat). Based upon the foregoing, therefore, the structure does not possess an abundance of general characteristics indicative of Modern Contemporary construction as detailed in the Modernism Context Statement.

#### Modernism Context Statement—Primary-Character Defining Features

According to the Modernism Context Statement, there are three (3) "Primary" Character-Defining features of Modern Contemporary construction. The following Primary character-defining features noted in the Modernism Context Statement have been specifically applied to the Property, accordingly:

1. Strong roof forms, including flat, gabled, shed or butterfly, typically with deep overhangs.

The 3240 Sports Arena Boulevard building has a flat roof with no eave overhangs. This roof is not considered to be "strong." Therefore, the building does not possess this Primary Character-Defining feature of Modern Contemporary construction.

2. Large windows, often aluminum framed.

The 3240 Sports Arena Boulevard building contains several large, aluminum storefront windows. Therefore, the building possesses this Primary Character-Defining feature of the Modern Contemporary construction.

3. Non-traditional exterior finishes, including vertical wood siding, concrete block, stucco, flagstone and mullion-free glass.

The 3240 Sports Arena Boulevard building generally features a stucco exterior with some limited areas of stone veneer. No vertical wood siding, concrete block, flagstone, or mullion-free glass exists. Therefore, the building does not possess this Primary Character-Defining feature of Modern Contemporary construction.

Summary: Of the three Primary Character-Defining features of Modern Contemporary construction expressed in the Modernism Context Statement, the Property possesses one of these features--Large aluminum framed windows.

#### Modernism Context Statement—Secondary Character-Defining Features

According to the Modernism Context Statement, there are eight (8) "Secondary" Character-Defining features of Modern Contemporary construction. The following Secondary character-defining features noted in the Modernism Context Statement have been specifically applied to the Property, accordingly:

## 1. Angular massing.

The 3240 Sports Arena Boulevard building features one-story, angular massing. Therefore, the building possesses this Secondary Character-Defining feature of Modern Contemporary construction.

2. Sunshades, screens or shadow block accents.

The 3240 Sports Arena Boulevard building does not feature any sunshades, screens, or shadow block accents. Therefore, the building does not possess this Secondary Character-Defining feature of Modern Contemporary construction.

3. Attached garages or carports for homes.

As a commercial structure, this Secondary Character-Defining features of Modern Contemporary construction is inapplicable to the 3240 Sports Arena Boulevard building.

4. Split-level design, especially on sloped residential sites.

The 3240 Sports Arena Boulevard building does not feature a split-level design. The structure is one-story in height. Therefore, the building does not possess this Secondary Character-Defining feature of Modern Contemporary construction.

5. Horizontally oriented commercial buildings.

The 3240 Sports Arena Boulevard building is a commercial structure and is horizontally oriented. Therefore, the building possesses this Secondary Character-Defining feature of Modern Contemporary construction.

6. Distinctive triangular, parabolic or arched forms.

The 3240 Sports Arena Boulevard building does not feature any triangular, parabolic or arched forms. Therefore, the building does not possess this Secondary Character-Defining feature of Modern Contemporary construction.

7. "Eyebrow" overhangs on commercial buildings; and

The 3240 Sports Arena Boulevard building is a commercial structure, but it lacks an "eyebrow" overhang. Therefore, the building does not possess this Secondary Character-Defining feature of Modern Contemporary construction.

8. Integrated, stylized signage on commercial buildings.

The 3240 Sports Arena Boulevard building is a commercial structure, but it does not feature integrated, stylized signage. Therefore, the building does not possess this Secondary Character-Defining feature of Modern Contemporary construction.

Summary: Out of the seven applicable Primary Character-Defining features of Modern Contemporary construction expressed in the Modernism Context Statement, the Property possesses two of these features—Angular massing and a horizontal orientation.

## Modernism Context Statement—Evaluation Criteria

In evaluating the potential significance and eligibility for designation of Modern Contemporary buildings, the Modernism Context Statement notes the following:

• "While this style was relatively popular in San Diego tract construction, many of these homes and buildings have been extensively remodeled diminishing their level of integrity and reducing the abundance of good examples from this sub-style substantially."

The 3240 Sports Arena Boulevard building is located within the Midway community. This community contains an abundance of original, Modern Contemporary structures, some of which have been extensively remodeled and over the years. Nevertheless, the area still contains a number of intact examples of this style.

• "...Houses [buildings] may still poses [sic. possess] significance due to their association with a potential master architect."

Historical research indicates that the 3240 Sports Arena Boulevard building was designed by John S.M. Daniels. It is not known whether Daniels was, in fact, an architect, and no other examples of his work have been identified. In any event, Daniels has not been established by the City of San Diego as "master" architect, is not identified in the Modernism Context Statement as a "Contributing Designer Of Modern San Diego" and is not recognized for greatness in the field of architecture. In particular, the 3240 Sports Arena Boulevard building does not display any "notable" physical characteristics which would warrant recognition.

• "Good examples of this style that retain a high degree of integrity should therefore be considered for individual designation, especially if...associated with a significant architect. Due to the somewhat limited supply of unaltered examples, retention of all character defining features may not be necessary for listing, if comparative analysis demonstrates that the building retains a relatively high degree of integrity compared to other extant examples."

The 3240 Sports Arena Boulevard building possesses original integrity but is not associated with a significant architect to warrant designation as a "notable" architectural example. Further, it lacks the vast majority of character-defining features of the Modern Contemporary architectural style.

• "The Contemporary style was widely used on major streets and boulevards such as El Cajon Boulevard in North Park, Girard Avenue in La Jolla, Washington Street in Mission Hills, and Rosecrans Boulevard in Point Loma. Buildings in these areas exemplify the style with long horizontal massing, extensive use of glass windows to open the interior space as to the street, updated Moderne elements such as "eyebrow" overhangs, and minimal architectural details on the façade....Signage for Contemporary commercial buildings that is original to the structure should be considered as part of the resource."

The 3240 Sports Arena Boulevard building is a commercial structure which is located along Sports Arena Boulevard (a major street not typically associated with an abundance of Modern Contemporary commercial buildings).

In summary, the 3240 Sports Arena Boulevard building does not possess the General, Primary, or Secondary character-defining features of Modern Contemporary construction to be considered a true, representative example which is significant under the Modernism Context Statement. The building does not meet the potential significance and eligibility criteria for designation under the Modernism Context Statement. As such, the structure does not embody the distinctive characteristics of a style, type, period, or method of Modern Contemporary construction. The building is not architecturally significant. In addition, due to the fact that no indigenous materials went into the construction of the building means that it is not a valuable example of the use of indigenous materials or craftsmanship. The property does not qualify under HRB Criterion C (Architecture).

#### 3250 Sports Arena Boulevard

Historical research indicates that the 3250 Sports Arena Boulevard building was originally constructed as a one and two-story Modern Contemporary style commercial structure in 1967. The building was originally one and two-stories in height, with a flat roof with slender vertical wood fascia panels, and vertical wood exterior siding. Over the course of its existence, however, the structure was subject to first and second story additions in 1969, 1970, 1972, 1975, 1977, and 1989. These changes compromised the original integrity of the building to the extent that the structure today no longer resembles its original design/construction. An examination of the 3250 Sports Arena Boulevard building under the Modernism Context Statement indicates that the structure does not embody the distinctive characteristics of a style, type, period, or method of Modern Contemporary construction to be eligible for designation under HRB Criterion C (Architecture). Further, the building is not considered to be a valuable example of the use of indigenous materials or craftsmanship.

In October 2007, the City of San Diego developed and implemented the Modernism Context Statement." The stated purpose of the Modernism Context Statement is to "assist in the identification, evaluation and preservation of significant historic buildings, districts, sites and structures associated with the Modernism movement in San Diego from 1935 to 1970" and was created to better understand "Modern era resources and the types of resources that are significant to the history and development of San Diego." The City of San Diego utilizes the Modernism Context Statement in conjunction with the evaluation of potential historical resources constructed within the Modern era from 1935-1970.

## <u>Modernism Context Statement—General Characteristics Of The Modern Contemporary</u> Style

According to the Modernism Context Statement, Modern Contemporary style buildings were generally constructed between 1955-1965. They employed the latest styles and materials including such modern features as interior courtyards, aluminum framed windows, sliding-glass doors, and attached carports or garages (for homes). Some also included upgrades to basic model units, allowing a homeowner to customize their properties. In addition to residential construction, Modern Contemporary buildings also included commercial structures and streetscapes. These buildings display many of the same design features as Contemporary style homes, such as angular massing, varied materials use, and unusual roof forms.

The 3250 Sports Arena Boulevard building lacks all original general characteristics associated with the Modern Contemporary architectural style. Built in 1967, after the generally recognized "period of significance" for Modern Contemporary structures (i.e. 1955-1965), the structure lacks any and all original elements of the style, including angular massing, an unusual roof form; interior courtyards; sliding glass doors; and a varied use of exterior building materials. Based upon the foregoing, therefore, the structure does not possess the general characteristics indicative of Modern Contemporary construction as detailed in the Modernism Context Statement.

## Modernism Context Statement—Primary-Character Defining Features

According to the Modernism Context Statement, there are three (3) "Primary" Character-Defining features of Modern Contemporary construction. The following Primary character-defining features noted in the Modernism Context Statement have been specifically applied to the Property, accordingly:

1. Strong roof forms, including flat, gabled, shed or butterfly, typically with deep overhangs.

The 3250 Sports Arena Boulevard building does not have an original, strong roof form with deep eave overhangs. Therefore, the building does not possess this Primary Character-Defining feature of Modern Contemporary construction.

2. Large windows, often aluminum framed.

The 3250 Sports Arena Boulevard building does not have original, large aluminum windows. Therefore, the building does not possess this Primary Character-Defining feature of the Modern Contemporary construction.

3. Non-traditional exterior finishes, including vertical wood siding, concrete block, stucco, flagstone and mullion-free glass.

The 3250 Sports Arena Boulevard building does not have original, non-traditional exterior finishes. Therefore, the building does not possess this Primary Character-Defining feature of Modern Contemporary construction.

Summary: Of the three Primary Character-Defining features of Modern Contemporary construction expressed in the Modernism Context Statement, the Property possesses none of these features.

#### Modernism Context Statement—Secondary Character-Defining Features

According to the Modernism Context Statement, there are eight (8) "Secondary" Character-Defining features of Modern Contemporary construction. The following Secondary character-defining features noted in the Modernism Context Statement have been specifically applied to the Property, accordingly:

#### 1. Angular massing.

The 3250 Sports Arena Boulevard building does not feature original, angular massing. Therefore, the building does not possess this Secondary Character-Defining feature of Modern Contemporary construction.

2. Sunshades, screens or shadow block accents.

The 3250 Sports Arena Boulevard building does not feature any original sunshades, screens, or shadow block accents. Therefore, the building does not possess this Secondary Character-Defining feature of Modern Contemporary construction.

3. Attached garages or carports for homes.

As a commercial structure, this Secondary Character-Defining features of Modern Contemporary construction is inapplicable to the 3250 Sports Arena Boulevard building.

4. Split-level design, especially on sloped residential sites.

The 3250 Sports Arena Boulevard building does not feature an original split-level design. Therefore, the building does not possess this Secondary Character-Defining feature of Modern Contemporary construction.

5. Horizontally oriented commercial buildings.

The 3250 Sports Arena Boulevard building is a commercial structure but does not feature an original, horizontal orientation. Therefore, the building does not possess this Secondary Character-Defining feature of Modern Contemporary construction.

6. Distinctive triangular, parabolic or arched forms.

The 3250 Sports Arena Boulevard building does not feature original, distinctive triangular, parabolic or arched forms. Therefore, the building does not possess this Secondary Character-Defining feature of Modern Contemporary construction.

7. "Eyebrow" overhangs on commercial buildings; and

The 3250 Sports Arena Boulevard building is a commercial structure, but it lacks original, "eyebrow" overhangs. Therefore, the building does not possess this Secondary Character-Defining feature of Modern Contemporary construction.

8. Integrated, stylized signage on commercial buildings.

The 3250 Sports Arena Boulevard building is a commercial structure, but it does not feature original, integrated and stylized signage. Therefore, the building does not possess this Secondary Character-Defining feature of Modern Contemporary construction.

Summary: Out of the seven applicable Primary Character-Defining features of Modern Contemporary construction expressed in the Modernism Context Statement, the Property does not possess any of these features.

#### Modernism Context Statement—Evaluation Criteria

In evaluating the potential significance and eligibility for designation of Modern Contemporary buildings, the Modernism Context Statement notes the following:

• "While this style was relatively popular in San Diego tract construction, many of these homes and buildings have been extensively remodeled diminishing their level of integrity and reducing the abundance of good examples from this sub-style substantially."

The 3250 Sports Arena Boulevard building is located within the Midway community. This community contains an abundance of original, Modern Contemporary structures, some of which have been extensively remodeled and over the years. Nevertheless, the area still contains a number of intact examples of this style.

•"...Houses [buildings] may still poses [sic. possess] significance due to their association with a potential master architect."

Historical research indicates that the 3250 Sports Arena Boulevard building was designed by the architectural firm of Weber & Edwards. This firm was composed of architects James Weber and Robert Edwards. Neither Weber or Edwards have been established by the City of San Diego as "master" architects, are not identified in the Modernism Context Statement as "Contributing Designers Of Modern San Diego," and are not recognized for greatness in the field of architecture. In particular, the 3250 Sports Arena Boulevard building does not display any "notable" physical characteristics, original or otherwise, which would warrant recognition.

• "Good examples of this style that retain a high degree of integrity should therefore be considered for individual designation, especially if... associated with a significant architect. Due to the somewhat limited supply of unaltered examples, retention of all character defining features may not be necessary for listing, if comparative analysis demonstrates that the building retains a relatively high degree of integrity compared to other extant examples."

The 3250 Sports Arena Boulevard building does not possess original integrity and is not associated with significant architects to warrant designation as a "notable" architectural example. Further, it lacks all character-defining features of the Modern Contemporary architectural style.

• "The Contemporary style was widely used on major streets and boulevards such as El Cajon Boulevard in North Park, Girard Avenue in La Jolla, Washington Street in Mission Hills, and Rosecrans Boulevard in Point Loma. Buildings in these areas exemplify the style with long horizontal massing, extensive use of glass windows to open the interior space as to the street, updated Moderne elements such as "eyebrow" overhangs, and minimal architectural details on the façade....Signage for Contemporary commercial buildings that is original to the structure should be considered as part of the resource."

The 3250 Sports Arena Boulevard building is a commercial structure which is located along Sports Arena Boulevard (a major street not typically associated with an abundance of Modern Contemporary commercial buildings).

In summary, the 3250 Sports Arena Boulevard building does not possess original General, Primary, or Secondary character-defining features of Modern Contemporary construction to be considered a true, representative example which is significant under the Modernism Context Statement. The building does not meet the potential significance and eligibility criteria for designation under the Modernism Context Statement. As such, the structure does not embody the distinctive characteristics of a style, type, period, or method of Modern Contemporary construction. The building is not architecturally significant. In addition, due to the fact that no indigenous materials went into the construction of the building means that it is not a valuable example of the use of indigenous materials or craftsmanship. The property does not qualify under HRB Criterion C (Architecture).

## 3350 Sports Arena Boulevard

The 3350 Sports Arena Boulevard building was constructed in 1978 in a Modern Contemporary architectural style. In October 2007, the City of San Diego developed and implemented the Modernism Context Statement." The stated purpose of the Modernism Context Statement is to "assist in the identification, evaluation and preservation of significant historic buildings, districts, sites and structures associated with the Modernism movement in San Diego from 1935 to 1970" and was created to better understand "Modern era resources and the types of resources that are significant to the history and development of San Diego." The City of San Diego utilizes the Modernism Context Statement in conjunction with the evaluation of potential historical resources constructed within the Modern era from 1935-1970.

An examination of the 3350 Sports Arena Boulevard building under the Modernism Context Statement indicates that the structure does not embody the distinctive characteristics of a style, type, period, or method of Modern Contemporary construction to be eligible for designation under HRB Criterion C (Architecture). Further, the building is not considered to be a valuable example of the use of indigenous materials or craftsmanship.

# <u>Modernism Context Statement—General Characteristics Of The Modern Contemporary Style</u>

According to the Modernism Context Statement, Modern Contemporary style buildings were generally constructed between 1955-1965. They employed the latest styles and materials including such modern features as interior courtyards, aluminum framed windows, sliding-glass doors, and attached carports or garages (for homes). Some also included upgrades to basic model units, allowing a homeowner to customize their properties. In addition to residential construction, Modern Contemporary buildings also included commercial structures and streetscapes. These buildings display many of the same design features as Contemporary style homes, such as angular massing, varied materials use, and unusual roof forms.

The 3350 Sports Arena Boulevard building has only limited, general characteristics associated with the Modern Contemporary architectural style. As an initial matter, the structure was built in 1978, well after the generally recognized "period of significance" for Modern Contemporary structures (i.e. 1955-1965). Further, the building lacks interior courtyards; sliding glass doors; varied use of exterior building materials (the exterior largely consists of masonry/concrete block with some wood panels); and an unusual roof form (the roof is flat). Based upon the foregoing, therefore, the structure does not possess an abundance of general characteristics indicative of Modern Contemporary construction as detailed in the Modernism Context Statement.

## Modernism Context Statement—Primary-Character Defining Features

According to the Modernism Context Statement, there are three (3) "Primary" Character-Defining features of Modern Contemporary construction. The following Primary character-defining features noted in the Modernism Context Statement have been specifically applied to the Property, accordingly:

1. Strong roof forms, including flat, gabled, shed or butterfly, typically with deep overhangs.

The 3350 Sports Arena Boulevard building has a flat roof with no eave overhangs. This roof is not considered to be "strong." Therefore, the building does not possess this Primary Character-Defining feature of Modern Contemporary construction.

2. Large windows, often aluminum framed.

The 3350 Sports Arena Boulevard building contains several large storefront windows. However, they appear to be metal and not aluminum. Therefore, the building does not possess this Primary Character-Defining feature of the Modern Contemporary construction.

3. Non-traditional exterior finishes, including vertical wood siding, concrete block, stucco, flagstone and mullion-free glass.

The 3350 Sports Arena Boulevard building features a masonry/concrete block exterior with some wood panels. No vertical wood siding, stucco, flagstone, or mullion-free glass exists. Therefore, the building does not possess this Primary Character-Defining feature of Modern Contemporary construction.

Summary: Of the three Primary Character-Defining features of Modern Contemporary construction expressed in the Modernism Context Statement, the Property possesses none of these features.

## Modernism Context Statement—Secondary Character-Defining Features

According to the Modernism Context Statement, there are eight (8) "Secondary" Character-Defining features of Modern Contemporary construction. The following Secondary character-defining features noted in the Modernism Context Statement have been specifically applied to the Property, accordingly:

## 1. Angular massing.

The 3350 Sports Arena Boulevard building features one-story, angular massing. Therefore, the building possesses this Secondary Character-Defining feature of Modern Contemporary construction.

2. Sunshades, screens or shadow block accents.

The 3350 Sports Arena Boulevard building does not feature any sunshades, screens, or shadow block accents. Therefore, the building does not possess this Secondary Character-Defining feature of Modern Contemporary construction.

3. Attached garages or carports for homes.

As a commercial structure, this Secondary Character-Defining features of Modern Contemporary construction is inapplicable to the 3350 Sports Arena Boulevard building.

4. Split-level design, especially on sloped residential sites.

The 3350 Sports Arena Boulevard building does not feature a split-level design. The structure is one-story in height. Therefore, the building does not possess this Secondary Character-Defining feature of Modern Contemporary construction.

5. Horizontally oriented commercial buildings.

The 3350 Sports Arena Boulevard building is a commercial structure and is horizontally oriented. Therefore, the building possesses this Secondary Character-Defining feature of Modern Contemporary construction.

6. Distinctive triangular, parabolic or arched forms.

The 3350 Sports Arena Boulevard building does not feature any triangular, parabolic or arched forms. Therefore, the building does not possess this Secondary Character-Defining feature of Modern Contemporary construction.

7. "Eyebrow" overhangs on commercial buildings; and

The 3350 Sports Arena Boulevard building is a commercial structure, but it lacks "eyebrow" overhangs. Therefore, the building does not possess this Secondary Character-Defining feature of Modern Contemporary construction.

8. Integrated, stylized signage on commercial buildings.

The 3350 Sports Arena Boulevard building is a commercial structure, but it does not feature integrated, stylized signage. Therefore, the building does not possess this Secondary Character-Defining feature of Modern Contemporary construction.

Summary: Out of the seven applicable Primary Character-Defining features of Modern Contemporary construction expressed in the Modernism Context Statement, the Property possesses two of these features—Angular massing and a horizontal orientation.

#### Modernism Context Statement—Evaluation Criteria

In evaluating the potential significance and eligibility for designation of Modern Contemporary buildings, the Modernism Context Statement notes the following:

• "While this style was relatively popular in San Diego tract construction, many of these homes and buildings have been extensively remodeled diminishing their level of integrity and reducing the abundance of good examples from this sub-style substantially."

The 3350 Sports Arena Boulevard building is located within the Midway community. This community contains an abundance of original, Modern Contemporary structures, some of which have been extensively remodeled and over the years. Nevertheless, the area still contains a number of intact examples of this style.

•"...Houses [buildings] may still poses [sic. possess] significance due to their association with a potential master architect."

Historical research indicates that the 3350 Sports Arena Boulevard building was designed by architect Roy Johnson of La Mesa, California. Aside from the 3350 Sports Arena Boulevard building, no other examples of Johnson's work have been identified. In any event, Johnson has not been established by the City of San Diego as "master" architect, is not identified in the Modernism Context Statement as a "Contributing Designer Of Modern San Diego" and is not recognized for greatness in the field of architecture. In particular, the 3350 Sports Arena Boulevard building does not display any "notable" physical characteristics which would warrant recognition.

• "Good examples of this style that retain a high degree of integrity should therefore be considered for individual designation, especially if... associated with a significant architect. Due to the somewhat limited supply of unaltered examples, retention of all character defining features may not be necessary for listing, if comparative analysis demonstrates that the building retains a relatively high degree of integrity compared to other extant examples."

The 3350 Sports Arena Boulevard building possesses original integrity but is not associated with a significant architect(s) to warrant designation as a "notable" architectural example. Further, it lacks the vast majority of character-defining features of the Modern Contemporary architectural style.

• "The Contemporary style was widely used on major streets and boulevards such as El Cajon Boulevard in North Park, Girard Avenue in La Jolla, Washington Street in Mission Hills, and Rosecrans Boulevard in Point Loma. Buildings in these areas exemplify the style with long horizontal massing, extensive use of glass windows to open the interior space as to the street, updated Moderne elements such as "eyebrow" overhangs, and minimal architectural details on the façade....Signage for Contemporary commercial buildings that is original to the structure should be considered as part of the resource."

The 3350 Sports Arena Boulevard building is a commercial structure which is located along Sports Arena Boulevard (a major street not typically associated with an abundance of Modern Contemporary commercial buildings).

In summary, the 3350 Sports Arena Boulevard building does not possess the General, Primary, or Secondary character-defining features of Modern Contemporary construction to be considered a true, representative example which is significant under the Modernism Context Statement. The building does not meet the potential significance and eligibility criteria for designation under the Modernism Context Statement. As such, the structure does not embody the distinctive characteristics of a style, type, period, or method of Modern Contemporary construction. The building is not architecturally significant. In addition, due to the fact that no indigenous materials went into the construction of the building means that it is not a valuable example of the use of indigenous materials or craftsmanship. The property does not qualify under HRB Criterion C (Architecture).

<u>Criterion D</u>--Is representative of the notable work of a master builder, designer, architect, engineer, landscape architect, interior designer, artist, or craftsman.

According to the HRB Designation Guidelines, a "Master" is defined as "a figure of generally recognized greatness in a field." A property is not eligible under Criterion D simply because it was designed by a prominent architect, builder, etc., but rather must be the work of a master. Additionally, not all examples of a Master's work are eligible. Criterion D requires the resource to be representative of the notable work of the Master.

The identities of the individuals or entities responsible for the original design/construction and/or the additions made to the 3220, 3240, 3250 and 3350 Sports Arena Boulevard buildings include A.L. Wildey, T. Ota, John S.M. Daniels, Melhorn Construction Company, Weber & Edwards, S/W Associates, Architects, Robert K. Burkett, George J. Fletcher, Don Coorot, Roy Johnson, Don Koll Company, Inc., McKee Construction Company, Dixieline Lumber Company, and G.L. Frieh Construction Company. None of these individuals or firms have been established as "masters," and the Properties does not possess any physical elements or characteristics which can be considered "notable." As a result, the Properties do not qualify under HRB Criterion D (Work of a Master).

<u>Criterion E</u>--Is listed on or has been determined eligible by the National Park Service for listing on the National Register of Historic Places or is listed or has been determined eligible by the State Historical Preservation Office for listing on the State Register of Historical Resources.

The 3220, 3240, 3250 and 3350 Sports Arena Boulevard buildings are not listed on either the National Register or California Register of Historical Resources. The buildings have not been determined to be eligible for listing on either register by the National Park Service or the State Historic Preservation Office. The Properties do not qualify under HRB Criterion E (National or California Register Eligible).

<u>Criterion F</u>--Is a finite group of resources related to one another in a clearly distinguishable way or is a geographically definable area or neighborhood containing improvements which have a special character, historical interest or aesthetic value or which represent one or more architectural periods or styles in the history and development of the City.

No historic district exists for the Midway community. In addition, the 3220, 3240, 3250 and 3350 Sports Arena Boulevard buildings have never been deemed to be contributors to any proposed historic district(s). The structures are not a finite group of resources related together in a clearly distinguishable way, nor are they related together in a geographically definable area or neighborhood containing improvements which have a special character, historical interest or aesthetic value, nor do they represent one or more architectural periods or styles in the history and development of San Diego. The Properties do not qualify under HRB Criterion F (Historic District).

## Application of National Register Criteria

When evaluated within its historic context, a property must be shown to be significant for one or more of the four Criteria for Evaluation—A, B, C, or D. The National Register Criteria describes how properties are significant for their association with important events or persons, for their importance in design or construction, or for their information potential. In addition, a property must not only be shown to be significant under the National Register criteria, but it also must have integrity. The seven aspects of integrity include: location, design, setting, materials, workmanship, feeling, and association.

#### Criterion A: Event

To be considered for listing under Criterion A, a property must be associated with one or more events important in the defined historic context. The event or trends must clearly be important within the associated context. Mere association with historic events or trends is not enough, in and of itself, to qualify under Criterion A: the property's specific association must be considered important as well.

The 3220, 3240, 3250 and 3350 Sports Arena Boulevard buildings do not qualify under National Register Criterion A: Event at either the local, state, or national levels. Historical

research failed to identify any important events associated with the buildings over the course of their existence.

#### Criterion B: Person

Criterion B applies to properties associated with individuals whose specific contributions to history can be identified and documented. Persons "significant in our past" refers to individuals whose activities are demonstrably important within a local, State, or national historic context. The criterion is generally restricted to those properties that illustrate (rather than commemorate) a person's important achievements. The persons associated with a property must be individually significant within a historic context. Significant individuals must be directly associated with the nominated property. Properties eligible under Criterion B are usually those associated with a person's productive life, reflecting the time period when he or she achieved significance. Speculative associations are not acceptable. Documentation must make clear how the nominated property represents an individual's significant contributions. A property must retain integrity from the period of its significant historic associations. Architects are often represented by their works, which are eligible under Criterion C.

The 3220, 3240, 3250 and 3350 Sports Arena Boulevard buildings do not qualify under National Register Criterion B: Person at either the local, state, or national levels. No historical evidence was found which would suggest that the Properties were ever associated with any persons or events significant in local, state, or national history. None of the persons or entities identified with the Properties performed any activities, achievements or contributions which were demonstrably important within the City, state, or nation.

#### Criterion C: Design/Construction

Properties may be eligible under Criterion C if they embody the distinctive characteristics of a type, period, or method of construction, or that represent the work of a master, or that possess high artistic values, or that represent a significant and distinguishable entity whose components may lack individual distinction. Properties which embody the distinctive characteristics of a type, period, or method of construction refer to the way in which a property was conceived, designed, or fabricated by a people or culture in past periods of history. Distinctive characteristics are the physical features or traits that commonly recur in individual types, periods, or methods of construction. To be eligible, a property must clearly contain enough of those characteristics to be considered a true representative of a particular type, period, or method of construction.

A master is a figure of generally recognized greatness in a field, a known craftsman of consummate skill, or an anonymous craftsman whose work is distinguishable from others by its characteristic style and quality. The property must express a particular phase in the development of the master's career, an aspect of his or her work, or a particular theme in his or her craft.

## Embodying The Distinctive Characteristics Of A Type, Period & Method Of Construction

The 3220, 3240, 3250 and 3350 Sports Arena Boulevard buildings do not qualify under National Register Criterion C: Design/Construction at either the local, state, or national levels.

#### 3220 Sports Arena Boulevard

The 3220 Sports Arena Boulevard building was originally constructed as a One-Part Commercial Block structure with Modern Contemporary style elements in 1968. In its current appearance, the building is not considered to be a representative example of the One-Part Commercial Block architectural style. In this regard, the structure does not embody the distinctive characteristics of a type, period, or method of One-Part Commercial Block construction.

#### One-Part Commercial Block Architecture

One-Part Commercial Block architecture is an accepted architectural style (Longstreth 1987). The development of distinctive architectural forms for commercial purposes is a recent phenomenon. Buildings accommodating the transaction of business have existed since antiquity, yet examples with physical traits different from those serving other functions were long the exception. The growth of commercial architecture was nowhere more intense and rich in its manifestations than in the United States. America's rise as a major economic power was closely related to the settlement of its territory and the enormous growth of its population. As private enterprise was the principal generator of the nation's development, commercial architecture played a central role in defining the character of its settlements.

According to historian Richard Longstreth, the identification system of commercial architecture is based upon the ways in which a façade is composed. No matter how intricate their details, façade compositions can be reduced to a simple diagram or pattern that reveals the major divisions or elements used. When these patterns appear frequently enough, they can be labeled as types. Collectively, Longstreth has identified 11 types of commercial architecture which were erected before the mid-20<sup>th</sup> century. Each type has characteristics that are easily recognizable. At the same time, these characteristics may encompass numerous variations in size, scale, expression, and decorative motifs.

Commercial architectural types fall into two basic categories. With six types (two-part commercial block, stacked vertical block, two-part vertical block, three-part vertical block, enframed block, and central block with wings), the primary identifying characteristics are the ways in which the façade is divided into distinct sections or zones. Materials, elements (such as doors, windows, cornices, and porticos), decorative details and stylistic expression are secondary characteristics that may relate to, but are at the same time separate from, the basic compositional arrangement. These secondary characteristics may be valuable in describing the special qualities of one building or a group of buildings, but they do not define the underlying common features of the type. Four other types (the enframed window

wall, temple front, vault, and arcaded block) have not basic zone divisions. The primary characteristics of this group derive from the arrangement of a few major features such as columns, large openings, and enframing wall surfaces. The configuration of minor elements, materials employed, decorative details, and stylistic expression remain secondary characteristics. Finally, the last type, the one-part commercial block, possesses neither basic zone divisions nor a distinguishing set of major elements. It can instead be seen as a fragment (the lower section of a two-part commercial block).

The One-Part Commercial Block was a popular commercial architectural style across the United States from the 1850s through the 1940s. It has only a single story, which is treated in much the same variety of ways as the lower zone of the two-part commercial block. Essentially, it is a fragment of the larger type and should not be confused with the one-story shop, freestanding and capped by a pitched roof, which could be found in settlements during the 18<sup>th</sup> and 19<sup>th</sup> centuries. Rather than appearing somewhat like a small house or service facility on a sizable farm or plantation, the One-Part Commercial Block is a simple box with a decorated façade and thoroughly urban in its overtones.

The One-Part Commercial Block type appears to have been developed during the mid-19<sup>th</sup> century and soon became a common feature in towns and cities. It proliferated because of the rapid growth of Victorian communities, large and small, and the hopes speculators held for continued expansion. By catering to the swelling demand for services, these buildings could generate income, yet they represented a comparatively small investment. Often their most important purpose was defraying the costs of land that was likely to increase in value and thus at some future time support a larger, more profitable building. In this sense, the One-Part Commercial Block represented a claim staked on urban ground. Often, these ventures met with success, if not always as soon as anticipated. Examples constructed in cities before 1900 are now rare, although they still abound in places where the pressures for development have not been as intense.

Most One-Part Commercial Blocks constructed during the 19th century were used as retail stores. In many cases, the street frontage is narrow, and the façade comprises little more than plate glass windows and an entry surmounted by a cornice or parapet. A sizable wall area often exists between the windows and cornice to provide a place for advertising and make the façade appear larger and more urban than would otherwise be the case. Some retail stores dating from the early 20<sup>th</sup> century differ little from their Victorian predecessors, except for a greater uninterrupted expanse of plate glass across the front. In cities, the One-Part Commercial Block continued to be popular for modest buildings in neighborhoods. Grouped units are a ubiquitous feature along what once were streetcar lines, where commercial development often grew to be quite extensive. While composed in an orderly manner, most examples from this period have few, if any, historical references. Particularly with retail stores, the configuration permits little embellishment except near the roofline. At a time when simple design was ever more held as a virtue, ornate buildings that were small and provided no more than basic services would have been considered pretentious. Furthermore, investors showed an understandable reluctance to add costly decoration to buildings that might be replaced.

By the 1920s, however, efforts emerged to make the One-Part Commercial Block in suburban areas more ornamental and visually harmonious with its domestic surroundings. The abundance of automobiles and corresponding traffic congestion also fostered the concept that low-density commercial development was preferable, at least in enclaves of the well-to-do. Some of the resulting changes are minor, such as the use of a few decorative embellishments. In other instances, the shift in character may be quite pronounced, with large, picturesque elements modifying the basic configuration.

The 3220 Sports Arena Boulevard building features several physical characteristics which support a One-Part Commercial Block classification. These elements include its original commercial use; one-story form; and wall area between windows and cornice to provide advertising space. However, in its current appearance, the building fails to possess several other typical elements which would denote a true, intact and representative example of this style. For example, the building lacks ornate, decorative embellishments and a lack of large, picturesque elements. Further, the existing wall area along the south elevation to allow for signage, as well as stucco/scoring, cornice, concrete pilasters, entry area, and storefront glass, are not original. Consideration of a narrow street frontage appears not to have occurred from a conscious design preference, but rather from necessity, given the site location and its tight constraints. Finally, the building is devoid of integrated, original advertising signage.

For these reasons, the 3220 Sports Arena Boulevard building does not embody the distinctive characteristics of a type, period, or method of One-Part Commercial Block construction.

#### Modern Contemporary Architecture

In addition to the One-Part Commercial Block architectural style analysis above, since the building possesses some elements of the Modern Contemporary style, it has also been examined herein under the City of San Diego, San Diego Modernism Historic Context Statement ("Modernism Context Statement").

In October 2007, the City of San Diego developed and implemented the Modernism Context Statement." The stated purpose of the Modernism Context Statement is to "assist in the identification, evaluation and preservation of significant historic buildings, districts, sites and structures associated with the Modernism movement in San Diego from 1935 to 1970" and was created to better understand "Modern era resources and the types of resources that are significant to the history and development of San Diego." The City of San Diego utilizes the Modernism Context Statement in conjunction with the evaluation of potential historical resources constructed within the Modern era from 1935-1970. An examination of the 3220 Sports Arena Boulevard building under the Modernism Context Statement indicates that the structure does not embody the distinctive characteristics of a type, period, or method of Modern Contemporary construction.

## <u>Modernism Context Statement—General Characteristics Of The Modern Contemporary Style</u>

According to the Modernism Context Statement, Modern Contemporary style buildings were generally constructed between 1955-1965. They employed the latest styles and materials including such modern features as interior courtyards, aluminum framed windows, sliding-glass doors, and attached carports or garages (for homes). Some also included upgrades to basic model units, allowing a homeowner to customize their properties. In addition to residential construction, Modern Contemporary buildings also included commercial structures and streetscapes. These buildings display many of the same design features as Contemporary style homes, such as angular massing, varied materials use, and unusual roof forms.

The 3220 Sports Arena Boulevard building possesses no original, general characteristics associated with the Modern Contemporary architectural style. As an initial matter, the structure was built in 1968, after the generally recognized "period of significance" for Modern Contemporary structures (i.e. 1955-1965). Further, the building lacks interior courtyards; sliding glass doors; varied use of exterior building materials (the exterior largely consists of stucco); and an unusual roof form (the roof is flat). Based upon the foregoing, therefore, the structure does not possess general characteristics indicative of Modern Contemporary construction as detailed in the Modernism Context Statement.

## Modernism Context Statement—Primary-Character Defining Features

According to the Modernism Context Statement, there are three (3) "Primary" Character-Defining features of Modern Contemporary construction. The following Primary character-defining features noted in the Modernism Context Statement have been specifically applied to the Property, accordingly:

1. Strong roof forms, including flat, gabled, shed or butterfly, typically with deep overhangs.

The 3220 Sports Arena Boulevard building has a flat roof with no eave overhangs. This roof is not considered to be "strong." Therefore, the building does not possess this Primary Character-Defining feature of Modern Contemporary construction.

2. Large windows, often aluminum framed.

The 3220 Sports Arena Boulevard building contains several large, aluminum storefront windows. However, these windows are not original. Therefore, the building does not possess this Primary Character-Defining feature of the Modern Contemporary construction.

3. Non-traditional exterior finishes, including vertical wood siding, concrete block, stucco, flagstone and mullion-free glass.

The 3220 Sports Arena Boulevard building generally features a stucco exterior, concrete block pilasters, and vertical wood siding located above the main entry along the south elevation. However, these elements are not original. Further, no flagstone or mullion-free glass exists. Therefore, the building does not possess this Primary Character-Defining feature of Modern Contemporary construction.

Summary: Of the three Primary Character-Defining features of Modern Contemporary construction expressed in the Modernism Context Statement, the Property does not possess any of them.

## Modernism Context Statement—Secondary Character-Defining Features

According to the Modernism Context Statement, there are eight (8) "Secondary" Character-Defining features of Modern Contemporary construction. The following Secondary character-defining features noted in the Modernism Context Statement have been specifically applied to the Property, accordingly:

#### 1. Angular massing.

The 3220 Sports Arena Boulevard building features one-story, angular massing. Therefore, the building possesses this Secondary Character-Defining feature of Modern Contemporary construction.

2. Sunshades, screens or shadow block accents.

The 3220 Sports Arena Boulevard building does not feature any sunshades, screens, or shadow block accents. Therefore, the building does not possess this Secondary Character-Defining feature of Modern Contemporary construction.

3. Attached garages or carports for homes.

As a commercial structure, this Secondary Character-Defining features of Modern Contemporary construction is inapplicable to the 3220 Sports Arena Boulevard building.

4. Split-level design, especially on sloped residential sites.

The 3220 Sports Arena Boulevard building does not feature a split-level design. The structure is one-story in height. Therefore, the building does not possess this Secondary Character-Defining feature of Modern Contemporary construction.

5. Horizontally oriented commercial buildings.

The 3220 Sports Arena Boulevard building is a commercial structure and is horizontally oriented. Therefore, the building possesses this Secondary Character-Defining feature of Modern Contemporary construction.

6. Distinctive triangular, parabolic or arched forms.

The 3220 Sports Arena Boulevard building does not feature any triangular, parabolic or arched forms. Therefore, the building does not possess this Secondary Character-Defining feature of Modern Contemporary construction.

7. "Eyebrow" overhangs on commercial buildings; and

The 3220 Sports Arena Boulevard building is a commercial structure, but it lacks an "eyebrow" overhang. Therefore, the building does not possess this Secondary Character-Defining feature of Modern Contemporary construction.

8. Integrated, stylized signage on commercial buildings.

The 3220 Sports Arena Boulevard building is a commercial structure, but it does not feature integrated, stylized signage. Therefore, the building does not possess this Secondary Character-Defining feature of Modern Contemporary construction.

Summary: Out of the seven applicable Primary Character-Defining features of Modern Contemporary construction expressed in the Modernism Context Statement, the Property possesses two of these features—Angular massing and a horizontal orientation.

#### Modernism Context Statement—Evaluation Criteria

In evaluating the potential significance and eligibility for designation of Modern Contemporary buildings, the Modernism Context Statement notes the following:

• "While this style was relatively popular in San Diego tract construction, many of these homes and buildings have been extensively remodeled diminishing their level of integrity and reducing the abundance of good examples from this sub-style substantially."

The 3220 Sports Arena Boulevard building is located within the Midway community. This community contains an abundance of original, Modern Contemporary structures, some of which have been extensively remodeled and over the years. Nevertheless, the area still contains a number of intact examples of this style.

•"...Houses [buildings] may still poses [sic. possess] significance due to their association with a potential master architect."

Historical research indicates that the 3220 Sports Arena Boulevard building was designed by A.L. Wildey and T. Ota from Newport Beach, California. It is not known whether these individuals were architects and no other examples of their work have been identified. In any event, Wildey and Ota have not been established by the City of San Diego as "master" architects, are not identified in the Modernism Context Statement as a "Contributing Designers Of Modern San Diego" and are not recognized for greatness in the field of

architecture. In particular, the 3220 Sports Arena Boulevard building does not display any "notable" physical characteristics which would warrant recognition.

• "Good examples of this style that retain a high degree of integrity should therefore be considered for individual designation, especially if... associated with a significant architect. Due to the somewhat limited supply of unaltered examples, retention of all character defining features may not be necessary for listing, if comparative analysis demonstrates that the building retains a relatively high degree of integrity compared to other extant examples."

The 3220 Sports Arena Boulevard building does not possess original integrity and is not associated with a significant architect(s) to warrant designation as a "notable" architectural example. Further, it lacks the vast majority of character-defining features of the Modern Contemporary architectural style.

• "The Contemporary style was widely used on major streets and boulevards such as El Cajon Boulevard in North Park, Girard Avenue in La Jolla, Washington Street in Mission Hills, and Rosecrans Boulevard in Point Loma. Buildings in these areas exemplify the style with long horizontal massing, extensive use of glass windows to open the interior space as to the street, updated Moderne elements such as "eyebrow" overhangs, and minimal architectural details on the façade....Signage for Contemporary commercial buildings that is original to the structure should be considered as part of the resource."

The 3220 Sports Arena Boulevard building is a commercial structure which is located along Sports Arena Boulevard (a major street not typically associated with an abundance of Modern Contemporary commercial buildings).

In summary, the 3220 Sports Arena Boulevard building does not possess the General, Primary, or Secondary character-defining features of Modern Contemporary construction to be considered a true, representative example which is significant under the Modernism Context Statement. The building does not meet the potential significance and eligibility criteria for designation under the Modernism Context Statement. As such, the structure does not embody the distinctive characteristics of a type, period, or method of Modern Contemporary construction. The building is not architecturally significant.

## 3240 Sports Arena Boulevard

The 3240 Sports Arena Boulevard building was constructed as a One-Part Commercial Block structure with Modern Contemporary style elements in 1969. In its current appearance, the building is not considered to be a representative example of the One-Part Commercial Block architectural style. In this regard, the structure does not embody the distinctive characteristics of a type, period, or method of One-Part Commercial Block construction.

#### One-Part Commercial Block Architecture

One-Part Commercial Block architecture is an accepted architectural style (Longstreth 1987). The development of distinctive architectural forms for commercial purposes is a recent phenomenon. Buildings accommodating the transaction of business have existed since antiquity, yet examples with physical traits different from those serving other functions were long the exception. The growth of commercial architecture was nowhere more intense and rich in its manifestations than in the United States. America's rise as a major economic power was closely related to the settlement of its territory and the enormous growth of its population. As private enterprise was the principal generator of the nation's development, commercial architecture played a central role in defining the character of its settlements.

According to historian Richard Longstreth, the identification system of commercial architecture is based upon the ways in which a façade is composed. No matter how intricate their details, façade compositions can be reduced to a simple diagram or pattern that reveals the major divisions or elements used. When these patterns appear frequently enough, they can be labeled as types. Collectively, Longstreth has identified 11 types of commercial architecture which were erected before the mid-20<sup>th</sup> century. Each type has characteristics that are easily recognizable. At the same time, these characteristics may encompass numerous variations in size, scale, expression, and decorative motifs.

Commercial architectural types fall into two basic categories. With six types (two-part commercial block, stacked vertical block, two-part vertical block, three-part vertical block, enframed block, and central block with wings), the primary identifying characteristics are the ways in which the façade is divided into distinct sections or zones. Materials, elements (such as doors, windows, cornices, and porticos), decorative details and stylistic expression are secondary characteristics that may relate to, but are at the same time separate from, the basic compositional arrangement. These secondary characteristics may be valuable in describing the special qualities of one building or a group of buildings, but they do not define the underlying common features of the type. Four other types (the enframed window wall, temple front, vault, and arcaded block) have not basic zone divisions. The primary characteristics of this group derive from the arrangement of a few major features such as columns, large openings, and enframing wall surfaces. The configuration of minor elements, materials employed, decorative details, and stylistic expression remain secondary characteristics. Finally, the last type, the one-part commercial block, possesses neither basic zone divisions nor a distinguishing set of major elements. It can instead be seen as a fragment (the lower section of a two-part commercial block).

The One-Part Commercial Block was a popular commercial architectural style across the United States from the 1850s through the 1940s. It has only a single story, which is treated in much the same variety of ways as the lower zone of the two-part commercial block. Essentially, it is a fragment of the larger type and should not be confused with the one-story shop, freestanding and capped by a pitched roof, which could be found in settlements during the 18<sup>th</sup> and 19<sup>th</sup> centuries. Rather than appearing somewhat like a small house or

service facility on a sizable farm or plantation, the One-Part Commercial Block is a simple box with a decorated façade and thoroughly urban in its overtones.

The One-Part Commercial Block type appears to have been developed during the mid-19<sup>th</sup> century and soon became a common feature in towns and cities. It proliferated because of the rapid growth of Victorian communities, large and small, and the hopes speculators held for continued expansion. By catering to the swelling demand for services, these buildings could generate income, yet they represented a comparatively small investment. Often their most important purpose was defraying the costs of land that was likely to increase in value and thus at some future time support a larger, more profitable building. In this sense, the One-Part Commercial Block represented a claim staked on urban ground. Often, these ventures met with success, if not always as soon as anticipated. Examples constructed in cities before 1900 are now rare, although they still abound in places where the pressures for development have not been as intense.

Most One-Part Commercial Blocks constructed during the 19th century were used as retail stores. In many cases, the street frontage is narrow, and the facade comprises little more than plate glass windows and an entry surmounted by a cornice or parapet. A sizable wall area often exists between the windows and cornice to provide a place for advertising and make the façade appear larger and more urban than would otherwise be the case. Some retail stores dating from the early 20<sup>th</sup> century differ little from their Victorian predecessors, except for a greater uninterrupted expanse of plate glass across the front. In cities, the One-Part Commercial Block continued to be popular for modest buildings in neighborhoods. Grouped units are a ubiquitous feature along what once were streetcar lines, where commercial development often grew to be quite extensive. While composed in an orderly manner, most examples from this period have few, if any, historical references. Particularly with retail stores, the configuration permits little embellishment except near the roofline. At a time when simple design was ever more held as a virtue, ornate buildings that were small and provided no more than basic services would have been considered pretentious. Furthermore, investors showed an understandable reluctance to add costly decoration to buildings that might be replaced.

By the 1920s, however, efforts emerged to make the One-Part Commercial Block in suburban areas more ornamental and visually harmonious with its domestic surroundings. The abundance of automobiles and corresponding traffic congestion also fostered the concept that low-density commercial development was preferable, at least in enclaves of the well-to-do. Some of the resulting changes are minor, such as the use of a few decorative embellishments. In other instances, the shift in character may be quite pronounced, with large, picturesque elements modifying the basic configuration.

The 3240 Sports Arena Boulevard building features several physical characteristics which support a One-Part Commercial Block classification. These elements include its original commercial use; one-story form; and wall area between windows and cornice to provide advertising space. However, in its current appearance, the building fails to possess several other typical elements which would denote a true, intact and representative example of this style. For example, the building lacks ornate, decorative embellishments and a lack of

large, picturesque elements. Consideration of a narrow street frontage appears not to have occurred from a conscious design preference, but rather from necessity, given the site location and its tight constraints. Further, the building is devoid of integrated, advertising signage despite abundant space.

For these reasons, the 3240 Sports Arena Boulevard building does not embody the distinctive characteristics of a type, period, or method of One-Part Commercial Block construction.

#### Modern Contemporary Architecture

In addition to the One-Part Commercial Block architectural style analysis above, since the building possesses some elements of the Modern Contemporary style, it has also been examined herein under the City of San Diego, San Diego Modernism Historic Context Statement ("Modernism Context Statement").

In October 2007, the City of San Diego developed and implemented the Modernism Context Statement." The stated purpose of the Modernism Context Statement is to "assist in the identification, evaluation and preservation of significant historic buildings, districts, sites and structures associated with the Modernism movement in San Diego from 1935 to 1970" and was created to better understand "Modern era resources and the types of resources that are significant to the history and development of San Diego." The City of San Diego utilizes the Modernism Context Statement in conjunction with the evaluation of potential historical resources constructed within the Modern era from 1935-1970. An examination of the 3240 Sports Arena Boulevard building under the Modernism Context Statement indicates that the structure does not embody the distinctive characteristics of a type, period, or method of Modern Contemporary construction to be eligible for designation.

## <u>Modernism Context Statement—General Characteristics Of The Modern Contemporary</u> Style

According to the Modernism Context Statement, Modern Contemporary style buildings were generally constructed between 1955-1965. They employed the latest styles and materials including such modern features as interior courtyards, aluminum framed windows, sliding-glass doors, and attached carports or garages (for homes). Some also included upgrades to basic model units, allowing a homeowner to customize their properties. In addition to residential construction, Modern Contemporary buildings also included commercial structures and streetscapes. These buildings display many of the same design features as Contemporary style homes, such as angular massing, varied materials use, and unusual roof forms.

The 3240 Sports Arena Boulevard building has only limited, general characteristics associated with the Modern Contemporary architectural style. As an initial matter, the structure was built in 1969, after the generally recognized "period of significance" for Modern Contemporary structures (i.e. 1955-1965). Further, the building lacks interior

courtyards; sliding glass doors; varied use of exterior building materials (the exterior largely consists of stucco with a stone veneer accent); and an unusual roof form (the roof is flat). Based upon the foregoing, therefore, the structure does not possess an abundance of general characteristics indicative of Modern Contemporary construction as detailed in the Modernism Context Statement.

## Modernism Context Statement—Primary-Character Defining Features

According to the Modernism Context Statement, there are three (3) "Primary" Character-Defining features of Modern Contemporary construction. The following Primary character-defining features noted in the Modernism Context Statement have been specifically applied to the Property, accordingly:

1. Strong roof forms, including flat, gabled, shed or butterfly, typically with deep overhangs.

The 3240 Sports Arena Boulevard building has a flat roof with no eave overhangs. This roof is not considered to be "strong." Therefore, the building does not possess this Primary Character-Defining feature of Modern Contemporary construction.

2. Large windows, often aluminum framed.

The 3240 Sports Arena Boulevard building contains several large, aluminum storefront windows. Therefore, the building possesses this Primary Character-Defining feature of the Modern Contemporary construction.

3. Non-traditional exterior finishes, including vertical wood siding, concrete block, stucco, flagstone and mullion-free glass.

The 3240 Sports Arena Boulevard building generally features a stucco exterior with some limited areas of stone veneer. No vertical wood siding, concrete block, flagstone, or mullion-free glass exists. Therefore, the building does not possess this Primary Character-Defining feature of Modern Contemporary construction.

Summary: Of the three Primary Character-Defining features of Modern Contemporary construction expressed in the Modernism Context Statement, the Property possesses one of these features--Large aluminum framed windows.

#### Modernism Context Statement—Secondary Character-Defining Features

According to the Modernism Context Statement, there are eight (8) "Secondary" Character-Defining features of Modern Contemporary construction. The following Secondary character-defining features noted in the Modernism Context Statement have been specifically applied to the Property, accordingly:

#### 1. Angular massing.

The 3240 Sports Arena Boulevard building features one-story, angular massing. Therefore, the building possesses this Secondary Character-Defining feature of Modern Contemporary construction.

2. Sunshades, screens or shadow block accents.

The 3240 Sports Arena Boulevard building does not feature any sunshades, screens, or shadow block accents. Therefore, the building does not possess this Secondary Character-Defining feature of Modern Contemporary construction.

3. Attached garages or carports for homes.

As a commercial structure, this Secondary Character-Defining features of Modern Contemporary construction is inapplicable to the 3240 Sports Arena Boulevard building.

4. Split-level design, especially on sloped residential sites.

The 3240 Sports Arena Boulevard building does not feature a split-level design. The structure is one-story in height. Therefore, the building does not possess this Secondary Character-Defining feature of Modern Contemporary construction.

5. Horizontally oriented commercial buildings.

The 3240 Sports Arena Boulevard building is a commercial structure and is horizontally oriented. Therefore, the building possesses this Secondary Character-Defining feature of Modern Contemporary construction.

6. Distinctive triangular, parabolic or arched forms.

The 3240 Sports Arena Boulevard building does not feature any triangular, parabolic or arched forms. Therefore, the building does not possess this Secondary Character-Defining feature of Modern Contemporary construction.

7. "Eyebrow" overhangs on commercial buildings; and

The 3240 Sports Arena Boulevard building is a commercial structure, but it lacks an "eyebrow" overhang. Therefore, the building does not possess this Secondary Character-Defining feature of Modern Contemporary construction.

8. Integrated, stylized signage on commercial buildings.

The 3240 Sports Arena Boulevard building is a commercial structure, but it does not feature integrated, stylized signage. Therefore, the building does not possess this Secondary Character-Defining feature of Modern Contemporary construction.

Summary: Out of the seven applicable Primary Character-Defining features of Modern Contemporary construction expressed in the Modernism Context Statement, the Property possesses two of these features—Angular massing and a horizontal orientation.

#### Modernism Context Statement—Evaluation Criteria

In evaluating the potential significance and eligibility for designation of Modern Contemporary buildings, the Modernism Context Statement notes the following:

• "While this style was relatively popular in San Diego tract construction, many of these homes and buildings have been extensively remodeled diminishing their level of integrity and reducing the abundance of good examples from this sub-style substantially."

The 3240 Sports Arena Boulevard building is located within the Midway community. This community contains an abundance of original, Modern Contemporary structures, some of which have been extensively remodeled and over the years. Nevertheless, the area still contains a number of intact examples of this style.

• "...Houses [buildings] may still poses [sic. possess] significance due to their association with a potential master architect."

Historical research indicates that the 3240 Sports Arena Boulevard building was designed by John S.M. Daniels. It is not known whether Daniels was, in fact, an architect, and no other examples of his work have been identified. In any event, Daniels has not been established by the City of San Diego as "master" architect, is not identified in the Modernism Context Statement as a "Contributing Designer Of Modern San Diego" and is not recognized for greatness in the field of architecture. In particular, the 3240 Sports Arena Boulevard building does not display any "notable" physical characteristics which would warrant recognition.

• "Good examples of this style that retain a high degree of integrity should therefore be considered for individual designation, especially if...associated with a significant architect. Due to the somewhat limited supply of unaltered examples, retention of all character defining features may not be necessary for listing, if comparative analysis demonstrates that the building retains a relatively high degree of integrity compared to other extant examples."

The 3240 Sports Arena Boulevard building possesses original integrity but is not associated with a significant architect to warrant designation as a "notable" architectural example. Further, it lacks the vast majority of character-defining features of the Modern Contemporary architectural style.

•"The Contemporary style was widely used on major streets and boulevards such as El Cajon Boulevard in North Park, Girard Avenue in La Jolla, Washington Street in Mission Hills, and Rosecrans Boulevard in Point Loma. Buildings in these areas exemplify the style with long horizontal massing, extensive use of glass windows to open the interior

space as to the street, updated Moderne elements such as "eyebrow" overhangs, and minimal architectural details on the façade....Signage for Contemporary commercial buildings that is original to the structure should be considered as part of the resource."

The 3240 Sports Arena Boulevard building is a commercial structure which is located along Sports Arena Boulevard (a major street not typically associated with an abundance of Modern Contemporary commercial buildings).

In summary, the 3240 Sports Arena Boulevard building does not possess the General, Primary, or Secondary character-defining features of Modern Contemporary construction to be considered a true, representative example which is significant under the Modernism Context Statement. The building does not meet the potential significance and eligibility criteria for designation under the Modernism Context Statement. As such, the structure does not embody the distinctive characteristics of a type, period, or method of Modern Contemporary construction. The building is not architecturally significant.

## 3250 Sports Arena Boulevard

Historical research indicates that the 3250 Sports Arena Boulevard building was originally constructed as a one and two-story Modern Contemporary style commercial structure in 1967. The building was originally one and two-stories in height, with a flat roof with slender vertical wood fascia panels, and vertical wood exterior siding. Over the course of its existence, however, the structure was subject to first and second story additions in 1969, 1970, 1972, 1975, 1977, and 1989. These changes compromised the original integrity of the building to the extent that the structure today no longer resembles its original design/construction. An examination of the 3250 Sports Arena Boulevard building under the Modernism Context Statement indicates that the structure does not embody the distinctive characteristics of a type, period, or method of Modern Contemporary construction to be eligible for designation.

In October 2007, the City of San Diego developed and implemented the Modernism Context Statement." The stated purpose of the Modernism Context Statement is to "assist in the identification, evaluation and preservation of significant historic buildings, districts, sites and structures associated with the Modernism movement in San Diego from 1935 to 1970" and was created to better understand "Modern era resources and the types of resources that are significant to the history and development of San Diego." The City of San Diego utilizes the Modernism Context Statement in conjunction with the evaluation of potential historical resources constructed within the Modern era from 1935-1970.

# Modernism Context Statement—General Characteristics Of The Modern Contemporary Style

According to the Modernism Context Statement, Modern Contemporary style buildings were generally constructed between 1955-1965. They employed the latest styles and materials including such modern features as interior courtyards, aluminum framed windows, sliding-glass doors, and attached carports or garages (for homes). Some also included upgrades to basic model units, allowing a homeowner to customize their

properties. In addition to residential construction, Modern Contemporary buildings also included commercial structures and streetscapes. These buildings display many of the same design features as Contemporary style homes, such as angular massing, varied materials use, and unusual roof forms.

The 3250 Sports Arena Boulevard building lacks all original general characteristics associated with the Modern Contemporary architectural style. Built in 1967, after the generally recognized "period of significance" for Modern Contemporary structures (i.e. 1955-1965), the structure lacks any and all original elements of the style, including angular massing, an unusual roof form; interior courtyards; sliding glass doors; and a varied use of exterior building materials. Based upon the foregoing, therefore, the structure does not possess the general characteristics indicative of Modern Contemporary construction as detailed in the Modernism Context Statement.

## Modernism Context Statement—Primary-Character Defining Features

According to the Modernism Context Statement, there are three (3) "Primary" Character-Defining features of Modern Contemporary construction. The following Primary character-defining features noted in the Modernism Context Statement have been specifically applied to the Property, accordingly:

1. Strong roof forms, including flat, gabled, shed or butterfly, typically with deep overhangs.

The 3250 Sports Arena Boulevard building does not have an original, strong roof form with deep eave overhangs. Therefore, the building does not possess this Primary Character-Defining feature of Modern Contemporary construction.

2. Large windows, often aluminum framed.

The 3250 Sports Arena Boulevard building does not have original, large aluminum windows. Therefore, the building does not possess this Primary Character-Defining feature of the Modern Contemporary construction.

3. Non-traditional exterior finishes, including vertical wood siding, concrete block, stucco, flagstone and mullion-free glass.

The 3250 Sports Arena Boulevard building does not have original, non-traditional exterior finishes. Therefore, the building does not possess this Primary Character-Defining feature of Modern Contemporary construction.

Summary: Of the three Primary Character-Defining features of Modern Contemporary construction expressed in the Modernism Context Statement, the Property possesses none of these features.

# Modernism Context Statement—Secondary Character-Defining Features

According to the Modernism Context Statement, there are eight (8) "Secondary" Character-Defining features of Modern Contemporary construction. The following Secondary character-defining features noted in the Modernism Context Statement have been specifically applied to the Property, accordingly:

## 1. Angular massing.

The 3250 Sports Arena Boulevard building does not feature original, angular massing. Therefore, the building does not possess this Secondary Character-Defining feature of Modern Contemporary construction.

2. Sunshades, screens or shadow block accents.

The 3250 Sports Arena Boulevard building does not feature any original sunshades, screens, or shadow block accents. Therefore, the building does not possess this Secondary Character-Defining feature of Modern Contemporary construction.

3. Attached garages or carports for homes.

As a commercial structure, this Secondary Character-Defining features of Modern Contemporary construction is inapplicable to the 3250 Sports Arena Boulevard building.

4. Split-level design, especially on sloped residential sites.

The 3250 Sports Arena Boulevard building does not feature an original split-level design. Therefore, the building does not possess this Secondary Character-Defining feature of Modern Contemporary construction.

5. Horizontally oriented commercial buildings.

The 3250 Sports Arena Boulevard building is a commercial structure but does not feature an original, horizontal orientation. Therefore, the building does not possess this Secondary Character-Defining feature of Modern Contemporary construction.

6. Distinctive triangular, parabolic or arched forms.

The 3250 Sports Arena Boulevard building does not feature original, distinctive triangular, parabolic or arched forms. Therefore, the building does not possess this Secondary Character-Defining feature of Modern Contemporary construction.

7. "Eyebrow" overhangs on commercial buildings; and

The 3250 Sports Arena Boulevard building is a commercial structure, but it lacks original, "eyebrow" overhangs. Therefore, the building does not possess this Secondary Character-Defining feature of Modern Contemporary construction.

8. Integrated, stylized signage on commercial buildings.

The 3250 Sports Arena Boulevard building is a commercial structure, but it does not feature original, integrated and stylized signage. Therefore, the building does not possess this Secondary Character-Defining feature of Modern Contemporary construction.

Summary: Out of the seven applicable Primary Character-Defining features of Modern Contemporary construction expressed in the Modernism Context Statement, the Property does not possess any of these features.

#### Modernism Context Statement—Evaluation Criteria

In evaluating the potential significance and eligibility for designation of Modern Contemporary buildings, the Modernism Context Statement notes the following:

• "While this style was relatively popular in San Diego tract construction, many of these homes and buildings have been extensively remodeled diminishing their level of integrity and reducing the abundance of good examples from this sub-style substantially."

The 3250 Sports Arena Boulevard building is located within the Midway community. This community contains an abundance of original, Modern Contemporary structures, some of which have been extensively remodeled and over the years. Nevertheless, the area still contains a number of intact examples of this style.

•"...Houses [buildings] may still poses [sic. possess] significance due to their association with a potential master architect."

Historical research indicates that the 3250 Sports Arena Boulevard building was designed by the architectural firm of Weber & Edwards. This firm was composed of architects James Weber and Robert Edwards. Neither Weber or Edwards have been established by the City of San Diego as "master" architects, are not identified in the Modernism Context Statement as "Contributing Designers Of Modern San Diego," and are not recognized for greatness in the field of architecture. In particular, the 3250 Sports Arena Boulevard building does not display any "notable" physical characteristics, original or otherwise, which would warrant recognition.

•"Good examples of this style that retain a high degree of integrity should therefore be considered for individual designation, especially if...associated with a significant architect. Due to the somewhat limited supply of unaltered examples, retention of all character defining features may not be necessary for listing, if comparative analysis demonstrates that the building retains a relatively high degree of integrity compared to other extant examples."

The 3250 Sports Arena Boulevard building does not possess original integrity and is not associated with significant architects to warrant designation as a "notable" architectural example. Further, it lacks all character-defining features of the Modern Contemporary architectural style.

• "The Contemporary style was widely used on major streets and boulevards such as El Cajon Boulevard in North Park, Girard Avenue in La Jolla, Washington Street in Mission Hills, and Rosecrans Boulevard in Point Loma. Buildings in these areas exemplify the style with long horizontal massing, extensive use of glass windows to open the interior space as to the street, updated Moderne elements such as "eyebrow" overhangs, and minimal architectural details on the façade....Signage for Contemporary commercial buildings that is original to the structure should be considered as part of the resource."

The 3250 Sports Arena Boulevard building is a commercial structure which is located along Sports Arena Boulevard (a major street not typically associated with an abundance of Modern Contemporary commercial buildings).

In summary, the 3250 Sports Arena Boulevard building does not possess original General, Primary, or Secondary character-defining features of Modern Contemporary construction to be considered a true, representative example which is significant under the Modernism Context Statement. The building does not meet the potential significance and eligibility criteria for designation under the Modernism Context Statement. As such, the structure does not embody the distinctive characteristics of a type, period, or method of Modern Contemporary construction. The building is not architecturally significant.

## 3350 Sports Arena Boulevard

The 3350 Sports Arena Boulevard building was constructed in 1978 in a Modern Contemporary architectural style. In October 2007, the City of San Diego developed and implemented the Modernism Context Statement." The stated purpose of the Modernism Context Statement is to "assist in the identification, evaluation and preservation of significant historic buildings, districts, sites and structures associated with the Modernism movement in San Diego from 1935 to 1970" and was created to better understand "Modern era resources and the types of resources that are significant to the history and development of San Diego." The City of San Diego utilizes the Modernism Context Statement in conjunction with the evaluation of potential historical resources constructed within the Modern era from 1935-1970.

An examination of the 3350 Sports Arena Boulevard building under the Modernism Context Statement indicates that the structure does not embody the distinctive characteristics of a type, period, or method of Modern Contemporary construction to be eligible for designation.

# <u>Modernism Context Statement—General Characteristics Of The Modern Contemporary Style</u>

According to the Modernism Context Statement, Modern Contemporary style buildings were generally constructed between 1955-1965. They employed the latest styles and materials including such modern features as interior courtyards, aluminum framed windows, sliding-glass doors, and attached carports or garages (for homes). Some also included upgrades to basic model units, allowing a homeowner to customize their properties. In addition to residential construction, Modern Contemporary buildings also included commercial structures and streetscapes. These buildings display many of the same design features as Contemporary style homes, such as angular massing, varied materials use, and unusual roof forms.

The 3350 Sports Arena Boulevard building has only limited, general characteristics associated with the Modern Contemporary architectural style. As an initial matter, the structure was built in 1978, well after the generally recognized "period of significance" for Modern Contemporary structures (i.e. 1955-1965). Further, the building lacks interior courtyards; sliding glass doors; varied use of exterior building materials (the exterior largely consists of masonry/concrete block with some wood panels); and an unusual roof form (the roof is flat). Based upon the foregoing, therefore, the structure does not possess an abundance of general characteristics indicative of Modern Contemporary construction as detailed in the Modernism Context Statement.

## Modernism Context Statement—Primary-Character Defining Features

According to the Modernism Context Statement, there are three (3) "Primary" Character-Defining features of Modern Contemporary construction. The following Primary character-defining features noted in the Modernism Context Statement have been specifically applied to the Property, accordingly:

1. Strong roof forms, including flat, gabled, shed or butterfly, typically with deep overhangs.

The 3350 Sports Arena Boulevard building has a flat roof with no eave overhangs. This roof is not considered to be "strong." Therefore, the building does not possess this Primary Character-Defining feature of Modern Contemporary construction.

2. Large windows, often aluminum framed.

The 3350 Sports Arena Boulevard building contains several large storefront windows. However, they appear to be metal and not aluminum. Therefore, the building does not possess this Primary Character-Defining feature of the Modern Contemporary construction.

3. Non-traditional exterior finishes, including vertical wood siding, concrete block, stucco, flagstone and mullion-free glass.

The 3350 Sports Arena Boulevard building features a masonry/concrete block exterior with some wood panels. No vertical wood siding, stucco, flagstone, or mullion-free glass exists. Therefore, the building does not possess this Primary Character-Defining feature of Modern Contemporary construction.

Summary: Of the three Primary Character-Defining features of Modern Contemporary construction expressed in the Modernism Context Statement, the Property possesses none of these features.

## Modernism Context Statement—Secondary Character-Defining Features

According to the Modernism Context Statement, there are eight (8) "Secondary" Character-Defining features of Modern Contemporary construction. The following Secondary character-defining features noted in the Modernism Context Statement have been specifically applied to the Property, accordingly:

#### 1. Angular massing.

The 3350 Sports Arena Boulevard building features one-story, angular massing. Therefore, the building possesses this Secondary Character-Defining feature of Modern Contemporary construction.

2. Sunshades, screens or shadow block accents.

The 3350 Sports Arena Boulevard building does not feature any sunshades, screens, or shadow block accents. Therefore, the building does not possess this Secondary Character-Defining feature of Modern Contemporary construction.

3. Attached garages or carports for homes.

As a commercial structure, this Secondary Character-Defining features of Modern Contemporary construction is inapplicable to the 3350 Sports Arena Boulevard building.

4. Split-level design, especially on sloped residential sites.

The 3350 Sports Arena Boulevard building does not feature a split-level design. The structure is one-story in height. Therefore, the building does not possess this Secondary Character-Defining feature of Modern Contemporary construction.

5. Horizontally oriented commercial buildings.

The 3350 Sports Arena Boulevard building is a commercial structure and is horizontally oriented. Therefore, the building possesses this Secondary Character-Defining feature of Modern Contemporary construction.

6. Distinctive triangular, parabolic or arched forms.

The 3350 Sports Arena Boulevard building does not feature any triangular, parabolic or arched forms. Therefore, the building does not possess this Secondary Character-Defining feature of Modern Contemporary construction.

7. "Eyebrow" overhangs on commercial buildings; and

The 3350 Sports Arena Boulevard building is a commercial structure, but it lacks "eyebrow" overhangs. Therefore, the building does not possess this Secondary Character-Defining feature of Modern Contemporary construction.

8. Integrated, stylized signage on commercial buildings.

The 3350 Sports Arena Boulevard building is a commercial structure, but it does not feature integrated, stylized signage. Therefore, the building does not possess this Secondary Character-Defining feature of Modern Contemporary construction.

Summary: Out of the seven applicable Primary Character-Defining features of Modern Contemporary construction expressed in the Modernism Context Statement, the Property possesses two of these features—Angular massing and a horizontal orientation.

#### Modernism Context Statement—Evaluation Criteria

In evaluating the potential significance and eligibility for designation of Modern Contemporary buildings, the Modernism Context Statement notes the following:

• "While this style was relatively popular in San Diego tract construction, many of these homes and buildings have been extensively remodeled diminishing their level of integrity and reducing the abundance of good examples from this sub-style substantially."

The 3350 Sports Arena Boulevard building is located within the Midway community. This community contains an abundance of original, Modern Contemporary structures, some of which have been extensively remodeled and over the years. Nevertheless, the area still contains a number of intact examples of this style.

•"...Houses [buildings] may still poses [sic. possess] significance due to their association with a potential master architect."

Historical research indicates that the 3350 Sports Arena Boulevard building was designed by architect Roy Johnson of La Mesa, California. Aside from the 3350 Sports Arena Boulevard building, no other examples of Johnson's work have been identified. In any event, Johnson has not been established by the City of San Diego as "master" architect, is not identified in the Modernism Context Statement as a "Contributing Designer Of Modern San Diego" and is not recognized for greatness in the field of architecture. In particular, the 3350 Sports Arena Boulevard building does not display any "notable" physical characteristics which would warrant recognition.

• "Good examples of this style that retain a high degree of integrity should therefore be considered for individual designation, especially if... associated with a significant architect. Due to the somewhat limited supply of unaltered examples, retention of all character defining features may not be necessary for listing, if comparative analysis demonstrates that the building retains a relatively high degree of integrity compared to other extant examples."

The 3350 Sports Arena Boulevard building possesses original integrity but is not associated with a significant architect(s) to warrant designation as a "notable" architectural example. Further, it lacks the vast majority of character-defining features of the Modern Contemporary architectural style.

• "The Contemporary style was widely used on major streets and boulevards such as El Cajon Boulevard in North Park, Girard Avenue in La Jolla, Washington Street in Mission Hills, and Rosecrans Boulevard in Point Loma. Buildings in these areas exemplify the style with long horizontal massing, extensive use of glass windows to open the interior space as to the street, updated Moderne elements such as "eyebrow" overhangs, and minimal architectural details on the façade....Signage for Contemporary commercial buildings that is original to the structure should be considered as part of the resource."

The 3350 Sports Arena Boulevard building is a commercial structure which is located along Sports Arena Boulevard (a major street not typically associated with an abundance of Modern Contemporary commercial buildings).

In summary, the 3350 Sports Arena Boulevard building does not possess the General, Primary, or Secondary character-defining features of Modern Contemporary construction to be considered a true, representative example which is significant under the Modernism Context Statement. The building does not meet the potential significance and eligibility criteria for designation under the Modernism Context Statement. As such, the structure does not embody the distinctive characteristics of a type, period, or method of Modern Contemporary construction. The building is not architecturally significant.

## Representing The Work Of A Master

The 3220, 3240, 3250 and 3350 Sports Arena Boulevard buildings do not qualify under National Register Criterion C: Design/Construction at either the local, state, or national levels on the basis of their architects, designers, or builders. The identities of the individuals or entities responsible for the original design/construction and/or the additions made to the 3220, 3240, 3250 and 3350 Sports Arena Boulevard buildings include A.L. Wildey, T. Ota, John S.M. Daniels, Melhorn Construction Company, Weber & Edwards, S/W Associates, Architects, Robert K. Burkett, George J. Fletcher, Don Coorot, Roy Johnson, Don Koll Company, Inc., McKee Construction Company, Dixieline Lumber Company, and G.L. Frieh Construction Company. None of these individuals or firms have been established as "masters," and the Properties does not possess any physical elements or characteristics which can be considered "notable."

## Possessing High Artistic Values

The 3220, 3240, 3250 and 3350 Sports Arena Boulevard buildings do not qualify under National Register Criterion C: Design/Construction as structures which possess high artistic values. The buildings do not articulate a particular concept of design to the extent that an aesthetic ideal is expressed.

#### Criterion D: Information Potential

Properties may be eligible under Criterion D if they have yielded, or may be likely to yield, information important in prehistory or history.

The 3220, 3240, 3250 and 3350 Sports Arena Boulevard buildings do not qualify under National Register Criterion D: Information Potential as the Properties have not yielded, and are not likely not to yield, information important in terms of history or prehistory.

## Application of California Register Criteria

The California Register of Historical Resources was consciously designed on the model of the National Register. While the eligibility criteria of the two programs are extremely similar, there are differences between them. When evaluated within its historic context, a property must be shown to be significant for one or more of the four Criteria for Evaluation–1, 2, 3, or 4. The Criteria describes how properties are significant for their association with important events or persons, for their importance in design or construction, or for their information potential. In addition, a property must not only be shown to be significant under the California Register criteria, but it also must have integrity. Historical resources eligible for listing in the California Register must meet one of the significance criteria described above and retain enough of their historic character or appearance to be recognizable as historical resources and convey the reasons for their significance.

#### Criterion 1: Event

To be considered for listing under Criterion 1, a property must be associated with one or more events important in the defined historic context. The event or trends must clearly be important within the associated context. Mere association with historic events or trends is not enough, in and of itself, to qualify under Criterion 1: a property's specific association must be considered important as well.

The 3220, 3240, 3250 and 3350 Sports Arena Boulevard buildings do not qualify under California Register Criterion 1: Event at either the local, state, or national levels. Historical research failed to identify any important events associated with the buildings over the course of their existence.

#### Criterion 2: Person

To be considered for listing under Criterion 2, a property must be associated with the lives of persons important in our past. This Criterion applies to properties associated with individuals whose specific contributions to history can be identified and documented. Persons "significant in our past" refers to individuals whose activities are demonstrably important within a local, State, or national historic context. The criterion is generally restricted to those properties that illustrate (rather than commemorate) a person's important achievements. The persons associated with a property must be individually significant within a historic context. Significant individuals must be directly associated with the nominated property. Properties eligible under Criterion 2 are usually those associated with a person's productive life, reflecting the time period when he or she achieved significance. Speculative associations are not acceptable. Documentation must make clear how the nominated property represents an individual's significant contributions. A property must retain integrity from the period of its significant historic associations. Architects are often represented by their works, which are eligible under Criterion 3.

The 3220, 3240, 3250 and 3350 Sports Arena Boulevard buildings do not qualify under California Register Criterion 2: Person at either the local, state, or national levels. No historical evidence was found which would suggest that the Properties were ever associated with any persons or events significant in local, state, or national history. None of the persons or entities identified with the Properties performed any activities, achievements or contributions which were demonstrably important within the City, state, or nation.

#### Criterion 3: Design/Construction

Properties may be eligible under Criterion 3 if they embody the distinctive characteristics of a type, period, or method of construction, or that represent the work of a master, or that possess high artistic values, or that represent a significant and distinguishable entity whose components may lack individual distinction. Properties which embody the distinctive characteristics of a type, period, or method of construction refer to the way in which a property was conceived, designed, or fabricated by a people or culture in past periods of history. Distinctive characteristics are the physical features or traits that commonly recur in individual types, periods, or methods of construction. To be eligible, a property must clearly contain enough of those characteristics to be considered a true representative of a particular type, period, or method of construction.

A master is a figure of generally recognized greatness in a field, a known craftsman of consummate skill, or an anonymous craftsman whose work is distinguishable from others by its characteristic style and quality. A property must express a particular phase in the development of the master's career, an aspect of his or her work, or a particular theme in his or her craft.

## Embodying The Distinctive Characteristics Of A Type, Period & Method Of Construction

The 3220, 3240, 3250 and 3350 Sports Arena Boulevard buildings do not qualify under California Register Criterion 3: Design/Construction at either the local, state, or national levels.

# 3220 Sports Arena Boulevard

The 3220 Sports Arena Boulevard building was originally constructed as a One-Part Commercial Block structure with Modern Contemporary style elements in 1968. In its current appearance, the building is not considered to be a representative example of the One-Part Commercial Block architectural style. In this regard, the structure does not embody the distinctive characteristics of a type, period, or method of One-Part Commercial Block construction.

#### One-Part Commercial Block Architecture

One-Part Commercial Block architecture is an accepted architectural style (Longstreth 1987). The development of distinctive architectural forms for commercial purposes is a recent phenomenon. Buildings accommodating the transaction of business have existed since antiquity, yet examples with physical traits different from those serving other functions were long the exception. The growth of commercial architecture was nowhere more intense and rich in its manifestations than in the United States. America's rise as a major economic power was closely related to the settlement of its territory and the enormous growth of its population. As private enterprise was the principal generator of the nation's development, commercial architecture played a central role in defining the character of its settlements.

According to historian Richard Longstreth, the identification system of commercial architecture is based upon the ways in which a façade is composed. No matter how intricate their details, façade compositions can be reduced to a simple diagram or pattern that reveals the major divisions or elements used. When these patterns appear frequently enough, they can be labeled as types. Collectively, Longstreth has identified 11 types of commercial architecture which were erected before the mid-20<sup>th</sup> century. Each type has characteristics that are easily recognizable. At the same time, these characteristics may encompass numerous variations in size, scale, expression, and decorative motifs.

Commercial architectural types fall into two basic categories. With six types (two-part commercial block, stacked vertical block, two-part vertical block, three-part vertical block, enframed block, and central block with wings), the primary identifying characteristics are the ways in which the façade is divided into distinct sections or zones. Materials, elements (such as doors, windows, cornices, and porticos), decorative details and stylistic expression are secondary characteristics that may relate to, but are at the same time separate from, the basic compositional arrangement. These secondary characteristics may be valuable in describing the special qualities of one building or a group of buildings, but they do not define the underlying common features of the type. Four other types (the enframed window

wall, temple front, vault, and arcaded block) have not basic zone divisions. The primary characteristics of this group derive from the arrangement of a few major features such as columns, large openings, and enframing wall surfaces. The configuration of minor elements, materials employed, decorative details, and stylistic expression remain secondary characteristics. Finally, the last type, the one-part commercial block, possesses neither basic zone divisions nor a distinguishing set of major elements. It can instead be seen as a fragment (the lower section of a two-part commercial block).

The One-Part Commercial Block was a popular commercial architectural style across the United States from the 1850s through the 1940s. It has only a single story, which is treated in much the same variety of ways as the lower zone of the two-part commercial block. Essentially, it is a fragment of the larger type and should not be confused with the one-story shop, freestanding and capped by a pitched roof, which could be found in settlements during the 18<sup>th</sup> and 19<sup>th</sup> centuries. Rather than appearing somewhat like a small house or service facility on a sizable farm or plantation, the One-Part Commercial Block is a simple box with a decorated façade and thoroughly urban in its overtones.

The One-Part Commercial Block type appears to have been developed during the mid-19<sup>th</sup> century and soon became a common feature in towns and cities. It proliferated because of the rapid growth of Victorian communities, large and small, and the hopes speculators held for continued expansion. By catering to the swelling demand for services, these buildings could generate income, yet they represented a comparatively small investment. Often their most important purpose was defraying the costs of land that was likely to increase in value and thus at some future time support a larger, more profitable building. In this sense, the One-Part Commercial Block represented a claim staked on urban ground. Often, these ventures met with success, if not always as soon as anticipated. Examples constructed in cities before 1900 are now rare, although they still abound in places where the pressures for development have not been as intense.

Most One-Part Commercial Blocks constructed during the 19th century were used as retail stores. In many cases, the street frontage is narrow, and the façade comprises little more than plate glass windows and an entry surmounted by a cornice or parapet. A sizable wall area often exists between the windows and cornice to provide a place for advertising and make the façade appear larger and more urban than would otherwise be the case. Some retail stores dating from the early 20<sup>th</sup> century differ little from their Victorian predecessors, except for a greater uninterrupted expanse of plate glass across the front. In cities, the One-Part Commercial Block continued to be popular for modest buildings in neighborhoods. Grouped units are a ubiquitous feature along what once were streetcar lines, where commercial development often grew to be quite extensive. While composed in an orderly manner, most examples from this period have few, if any, historical references. Particularly with retail stores, the configuration permits little embellishment except near the roofline. At a time when simple design was ever more held as a virtue, ornate buildings that were small and provided no more than basic services would have been considered pretentious. Furthermore, investors showed an understandable reluctance to add costly decoration to buildings that might be replaced.

By the 1920s, however, efforts emerged to make the One-Part Commercial Block in suburban areas more ornamental and visually harmonious with its domestic surroundings. The abundance of automobiles and corresponding traffic congestion also fostered the concept that low-density commercial development was preferable, at least in enclaves of the well-to-do. Some of the resulting changes are minor, such as the use of a few decorative embellishments. In other instances, the shift in character may be quite pronounced, with large, picturesque elements modifying the basic configuration.

The 3220 Sports Arena Boulevard building features several physical characteristics which support a One-Part Commercial Block classification. These elements include its original commercial use; one-story form; and wall area between windows and cornice to provide advertising space. However, in its current appearance, the building fails to possess several other typical elements which would denote a true, intact and representative example of this style. For example, the building lacks ornate, decorative embellishments and a lack of large, picturesque elements. Further, the existing wall area along the south elevation to allow for signage, as well as stucco/scoring, cornice, concrete pilasters, entry area, and storefront glass, are not original. Consideration of a narrow street frontage appears not to have occurred from a conscious design preference, but rather from necessity, given the site location and its tight constraints. Finally, the building is devoid of integrated, original advertising signage.

For these reasons, the 3220 Sports Arena Boulevard building does not embody the distinctive characteristics of a type, period, or method of One-Part Commercial Block construction.

#### Modern Contemporary Architecture

In addition to the One-Part Commercial Block architectural style analysis above, since the building possesses some elements of the Modern Contemporary style, it has also been examined herein under the City of San Diego, San Diego Modernism Historic Context Statement ("Modernism Context Statement").

In October 2007, the City of San Diego developed and implemented the Modernism Context Statement." The stated purpose of the Modernism Context Statement is to "assist in the identification, evaluation and preservation of significant historic buildings, districts, sites and structures associated with the Modernism movement in San Diego from 1935 to 1970" and was created to better understand "Modern era resources and the types of resources that are significant to the history and development of San Diego." The City of San Diego utilizes the Modernism Context Statement in conjunction with the evaluation of potential historical resources constructed within the Modern era from 1935-1970. An examination of the 3220 Sports Arena Boulevard building under the Modernism Context Statement indicates that the structure does not embody the distinctive characteristics of a type, period, or method of Modern Contemporary construction.

# <u>Modernism Context Statement—General Characteristics Of The Modern Contemporary Style</u>

According to the Modernism Context Statement, Modern Contemporary style buildings were generally constructed between 1955-1965. They employed the latest styles and materials including such modern features as interior courtyards, aluminum framed windows, sliding-glass doors, and attached carports or garages (for homes). Some also included upgrades to basic model units, allowing a homeowner to customize their properties. In addition to residential construction, Modern Contemporary buildings also included commercial structures and streetscapes. These buildings display many of the same design features as Contemporary style homes, such as angular massing, varied materials use, and unusual roof forms.

The 3220 Sports Arena Boulevard building possesses no original, general characteristics associated with the Modern Contemporary architectural style. As an initial matter, the structure was built in 1968, after the generally recognized "period of significance" for Modern Contemporary structures (i.e. 1955-1965). Further, the building lacks interior courtyards; sliding glass doors; varied use of exterior building materials (the exterior largely consists of stucco); and an unusual roof form (the roof is flat). Based upon the foregoing, therefore, the structure does not possess general characteristics indicative of Modern Contemporary construction as detailed in the Modernism Context Statement.

# Modernism Context Statement—Primary-Character Defining Features

According to the Modernism Context Statement, there are three (3) "Primary" Character-Defining features of Modern Contemporary construction. The following Primary character-defining features noted in the Modernism Context Statement have been specifically applied to the Property, accordingly:

1. Strong roof forms, including flat, gabled, shed or butterfly, typically with deep overhangs.

The 3220 Sports Arena Boulevard building has a flat roof with no eave overhangs. This roof is not considered to be "strong." Therefore, the building does not possess this Primary Character-Defining feature of Modern Contemporary construction.

2. Large windows, often aluminum framed.

The 3220 Sports Arena Boulevard building contains several large, aluminum storefront windows. However, these windows are not original. Therefore, the building does not possess this Primary Character-Defining feature of the Modern Contemporary construction.

3. Non-traditional exterior finishes, including vertical wood siding, concrete block, stucco, flagstone and mullion-free glass.

The 3220 Sports Arena Boulevard building generally features a stucco exterior, concrete block pilasters, and vertical wood siding located above the main entry along the south elevation. However, these elements are not original. Further, no flagstone or mullion-free glass exists. Therefore, the building does not possess this Primary Character-Defining feature of Modern Contemporary construction.

Summary: Of the three Primary Character-Defining features of Modern Contemporary construction expressed in the Modernism Context Statement, the Property does not possess any of them.

## Modernism Context Statement—Secondary Character-Defining Features

According to the Modernism Context Statement, there are eight (8) "Secondary" Character-Defining features of Modern Contemporary construction. The following Secondary character-defining features noted in the Modernism Context Statement have been specifically applied to the Property, accordingly:

## 1. Angular massing.

The 3220 Sports Arena Boulevard building features one-story, angular massing. Therefore, the building possesses this Secondary Character-Defining feature of Modern Contemporary construction.

2. Sunshades, screens or shadow block accents.

The 3220 Sports Arena Boulevard building does not feature any sunshades, screens, or shadow block accents. Therefore, the building does not possess this Secondary Character-Defining feature of Modern Contemporary construction.

3. Attached garages or carports for homes.

As a commercial structure, this Secondary Character-Defining features of Modern Contemporary construction is inapplicable to the 3220 Sports Arena Boulevard building.

4. Split-level design, especially on sloped residential sites.

The 3220 Sports Arena Boulevard building does not feature a split-level design. The structure is one-story in height. Therefore, the building does not possess this Secondary Character-Defining feature of Modern Contemporary construction.

5. Horizontally oriented commercial buildings.

The 3220 Sports Arena Boulevard building is a commercial structure and is horizontally oriented. Therefore, the building possesses this Secondary Character-Defining feature of Modern Contemporary construction.

6. Distinctive triangular, parabolic or arched forms.

The 3220 Sports Arena Boulevard building does not feature any triangular, parabolic or arched forms. Therefore, the building does not possess this Secondary Character-Defining feature of Modern Contemporary construction.

7. "Eyebrow" overhangs on commercial buildings; and

The 3220 Sports Arena Boulevard building is a commercial structure, but it lacks an "eyebrow" overhang. Therefore, the building does not possess this Secondary Character-Defining feature of Modern Contemporary construction.

8. Integrated, stylized signage on commercial buildings.

The 3220 Sports Arena Boulevard building is a commercial structure, but it does not feature integrated, stylized signage. Therefore, the building does not possess this Secondary Character-Defining feature of Modern Contemporary construction.

Summary: Out of the seven applicable Primary Character-Defining features of Modern Contemporary construction expressed in the Modernism Context Statement, the Property possesses two of these features—Angular massing and a horizontal orientation.

#### Modernism Context Statement—Evaluation Criteria

In evaluating the potential significance and eligibility for designation of Modern Contemporary buildings, the Modernism Context Statement notes the following:

• "While this style was relatively popular in San Diego tract construction, many of these homes and buildings have been extensively remodeled diminishing their level of integrity and reducing the abundance of good examples from this sub-style substantially."

The 3220 Sports Arena Boulevard building is located within the Midway community. This community contains an abundance of original, Modern Contemporary structures, some of which have been extensively remodeled and over the years. Nevertheless, the area still contains a number of intact examples of this style.

•"...Houses [buildings] may still poses [sic. possess] significance due to their association with a potential master architect."

Historical research indicates that the 3220 Sports Arena Boulevard building was designed by A.L. Wildey and T. Ota from Newport Beach, California. It is not known whether these individuals were architects and no other examples of their work have been identified. In any event, Wildey and Ota have not been established by the City of San Diego as "master" architects, are not identified in the Modernism Context Statement as a "Contributing Designers Of Modern San Diego" and are not recognized for greatness in the field of

architecture. In particular, the 3220 Sports Arena Boulevard building does not display any "notable" physical characteristics which would warrant recognition.

• "Good examples of this style that retain a high degree of integrity should therefore be considered for individual designation, especially if... associated with a significant architect. Due to the somewhat limited supply of unaltered examples, retention of all character defining features may not be necessary for listing, if comparative analysis demonstrates that the building retains a relatively high degree of integrity compared to other extant examples."

The 3220 Sports Arena Boulevard building does not possess original integrity and is not associated with a significant architect(s) to warrant designation as a "notable" architectural example. Further, it lacks the vast majority of character-defining features of the Modern Contemporary architectural style.

• "The Contemporary style was widely used on major streets and boulevards such as El Cajon Boulevard in North Park, Girard Avenue in La Jolla, Washington Street in Mission Hills, and Rosecrans Boulevard in Point Loma. Buildings in these areas exemplify the style with long horizontal massing, extensive use of glass windows to open the interior space as to the street, updated Moderne elements such as "eyebrow" overhangs, and minimal architectural details on the façade....Signage for Contemporary commercial buildings that is original to the structure should be considered as part of the resource."

The 3220 Sports Arena Boulevard building is a commercial structure which is located along Sports Arena Boulevard (a major street not typically associated with an abundance of Modern Contemporary commercial buildings).

In summary, the 3220 Sports Arena Boulevard building does not possess the General, Primary, or Secondary character-defining features of Modern Contemporary construction to be considered a true, representative example which is significant under the Modernism Context Statement. The building does not meet the potential significance and eligibility criteria for designation under the Modernism Context Statement. As such, the structure does not embody the distinctive characteristics of a type, period, or method of Modern Contemporary construction. The building is not architecturally significant.

## 3240 Sports Arena Boulevard

The 3240 Sports Arena Boulevard building was constructed as a One-Part Commercial Block structure with Modern Contemporary style elements in 1969. In its current appearance, the building is not considered to be a representative example of the One-Part Commercial Block architectural style. In this regard, the structure does not embody the distinctive characteristics of a type, period, or method of One-Part Commercial Block construction.

#### One-Part Commercial Block Architecture

One-Part Commercial Block architecture is an accepted architectural style (Longstreth 1987). The development of distinctive architectural forms for commercial purposes is a recent phenomenon. Buildings accommodating the transaction of business have existed since antiquity, yet examples with physical traits different from those serving other functions were long the exception. The growth of commercial architecture was nowhere more intense and rich in its manifestations than in the United States. America's rise as a major economic power was closely related to the settlement of its territory and the enormous growth of its population. As private enterprise was the principal generator of the nation's development, commercial architecture played a central role in defining the character of its settlements.

According to historian Richard Longstreth, the identification system of commercial architecture is based upon the ways in which a façade is composed. No matter how intricate their details, façade compositions can be reduced to a simple diagram or pattern that reveals the major divisions or elements used. When these patterns appear frequently enough, they can be labeled as types. Collectively, Longstreth has identified 11 types of commercial architecture which were erected before the mid-20<sup>th</sup> century. Each type has characteristics that are easily recognizable. At the same time, these characteristics may encompass numerous variations in size, scale, expression, and decorative motifs.

Commercial architectural types fall into two basic categories. With six types (two-part commercial block, stacked vertical block, two-part vertical block, three-part vertical block, enframed block, and central block with wings), the primary identifying characteristics are the ways in which the façade is divided into distinct sections or zones. Materials, elements (such as doors, windows, cornices, and porticos), decorative details and stylistic expression are secondary characteristics that may relate to, but are at the same time separate from, the basic compositional arrangement. These secondary characteristics may be valuable in describing the special qualities of one building or a group of buildings, but they do not define the underlying common features of the type. Four other types (the enframed window wall, temple front, vault, and arcaded block) have not basic zone divisions. The primary characteristics of this group derive from the arrangement of a few major features such as columns, large openings, and enframing wall surfaces. The configuration of minor elements, materials employed, decorative details, and stylistic expression remain secondary characteristics. Finally, the last type, the one-part commercial block, possesses neither basic zone divisions nor a distinguishing set of major elements. It can instead be seen as a fragment (the lower section of a two-part commercial block).

The One-Part Commercial Block was a popular commercial architectural style across the United States from the 1850s through the 1940s. It has only a single story, which is treated in much the same variety of ways as the lower zone of the two-part commercial block. Essentially, it is a fragment of the larger type and should not be confused with the one-story shop, freestanding and capped by a pitched roof, which could be found in settlements during the 18<sup>th</sup> and 19<sup>th</sup> centuries. Rather than appearing somewhat like a small house or

service facility on a sizable farm or plantation, the One-Part Commercial Block is a simple box with a decorated façade and thoroughly urban in its overtones.

The One-Part Commercial Block type appears to have been developed during the mid-19<sup>th</sup> century and soon became a common feature in towns and cities. It proliferated because of the rapid growth of Victorian communities, large and small, and the hopes speculators held for continued expansion. By catering to the swelling demand for services, these buildings could generate income, yet they represented a comparatively small investment. Often their most important purpose was defraying the costs of land that was likely to increase in value and thus at some future time support a larger, more profitable building. In this sense, the One-Part Commercial Block represented a claim staked on urban ground. Often, these ventures met with success, if not always as soon as anticipated. Examples constructed in cities before 1900 are now rare, although they still abound in places where the pressures for development have not been as intense.

Most One-Part Commercial Blocks constructed during the 19th century were used as retail stores. In many cases, the street frontage is narrow, and the facade comprises little more than plate glass windows and an entry surmounted by a cornice or parapet. A sizable wall area often exists between the windows and cornice to provide a place for advertising and make the façade appear larger and more urban than would otherwise be the case. Some retail stores dating from the early 20<sup>th</sup> century differ little from their Victorian predecessors, except for a greater uninterrupted expanse of plate glass across the front. In cities, the One-Part Commercial Block continued to be popular for modest buildings in neighborhoods. Grouped units are a ubiquitous feature along what once were streetcar lines, where commercial development often grew to be quite extensive. While composed in an orderly manner, most examples from this period have few, if any, historical references. Particularly with retail stores, the configuration permits little embellishment except near the roofline. At a time when simple design was ever more held as a virtue, ornate buildings that were small and provided no more than basic services would have been considered pretentious. Furthermore, investors showed an understandable reluctance to add costly decoration to buildings that might be replaced.

By the 1920s, however, efforts emerged to make the One-Part Commercial Block in suburban areas more ornamental and visually harmonious with its domestic surroundings. The abundance of automobiles and corresponding traffic congestion also fostered the concept that low-density commercial development was preferable, at least in enclaves of the well-to-do. Some of the resulting changes are minor, such as the use of a few decorative embellishments. In other instances, the shift in character may be quite pronounced, with large, picturesque elements modifying the basic configuration.

The 3240 Sports Arena Boulevard building features several physical characteristics which support a One-Part Commercial Block classification. These elements include its original commercial use; one-story form; and wall area between windows and cornice to provide advertising space. However, in its current appearance, the building fails to possess several other typical elements which would denote a true, intact and representative example of this style. For example, the building lacks ornate, decorative embellishments and a lack of

large, picturesque elements. Consideration of a narrow street frontage appears not to have occurred from a conscious design preference, but rather from necessity, given the site location and its tight constraints. Further, the building is devoid of integrated, advertising signage despite abundant space.

For these reasons, the 3240 Sports Arena Boulevard building does not embody the distinctive characteristics of a type, period, or method of One-Part Commercial Block construction.

## Modern Contemporary Architecture

In addition to the One-Part Commercial Block architectural style analysis above, since the building possesses some elements of the Modern Contemporary style, it has also been examined herein under the City of San Diego, San Diego Modernism Historic Context Statement ("Modernism Context Statement").

In October 2007, the City of San Diego developed and implemented the Modernism Context Statement." The stated purpose of the Modernism Context Statement is to "assist in the identification, evaluation and preservation of significant historic buildings, districts, sites and structures associated with the Modernism movement in San Diego from 1935 to 1970" and was created to better understand "Modern era resources and the types of resources that are significant to the history and development of San Diego." The City of San Diego utilizes the Modernism Context Statement in conjunction with the evaluation of potential historical resources constructed within the Modern era from 1935-1970. An examination of the 3240 Sports Arena Boulevard building under the Modernism Context Statement indicates that the structure does not embody the distinctive characteristics of a type, period, or method of Modern Contemporary construction to be eligible for designation.

# <u>Modernism Context Statement—General Characteristics Of The Modern Contemporary</u> Style

According to the Modernism Context Statement, Modern Contemporary style buildings were generally constructed between 1955-1965. They employed the latest styles and materials including such modern features as interior courtyards, aluminum framed windows, sliding-glass doors, and attached carports or garages (for homes). Some also included upgrades to basic model units, allowing a homeowner to customize their properties. In addition to residential construction, Modern Contemporary buildings also included commercial structures and streetscapes. These buildings display many of the same design features as Contemporary style homes, such as angular massing, varied materials use, and unusual roof forms.

The 3240 Sports Arena Boulevard building has only limited, general characteristics associated with the Modern Contemporary architectural style. As an initial matter, the structure was built in 1969, after the generally recognized "period of significance" for Modern Contemporary structures (i.e. 1955-1965). Further, the building lacks interior

courtyards; sliding glass doors; varied use of exterior building materials (the exterior largely consists of stucco with a stone veneer accent); and an unusual roof form (the roof is flat). Based upon the foregoing, therefore, the structure does not possess an abundance of general characteristics indicative of Modern Contemporary construction as detailed in the Modernism Context Statement.

# Modernism Context Statement—Primary-Character Defining Features

According to the Modernism Context Statement, there are three (3) "Primary" Character-Defining features of Modern Contemporary construction. The following Primary character-defining features noted in the Modernism Context Statement have been specifically applied to the Property, accordingly:

1. Strong roof forms, including flat, gabled, shed or butterfly, typically with deep overhangs.

The 3240 Sports Arena Boulevard building has a flat roof with no eave overhangs. This roof is not considered to be "strong." Therefore, the building does not possess this Primary Character-Defining feature of Modern Contemporary construction.

2. Large windows, often aluminum framed.

The 3240 Sports Arena Boulevard building contains several large, aluminum storefront windows. Therefore, the building possesses this Primary Character-Defining feature of the Modern Contemporary construction.

3. Non-traditional exterior finishes, including vertical wood siding, concrete block, stucco, flagstone and mullion-free glass.

The 3240 Sports Arena Boulevard building generally features a stucco exterior with some limited areas of stone veneer. No vertical wood siding, concrete block, flagstone, or mullion-free glass exists. Therefore, the building does not possess this Primary Character-Defining feature of Modern Contemporary construction.

Summary: Of the three Primary Character-Defining features of Modern Contemporary construction expressed in the Modernism Context Statement, the Property possesses one of these features--Large aluminum framed windows.

#### Modernism Context Statement—Secondary Character-Defining Features

According to the Modernism Context Statement, there are eight (8) "Secondary" Character-Defining features of Modern Contemporary construction. The following Secondary character-defining features noted in the Modernism Context Statement have been specifically applied to the Property, accordingly:

#### 1. Angular massing.

The 3240 Sports Arena Boulevard building features one-story, angular massing. Therefore, the building possesses this Secondary Character-Defining feature of Modern Contemporary construction.

2. Sunshades, screens or shadow block accents.

The 3240 Sports Arena Boulevard building does not feature any sunshades, screens, or shadow block accents. Therefore, the building does not possess this Secondary Character-Defining feature of Modern Contemporary construction.

3. Attached garages or carports for homes.

As a commercial structure, this Secondary Character-Defining features of Modern Contemporary construction is inapplicable to the 3240 Sports Arena Boulevard building.

4. Split-level design, especially on sloped residential sites.

The 3240 Sports Arena Boulevard building does not feature a split-level design. The structure is one-story in height. Therefore, the building does not possess this Secondary Character-Defining feature of Modern Contemporary construction.

5. Horizontally oriented commercial buildings.

The 3240 Sports Arena Boulevard building is a commercial structure and is horizontally oriented. Therefore, the building possesses this Secondary Character-Defining feature of Modern Contemporary construction.

6. Distinctive triangular, parabolic or arched forms.

The 3240 Sports Arena Boulevard building does not feature any triangular, parabolic or arched forms. Therefore, the building does not possess this Secondary Character-Defining feature of Modern Contemporary construction.

7. "Eyebrow" overhangs on commercial buildings; and

The 3240 Sports Arena Boulevard building is a commercial structure, but it lacks an "eyebrow" overhang. Therefore, the building does not possess this Secondary Character-Defining feature of Modern Contemporary construction.

8. Integrated, stylized signage on commercial buildings.

The 3240 Sports Arena Boulevard building is a commercial structure, but it does not feature integrated, stylized signage. Therefore, the building does not possess this Secondary Character-Defining feature of Modern Contemporary construction.

Summary: Out of the seven applicable Primary Character-Defining features of Modern Contemporary construction expressed in the Modernism Context Statement, the Property possesses two of these features—Angular massing and a horizontal orientation.

#### Modernism Context Statement—Evaluation Criteria

In evaluating the potential significance and eligibility for designation of Modern Contemporary buildings, the Modernism Context Statement notes the following:

• "While this style was relatively popular in San Diego tract construction, many of these homes and buildings have been extensively remodeled diminishing their level of integrity and reducing the abundance of good examples from this sub-style substantially."

The 3240 Sports Arena Boulevard building is located within the Midway community. This community contains an abundance of original, Modern Contemporary structures, some of which have been extensively remodeled and over the years. Nevertheless, the area still contains a number of intact examples of this style.

• "...Houses [buildings] may still poses [sic. possess] significance due to their association with a potential master architect."

Historical research indicates that the 3240 Sports Arena Boulevard building was designed by John S.M. Daniels. It is not known whether Daniels was, in fact, an architect, and no other examples of his work have been identified. In any event, Daniels has not been established by the City of San Diego as "master" architect, is not identified in the Modernism Context Statement as a "Contributing Designer Of Modern San Diego" and is not recognized for greatness in the field of architecture. In particular, the 3240 Sports Arena Boulevard building does not display any "notable" physical characteristics which would warrant recognition.

• "Good examples of this style that retain a high degree of integrity should therefore be considered for individual designation, especially if...associated with a significant architect. Due to the somewhat limited supply of unaltered examples, retention of all character defining features may not be necessary for listing, if comparative analysis demonstrates that the building retains a relatively high degree of integrity compared to other extant examples."

The 3240 Sports Arena Boulevard building possesses original integrity but is not associated with a significant architect to warrant designation as a "notable" architectural example. Further, it lacks the vast majority of character-defining features of the Modern Contemporary architectural style.

•"The Contemporary style was widely used on major streets and boulevards such as El Cajon Boulevard in North Park, Girard Avenue in La Jolla, Washington Street in Mission Hills, and Rosecrans Boulevard in Point Loma. Buildings in these areas exemplify the style with long horizontal massing, extensive use of glass windows to open the interior

space as to the street, updated Moderne elements such as "eyebrow" overhangs, and minimal architectural details on the façade....Signage for Contemporary commercial buildings that is original to the structure should be considered as part of the resource."

The 3240 Sports Arena Boulevard building is a commercial structure which is located along Sports Arena Boulevard (a major street not typically associated with an abundance of Modern Contemporary commercial buildings).

In summary, the 3240 Sports Arena Boulevard building does not possess the General, Primary, or Secondary character-defining features of Modern Contemporary construction to be considered a true, representative example which is significant under the Modernism Context Statement. The building does not meet the potential significance and eligibility criteria for designation under the Modernism Context Statement. As such, the structure does not embody the distinctive characteristics of a type, period, or method of Modern Contemporary construction. The building is not architecturally significant.

## 3250 Sports Arena Boulevard

Historical research indicates that the 3250 Sports Arena Boulevard building was originally constructed as a one and two-story Modern Contemporary style commercial structure in 1967. The building was originally one and two-stories in height, with a flat roof with slender vertical wood fascia panels, and vertical wood exterior siding. Over the course of its existence, however, the structure was subject to first and second story additions in 1969, 1970, 1972, 1975, 1977, and 1989. These changes compromised the original integrity of the building to the extent that the structure today no longer resembles its original design/construction. An examination of the 3250 Sports Arena Boulevard building under the Modernism Context Statement indicates that the structure does not embody the distinctive characteristics of a type, period, or method of Modern Contemporary construction to be eligible for designation.

In October 2007, the City of San Diego developed and implemented the Modernism Context Statement." The stated purpose of the Modernism Context Statement is to "assist in the identification, evaluation and preservation of significant historic buildings, districts, sites and structures associated with the Modernism movement in San Diego from 1935 to 1970" and was created to better understand "Modern era resources and the types of resources that are significant to the history and development of San Diego." The City of San Diego utilizes the Modernism Context Statement in conjunction with the evaluation of potential historical resources constructed within the Modern era from 1935-1970.

# <u>Modernism Context Statement—General Characteristics Of The Modern Contemporary</u> Style

According to the Modernism Context Statement, Modern Contemporary style buildings were generally constructed between 1955-1965. They employed the latest styles and materials including such modern features as interior courtyards, aluminum framed windows, sliding-glass doors, and attached carports or garages (for homes). Some also included upgrades to basic model units, allowing a homeowner to customize their

properties. In addition to residential construction, Modern Contemporary buildings also included commercial structures and streetscapes. These buildings display many of the same design features as Contemporary style homes, such as angular massing, varied materials use, and unusual roof forms.

The 3250 Sports Arena Boulevard building lacks all original general characteristics associated with the Modern Contemporary architectural style. Built in 1967, after the generally recognized "period of significance" for Modern Contemporary structures (i.e. 1955-1965), the structure lacks any and all original elements of the style, including angular massing, an unusual roof form; interior courtyards; sliding glass doors; and a varied use of exterior building materials. Based upon the foregoing, therefore, the structure does not possess the general characteristics indicative of Modern Contemporary construction as detailed in the Modernism Context Statement.

## Modernism Context Statement—Primary-Character Defining Features

According to the Modernism Context Statement, there are three (3) "Primary" Character-Defining features of Modern Contemporary construction. The following Primary character-defining features noted in the Modernism Context Statement have been specifically applied to the Property, accordingly:

1. Strong roof forms, including flat, gabled, shed or butterfly, typically with deep overhangs.

The 3250 Sports Arena Boulevard building does not have an original, strong roof form with deep eave overhangs. Therefore, the building does not possess this Primary Character-Defining feature of Modern Contemporary construction.

2. Large windows, often aluminum framed.

The 3250 Sports Arena Boulevard building does not have original, large aluminum windows. Therefore, the building does not possess this Primary Character-Defining feature of the Modern Contemporary construction.

3. Non-traditional exterior finishes, including vertical wood siding, concrete block, stucco, flagstone and mullion-free glass.

The 3250 Sports Arena Boulevard building does not have original, non-traditional exterior finishes. Therefore, the building does not possess this Primary Character-Defining feature of Modern Contemporary construction.

Summary: Of the three Primary Character-Defining features of Modern Contemporary construction expressed in the Modernism Context Statement, the Property possesses none of these features.

## Modernism Context Statement—Secondary Character-Defining Features

According to the Modernism Context Statement, there are eight (8) "Secondary" Character-Defining features of Modern Contemporary construction. The following Secondary character-defining features noted in the Modernism Context Statement have been specifically applied to the Property, accordingly:

## 1. Angular massing.

The 3250 Sports Arena Boulevard building does not feature original, angular massing. Therefore, the building does not possess this Secondary Character-Defining feature of Modern Contemporary construction.

2. Sunshades, screens or shadow block accents.

The 3250 Sports Arena Boulevard building does not feature any original sunshades, screens, or shadow block accents. Therefore, the building does not possess this Secondary Character-Defining feature of Modern Contemporary construction.

3. Attached garages or carports for homes.

As a commercial structure, this Secondary Character-Defining features of Modern Contemporary construction is inapplicable to the 3250 Sports Arena Boulevard building.

4. Split-level design, especially on sloped residential sites.

The 3250 Sports Arena Boulevard building does not feature an original split-level design. Therefore, the building does not possess this Secondary Character-Defining feature of Modern Contemporary construction.

5. Horizontally oriented commercial buildings.

The 3250 Sports Arena Boulevard building is a commercial structure but does not feature an original, horizontal orientation. Therefore, the building does not possess this Secondary Character-Defining feature of Modern Contemporary construction.

6. Distinctive triangular, parabolic or arched forms.

The 3250 Sports Arena Boulevard building does not feature original, distinctive triangular, parabolic or arched forms. Therefore, the building does not possess this Secondary Character-Defining feature of Modern Contemporary construction.

7. "Eyebrow" overhangs on commercial buildings; and

The 3250 Sports Arena Boulevard building is a commercial structure, but it lacks original, "eyebrow" overhangs. Therefore, the building does not possess this Secondary Character-Defining feature of Modern Contemporary construction.

8. Integrated, stylized signage on commercial buildings.

The 3250 Sports Arena Boulevard building is a commercial structure, but it does not feature original, integrated and stylized signage. Therefore, the building does not possess this Secondary Character-Defining feature of Modern Contemporary construction.

Summary: Out of the seven applicable Primary Character-Defining features of Modern Contemporary construction expressed in the Modernism Context Statement, the Property does not possess any of these features.

#### Modernism Context Statement—Evaluation Criteria

In evaluating the potential significance and eligibility for designation of Modern Contemporary buildings, the Modernism Context Statement notes the following:

• "While this style was relatively popular in San Diego tract construction, many of these homes and buildings have been extensively remodeled diminishing their level of integrity and reducing the abundance of good examples from this sub-style substantially."

The 3250 Sports Arena Boulevard building is located within the Midway community. This community contains an abundance of original, Modern Contemporary structures, some of which have been extensively remodeled and over the years. Nevertheless, the area still contains a number of intact examples of this style.

•"...Houses [buildings] may still poses [sic. possess] significance due to their association with a potential master architect."

Historical research indicates that the 3250 Sports Arena Boulevard building was designed by the architectural firm of Weber & Edwards. This firm was composed of architects James Weber and Robert Edwards. Neither Weber or Edwards have been established by the City of San Diego as "master" architects, are not identified in the Modernism Context Statement as "Contributing Designers Of Modern San Diego," and are not recognized for greatness in the field of architecture. In particular, the 3250 Sports Arena Boulevard building does not display any "notable" physical characteristics, original or otherwise, which would warrant recognition.

• "Good examples of this style that retain a high degree of integrity should therefore be considered for individual designation, especially if... associated with a significant architect. Due to the somewhat limited supply of unaltered examples, retention of all character defining features may not be necessary for listing, if comparative analysis

demonstrates that the building retains a relatively high degree of integrity compared to other extant examples."

The 3250 Sports Arena Boulevard building does not possess original integrity and is not associated with significant architects to warrant designation as a "notable" architectural example. Further, it lacks all character-defining features of the Modern Contemporary architectural style.

• "The Contemporary style was widely used on major streets and boulevards such as El Cajon Boulevard in North Park, Girard Avenue in La Jolla, Washington Street in Mission Hills, and Rosecrans Boulevard in Point Loma. Buildings in these areas exemplify the style with long horizontal massing, extensive use of glass windows to open the interior space as to the street, updated Moderne elements such as "eyebrow" overhangs, and minimal architectural details on the façade....Signage for Contemporary commercial buildings that is original to the structure should be considered as part of the resource."

The 3250 Sports Arena Boulevard building is a commercial structure which is located along Sports Arena Boulevard (a major street not typically associated with an abundance of Modern Contemporary commercial buildings).

In summary, the 3250 Sports Arena Boulevard building does not possess original General, Primary, or Secondary character-defining features of Modern Contemporary construction to be considered a true, representative example which is significant under the Modernism Context Statement. The building does not meet the potential significance and eligibility criteria for designation under the Modernism Context Statement. As such, the structure does not embody the distinctive characteristics of a style, type, period, or method of Modern Contemporary construction. The building is not architecturally significant.

## 3350 Sports Arena Boulevard

The 3350 Sports Arena Boulevard building was constructed in 1978 in a Modern Contemporary architectural style. In October 2007, the City of San Diego developed and implemented the Modernism Context Statement." The stated purpose of the Modernism Context Statement is to "assist in the identification, evaluation and preservation of significant historic buildings, districts, sites and structures associated with the Modernism movement in San Diego from 1935 to 1970" and was created to better understand "Modern era resources and the types of resources that are significant to the history and development of San Diego." The City of San Diego utilizes the Modernism Context Statement in conjunction with the evaluation of potential historical resources constructed within the Modern era from 1935-1970.

An examination of the 3350 Sports Arena Boulevard building under the Modernism Context Statement indicates that the structure does not embody the distinctive characteristics of a type, period, or method of Modern Contemporary construction to be eligible for designation.

# Modernism Context Statement—General Characteristics Of The Modern Contemporary Style

According to the Modernism Context Statement, Modern Contemporary style buildings were generally constructed between 1955-1965. They employed the latest styles and materials including such modern features as interior courtyards, aluminum framed windows, sliding-glass doors, and attached carports or garages (for homes). Some also included upgrades to basic model units, allowing a homeowner to customize their properties. In addition to residential construction, Modern Contemporary buildings also included commercial structures and streetscapes. These buildings display many of the same design features as Contemporary style homes, such as angular massing, varied materials use, and unusual roof forms.

The 3350 Sports Arena Boulevard building has only limited, general characteristics associated with the Modern Contemporary architectural style. As an initial matter, the structure was built in 1978, well after the generally recognized "period of significance" for Modern Contemporary structures (i.e. 1955-1965). Further, the building lacks interior courtyards; sliding glass doors; varied use of exterior building materials (the exterior largely consists of masonry/concrete block with some wood panels); and an unusual roof form (the roof is flat). Based upon the foregoing, therefore, the structure does not possess an abundance of general characteristics indicative of Modern Contemporary construction as detailed in the Modernism Context Statement.

## Modernism Context Statement—Primary-Character Defining Features

According to the Modernism Context Statement, there are three (3) "Primary" Character-Defining features of Modern Contemporary construction. The following Primary character-defining features noted in the Modernism Context Statement have been specifically applied to the Property, accordingly:

1. Strong roof forms, including flat, gabled, shed or butterfly, typically with deep overhangs.

The 3350 Sports Arena Boulevard building has a flat roof with no eave overhangs. This roof is not considered to be "strong." Therefore, the building does not possess this Primary Character-Defining feature of Modern Contemporary construction.

2. Large windows, often aluminum framed.

The 3350 Sports Arena Boulevard building contains several large storefront windows. However, they appear to be metal and not aluminum. Therefore, the building does not possess this Primary Character-Defining feature of the Modern Contemporary construction.

3. Non-traditional exterior finishes, including vertical wood siding, concrete block, stucco, flagstone and mullion-free glass.

The 3350 Sports Arena Boulevard building features a masonry/concrete block exterior with some wood panels. No vertical wood siding, stucco, flagstone, or mullion-free glass exists. Therefore, the building does not possess this Primary Character-Defining feature of Modern Contemporary construction.

Summary: Of the three Primary Character-Defining features of Modern Contemporary construction expressed in the Modernism Context Statement, the Property possesses none of these features.

## Modernism Context Statement—Secondary Character-Defining Features

According to the Modernism Context Statement, there are eight (8) "Secondary" Character-Defining features of Modern Contemporary construction. The following Secondary character-defining features noted in the Modernism Context Statement have been specifically applied to the Property, accordingly:

## 1. Angular massing.

The 3350 Sports Arena Boulevard building features one-story, angular massing. Therefore, the building possesses this Secondary Character-Defining feature of Modern Contemporary construction.

2. Sunshades, screens or shadow block accents.

The 3350 Sports Arena Boulevard building does not feature any sunshades, screens, or shadow block accents. Therefore, the building does not possess this Secondary Character-Defining feature of Modern Contemporary construction.

3. Attached garages or carports for homes.

As a commercial structure, this Secondary Character-Defining features of Modern Contemporary construction is inapplicable to the 3350 Sports Arena Boulevard building.

4. Split-level design, especially on sloped residential sites.

The 3350 Sports Arena Boulevard building does not feature a split-level design. The structure is one-story in height. Therefore, the building does not possess this Secondary Character-Defining feature of Modern Contemporary construction.

5. Horizontally oriented commercial buildings.

The 3350 Sports Arena Boulevard building is a commercial structure and is horizontally oriented. Therefore, the building possesses this Secondary Character-Defining feature of Modern Contemporary construction.

6. Distinctive triangular, parabolic or arched forms.

The 3350 Sports Arena Boulevard building does not feature any triangular, parabolic or arched forms. Therefore, the building does not possess this Secondary Character-Defining feature of Modern Contemporary construction.

7. "Eyebrow" overhangs on commercial buildings; and

The 3350 Sports Arena Boulevard building is a commercial structure, but it lacks "eyebrow" overhangs. Therefore, the building does not possess this Secondary Character-Defining feature of Modern Contemporary construction.

8. Integrated, stylized signage on commercial buildings.

The 3350 Sports Arena Boulevard building is a commercial structure, but it does not feature integrated, stylized signage. Therefore, the building does not possess this Secondary Character-Defining feature of Modern Contemporary construction.

Summary: Out of the seven applicable Primary Character-Defining features of Modern Contemporary construction expressed in the Modernism Context Statement, the Property possesses two of these features—Angular massing and a horizontal orientation.

## Modernism Context Statement—Evaluation Criteria

In evaluating the potential significance and eligibility for designation of Modern Contemporary buildings, the Modernism Context Statement notes the following:

• "While this style was relatively popular in San Diego tract construction, many of these homes and buildings have been extensively remodeled diminishing their level of integrity and reducing the abundance of good examples from this sub-style substantially."

The 3350 Sports Arena Boulevard building is located within the Midway community. This community contains an abundance of original, Modern Contemporary structures, some of which have been extensively remodeled and over the years. Nevertheless, the area still contains a number of intact examples of this style.

•"...Houses [buildings] may still poses [sic. possess] significance due to their association with a potential master architect."

Historical research indicates that the 3350 Sports Arena Boulevard building was designed by architect Roy Johnson of La Mesa, California. Aside from the 3350 Sports Arena Boulevard building, no other examples of Johnson's work have been identified. In any event, Johnson has not been established by the City of San Diego as a "master" architect, is not identified in the Modernism Context Statement as a "Contributing Designer Of Modern San Diego" and is not recognized for greatness in the field of architecture. In particular, the 3350 Sports Arena Boulevard building does not display any "notable" physical characteristics which would warrant recognition.

• "Good examples of this style that retain a high degree of integrity should therefore be considered for individual designation, especially if... associated with a significant architect. Due to the somewhat limited supply of unaltered examples, retention of all character defining features may not be necessary for listing, if comparative analysis demonstrates that the building retains a relatively high degree of integrity compared to other extant examples."

The 3350 Sports Arena Boulevard building possesses original integrity but is not associated with a significant architect(s) to warrant designation as a "notable" architectural example. Further, it lacks the vast majority of character-defining features of the Modern Contemporary architectural style.

• "The Contemporary style was widely used on major streets and boulevards such as El Cajon Boulevard in North Park, Girard Avenue in La Jolla, Washington Street in Mission Hills, and Rosecrans Boulevard in Point Loma. Buildings in these areas exemplify the style with long horizontal massing, extensive use of glass windows to open the interior space as to the street, updated Moderne elements such as "eyebrow" overhangs, and minimal architectural details on the façade....Signage for Contemporary commercial buildings that is original to the structure should be considered as part of the resource."

The 3350 Sports Arena Boulevard building is a commercial structure which is located along Sports Arena Boulevard (a major street not typically associated with an abundance of Modern Contemporary commercial buildings).

In summary, the 3350 Sports Arena Boulevard building does not possess the General, Primary, or Secondary character-defining features of Modern Contemporary construction to be considered a true, representative example which is significant under the Modernism Context Statement. The building does not meet the potential significance and eligibility criteria for designation under the Modernism Context Statement. As such, the structure does not embody the distinctive characteristics of a type, period, or method of Modern Contemporary construction. The building is not architecturally significant.

#### Work of an Important, Creative Individual

The 3220, 3240, 3250 and 3350 Sports Arena Boulevard buildings do not qualify under California Register Criterion 3: Design/Construction as structures which represent the works of important, creative individuals. The identities of the individuals or entities responsible for the original design/construction and/or the additions made to the 3220, 3240, 3250 and 3350 Sports Arena Boulevard buildings include A.L. Wildey, T. Ota, John S.M. Daniels, Melhorn Construction Company, Weber & Edwards, S/W Associates, Architects, Robert K. Burkett, George J. Fletcher, Don Coorot, Roy Johnson, Don Koll Company, Inc., McKee Construction Company, Dixieline Lumber Company, and G.L. Frieh Construction Company. None of these individuals or firms have been established as "masters," and the Properties does not possess any physical elements or characteristics which can be considered "notable."

## Possessing High Artistic Values

The 3220, 3240, 3250 and 3350 Sports Arena Boulevard buildings do not qualify under California Register Criterion 3: Design/Construction as structures which possess high artistic values. The buildings do not articulate a particular concept of design to the extent that an aesthetic ideal is expressed.

#### Criterion 4: Information Potential

A property may be eligible under Criterion 4 if they have yielded, or may be likely to yield, information important in prehistory or history.

The 3220, 3240, 3250 and 3350 Sports Arena Boulevard buildings do not qualify under California Register Criterion 4: Information Potential as the Properties have not yielded, and are not likely to yield, information important in terms of history or prehistory.

#### **Findings and Conclusions**

#### Impacts Discussion

The present study has determined that the 3220, 3240, 3250 and 3350 Sports Arena Boulevard buildings are not historically and/or architecturally significant under local, state, and national significance criteria. Since the Properties have been determined to be ineligible for the local, state, and national registers, and are therefore not significant, the Midway Rising Project will not impact historical resources.

#### Application of City of San Diego CEQA Significance Criteria

According to the City of San Diego Land Development Code, *Historical Resources Guidelines* (Adopted September 28, 1999; Amended June 6, 2000; April 30, 2001), the determination of potential significance for historic buildings, structures, and objects, and

landscapes is based on age, location, context, association with an important person or event, uniqueness, and integrity.

## <u>Age</u>

The 3220, 3240, 3250 and 3350 Sports Arena Boulevard buildings were constructed between 1967-1978. As such, they are approximately 46-57 years of age.

#### Location

The 3220, 3240, 3250 and 3350 Sports Arena Boulevard buildings have remained in their current locations since their original construction.

#### Context

The physical environment surrounding the 3220, 3240, 3250 and 3350 Sports Arena Boulevard buildings has been substantially changed to the extent that their original context has also been altered.

#### Association-Event

Historical research failed to reveal any historically important event(s) at the local, state, or national levels ever having been associated with the 3220, 3240, 3250 and 3350 Sports Arena Boulevard buildings.

#### Association—Person

Historical research failed to reveal any historically important persons at the local, state, or national levels ever having been associated with the 3220, 3240, 3250 and 3350 Sports Arena Boulevard buildings.

#### *Uniqueness–Architecture*

The 3220, 3240, 3250 and 3350 Sports Arena Boulevard buildings were designed in the Modern Contemporary architectural style. This style is not considered unique.

## <u>Uniqueness–Use</u>

The Properties were designed and constructed as commercial structures. This type of use is not unique.

### **Structural Integrity**

The 3220, 3240, 3250 and 3350 Sports Arena Boulevard buildings appear to be structurally sound and possess a sufficient degree of structural integrity.

### **Application of CEQA**

#### Public Resources Code

CEQA Public Resources Code §21084.1 provides that any project that may cause a substantial adverse change in the significance of an historical resource is a project that may have a significant effect on the environment. Public Resources Code Section §5020.1(q) defines "substantial adverse change" as demolition, destruction, relocation, or alteration such that the significance of the historical resource would be impaired. Public Resources Code Section §5024.1, an historical resource is a resource that is listed in, or determined to be eligible for listing in, the California Register of Historical Resources. A resource may be listed as an historical resource in the California Register if it meets any of the following National Register of Historic Places criteria: 1) is associated with events that have made a significant contribution to the broad patterns of California's history and cultural heritage; 2) is associated with the lives of persons important in our past; 3) embodies the distinctive characteristics of a type, period, region, or method of construction, or represents the work of an important creative individual, or possesses high artistic values; or 4) has yielded, or may likely yield information important in prehistory or history. In addition, an historical resource is a resource that is listed in, or determined to be eligible for listing in the California Register of Historical Resources; a resource that is included in a local register of historical resources; or is identified as significant in an historical resource survey if that survey meets specified criteria.

### a) Event Association:

The 3220, 3240, 3250 and 3350 Sports Arena Boulevard buildings do not qualify under event association as resources which are associated with events that have made a significant contribution to the broad patterns of California's history and cultural heritage. Historical research indicates that the buildings were never associated with any event or events that have made a significant contribution to California's history and cultural heritage.

#### b) Individual Association:

The 3220, 3240, 3250 and 3350 Sports Arena Boulevard buildings do not qualify under individual association as resources which are associated with the lives of persons important in our past. Historical research indicates that the buildings were never associated with any individual or individuals, or any entity or entities, which are important in local, state, or national history.

#### c) Design/Construction:

The 3220, 3240, 3250 and 3350 Sports Arena Boulevard buildings do not embody the distinctive characteristics of a type, period, or method of construction; do not represent the work of an important creative individual; and do not possess high artistic values.

#### d) Information Potential:

The 3220, 3240, 3250 and 3350 Sports Arena Boulevard buildings do not qualify under information potential as resources which have yielded, or may likely yield, information important in prehistory or history.

As structures which are not historically or architecturally significant, the 3220, 3240, 3250 and 3350 Sports Arena Boulevard buildings are not eligible for listing in the California Register of Historical Resources, the California Historic Resources Inventory, the National Register of Historic Places, or the San Diego Historical Resources Board Register.

#### **CEQA** Guidelines

According to CEQA Guidelines §15064.5(a)(3), a lead agency can find a resource historic if the resource has been determined to be significant in the architectural, engineering, scientific, economic, agricultural, educational, social, political, military, or cultural annals of California, provided that the determination is supported by substantial evidence in light of the whole record.

The 3220, 3240, 3250 and 3350 Sports Arena Boulevard buildings have been determined not to be significant in the architectural, engineering, scientific, economic, agricultural, educational, social, political, military, or cultural annals of California. The buildings, therefore, do not qualify as historical resources under CEQA Guidelines §15064.5(a)(3).

The present study has determined that the Properties are not historically and/or architecturally significant under local, state, and national significance criteria. Therefore, the Midway Rising Project which proposes to remove the structures and construct a mixed-use redevelopment of the project site for recreation, entertainment, residential, and commercial uses, will not cause a substantial adverse change in the significance of a historical resource, or historical resources, or have a significant effect on the environment.

#### Mitigation Measures

Since the Midway Rising Project which proposes the removal of the Properties and new redevelopment on site, will not cause a substantial adverse change in the significance of a historical resource, or historical resources, no mitigation is required.

#### Conclusion

The Properties are defined as 3220 Sports Arena Boulevard (Assessor's Parcel Number 760-102-04-00; a portion of Pueblo Lot 337); 3240 Sports Arena Boulevard (Assessor's Parcel Number 760-102-05-00; portions of Pueblo Lots 313, 314, 332, and 338); 3250 Sports Arena Boulevard (760-102-01-00; portions of Pueblo Lots 313, 319, 337, and 338); and 3350 Sports Arena Boulevard (760-102-32-00; portions of Pueblo Lots 313 and 338). They are owned by the City of San Diego (a Public Agency).

The Properties largely consist of one and two-story, One-Part Commercial Block and/or Modern Contemporary style commercial buildings constructed between 1967-1978. Historical research indicates that the Properties are not historically and/or architecturally significant. None of the buildings are associated with any important events or individuals; do not embody the distinctive characteristics of a style, type, period, or method of One-Part Commercial Block and/or Modern Contemporary construction; do not represent the notable works of "master" architects and/or important, creative individuals; or possess high artistic values. Consequently, the Properties are not eligible for listing in the National Register of Historic Places, the California Register of Historical Resources, the California Historic Resources Inventory, or the San Diego Historical Resources Board Register.

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# APPENDIX A BUILDING DEVELOPMENT INFORMATION

## SAN DIEGO COUNTY ASSESSOR'S BUILDING RECORDS

#### NOT AVAILABLE

Note County Building Records Are Not Available Since Properties Are Owned By Public Agency (City Of San Diego)

#### NOTICES OF COMPLETION

3220 SPORTS ARENA BOULEVARD—NOT RECORDED/NOT AVAILABLE 3240 SPORTS ARENA BOULEVARD--NOT RECORDED/NOT AVAILABLE 3250 SPORTS ARENA BOULEVARD—RECORDED ON NOVEMBER 6, 1967 3350 SPORTS ARENA BOULEVARD—RECORDED ON NOVEMBER 16, 1978, NOVEMBER 24, 1982 & SEPTEMBER 24, 2002

856

FILE/PAGE NO 173540 RECORDING REQUESTED BY RECORDED REQUEST OF Dixieline Lumber Co. G. Free Nov & 10 59 AH '67 WHEN RECORDED MAIL TO SERIES 8 BOOK 1967 OFFICIAL RECORDS SAN DIEGO COUNTY, CALIF. A. S. GRAY, RECORDER Dixieline Lumber Co. 3250 Frontier St. \$2.00 San Diego, California ACE ABOVE THIS LINE FOR RECORDER'S US NOTICE OF COMPLETION NOTICE IS HEREBY GIVEN THAT: The undersigned is OWNER of the interest or estate stated below in the property hereinafter described.
 The FULL NAME of the undersigned is <u>Dixieline Lumber Co.</u>
 The FULL ADDRESS of the undersigned is <u>3250 Prontier Dr. San Diego</u>, Galif. 4. The NATURE OF THE INTEREST or ESTATE of the undersigned is: In-fee- lessee (If other than fee, strike "in fee" and insert, for example, "purchaser under contract of purchase," or "lessee.") 5. The FULL NAMES and FULL ADDRESSES of ALL PERSONS, If any, WHO HOLD SUCH INTEREST or ESTATE with the undersigned as JOINT TENANTS or as TENANTS IN COMMON are: NAMES ADDRESSES 6. The full names and full addresses of the predecessors in interest of the undersigned if the property was transferred subsequent to the commencement of the work of improvement herein referred to: NAMES Nov. 6, 1967 7. A work of improvement on the property herainafter described was COMPLETED... The NAME OF THE ORIGINAL CONTRACTOR, if any, for such work of improvement is Nickee Construction Co. (If no contractor, Insert "none.")
3250 Frontier Dr., San Diego 9. The street address of said property is 3250 Frontier Dr., San Diego

10. The property on which said work of improvement was completed is in the City of San Diego

County of San Diego, State of California, and is described as follows: Port. of Pueblo, Lots 313, 314, 337 STATE OF CALIFORNIA COUNTY OF Dixieline Lumber Co., Inc. Hy: The above subscribed, being duly sworn, says: That \_he is the owner of the aforesaid interest or estate in the property described in the foregoing notice; that \_he has read the same and knows the contents thereof, and that the facts stated SUBSCRIBED AND SWORN TO before me Verification for PARTNERSHI STATE OF CALIFORNIA COUNTY OF Natary Public in and for said county and state. Verification for CORPORATE owners STATE OF CALIFORNIA COUNTY OF SAIL DIEGO being duly sworn, says: That he is one of the partners of the foregoing notice as owner of the storaseld interest or estate in the property therein described; that he makes this verification on behalf of said partnership; that he has read said notice and knows the contents thereof, and that the facts therein statud are true. Cowling. being duly sworn, says: Dixieline Lumber Co. SUBSCRIBED AND SWORN TO before me Notery Public in and for said count O+O+O+O+O+O+C 1967 CILFRED BUSE, LORI Nov. Freese NOTARY PUBLIC - CALIFORNIA PRINCIPAL OFFICE IN SAN DIEGO COUNTY +0,0+0+0+0+0+<del>0+0</del> ol. Apires April 25, 1870

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SAN DIEGO,CA Document: NC 1978.497384 Page 1 of 2

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Order No. 843098-M Escrow No. 912	_82-363909						
Loan No.	OFFICIAL RECORDS OF SAN DIEGO COUNTY, CA.						
RECORDED REQUEST OF FIRST AMERICAN TITLE 30. WHEN RECORDED MAIL TO:	1982 NOV 24 PM 1: 31						
Sumac Development, Inc. 1138 D Street	COUNTY RECORDER						
Ramona, CA 92065	RF 3						
NOTICE O	SPACE ABOVE THIS LINE FOR RECORDER'S USE						
NOTICE IS HEREBY GIVEN THAT:  1. The undersigned is OWNER of the interest MOMENTED  2. The FULL NAME of the undersigned isSumac_	stated below in the property hereinafter described.						
3. The FULL ADDRESS of the undersigned is 1138 D							
4. The NATURE OF THE INTEREST XXXXXXXXXXXXXXXXXXXXXXXXXXXXXXXXXXXX							
(if other than fee, strike "in fee" and insert, for example, "purchaser under contract of purchase," or "lessee.")  5. The FULL NAMES and FULL ADDRESSES of ALL PERSONS, if any, WHO HOLD SUCH INTEREST or ESTATE with the undersigned as JOINT TENANTS or as TENANTS IN COMMON are:  NAMES  NONE  ADDRESSES  NONE							
The full names and full addresses of the predecessor subsequent to the commencement of the work of improvement NONE	rs in interest of the undersigned if the property was transferred rovement herein referred to:  ADDRESSES						
7. A work of improvement on the property hereinafter of 8. The NAME OF THE ORIGINAL CONTRACTOR, if any, Sumac Development, Inc.	described was COMPLETED. November 15, 1982 for such work of improvement is.						
9. The street address of said property is 3350 Spot 10. The property on which said work of improvement was	ter, intert "none.")  ts Arean Blvd., San Diego, CA  completed is in the City of San Diego alifornia, and is described as follows:						
This document is filed for yr Company as as zecomball soums to responsibility :	EL 32, SUITE "H", SAN DIEGO COUNTY RECORDS  ability second by First American Hills  as sarvices only. Said Company  failors liability and to the validity of  allows thereof upon Hills to the  Signature of  owner named in paragraph 2  Sumac Development, Inc.						
	the owner of the aforesaid interest or estate in the property knows and understands the contents thereof, and that the facts Verification for PARTNESHIP owner: STATE OF CALIFORNIA COUNTY OF						
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RECORDING REQUESTED BY AND WHEN RECORDED, RETURN TO:

13967

OFFICIAL RECORDS
SAN DIEGO COUNTY RECORDER'S OFFICE
GREGORY J. SWITH, COUNTY RECORDER
FEES: 14.00

78 38 001 SOMA Productions c/o Law Offices of Jon K. Ladd, APC 11440 West Bernardo Court, Suite 214 San Diego, CA 92127-1643

#### NOTICE OF COMPLETION

NOTICE pursuant to California Civil Code §3093, must be filed within ten (10) days after completion.

#### NOTICE IS HEREBY GIVEN that:

- 1. The undersigned is owner of the interest or estate stated below in the property hereinafter described.
- 2. The full name of the owner is: Len A. Paul, an individual d/b/a SOMA productions.
- 3. The full address of the owner is: 3350 Sports Arena Boulevard, Suite I, Can Diego, CA.
  - 4. The nature of the interest or estate of owner is: leasehold.
- 5. The names and addresses of all persons, if any, who hold title to the property as joint tenants or as tenants in common are:

Arena Group 2000 c/o URC Management 3525 Del Mar Heights Road, #294 San Diego, CA 92130

The City of San Diego City Manager Attn: Real Estate Assets Director City Administration Building 202 "C" Street, M.S. 9B San Diego, CA 92101-4155

6. A work of improvement on the property hereinafter described was completed on September 18, 2002. The work that was done was the construction of various tenant improvements including structural and non-structural work.

SAN DIEGO,CA Document: NC 2002.818542 Page 1 of 3

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13968

- 7. The name of the contractor for such work of improvement was: C & S Doctor, Inc., a California corporation d/b/a C & SD Construction. The date of contract was August 13, 2002.
- 8. The property in which said work of improvement was completed is located in the City of San Diego, County of San Diego, State of California and is described as follows: 3350 Sports Arena Boulevard, Suite I, Can Diego, CA..
- 9. The street address of said property is: 3350 Sports Arena Boulevard, Suite I, San Diego, CA.

DATED:

September 19, 2002

"Owner"

Len A Paul, an individual d/b/a SOMA productions

Len A. Paul

2

C & SD Notice of Completion 091902.doc Created on 9/19/02 11:21 AM

13969

#### **VERIFICATION**

I, the undersigned, say:

I am the person that executed the foregoing notice; I have read said notice and know the contents thereof; the same is true of my own knowledge.

I declare under penalty of perjury under the laws of the state of California that the foregoing is true and correct.

Executed this 19th day of September, 2002, at San Diego, California.

Len A. Paul

3

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## WATER & SEWER CONNECTION RECORDS

WATER CONNECTION RECORDS NOT AVAILABLE FOR 3220, 3250 & 3350 SPORTS ARENA BOULEVARD

SEWER CONNECTION RECORDS NOT AVAILABLE FOR 3220 & 3250 SPORTS ARENA BOULEVARD

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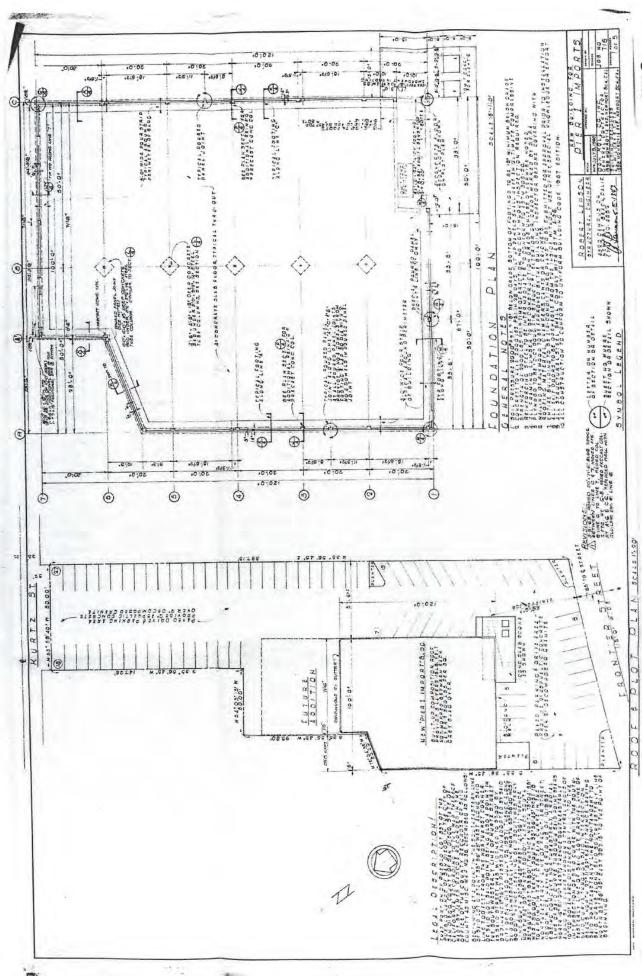
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CONSTRUCTION/BUILDING PERMITS

3220 SPORTS ARENA BOULEVARD

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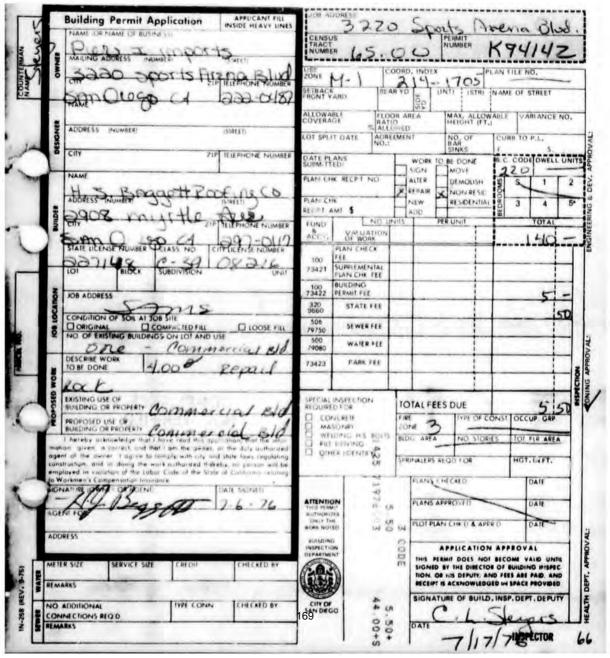
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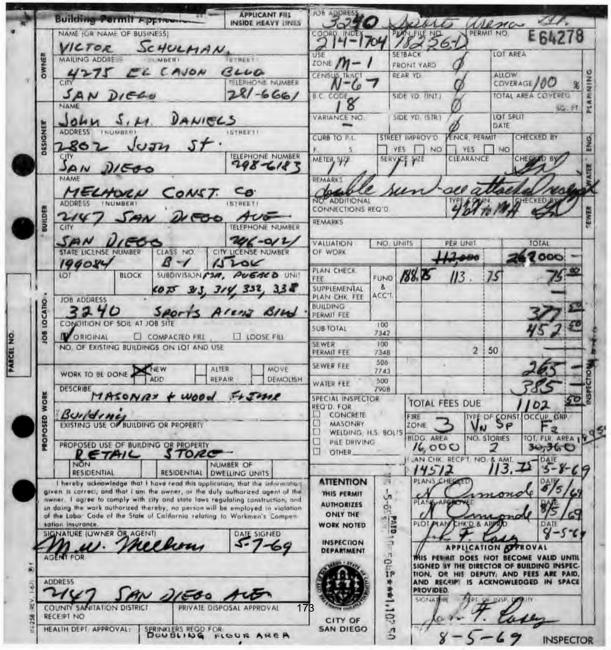
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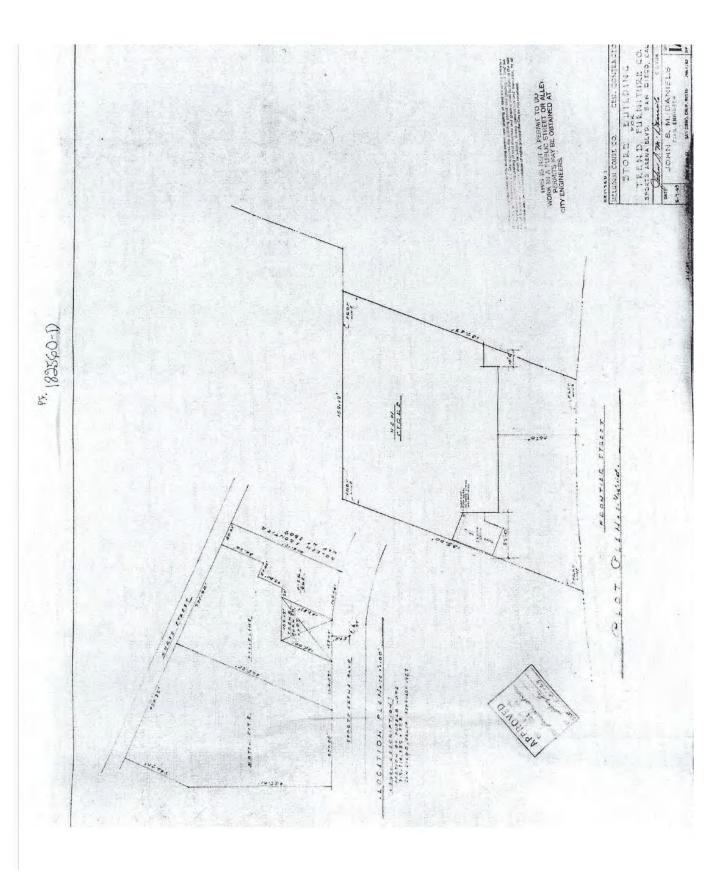


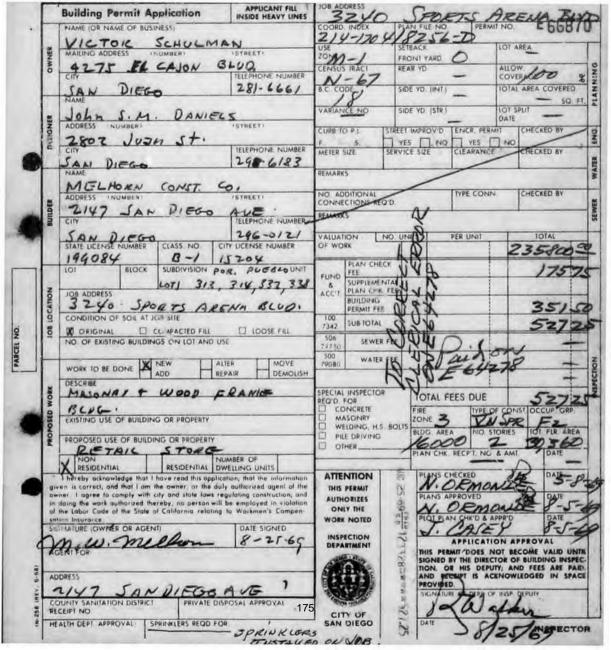
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I hereby acknowledge that I have read this information given is correct; and that I am the owner, or the duly authorized agent of the	s applicati e building building	on, that the or property or property	ONLY THE		W D PEN	FL	ND 100		
construction; in doing the work authorized will be employed in violation of the Labor (California relating to Workmen's Compensation	Code of ton Insuran	no person the State of	BUILDING		C 0 14 966			20	50
SIGNATURE (OWNER OR AGENT)	DAT	ESIGNED			The sign in an	is permit d	oes not beed	ome valid u	ntil ling aid,
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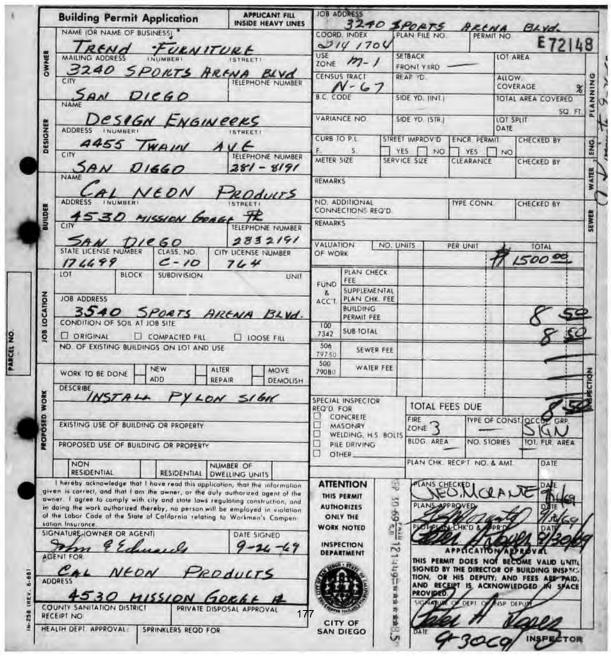
3240 SPORTS ARENA BOULEVARD







	Building Permit Application	INSIDE HEAVY LINES	JOB ADDRESS	KO,	Soo	tall	on	18	and
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æ	John S.M. Daniels		VARIANCE NO		SIDE YD.	STR.)		T SPLIT	50,
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ŏ	202 Juan St		F. S.	Name .	YES 🗍	- ALC 152.55.765		10000000	
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_	199084 8-1 1	520Y	PLAN CHECK		-	26,200	1	26,2	00
1	LOT POR BLOCK SUBDIVISION	UNIT	FEE	FUND			1	4	1
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LOCATION	3240 Sports Avan	o Blud.	BUILDING PERMIT FEE	1				9	3 0
	CONDITION OF SOIL AT JOB SITE		SUB-TOTAL	:00		The same	100	15	5 9
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til	WORK TO BE DONE NEW ALT	Control of the Contro	SEWER FEE	7743			1	1	
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WORK	Foundation only	for	SPECIAL INSPECT	OR '	TOTA	AL FEES DUI	3	13.	5 2
	EXISTING USE OF BUILDING OR PROPERTY	ALCOHOL S	CONCRETE MASONRY	3.23	FIRE		E OF CO	ONST. OCCU	P. GRP.
PROPOSED	1981, 13 3	1 - 2 -	WELDING, F		IS BLDG		STORE	<b>SE</b> 101.5	LR. AREA
PR	PROPOSED USE OF BUILDING OR PROPERTY	1 4	D PILE DRIVIN	G	ULD'S	HACH INC	SIGNI	101.	LA, ARE
		MBER OF			PLAN	CHK. RECP'I. N	10. & A	MT.	ATE
	hereby acknowledge that I have read this applicat		ATTENTION	1	PLA	S CHECKED		Tax 1	ATE
giv	en is correct, and that I am the awner, or the duly ner. I agree to comply with city and state laws reg	gulhorized count of the	THIS PERMIT	1 9	1	~ / //	aty 1	NO.	
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sali	the Lobar Code of the State of California relating to ion Insurance.		WORK NOTED	1 3	PLO	PLAN POR	The same		DATE
1	nature (OWNER OR AGENT)	DATE SIGNED	INSPECTION		. 6	UAM	us	4	1.29
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			Gallo Story	1 3	SIGN	NED BY THE DIR	ECTOR	OF BUILDIN	G INSPE
ADI	DRESS		172	1	AND	RECEIPT IS			
1	147 SANDIEGO AU	6.	No.	1		VATURE OF DEPT	OF INS	P DEPLITY	
	CEIPT NO. PRIVATE DISP	OSAL APPROVAL	Charge study	1 :	201	UAN			
REC			CIT! OF						



milullage ELEPHONE: 296-0121

SAN DIEGO, CALIF. 92110

Melhorn Construction Co. 2147 San Diego Avenue

P. D. BOX 10178

RECEIVED

NOV 19'69

DEPT. OF INSPECTION

18 November 1969

Mr. Gene Meier San Diego Building Department 202 "C" Street San Diego, Calif. 92101

Dear Mr. Meier:

We are requesting a temporary certificate of occupancy for the Trend Furniture at 3240 Sports Arena Blvd., until permanent doors are installed.

Yours very truly,

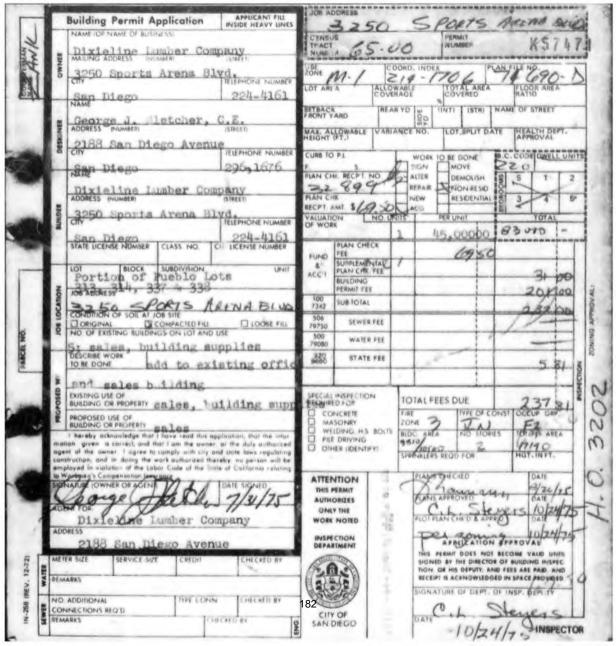
Amile: E-63502 (Pla)

Mac - Ma Mone from his Promition: (Smicht) Sprinkler system checked of the on "/19/19

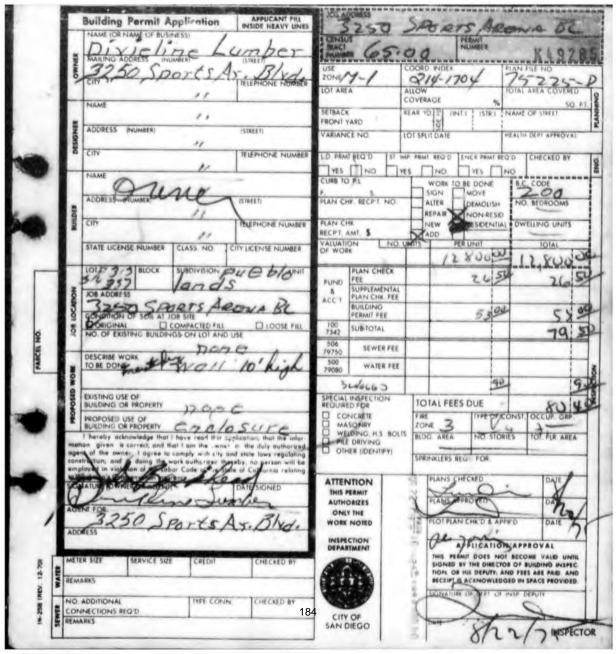
	Date: 7/29/69
City of San Diego Inspection Department City Administration Building Community Concourse San Diego, California 9210	
Attention: Building Inspect	tion Director
Dear Sir:	
struction of foundations for	Building Permit be issued at this time, authorizing con- r the proposed building to be located at:
3240 Sport	s Avent Blul.
Plans for this building	g are on file in the inspection Dept. under Plan File No:
for compliance with applicat approved by the City. No we struction of the foundations if it should be determined are necessary after commence responsibility and all risk	ined by the inspection Department that changes in the plans sment of construction of the foundations, I/we assume full of loss which may result by reason of such changes. I/we Il conform to the approved final plans as amended, without
	chitect/Engineer and Contractor, are aware of construction ions stated above and agree to such procedure.  ARCHITECT/ENGINEER: John J. M. Wamiels
Date: 7/29/59	
	CONTRACTOR: MELHORN CONST. Co.
Date: 7/29/69	martina. mellion
BID-1166 (rev. 2/66)	179

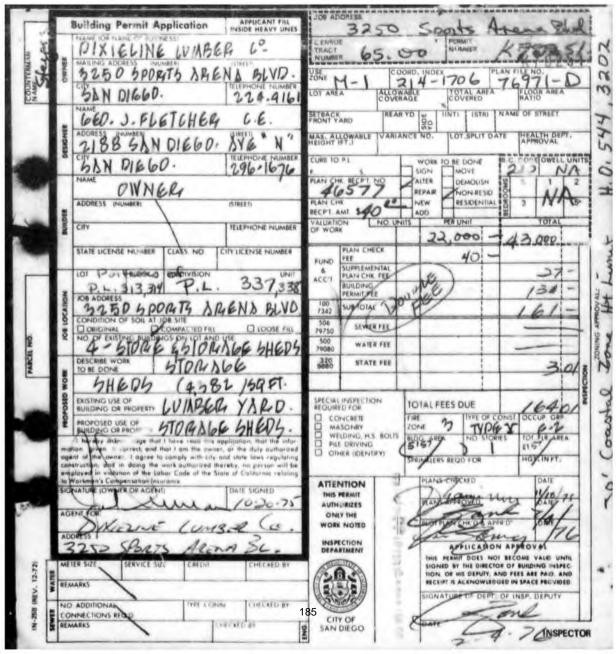
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JOB ADDRESS (PRINT)		-	-	1		-	K		DPM FOR S			APP	HOVE	DBA	FIR	EPI	REV.	EP.
JA HO SA  OWNER'S NAME (PRINT)  VICTOR SC  METER TO BE LOCATED IN   AL	HL	14	MAA	CE MET	28	1-0	GGG	/ EFT	DOMESTIC W. METI	ST OU	(2) H TLET ( PROTE	ALL DI	WATER N. TO	TO B	F SU	S) PPLI	EU FA	ОМ
STREET (PRINT STREET NA WATER PRESSURE REGULATOR (PR NOT DESIRED WATER SOFTNER CONNECTION	GLIRE	D IF	MAX.	PRES	SURF PROVI	OVER DED		100	PRESSURE 15/ PS BACKFLOR PROTECTOR R APPROVED METER SIZE.	EQUIR	RESS.	HEGULA METER	TOR RE	00.	N9		_	но
LENGTH OF WATER SYSTEM (FROM EXISTING SYSTEM: DIAMETER OF HLDG, SUPPLY LIP PRESSURE CORRECTION FOR CHAP	ME:	PROPO	FART SED :	SYSTEM	METE	77	0'	т.)	SIGNIFICANT RECUESTS	50	Car	REP.	A THE	DING	WA	IONS	TO T	HE
METER TO HIGH DUTLET X.43. I WATER PRESSURE BOOSTER-PUMP FLUSHOMETER VALVE FIXTURES	INCRE	ASES	PHES	SURE -			_	P51	WATER SUPPLY WILL BUILDING IS NOT DE	EXIST.	APP ANGED	HE BAS	STATE	S TH	AT O	CCUP	ANCY	DF TH
BLDG NO. STORIES OCCUPANCY WATER FOR NEW EXIST. BLDGS. TYPE OF FIXTURE	FIXT.	VATE OF		PRIVATE N		- 6	PRIVATE W	FOTAL DI	APPLICANT REQUESTS APPROVAL OF PLANS KNOWLEDGES THAT HE SERVICE SHOULD PLAN DO NOT COMPLY WITH COST OF OHIGINAL M PROVIDED IN ART.	OR IS:	WAY F	OF BU	LACEME INSPEC 5. AF	TION PLIC	F SA IND ANT UNDA	ID M	ETFRE THA	AND T THE
BATHTUE & OR SHOWER DENTAL LAY,	4	2							SIGNATURE (OWNER					-004	200	E 510	NED	
DRINK, FOUNTAIN - EA. H'D. HOSE BIBB LAUNDRY TUB - CL. WASHER	5 4	3 2	2		10				DESIGN WATER PRESS									PSI
SINK, RAR OR LAVATORY SINK, CLINIC, FLUSHING SINK, KIT OR DISHWASHER	10	. 2	2		4				DESIGN WATER PRESS WATER SUPPLY LINE WATER SUPPLY LINE	. NEW		PPEND	1 × A).					IN.
SINK, WASH, EA, FAUCE! SET SINK WASH, CIRCLE SPRAY	2 4								MIN. METER SIZE CO	SUED OF	V BASI	S OF M	INOR C	_	_	ND/O	н	_IN.
TRAILER, HOUSE URINAL, PEDESTAL URINAL, FLUSH TANK	10	6	1		3				TABLE 10-2. PRES				INSTAC TO		ON P		PC.	
WATER CLOSET, TANK WATER CLOSET, FLUSH VALVE	5 5 10	6	3		15				IN LENGTH OR IF O	CONTAIL	NING F	LUSHON	ETER V	ALVE	A''	IF O	VER 2	OO'
WATER SUPPLY OUTLET - 3/8" WATER SUPPLY OUTLET - 1/2" WATER SUPPLY OUTLET - 3/4" WATER SUPPLY OUTLET - 1"	2 4 6	-				E			GPM	2 1	13	14	2 24	3	3}	4	5	6
SPRINKLER HEADS, (FULL)	1		E			E			FLUSH TANK SYS.									
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May Milles 2147 SAND	1E	50	,	400	5	. ,	-		CITY OF SAN DIEGO FORM	IN-16		ARTM.	ENCO	7	7-	2 %	7.9	7

3250 SPORTS ARENA BOULEVARD



-		<b>Building Permit Application</b>	APPLICANT FILL INSIDE HEAVY LINES	A JOH	ZST	1 5	Pos	275 /	PRO	VAZ	2
		DIXTELLINE L	umber		1 65	.00	0	W55 4	42		
NAME	OWNE	3250 Sports/	AYENG BY	USE ZONE SETBAC FRONT	M-1	REAR YO	1405	704 P	75 2	Z 5	D
		Same		ALLOWA	ABLE	FLOOR A	REA	MAX, ALLOW HEIGHT (FT.	ABLE VA	NANCEN	10.
	BINGHE	ADDRESS (NUMBER)	YS-IREE I)	LOT SPL	IT DATE	AGREEME!	NT	NO. OF BAR SINKS	CURB TO	P.L.	
	Ľ.	CITY	TELEPHONE NUMBER	DATE PE			SIGN	BE DONE	8.C. CODE	OWELL	UNITS
		ADDRESS INCOMES	15198811	PLAN C	N RECPT N		REPAIR NEW	DEMOLISH NON RESID RESIDENTIAL	SROOMS	1	2
	#agnin	11	TELEPHONE NUMBER	RECPT FUND	L	IO UNITS	ADD T	RUNII	OS S	TOTAL	200
		STATE LICENSE NUMBER   CLASS NO   C	ITY DICENSE NUMBER	ACCT.	OF WORK		-		160	10	
		LOT 2 19 BLOCK SUBDIVISION	, J UNIT	100 73421	SUPPLEMENT PLAN CHK F	TAL	-			0+	-11
	NOW	338 PUED	lo land	100 73422	BUILDING PERMIT FEE		-			4	3
	# 10C#	CONTION OF SOIL AT JOB SITE	100SE FILL	320 9660 506 79750	STATE F	-	-			5	0
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9	10	TO BE DONE AGH	ADD	73423	PARK F	re .	-	-		+	BON APPRIC
	M GESO	EXISTING USE OF EDIST	NG WAU	SPECIAL	INSPECTION	Tro	OTAL FEE	S DUE	2	48	BASPEC
	100	PROPOSED USE OF BUILDING OR PROPERTY CACA	sure	D 00	NCRETE SONRY	FIB			ONST OCC	-	71
ø	age	I hereby acknowledge that I have read this applican given a correct, and that I am the owner of the owner I agree to comply with city un	or the duty authorized	D PILI	LDING HS B DRIVING HER IDENTIFY	1	G AREA	NO STOR		IR AREA	
	emp	struction, and in doing the work authorized their played in violation of the Labor Code of the State Yarkmen's Compensation Insurance	eby, no person will be	AVVE	NTION	SPI	PLANS C			IN FT.	11
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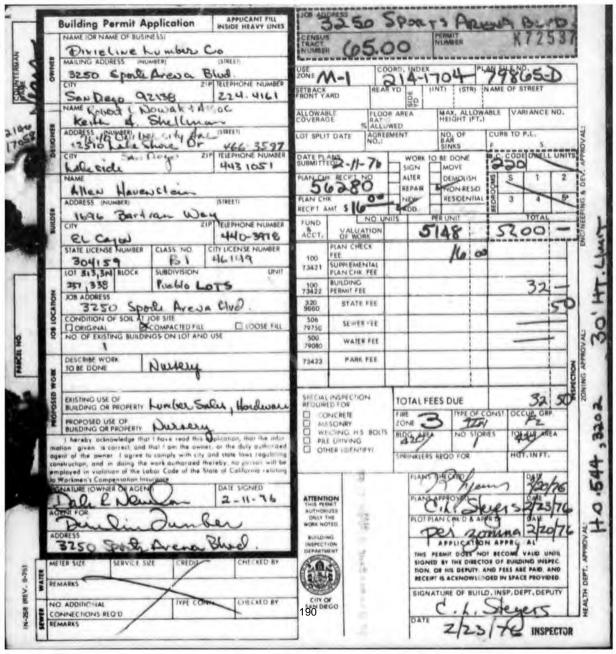


		<b>Building Permit Application</b>	INSIDE HEAVY UNES	122c	05	MOZTS	A	BUR	BU	US
		MANE (OR PLANE OF BUSINESS)  MAILING ADDRESS (NUMBER)	۵۵.	TRACT NUMBER	10	00	PERMIT		1223	8.
	OWFNE	3250 SPORTS AREL	TELEPHONE NUMBER	LOT ARE	1704	2623	Q-P	HEALTH DEPT	APPROVAL	
	-	DAN DINEGO CA.	224-4161			COVERAGE	100	ZONE	-1	2
3	١.	WELLRAIA		SETBACK FRONT Y		REAR VD.		TOTAL AREA	COVERED SO. F	INNI
	ESIGNER	ADDRESS NUMBER)	AVE	VARIANC	ENO	LOT SPLIT DATE		SIDE YO. (II	NT.) STR.	15
	90	SAN DIES	TELEPHONE NUMBER	D. PRM	REO'D I	VES THO	YES T	NO CHE	CKED BY	ENG
		NAME PROJECT		CURE TO		-	TO BE DONE	18.09	9	
	8	ADDRESS (NUMBER)	(STREET)	753	1312	ALTER	MOVE	1 100	ROOMS	1
	NUMBER	CITY	PETERHE E NUMBER	RE PT I	MI. 5 1	D NEW	NON RES	IAL DWELLIN		
	ı	STATE LICENSE NUMBER CLASS NO.	CITY LICENSE NUMBER	OF WOR	ON NO	UNITS	HER UNIT	- 11	der -	=
-	Г	TOT BLOCK SUBDIVISION	LIFAIT	FUND	PLAN CHECK FEE		199	0		
	HON	AGR ADDRESS	1 2	ACC'T	SUPPLEMENTA PLAN CHE PET BUILDING				1	
	LOCATION	CONDITION OF SOIL ALE CHIE-	D LOOSE FILL	100	PERMIT FEE	1		-	2	2
2	SOF	NO OF EXISTING BUILDINGS ON LOT AND		7347 506	SEWER FEE	-	-	-	39	7
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	o wo	FRITTY BULTINGE SEC			-					SPECTO
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-	RE	MARKS		SAN	DIEGO	3.	(	P6/2	INSPEC	TOR

	<b>Building Permit Ap</b>	plication	INSIDE HEAVY LINES	JOE AD	325	0	FRO	WHER		ST	
	NAME (OR NAME OF BUSH		,	COORD		PL	AN FILE NO	PERM	IT NO.	E 4787	3
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OWI	32500 FEC	DUTIER ?	T	CENSUS	M-/		AR VO		ALLO	W	-
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	SAN DIEGO	)	298.9871	BC CO	DE	SIE	DE YD. (INT.)			AREA COVER	ED
	NAME			0	22			-	-		D. F1.
	WEBER &E	OWARDS		VARIAN	ICE NO	510	DE VD. (STR.)	-	DATE	PLIT	
DESIGNE	ADDRESS /NUMBER)	-	(STREET)	CURB TO	0.01	STREET	GIVOS NAME	TENCH PER		CHECKED BY	-
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	JAN DIEGO		274-8330								
	NAME			REMARK	15						
				100 10	DITIONAL		/	TYPE CON		CHECKED BY	-
	ADDRESS HNUMBERS		(STREET)		CHONSAN	0.0		THE CON	4	CHECKED BY	-
GIII			Laurana	REMARK	-			1			
2	City		TELEPHONE NUMBER								
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	101 the fuestpoliock	SUBDIVISION	Ment	FUND	FEE		_		-	/	
2	108 ADDRESS			4	PLAN CHK						
LOCATION	JOB ADURESS	OUTER	~	ACC'T	BUILDING					15	29
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-	1		ALTER MOVE	79080	WATER	FEE				14	-
		ADD T	REPAIR DEMOLISH		-						L
*	DESCRIBE			Specia	INSPECTO				-	-	1
0	CFFICE		H	REQ'D.	FOR		TOTAL	EES DUE		da	3
0			/		ASONRY		FIRE	TYPE	OF CON	IST OCCUP. G	RP.
50	EXISTING USE OF BUILDIN				ELDING, H.S	BOLT	ZONE		W	F.5	-
0	PROPOSED USE OF BUILDIN	NG OR PROPERTY		O PI	LE DRIVING		BIDG AR	4777	TORIES	101. FLR. 1	S A
1	LUMBER	0.		0	THER	-		RECPT. NO	& AM		-
	RESIDENTIAL		NUMBER OF DWELLING UNITS					-	-	-	-
-	I hereby acknowledge that I			ATTE	NTION	5	PLANS,	HICKEDIA	00.	m gyr	1
-	en is sorrest, and that I am I	he owner, or the d	uly authorized agent of the	THIS	PERMIT	1	CE	0/10	M	116. 1/24	164
in	mer. I agree to comply with a doing the work authorized the	rety no person w	ill be employed in violation		ORIZES	4	204	DE OF ACTO	1	DATE	
al	the Labor Code of the State of	d Colifornia relatio	ig to Workmen's Compan		ILY THE	3)	100	A CHICAGO	200'5	99 7.1	67
Eich	THE HOUSENER OF AGE	0	DATE SIGNED	WOR	K NOTED	3	(73)	6, 2	1	12441	-69
V	2-10-1176		3-28-69		PECTION	2	1	APPLICAT	ION	PREGVAL	-1
to	ENI, FOR	1 7	- 1	DEP	ARTMENT	N	THIS PE	RMIT DOES	NOT BE	COME VALID	UNTIL
1	Delve & B.S.	1. D.	Week the to	6	0	6	SIGNED	BY THE DIRE	CTOR O	F BUILDING IN	SPEC-
Al	DORESS	VOCA O L	The state of the s	100	12.23	13	AND R	ECEIPT IS A	CKNOW	LEDGED IN	SPACE
-	1212 1	. 54		95	100	8	PROVID			1	
-	OUNTY SANITATION DISTRICT	PRIVATED	DISPOSAL APPROVAL	3/2	3	2	SICAMO	DEPT OFFI	1	DEPUTY	
200		Culture P			THE PERSON NAMED IN	- 44		-			
	CEIPT NO		187		TY OF	- 2	(70)	01 4	/	nouls	2 3 49

	Г	Building Permit Appli		APPLICANT FILL	JOH A	DONESS 32	250	5	206	3 1	lo-	LIA S	
	ı.	DIXIE LINE LUM MAILING ADDRESS (NUMBER)	REP C	S .	TRACT NUMB	-	0	.00	PERMIT		673	665	
	OWN	3250 SPORTS	PREN	BLUD.	COORD	1-170	6	AN FILE NO.	01-D	HEALTH	DEPT APPRO	YAL	٦
	ŀ	SAU DIEROCAL	12110	724-416	101 AR	4	A	OVERAGE /	00	USE	M-1	,	0
	100	S/W ASSOC		(SREET)		YARD C	>	AR VD.	)	TOTAL	AREA COVE		APINITA
	DESIGNE			TELEPHONE NUMBER	VARIAN			OF SPLIT DATE	1	SION YO	0	(STR.)	K
•	ŀ	SANDIEGO CAL9	2109	274-2164	VE 5	NO	AE.	PRMI REQ D	YES T	NO NEO.D	CHECKED B	IV.	ENG.
		ADDRESS [NUMBER]		(STREET)		HR. RECP'E	13/4	ALTER	MOVE	NO	HEDROOM	5	
	BUILDE	City		TELEPHONE NUMBER	PLAN C	AML S	NO. UI	REPAIR NEW ADD	DEMOLISI NON-RES RESIDENT	D DWI	L'ING UNI	is	
	L			TY LICENSE NUMBER	OF WO	RK			5200	-	TOTAL	П	1
	NO	- A	DIVISION	UNIT	FUND	PLAN CHI FEE SUPPLEME	NIAL	-	16	-	******		
4	IOS LOCATIC	3250 SM2TS AP  CONDITION OF SOIL AT JOB SIT  ORIGINAL SCOMPS  NO. OF EXISTING BUILDINGS OF	E	-	100 7342	PLAN CHR BUILDING PERMIT FE SUB-TOTAL	E				32	40	
PARCEL NO.	_	DESCRIBE WORK	K (F-2)	)	506 79750	SEWE	RFEE				27	-	
44	NOR	TO BE DONE	w wee	House	500 79080	WATE	RFEE						HOM
	POSED V	EXISTING USE OF BUILDING OR PROPERTY	~ ERC	AL (F-2)	SPECIAL REQUIR	INSPECTION	IN	TOTAL FE	ES DUE	+	30	01	MSPEC
•	8	BUILDING OR PROPERTY	MERCI		D MA	NCRETE SONRY		FIRE ZONE	V	m	OCCUP. GI	RP.	+
	con	I hereby acknowledge that I have tion given it correct, and that I an int of the owner. I agree to compli- struction, and in doing the work ay played in a station of the Labor Cod	n the owner, o	the duly authorized a state laws regulating	PR.	LDING +1.5 E DRIVING HER (IDENTII		1/9/1/ SPEINKLERS	NO SI	ORIES	701. FLR. 4	REA USA	
•	3	NATURE (O WHER OR ADENT)  ENT FOR	- 10	DATE SIGNED  DEC 21971	THIS I	NTION PERMIT DRIZES	19.7	PLANS	RECEED		DATE / L//	de	
	ADO	IN ASSOC.	ND IEG	CAL 92109	WORK	V THE NOTED CHON TWENT	arre	Pagine !	A COLL	ON APP	1/2	1/2	
(0-60)			CREDIT	CHECKED BY			on See	TION.	BY THE DIRECT	TOR OF B	ME VALID U	MEC-	
IN 258 REV		INECTIONS REQ'D	MAE COINN	PHECKED BY	88 CITY		****37	DATE	Kol	Commen	(PUTV	7	10
5	1				SANE	DIEGO	3	1	1/24	19,	INSP	ECTOR	0

	Building Permit		APPUCANT FILL INSIDE HEAVY UNES	JOB AC	32°	50	SPORT	5 40	EUA	2
1.	DIXIELINE	LUMBER		TRACT NUMBE	. 4	5.0	SPORT D PERMIT		673	666
MINE	3250 SPORT		BLVO.	COORD	INDEX	PLAN	FILE NO		DEPT APPRO	VAL
0	CITY		TELEPHONE NUMBER	101 ARE	1-170	ALLEN	5601-D	USE	-	
-	SAN DIEGO C	AL. 9211	224.461	13526		COVE	RACE 100	M ZONE	M-	1
	SAU ASSOC.			SETBACK	PARD O	REAR	D.		AREA COVE	
BIONES	ADDRESS (NUMBER)	ET	(STREET)	VARIAN		LOTSP	LIT DATE	SIDE YO	672V	STR.)
aq	SANDEGO CA		TELEPHONE NUMBER	LD. FRM	-	ST MAP PRA	-	WT REQ'D	CHECKED I	IV
	NAME	,,		CURB TO	A CONTRACTOR OF THE PARTY OF TH	YES	WORK TO BE DON	E B.C	5995	
	ADDRESS (NUMBER)		(\$18£2T)	PLAN CH	HK. RECPT	the	ALTER MOVE		BEFROOM	5
Bull	City		TELEPHONE NUMBER	950 PLAN C	HK 35	900	ADD RESIDE	ESID DW	ELLING UNI	TS.
п	STATE LICENSE NUMBER	CLASS NO.	CITY DEENSE NUMBER	VALUATI OF WOR	QH I	NO UNITS	PER UNIT		TOTAL	
1	101 BLOCK	SUBDIVISION	Titeu		IPLAN CHEC	K	7,500	-		-
١.	313	PUEDLO		FUND	SUPPLEMEN		1 19		-	+
OCATION	3250 SADRESS	ADENA BI	VID	ACC'L	PLAN CHK	FEE	-			-
9		JOB SITE			PERMIT FEE		-		38	100
80	NO OF EXISTING BUILD		D USE	7342	SUB-TOTAL				38	-
	FOUR COMM	FRCIAL . (	F-2)	506 79750	SEWER	FEE			_	
	DESCRIBE WORK	SPECE EX	TEU SIOU TO	500 79080	WATER	FEE			_	
- A	-		/							
1504	EXISTING USE OF BUILDING OR PROPERTY	Commer	EIAL (F-2)	REQUIR		110	OTAL FEES DUE		38	40
E 0	PROPOSED USE OF BUILDING OR PROPERTY	COMMERC	141 (F-2).		ASONRY	F1	THE 3	VA	F.	
1	It hereby acknowledge the	at I have read this	application, that the infor-		E DRIVING	100		STORIES	TOT FLR.	REA
96	ation given is correct, and yent of the owner. I agree instruction, and in doing the implayed in violation is the L	to comply with sity work authorized t	and state laws regulating hereby, no person will be		HER TIDENTIF	Y)	RITINGERS REGO FO	/	650/6	erz
la to	Warkmen's Compensation in the L		DATE SIGNED	ATTE	NTION	7	PLANT CHECKED		DATE	,,
1.5	an Waske	uni	DEC 2 1971		PERMIT	0	PLANS APPROVE	-	DATE	10/2
AG	W ASSOC	11.	-	ON	LY THE	125	1. KOR	de	17	27/2
			7.		NOTED	18	2	PANERU	14/2	2/2
12	2158 GAPUET	SAU DE	40 CAL 92109.		REMENT		HOPLIC	MON AP	PROVAL	
-	SERVICE S		CHECKED BY	1		2	THIS PERMIT DO	HRECTOR OF	BUILDING IN	SPEC
WIE ST	MARKS			-	1	17	HON, OR HIS DE	UTY, AND FE	ES ARE PAID	AND
2		/				4	SIGNATURE OF DE	PI DE INSP	DEPUP	-
No.	DI ADDITIONAL DINNECTIONS REQ'D.	TYPE COM	SA TE	39	1	N.	15 1	SAR	1	40
	MARKS		1 04	CIT	Y OF DIEGO	315	CATE	1016	2-	-



	<b>Building Permit Ap</b>	plication	INSIDE HEAVY	LINES E	3250	2 59	DRTS.	AREN	4.	
	DIXIE/INE		ER Co.	C ENSU TRACT NUMBE	1	5.00	PERMIT NUMBER	- H	173	33
OWNER	MAILING ADDRESS INDI		10.000	USE ZONE	11-1	2/4	1704	385	12/	-
	SAN DIEND		22441	61 LOT ARE	A	COVERAGE		330	83 12	200
	POBERT K.	BURE	15 ++	SETBACK FRONT		REAR YO S	(INT) (STR)	NAME OF ST	611	
ONER	ADDRESS (NUMBER)	- DIE	(STREET)	VARIAN	CENO	LOT SPLIT DA	ATE	HEALTH DEPT	PPROVA	Ai
DES	CITY	-	TELEPHONE NO		TREQ'D	I IMP PENT RE	O'D ENCR PRMT R	EOD CHEC	KED BY	
	SAN DIE 90	-	233 /85	YES CURN TO	NO	NES N	RK TO BE DONE	NO SEC COD	TOWEL	TU
				F	. 5	SIGN	MOVE	022	1	_
23	ADDRESS (NUMBER)		(STREET)	PLAN C	11/6		IR NON RESI	0 10	-	
BURE	CITY		TELEPHONE NU	MBER PLAN C	AMI S 48	PE NEW		3	4	
	STATE LICENSE NUMBER	CLASS NO.	CITY LICENSE NUA	VALUATION WOLLD	ION L	NO. UNITS	PER UNIT	- 9	TOTAL	
					TPLAN CHEC		27200	-	120	9
	LOT SIA, BLOCK	PUER	lo Lot.	UNIT FUND	FEE		48	3	_	=
NOL	JOB ADDRESS			ACCT	PLAN CHE I	FEE		-		1
OCA	CONDITION OF SOIL AT J	OB SITE	REN'A BL		PERMIT FEE				96	2
100	NO OF EXISTING BUILDIN	COMPACTED FIL	ID USE	7342	SUB-TOTAL				96	12
	7.5.0			506 79750	SEWER	PEE			-	1
	DESCRIBE WORK TO BE DONE			500 79080	WATER	FEE			-	+
WO	200 F/K.	ROU	High	THE	PEE :	32			1	0
OSED	EXISTING USE OF BUILDING OR PROPERTY	10.11	WOKKS	SPECIA	RED FOR		L FEES DUE		98	3
100	PROPOSED USE OF	-5,0K	A 405		ONCRETE	FIRE	3 TYPE O	ZONST OC	UP GR	2
-	BUILDING OR PROPERTY  I hereby acknowledge that	I have read the	application, that the	e infor	ELDING MS	BOLIS BLOG	AREA NO ST	ORIES 191	FIR AR	EA
444	non given it correct, and t	comply with my	y and state laws req	tionized D O	THER IDENTIF		LERS REQUIEDR	e. P-	-	-
.em	struction, and in daing the played in violation of the La	bor Code of the	State of California	elating	- T	100	D. man		DANS.	,
	Workmen's Compensation list NATURE JOWNER OR AGEN		DATE SIGNED		PERMIT	(	WALLEN	assolu	Cal	24
Z	West K. Ru	14.17	24/24		HORIZES	1	ROVE	cher	22	39
AG	ENI FOR			1,000	K NOTED	10	W. C.	APPRO	DATE	6
7.05	DRESS74	m. F			PECTION	= 6	APPLICAT	ION APPRO	IN.	-
	TER SIZE SERVICE SIZ	E CRÉDIT	CHECKET				HIS PERMIT DOES	CTOR OF BUILD	ING INS	PEC
		CACO	S. T. S. NEL	6	959	10.17	ON DE HIS DEPUT	Y. AND FEES AS	E PAID.	AND
REA	MARKS				200	20	GNATURE OF DE	-		
	ADDITIONAL INNECTIONS REQ D	TYPE CO	ONN CHECKE	-		0	4	ucker	/	
				191 ci	TY OF					

TOP ADDRESS

	<b>Building Permit Application</b>	APPLICANT FILL	3 25	O SPORTS	AREWA BLY
	NAME (OR NAME OF BUSINESS)  DXIELHE LAMBER  MAILING ADDRESS (NUMBER)	COMPANY	TRACT 65	DERANT	H2707
	3250 SPARTS AREHA		214-1704	PLAN FILE NO	HEALTH DEPT APPROVAL
	SAN DIEGO, CALIF.	224-4161	LOT AREA	ALLOW COVERAGE O O	USE M- 1
	. S/W ASSOCIATES, A	RCHITECTS	SETBACK FROMI YARD	REAR YD.	TOTAL AREA COVERED
	ADDRESS INLIMBERI	EINA, EZAO	VARIANCE NO.	LOT SPLIT DATE	50E YD   (NT.) (STR.)
N	SAY DECO, CAUF.	291-4520	LD. PRMI REQ D S	TIMP PRMT REGID ENCR PRMT	NO CHECKED BY
	OWNER		CURE TO PL	WORK TO BE DONE	B.C. CODE
	ADDRESS (NUMBER)	ISTREET)	PLAN CHE RECPT NO	- maria	NO BEDROOMS
	CITY DIXIELINE LUMB	TELEPHONE NUMBER	3/153 PLAN CHK RECET AMT \$/45	REPAIR DEMOLISH	D DWELLING DNA
	STATE LICENIE NUMBER CLASS NO C	ITY LICENSE NUMBER	VALUATION N	DO DOUTS PER UNIT	TOTAL
2	10% 210 BLOCK SUBT "CON	1949	TPLAN CHECK	5000	- denouncements
	PUEPLO L	OTS 313,314	FUND FEE SUPPLEMENT	195	0
	3250 SPORTS ARENI	**	ACC'I PLAN CHE F	(E	200
	CONDITION OF SOIL AT JOB SITE	D LOOSE FILL	PERMIT FEE	STATE OF E	29
	NO OF EXISTING BUILDINGS ON LOT AND L	ISE	7342 SUBTOTAL	DOUBLE TER	58=
	4-54LES OFFICE & STO		506 79750 SEWER F	Œ.	-
		10 OFFICE	500 79080 WATER F	/ 0	-
- 3	BLDG.		Sala Fre 3	19600	50
- 1	EXISTING USE OF BUILDING OF PROPERTY OFFICE	SALES	REQUIRED FOR	TOTAL FEES DUE	5850
5 1	PROPOSED USE OF BUILDING OF PROPERTY CFFICE		CONCRETE MASONRY	ZONE 3	POMOT OCCUP CHE
4	I hereby acknowledge that I have read this apparation given is carred, and that I am the awner.	disation, that the infar-	WELDING HS B	OLIS BLDG AREA NO. ST	ORIES TOT FLR. AREA
a	geni of the owner. I agree to comply with city an anstruction; and in daing the work authorized then	d state laws regulating	DIHER (IDENTIFY)	SPRINKLERS REQUIPER	1930
e	mployed in violation of the Labor Cade of the State Warkmen's Compensation Insurance	of California relating		TPLANS CHECKER	7
51	GNATURE OWNER OR AGENT	DATE SIGNED	ATTENTION THIS PERMIT	: 2 Dans	July 7/11/72
A	Clark a. Caker	10.16.72	AUTHORIZES ONLY THE	2200	MATE 2
	S/W ASSOCIATES, P	<b>PRCHITECTS</b>	WORK NOTED	Control of the San	PPR'II DATE
A	123 CAMINO DE LA REINA,	SUITE E230	INSPECTION	Olem	ON APPROVAL
-1.5	ETER SIZE   SERVICE SIZE   CREDIT	CHECKED BY	DEPARTMENT	THIS PERMIT DOES A	OT BECOME VALID UNTIL
N IE	MARKS	3.11.5.11.0	A COLOR	TION, OR HIS DEPUTY,	AND FEES ARE PAID, AND
-			<b>医</b>		DOED IN SPACE PROVIDED
	O ADDITIONAL TYPE CONN ONNECTIONS RED'D	CHECKED BY	192	RI	
	MARKS	-1	SAN DIEGO	DAIE DAIE	ment
				0 /2-1	3. > INSPECTO

	Building Permit Application	APPLICANT FILL INSIDE HEAVY UNES	JOB AI	32	50.5	aers	Aco.	un de
-	Dixieline Lumber Companies Address (NUMBER)	(STREET)	CENSU TRACT NUMB		5.00	PERMIT	200	-
OWN	3250 Sports Arens Blvd		COORD.	1706.7	3009	00	HEALTH	DEPT APPROVAL
-	San Diego, Calif.	224-4161	LOT ARE		ALLOW COVERAGE	100	USE ZONE	M-1
NER	S/W Associates, Archite	istreet)	FRONT Y	VARD -	REAR VD	9		AREA COVERED
DESIGNER	123 Camino De La Reina	Sutte E230	LD PRA	-	IMP PRMT REQ'D	ENCE PRAIT	NEG-D	CHECKED BY
	NAME NAME	291-4520	YES CURB TO	NO T	VES NO	YES [	NO	
BUNDER	ADDRESS INUMBER	(STREET)	A	K RECPT. NO.	ALIER	MOVE DEMOLIS	NO H SID DW	BEDROOMS
	STATE LICENSE NUMBER CLASS NO.	CITY LICENSE NUMBER	OF WOR	ON INO	UNITS 3	PER UNIT		101AL
NEK JOB LOCATION	DESCRIBE WORK  DOB ADDRESS  3250 Sports Arons Blvd  CONDITION OF SOIL AT JOB SITE  □ ORIGINAL  □ COMPACTED FILL  NO. OF EXISTING BUILDINGS ON LOT AN  DESCRIBE WORK  TO BE DONE  Addition	Lot !!  317 817 814  0 USE PILL  O USE PILL  To office	8 ACC11 100 7347 506 79750 500 79080	SUPPLEMENTAL PLAN CHK FEE BUILDING PERMIT FEE SUB-TOTAL SEWER FEE WATER FEE				26 8
OSED WC	EXISTING USE OF BUILDING OR PROPERTY		SPECIAL	INSPECTION ED FOR	TOTAL FE	ES DUE		26
age	PROPOSED USE OF BUILDING OR PROPERTY  Thereby acknowledge that I have rend this non given is correct, and that I am the awn of place where I agree to comply wint city struction, and in stoing the wark authorized to layed in violation, the Labor Cade of the Storage Company soft insurance  AUTHOR OBACENT	application, that the infor- er, or the duly authorized and state laws regulating	00000	NICRETE ISONRY EDING, HS. BOI DRIVING HER (IDENTIFY)	BEDG: MAE	REGO FOR.	ORIES	OCCUP. GRP.
AG	B/W Associates, Art	4/, ohv	AUTHO ONL WORK	PERMIT ORIZES Y THE NOTED	PLANS	APPROVED  AN CHK'D &	elen APPR'D	A-15
	123 Centro De La Re ER SIZE SERVICE SIZE CREDIT ARKS	CHECKER SY		CTION STMENT	SIGNE TION,	PERMIT DOES D BY THE DIRE OR HIS DEPUTY	CTOR OF	ROVAL DME VALID UNTI- BUILDING INSPEC S ARE PAID, ANI SPACE PROVIDED
ON	ADDITIONAL TYPE CON	CHECOLD BY	93 CITY SAN E		DATE DATE	Vu de	of this to	NSPEC

	<b>Building Permit Application</b>	APPUCANT FILL INSIDE HEAVY LINES	COORD INDEX	-	50	Hear	DAV.	a a	Me
	NAME (OR NAME OF BUSINESS)	1-	2/2-17	sel	8528	15	11.140	MOU	100
	DIXIELINE LUMBER	CO.	USE -		ETBACK		LOT AR	EA	
OWNER	MAILING AUDRESS INLIMITER		ZONE 11- 1		RONT YARD		-		-
0	2009 EOSECEAHS	SELEPHONE NUMBER	CENSUS TRACE	- 8	EAR YO	-	COVER		2/4
	CITY C. P. P. C.	298-9871	BC CODE	-	IDE YD (INT	1		AREA COVER	RED
	JAN MEGO	218-1011	200	3 "	ine to that	1	10		O FT
	WEREN & EDWARDS		VARIANCE NO.	15	IDE YD. (819		101.25		
	1163010 0	1014EET+				1000	DATE	CHECKED BY	_
DESIGNE	mounts - C-	THE COURT OF THE C	CURB TO P.).	-	ET IMPROVI	Lance Control	NO	CHECKED BY	
DES	4312 CASS ST.	TELEPHONE NUMBER	METER SIZE		ICE SIZE	CLEARANC		CHECKED BY	1
	SAU DIEGO	488-1093	METER SILL	1				-	
	NAME		REMARKS.				_		
						TIVE CON	N I	CHECKED BY	-
_	ADDRESS (NUMBER)	16THEET?	NO ADDITIONAL			THE CON		CHECKED DI	
BUILDER			REMARKS	/					
2	CITY	TELEPHONE NUMBER							
			VALUATION	NO	INITS	PER UNIT	-	TOTAL	1
	STATE LICENSE NUMBER CLASS NO CIT	Y LICENSE MUMBER	OF WORK					1100	-
	TOT BLOCK SUBDIVISION	INI	MAN CHECK	-				4	10
			SUPPLEMENTAL	FUND	-				1
2	315, 314 PUEBLO 108 ADDRESS	101	PLAN CHE FEE	ACCT					-
LOCATION			BUILDING PERMIT PET					9	-
SCA	CONDITION OF SOIL AT JOB SITE		-	100	1			/2	10
11 80	ORIGINAL COMPACIED FILL	[] LOOSE FILL	SUB-TOTAL	7342				13	,
5	NO OF EXISTING BUILDINGS ON LOT AND US	CALL THE PARTY OF	SEWER PERMIT FEE	100 7348		2	50	1	
	HONE		SEWER FLE	506				1	
	WORK TO BE DONE	ER MOVE DEMOLISH		77.43 500	1			1	-
	TADO TRE		WATER FEE	1908				/	
WORK	270' OF ST CONE.	BLK. RET.	SPECIAL INSPEC	TOR	TOTA	FEES DUE	1	13	20
*	WALL		CONCRETE		FIRE	TYPE	OF COR	et occup	GRP.
SED	EXISTING USE OF BUILDING OR PROPERTY		MASONEY  WELDING		ZONE	3	-	1	_
040			HE DRIVE		BLDG	AREA NO.	STORIES	TOT. PLR.	AREA
E	PROPOSED USE OF BUILDING OR PROPERTY		CI OTHER	-	BIAN C	HK RESPT N	O & AM	t DAT	1
		MBER OF						1	
_	1 hereby acknowledge that I have read this applies		ATTENTION	1	PLAN	S CHECKED	/	DAT	t i
-	over a correct, and that I um the owner, or the dut	y authorized agent at the	THIS PERMIT		2 1000	/			3
11.0	wher I agree to comply with rily and state lows re a doing the work authorized thereby, no person will	guisting construction, mill	AUTHORIZES		d PLAN	THE STATE	1	t OA	BK7
- 10	I the Labor Code of the State of California retoring	to Workmen's Company	201421		PIOT	PLAN CHE'D	APPED	1 8	W /
	OTION TO THE CONNER OR AGENT	DATE SIGNED	WORK NOTED	1	PLOT	an	Cal	2 9	2167
5	VI IONIK I	8-17-67	INSPECTION		10			PPROVAL	1
-	SONI FOR		DEPARTMENT	1	F THIS	PERMIT DOES	NOT B	COME VAL	D UNII
,	WEBER & EDWARDS L	PECHIFFORS	P. Carlo		THOM	OR HIS DE	PUTY: A	ND FEES AL	RE PAID
1	DESCR & CONTROL	1,00/3	37.53	8	M AND	RECEIPT IS	ACKNOY	VLEDGED IN	SPAC
1	4312 CASS ST.		1275	#		MOED,	CH INSP	DEPUTY	-
		FOSAL APPROVAL	94	1	*			eles	-
								-	

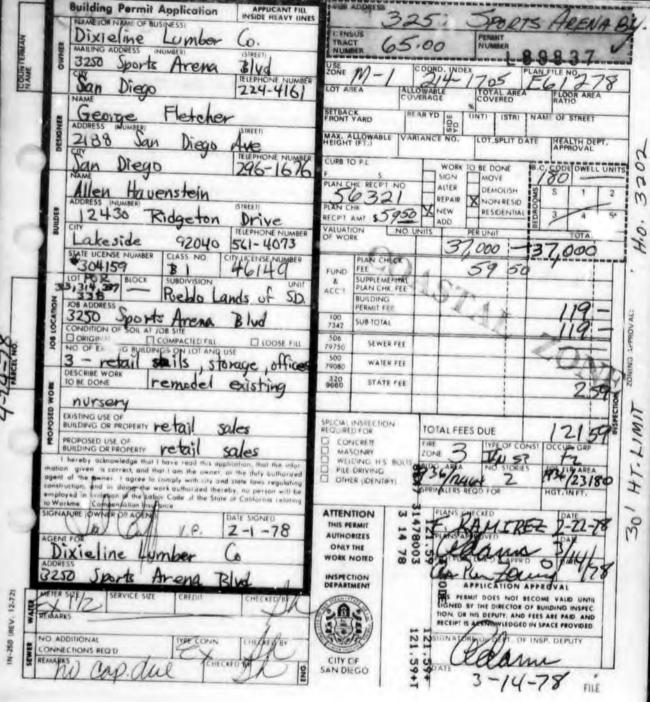
*Building Permit Application	INSIDE HEAVY LINES	325-0	SportaRe		NTIE	RS
NAME (OR NAME OF BUSINESS)		212-1704	852		io At	10062
MARING ADDRESS INDIMBER	13108171	USE DN- 1	SETBACK FRONT YAR	10	OT AREA	
\$ 4009 KOSECRIONS	ST.	CENSUS TRACT	REAR YD.	A	LOW, OVERAGE	9
SAN DIESO	298-9871	B.C. CODE	SIDE YO. (P		TAL AREA COV	100000
WEBER & EDURA	PS- ARCH	VARIANCE NO	SIDE YO (S		OT SPLIT	SQ. F1.
ADDRESS INDIMBER CASS S	(STREET)	CURB TO P.L	STREET IMPROV		CHECKED	1
4312 Cass 3	TELEPHONE NUMBER	F. 5 METER SIZE	SERVICE SIZE	NO TYES T	CHECKED	-
SAN DIESU	488-1093	REMARKS	15"		A	)
NOT SELECTED		see a	tlack	el sece	px	
ADDRESS INLIMBERT	YSTREETS	NO ADDITIONAL CONNECTIONS REG	מי	42he	# 3	1
City	TELEPHOT NUMBER	REMARKS LA TO	aid to	section alde	Mangeles	2
STATE LICENSE NUMBER CLASS NO C	CITY LICENSE NUMBER		NO. UNITS	PER UNIT	TOTAL	
\ \\	IN/II	DUNN CHECK		2,000.	22,000	-
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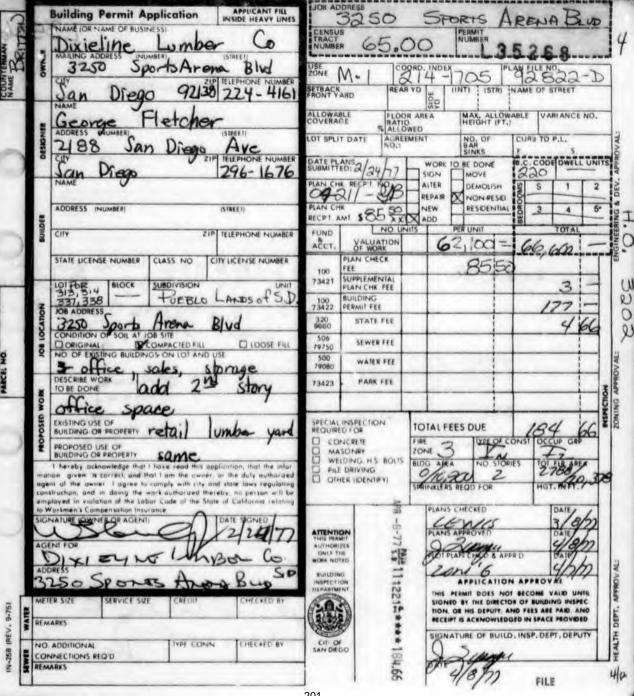
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givi	I hereby acknowledge that I en is correct, and that I am I	have read this app	dication, that the information	ATTENTION THIS PERMIT	1 4	PLANTO		-	DAIS -	1
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ANAME (OR NAME OF BUILDING OF PROPERTY  ANAME (ON NAME OF BUILDING OF BUIL		<b>Building Permit Application</b>	APPLICANT FILL	JOB ADDRESS	50	Fea	NTIE	ina	Blydi	CET
TOTAL PROPERTY  TOTAL PROPERTY		COMPRISE TIXIELINE		214-170	-	9277		MIT NO.	A8	
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PARCEL NO.

	<b>Building Permit A</b>	pplication	IN	APPLICANT FILL	JOB ADDRESS	50	) F	RON		na se	TRO
	DIXIELINE	LUMBE	e co		214-17	7	927		ERMIT NO		828
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Permit Application
City of San Diego Building Inspection Department
1222 First Avenue, MS 301, San Diego: CA 92101 (619) 236-6270

Combination & Building	☐ Mobile Home ☐ Electrical ☐ Plun	nbing & Cas J Mechanical	→ Demolition
2. Project Information	J Relocation J Remove Bu	Plan File No. A	508873 - 89 Building or Suite No.
Legal Description	S ARENA BLVO.		scond to some to
Lot No. Block No	Subdivision Name	Unit N	M87850
Parcel No 760 102-01-02	Parcel Map No	Assessor's Parc	
Existing Use RETAIL HONE CAT	Condition of Soil at Site a Undi	sturbed J Compact Fill	☐ Loose Fill
Department of Mark	-	monec	Total Floor Area
Designer name DON COORDT	(mpotoly) - Et	Address	P
City SANI DIRECTO	State Zip Code	721 TRIPP C	License Number
Applicant Contractor	Acent for Contractor J Own		
Name RANDY WOOD	220	Address	
City	State Zip Co	SPETTS PANEAUT RE	ephone
Property Owner J Owner	Lessee or Timant	1120 36	24 4/20
Manus		Address	
City	9 N DIEGO State Zip Co	de Tei	ephone
Contractor			oprioriu
. Contractor OWNER /			
DIXIECTAR UM	Bre 6 B	Address SOLTE	THENT BOUR.
City SAN DIEGO	State Zip Co	Tele	ephone
State License No.	License Class	City Business Tax No.	129-7120
Workers' Compensation Westers' Compensation Declaration: Thereby after that The Island and Company Connected 4 to	RUACK Policy No IUM 52 VILLE		
Coronage of Exemption: I cartly that in the conformance of in	a work for which this primit is about 1 shall not where many person	of the property of the party of the party of the	Worker's Compensation Laws of California
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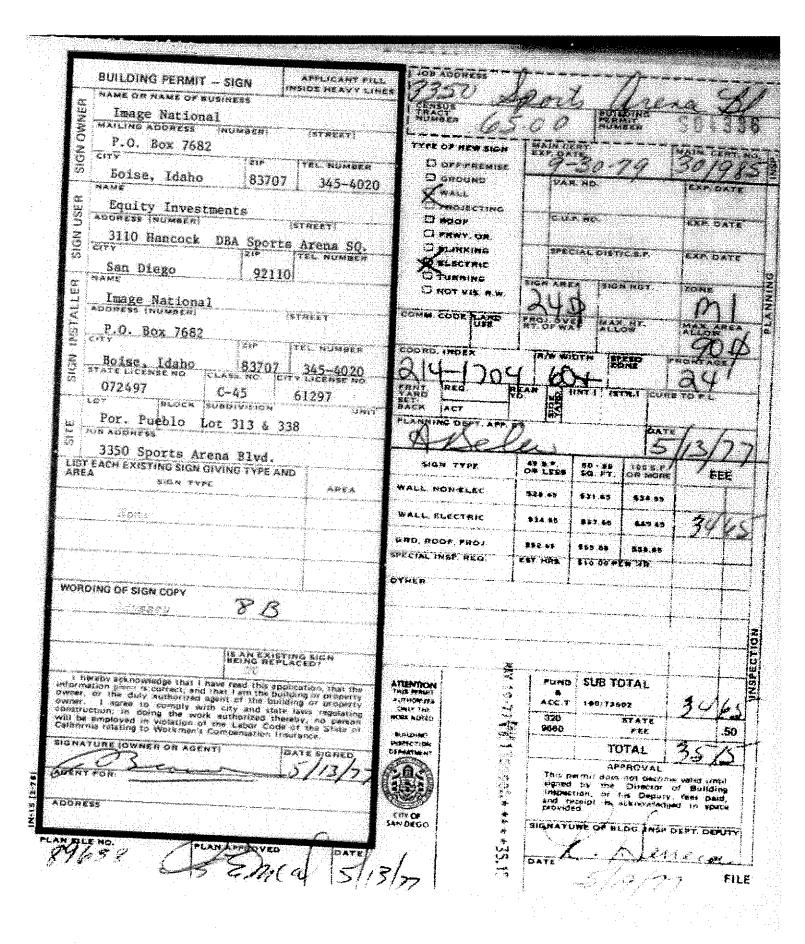
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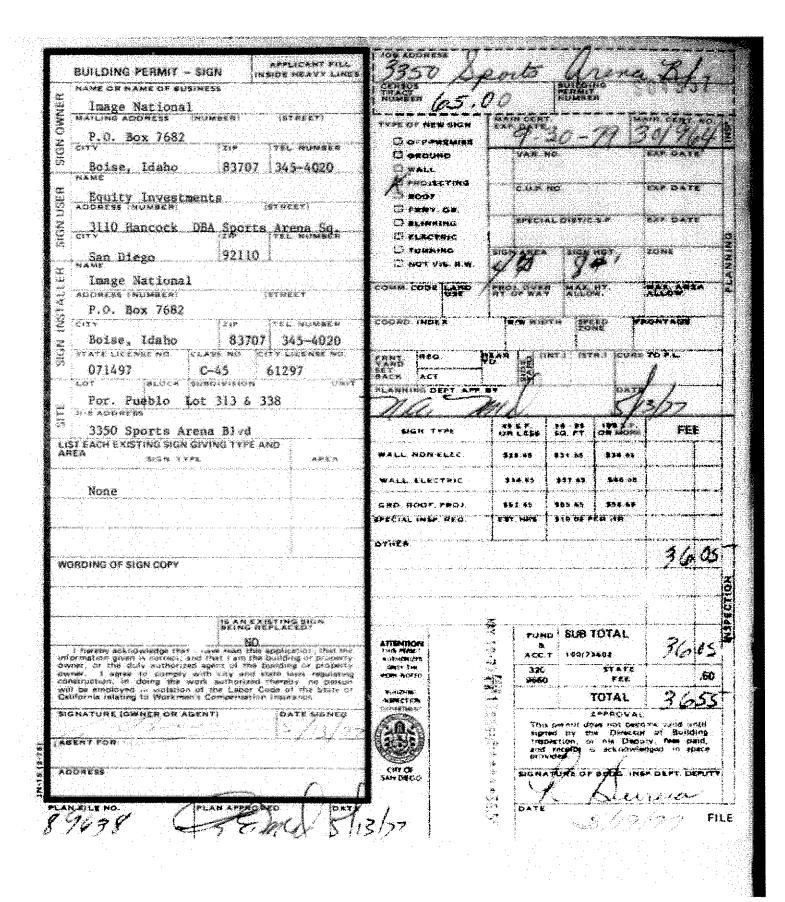
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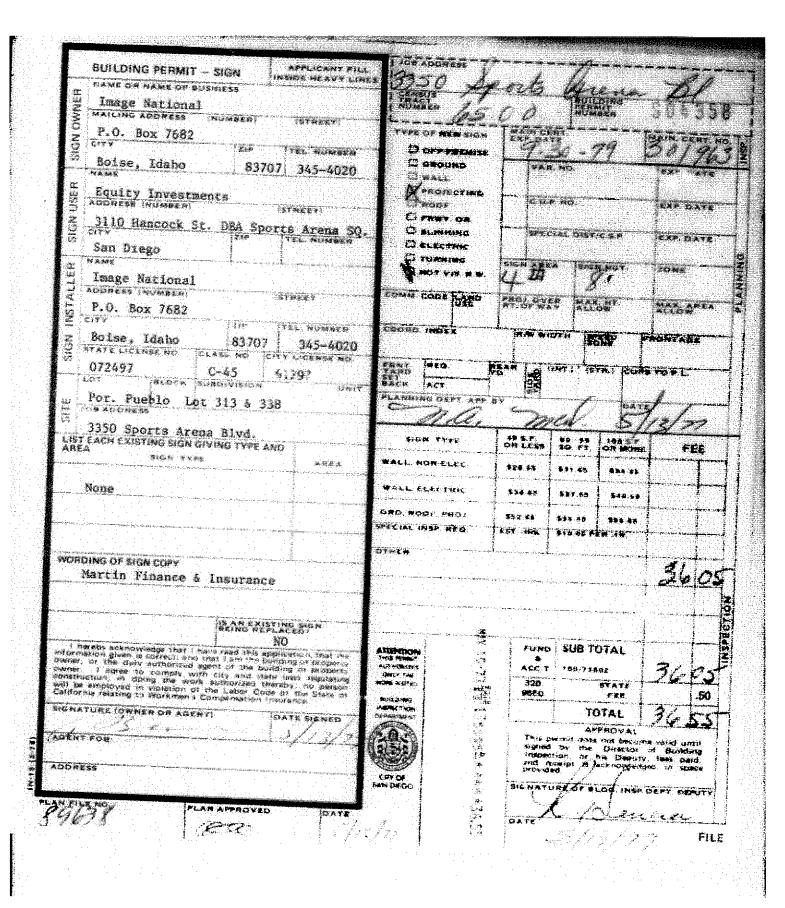
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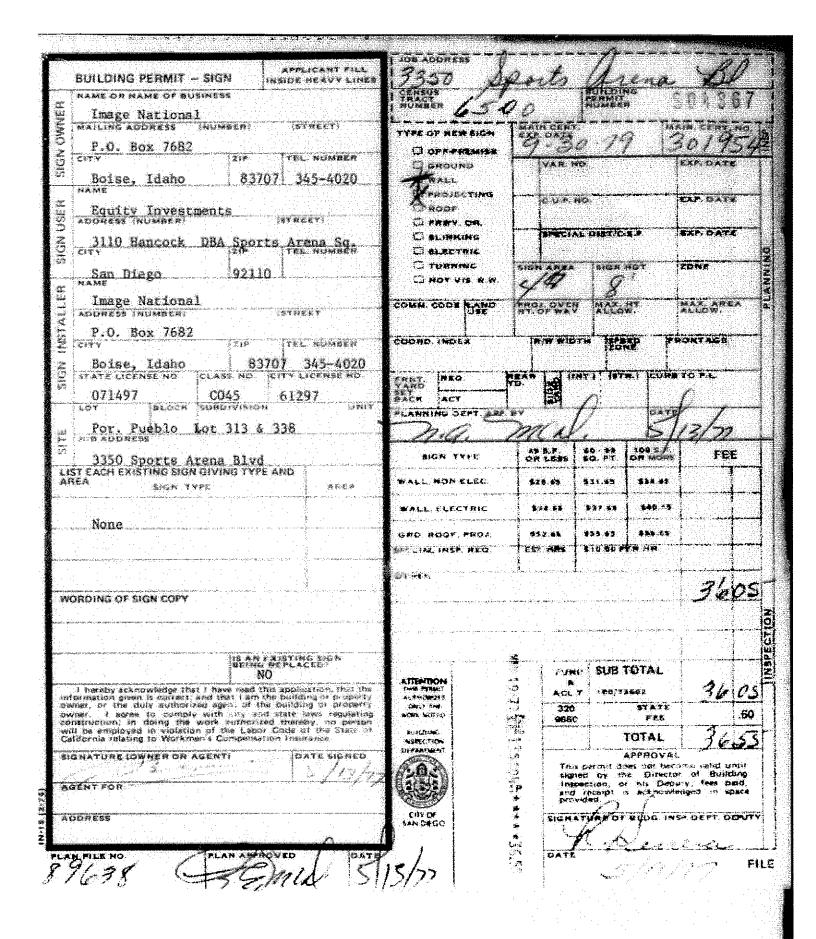
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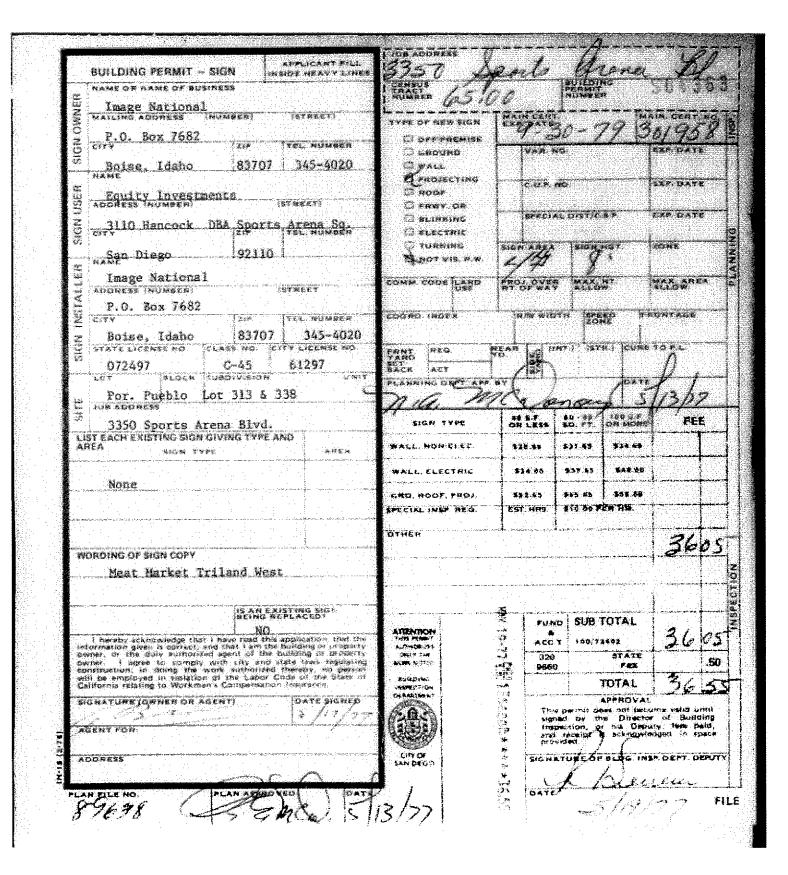
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City of San Diego
Development Services
1222 First Ave., MS-301
San Diego, CA 92101-4154
(619) 446-5000
www.cl.san-diego.ca.us/development-services

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# LOT AND BLOCK BOOK PAGE NOT AVAILABLE

#### PREVIOUS HISTORICAL RESOURCE SURVEY FORMS

PROPERTIES NOT DOCUMENTED OR IDENTIFIED IN ANY HISTORIC SURVEY OR HISTORIC INVENTORY

# APPENDIX B OWNERSHIP AND OCCUPANT INFORMATION

#### CHAIN OF TITLE

# PREPARED BASED UPON RECORDED LEGAL DOCUMENTS OBTAINED BY FIRST AMERICAN TITLE INSURANCE COMPANY

### 3220 Sports Arena Blvd, San Diego, CA 92110-4528

APN: 760-102-04-00

San Diego County Data as of: 11/17/2023

**Owner Information** 

Owner Name:

Vesting:

City Of San Diego

Mailing Address:

**Public Agency** 

Occupancy:

Absentee Owner

Location Information

Legal Description: APN:

Public Land 760-102-04-00

Alternate APN: Twnshp-Rng-Sec:

County: Census Tract / Block: 006500 / 1011 Legal Lot / Block:

San Diego, CA

Munic / Twnshp: Subdivision:

City Of San Diego

Tract #:

Longitude:

10Blic

Legal Book / Page: 760 / 10

Neighborhood: Elementary School: Western San Diego Dewey Elementary S... School District: Middle School:

San Diego Unified School District

Latitude:

32.75335

Correia Middle Sch...

-117.20737

Point Loma High Sc...

Last Transfer / Conveyance - Current Owner

Transfer / Rec Date:

**Buyer Name:** 

Seller Name:

Transfer Doc #: Deed Type:

High School:

**Last Market Sale** 

Sale / Rec Date: Multi / Split Sale: 1st Mtg Amt / Type:

2nd Mtg Amt / Type: Seller Name: Lender:

Sale Price / Type: Price / Sq. Ft.: 1st Mtg Rate / Type: 2nd Mtg Rate / Type:

Deed Type: **New Construction:** 

1st Mtg Doc #: N/A Sale Doc #: N/A

Title Company:

**Prior Sale Information** 

Sale / Rec Date: 1st Mtg Amt / Type: Prior Lender.

Sale Price / Type: 1st Mtg Rate / Type: Prior Deed Type: Prior Sale Doc #:

N/A

**Property Characteristics** 

Gross Living Area: Living Area:

Total Adi. Area:

Basement Area:

Above Grade:

Foundation:

Style:

Quality:

Condition:

1,267 Sq. Ft. 1,267 Sq. Ft.

1.267 Sa. Ft.

**Total Rooms:** Bedrooms:

Baths (F / H):

Pool: Fireplace: Cooling: Heating: **Exterior Wall:** Construction Type: Year Built / Eff: Stories:

1990 / 1990

Parking Type: Garage #: Garage Area: Porch Type: Patio Type: Roof Type: Roof Material:

Site Information

Land Use: State Use: Store Building

Lot Area: Lot Width / Depth: 3,010,400 Sq. Ft.

0

Zoning: C-6 # of Buildings:

County Use:

21 - 1 To 3 Story Misc. Store Bldgs.

Usable Lot:

Acres:

Res / Comm Units: 1/1

Water / Sewer Type:

Site Influence: Flood Zone Code: Community Name:

San Diego, City Of

Flood Map #: Flood Panel #: 06073C1614H 1614H

69.109

Flood Map Date: Inside SFHA:

12/20/2019 False

Tax Information

Assessed Year.

2023

Assessed Value: Land Value:

Improvement Value: Improved %:

Market Total Value: Market Land Value: Market Imprv Value: Market Imprv %:

Tax Year. Tax Area: Property Tax:

Exemption:

8-256

Delinquent Year.

**Data**Tree

### 3240 Sports Arena Blvd, San Diego, CA 92110-4528

APN: 760-102-05-00

**Owner Information** 

Owner Name: Schulmann Victor J Trust Dated 1 / 1989

Vesting:

Mailing Address: 5 First American Way #4, Santa Ana, CA 92707-5913 Occupancy: Absentee Owner

**Location Information** 

Legal Description:Public LandCounty:San Diego, CAAPN:760-102-05-00Alternate APN:Census Tract / Block:006500 / 1011

Munic / Twnshp: City Of San Diego Twnshp-Rng-Sec: Legal Lot / Block:

Subdivision: Tract #: 10Blic Legal Book / Page: 760 / 10

Neighborhood: Western San Diego School District: San Diego Unified School District

Elementary School: Dewey Elementary S... Middle School: Correia Middle Sch... High School: Point Loma High Sc...

Latitude: 32.75549 Longitude: -117.21249

Last Transfer / Conveyance - Current Owner

Transfer / Rec Date: / 02/28/1987 Price: Transfer Doc #: 1987.22812

Buyer Name: Schulmann Victortrend Furniture Seller Name: Owner Name Unavailable Deed Type: Deed

Last Market Sale

Sale / Rec Date: / 02/28/1987 Sale Price / Type: Deed Type: Deed

Multi / Split Sale: Price / Sq. Ft.: New Construction:

1st Mtg Amt / Type: 1st Mtg Doc #: N/A

2nd Mtg Amt / Type: 2nd Mtg Rate / Type: Sale Doc #: 1987.22812

Seller Name: Owner Name Unavailable

Lender. Title Company.

**Prior Sale Information** 

Sale / Rec Date: Sale Price / Type: Prior Deed Type:

1st Mtq Amt / Type: 1st Mtq Rate / Type: Prior Sale Doc #: N/A

Prior Lender.

Property Characteristics
Gross Living Area: Total Rooms: 0

Living Area: Bedrooms: Stories: Total Adj. Area: Baths (F / H): Parking Type: Above Grade: Pool: Garage #: Basement Area: Fireplace: Garage Area: Style: Cooling: Porch Type: Foundation: Heating: Patio Type:

Quality: Exterior Wall: Roof Type:

Condition: Construction Type: Roof Material:

Site Information

Land Use: Store Building Lot Area: 3,010,400 Sq. Ft. Zoning: C-6
State Use: 4 of Buildings: 1

County Use: 21 - 1 To 3 Story Misc. Store Usable Lot: Res / Comm Units: 1 / 1

Bldgs.

Site Influence: Acres: 69.109 Water / Sewer Type:

Flood Zone Code: X Flood Map #: 06073C1614H Flood Map Date: 12/20/2019

Community Name: San Diego, City Of Flood Panel #: 1614H Inside SFHA: False

Tax Information

Assessed Year. 2023 Assessed Value: \$575,603 Market Total Value: Tax Year. 2023 Land Value: \$301,188 Market Land Value: Tax Area: 08-256 Improvement Value: \$274,415 Market Imprv Value:

Property Tax: \$7,051.64 Improved %: 47.67% Market Imprv %: Exemption: Delinquent Year.

·



San Diego County Data as of: 03/29/2024

Year Built / Eff:

### 3250 Sports Arena Blvd, San Diego, CA 92110-4528

APN: 760-102-01-00

San Diego County Data as of: 11/17/2023

**Owner Information** 

Owner Name: Probuild Company LLC

Vesting: Corporation

Mailing Address: 2001 Bryan St #1600, Dallas, TX 75201-3017 Occupancy: Absentee Owner

**Location Information** 

Legal Description:Public LandCounty:San Diego, CAAPN:760-102-01-00Alternate APN:Census Tract / Block:006500 / 1011

Munic / Twnshp: City Of San Diego Twnshp-Rng-Sec: Legal Lot / Block: 12 / Subdivision: 10Blic Legal Book / Page: 760 / 10

Subdivision: Tract #: 10Blic Legal Book / Page: 760 / 10 Neighborhood: Western San Diego School District: San Diego Unified School District

Elementary School: Dewey Elementary S... Middle School: Correia Middle Sch... High School: Point Loma High Sc...

Latitude: 32.75356 Longitude: -117.20841

Last Transfer / Conveyance - Current Owner

28,125 Sq. Ft.

Transfer / Rec Date: 07/25/2003 / 08/22/2003 Price: Transfer Doc #: 2003.1026952

Buyer Name: DLC Acquisition Corp Seller Name: Dixieline Lumber Co Deed Type: Deed

Last Market Sale

 Sale / Rec Date:
 Sale Price / Type:
 Deed Type:

 Multi / Split Sale:
 Price / Sq. Ft.:
 New Construction:

 1st Mtg Amt / Type:
 1st Mtg Doc #:
 N/A

 Cod Mts Act / Type:
 1st Mtg Doc #:
 N/A

2nd Mtg Amt / Type: 2nd Mtg Rate / Type: Sale Doc #: N/A
Seller Name:

Lender. Title Company:

Prior Sale Information

Sale / Rec Date: Sale Price / Type: Prior Deed Type:

1st Mtg Amt / Type: Prior Sale Doc #: N/A Prior Lender: Prior Sale Doc #: N/A

**Property Characteristics** 

Gross Living Area: 28,125 Sq. Ft. Total Rooms: 0 Year Built / Eff: 1968 / 1968

Garage #:

Living Area: 28,125 Sq. Ft. Bedrooms: Stories:

Total Adj. Area: Baths (F / H): Parking Type:

Pool:

Basement Area:Fireplace:Garage Area:Style:Cooling:Porch Type:Foundation:Heating:Patio Type:

Foundation: Heating: Patio Type:
Quality: Exterior Wall: Roof Type:
Condition: Construction Type: Roof Material:

Site Information

Above Grade:

Land Use: Store Building Lot Area: 3,010,400 Sq. Ft. Zoning: I-7

State Use: Lot Width / Depth: # of Buildings: 1

County Use: 21 - 1 To 3 Story Misc. Store Usable Lot: Res / Comm Units: 1 / 1

Site Influence:

Acres:

69.109

Water / Sewer Type:

Flood Zone Code: X Flood Map #: 06073C1614H Flood Map Date: 12/20/2019

Community Name: San Diego, City Of Flood Panel #: 1614H Inside SFHA: False

Tax Information

Assessed Year.2023Assessed Value:\$1,467,000Market Total Value:Tax Year.2023Land Value:\$654,000Market Land Value:Tax Area:08-256Improvement Value:\$813,000Market Improv Value:

Property Tax: \$14,492.80 Improved %: 55.42% Market Imprv %: Exemption: Delinquent Year.

#### 3350 Sports Arena Blvd #60, San Diego, CA 92110-4531

APN: 760-102-32-00

San Diego County Data as of: 11/17/2023

San Diego, CA

1999.904743

Deed

Deed

313/

760 / 10

**Owner Information** 

Owner Name: City Of San Diego

Vesting:

Mailing Address: **Public Agency** Absentee Owner Occupancy:

Location Information

Legal Description:

Public Land 760-102-32-00 APN:

Latitude:

Munic / Twnshp: Subdivision: Neighborhood:

Elementary School:

City Of San Diego

Twnshp-Rng-Sec: Tract #:

Western San Diego School District: Dewey Elementary S... Middle School:

San Diego Unified School District Correia Middle Sch... Longitude:

-117.20926

10Blic

High School: Point Loma High Sc...

Census Tract / Block: 006500 / 1011

Last Transfer / Conveyance - Current Owner

32.75431

Transfer / Rec Date: **Buyer Name:** 

Multi / Split Sale:

1st Mtg Amt / Type:

2nd Mtg Amt / Type:

**Last Market Sale** Sale / Rec Date:

/ 05/14/1999

/ 05/14/1999

City Of San Diego

Seller Name:

Sale Price / Type:

1st Mtg Rate / Type:

2nd Mtg Rate / Type:

Price / Sq. Ft.:

Alternate APN:

Transfer Doc #: Owner Name Unavailable Deed Type:

Deed Type: New Construction:

County:

Legal Lot / Block:

Legal Book / Page:

1st Mtg Doc #: N/A Sale Doc #:

1999.904743

Seller Name: Owner Name Unavailable

Lender:

Title Company:

0

**Prior Sale Information** 

Sale / Rec Date: 1st Mtg Amt / Type: Prior Lender.

Sale Price / Type: 1st Mtg Rate / Type: Prior Deed Type: Prior Sale Doc #:

N/A

**Property Characteristics** 

Gross Living Area: Living Area: Total Adi. Area: Above Grade:

Basement Area: Style: Foundation: Quality: Condition:

77,163 Sq. Ft. **Total Rooms:** 77,163 Sq. Ft. Bedrooms: Baths (F / H): Pool: Fireplace: Cooling: Heating: **Exterior Wall:** 

Stories: Parking Type: Garage #: Garage Area: Porch Type: Patio Type: Roof Type: Roof Material:

Year Built / Eff:

Site Information

Land Use: State Use: **Shopping Center** 

Lot Area: Lot Width / Depth:

Construction Type:

3,010,400 Sq. Ft.

I-7 Zoning: # of Buildings: 1

25 - Neighborhood Shopping County Use:

Center

Usable Lot:

Res / Comm Units: 1/15 Water / Sewer Type:

Site Influence: Acres: 69.109 Flood Zone Code: Flood Map #:

Community Name: San Diego, City Of Flood Panel #: 06073C1614H 1614H

Flood Map Date: 12/20/2019 Inside SFHA: False

Tax Information

Assessed Year. Tax Year.

2023 8-256 Assessed Value: Land Value: Improvement Value: Improved %:

Delinquent Year.

Market Total Value: Market Land Value: Market Imprv Value: Market Imprv %:

Tax Area: Property Tax: Exemption:



#### CHAIN OF TITLE

### 3220, 3240, 3250 & 3350 SPORTS ARENA BOULEVARD

#### SAN DIEGO, CALIFORNIA 92110 ASSESSOR'S PARCEL NUMBERS 760-102-04-00; 760-102-05-00;

760-102-01-00; 760-102-32

### Note All Parcels Consist Of Public Land Owned By The City Of San Diego & <u>Leased To Various Tenants</u>

<u>Grantor(s)</u>	Grantee(s)	<u>Date</u>	Document
Decree On Declaration Of Taking United States Of America/ Certain Parcels In The City Of San Diego, County Of San Diego		January 19, 1944	OR#1619/220
Quitclaim Deed San Diego Trust & Savings Bank	United States Of America	August 30, 1944	OR#1721/489
Quitclaim Deed United States Of America	City Of San Diego	October 1, 1964	OR#179924
Notice Of Completion Dixieline Lumber Company		November 6, 1967	DOC#173540
Notice Of Completion  Double M Development  Corporation			
•		November 16, 1978	DOC#78- 49738
Notice Of Completion Sumac Development Corporation		November 24, 1982	DOC#82- 363909
Notice Of Completion Len A. Paul		September 24, 2002	DOC#2002- 0818542

CITY DIRECTORY LISTING OF OCCUPANTS

#### SAN DIEGO CITY DIRECTORY OCCUPANT LISTINGS 3220 SPORTS ARENA BOULEVARD, SAN DIEGO, CALIFORNIA

Year(s)	Name(s)	Occupation(s), If Listed/Noted
1923-1968	No Listings	
1969-2003	Pier One Imports	
2004	No Directory Available	
2005-2008	Pier One Imports	
2009	No Directory Available	
2010	Pier One Imports SD	
2011	No Directory Available	
2012	Pier One Imports SD	
2013-2014	No Directories Available	
2015-2018	Pier One Imports SD	
2019-2021	No Listings	

#### SAN DIEGO CITY DIRECTORY OCCUPANT LISTINGS 3240 SPORTS ARENA BOULEVARD, SAN DIEGO, CALIFORNIA

Year(s)	Name(s)	Occupation(s), If Listed/Noted
1923-1968	No Listings	
1969-1998	Trend Furniture Company Of San Diego	Retail Furniture Store
1999-2001	La Jolla Patio & Mattresses	
2002	No Listing	
2003-2008	Salvation Army Thrift Store	
2009	No Directory Available	
2010-2021	Salvation Army Thrift Store	

#### SAN DIEGO CITY DIRECTORY OCCUPANT LISTINGS 3250 SPORTS ARENA BOULEVARD, SAN DIEGO, CALIFORNIA

Year(s)	Name(s)	Occupation(s), If Listed/Noted
1923-1967	No Listings	
1968	Dixieline Lumber Company Gilfred Freese Jr.	
1969-1972	Dixieline Lumber Company	
1973-1974	Dixieline Lumber Company Dixieline Builders Fund Contro Dixieline Finance Company	1
1975-1985	Dixieline Lumber Company Dixieline Builders Fund Contro	1
1986-2003	Dixieline Lumber Home Center	
2004	No Directory Available	
2005-2008	Dixieline Lumber Home Center Dixieline Lumbers Builders Fur	
2009	No Directory Available	
2010	Dixieline Lumber Home Center Dixieline Lumbers Builders Fur	
2011	No Directory Available	
2012	Dixieline Pro Build	
2013-2014	No Directories Available	
2015-2016	Dixieline Builders First Source	
2017-2021	Dixieline Dixieline Lumber Yard Dixieline Pro Build Dixieline Truss Yard	

## SAN DIEGO CITY DIRECTORY OCCUPANT LISTINGS 3350 SPORTS ARENA BOULEVARD, SAN DIEGO, CALIFORNIA

Year(s)	Name(s)	Occupation(s), If Listed/Noted
1923-1980	No Listings	
1981-1983	Broken Yolk Restaurant Command Performance Flipside Record & TP Hollywood Pizza Mad Jacks SND CTR Petco Animal Supplies Pigeon Toed Shoes Second Sole Athletics Sound Center Swensens Ice Cream Weitzman M.	Doctor
1984	Broken Yolk Restaurant Command Performance Japan Karate Do Japan Sports Center Karate Do Japan Hollywood Pizza Mad Jacks SND CTR Petco Animal Supplies Pigeon Toed Shoes Second Sole Athletics Sono Restaurant Swensens Ice Cream Weitzman M. Willies Pies of Texas Yellow Brick Road Arc	Doctor
1985	Broken Yolk Restaurant Command Performance The Film Shop Japan Karate Do Japan Sports Center Karate Do Japan Hollywood Pizza Mad Jacks SND CTR Petco Animal Supplies Pigeon Toed Shoes Second Sole Athletics Sono Restaurant	

Swensens Ice Cream Weitzman M.

Willies Pies of Texas

Yellow Brick Road Arc

Doctor

1986 Broken Yolk Restaurant

> Chewys Caramel Fudge Command Performance

Japan Karate Do Japan Sports Center Karate Do Japan **Gyros Express** Hollywood Pizza Mad Jacks SND CTR Petco Animal Supplies Pigeon Toed Shoes Second Sole Athletics Sono Restaurant Swensens Ice Cream

Weitzman M.

Willies Pies of Texas Yellow Brick Road Arc Doctor

1987-1988 Cafe Broken Yolk

Chewys Caramel Fudge

Japan Karate Do Japan Sports Center Karate Do Japan **Gyros Express** Hollywood Pizza Mad Jacks SND CTR Petco Animal Supplies Record Heaven

Second Sole Athletics **Tomorrows Memories** Swensens Ice Cream Weitzman M.

Yellow Brick Road Arc

Doctor

1989-1994 Cafe Broken Yolk

Chewys Caramel Fudge

Decor Plan Japan Karate Do Japan Sports Center Karate Do Japan **Gyros Express** 

Hollywood Pizza Kenneth of London Mad Jacks SND CTR Petco Animal Supplies

Record Heaven Second Sole Shoes Second Sole Athletics Tomorrows Memories Swensens Ice Cream

Weitzman M.

Doctor

Yellow Brick Road Arc

1995-2000 Excelsior Cafe

Hollywood Pizza Hometown Bakery Japan Karate Do Japan Sports Center Kobeys Swap Meet

Petco Store

Royal Gyros & Deli Swensens Ice Cream

2001-2003 Arena Martial Arts

Designer Sportswear Inc

K Online

Kobeys Swap Meet SD Wagon Company

Tap Lighting

Unforgettable Desserts

No Directory Available

2005-2007 Crack In The Wall

In-House Chef

Kite Country

Knockout Fitness Club Kobeys Swap Meet

K Online

Ross' Audio & Video Exchange

Ross Exchange

SD Wagon Company

Soma

Unforgettable Desserts Vincents Gem Store 2008 Cargo Unlimited Worldwide

Carpet & Flooring Outlet

Kite Country

The Kobey Corporation Kobeys Swap Meet Losina Art Center Lucky You Inc

Outdoor Living Superstore Panda Kitchen & Bath Patisserie Du Soleil

SD Jo Du Soma

Unforgettable Desserts

No Directory Available

2010 Cargo Unlimited Worldwide

Carpet & Flooring Outlet

Kite Country

The Kobey Corporation Kobeys Swap Meet Losina Art Center Crack In The Wall

SD Jo Du Soma

Unforgettable Desserts

No Directory Available

2012 Carpet & Flooring Outlet

The Kobey Corporation Kobeys Swap Meet Losina Art Center Crack In The Wall

SD Jo Du Soma

Unforgettable Desserts Panda Kitchen & Bath

2013-2014 No Directory Available

2015-2017 Soma

The Arena Gym

2018-2021 Crack In The Wall

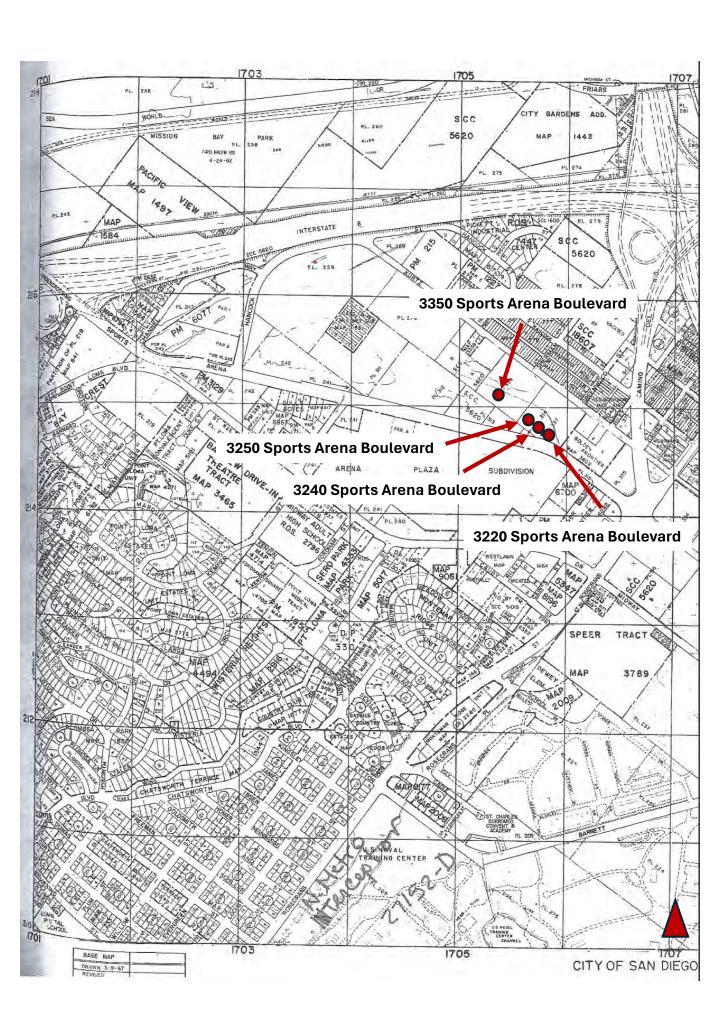
Soma

## COPY OF DEED FROM THE DATE OF CONSTRUCTION NOT AVAILABLE

# APPENDIX C MAPS

#### CITY OF SAN DIEGO

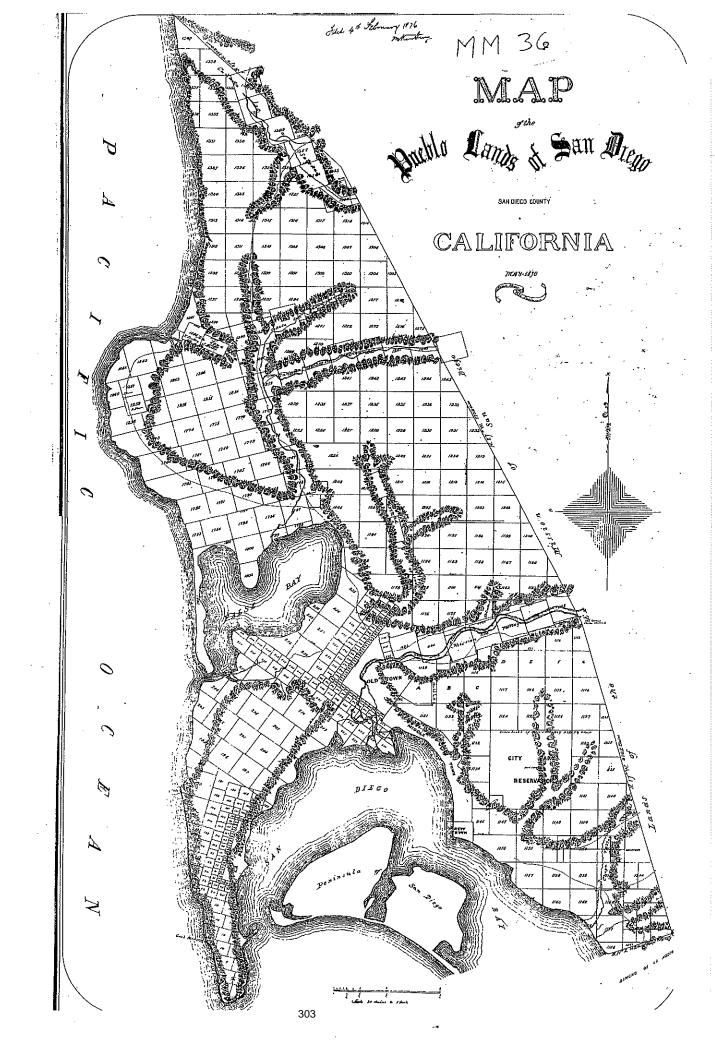
#### 800:1 SCALE ENGINEERING MAP



U.S.G.S. LA JOLLA QUADRANGLE MAP



## ORIGINAL SUBDIVISION MAP PUEBLO LANDS OF SAN DIEGO



## SANBORN FIRE INSURANCE MAPS NOT AVAILABLE FOR THIS AREA OF SAN DIEGO

# APPENDIX D DPR FORMS

# APPENDIX E PREPARER'S QUALIFICATIONS

#### SCOTT A. MOOMJIAN ATTORNEY AT LAW 5173 WARING ROAD, #145 SAN DIEGO, CALIFORNIA 92120 TELEPHONE (619) 230-1770 FACSIMILE (619) 785-3340 smoomjian68@yahoo.com

#### **Education:**

- \*Bachelor of Arts, History, 1990; University Of California, Davis (With Honors)
- \*Master of Arts, History; 1993; University Of San Diego
- \*Juris Doctor, 1997; California Western School Of Law, ABA/AALS
  - \*Best Appellate Brief Award, Spring 1996
  - \*American Jurisprudence Award, Environmental Law Seminar, Spring 1997

#### **Professional Background:**

Between 1990-1995, Mr. Moomjian worked as both an historian and archaeologist in the San Diego area. During this period, he worked as a historian at the University of San Diego, a social studies instructor at two private elementary and secondary schools, and as a historian and archaeologist for a cultural resource management firm. In 1995, while attending law school, Mr. Moomjian became affiliated with the firm of Marie Burke Lia, Attorney at Law. His law school internship was with SANDAG (The San Diego Association of Governments) where complex environmental, land use, energy, transportation, housing, and municipal issues were studied.

For the past twenty-five years, Mr. Moomjian has been extensively involved in the field of land use law, emphasizing historic properties and cultural resources. His experience includes effectuating compliance with Section 106 (36 CFR 800) of the National Historic Preservation Act; the preparation of historic preservation components of environmental impact reports, historical assessment technical reports, and Historic American Building Survey (HABS) documentation, required by the California Environmental Quality Act (CEQA); nominating historic properties to the local, state, and national registers; completing certification application procedures and securing the federal tax incentives with the State Office Of Historic Preservation and National Park Service; obtaining development permits of various types; and representation before municipal bodies such as the San Diego Historical Resources Board, San Diego County Historic Site Board, San

Diego Planning Commission, San Diego City Council, San Diego County Planning Commission and San Diego County Board of Supervisors.

Mr. Moomjian's extensive experience in the field of historic and cultural properties has also included the surveying of historic resources. In this capacity, he has undertaken all aspects of field work, planning, background research, organization and presentation of survey data, and the completion of historic resource inventory forms. Mr. Moomjian has worked as a principal consultant on historic resource surveys focusing on the downtown East Village (Ballpark), North Embarcadero, and Mid-City areas, as well as those in the Barrio Logan community. He has completed Historic Resource Inventory Updates of the East Village Area for the former Centre City Development Corporation (CCDC). In addition, he has worked in the completion of phase studies and the Programmatic Agreement (PA) for the San Diego County Airport Authority's Quieter Home Program (Loma Portal and Uptown Neighborhoods), as well as an Historic Resource Inventory Update for the City of Murrieta and a Historic Resource Inventory for the City of Chula Vista. Finally, he has completed hundreds of historic studies for properties located throughout the San Diego County region.

Mr. Moomjian has served as a historic property consultant to the San Diego Unified Port District, the San Diego County Regional Airport Authority, and the former Centre City Development Corporation (CCDC). He is recognized as a qualified historical consultant by the City and County of San Diego, as well as other local municipalities including Del Mar, Carlsbad, Oceanside, Escondido, Encinitas, Coronado, and La Mesa. His professional qualifications meet, and/or exceed, the Secretary of the Interior's *Standards and Guidelines for Archaeology and Historic Preservation* (1995) in the disciplines of Architectural History, Historical Preservation, and History. From 2007-2019, Mr. Moomjian served on the San Diego County Historic Site Board (HSB).