

La Jolla Shores Planned District Advisory Board (LJSPDAB)
APPLICANT PROJECT INFORMATION FORM

Please provide the following information on this form to schedule your project at an upcoming La Jolla Shores Planned District Advisory Board meeting.

For Action Items

- Project Tracking System (PTS) Number/Accela "PRJ" Number and Project Name (only submitted projects to the Development Services Department can be heard as action items):
PRJ-1085883

- Address and APN(s):

8303 LA JOLLA SHORES DRIVE, LA JOLLA, CA 92037

APN(s): 346-250-0800, 346-250-0900, 346-250-1000

- Project contact name, phone, e-mail:

ANDY FOTSCH - WILL AND FOTSCH ARCHITECTS 858-224-2486 PERMITS@WILLANDFOTSCH.COM

Project description:

- One (1) consolidated lot split into six (6) individual lots; Each lot to consist of one (1) single family dwelling. Lots (1-6) to each have a 2-3 story single family residence with to include a pool, detached and/or attached garage. All lots to be served via a private street, accessed off of the south end of Calle del Cielo. Landscape, Public improvements, and other site work to be included within the CDP/SDP/TM.

- Please indicate the action you are seeking from the Advisory Board:

☒ Recommendation of approval of a Site Development Permit (SDP) and Coastal Development Permit (CDP)

- In addition, provide the following:

o lot size:

CONSOLIDATED LOT OF 3 PARCELS TO BE SPLIT INTO 6 SFR LOTS AND A SHARED PRIVATE STREET

PREVIOUS PLOTS:

(PARCEL 1: 0.60 AC, 26,136SF | PARCEL 2: 1.80 AC, 77,972SF | PARCEL 3: 2.1 AC, 90,169SF)

PROPOSED PLOTS:

(LOT 1: 33,724 SF | LOT 2: 20,737 SF | LOT 3: 31,488 SF | LOT 4: 30,234 SF | LOT 5: 27,400 SF | LOT 6: 25,935 SF)
24,490SF OF PRIVATE STREET AND ACCESS TO BE MAINTAINED BY PROPOSED HOA

o existing structure square footage and FAR (if applicable):

346-250-0800 - 5958 SF, .23 FAR | 346-250-0900 - N/A, VACANT | 346-250-1000 - N/A, VACANT

o proposed square footage and FAR:

OVERALL AVERAGE SQUARE FOOTAGE AND FAR: 11,629/28,298 0.41 FAR

LOT 1: 10,642/33,724 0.32 FAR | LOT 2: 9,068/20,737 0.44 FAR | LOT 3: 14,332/31,488 0.46 FAR

LOT 4: 11,457/30,234 0.39 FAR | LOT 5: 12,612/27,400 0.46 FAR | LOT 6: 13,264/25,935 0.51 FAR

o existing and proposed setbacks on all sides:

EXISTING SETBACKS: FYSB: ~175' | SYSB1: ~51' | SYSB2: ~16' | RYSB: ~13'

AVERAGE PROPOSED SETBACKS: FYSB: ~36' | SYSB1: ~13' | SYSB2: ~13' | RYSB: ~26'

ACTUAL PROPOSED SETBACKS PER LOT (F/S1/S2/R)

LOT 1: (60'/7'/20'/30') **LOT 2:** (77'/11'/22'/24') **LOT 3:** (52'/28'/10'/15')

LOT 4: (10'/8'/9'/27') **LOT 5:** (8'/8'/5'/17') **LOT 6:** (10'/10'/13'/57')

o height if greater than 1-story (above ground):

AVERAGE HEIGHT OF TOTAL DEVELOPMENT: 27' 6"

LOT 1: 27' 0" | LOT 2: 29' 6" | LOT 3: 27' 7" | LOT 4: 20' 0" | LOT 5: 28' 0" | LOT 6: 27' 9"

Exhibits and other materials to provide:

Exhibits and other project-related presentation materials (e.g. site plan, elevations, exhibits showing addition/remodel areas, etc.) although not required, are extremely helpful in informing the Advisory Board's review and understanding of a project. The following exhibits and materials are recommended and if provided by the applicant, will be attached to the agenda and posted to the City's website:

<https://www.sandiego.gov/planning/community/profiles/lajolla/pddoab> for view by the public:

- All exhibits should be sized to 8 ½" X 11" format
- Exhibits, which can contain the following:
 - A. A site plan showing the street, the property line on all sides, the setbacks on all sides, and the setbacks from the property lines to the neighboring building;
 - B. Elevations for all sides;
 - C. If the proposal is for a remodel, a clear delineation of what part of the proposed structure is new construction
 - D. If the proposal is for a building with more than one story, show:
 - how the upper story sits on the story beneath it (setback of the upper story from the lower story);
 - the distance from the proposed upper story to comparable stories of the neighboring buildings; and
 - the height of neighboring buildings compared to the proposed structure's height.
- Any surveys that indicate similarities in floor area or architectural style in the surrounding neighborhood
- Any communications such as letter and emails from adjacent neighbors, local neighborhood groups, and/or the Homeowners' Association
- The most recent Project Issues Report for the project from the Development Services Department

PLEASE DO NOT PROVIDE THE FOLLOWING:

- The complete plan set of the project. Complete plan sets take up a lot of memory to distribute and most of the information is not necessary for the Advisory Board's review.
- Plans or exhibits of the interior of the project. Interiors are not reviewed by the Advisory Board.
- Personal contact information of the property owners of the project should not be included, unless they are the "owner/applicant" and they are the designated point of contact

The Advisory Board members are very keen to know that the neighbors in the immediate vicinity have been noticed and their views noted. Community conformity, setbacks, FAR, parking, view corridors, bulk & scale, and articulation are key discussion points on all projects. Action Items will be heard first.

Thank you,

Please return the information requested to no later than a week before the scheduled meeting date:

Melissa Garcia, Senior Planner
magarcia@sandiego.gov
City Planning Department
619-236-6173

CIELO MAR DEVELOPMENT

SITE PLANS & INFORMATION

DATE:	ISSUE:
1/24/2023	CDP SUBMITTAL
1/03/2023	2ND CDP SUBMITTAL
1/18/2024	3RD CDP SUBMITTAL



JOB #:

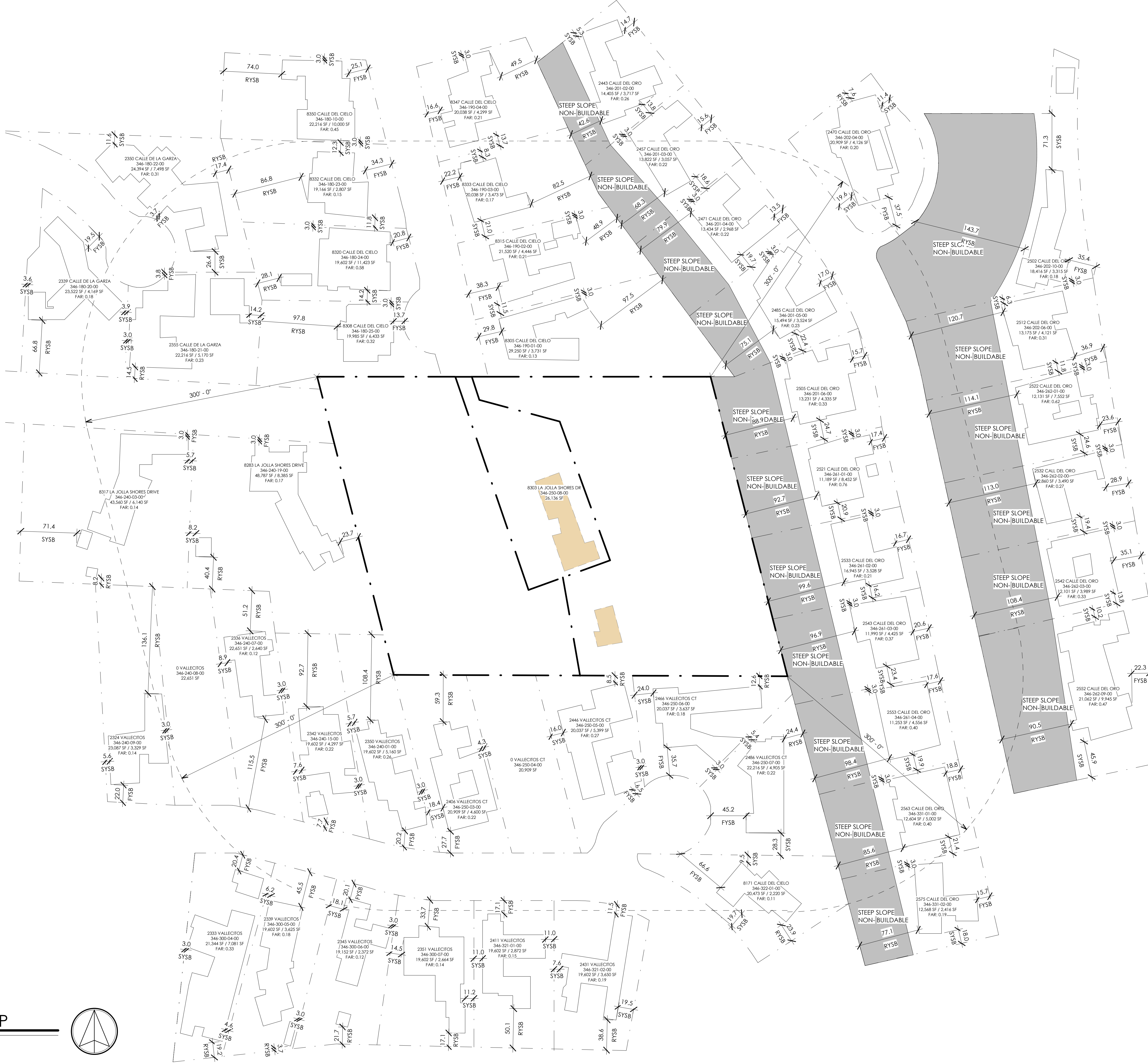
CIELO MAR

8303 LA JOLLA SHORES DR. SAN DIEGO, CA 32037

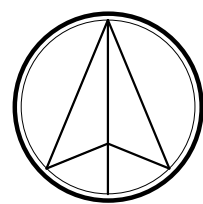
DATE:	ISSUE:
02/24/2023	CDP SUBMITTAL
10/03/2023	2ND CDP SUBMITTAL
03/18/2024	3RD CDP SUBMITTAL
08/16/2024	4TH CDP SUBMITTAL
12/13/2024	5TH CDP SUBMITTAL

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LA JOLLA SHORES
300' RADIUS SITE
PLAN
12/13/2024



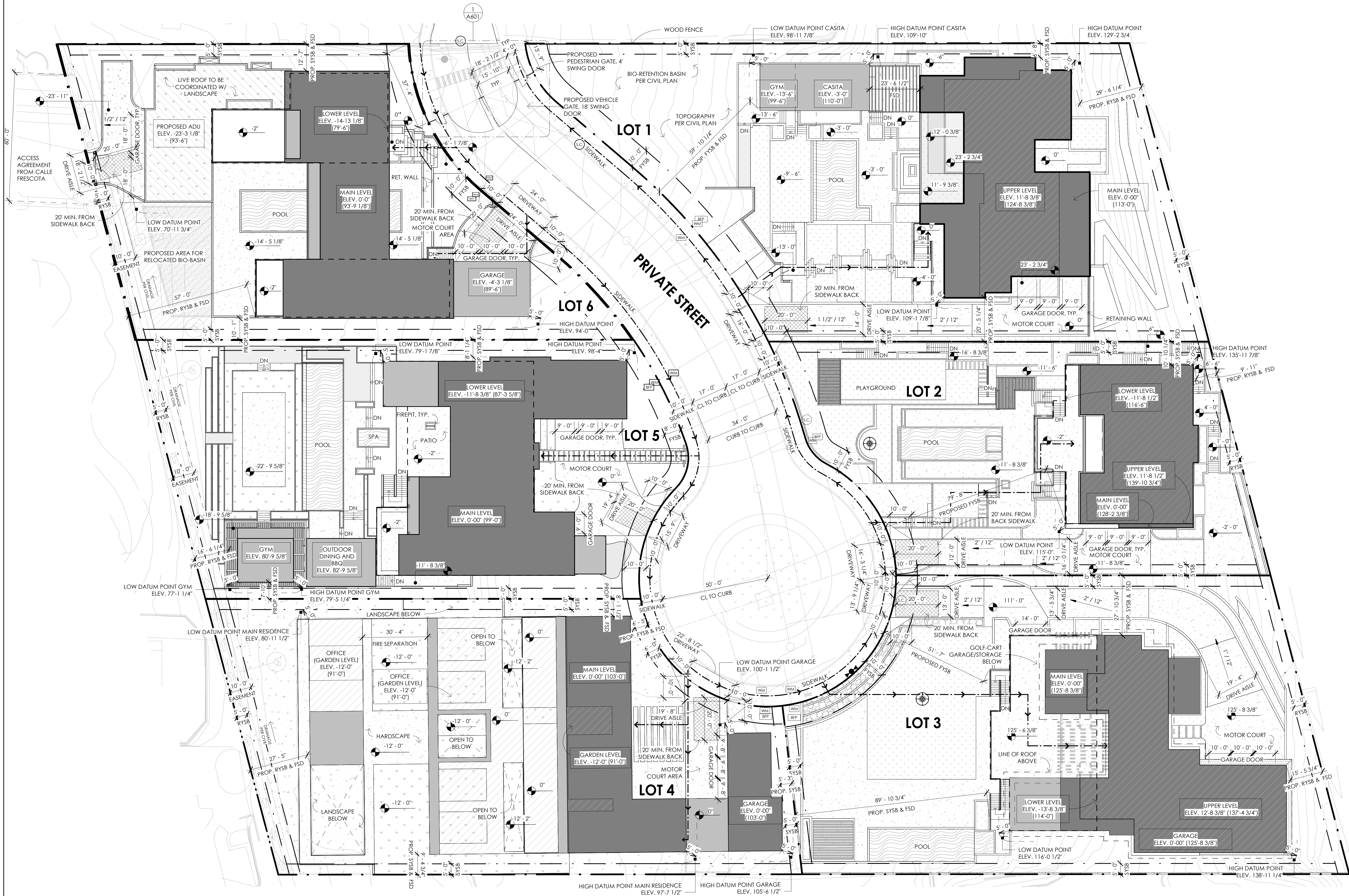
1 300' RADIUS MAP
SCALE = 1" = 60'-0"



CIELO MAR DEVELOPMENT

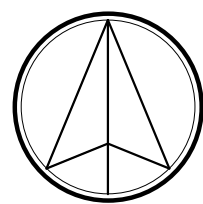
EXTENDED NEIGHBOR & COMMUNITY OUTREACH

- Conducted over 8 hours of thorough community planning meetings.
- Engaged in more than 10 additional hours of direct discussions with neighbors.
- Held individual meetings and made phone calls to adjacent neighbors and attorneys to ensure clear communication.
- The city has issued three notifications, with two initiated at the applicant's request.
- An additional mailing was carried out at the client's expense to further inform the community.
- Successfully garnered 8+ letters of support from neighbors, demonstrating strong community backing.



1 OVERALL SITE PLAN

SCALE = 1" = 20'-0"



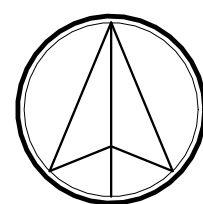
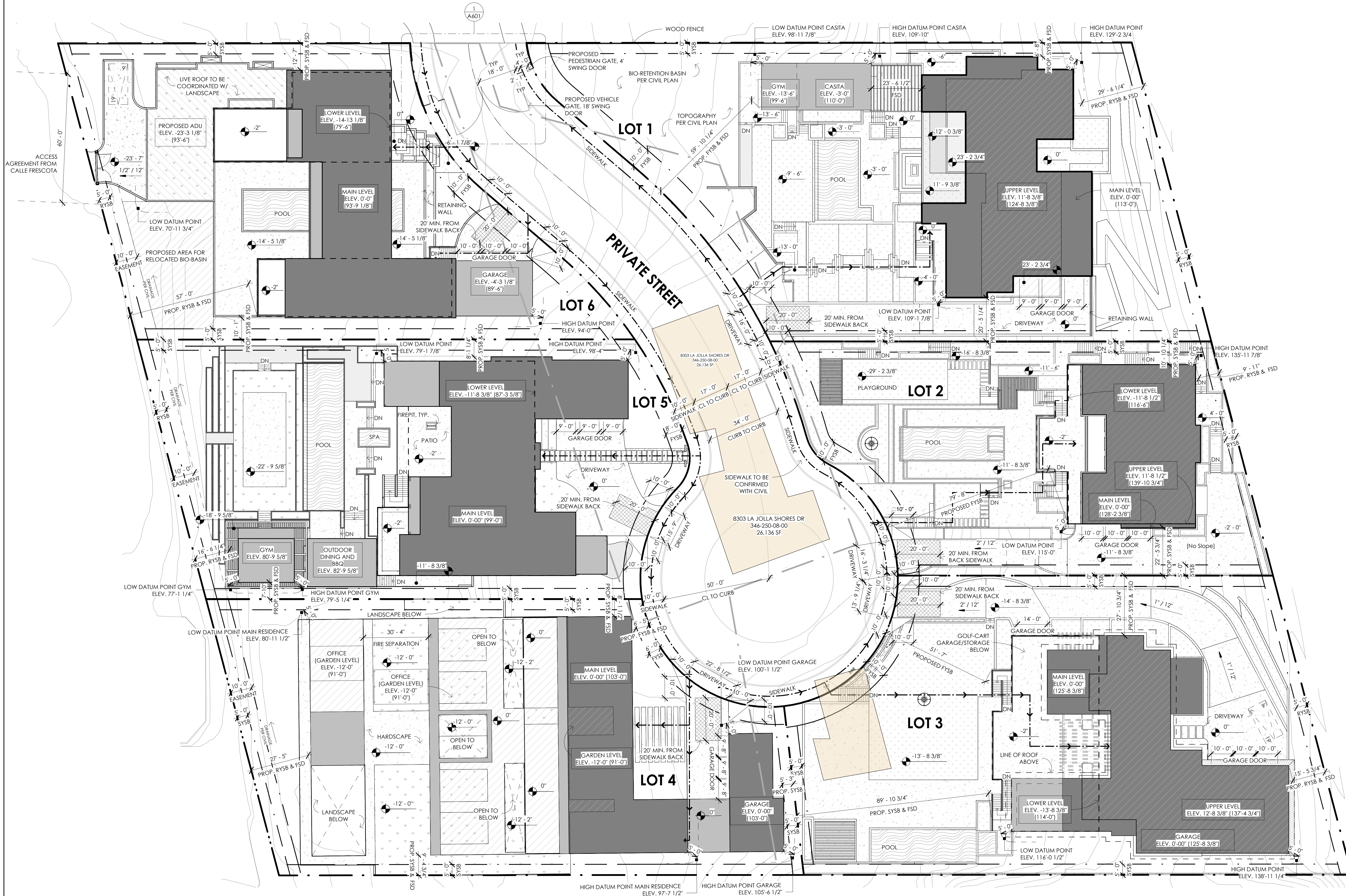
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12/13/2024	5TH CDP SUBMITTAL

A000.0

OVERALL SITE
PLAN

12/13/2024



CIELO MAR DEVELOPMENT

DESIGN CONCESSIONS TO BENEFIT SURROUNDING NEIGHBORS

Lowered ridge of Lot 3 24" resulting in less visual impact (bulk & scale) to adjacent neighbor.

Reduced window sizes on Lot 3 resulting in greater privacy.

Removed pickleball courts resulting in less noise to neighbors.

Stucco walls around HVAC equipment resulting in better sound attenuation.

Stucco wall at south PL of Lot 3 resulting in privacy and sound attention to adjacent neighbor.

Fence location in SE corner of Lot 3 to remain resulting in continued encroachment use for adjacent neighbor.

CIELO MAR DEVELOPMENT

GRADING & CIVIL DRAWINGS

CIELO MAR DEVELOPMENT

CUT / FILL CALCULATIONS

LOT	CUT	FILL	NET (+EXPORT/ -IMPORT)
1	1,950 cu. yds	850 cu. yds	+1,100 cu. yds
2	1,850 cu. yds	460 cu. yds	+1,390 cu. yds
3	4,860 cu. yds	1,150 cu. yds	+3,710 cu. yds
4	280 cu. yds	2,520 cu. yds	-2,240 cu. yds
5	600 cu. yds	2,525 cu. yds	-1,925 cu. yds
6	565 cu. yds	1,005 cu. yds	-440 cu. yds
ROAD	200 cu. yds	1,250 cu. yds	-1,050 cu. yds
TOTALS	10,305 cu. yds	9,760 cu. yds	+545 cu. yds

TENTATIVE MAP NO. 3213966

CIELO MAR

NOTE:
SEE SHEET C-9 FOR MORE DETAIL
FOR THE PROPOSED TURNING RADIUS
AND ENTRY GATE PLAN

SUBDIVIDER'S CERTIFICATE

THE SUBDIVIDER AGREES TO DEFEND, INDEMNIFY AND HOLD HARMLESS THE CITY OF SAN DIEGO AND ITS AGENTS, OFFICERS AND EMPLOYERS FROM ANY CLAIM, ACTION OR PROCEEDING AGAINST THE COUNTY OF SAN DIEGO OR ITS AGENTS, OFFICERS OR EMPLOYERS TO ATTACK, SET ASIDE, VOID OR ANNULL AN APPROVAL FROM THE COUNTY OF SAN DIEGO CONCERNING THE SUBDIVISION WHEN SUCH ACTION IS BROUGHT WITHIN THE TIME PERIOD SPECIFIED IN GOV. CODE SECTION 66499.37. THIS CERTIFICATE IS CONDITIONED UPON THE COUNTY OF SAN DIEGO PROVIDING PROMPT NOTICE TO THE SUBDIVIDER AS PROVIDED BY THE ACT. (GOV. CODE 66474.9).

CIEL EAU, LLC, A CALIFORNIA LIMITED LIABILITY COMPANY
SCOTT SINNETT, MANAGING PARTNER

DATE

OWNER'S CERTIFICATE

WE HEREBY CERTIFY THAT WE ARE THE RECORD OWNERS OF THE PROPERTIES SHOWN ON THE ATTACHED TENTATIVE PARCEL MAP AND THAT SAID MAP SHOWS THE ENTIRE CONTIGUOUS OWNERSHIP. WE UNDERSTAND THAT PROPERTY IS CONSIDERED CONTIGUOUS EVEN IF IT IS SEPARATED BY ROADS, STREETS, UTILITY EASEMENTS OR RAILROAD RIGHTS-OF-WAY.

CIEL EAU, LLC, A CALIFORNIA LIMITED LIABILITY COMPANY
SCOTT SINNETT, MANAGING PARTNER

DATE

SITE ADDRESS: 8303 LA JOLLA SHORES DRIVE
END OF CALLE DEL CIELO
LA JOLLA, CA 92037

LEGAL DESCRIPTION: PARCELS 1, 2 AND 3 OF PARCEL MAP NO. 14620, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, JANUARY 8, 1987 AS FILE NO. 87-007322 OF OFFICIAL RECORDS.

ASSESSOR PARCEL NUMBER: 346-250-08, 09 & 10
MAP TOTAL GROSS ACREAGE: 4.454 ACRES, (194,020.35 S.F.)
AREA DEVOTED TO: PRIVATE ROADS = 24,249.77 SF

LOT SIZES
LOT 1: 33,717 SF
LOT 2: 20,737 SF
LOT 3: 31,495 SF
LOT 4: 30,241 SF
LOT 5: 27,645 SF
LOT 6: 25,935 SF

TOTAL NUMBER OF PROPOSED LOTS: 6 NUMBERED RESIDENTIAL LOTS & 1 LETTERED H.O.A. LOT
GENERAL PLAN DESIGNATION: ZONE 4
ZONING DESIGNATION: LUSD-SF
MINIMUM LOT SIZE: 20,736.89 SQUARE FEET NET (LOT 2)

SETBACKS:
FRONT YARD 30- FEET FROM ULTIMATE R.O.W.
INTERIOR SIDE YARD 10- FEET FROM R
STREET SIDE YARD 15- FEET FROM R
REAR YARD 25- FEET FROM R

PRESENT USE: SINGLE RESIDENTIAL LOT W/ AN ADU
PROPOSED USE: SIX FUTURE SINGLE FAMILY RESIDENCE'S

SOLAR STATEMENT: THIS IS A SOLAR SUBDIVISION AS REQUIRED BY THE SUBDIVISION ORDINANCE. ALL PARCELS TO HAVE AT LEAST 100 SQUARE FEET OF UNOBSTRUCTED ACCESS

TOPOGRAPHY: PLS 8526 JUSTIN DANKEL, TERRASRIE INC.
DATE PREPARED: 02/16/2023

DATE REVISED:

GRADING NOTE: MINOR GRADING PROPOSED

PRELIMINARY TITLE REPORT: LAWYERS TITLE COMPANY
FILE NO. 322315766
DATED APRIL 14, 2022

EASEMENT LEGEND

EASEMENTS PLOTTED AND REFERENCED PER INFORMATION PROVIDED IN AND DOCUMENTS LISTED IN TITLE REPORT PROVIDED BY "LAWYERS TITLE", FILE NO. 322315766, DATED APRIL 14, 2022.

- [B] 60.00 FOOT WIDE EASEMENT FOR ROAD PURPOSES AS DESCRIBED IN PARCEL B OF THE TITLE REPORT.
- [2] 60.00 FOOT WIDE EASEMENT FOR INGRESS AND EGRESS, PIPELINES, DRAINAGE AND/OR PUBLIC UTILITIES
- [4] 60.00 FOOT WIDE EASEMENT FOR ROAD PURPOSES GRANTED TO ORD PRESTON, JR. AND MARJORIE ELIUS PRESTON ON OCTOBER 10, 1947 IN BOOK 2438, PAGE 400 O.R..
- [5] EASEMENT GRANTED TO SD&KE ON DECEMBER 30, 1947 IN BOOK 2569, PAGE 477 O.R.. (UNABLE TO PLOT, THE EXACT LOCATION AND WIDTH OF EASEMENT NOT DISCLOSED OF RECORD)
- [6] 60.00 FOOT WIDE EASEMENT GRANTED TO SD&KE ON OCTOBER 26, 1948 IN BOOK 2996, PAGE 196 O.R..
- [7] 15.00 FOOT WIDE EASEMENT FOR PUBLIC SEWER GRANTED TO THE CITY OF SAN DIEGO ON MARCH 10, 1950 IN BOOK 3534, PAGE 332 O.R..

BENCH MARK

- BENCHMARK FOR THIS SURVEY IS A BRASS PLUG SET IN CONCRETE CURB RETURN, LOCATED SOUTHWESTERLY OF THE INTERSECTION OF CALLE DEL ORO & CALLE DEL CIELO IN THE CITY OF LA JOLLA, CA., HAVING A PUBLISHED MEAN SEA LEVEL ELEVATION OF 70.47'.

FOUND MONUMENTS

- [A] INDICATES FOUND 3/4" IRON PIPE W/YELLOW CAP STAMPED "LS 5717" PER CORNER RECORD NO. 30186.
- [B] INDICATES FOUND 2" IRON PIPE W/DISC STAMPED "RCE 9822" AS SHOWN ON CORNER RECORD NO. 30186.

BASIS OF BEARINGS:

THE BASIS OF BEARINGS FOR THIS SURVEY IS THE CALIFORNIA COORDINATE SYSTEM, COS 83, ZONE 6 EPOCH 1991.35 AND IS DETERMINED BY GPS MEASUREMENTS TAKEN IN FEBRUARY OF 2023 AT POINTS 712 AND 713 PER RECORD OF SURVEY NO. 14492. BOTH POINTS HAVING A HORIZONTAL ACCURACY OF 2-1. SAID POINTS ARE PRC 88131 COMPLIANT.

I.E. N 42°48'05" E GRID

QUOTED BEARINGS FROM REFERENCE MAPS OR DEEDS MAY OR MAY NOT BE IN TERMS OF SAID SYSTEM.

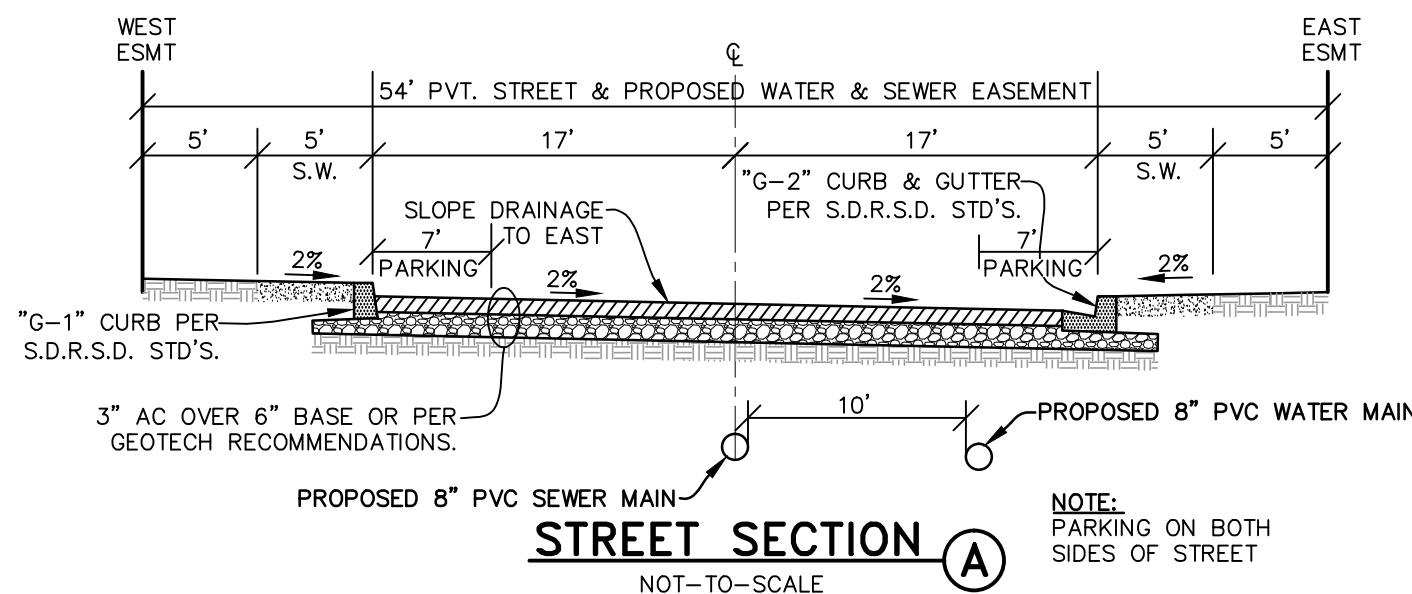
THE COMBINED GRID FACTOR AT POINT 712 IS 0.9999803
GRID DISTANCE = GROUND DISTANCE X COMBINED GRID FACTOR

712 = NORTHING - 1,891,849.97' EASTING - 6,255,397.27'
ELEVATION [NGVD 29] - 295.87'

713 = NORTHING - 1,893,799.03' EASTING - 6,257,202.20'

MAPPING NOTE:

A FINAL MAP SHALL BE FILED AT THE COUNTY RECORDER'S OFFICE PRIOR TO THE EXPIRATION OF THE TENTATIVE MAP. IF APPROVED, A DETAILED PROCEDURE OF SURVEY SHALL BE SHOWN ON THE FINAL MAP AND ALL PROPERTY CORNERS SHALL BE MARKED WITH DURABLE SURVEY MONUMENTS.



LINE TABLE

LT: S 48°53'19" E 47.29'

CURVE TABLE

C1: R = 95.00'	Δ = 46°53'12"	L = 77.74'
C2: R = 203.00'	Δ = 15°02'22"	L = 53.29'
C3: R = 203.00'	Δ = 15°25'29"	L = 54.65'
C4: R = 20.00'	Δ = 63°36'50"	L = 22.21'
C5: R = 60.00'	Δ = 53°50'02"	L = 56.37'
C6: R = 60.00'	Δ = 87°24'21"	L = 91.53'
C7: R = 60.00'	Δ = 84°33'19"	L = 88.55'
C8: R = 60.00'	Δ = 61°23'52"	L = 64.30'
C9: R = 20.00'	Δ = 46°59'52"	L = 16.41'
C10: R = 257.00'	Δ = 10°42'23"	L = 48.02'
C11: R = 257.00'	Δ = 23°10'35"	L = 103.96'
C12: R = 41.00'	Δ = 43°31'33"	L = 31.15'

REFERENCES:

PARCEL MAP NO. 14620, CORNER RECORD NO. 30186,
PRELIMINARY TITLE REPORT FILE NO. 322315766 DATED
APRIL 14, 2022.

LEGEND:

SUBDIVISION BOUNDARY
LOT LINES
EASEMENTS
EXISTING PARCEL LINES

HOA PRIVATE STREET NOTE:

PRIVATE STREET TO BE MAINTAINED BY HOA.

RANCHO COASTAL
ENGINEERING & SURVEYING
SINGLE SOURCE DEVELOPMENT CONSULTANT

310 VIA VERA CRUZ, #205
SAN MARCOS, CA. 92078
(760) 510-3152 Ph / (760) 510-3153 Fax



ENGINEER OF WORK

I HEREBY DECLARE THAT I AM THE ENGINEER OF WORK FOR THIS PROJECT AND THAT I HAVE EXERCISED RESPONSIBLE CHARGE OVER THE DESIGN OF THE PROJECT.

DOUGLAS E. LOGAN
C. 39726
DATE: 12/12/24
EXPIRES: 12/31/25

TENTATIVE MAP

CITY OF SAN DIEGO RCE-8073
APN: 346-250-08, 09 & 10

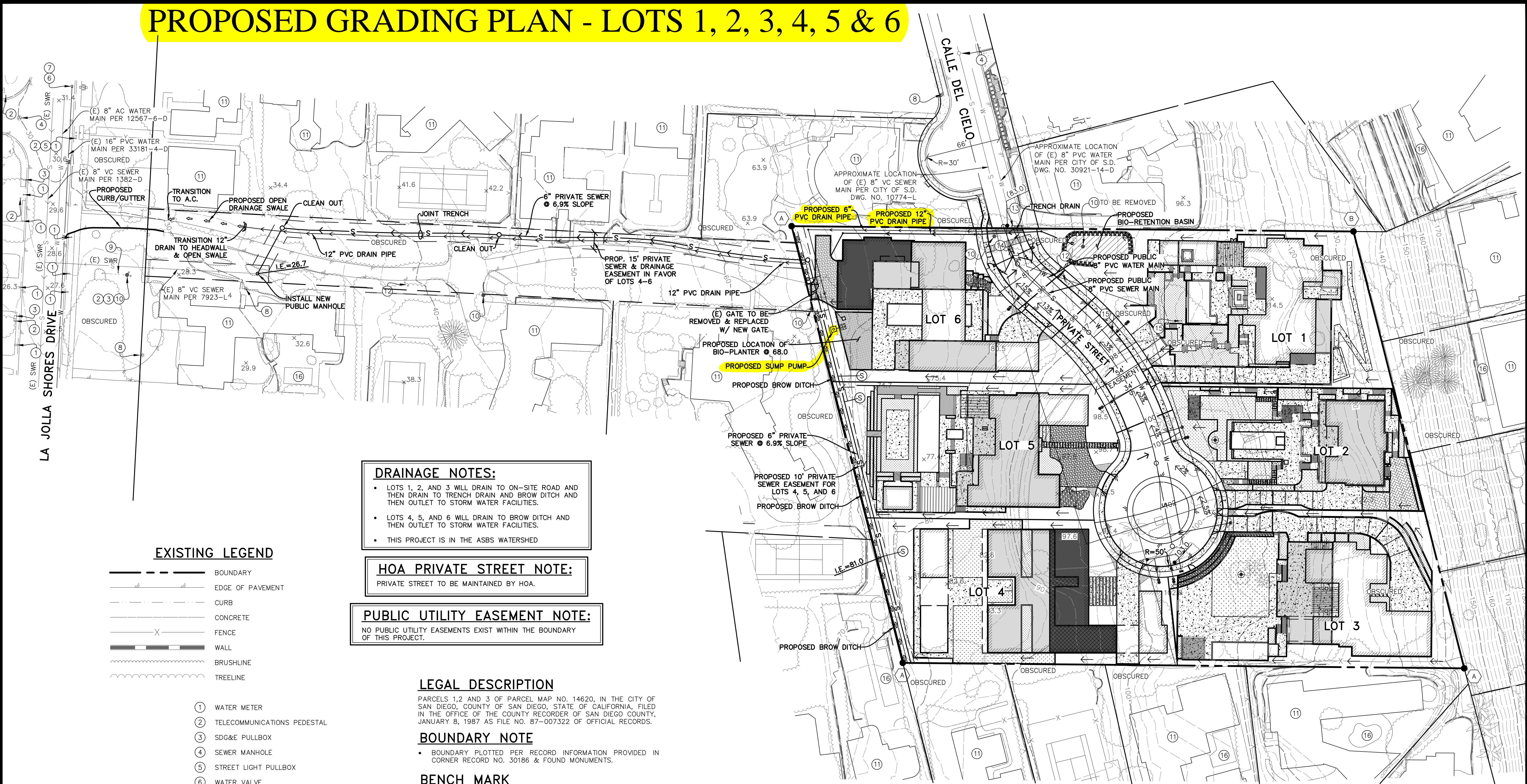
PROJECT NAME & SITE ADDRESS:

8303 LA JOLLA SHORES DRIVE
END OF CALLE DEL CIELO
LA JOLLA, CA 92037

BOUNDARY SURVEY

M-1

PROPOSED GRADING PLAN - LOTS 1, 2, 3, 4, 5 & 6



EXISTING LEGEND

- BOUNDARY
- EDGE OF PAVEMENT
- CURB
- CONCRETE
- FENCE
- WALL
- BRUSHLINE
- TREELINE

- 1 WATER METER
- 2 TELECOMMUNICATIONS PEDESTAL
- 3 SDG&E PULLBOX
- 4 SEWER MANHOLE
- 5 STREET LIGHT PULLBOX
- 6 WATER VALVE
- 7 FIRE HYDRANT
- 8 STREET LIGHT POST
- 9 TIME WARNER CHANNEL VAULT
- 10 POWER POLE
- 11 BUILDING
- 12 SEWER CLEANOUT
- 13 WATER RISER
- 14 GAS METER
- 15 IRRIGATION CONTROL VALVE
- 16 POOL

DRAINAGE NOTES:

- LOTS 1, 2, AND 3 WILL DRAIN TO ON-SITE ROAD AND THEN DRAIN TO TRENCH DRAIN AND BROW DITCH AND THEN OUTLET TO STORM WATER FACILITIES.
- LOTS 4, 5, AND 6 WILL DRAIN TO BROW DITCH AND THEN OUTLET TO STORM WATER FACILITIES.
- THIS PROJECT IS IN THE ASBS WATERSHED

HOA PRIVATE STREET NOTE:
PRIVATE STREET TO BE MAINTAINED BY HOA.

PUBLIC UTILITY EASEMENT NOTE:
NO PUBLIC UTILITY EASEMENTS EXIST WITHIN THE BOUNDARY OF THIS PROJECT.

LEGAL DESCRIPTION

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BOUNDARY NOTE

- BOUNDARY PLOTTED PER RECORD INFORMATION PROVIDED IN CORNER RECORD NO. 30186 & FOUND MONUMENTS.

BENCH MARK

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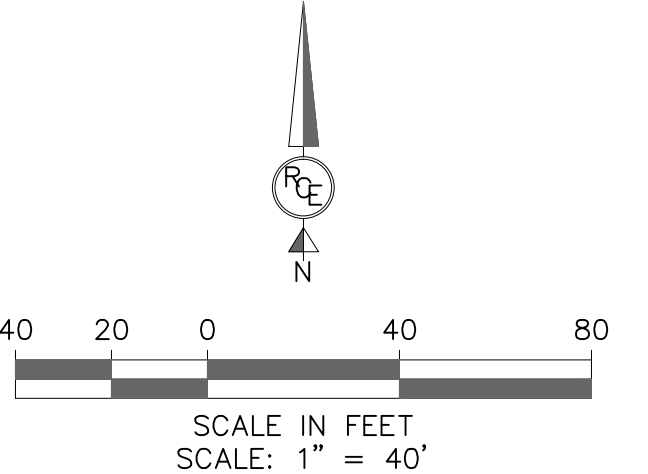
UTILITY NOTE:

- SEE SHEET C-10 FOR EXISTING UTILITIES TO BE KILLED/REMOVED

DRIVEWAY NOTES:

- ALL DRIVEWAYS TO COMPLY W/ SDMC142.0560(a)(c), DIAGRAM 142-05D

EMRA NOTE:
PRIVATE EMRA IS REQUIRED FOR ALL PROPOSED ENCROACHMENTS WITHIN THE EASEMENT (I.E. PROPOSED TREES/LANDSCAPING/IRRIGATION WITHIN ROUNDABOUT, VEHICLE GATE, PEDESTRIAN GATE, DOORS, GATE AT ENTRY, TRENCH DRAIN ETC.)



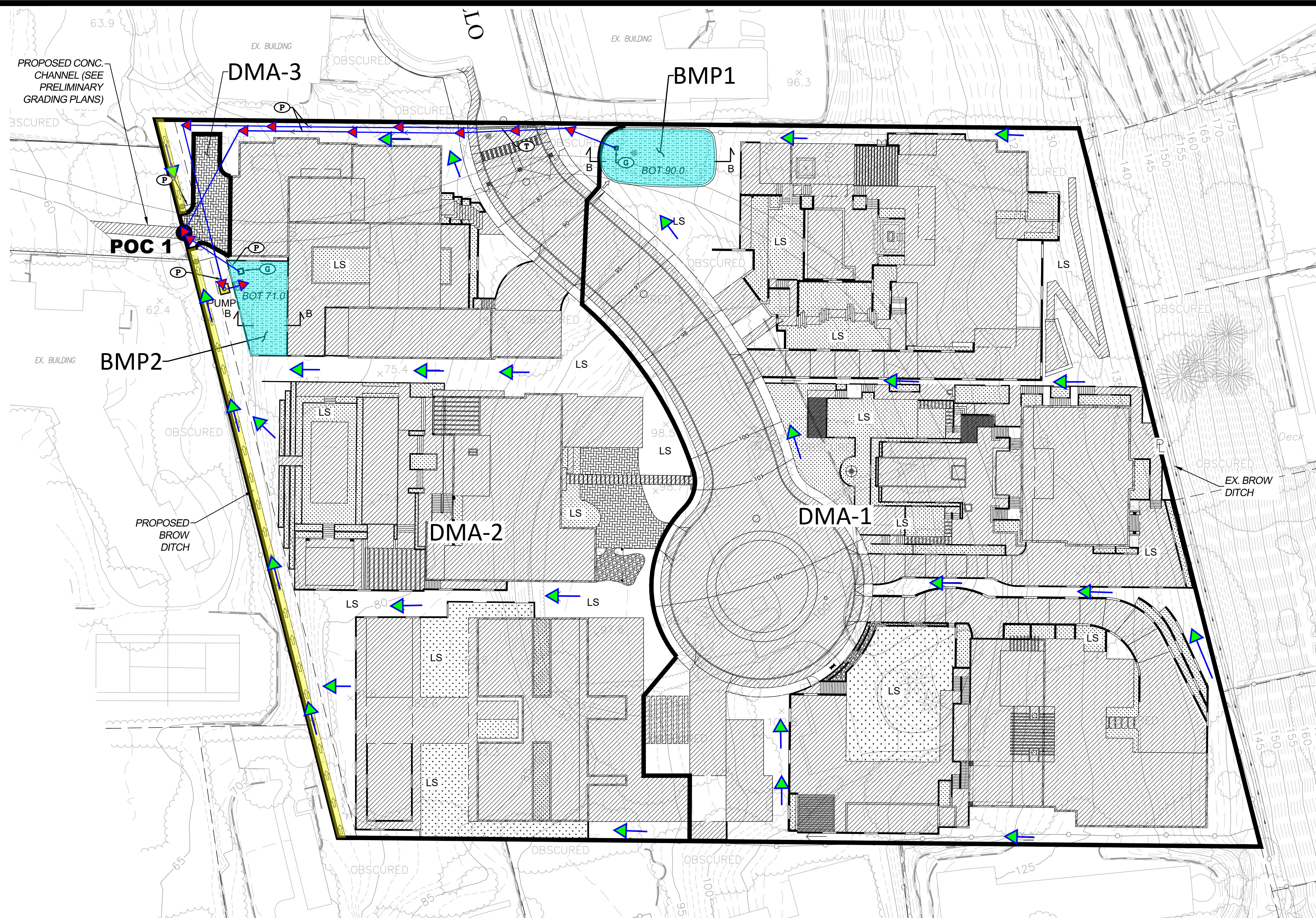
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Douglas E. Logan
DOUGLAS E. LOGAN
C 39726
DATE: 12/12/24
EXPIRES: 12/31/25



PROPOSED GRADING
PLAN
C-1
LOTS 1-6

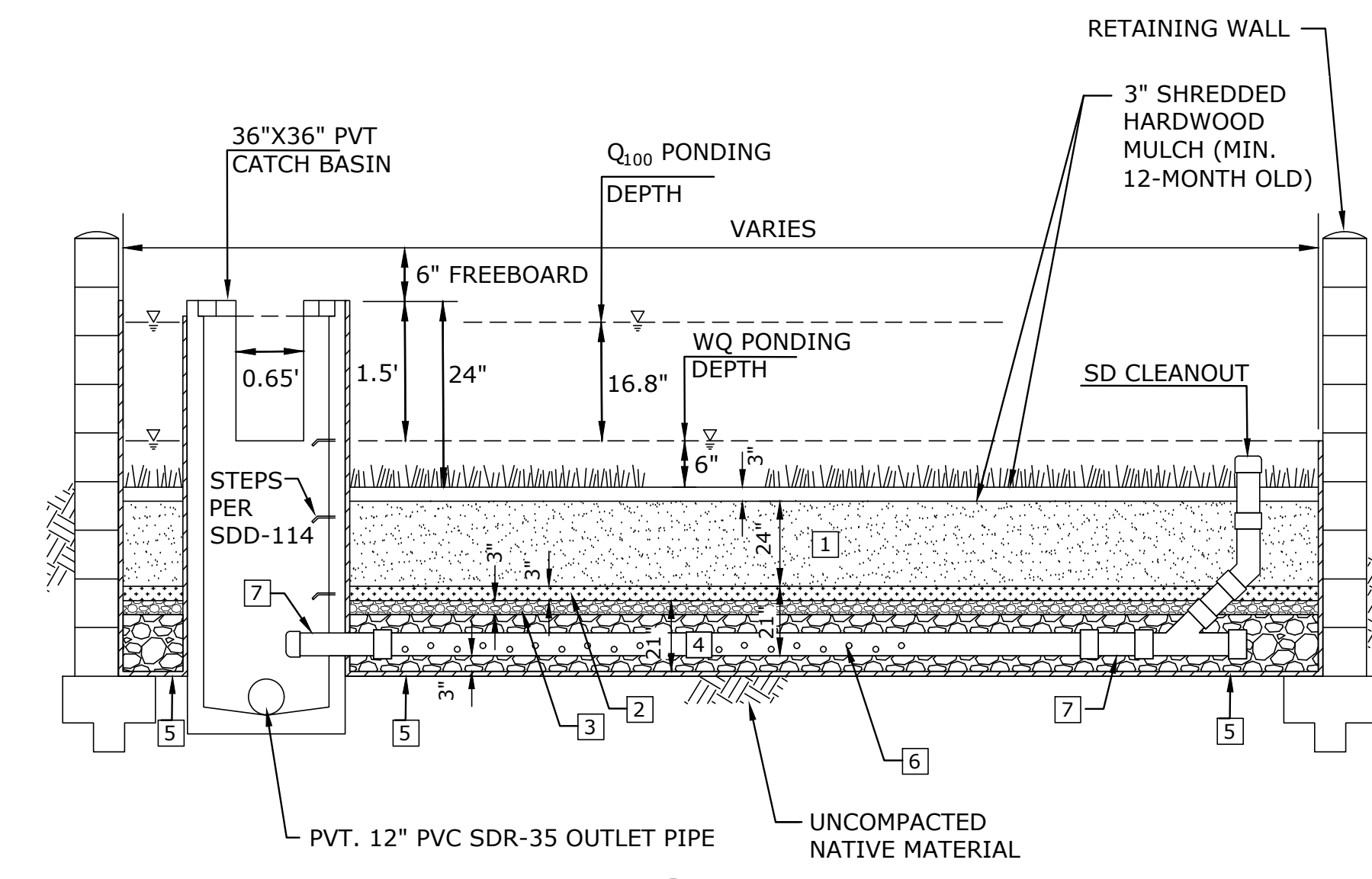
PRELIMINARY — NOT FOR CONSTRUCTION
ENGINEER'S NAME: RANCHO COASTAL ENGINEERING & SURVEYING
PHONE NO. (760) 510-3152 // EMAIL: DOUG@RCESD.COM



LEGEND

- DRAINAGE MANAGEMENT AREA (DMA)
- FLOW DIRECTION
- BIO-FILTRATION FACILITY
- STORM DRAIN COLLECTOR
- 36" X 36" GRATED INLET
- 12" X 12" TRENCH (NDS OR SIMILAR)
- POC 1 ● POINT OF COMPLIANCE
- NEW IMPERVIOUS

- NOTES:**
1. THE UNDERLYING SOIL TYPE GROUPS IS A & C FOR THE ENTIRE PROPERTY AND SURROUNDING PARCELS
 2. THE APPROXIMATE DEPTH TO GROUND WATER IS EXPECTED TO BE MORE THAN 20 FEET
 3. THERE ARE NO CRITICAL COARSE SEDIMENT YIELD AREAS
 4. THE SITE DOES NOT CONTAIN ANY EXISTING NATURAL HYDROLOGIC FEATURES. (WATERCOURSES, SEEPS, SPRINGS, WETLANDS)



B SECTION

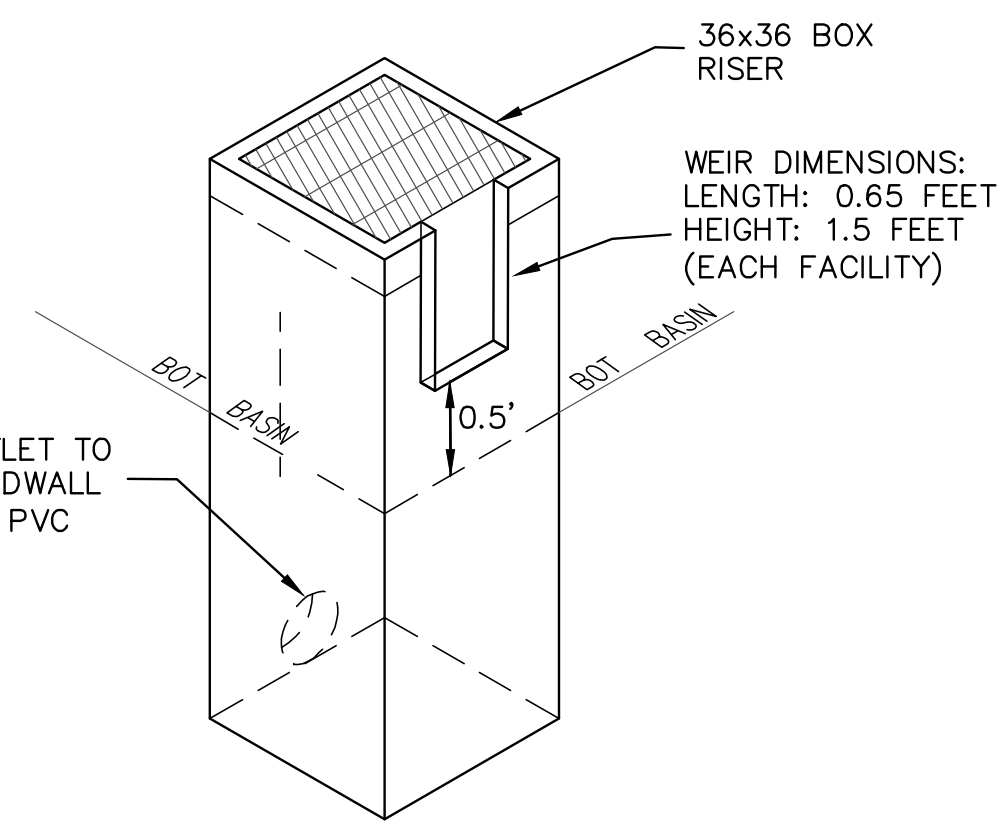
A BIO-FILTRATION FACILITY (each)

NOT TO SCALE

BSM MIXTURE ²		
BMP COMPOSITION	ASTM C33 SAND	15% - 30%
VOLUME	70% - 85%	COMPOST ¹

1. ORGANIC MATERIAL CONTENT SHALL BE 35% - 75% BY DRY WEIGHT.
2. FOR BSM SPECIFICATIONS, SEE APPENDIX F.3 OF THE CITY OF SAN DIEGO 2018 STORM WATER STANDARDS.

- KEY NOTES**
- 1 BIORETENTION SOIL MEDIA (BSM) (5-INCH/HR MIN. PERCOLATION RATE) PER BSM MIXTURE RIGHT
 - 2 3" CLEAN & WASHED ASTM 33 FINE AGGREGATE SAND
 - 3 3" LAYER OF ASTM 8 STONE
 - 4 ASTM 57 OPEN GRADED STONE (3/4" WASHED CRUSHED ROCK)
 - 5 IMPERMEABLE LINER (30 MIL PVC GEOMEMBRANE BY EPI OR APPROVED EQUAL) PER MANUFACTURER'S SPECIFICATIONS
 - 6 PVT. 8" PVC PERFORATED PIPE @ 0.5% SLOPE.
 - 7 PVT. 8" PVC SDR-35 @ 0.5% SLOPE.



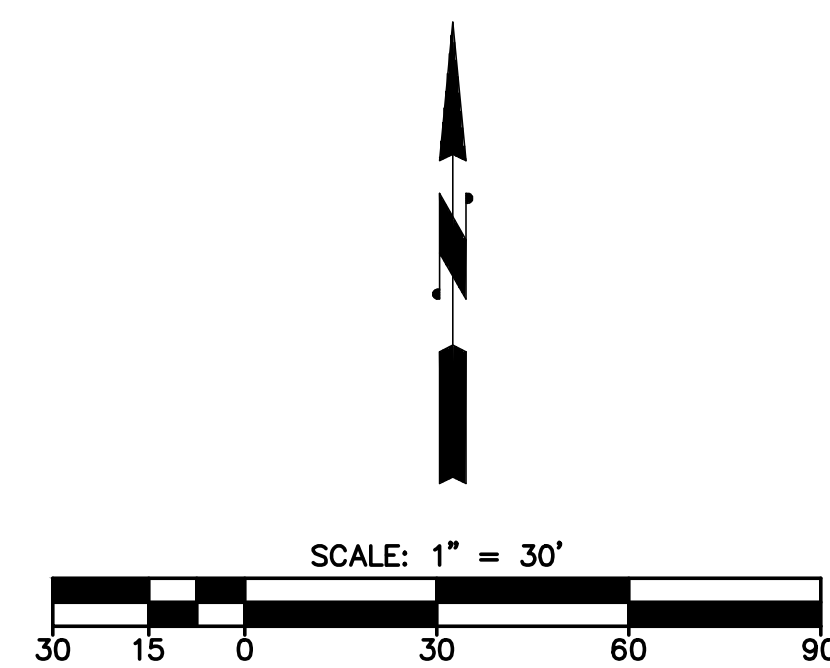
B BIO-FILTRATION OUTLET DETAIL

NOT TO SCALE

BMP INFORMATION						
BMP	BMP SIZE (SF)	AMENDED SOIL (IN)	GRAVEL (IN)	UNDERDRAIN OFFSET (IN)	RISER DEPTH (IN)	TOTAL SURFACE DEPTH (IN)
1	2,190	24	21	3	6	24
2	1,410	24	21	3	6	24

DMA AREA SUMMARY							
DMA ID	DMA SURFACE TYPE	DMA TOTAL AREA (SF)	TOTAL IMPERVIOUS AREA	DMA TYPE 1	STRUCTURAL BMP ID	PROPOSED STRUCTURAL BMP TYPE 2	STRUCTURAL BMP SIZE 3 (SF)
1	LS /ROOF TOP/ROAD/CONCRETE	110,743	67,398	DRAINS TO BMP	BMP1	BIOFILTRATION BASIN	1,970
2	LS /ROOF TOP/ROAD/CONCRETE	82,056	47,822	DRAINS TO BMP	BMP2	BIOFILTRATION BASIN	1,410
3	PERM. PAVERS	1,224	NA	SELF MIT.	NA	NA	NA

1 DMA Type can only be: 1) Drains to BMP, 2) Self-mitigating, 3) De Minimis, or 4) Self-retaining
2 BMP Type must be consistent with terminology in the BMP Design Manual and/or CASQA Fact Sheets
3 Structural BMP Size is typically presented as an area (sq. ft.) or size (e.g., proprietary device)



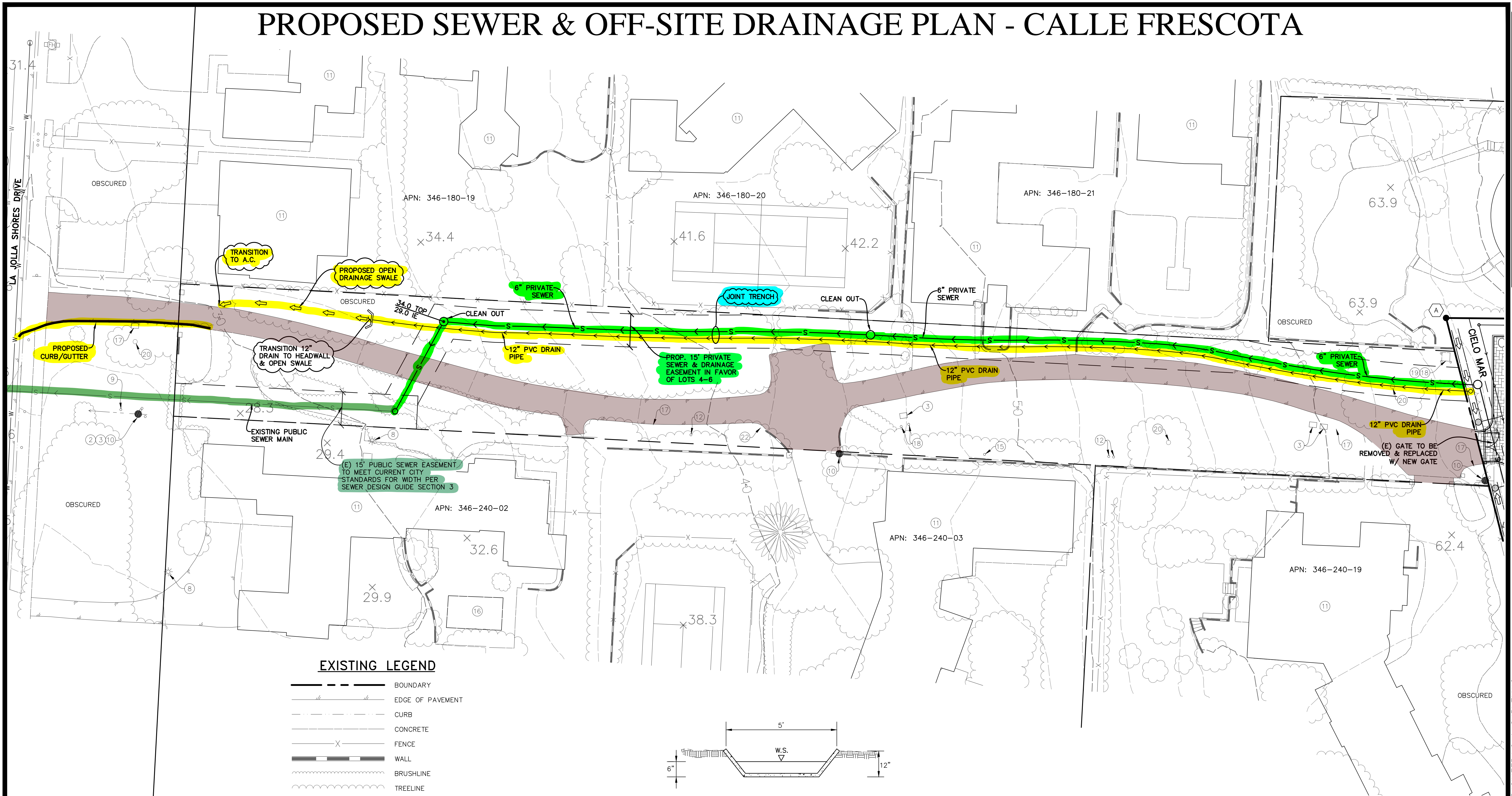
RANCHO COASTAL
ENGINEERING & SURVEYING
SINGLE SOURCE DEVELOPMENT CONSULTANT
310 VIA VERA CRUZ, #205
SAN MARCOS, CA. 92078
(760) 510-3152 Ph / (760) 510-3153 Fax



DMA MAP & BIO-FILTRATION DETAILS

C-11

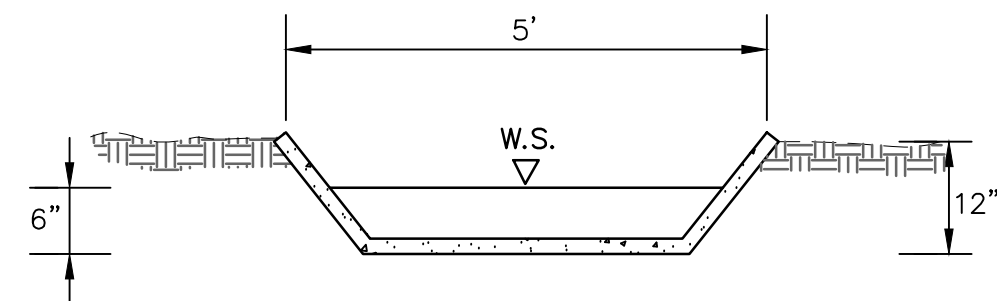
PROPOSED SEWER & OFF-SITE DRAINAGE PLAN - CALLE FRESCOTA



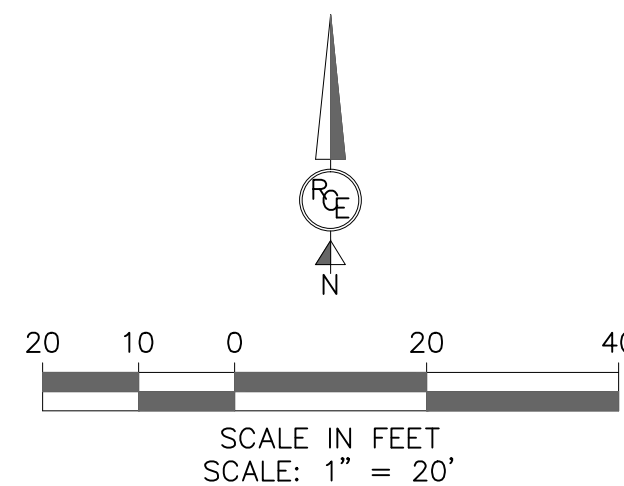
EXISTING LEGEND

- BOUNDARY
- EDGE OF PAVEMENT
- CURB
- CONCRETE
- FENCE
- WALL
- BRUSHLINE
- TREELINE

- | | |
|-------------------------------|-----------------------------|
| 1 WATER METER | 12 SEWER CLEANOUT |
| 2 TELECOMMUNICATIONS PEDESTAL | 13 WATER RISER |
| 3 SDG&E PULLBOX | 14 GAS METER |
| 4 SEWER MANHOLE | 15 IRRIGATION CONTROL VALVE |
| 5 STREET LIGHT PULLBOX | 16 POOL |
| 6 WATER VALVE | 17 AT&T PULLBOX |
| 7 FIRE HYDRANT | 18 BOLLARD |
| 8 STREET LIGHT POST | 19 UTILITY PAD |
| 9 TIME WARNER CHANNEL VAULT | 20 TREE TRUNK |
| 10 POWER POLE | 21 GATE CODE PAD |
| 11 BUILDING | 22 MAILBOX |



PROPOSED DECORATIVE P.C.C. SWALE
NOT TO SCALE



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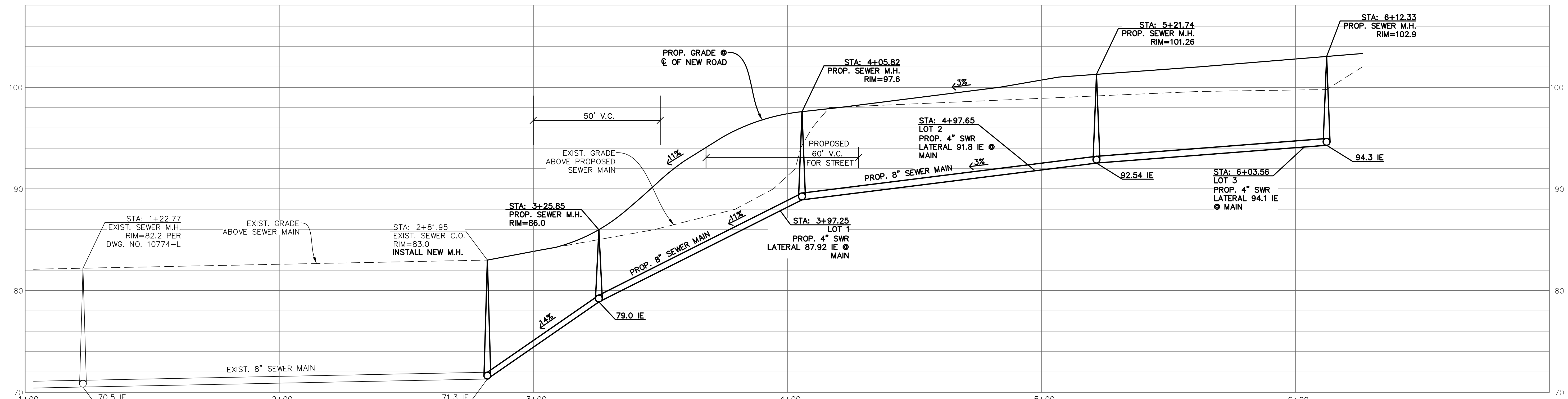
ENGINEER OF WORK
I HEREBY DECLARE THAT I AM THE ENGINEER OF WORK FOR THIS PROJECT AND THAT I HAVE EXERCISED RESPONSIBLE CHARGE OVER THE DESIGN OF THE PROJECT.
Douglas E. Logan
DOUGLAS E. LOGAN
C. 39726
DATE: 12/09/24
EXPIRES: 12/31/25



PROPOSED SEWER &
DRAINAGE PLAN
C-12
CALLE FRESCOTA

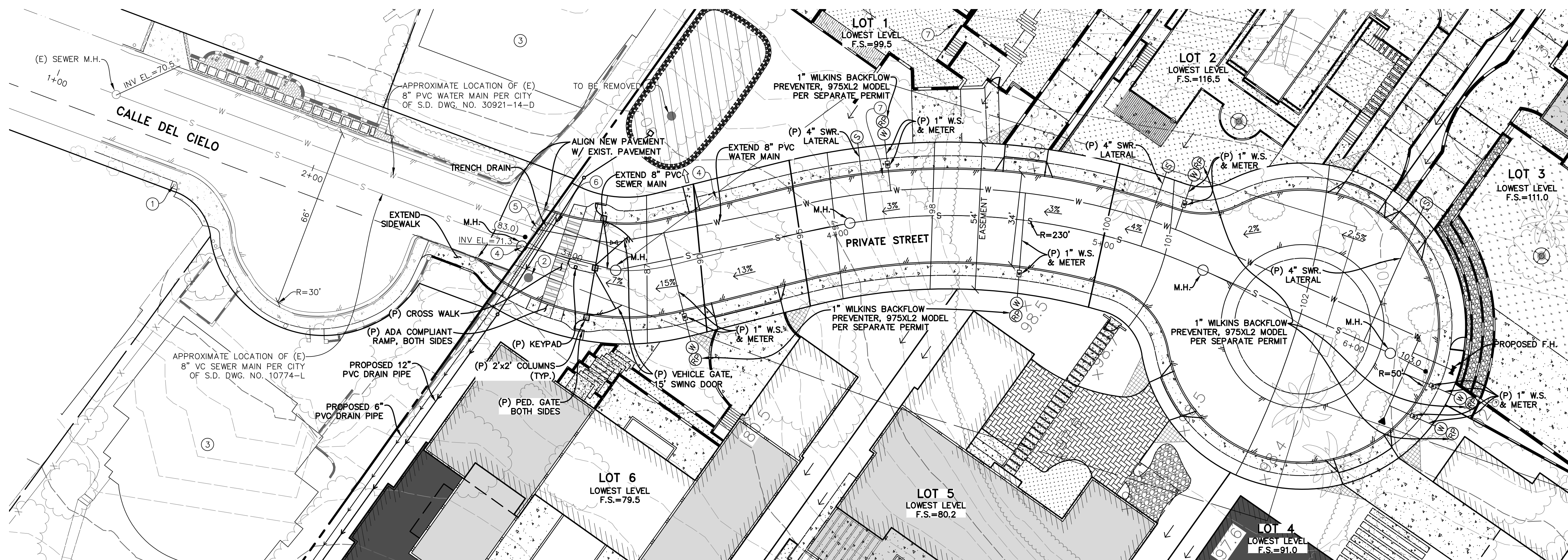
PRELIMINARY — NOT FOR CONSTRUCTION

ENGINEER'S NAME: RANCHO COASTAL ENGINEERING & SURVEYING
PHONE NO. (760) 510-3152 // EMAIL: DOUG@RCESD.COM



SEWER MAIN PROFILE

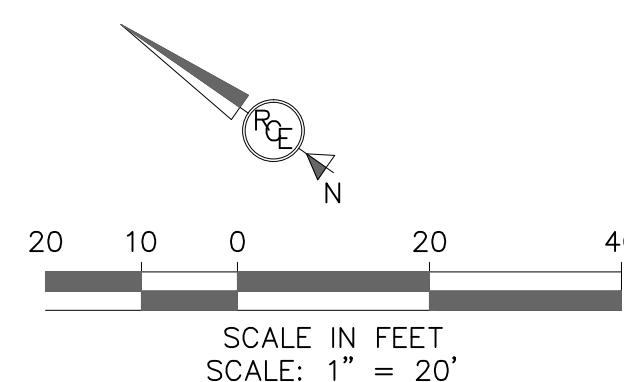
SCALES:
HORIZ.: 1" = 20'
VERT.: 1" = 5'



EXISTING LEGEND

- BOUNDARY
- EDGE OF PAVEMENT
- CURB
- CONCRETE
- FENCE
- WALL
- BRUSHLINE
- TREELINE

- 1 STREET LIGHT POST
- 2 POWER POLE
- 3 BUILDING
- 4 SEWER CLEANOUT
- 5 WATER RISER
- 6 GAS METER
- 7 IRRIGATION CONTROL VALVE



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ENGINEER OF WORK

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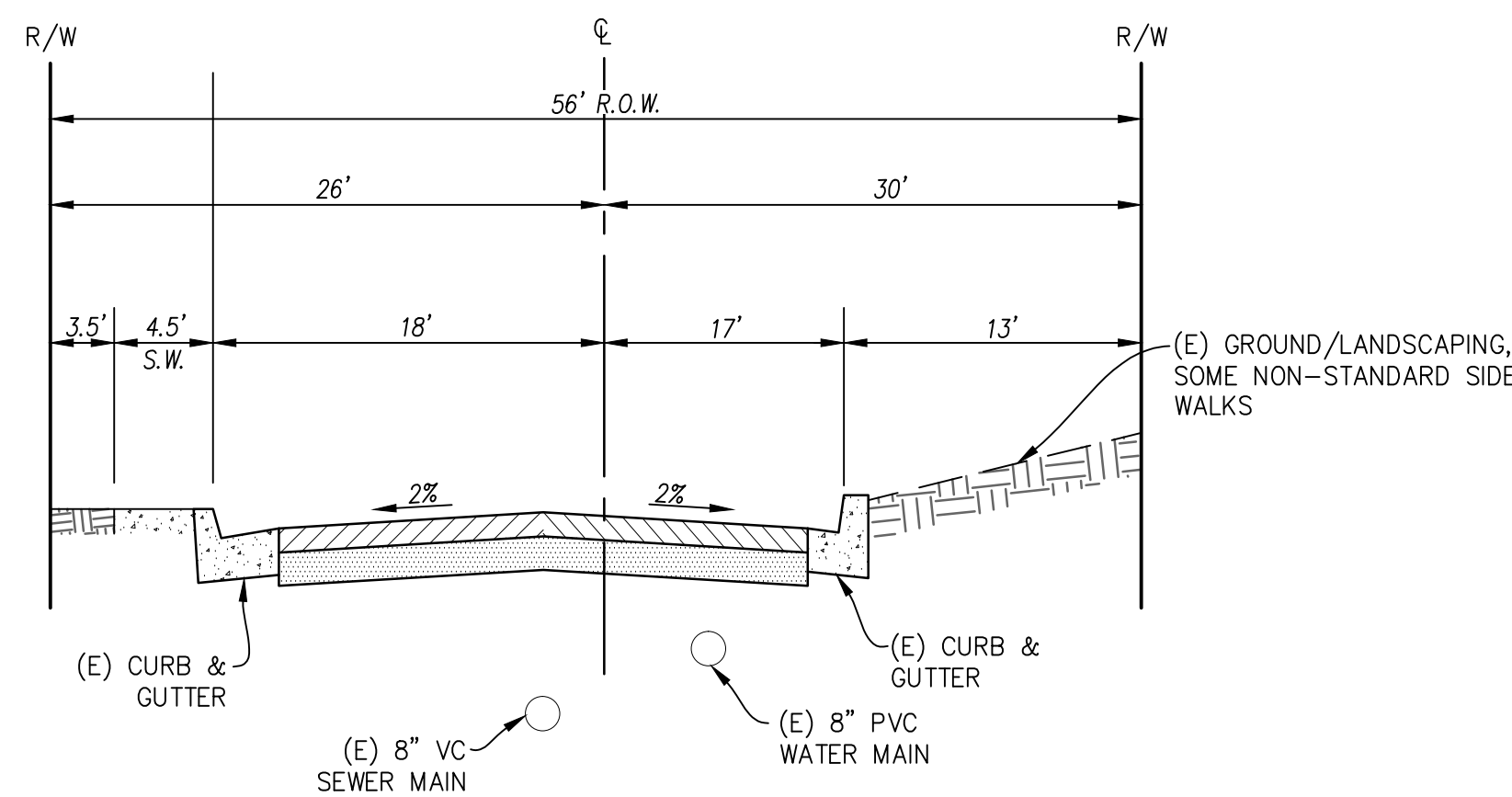
Douglas E. Logan
DOUGLAS E. LOGAN
C 39726

DATE: 12/12/24
EXPIRES: 12/31/25

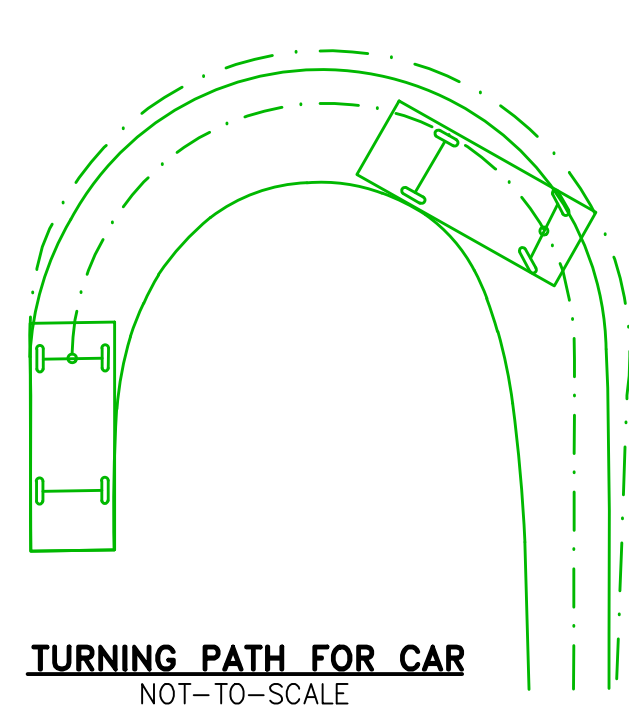


PROPOSED IMPROVEMENT PLAN

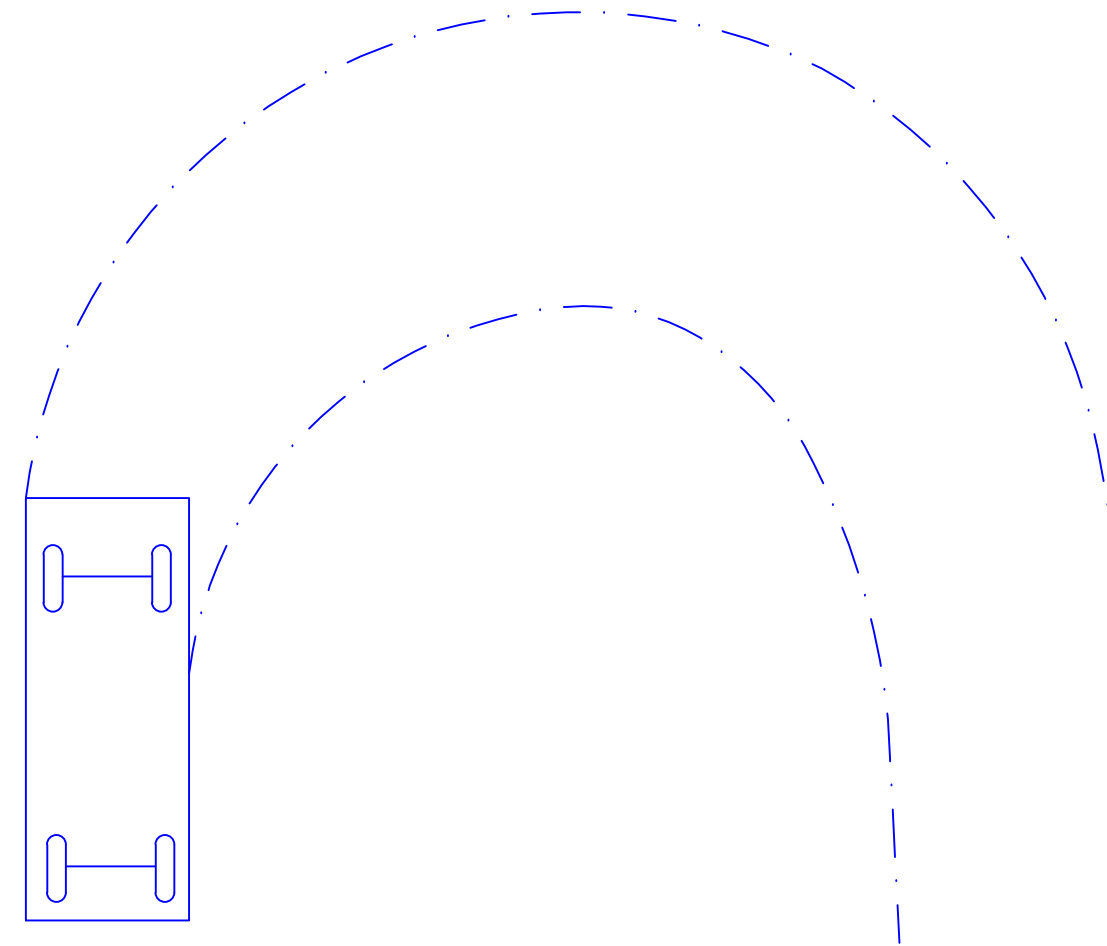
C-8



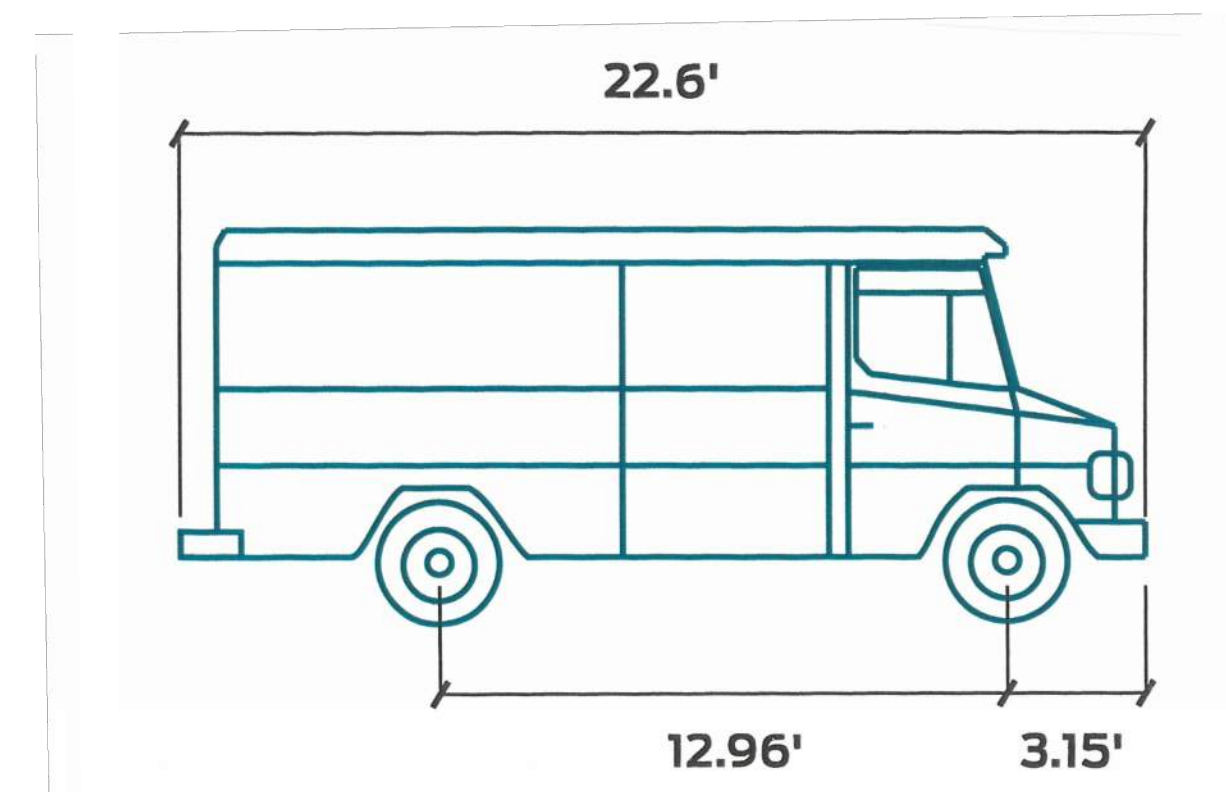
CALLE DEL CIELO SECTION
NOT-TO-SCALE



TURNING PATH FOR CAR
NOT-TO-SCALE

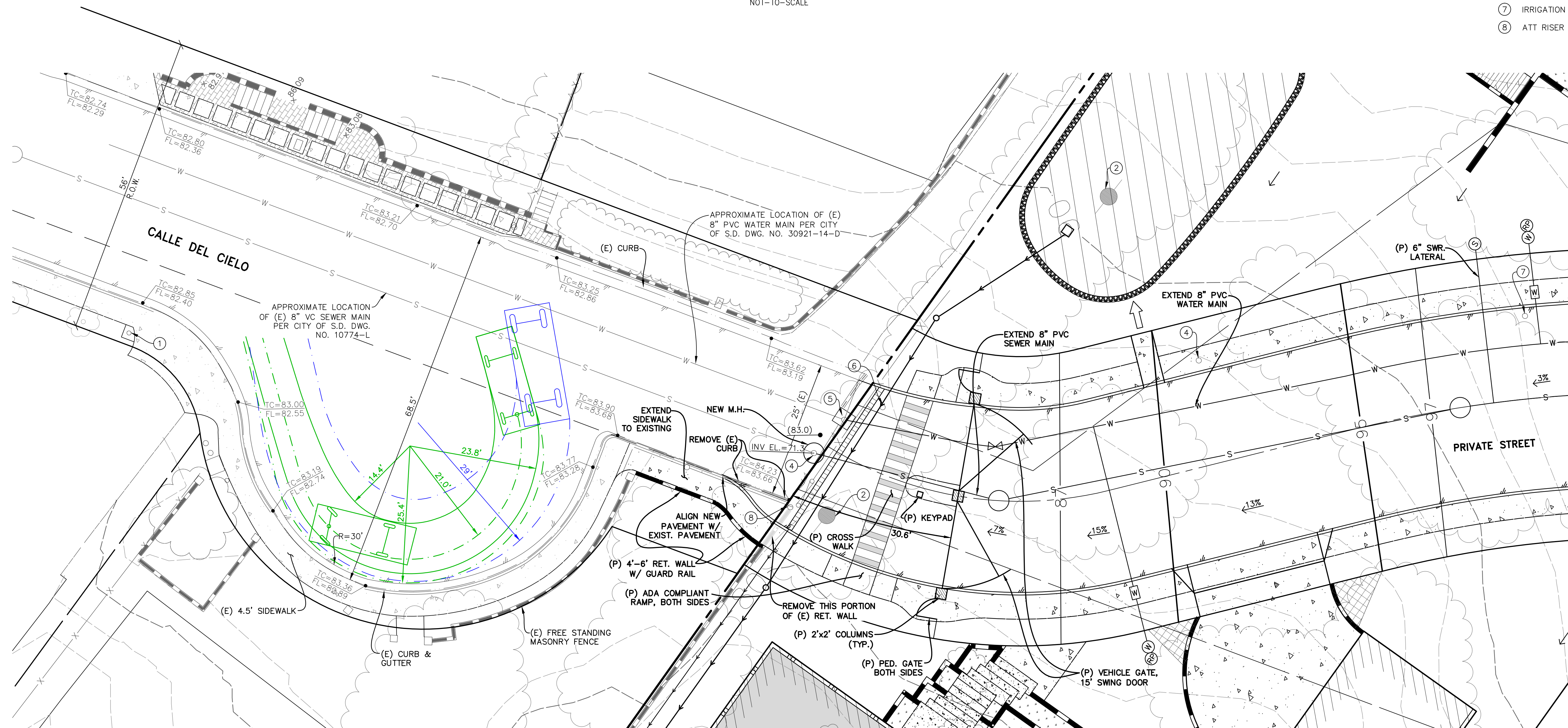


TURNING PATH FOR TYPICAL UPS/FEDEX TRUCK
NOT-TO-SCALE

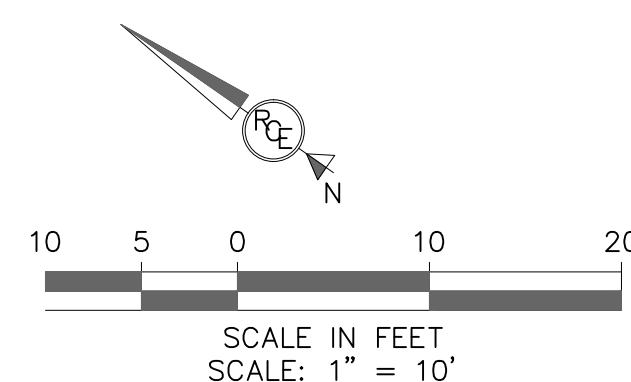


TYPICAL UPS/FEDEX TRUCK
NOT-TO-SCALE

- EXISTING LEGEND**
- BOUNDARY
 - EDGE OF PAVEMENT
 - CURB
 - CONCRETE
 - FENCE
 - WALL
 - BRUSHLINE
 - TREELINE
- ① STREET LIGHT
② POWER POLE TO BE RELOCATED
③ BUILDING
④ SEWER CLEANOUT
⑤ WATER RISER
⑥ GAS METER
⑦ IRRIGATION CONTROL VALVE
⑧ ATT RISER TO BE RELOCATED



EMRA NOTE:
PRIVATE EMRA IS REQUIRED FOR ALL PROPOSED ENCROACHMENTS WITHIN THE EASEMENT (I.E. PROPOSED TREES/LANDSCAPING/IRRIGATION WITHIN ROUNDABOUT, VEHICLE GATE, PEDESTRIAN GATE, DOORS, GATE AT ENTRY, TRENCH DRAIN ETC.)



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ENGINEER OF WORK
I HEREBY DECLARE THAT I AM THE ENGINEER OF WORK FOR THIS PROJECT AND THAT I HAVE EXERCISED RESPONSIBLE CHARGE OVER THE DESIGN OF THE PROJECT.

DOUGLAS E. LOGAN
C 39726
DATE: 12/09/24
EXPIRES: 12/31/25



PROPOSED TURNING
RADIUS & ENTRY
GATE PLAN
C-9

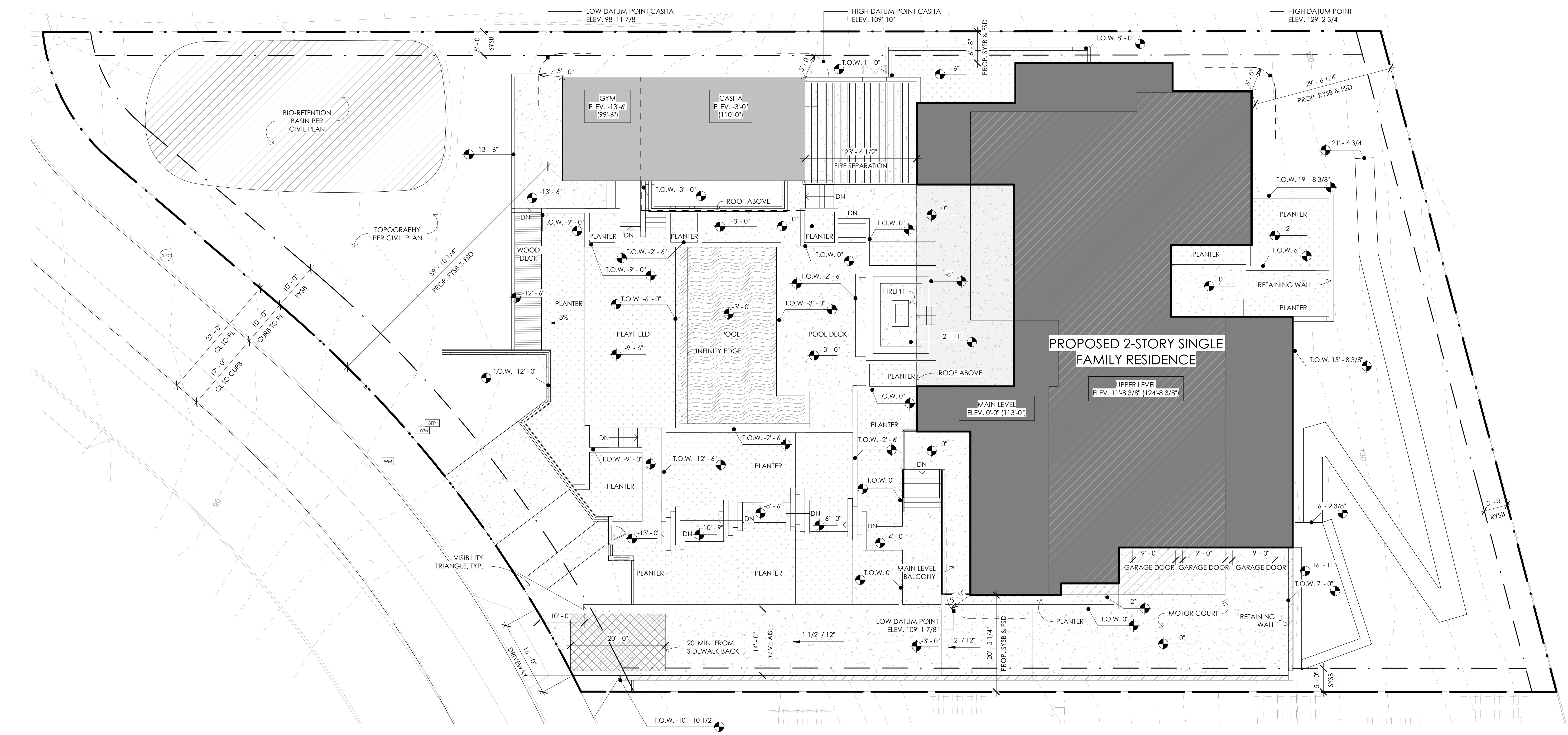
PRELIMINARY — NOT FOR CONSTRUCTION

ENGINEER'S NAME: RANCHO COASTAL ENGINEERING & SURVEYING
PHONE NO. (760) 510-3152 // EMAIL: DOUG@RCESD.COM

CIELO MAR DEVELOPMENT

INDIVIDUAL SITE PLANS, RENDERINGS, AND MATERIALS

DATE:	ISSUE:
02/24/2023	CDP SUBMITTAL
10/03/2023	2ND CDP SUBMITTAL
03/18/2024	3RD CDP SUBMITTAL
08/16/2024	4TH CDP SUBMITTAL
12/13/2024	5TH CDP SUBMITTAL



¹ LOT 1 - SITE PLAN

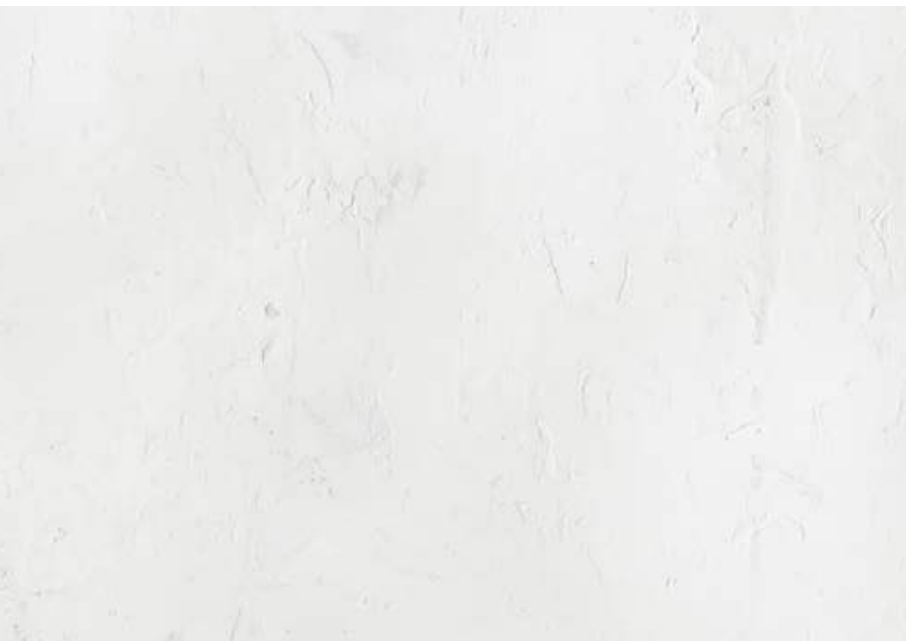
SCALE = 3/32" = 1'-0"

SITE LEGEND			SITE NOTES	
BFP	BACKFLOW PREVENTER, REFER TO G002 FOR SIZE TYPE: (F) = FIRE (I); IRRIGATION; (D) DOMESTIC		<ol style="list-style-type: none">THE EXISTING WATER AND SEWER SERVICES WILL REMAIN.PER FHPS POLICY P-00-6 (UFC 901.4.4) BUILDING ADDRESS NUMBERS TO BE VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY.THIS PROJECT MUST COMPLY WITH THE MUNICIPAL CODE REQUIREMENTS FOR MAXIMUM HEIGHT OF THE STRUCTURE NOT TO EXCEED 30 FEET (SDMC, SECTIONS 131.0444 AND 132.0505.) HIGHEST POINT ON ROOF EQUIPMENT, PIPE, VENT, ANTENNA OR OTHER PROJECTION SHALL NOT EXCEED 30 FEET ABOVE GRADE.THE HIGHEST POINT OF ANY ROOF, EQUIPMENT, OR ANY VENT PIPE, ANTENNA, OR OTHER PROJECTION SHALL NOT EXCEED 30'-0" ABOVE GRADE.ALL PROPOSED SITE LIGHTING SHALL BE SHIELDED SUCH THAT THE LIGHT SOURCE SHALL BE CONCEALED FROM PUBLIC VIEW.REFER TO SEPARATE GRADING PLAN FOR REQUIRED EMRA, PERMANENT BMPS, AND WCPC.WATER METERS FOR COMBINED DOMESTIC WATER AND FIRE SPRINKLER SYSTEMS SHALL NOT BE INSTALLED UNTIL THE FIRE SPRINKLER SYSTEM HAS BEEN SUBMITTED AND APPROVED BY THE BUILDING OFFICIAL.AUTOMATIC IRRIGATION SYSTEM CONTROLLERS FOR LANDSCAPING PROVIDED BY THE BUILDER AND INSTALLED AT THE TIME OF FINAL INSPECTION SHALL COMPLY WITH THE FOLLOWING:<ol style="list-style-type: none">CONTROLLERS SHALL BE WEATHER OR SOIL MOISTURE-BASED CONTROLLERS THAT AUTOMATICALLY ADJUST IRRIGATION IN RESPONSE TO CHANGES IN PLANTS' NEEDS AS WEATHER CONDITIONS CHANGE.WEATHER-BASED CONTROLLERS WITHOUT INTEGRAL RAIN SENSORS OR COMMUNICATION SYSTEMS THAT ACCOUNT FOR LOCAL RAINFALL SHALL HAVE A SEPARATE WIRED OR WIRELESS RAIN SENSOR WHICH CONNECTS OR COMMUNICATES WITH THE CONTROLLER(S). SOIL MOISTURE-BASED CONTROLLERS ARE NOT REQUIRED TO HAVE RAIN SENSOR INPUT.	
WM	WATER METER, REFER TO SHEET G002 FOR SIZE TYPE: (F) = FIRE (I); IRRIGATION; (D) DOMESTIC			
	FIRE HYDRANT LOCATED 6' FROM FACE OF CURB W/ BLUE REFLECTIVE PAVEMENT MARKER, CFC 507 (PROVIDE 3'-0" DIA. MIN. CLEAR AREA, CFC 507.5.5)			
SC	SEWER CLEANOUT			



MATERIAL LEGEND

WALL TEXTURE 1



COLOR: WHITE
FINISH/TEXTURE: STUCCO

WALL TEXTURE 2



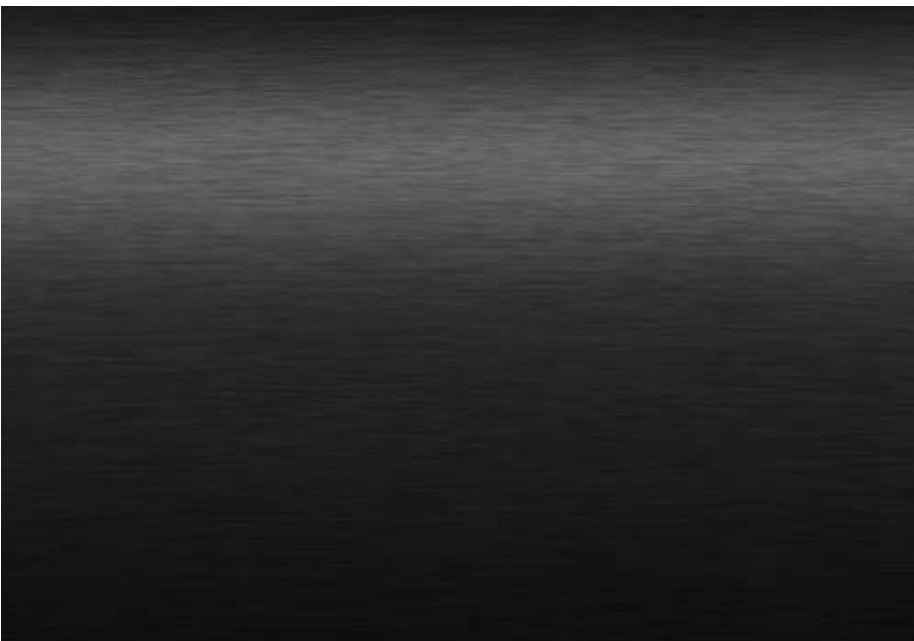
COLOR: BEIGE
FINISH/TEXTURE: STONE

TRIM/AWNINGS



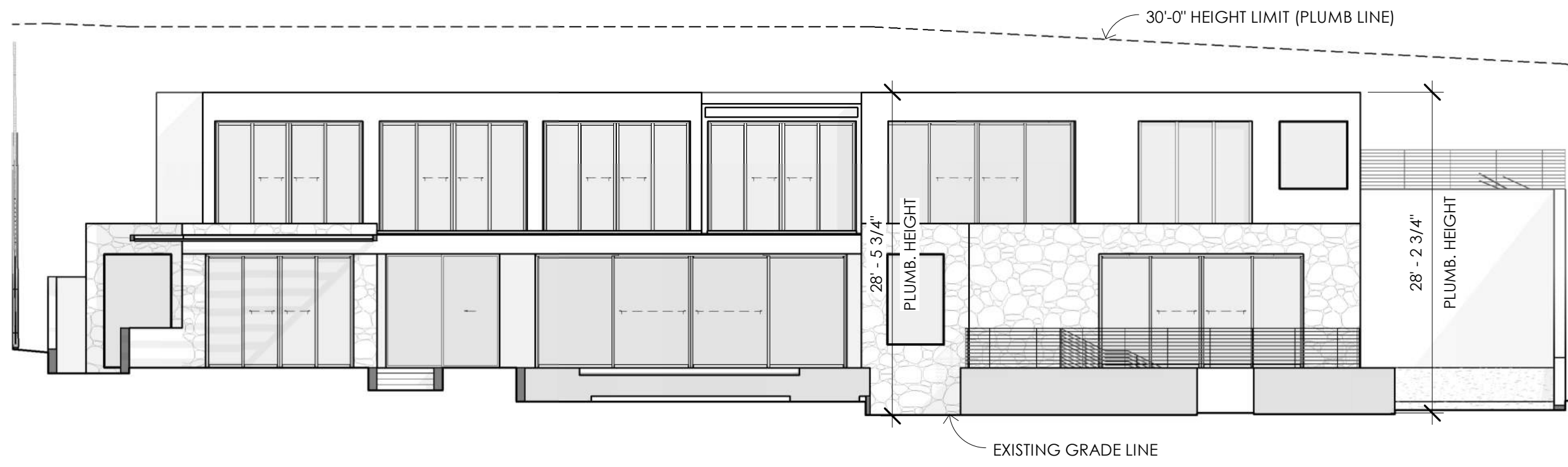
COLOR: WOOD
FINISH/TEXTURE: WOOD

DOORS/WINDOWS

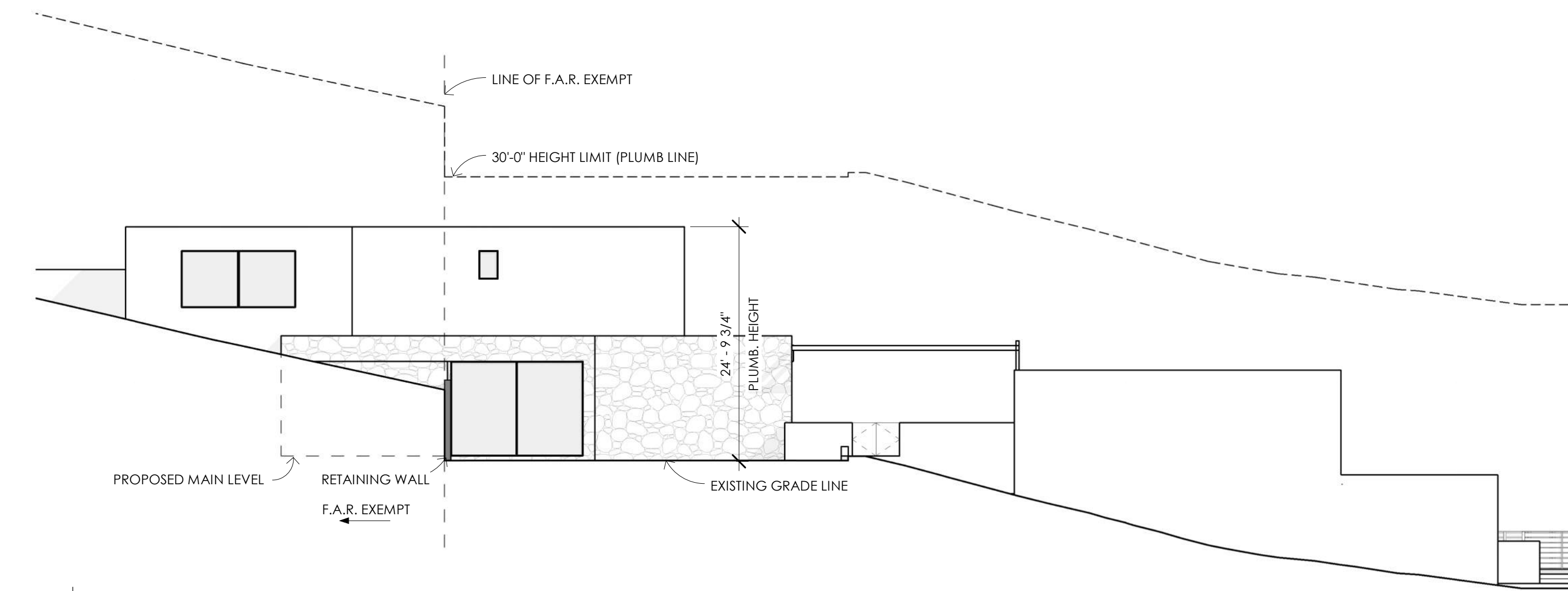


COLOR: BLACK
FINISH/TEXTURE: OPAQUE METAL

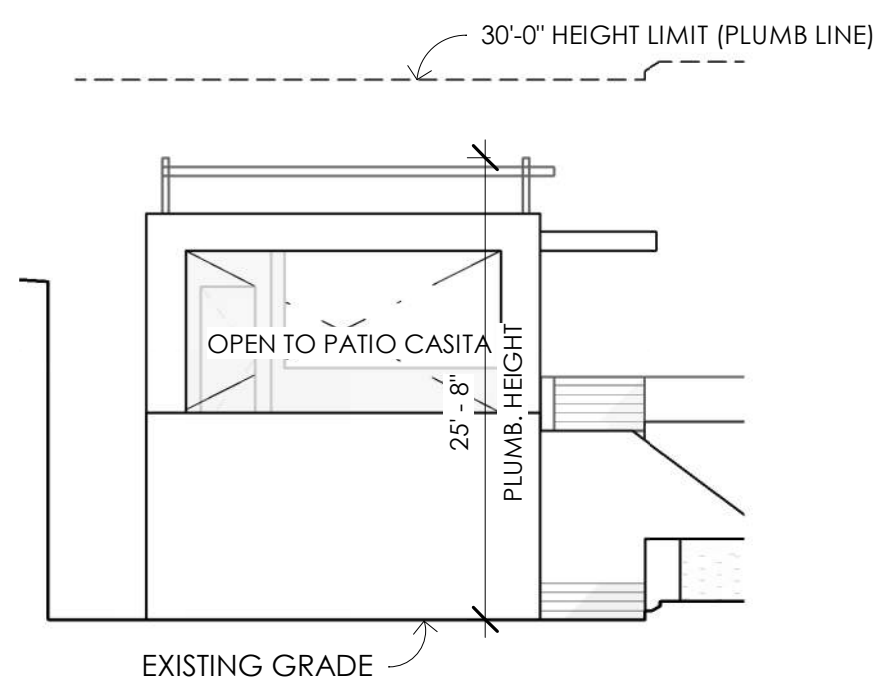
LOT 1 FEATURES A TROPICAL MEXICAN MODERN STYLE WITH WHITE STUCCO AND STONE, COMPLEMENTED BY FLAT ROOFS AND AWNINGS. THIS DESIGN INTRODUCES A REFRESHING YET COHESIVE ELEMENT TO THE NEIGHBORHOOD, ALIGNING WITH THE COMMUNITY'S EXISTING AESTHETIC. THE HOME'S USE OF MATERIALS AND ARCHITECTURAL FEATURES INTEGRATES SMOOTHLY WITH SURROUNDING STRUCTURES, ENHANCING THE NEIGHBORHOOD'S CHARM AND FOSTERING A HARMONIOUS VISUAL TRANSITION BETWEEN NEW AND EXISTING HOMES.



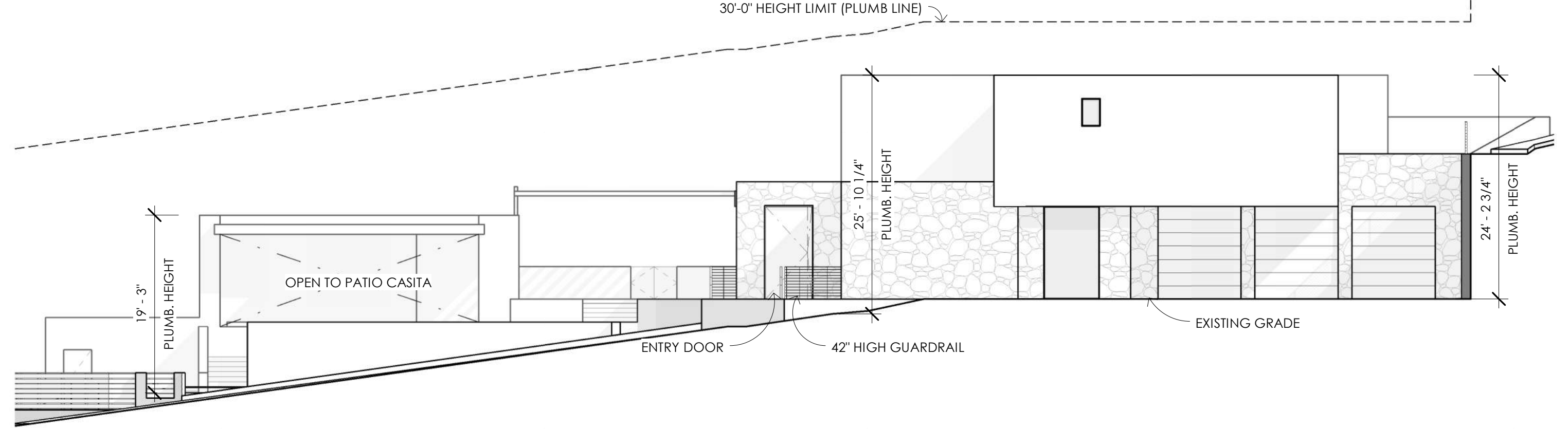
1 LOT 1 - WEST ELEVATION
SCALE = 3/32" = 1'-0"



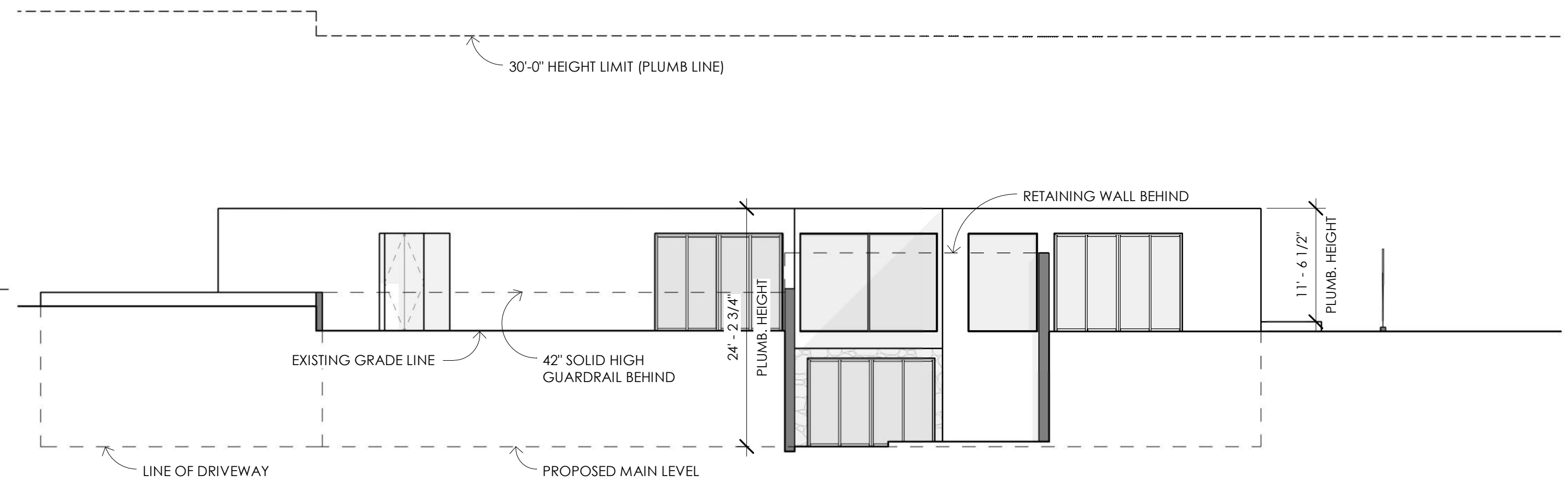
4 LOT 1 - NORTH ELEVATION
SCALE = 3/32" = 1'-0"



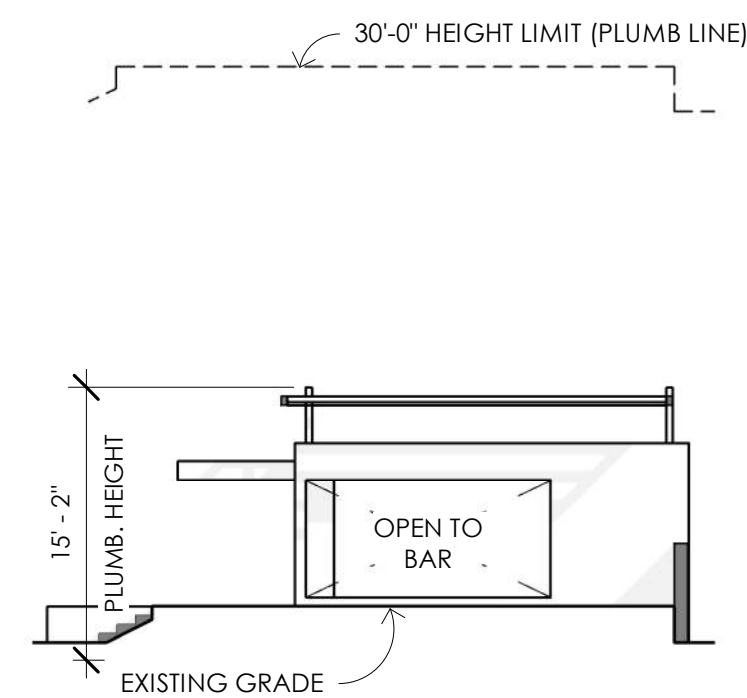
5 LOT 1 - WEST ELEVATION CASITA
SCALE = 3/32" = 1'-0"



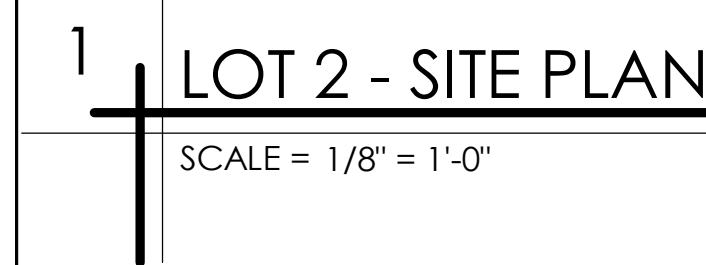
2 LOT 1 - SOUTH ELEVATION
SCALE = 3/32" = 1'-0"



3 LOT 1 - EAST ELEVATION
SCALE = 3/32" = 1'-0"



6 LOT 1 - EAST ELEVATION CASITA
SCALE = 3/32" = 1'-0"





MATERIAL LEGEND

WALL TEXTURE 1



COLOR: WHITE
FINISH/TEXTURE: STUCCO

EXTERIOR FLOOR TEXTURE



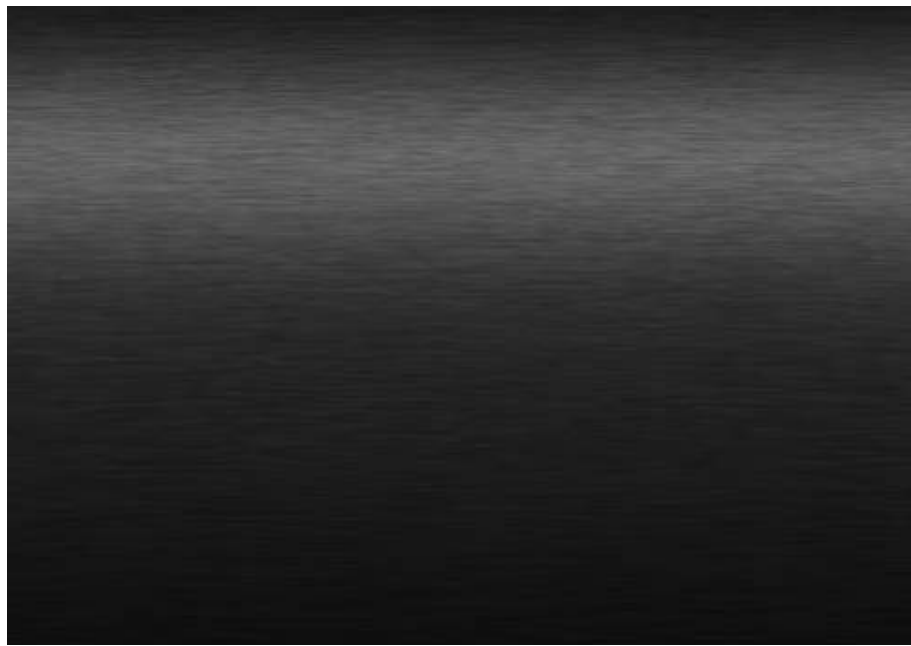
COLOR: WHITE
FINISH/TEXTURE: STONE TILE

TRIM/AWNINGS



COLOR: BLACK
FINISH/TEXTURE: OPAQUE METAL

DOORS/WINDOWS

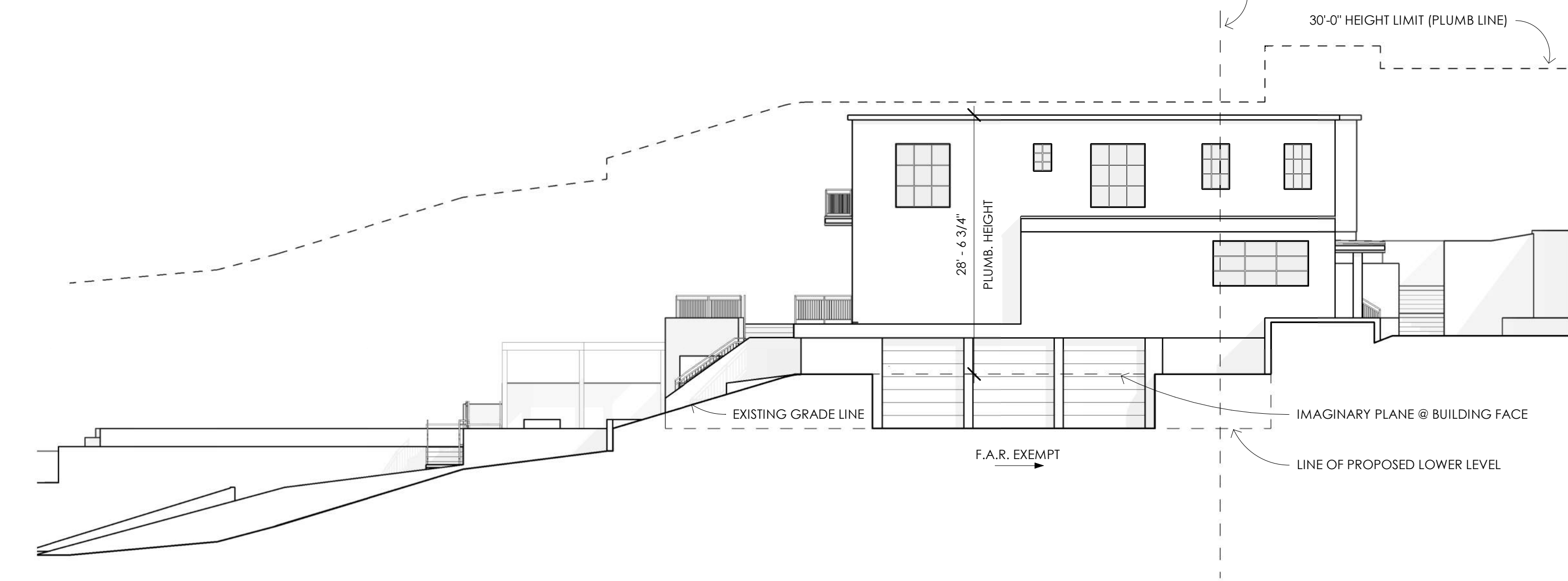


COLOR: BLACK
FINISH/TEXTURE: OPAQUE METAL

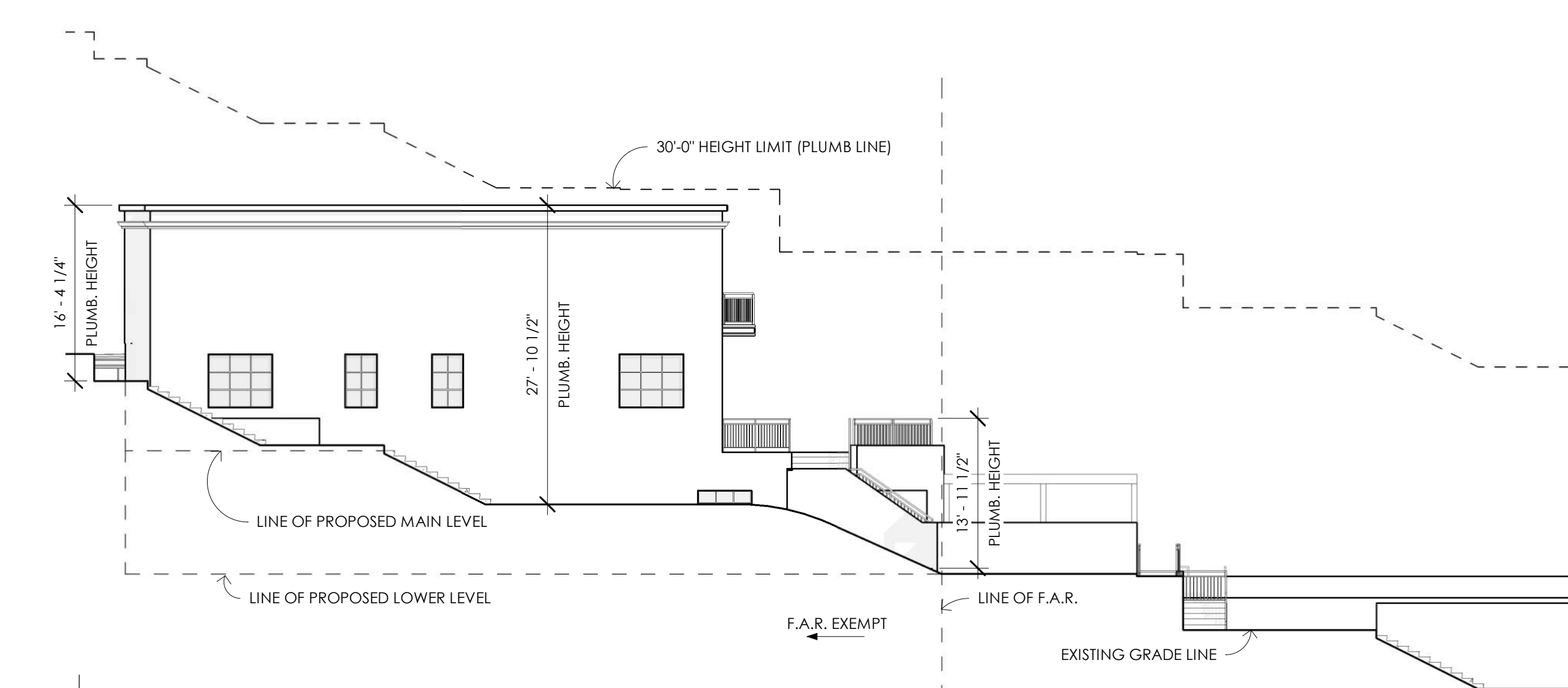
LOT 2 SHOWCASES AN ALL-WHITE EXTERIOR WITH ART DECO AND CLASSICAL INFLUENCES, INTRODUCING A REFINED YET HARMONIOUS STYLE TO THE NEIGHBORHOOD. THE HOME'S DESIGN ADDS A TOUCH OF ELEGANCE WHILE RESPECTING THE EXISTING ARCHITECTURAL LANDSCAPE. BY BLENDING ART DECO AND CLASSICAL ELEMENTS WITH TRADITIONAL MATERIALS, THE HOME CONTRIBUTES TO A BALANCED AND VISUALLY APPEALING STREETSCAPE, ENRICHING THE NEIGHBORHOOD'S CHARACTER WITH ITS DISTINCTIVE YET COMPLEMENTARY AESTHETIC.



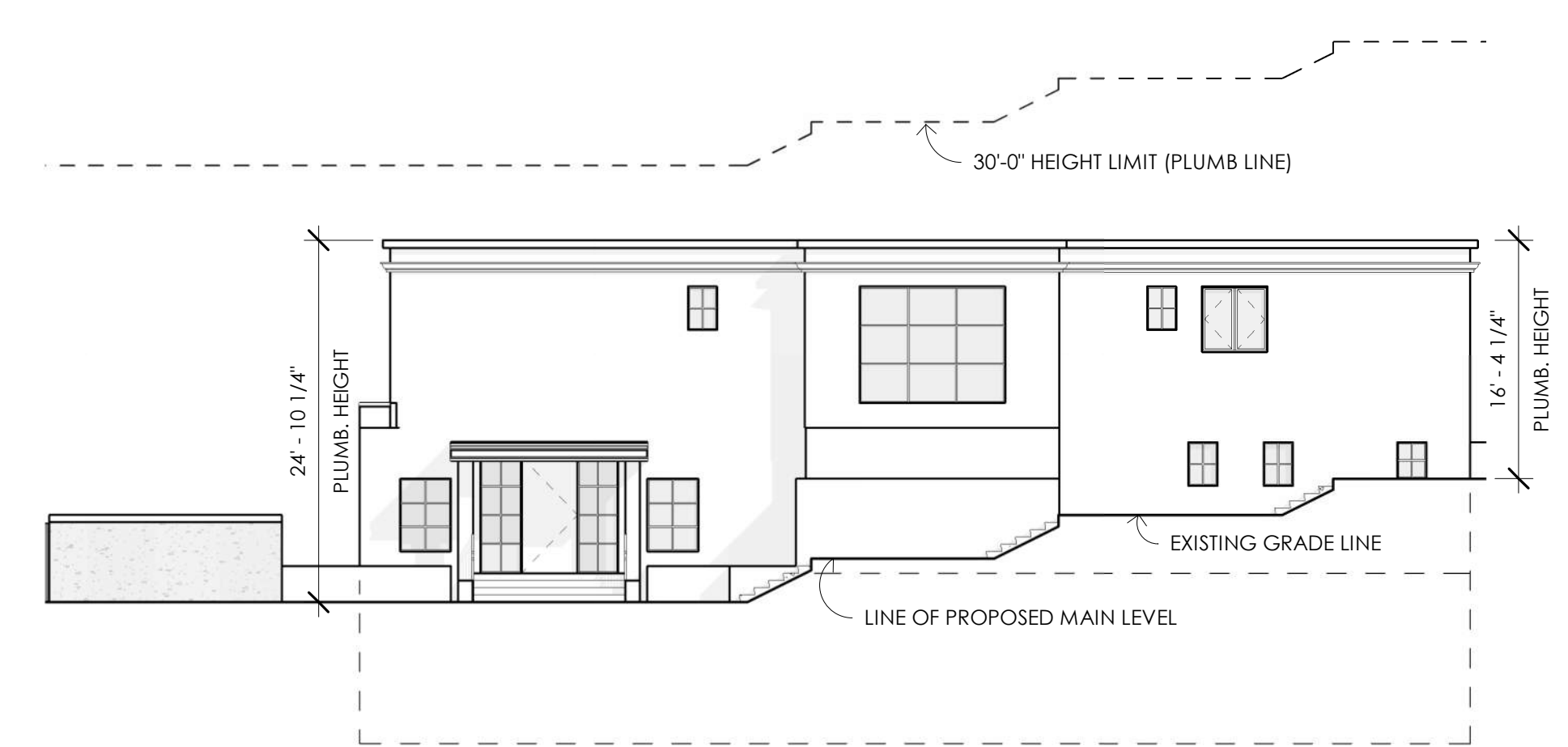
1 LOT 2 - WEST ELEVATION
SCALE = 3/32" = 1'-0"



2 LOT 2 - SOUTH ELEVATION
SCALE = 3/32" = 1'-0"

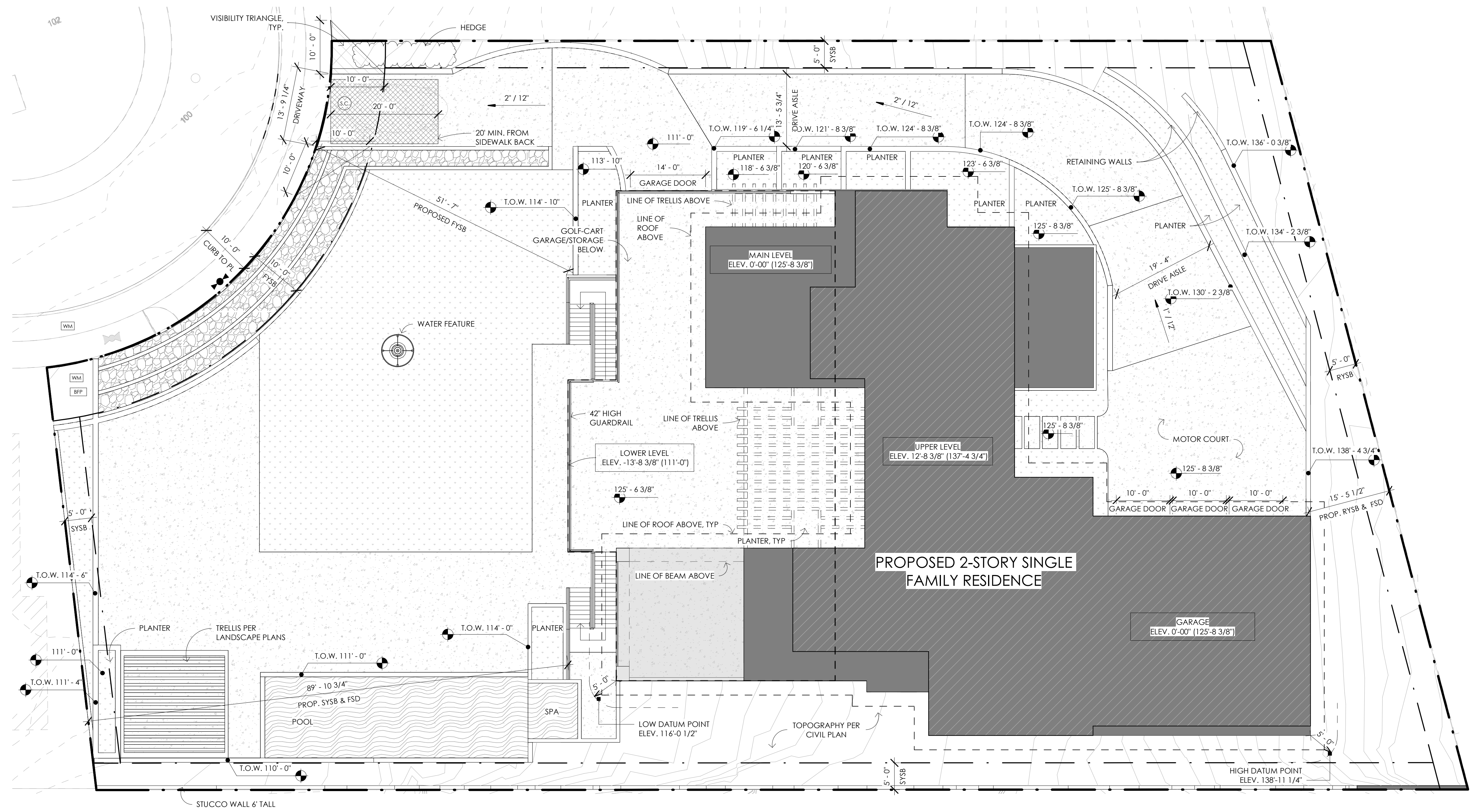


3 LOT 2 - NORTH ELEVATION
SCALE = 3/32" = 1'-0"



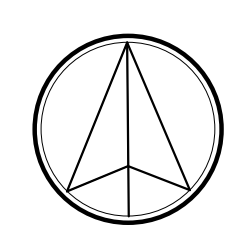
4 LOT 2 - EAST ELEVATION
SCALE = 3/32" = 1'-0"

DATE:	ISSUE:
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08/16/2024	4TH CDP SUBMITTAL
12/13/2024	5TH CDP SUBMITTAL



1 LOT 3 - SITE PLAN

SCALE = 3/32" = 1'-0"



SITE LEGEND

- BFP**

BACKFLOW PREVENTER. REFER TO G002 FOR SIZE

TYPE: (F) = FIRE (I); IRRIGATION; (D) DOMESTIC
- WM**

WATER METER. REFER TO SHEET G002 FOR SIZE

TYPE: (F) = FIRE (I); IRRIGATION; (D) DOMESTIC
- FD**

FIRE HYDRANT LOCATED 6' FROM FACE OF CURB W/ BLUE REFLECTIVE PAVEMENT MARKER. CFC 507 (PROVIDE 3'-0" DIA. MIN. CLEAR AREA, CFC 507.5.5)
- SC**

SEWER CLEANOUT
- HATCHES**

 - HATCH INDICATES PROPOSED MAIN LEVEL RESIDENCE
 - LINE INDICATES LOWER LEVEL RESIDENCE
 - HATCH INDICATES UPPER LEVEL RESIDENCE
 - HATCH INDICATES HARDSCAPE AREA
 - HATCH INDICATES COVERED AREA
 - LANDSCAPE PER LANDSCAPE PLANS

SITE NOTES

- THE EXISTING WATER AND SEWER SERVICES WILL REMAIN.
- PER FHPS POLICY P-00-4 (JFC 901.4.4) BUILDING ADDRESS NUMBERS TO BE VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY.
- THIS PROJECT MUST COMPLY WITH THE MUNICIPAL CODE REQUIREMENTS FOR MAXIMUM HEIGHT OF THE STRUCTURE NOT TO EXCEED 30 FEET (SDMC, SECTIONS 131.0444 AND 132.0505.) HIGHEST POINT ON ROOF EQUIPMENT, PIPE, VENT, ANTENNA OR OTHER PROJECTION SHALL NOT EXCEED 30 FEET ABOVE GRADE.
- THE HIGHEST POINT OF ANY ROOF, EQUIPMENT, OR ANY VENT PIPE, ANTENNA, OR OTHER PROJECTION SHALL NOT EXCEED 30'-0" ABOVE GRADE.
- ALL PROPOSED SITE LIGHTING SHALL BE SHIELDED SUCH THAT THE LIGHT SOURCE SHALL BE CONCEALED FROM PUBLIC VIEW.
- REFER TO SEPARATE GRADING PLAN FOR REQUIRED EMRA, PERMANENT BMPS, AND WCPC.
- WATER METERS FOR COMBINED DOMESTIC WATER AND FIRE SPRINKLER SYSTEMS SHALL NOT BE INSTALLED UNTIL THE FIRE SPRINKLER SYSTEM HAS BEEN SUBMITTED AND APPROVED BY THE BUILDING OFFICIAL.
- AUTOMATIC IRRIGATION SYSTEM. CONTROLLERS FOR LANDSCAPING PROVIDED BY THE BUILDER AND INSTALLED AT THE TIME OF FINAL INSPECTION SHALL COMPLY WITH THE FOLLOWING:
 - CONTROLLERS SHALL BE WEATHER OR SOIL MOISTURE-BASED CONTROLLERS THAT AUTOMATICALLY ADJUST IRRIGATION IN RESPONSE TO CHANGES IN PLANTS' NEEDS AS WEATHER CONDITIONS CHANGE
 - WEATHER-BASED CONTROLLERS WITHOUT INTEGRAL RAIN SENSORS OR COMMUNICATION SYSTEMS THAT ACCOUNT FOR LOCAL RAINFALL SHALL HAVE A SEPARATE WIRED OR WIRELESS RAIN SENSOR WHICH CONNECTS OR COMMUNICATES WITH THE CONTROLLER(S). SOIL MOISTURE-BASED CONTROLLERS ARE NOT REQUIRED TO HAVE RAIN SENSOR INPUT.



MATERIAL LEGEND

WALL TEXTURE 1



COLOR: WHITE
FINISH/TEXTURE: STUCCO

EXTERIOR FLOOR TEXTURE



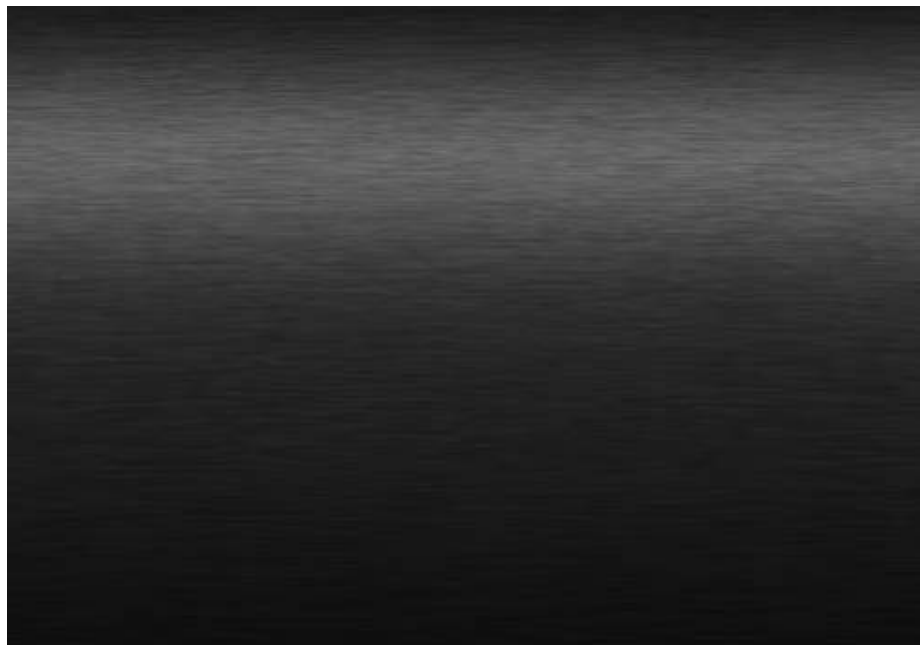
COLOR: WHITE
FINISH/TEXTURE: STONE TILE

ROOF MATERIAL



COLOR: WHITE
FINISH/TEXTURE: STANDING SEAM METAL

DOORS/WINDOWS



COLOR: BLACK
FINISH/TEXTURE: OPAQUE METAL

LOT 3 COMBINES SPANISH MODERN ELEMENTS WITH ECLECTIC TOUCHES, FEATURING LARGE WINDOWS AND LOW-SLOPED ROOFS TO INTRODUCE A UNIQUE FLAIR WHILE MAINTAINING VISUAL HARMONY WITH THE NEIGHBORHOOD. THE HOME'S DESIGN ADDS A DISTINCTIVE CHARACTER TO THE COMMUNITY, USING DIAGONAL AND OFF-SETTING PLANES TO CREATE VISUAL INTEREST AND COMPLEMENT THE SURROUNDING ARCHITECTURAL STYLES. THIS APPROACH ENSURES A SEAMLESS INTEGRATION WITH EXISTING STRUCTURES, ENHANCING THE NEIGHBORHOOD'S DIVERSE AESTHETIC.



WILL & FOTSCH ARCHITECTS

1298 PROSPECT STREET, SUITE 2S, LA JOLLA, CA 92037 - (o) 858-224-2486

JOB #:

CIELO MAR - LOT 3 - ALLOS

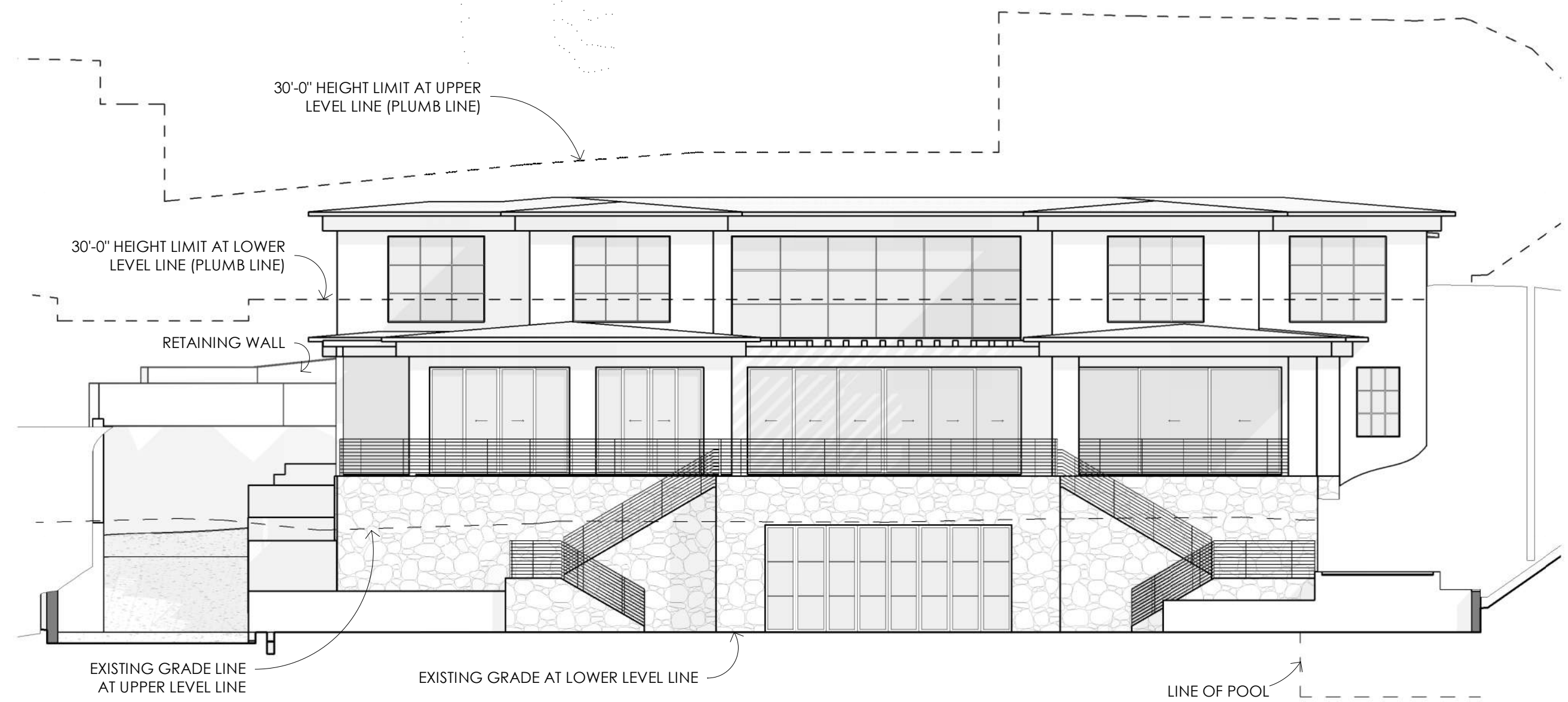
8303 LA JOLLA SHORES DR, SAN DIEGO, CA 32037

DATE:	ISSUE:
02/24/2023	CDP SUBMITTAL
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03/18/2024	3RD CDP SUBMITTAL
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12/13/2024	5TH CDP SUBMITTAL

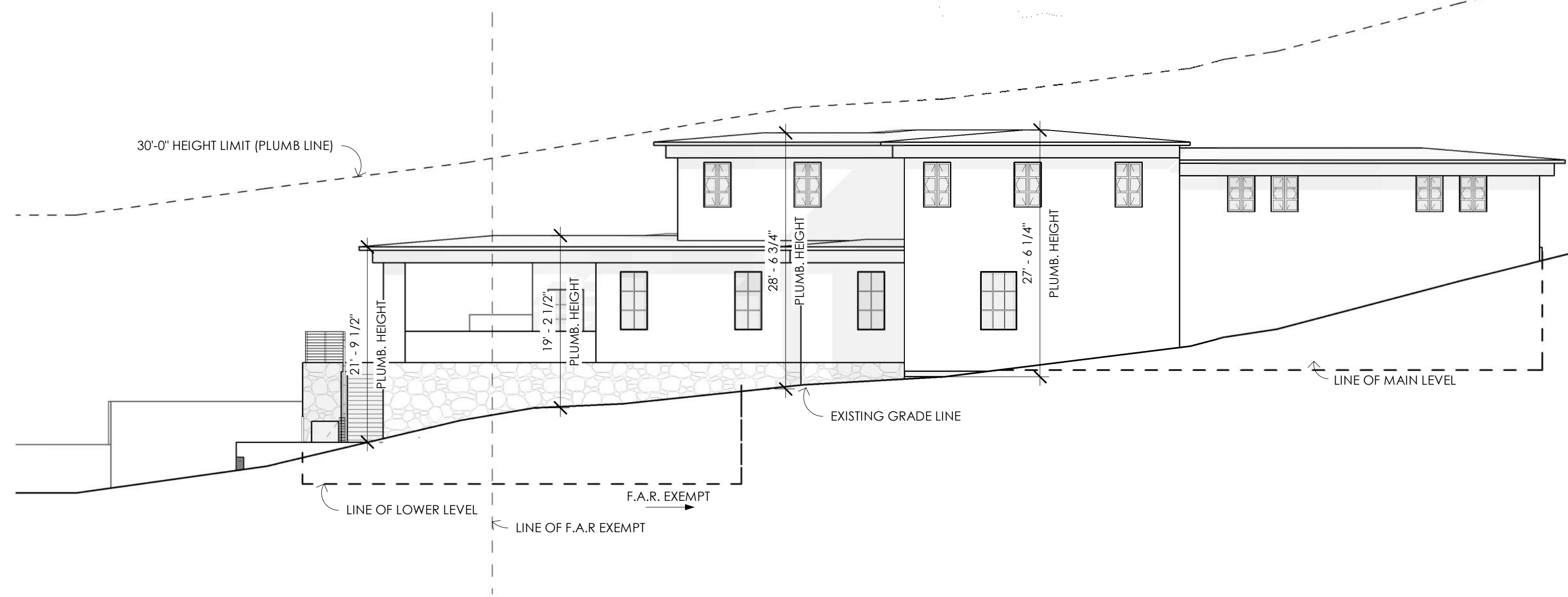
A003.a

LOT 3 -
RENDERINGS

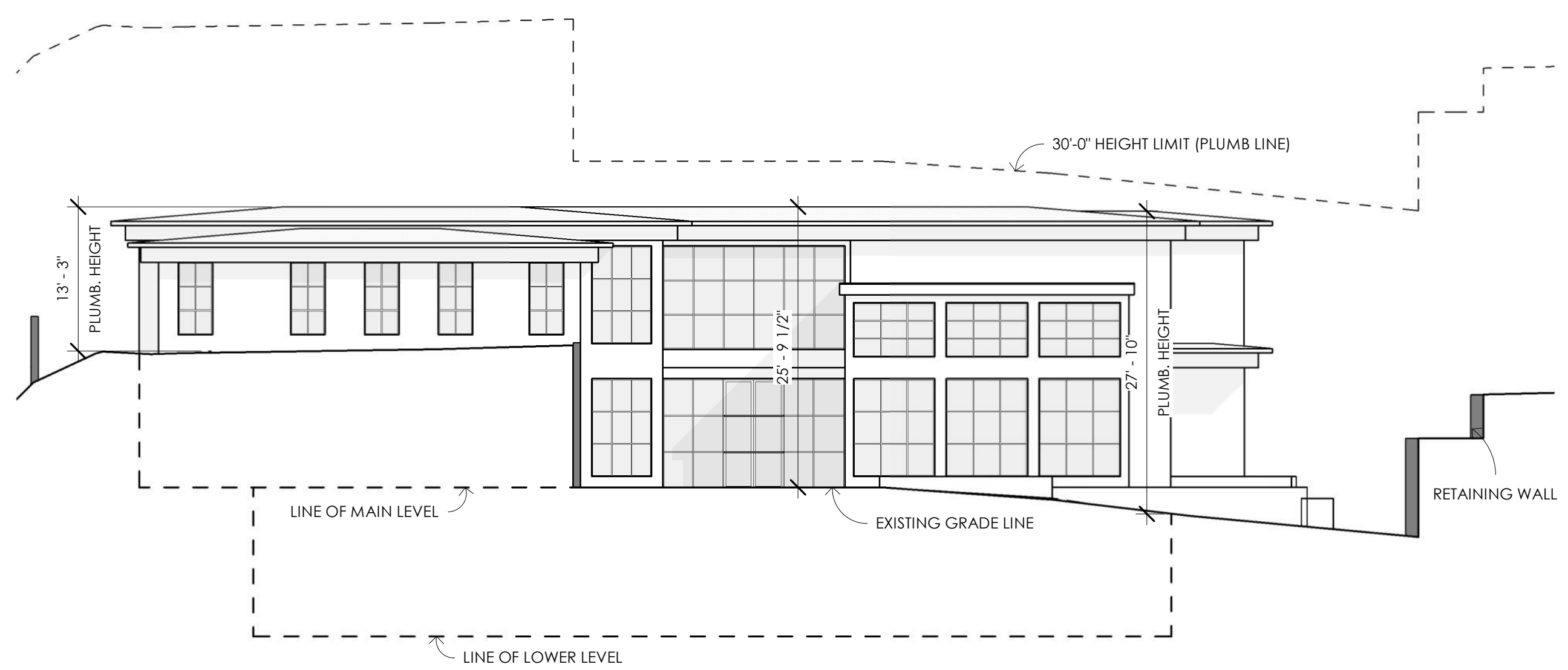
12/13/2024



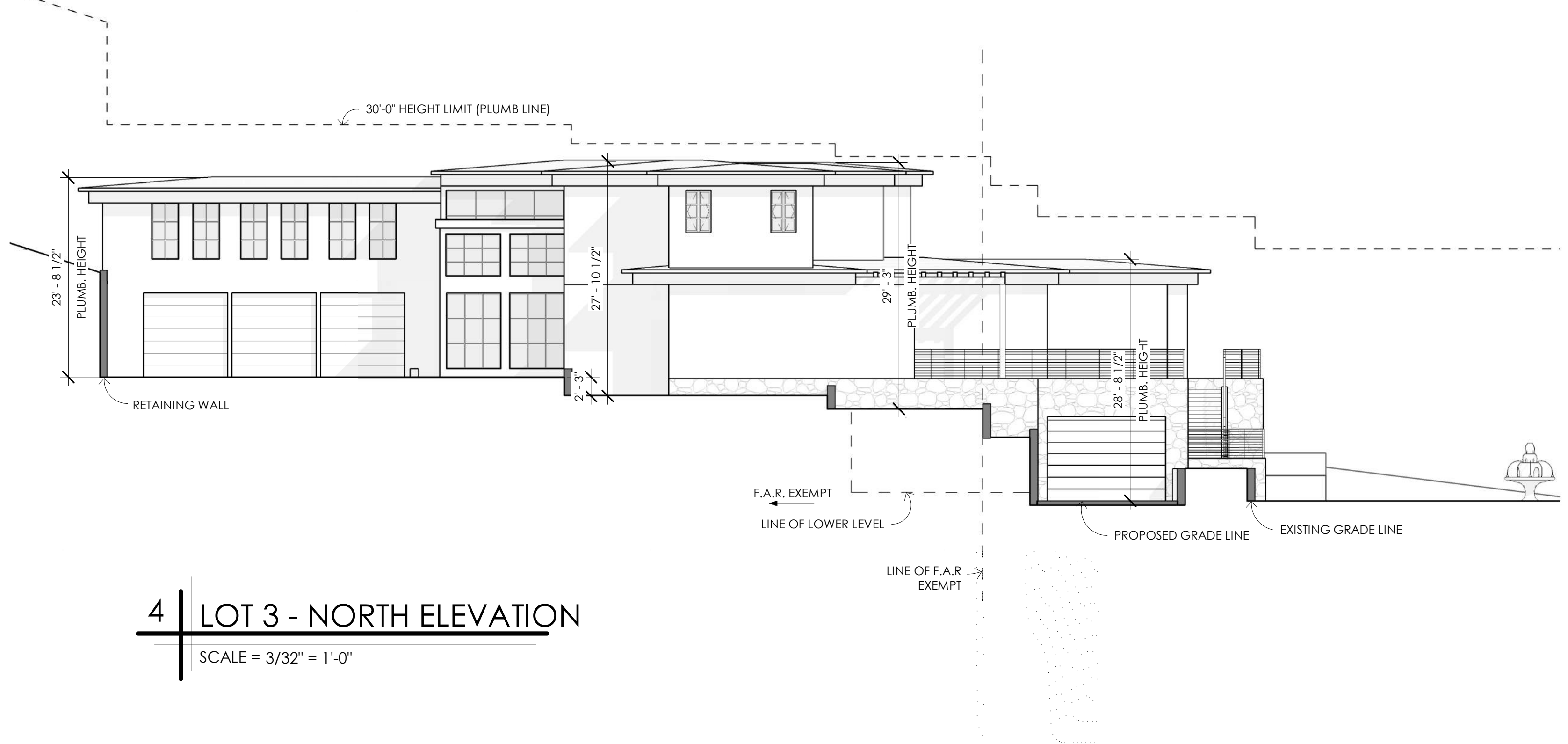
1 | LOT 3 - WEST ELEVATION
SCALE = 3/32" = 1'-0"



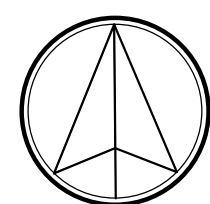
2 | LOT 3 - SOUTH ELEVATION
SCALE = 3/32" = 1'-0"



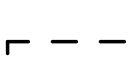
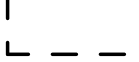




3 | LOT 3 - EAST ELEVATION
SCALE = 3/32" = 1'-0"



4 | LOT 3 - NORTH ELEVATION
SCALE = 3/32" = 1'-0"



	HATCH INDICATES ACCESS LEVEL RESIDENCE FOOTPRINT
	HATCH INDICATES GARDEN LEVEL FOOTPRINT
	LINE INDICATES GARAGE FOOTPRINT
	HATCH INDICATES COVERED AREA
	HATCH INDICATES HARDSCAPE AREA
	LANDSCAPE PER LANDSCAPE PLANS

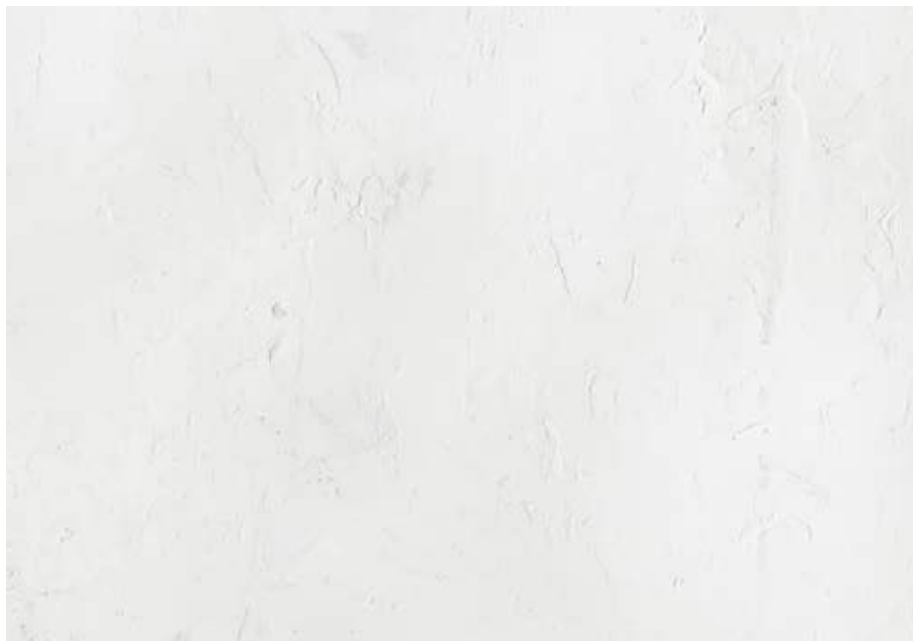
SITE NOTES

1. THE EXISTING WATER AND SEWER SERVICES WILL REMAIN.
2. PER PHRS POLICY P-0-06 (JFC 901.4.4) BUILDING ADDRESS NUMBERS TO BE VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY.
3. THIS PROJECT MUST COMPLY WITH WITH THE MUNICIPAL CODE REQUIREMENTS FOR MAXIMUM HEIGHT OF THE STRUCTURE NOT TO EXCEED 30 FEET (SDMC. SECTIONS 131.0444 AND 132.0505.) HIGHEST POINT ON ROOF-EQUIPMENT, PIPE, VENT, ANTENNA OR OTHER PROJECTION SHALL NOT EXCEED 30 FEET ABOVE GRADE.
4. THE HIGHEST POINT OF ANY ROOF, EQUIPMENT, OR ANY VENT PIPE, ANTENNA, OR OTHER PROJECTION SHALL NOT EXCEED 30" ABOVE GRADE.
5. ALL PROPOSED SITE LIGHTING SHALL BE SHIELDED SUCH THAT THE LIGHT SOURCE SHALL BE CONCEALED FROM PUBLIC VIEW.
6. REFER TO SEPARATE GRADING PLAN FOR REQUIRED EMRA, PERMANENT BMPS, AND WCPC.
7. WATER METERS FOR COMBINED DOMESTIC WATER AND FIRE SPRINKLER SYSTEMS SHALL NOT BE INSTALLED UNTIL THE FIRE SPRINKLER SYSTEM HAS BEEN SUBMITTED AND APPROVED BY THE BUILDING OFFICIAL.
8. AUTOMATIC IRRIGATION SYSTEM CONTROLLERS FOR LANDSCAPING PROVIDED BY THE BUILDER AND INSTALLED AT THE TIME OF FINAL INSPECTION SHALL COMPLY WITH THE FOLLOWING:
 - i. CONTROLLERS SHALL BE WEATHER OR SOIL MOISTURE-BASED CONTROLLERS THAT AUTOMATICALLY ADJUST IRRIGATION IN RESPONSE TO CHANGES IN PLANTS' NEEDS AS WEATHER CONDITIONS CHANGE
 - ii. WEATHER-BASED CONTROLLERS WITHOUT INTEGRAL RAIN SENSORS OR COMMUNICATION SYSTEMS THAT ACCOUNT FOR LOCAL RAINFALL SHALL HAVE A SEPARATE WIRED OR WIRELESS RAIN SENSOR WHICH CONNECTS OR COMMUNICATES WITH THE CONTROLLER(S). SOIL MOISTURE-BASED CONTROLLERS ARE NOT REQUIRED TO HAVE RAIN SENSOR INPUT.



MATERIAL LEGEND

WALL TEXTURE 1



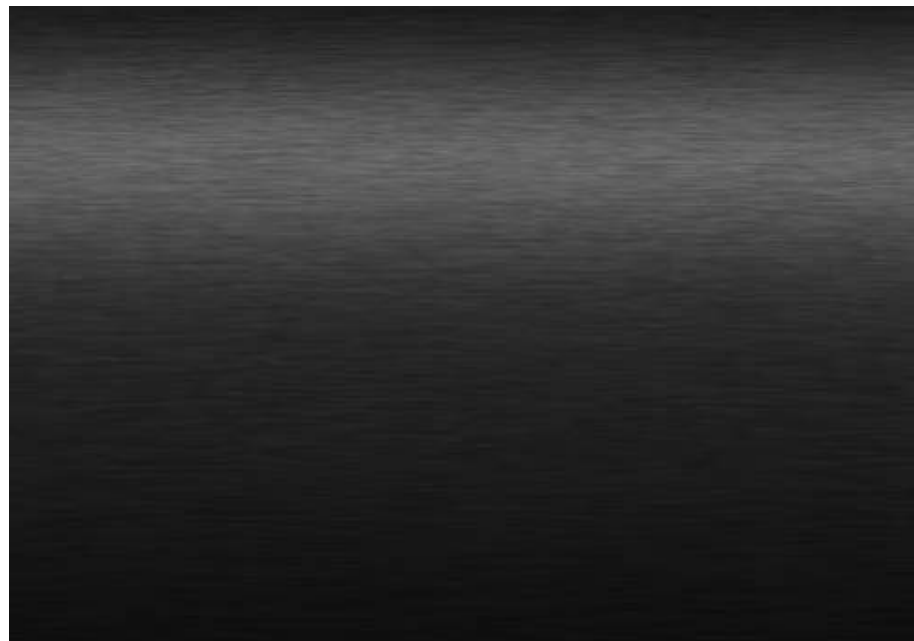
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FINISH/TEXTURE: STUCCO

ROOF TECTURE



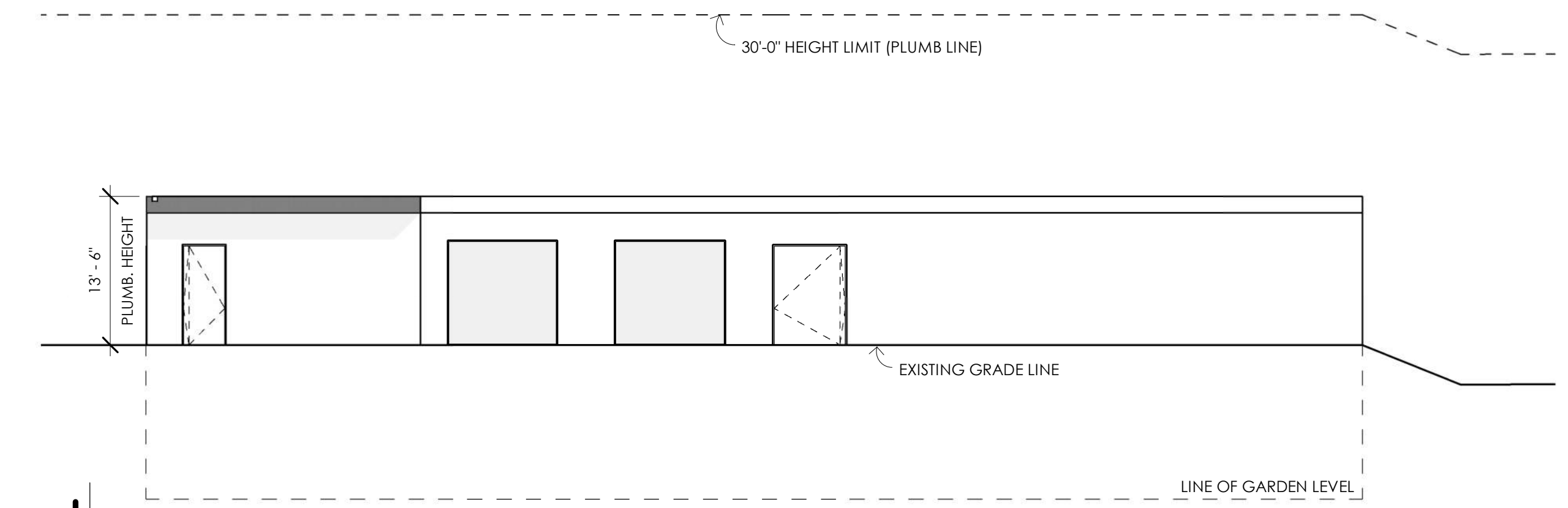
COLOR: GREEN
FINISH/TEXTURE: GRASS

TRIM/AWNINGS



COLOR: BLACK
FINISH/TEXTURE: OPAQUE METAL

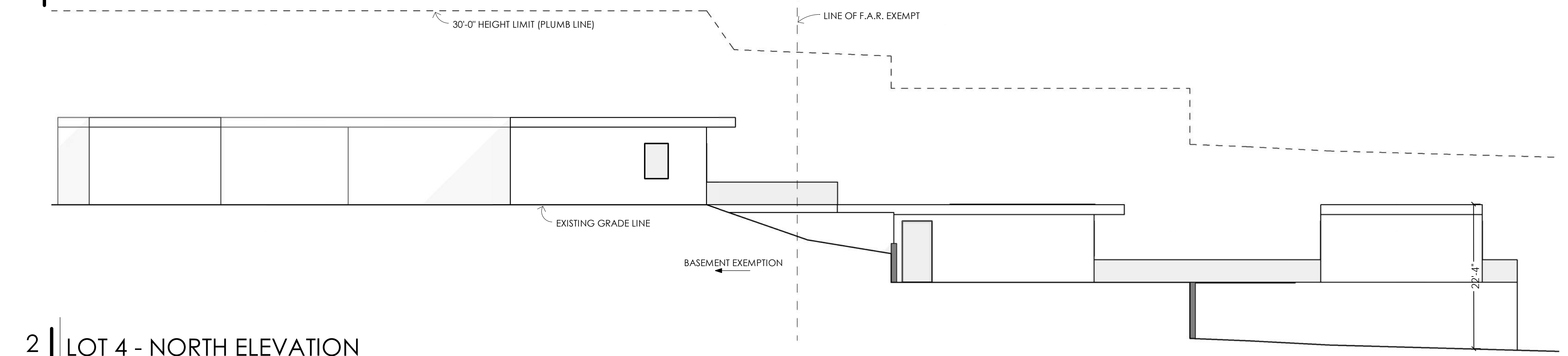
LOT 4 PRESENTS A MODERN AESTHETIC WITH ITS WHITE STUCCO FACADE, FLAT GREEN ROOFS, AND RECTANGULAR LAYOUT, CREATING A FRESH YET COHESIVE ADDITION TO THE NEIGHBORHOOD. THE DESIGN THOUGHTFULLY ALIGNS WITH THE SURROUNDING STRUCTURES, MAINTAINING A BALANCED VISUAL IMPACT. THE CHOICE OF MATERIALS AND SUBTLE HARDSCAPE ELEMENTS BLEND WELL WITH THE EXISTING STREETSCAPE, ENSURING THAT THE HOME ENHANCES THE OVERALL COMMUNITY CHARACTER WHILE RESPECTING THE NEIGHBORHOOD'S ESTABLISHED DESIGN THEMES.



1

LOT 4 - EAST ELEVATION

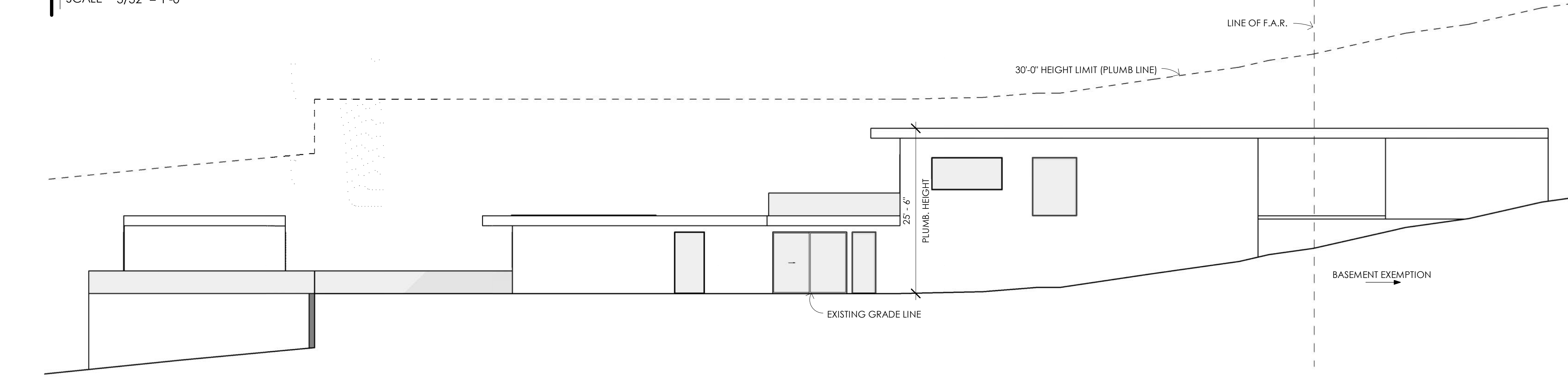
SCALE = 3/32" = 1'-0"



2

LOT 4 - NORTH ELEVATION

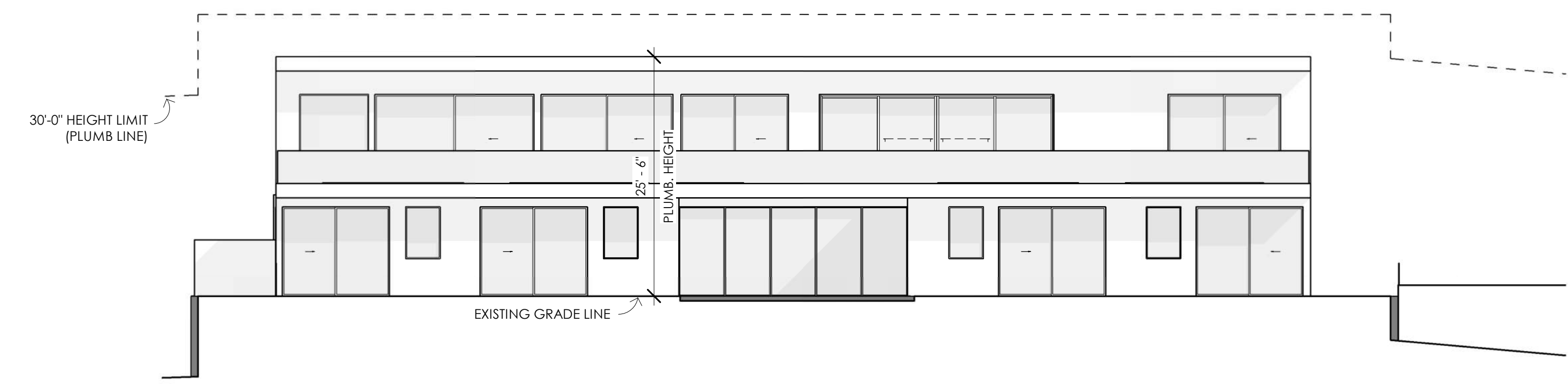
SCALE = 3/32" = 1'-0"



3

LOT 4 - SOUTH ELEVATION

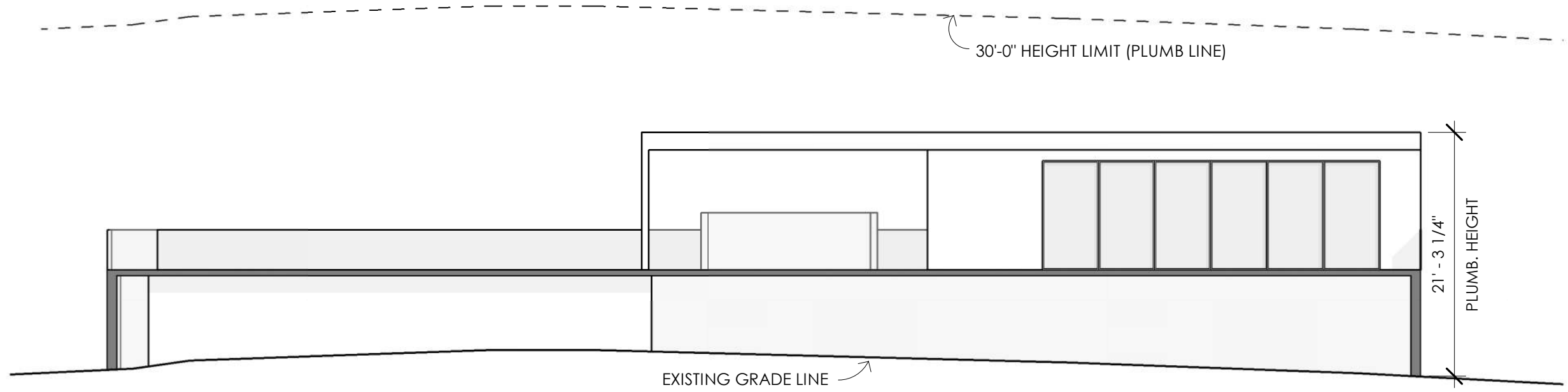
SCALE = 3/32" = 1'-0"



4

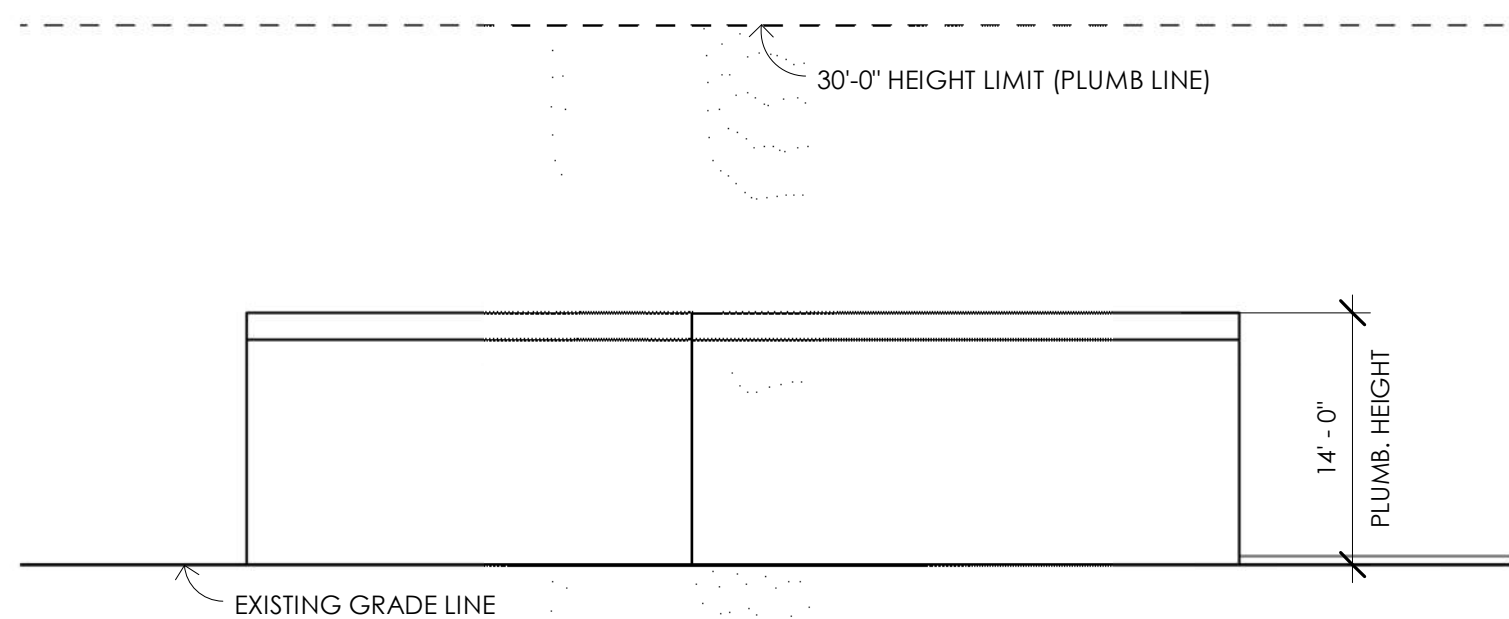
LOT 4 - WEST ELEVATION

SCALE = 3/32" = 1'-0"



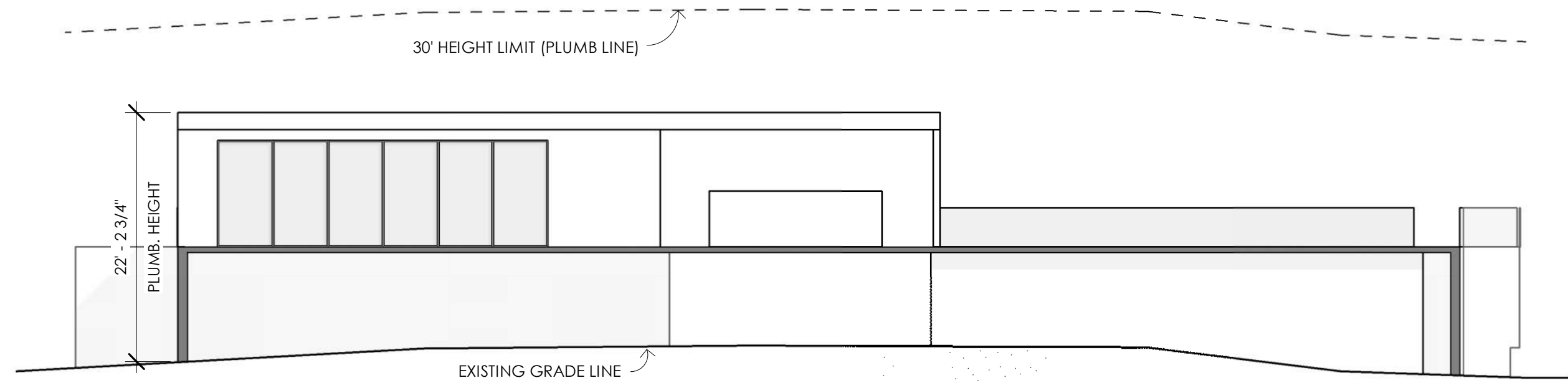
5 | LOT 4 - EAST ELEVATION OFFICE

SCALE = 3/32" = 1'-0"



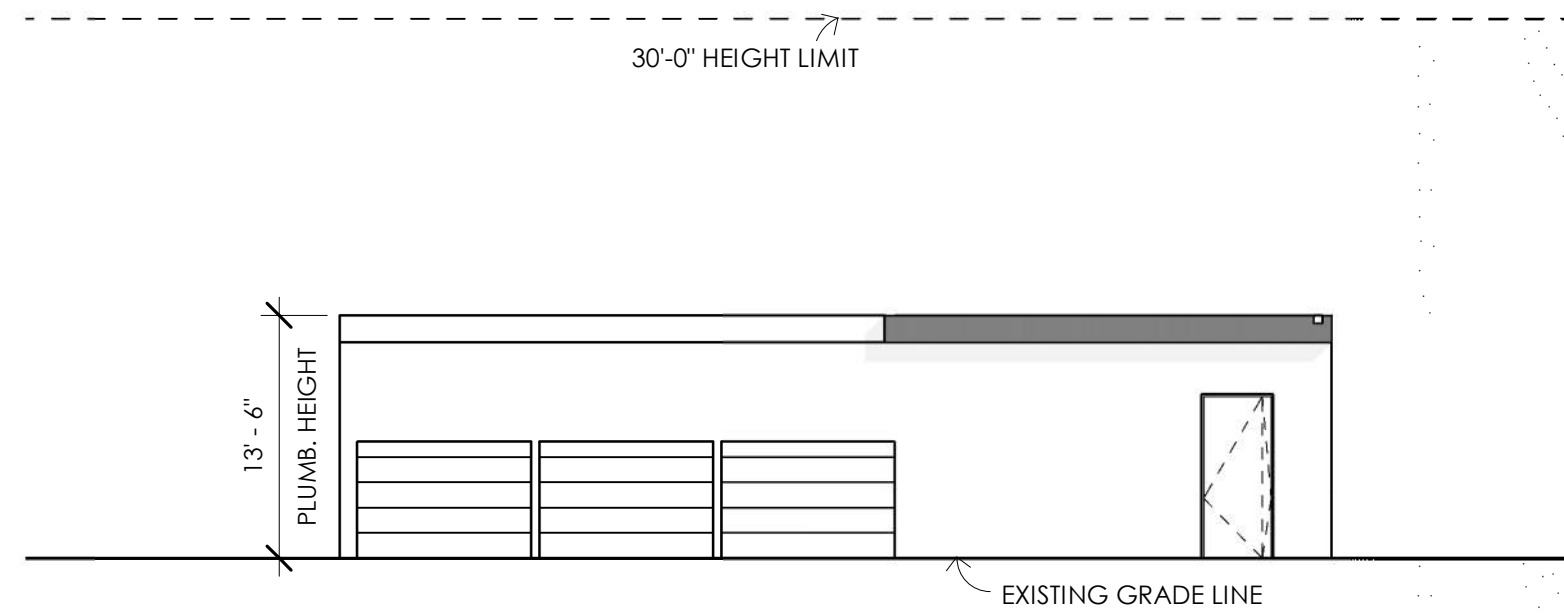
7 | LOT 4 - EAST ELEVATION GARAGE

SCALE = 3/32" = 1'-0"



6 | LOT 4 - WEST ELEVATION OFFICE

SCALE = 3/32" = 1'-0"



8 | LOT 4 - WEST ELEVATION GARAGE

SCALE = 3/32" = 1'-0"

JOB #:

CIELO MAR - LOT 5 - RACE

8303 LA JOLLA SHORES DR, SAN DIEGO, CA 32037

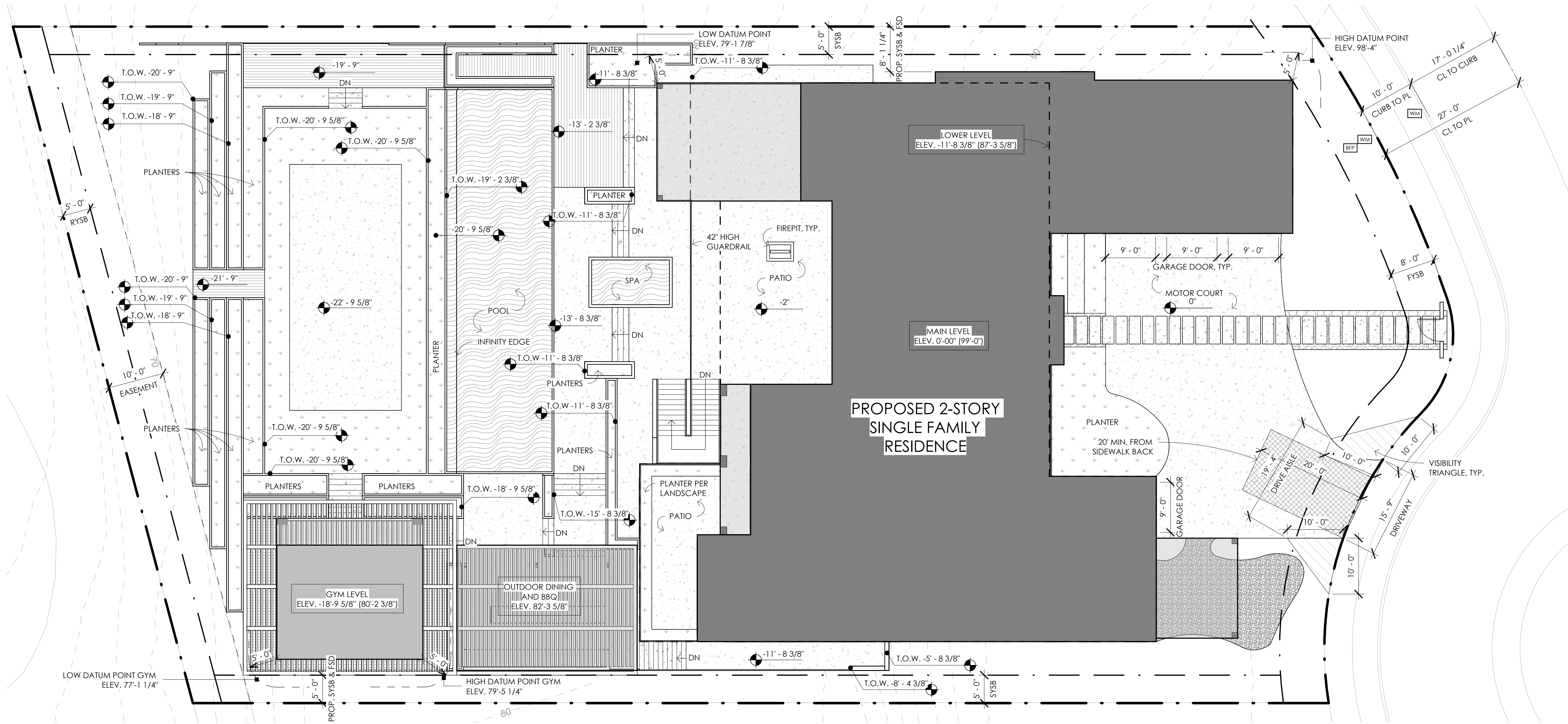
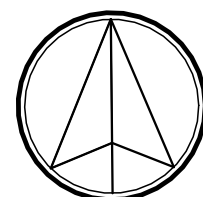
DATE:	ISSUE:
02/24/2023	CDP SUBMITTAL
10/03/2023	2ND CDP SUBMITTAL
03/18/2024	3RD CDP SUBMITTAL
08/16/2024	4TH CDP SUBMITTAL
12/13/2024	5TH CDP SUBMITTAL

A005
LOT 5 - SITE PLAN

12/13/2024

1 LOT 5 - SITE PLAN

SCALE = 3/32" = 1'-0"



SITE LEGEND

BACKFLOW PREVENTER, REFER TO G002 FOR SIZE TYPE: (F) = FIRE (I); IRRIGATION; (D) DOMESTIC	HATCH INDICATES PROPOSED MAIN LEVEL RESIDENCE
WATER METER, REFER TO SHEET G002 FOR SIZE TYPE: (F) = FIRE (I); IRRIGATION; (D) DOMESTIC	LINE INDICATES LOWER LEVEL RESIDENCE
FIRE HYDRANT LOCATED 6' FROM FACE OF CURB W/ BLUE REFLECTIVE PAVEMENT MARKER, CFC 507 (PROVIDE 3'-0" DIA. MIN. CLEAR AREA, CFC 507.5.5)	LINE INDICATES GARAGE LEVEL
SEWER CLEANOUT	HATCH INDICATES HARDSCAPE AREA
	HATCH INDICATES COVERED AREA
	HATCH INDICATES COVERED AREA

SITE NOTES

- THE EXISTING WATER AND SEWER SERVICES WILL REMAIN.
- PER FHPS POLICY P-00-6 (UFC 901.4.4) BUILDING ADDRESS NUMBERS TO BE VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY.
- THIS PROJECT MUST COMPLY WITH THE MUNICIPAL CODE REQUIREMENTS FOR MAXIMUM HEIGHT OF THE STRUCTURE NOT TO EXCEED 30 FEET (SDMC, SECTIONS 131.0444 AND 132.0505.) HIGHEST POINT ON ROOF EQUIPMENT, PIPE, VENT, ANTENNA OR OTHER PROJECTION SHALL NOT EXCEED 30 FEET ABOVE GRADE.
- THE HIGHEST POINT OF ANY ROOF, EQUIPMENT, OR ANY VENT PIPE, ANTENNA, OR OTHER PROJECTION SHALL NOT EXCEED 30'-0" ABOVE GRADE.
- ALL PROPOSED SITE LIGHTING SHALL BE SHIELDED SUCH THAT THE LIGHT SOURCE SHALL BE CONCEALED FROM PUBLIC VIEW.
- REFER TO SEPARATE GRADING PLAN FOR REQUIRED EMRA, PERMANENT BMPs, AND WCPC.
- WATER METERS FOR COMBINED DOMESTIC WATER AND FIRE SPRINKLER SYSTEMS SHALL NOT BE INSTALLED UNTIL THE FIRE SPRINKLER SYSTEM HAS BEEN SUBMITTED AND APPROVED BY THE BUILDING OFFICIAL.
- AUTOMATIC IRRIGATION SYSTEM CONTROLLERS FOR LANDSCAPING PROVIDED BY THE BUILDER AND INSTALLED AT THE TIME OF FINAL INSPECTION SHALL COMPLY WITH THE FOLLOWING:
 - CONTROLLERS SHALL BE WEATHER OR SOIL MOISTURE-BASED CONTROLLERS THAT AUTOMATICALLY ADJUST IRRIGATION IN RESPONSE TO CHANGES IN PLANTS' NEEDS AS WEATHER CONDITIONS CHANGE
 - WEATHER-BASED CONTROLLERS WITHOUT INTEGRAL RAIN SENSORS OR COMMUNICATION SYSTEMS THAT ACCOUNT FOR LOCAL RAINFALL SHALL HAVE A SEPARATE WIRED OR WIRELESS RAIN SENSOR WHICH CONNECTS OR COMMUNICATES WITH THE CONTROLLER(S). SOIL MOISTURE-BASED CONTROLLERS ARE NOT REQUIRED TO HAVE RAIN SENSOR INPUT.



MATERIAL LEGEND

WALL TEXTURE 1



COLOR: WHITE
FINISH/TEXTURE: STUCCO

EXTERIOR FLOOR TEXTURE



COLOR: WHITE
FINISH/TEXTURE: STONE TILE

WALL TEXTURE 3



COLOR: BLACK
FINISH/TEXTURE: OPAQUE METAL

TRIM/AWNINGS



COLOR: WOOD
FINISH/TEXTURE: WOOD

LOT 5 EMBODIES A SPANISH MODERN DESIGN, FEATURING A RICH COMBINATION OF STUCCO AND STONE THAT ENHANCES THE ARCHITECTURAL CHARACTER OF THE NEIGHBORHOOD. BY RESPECTING THE SURROUNDING STRUCTURES' PROPORTIONS AND MATERIALS, THE HOME CONTRIBUTES TO A BALANCED AND VISUALLY PLEASING ENVIRONMENT. ITS DESIGN ELEMENTS, INCLUDING WELL-CONSIDERED HARDSCAPES AND SITE FIXTURES, INTEGRATE SEAMLESSLY WITH EXISTING HOMES, FOSTERING A HARMONIOUS TRANSITION AND PRESERVING THE COMMUNITY'S DISTINCTIVE CHARM.

JOB #:

CIELO MAR - LOT 5 - RACE

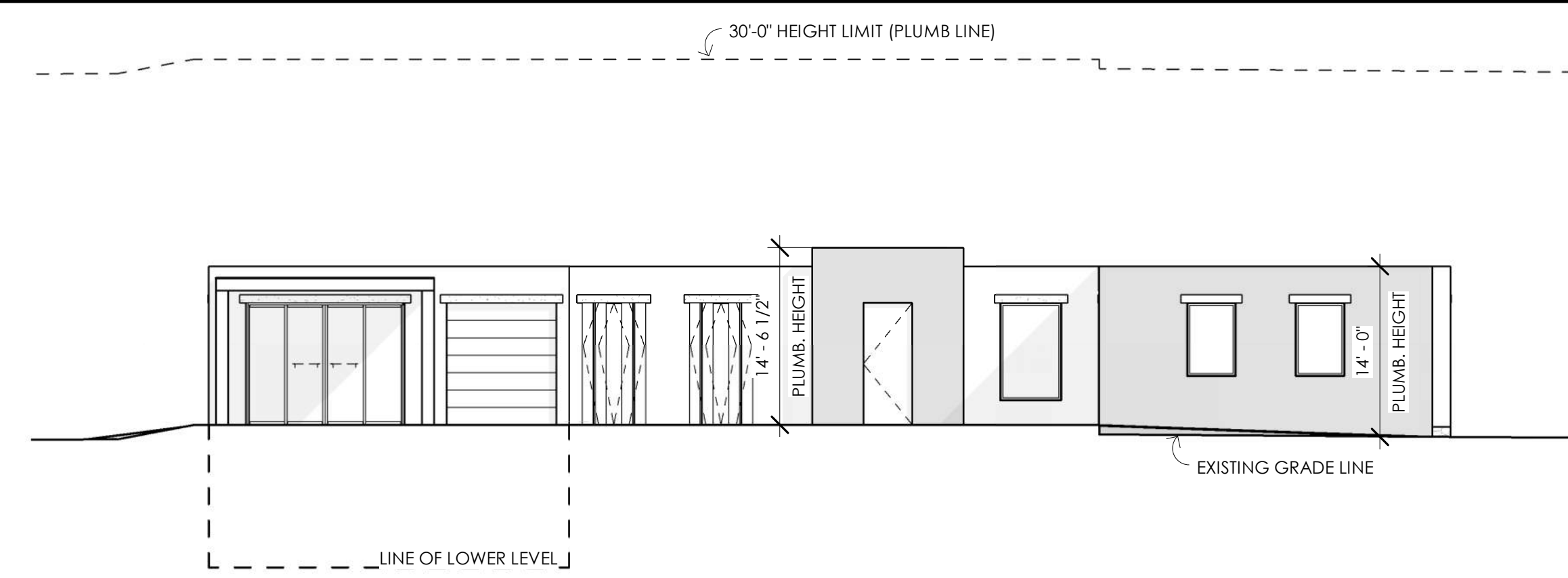
8303 LA JOLLA SHORES DR, SAN DIEGO, CA 32037

DATE:	ISSUE:
02/24/2023	CDP SUBMITTAL
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03/18/2024	3RD CDP SUBMITTAL
08/16/2024	4TH CDP SUBMITTAL
12/13/2024	5TH CDP SUBMITTAL

A005.a

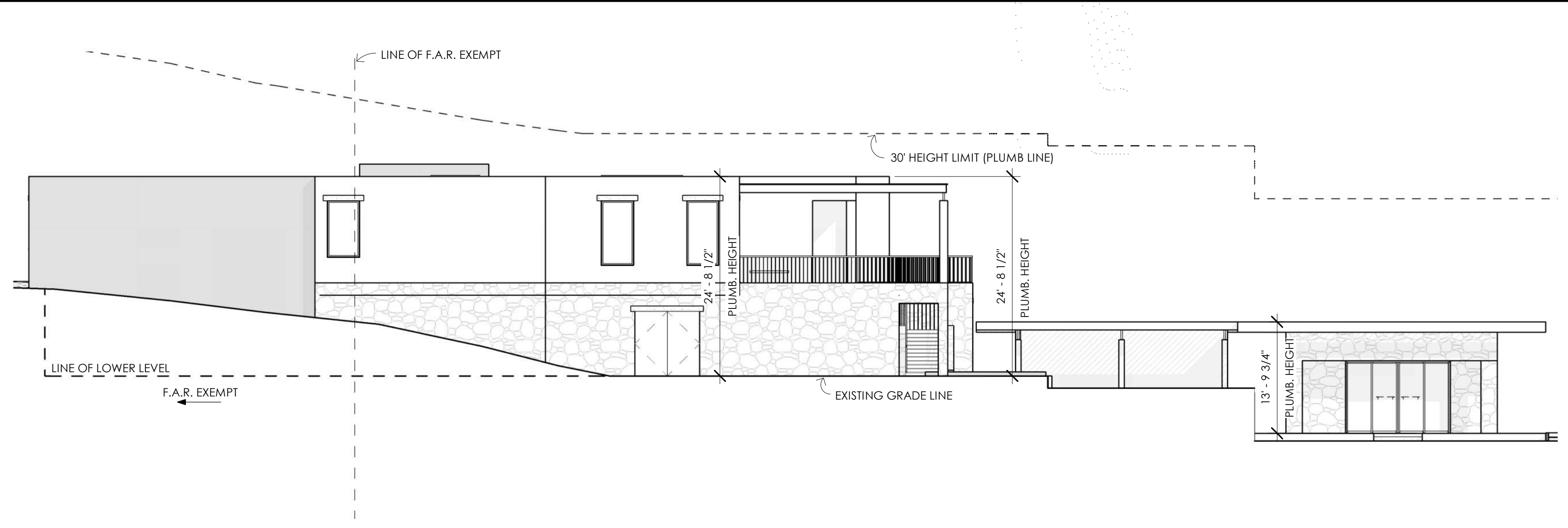
LOT 5 -
RENDERINGS

12/13/2024



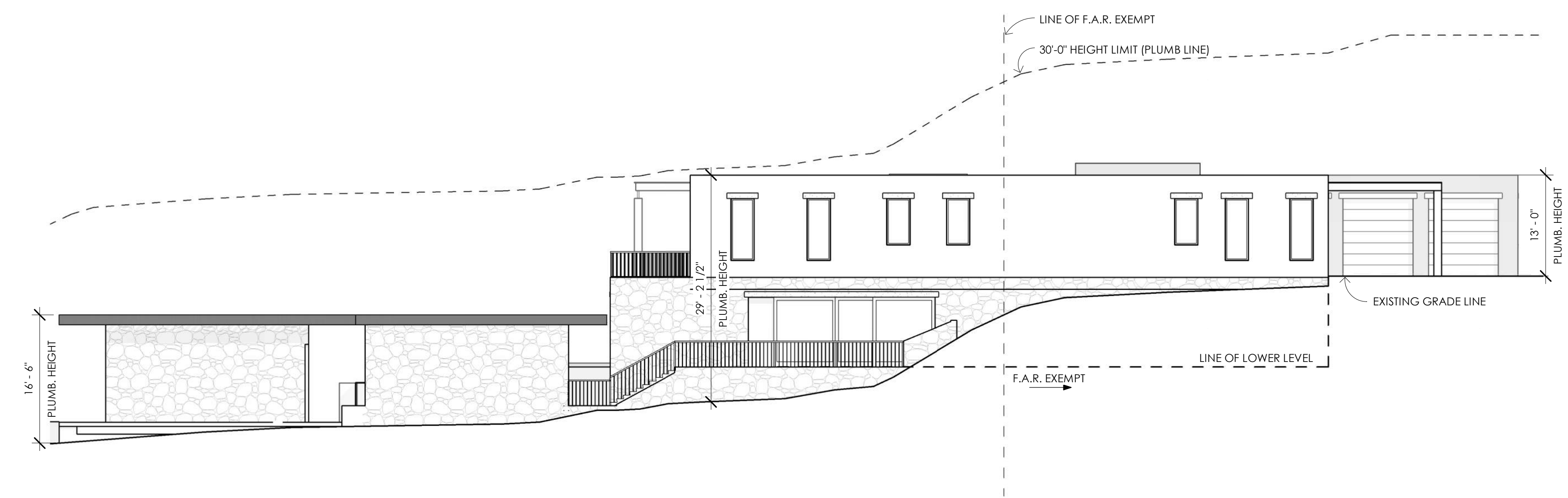
1 LOT 5 - EAST ELEVATION

SCALE = 3/32" = 1'-0"



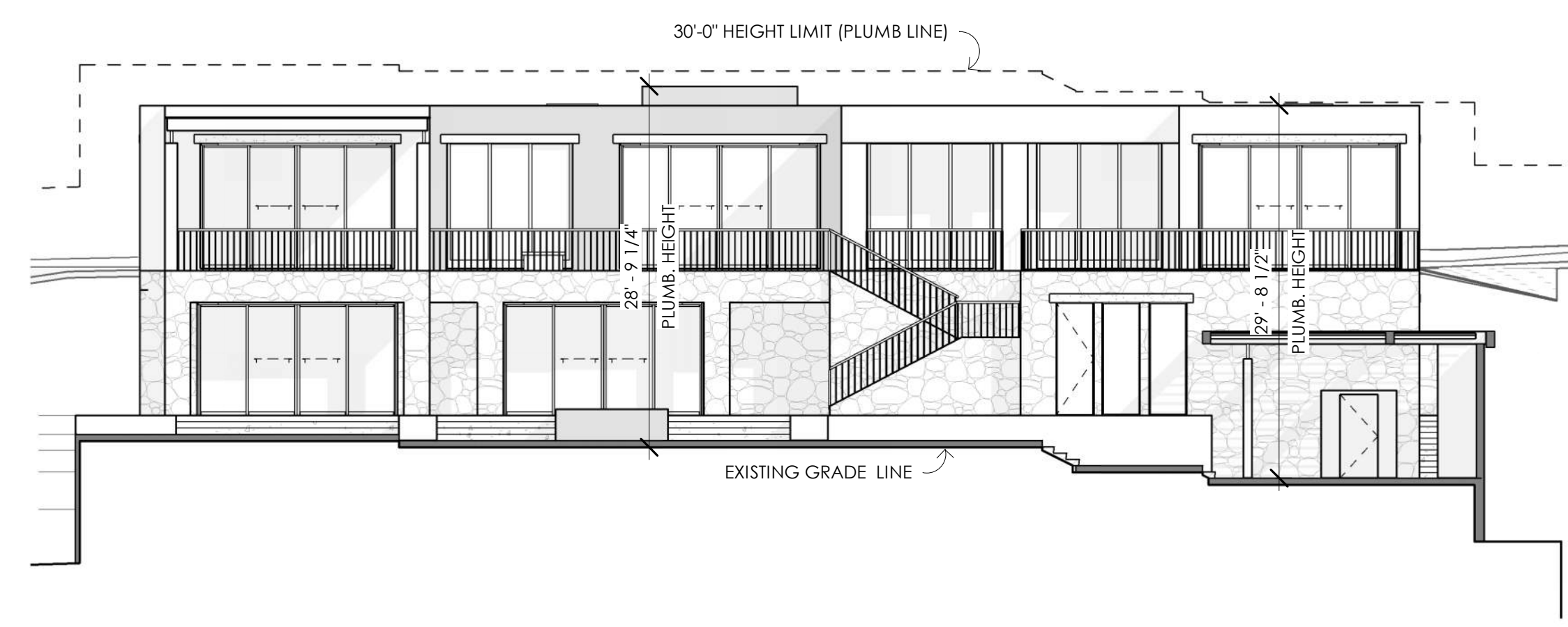
2 LOT 5 - NORTH ELEVATION

SCALE = 3/32" = 1'-0"



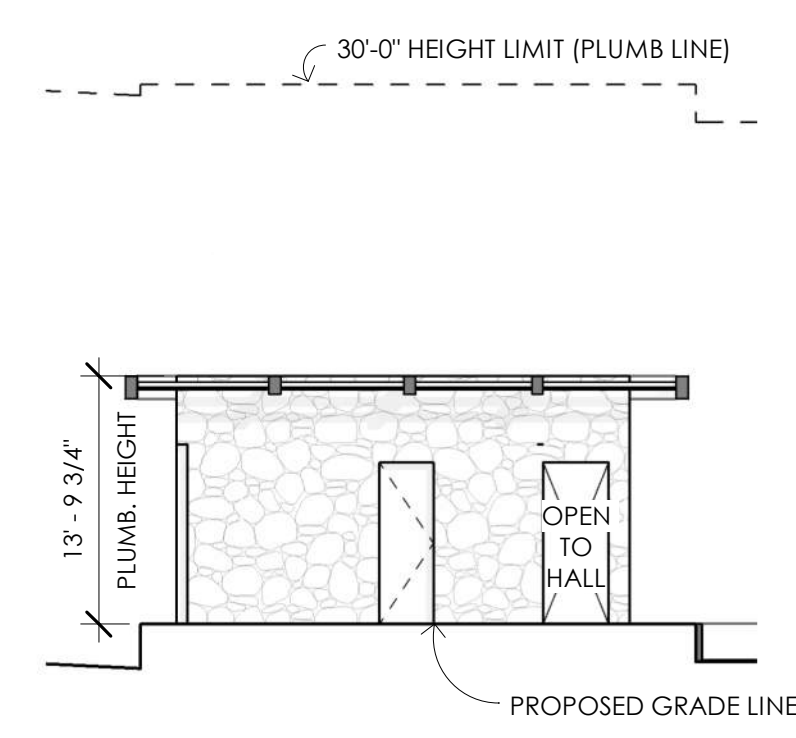
3 LOT 5 - SOUTH ELEVATION

SCALE = 3/32" = 1'-0"



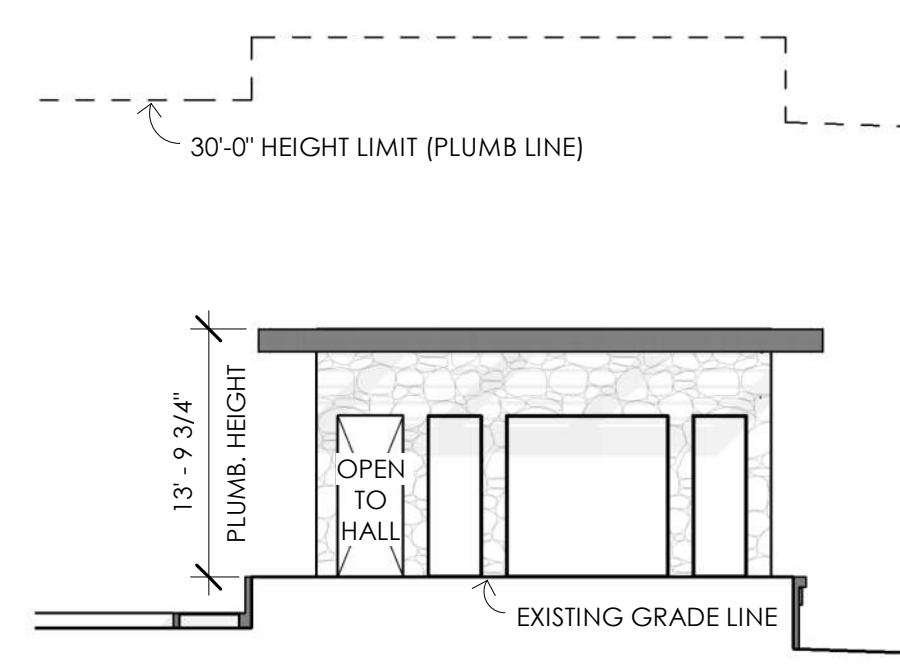
4 LOT 5 - WEST ELEVATION

SCALE = 3/32" = 1'-0"



5 LOT 5 - EAST ELEVATION GYM

SCALE = 3/32" = 1'-0"



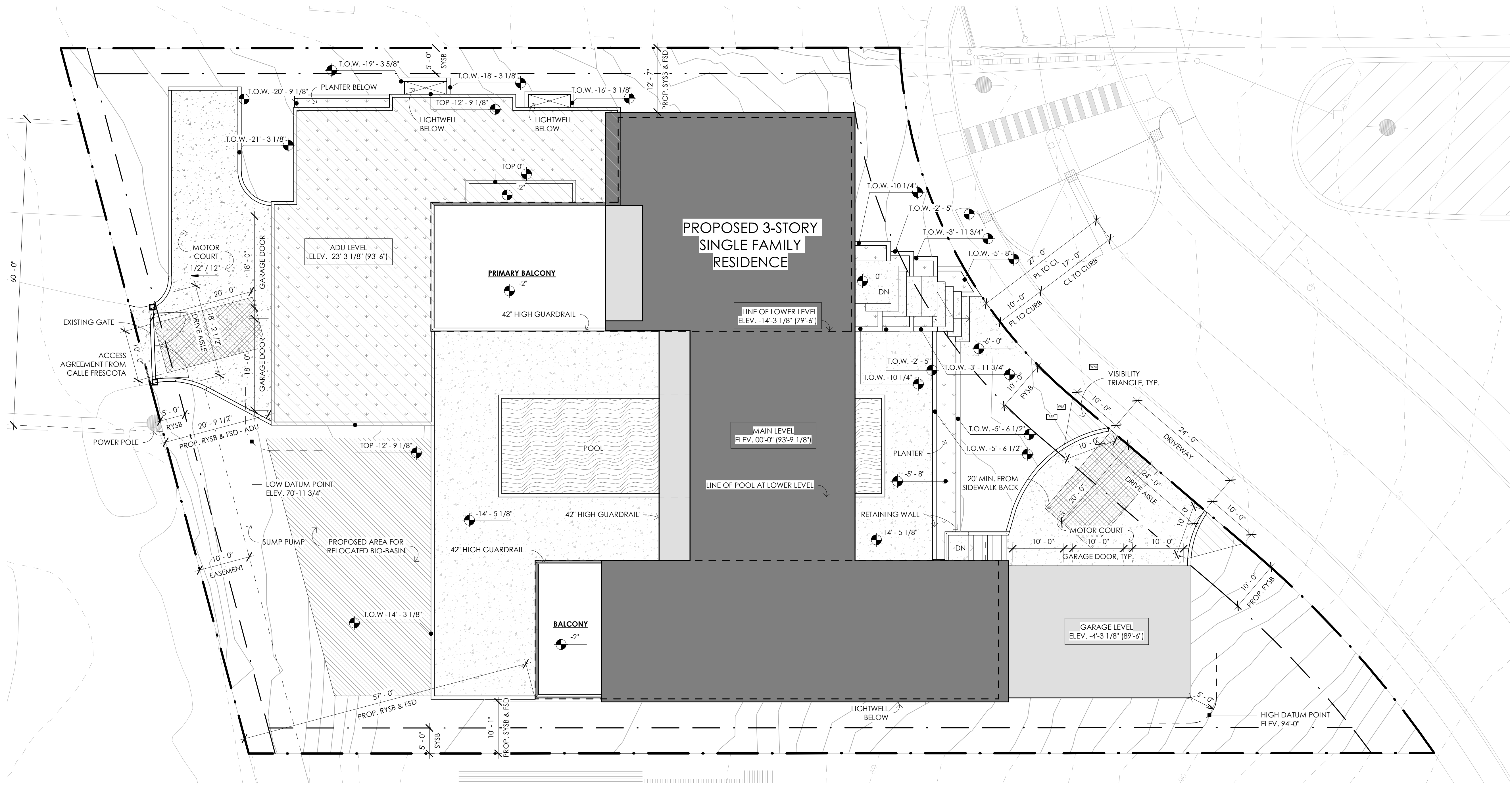
6 LOT 5 - WEST ELEVATION GYM

SCALE = 3/32" = 1'-0"

1

LOT 6 - SITE PLAN

SCALE = 3/32" = 1'-0"



SITE LEGEND		SITE NOTES
	BACKFLOW PREVENTER. REFER TO C202 FOR SIZE TYPE: (F) = FIRE (I); IRRIGATION; (D) DOMESTIC	<div>1. THE EXISTING WATER AND SEWER SERVICES WILL REMAIN.</div> <div>2. PER FHPS POLICY P-00-6 (JFPC 901.4.4) BUILDING ADDRESS NUMBERS TO BE VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY.</div> <div>3. THIS PROJECT MUST COMPLY WITH WITH THE MUNICIPAL CODE REQUIREMENTS FOR MAXIMUM HEIGHT OF THE STRUCTURE AND COASTAL NOT TO EXCEED 30 FEET (SDMC, SECTIONS §131.0444 AND §132.0505.) HIGHEST POINT ON ROOF EQUIPMENT, PIPE, VENT, ANTENNA OR OTHER PROJECTION SHALL NOT EXCEED 30 FEET ABOVE GRADE.</div> <div>4. THE HIGHEST POINT OF ANY ROOF, EQUIPMENT, OR ANY VENT PIPE, ANTENNA, OR OTHER PROJECTION SHALL NOT EXCEED 30'-0" ABOVE GRADE.</div> <div>5. ALL PROPOSED SITE LIGHTING SHALL BE SHIELDED SUCH THAT THE LIGHT SOURCE SHALL BE CONCEALED FROM PUBLIC VIEW.</div> <div>6. FIRE HYDRANTS, 1 @ 852'-0" FROM PROPERTY.</div> <div>7. REFER TO SEPARATE GRADING PLAN FOR REQUIRED EMRA, PERMANENT BMPS, AND WCPC.</div> <div>8. WATER METERS (AND BACKFLOW PREVENTER) FOR COMBINED DOMESTIC WATER AND FIRE SPRINKLER SYSTEMS SHALL NOT BE INSTALLED UNTIL THE FIRE SPRINKLER SYSTEM HAS BEEN SUBMITTED AND APPROVED BY THE BUILDING OFFICIAL.</div> <div>9. AUTOMATIC IRRIGATION SYSTEM CONTROLLERS FOR LANDSCAPING PROVIDED BY THE BUILDER AND INSTALLED AT THE TIME OF FINAL INSPECTION SHALL COMPLY WITH THE FOLLOWING: I. CONTROLLERS SHALL BE WEATHER OR SOIL MOISTURE-BASED CONTROLLERS THAT AUTOMATICALLY ADJUST IRRIGATION IN RESPONSE TO CHANGES IN PLANTS' NEEDS AS WEATHER CONDITIONS CHANGE II. WEATHER-BASED CONTROLLERS WITHOUT INTEGRAL RAIN SENSORS OR COMMUNICATION SYSTEMS THAT ACCOUNT FOR LOCAL RAINFALL SHALL HAVE A SEPARATE WIRED OR WIRELESS RAIN SENSOR WHICH CONNECTS OR COMMUNICATES WITH THE CONTROLLER(S). SOIL MOISTURE-BASED CONTROLLERS ARE NOT REQUIRED TO HAVE RAIN SENSOR INPUT.</div> <div>10. DISCRETIONARY ACTION APPROVED A VARIANCE ALLOWING PAVING IN THE FRONT YARD SETBACK TO EXCEED THE RESIDENTIAL LIMITS, 77% EXISTING PAVING. HO #1718, APPROVED DEC 19, 2018.</div> <div>11. ALL STORM WATER RUNOFF FROM PROPOSED AND/OR REPLACED IMPERVIOUS AREAS SHALL BE ROUTED TO PERVIOUS SURFACES OR LANDSCAPING PRIOR TO REACHING THE PUBLIC DRAIN SYSTEM.</div>
	WATER METER. REFER TO SHEET C202 FOR SIZE TYPE: (F) = FIRE (I); IRRIGATION; (D) DOMESTIC	
	FIRE HYDRANT LOCATED 6' FROM FACE OF CURB W/ BLUE REFLECTIVE PAVEMENT MARKER, CFC 507 (PROVIDE 3'-0" DIA. MIN. CLEAR AREA, CFC 507.5.5)	
	SEWER CLEANOUT	
	HATCH INDICATES PROPOSED MAIN LEVEL RESIDENCE	
	LINE INDICATES LOWER LEVEL RESIDENCE	<div>HATCH INDICATES HARDSCAPE AREA</div> <div>HATCH INDICATES COVERED AREA</div> <div>HATCH INDICATES ADU AREA</div>
	HATCH INDICATES HARDSCAPE AREA	
	HATCH INDICATES COVERED AREA	
	HATCH INDICATES ADU AREA	



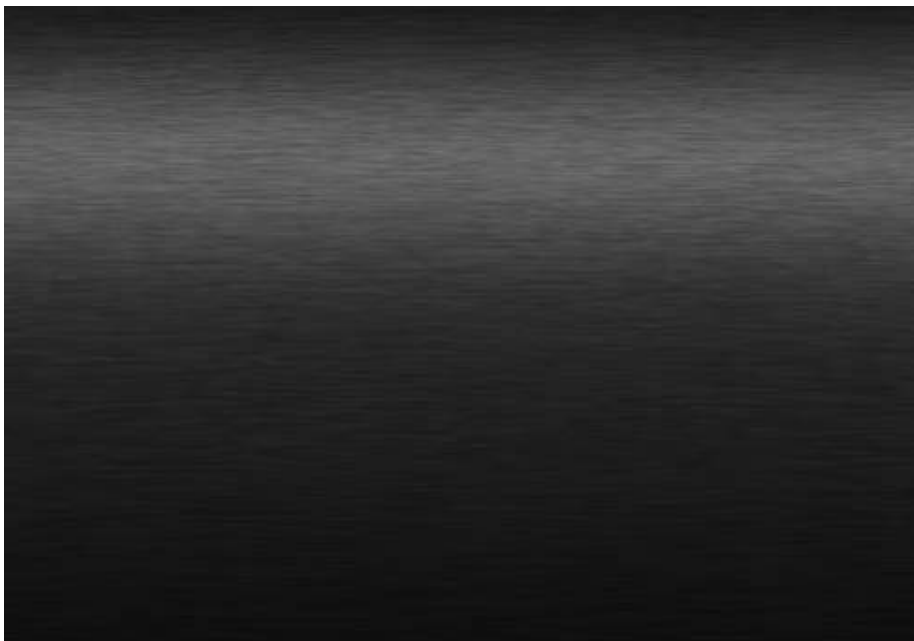
MATERIAL LEGEND

WALL TEXTURE 1



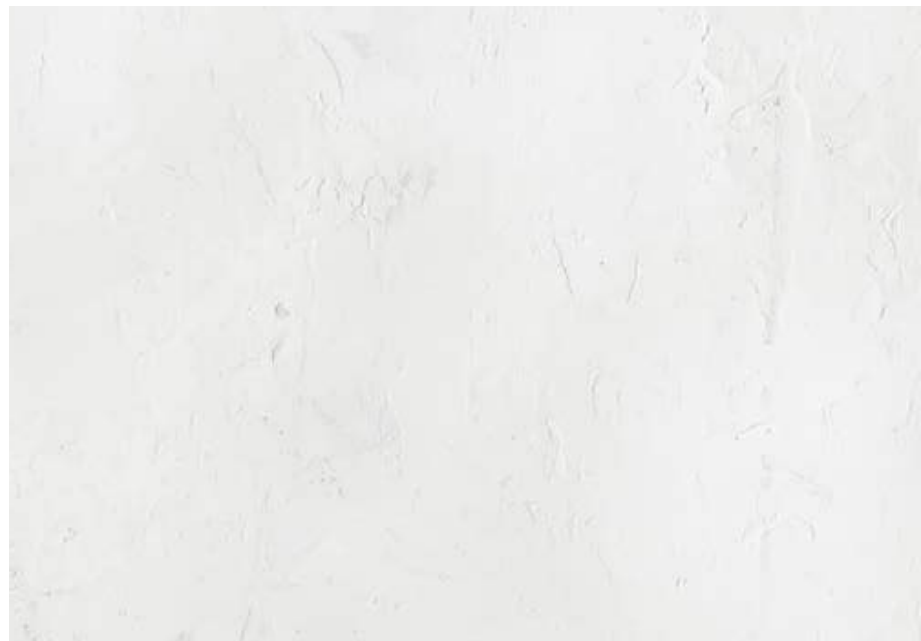
COLOR: WOOD
FINISH/TEXTURE: WOOD

WALL TEXTURE 2



COLOR: BLACK
FINISH/TEXTURE: OPAQUE METAL

WALL TEXTURE 3



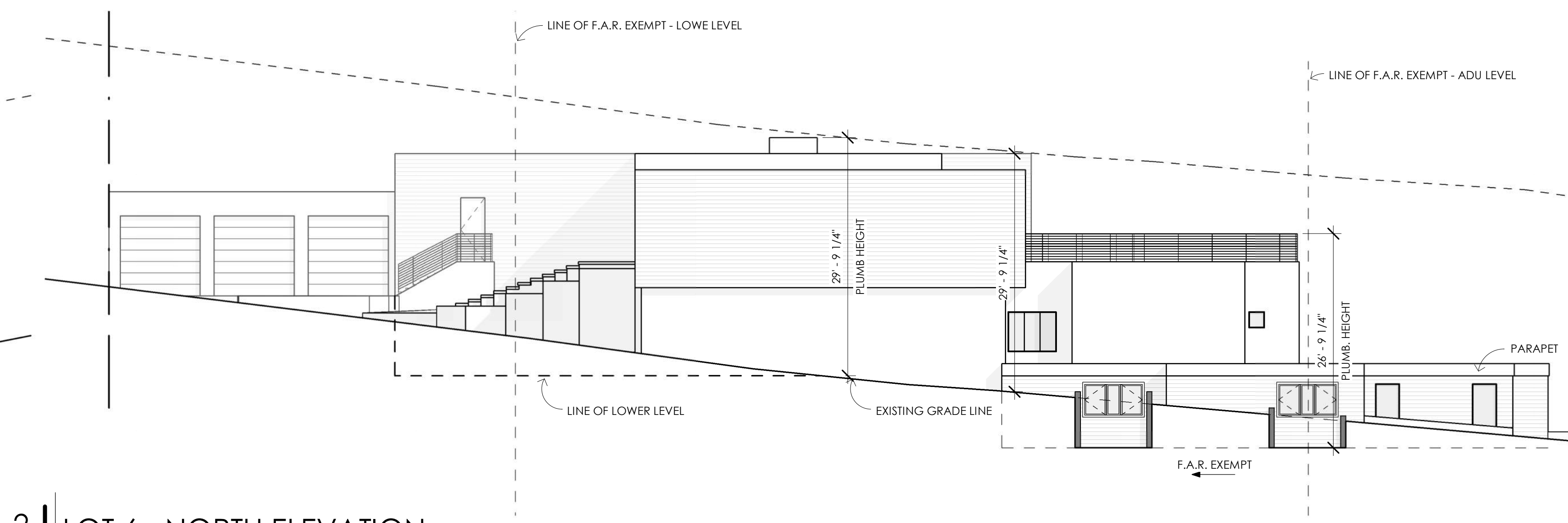
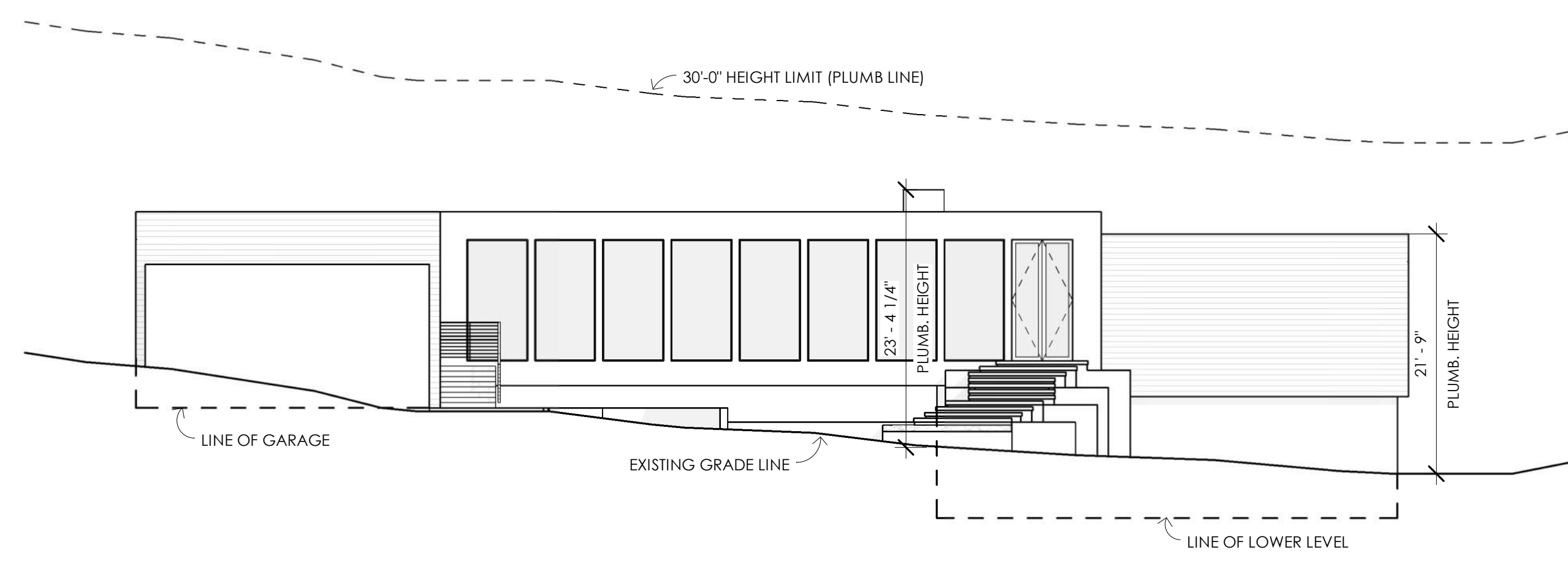
COLOR: WHITE
FINISH/TEXTURE: STUCCO

EXTERIOR FLOOR TEXTURE



COLOR: GREY
FINISH/TEXTURE: CONCRETE

LOT 6 IS A MODERN CONTEMPORARY HOME THAT SEAMLESSLY INTEGRATES EARTHY TEXTURES INTO ITS DESIGN, ALIGNING WITH THE WHITE STUCCO AND NATURAL MATERIALS CHARACTERISTIC OF THE SURROUNDING NEIGHBORHOOD. THE HOME'S SHAPE AND SCALE COMPLEMENT THE EXISTING STRUCTURES IN THE NEIGHBORHOOD, ENHANCING THE NEIGHBORHOOD'S VISUAL CONTINUITY. THOUGHTFULLY CHOSEN HARDSCAPES AND SITE FIXTURES CONTRIBUTE TO A COHESIVE STREETScape, MAINTAINING THE COMMUNITY'S ARCHITECTURAL INTEGRITY WHILE BLENDING SMOOTHLY WITH THE LOCAL AESTHETIC.

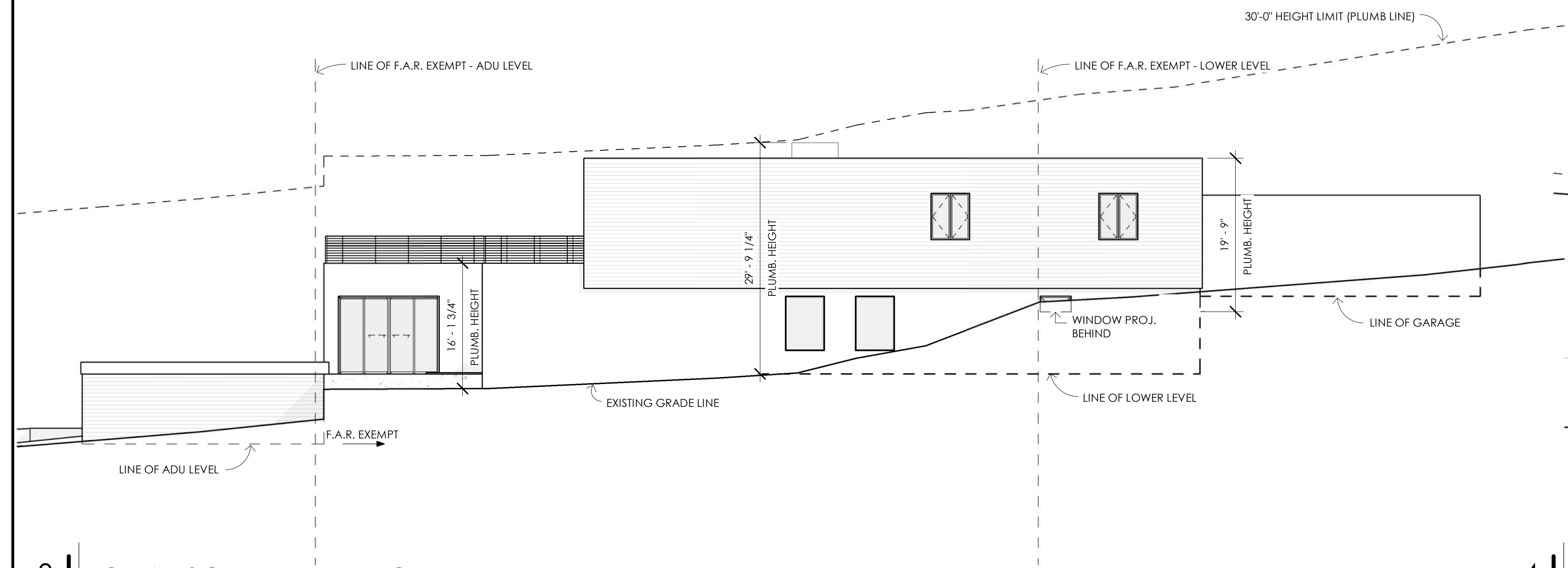


1 LOT 6 - EAST ELEVATION

SCALE = 3/32" = 1'-0"

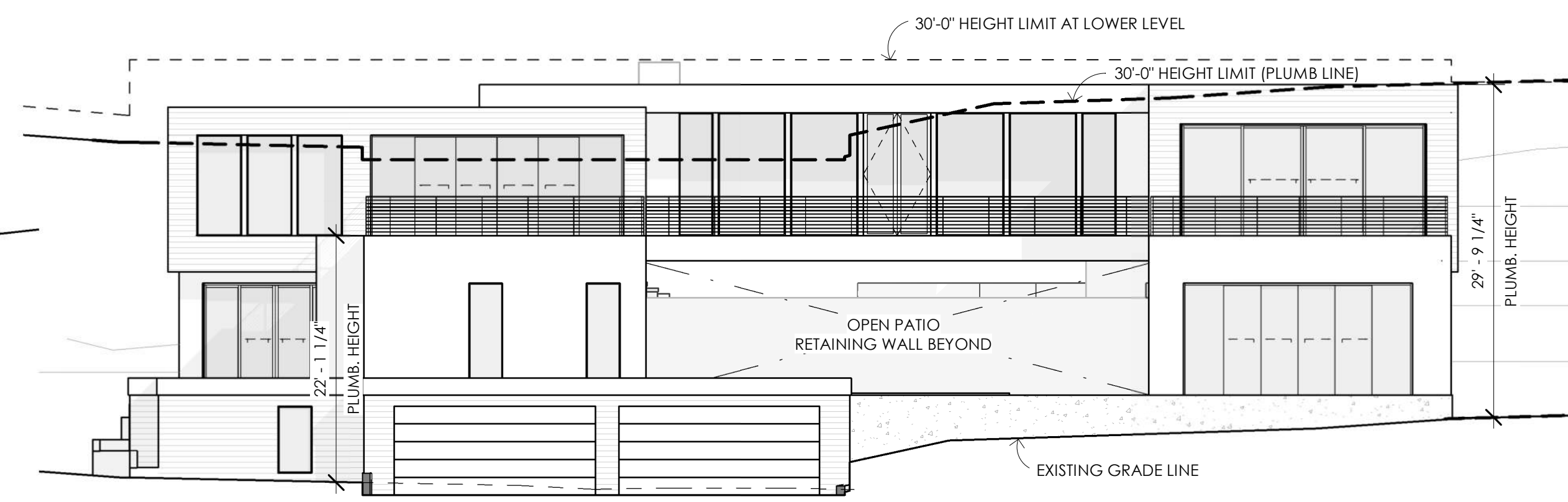
2 LOT 6 - NORTH ELEVATION

SCALE = 3/32" = 1'-0"



3 LOT 6 - SOUTH ELEVATION

SCALE = 3/32" = 1'-0"



4 LOT 6 - WEST ELEVATION

SCALE = 3/32" = 1'-0"

CIELO MAR DEVELOPMENT

LANDSCAPE PLANS



REFERENCE NOTES SCHEDULE

SYMBOL	DESCRIPTION
1	PROPERTY LINE
2	PROPOSED CONCRETE DRIVEWAY APRON
3	PROPOSED WATER METER LOCATION
4	ANITCATED LIMITS OF GRADING
5	PROPOSED 6" MOUNTABLE CURB
	PROPOSED PLANTING AREA
	PROPOSED ROW PLANTING
	PROPOSED INTERLOCKING PAVERS DRIVEWAY
	PROPOSED BIORETENTION PLANTING
	PROPOSED R.O.W. CONCRETE PAVING
EXISTING TO REMAIN	
E-101	EXISTING FENCE TO REMAIN (NOT WITHIN THE SCOPE OF WORK)

CIELO MAR

New Construction
8280 Calle Del Cielo,
La Jolla, CA 92037



McCullough

landscape architecture | environmental planning | urban design

McCulloughLA.com
3605-B Fifth Avenue
San Diego, CA 92103

41041 Trimball Way, Suite 6007
Fremont, California 94538

PH. 619.296.3150



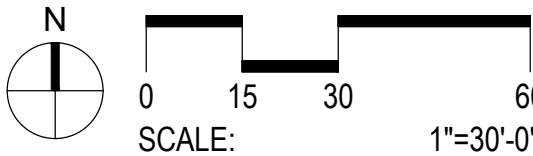
SUBMITTALS | REVISIONS

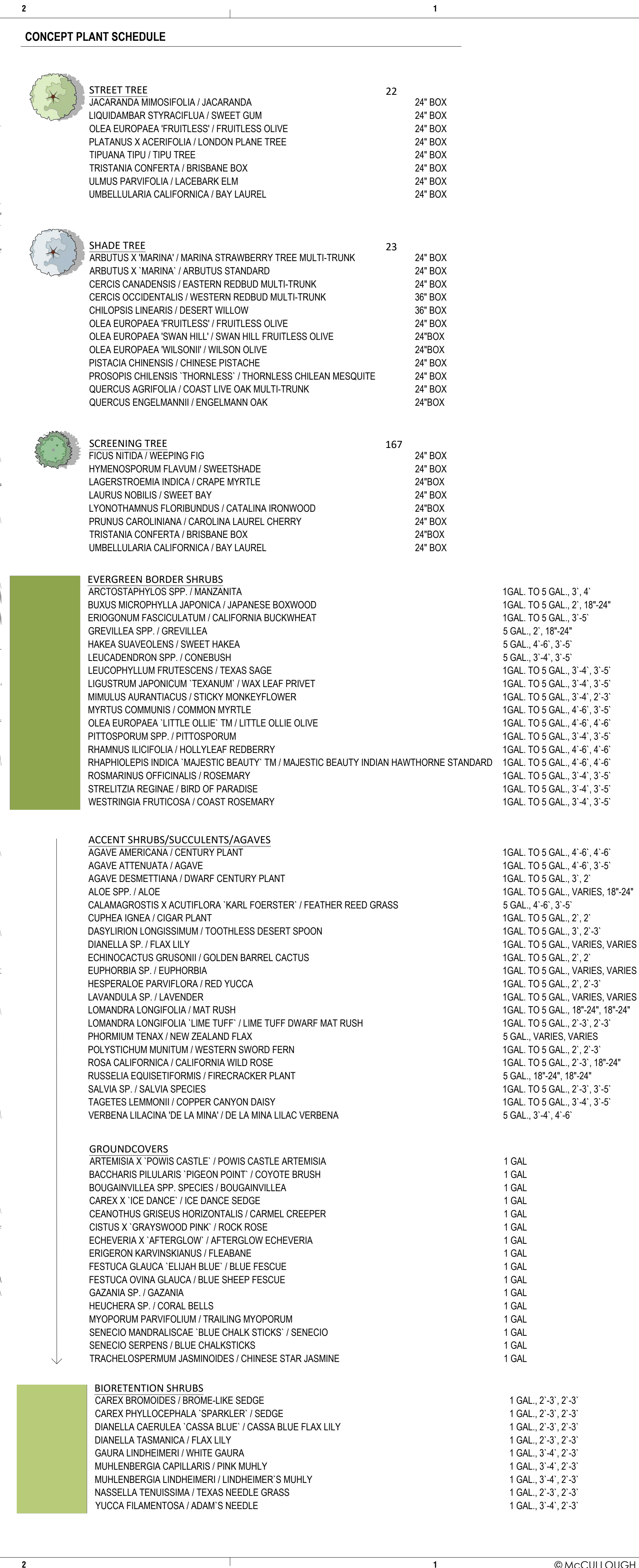
No.	Description	Date
01	1st Submittal	02.22.23
02	Resubmittal	09.29.23
03	Resubmittal	03.07.24
04	Resubmittal	04.12.24
05	Resubmittal	08.12.24

Issue Date	Project Number
12.13.2024	23012

LANDSCAPE DEVELOPMENT PLAN

L100





L300

CIELO MAR DEVELOPMENT

CITY REQUESTS 22 UNITS, ADUS AND/OR AFFORDABLE HOUSING

DSD-Combined

Corey Funk
CFUNK@sandiego.gov
619-533-3945

[Comment 00075 | Page]

(Planning Dept.) INFO ONLY - The La Jolla Community Plan designates the 4.45-acre site for Very Low Residential (0-5 dwelling units per acre). This designation in the community plan is characterized by large, single dwelling unit, estate homes built on 10,000 to 40,000 square foot parcels with steep slopes and/or open space areas. Based on the area of the proposed project site 22 single-family units would be allowed on site. As proposed, the project consisting of 6 single-family dwelling units located on lots ranging from approximately 20,000 to 34,000- square foot lots would implement the community plan's land use designation.

[Comment 00076 | Page]

(Planning Dept.) Given the number of dwelling units proposed with the project, there remains capacity to include additional dwelling units based on the community plan's recommended residential density. Given the City's need to increase the inventory of affordable housing, the applicant is encouraged to include affordable units within the project.

[Comment 00077 | Page]

(Planning Dept.) Please clarify the number of accessory dwelling units proposed. The applicant is encouraged to include ADUs with each of the homes.

CIELO MAR DEVELOPMENT



WILL & FOTSCH ARCHITECTS

1298 PROSPECT STREET, SUITE 2S
LA JOLLA, CA 92037
P: 858-224-2486
info@willandfotsch.com

W·F
ARCHITECTS

CIELO MAR DEVELOPMENT



WILL & FOTSCH ARCHITECTS

1298 PROSPECT STREET, SUITE 2S
LA JOLLA, CA 92037
P: 858-224-2486
info@willandfotsch.com

W·F
ARCHITECTS

CIELO MAR DEVELOPMENT

ADDITIONAL INFORMATION

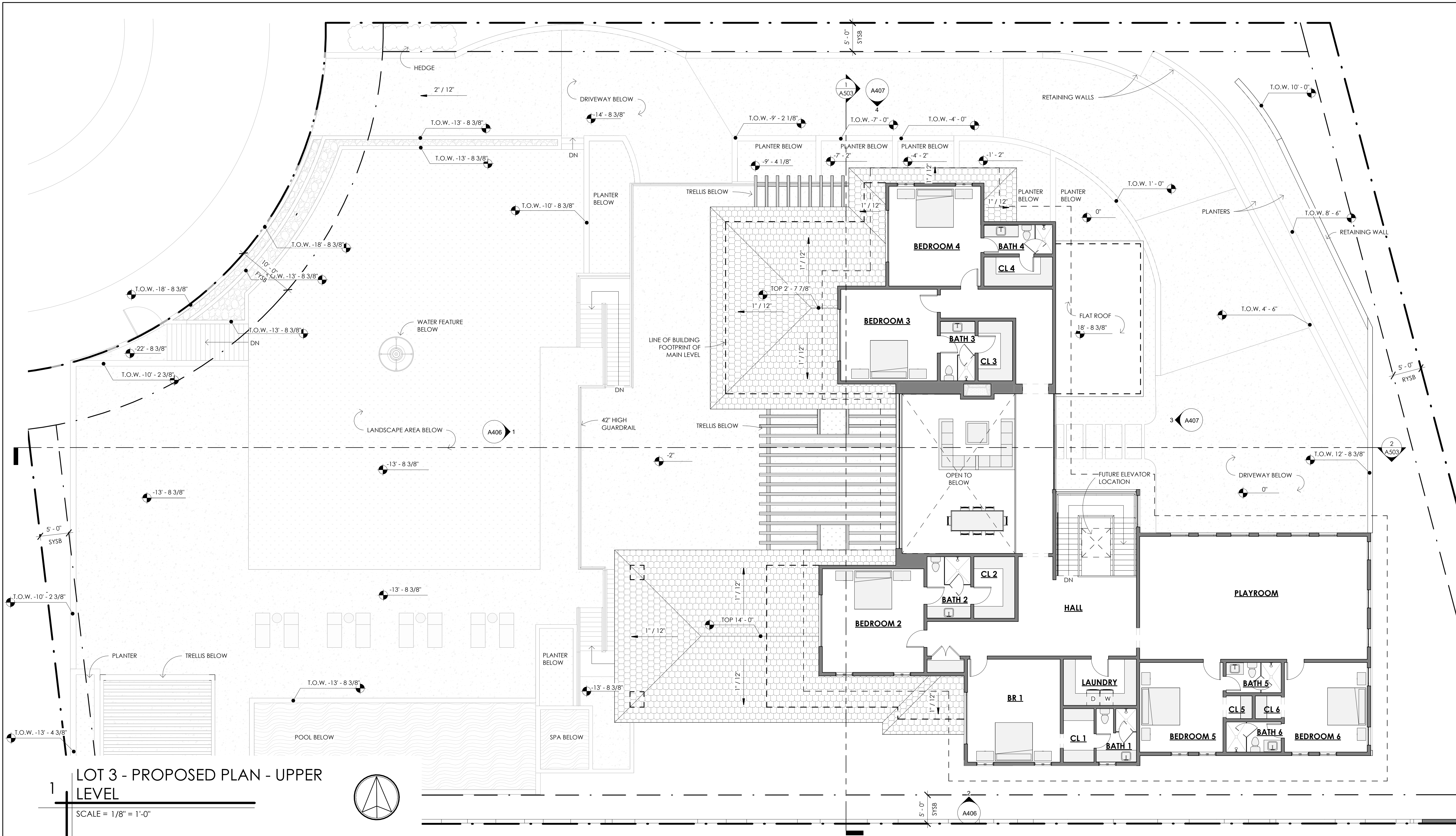
JOB #:

CIELO MAR - LOT 3 - ALLOS

8303 LA JOLLA SHORES DR, SAN DIEGO, CA 32037

DATE:	ISSUE:
02/24/2023	CDP SUBMITTAL
10/03/2023	2ND CDP SUBMITTAL
03/18/2024	3RD CDP SUBMITTAL
08/16/2024	4TH CDP SUBMITTAL

A210
LOT 3 - PROPOSED
PLAN - UPPER
LEVEL
08/16/2024



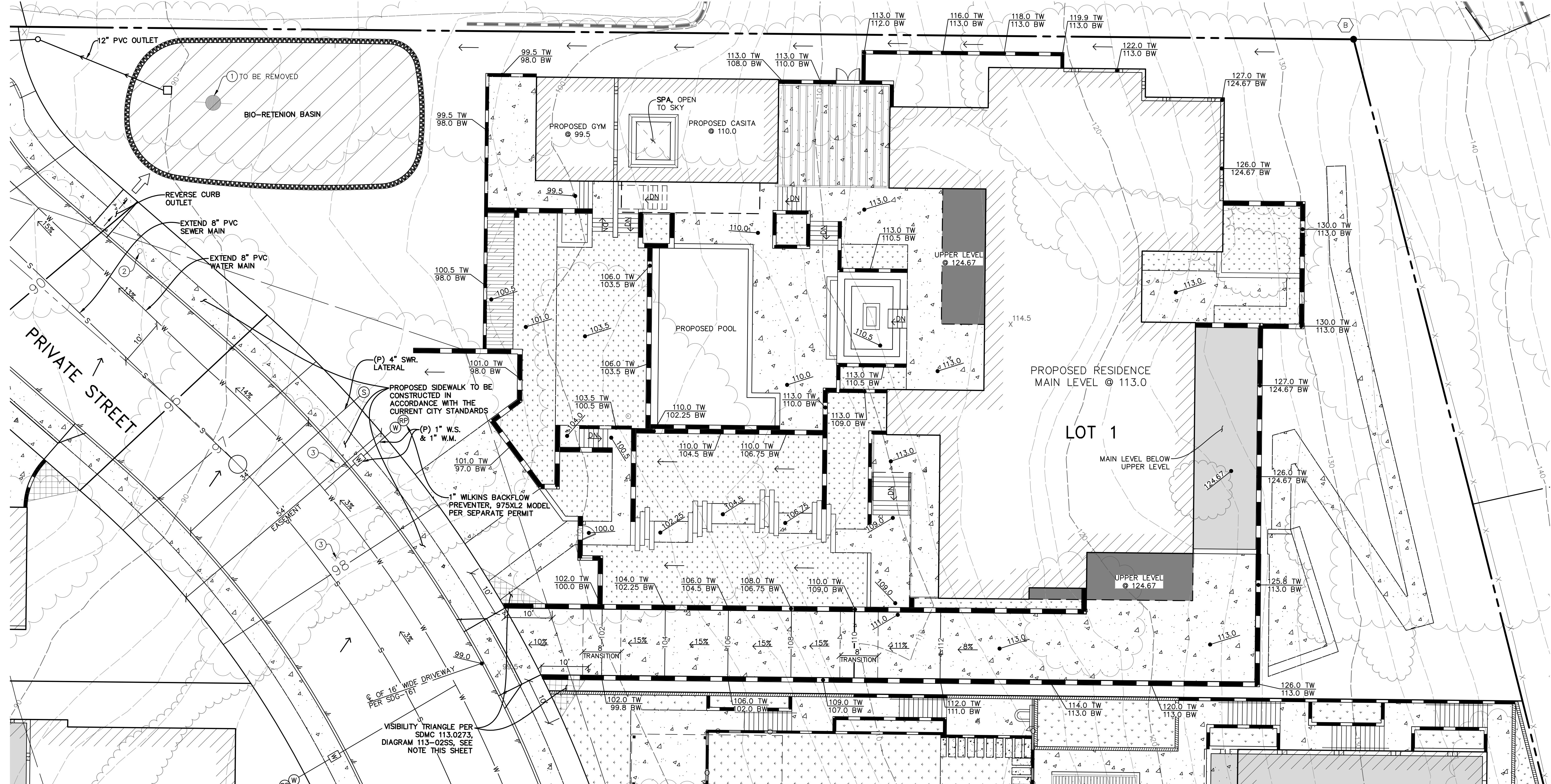
LOT 3 - PROPOSED PLAN - UPPER
LEVEL

SCALE = 1/8" = 1'-0"

PLAN NOTES

1. FOR TYPICAL WALL PENETRATION SEE DETAIL SHEET.
2. PENETRATIONS OF FIRE-RESISTIVE WALLS, FLOOR-CEILINGS, AND ROOF-CEILINGS SHALL BE PROTECTED AS REQUIRED IN CRC SECTION R302.4.
3. PROVIDE LEVEL 5 DRYWALL THROUGHOUT.
4. PREP ALL SURFACES TO RECEIVE FINISH PER PLAN.
5. EXTERIOR DOORS MAY SWING OUTWARD ONLY OF THE EXTERIOR LANDING IF NOT MORE THAN 1-1/2" LOWER THAN THE TOP OF THE THRESHOLD. R311.3.1
6. ALL ABS AND PVC PIPING AND FITTINGS SHALL BE ENCLOSED WITHIN WALLS AND FLOORS COVERED WITH "TYPE X GYPSUM BOARD" OR SIMILAR ASSEMBLIES THAT PROVIDE THE SAME LEVEL OF FIRE PROTECTION. PROTECTION OF MEMBRANE PENETRATIONS IS NOT REQUIRED.
7. GARAGE AND HABITABLE SPACE ABOVE TO HAVE 1-HOUR FIRE RATING BETWEEN PER CRC R302.3, AND SOUND INSULATION WITH MINIMUM 50 STC RATING AND IMPACT SOUND INSULATION WITH MINIMUM 50 IIC PER CBC 1207.2, CBC 1207.3.
8. DUCTS IN THE GARAGE AND DUCTS PENETRATING THE WALLS OR CEILINGS SEPARATING THE DWELLING FROM THE GARAGE SHALL BE CONSTRUCTED OF MINIMUM NO. 26 GAUGE SHEET STEEL OR OTHER APPROVED MATERIAL AND SHALL HAVE NO OPENINGS INTO THE GARAGE.
9. ATTIC / UNDERFLOOR INSTALLATION MUST COMPLY WITH SECTIONS 904, 908, AND 909 OF CMC.
10. FIRE BLOCKING SHALL BE PROVIDED AT VERTICAL FLOOR TO FLOOR PENETRATIONS CONCEALED WITHIN WALL CAVITIES. THROUGH PENETRATION FIRE STOP SYSTEM SHALL BE PROVIDED. BOTH VERTICAL AND THROUGH PENETRATION SHALL COMPLY WITH PROVISIONS SPECIFIED IN CBC, SECTION 714 AND CRC, SECTION R302.1.1, AS APPLICABLE.
11. PROPERLY COMPLETED AND SIGNED CERTIFICATES OF INSTALLATION (CF2R FORMS) SHALL BE PROVIDED TO THE INSPECTOR IN THE FIELD. FOR PROJECTS REQUIRING HERS VERIFICATION, THE CF2R FORMS SHALL BE REGISTERED WITH A CALIFORNIA-APPROVED HERS PROVIDER DATA REGISTRY.
12. PROPERLY COMPLETED CERTIFICATES OF VERIFICATION (CF3R FORMS) SHALL BE PROVIDED TO THE INSPECTOR IN THE FIELD FOR ITEMS REQUIRING HER VERIFICATION. CF3R FORMS SHALL BE REGISTERED WITH A CALIFORNIA-APPROVED HERS PROVIDER DATA REGISTRY.
13. EXTERIOR GARAGE DOORS SHALL RESIST THE INTRUSION OF EMBERS INTO THE GARAGE BY LIMITING THE SIZE OF ANY GAPS AT THE BOTTOM, SIDES, AND TOP OF THE DOOR TO 1/8 INCH OR LESS USING ONE OF THE FOLLOWING METHODS: (CRC R337.8.4, CBC 708A.4)
A. WEATHER-STRIPPING PRODUCTS WITH TENSILE STRENGTH AND FLAMMABILITY RATING PER CBC 708A.4.
14. A. COUNTER SURFACES SHALL NOT EXCEED 10 FEET IN TOTAL LENGTH, NOR SHALL WALL CABINETS. (THIS COUNTER SIZE STANDARD SHALL APPLY TO POOL HOUSES, ETC., AND TO DWELLING ROOMS THAT ARE DISTANT, OR ISOLATED, FROM THE MAIN LIVING AREA OF A HOME.)
B. ONLY ONE SINGLE SINK IS ALLOWED, 18" MAXIMUM LENGTH, WITH A MAXIMUM 1" YZ INCH DRAIN.
C. ONLY ONE COMPACT REFRIGERATOR, FREEZER OR ICE MAKER (5 CUBIC FEET MAXIMUM CAPACITY) DESIGNED FOR PLACEMENT UNDER A COUNTER AND SO INSTALLED.
D. NO GAS OR 220-VOLT AC POWER OUTLETS ARE ALLOWED IN THE VICINITY OF THE WET BAR.
E. NO OTHER FACILITY (INCLUDING, BUT NOT LIMITED TO, STOVE, RANGE, DISHWASHER, MICROWAVE, GARBAGE DISPOSAL OR TRASH COMPACTOR) USED FOR THE PREPARATION OF FOOD SHALL BE LOCATED WITHIN OR NEAR A WET BAR. "THE PROPOSED WET BAR WILL COMPLY WITH THE ABOVE WET BAR LIMITATIONS".

PROPOSED GRADING & DRAINAGE PLAN - LOT 1



EXISTING LEGEND

- BOUNDARY
- EDGE OF PAVEMENT
- CURB
- CONCRETE
- FENCE
- WALL
- BRUSHLINE
- TREELINE
- 1 POWER POLE
- 2 SEWER CLEANOUT
- 3 IRRIGATION CONTROL VALVE

PROPOSED LEGEND

- CONCRETE
- BUILDING STEM/RETAINING WALL
- RETAINING WALL
- DIRECTION OF DRAINAGE
- LANDSCAPE/GRASS/PLANTER AREA

FOUND MONUMENTS

INDICATES FOUND 2" IRON PIPE W/DISC STAMPED "RCE 9822" AS SHOWN ON CORNER RECORD NO. 30186.

GRADING TABULATIONS

- TOTAL LOT SIZE = 0.77 AC.
- DISTURBED AREA = 0.57 AC.
- AMOUNT OF CUT = 1,950 C.Y.
- MAX. DEPTH OF CUT = 12 FT.
- AMOUNT OF FILL = 850 C.Y.
- MAX DEPTH OF FILL = 10 FT.
- MAX HEIGHT OF CUT & FILL = 12 FT.
- RETAINING WALL LENGTH = 700
- EXISTING IMPERVIOUS AREA = 0 S.F.
- EXISTING PERVIOUS AREA = 33,724 S.F.
- PROPOSED IMPERVIOUS AREA = 14,255 S.F.
- PROPOSED PERVIOUS AREA = 19,469 S.F.

EARTHWORK QUANTITIES

CUT = 1,950 C.Y. +/- FILL = 850 C.Y. +/- EXPORT = 1,100 C.Y. +/-

EMRA NOTE:
PRIVATE EMRA IS REQUIRED FOR ALL PROPOSED ENCROACHMENTS WITHIN THE EASEMENT (I.E. PROPOSED TREES/LANDSCAPING/IRRIGATION WITHIN ROUNDABOUT, VEHICLE GATE, PEDESTRIAN GATE, DOORS, GATE AT ENTRY, TRENCH DRAIN ETC.)

RANCHO COASTAL
ENGINEERING & SURVEYING
SINGLE SOURCE DEVELOPMENT CONSULTANT
310 VIA VERA CRUZ, #205
SAN MARCOS, CA. 92078
(760) 510-3152 Ph / (760) 510-3153 Fax

VISIBILITY TRIANGLE NOTE:
NO OBSTRUCTION INCLUDING SOLID WALLS IN THE VISIBILITY AREA SHALL EXCEED 3 FEET IN HEIGHT. PLANT MATERIAL, OTHER THAN TREES, WITHIN THE PUBLIC RIGHT-OF-WAY THAT IS LOCATED WITHIN VISIBILITY AREAS SHALL NOT EXCEED 24 INCHES IN HEIGHT MEASURED FROM THE TOP OF THE ADJACENT CURB.

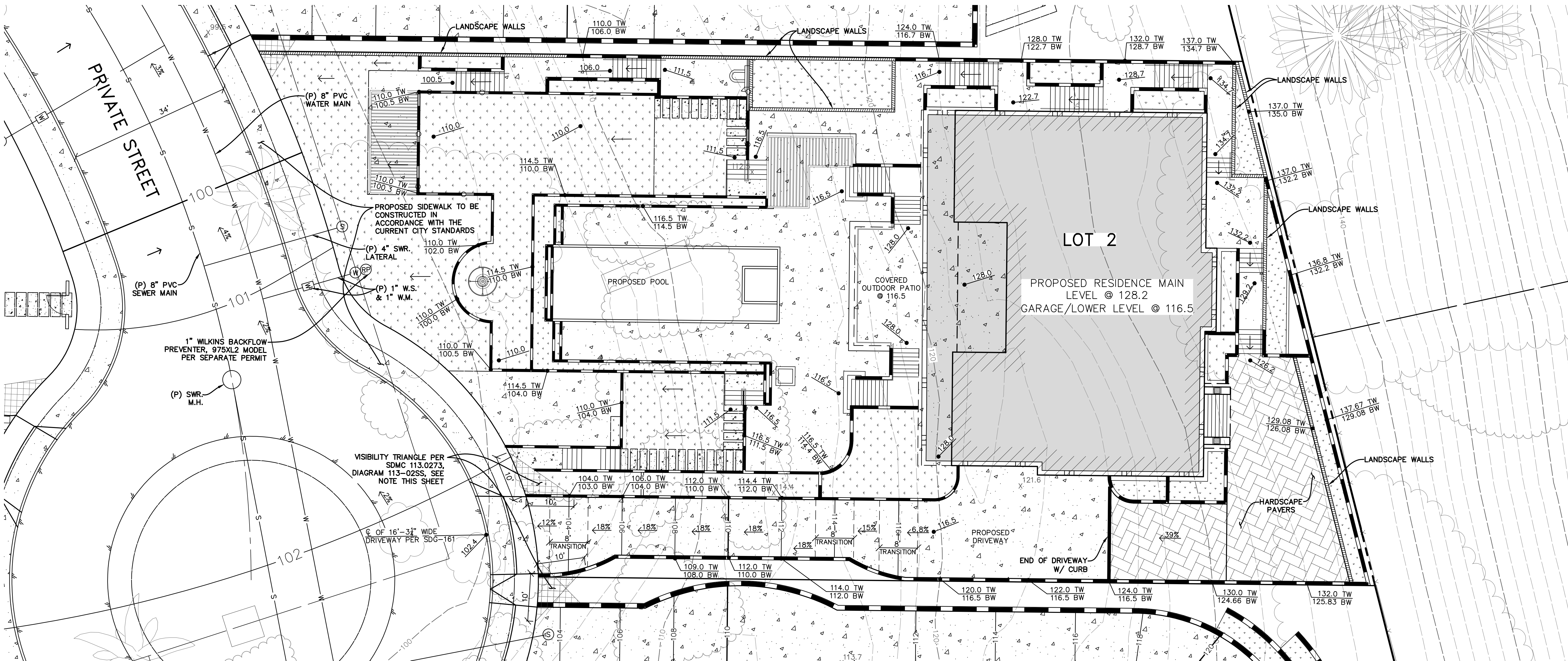
ENGINEER OF WORK
I HEREBY DECLARE THAT I AM THE ENGINEER OF WORK FOR THIS PROJECT AND THAT I HAVE EXERCISED RESPONSIBLE CHARGE OVER THE DESIGN OF THE PROJECT.
DOUGLAS E. LOGAN
C 39726
DATE: 12/09/24
EXPIRES: 12/31/25



PROPOSED GRADING & DRAINAGE PLAN
C-2
LOT 1

PRELIMINARY — NOT FOR CONSTRUCTION
ENGINEER'S NAME: RANCHO COASTAL ENGINEERING & SURVEYING
PHONE NO. (760) 510-3152 // EMAIL: DOUG@RCESD.COM

PROPOSED GRADING & DRAINAGE PLAN - LOT 2



EXISTING LEGEND

- BOUNDARY
- EDGE OF PAVEMENT
- CURB
- CONCRETE
- FENCE
- WALL
- BRUSHLINE
- TREELINE

PROPOSED LEGEND

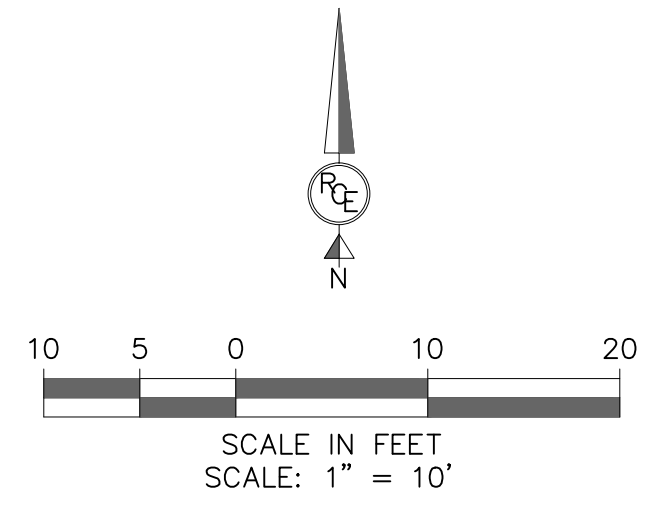
- AREA OF LOWER LEVEL
- CONCRETE
- HARDSCAPE PAVERS
- BUILDING STEM/RETAINING WALL
- RETAINING WALL
- DIRECTION OF DRAINAGE
- LANDSCAPE WALL (3' OR LESS)
- LANDSCAPE/GRASS/PLANTER AREA

- GRADING TABULATIONS**
- TOTAL LOT SIZE = 0.48 AC.
 - DISTURBED AREA = 0.37 AC.
 - AMOUNT OF CUT = 1,390 C.Y.
 - MAX. DEPTH OF CUT = 20 FT. DEPTH OF CUT IS MAINLY FOR BASEMENT WALLS
 - AMOUNT OF FILL = 460 C.Y.
 - MAX DEPTH OF FILL = 14 FT.
 - MAX HEIGHT OF CUT & FILL = 20 FT.
 - RETAINING WALL LENGTH = 615
 - EXISTING IMPERVIOUS AREA = 8' S.F.
 - EXISTING PERVIOUS AREA = 20,736 S.F.
 - PROPOSED IMPERVIOUS AREA = 9,743 S.F.
 - PROPOSED PERVIOUS AREA = 10,993 S.F.

EARTHWORK QUANTITIES
CUT = 1,850 C.Y. +/- FILL = 460 C.Y. +/-
EXPORT = 1,390 C.Y. +/-

VISIBILITY TRIANGLE NOTE:
NO OBSTRUCTION INCLUDING SOLID WALLS IN THE VISIBILITY AREA SHALL EXCEED 3 FEET IN HEIGHT. PLANT MATERIAL, OTHER THAN TREES, WITHIN THE PUBLIC RIGHT-OF-WAY THAT IS LOCATED WITHIN VISIBILITY AREAS SHALL NOT EXCEED 24 INCHES IN HEIGHT, MEASURED FROM THE TOP OF THE ADJACENT CURB.

EMRA NOTE:
PRIVATE EMRA IS REQUIRED FOR ALL PROPOSED ENCROACHMENTS WITHIN THE EASEMENT (I.E. PROPOSED TREES/LANDSCAPING/IRRIGATION WITHIN ROUNDABOUT, VEHICLE GATE, PEDESTRIAN GATE, DOORS, GATE AT ENTRY, TRENCH DRAIN ETC.)



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310 VIA VERA CRUZ, #205
SAN MARCOS, CA. 92078
(760) 510-3152 Ph / (760) 510-3153 Fax

ENGINEER OF WORK
I HEREBY DECLARE THAT I AM THE ENGINEER OF WORK FOR THIS PROJECT AND THAT I HAVE EXERCISED RESPONSIBLE CHARGE OVER THE DESIGN OF THE PROJECT.

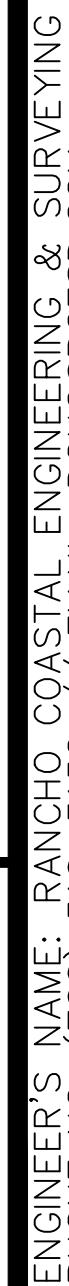
DOUGLAS E. LOGAN
C 39726
DATE: 12/12/24
EXPIRES: 12/31/25



PROPOSED GRADING & DRAINAGE PLAN
C-3
LOT 2

PRELIMINARY — NOT FOR CONSTRUCTION
ENGINEER'S NAME: RANCHO COASTAL ENGINEERING & SURVEYING
PHONE NO. (760) 510-3152 // EMAIL: DOUG@RCESD.COM

PRELIMINARY – NOT FOR CONSTRUCTION



C-4
LOT 3

PROPOSED GRADING & DRAINAGE PLAN - LOT 4



EXISTING LEGEND

- BOUNDARY
- EDGE OF PAVEMENT
- CURB
- CONCRETE
- FENCE
- WALL
- BRUSHLINE
- TREELINE

PROPOSED LEGEND

- AREA OF MAIN LEVEL
- AREA OF LOWEST LEVEL
- AREA OF LOWEST LEVEL
- CONCRETE
- BUILDING STEM/RETAINING WALL
- RETAINING WALL
- DIRECTION OF DRAINAGE
- LANDSCAPE/GRASS/PLANTER AREA

GRADING TABULATIONS

- TOTAL LOT SIZE = 0.69 AC.
- DISTURBED AREA = 0.57 AC.
- AMOUNT OF CUT = 280 C.Y.
- MAX. DEPTH OF CUT = 12 FT. *DEPTH OF CUT IS MAINLY FOR BASEMENT WALLS
- AMOUNT OF FILL = 2,240 C.Y.
- MAX DEPTH OF FILL = 16 FT.
- MAX HEIGHT OF CUT & FILL = 16 FT.
- RETAINING WALL LENGTH = 235
- EXISTING IMPERVIOUS AREA = 8' S.F.
- EXISTING PERVIOUS AREA = 30,235 S.F.
- PROPOSED IMPERVIOUS AREA = 16,837 S.F.
- PROPOSED PERVIOUS AREA = 13,398 S.F.

EARTHWORK QUANTITIES

CUT = 280 C.Y. +/- FILL = 2,220 C.Y. +/-
IMPORT = 2,240 C.Y. +/-

EMRA NOTE:

PRIVATE EMRA IS REQUIRED FOR ALL PROPOSED ENCROACHMENTS WITHIN THE EASEMENT (I.E. PROPOSED TREES/LANDSCAPING/IRRIGATION WITHIN ROUNDABOUT, VEHICLE GATE, PEDESTRIAN GATE, DOORS, GATE AT ENTRY, TRENCH DRAIN ETC.)

VISIBILITY TRIANGLE NOTE:

NO OBSTRUCTION INCLUDING SOLID WALLS IN THE VISIBILITY AREA SHALL EXCEED 3 FEET IN HEIGHT. PLANT MATERIAL, OTHER THAN TREES, WITHIN THE PUBLIC RIGHT-OF-WAY THAT IS LOCATED WITHIN VISIBILITY AREAS SHALL NOT EXCEED 24 INCHES IN HEIGHT, MEASURED FROM THE TOP OF THE ADJACENT CURB.

FOUND MONUMENTS

INDICATES FOUND 3/4" IRON PIPE W/YELLOW CAP STAMPED "LS 5717" PER CORNER RECORD NO. 30186.

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SINGLE SOURCE DEVELOPMENT CONSULTANT
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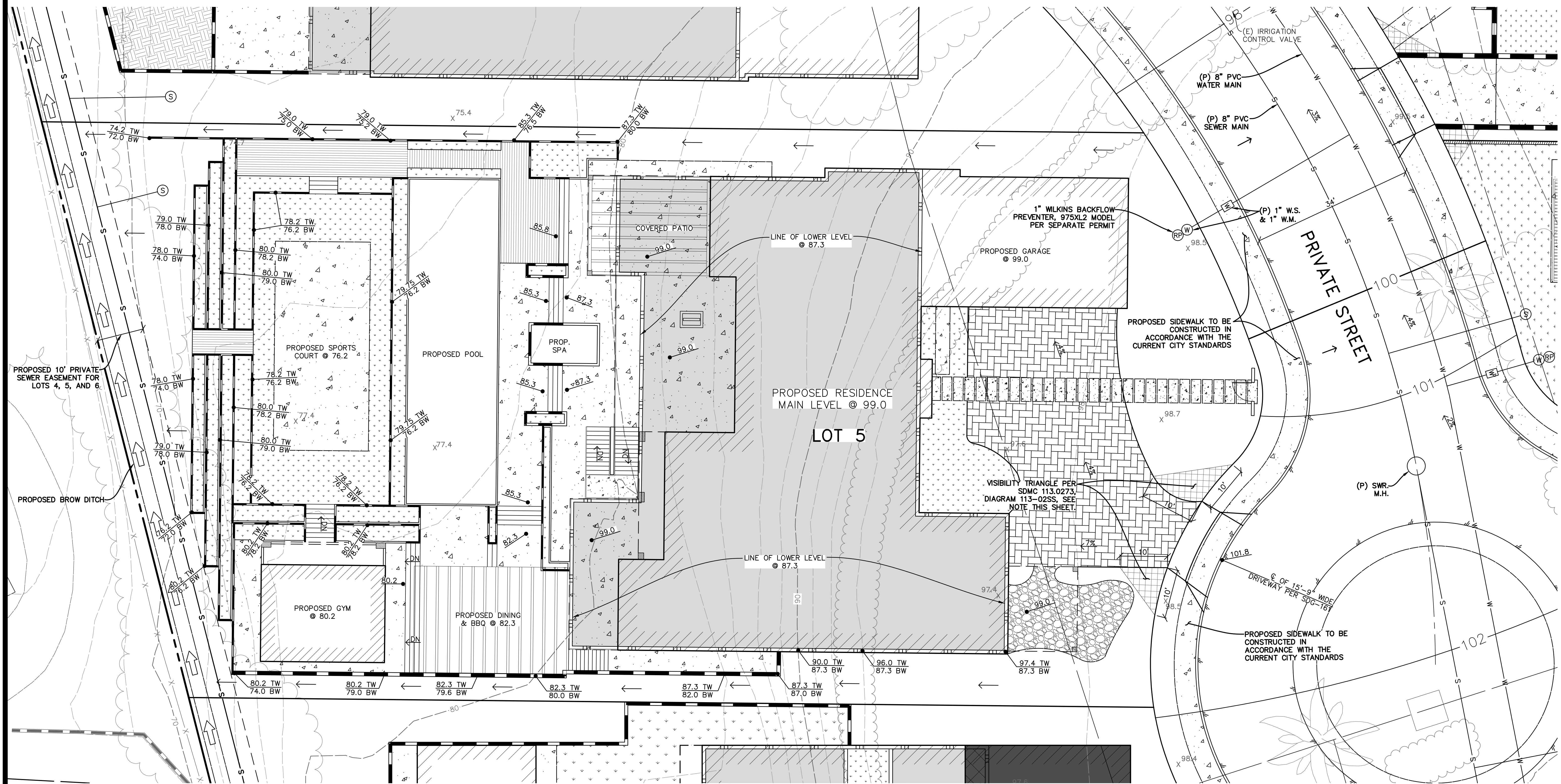
ENGINEER OF WORK
I HEREBY DECLARE THAT I AM THE ENGINEER OF WORK FOR THIS PROJECT AND THAT I HAVE EXERCISED RESPONSIBLE CHARGE OVER THE DESIGN OF THE PROJECT.
DOUGLAS E. LOGAN
C 39726
DATE: 12/12/24
EXPIRES: 12/31/25



PROPOSED GRADING & DRAINAGE PLAN
C-5
LOT 4

PRELIMINARY — NOT FOR CONSTRUCTION
ENGINEER'S NAME: RANCHO COASTAL ENGINEERING & SURVEYING
PHONE NO. (760) 510-3152 // EMAIL: DOUG@RCESD.COM

PROPOSED GRADING & DRAINAGE PLAN - LOT 5



EXISTING LEGEND

- BOUNDARY
- EDGE OF PAVEMENT
- CURB
- CONCRETE
- FENCE
- WALL
- BRUSHLINE
- TREELINE

PROPOSED LEGEND

- AREA OF LOWER LEVEL
- CONCRETE
- BUILDING STEM/RETAINING WALL
- RETAINING WALL
- DIRECTION OF DRAINAGE
- LANDSCAPE/GRASS/PLANTER AREA

GRADING TABULATIONS

- TOTAL LOT SIZE = 0.63 AC.
- DISTURBED AREA = 0.53 AC.
- AMOUNT OF CUT = 600 C.Y.
- MAX. DEPTH OF CUT = 10 FT. *DEPTH OF CUT IS MAINLY FOR BASEMENT WALLS
- AMOUNT OF FILL = 2,525 C.Y.
- MAX DEPTH OF FILL = 12 FT.
- MAX HEIGHT OF CUT & FILL = 12 FT.
- RETAINING WALL LENGTH = 255
- EXISTING IMPERVIOUS AREA = 0 S.F.
- EXISTING PERVIOUS AREA = 27,645 S.F.
- PROPOSED IMPERVIOUS AREA = 13,720 S.F.
- PROPOSED PERVIOUS AREA = 13,925 S.F.

EARTHWORK QUANTITIES

CUT = 600 C.Y. +/- FILL = 2,525 C.Y. +/-
IMPORT = 1,925 C.Y. +/-

EMRA NOTE:

PRIVATE EMRA IS REQUIRED FOR ALL PROPOSED ENCROACHMENTS WITHIN THE EASEMENT (I.E. PROPOSED TREES/LANDSCAPING/IRRIGATION WITHIN ROUNDABOUT, VEHICLE GATE, PEDESTRIAN GATE, DOORS, GATE AT ENTRY, TRENCH DRAIN ETC.)

VISIBILITY TRIANGLE NOTE:

NO OBSTRUCTION INCLUDING SOLID WALLS IN THE VISIBILITY AREA SHALL EXCEED 3 FEET IN HEIGHT. PLANT MATERIAL, OTHER THAN TREES, WITHIN THE PUBLIC RIGHT-OF-WAY THAT IS LOCATED WITHIN VISIBILITY AREAS SHALL NOT EXCEED 24 INCHES IN HEIGHT, MEASURED FROM THE TOP OF THE ADJACENT CURB.

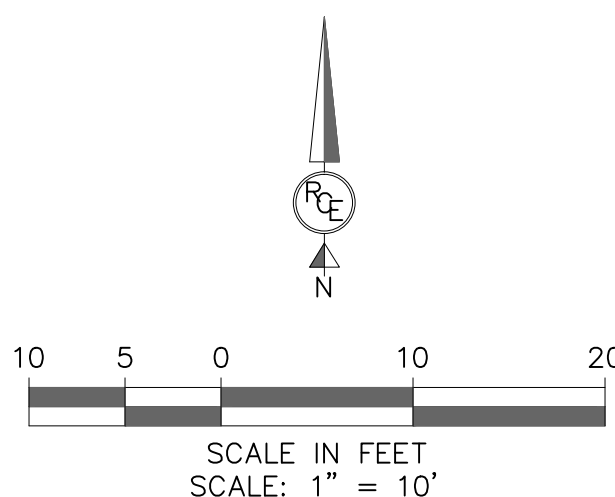
ENGINEER OF WORK

I HEREBY DECLARE THAT I AM THE ENGINEER OF WORK FOR THIS PROJECT AND THAT I HAVE EXERCISED RESPONSIBLE CHARGE OVER THE DESIGN OF THE PROJECT.

DOUGLAS E. LOGAN
C 39726
DATE: 12/12/24
EXPIRES: 12/31/25



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SAN MARCOS, CA. 92078
(760) 510-3152 Ph / (760) 510-3153 Fax



PROPOSED GRADING & DRAINAGE PLAN

C-6
LOT 5

PRELIMINARY — NOT FOR CONSTRUCTION

ENGINEER'S NAME: RANCHO COASTAL ENGINEERING & SURVEYING
PHONE NO. (760) 510-3152 // EMAIL: DOUG@RCESD.COM

PROPOSED GRADING & DRAINAGE PLAN - LOT 6



EXISTING LEGEND

- | | | | |
|-----|------------------|---|--------------------------|
| --- | BOUNDARY | ① | POWER POLE |
| --- | EDGE OF PAVEMENT | ② | SEWER CLEANOUT |
| --- | CURB | ③ | IRRIGATION CONTROL VALVE |
| --- | CONCRETE | ④ | STREET LIGHT POST |
| X | FENCE | ⑤ | WATER RISER |
| --- | WALL | ⑥ | GAS METER |
| --- | BRUSHLINE | | |
| --- | TREELINE | | |

PROPOSED LEGEND

- | | |
|-----|------------------------------|
| --- | AREA OF LOWER LEVEL |
| --- | AREA OF ADU |
| --- | CONCRETE |
| --- | BUILDING STEM/RETAINING WALL |
| --- | RETAINING WALL |
| --- | DIRECTION OF DRAINAGE |
| --- | LANDSCAPE/GRASS/PLANTER AREA |

GRADING TABULATIONS

- TOTAL LOT SIZE = 0.60 AC.
- DISTURBED AREA = 0.32 AC.
- AMOUNT OF CUT = 565 C.Y.
- MAX. DEPTH OF CUT = 10 FT. *DEPTH OF CUT IS MAINLY FOR BASEMENT WALLS
- AMOUNT OF FILL = 1,005 C.Y.
- MAX DEPTH OF FILL = 12 FT.
- MAX HEIGHT OF CUT & FILL = 12 FT.
- RETAINING WALL LENGTH = 360
- EXISTING IMPERVIOUS AREA = 0 S.F.
- EXISTING PERVIOUS AREA = 25,935 S.F.
- PROPOSED IMPERVIOUS AREA = 11,730 S.F.
- PROPOSED PERVIOUS AREA = 14,205 S.F.

EARTHWORK QUANTITIES

CUT = 565 C.Y. +/- FILL = 1,005 C.Y. +/-
IMPORT = 440 C.Y. +/-

EMRA NOTE:

PRIVATE EMRA IS REQUIRED FOR ALL PROPOSED ENCROACHMENTS WITHIN THE EASEMENT (I.E. PROPOSED TREES/LANDSCAPING/IRRIGATION WITHIN ROUNDABOUT, VEHICLE GATE, PEDESTRIAN GATE, DOORS, GATE AT ENTRY, TRENCH DRAIN ETC.)

VISIBILITY TRIANGLE NOTE:

NO OBSTRUCTION INCLUDING SOLID WALLS IN THE VISIBILITY AREA SHALL EXCEED 3 FEET IN HEIGHT. PLANT MATERIAL, OTHER THAN TREES, WITHIN THE PUBLIC RIGHT-OF-WAY THAT IS LOCATED WITHIN VISIBILITY AREAS SHALL NOT EXCEED 24 INCHES IN HEIGHT, MEASURED FROM THE TOP OF THE ADJACENT CURB.

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ENGINEERING & SURVEYING
SINGLE SOURCE DEVELOPMENT CONSULTANT
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SAN MARCOS, CA. 92078
(760) 510-3152 Ph / (760) 510-3153 Fax

ENGINEER OF WORK
I HEREBY DECLARE THAT I AM THE ENGINEER OF WORK FOR THIS PROJECT AND THAT I HAVE EXERCISED RESPONSIBLE CHARGE OVER THE DESIGN OF THE PROJECT.
DOUGLAS E. LOGAN
C 39726
DATE: 12/09/24
EXPIRES: 12/31/25



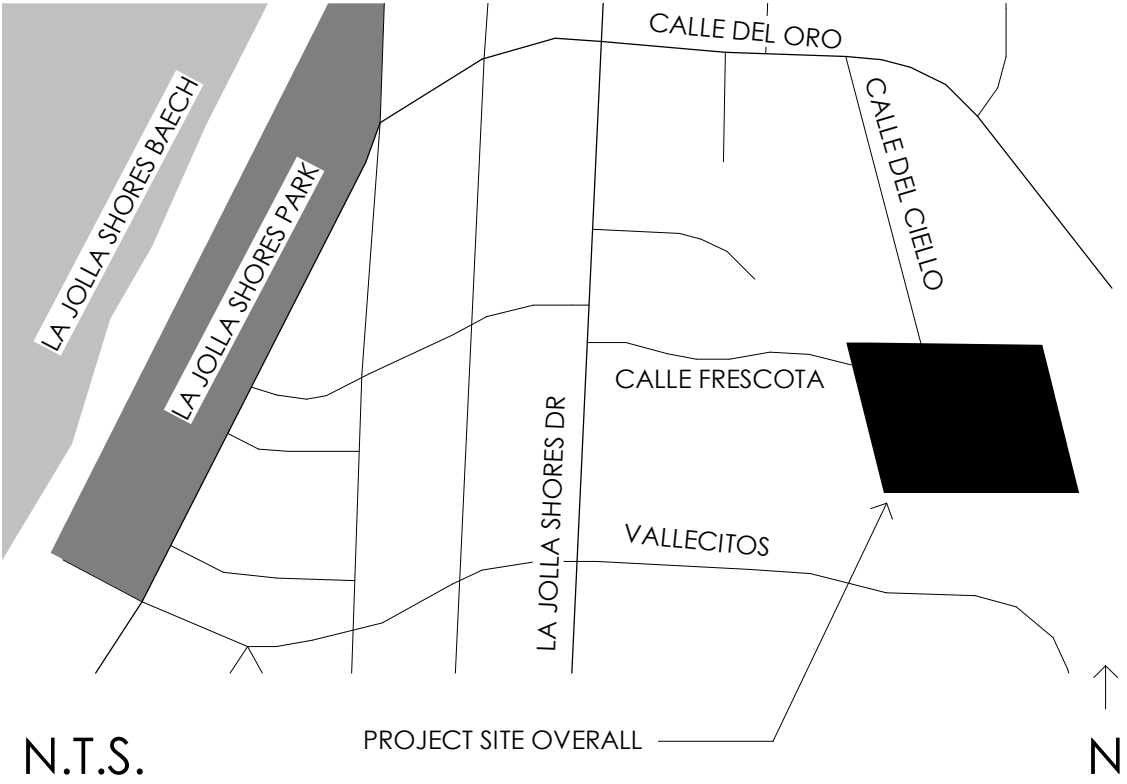
PROPOSED GRADING & DRAINAGE PLAN
C-7
LOT 6

PRELIMINARY — NOT FOR CONSTRUCTION
ENGINEER'S NAME: RANCHO COASTAL ENGINEERING & SURVEYING
PHONE NO. (760) 510-3152 // EMAIL: DOUG@RCESD.COM

CIELO MAR
8303 LA JOLLA SHORES DR,
SAN DIEGO, CA 32037



VICINITY MAP



W.F
ARCHITECTS

WILL & FOTSCH ARCHITECTS

1298 PROSPECT STREET, SUITE 2S, LA JOLLA, CA 92037 - (o) 858-224-2486

JOB #:

CIELO MAR

8303 LA JOLLA SHORES DR, SAN DIEGO, CA 32037

DATE:	ISSUE:
02/24/2023	CDP SUBMITTAL
10/03/2023	2ND CDP SUBMITTAL
03/18/2024	3RD CDP SUBMITTAL
08/16/2024	4TH CDP SUBMITTAL
12/13/2024	5TH CDP SUBMITTAL

OWNER

CIELO MAR LA JOLLA, LLC
CONTACT: SCOTT SINNETT,
AS MANAGING MEMBER
7514 GIRARD AVE, STE 1315
LA JOLLA, 92037

ARCHITECT

WILL & FOTSCH ARCHITECTS
CONTACT: ANDY FOTSCH
1298 PROSPECT ST, SUITE 2S,
LA JOLLA, CA 92037
PH. 619-204-3739
ANDY@WILLANDFOTSCH.COM

LANDSCAPE ARCHITECT

MC CULLOUGH LA
CONTACT: MC CULLOUGH
3605-B FIFTH AVENUE
SAN DIEGO, CA 92103
41041 TRIMBOLI WAY, SUITE 6007
FREMONT, CALIFORNIA 94538
PH. 619-296-3150

CIVIL ENGINEER

RANCHO COASTAL ENGINEERING & SURVEYING, INC.
CONTACT: DOUGLAS E LOGAN, P.E.
310 VIA VERA CRUZ, #205
SAN MARCOS, CA 92078
PH. 760-510-3152
CELL: 858-775-8474
DOUG@RCESD.COM

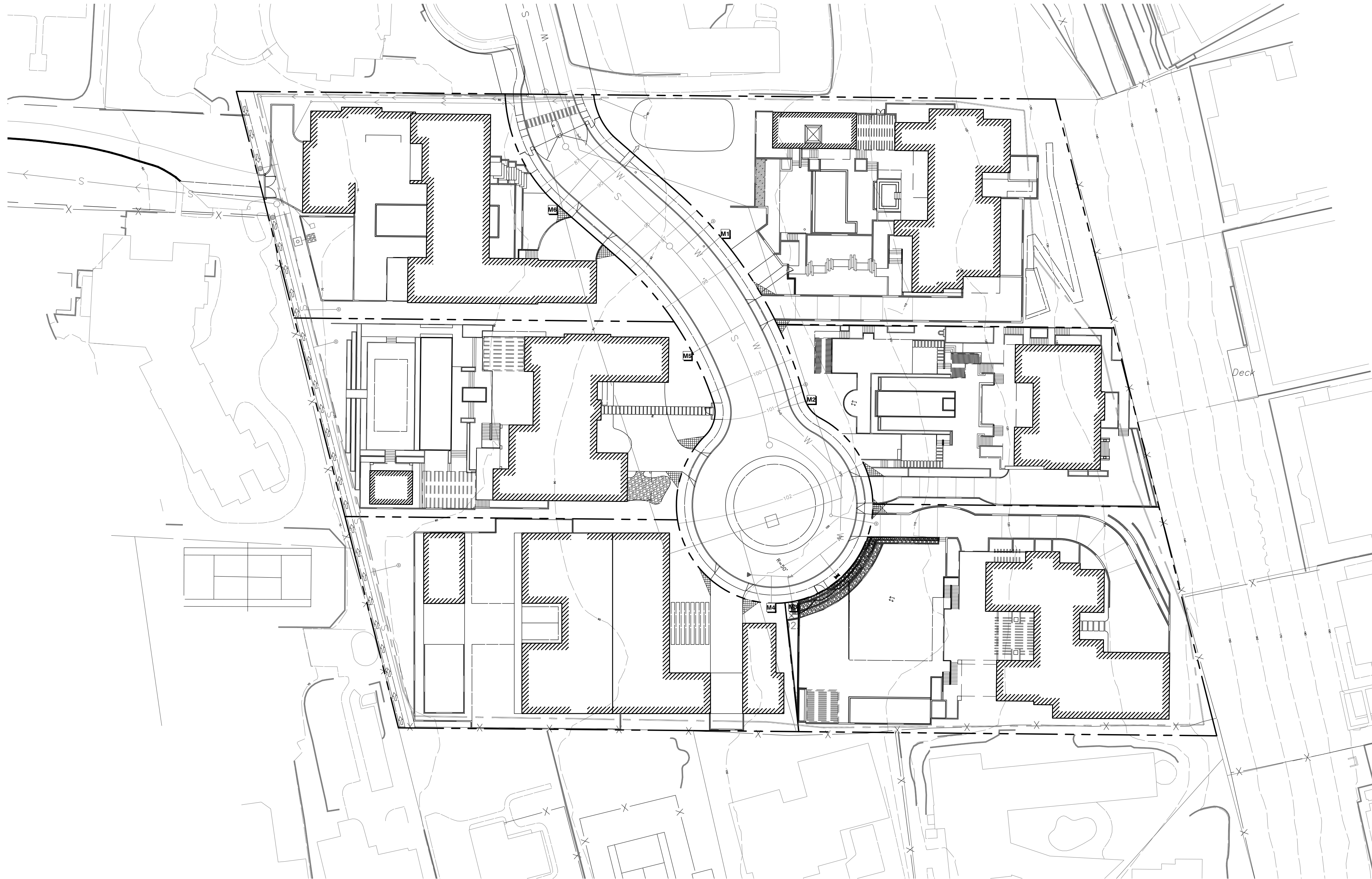
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TITLE SHEET

12/13/2024

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SCHEMATIC DESIGN



DESIGN STATEMENT:

THE LANDSCAPE FOR THIS DEVELOPMENT SEEKS TO PROVIDE ITS RESIDENTS WITH AN ACTIVE AND PASSIVE AMENITY SPACES WITH AREAS FOR EXERCISE, LEISURELY LOUNGING, PEOPLE-WATCHING, AND SOCIAL GATHERING. THE PLANTING CONCEPT IS TO PROVIDE A DRY-LUSH PALETTE THAT ESTABLISHES ITS OWN MICROCLIMATE TO HELP CONSERVE WATER, WHILE AT THE SAME TIME EXPRESS SEASONAL COLOR AND TEXTURAL VARIATION. PERENNIAL AND EDIBLE PLANTING WILL BE INTERSPERSED AMONG THE PLANTING AREAS WITHIN REACHABLE DISTANCE AND PLANT MATERIAL THAT ATTRACTS POLLINATOR FAUNA AS A HOMAGE TO THE IMPORTANCE OF LOCAL RESILIENCY AND CONNECTION WITH NATURAL CYCLES.

THE RIGHT OF WAY FRONTING THE ADJACENT STREET(S) WILL PROVIDE BOTH RESIDENTS AND THE PUBLIC WITH OPPORTUNITIES FOR SOCIALIZATION AND COMMUNITY INTERACTION UNDER A DAPPLED CANOPY OF STREET TREES.

NATIVE AND OR NATURALIZED, DROUGHT TOLERANT PLANT MATERIAL WILL BE UTILIZED AND PLACED APPROPRIATELY IN GROUPINGS WITH COMPATIBLE PLANT MATERIAL. CAREFULLY SELECTED SUCH THAT THE MATERIAL CAN GROW AND ESTABLISHED NATURALLY WITH MINIMAL MAINTENANCE AND SUPPLEMENTAL WATERING.

ALL SITE AND LANDSCAPE MATERIALS WILL BE SELECTED WITH REGARD FOR THE CONTEXT IN WHICH THIS SITE SITS, THE PROPOSED ARCHITECTURE, AND CLIENT AND THE PROPOSED END USER WITH THE OVERALL GOAL OF ENHANCING THIS SITE AND THE NEIGHBORHOOD AS A WHOLE.

LANDSCAPE NOTES:

- IRRIGATION: ALL LANDSCAPE AND IRRIGATION SHALL CONFORM TO THE STANDARDS OF THE CITY-WIDE LANDSCAPE REGULATIONS AND THE CITY OF SAN DIEGO LAND DEVELOPMENT MANUAL LANDSCAPE STANDARDS AND ALL OTHER LANDSCAPE RELATED CITY AND REGIONAL STANDARDS.
- MINIMUM TREE SEPARATION DISTANCE:
 - TRAFFIC SIGNALS / STOP SIGNS - 20 FEET
 - UNDERGROUND UTILITY LINES - 5 FEET (10' FOR SEWER)
 - ABOVE GROUND UTILITY STRUCTURES - 10 FEET
 - DRIVEWAY (ENTRIES) - 10 FEET
 - INTERSECTIONS (INTERSECTING CURB LINES OF TWO STREETS) - 25 FEET

- MAINTENANCE: ALL REQUIRED LANDSCAPE AREAS SHALL BE MAINTAINED BY OWNER. LANDSCAPE AND IRRIGATION AREAS IN THE PUBLIC RIGHT-OF-WAY SHALL BE MAINTAINED BY OWNER. THE LANDSCAPE AREAS SHALL BE MAINTAINED FREE OF DEBRIS AND LITTER, AND ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION. DISEASED OR DEAD PLANT MATERIAL SHALL BE SATISFACTORILY TREATED OR REPLACED PER THE CONDITIONS OF THE PERMIT WITHIN 30 DAYS OF A FINAL LANDSCAPE INSPECTION.
- TREE ROOT ZONES: A MINIMUM ROOT ZONE OF 40SF IN AREA SHALL BE PROVIDED FOR ALL TREES. THE MINIMUM DIMENSION FOR THIS AREA SHALL BE 5 FEET, PER SDMC 142.0403(B)(5)
- TREE MAINTENANCE: ALL PRUNING SHALL COMPLY WITH THE STANDARDS OF THE AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI) FOR TREE CARE OPERATIONS AND THE INTERNATIONAL SOCIETY OF ARBORICULTURE (ISA) FOR TREE PRUNING. TOPPING OF TREES IS NOT PERMITTED
- TREE MAINTENANCE: TREES SHALL BE MAINTAINED SO THAT ALL BRANCHES OVER PEDESTRIAN WALKWAYS ARE 6 FEET ABOVE THE WALKWAY GRADE AND BRANCHES OVER VEHICULAR TRAVEL WAYS ARE 16 FEET ABOVE THE GRADE OF THE TRAVEL WAY PER THE SAN DIEGO MUNICIPAL CODE, SECTION 142.0403(B)(10)
- MULCH: ALL REQUIRED PLANTING AREAS AND ALL EXPOSED SOIL AREAS WITHOUT VEGETATION SHALL BE COVERED WITH MULCH TO A MINIMUM DEPTH OF 3 INCHES, EXCLUDING SLOPES REQUIRING REVEGETATION PER SDMC 142.0411.
- EXISTING TREES TO REMAIN ON SITE WITHIN THE AREA OF WORK WILL BE PROTECTED IN PLACE. THE FOLLOWING PROTECTION MEASURES WILL BE PROVIDED:
 - A BRIGHT YELLOW OR ORANGE TEMPORARY FENCE WILL BE PLACED AROUND EXISTING TREES AT THE DRIP LINE.
 - STOCKPILING, TOPSOIL, DISTURBANCE, VEHICLE USE, AND MATERIAL STORAGE OF ANY KIND IS PROHIBITED WITHIN THE DRIP LINE.
 - ROOT SYSTEMS OF EXISTING TREES WILL BE PROTECTED FROM FLOODING, EROSION, CHEMICAL SPILLS, AND EXCESSIVE WETTING AND DRYING DURING DEWATERING.
 - THE EXISTING GRADE WILL BE MAINTAINED WITHIN THE DRIP LINE OF EXISTING TREES.
 - ROOTS OF EXISTING TREES WILL BE CUT APPROXIMATELY 6 INCHES BACK FROM NEW CONSTRUCTION.
 - A CERTIFIED CONSULTING ARBORIST SHALL OVERSEE PRUNING OF ANY ROOTS 4-IN OR GREATER IN DIAMETER.
 - MAINTAIN AND DOCUMENT A TREE WATERING SCHEDULE DURING CONSTRUCTION.
 - ALL DAMAGED TREES WILL BE REPLACED WITH ONE OF EQUAL OR GREATER SIZE

Street Tree Requirement

1 Tree per 30 LF of street frontage, excluding Curb Cuts and designated Bus Stops

Name of Street:	PRIVATE ACCESS ROAD - Lot 1	Required trees	Proposed Trees
Length of Street	156.9 Linear Feet =	5 24" box min.	6 24" box min.

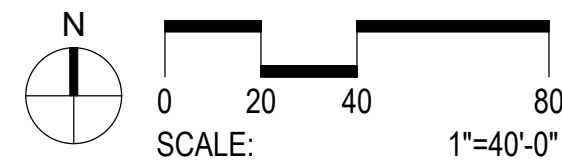
Name of Street:	PRIVATE ACCESS ROAD - Lot 2	Required trees	Proposed Trees
Length of Street	105 Linear Feet =	4 24" box min.	4 24" box min.

Name of Street:	PRIVATE ACCESS ROAD - Lot 3	Required trees	Proposed Trees
Length of Street	50 Linear Feet =	2 24" box min.	2 24" box min.

Name of Street:	PRIVATE ACCESS ROAD - Lot 4	Required trees	Proposed Trees
Length of Street	48.9 Linear Feet =	2 24" box min.	2 24" box min.

Name of Street:	PRIVATE ACCESS ROAD - Lot 5	Required trees	Proposed Trees
Length of Street	111 Linear Feet =	4 24" box min.	4 24" box min.

Name of Street:	PRIVATE ACCESS ROAD - Lot 6	Required trees	Proposed Trees
Length of Street	133.7 Linear Feet =	4 24" box min.	4 24" box min.



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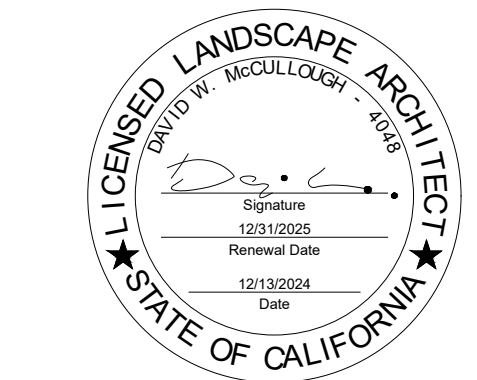


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SUBMITTALS | REVISIONS

No.	Description	Date
01	1st Submittal	02.22.23
02	Resubmittal	09.29.23
03	Resubmittal	03.07.24
04	Resubmittal	04.12.24
05	Resubmittal	08.12.24

Issue Date	Project Number
12.13.2024	23012

COVER SHEET

L000



EXISTING TREE SCHEDULE

CODE	BOTANICAL / COMMON NAME	CONT	FORM	QTY
EXISTING TREES (TO BE REMOVED)				
ES	EUCALYPTUS SPP.	EXISTING	25'-30'	64
OE	OLEA EUROPAEA	EXISTING	20'-25'	5
ER	OLIVE MULTI-TRUNK SYAGRUS ROMANZOFFIANA	EXISTING	6'-10'	2
WR	QUEEN PALM WASHINGTONIA ROBUSTA MEXICAN FAN PALM	EXISTING	6'-10'	1

TOTAL TREES TO BE REMOVED - 72
TOTAL # OF PROPOSED TREES - 241

NOTE: THE EXISTING TREES ARE PROPOSED TO BE REMOVED DUE TO HEALTH CONDITIONS AND THE TREE IS GROWING TOO CLOSE TO - OR THE ROOTS ARE ENCROACHING ON- YOUR HOUSE, BARN, UTILITY LINES OR OTHER STRUCTURES.

CIELO MAR

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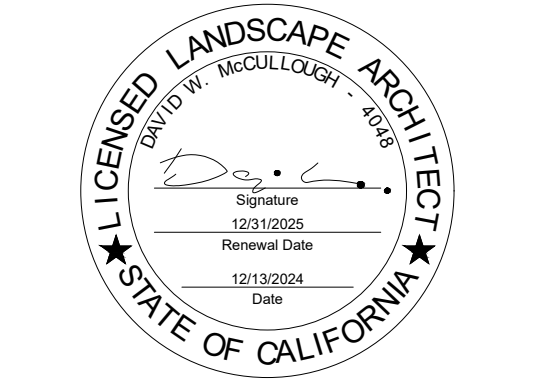
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Issue Date	Project Number
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TREE DEMO -
PROTECTION
PLAN



REFERENCE NOTES SCHEDULE

SYMBOL	DESCRIPTION
1	PROPERTY LINE
2	PROPOSED CONCRETE DRIVEWAY APRON
3	PROPOSED WATER METER LOCATION
4	ANITCATED LIMITS OF GRADING
5	PROPOSED 6" MOUNTABLE CURB
	PROPOSED PLANTING AREA
	PROPOSED ROW PLANTING
	PROPOSED INTERLOCKING PAVERS DRIVEWAY
	PROPOSED BIORETENTION PLANTING
	PROPOSED R.O.W. CONCRETE PAVING
EXISTING TO REMAIN	
E-101	EXISTING FENCE TO REMAIN (NOT WITHIN THE SCOPE OF WORK)

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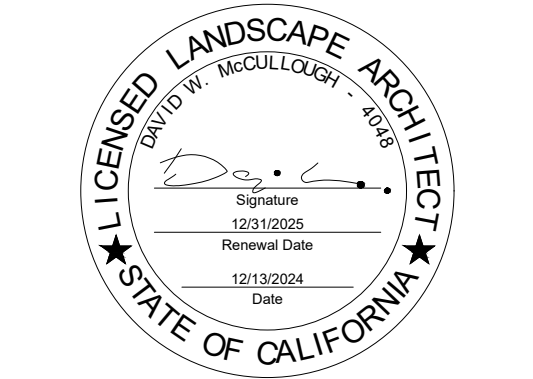
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Fremont, California 94538

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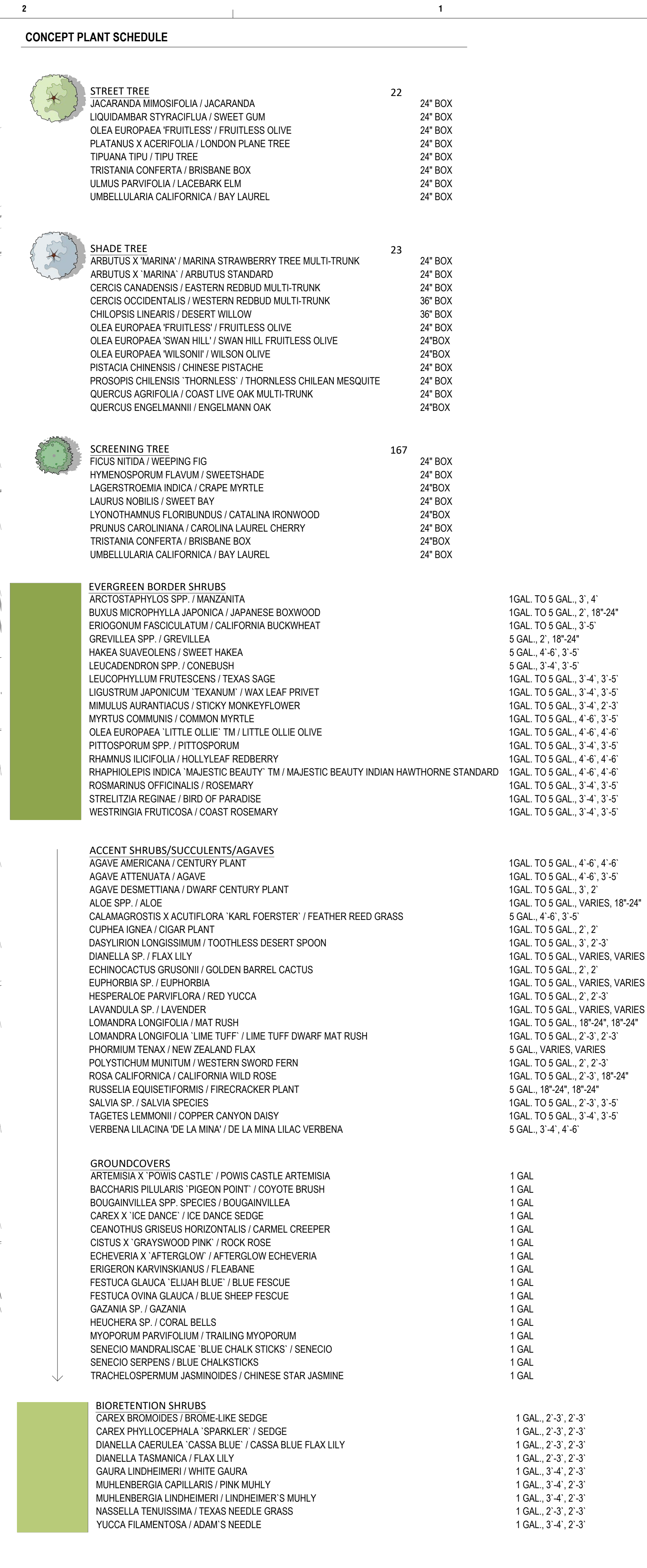
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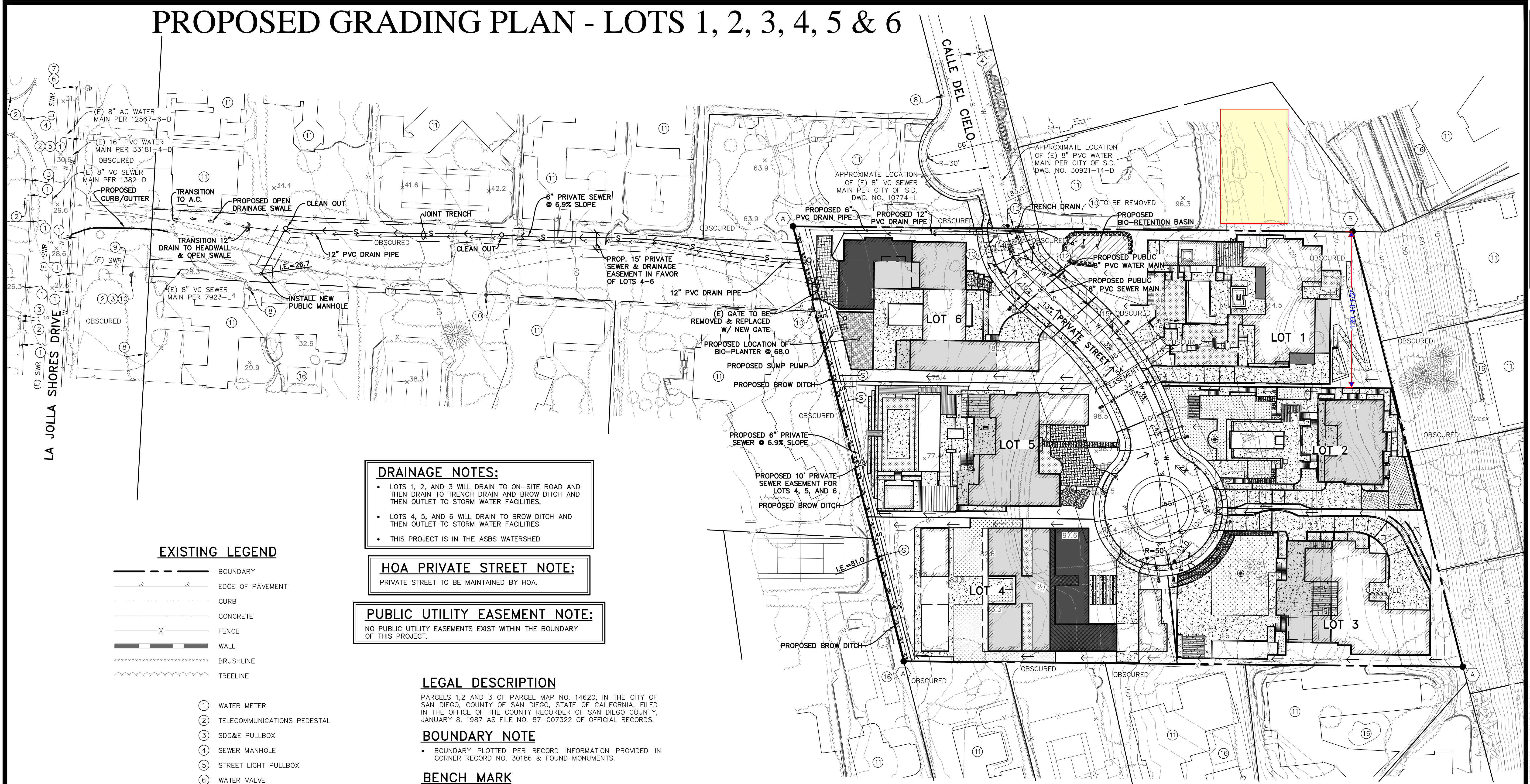
LANDSCAPE DEVELOPMENT PLAN

L100



L300

PROPOSED GRADING PLAN - LOTS 1, 2, 3, 4, 5 & 6



EXISTING LEGEND

- BOUNDARY
- - - EDGE OF PAVEMENT
- - - CURB
- CONCRETE
- x - FENCE
- WALL
- BRUSHLINE
- TREELINE

- 1 WATER METER
- 2 TELECOMMUNICATIONS PEDESTAL
- 3 SDG&E PULLBOX
- 4 SEWER MANHOLE
- 5 STREET LIGHT PULLBOX
- 6 WATER VALVE
- 7 FIRE HYDRANT
- 8 STREET LIGHT POST
- 9 TIME WARNER CHANNEL VAULT
- 10 POWER POLE
- 11 BUILDING
- 12 SEWER CLEANOUT
- 13 WATER RISER
- 14 GAS METER
- 15 IRRIGATION CONTROL VALVE
- 16 POOL

DRAINAGE NOTES:

- LOTS 1, 2, AND 3 WILL DRAIN TO ON-SITE ROAD AND THEN DRAIN TO TRENCH DRAIN AND BROW DITCH AND THEN OUTLET TO STORM WATER FACILITIES.
- LOTS 4, 5, AND 6 WILL DRAIN TO BROW DITCH AND THEN OUTLET TO STORM WATER FACILITIES.
- THIS PROJECT IS IN THE ASBS WATERSHED

HOA PRIVATE STREET NOTE:

PRIVATE STREET TO BE MAINTAINED BY HOA.

PUBLIC UTILITY EASEMENT NOTE:

NO PUBLIC UTILITY EASEMENTS EXIST WITHIN THE BOUNDARY OF THIS PROJECT.

LEGAL DESCRIPTION

PARCELS 1,2 AND 3 OF PARCEL MAP NO. 14620, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, JANUARY 8, 1987 AS FILE NO. 87-007322 OF OFFICIAL RECORDS.

BOUNDARY NOTE

- BOUNDARY PLOTTED PER RECORD INFORMATION PROVIDED IN CORNER RECORD NO. 30186 & FOUND MONUMENTS.

BENCH MARK

- BENCHMARK FOR THIS SURVEY IS A BRASS PLUG SET IN CONCRETE CURB RETURN, LOCATED SOUTHWESTERLY OF THE INTERSECTION OF CALLE DEL ORO & CALLE DEL CIELO IN THE CITY OF LA JOLLA, CA., HAVING A PUBLISHED MEAN SEA LEVEL ELEVATION OF 70.47'.

FOUND MONUMENTS

- A INDICATES FOUND 3/4" IRON PIPE W/YELLOW CAP STAMPED "LS 5717" PER CORNER RECORD NO. 30186.
- B INDICATES FOUND 2" IRON PIPE W/DISC STAMPED "RCE 9822" AS SHOWN ON CORNER RECORD NO. 30186.

UTILITY NOTE:

- SEE SHEET C-10 FOR EXISTING UTILITIES TO BE KILLED/REMOVED

DRIVEWAY NOTES:

- ALL DRIVEWAYS TO COMPLY W/ SDMC142.0560(a)(c), DIAGRAM 142-05D

EMRA NOTE:

PRIVATE EMRA IS REQUIRED FOR ALL PROPOSED ENCROACHMENTS WITHIN THE EASEMENT (I.E. PROPOSED TREES/LANDSCAPING/IRRIGATION WITHIN ROUNDABOUT, VEHICLE GATE, PEDESTRIAN GATE, DOORS, GATE AT ENTRY, TRENCH DRAIN ETC.)

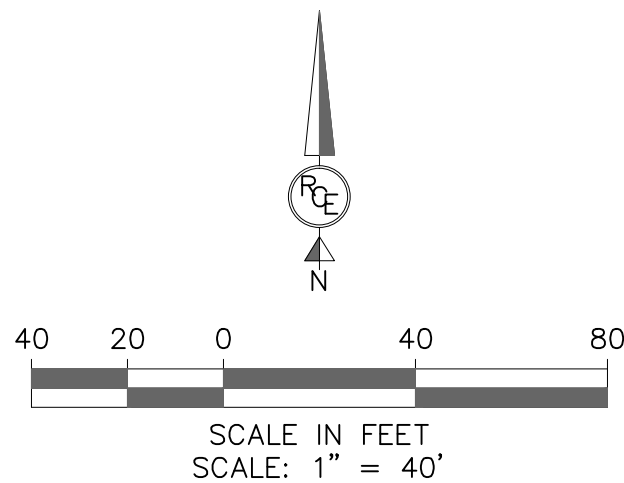
ENGINEER OF WORK

I HEREBY DECLARE THAT I AM THE ENGINEER OF WORK FOR THIS PROJECT AND THAT I HAVE EXERCISED RESPONSIBLE CHARGE OVER THE DESIGN OF THE PROJECT.

DOUGLAS E. LOGAN
C 39726
DATE: 12/12/24
EXPIRES: 12/31/25



RANCHO COASTAL
ENGINEERING & SURVEYING
SINGLE SOURCE DEVELOPMENT CONSULTANT
310 VIA VERA CRUZ, #205
SAN MARCOS, CA. 92078
(760) 510-3152 Ph / (760) 510-3153 Fax



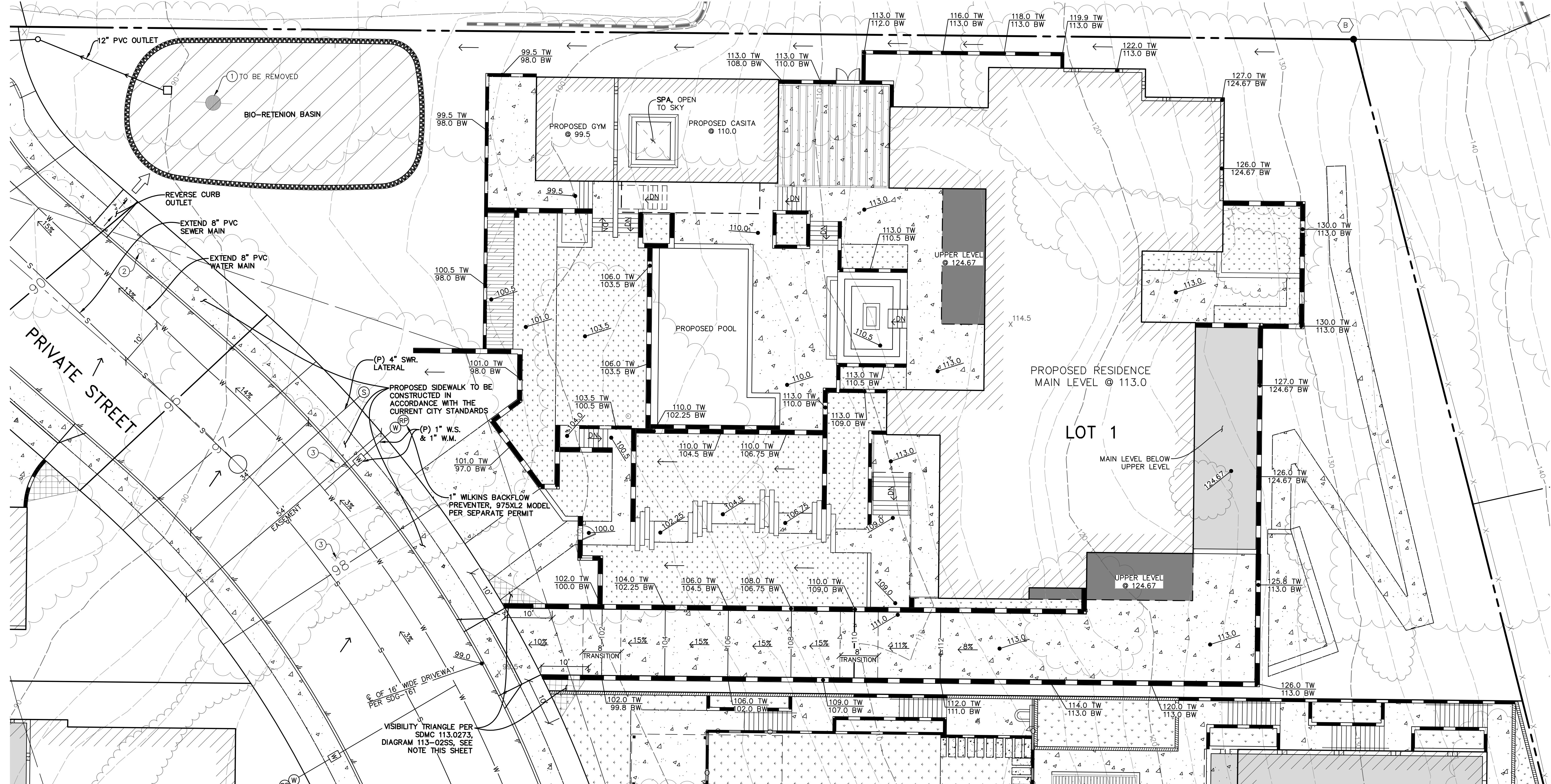
PROPOSED GRADING PLAN

C-1
LOTS 1-6

PRELIMINARY — NOT FOR CONSTRUCTION

ENGINEER'S NAME: RANCHO COASTAL ENGINEERING & SURVEYING
PHONE NO. (760) 510-3152 // EMAIL: DOUG@RCESD.COM

PROPOSED GRADING & DRAINAGE PLAN - LOT 1



EXISTING LEGEND

- BOUNDARY
- EDGE OF PAVEMENT
- CURB
- CONCRETE
- FENCE
- WALL
- BRUSHLINE
- TREELINE
- 1 POWER POLE
- 2 SEWER CLEANOUT
- 3 IRRIGATION CONTROL VALVE

PROPOSED LEGEND

- CONCRETE
- BUILDING STEM/RETAINING WALL
- RETAINING WALL
- DIRECTION OF DRAINAGE
- LANDSCAPE/GRASS/PLANTER AREA

FOUND MONUMENTS

INDICATES FOUND 2" IRON PIPE W/DISC STAMPED "RCE 9822" AS SHOWN ON CORNER RECORD NO. 30186.

GRADING TABULATIONS

- TOTAL LOT SIZE = 0.77 AC.
- DISTURBED AREA = 0.57 AC.
- AMOUNT OF CUT = 1,950 C.Y.
- MAX. DEPTH OF CUT = 12 FT.
- AMOUNT OF FILL = 850 C.Y.
- MAX DEPTH OF FILL = 10 FT.
- MAX HEIGHT OF CUT & FILL = 12 FT.
- RETAINING WALL LENGTH = 700
- EXISTING IMPERVIOUS AREA = 0 S.F.
- EXISTING PERVIOUS AREA = 33,724 S.F.
- PROPOSED IMPERVIOUS AREA = 14,255 S.F.
- PROPOSED PERVIOUS AREA = 19,469 S.F.

EARTHWORK QUANTITIES

CUT = 1,950 C.Y. +/- FILL = 850 C.Y. +/- EXPORT = 1,100 C.Y. +/-

EMRA NOTE:
PRIVATE EMRA IS REQUIRED FOR ALL PROPOSED ENCROACHMENTS WITHIN THE EASEMENT (I.E. PROPOSED TREES/LANDSCAPING/IRRIGATION WITHIN ROUNDABOUT, VEHICLE GATE, PEDESTRIAN GATE, DOORS, GATE AT ENTRY, TRENCH DRAIN ETC.)

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VISIBILITY TRIANGLE NOTE:
NO OBSTRUCTION INCLUDING SOLID WALLS IN THE VISIBILITY AREA SHALL EXCEED 3 FEET IN HEIGHT. PLANT MATERIAL, OTHER THAN TREES, WITHIN THE PUBLIC RIGHT-OF-WAY THAT IS LOCATED WITHIN VISIBILITY AREAS SHALL NOT EXCEED 24 INCHES IN HEIGHT MEASURED FROM THE TOP OF THE ADJACENT CURB.

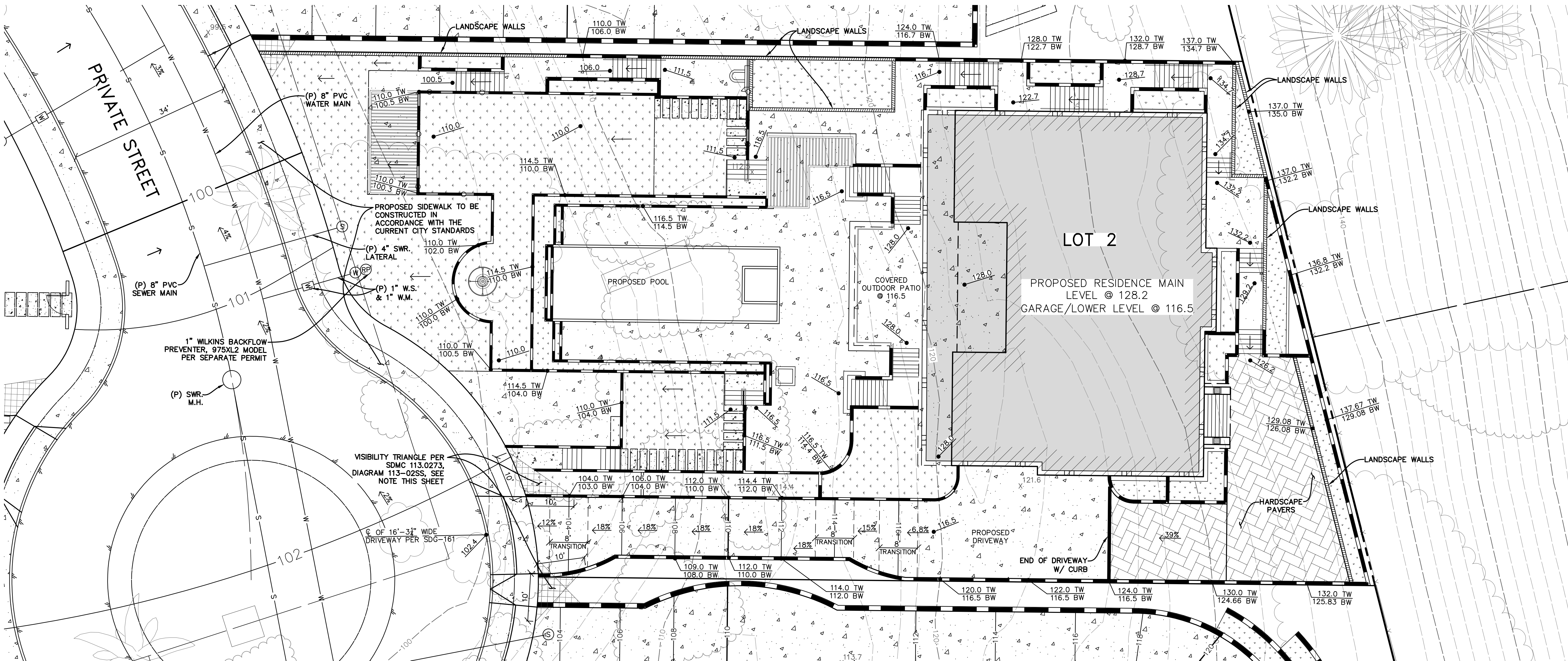
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DOUGLAS E. LOGAN
C 39726
DATE: 12/09/24
EXPIRES: 12/31/25



PROPOSED GRADING & DRAINAGE PLAN
C-2
LOT 1

PRELIMINARY — NOT FOR CONSTRUCTION
ENGINEER'S NAME: RANCHO COASTAL ENGINEERING & SURVEYING
PHONE NO. (760) 510-3152 // EMAIL: DOUG@RCESD.COM

PROPOSED GRADING & DRAINAGE PLAN - LOT 2



EXISTING LEGEND

- BOUNDARY
- EDGE OF PAVEMENT
- CURB
- CONCRETE
- FENCE
- WALL
- BRUSHLINE
- TREELINE

PROPOSED LEGEND

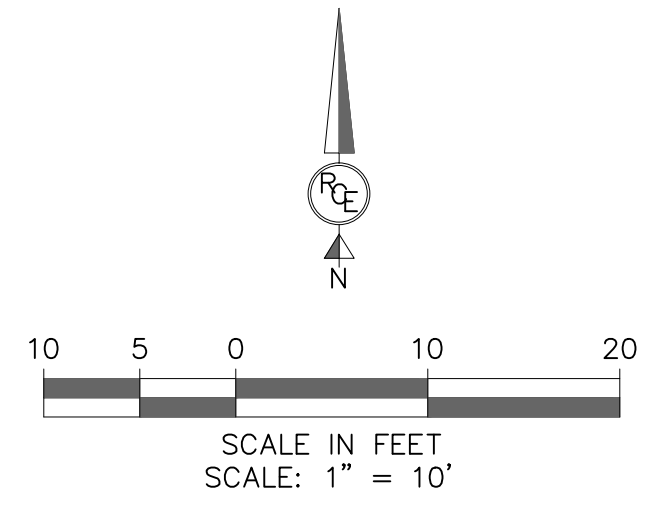
- AREA OF LOWER LEVEL
- CONCRETE
- HARDSCAPE PAVERS
- BUILDING STEM/RETAINING WALL
- RETAINING WALL
- DIRECTION OF DRAINAGE
- LANDSCAPE WALL (3' OR LESS)
- LANDSCAPE/GRASS/PLANTER AREA

- GRADING TABULATIONS**
- TOTAL LOT SIZE = 0.48 AC.
 - DISTURBED AREA = 0.37 AC.
 - AMOUNT OF CUT = 1,390 C.Y.
 - MAX. DEPTH OF CUT = 20 FT. DEPTH OF CUT IS MAINLY FOR BASEMENT WALLS
 - AMOUNT OF FILL = 460 C.Y.
 - MAX DEPTH OF FILL = 14 FT.
 - MAX HEIGHT OF CUT & FILL = 20 FT.
 - RETAINING WALL LENGTH = 615
 - EXISTING IMPERVIOUS AREA = 8' S.F.
 - EXISTING PERVIOUS AREA = 20,736 S.F.
 - PROPOSED IMPERVIOUS AREA = 9,743 S.F.
 - PROPOSED PERVIOUS AREA = 10,993 S.F.

EARTHWORK QUANTITIES
CUT = 1,850 C.Y. +/- FILL = 460 C.Y. +/-
EXPORT = 1,390 C.Y. +/-

VISIBILITY TRIANGLE NOTE:
NO OBSTRUCTION INCLUDING SOLID WALLS IN THE VISIBILITY AREA SHALL EXCEED 3 FEET IN HEIGHT. PLANT MATERIAL, OTHER THAN TREES, WITHIN THE PUBLIC RIGHT-OF-WAY THAT IS LOCATED WITHIN VISIBILITY AREAS SHALL NOT EXCEED 24 INCHES IN HEIGHT, MEASURED FROM THE TOP OF THE ADJACENT CURB.

EMRA NOTE:
PRIVATE EMRA IS REQUIRED FOR ALL PROPOSED ENCROACHMENTS WITHIN THE EASEMENT (I.E. PROPOSED TREES/LANDSCAPING/IRRIGATION WITHIN ROUNDABOUT, VEHICLE GATE, PEDESTRIAN GATE, DOORS, GATE AT ENTRY, TRENCH DRAIN ETC.)



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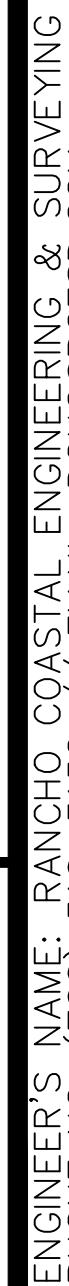
ENGINEER OF WORK
I HEREBY DECLARE THAT I AM THE ENGINEER OF WORK FOR THIS PROJECT AND THAT I HAVE EXERCISED RESPONSIBLE CHARGE OVER THE DESIGN OF THE PROJECT.
DOUGLAS E. LOGAN
C 39726
DATE: 12/12/24
EXPIRES: 12/31/25



PROPOSED GRADING & DRAINAGE PLAN
C-3
LOT 2

PRELIMINARY — NOT FOR CONSTRUCTION
ENGINEER'S NAME: RANCHO COASTAL ENGINEERING & SURVEYING
PHONE NO. (760) 510-3152 // EMAIL: DOUG@RCESD.COM

PRELIMINARY – NOT FOR CONSTRUCTION



12/12/2024 11:32 AM

PROPOSED GRADING & DRAINAGE PLAN - LOT 4



EXISTING LEGEND

- BOUNDARY
- EDGE OF PAVEMENT
- CURB
- CONCRETE
- FENCE
- WALL
- BRUSHLINE
- TREELINE

PROPOSED LEGEND

- AREA OF MAIN LEVEL
- AREA OF LOWEST LEVEL
- AREA OF LOWEST LEVEL
- CONCRETE
- BUILDING STEM/RETAINING WALL
- RETAINING WALL
- DIRECTION OF DRAINAGE
- LANDSCAPE/GRASS/PLANTER AREA

GRADING TABULATIONS

- TOTAL LOT SIZE = 0.69 AC.
- DISTURBED AREA = 0.57 AC.
- AMOUNT OF CUT = 280 C.Y.
- MAX. DEPTH OF CUT = 12 FT. *DEPTH OF CUT IS MAINLY FOR BASEMENT WALLS
- AMOUNT OF FILL = 2,240 C.Y.
- MAX DEPTH OF FILL = 16 FT.
- MAX HEIGHT OF CUT & FILL = 16 FT.
- RETAINING WALL LENGTH = 235
- EXISTING IMPERVIOUS AREA = 8' S.F.
- EXISTING PERVIOUS AREA = 30,235 S.F.
- PROPOSED IMPERVIOUS AREA = 16,837 S.F.
- PROPOSED PERVIOUS AREA = 13,398 S.F.

EARTHWORK QUANTITIES

CUT = 280 C.Y. +/- FILL = 2,220 C.Y. +/-
IMPORT = 2,240 C.Y. +/-

EMRA NOTE:

PRIVATE EMRA IS REQUIRED FOR ALL PROPOSED ENCROACHMENTS WITHIN THE EASEMENT (I.E. PROPOSED TREES/LANDSCAPING/IRRIGATION WITHIN ROUNDABOUT, VEHICLE GATE, PEDESTRIAN GATE, DOORS, GATE AT ENTRY, TRENCH DRAIN ETC.)

VISIBILITY TRIANGLE NOTE:

NO OBSTRUCTION INCLUDING SOLID WALLS IN THE VISIBILITY AREA SHALL EXCEED 3 FEET IN HEIGHT. PLANT MATERIAL, OTHER THAN TREES, WITHIN THE PUBLIC RIGHT-OF-WAY THAT IS LOCATED WITHIN VISIBILITY AREAS SHALL NOT EXCEED 24 INCHES IN HEIGHT, MEASURED FROM THE TOP OF THE ADJACENT CURB.

FOUND MONUMENTS

INDICATES FOUND 3/4" IRON PIPE W/YELLOW CAP STAMPED "LS 5717" PER CORNER RECORD NO. 30186.

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ENGINEER OF WORK

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DOUGLAS E. LOGAN
C 39726
DATE: 12/12/24
EXPIRES: 12/31/25



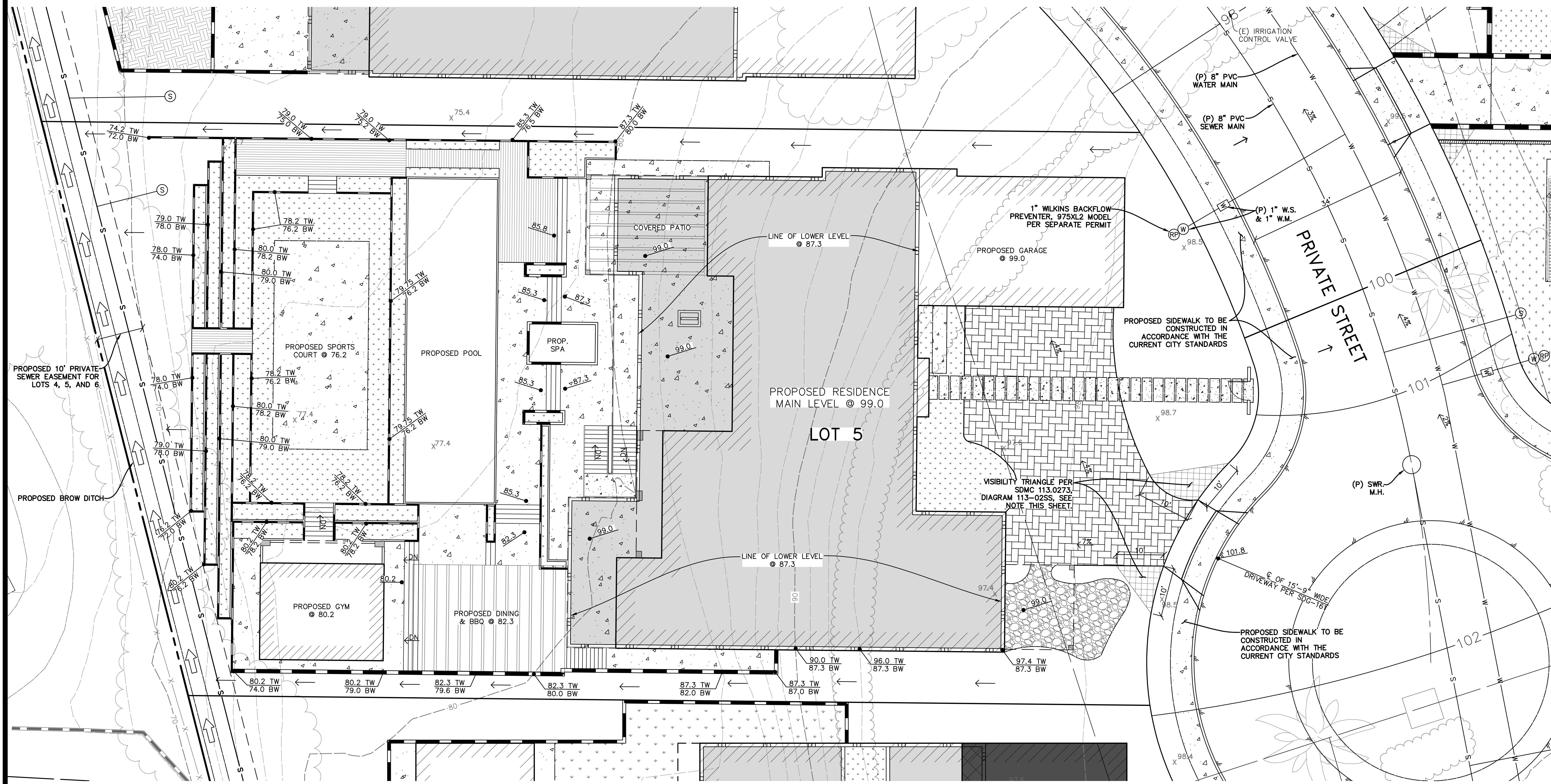
PROPOSED GRADING & DRAINAGE PLAN

C-5
LOT 4

PRELIMINARY — NOT FOR CONSTRUCTION

ENGINEER'S NAME: RANCHO COASTAL ENGINEERING & SURVEYING
PHONE NO. (760) 510-3152 // EMAIL: DOUG@RCESD.COM

PROPOSED GRADING & DRAINAGE PLAN - LOT 5



EXISTING LEGEND

- BOUNDARY
- EDGE OF PAVEMENT
- CURB
- CONCRETE
- FENCE
- WALL
- BRUSHLINE
- TREELINE

PROPOSED LEGEND

- AREA OF LOWER LEVEL
- CONCRETE
- BUILDING STEM/RETAINING WALL
- RETAINING WALL
- DIRECTION OF DRAINAGE
- LANDSCAPE/GRASS/PLANTER AREA

GRADING TABULATIONS

- TOTAL LOT SIZE = 0.63 AC.
- DISTURBED AREA = 0.53 AC.
- AMOUNT OF CUT = 600 C.Y.
- MAX. DEPTH OF CUT = 10 FT. *DEPTH OF CUT IS MAINLY FOR BASEMENT WALLS
- AMOUNT OF FILL = 2,525 C.Y.
- MAX DEPTH OF FILL = 12 FT.
- MAX HEIGHT OF CUT & FILL = 12 FT.
- RETAINING WALL LENGTH = 255
- EXISTING IMPERVIOUS AREA = 0 S.F.
- EXISTING PERVIOUS AREA = 27,645 S.F.
- PROPOSED IMPERVIOUS AREA = 13,720 S.F.
- PROPOSED PERVIOUS AREA = 13,925 S.F.

EARTHWORK QUANTITIES

CUT = 600 C.Y. +/- FILL = 2,525 C.Y. +/-
IMPORT = 1,925 C.Y. +/-

EMRA NOTE:
PRIVATE EMRA IS REQUIRED FOR ALL PROPOSED ENCROACHMENTS WITHIN THE EASEMENT (I.E. PROPOSED TREES/LANDSCAPING/IRRIGATION WITHIN ROUNDABOUT, VEHICLE GATE, PEDESTRIAN GATE, DOORS, GATE AT ENTRY, TRENCH DRAIN ETC.)

VISIBILITY TRIANGLE NOTE:

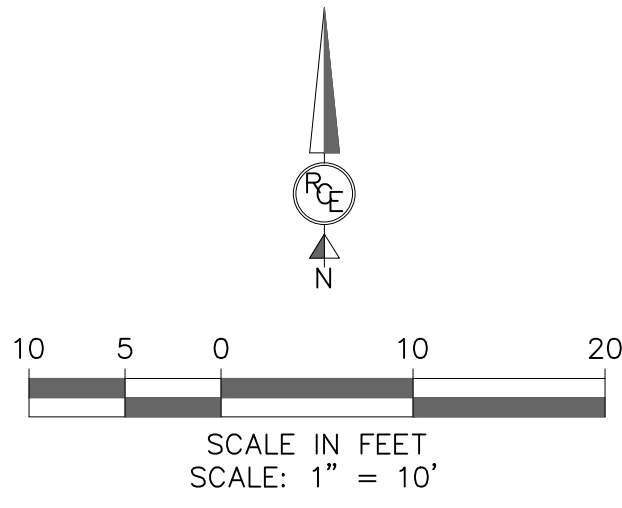
NO OBSTRUCTION INCLUDING SOLID WALLS IN THE VISIBILITY AREA SHALL EXCEED 3 FEET IN HEIGHT. PLANT MATERIAL, OTHER THAN TREES, WITHIN THE PUBLIC RIGHT-OF-WAY THAT IS LOCATED WITHIN VISIBILITY AREAS SHALL NOT EXCEED 24 INCHES IN HEIGHT, MEASURED FROM THE TOP OF THE ADJACENT CURB.

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ENGINEER OF WORK
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DOUGLAS E. LOGAN
C 39726
DATE: 12/12/24
EXPIRES: 12/31/25



PROPOSED GRADING & DRAINAGE PLAN
C-6
LOT 5



PROPOSED GRADING & DRAINAGE PLAN - LOT 6



EXISTING LEGEND

- | | | | |
|--|------------------|--|----------------------------|
| | BOUNDARY | | 1 POWER POLE |
| | EDGE OF PAVEMENT | | 2 SEWER CLEANOUT |
| | CURB | | 3 IRRIGATION CONTROL VALVE |
| | CONCRETE | | 4 STREET LIGHT POST |
| | FENCE | | 5 WATER RISER |
| | WALL | | 6 GAS METER |
| | BRUSHLINE | | |
| | TREELINE | | |

PROPOSED LEGEND

- | | |
|--|------------------------------|
| | AREA OF LOWER LEVEL |
| | AREA OF ADU |
| | CONCRETE |
| | BUILDING STEM/RETAINING WALL |
| | RETAINING WALL |
| | DIRECTION OF DRAINAGE |
| | LANDSCAPE/GRASS/PLANTER AREA |

GRADING TABULATIONS

- TOTAL LOT SIZE = 0.60 AC.
- DISTURBED AREA = 0.32 AC.
- AMOUNT OF CUT = 565 C.Y.
- MAX. DEPTH OF CUT = 10 FT. *DEPTH OF CUT IS MAINLY FOR BASEMENT WALLS
- AMOUNT OF FILL = 1,005 C.Y.
- MAX DEPTH OF FILL = 12 FT.
- MAX HEIGHT OF CUT & FILL = 12 FT.
- RETAINING WALL LENGTH = 360
- EXISTING IMPERVIOUS AREA = 0 S.F.
- EXISTING PERVIOUS AREA = 25,935 S.F.
- PROPOSED IMPERVIOUS AREA = 11,730 S.F.
- PROPOSED PERVIOUS AREA = 14,205 S.F.

EARTHWORK QUANTITIES

CUT = .565 C.Y. +/- FILL = 1.005 C.Y. +/-
IMPORT = .440 C.Y. +/-

EMRA NOTE:

PRIVATE EMRA IS REQUIRED FOR ALL PROPOSED ENCROACHMENTS WITHIN THE EASEMENT (I.E. PROPOSED TREES/LANDSCAPING/IRRIGATION WITHIN ROUNDABOUT, VEHICLE GATE, PEDESTRIAN GATE, DOORS, GATE AT ENTRY, TRENCH DRAIN ETC.)

VISIBILITY TRIANGLE NOTE:

NO OBSTRUCTION INCLUDING SOLID WALLS IN THE VISIBILITY AREA SHALL EXCEED 3 FEET IN HEIGHT. PLANT MATERIAL, OTHER THAN TREES, WITHIN THE PUBLIC RIGHT-OF-WAY THAT IS LOCATED WITHIN VISIBILITY AREAS SHALL NOT EXCEED 24 INCHES IN HEIGHT, MEASURED FROM THE TOP OF THE ADJACENT CURB.

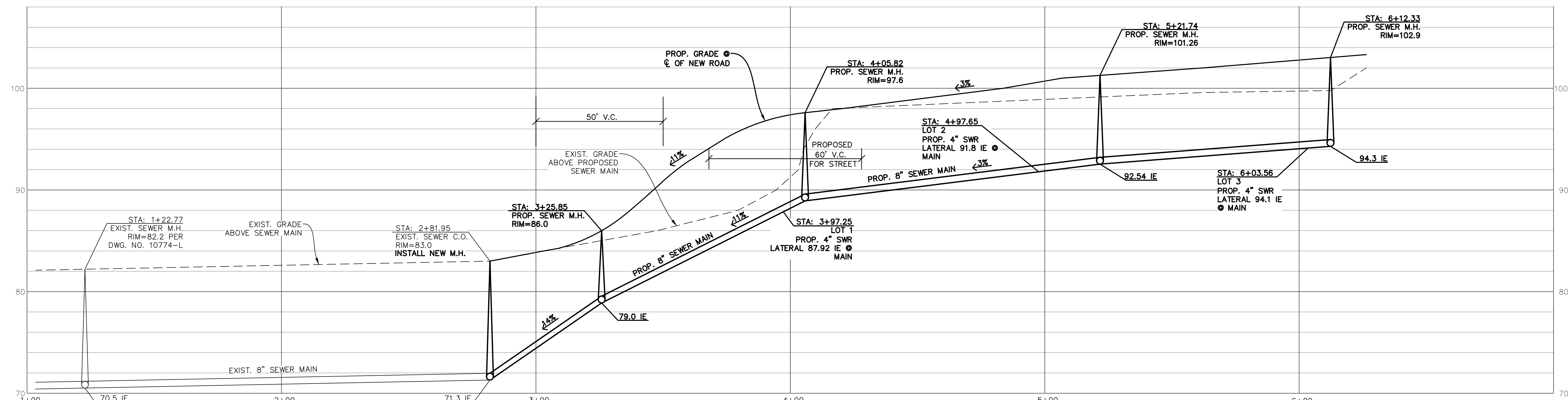
RANCHO COASTAL
ENGINEERING & SURVEYING
SINGLE SOURCE DEVELOPMENT CONSULTANT
310 VIA VERA CRUZ, #205
SAN MARCOS, CA. 92078
(760) 510-3152 Ph / (760) 510-3153 Fax

ENGINEER OF WORK
I HEREBY DECLARE THAT I AM THE ENGINEER OF WORK FOR THIS PROJECT AND THAT I HAVE EXERCISED RESPONSIBLE CHARGE OVER THE DESIGN OF THE PROJECT.

DOUGLAS E. LOGAN
C 39726
DATE: 12/09/24
EXPIRES: 12/31/25

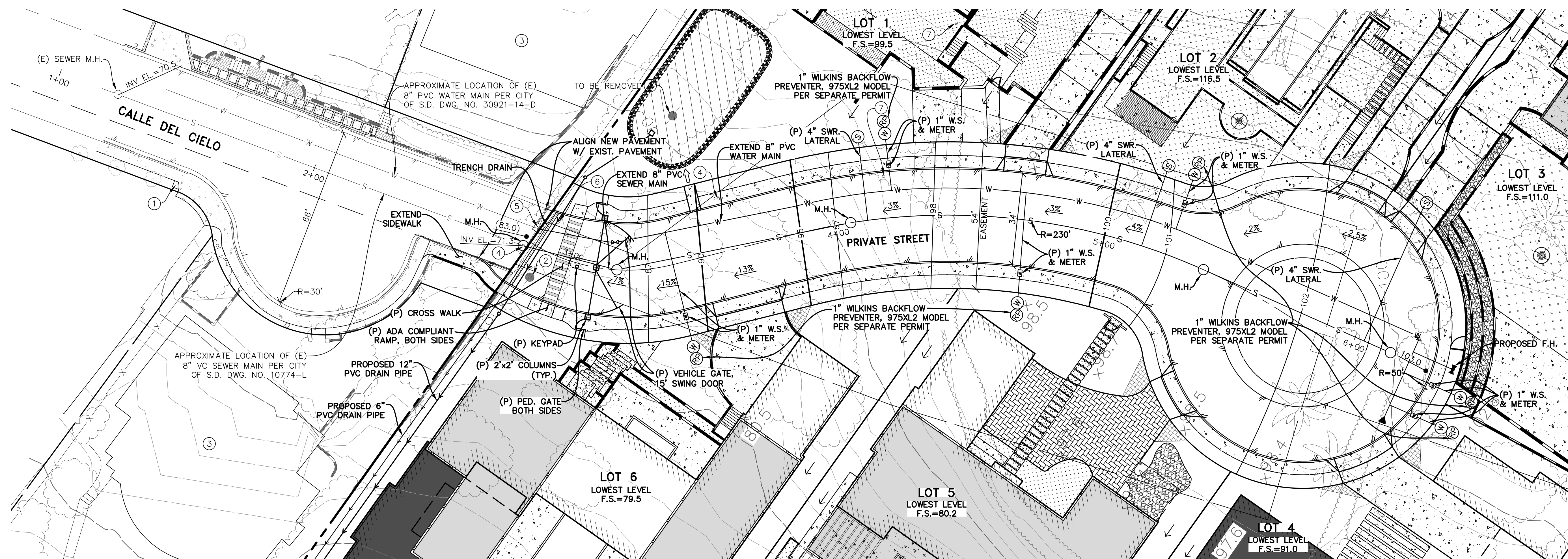


PROPOSED GRADING
& DRAINAGE PLAN
C-7
LOT 6



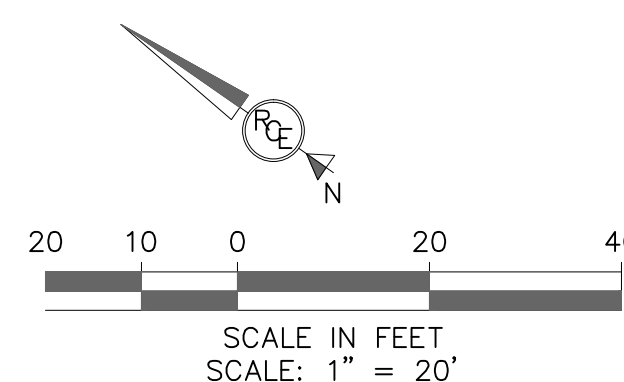
SEWER MAIN PROFILE

SCALES:
HORIZ.: 1" = 20'
VERT.: 1" = 5'



EXISTING LEGEND

- BOUNDARY
- - - - - EDGE OF PAVEMENT
- - - - - CURB
- - - - - CONCRETE
- - - - - FENCE
- - - - - WALL
- - - - - BRUSHLINE
- - - - - TREELINE
- ① STREET LIGHT POST
- ② POWER POLE
- ③ BUILDING
- ④ SEWER CLEANOUT
- ⑤ WATER RISER
- ⑥ GAS METER
- ⑦ IRRIGATION CONTROL VALVE



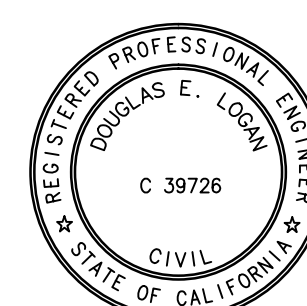
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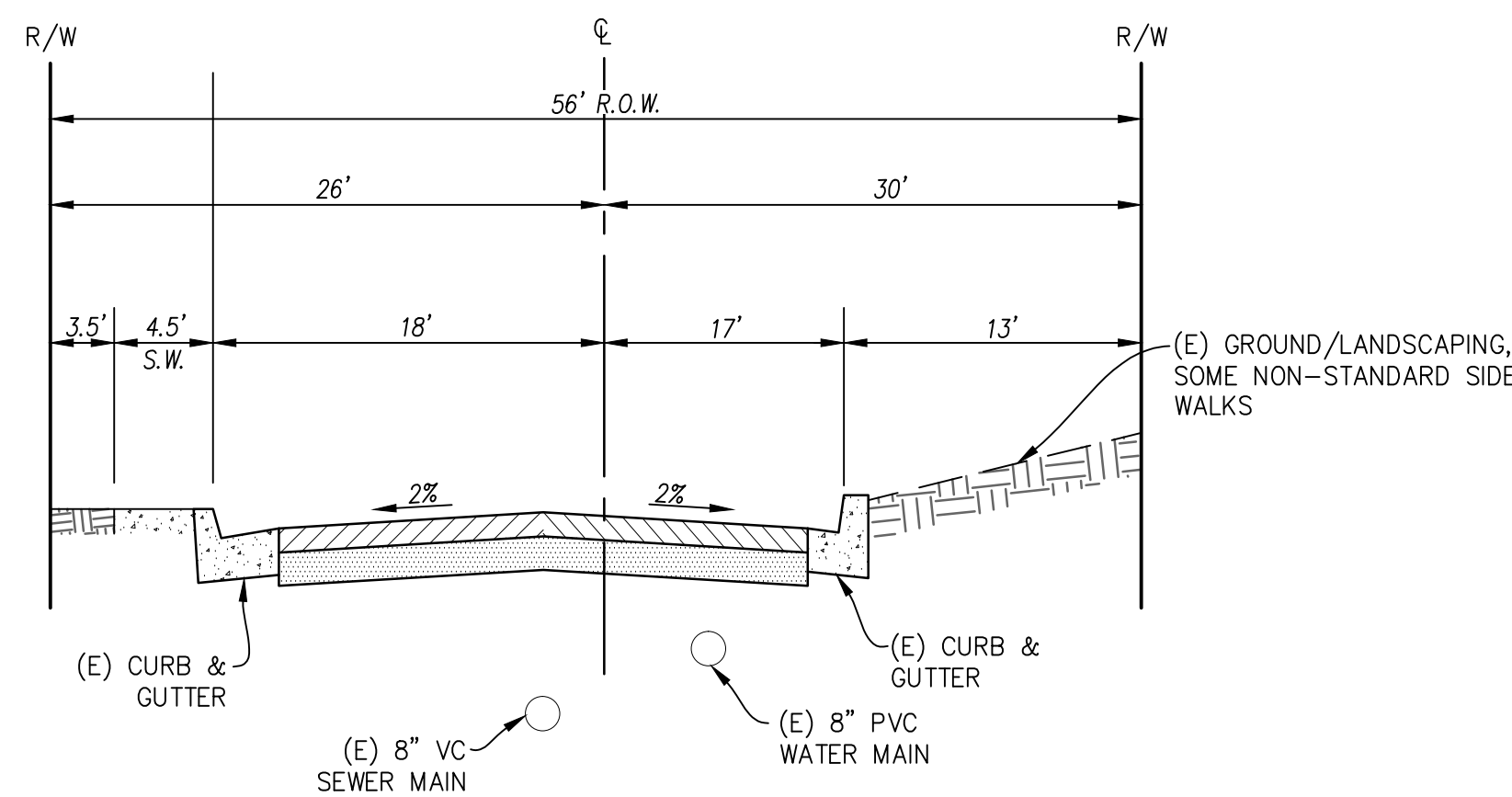
Douglas E. Logan
DOUGLAS E. LOGAN
C 39726

DATE: 12/12/24
EXPIRES: 12/31/25

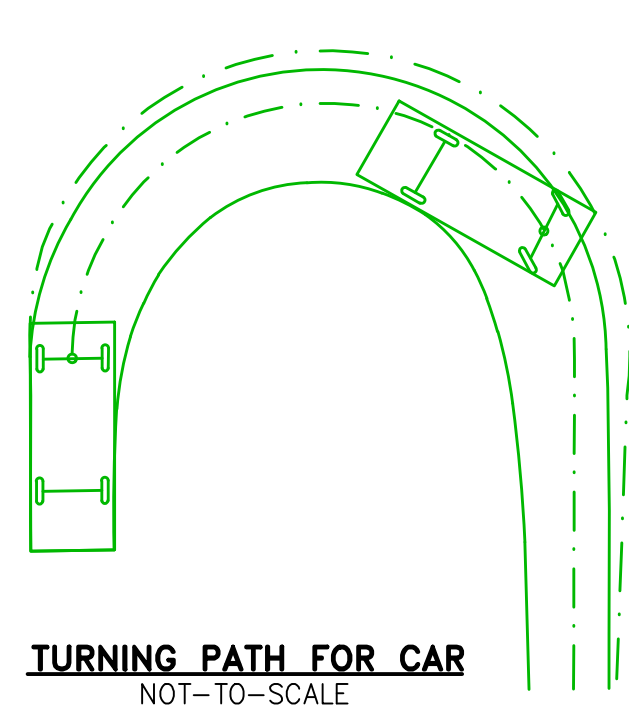


PROPOSED IMPROVEMENT PLAN

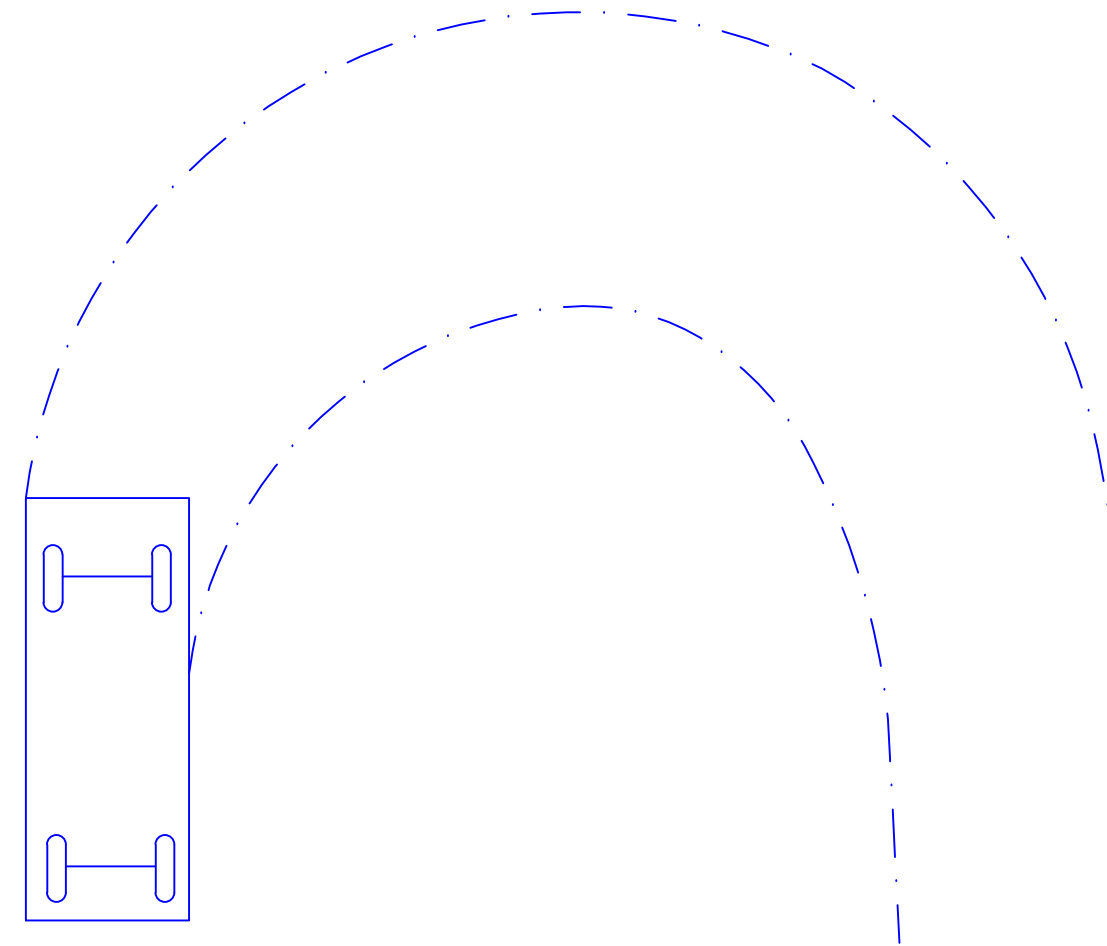
C-8



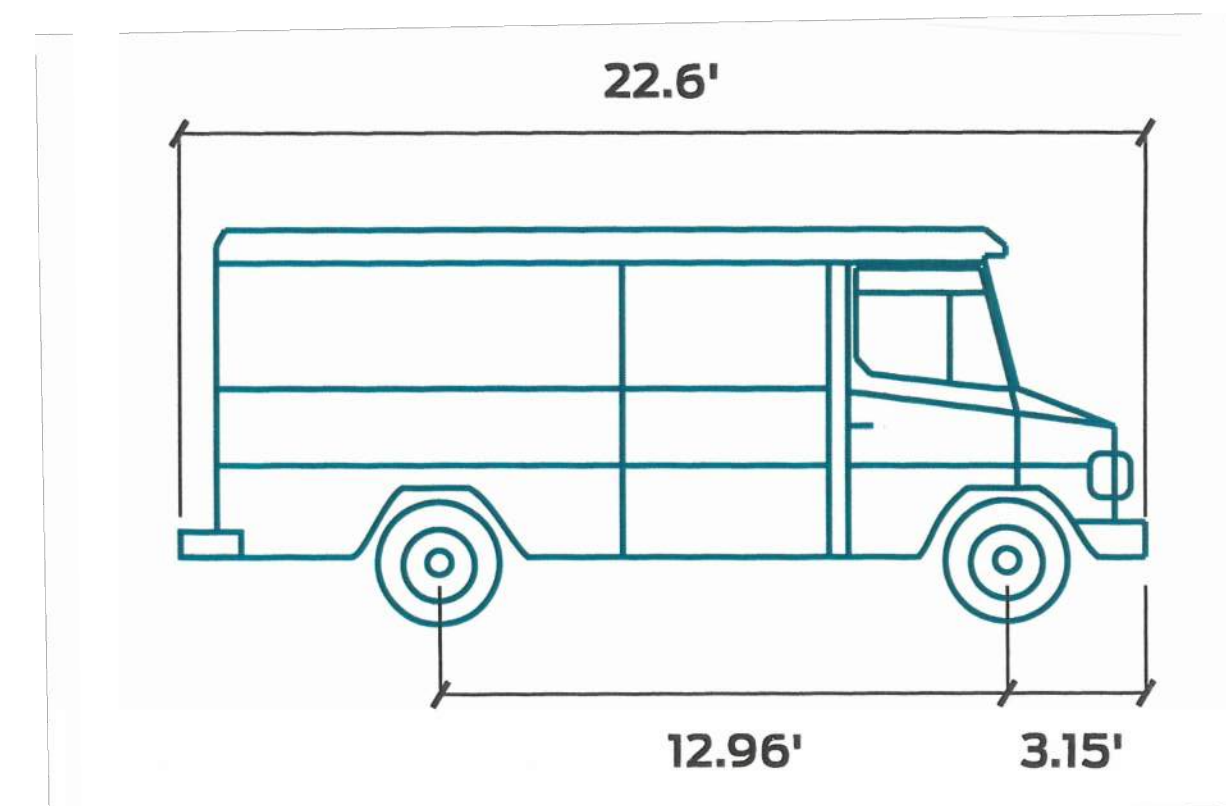
CALLE DEL CIELO SECTION
NOT-TO-SCALE



TURNING PATH FOR CAR
NOT-TO-SCALE

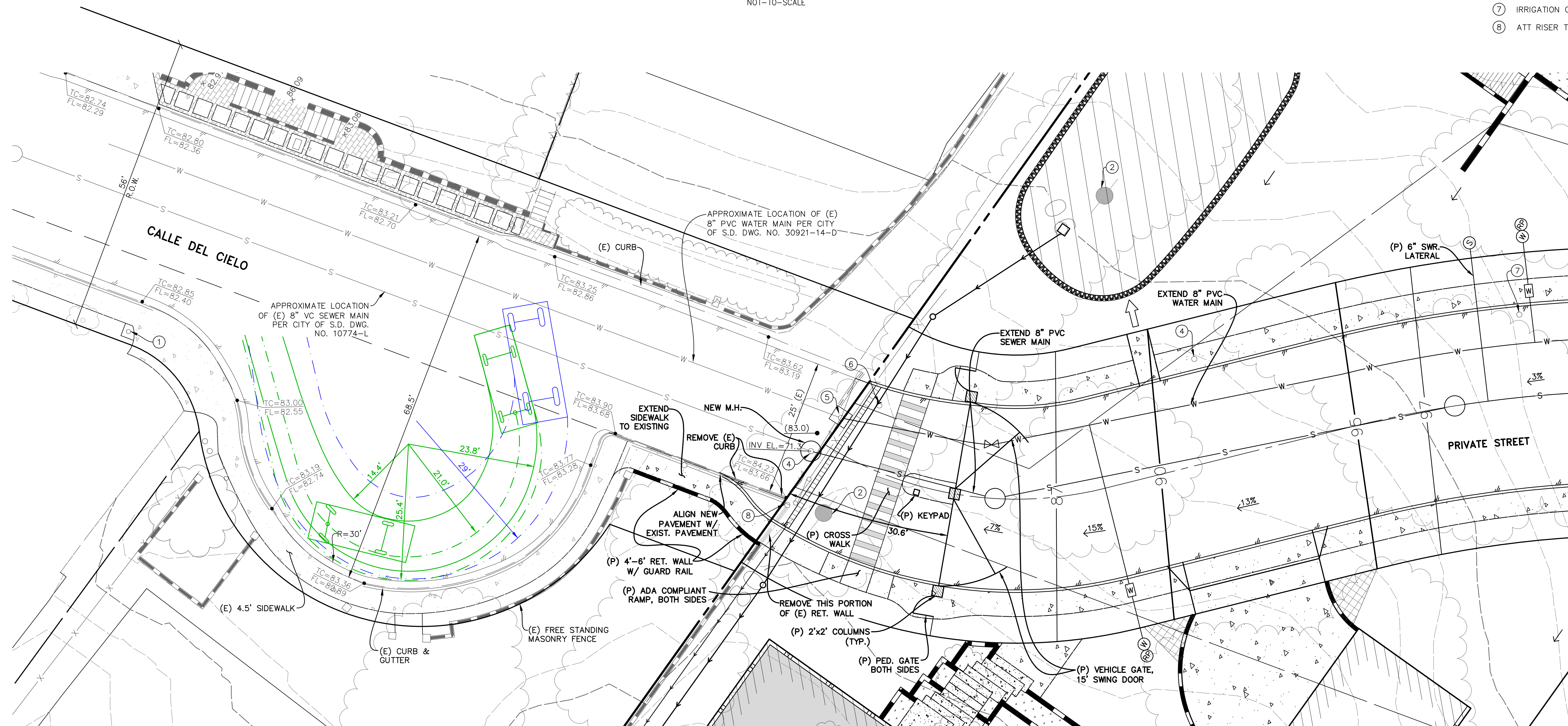


TURNING PATH FOR TYPICAL UPS/FEDEX TRUCK
NOT-TO-SCALE



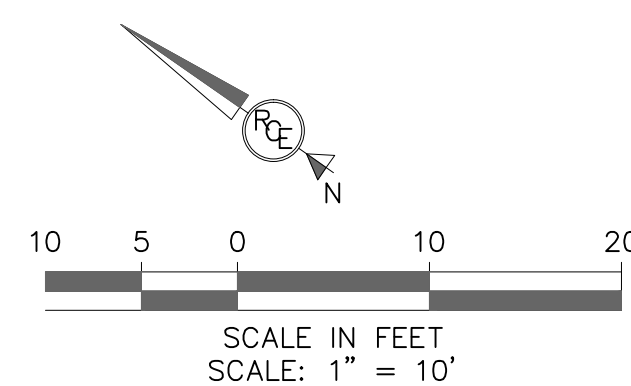
TYPICAL UPS/FEDEX TRUCK
NOT-TO-SCALE

- EXISTING LEGEND**
- BOUNDARY
 - EDGE OF PAVEMENT
 - CURB
 - CONCRETE
 - FENCE
 - WALL
 - BRUSHLINE
 - TREELINE
- ① STREET LIGHT
② POWER POLE TO BE RELOCATED
③ BUILDING
④ SEWER CLEANOUT
⑤ WATER RISER
⑥ GAS METER
⑦ IRRIGATION CONTROL VALVE
⑧ ATT RISER TO BE RELOCATED



EMRA NOTE:

PRIVATE EMRA IS REQUIRED FOR ALL PROPOSED ENCROACHMENTS WITHIN THE EASEMENT (I.E. PROPOSED TREES/LANDSCAPING/IRRIGATION WITHIN ROUNDABOUT, VEHICLE GATE, PEDESTRIAN GATE, DOORS, GATE AT ENTRY, TRENCH DRAIN ETC.)



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DATE: 12/09/24
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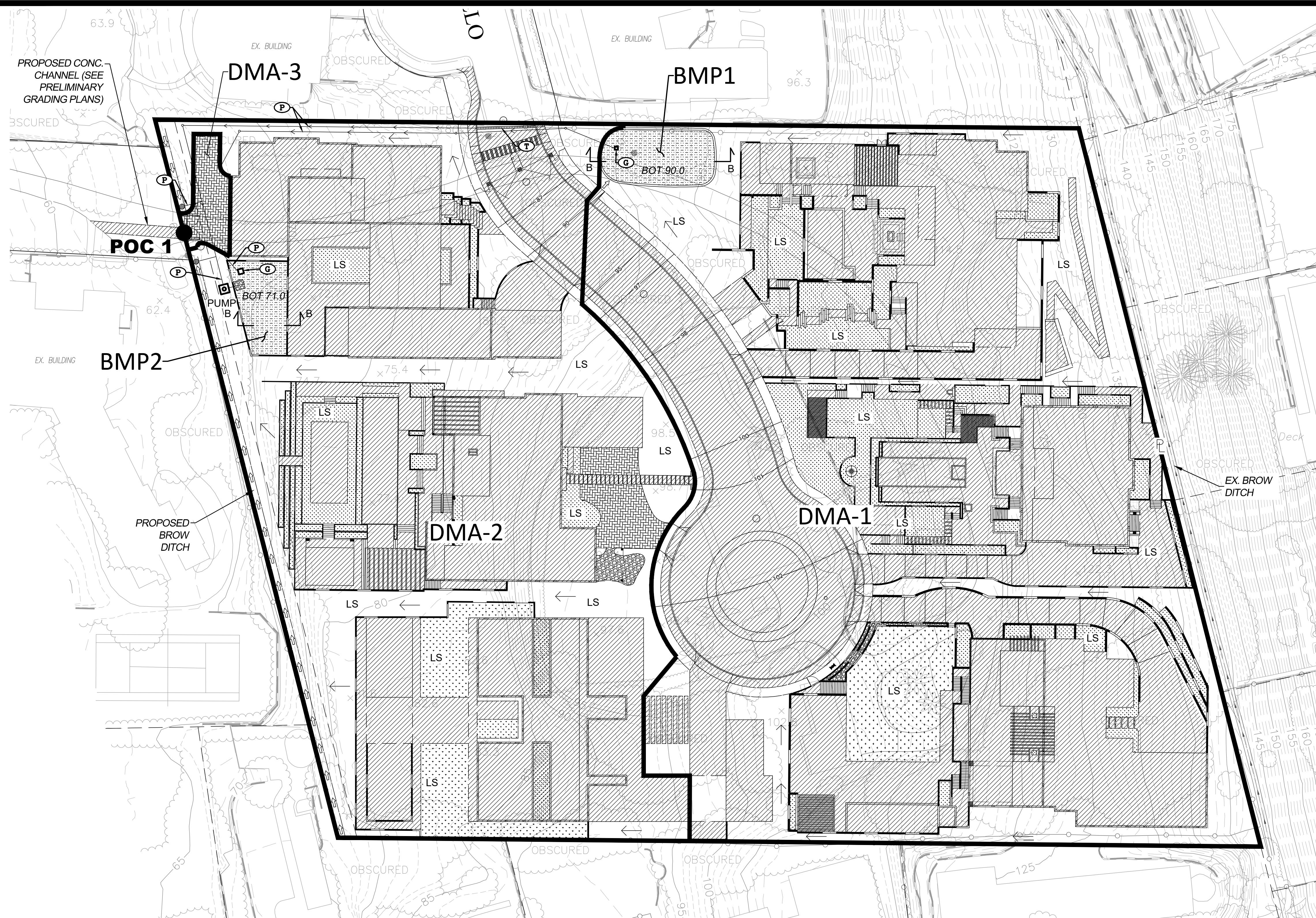


PROPOSED TURNING
RADIUS & ENTRY
GATE PLAN

C-9

PRELIMINARY — NOT FOR CONSTRUCTION

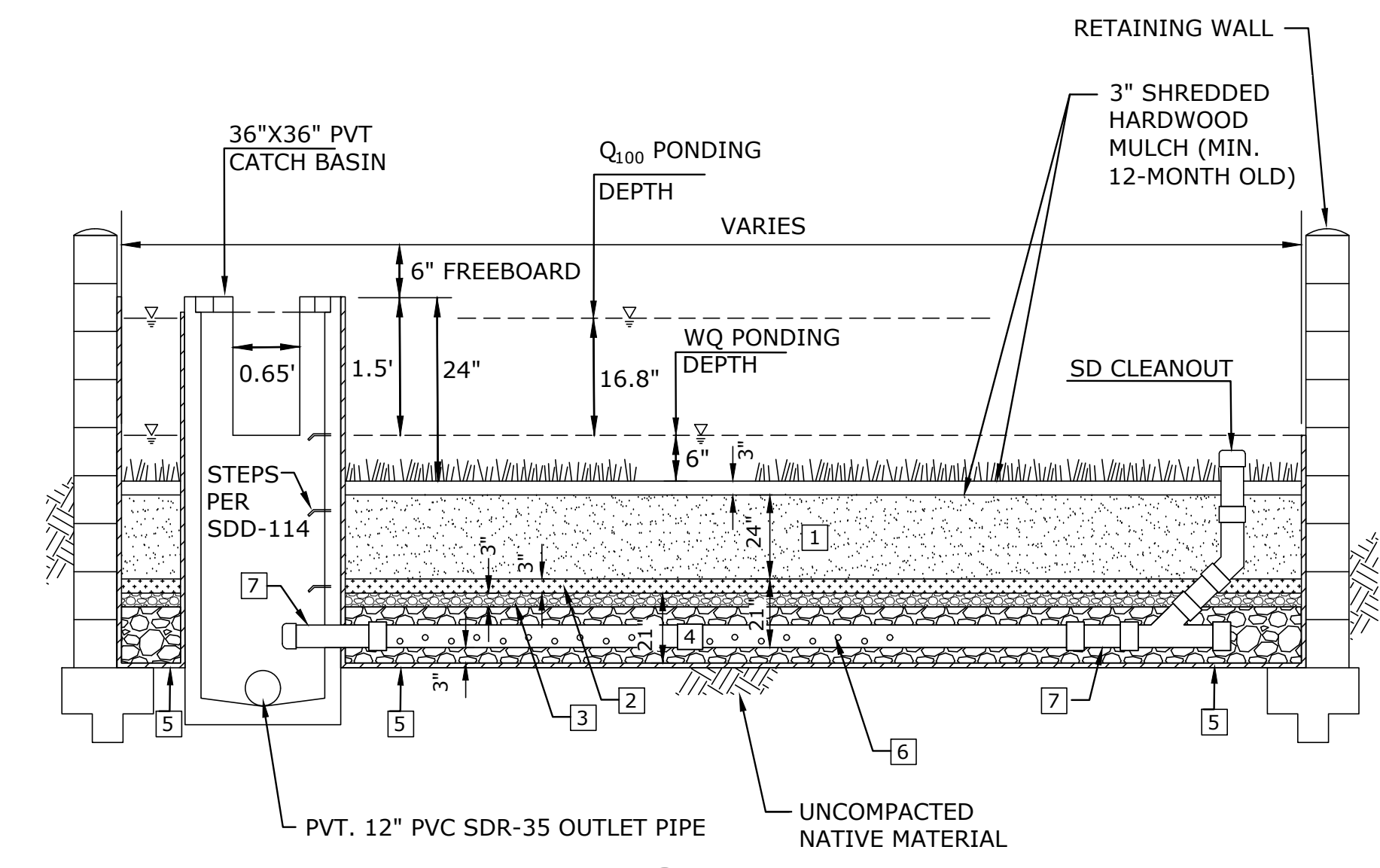
ENGINEER'S NAME: RANCHO COASTAL ENGINEERING & SURVEYING
PHONE NO. (760) 510-3152 // EMAIL: DOUG@RCESD.COM



LEGEND

- DRAINAGE MANAGEMENT AREA (DMA)
- FLOW DIRECTION
- BIO-FILTRATION FACILITY
- STORM DRAIN COLLECTOR
- 36" X 36" GRATED INLET
- 12" X 12" TRENCH (NDS OR SIMILAR)
- POC 1** POINT OF COMPLIANCE
- NEW IMPERVIOUS

- NOTES:**
1. THE UNDERLYING SOIL TYPE GROUPS IS A & C FOR THE ENTIRE PROPERTY AND SURROUNDING PARCELS
 2. THE APPROXIMATE DEPTH TO GROUND WATER IS EXPECTED TO BE MORE THAN 20 FEET
 3. THERE ARE NO CRITICAL COARSE SEDIMENT YIELD AREAS
 4. THE SITE DOES NOT CONTAIN ANY EXISTING NATURAL HYDROLOGIC FEATURES. (WATERCOURSES, SEEPS, SPRINGS, WETLANDS)

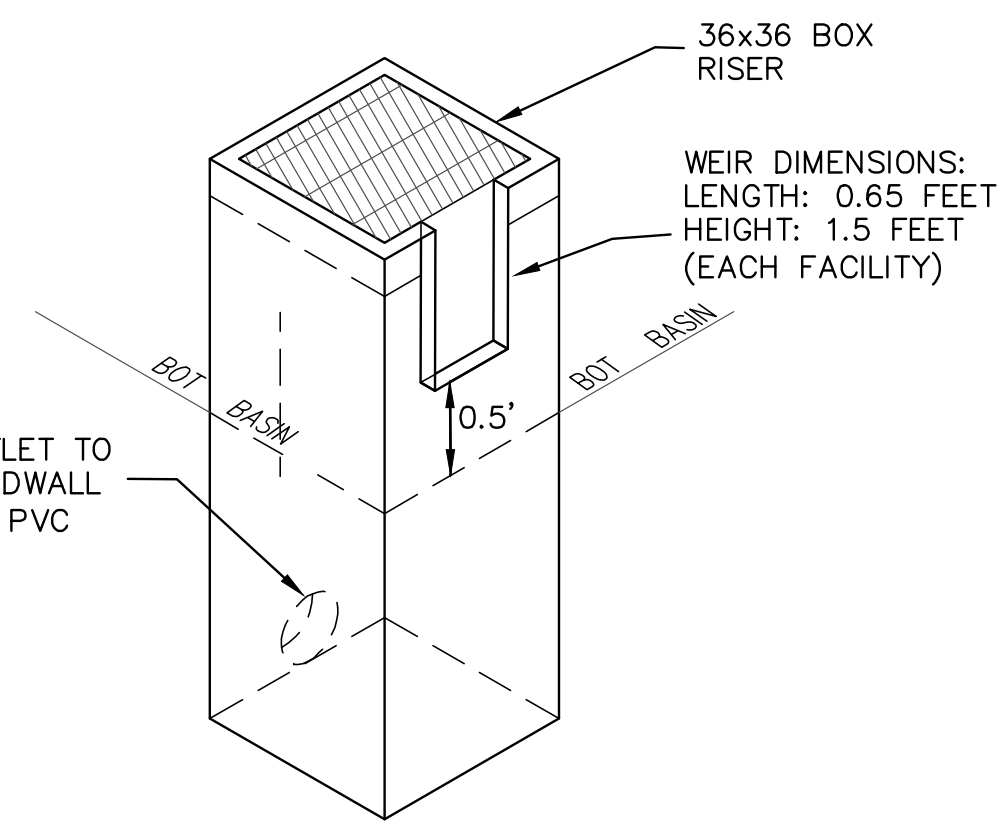


B SECTION
A BIO-FILTRATION FACILITY (each)
NOT TO SCALE

BSM MIXTURE ²		
BMP COMPOSITION	ASTM C33 SAND	15% - 30% COMPOST ¹
VOLUME	70% - 85%	

1. ORGANIC MATERIAL CONTENT SHALL BE 35% - 75% BY DRY WEIGHT.
2. FOR BSM SPECIFICATIONS, SEE APPENDIX F.3 OF THE CITY OF SAN DIEGO 2018 STORM WATER STANDARDS.

- KEY NOTES**
- 1 BIORETENTION SOIL MEDIA (BSM) (5-INCH/HR MIN. PERCOLATION RATE) PER BSM MIXTURE RIGHT
 - 2 3" CLEAN & WASHED ASTM 33 FINE AGGREGATE SAND
 - 3 3" LAYER OF ASTM 8 STONE
 - 4 ASTM 57 OPEN GRADED STONE (3/4" WASHED CRUSHED ROCK)
 - 5 IMPERMEABLE LINER (30 MIL PVC GEOMEMBRANE BY EPI OR APPROVED EQUAL) PER MANUFACTURER'S SPECIFICATIONS
 - 6 PVT. 8" PVC PERFORATED PIPE @ 0.5% SLOPE.
 - 7 PVT. 8" PVC SDR-35 @ 0.5% SLOPE.

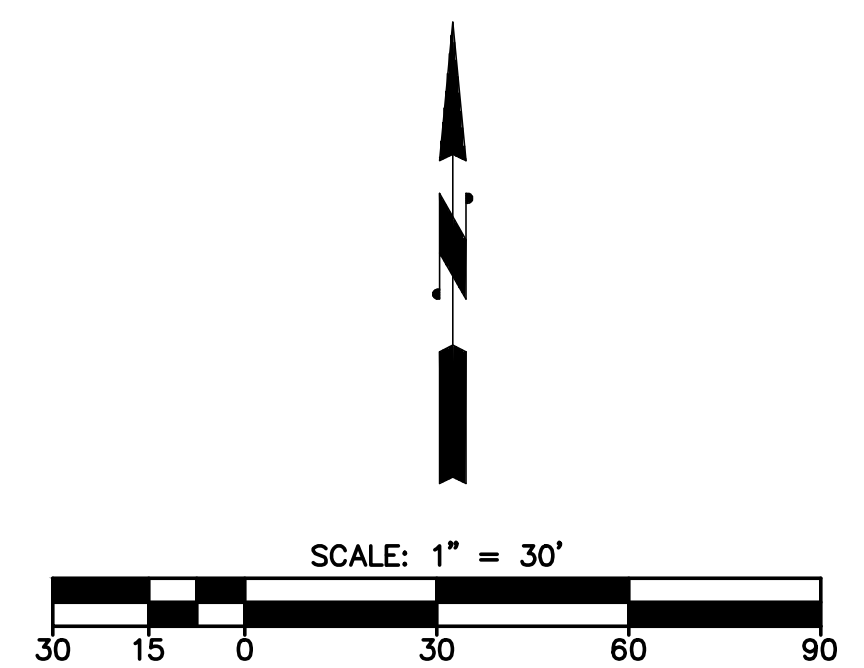


B BIO-FILTRATION OUTLET DETAIL
NOT TO SCALE

BMP INFORMATION						
BMP	BMP SIZE (SF)	AMENDED SOIL (IN)	GRAVEL (IN)	UNDERDRAIN OFFSET (IN)	RISER DEPTH (IN)	TOTAL SURFACE DEPTH (IN)
1	2,190	24	21	3	6	24
2	1,410	24	21	3	6	24

DMA AREA SUMMARY							
DMA ID	DMA SURFACE TYPE	DMA TOTAL AREA (SF)	TOTAL IMPERVIOUS AREA	DMA TYPE 1	STRUCTURAL BMP ID	PROPOSED STRUCTURAL BMP TYPE 2	STRUCTURAL BMP SIZE 3 (SF)
1	LS /ROOF TOP/ROAD/CONCRETE	110,743	67,398	DRAINS TO BMP	BMP1	BIOFILTRATION BASIN	1,970
2	LS /ROOF TOP/ROAD/CONCRETE	82,056	47,822	DRAINS TO BMP	BMP2	BIOFILTRATION BASIN	1,410
3	PERM. PAVERS	1,224	NA	SELF MIT.	NA	NA	NA

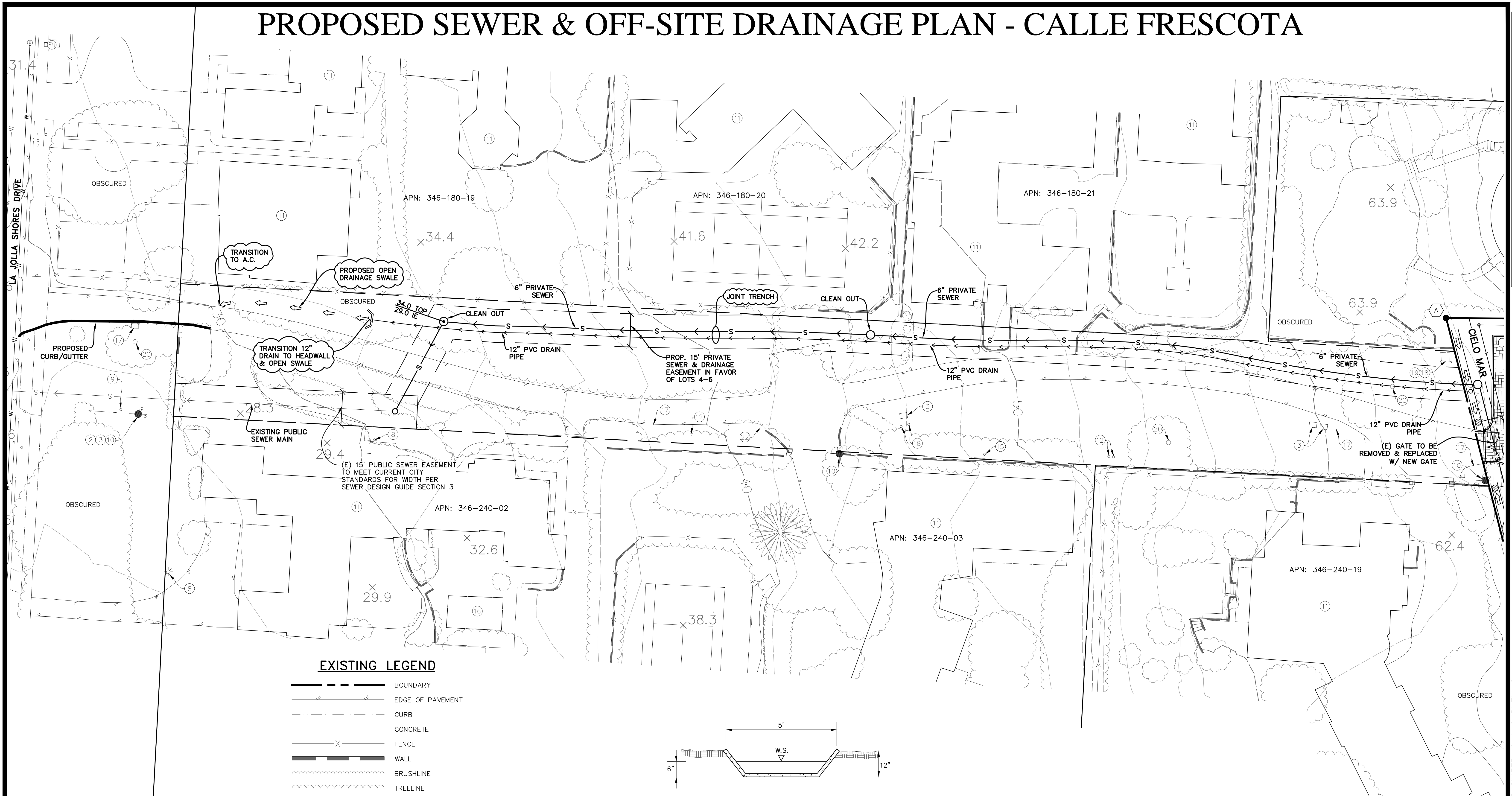
1 DMA Type can only be: 1) Drains to BMP, 2) Self-mitigating, 3) De Minimis, or 4) Self-retaining
2 BMP Type must be consistent with terminology in the BMP Design Manual and/or CAGQA Fact Sheets
3 Structural BMP Size is typically presented as an area (sq. ft.) or size (e.g., proprietary device)



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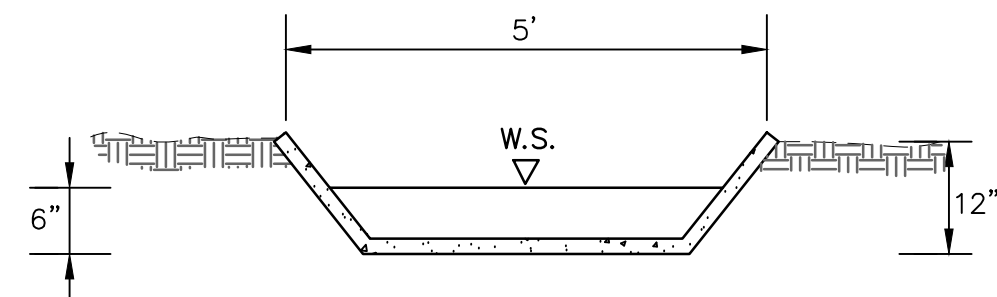
PROPOSED SEWER & OFF-SITE DRAINAGE PLAN - CALLE FRESCOTA



EXISTING LEGEND

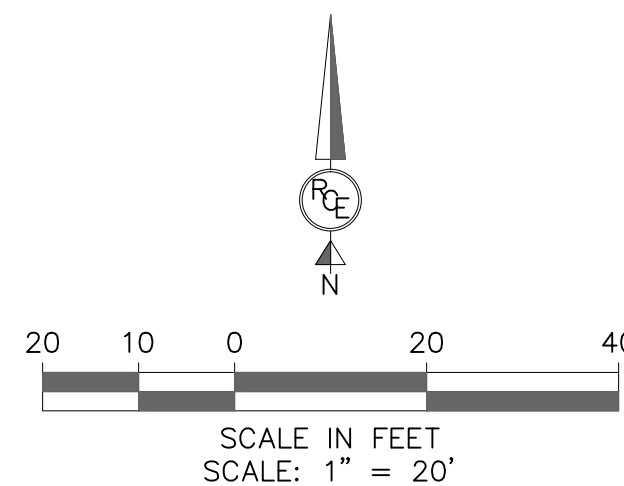
- BOUNDARY
- EDGE OF PAVEMENT
- CURB
- CONCRETE
- FENCE
- WALL
- BRUSHLINE
- TREELINE

- | | |
|-------------------------------|-----------------------------|
| 1 WATER METER | 12 SEWER CLEANOUT |
| 2 TELECOMMUNICATIONS PEDESTAL | 13 WATER RISER |
| 3 SDG&E PULLBOX | 14 GAS METER |
| 4 SEWER MANHOLE | 15 IRRIGATION CONTROL VALVE |
| 5 STREET LIGHT PULLBOX | 16 POOL |
| 6 WATER VALVE | 17 AT&T PULLBOX |
| 7 FIRE HYDRANT | 18 BOLLARD |
| 8 STREET LIGHT POST | 19 UTILITY PAD |
| 9 TIME WARNER CHANNEL VAULT | 20 TREE TRUNK |
| 10 POWER POLE | 21 GATE CODE PAD |
| 11 BUILDING | 22 MAILBOX |



PROPOSED DECORATIVE P.C.C. SWALE

NOT TO SCALE



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DOUGLAS E. LOGAN
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DATE: 12/09/24
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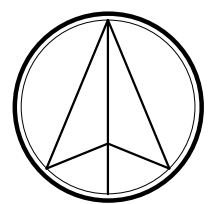
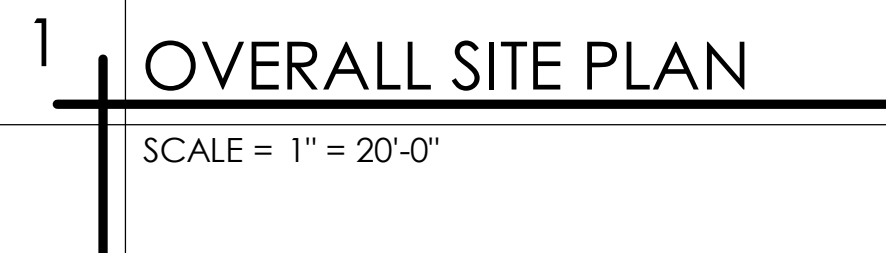
PROPOSED SEWER &
DRAINAGE PLAN

C-12

CALLE FRESCOTA

PRELIMINARY — NOT FOR CONSTRUCTION

ENGINEER'S NAME: RANCHO COASTAL ENGINEERING & SURVEYING
PHONE NO. (760) 510-3152 // EMAIL: DOUG@RCESD.COM



JOB #:

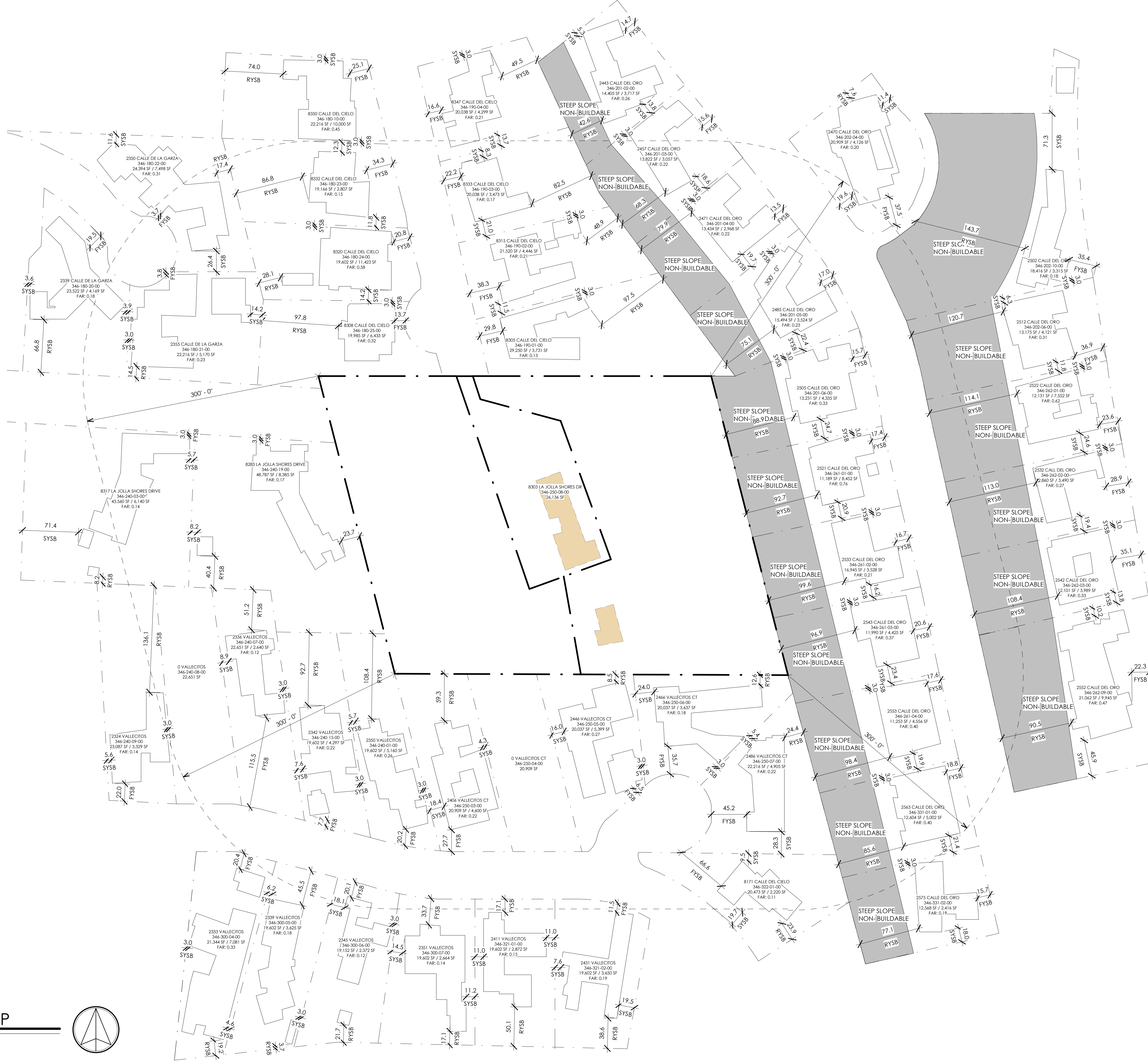
CIELO MAR

8303 LA JOLLA SHORES DR, SAN DIEGO, CA 32037

DATE:	ISSUE:
02/24/2023	CDP SUBMITTAL
10/03/2023	2ND CDP SUBMITTAL
03/18/2024	3RD CDP SUBMITTAL
08/16/2024	4TH CDP SUBMITTAL
12/13/2024	5TH CDP SUBMITTAL

A000.1

LA JOLLA SHORES
300' RADIUS SITE
PLAN
12/13/2024



1 300' RADIUS MAP
SCALE = 1" = 60'-0"

CALLE DEL CIELO



CALLE DE LA GARZA



CALLE FRESCOTA



VALLECITOS



CALLE DEL ORO



SURROUNDING PROPERTIES

PARCEL NUMBER	SITE ADDRESS	LOT SIZE	FRONT SETBACK	SIDE SETBACK 1	SIDE SETBACK 2	SIDE SETBACK 3	REAR SETBACK	GFA	FAR
346-261-01-00	2521 CALLE DEL ORO	11,189	17.6	20.9	3		92.7	8,452	0.76
346-261-04-00	2531 CALLE DEL ORO	11,233	17.6	3	19.9		98.4	4,556	0.40
346-261-03-00	2543 CALLE DEL ORO	11,990	20.6	23.4	3		96.9	4,425	0.37
346-262-03-00	2542 CALLE DEL ORO	12,401	35.1	3	13.8		108.4	3,989	0.33
346-262-01-00	2522 CALLE DEL ORO	12,131	23.6	3	24.6		114.1	7,552	0.62
346-331-02-00	2575 CALLE DEL ORO	12,568	15.7	3	18		77.1	2,416	0.19
346-331-01-00	2563 CALLE DEL ORO	12,604	18.8	3	21.4		85.6	5,902	0.40
346-262-02-00	2532 CALLE DEL ORO	12,860	28.9	3	19.4		113	3,490	0.27
346-202-06-00	2512 CALLE DEL ORO	13,179	36.9	6.3	11.8		120.7	4,121	0.31
346-201-06-00	2505 CALLE DEL ORO	13,231	15.7	3	24.7		88.9	4,335	0.33
346-201-04-00	2471 CALLE DEL ORO	13,434	13.5	19.7	3		79.9	2,968	0.22
346-201-03-00	2457 CALLE DEL ORO	13,622	18.6	18.6	3		68.3	3,057	0.22
346-201-02-00	2443 CALLE DEL ORO	14,405	14.7	13.8	5.3		42.6	3,717	0.26
346-201-05-00	2485 CALLE DEL ORO	15,484	17	22.4	3		75.1	3,381	0.22
346-261-02-00	2533 CALLE DEL ORO	16,945	16.7	3	16.2		99.8	3,528	0.21
346-202-10-00	2502 CALLE DEL ORO	18,416	35.4	71.3	3		143.7	3,315	0.18
346-300-06-00	2345 VALLECITOS	19,132	20.1	3	18.1		21.7	2,372	0.12
346-240-15-00	2342 VALLECITOS	19,602	7.7	3	7.6		92.7	4,297	0.22
346-240-11-00	2350 VALLECITOS	19,602	20.2	6.7	3		108.4	5,140	0.26
346-300-05-00	2339 VALLECITOS	19,602	45.5	6.2	3		3.7	3,625	0.18
346-300-07-00	2351 VALLECITOS	19,602	33.7	14.5	11.2		17.1	2,664	0.14
346-321-01-00	2411 VALLECITOS	19,602	17.1	11	5.1		50.1	2,872	0.15
346-321-02-00	2431 VALLECITOS	19,602	13.5	19.5	7.6		38.6	3,650	0.19
346-180-15-00	8308 CALLE DEL CIELO	19,985	13.7	3	16.5		97.8	6,439	0.32
346-250-04-00	2446 VALLECITOS CT	20,037	35.7	24			12.6	7,498	0.37
346-190-03-00	8333 CALLE DEL CIELO	20,038	22.2	8.3	21		82.5	6,930	0.35
346-190-02-00	8315 CALLE DEL CIELO	20,038	38.3	3	11.5		48.9	5,171	0.26
346-190-04-00	8347 CALLE DEL CIELO	20,038	16.6	3	13.7		49.5	4,299	0.21
346-250-06-00	2466 VALLECITOS CT	20,473	6.6	16			4.5	3,637	0.18
346-322-01-00	8171 CALLE DEL CIELO	20,473	66.6	9.5	19.7		23.9	2,220	0.11
TBD	CIELO MAR LOT 2	20,742	79.8	10.9	22.4		10	9,250	0.45
346-250-03-00	2400 VALLECITOS	20,909	21.7	18.4	4.1		59.3	4,541	0.22
346-202-04-00	2470 CALLE DEL ORO	20,909	37.5	19.6	11.4		7.6	4,126	0.20
346-180-14-00	8320 CALLE DEL CIELO	21,366	20.8	3	14.2		181.1	11,423	0.54
346-180-23-00	8332 CALLE DEL CIELO	21,344	34.3	12.3	11.8		86.8	2,807	0.13
346-300-04-00	2333 VALLECITOS	21,344	20.4	3	4.6		19.2	7,081	0.33
346-262-09-00	2552 CALLE DEL ORO	21,402	22.3	10.3	45.9		90.55	9,945	0.46
346-250-07-00	2486 VALLECITOS CT	22,216	43.2	5.4	28.3		24.4	4,905	0.22
346-180-11-00	2355 CALLE DE LA GARZA	22,216	3.8	14.3			14.5	5,052	0.23
346-180-10-00	8350 CALLE DEL CIELO	22,216	25.1	3	3		74	10,000	0.45
346-240-07-00	2336 VALLECITOS	22,651	135.5	8.9	3		51.2	2,640	0.12
346-240-09-00	2324 VALLECITOS	23,087	27	5.6			136.1	3,329	0.14
346-180-20-00	2339 CALLE DE LA GARZA	23,322	19.5	3.9	3.6		66.8	4,169	0.18
346-180-13-00	2350 CALLE DE LA GARZA	24,394	27	16.4	11.6		17.4	2,587	0.11
TBD	CIELO MAR LOT 6	25,935	10	12.6	10.1		57	13,264	0.51
TBD	CIELO MAR LOT 5	27,664	8	8.1	7.8		16.5	12,612	0.46
346-190-01-00	8305 CALLE DEL CIELO	30,056	94.1	4.7	16.3		14.8	9,091	0.30
TBD	CIELO MAR LOT 4	30,234	6.5	8.1	9.4	5.2	27.4	11,457	0.38
TBD	CIELO MAR LOT 3	31,488	15.5	28	10	89.9	15.4	14,322	0.45
TBD	CIELO MAR LOT 1	33,724	59.9	6.7	20.4		29.5	8,870	0.26
346-240-03-00	8317 LA JOLLA SHORES DR	43,660	3	5.7	71.4		8.2	6,140	0.14
346-240-18-00	8203 LA JOLLA SHORES DR	46,797	3	8.2	29.7		40.4	8,345	0.17
TOTAL		1,073,130	1412.2	561.4	700.2	95.1	3056.15	295,128	14.80
AVERAGE		20,637	22.16	10.80	13.47	47.55	58.77	5,676	0.28



WILL & FOTSCH ARCHITECTS

1298 PROSPECT STREET, SUITE 2S, LA JOLLA, CA 92037 - (o) 858-224-2486

JOB #:

CIELO MAR

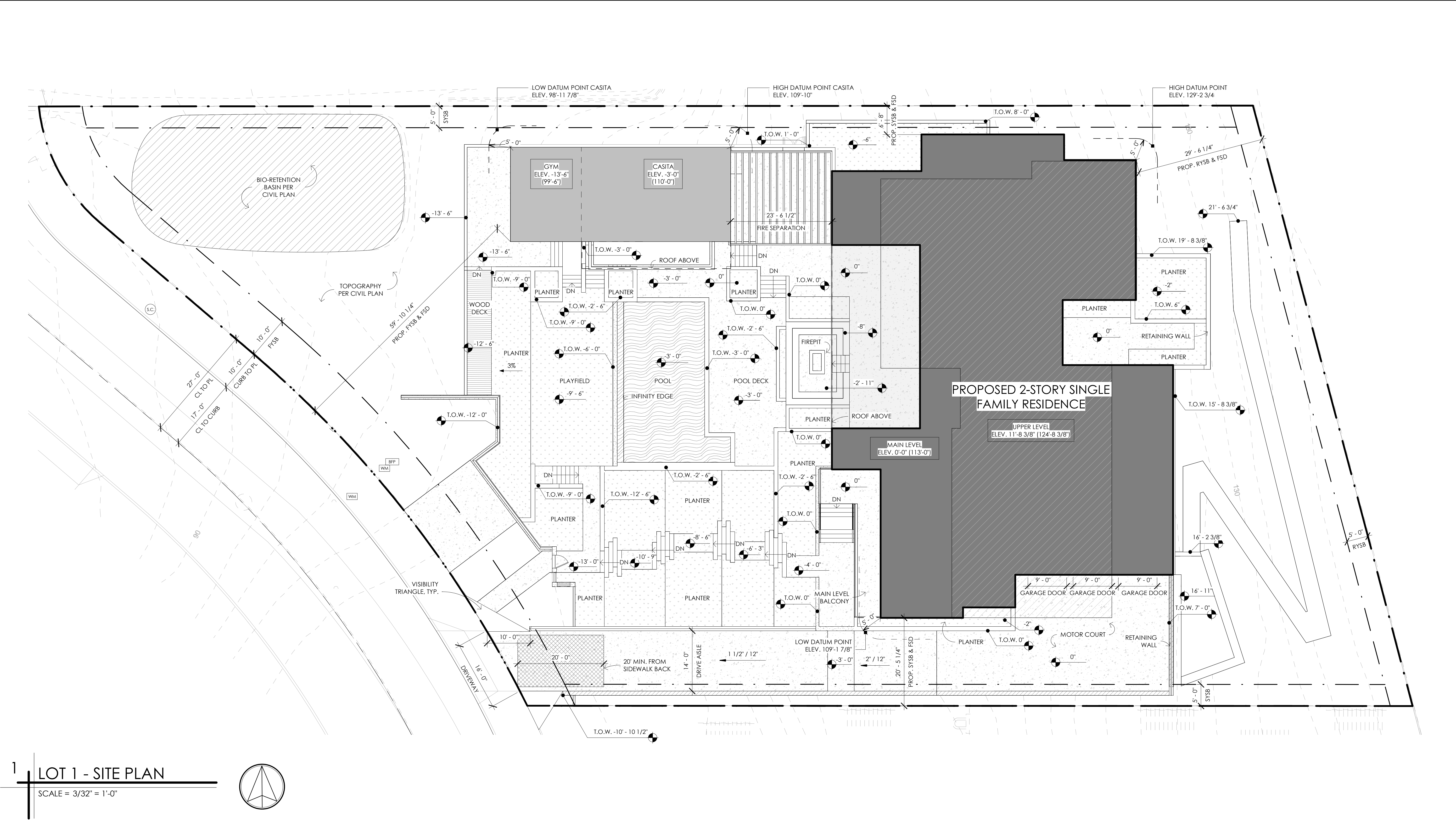
8303 LA JOLLA SHORES DR, SAN DIEGO, CA 32037

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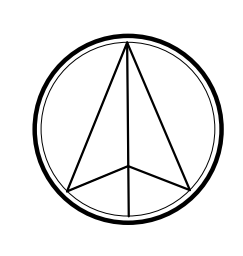
COMMUNITY CHARACTER EXHIBIT

12/13/2024



1 LOT 1 - SITE PLAN

SCALE = 3/32" = 1'-0"

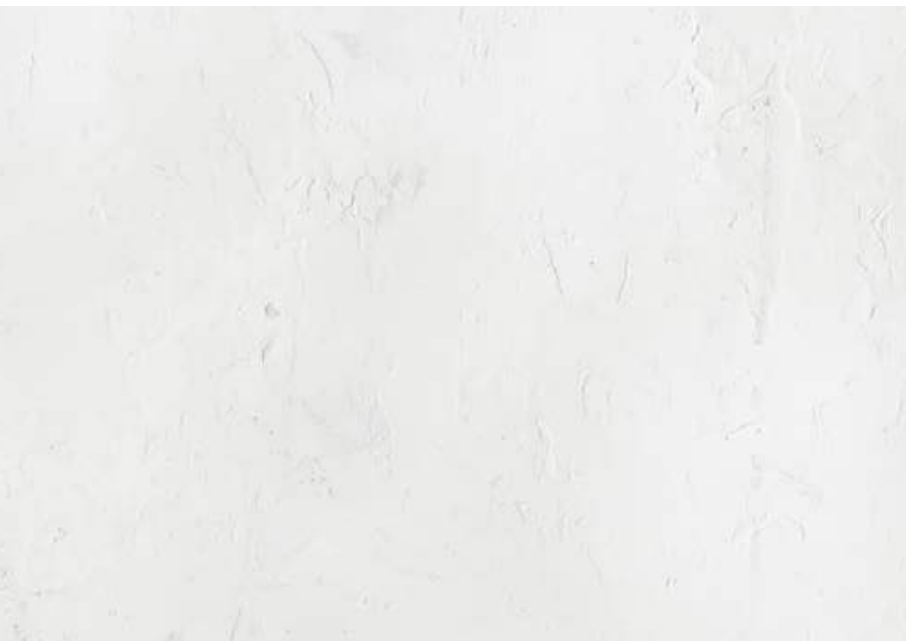


SITE LEGEND			SITE NOTES	
BFP	BACKFLOW PREVENTER, REFER TO G002 FOR SIZE TYPE: (F) = FIRE (I); IRRIGATION; (D) DOMESTIC		HATCH INDICATES MAIN LEVEL RESIDENCE FOOTPRINT	<ol style="list-style-type: none">THE EXISTING WATER AND SEWER SERVICES WILL REMAIN.PER FHPS POLICY P-00-6 (UFC 901.4.4) BUILDING ADDRESS NUMBERS TO BE VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY.THIS PROJECT MUST COMPLY WITH THE MUNICIPAL CODE REQUIREMENTS FOR MAXIMUM HEIGHT OF THE STRUCTURE NOT TO EXCEED 30 FEET (SDMC, SECTIONS 131.0444 AND 132.0505.) HIGHEST POINT ON ROOF EQUIPMENT, PIPE, VENT, ANTENNA OR OTHER PROJECTION SHALL NOT EXCEED 30 FEET ABOVE GRADE.THE HIGHEST POINT OF ANY ROOF, EQUIPMENT, OR ANY VENT PIPE, ANTENNA, OR OTHER PROJECTION SHALL NOT EXCEED 30'-0" ABOVE GRADE.ALL PROPOSED SITE LIGHTING SHALL BE SHIELDED SUCH THAT THE LIGHT SOURCE SHALL BE CONCEALED FROM PUBLIC VIEW.REFER TO SEPARATE GRADING PLAN FOR REQUIRED EMRA, PERMANENT BMPS, AND WCPC.WATER METERS FOR COMBINED DOMESTIC WATER AND FIRE SPRINKLER SYSTEMS SHALL NOT BE INSTALLED UNTIL THE FIRE SPRINKLER SYSTEM HAS BEEN SUBMITTED AND APPROVED BY THE BUILDING OFFICIAL.AUTOMATIC IRRIGATION SYSTEM CONTROLLERS FOR LANDSCAPING PROVIDED BY THE BUILDER AND INSTALLED AT THE TIME OF FINAL INSPECTION SHALL COMPLY WITH THE FOLLOWING:<ol style="list-style-type: none">CONTROLLERS SHALL BE WEATHER OR SOIL MOISTURE-BASED CONTROLLERS THAT AUTOMATICALLY ADJUST IRRIGATION IN RESPONSE TO CHANGES IN PLANTS' NEEDS AS WEATHER CONDITIONS CHANGE.WEATHER-BASED CONTROLLERS WITHOUT INTEGRAL RAIN SENSORS OR COMMUNICATION SYSTEMS THAT ACCOUNT FOR LOCAL RAINFALL SHALL HAVE A SEPARATE WIRED OR WIRELESS RAIN SENSOR WHICH CONNECTS OR COMMUNICATES WITH THE CONTROLLER(S). SOIL MOISTURE-BASED CONTROLLERS ARE NOT REQUIRED TO HAVE RAIN SENSOR INPUT.
WM	WATER METER, REFER TO SHEET G002 FOR SIZE TYPE: (F) = FIRE (I); IRRIGATION; (D) DOMESTIC		HATCH INDICATES UPPER LEVEL RESIDENCE FOOTPRINT	
	FIRE HYDRANT LOCATED 6' FROM FACE OF CURB W/ BLUE REFLECTIVE PAVEMENT MARKER, CFC 507 (PROVIDE 3'-0" DIA. MIN. CLEAR AREA, CFC 507.5.5)		HATCH INDICATES PROPOSED CASITA	
SC	SEWER CLEANOUT		HATCH INDICATES HARDSCAPE AREA	
			LANDSCAPE PER LANDSCAPE PLANS	



MATERIAL LEGEND

WALL TEXTURE 1



COLOR: WHITE
FINISH/TEXTURE: STUCCO

WALL TEXTURE 2



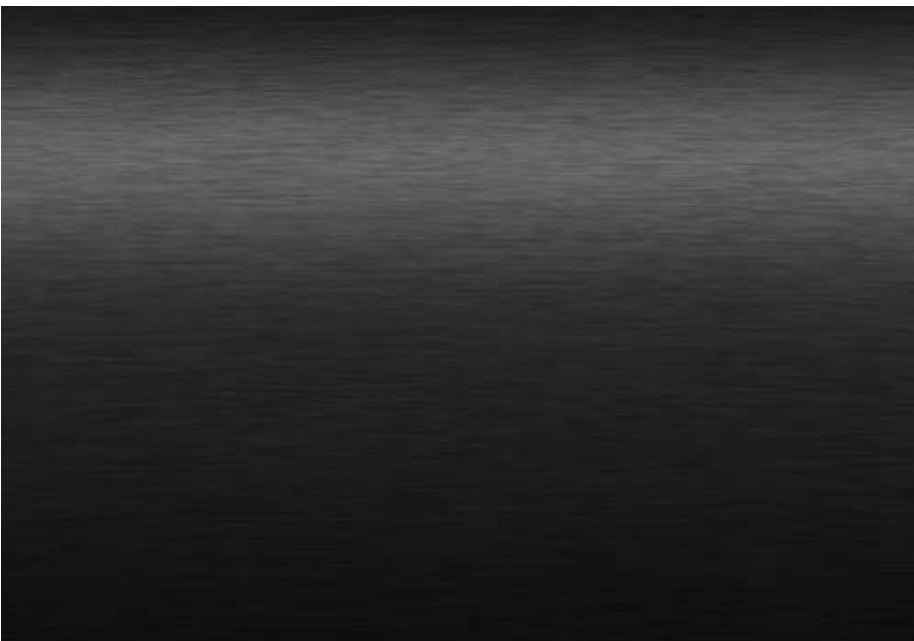
COLOR: BEIGE
FINISH/TEXTURE: STONE

TRIM/AWNINGS



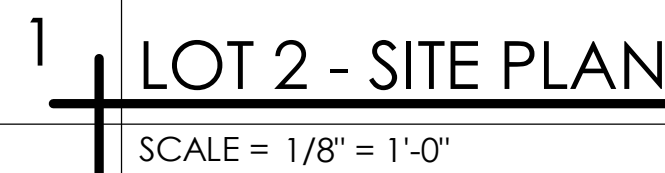
COLOR: WOOD
FINISH/TEXTURE: WOOD




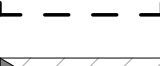



DOORS/WINDOWS



COLOR: BLACK
FINISH/TEXTURE: OPAQUE METAL

LOT 1 FEATURES A TROPICAL MEXICAN MODERN STYLE WITH WHITE STUCCO AND STONE, COMPLEMENTED BY FLAT ROOFS AND AWNINGS. THIS DESIGN INTRODUCES A REFRESHING YET COHESIVE ELEMENT TO THE NEIGHBORHOOD, ALIGNING WITH THE COMMUNITY'S EXISTING AESTHETIC. THE HOME'S USE OF MATERIALS AND ARCHITECTURAL FEATURES INTEGRATES SMOOTHLY WITH SURROUNDING STRUCTURES, ENHANCING THE NEIGHBORHOOD'S CHARM AND FOSTERING A HARMONIOUS VISUAL TRANSITION BETWEEN NEW AND EXISTING HOMES.

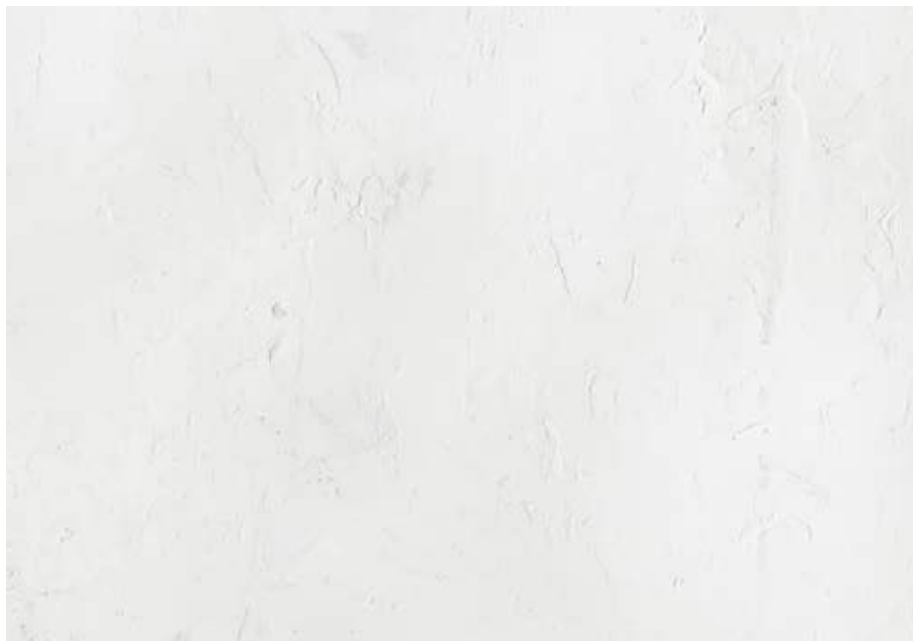


SITE LEGEND		SITE NOTES	
	HATCH INDICATES PROPOSED MAIN LEVEL RESIDENCE	1.	THE EXISTING WATER AND SEWER SERVICES WILL REMAIN.
	LINE INDICATES LOWER LEVEL RESIDENCE	2.	PER FHPS POLICY P-00-6 (UFC 901.4.4) BUILDING ADDRESS NUMBERS TO BE VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY.
	HATCH INDICATES UPPER LEVEL RESIDENCE	3.	THIS PROJECT MUST COMPLY WITH WITH THE MUNICIPAL CODE REQUIREMENTS FOR MAXIMUM HEIGHT OF THE STRUCTURE NOT TO EXCEED 30 FEET (SDMC, SECTIONS 131.0444 AND 132.0505.) HIGHEST POINT ON ROOF EQUIPMENT, PIPE, VENT, ANTENNA OR OTHER PROJECTION SHALL NOT EXCEED 30 FEET ABOVE GRADE.
	HATCH INDICATES HARDSCAPE AREA	4.	THE HIGHEST POINT OF ANY ROOF, EQUIPMENT, OR ANY VENT PIPE, ANTENNA, OR OTHER PROJECTION SHALL NOT EXCEED 30'-0" ABOVE GRADE.
	HATCH INDICATES COVERED AREA	5.	ALL PROPOSED SITE LIGHTING SHALL BE SHIELDED SUCH THAT THE LIGHT SOURCE SHALL BE CONCEALED FROM PUBLIC VIEW.
	HATCH INDICATES COVERED AREA	6.	REFER TO SEPARATE GRADING PLAN FOR REQUIRED EMVA, PERMANENT BMPS, AND WCPC.
	LANDSCAPE PER LANDSCAPE PLANS	7.	WATER METERS FOR COMBINED DOMESTIC WATER AND FIRE SPRINKLER SYSTEMS SHALL NOT BE INSTALLED UNTIL THE FIRE SPRINKLER SYSTEM HAS BEEN SUBMITTED AND APPROVED BY THE BUILDING OFFICIAL.
		8.	AUTOMATIC IRRIGATION SYSTEM CONTROLLERS FOR LANDSCAPING PROVIDED BY THE BUILDER AND INSTALLED AT THE TIME OF FINAL INSPECTION SHALL COMPLY WITH THE FOLLOWING:
		I.	CONTROLLERS SHALL BE WEATHER OR SOIL MOISTURE-BASED CONTROLLERS THAT AUTOMATICALLY ADJUST IRRIGATION IN RESPONSE TO CHANGES IN PLANTS' NEEDS AS WEATHER CONDITIONS CHANGE
		II.	WEATHER-BASED CONTROLLERS WITHOUT INTEGRAL RAIN SENSORS OR COMMUNICATION SYSTEMS THAT ACCOUNT FOR LOCAL RAINFALL SHALL HAVE A SEPARATE WIRED OR WIRELESS RAIN SENSOR WHICH CONNECTS OR COMMUNICATES WITH THE CONTROLLER(S). SOIL MOISTURE-BASED CONTROLLERS ARE NOT REQUIRED TO HAVE RAIN SENSOR INPUT.



MATERIAL LEGEND

WALL TEXTURE 1



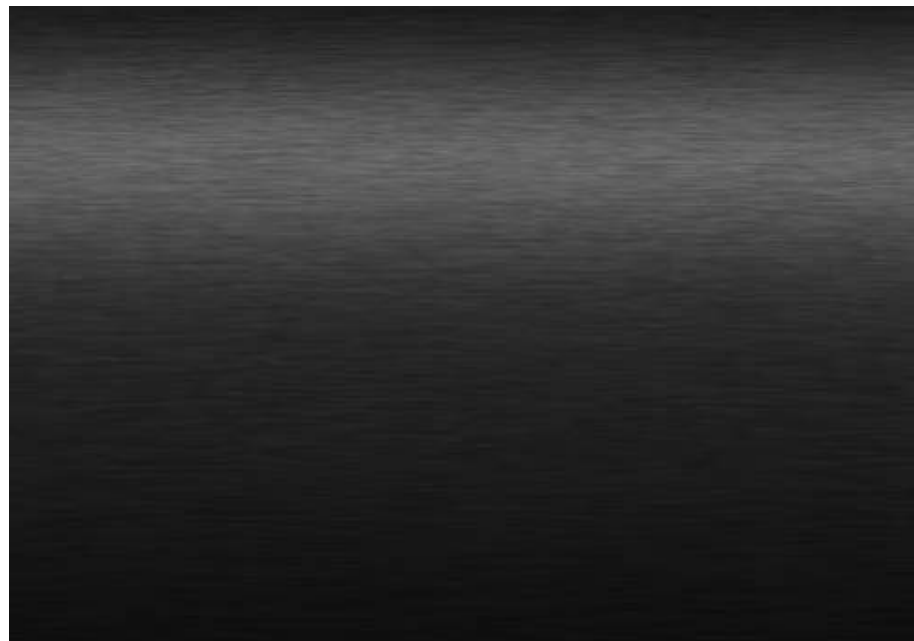
COLOR: WHITE
FINISH/TEXTURE: STUCCO

EXTERIOR FLOOR TEXTURE



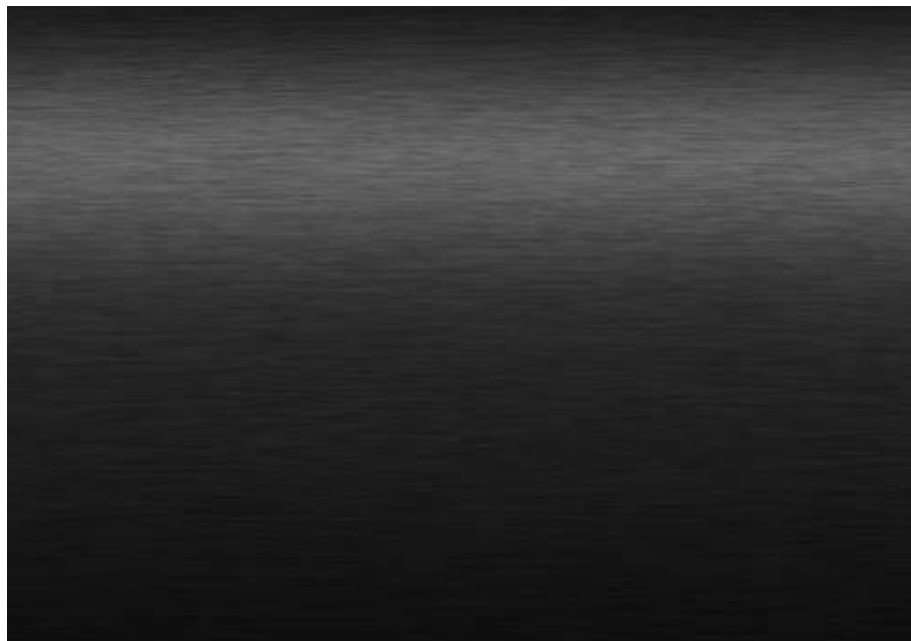
COLOR: WHITE
FINISH/TEXTURE: STONE TILE

TRIM/AWNINGS



COLOR: BLACK
FINISH/TEXTURE: OPAQUE METAL

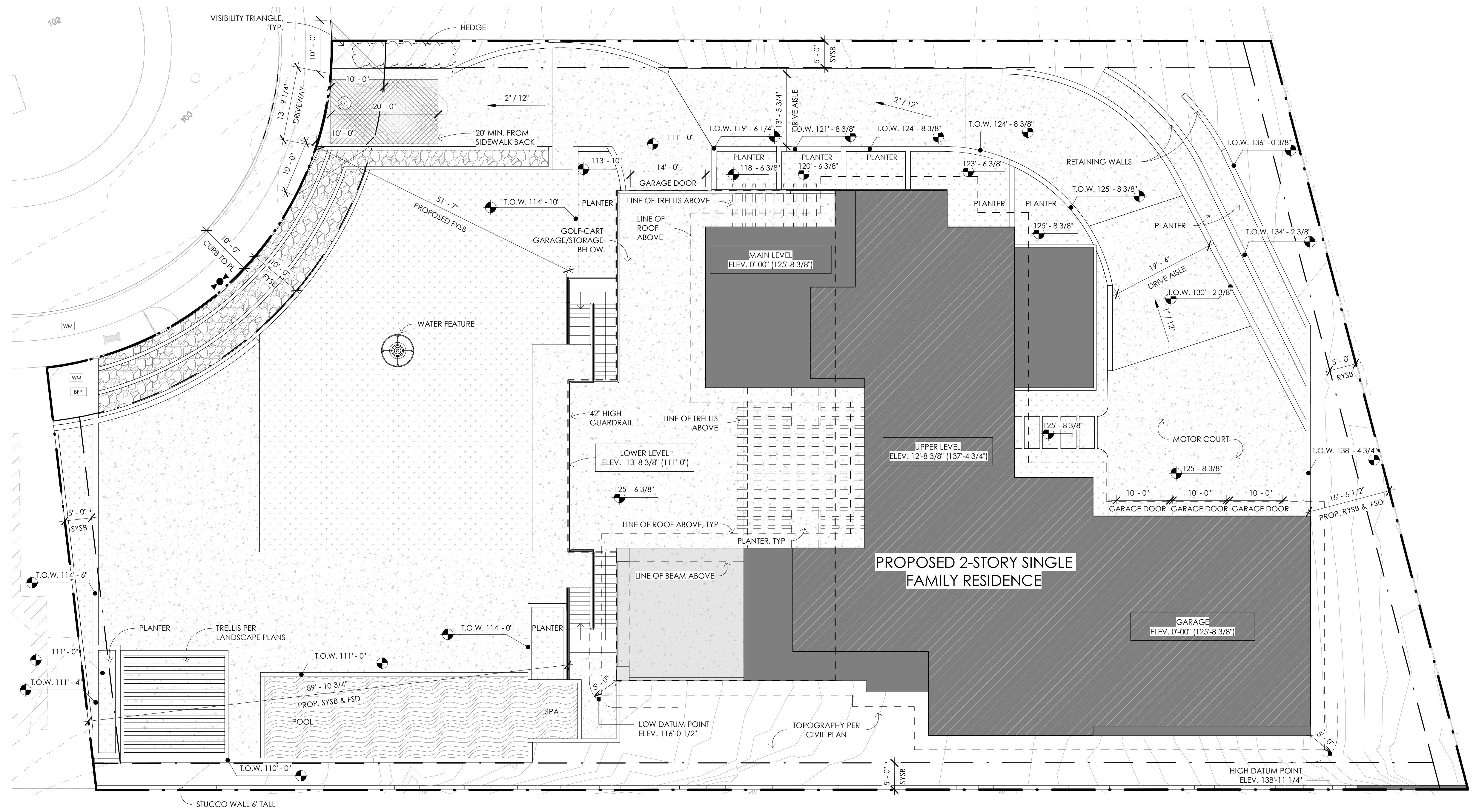
DOORS/WINDOWS



COLOR: BLACK
FINISH/TEXTURE: OPAQUE METAL

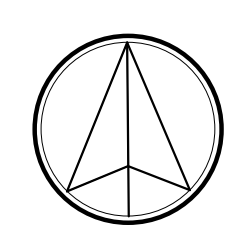
LOT 2 SHOWCASES AN ALL-WHITE EXTERIOR WITH ART DECO AND CLASSICAL INFLUENCES, INTRODUCING A REFINED YET HARMONIOUS STYLE TO THE NEIGHBORHOOD. THE HOME'S DESIGN ADDS A TOUCH OF ELEGANCE WHILE RESPECTING THE EXISTING ARCHITECTURAL LANDSCAPE. BY BLENDING ART DECO AND CLASSICAL ELEMENTS WITH TRADITIONAL MATERIALS, THE HOME CONTRIBUTES TO A BALANCED AND VISUALLY APPEALING STREETSCAPE, ENRICHING THE NEIGHBORHOOD'S CHARACTER WITH ITS DISTINCTIVE YET COMPLEMENTARY AESTHETIC.

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1 LOT 3 - SITE PLAN

SCALE = 3/32" = 1'-0"



SITE LEGEND

- BFP**

BACKFLOW PREVENTER. REFER TO G002 FOR SIZE

TYPE: (F) = FIRE (I); IRRIGATION; (D) DOMESTIC
- WM**

WATER METER. REFER TO SHEET G002 FOR SIZE

TYPE: (F) = FIRE (I); IRRIGATION; (D) DOMESTIC
- FD**

FIRE HYDRANT LOCATED 6' FROM FACE OF CURB W/ BLUE REFLECTIVE PAVEMENT MARKER. CFC 507 (PROVIDE 3'-0" DIA. MIN. CLEAR AREA, CFC 507.5.5)
- SC**

SEWER CLEANOUT
- HATCH INDICATES PROPOSED MAIN LEVEL RESIDENCE**
- LINE INDICATES LOWER LEVEL RESIDENCE**
- HATCH INDICATES UPPER LEVEL RESIDENCE**
- HATCH INDICATES HARDSCAPE AREA**
- HATCH INDICATES COVERED AREA**
- LANDSCAPE PER LANDSCAPE PLANS**

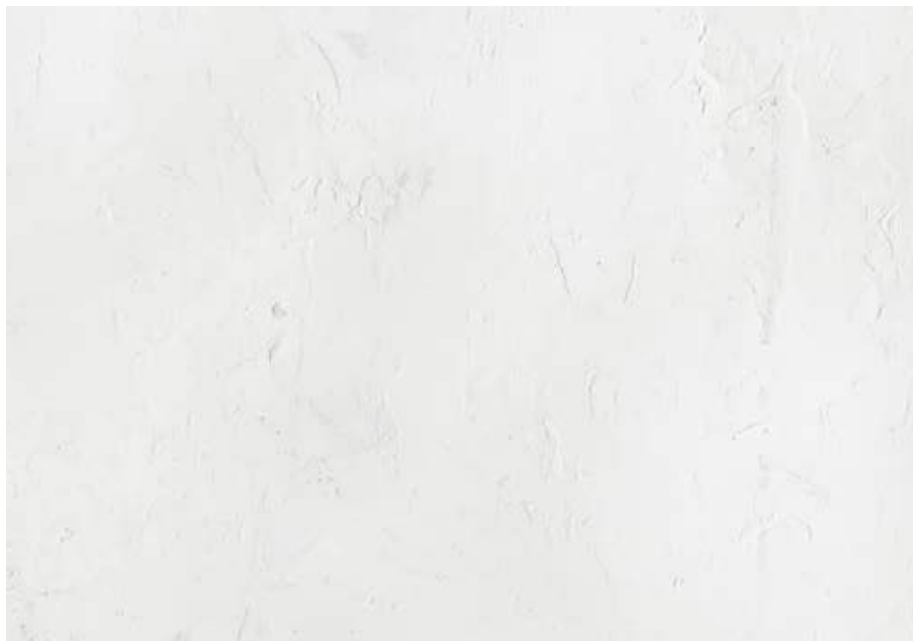
SITE NOTES

- THE EXISTING WATER AND SEWER SERVICES WILL REMAIN.
- PER FHPS POLICY P-00-4 (JFC 901.4.4) BUILDING ADDRESS NUMBERS TO BE VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY.
- THIS PROJECT MUST COMPLY WITH THE MUNICIPAL CODE REQUIREMENTS FOR MAXIMUM HEIGHT OF THE STRUCTURE NOT TO EXCEED 30 FEET (SDMC, SECTIONS 131.0444 AND 132.0505.) HIGHEST POINT ON ROOF EQUIPMENT, PIPE, VENT, ANTENNA OR OTHER PROJECTION SHALL NOT EXCEED 30 FEET ABOVE GRADE.
- THE HIGHEST POINT OF ANY ROOF, EQUIPMENT, OR ANY VENT PIPE, ANTENNA, OR OTHER PROJECTION SHALL NOT EXCEED 30'-0" ABOVE GRADE.
- ALL PROPOSED SITE LIGHTING SHALL BE SHIELDED SUCH THAT THE LIGHT SOURCE SHALL BE CONCEALED FROM PUBLIC VIEW.
- REFER TO SEPARATE GRADING PLAN FOR REQUIRED EMRA, PERMANENT BMPS, AND WCPC.
- WATER METERS FOR COMBINED DOMESTIC WATER AND FIRE SPRINKLER SYSTEMS SHALL NOT BE INSTALLED UNTIL THE FIRE SPRINKLER SYSTEM HAS BEEN SUBMITTED AND APPROVED BY THE BUILDING OFFICIAL.
- AUTOMATIC IRRIGATION SYSTEM. CONTROLLERS FOR LANDSCAPING PROVIDED BY THE BUILDER AND INSTALLED AT THE TIME OF FINAL INSPECTION SHALL COMPLY WITH THE FOLLOWING:
 - CONTROLLERS SHALL BE WEATHER OR SOIL MOISTURE-BASED CONTROLLERS THAT AUTOMATICALLY ADJUST IRRIGATION IN RESPONSE TO CHANGES IN PLANTS' NEEDS AS WEATHER CONDITIONS CHANGE
 - WEATHER-BASED CONTROLLERS WITHOUT INTEGRAL RAIN SENSORS OR COMMUNICATION SYSTEMS THAT ACCOUNT FOR LOCAL RAINFALL SHALL HAVE A SEPARATE WIRED OR WIRELESS RAIN SENSOR WHICH CONNECTS OR COMMUNICATES WITH THE CONTROLLER(S). SOIL MOISTURE-BASED CONTROLLERS ARE NOT REQUIRED TO HAVE RAIN SENSOR INPUT.



MATERIAL LEGEND

WALL TEXTURE 1



COLOR: WHITE
FINISH/TEXTURE: STUCCO

EXTERIOR FLOOR TEXTURE



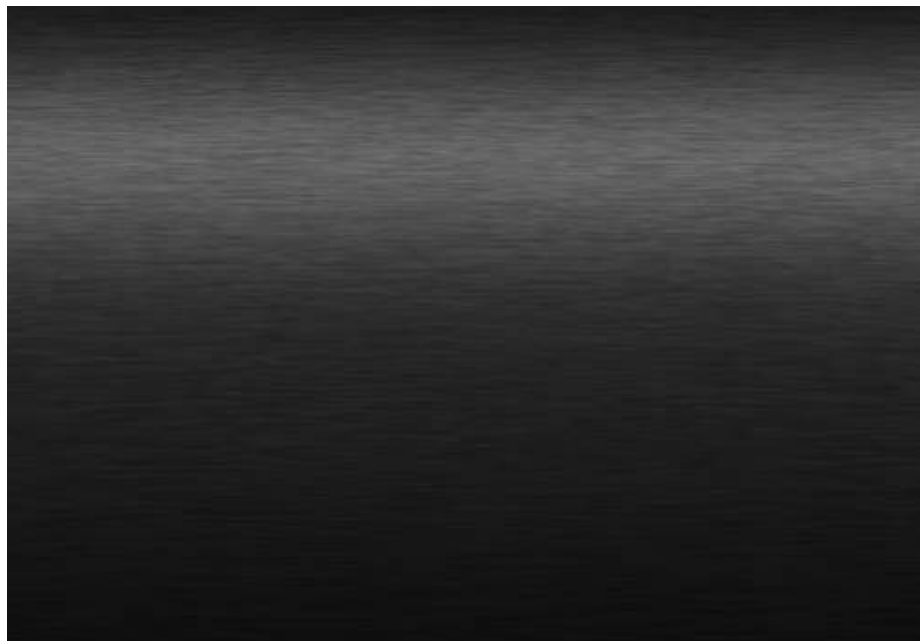
COLOR: WHITE
FINISH/TEXTURE: STONE TILE

ROOF MATERIAL



COLOR: WHITE
FINISH/TEXTURE: STANDING SEAM METAL

DOORS/WINDOWS



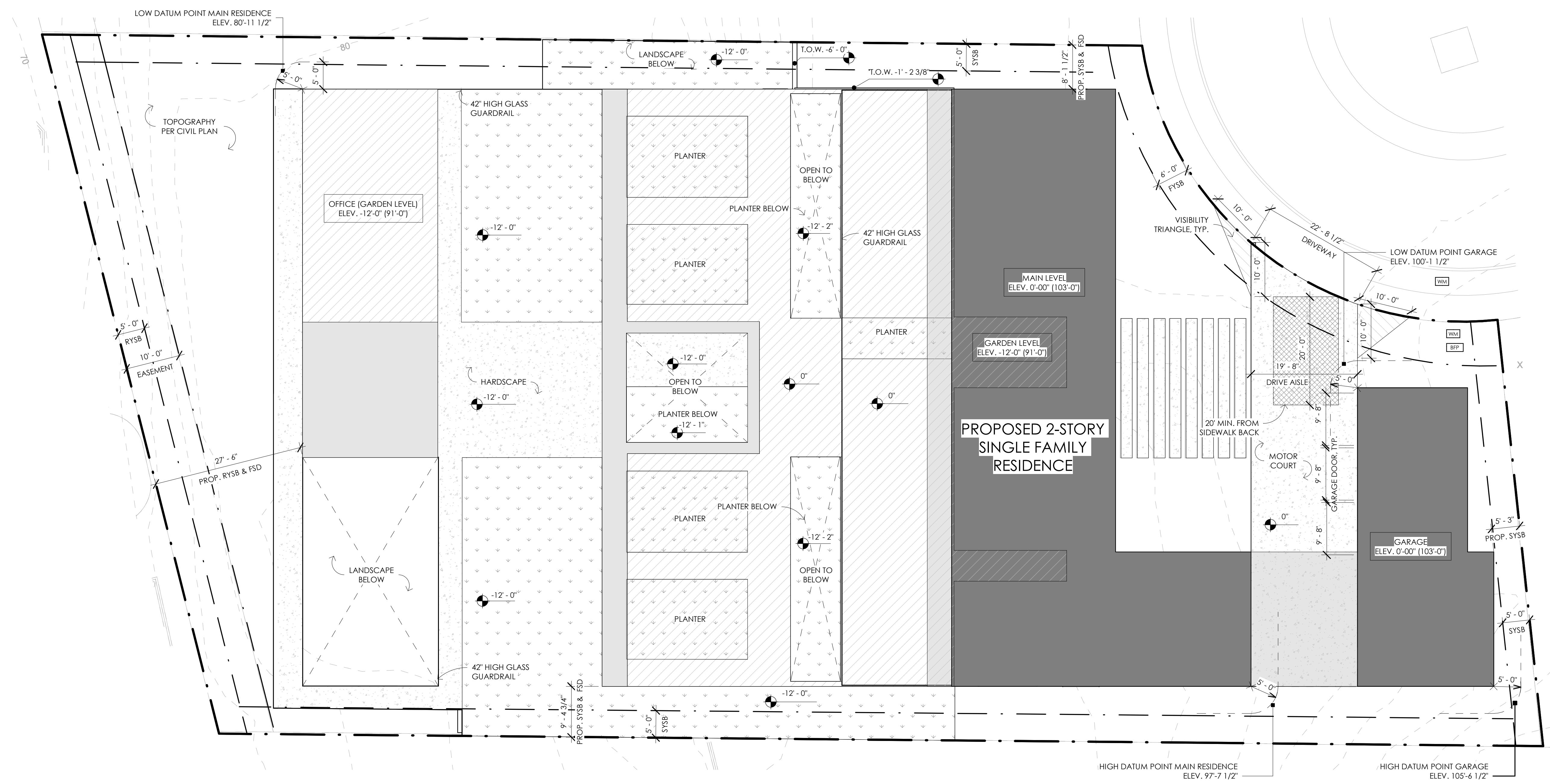
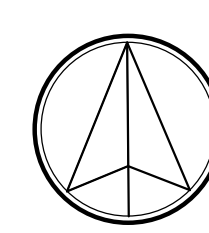
COLOR: BLACK
FINISH/TEXTURE: OPAQUE METAL

LOT 3 COMBINES SPANISH MODERN ELEMENTS WITH ECLECTIC TOUCHES, FEATURING LARGE WINDOWS AND LOW-SLOPED ROOFS TO INTRODUCE A UNIQUE FLAIR WHILE MAINTAINING VISUAL HARMONY WITH THE NEIGHBORHOOD. THE HOME'S DESIGN ADDS A DISTINCTIVE CHARACTER TO THE COMMUNITY, USING DIAGONAL AND OFF-SETTING PLANES TO CREATE VISUAL INTEREST AND COMPLEMENT THE SURROUNDING ARCHITECTURAL STYLES. THIS APPROACH ENSURES A SEAMLESS INTEGRATION WITH EXISTING STRUCTURES, ENHANCING THE NEIGHBORHOOD'S DIVERSE AESTHETIC.

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1 LOT 4 - SITE PLAN

SCALE = 3/32" = 1'-0"



SITE LEGEND

BFP	BACKFLOW PREVENTER, REFER TO G002 FOR SIZE TYPE, (F) = FIRE (I); IRRIGATION: (D) DOMESTIC		HATCH INDICATES ACCESS LEVEL RESIDENCE FOOTPRINT
WM	WATER METER, REFER TO SHEET G002 FOR SIZE TYPE, (F) = FIRE (I); IRRIGATION: (D) DOMESTIC		HATCH INDICATES GARDEN LEVEL FOOTPRINT
	FIRE HYDRANT LOCATED 6' FROM FACE OF CURB W/ BLUE REFLECTIVE PAVEMENT MARKER, CFC 507 (PROVIDE 3'-0" DIA. MIN. CLEAR AREA, CFC 507.5.5)		LINE INDICATES GARAGE FOOTPRINT
SC	SEWER CLEANOUT		HATCH INDICATES COVERED AREA
			HATCH INDICATES HARDSCAPE AREA
			LANDSCAPE PER LANDSCAPE PLANS

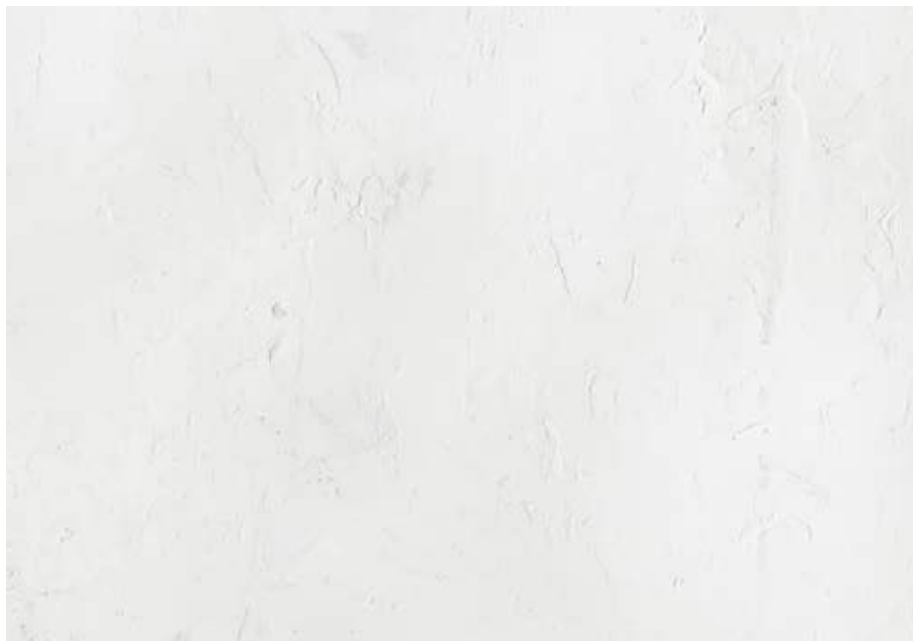
SITE NOTES

- THE EXISTING WATER AND SEWER SERVICES WILL REMAIN.
- PER FHPS POLICY P-00-6 (UFC 901.4.4) BUILDING ADDRESS NUMBERS TO BE VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY.
- THIS PROJECT MUST COMPLY WITH WITH THE MUNICIPAL CODE REQUIREMENTS FOR MAXIMUM HEIGHT OF THE STRUCTURE NOT TO EXCEED 30 FEET (SDMC, SECTIONS 131.0444 AND 132.0505.) HIGHEST POINT ON ROOF EQUIPMENT, PIPE, VENT, ANTENNA OR OTHER PROJECTION SHALL NOT EXCEED 30 FEET ABOVE GRADE.
- THE HIGHEST POINT OF ANY ROOF, EQUIPMENT, OR ANY VENT PIPE, ANTENNA, OR OTHER PROJECTION SHALL NOT EXCEED 30'-0" ABOVE GRADE.
- ALL PROPOSED SITE LIGHTING SHALL BE SHIELDED SUCH THAT THE LIGHT SOURCE SHALL BE CONCEALED FROM PUBLIC VIEW.
- REFER TO SEPARATE GRADING PLAN FOR REQUIRED EMRA, PERMANENT BMPS, AND WCPC.
- WATER METERS FOR COMBINED DOMESTIC WATER AND FIRE SPRINKLER SYSTEMS SHALL NOT BE INSTALLED UNTIL THE FIRE SPRINKLER SYSTEM HAS BEEN SUBMITTED AND APPROVED BY THE BUILDING OFFICIAL.
- AUTOMATIC IRRIGATION SYSTEM CONTROLLERS FOR LANDSCAPING PROVIDED BY THE BUILDER AND INSTALLED AT THE TIME OF FINAL INSPECTION SHALL COMPLY WITH THE FOLLOWING:
 - CONTROLLERS SHALL BE WEATHER OR SOIL MOISTURE-BASED CONTROLLERS THAT AUTOMATICALLY ADJUST IRRIGATION IN RESPONSE TO CHANGES IN PLANTS' NEEDS AS WEATHER CONDITIONS CHANGE
 - WEATHER-BASED CONTROLLERS WITHOUT INTEGRAL RAIN SENSORS OR COMMUNICATION SYSTEMS THAT ACCOUNT FOR LOCAL RAINFALL SHALL HAVE A SEPARATE WIRED OR WIRELESS RAIN SENSOR WHICH CONNECTS OR COMMUNICATES WITH THE CONTROLLER(S). SOIL MOISTURE-BASED CONTROLLERS ARE NOT REQUIRED TO HAVE RAIN SENSOR INPUT.



MATERIAL LEGEND

WALL TEXTURE 1



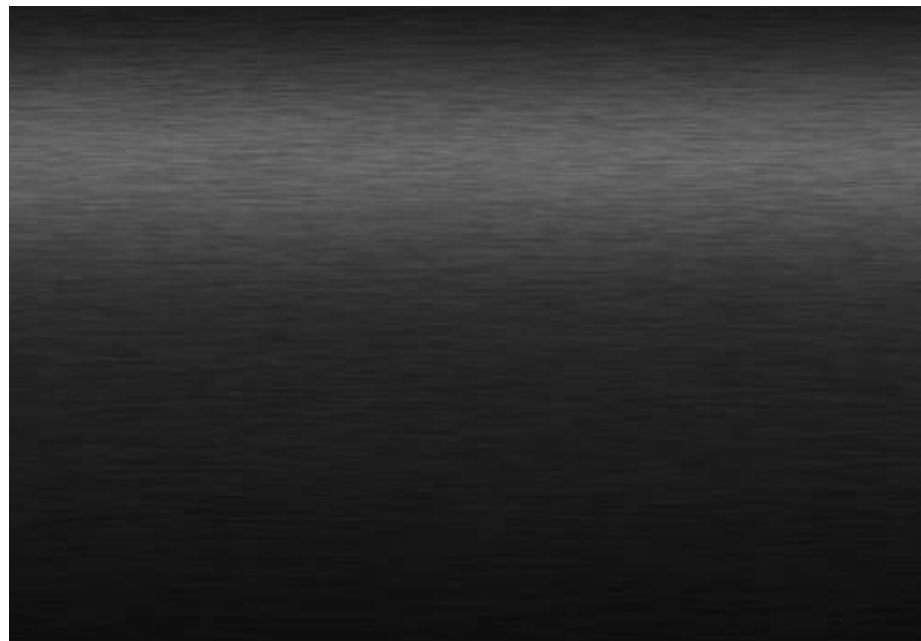
COLOR: WHITE
FINISH/TEXTURE: STUCCO

ROOF TEXTURE



COLOR: GREEN
FINISH/TEXTURE: GRASS

TRIM/AWNINGS



COLOR: BLACK
FINISH/TEXTURE: OPAQUE METAL

LOT 4 PRESENTS A MODERN AESTHETIC WITH ITS WHITE STUCCO FACADE, FLAT GREEN ROOFS, AND RECTANGULAR LAYOUT, CREATING A FRESH YET COHESIVE ADDITION TO THE NEIGHBORHOOD. THE DESIGN THOUGHTFULLY ALIGNS WITH THE SURROUNDING STRUCTURES, MAINTAINING A BALANCED VISUAL IMPACT. THE CHOICE OF MATERIALS AND SUBTLE HARDSCAPE ELEMENTS BLEND WELL WITH THE EXISTING STREETSCAPE, ENSURING THAT THE HOME ENHANCES THE OVERALL COMMUNITY CHARACTER WHILE RESPECTING THE NEIGHBORHOOD'S ESTABLISHED DESIGN THEMES.

JOB #:

CIELO MAR - LOT 5 - RACE

8303 LA JOLLA SHORES DR, SAN DIEGO, CA 32037

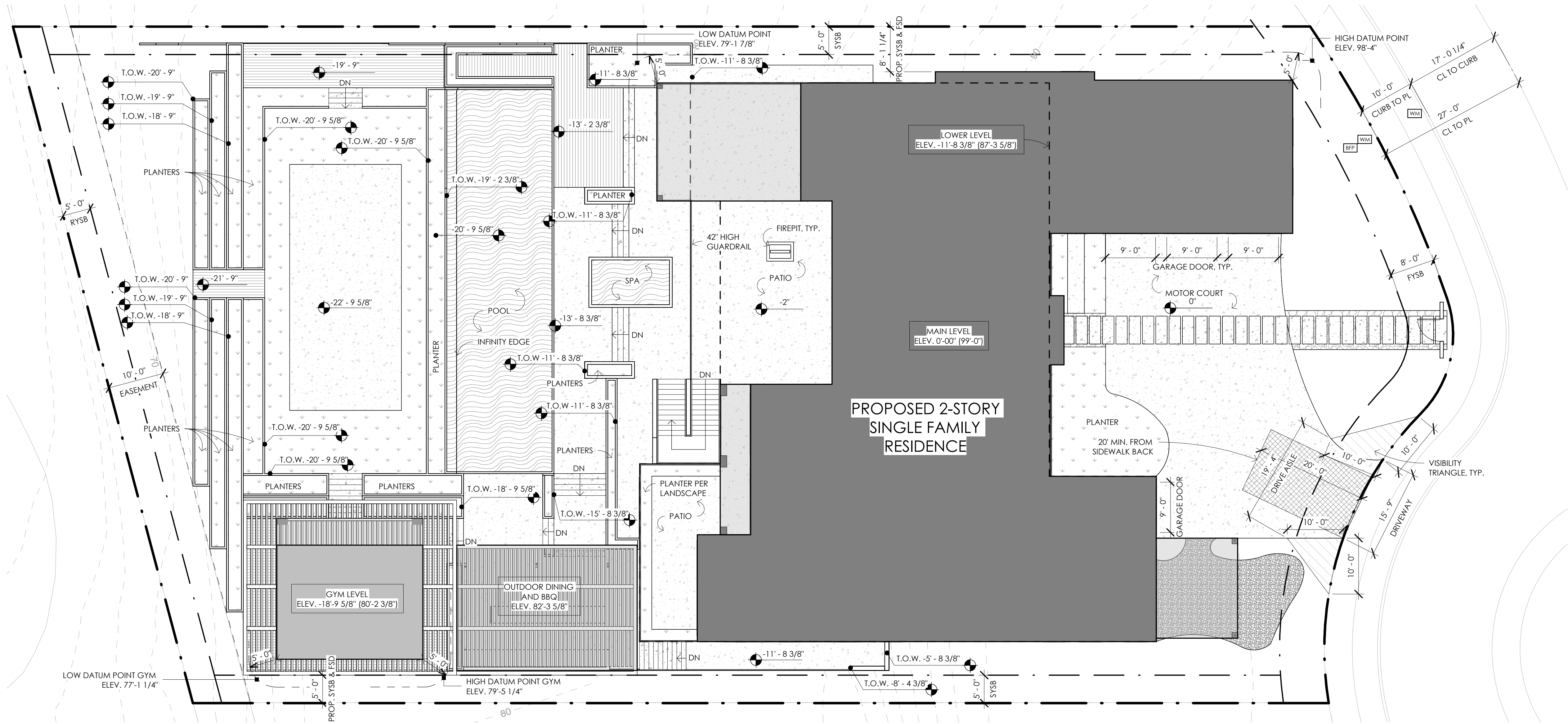
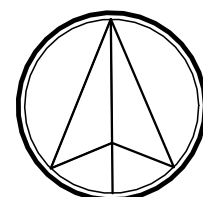
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A005
LOT 5 - SITE PLAN

12/13/2024

1 LOT 5 - SITE PLAN

SCALE = 3/32" = 1'-0"



SITE LEGEND

BACKFLOW PREVENTER, REFER TO G002 FOR SIZE TYPE: (F) = FIRE (I); IRRIGATION; (D) DOMESTIC	HATCH INDICATES PROPOSED MAIN LEVEL RESIDENCE
WATER METER, REFER TO SHEET G002 FOR SIZE TYPE: (F) = FIRE (I); IRRIGATION; (D) DOMESTIC	LINE INDICATES LOWER LEVEL RESIDENCE
FIRE HYDRANT LOCATED 6' FROM FACE OF CURB W/ BLUE REFLECTIVE PAVEMENT MARKER, CFC 507 (PROVIDE 3'-0" DIA. MIN. CLEAR AREA, CFC 507.5.5)	LINE INDICATES GARAGE LEVEL
SEWER CLEANOUT	HATCH INDICATES HARDSCAPE AREA
	HATCH INDICATES COVERED AREA
	HATCH INDICATES COVERED AREA

SITE NOTES

- THE EXISTING WATER AND SEWER SERVICES WILL REMAIN.
- PER FHPS POLICY P-00-6 (UFC 901.4.4) BUILDING ADDRESS NUMBERS TO BE VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY.
- THIS PROJECT MUST COMPLY WITH THE MUNICIPAL CODE REQUIREMENTS FOR MAXIMUM HEIGHT OF THE STRUCTURE NOT TO EXCEED 30 FEET (SDMC, SECTIONS 131.0444 AND 132.0505.) HIGHEST POINT ON ROOF EQUIPMENT, PIPE, VENT, ANTENNA OR OTHER PROJECTION SHALL NOT EXCEED 30 FEET ABOVE GRADE.
- THE HIGHEST POINT OF ANY ROOF, EQUIPMENT, OR ANY VENT PIPE, ANTENNA, OR OTHER PROJECTION SHALL NOT EXCEED 30'-0" ABOVE GRADE.
- ALL PROPOSED SITE LIGHTING SHALL BE SHIELDED SUCH THAT THE LIGHT SOURCE SHALL BE CONCEALED FROM PUBLIC VIEW.
- REFER TO SEPARATE GRADING PLAN FOR REQUIRED EMRA, PERMANENT BMPs, AND WCPC.
- WATER METERS FOR COMBINED DOMESTIC WATER AND FIRE SPRINKLER SYSTEMS SHALL NOT BE INSTALLED UNTIL THE FIRE SPRINKLER SYSTEM HAS BEEN SUBMITTED AND APPROVED BY THE BUILDING OFFICIAL.
- AUTOMATIC IRRIGATION SYSTEM CONTROLLERS FOR LANDSCAPING PROVIDED BY THE BUILDER AND INSTALLED AT THE TIME OF FINAL INSPECTION SHALL COMPLY WITH THE FOLLOWING:
 - CONTROLLERS SHALL BE WEATHER OR SOIL MOISTURE-BASED CONTROLLERS THAT AUTOMATICALLY ADJUST IRRIGATION IN RESPONSE TO CHANGES IN PLANTS' NEEDS AS WEATHER CONDITIONS CHANGE
 - WEATHER-BASED CONTROLLERS WITHOUT INTEGRAL RAIN SENSORS OR COMMUNICATION SYSTEMS THAT ACCOUNT FOR LOCAL RAINFALL SHALL HAVE A SEPARATE WIRED OR WIRELESS RAIN SENSOR WHICH CONNECTS OR COMMUNICATES WITH THE CONTROLLER(S). SOIL MOISTURE-BASED CONTROLLERS ARE NOT REQUIRED TO HAVE RAIN SENSOR INPUT.



MATERIAL LEGEND

WALL TEXTURE 1



COLOR: WHITE
FINISH/TEXTURE: STUCCO

EXTERIOR FLOOR TEXTURE



COLOR: WHITE
FINISH/TEXTURE: STONE TILE

WALL TEXTURE 3



COLOR: BLACK
FINISH/TEXTURE: OPAQUE METAL

TRIM/AWNINGS



COLOR: WOOD
FINISH/TEXTURE: WOOD

LOT 5 EMBODIES A SPANISH MODERN DESIGN, FEATURING A RICH COMBINATION OF STUCCO AND STONE THAT ENHANCES THE ARCHITECTURAL CHARACTER OF THE NEIGHBORHOOD. BY RESPECTING THE SURROUNDING STRUCTURES' PROPORTIONS AND MATERIALS, THE HOME CONTRIBUTES TO A BALANCED AND VISUALLY PLEASING ENVIRONMENT. ITS DESIGN ELEMENTS, INCLUDING WELL-CONSIDERED HARDSCAPES AND SITE FIXTURES, INTEGRATE SEAMLESSLY WITH EXISTING HOMES, FOSTERING A HARMONIOUS TRANSITION AND PRESERVING THE COMMUNITY'S DISTINCTIVE CHARM.

JOB #:

CIELO MAR - LOT 5 - RACE

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12/13/2024	5TH CDP SUBMITTAL

A005.a

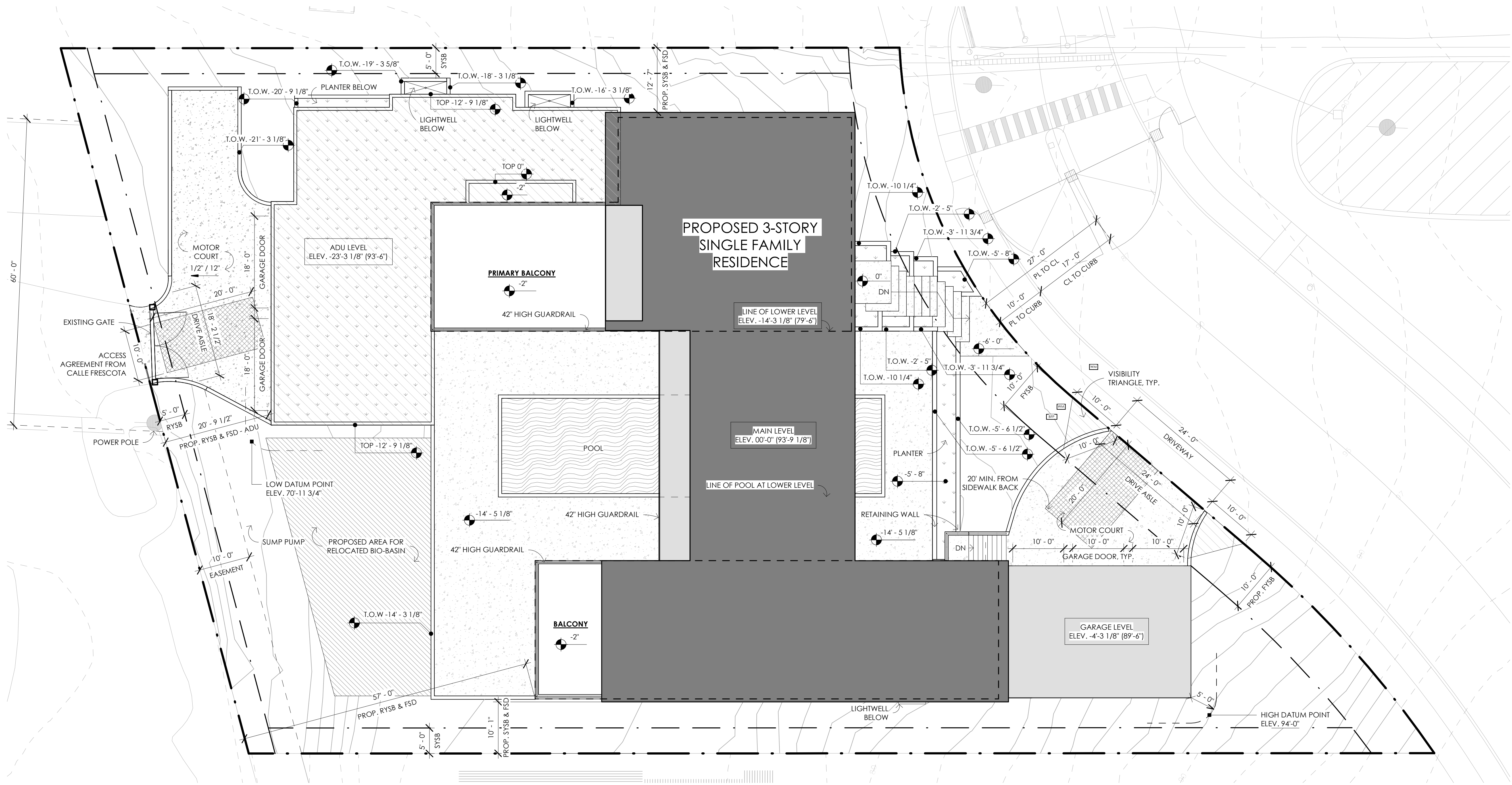
LOT 5 -
RENDERINGS

12/13/2024

1

LOT 6 - SITE PLAN

SCALE = 3/32" = 1'-0"



SITE LEGEND		SITE NOTES
	BACKFLOW PREVENTER. REFER TO C202 FOR SIZE TYPE: (F) = FIRE (I); IRRIGATION; (D) DOMESTIC	<div>1. THE EXISTING WATER AND SEWER SERVICES WILL REMAIN.</div> <div>2. PER FHPS POLICY P-00-6 (JFPC 901.4.4) BUILDING ADDRESS NUMBERS TO BE VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY.</div> <div>3. THIS PROJECT MUST COMPLY WITH WITH THE MUNICIPAL CODE REQUIREMENTS FOR MAXIMUM HEIGHT OF THE STRUCTURE AND COASTAL NOT TO EXCEED 30 FEET (SDMC, SECTIONS §131.0444 AND §132.0505.) HIGHEST POINT ON ROOF EQUIPMENT, PIPE, VENT, ANTENNA OR OTHER PROJECTION SHALL NOT EXCEED 30 FEET ABOVE GRADE.</div> <div>4. THE HIGHEST POINT OF ANY ROOF, EQUIPMENT, OR ANY VENT PIPE, ANTENNA, OR OTHER PROJECTION SHALL NOT EXCEED 30'-0" ABOVE GRADE.</div> <div>5. ALL PROPOSED SITE LIGHTING SHALL BE SHIELDED SUCH THAT THE LIGHT SOURCE SHALL BE CONCEALED FROM PUBLIC VIEW.</div> <div>6. FIRE HYDRANTS, 1 @ 852'-0" FROM PROPERTY.</div> <div>7. REFER TO SEPARATE GRADING PLAN FOR REQUIRED EMRA, PERMANENT BMPS, AND WCPC.</div> <div>8. WATER METERS (AND BACKFLOW PREVENTER) FOR COMBINED DOMESTIC WATER AND FIRE SPRINKLER SYSTEMS SHALL NOT BE INSTALLED UNTIL THE FIRE SPRINKLER SYSTEM HAS BEEN SUBMITTED AND APPROVED BY THE BUILDING OFFICIAL.</div> <div>9. AUTOMATIC IRRIGATION SYSTEM CONTROLLERS FOR LANDSCAPING PROVIDED BY THE BUILDER AND INSTALLED AT THE TIME OF FINAL INSPECTION SHALL COMPLY WITH THE FOLLOWING: I. CONTROLLERS SHALL BE WEATHER OR SOIL MOISTURE-BASED CONTROLLERS THAT AUTOMATICALLY ADJUST IRRIGATION IN RESPONSE TO CHANGES IN PLANTS' NEEDS AS WEATHER CONDITIONS CHANGE II. WEATHER-BASED CONTROLLERS WITHOUT INTEGRAL RAIN SENSORS OR COMMUNICATION SYSTEMS THAT ACCOUNT FOR LOCAL RAINFALL SHALL HAVE A SEPARATE WIRED OR WIRELESS RAIN SENSOR WHICH CONNECTS OR COMMUNICATES WITH THE CONTROLLER(S). SOIL MOISTURE-BASED CONTROLLERS ARE NOT REQUIRED TO HAVE RAIN SENSOR INPUT.</div> <div>10. DISCRETIONARY ACTION APPROVED A VARIANCE ALLOWING PAVING IN THE FRONT YARD SETBACK TO EXCEED THE RESIDENTIAL LIMITS, 77% EXISTING PAVING. HO #7178, APPROVED DEC 19, 2018.</div> <div>11. ALL STORM WATER RUNOFF FROM PROPOSED AND/OR REPLACED IMPERVIOUS AREAS SHALL BE ROUTED TO PERVIOUS SURFACES OR LANDSCAPING PRIOR TO REACHING THE PUBLIC DRAIN SYSTEM.</div>
	WATER METER. REFER TO SHEET C202 FOR SIZE TYPE: (F) = FIRE (I); IRRIGATION; (D) DOMESTIC	
	FIRE HYDRANT LOCATED 6' FROM FACE OF CURB W/ BLUE REFLECTIVE PAVEMENT MARKER, CFC 507 (PROVIDE 3'-0" DIA. MIN. CLEAR AREA, CFC 507.5.5)	
	SEWER CLEANOUT	
	HATCH INDICATES PROPOSED MAIN LEVEL RESIDENCE	
	LINE INDICATES LOWER LEVEL RESIDENCE	<div>HATCH INDICATES HARDSCAPE AREA</div> <div>HATCH INDICATES COVERED AREA</div> <div>HATCH INDICATES ADU AREA</div>
	HATCH INDICATES HARDSCAPE AREA	
	HATCH INDICATES COVERED AREA	
	HATCH INDICATES ADU AREA	



MATERIAL LEGEND

WALL TEXTURE 1



COLOR: WOOD
FINISH/TEXTURE: WOOD

WALL TEXTURE 2



COLOR: BLACK
FINISH/TEXTURE: OPAQUE METAL

WALL TEXTURE 3



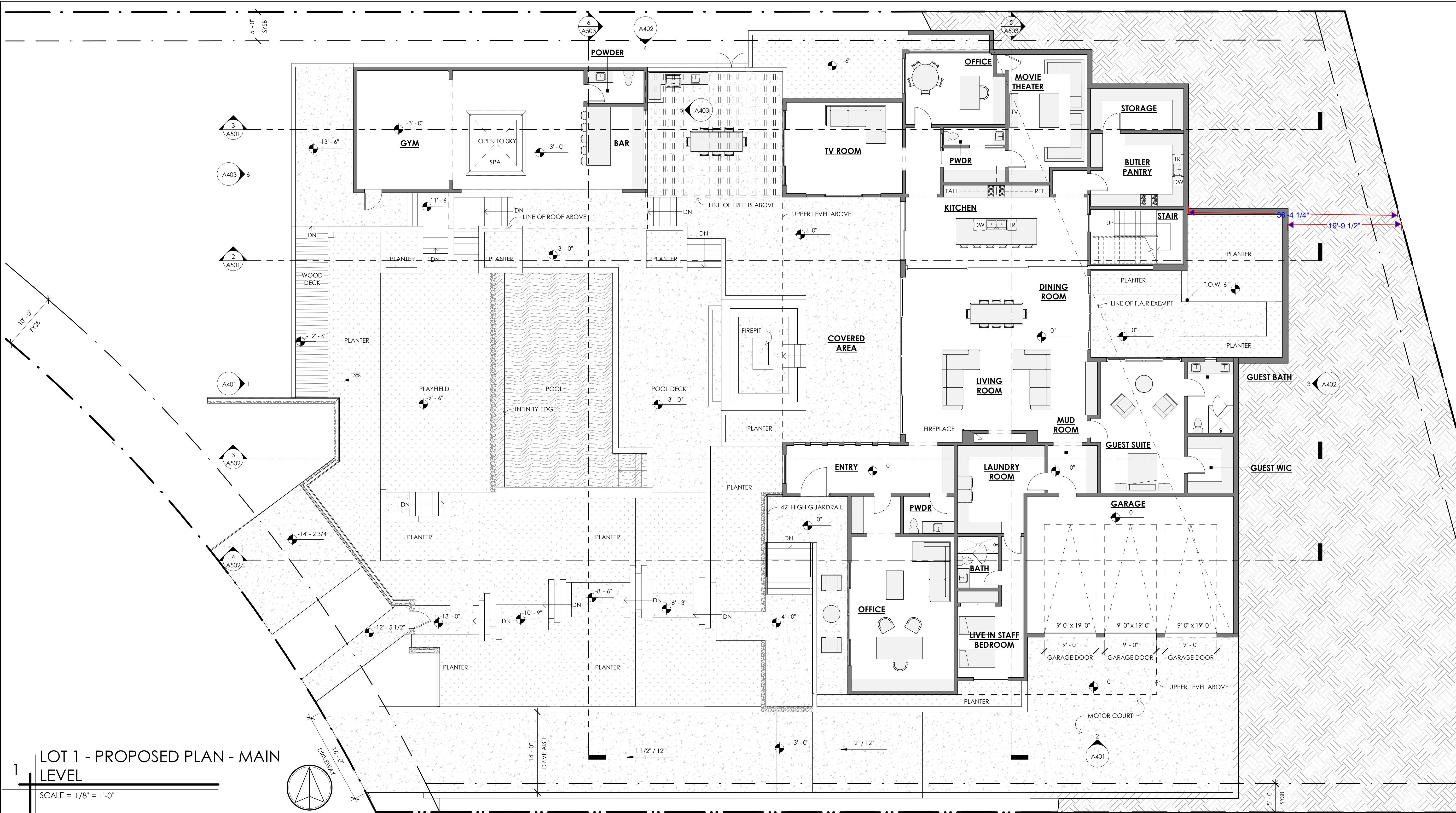
COLOR: WHITE
FINISH/TEXTURE: STUCCO

EXTERIOR FLOOR TEXTURE



COLOR: GREY
FINISH/TEXTURE: CONCRETE

LOT 6 IS A MODERN CONTEMPORARY HOME THAT SEAMLESSLY INTEGRATES EARTHY TEXTURES INTO ITS DESIGN, ALIGNING WITH THE WHITE STUCCO AND NATURAL MATERIALS CHARACTERISTIC OF THE SURROUNDING NEIGHBORHOOD. THE HOME'S SHAPE AND SCALE COMPLEMENT THE EXISTING STRUCTURES IN THE NEIGHBORHOOD, ENHANCING THE NEIGHBORHOOD'S VISUAL CONTINUITY. THOUGHTFULLY CHOSEN HARDSCAPES AND SITE FIXTURES CONTRIBUTE TO A COHESIVE STREETScape, MAINTAINING THE COMMUNITY'S ARCHITECTURAL INTEGRITY WHILE BLENDING SMOOTHLY WITH THE LOCAL AESTHETIC.

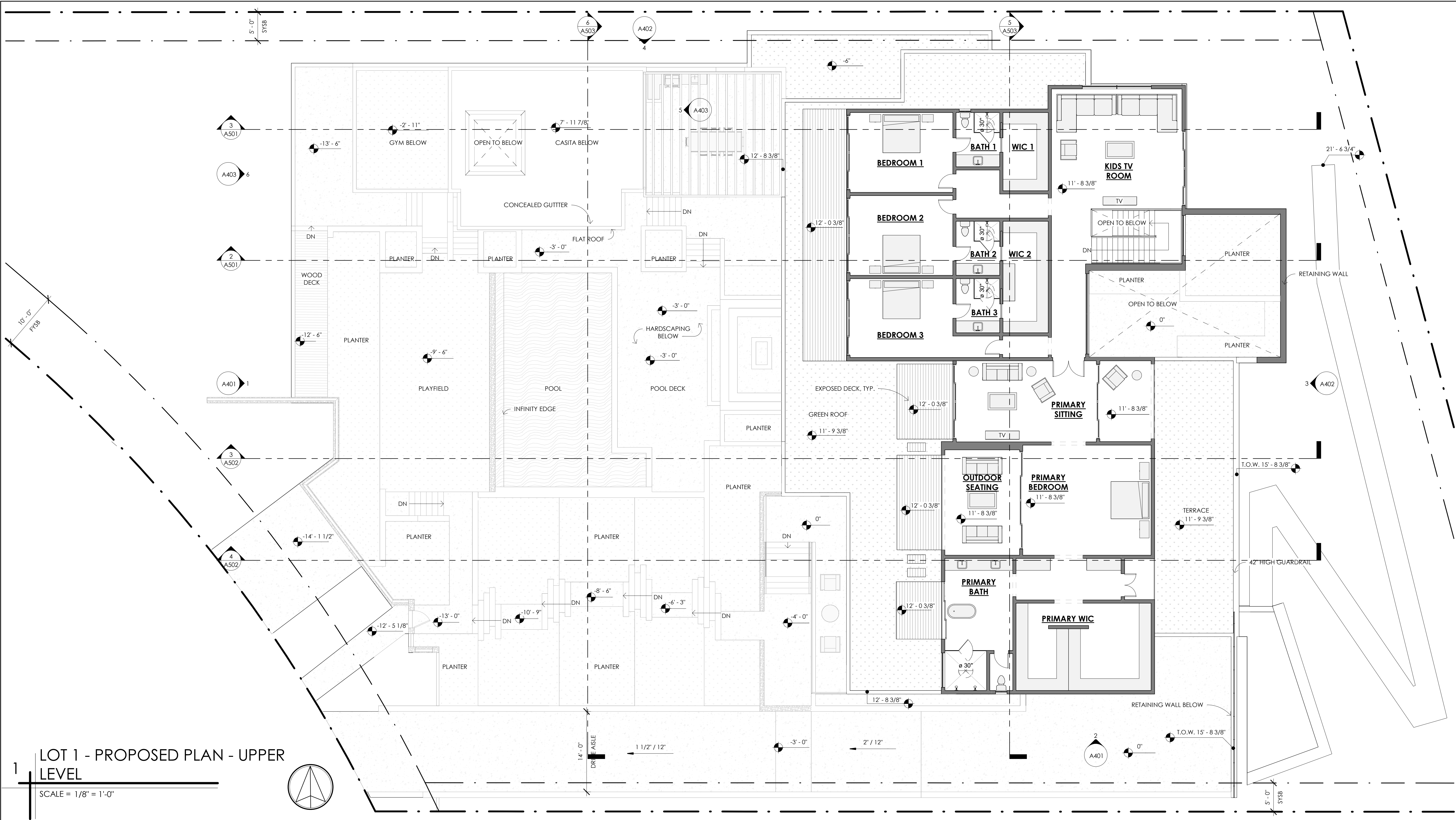


1 LOT 1 - PROPOSED PLAN - MAIN LEVEL
SCALE = 1/8" = 1'-0"

PLAN NOTES

- FOR TYPICAL WALL PENETRATION SEE DETAIL SHEET.
- PENETRATIONS OF FIRE-RESISTIVE WALLS, FLOOR-CEILINGS, AND ROOF-CEILINGS SHALL BE PROTECTED AS REQUIRED IN CRC SECTION R302.4.
- PROVIDE LEVEL 5 DRYWALL THROUGHOUT.
- PREP ALL SURFACES TO RECEIVE FINISH PER PLAN.
- EXTERIOR DOORS MAY SWING OUTWARD ONLY IF THE EXTERIOR LANDING IS NOT MORE THAN 1-1/2' LOWER THAN THE TOP OF THE THRESHOLD, R311.3.1
- ALL ABS AND PVC PIPING AND FITTINGS SHALL BE ENCLOSED WITHIN WALLS AND FLOORS COVERED WITH 1/2" TYPE X GYPSUM BOARD OR SIMILAR ASSEMBLIES THAT PROVIDE THE SAME LEVEL OF FIRE PROTECTION. PROTECTION OF MEMBRANE PENETRATIONS IS NOT REQUIRED.
- GARAGE AND HABITABLE SPACE ABOVE TO HAVE 1-HOUR FIRE RATING BETWEEN PER CRC R302.3, AND SOUND INSULATION WITH MINIMUM 50 STC RATING AND IMPACT SOUND INSULATION WITH MINIMUM 50 IIC PER CBC 1207.2, CBC 1207.3.
- DUCTS IN THE GARAGE AND DUCTS PENETRATING THE WALLS OR CEILINGS SEPARATING THE DWELLING FROM THE GARAGE SHALL BE CONSTRUCTED OF MINIMUM NO. 26 GAUGE SHEET STEEL OR OTHER APPROVED MATERIAL AND SHALL HAVE NO OPENINGS INTO THE GARAGE.
- ATTIC / UNDERFLOOR INSTALLATION MUST COMPLY WITH SECTIONS 904, 908, AND 909 OF CMC.
- FIRE BLOCKING SHALL BE PROVIDED AT VERTICAL FLOOR TO FLOOR PENETRATIONS CONCEALED WITHIN WALL CAVITIES. THROUGH PENETRATION FIRE STOP SYSTEM SHALL BE PROVIDED. BOTH VERTICAL AND THROUGH PENETRATION SHALL COMPLY WITH PROVISIONS SPECIFIED IN CBC, SECTION 714 AND CRC, SECTION R302.11, AS APPLICABLE.
- PROPERLY COMPLETED AND SIGNED CERTIFICATES OF INSTALLATION (CF2R FORMS) SHALL BE PROVIDED TO THE INSPECTOR IN THE FIELD, FOR PROJECTS REQUIRING HERS VERIFICATION. THE CF2R FORMS SHALL BE REGISTERED WITH A CALIFORNIA-APPROVED HERS PROVIDER DATA REGISTRY.
- PROPERLY COMPLETED CERTIFICATES OF VERIFICATION (CF3R FORMS) SHALL BE PROVIDED TO THE INSPECTOR IN THE FIELD FOR ITEMS REQUIRING HER VERIFICATION. CF3R FORMS SHALL BE REGISTERED WITH A CALIFORNIA-APPROVED HERS PROVIDER DATA REGISTRY.
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A. WEATHER-STRIPPING PRODUCTS WITH TENSILE STRENGTH AND FLAMMABILITY RATING PER CBC 708A.4.
- DOOR OVERLAPS ONTO JAMBS AND HEADERS.
C. GARAGE DOOR JAMBS AND HEADERS COVERED WITH METAL FLASHING
- COUNTER SURFACES SHALL NOT EXCEED 10 FEET IN TOTAL LENGTH, NOR SHALL WALL CABINETS, THIS COUNTER SPACE STANDARD SHALL APPLY TO POOL HOUSES, ETC. AND TO DWELLING ROOMS THAT ARE DISTANT, OR ISOLATED, FROM THE MAIN LIVING AREA OF A HOME.)
- ONLY ONE SINGLE SINK IS ALLOWED, 18" MAXIMUM LENGTH, WITH A MAXIMUM 1/2 INCH DRAIN.
- ONLY ONE COMPACT REFRIGERATOR, FREEZER OR ICE MAKER (5 CUBIC FEET MAXIMUM CAPACITY) DESIGNED FOR PLACEMENT UNDER A COUNTER AND SO INSTALLED.
- NO GAS OR 220-VOLT AC POWER OUTLETS ARE ALLOWED IN THE VICINITY OF THE WET BAR.
- NO OTHER FACILITY (INCLUDING, BUT NOT LIMITED TO, STOVE, RANGE, DISHWASHER, MICROWAVE, GARBAGE DISPOSAL OR TRASH COMPACTOR) USED FOR THE PREPARATION OF FOOD SHALL BE LOCATED WITHIN OR NEAR A WET BAR. "THE PROPOSED WET BAR WILL COMPLY WITH THE ABOVE WET BAR LIMITATIONS".

DATE:	ISSUE:
02/24/2023	CDP SUBMITTAL
10/03/2023	2ND CDP SUBMITTAL
03/18/2024	3RD CDP SUBMITTAL
08/16/2024	4TH CDP SUBMITTAL
12/13/2024	5TH CDP SUBMITTAL

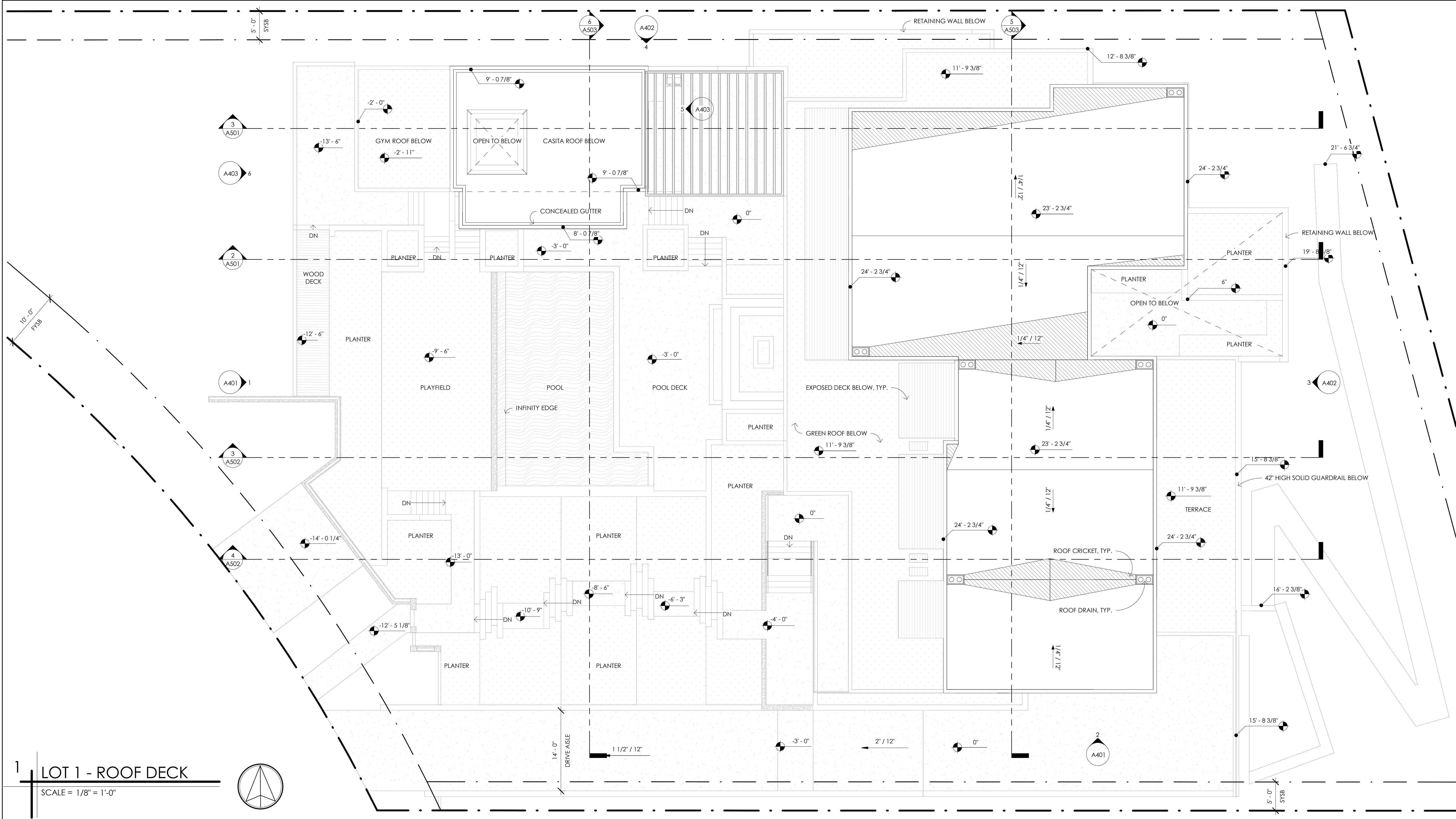


LOT 1 - PROPOSED PLAN - UPPER LEVEL

SCALE = 1/8" = 1'-0"

PLAN NOTES

- FOR TYPICAL WALL PENETRATION SEE DETAIL SHEET.
- PENETRATIONS OF FIRE-RESISTIVE WALLS, FLOOR-CEILINGS, AND ROOF-CEILINGS SHALL BE PROTECTED AS REQUIRED IN CRC SECTION R302.4.
- PROVIDE LEVEL 5 DRYWALL THROUGHOUT.
- PREP ALL SURFACES TO RECEIVE FINISH PER PLAN.
- EXTERIOR DOORS MAY SWING OUTWARD ONLY IF THE EXTERIOR LANDING IS NOT MORE THAN 1-1/2' LOWER THAN THE TOP OF THE THRESHOLD, R311.3.1
- ALL ABS AND PVC PIPING AND FITTINGS SHALL BE ENCLOSED WITHIN WALLS AND FLOORS COVERED WITH 'TYPE X GYPSUM BOARD' OR SIMILAR ASSEMBLIES THAT PROVIDE THE SAME LEVEL OF FIRE PROTECTION. PROTECTION OF MEMBRANE PENETRATIONS IS NOT REQUIRED.
- GARAGE AND HABITABLE SPACE ABOVE TO HAVE 1-HOUR FIRE RATING BETWEEN PER CRC R302.3, AND SOUND INSULATION WITH MINIMUM 50 STC RATING AND IMPACT SOUND INSULATION WITH MINIMUM 50 IIC PER CBC 1207.2, CBC 1207.3.
- DUCTS IN THE GARAGE AND DUCTS PENETRATING THE WALLS OR CEILINGS SEPARATING THE DWELLING FROM THE GARAGE SHALL BE CONSTRUCTED OF MINIMUM NO. 26 GAUGE SHEET STEEL OR OTHER APPROVED MATERIAL AND SHALL HAVE NO OPENINGS INTO THE GARAGE.
- ATTIC / UNDERFLOOR INSTALLATION MUST COMPLY WITH SECTIONS 904, 908, AND 909 OF CMC.
- FIRE BLOCKING SHALL BE PROVIDED AT VERTICAL FLOOR TO FLOOR PENETRATIONS CONCEALED WITHIN WALL CAVITIES. THROUGH PENETRATION FIRE STOP SYSTEM SHALL BE PROVIDED. BOTH VERTICAL AND THROUGH PENETRATION SHALL COMPLY WITH PROVISIONS SPECIFIED IN CBC, SECTION 714 AND CRC, SECTION R302.11, AS APPLICABLE.
- PROPERLY COMPLETED AND SIGNED CERTIFICATES OF INSTALLATION (CF2R FORMS) SHALL BE PROVIDED TO THE INSPECTOR IN THE FIELD, FOR PROJECTS REQUIRING HER VERIFICATION. THE CF2R FORMS SHALL BE REGISTERED WITH A CALIFORNIA-APPROVED HERS PROVIDER DATA REGISTRY.
- PROPERLY COMPLETED CERTIFICATES OF VERIFICATION (CF3R FORMS) SHALL BE PROVIDED TO THE INSPECTOR IN THE FIELD FOR ITEMS REQUIRING HER VERIFICATION. CF3R FORMS SHALL BE REGISTERED WITH A CALIFORNIA-APPROVED HERS PROVIDER DATA REGISTRY.
- EXTERIOR GARAGE DOORS SHALL RESIST THE INTRUSION OF EMBERS INTO THE GARAGE BY LIMITING THE SIZE OF ANY GAPS AT THE BOTTOM, SIDES, AND TOP OF THE DOOR TO 1/8 INCH OR LESS USING ONE OF THE FOLLOWING METHODS: (CRC R337.8.4.CBC 708A.4)
A. WEATHER-STRIPPING PRODUCTS WITH TENSILE STRENGTH AND FLAMMABILITY RATING PER CBC 708A.4.
- DOOR OVERLAPS ONTO JAMBS AND HEADERS.
C. GARAGE DOOR JAMBS AND HEADERS COVERED WITH METAL FLASHING
- COUNTER SURFACES SHALL NOT EXCEED 10 FEET IN TOTAL LENGTH, NOR SHALL WALL CABINETS. (THIS COUNTER SIZE STANDARD SHALL APPLY TO POOL HOUSES, ETC. AND TO DWELLING ROOMS THAT ARE DISTANT, OR ISOLATED, FROM THE MAIN LIVING AREA OF A HOME.)
- ONLY ONE SINGLE SINK IS ALLOWED, 18" MAXIMUM LENGTH, WITH A MAXIMUM 1/2 INCH DRAIN.
- ONLY ONE COMPACT REFRIGERATOR, FREEZER OR ICE MAKER (5 CUBIC FEET MAXIMUM CAPACITY) DESIGNED FOR PLACEMENT UNDER A COUNTER AND SO INSTALLED.
- NO GAS OR 220-VOLT AC POWER OUTLETS ARE ALLOWED IN THE VICINITY OF THE WET BAR.
- NO OTHER FACILITY (INCLUDING, BUT NOT LIMITED TO, STOVE, RANGE, DISHWASHER, MICROWAVE, GARBAGE DISPOSAL OR TRASH COMPACTOR) USED FOR THE PREPARATION OF FOOD SHALL BE LOCATED WITHIN OR NEAR A WET BAR. "THE PROPOSED WET BAR WILL COMPLY WITH THE ABOVE WET BAR LIMITATIONS".

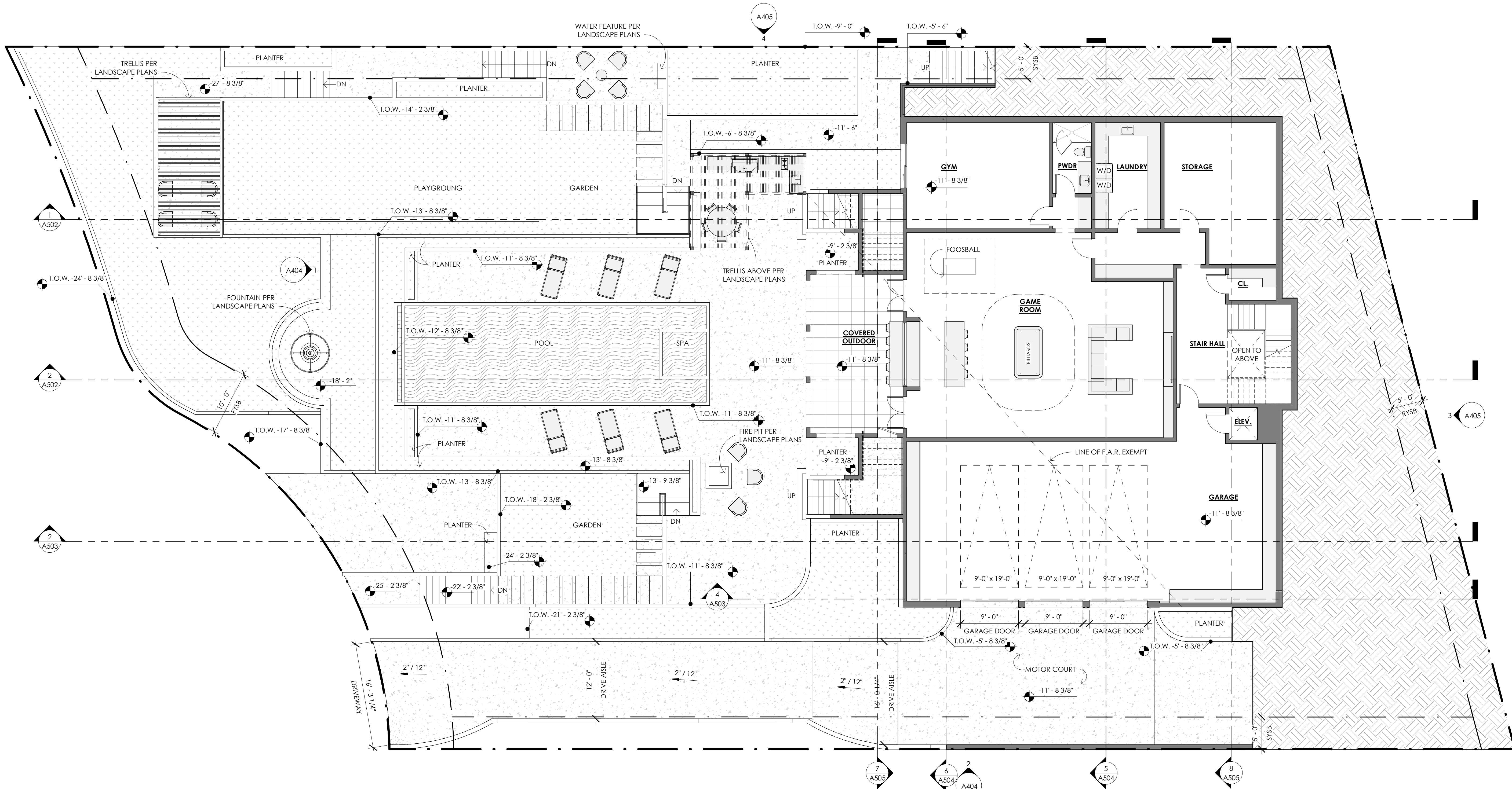


LOT 1 - ROOF DECK

SCALE = 1/8" = 1'-0"

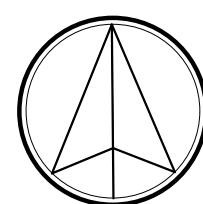
ROOF NOTES

- TWO LAYERS OF UNDERLAYMENT REQUIRED FOR LOW SLOPED ROOFS PER CRC SECTION R9-5.3.3.1
- ROOF GUTTERS SHALL PROVIDE WITH THE MEANS TO PREVENT ACCUMULATION OF LEAVE AND DEBRIS IN THE GUTTER. ALL ROOF GUTTERS AND DOWNSPOUTS SHALL BE CONSTRUCTED OF NON-COMBUSTIBLE MATERIALS. THEY SHALL ALSO HAVE ZINCALUME COATING.
- DROP EDGE FLASHING USED AT THE FREE EDGES OF ROOFING MATERIALS SHALL BE NON-COMBUSTIBLE.
- CHIMNEYS, FLUES OR STOVEPIPES ATTACHED TO ANY FIREPLACE, STOVE, BARBEQUE OR OTHER SOLID OR LIQUID FUEL BURNING EQUIPMENT OR DEVICE SHALL BE EQUIPPED WITH AN APPROVED SPARK ARRESTOR.
- OVERFLOW DRAINS SHALL HAVE THE SAME SIZE AS THE ROOF DRAIN AND SHALL BE INSTALLED WITH THE FLOW LINE LOCATED 2" ABOVE THE LOW POINT OF THE ROOF.
- OVERFLOW SCUPPERS SHALL HAVE AN OPENING AREA THREE TIMES THE SIZE OF THE ROOF DRAIN; HAVE A MINIMUM OPENING HEIGHT OF 4"; BE INSTALLED IN AN ADJACENT PARAPET WALL AND WITH THE INLET FLOW LOCATED 2" ABOVE THE LOW POINT OF THE ROOF.
- OVERFLOW DRAINS AND SCUPPERS MUST HAVE SEPARATE OUTLETS FROM THE ROOF DRAINS / SCUPPERS.
- FOR TYPICAL PIPE PENETRATION SEE DETAIL 4/A7.1
- ALL FLAT ROOFS TO COMPLY WITH CRC R806.5
- ANY ROOF GUTTERS SHALL BE PROVIDED WITH MEANS TO PREVENT ACCUMULATION OF LEAVES AND DEBRIS.
- SOLAR ZONE AREA MINIMUM 250 S.F. CUMULATIVE AREA COMPROMISED OF MINIMUM 80 S.F. AREAS WITH MINIMUM 5-FOOT DIMENSIONS. NO OBSTRUCTIONS - INCLUDING VENTS, CHIMINEYS, SKYLIGHTS, ARCHITECTURAL FEATURES, ROOF-MOUNTED EQUIPMENT - LOCATED WITHIN SOLAR ZONE.
- THE MAIN ELECTRICAL SERVICE PANEL SHALL NOT BE OF A TYPE WITH A CENTER-FED MAIN CIRCUIT BREAKER AND SHALL INCLUDE RESERVED SPACE ALLOWING FOR INSTALLATION OF DOUBLE-POLE CIRCUIT BREAKERS FOR A FUTURE SOLAR PHOTOVOLTAIC SYSTEM. SUCH RESERVED SPACE SHALL BE POSITIONED AT THE OPPOSITE (LOAD) END FROM THE INPUT FEEDER OR MAIN CIRCUIT BREAKER LOCATION. THE RESERVED SPACE SHALL BE PERMANENTLY AND VISIBLY MARKED AS "FOR FUTURE SOLAR PHOTOVOLTAIC".
- ELECTRICAL JUNCTION BOX AND SEGMENT OF METALLIC RACEWAY IN THE ATTIC SHALL BE PERMANENTLY AND VISIBLY MARKED AS "FOR FUTURE SOLAR PHOTOVOLTAIC".
- PROVIDE TO ACCOMMODATE INSTALLATION OF ROOF-MOUNTED SOLAR PHOTOVOLTAIC SYSTEM:
 - APPROVED MINIMUM 4-INCH-SQUARE ELECTRICAL JUNCTION BOX LOCATED WITHIN 72 INCHES HORIZONTALLY AND 12 INCHES VERTICALLY OF MAIN ELECTRICAL SERVICE PANEL.
 - MINIMUM 1-INCH-DIAMETER LISTED ELECTRICAL METALLIC RACEWAY ORIGINATING AT THE REQUIRED ELECTRICAL JUNCTION BOX.
 - MINIMUM 1-INCH-DIAMETER LISTED ELECTRICAL METALLIC RACEWAY ORIGINATING AT THE REQUIRED ELECTRICAL JUNCTION BOX AND TERMINATING AT THE MAIN ELECTRICAL SERVICE PANEL.
- ALL EXPOSED STRUCTURAL MEMBERS TO BE CONSTRUCTED OF NON-COMBUSTIBLE MATERIAL, EXTERIOR FIRE-RETARDANT-TREATED WOOD, ONE-HOUR FIRE-RESISTANT MATERIAL OR BY USING HEAVY TIMBER CONSTRUCTION METHODS
- PREVENT INTRUSION OF FLAME AND EMBERS (EMBER RESISTANT "ER" APPROVED MODELS ONLY) INTO THE ATTIC.



LOT 2 - PROPOSED PLAN - LOWER
LEVEL

SCALE = 1/8" = 1'-0"



PLAN NOTES

1. FOR TYPICAL WALL PENETRATION SEE DETAIL SHEET.
2. PENETRATIONS OF FIRE-RESISTIVE WALLS, FLOOR-CEILINGS, AND ROOF-CEILINGS SHALL BE PROTECTED AS REQUIRED IN CRC SECTION R302.4.
3. PROVIDE LEVEL 5 DRYWALL THROUGHOUT.
4. PREP ALL SURFACES TO RECEIVE FINISH PER PLAN.
5. EXTERIOR DOORS MAY SWING OUTWARD ONLY OF THE EXTERIOR LANDING IS NOT MORE THAN 1-1/2" LOWER THAN THE TOP OF THE THRESHOLD. R311.3.1
6. ALL ABS AND PVC PIPING AND FITTINGS SHALL BE ENCLOSED WITHIN WALLS AND FLOORS COVERED WITH "TYPE X GYPSUM BOARD" OR SIMILAR ASSEMBLIES THAT PROVIDE THE SAME LEVEL OF FIRE PROTECTION. PROTECTION OF MEMBRANE PENETRATIONS IS NOT REQUIRED.
7. GARAGE AND HABITABLE SPACE ABOVE TO HAVE 1-HOUR FIRE RATING BETWEEN PER CRC R302.3, AND SOUND INSULATION WITH MINIMUM 50 STC RATING AND IMPACT SOUND INSULATION WITH MINIMUM 50 IIC PER CBC 1207.2, CBC 1207.3.
8. DUCTS IN THE GARAGE AND DUCTS PENETRATING THE WALLS OR CEILINGS SEPARATING THE DWELLING FROM THE GARAGE SHALL BE CONSTRUCTED OF MINIMUM NO. 26 GAUGE SHEET STEEL OR OTHER APPROVED MATERIAL AND SHALL HAVE NO OPENINGS INTO THE GARAGE.

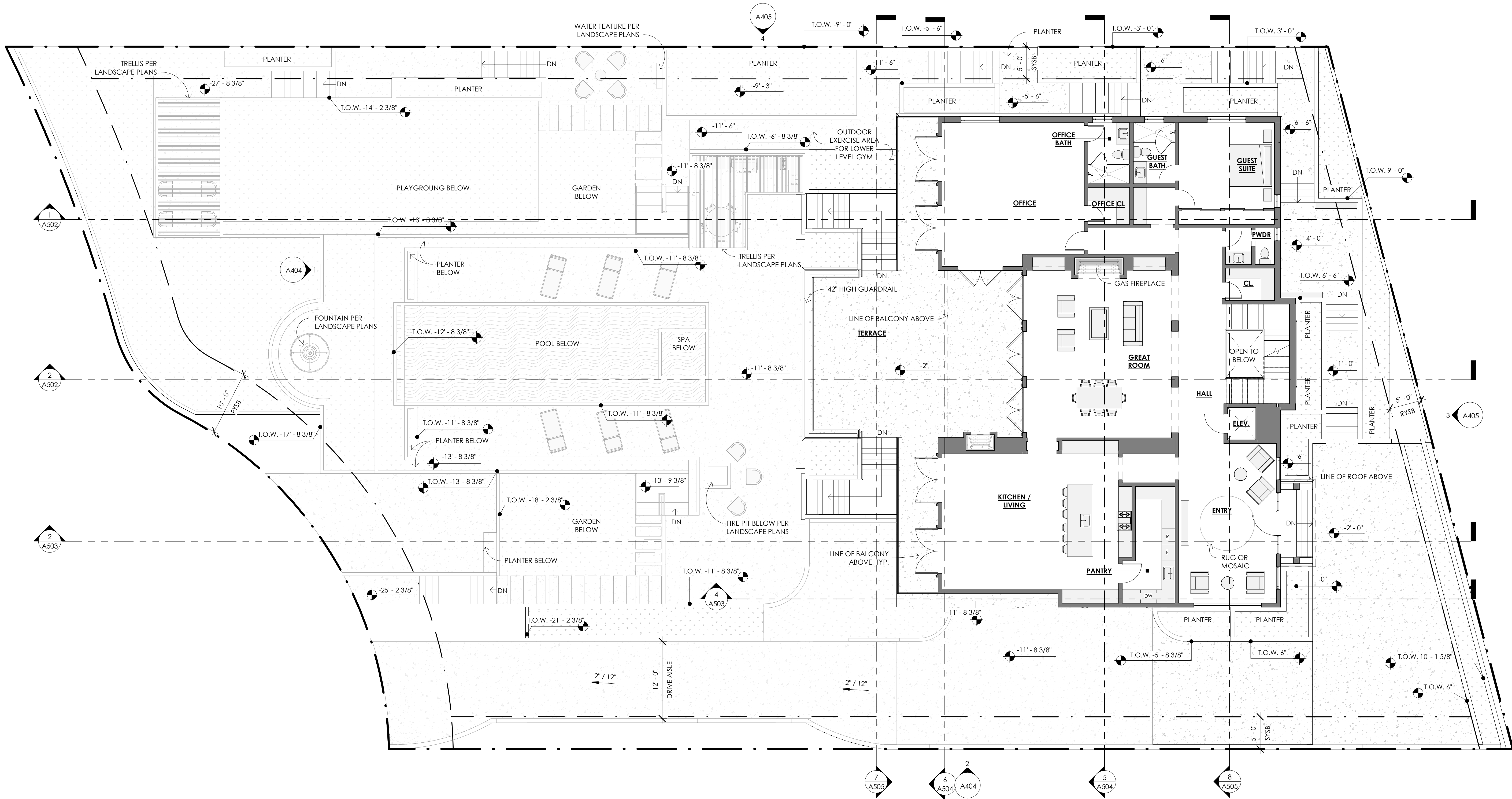
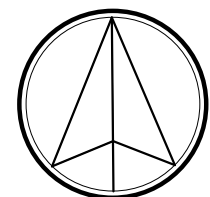
9. ATTIC / UNDERFLOOR INSTALLATION MUST COMPLY WITH SECTIONS 904, 908, AND 909 OF CMC.
10. FIRE BLOCKING SHALL BE PROVIDED AT VERTICAL FLOOR TO FLOOR PENETRATIONS CONCEALED WITHIN WALL CAVITIES. THROUGH PENETRATION FIRE STOP SYSTEM SHALL BE PROVIDED. BOTH VERTICAL AND THROUGH PENETRATION SHALL COMPLY WITH PROVISIONS SPECIFIED IN CBC, SECTION 714 AND CRC, SECTION R302.11, AS APPLICABLE.
11. PROPERLY COMPLETED AND SIGNED CERTIFICATES OF INSTALLATION (CF2R FORMS) SHALL BE PROVIDED TO THE INSPECTOR IN THE FIELD. FOR PROJECTS REQUIRING HERS VERIFICATION, THE CF2R FORMS SHALL BE REGISTERED WITH A CALIFORNIA-APPROVED HERS PROVIDER DATA REGISTRY.
12. PROPERLY COMPLETED CERTIFICATES OF VERIFICATION (CF3R FORMS) SHALL BE PROVIDED TO THE INSPECTOR IN THE FIELD FOR ITEMS REQUIRING HER VERIFICATION. CF3R FORMS SHALL BE REGISTERED WITH A CALIFORNIA-APPROVED HERS PROVIDER DATA REGISTRY.
13. EXTERIOR GARAGE DOORS SHALL RESIST THE INTRUSION OF EMBERS INTO THE GARAGE BY LIMITING THE SIZE OF ANY GAPS AT THE BOTTOM, SIDES, AND TOP OF THE DOOR TO 1/8 INCH OR LESS USING ONE OF THE FOLLOWING METHODS: (CRC R337.8.4, CBC 708A.4)
A. WEATHER-STRIPPING PRODUCTS WITH TENSILE STRENGTH AND FLAMMABILITY RATING PER CBC 708A.4.

- B. DOOR OVERLAPS ONTO JAMBS AND HEADERS.
- C. GARAGE DOOR JAMBS AND HEADERS COVERED WITH METAL FLASHING
14. A. COUNTER SURFACES SHALL NOT EXCEED 10 FEET IN TOTAL LENGTH, NOR SHALL WALL CABINETS. (THIS COUNTER SIZE STANDARD SHALL APPLY TO POOL HOUSES, ETC. AND TO DWELLING ROOMS THAT ARE DISTANT, OR ISOLATED, FROM THE MAIN LIVING AREA OF A HOME.)
- B. ONLY ONE SINGLE SINK IS ALLOWED, 18" MAXIMUM LENGTH, WITH A MAXIMUM 1/2 INCH DRAIN.
- C. ONLY ONE COMPACT REFRIGERATOR, FREEZER OR ICE MAKER (5 CUBIC FEET MAXIMUM CAPACITY) DESIGNED FOR PLACEMENT UNDER A COUNTER AND SO INSTALLED.
- D. NO GAS OR 220-VOLT AC POWER OUTLETS ARE ALLOWED IN THE VICINITY OF THE WET BAR.
- E. NO OTHER FACILITY (INCLUDING, BUT NOT LIMITED TO, STOVE, RANGE, DISHWASHER, MICROWAVE, GARBAGE DISPOSAL OR TRASH COMPACTOR) USED FOR THE PREPARATION OF FOOD SHALL BE LOCATED WITHIN OR NEAR A WET BAR. "THE PROPOSED WET BAR WILL COMPLY WITH THE ABOVE WET BAR LIMITATIONS".

1

LOT 2 - PROPOSED PLAN - MAIN
LEVEL

SCALE = 1/8" = 1'-0"



PLAN NOTES

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3. PROVIDE LEVEL 5 DRYWALL THROUGHOUT.

4. PREP ALL SURFACES TO RECEIVE FINISH PER PLAN.

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JOB #:

CIELO MAR - LOT 2 -
SINNET

8303 LA JOLLA SHORES DR, SAN DIEGO, CA 32037

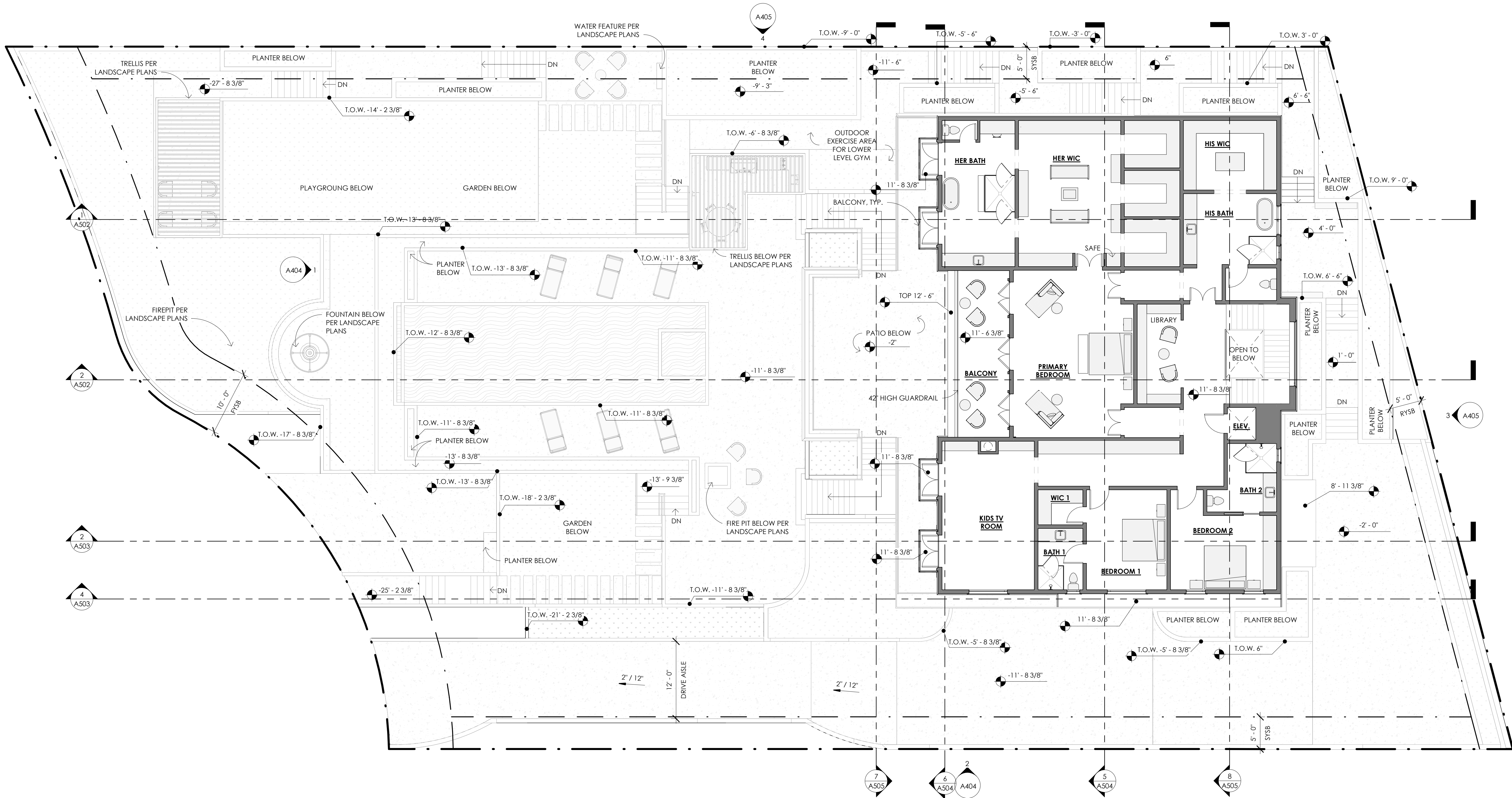
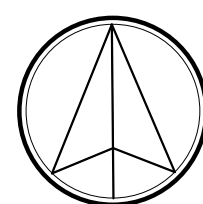
DATE:	ISSUE:
02/24/2023	CDP SUBMITTAL
10/03/2023	2ND CDP SUBMITTAL
03/18/2024	3RD CDP SUBMITTAL
08/16/2024	4TH CDP SUBMITTAL
12/13/2024	5TH CDP SUBMITTAL

A206

LOT 2 - PROPOSED
PLAN - UPPER
LEVEL
12/13/2024

1 LOT 2 - PROPOSED PLAN - UPPER
LEVEL

SCALE = 1/8" = 1'-0"

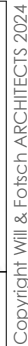


PLAN NOTES

1. FOR TYPICAL WALL PENETRATION SEE DETAIL SHEET.
2. PENETRATIONS OF FIRE-RESISTIVE WALLS, FLOOR-CEILINGS, AND ROOF-CEILINGS SHALL BE PROTECTED AS REQUIRED IN CRC SECTION R302.4.
3. PROVIDE LEVEL 5 DRYWALL THROUGHOUT.
4. PREP ALL SURFACES TO RECEIVE FINISH PER PLAN.
5. EXTERIOR DOORS MAY SWING OUTWARD ONLY OF THE EXTERIOR LANDING IS NOT MORE THAN 1-1/2" LOWER THAN THE TOP OF THE THRESHOLD. R311.3.1
6. ALL ABS AND PVC PIPING AND FITTINGS SHALL BE ENCLOSED WITHIN WALLS AND FLOORS COVERED WITH "TYPE X GYPSUM BOARD" OR SIMILAR ASSEMBLIES THAT PROVIDE THE SAME LEVEL OF FIRE PROTECTION. PROTECTION OF MEMBRANE PENETRATIONS IS NOT REQUIRED.
7. GARAGE AND HABITABLE SPACE ABOVE TO HAVE 1-HOUR FIRE RATING BETWEEN PER CRC R302.3, AND SOUND INSULATION WITH MINIMUM 50 STC RATING AND IMPACT SOUND INSULATION WITH MINIMUM 50 IIC PER CBC 1207.2, CBC 1207.3.
8. DUCTS IN THE GARAGE AND DUCTS PENETRATING THE WALLS OR CEILINGS SEPARATING THE DWELLING FROM THE GARAGE SHALL BE CONSTRUCTED OF MINIMUM NO. 26 GAUGE SHEET STEEL OR OTHER APPROVED MATERIAL AND SHALL HAVE NO OPENINGS INTO THE GARAGE.

9. ATTIC / UNDERFLOOR INSTALLATION MUST COMPLY WITH SECTIONS 904, 908, AND 909 OF CMC.
10. FIRE BLOCKING SHALL BE PROVIDED AT VERTICAL FLOOR TO FLOOR PENETRATIONS CONCEALED WITHIN WALL CAVITIES. THROUGH PENETRATION FIRE STOP SYSTEM SHALL BE PROVIDED. BOTH VERTICAL AND THROUGH PENETRATION SHALL COMPLY WITH PROVISIONS SPECIFIED IN CBC, SECTION 714 AND CRC, SECTION R302.11, AS APPLICABLE.
11. PROPERLY COMPLETED AND SIGNED CERTIFICATES OF INSTALLATION (CF2R FORMS) SHALL BE PROVIDED TO THE INSPECTOR IN THE FIELD. FOR PROJECTS REQUIRING HERS VERIFICATION, THE CF2R FORMS SHALL BE REGISTERED WITH A CALIFORNIA-APPROVED HERS PROVIDER DATA REGISTRY.
12. PROPERLY COMPLETED CERTIFICATES OF VERIFICATION (CF3R FORMS) SHALL BE PROVIDED TO THE INSPECTOR IN THE FIELD FOR ITEMS REQUIRING HER VERIFICATION. CF3R FORMS SHALL BE REGISTERED WITH A CALIFORNIA-APPROVED HERS PROVIDER DATA REGISTRY.
13. EXTERIOR GARAGE DOORS SHALL RESIST THE INTRUSION OF EMBERS INTO THE GARAGE BY LIMITING THE SIZE OF ANY GAPS AT THE BOTTOM, SIDES, AND TOP OF THE DOOR TO 1/8 INCH OR LESS USING ONE OF THE FOLLOWING METHODS: (CRC R337.8.4, CBC 708A.4)
A. WEATHER-STRIPPING PRODUCTS WITH TENSILE STRENGTH AND FLAMMABILITY RATING PER CBC 708A.4.

- B. DOOR OVERLAPS ONTO JAMBS AND HEADERS.
- C. GARAGE DOOR JAMBS AND HEADERS COVERED WITH METAL FLASHING
14. A. COUNTER SURFACES SHALL NOT EXCEED 10 FEET IN TOTAL LENGTH, NOR SHALL WALL CABINETS. (THIS COUNTER SIZE STANDARD SHALL APPLY TO POOL HOUSES, ETC. AND TO DWELLING ROOMS THAT ARE DISTANT, OR ISOLATED, FROM THE MAIN LIVING AREA OF A HOME.)
- B. ONLY ONE SINGLE SINK IS ALLOWED, 18" MAXIMUM LENGTH, WITH A MAXIMUM 1/2 INCH DRAIN.
- C. ONLY ONE COMPACT REFRIGERATOR, FREEZER OR ICE MAKER (5 CUBIC FEET MAXIMUM CAPACITY) DESIGNED FOR PLACEMENT UNDER A COUNTER AND SO INSTALLED.
- D. NO GAS OR 220-VOLT AC POWER OUTLETS ARE ALLOWED IN THE VICINITY OF THE WET BAR.
- E. NO OTHER FACILITY (INCLUDING, BUT NOT LIMITED TO, STOVE, RANGE, DISHWASHER, MICROWAVE, GARBAGE DISPOSAL OR TRASH COMPACTOR) USED FOR THE PREPARATION OF FOOD SHALL BE LOCATED WITHIN OR NEAR A WET BAR. "THE PROPOSED WET BAR WILL COMPLY WITH THE ABOVE WET BAR LIMITATIONS".



1298 PROSPECT STREET, SUITE 2S, LA JOLLA, CA 92037 - (6) 858-224-2486

CIELO MAR - LOT 2 -
SINNET
8303 LA JOLLA SHORES DR. SAN DIEGO, CA 32037

A207

LOT 2 - ROOF
PLAN

<p> PLT DATE AND TIME: 12/12/2024 18:09:00 Autodesk Docs://12220 Cielo Mar Overall - Cielo Mar LLC/LA JOILA SHORES - LOT 2 - CDP.MI </p>



1. TWO LAYERS OF UNDERLAYMENT REQUIRED FOR LOW SLOPED ROOFS PER CRC SECTION R9-5.3.3.1.
2. ROOF GUTTERS SHALL PROVIDE WITH THE MEANS TO PREVENT ACCUMULATION OF LEAVE AND DEBRIS IN THE GUTTER. ALL ROOF GUTTERS AND DOWNSPOUTS SHALL BE CONSTRUCTED OF NON-COMBUSTIBLE MATERIALS. THEY SHALL ALSO HAVE ZINC ALUME COATING.
3. DRIP EDGE FLASHING USED AT THE FREE EDGES OF ROOFING MATERIALS SHALL BE NON-COMBUSTIBLE.
4. CHIMNEYS, FLUES OR STOVEPIPES ATTACHED TO ANY FIREPLACE, STOVE, BARBEQUE OR OTHER SOLID OR LIQUID FUEL BURNING EQUIPMENT OR DEVICE SHALL BE EQUIPPED WITH AN APPROVED SPARK ARRESTOR.
5. OVERFLOW DRAINS SHALL HAVE THE SAME SIZE AS THE ROOF DRAIN AND SHALL BE INSTALLED WITH THE FLOW LINE LOCATED 2" ABOVE THE LOW POINT OF THE ROOF.
6. OVERFLOW SCUPPERS SHALL HAVE AN OPENING AREA THREE TIMES THE SIZE OF THE ROOF DRAIN. HAVE A MINIMUM OPENING HEIGHT OF 6" BE INSTALLED IN AN ADJACENT PARAPET WALL AND WITH THE INLET FLOW LOCATED 2" ABOVE THE LOW POINT OF THE ROOF.
7. OVERFLOW DRAINS AND SCUPPERS MUST HAVE SEPARATE OUTLETS FROM THE ROOF DRAINS / SCUPPERS.
8. FOR TYPICAL PICE PENETRATION SEE DETAIL 4/A7.1.
9. ALL FLAT ROOFS TO COMPLY WITH R9-5.3.3.1.
10. ANY ROOF GUTTERS SHALL BE PROVIDED WITH MEANS TO PREVENT ACCUMULATION OF LEAVES AND DEBRIS.
11. SOLAR ZONE AREA MINIMUM 250 S.F. CUMULATIVE AREA COMPROMISED OF MINIMUM 80 S.F. AREAS WITH MINIMUM 5-FOOT DIMENSIONS, NO OBSTRUCTIONS - INCLUDING VENTS, CHIMNEYS, SKYLIGHTS, ARCHITECTURAL FEATURES, ROOF-MOUNTED EQUIPMENT - LOCATED WITHIN SOLAR ZONE.
12. THE MAIN ELECTRICAL SERVICE PANEL SHALL NOT BE OF A TYPE WITH A CENTER-FED MAIN CIRCUIT BREAKER AND SHALL INCLUDE RESERVED SPACE ALLOWING FOR INSTALLATION OF DOUBLE-POLE CIRCUIT BREAKERS FOR A FUTURE SOLAR PHOTOVOLTAIC SYSTEM. SUCH RESERVED SPACE SHALL BE POSITIONED AT THE OPPOSITE (LOAD) END FROM THE INPUT FEEDER OR MAIN CIRCUIT BREAKER LOCATION. THE RESERVED SPACE SHALL BE PERMANENTLY AND VISIBLY MARKED AS "FOR FUTURE SOLAR PHOTOVOLTAIC".
13. ELECTRICAL JUNCTION BOX AND SEGMENT OF METALLIC RACEWAY IN THE ATTIC SHALL BE PERMANENTLY AND VISIBLY MARKED AS "FOR FUTURE SOLAR PHOTOVOLTAIC".
14. PROVIDE TO ACCOMMODATE INSTALLATION OF ROOF-MOUNTED SOLAR PHOTOVOLTAIC SYSTEM.
 - APPROVED MINIMUM 4-INCH SQUARE ELECTRICAL JUNCTION BOX LOCATED WITHIN 72 INCHES HORIZONTALLY AND 12 INCHES VERTICALLY OF MAIN ELECTRICAL SERVICE PANEL.
 - MINIMUM 1-INCH-DIAMETER LISTED ELECTRICAL METALLIC RACEWAY ORIGINATING AT READY ACCESSIBLE ATTIC JUNCTION BOX WITH PROXIMITY TO SOLAR ZONE AREA AND TERMINATING AT THE REQUIRED ELECTRICAL JUNCTION BOX.
 - MINIMUM 1-INCH-DIAMETER LISTED ELECTRICAL METALLIC RACEWAY ORIGINATING AT THE REQUIRED ELECTRICAL JUNCTION BOX AND TERMINATING AT THE MAIN ELECTRICAL SERVICE PANEL.
15. ALL EXPOSED STRUCTURAL MEMBERS TO BE CONSTRUCTED OF NON-COMBUSTIBLE MATERIAL, EXTERIOR FIRE-RETARDANT-TREATED WOOD, ONE-HOUR FIRE-RESISTANT MATERIAL OR BY USING HEAVY TIMBER CONSTRUCTION METHODS.
16. PREVENT INTRUSION OF FLAME AND EMBERS (EMBER RESISTANT "ER" APPROVED MODELS ONLY) INTO THE ATTIC.

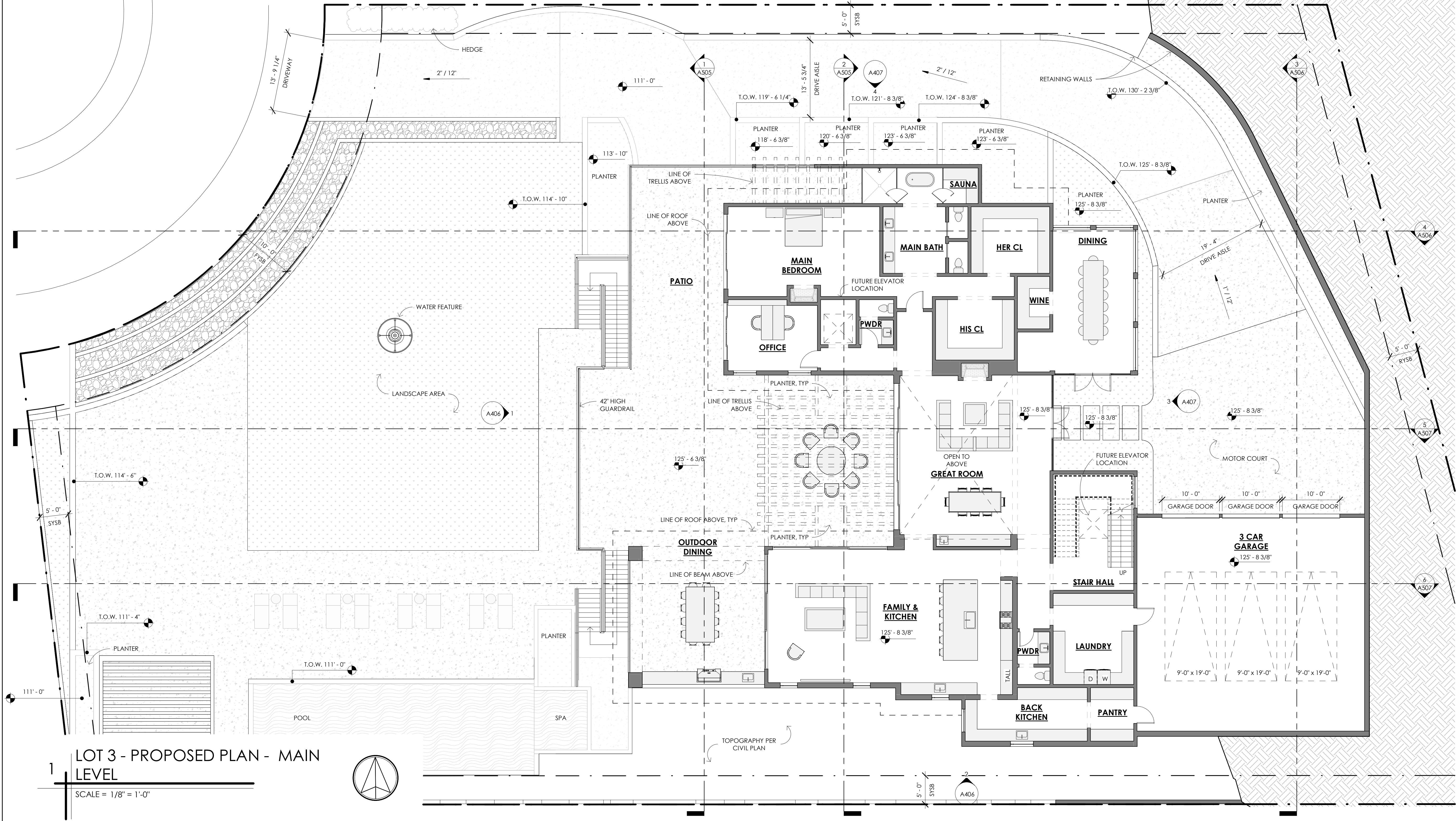
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8303 LA JOLLA SHORES DR. SAN DIEGO, CA 32037

<p> PLT DATE AND TIME: 12/12/2024 17:51:24 </p>	<p> Autodesk Docs: /2220 Cielo Mar Overall - Cielo Mar LLC/LA JOLLA SHORES - LOT 3 - CDP.MI </p>
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1. FOR TYPICAL WALL PENETRATION SEE DETAIL SHEET.	9. ATTIC / UNDERFLOOR INSTALLATION MUST COMPLY WITH SECTIONS 904, 908, AND 909 OF CMCC.	B. GARAGE OVERLAPS ONTO JAMBS AND HEADERS.
2. PENETRATIONS OF FIRE-RESISTIVE WALLS, FLOOR-CEILINGS, AND ROOF-CEILINGS SHALL BE PROTECTED AS REQUIRED IN CRC SECTION R302.4.	10. FIRE BLOCKING SHALL BE PROVIDED AT VERTICAL FLOOR TO FLOOR PENETRATIONS CONCEALED WITHIN WALL CAVITIES. THROUGH PENETRATION FIRE STOP SYSTEM SHALL BE PROVIDED. BOTH VERTICAL AND THROUGH PENETRATION SHALL COMPLY WITH PROVISIONS SPECIFIED IN CBC, SECTION 714 AND CRC, SECTION R302.11, AS APPLICABLE.	C. DOOR GARAGE DOOR JAMBS AND HEADERS COVERED WITH METAL FLASHING
3. PROVIDE LEVEL 5 DRYWALL THROUGHOUT.		14. A. COUNTER SURFACES SHALL NOT EXCEED 10 FEET IN TOTAL LENGTH, NOR SHALL WALL CABINETS. (THIS COUNTER SIZE STANDARD SHALL APPLY TO POOL HOUSES, ETC., AND TO DWELLING ROOMS THAT ARE DISTANT, OR ISOLATED, FROM THE MAIN LIVING AREA OF A HOME.)
4. PREP ALL SURFACES TO RECEIVE FINISH PER PLAN.		B. ONLY ONE SINGLE SINK IS ALLOWED, 18" MAXIMUM LENGTH, WITH A MAXIMUM 1 1/2 INCH DRAIN.
5. EXTERIOR DOORS MAY SWING OUTWARD ONLY OF THE EXTERIOR LANDING IS NOT MORE THAN 1-1/2" LOWER THAN THE TOP OF THE THRESHOLD. R311.3.1	11. PROPERLY COMPLETED AND SIGNED CERTIFICATES OF INSTALLATION (CF2R FORMS) SHALL BE PROVIDED TO THE INSPECTOR IN THE FIELD. FOR PROJECTS REQUIRING HERS VERIFICATION, THE CF2R FORMS SHALL BE REGISTERED WITH A CALIFORNIA-APPROVED HERS PROVIDER DATA REGISTRY.	C. ONLY ONE COMPACT REFRIGERATOR, FREEZER OR ICE MAKER (5 CUBIC FEET MAXIMUM CAPACITY) DESIGNED FOR PLACEMENT UNDER A COUNTER AND SO INSTALLED.
6. ALL ABS AND PVC PIPING AND FITTINGS SHALL BE ENCLOSED WITHIN WALLS AND FLOORS COVERED WITH TYPE X GYPSUM BOARD OR SIMILAR ASSEMBLIES THAT PROVIDE THE SAME LEVEL OF FIRE PROTECTION. PROTECTION OF MEMBRANE PENETRATIONS IS NOT REQUIRED.	12. PROPERLY COMPLETED CERTIFICATES OF VERIFICATION (CF3R FORMS) SHALL BE PROVIDED TO THE INSPECTOR IN THE FIELD FOR ITEMS REQUIRING HERS VERIFICATION. CF3R FORMS SHALL BE REGISTERED WITH A CALIFORNIA-APPROVED HERS PROVIDER DATA REGISTRY.	D. NO GAS OR 220-VOLT AC POWER OUTLETS ARE ALLOWED IN THE VICINITY OF THE WET BAR.
7. GARAGE AND HABITABLE SPACE ABOVE TO HAVE 1-HOUR FIRE RATING BETWEEN PER CRC R302.3. AND SOUND INSULATION WITH MINIMUM 50 STC RATING AND IMPACT SOUND INSULATION WITH MINIMUM 50 IIC PER CBC 1207.2, CBC 1207.3.	13. EXTERIOR GARAGE DOORS SHALL RESIST THE INTRUSION OF EMBERS INTO THE GARAGE BY LIMITING THE SIZE OF ANY GAPS AT THE BOTTOM, SIDES, AND TOP OF THE DOOR TO 1/8 INCH OR LESS USING ONE OF THE FOLLOWING METHODS: [CRC R337.8.4, CBC 708A.4]	E. NO OTHER FACILITY (INCLUDING, BUT NOT LIMITED TO, STOVE, RANGE, DISHWASHER, MICROWAVE, GARBAGE DISPOSAL, OR TRASH COMPACTOR) USED FOR THE PREPARATION OF FOOD SHALL BE LOCATED WITHIN OR NEAR A WET BAR. "THE PROPOSED WET BAR WILL COMPLY WITH THE ABOVE WET BAR LIMITATIONS".
8. DUCTS IN THE GARAGE AND DUCTS PENETRATING THE WALLS OR CEILINGS SEPARATING THE DWELLING FROM THE GARAGE SHALL BE CONSTRUCTED OF MINIMUM NO. 26 GAUGE SHEET STEEL OR OTHER APPROVED MATERIAL AND SHALL HAVE NO OPENINGS INTO THE GARAGE.	A. WEATHER-STRIPPING PRODUCTS WITH TENSILE STRENGTH AND FLAMMABILITY RATING PER CBC 708A.4.	



LOT 3 - PROPOSED PLAN - MAIN LEVEL

SCALE = 1/8" = 1'-0"

PLAN NOTES

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- GARAGE AND HABITABLE SPACE ABOVE TO HAVE 1-HOUR FIRE RATING BETWEEN PER CRC R302.3, AND SOUND INSULATION WITH MINIMUM 50 STC RATING AND IMPACT SOUND INSULATION WITH MINIMUM 50 IIC PER CBC 1207.2, CBC 1207.3.
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- ATTIC / UNDERFLOOR INSTALLATION MUST COMPLY WITH SECTIONS 904, 908, AND 909 OF CMC.
- FIRE BLOCKING SHALL BE PROVIDED AT VERTICAL FLOOR TO FLOOR PENETRATIONS CONCEALED WITHIN WALL CAVITIES. THROUGH PENETRATION FIRE STOP SYSTEM SHALL BE PROVIDED, BOTH VERTICAL, AND THROUGH PENETRATION SHALL COMPLY WITH PROVISIONS SPECIFIED IN CBC, SECTION 714 AND CRC, SECTION R302.1.1, AS APPLICABLE.
- PROPERLY COMPLETED AND SIGNED CERTIFICATES OF INSTALLATION (CF2R FORMS) SHALL BE PROVIDED TO THE INSPECTOR IN THE FIELD, FOR PROJECTS REQUIRING HERS VERIFICATION. THE CF2R FORMS SHALL BE REGISTERED WITH A CALIFORNIA-APPROVED HERS PROVIDER DATA REGISTRY.
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A. WEATHER-STRIPPING PRODUCTS WITH TENSILE STRENGTH AND FLAMMABILITY RATING PER CBC 708A.4.
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C. GARAGE DOOR JAMBS AND HEADERS COVERED WITH METAL FLASHING
- A. COUNTER SURFACES SHALL NOT EXCEED 10 FEET IN TOTAL LENGTH, NOR SHALL WALL CABINETS, (THIS COUNTER SIZE STANDARD SHALL APPLY TO POOL HOUSES, ETC. AND TO DWELLING ROOMS THAT ARE DISTANT, OR ISOLATED, FROM THE MAIN LIVING AREA OF A HOME.)
B. ONLY ONE SINGLE SINK IS ALLOWED, 18" MAXIMUM LENGTH, WITH A MAXIMUM 1/2 INCH DRAIN.
C. ONLY ONE COMPACT REFRIGERATOR, FREEZER OR ICE MAKER (5 CUBIC FEET MAXIMUM CAPACITY) DESIGNED FOR PLACEMENT UNDER A COUNTER AND SO INSTALLED.
D. NO GAS OR 220-VOLT AC POWER OUTLETS ARE ALLOWED IN THE VICINITY OF THE WET BAR.
E. NO OTHER FACILITY (INCLUDING, BUT NOT LIMITED TO, STOVE, RANGE, DISHWASHER, MICROWAVE, GARBAGE DISPOSAL OR TRASH COMPACTOR) USED FOR THE PREPARATION OF FOOD SHALL BE LOCATED WITHIN OR NEAR A WET BAR. "THE PROPOSED WET BAR WILL COMPLY WITH THE ABOVE WET BAR LIMITATIONS".

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12/13/2024	5TH CDP SUBMITTAL

W.F
ARCHITECTS

WILL & FOTSCH ARCHITECTS

1298 PROSPECT STREET, SUITE 2S, LA JOLLA, CA 92037 - (o) 858-224-2486

CIELO MAR - LOT 3 - ALLOS

8303 LA JOLLA SHORES DR, SAN DIEGO, CA 32037

JOB #:

DATE: 02/24/2023
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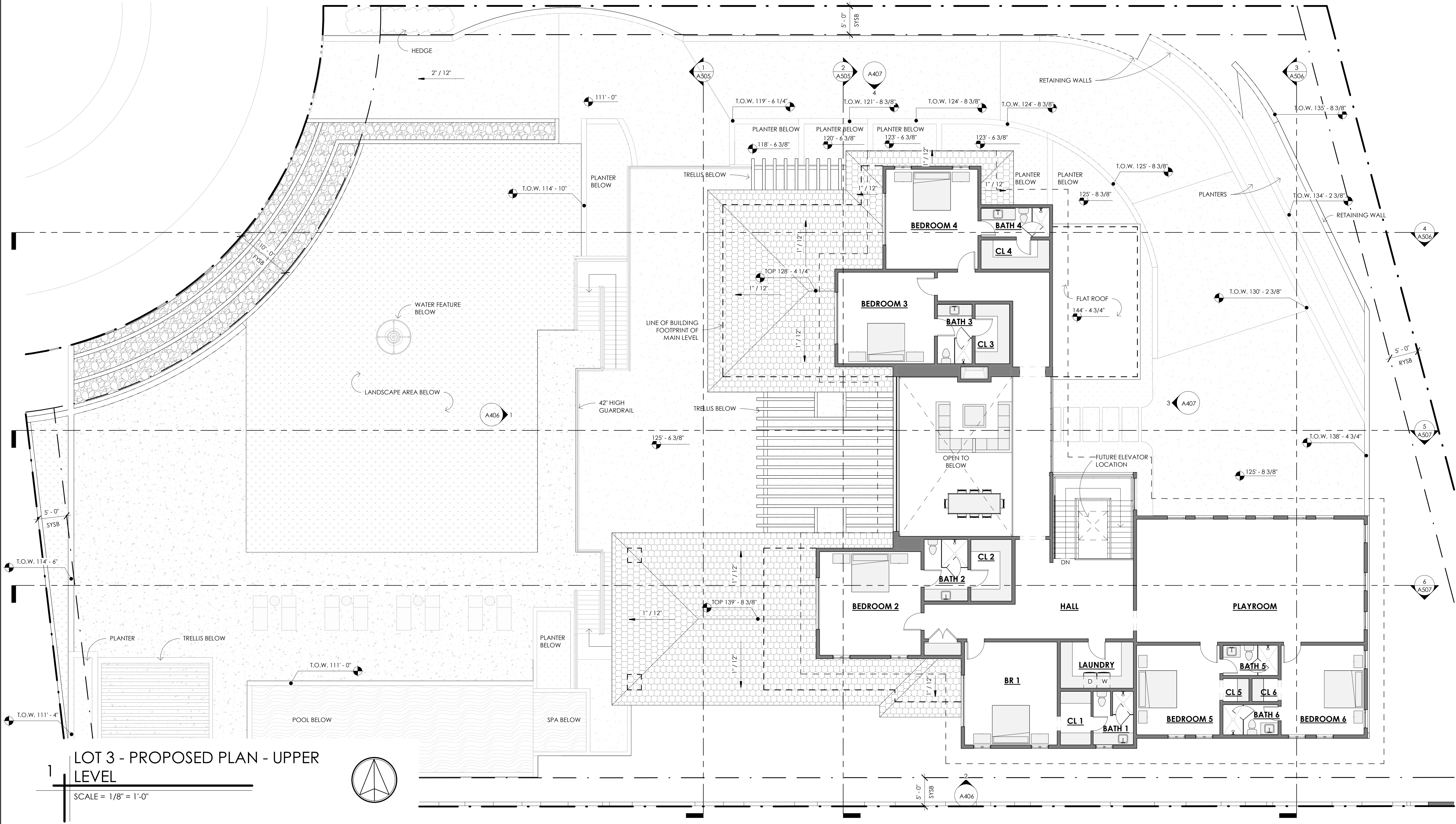
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LOT 3 - PROPOSED
PLAN - UPPER
LEVEL
12/13/2024

12/12/2024 17:51:31

Autodesk Docs/202302 Cielo Mar Owner - Cielo Mar LG/LA JOLLA SHORES - LOT 3 - CDP.rvt

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LOT 3 - PROPOSED PLAN - UPPER LEVEL

SCALE = 1/8" = 1'-0"

PLAN NOTES

1. FOR TYPICAL WALL PENETRATION SEE DETAIL SHEET.

2. PENETRATIONS OF FIRE-RESISTIVE WALLS, FLOOR-CEILINGS, AND ROOF-CEILINGS SHALL BE PROTECTED AS REQUIRED IN CRC SECTION R302.4.

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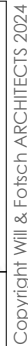
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B. ONLY ONE SINGLE SINK IS ALLOWED, 18" MAXIMUM LENGTH, WITH A MAXIMUM 1/2 INCH DRAIN.

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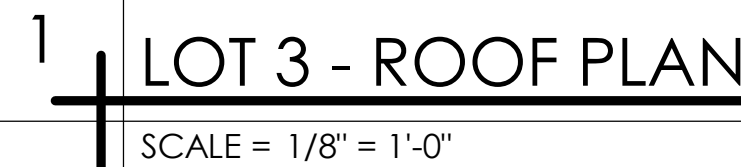


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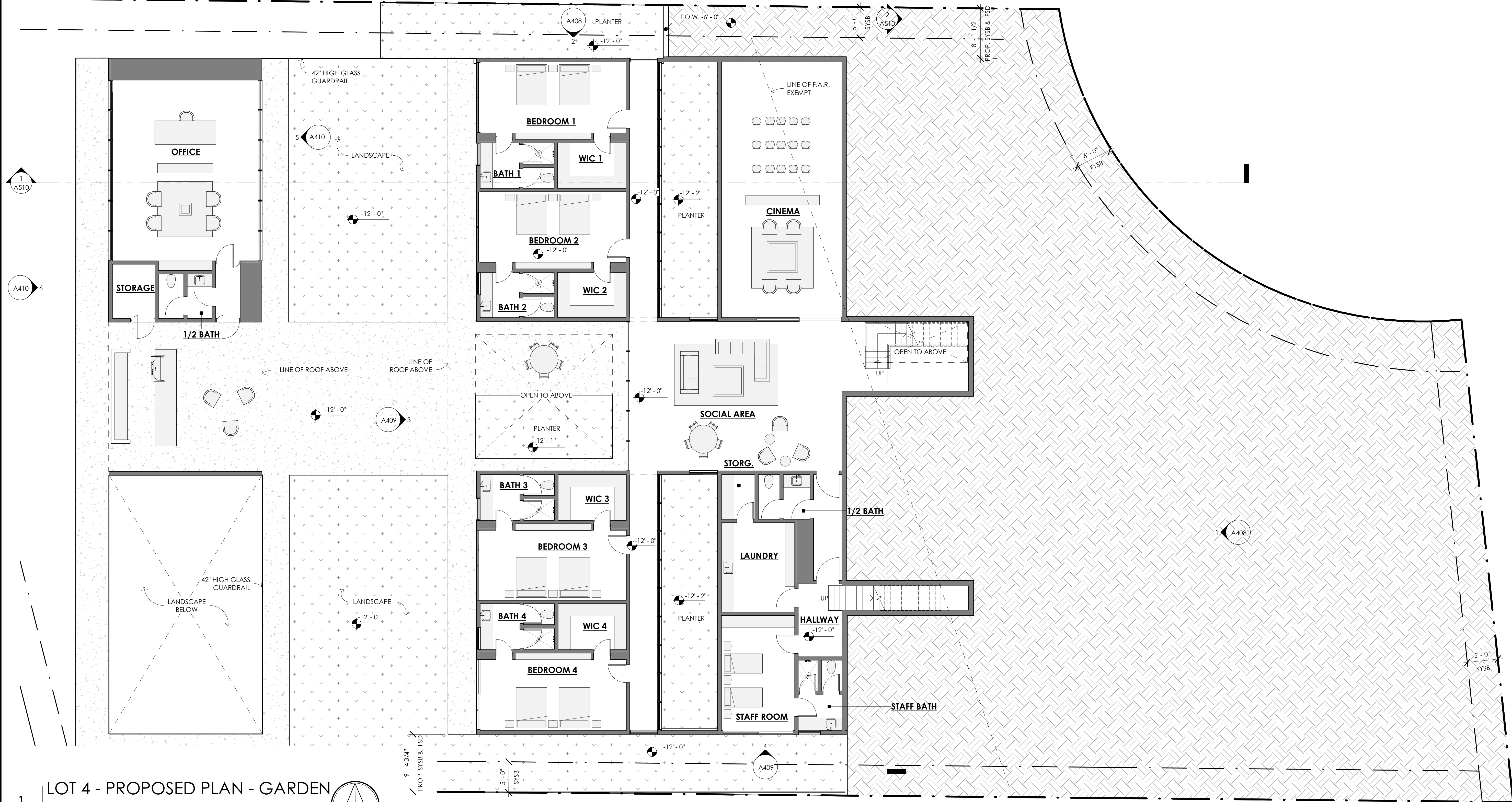
8303 LA JOLLA SHORES DR. SAN DIEGO, CA 32037

PLT DATE AND TIME: 12/12/2024 17:51:34 Autodesk Docs://12220 Cielo Mar Overall - Cielo Mar LLC/LA JOILA SHORES - LOT 3 - CDP.M

12/13/2024



1. TWO LAYERS OF UNDERLAYMENT REQUIRED FOR LOW SLOPED ROOFS PER CRC SECTION R9-5.3.3.1.	12. THE MAIN ELECTRICAL SERVICE PANEL SHALL NOT BE OF A TYPE WITH A CENTER-FED MAIN CIRCUIT BREAKER AND SHALL INCLUDE RESERVED SPACE ALLOWING FOR INSTALLATION OF DOUBLE POLE CIRCUIT BREAKERS FOR A FUTURE SOLAR PHOTOVOLTAIC SYSTEM. SUCH RESERVED SPACE SHALL BE POSITIONED AT THE OPPOSITE (LOAD) END FROM THE INPUT FEEDER OR MAIN CIRCUIT BREAKER LOCATION. THE RESERVED SPACE SHALL BE PERMANENTLY AND VISIBLY MARKED AS "FOR FUTURE SOLAR PHOTOVOLTAIC".
2. ROOF GUTTERS SHALL PROVIDE WITH THE MEANS TO PREVENT ACCUMULATION OF LEAF AND DEBRIS IN THE GUTTER. ALL ROOF GUTTERS AND DOWNSPOUTS SHALL BE CONSTRUCTED OF NON-COMBUSTIBLE MATERIALS. THEY SHALL ALSO HAVE ZINCALUME COATING.	13. ELECTRICAL JUNCTION BOX AND SEGMENT OF METALLIC RACEWAY IN THE ATTIC SHALL BE PERMANENTLY AND VISIBLY MARKED AS "FOR FUTURE SOLAR PHOTOVOLTAIC".
3. Drip edge flashing used at the free edges of roofing materials shall be non-combustible.	14. PROVIDE TO ACCOMMODATE INSTALLATION OF ROOF-MOUNTED SOLAR PHOTOVOLTAIC SYSTEM: - APPROXIMATE MINIMUM 4-INCH-SQUARE ELECTRICAL JUNCTION BOX LOCATED WITHIN 72 INCHES HORIZONTALLY AND 12 INCHES VERTICALLY FROM MAIN ELECTRICAL SERVICE PANEL - MINIMUM 1-INCH-DIAMETER LISTED ELECTRICAL METALLIC RACEWAY ORIGINATING AT READILY ACCESSIBLE ATTIC LOCATION WITH PROXIMITY TO SOLAR ZONE AREA AND TERMINATING AT THE REQUIRED ELECTRICAL JUNCTION BOX
4. CHIMNEYS, FLUES OR STOVEPIECES ATTACHED TO ANY FIREPLACE, STOVE, BARBEQUE OR OTHER SOLID OR LIQUID FUEL BURNING EQUIPMENT OR DEVICE SHALL BE EQUIPPED WITH AN APPROVED SPARK ARRESTOR.	- MINIMUM 1-INCH-DIAMETER LISTED ELECTRICAL METALLIC RACEWAY ORIGINATING AT THE REQUIRED ELECTRICAL JUNCTION BOX AND TERMINATING AT THE MAIN ELECTRICAL SERVICE PANEL
5. OVERFLOW DRAINS SHALL HAVE THE SAME SIZE AS THE ROOF DRAIN AND SHALL BE INSTALLED WITH THE FLOW LINE LOCATED 2" ABOVE THE LOW POINT OF THE ROOF.	15. ALL EXPOSED STRUCTURAL MEMBERS TO BE CONSTRUCTED OF NON-COMBUSTIBLE MATERIAL. EXTERIOR FIRE-RETARDANT-TREATED WOOD, ONE-HOUR FIRE-RESISTANT MATERIAL OR BY USING HEAVY WOOD MEMBERS.
6. OVERFLOW SCUPPERS SHALL HAVE AN OPENING AREA THREE TIMES THE SIZE OF THE ROOF DRAIN AND MINIMUM OPENING HEIGHT SHALL BE INSTALLED IN AN ADJACENT PARAPET WALL AND WITH THE INLET 7" LOCATED 2" ABOVE THE LOW POINT OF THE ROOF.	16. PREVENT INTRUSION OF FLAME AND EMBERS [EMBER RESISTANT "ER" APPROVED MODELS ONLY] INTO THE ATTIC.
7. OVERFLOW DRAINS AND SCUPPERS MUST HAVE SEPARATE OUTLETS FROM THE ROOF DRAINS / SCUPPERS.	
8. FOR TYPICAL PILE PENETRATION SEE DETAIL 4/A7.1	
9. ALL FLAT ROOFS TO BE CONSTRUCTED PER CRC REQ. 5.5	
10. ANY ROOF GUTTERS SHALL BE PROVIDED WITH MEANS TO PREVENT ACCUMULATION OF LEAVES AND DEBRIS.	
11. SOLAR ZONE AREA MINIMUM 250 S.F. CUMULATIVE AREA COMPROMISED OF MINIMUM 80 S.F. AREAS WITH MINIMUM 5-FOOT DIMENSIONS. NO OBSTRUCTIONS - INCLUDING VENTS, CHIMNEYS, SKYLIGHTS, ARCHITECTURAL FEATURES, ROOF-MOUNTED EQUIPMENT - LOCATED WITHIN SOLAR ZONE.	



1 LOT 4 - PROPOSED PLAN - GARDEN LEVEL
SCALE = 1/8" = 1'-0"

PLAN NOTES	
1. FOR TYPICAL WALL PENETRATION SEE DETAIL SHEET.	9. ATTIC / UNDERFLOOR INSTALLATION MUST COMPLY WITH SECTIONS 904, 908, AND 909 OF CMC.
2. PENETRATIONS OF FIRE-RESISTIVE WALLS, FLOOR-CEILINGS, AND ROOF-CEILINGS SHALL BE PROTECTED AS REQUIRED IN CRC SECTION R302.4.	10. FIRE BLOCKING SHALL BE PROVIDED AT VERTICAL FLOOR TO FLOOR PENETRATIONS CONCEALED WITHIN WALL CAVITIES. THROUGH PENETRATION FIRE STOP SYSTEM SHALL BE PROVIDED. BOTH VERTICAL AND THROUGH PENETRATION SHALL COMPLY WITH PROVISIONS SPECIFIED IN CBC, SECTION 714 AND CRC, SECTION R302.11, AS APPLICABLE.
3. PROVIDE LEVEL 5 DRYWALL THROUGHOUT.	11. PROPERLY COMPLETED AND SIGNED CERTIFICATES OF INSTALLATION (CF2R FORMS) SHALL BE PROVIDED TO THE INSPECTOR IN THE FIELD. FOR PROJECTS REQUIRING HERS VERIFICATION, THE CF2R FORMS SHALL BE REGISTERED WITH A CALIFORNIA-APPROVED HERS PROVIDER DATA REGISTRY.
4. PREP ALL SURFACES TO RECEIVE FINISH PER PLAN.	12. PROPERLY COMPLETED CERTIFICATES OF VERIFICATION (CF3R FORMS) SHALL BE PROVIDED TO THE INSPECTOR IN THE FIELD FOR ITEMS REQUIRING HER VERIFICATION. CF3R FORMS SHALL BE REGISTERED WITH A CALIFORNIA-APPROVED HERS PROVIDER DATA REGISTRY.
5. EXTERIOR DOORS MAY SWING OUTWARD ONLY IF THE EXTERIOR LANDING IS NOT MORE THAN 1-1/2" LOWER THAN THE TOP OF THE THRESHOLD. R311.3.1	13. EXTERIOR GARAGE DOORS SHALL RESIST THE INTRUSION OF EMBERS INTO THE GARAGE BY LIMITING THE SIZE OF ANY GAPS AT THE BOTTOM, SIDES, AND TOP OF THE DOOR TO 1/8" INCH OR LESS USING ONE OF THE FOLLOWING METHODS: (CRC R337.8.4, CBC 708A.4) A. WEATHER-STRIPPING PRODUCTS WITH TENSILE STRENGTH AND FLAMMABILITY RATING PER CBC 708A.4.
6. ALL ABS AND PVC PIPING AND FITTINGS SHALL BE ENCLOSED WITHIN WALLS AND FLOORS COVERED WITH "TYPE X GYPSUM BOARD" OR SIMILAR ASSEMBLIES THAT PROVIDE THE SAME LEVEL OF FIRE PROTECTION. PROTECTION OF MEMBRANE PENETRATIONS IS NOT REQUIRED.	14. A. COUNTER SURFACES SHALL NOT EXCEED 10 FEET IN TOTAL LENGTH, NOR SHALL WALL CABINETS, (THIS COUNTER SIZE STANDARD SHALL APPLY TO POOL HOUSES, ETC., AND TO DWELLING ROOMS THAT ARE DISTANT, OR ISOLATED, FROM THE MAIN LIVING AREA OF A HOME.) B. ONLY ONE SINGLE SINK IS ALLOWED, 18" MAXIMUM LENGTH, WITH A MAXIMUM 1/2" INCH DRAIN. C. ONLY ONE COMPACT REFRIGERATOR, FREEZER OR ICE MAKER (5 CUBIC FEET MAXIMUM CAPACITY) DESIGNED FOR PLACEMENT UNDER A COUNTER AND SO INSTALLED. D. NO GAS OR 220-VOLT AC POWER OUTLETS ARE ALLOWED IN THE VICINITY OF THE WET BAR. E. NO OTHER FACILITY (INCLUDING, BUT NOT LIMITED TO, STOVE, RANGE, DISHWASHER, MICROWAVE, GARBAGE DISPOSAL OR TRASH COMPACTOR) USED FOR THE PREPARATION OF FOOD SHALL BE LOCATED WITHIN OR NEAR A WET BAR. "THE PROPOSED WET BAR WILL COMPLY WITH THE ABOVE WET BAR LIMITATIONS".

W.F ARCHITECTS

WILL & FOTSCH ARCHITECTS

1298 PROSPECT STREET, SUITE 2S, LA JOLLA, CA 92037 - (o) 858-224-2486

JOB #:

CIELO MAR - LOT 4 - A-2 TRUST

8303 LA JOLLA SHORES DR, SAN DIEGO, CA 32037

DATE: 02/24/2023
02/24/2023
10/03/2023
03/18/2024
08/16/2024
12/13/2024

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2ND CDP SUBMITTAL
3RD CDP SUBMITTAL
4TH CDP SUBMITTAL
5TH CDP SUBMITTAL

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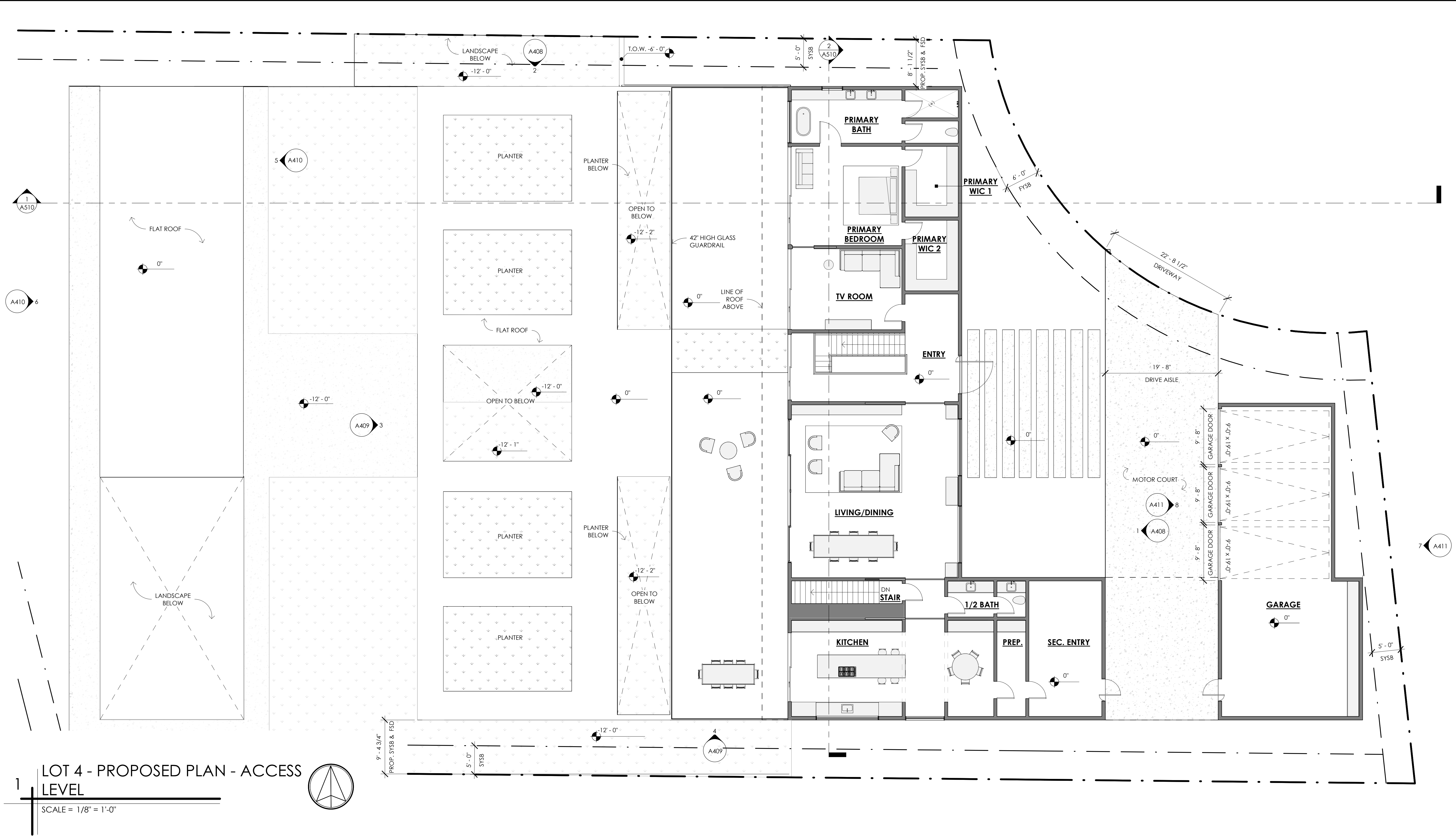
LOT 4 - PROPOSED PLAN - GARDEN LEVEL

12/13/2024

02/24/2023 CDP SUBMITTAL
02/24/2023 2ND CDP SUBMITTAL
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03/18/2024 4TH CDP SUBMITTAL
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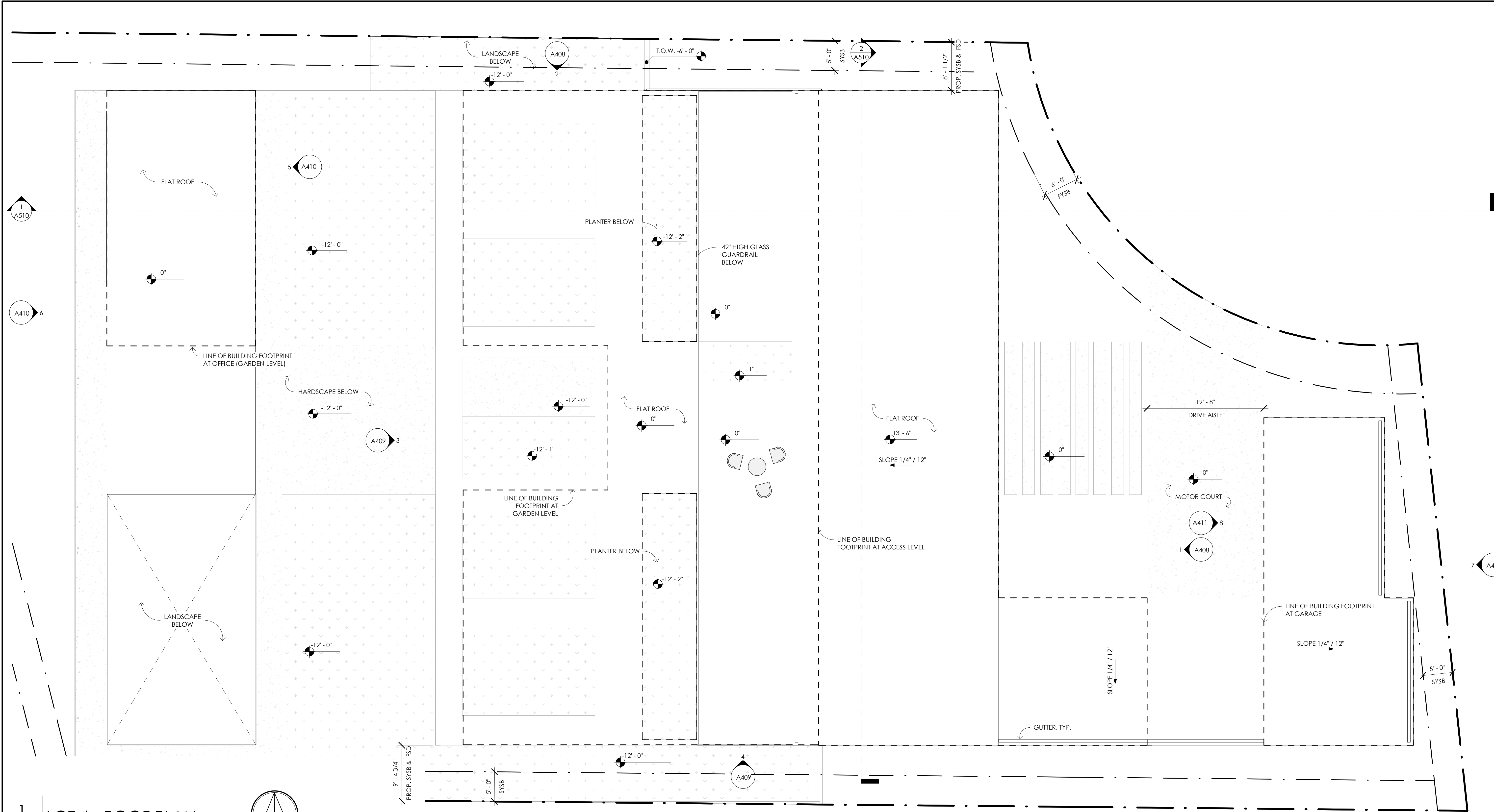
12/13/2024

DATE:	ISSUE:
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03/18/2024	3RD CDP SUBMITTAL
08/16/2024	4TH CDP SUBMITTAL
12/13/2024	5TH CDP SUBMITTAL



PLAN NOTES

1. FOR TYPICAL WALL PENETRATION SEE DETAIL SHEET.
2. PENETRATIONS OF FIRE-RESISTIVE WALLS, FLOOR-CEILINGS, AND ROOF-CEILINGS SHALL BE PROTECTED AS REQUIRED IN CRC SECTION R302.4.
3. PROVIDE LEVEL 5 DRYWALL THROUGHOUT.
4. PREP ALL SURFACES TO RECEIVE FINISH PER PLAN.
5. EXTERIOR DOORS MAY SWING OUTWARD ONLY OF THE EXTERIOR LANDING IS NOT MORE THAN 1-1/2" LOWER THAN THE TOP OF THE THRESHOLD. R311.3.1
6. ALL ABS AND PVC PIPING AND FITTINGS SHALL BE ENCLOSED WITHIN WALLS AND FLOORS COVERED WITH "TYPE X GYPSUM BOARD" OR SIMILAR ASSEMBLIES THAT PROVIDE THE SAME LEVEL OF FIRE PROTECTION. PROTECTION OF MEMBRANE PENETRATIONS IS NOT REQUIRED.
7. GARAGE AND HABITABLE SPACE ABOVE TO HAVE 1-HOUR FIRE RATING BETWEEN PER CRC R302.3, AND SOUND INSULATION WITH MINIMUM 50 STC RATING AND IMPACT SOUND INSULATION WITH MINIMUM 50 IIC PER CBC 1207.2, CBC 1207.3.
8. DUCTS IN THE GARAGE AND DUCTS PENETRATING THE WALLS OR CEILINGS SEPARATING THE DWELLING FROM THE GARAGE SHALL BE CONSTRUCTED OF MINIMUM NO. 26 GAUGE SHEET STEEL OR OTHER APPROVED MATERIAL AND SHALL HAVE NO OPENINGS INTO THE GARAGE.
9. ATTIC / UNDERFLOOR INSTALLATION MUST COMPLY WITH SECTIONS 904, 908, AND 909 OF CMC.
10. FIRE BLOCKING SHALL BE PROVIDED AT VERTICAL FLOOR TO FLOOR PENETRATIONS CONCEALED WITHIN WALL CAVITIES. THROUGH PENETRATION FIRE STOP SYSTEM SHALL BE PROVIDED. BOTH VERTICAL AND THROUGH PENETRATION SHALL COMPLY WITH PROVISIONS SPECIFIED IN CBC, SECTION 714 AND CRC, SECTION R302.11, AS APPLICABLE.
11. PROPERLY COMPLETED AND SIGNED CERTIFICATES OF INSTALLATION (CF2R FORMS) SHALL BE PROVIDED TO THE INSPECTOR IN THE FIELD, FOR PROJECTS REQUIRING HERS VERIFICATION. THE CF2R FORMS SHALL BE REGISTERED WITH A CALIFORNIA-APPROVED HERS PROVIDER DATA REGISTRY.
12. PROPERLY COMPLETED CERTIFICATES OF VERIFICATION (CF3R FORMS) SHALL BE PROVIDED TO THE INSPECTOR IN THE FIELD FOR ITEMS REQUIRING HER VERIFICATION. CF3R FORMS SHALL BE REGISTERED WITH A CALIFORNIA-APPROVED HERS PROVIDER DATA REGISTRY.
13. EXTERIOR GARAGE DOORS SHALL RESIST THE INTRUSION OF EMBERS INTO THE GARAGE BY LIMITING THE SIZE OF ANY GAPS AT THE BOTTOM, SIDES, AND TOP OF THE DOOR TO 1/8 INCH OR LESS USING ONE OF THE FOLLOWING METHODS: [CRC R337.8.4, CBC 708A.4]
A. WEATHER-STRIPPING PRODUCTS WITH TENSILE STRENGTH AND FLAMMABILITY RATING PER CBC 708A.4.
14. A. COUNTER SURFACES SHALL NOT EXCEED 10 FEET IN TOTAL LENGTH, NOR SHALL WALL CABINETS, (THIS COUNTER SIZE STANDARD SHALL APPLY TO POOL HOUSES, ETC., AND TO DWELLING ROOMS THAT ARE DISTANT, OR ISOLATED, FROM THE MAIN LIVING AREA OF A HOME.)
B. ONLY ONE SINGLE SINK IS ALLOWED, 18" MAXIMUM LENGTH, WITH A MAXIMUM 1/2 INCH DRAIN.
C. ONLY ONE COMPACT REFRIGERATOR, FREEZER OR ICE MAKER (5 CUBIC FEET MAXIMUM CAPACITY) DESIGNED FOR PLACEMENT UNDER A COUNTER AND SO INSTALLED.
D. NO GAS OR 220-VOLT AC POWER OUTLETS ARE ALLOWED IN THE VICINITY OF THE WET BAR.
E. NO OTHER FACILITY (INCLUDING, BUT NOT LIMITED TO, STOVE, RANGE, DISHWASHER, MICROWAVE, GARBAGE DISPOSAL OR TRASH COMPACTOR) USED FOR THE PREPARATION OF FOOD SHALL BE LOCATED WITHIN OR NEAR A WET BAR. "THE PROPOSED WET BAR WILL COMPLY WITH THE ABOVE WET BAR LIMITATIONS".
- B. DOOR OVERLAPS ONTO JAMBS AND HEADERS.
C. GARAGE DOOR JAMBS AND HEADERS COVERED WITH METAL FLASHING



1 LOT 4 - ROOF PLAN
SCALE = 1/8" = 1'-0"

ROOF NOTES

1. TWO LAYERS OF UNDERLAYMENT REQUIRED FOR LOW SLOPED ROOFS PER CRC SECTION R9-5.3.3.1

2. ROOF GUTTERS SHALL PROVIDE WITH THE MEANS TO PREVENT ACCUMULATION OF LEAVE AND DEBRIS IN THE GUTTER. ALL ROOF GUTTERS AND DOWNSPOUTS SHALL BE CONSTRUCTED OF NON-COMBUSTIBLE MATERIALS. THEY SHALL ALSO HAVE ZINCALUME COATING.

3. DRIP EDGE FLASHING USED AT THE FREE EDGES OF ROOFING MATERIALS SHALL BE NON-COMBUSTIBLE.

4. CHIMNEYS, FLUES OR STOVEPIPES ATTACHED TO ANY FIREPLACE, STOVE, BARBEQUE OR OTHER SOLID OR LIQUID FUEL BURNING EQUIPMENT OR DEVICE SHALL BE EQUIPPED WITH AN APPROVED SPARK ARRESTOR.

5. OVERFLOW DRAINS SHALL HAVE THE SAME SIZE AS THE ROOF DRAIN AND SHALL BE INSTALLED WITH THE FLOW LINE LOCATED 2" ABOVE THE LOW POINT OF THE ROOF.

6. OVERFLOW SCUPPERS SHALL HAVE AN OPENING AREA THREE TIMES THE SIZE OF THE ROOF DRAIN; HAVE A MINIMUM OPENING HEIGHT OF 4"; BE INSTALLED IN AN ADJACENT PARAPET WALL AND WITH THE INLET FLOW LOCATED 2" ABOVE THE LOW POINT OF THE ROOF.

7. OVERFLOW DRAINS AND SCUPPERS MUST HAVE SEPARATE OUTLETS FROM THE ROOF DRAINS / SCUPPERS.

8. FOR TYPICAL PIPE PENETRATION SEE DETAIL 4/A7.1

9. ALL FLAT ROOFS TO COMPLY WITH CRC R806.5

10. ANY ROOF GUTTERS SHALL BE PROVIDED WITH MEANS TO PREVENT ACCUMULATION OF LEAVES AND DEBRIS.

11. SOLAR ZONE AREA MINIMUM 250 S.F. CUMULATIVE AREA COMPROMISED OF MINIMUM 80 S.F. AREAS WITH MINIMUM 5-FOOT DIMENSIONS. NO OBSTRUCTIONS - INCLUDING VENTS, CHIMINEYS, SKYLIGHTS, ARCHITECTURAL FEATURES, ROOF-MOUNTED EQUIPMENT - LOCATED WITHIN SOLAR ZONE.
12. THE MAIN ELECTRICAL SERVICE PANEL SHALL NOT BE OF A TYPE WITH A CENTER-FED MAIN CIRCUIT BREAKER AND SHALL INCLUDE RESERVED SPACE ALLOWING FOR INSTALLATION OF DOUBLE-POLE CIRCUIT BREAKERS FOR A FUTURE SOLAR PHOTOVOLTAIC SYSTEM. SUCH RESERVED SPACE SHALL BE POSITIONED AT THE OPPOSITE (LOAD) END FROM THE INPUT FEEDER OR MAIN CIRCUIT BREAKER LOCATION. THE RESERVED SPACE SHALL BE PERMANENTLY AND VISIBLY MARKED AS "FOR FUTURE SOLAR PHOTOVOLTAIC".

13. ELECTRICAL JUNCTION BOX AND SEGMENT OF METALLIC RACEWAY IN THE ATTIC SHALL BE PERMANENTLY AND VISIBLY MARKED AS "FOR FUTURE SOLAR PHOTOVOLTAIC".

14. PROVIDE TO ACCOMMODATE INSTALLATION OF ROOF-MOUNTED SOLAR PHOTOVOLTAIC SYSTEM:
 - APPROVED MINIMUM 4-INCH-SQUARE ELECTRICAL JUNCTION BOX LOCATED WITHIN 72 INCHES HORIZONTALLY AND 12 INCHES VERTICALLY OF MAIN ELECTRICAL SERVICE PANEL.
 - MINIMUM 1-INCH-DIAMETER LISTED ELECTRICAL METALLIC RACEWAY ORIGINATING AT READILY ACCESSIBLE ATTIC LOCATION WITH PROXIMITY TO SOLAR ZONE AREA AND TERMINATING AT THE REQUIRED ELECTRICAL JUNCTION BOX.
 - MINIMUM 1-INCH-DIAMETER LISTED ELECTRICAL METALLIC RACEWAY ORIGINATING AT THE REQUIRED ELECTRICAL JUNCTION BOX AND TERMINATING AT THE MAIN ELECTRICAL SERVICE PANEL.

15. ALL EXPOSED STRUCTURAL MEMBERS TO BE CONSTRUCTED OF NON-COMBUSTIBLE MATERIAL, EXTERIOR FIRE-RETARDANT-TREATED WOOD, ONE-HOUR FIRE-RESISTANT MATERIAL OR BY USING HEAVY TIMBER CONSTRUCTION METHODS

16. PREVENT INTRUSION OF FLAME AND EMBERS (EMBER RESISTANT "ER" APPROVED MODELS ONLY) INTO THE ATTIC.

W.F
ARCHITECTS

WILL & FOTSCH ARCHITECTS

1298 PROSPECT STREET, SUITE 2S, LA JOLLA, CA 92037 - (o) 858-224-2486

CIELO MAR - LOT 4 - A-2

TRUST

8303 LA JOLLA SHORES DR, SAN DIEGO, CA 32037

DATE: 02/24/2023

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12/13/2024 5TH CDP SUBMITTAL

A214

LOT 4 - ROOF PLAN

12/13/2024

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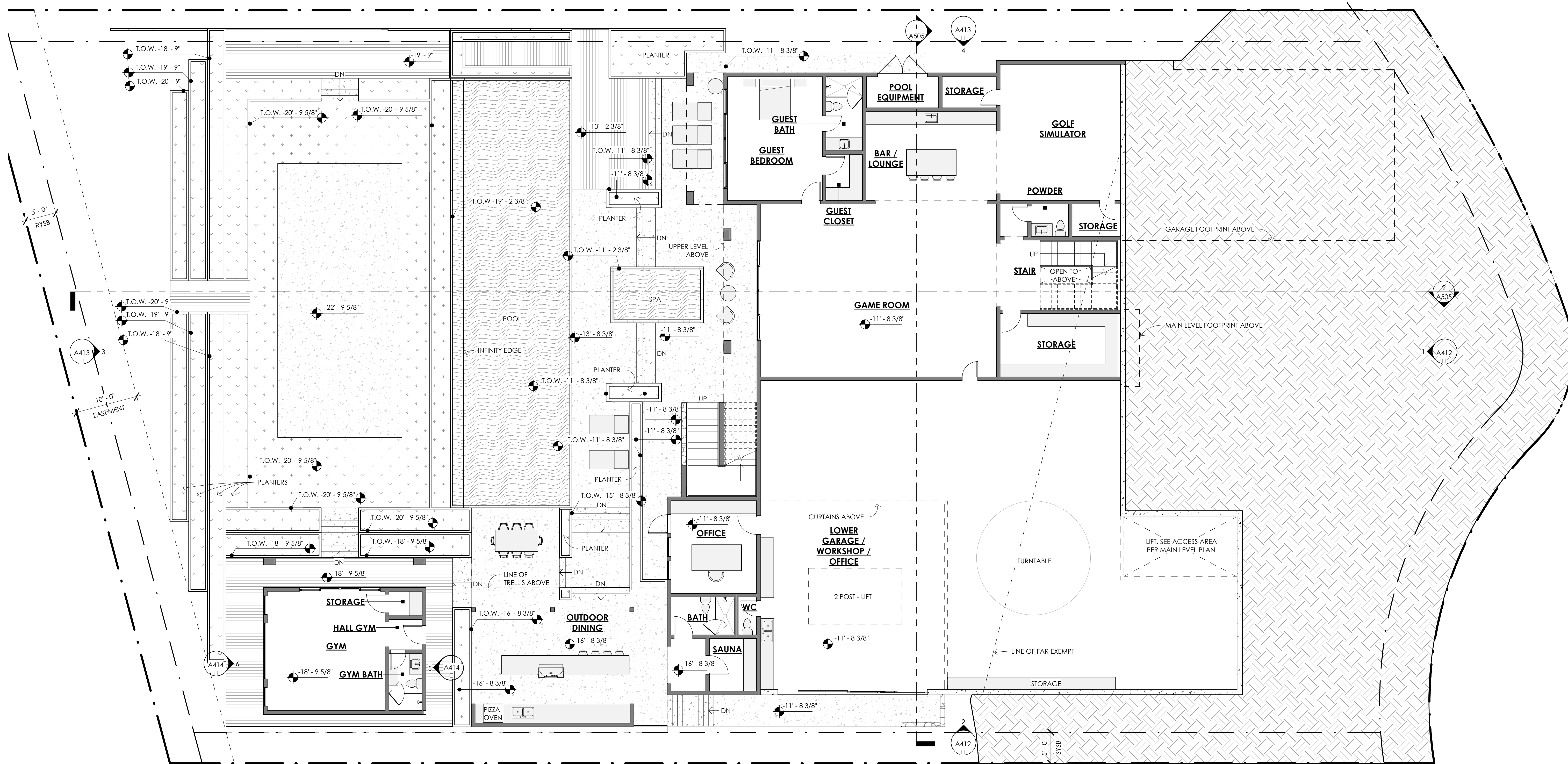
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CIELO MAR - LOT 5 - RACE

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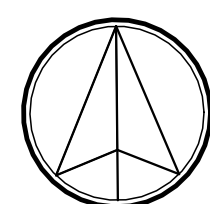
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12/13/2024	5TH CDP SUBMITTAL

A215
LOT 5 - PROPOSED
PLAN - LOWER
LEVEL
12/13/2024



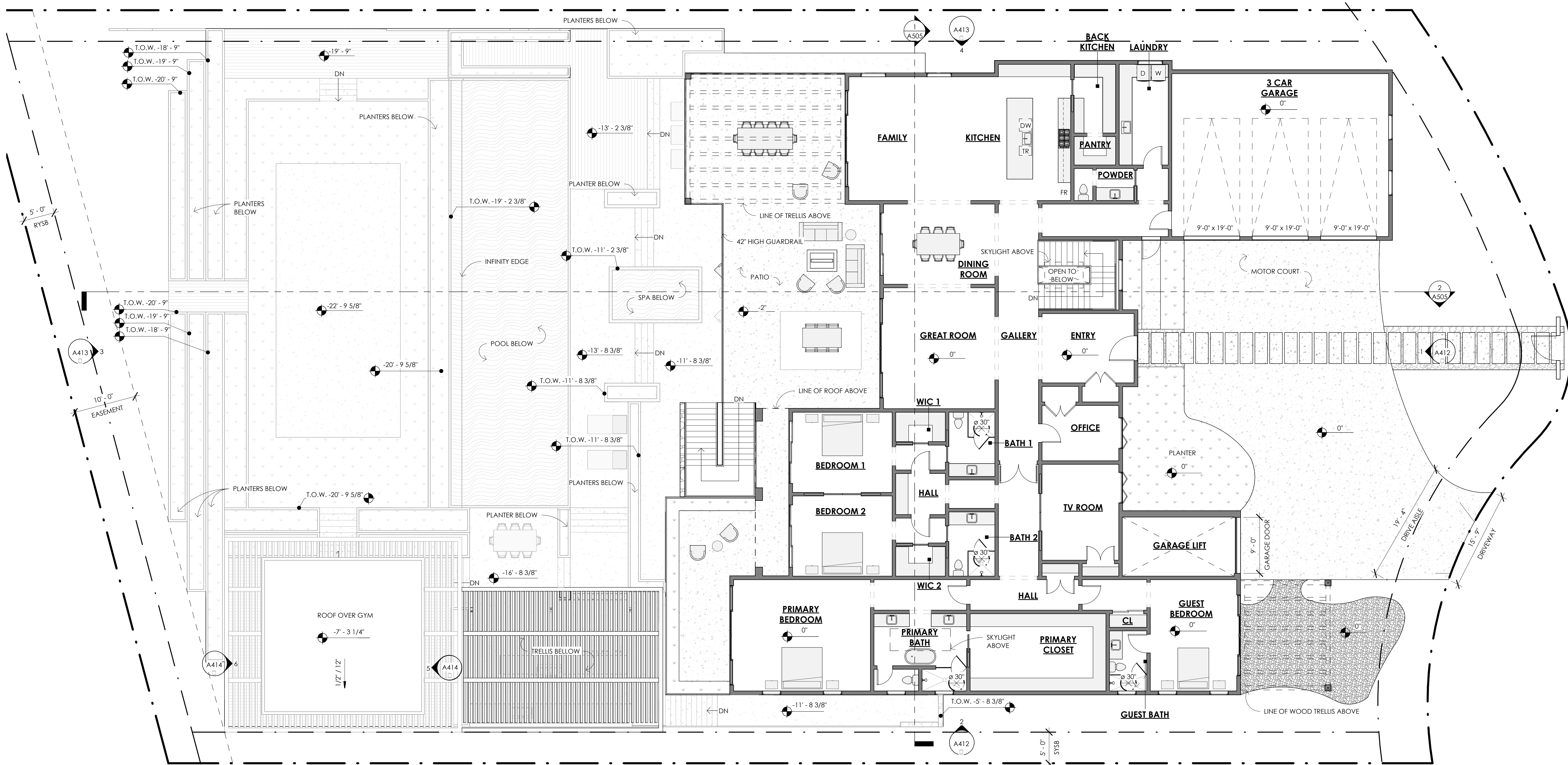
1 LOT 5 - PROPOSED PLAN - LOWER
LEVEL

SCALE = 1/8" = 1'-0"



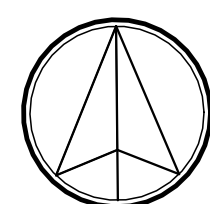
PLAN NOTES

- FOR TYPICAL WALL PENETRATION SEE DETAIL SHEET.
- PENETRATIONS OF FIRE-RESISTIVE WALLS, FLOOR-CEILINGS, AND ROOF-CEILINGS SHALL BE PROTECTED AS REQUIRED IN CRC SECTION R302.4.
- PROVIDE LEVEL 5 DRYWALL THROUGHOUT.
- PREP ALL SURFACES TO RECEIVE FINISH PER PLAN.
- EXTERIOR DOORS MAY SWING OUTWARD ONLY OF THE EXTERIOR LANDING IS NOT MORE THAN 1-1/2" LOWER THAN THE TOP OF THE THRESHOLD. R311.3.1
- ALL ABS AND PVC PIPING AND FITTINGS SHALL BE ENCLOSED WITHIN WALLS AND FLOORS COVERED WITH "TYPE X GYPSUM BOARD" OR SIMILAR ASSEMBLIES THAT PROVIDE THE SAME LEVEL OF FIRE PROTECTION. PROTECTION OF MEMBRANE PENETRATIONS IS NOT REQUIRED.
- GARAGE AND HABITABLE SPACE ABOVE TO HAVE 1-HOUR FIRE RATING BETWEEN PER CRC R302.3, AND SOUND INSULATION WITH MINIMUM 50 STC RATING AND IMPACT SOUND INSULATION WITH MINIMUM 50 IIC PER CBC 1207.2, CBC 1207.3.
- DUCTS IN THE GARAGE AND DUCTS PENETRATING THE WALLS OR CEILINGS SEPARATING THE DWELLING FROM THE GARAGE SHALL BE CONSTRUCTED OF MINIMUM NO. 26 GAUGE SHEET STEEL OR OTHER APPROVED MATERIAL AND SHALL HAVE NO OPENINGS INTO THE GARAGE.
- ATTIC / UNDERFLOOR INSTALLATION MUST COMPLY WITH SECTIONS 904, 908, AND 909 OF CMC.
- FIRE BLOCKING SHALL BE PROVIDED AT VERTICAL FLOOR TO FLOOR PENETRATIONS CONCEALED WITHIN WALL CAVITIES. THROUGH PENETRATION FIRE STOP SYSTEM SHALL BE PROVIDED. BOTH VERTICAL AND THROUGH PENETRATION SHALL COMPLY WITH PROVISIONS SPECIFIED IN CBC, SECTION 714 AND CRC, SECTION R302.11, AS APPLICABLE.
- PROPERLY COMPLETED AND SIGNED CERTIFICATES OF INSTALLATION (CF2R FORMS) SHALL BE PROVIDED TO THE INSPECTOR IN THE FIELD, FOR PROJECTS REQUIRING HERS VERIFICATION, THE CF2R FORMS SHALL BE REGISTERED WITH A CALIFORNIA-APPROVED HERS PROVIDER DATA REGISTRY.
- PROPERLY COMPLETED CERTIFICATES OF VERIFICATION (CF3R FORMS) SHALL BE PROVIDED TO THE INSPECTOR IN THE FIELD FOR ITEMS REQUIRING HER VERIFICATION. CF3R FORMS SHALL BE REGISTERED WITH A CALIFORNIA-APPROVED HERS PROVIDER DATA REGISTRY.
- EXTERIOR GARAGE DOORS SHALL RESIST THE INTRUSION OF EMBERS INTO THE GARAGE BY LIMITING THE SIZE OF ANY GAPS AT THE BOTTOM, SIDES, AND TOP OF THE DOOR TO 1/8 INCH OR LESS USING ONE OF THE FOLLOWING METHODS: (CRC R337.8.4, CBC 708A.4)
A. WEATHER-STRIPPING PRODUCTS WITH TENSILE STRENGTH AND FLAMMABILITY RATINGS PER CBC 708A.4.
- DOOR OVERLAPS ONTO JAMBS AND HEADERS.
C. GARAGE DOOR JAMBS AND HEADERS COVERED WITH METAL FLASHING
- A. COUNTER SURFACES SHALL NOT EXCEED 10 FEET IN TOTAL LENGTH, NOR SHALL WALL CABINETS. (THIS COUNTER SIZE STANDARD SHALL APPLY TO POOL HOUSES, ETC. AND TO DWELLING ROOMS THAT ARE DISTANT, OR ISOLATED, FROM THE MAIN LIVING AREA OF A HOME.)
- ONLY ONE SINGLE SINK IS ALLOWED, 18" MAXIMUM LENGTH, WITH A MAXIMUM 1" VZ INCH DRAIN.
- ONLY ONE COMPACT REFRIGERATOR, FREEZER OR ICE MAKER (5 CUBIC FEET MAXIMUM CAPACITY) DESIGNED FOR PLACEMENT UNDER A COUNTER AND SO INSTALLED.
- NO GAS OR 220-VOLT AC POWER OUTLETS ARE ALLOWED IN THE VICINITY OF THE WET BAR.
- NO OTHER FACILITY (INCLUDING, BUT NOT LIMITED TO, STOVE, RANGE, DISHWASHER, MICROWAVE, GARBAGE DISPOSAL OR TRASH COMPACTOR) USED FOR THE PREPARATION OF FOOD SHALL BE LOCATED WITHIN OR NEAR A WET BAR. "THE PROPOSED WET BAR WILL COMPLY WITH THE ABOVE WET BAR LIMITATIONS".



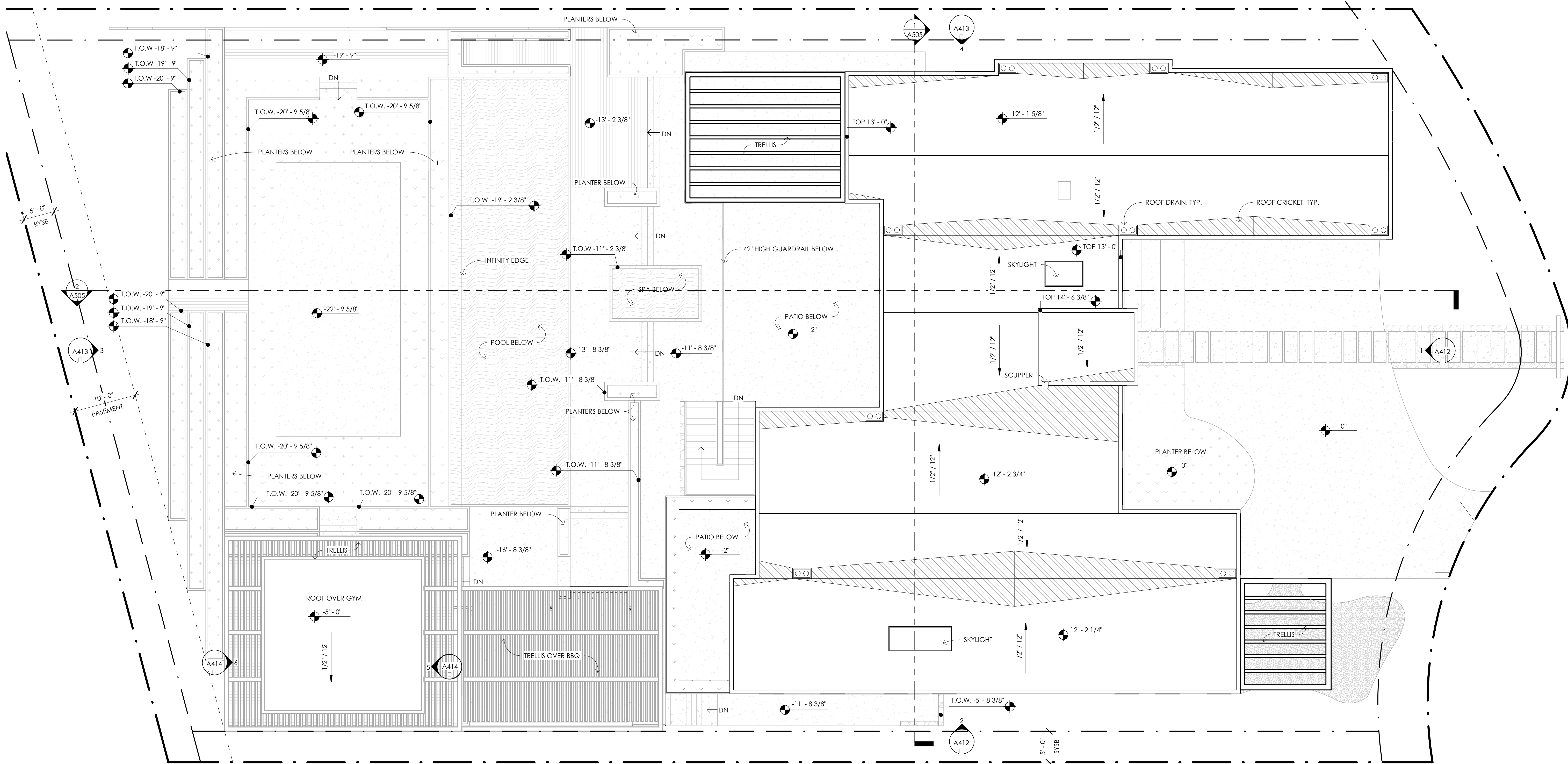
1 LOT 5 - PROPOSED PLAN - MAIN
LEVEL

SCALE = 1/8" = 1'-0"



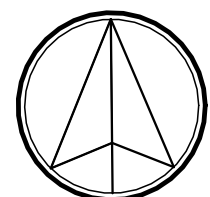
PLAN NOTES

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- PENETRATIONS OF FIRE-RESISTIVE WALLS, FLOOR-CEILINGS, AND ROOF-CEILINGS SHALL BE PROTECTED AS REQUIRED IN CRC SECTION R302.4.
- PROVIDE LEVEL 5 DRYWALL THROUGHOUT.
- PREP ALL SURFACES TO RECEIVE FINISH PER PLAN.
- EXTERIOR DOORS MAY SWING OUTWARD ONLY OF THE EXTERIOR LANDING IS NOT MORE THAN 1-1/2" LOWER THAN THE TOP OF THE THRESHOLD. R311.3.1
- ALL ABS AND PVC PIPING AND FITTINGS SHALL BE ENCLOSED WITHIN WALLS AND FLOORS COVERED WITH "TYPE X GYPSUM BOARD" OR SIMILAR ASSEMBLIES THAT PROVIDE THE SAME LEVEL OF FIRE PROTECTION. PROTECTION OF MEMBRANE PENETRATIONS IS NOT REQUIRED.
- GARAGE AND HABITABLE SPACE ABOVE TO HAVE 1-HOUR FIRE RATING BETWEEN PER CRC R302.3, AND SOUND INSULATION WITH MINIMUM 50 STC RATING AND IMPACT SOUND INSULATION WITH MINIMUM 50 IIC PER CBC 1207.2, CBC 1207.3.
- DUCTS IN THE GARAGE AND DUCTS PENETRATING THE WALLS OR CEILINGS SEPARATING THE DWELLING FROM THE GARAGE SHALL BE CONSTRUCTED OF MINIMUM NO. 26 GAUGE SHEET STEEL OR OTHER APPROVED MATERIAL AND SHALL HAVE NO OPENINGS INTO THE GARAGE.
- ATTIC / UNDERFLOOR INSTALLATION MUST COMPLY WITH SECTIONS 904, 908, AND 909 OF CMC.
- FIRE BLOCKING SHALL BE PROVIDED AT VERTICAL FLOOR TO FLOOR PENETRATIONS CONCEALED WITHIN WALL CAVITIES. THROUGH PENETRATION FIRE STOP SYSTEM SHALL BE PROVIDED. BOTH VERTICAL AND THROUGH PENETRATION SHALL COMPLY WITH PROVISIONS SPECIFIED IN CBC, SECTION 714 AND CRC, SECTION R302.11, AS APPLICABLE.
- PROPERLY COMPLETED AND SIGNED CERTIFICATES OF INSTALLATION (CF2R FORMS) SHALL BE PROVIDED TO THE INSPECTOR IN THE FIELD, FOR PROJECTS REQUIRING HERS VERIFICATION, THE CF2R FORMS SHALL BE REGISTERED WITH A CALIFORNIA-APPROVED HERS PROVIDER DATA REGISTRY.
- PROPERLY COMPLETED CERTIFICATES OF VERIFICATION (CF3R FORMS) SHALL BE PROVIDED TO THE INSPECTOR IN THE FIELD FOR ITEMS REQUIRING HER VERIFICATION. CF3R FORMS SHALL BE REGISTERED WITH A CALIFORNIA-APPROVED HERS PROVIDER DATA REGISTRY.
- EXTERIOR GARAGE DOORS SHALL RESIST THE INTRUSION OF EMBERS INTO THE GARAGE BY LIMITING THE SIZE OF ANY GAPS AT THE BOTTOM, SIDES, AND TOP OF THE DOOR TO 1/8 INCH OR LESS USING ONE OF THE FOLLOWING METHODS: (CRC R337.8.4, CBC 708A.4)
A. WEATHER-STRIPPING PRODUCTS WITH TENSILE STRENGTH AND FLAMMABILITY RATINGS PER CBC 708A.4.
- DOOR OVERLAPS ONTO JAMBS AND HEADERS.
- GARAGE DOOR JAMBS AND HEADERS COVERED WITH METAL FLASHING
- COUNTER SURFACES SHALL NOT EXCEED 10 FEET IN TOTAL LENGTH, NOR SHALL WALL CABINETS, (THIS COUNTER SIZE STANDARD SHALL APPLY TO POOL HOUSES, ETC. AND TO DWELLING ROOMS THAT ARE DISTANT, OR ISOLATED, FROM THE MAIN LIVING AREA OF A HOME.)
- ONLY ONE SINGLE SINK IS ALLOWED, 18" MAXIMUM LENGTH, WITH A MAXIMUM 1/2 INCH DRAIN.
- ONLY ONE COMPACT REFRIGERATOR, FREEZER OR ICE MAKER (5 CUBIC FEET MAXIMUM CAPACITY) DESIGNED FOR PLACEMENT UNDER A COUNTER AND SO INSTALLED.
- NO GAS OR 220-VOLT AC POWER OUTLETS ARE ALLOWED IN THE VICINITY OF THE WET BAR.
- NO OTHER FACILITY (INCLUDING, BUT NOT LIMITED TO, STOVE, RANGE, DISHWASHER, MICROWAVE, GARBAGE DISPOSAL OR TRASH COMPACTOR) USED FOR THE PREPARATION OF FOOD SHALL BE LOCATED WITHIN OR NEAR A WET BAR. "THE PROPOSED WET BAR WILL COMPLY WITH THE ABOVE WET BAR LIMITATIONS".



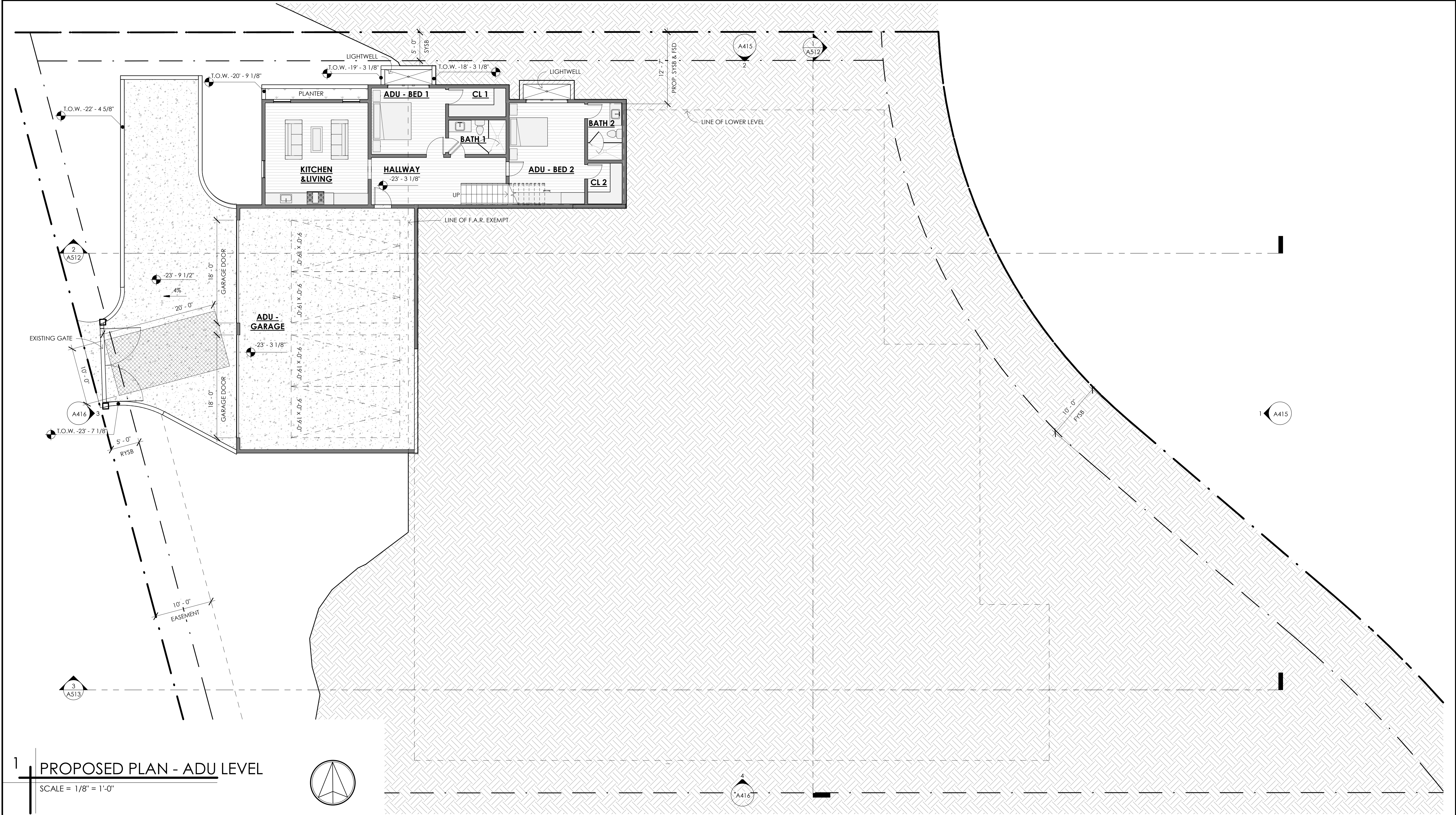
1 LOT 5 - ROOF PLAN

SCALE = 1/8" = 1'-0"



ROOF NOTES

1. TWO LAYERS OF UNDERLAYMENT REQUIRED FOR LOW SLOPED ROOFS PER CRC SECTION R9-5.3.3.1
2. ROOF GUTTERS SHALL PROVIDE WITH THE MEANS TO PREVENT ACCUMULATION OF LEAVE AND DEBRIS IN THE GUTTER. ALL ROOF GUTTERS AND DOWNSPOUTS SHALL BE CONSTRUCTED OF NON-COMBUSTIBLE MATERIALS. THEY SHALL ALSO HAVE INCALUME COATING.
3. DRIP EDGE FLASHING USED AT THE FREE EDGES OF ROOFING MATERIALS SHALL BE NON-COMBUSTIBLE.
4. CHIMNEYS, FLUES OR STOVEPIPES ATTACHED TO ANY FIREPLACE, STOVE, BARBEQUE OR OTHER SOLID OR LIQUID FUEL BURNING EQUIPMENT OR DEVICE SHALL BE EQUIPPED WITH AN APPROVED SPARK ARRESTOR.
5. OVERFLOW DRAINS SHALL HAVE THE SAME SIZE AS THE ROOF DRAIN AND SHALL BE INSTALLED WITH THE FLOW LINE LOCATED 2" ABOVE THE LOW POINT OF THE ROOF.
6. OVERFLOW SCUPPERS SHALL HAVE AN OPENING AREA THREE TIMES THE SIZE OF THE ROOF DRAIN; HAVE A MINIMUM OPENING HEIGHT OF 4"; BE INSTALLED IN AN ADJACENT PARAPET WALL AND WITH THE INLET FLOW LOCATED 2" ABOVE THE LOW POINT OF THE ROOF.
7. OVERFLOW DRAINS AND SCUPPERS MUST HAVE SEPARATE OUTLETS FROM THE ROOF DRAINS / SCUPPERS.
8. FOR TYPICAL PIPE PENETRATION SEE DETAIL 4/A7.1
9. ALL FLAT ROOFS TO COMPLY WITH CRC R806.5
10. ANY ROOF GUTTERS SHALL BE PROVIDED WITH MEANS TO PREVENT ACCUMULATION OF LEAVES AND DEBRIS.
11. SOLAR ZONE AREA MINIMUM 250 S.F. CUMULATIVE AREA COMPROMISED OF MINIMUM 80 S.F. AREAS WITH MINIMUM 5-FOOT DIMENSIONS. NO OBSTRUCTIONS - INCLUDING VENTS, CHIMNEYS, SKYLIGHTS, ARCHITECTURAL FEATURES, ROOF-MOUNTED EQUIPMENT - LOCATED WITHIN SOLAR ZONE.
12. THE MAIN ELECTRICAL SERVICE PANEL SHALL NOT BE OF A TYPE WITH A CENTER-FED MAIN CIRCUIT BREAKER AND SHALL INCLUDE RESERVED SPACE ALLOWING FOR INSTALLATION OF DOUBLE-POLE CIRCUIT BREAKERS FOR A FUTURE SOLAR PHOTOVOLTAIC SYSTEM. SUCH RESERVED SPACE SHALL BE POSITIONED AT THE OPPOSITE (LOAD) END FROM THE INPUT FEEDER OR MAIN CIRCUIT BREAKER LOCATION. THE RESERVED SPACE SHALL BE PERMANENTLY AND VISIBLY MARKED AS "FOR FUTURE SOLAR PHOTOVOLTAIC".
13. ELECTRICAL JUNCTION BOX AND SEGMENT OF METALLIC RACEWAY IN THE ATTIC SHALL BE PERMANENTLY AND VISIBLY MARKED AS "FOR FUTURE SOLAR PHOTOVOLTAIC".
14. PROVIDE TO ACCOMMODATE INSTALLATION OF ROOF-MOUNTED SOLAR PHOTOVOLTAIC SYSTEM:
 - APPROVED MINIMUM 4-INCH-SQUARE ELECTRICAL JUNCTION BOX LOCATED WITHIN 72 INCHES HORIZONTALLY AND 12 INCHES VERTICALLY OF MAIN ELECTRICAL SERVICE PANEL.
 - MINIMUM 1-INCH-DIAMETER LISTED ELECTRICAL METALLIC RACEWAY ORIGINATING AT READILY ACCESSIBLE ATTIC LOCATION WITH PROXIMITY TO SOLAR ZONE AREA AND TERMINATING AT THE REQUIRED ELECTRICAL JUNCTION BOX.
 - MINIMUM 1-INCH-DIAMETER LISTED ELECTRICAL METALLIC RACEWAY ORIGINATING AT THE REQUIRED ELECTRICAL JUNCTION BOX AND TERMINATING AT THE MAIN ELECTRICAL SERVICE PANEL.
15. ALL EXPOSED STRUCTURAL MEMBERS TO BE CONSTRUCTED OF NON-COMBUSTIBLE MATERIAL, EXTERIOR FIRE-RETARDANT-TREATED WOOD, ONE-HOUR FIRE-RESISTANT MATERIAL OR BY USING HEAVY TIMBER CONSTRUCTION METHODS
16. PREVENT INTRUSION OF FLAME AND EMBERS (EMBER RESISTANT "ER" APPROVED MODELS ONLY) INTO THE ATTIC.



1 **PROPOSED PLAN - ADU LEVEL**
SCALE = 1/8" = 1'-0"

PLAN NOTES	
1. FOR TYPICAL WALL PENETRATION SEE DETAIL SHEET.	9. ATTIC / UNDERFLOOR INSTALLATION MUST COMPLY WITH SECTIONS 904, 908, AND 909 OF CMC.
2. PENETRATIONS OF FIRE-RESISTIVE WALLS, FLOOR-CEILINGS, AND ROOF-CEILINGS SHALL BE PROTECTED AS REQUIRED IN CRC SECTION R302.4.	10. FIRE BLOCKING SHALL BE PROVIDED AT VERTICAL FLOOR TO FLOOR PENETRATIONS CONCEALED WITHIN WALL CAVITIES. THROUGH PENETRATION FIRE STOP SYSTEM SHALL BE PROVIDED. BOTH VERTICAL AND THROUGH PENETRATION SHALL COMPLY WITH PROVISIONS SPECIFIED IN CBC, SECTION 714 AND CRC, SECTION R302.11, AS APPLICABLE.
3. PROVIDE LEVEL 5 DRYWALL THROUGHOUT.	11. PROPERLY COMPLETED AND SIGNED CERTIFICATES OF INSTALLATION (CF3R FORMS) SHALL BE PROVIDED TO THE INSPECTOR IN THE FIELD, FOR PROJECTS REQUIRING HERS VERIFICATION. THE CF3R FORMS SHALL BE REGISTERED WITH A CALIFORNIA-APPROVED HERS PROVIDER DATA REGISTRY.
4. PREP ALL SURFACES TO RECEIVE FINISH PER PLAN.	12. PROPERLY COMPLETED CERTIFICATES OF VERIFICATION (CF3R FORMS) SHALL BE PROVIDED TO THE INSPECTOR IN THE FIELD FOR ITEMS REQUIRING HER VERIFICATION. CF3R FORMS SHALL BE REGISTERED WITH A CALIFORNIA-APPROVED HERS PROVIDER DATA REGISTRY.
5. EXTERIOR DOORS MAY SWING OUTWARD ONLY IF THE EXTERIOR LANDING IS NOT MORE THAN 1-1/2' LOWER THAN THE TOP OF THE THRESHOLD. R311.3.1	13. EXTERIOR GARAGE DOORS SHALL RESIST THE INTRUSION OF EMBERS INTO THE GARAGE BY LIMITING THE SIZE OF ANY GAPS AT THE BOTTOM, SIDES, AND TOP OF THE DOOR TO 1/8 INCH OR LESS USING ONE OF THE FOLLOWING METHODS: (CRC R337.8.4.CBC 708A.4)
6. ALL ABS AND PVC PIPING AND FITTINGS SHALL BE ENCLOSED WITHIN WALLS AND FLOORS COVERED WITH "TYPE X GYPSUM BOARD" OR SIMILAR ASSEMBLIES THAT PROVIDE THE SAME LEVEL OF FIRE PROTECTION. PROTECTION OF MEMBRANE PENETRATIONS IS NOT REQUIRED.	A. WEATHER-STRIPPING PRODUCTS WITH TENSILE STRENGTH AND FLAMMABILITY RATING PER CBC 708A.4.
7. GARAGE AND HABITABLE SPACE ABOVE TO HAVE 1-HOUR FIRE RATING BETWEEN PER CRC R302.3, AND SOUND INSULATION WITH MINIMUM 50 STC RATING AND IMPACT SOUND INSULATION WITH MINIMUM 50 IIC PER CBC 1207.2, CBC 1207.3.	8. DOOR OVERLAPS ONTO JAMBS AND HEADERS. C. GARAGE DOOR JAMBS AND HEADERS COVERED WITH METAL FLASHING
8. DUCTS IN THE GARAGE AND DUCTS PENETRATING THE WALLS OR CEILINGS SEPARATING THE DWELLING FROM THE GARAGE SHALL BE CONSTRUCTED OF MINIMUM NO. 26 GAUGE SHEET STEEL OR OTHER APPROVED MATERIAL AND SHALL HAVE NO OPENINGS INTO THE GARAGE.	14. A. COUNTER SURFACES SHALL NOT EXCEED 10 FEET IN TOTAL LENGTH, NOR SHALL WALL CABINETS. (THIS COUNTER SIZE STANDARD SHALL APPLY TO POOL HOUSES, ETC., AND TO DWELLING ROOMS THAT ARE DISTANT, OR ISOLATED, FROM THE MAIN LIVING AREA OF A HOME.) B. ONLY ONE SINGLE SINK IS ALLOWED, 18" MAXIMUM LENGTH, WITH A MAXIMUM 1/2 INCH DRAIN. C. ONLY ONE COMPACT REFRIGERATOR, FREEZER OR ICE MAKER (5 CUBIC FEET MAXIMUM CAPACITY) DESIGNED FOR PLACEMENT UNDER A COUNTER AND SO INSTALLED. D. NO GAS OR 220-VOLT AC POWER OUTLETS ARE ALLOWED IN THE VICINITY OF THE WET BAR. E. NO OTHER FACILITY (INCLUDING, BUT NOT LIMITED TO, STOVE, RANGE, DISHWASHER, MICROWAVE, GARBAGE DISPOSAL OR TRASH COMPACTOR) USED FOR THE PREPARATION OF FOOD SHALL BE LOCATED WITHIN OR NEAR A WET BAR, "THE PROPOSED WET BAR WILL COMPLY WITH THE ABOVE WET BAR LIMITATIONS".

W.F ARCHITECTS

WILL & FOTSCH ARCHITECTS

1298 PROSPECT STREET, SUITE 2S, LA JOLLA, CA 92037 - (o) 858-224-2486

JOB #:

CIELO MAR - LOT 6 - LLC

8303 LA JOLLA SHORES DR, SAN DIEGO, CA 32037

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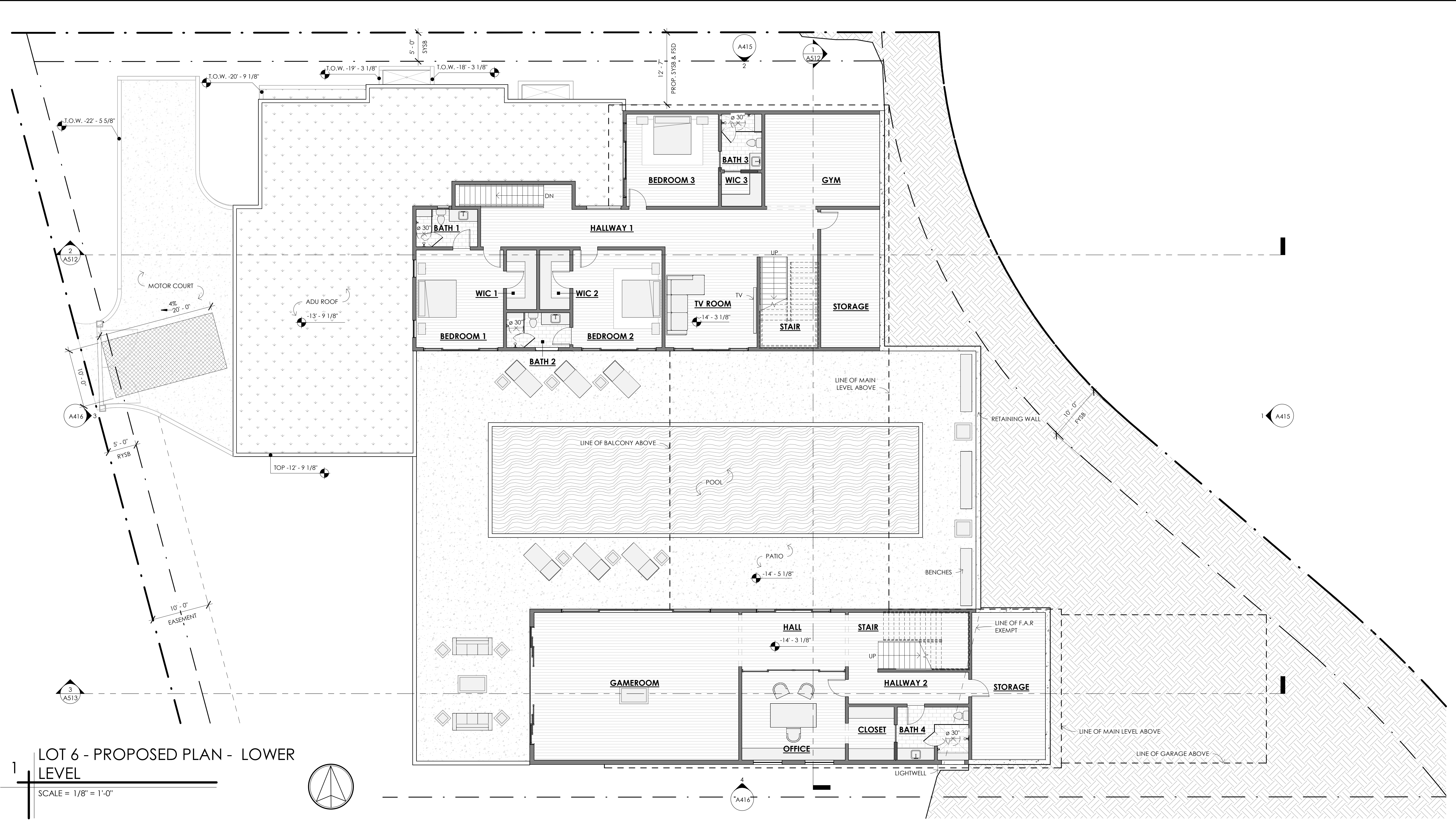
LOT 6 - PROPOSED PLAN - ADU LEVEL

12/13/2024

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AutoSave: Docs\2024\2024 Cielo Mar Owner - Cielo Mar LLC LA JOLLA SHORES - LOT 6 - CDP.FIN

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- PLAN NOTES
1. FOR TYPICAL WALL PENETRATION SEE DETAIL SHEET.

2. PENETRATIONS OF FIRE-RESISTIVE WALLS, FLOOR-CEILINGS, AND ROOF-CEILINGS SHALL BE PROTECTED AS REQUIRED IN CRC SECTION R302.4.

3. PROVIDE LEVEL 5 DRYWALL THROUGHOUT.

4. PREP ALL SURFACES TO RECEIVE FINISH PER PLAN.

5. EXTERIOR DOORS MAY SWING OUTWARD ONLY IF THE EXTERIOR LANDING IS NOT MORE THAN 1-1/2" LOWER THAN THE TOP OF THE THRESHOLD, R311.3.1

6. ALL ABS AND PVC PIPING AND FITTINGS SHALL BE ENCLOSED WITHIN WALLS AND FLOORS COVERED WITH "TYPE X GYPSUM BOARD" OR SIMILAR ASSEMBLIES THAT PROVIDE THE SAME LEVEL OF FIRE PROTECTION. PROTECTION OF MEMBRANE PENETRATIONS IS NOT REQUIRED.

7. GARAGE AND HABITABLE SPACE ABOVE TO HAVE 1-HOUR FIRE RATING BETWEEN PER CRC R302.3, AND SOUND INSULATION WITH MINIMUM 50 STC RATING AND IMPACT SOUND INSULATION WITH MINIMUM 50 IIC PER CBC 1207.2, CBC 1207.3.

8. DUCTS IN THE GARAGE AND DUCTS PENETRATING THE WALLS OR CEILINGS SEPARATING THE DWELLING FROM THE GARAGE SHALL BE CONSTRUCTED OF MINIMUM NO. 26 GAUGE SHEET STEEL OR OTHER APPROVED MATERIAL AND SHALL HAVE NO OPENINGS INTO THE GARAGE.
9. ATTIC / UNDERFLOOR INSTALLATION MUST COMPLY WITH SECTIONS 904, 908, AND 909 OF CMC.

10. FIRE BLOCKING SHALL BE PROVIDED AT VERTICAL FLOOR TO FLOOR PENETRATIONS CONCEALED WITHIN WALL CAVITIES THROUGH PENETRATION FIRE STOP SYSTEM SHALL BE PROVIDED, BOTH VERTICAL AND THROUGH PENETRATION SHALL COMPLY WITH PROVISIONS SPECIFIED IN CBC, SECTION 714 AND CRC, SECTION R302.1.1, AS APPLICABLE.

11. PROPERLY COMPLETED AND SIGNED CERTIFICATES OF INSTALLATION (CF2R FORMS) SHALL BE PROVIDED TO THE INSPECTOR IN THE FIELD, FOR PROJECTS REQUIRING HER VERIFICATION, THE CF2R FORMS SHALL BE REGISTERED WITH A CALIFORNIA-APPROVED HERS PROVIDER DATA REGISTRY.

12. PROPERLY COMPLETED CERTIFICATES OF VERIFICATION (CF3R FORMS) SHALL BE PROVIDED TO THE INSPECTOR IN THE FIELD FOR ITEMS REQUIRING HER VERIFICATION, CF3R FORMS SHALL BE REGISTERED WITH A CALIFORNIA-APPROVED HERS PROVIDER DATA REGISTRY.

13. EXTERIOR GARAGE DOORS SHALL RESIST THE INTRUSION OF EMBERS INTO THE GARAGE BY LIMITING THE SIZE OF ANY GAPS AT THE BOTTOM, SIDES, AND TOP OF THE DOOR TO 1/8 INCH OR LESS USING ONE OF THE FOLLOWING METHODS: [CRC R337.8.4.CBC 708A.4]
A. WEATHER-STRIPPING PRODUCTS WITH TENSILE STRENGTH AND FLAMMABILITY RATING PER CBC 708A.4.
8. DOOR OVERLAPS ONTO JAMBS AND HEADERS.
C. GARAGE DOOR JAMBS AND HEADERS COVERED WITH METAL FLASHING

14. A. COUNTER SURFACES SHALL NOT EXCEED 10 FEET IN TOTAL LENGTH, NOR SHALL WALL CABINETS, (THIS COUNTER SIZE STANDARD SHALL APPLY TO POOL HOUSES, ETC., AND TO DWELLING ROOMS THAT ARE DISTANT, OR ISOLATED, FROM THE MAIN LIVING AREA OF A HOME.)

B. ONLY ONE SINGLE SINK IS ALLOWED, 18" MAXIMUM LENGTH, WITH A MAXIMUM 1/2 INCH DRAIN.

C. ONLY ONE COMPACT REFRIGERATOR, FREEZER OR ICE MAKER (5 CUBIC FEET MAXIMUM CAPACITY) DESIGNED FOR PLACEMENT UNDER A COUNTER AND SO INSTALLED.

D. NO GAS OR 220-VOLT AC POWER OUTLETS ARE ALLOWED IN THE VICINITY OF THE WET BAR.

E. NO OTHER FACILITY (INCLUDING, BUT NOT LIMITED TO, STOVE, RANGE, DISHWASHER, MICROWAVE, GARBAGE DISPOSAL OR TRASH COMPACTOR) USED FOR THE PREPARATION OF FOOD SHALL BE LOCATED WITHIN OR NEAR A WET BAR, "THE PROPOSED WET BAR WILL COMPLY WITH THE ABOVE WET BAR LIMITATIONS".

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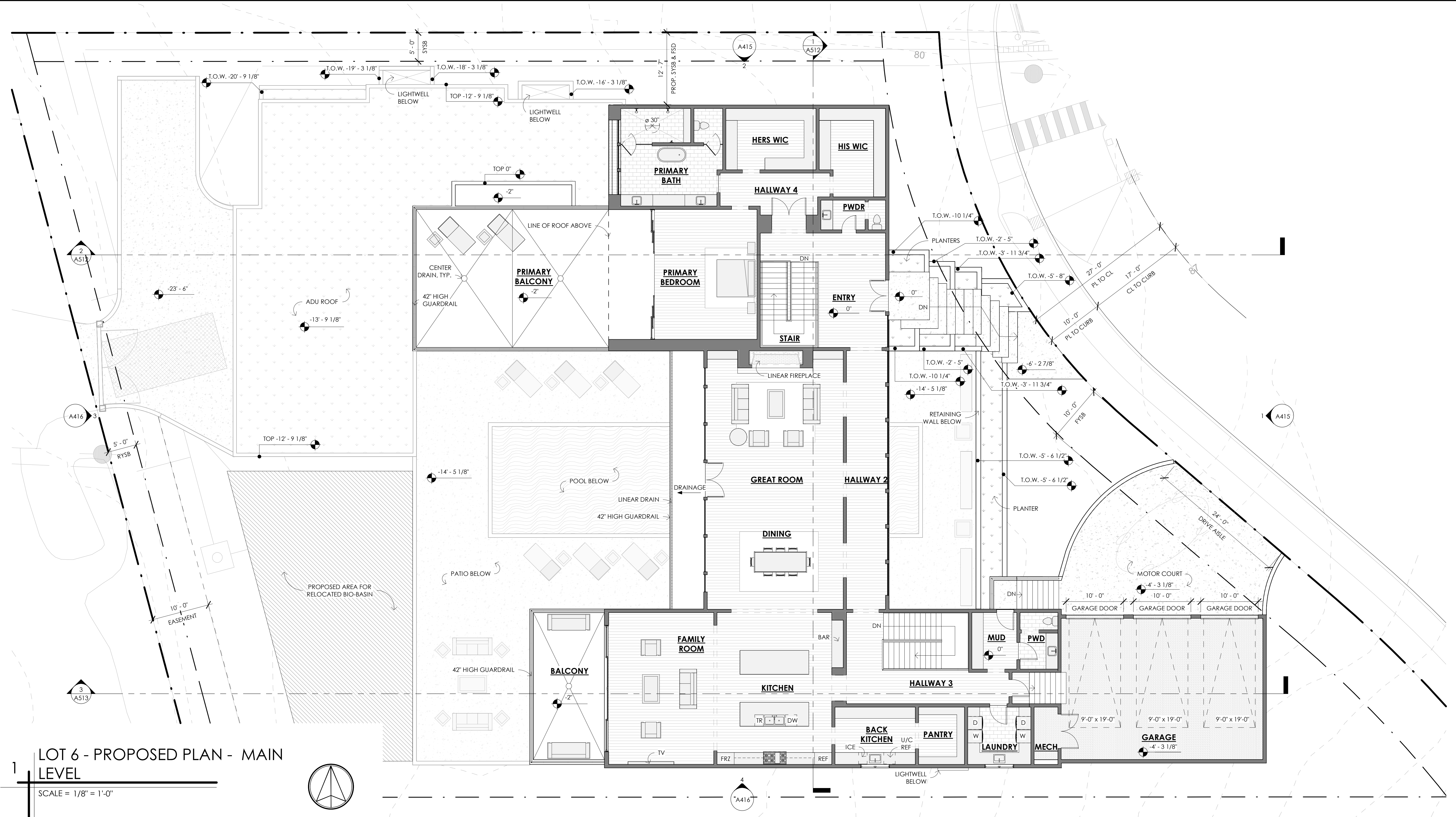
CIELO MAR - LOT 6 - LLC

8303 LA JOLLA SHORES DR, SAN DIEGO, CA 32037

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12/13/2024	5TH CDP SUBMITTAL

A220

LOT 6 - PROPOSED
PLAN - MAIN
LEVEL
12/13/2024



1 LOT 6 - PROPOSED PLAN - MAIN LEVEL
SCALE = 1/8" = 1'-0"

- PLAN NOTES
1. FOR TYPICAL WALL PENETRATION SEE DETAIL SHEET.

2. PENETRATIONS OF FIRE-RESISTIVE WALLS, FLOOR-CEILINGS, AND ROOF-CEILINGS SHALL BE PROTECTED AS REQUIRED IN CRC SECTION R302.4.

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8. DUCTS IN THE GARAGE AND DUCTS PENETRATING THE WALLS OR CEILINGS SEPARATING THE DWELLING FROM THE GARAGE SHALL BE CONSTRUCTED OF MINIMUM NO. 26 GAUGE SHEET STEEL OR OTHER APPROVED MATERIAL AND SHALL HAVE NO OPENINGS INTO THE GARAGE.

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10. FIRE BLOCKING SHALL BE PROVIDED AT VERTICAL FLOOR TO FLOOR PENETRATIONS CONCEALED WITHIN WALL CAVITIES. THROUGH PENETRATION FIRE STOP SYSTEM SHALL BE PROVIDED. BOTH VERTICAL AND THROUGH PENETRATION SHALL COMPLY WITH PROVISIONS SPECIFIED IN CBC, SECTION 714 AND CRC, SECTION R302.1.1, AS APPLICABLE.

11. PROPERLY COMPLETED AND SIGNED CERTIFICATES OF INSTALLATION (CF2R FORMS) SHALL BE PROVIDED TO THE INSPECTOR IN THE FIELD. FOR PROJECTS REQUIRING HERS VERIFICATION, THE CF2R FORMS SHALL BE REGISTERED WITH A CALIFORNIA-APPROVED HERS PROVIDER DATA REGISTRY.

12. PROPERLY COMPLETED CERTIFICATES OF VERIFICATION (CF3R FORMS) SHALL BE PROVIDED TO THE INSPECTOR IN THE FIELD FOR ITEMS REQUIRING HERS VERIFICATION. CF3R FORMS SHALL BE REGISTERED WITH A CALIFORNIA-APPROVED HERS PROVIDER DATA REGISTRY.

13. EXTERIOR GARAGE DOORS SHALL RESIST THE INTRUSION OF EMBERS INTO THE GARAGE BY LIMITING THE SIZE OF ANY GAPS AT THE BOTTOM, SIDES, AND TOP OF THE DOOR TO 1/8 INCH OR LESS USING ONE OF THE FOLLOWING METHODS: (CRC R337.8.4.CBC 708A.4)
A. WEATHER-STRIPPING PRODUCTS WITH TENSILE STRENGTH AND FLAMMABILITY RATING PER CBC 708A.4.

8. DOOR OVERLAPS ONTO JAMBS AND HEADERS.
C. GARAGE DOOR JAMBS AND HEADERS COVERED WITH METAL FLASHING

14. A. COUNTER SURFACES SHALL NOT EXCEED 10 FEET IN TOTAL LENGTH, NOR SHALL WALL CABINETS. (THIS COUNTER SIZE STANDARD SHALL APPLY TO POOL HOUSES, ETC., AND TO DWELLING ROOMS THAT ARE DISTANT, OR ISOLATED, FROM THE MAIN LIVING AREA OF A HOME.)

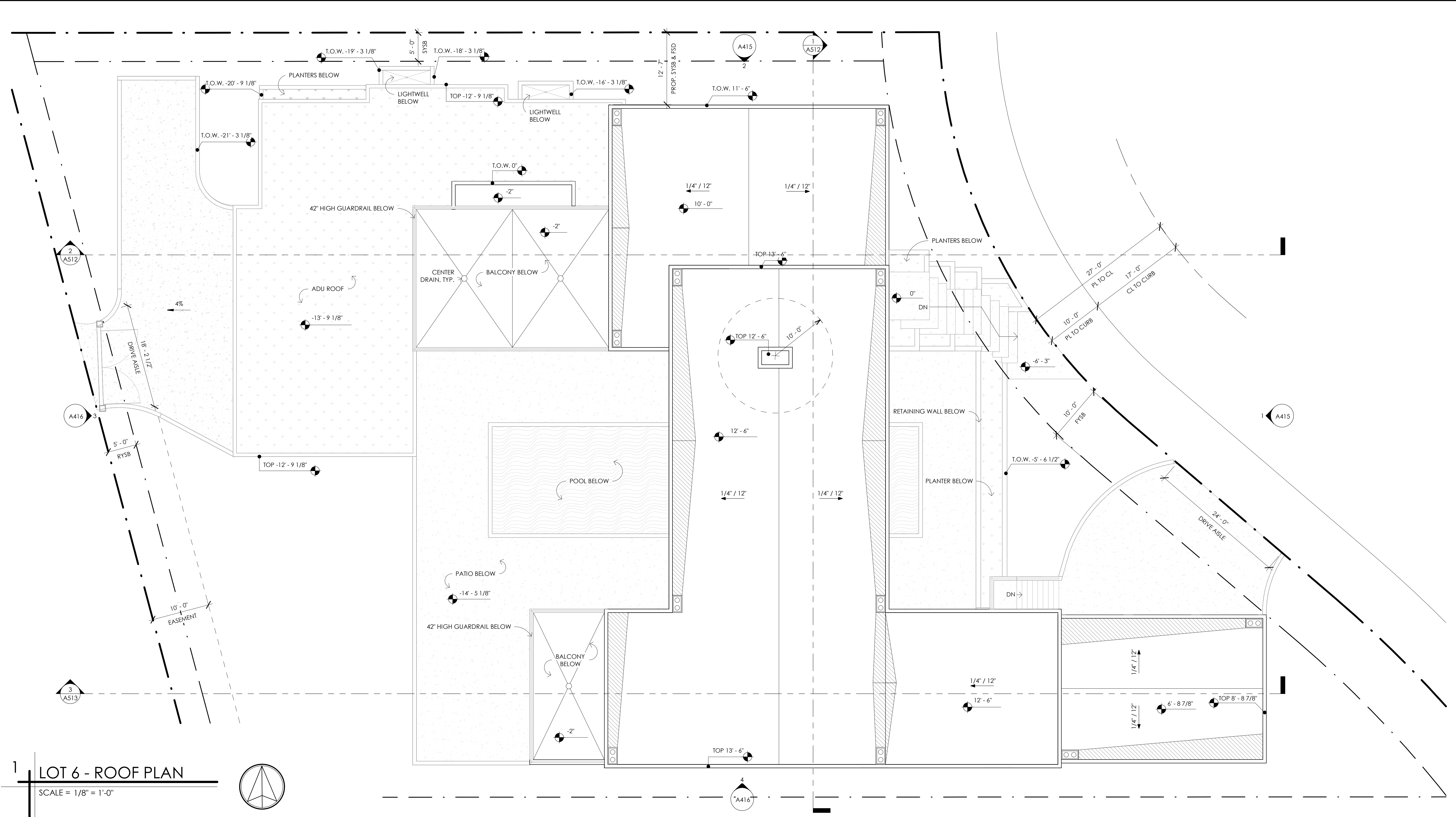
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C. ONLY ONE COMPACT REFRIGERATOR, FREEZER OR ICE MAKER (5 CUBIC FEET MAXIMUM CAPACITY) DESIGNED FOR PLACEMENT UNDER A COUNTER AND SO INSTALLED.

D. NO GAS OR 220-VOLT AC POWER OUTLETS ARE ALLOWED IN THE VICINITY OF THE WET BAR.

E. NO OTHER FACILITY (INCLUDING, BUT NOT LIMITED TO, STOVE, RANGE, DISHWASHER, MICROWAVE, GARBAGE DISPOSAL OR TRASH COMPACTOR) USED FOR THE PREPARATION OF FOOD SHALL BE LOCATED WITHIN OR NEAR A WET BAR. "THE PROPOSED WET BAR WILL COMPLY WITH THE ABOVE WET BAR LIMITATIONS".

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1 LOT 6 - ROOF PLAN

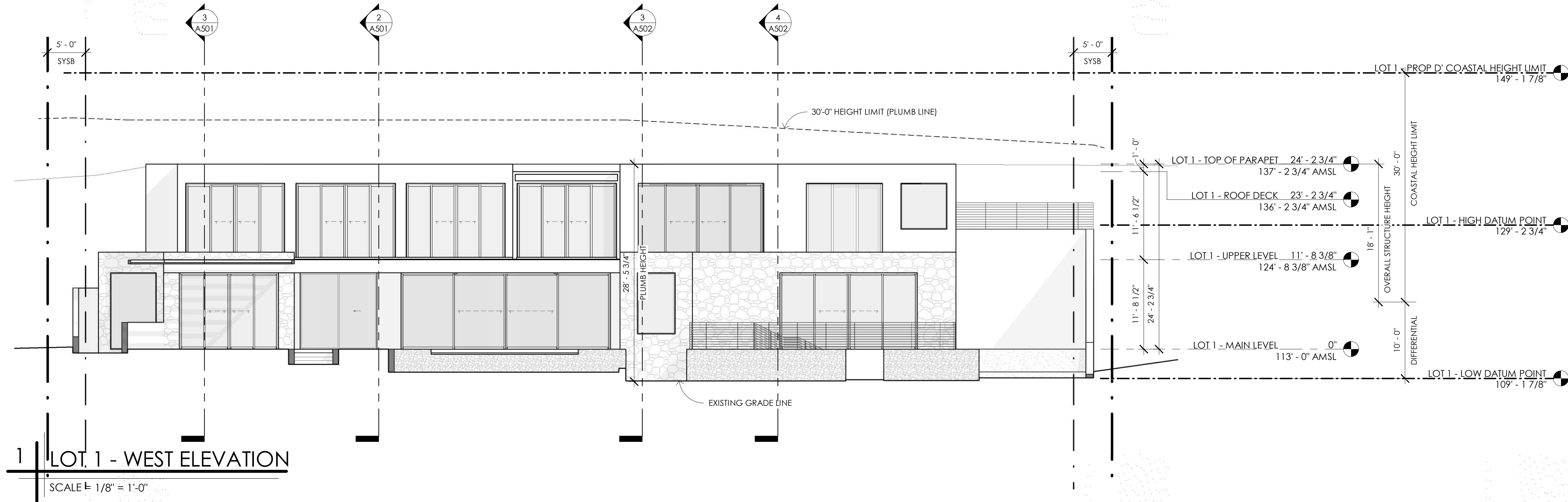
SCALE = 1/8" = 1'-0"

ROOF NOTES

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- ROOF GUTTERS SHALL PROVIDE WITH THE MEANS TO PREVENT ACCUMULATION OF LEAVE AND DEBRIS IN THE GUTTER. ALL ROOF GUTTERS AND DOWNSPOUTS SHALL BE CONSTRUCTED OF NON-COMBUSTIBLE MATERIALS. THEY SHALL ALSO HAVE ZINCALUME COATING.
- D RIP EDGE FLASHING USED AT THE FREE EDGES OF ROOFING MATERIALS SHALL BE NON-COMBUSTIBLE.
- CHIMNEYS, FLUES OR STOVEPIPES ATTACHED TO ANY FIREPLACE, STOVE, BARBEQUE OR OTHER SOLID OR LIQUID FUEL BURNING EQUIPMENT OR DEVICE SHALL BE EQUIPPED WITH AN APPROVED SPARK ARRESTOR.
- OVERFLOW DRAINS SHALL HAVE THE SAME SIZE AS THE ROOF DRAIN AND SHALL BE INSTALLED WITH THE FLOW LINE LOCATED 2" ABOVE THE LOW POINT OF THE ROOF.
- OVERFLOW SCUPPERS SHALL HAVE AN OPENING AREA THREE TIMES THE SIZE OF THE ROOF DRAIN; HAVE A MINIMUM OPENING HEIGHT OF 4"; BE INSTALLED IN AN ADJACENT PARAPET WALL AND WITH THE INLET FLOW LOCATED 2" ABOVE THE LOW POINT OF THE ROOF.
- OVERFLOW DRAINS AND SCUPPERS MUST HAVE SEPARATE OUTLETS FROM THE ROOF DRAINS / SCUPPERS.
- FOR TYPICAL PIPE PENETRATION SEE DETAIL 4/A7.1
- ALL FLAT ROOFS TO COMPLY WITH CRC R606.5
- ANY ROOF GUTTERS SHALL BE PROVIDED WITH MEANS TO PREVENT ACCUMULATION OF LEAVES AND DEBRIS.
- SOLAR ZONE AREA MINIMUM 250 S.F. CUMULATIVE AREA COMPROMISED OF MINIMUM 80 S.F. AREAS WITH MINIMUM 5-FOOT DIMENSIONS. NO OBSTRUCTIONS - INCLUDING VENTS, CHIMINEYS, SKYLIGHTS, ARCHITECTURAL FEATURES, ROOF-MOUNTED EQUIPMENT - LOCATED WITHIN SOLAR ZONE.
- THE MAIN ELECTRICAL SERVICE PANEL SHALL NOT BE OF A TYPE WITH A CENTER-FED MAIN CIRCUIT BREAKER AND SHALL INCLUDE RESERVED SPACE ALLOWING FOR INSTALLATION OF DOUBLE-POLE CIRCUIT BREAKERS FOR A FUTURE SOLAR PHOTOVOLTAIC SYSTEM. SUCH RESERVED SPACE SHALL BE POSITIONED AT THE OPPOSITE (LOAD) END FROM THE INPUT FEEDER OR MAIN CIRCUIT BREAKER LOCATION. THE RESERVED SPACE SHALL BE PERMANENTLY AND VISIBLY MARKED AS "FOR FUTURE SOLAR PHOTOVOLTAIC".
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 - APPROVED MINIMUM 4-INCH-SQUARE ELECTRICAL JUNCTION BOX LOCATED WITHIN 72 INCHES HORIZONTALLY AND 12 INCHES VERTICALLY OF MAIN ELECTRICAL SERVICE PANEL.
 - MINIMUM 1-INCH-DIAMETER LISTED ELECTRICAL METALLIC RACEWAY ORIGINATING AT THE REQUIRED ELECTRICAL JUNCTION BOX.
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- PREVENT INTRUSION OF FLAME AND EMBERS (EMBER RESISTANT "ER" APPROVED MODELS ONLY) INTO THE ATTIC.

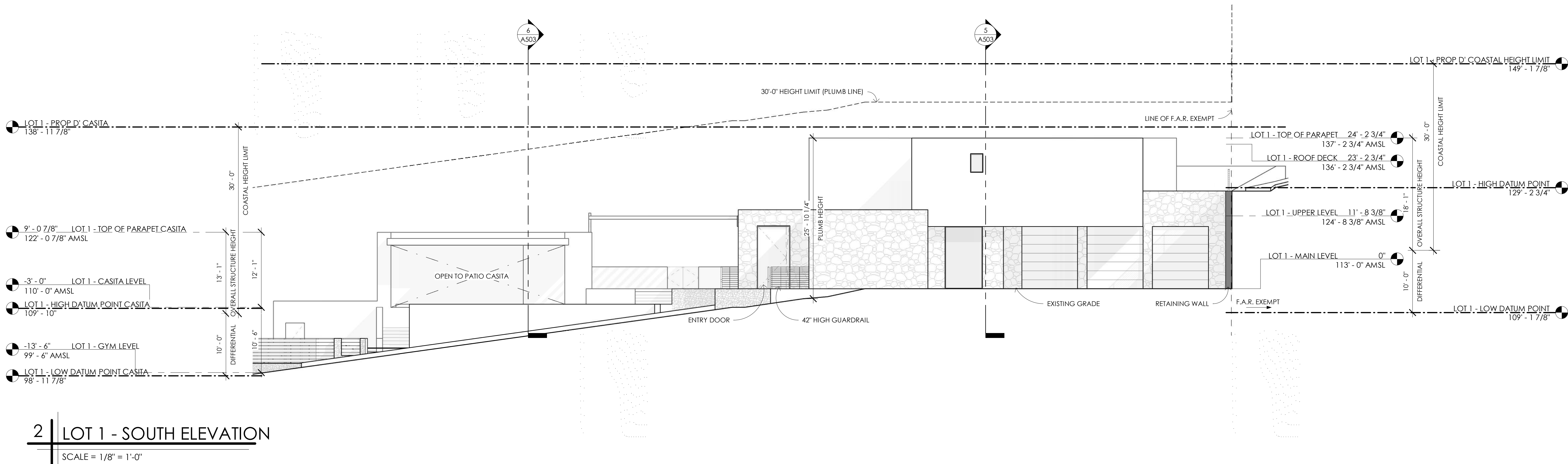
ELEVATION NOTES

- BUILDING MATERIALS AND COLOR ARE THE MOST CRITICAL UNIFYING ELEMENTS. FOR THIS REASON, ROOF MATERIALS WITHIN THE LA JOLLA SHORES PLANNED DISTRICT SHALL BE LIMITED TO WOOD SHAKES, WOOD SHINGLES, CLAY TILE, SLATE OR COPPER OF GOOD QUALITY WHERE THE PITCH IS 4 IN 12 OR GREATER OR OTHER MATERIALS WHICH WOULD CONTRIBUTE TO THE CHARACTER OF THE SURROUNDING NEIGHBORHOOD. ROOFS WITH A PITCH OF LESS THAN 4 IN 12 MAY ALSO BE COVERED WITH CRUSHED STONE OF MUTED DARK TONE.
- EXTERIOR WALL MATERIALS SHALL BE LIMITED TO WOOD SIDING, WOOD SHINGLES, ADOBE AND CONCRETE BLOCKS, BRICK, STUCCO, CONCRETE OR NATURAL STONE, WHITE AND NATURAL EARTH COLORS SHOULD PREDOMINATE. PRIMARY COLORS MAY BE USED FOR ACCENT.
- TO PRESERVE THE SEASIDE CHARACTER OF THE COMMUNITY, EACH BUILDING SHALL BE SITED AND DESIGNED SO AS TO PROTECT PUBLIC VIEW FROM PUBLIC RIGHTS-OF-WAY AND PUBLIC PLACES AND PROVIDE FOR SEE-THROUGHS TO THE OCEAN.
- LIGHTING WHICH HIGHLIGHTS ARCHITECTURAL FEATURES OF A STRUCTURE SHALL BE PERMITTED. SUCH LIGHTING SHALL BE UNOBTRUSIVE AND SHIELDED SO AS NOT TO FALL EXCESSIVELY ON ADJACENT PROPERTIES.
- APPURTENANCES ON THE ROOF SHALL BE ENCLOSED OF OTHERWISE DESIGNED OR SHIELDED TO BE ATTRACTIVE.



1 LOT 1 - WEST ELEVATION

SCALE = 1/8" = 1'-0"



2 LOT 1 - SOUTH ELEVATION

SCALE = 1/8" = 1'-0"

W.F
ARCHITECTS

WILL & FOTSCH ARCHITECTS

1298 PROSPECT STREET, SUITE 2S, LA JOLLA, CA 92037 - (o) 858-224-2486

JOB #:

CIELO MAR - LOT 1 DIAZ

8303 LA JOLLA SHORES DR, SAN DIEGO, CA 32037

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LOT 1 - EXTERIOR ELEVATIONS

12/13/2024

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- ELEVATION NOTES
1.

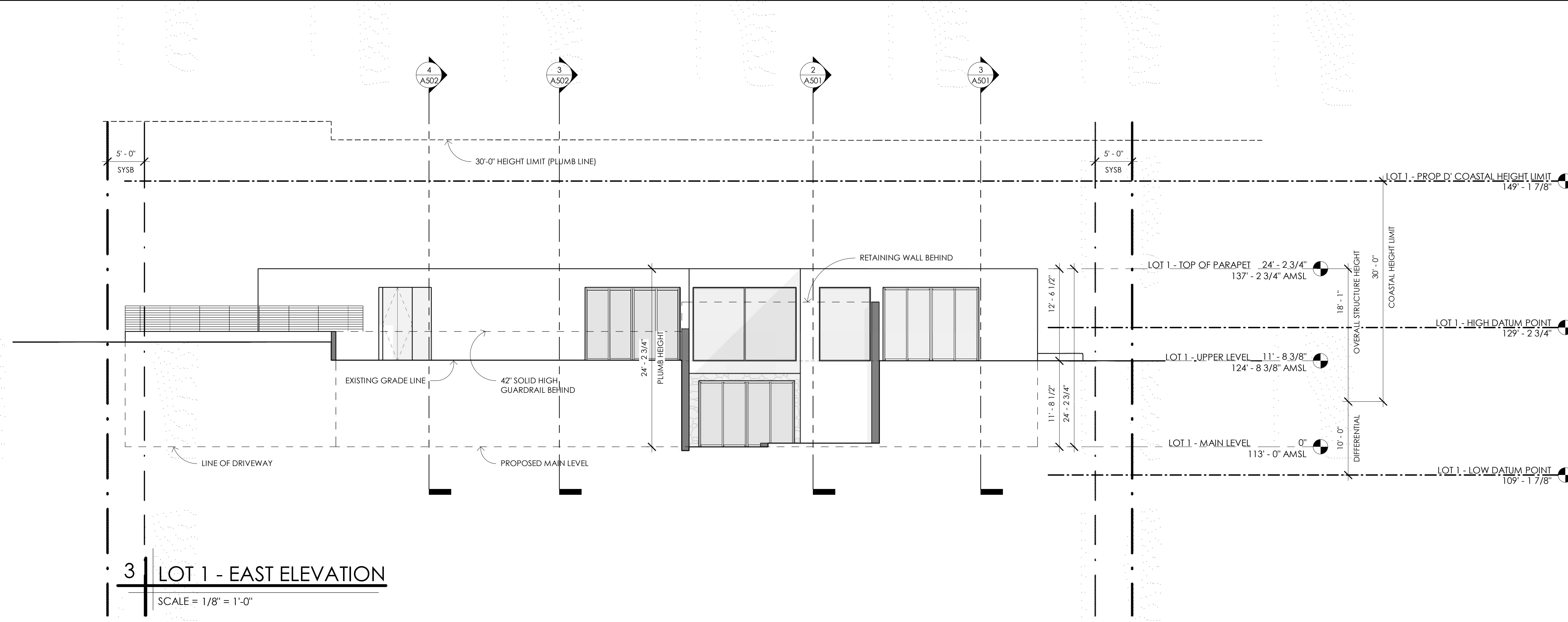
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5.

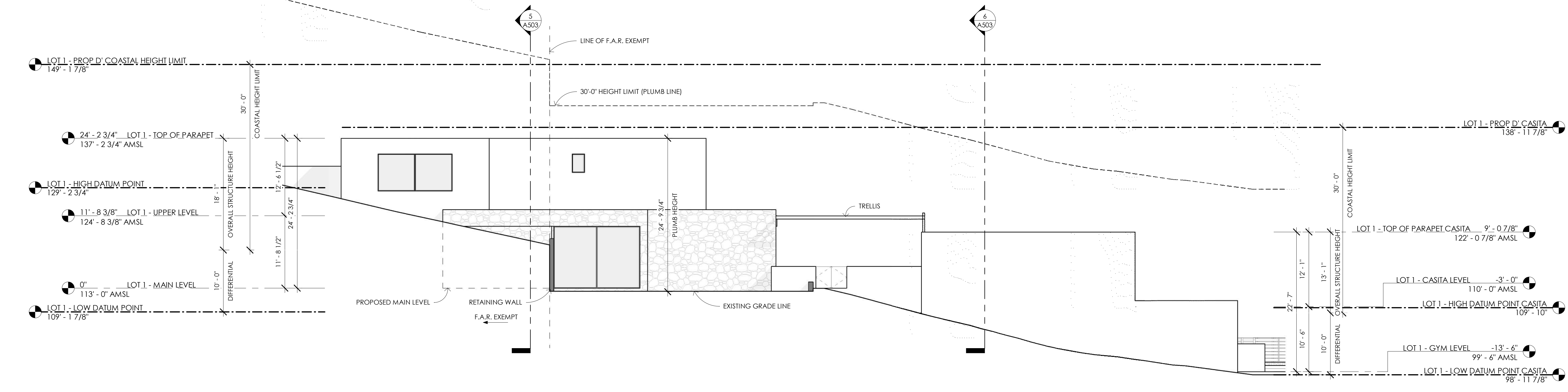
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3

LOT 1 - EAST ELEVATION

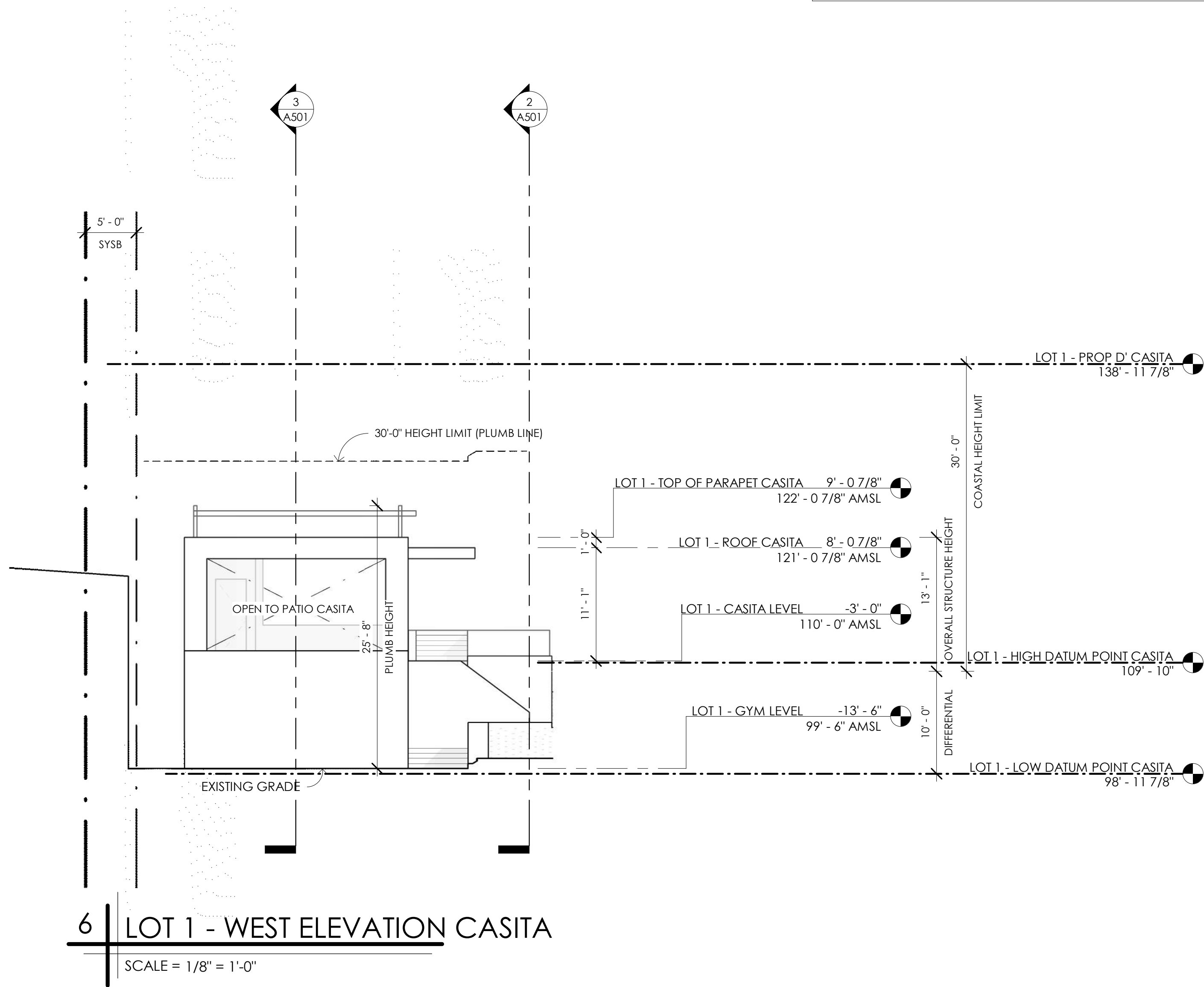
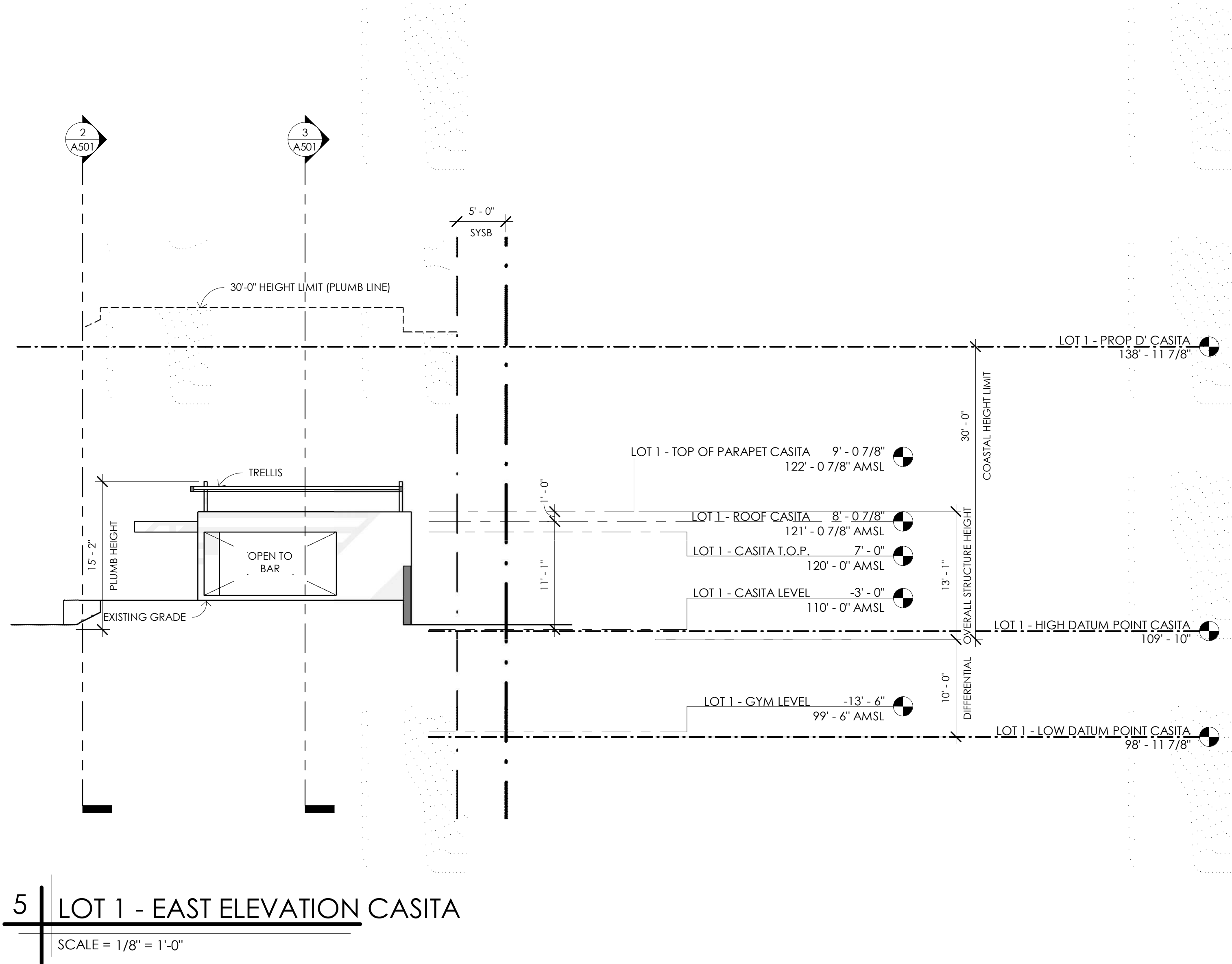
SCALE = 1/8" = 1'-0"



4

LOT 1 - NORTH ELEVATION

SCALE = 1/8" = 1'-0"

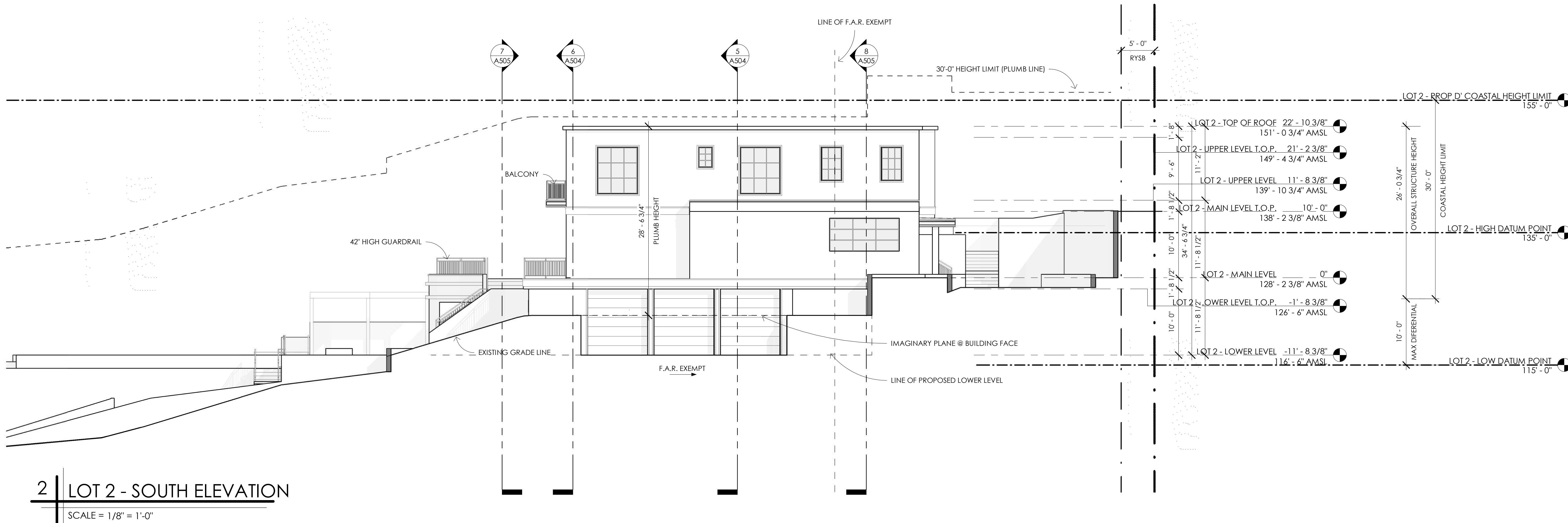
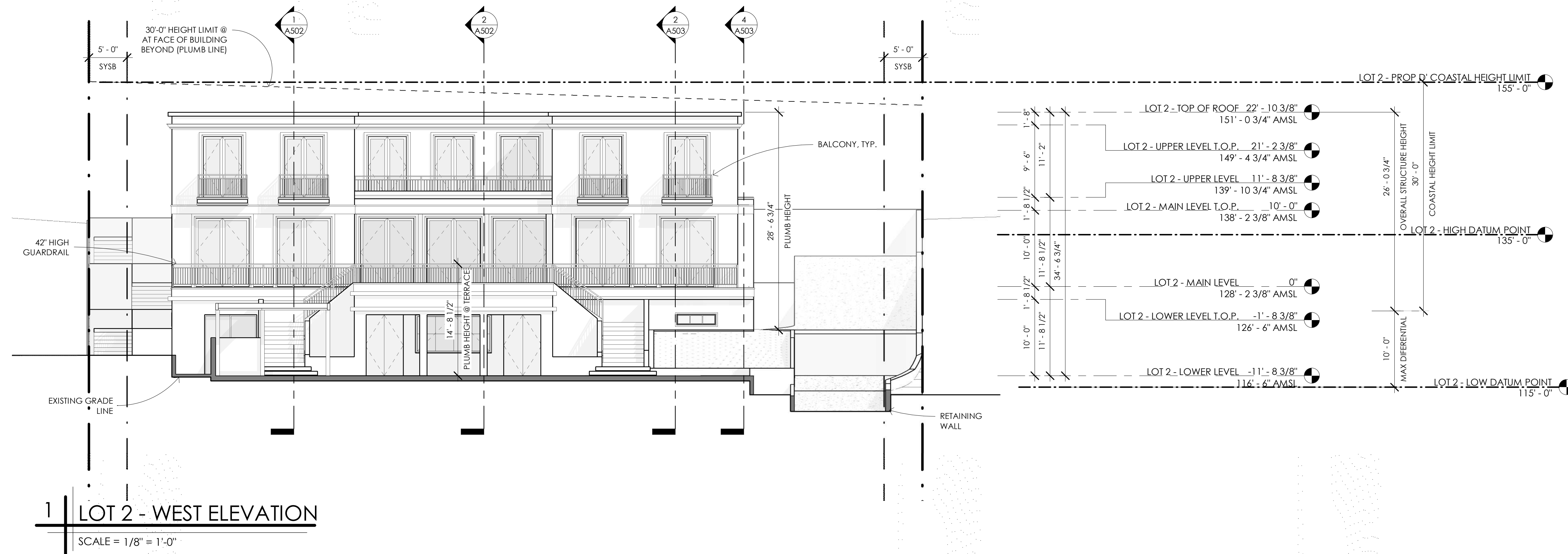


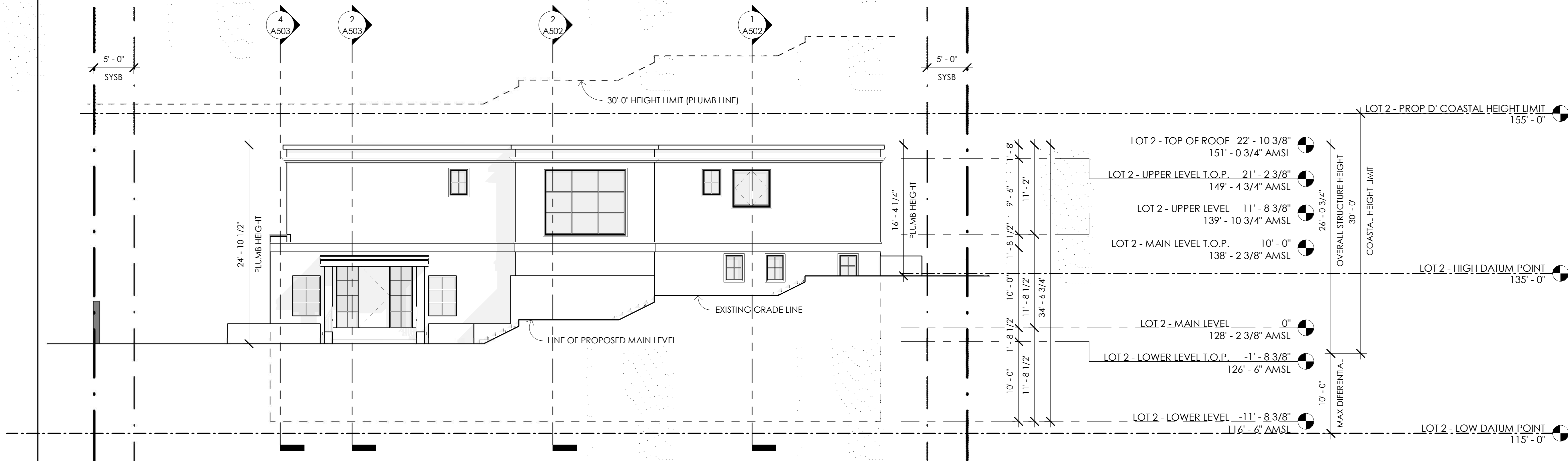
ELEVATION NOTES

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ELEVATION NOTES

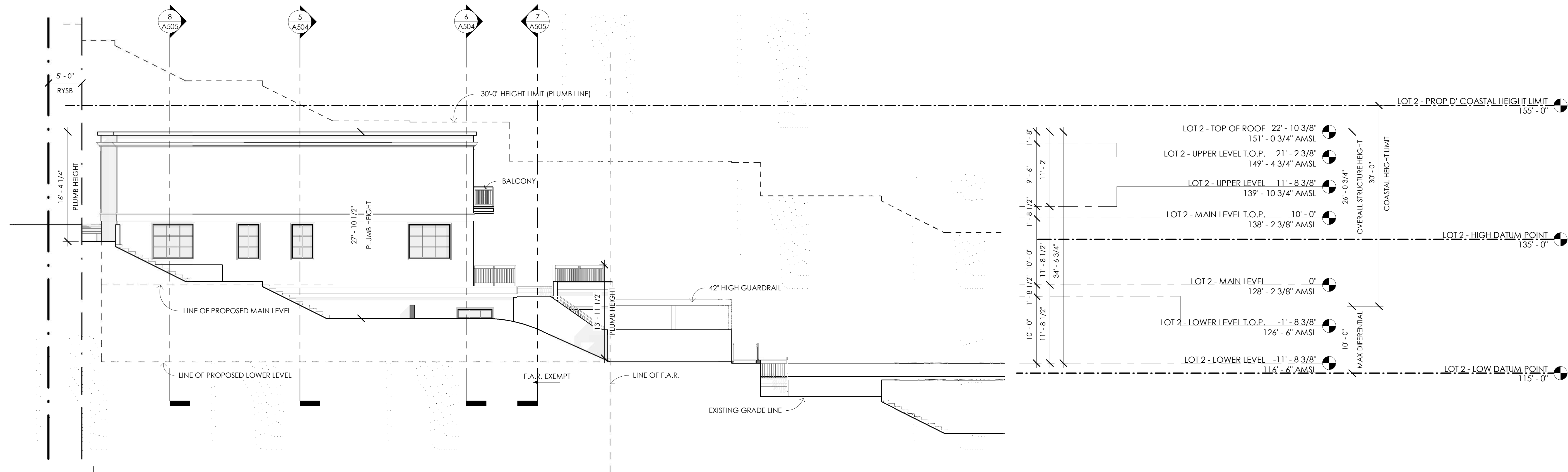
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3 LOT 2 - EAST ELEVATION

SCALE = 1/8" = 1'-0"



4 LOT 2 - NORTH ELEVATION

SCALE = 1/8" = 1'-0"

ELEVATION NOTES

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W.F
ARCHITECTS

WILL & FOTSCH ARCHITECTS

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JOB #:

CIELO MAR - LOT 2 -
SINNET
8303 LA JOLLA SHORES DR, SAN DIEGO, CA 32037

DATE:	ISSUE:
02/24/2023	CDP SUBMITTAL
10/03/2023	2ND CDP SUBMITTAL
03/18/2024	3RD CDP SUBMITTAL
08/16/2024	4TH CDP SUBMITTAL
12/13/2024	5TH CDP SUBMITTAL

A405
LOT 2 - EXTERIOR
ELEVATIONS

12/13/2024

1. BUILDING MATERIALS AND COLOR ARE THE MOST CRITICAL UNIFYING ELEMENTS. FOR THIS REASON, ROOF MATERIALS WITHIN THE LA JOLLA SHORES PLANNED DISTRICT SHALL BE LIMITED TO WOOD SHAKES, WOOD SHINGLES, CLAY TILE, SLATE OR COPPER OF GOOD QUALITY WHERE THE PITCH IS 4 IN 12 OR GREATER OR OTHER MATERIALS WHICH WOULD CONTRIBUTE TO THE CHARACTER OF THE SURROUNDING NEIGHBORHOOD. ROOFS WITH A PITCH OF LESS THAN 4 IN 12 MAY ALSO BE COVERED WITH CRUSHED STONE OF MILD DARK TONE.
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WILL & FOTSCH ARCHITECTS

1298 PROSPECT STREET, SUITE 23, LA JOLLA, CA 92037 - (619) 858-7744-7480

CIELO MAR - LOT 3 - ALLOS

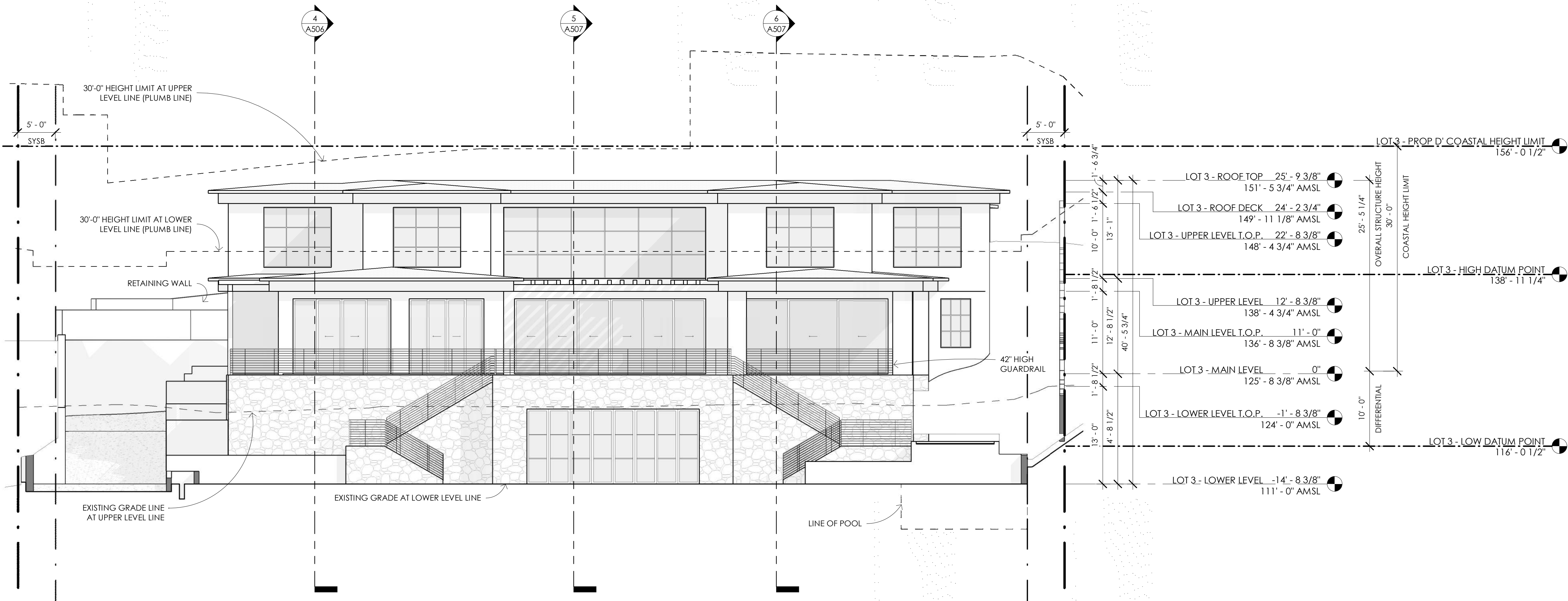
8303 LA JOLLA SHORES DR, SAN DIEGO, CA 92037

DATE:	ISSUE:
2/24/2023	CDP SUBMITTAL
03/03/2023	2ND CDP SUBMITTAL
3/18/2024	3RD CDP SUBMITTAL
3/16/2024	4TH CDP SUBMITTAL
2/13/2024	5TH CDP SUBMITTAL

A406

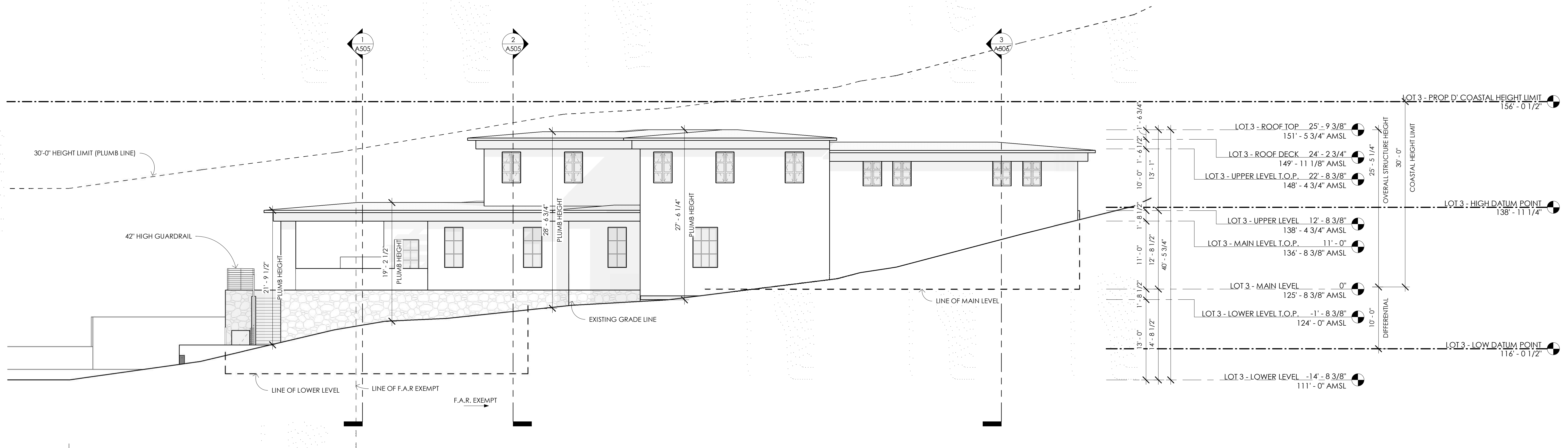
PART 3 - EXTERIOR ELEVATIONS

2/13/2024



1 | LOT 3 - WEST ELEVATION

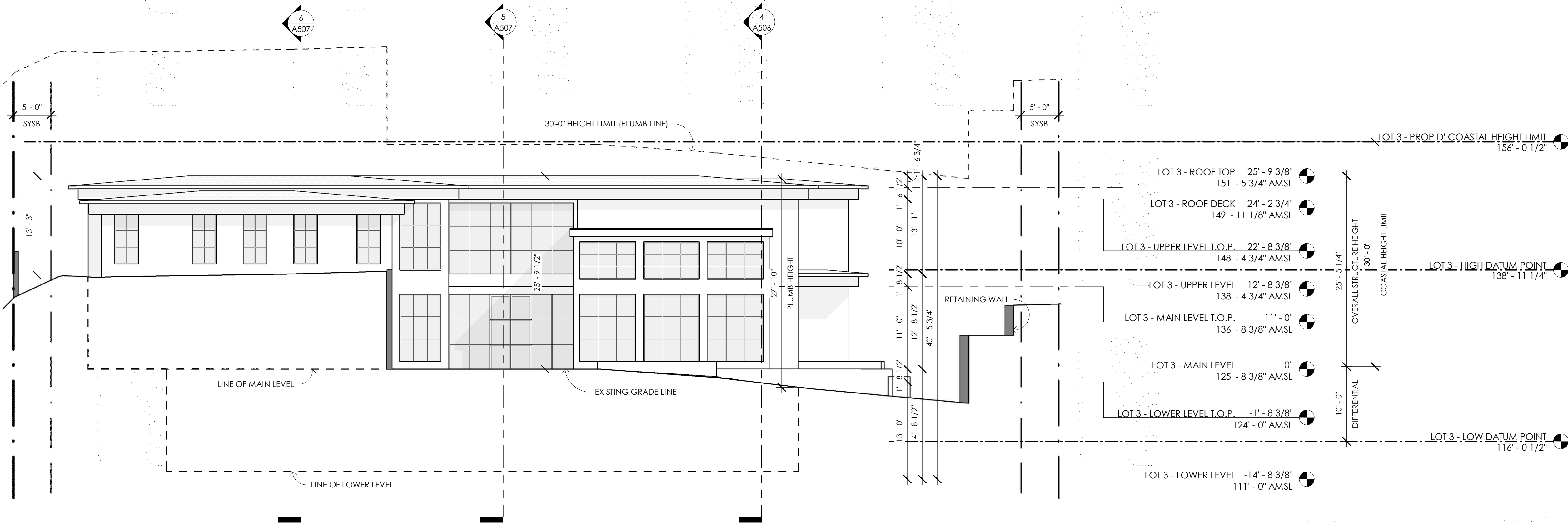
SCALE = 1/8" = 1'-0"



2 | LOT 3 - SOUTH ELEVATION

SCALE = 1/8" = 1'-0"

PLOT DATE AND TIME: 12/12/2024 17:51:39 Autodesk Docs://2220 Cielo Mar Overall - Cielo Mar LLC/LA JOLLA SHORES - LOT 3 - CDP JM



ELEVATION NOTES

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W.F
ARCHITECTS

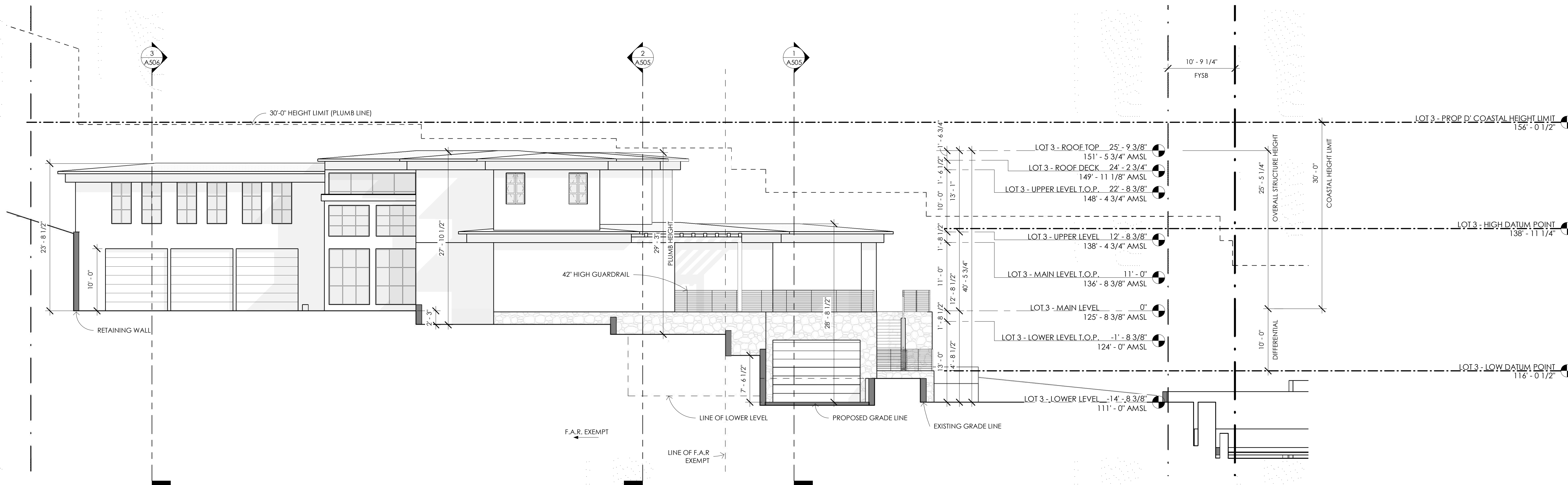
WILL & FOTSCH ARCHITECTS

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3 LOT 3 - EAST ELEVATION

SCALE = 1/8" = 1'-0"



4 LOT 3 - NORTH ELEVATION

SCALE = 1/8" = 1'-0"

JOB #:

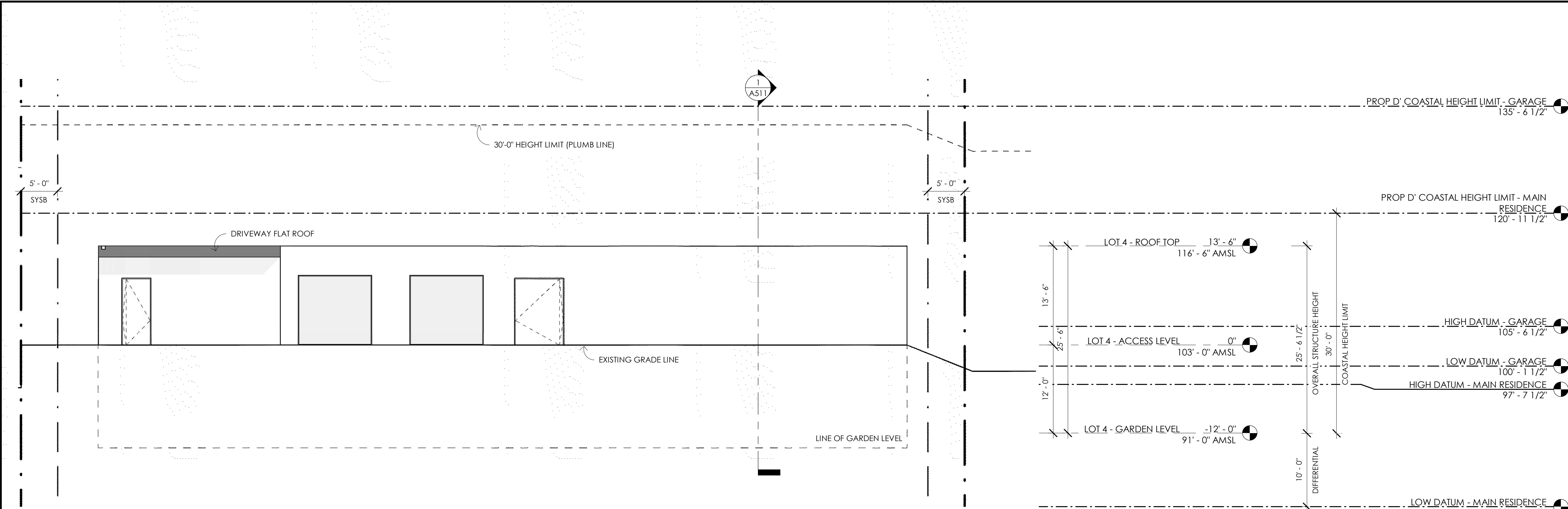
CIELO MAR - LOT 3 - ALLOS

8303 LA JOLLA SHORES DR, SAN DIEGO, CA 32037

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12/13/2024	5TH CDP SUBMITTAL

A407
LOT 3 - EXTERIOR
ELEVATIONS

12/13/2024

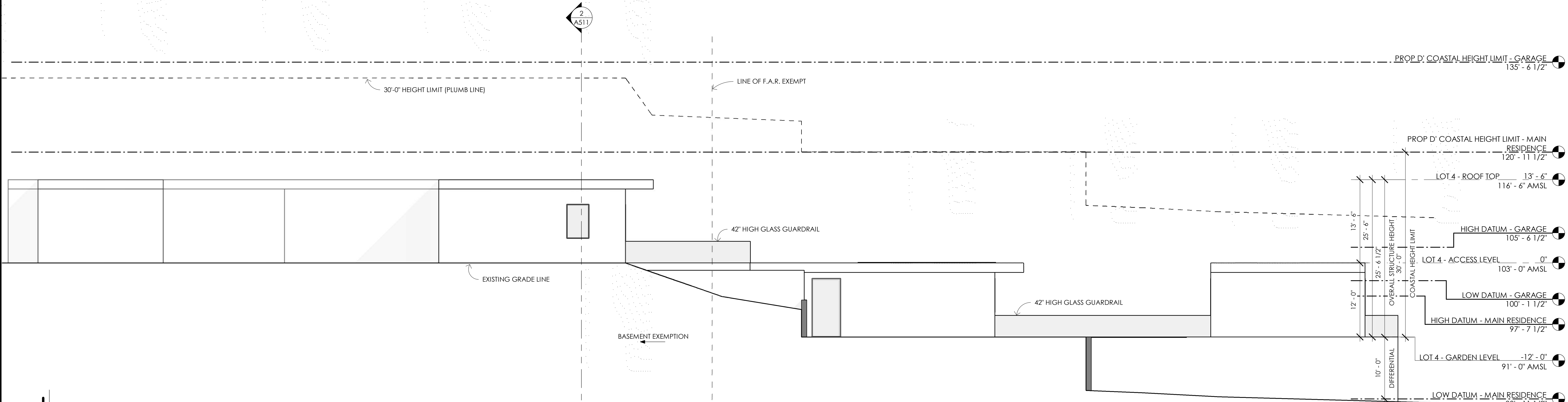


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1 LOT 4 - EAST ELEVATION

SCALE = 1/8" = 1'-0"



2 LOT 4 - NORTH ELEVATION

SCALE = 1/8" = 1'-0"



WILL & FOTSCH ARCHITECTS

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JOB #:

CIELO MAR - LOT 4 - A-2

TRUST

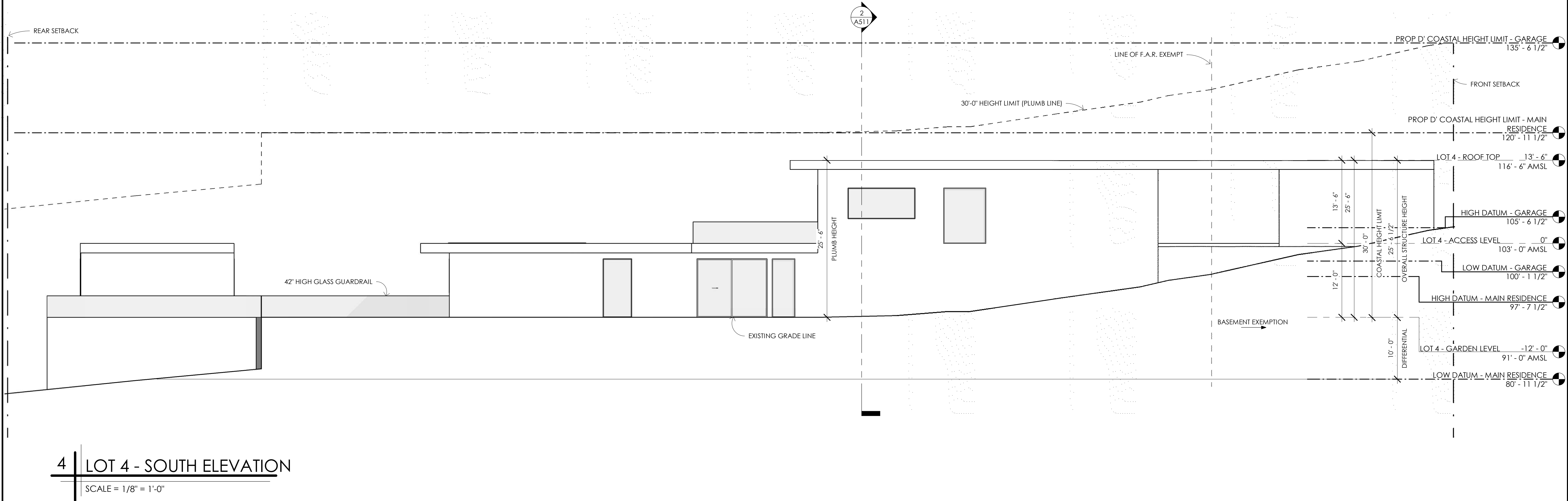
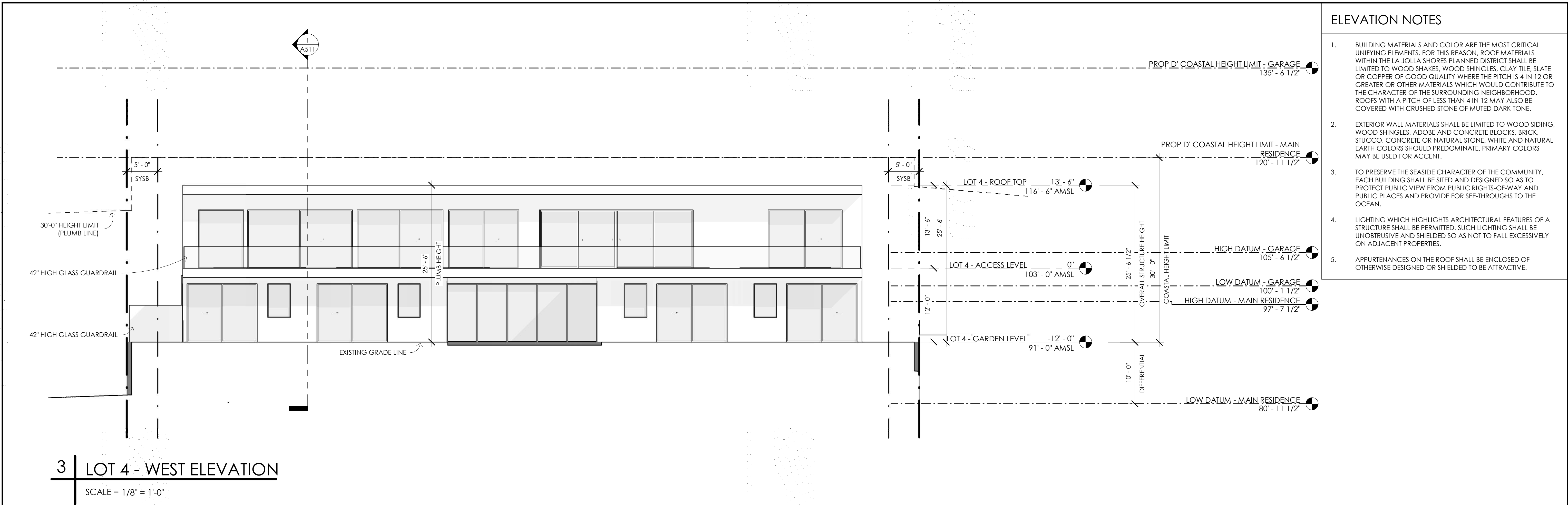
8303 LA JOLLA SHORES DR, SAN DIEGO, CA 32037

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12/13/2024	5TH CDP SUBMITTAL

A408

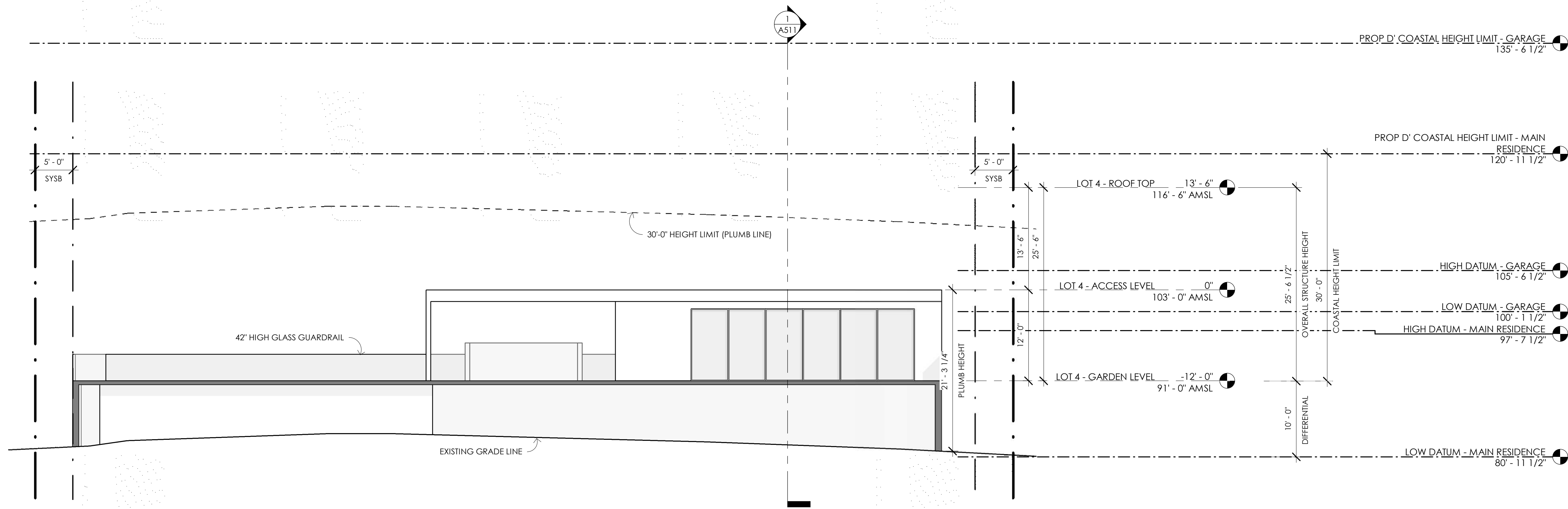
LOT 4 - EXTERIOR ELEVATIONS

12/13/2024



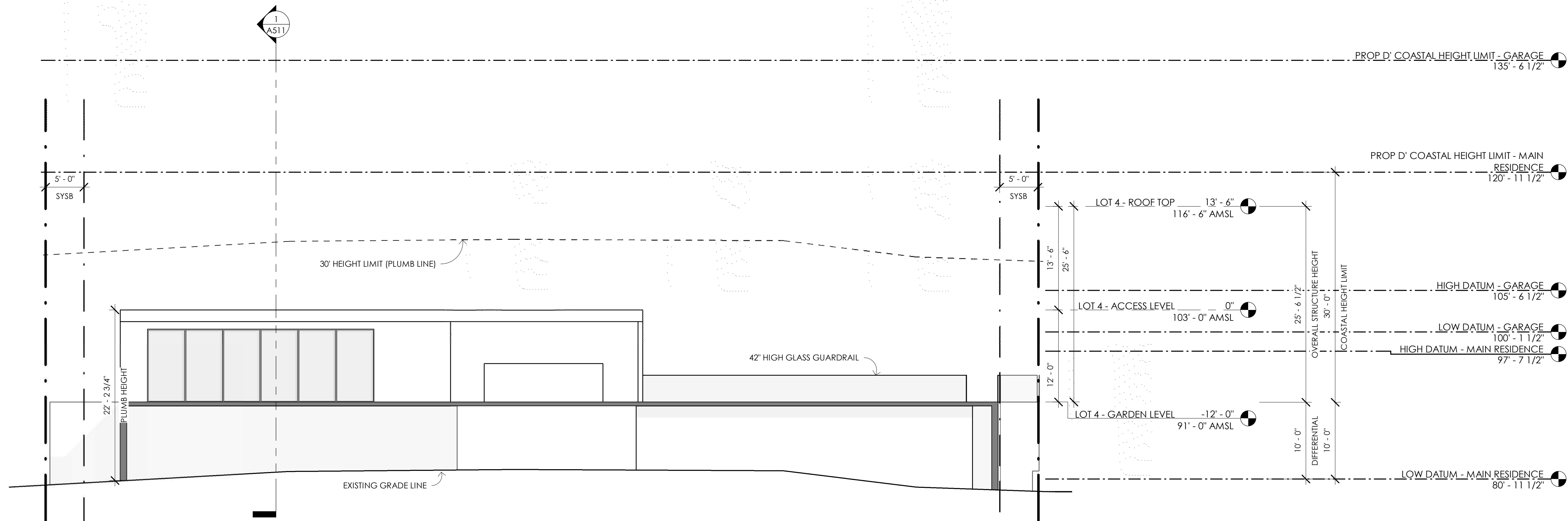
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5 LOT 4 - EAST ELEVATION OFFICE

SCALE = 1/8" = 1'-0"



6 LOT 4 - WEST ELEVATION OFFICE

SCALE = 1/8" = 1'-0"

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1298 PROSPECT STREET, SUITE 2S, LA JOLLA, CA 92037 - (o) 858-224-2486

JOB #:

CIELO MAR - LOT 4 - A-2
TRUST
8303 LA JOLLA SHORES DR, SAN DIEGO, CA 32037

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12/13/2024	5TH CDP SUBMITTAL

A410
LOT 4 - EXTERIOR
ELEVATIONS

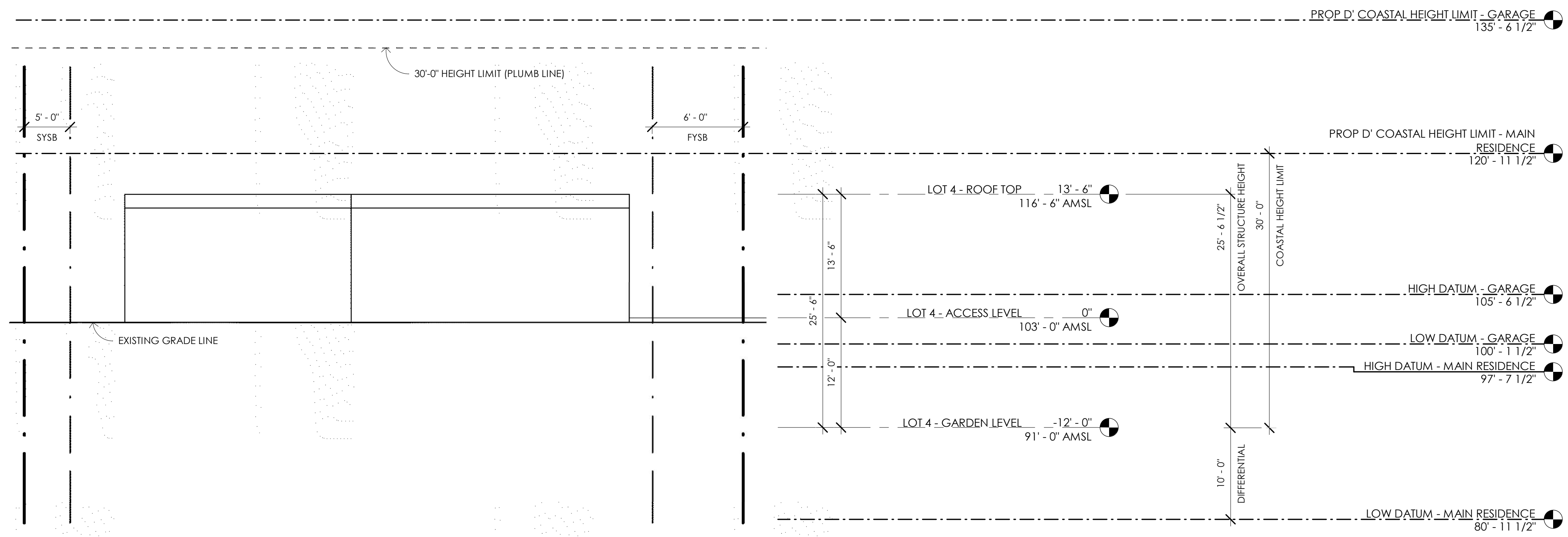
12/13/2024

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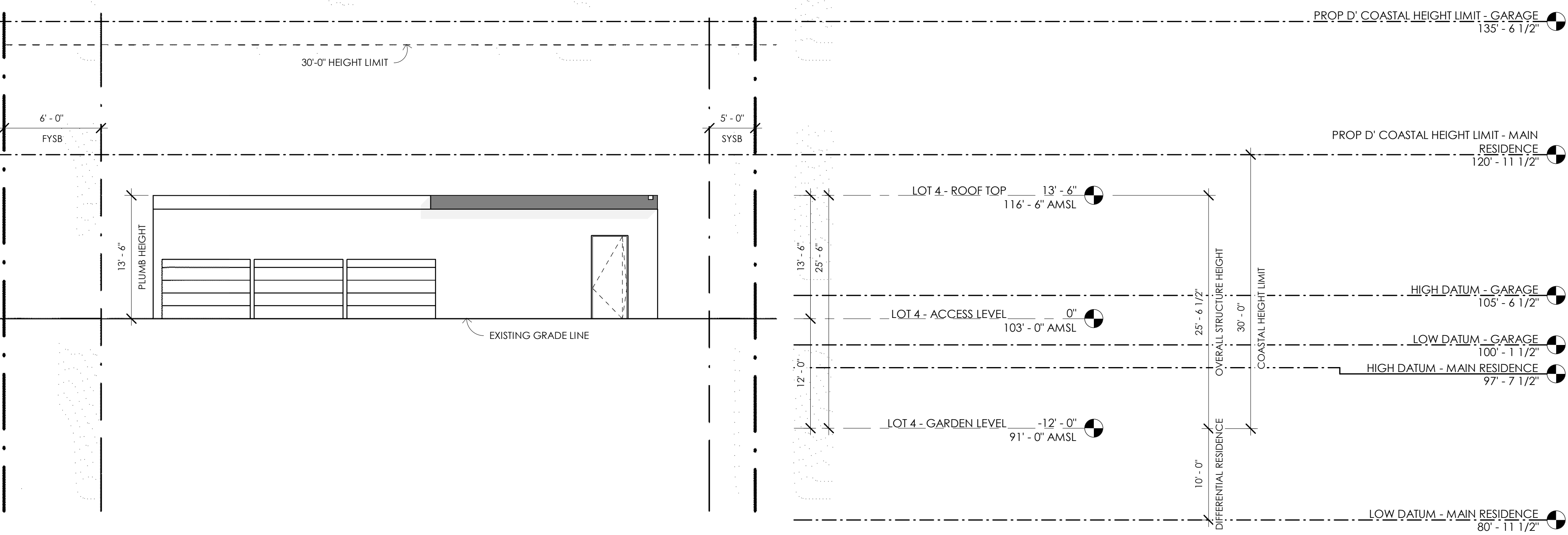
7 LOT 4 - EAST ELEVATION GARAGE

SCALE = 1/8" = 1'-0"



8 LOT 4 - WEST ELEVATION GARAGE

SCALE = 1/8" = 1'-0"



CIELO MAR - LOT 4 - A-2 TRUST

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12/13/2024	5TH CDP SUBMITTAL

A411

LOT 4 - EXTERIOR ELEVATIONS

12/13/2024

JOB #:

CIELO MAR - LOT 5 - RACE

8303 LA JOLLA SHORES DR, SAN DIEGO, CA 32037

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12/13/2024	5TH CDP SUBMITTAL

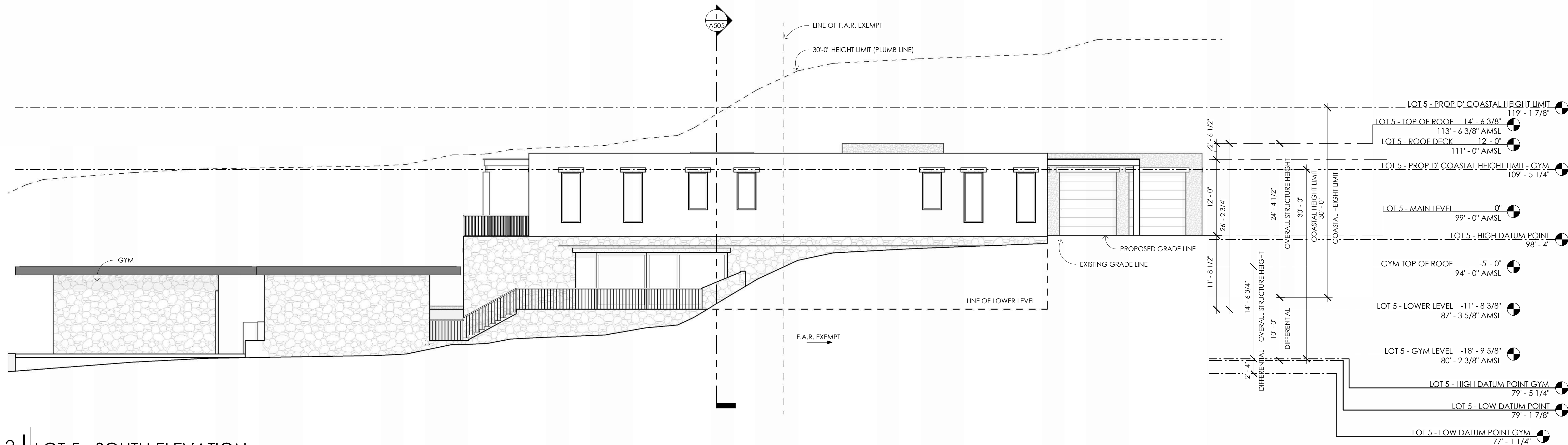
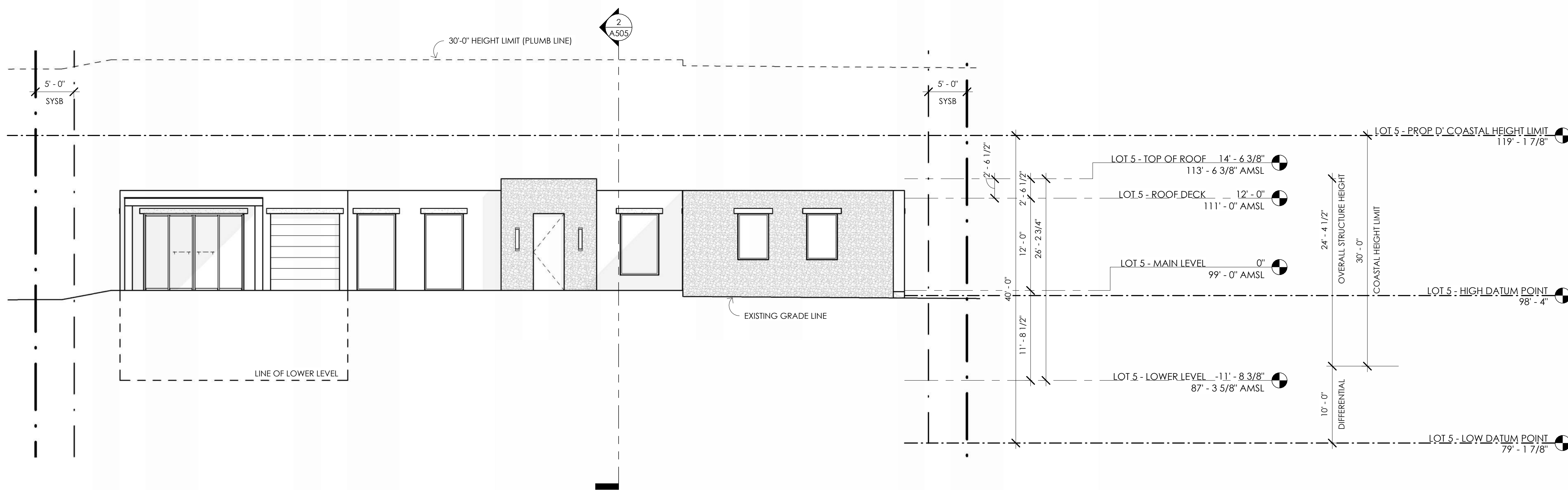
A412

LOT 5 - EXTERIOR
ELEVATIONS

12/13/2024

ELEVATION NOTES

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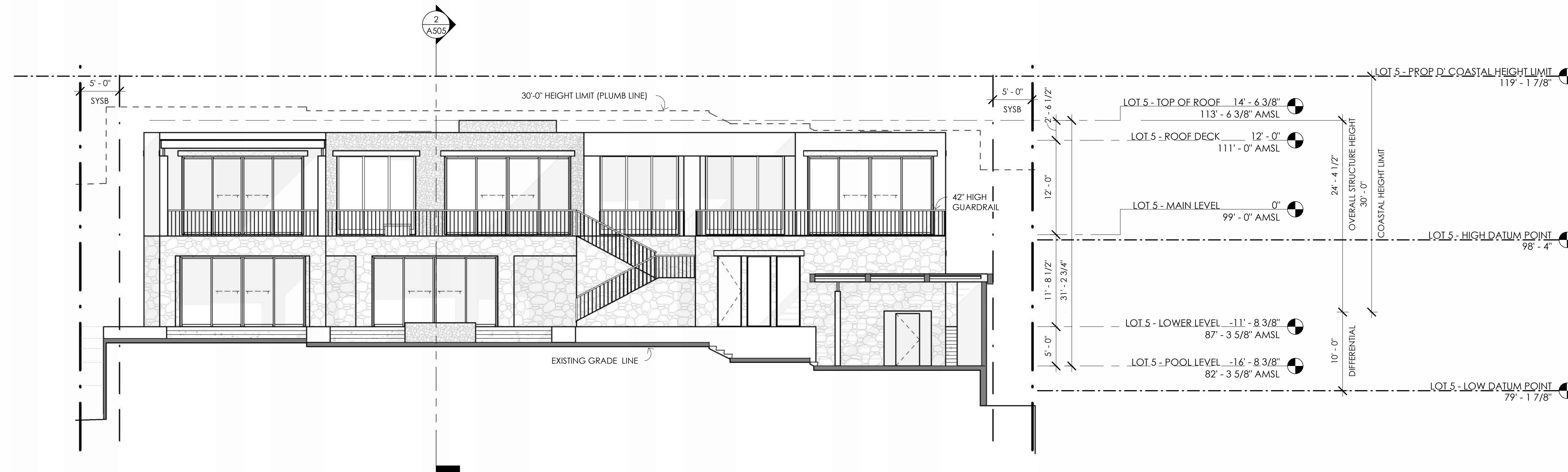


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12/13/2024	5TH CDP SUBMITTAL

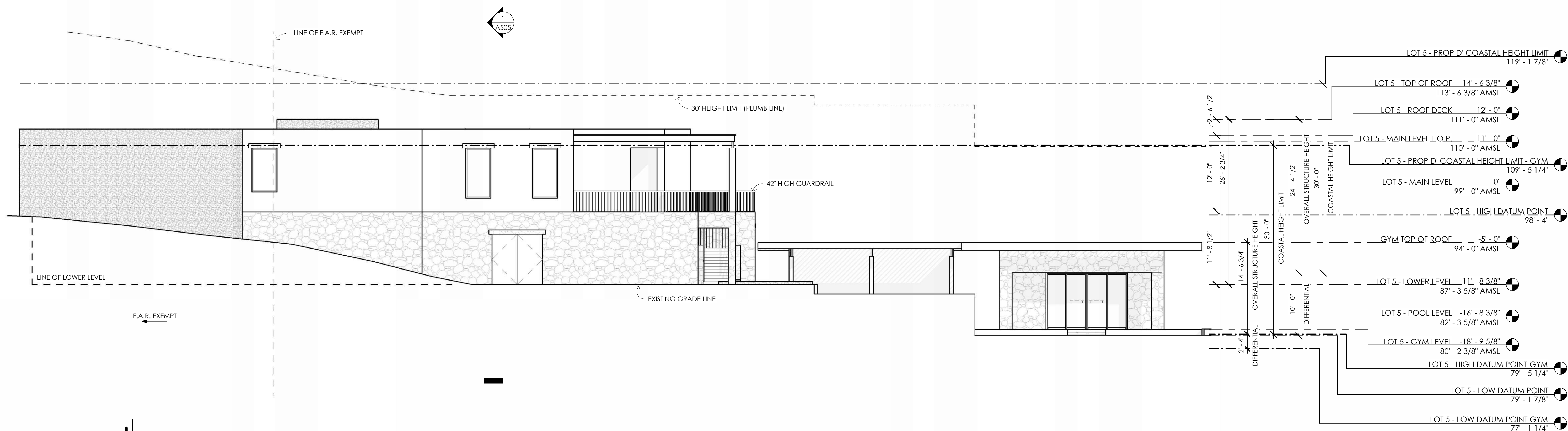
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3 LOT 5 - WEST ELEVATION

SCALE = 1/8" = 1'-0"



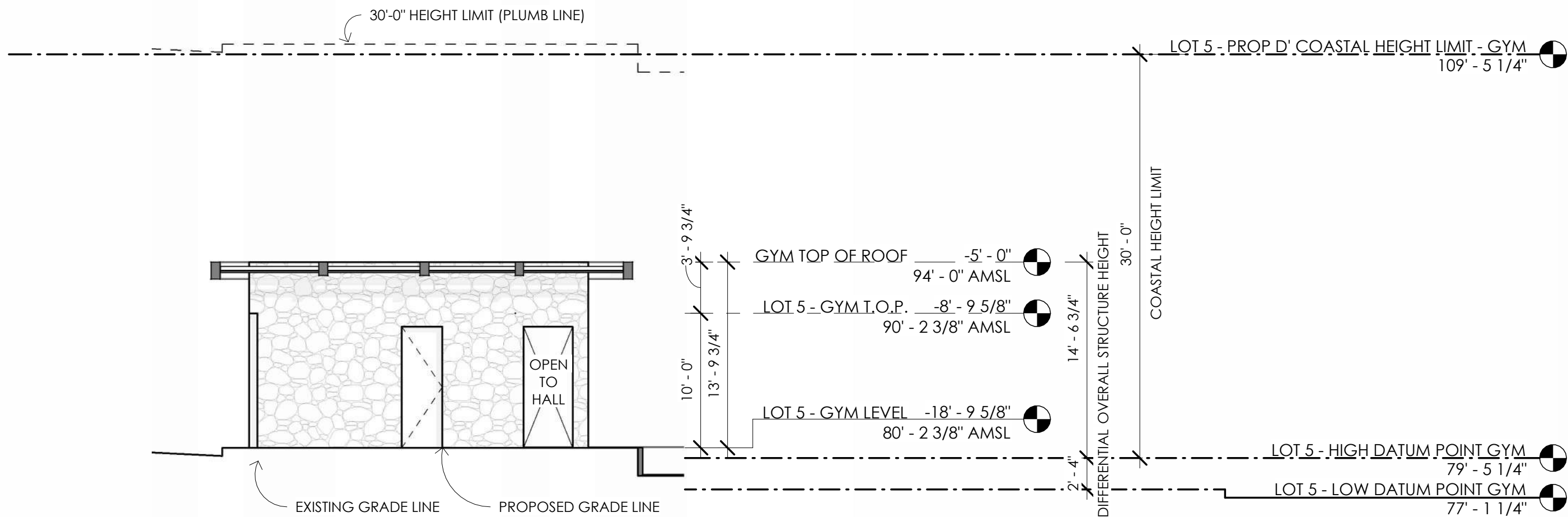
4 LOT 5 - NORTH ELEVATION

SCALE = 1/8" = 1'-0"

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12/13/2024	5TH CDP SUBMITTAL

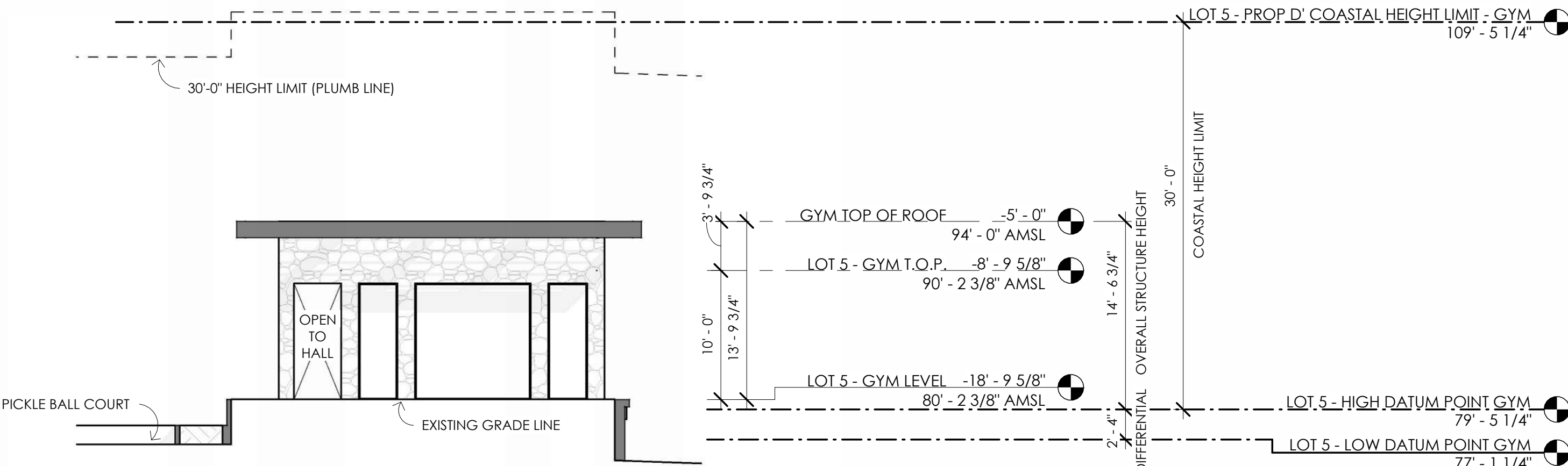
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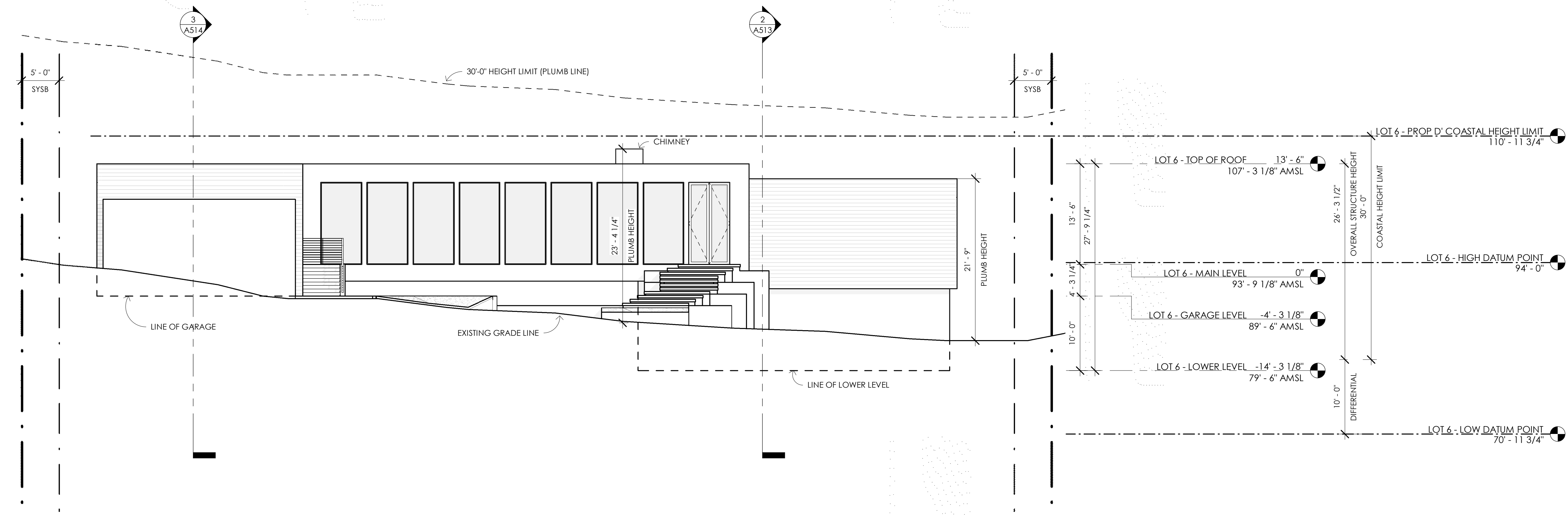
5 | LOT 5 - EAST ELEVATION GYM

SCALE = 1/8" = 1'-0"

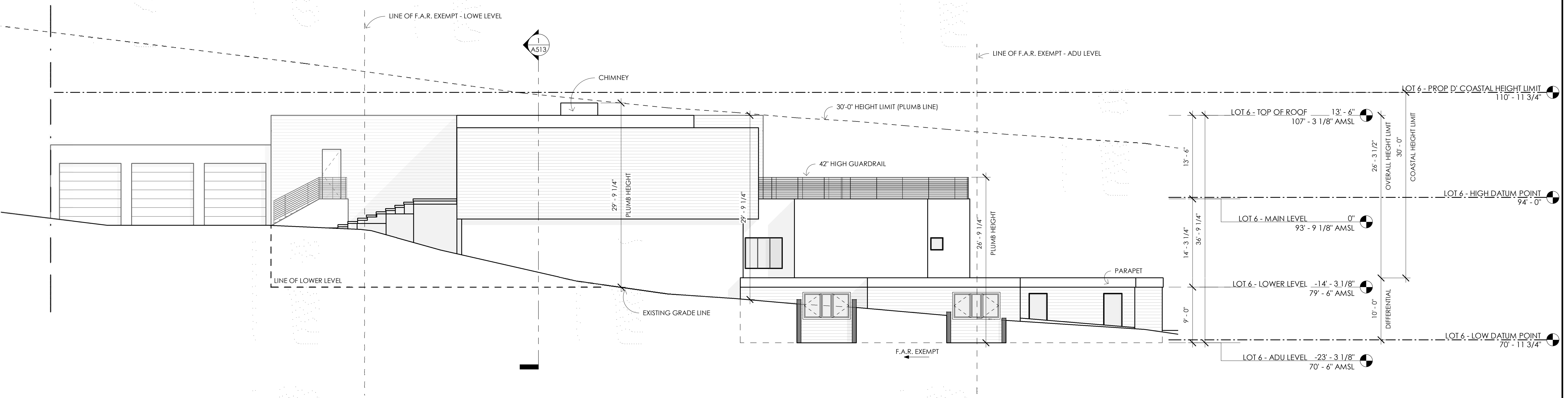


6 | LOT 5 - WEST ELEVATION GYM

SCALE = 1/8" = 1'-0"



1 LOT 6 - EAST ELEVATION
SCALE = 1/8" = 1'-0"



2 LOT 6 - NORTH ELEVATION
SCALE = 1/8" = 1'-0"

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W.F
ARCHITECTS

WILL & FOTSCH ARCHITECTS

1298 PROSPECT STREET, SUITE 2S, LA JOLLA, CA 92037 - (o) 858-224-2486

JOB #:

CIELO MAR - LOT 6 - LLC

8303 LA JOLLA SHORES DR, SAN DIEGO, CA 32037

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A415

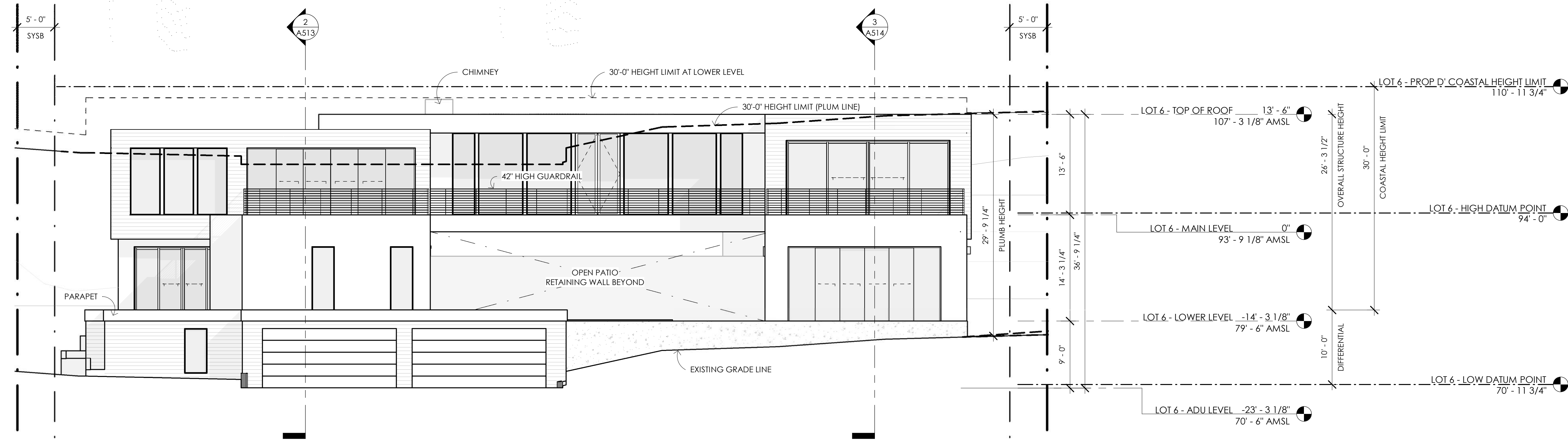
LOT 6 - EXTERIOR
ELEVATION

12/13/2024

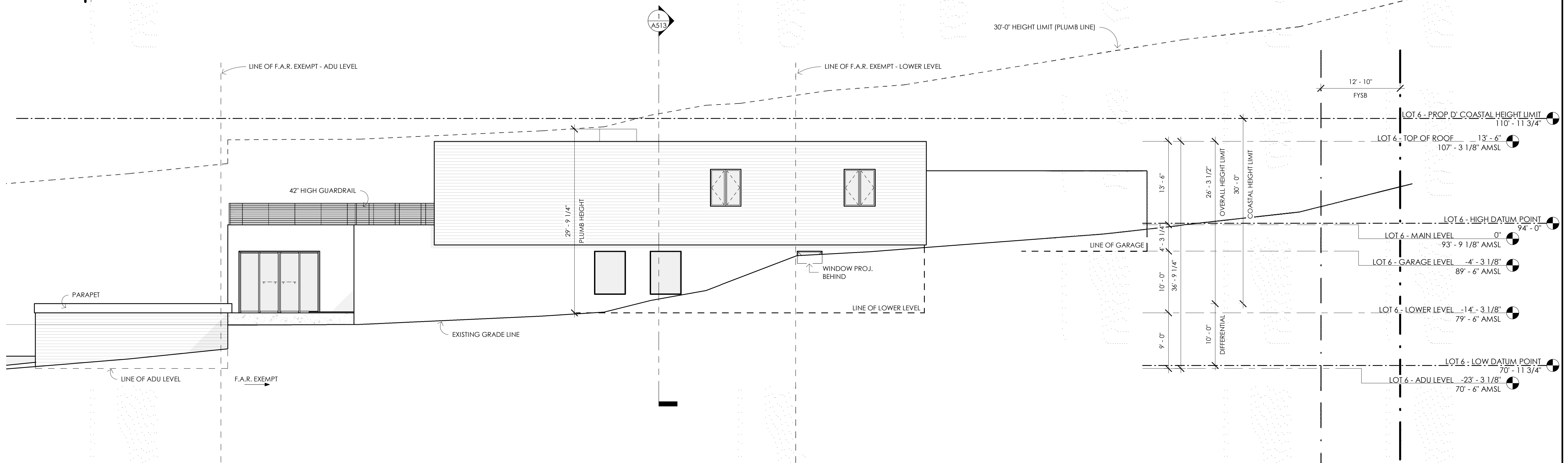
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Autodesk Docs/2220 Cielo Mar Owner - Cielo Mar LLC/LA JOLLA SHORES - LOT 6 - CDP#1

NOT DATE AND TIME 12/13/2024 13:42:1



3 LOT 6 - WEST ELEVATION
SCALE = 1/8" = 1'-0"



4 LOT 6 - SOUTH ELEVATION
SCALE = 1/8" = 1'-0"

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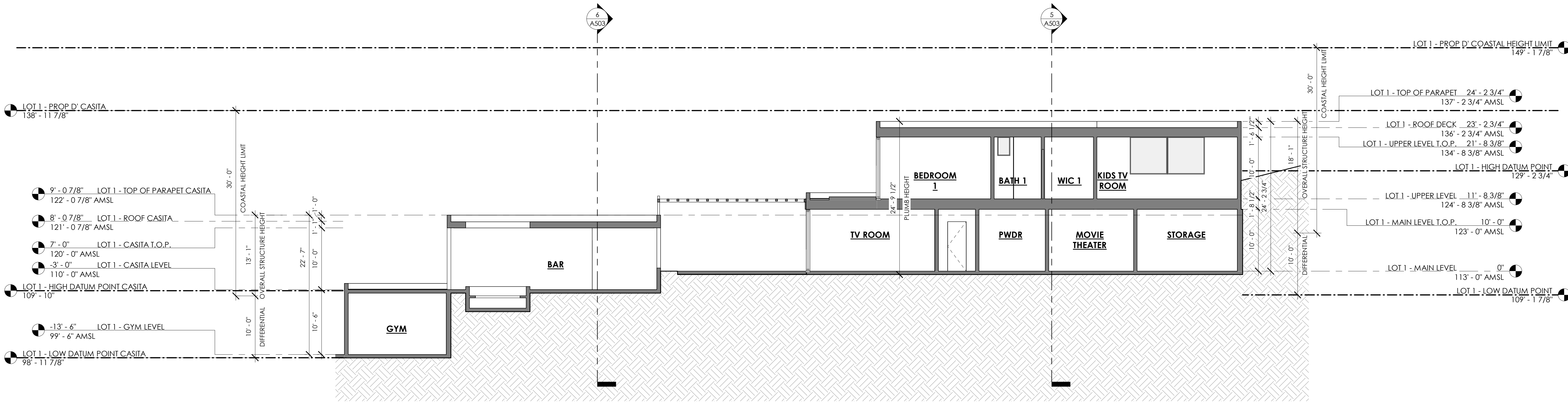
A416

LOT 6 - EXTERIOR
ELEVATION

12/13/2024

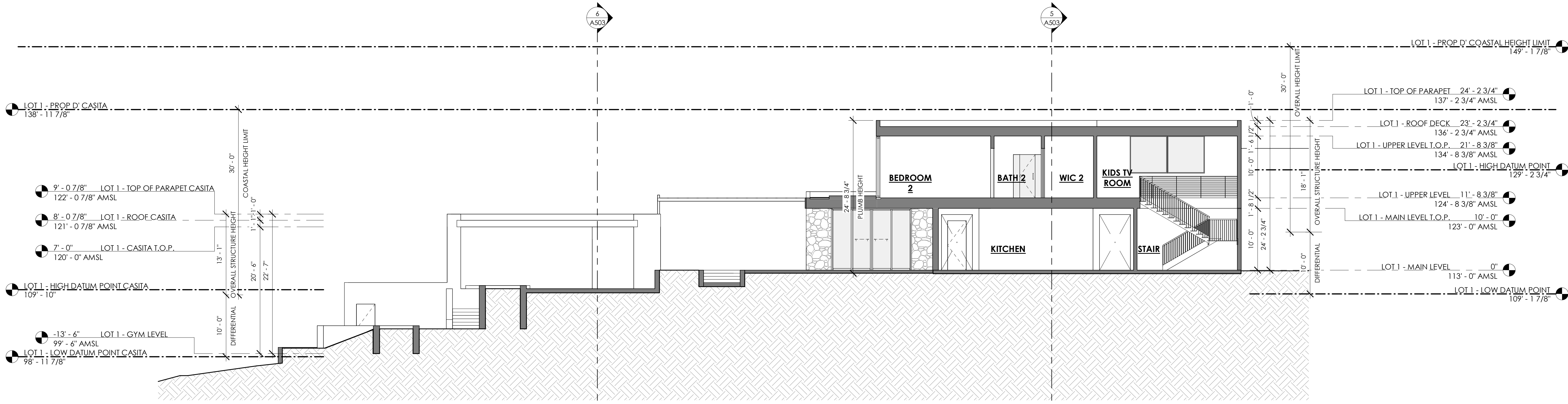
12/13/2024

LOT 6 - EXTERIOR
ELEVATION



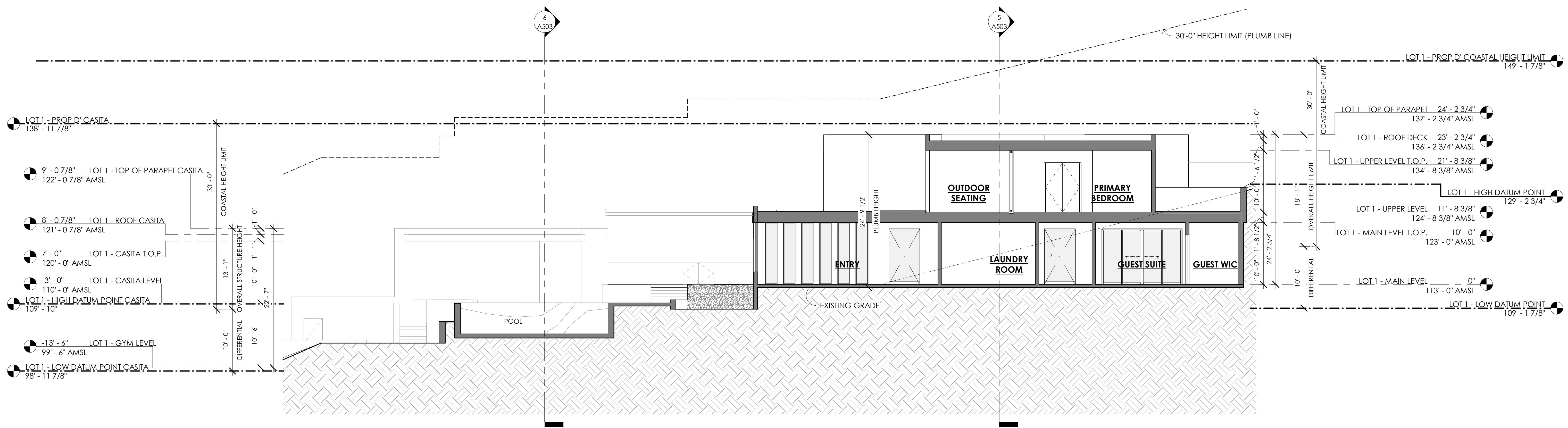
3 | LOT 1 - SECTION 1

SCALE = 1/8" = 1'-0"

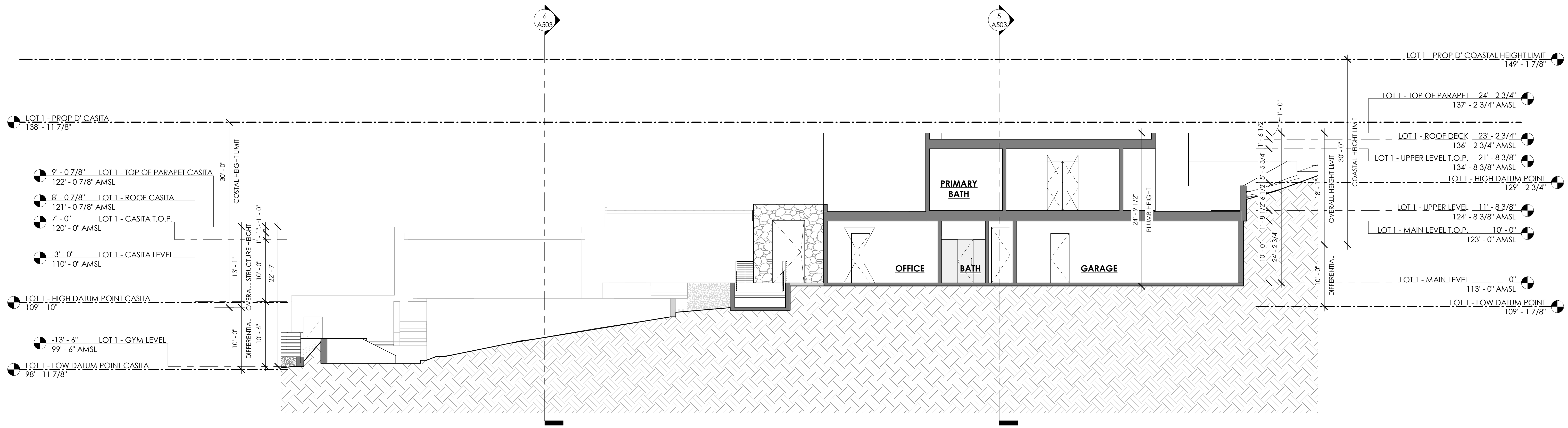


2 | LOT 1 - SECTION 2

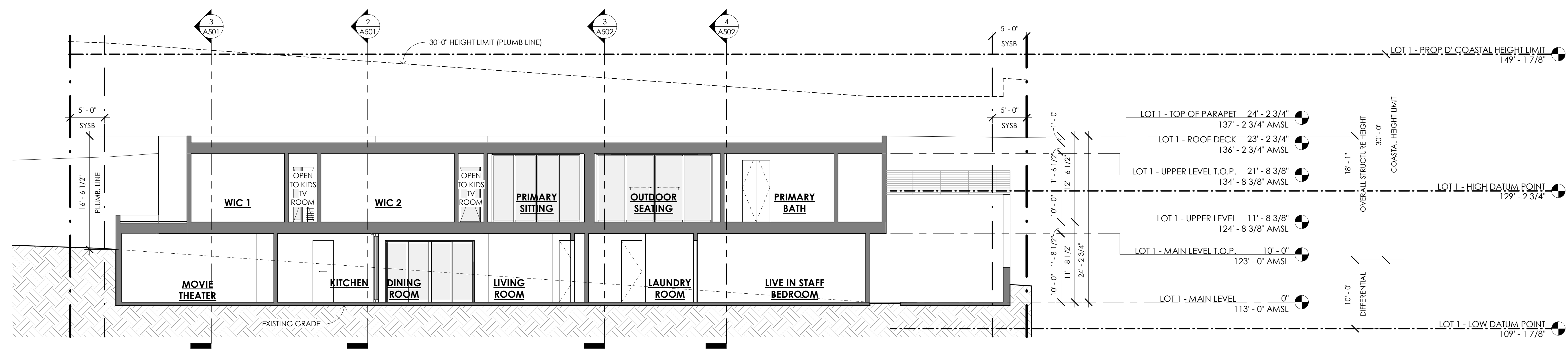
SCALE = 1/8" = 1'-0"



3 | LOT 1 - SECTION 3
SCALE = 1/8" = 1'-0"

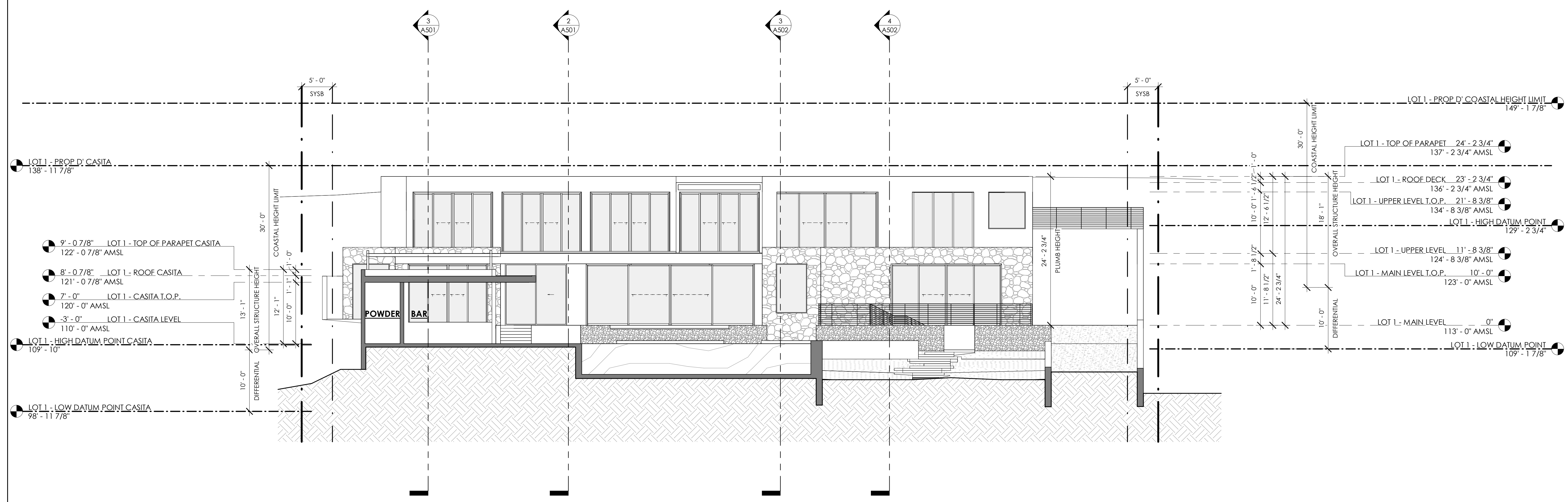


4 | LOT 1 - SECTION 4
SCALE = 1/8" = 1'-0"



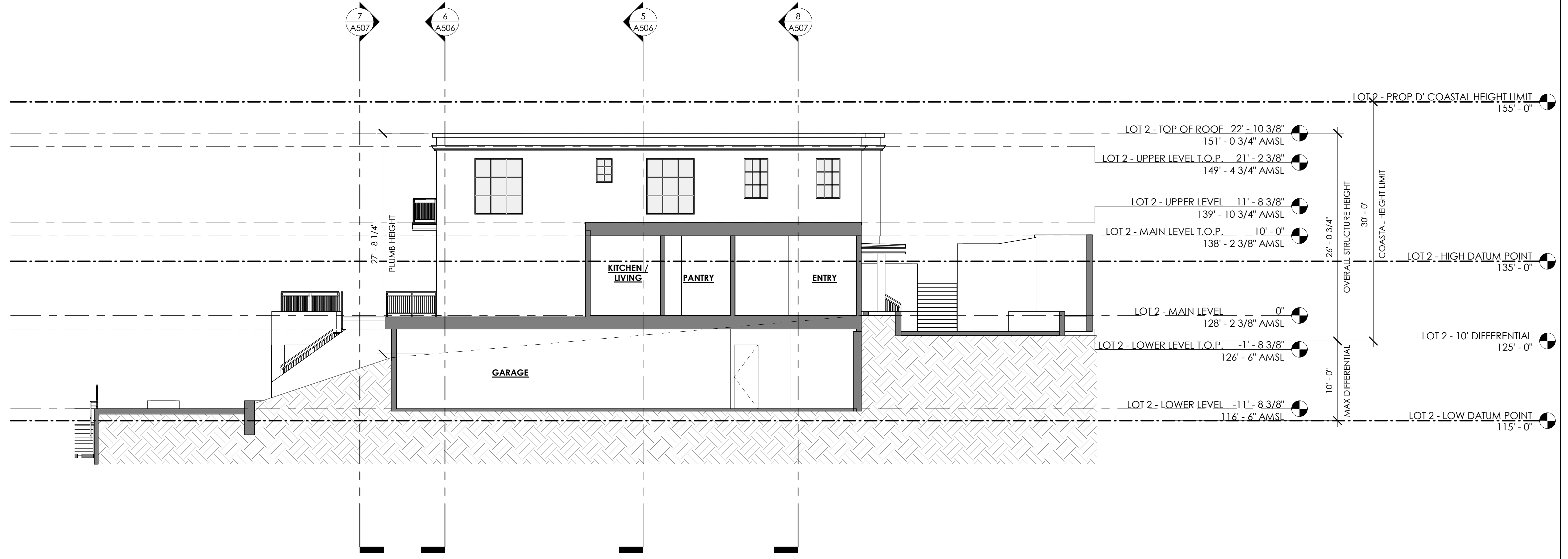
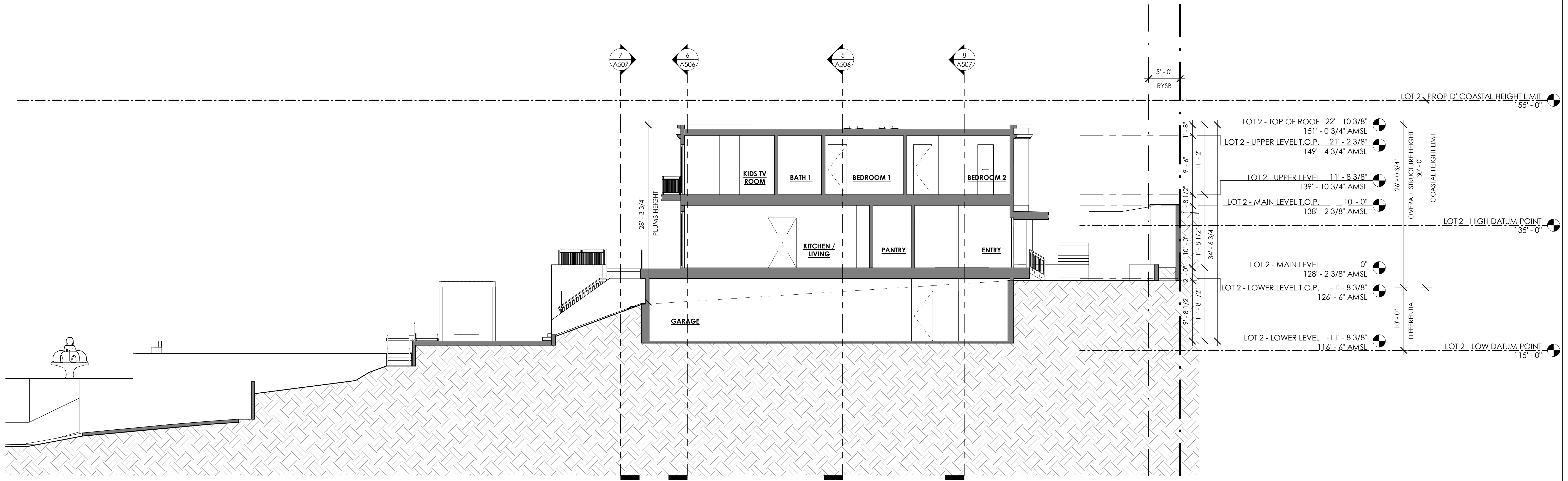
5 LOT 1 - SECTION 5

SCALE = 1/8" = 1'-0"

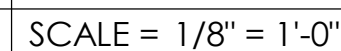
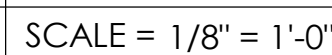


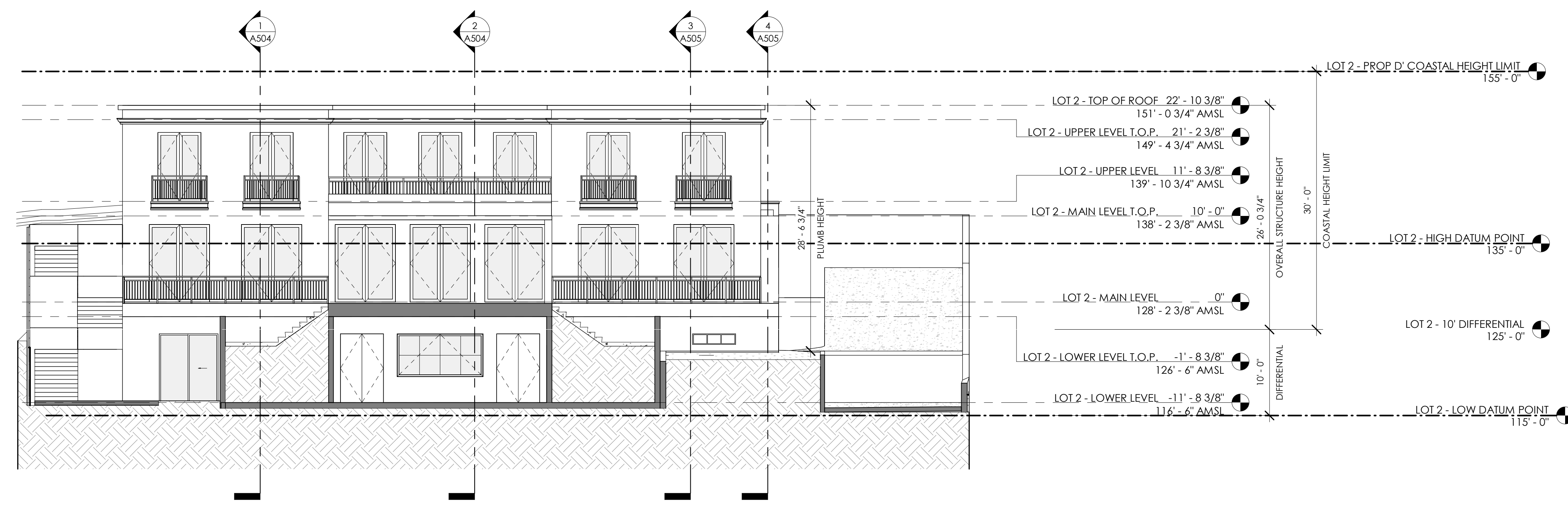
6 LOT 1 - SECTION 6

SCALE = 1/8" = 1'-0"

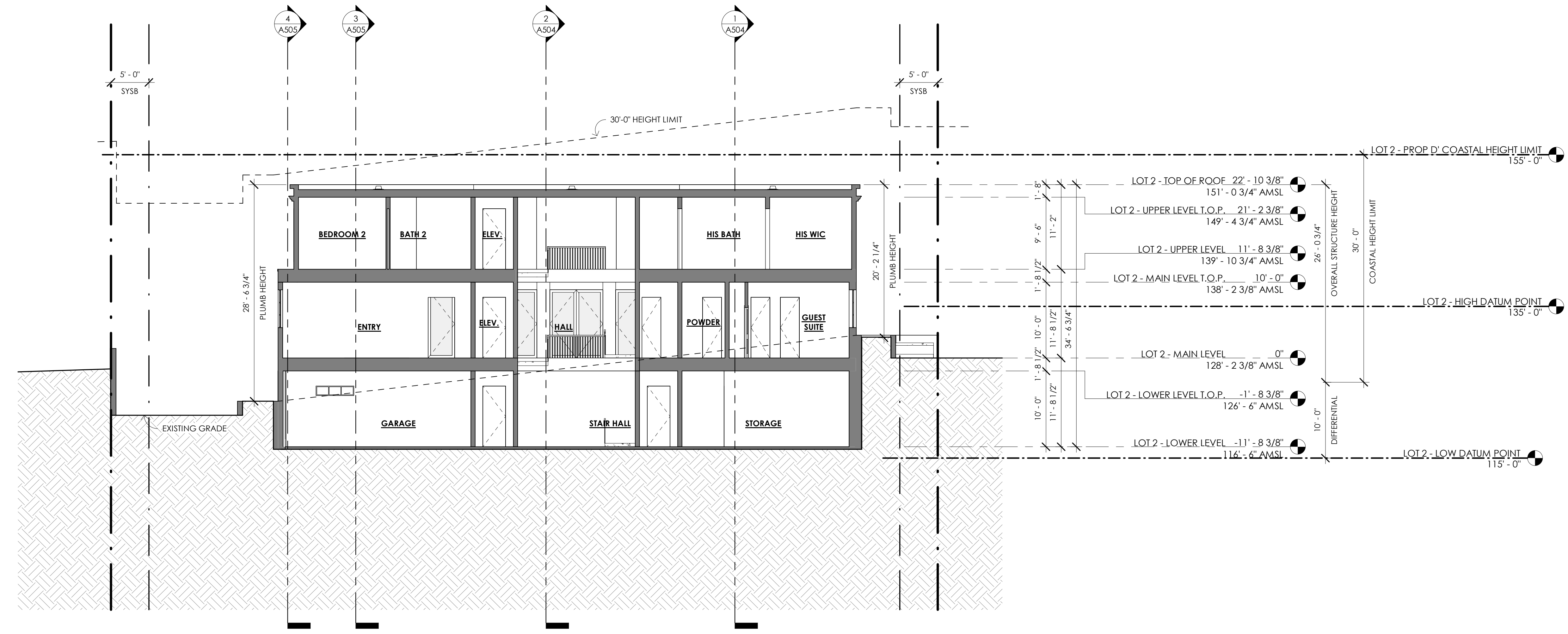


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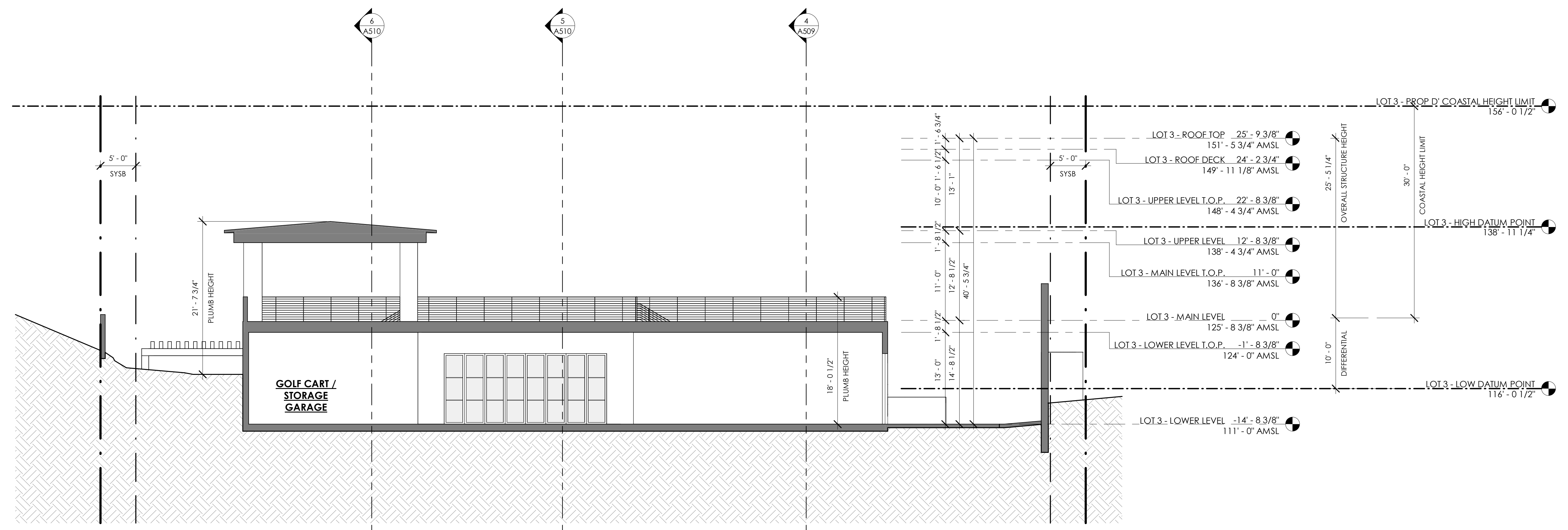


7 | LOT 2 - SECTION 7
SCALE = 1/8" = 1'-0"



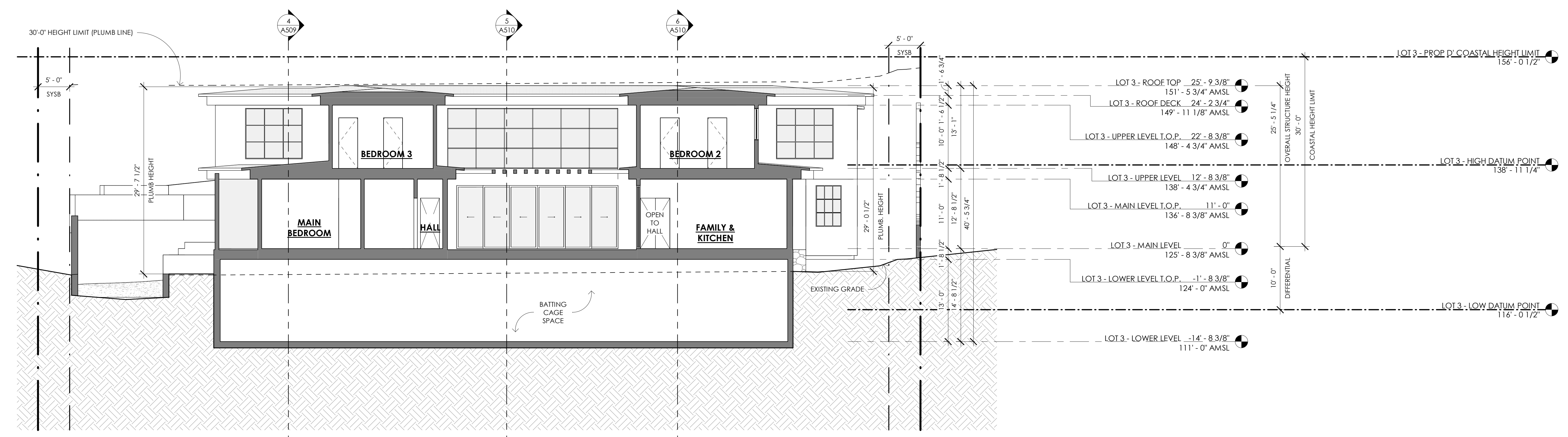
8 | LOT 2 - SECTION 8
SCALE = 1/8" = 1'-0"

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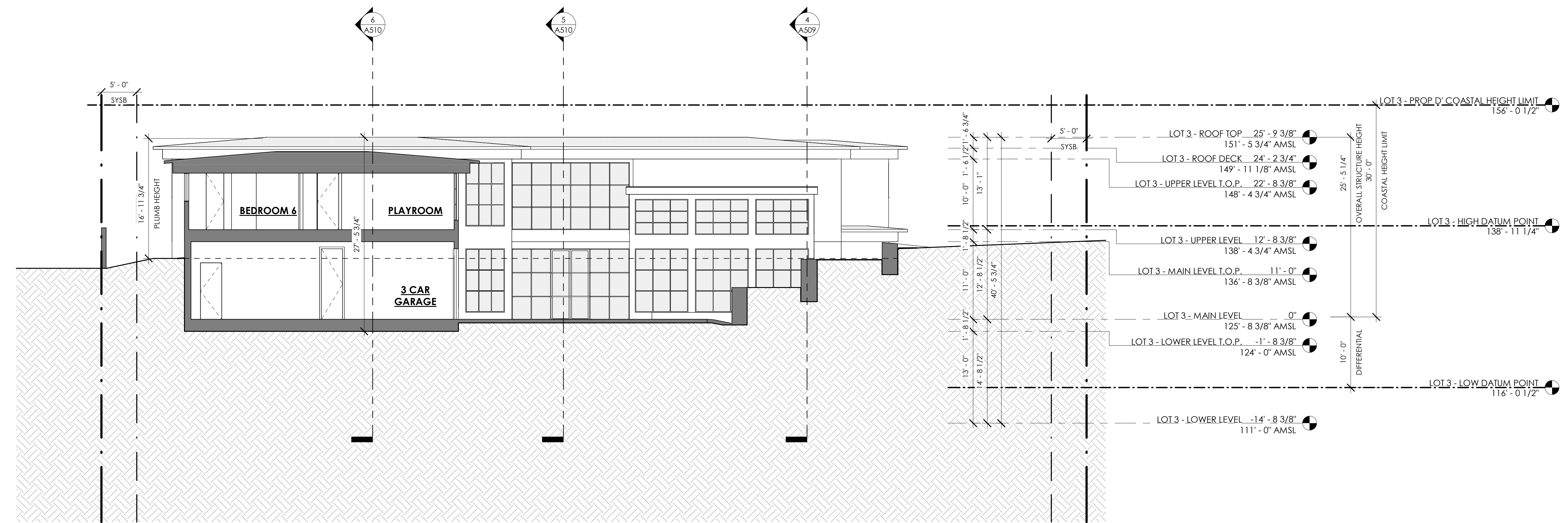
1 LOT 3 - SECTION 1

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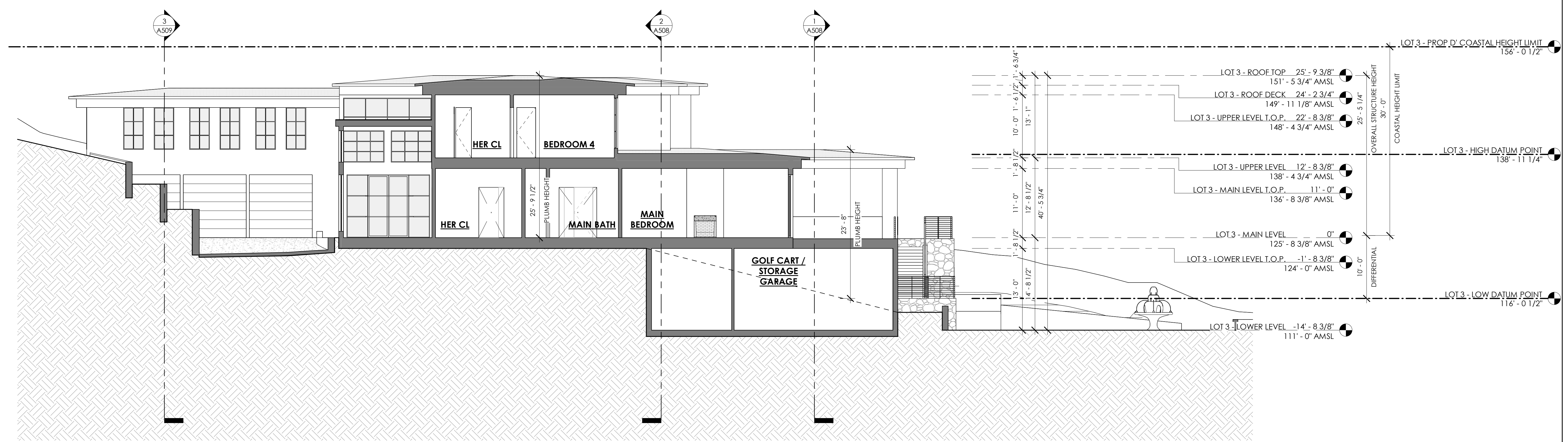
2 LOT 3 - SECTION 2

SCALE = 1/8" = 1'-0"



3 LOT 3 - SECTION 3

SCALE = 1/8" = 1'-0"



4 LOT 3 - SECTION 4

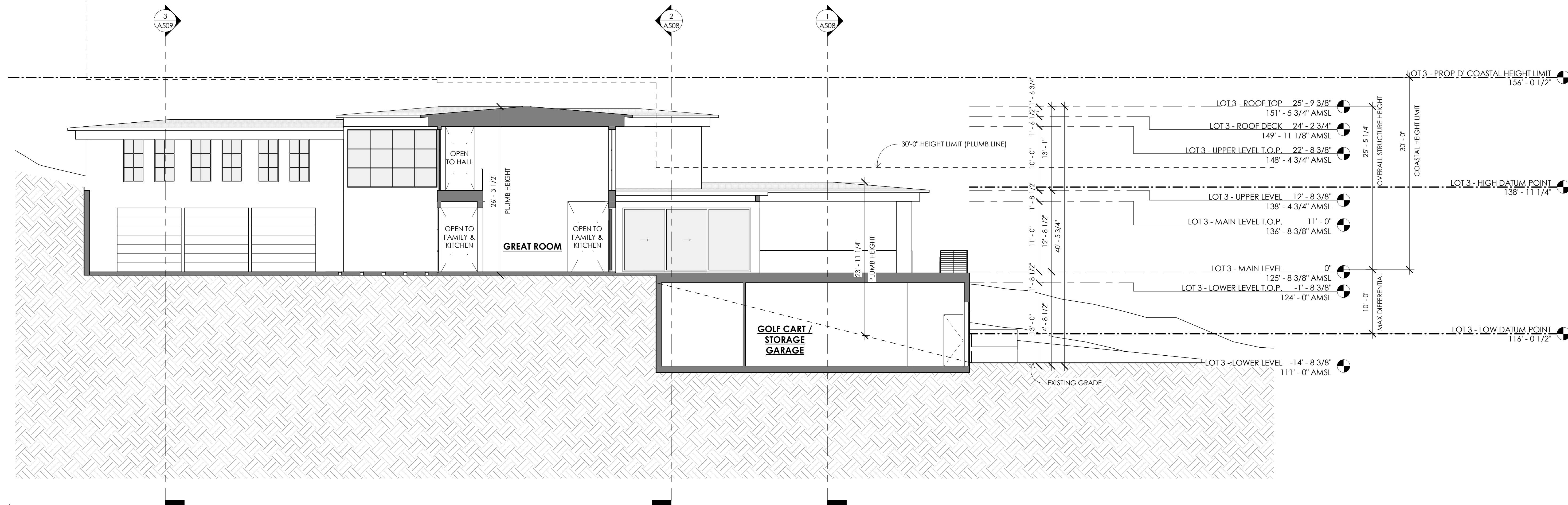
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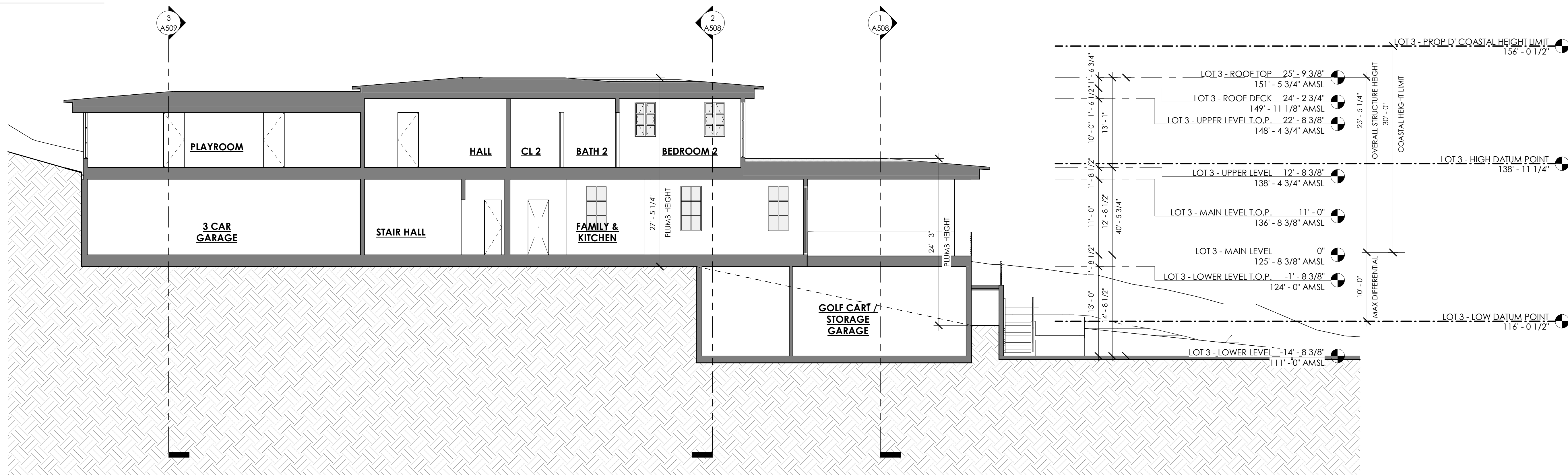
5 | LOT 3 - SECTION 5

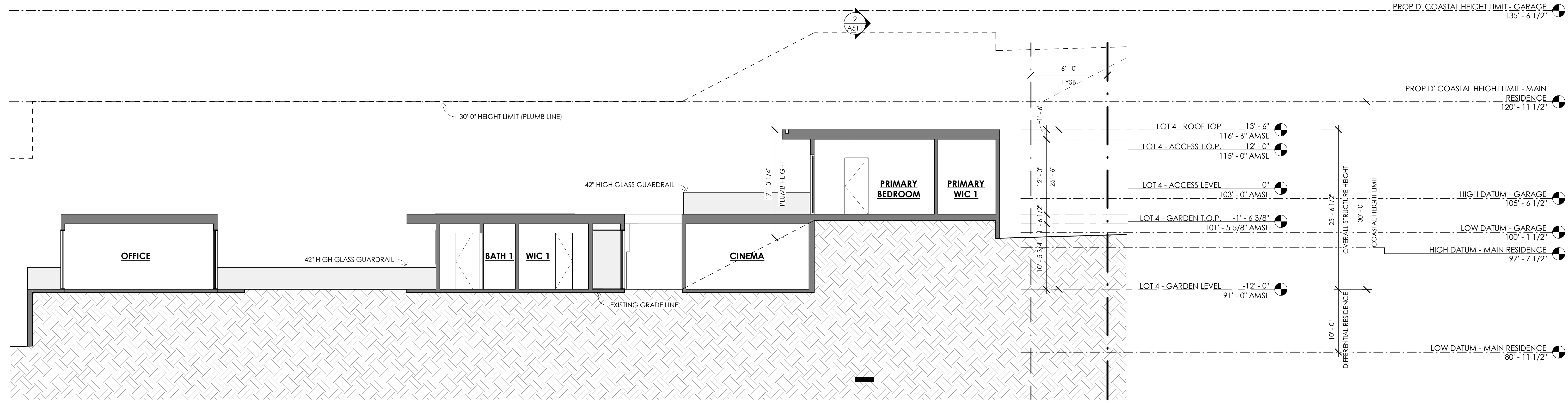
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6 | LOT 3 - SECTION 6

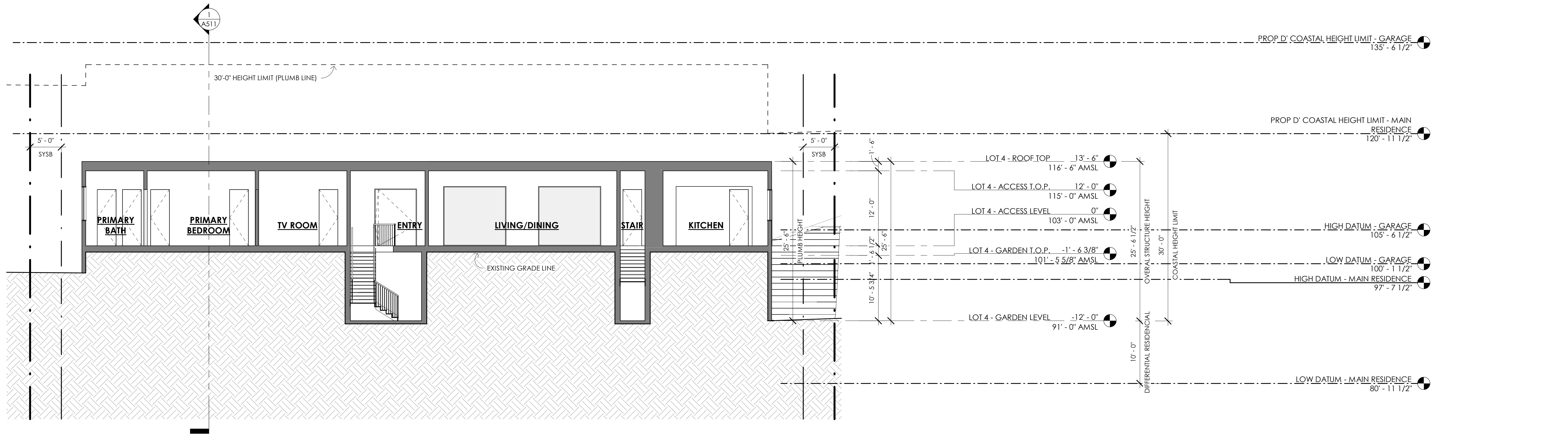
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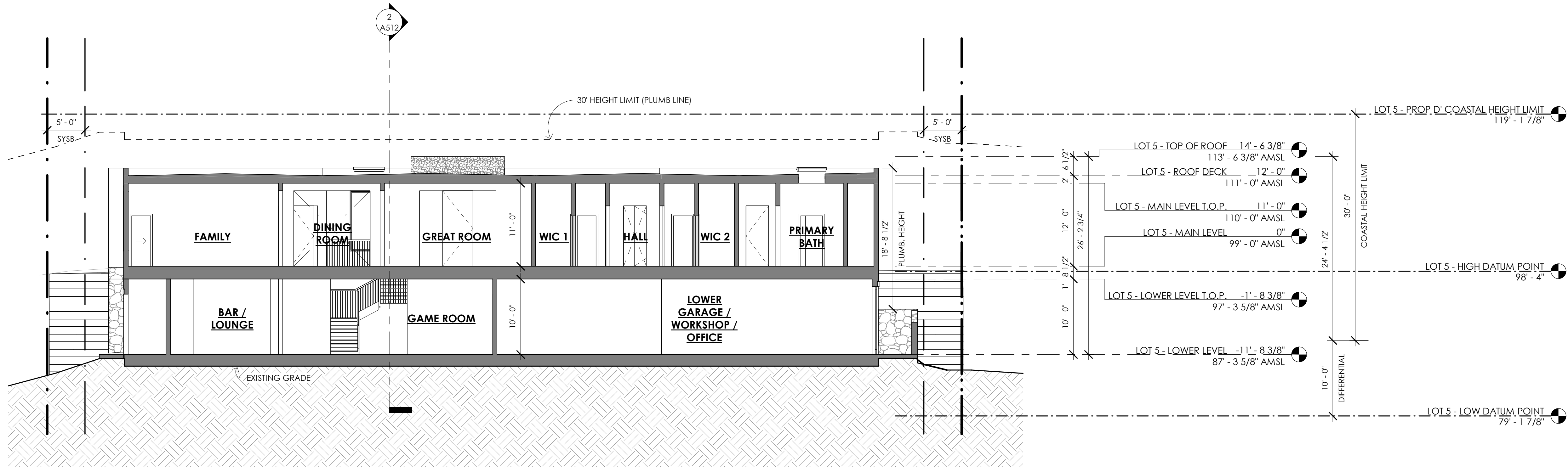
1 LOT 4 - SECTION 1

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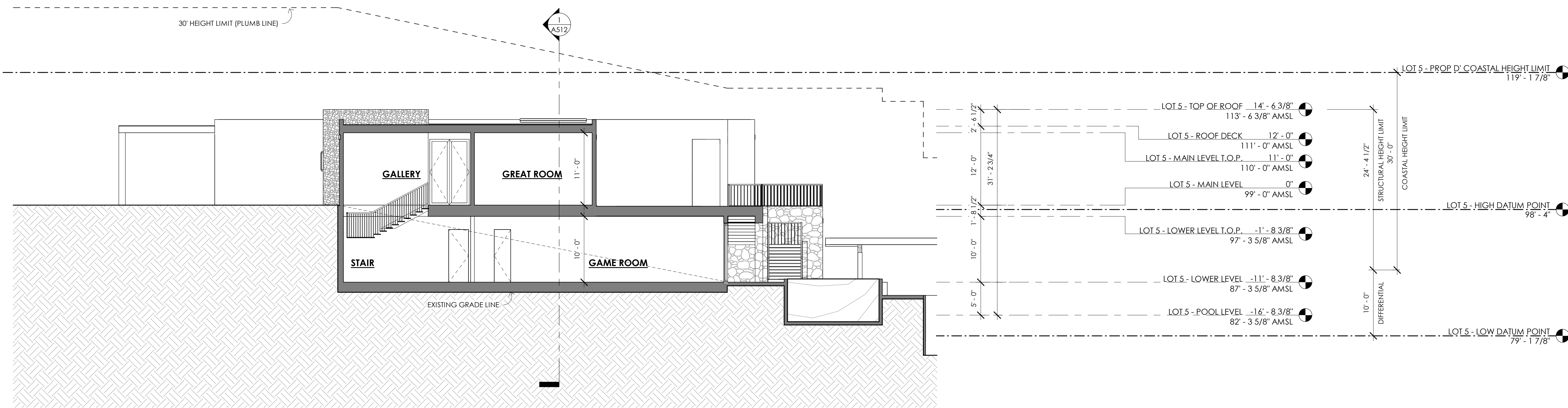


2 LOT 4 - SECTION 2

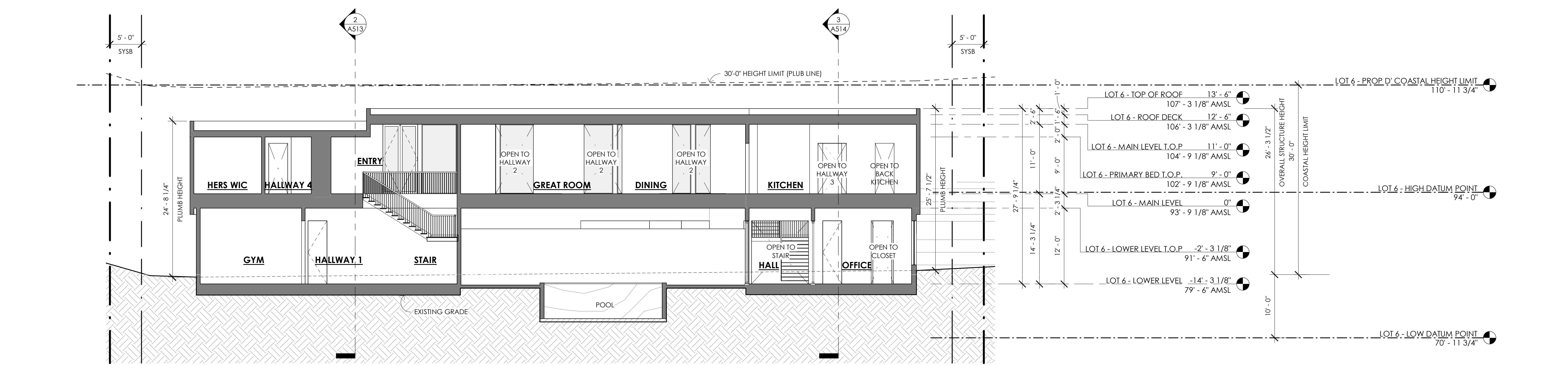
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1 | LOT 5 - SECTION 1
SCALE = 1/8" = 1'-0"

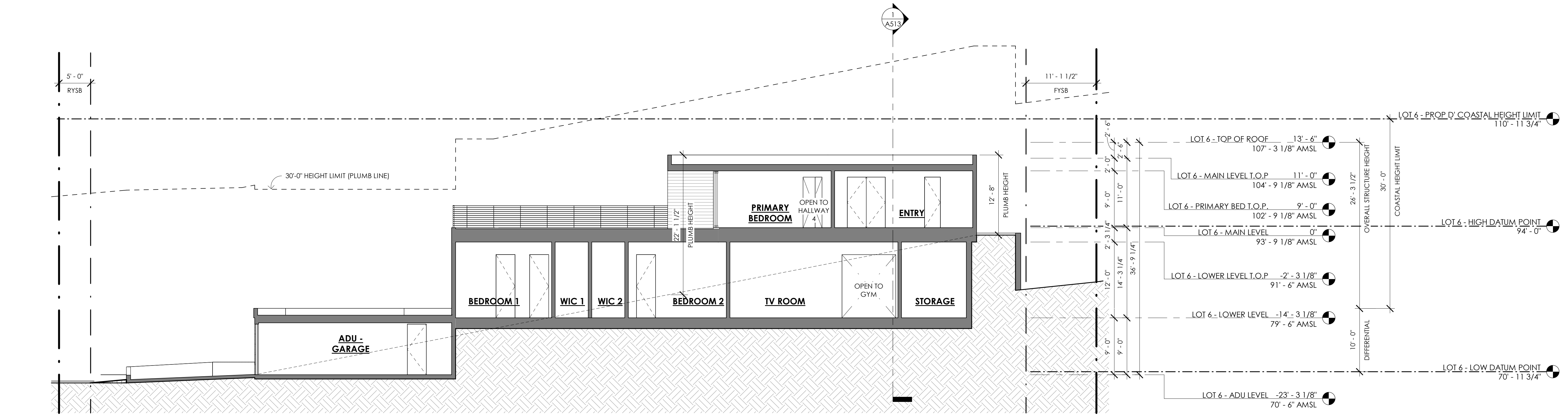


2 | LOT 5 - SECTION 2
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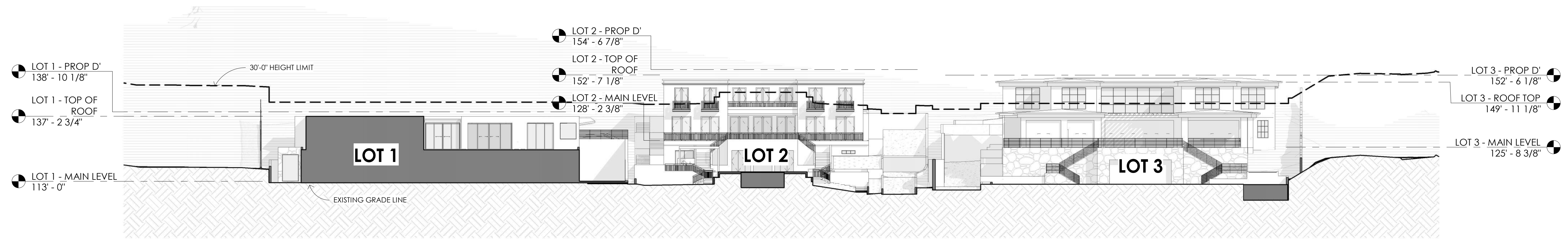
1 | LOT 6 - SECTION 1

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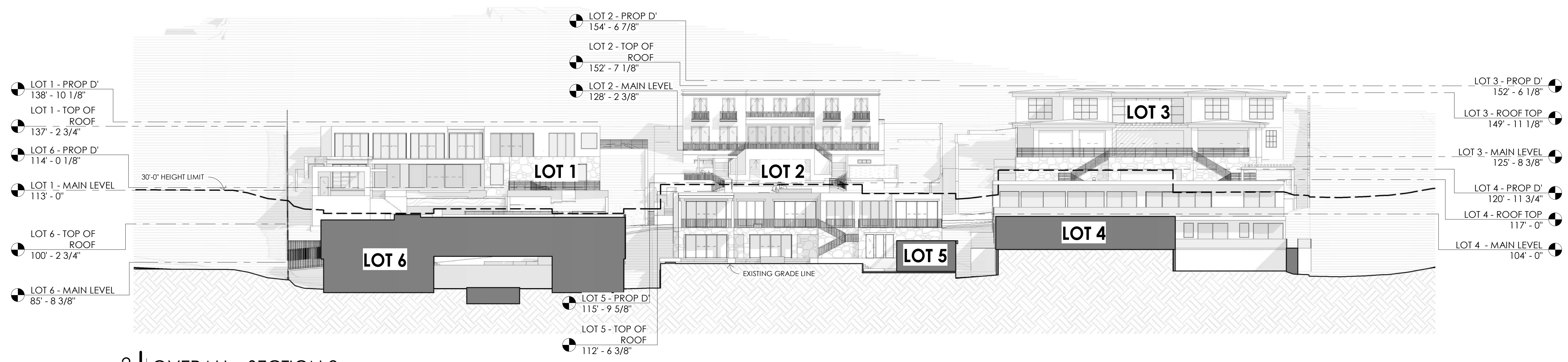


2 | LOT 6 - SECTION 2

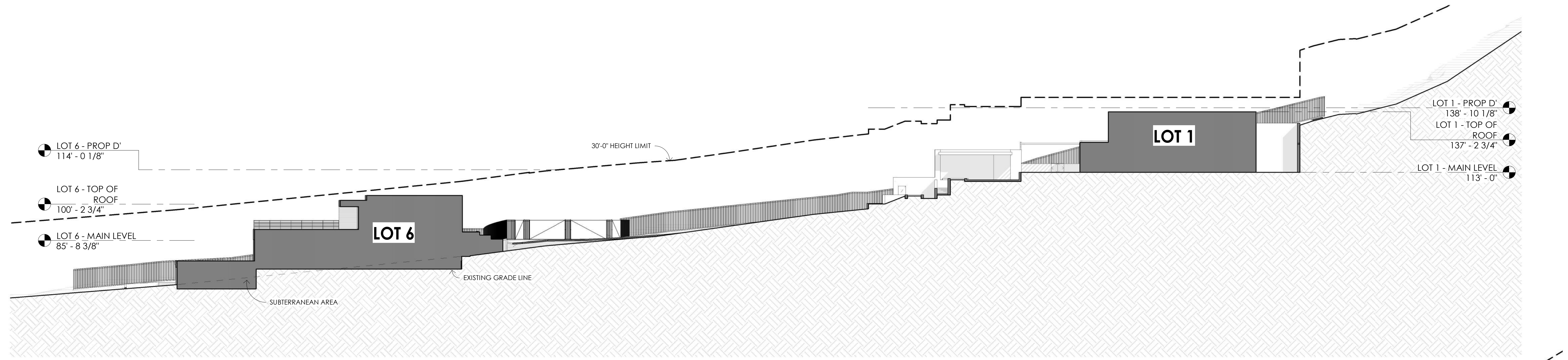
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1 | OVERALL - SECTION 1
SCALE = 1" = 20'-0"

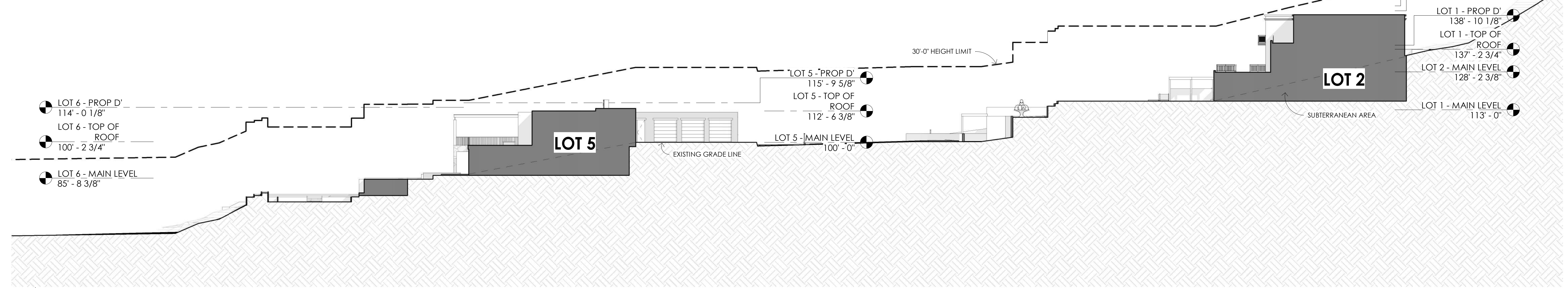


2 | OVERALL - SECTION 2
SCALE = 1" = 20'-0"



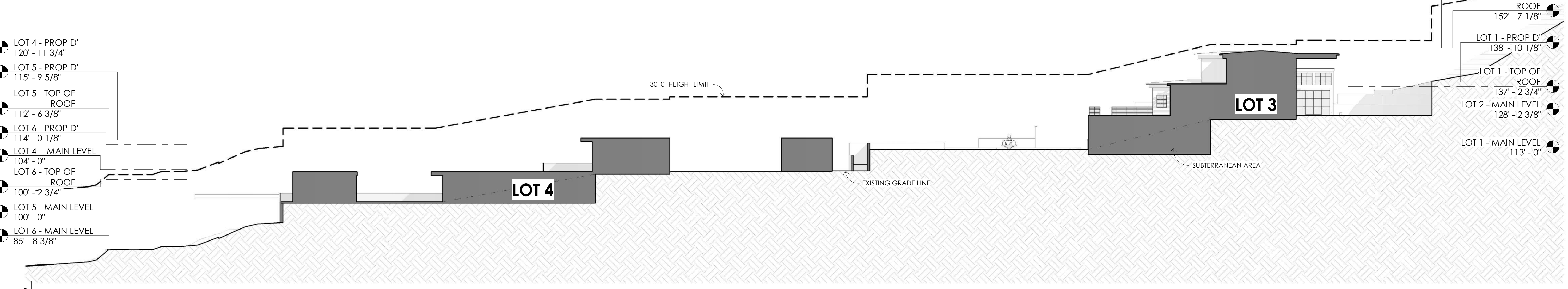
3 | OVERALL - SECTION 3

SCALE = 1" = 20'-0"



4 | OVERALL - SECTION 4

SCALE = 1" = 20'-0"

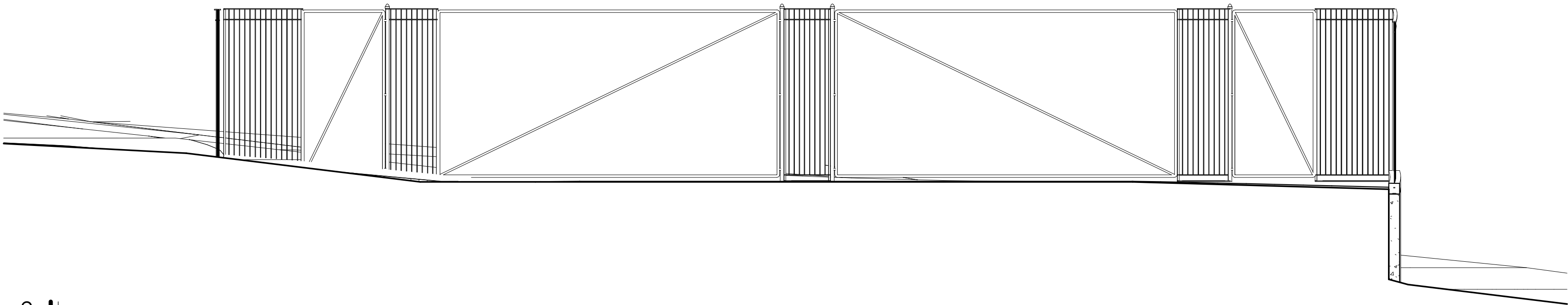


5 | OVERALL - SECTION 5

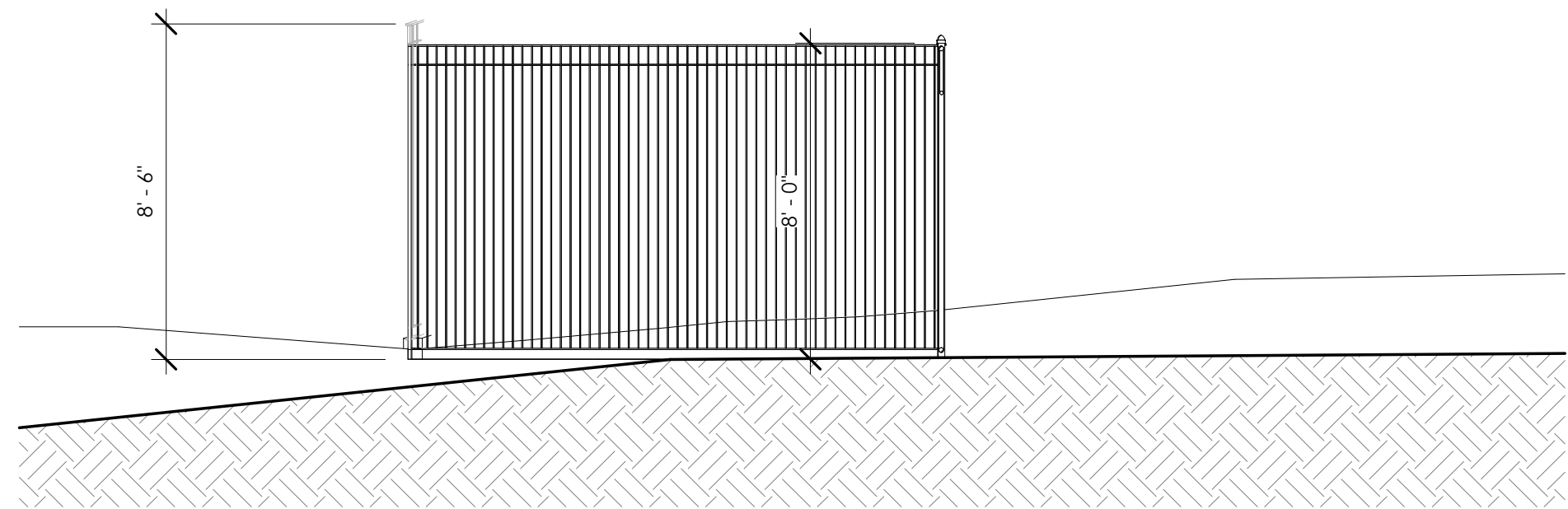
SCALE = 1" = 20'-0"



1 | MAIN GATE
SCALE = 1/4" = 1'-0"



2 | GATE ELEVATION
SCALE = 1/4" = 1'-0"



3 | GATE SECTION
SCALE = 1/4" = 1'-0"

FIRE NOTES

ROAD GATES IS AMENDED TO READ AS FOLLOWS:
GATES SECURING THE FIRE APPARATUS ACCESS ROADS SHALL COMPLY WITH ALL OF THE FOLLOWING CRITERIA:

- (A) THE MINIMUM GATE WIDTH SHALL BE 13 FEET (3964 MM)
- (B) GATES SHALL BE OF THE HORIZONTAL SWING, HORIZONTAL SLIDE, VERTICAL LIFT OR VERTICAL PIVOT TYPE.
- (C) CONSTRUCTION OF GATES SHALL BE OF MATERIALS THAT ALLOW MANUAL OPERATION BY ONE PERSON.
- (D) GATE COMPONENTS SHALL BE MAINTAINED IN AN OPERATIVE CONDITION AT ALL TIMES AND REPLACED OR REPAIRED WHEN DEFECTIVE.
- (E) ELECTRIC GATES SHALL BE EQUIPPED WITH A MEANS OF OPENING THE GATE BY FIRE DEPARTMENT PERSONNEL FOR EMERGENCY ACCESS. EMERGENCY OPENING DEVICES SHALL BE APPROVED BY THE FIRE CODE OFFICIAL.
- (F) METHODS OF LOCKING SHALL BE SUBMITTED FOR APPROVAL BY THE FIRE CODE OFFICIAL.
- (G) ELECTRIC GATE OPERATORS, WHERE PROVIDED, SHALL BE LISTED IN ACCORDANCE WITH UL 325.
- (H) GATES INTENDED FOR AUTOMATIC OPERATION SHALL BE DESIGNED, CONSTRUCTED AND INSTALLED TO COMPLY WITH THE REQUIREMENTS OF ASTM F2200.

NOTE: ACCESS FOR TRASH TO BE ARRANGED WITH HOA ONCE ESTABLISHED