



THE CITY OF SAN DIEGO

## Report to the Hearing Officer

DATE ISSUED: April 16, 2025 REPORT NO. HO-25-017

HEARING DATE: April 23, 2025

SUBJECT: 376 SILVER GATE AVENUE. Process Three Decision

PROJECT NUMBER: [PRJ-1111391](#)

OWNER/APPLICANT: RICHARD MANSUR TRUST, OWNER AND JERRY STEPHEN, APPLICANT

### SUMMARY

Issue: Should the Hearing Officer approve the conversion of an existing 668-square-foot garage into a 472-square-foot accessory dwelling unit (ADU) and adding the remaining 196 square feet to the primary dwelling unit as an additional bedroom, as well as the addition of a 292-square-foot family room and a new 513-square-foot, two-car garage to an existing single dwelling unit located at [376 Silver Gate Avenue](#) within the [Peninsula Community Plan](#) area?

### Proposed Actions:

1. APPROVE Coastal Development Permit No. PMT-3278379.

Fiscal Considerations: None. All costs associated with the processing of the application are recovered through a deposit account funded by the applicant.

Code Enforcement Impact: There are no open code enforcement cases for this site.

Housing Impact Statement: The project proposes an addition to an existing single-dwelling unit, in addition to the construction of a new accessory dwelling unit. The proposed development supports the housing element of the General Plan by maintaining the City's existing housing stock and increasing housing opportunities in areas zoned for single-dwelling unit residential densities.

Community Planning Group Recommendation: On September 20, 2024, the Peninsula Community Planning Group voted unanimously 11-0-0 to recommend approval of the project with no conditions except for a recommendation to approve an Accessory Dwelling Unit rather than a Junior Accessory Dwelling Unit. (Attachment #7)

Environmental Impact: The City of San Diego conducted an environmental review and determined that the project would qualify to be categorically exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines Section 15332 (In-Fill Development Projects) which allows for the construction of infill development within an urbanized area. The environmental exemption determination for this project was made on August 15, 2024, and the opportunity to appeal that determination ended on August 29, 2024. There were no appeals of the environmental determination filed.

## BACKGROUND

The project site is located at 376 Silver Gate Avenue within the Peninsula Community Plan area and Council District 2. The 0.24-acre project site is in the RS 1-4 (Residential - Single Unit) zone. The Peninsula Community Plan and Local Coastal Program Land Use Plan (Community Plan) designates the project site as very low-density single-dwelling unit development allowing up to four dwelling units per acre (4 DU/AC). The project site is in the Coastal Overlay Zone (appealable), the Coastal Height Limit Overlay Zone, and lies between the shoreline and the first public roadway paralleling the sea.

The existing 2,510-square-foot home was built in 1973 in the Silvergate Terrace subdivision established per Map No. 6440 in 1969. On October 9, 2023, the Heritage Preservation staff determined that the property does not meet local designation criteria as an individually significant resource under any adopted Historical Resources Board criteria, as per project No. PRJ-1103959.

The parcel lies east of Point Loma's main thoroughfare of Catalina Boulevard, approximately 225 feet north of the federally owned property of Naval Base Point Loma, and nearly 0.55 miles equidistant between the Pacific Ocean to the west and the San Diego Bay to the east. Given the Naval Base immediately to the south between the project site and the shoreline, the first public roadway is Rosecroft Lane just north of the site, resulting in the property being between the shoreline and the first public roadway within the appealable area of the Coastal Overlay Zone.

Previous approvals on this site include a Combination Building Permit for the construction of a pool and spa issued on March 8, 2024.

## DISCUSSION

### Project Description:

The project seeks approval of a Coastal Development Permit (CDP) for additions to an existing one-story 2,510-square-foot single-dwelling unit located on a 0.24 acre-site in the Peninsula Community Plan area. The proposed development consists of the conversion of an existing 668-square-foot garage into a 472-square-foot Accessory Dwelling Unit (ADU) and adding the remaining 196 square feet to the primary dwelling unit as an additional bedroom. Additions to the home include a 292-square-foot family room, and the construction of a new 513-square-foot, two-car garage along the southern façade of the home. With these new additions, the proposed development reallocates the standard 6-foot side yard setback at the southern property line to 4 feet while maintaining the existing 9-foot, 4-inch side setback on the northern property line, in conformance with San Diego

Municipal Code (SDMC) Section [131.0443\(a\)\(4\)](#), which allows for the reallocation of side yard setbacks for lots greater than 50 feet in width.

The height of the existing structure is under 17 feet, and the proposed additions do not extend above the ridgeline of the current roof in conformance with the 30-foot height limit of the Coastal Height Limit Overlay Zone per SDMC section [132.0505\(a\)](#).

The premises is fully developed and directly abuts similar single-dwelling unit development to the north, south, and west. As such, the site does not contain Environmentally Sensitive Lands (ESL). Areas of potentially sensitive vegetation exist approximately 0.25 miles to the south within the Naval Base, and the nearest Multiple Habitat Planning Area is located at Sunset Cliffs Natural Park approximately 0.60 miles to the northwest. The project site is not within an Area of Special Biological Significance (ASBS) watershed. The proposed development is categorized as “Low Priority” for construction sites, and will implement construction stormwater Best Management Practices (BMPs) and a Water Pollution Control Plan (WPCP) in accordance with the [City of San Diego Stormwater Standards Manual](#).

The proposed development will be conditioned to remove and replace damaged portions of the existing sidewalk along the project frontage on the western side of Silver Gate Avenue and to reconstruct the driveway to comply with current Americans with Disabilities Act (ADA) guidelines.

#### Permits Required:

- Process Two: A City-issued CDP for an ADU in the appealable area of the Coastal Overlay Zone in accordance with SDMC [126.0707\(a\) and \(b\)](#).
- Process Three: A City-issued CDP for the additions of a new family room and two-car garage in the appealable area of the Coastal Overlay Zone in accordance with SDMC [126.0707\(b\)](#).

The Consolidation of Processing Regulations under SDMC [112.0103](#) mandates that all actions be consolidated and processed at the highest decision level, which in this case, is a Process Three decision. The Hearing Officer decision is appealable to the Planning Commission. For decisions involving coastal development within the appealable area, the final City decision is appealable to the California Coastal Commission.

Community Plan Analysis: The project site is located within the neighborhood called the “Wooded Area” as per Figure 3 of the Community Plan. As described in the Community Plan, this neighborhood is characterized by large lots and exclusively developed with single-family homes of varying ages and styles. Accordingly, the Community Plan designates the project site as a Single Family - Residential land use with a density range that allows up to four dwelling units per acre. The addition of the 472-square-foot Accessory Dwelling Unit does not affect the density of the premises as per the Residential Use Category - Separately Regulated Use regulations in [Chapter 14, Article 1, Division 3](#) of the SDMC. Therefore, the proposed development remains consistent with the single dwelling-unit designation and supports the community plan goal to conserve the character of existing single-family, very low-density character of certain neighborhoods ([Peninsula Community Plan](#), p. 11 & 22).

With the proposed conversion of the existing two-car garage into an ADU, the project will construct a new two-car garage, implementing the recommendation of the Community Plan to provide two spaces per detached single-family dwelling ([Peninsula Community Plan](#), p. 63).

Finally, the new garage and family room addition maintain a structure height below the ridgeline of the existing roof, meeting the Community Plan's urban design goal of new development fitting in with the scale and character of the existing single-dwelling unit home and that of the surrounding area ([Peninsula Community Plan](#), p. 108).

#### RECOMMENDATION

Conclusion: Staff recommends approval of a Coastal Development Permit as the proposed development complies with the development regulations of the Land Development Code, the underlying RS-1-4 base zone, and the 0-4 DU/AC density range of the Peninsula Community Plan and Local Coastal Program Land Use Plan.

#### ALTERNATIVES

1. Approve Coastal Development Permit No. PMT-3230010 with modifications.
2. Deny Coastal Development Permit No. PMT-3230010 if the findings required to approve the project cannot be affirmed.

Respectfully submitted,



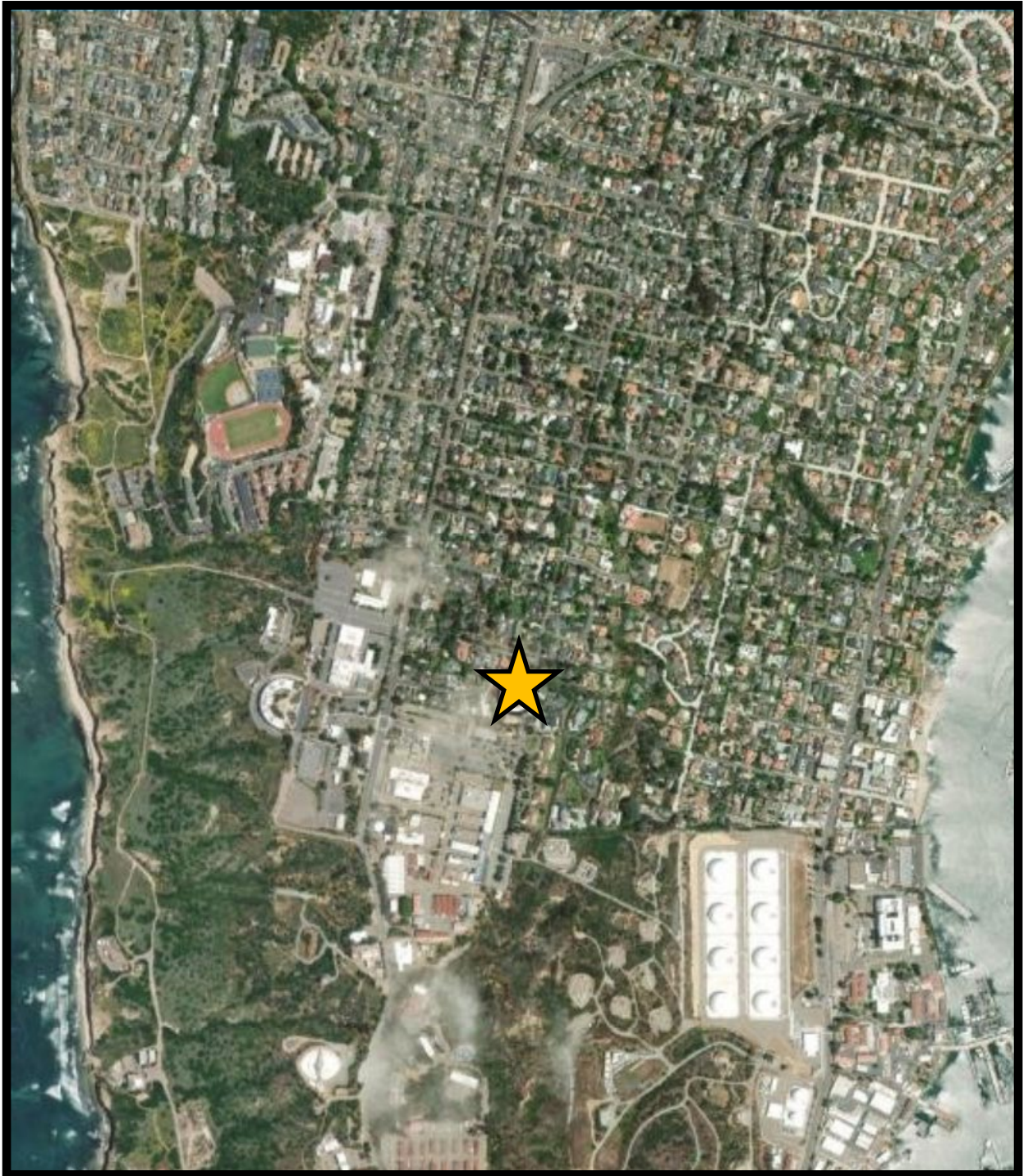
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Daniel Neri  
Development Project Manager  
Development Services Department

#### Attachments:

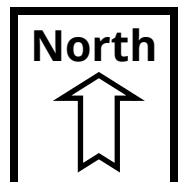
1. Project Location
2. Community Plan Land Use Map
3. Base Zone
4. Draft Permit with Conditions
5. Draft Permit Resolution with Findings
6. Notice of Right to Appeal Environmental Determination
7. Peninsula Community Planning Group Recommendation
8. Ownership Disclosure Statement
9. Project Plans



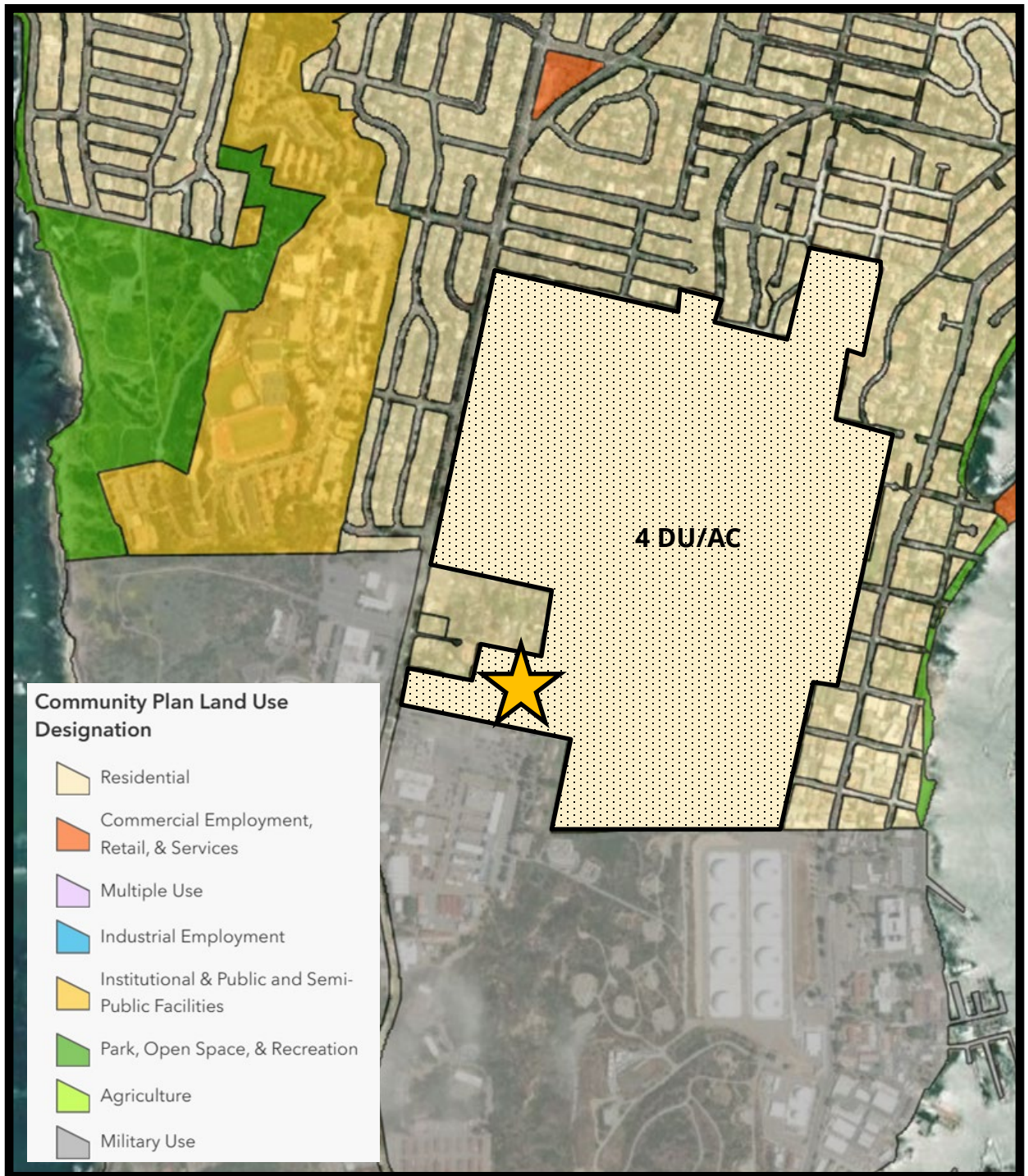


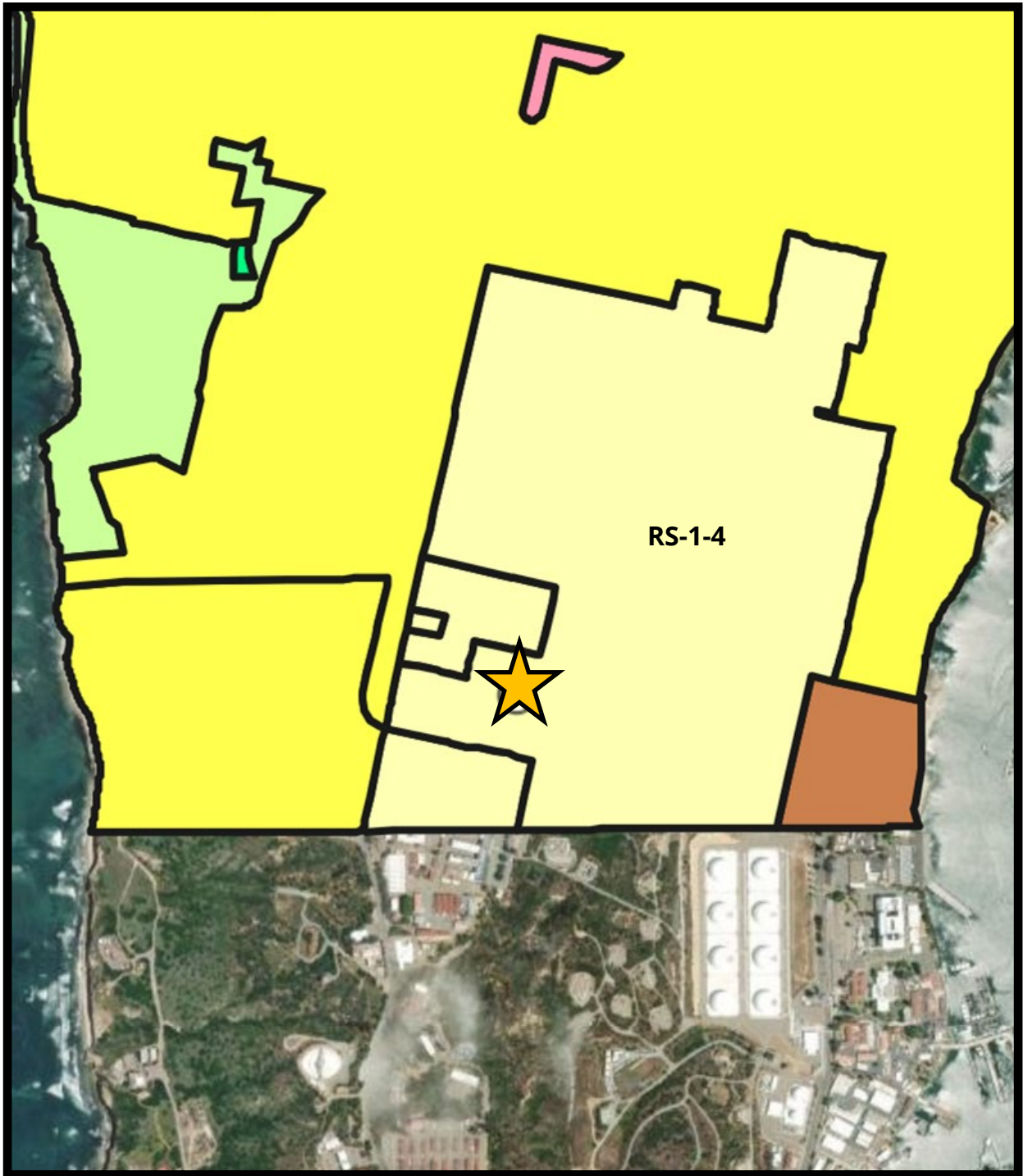
## **Project Location**

376 Silver Gate Avenue CDP  
Project No. PRJ-1111391









**RECORDING REQUESTED BY**  
CITY OF SAN DIEGO  
DEVELOPMENT SERVICES  
PERMIT INTAKE, MAIL STATION  
501

**WHEN RECORDED MAIL TO**  
**PROJECT MANAGEMENT**  
**PERMIT CLERK**  
**MAIL STATION 501**

INTERNAL ORDER NUMBER: 24009853

SPACE ABOVE THIS LINE FOR RECORDER'S USE

COASTAL DEVELOPMENT PERMIT NO. PMT-3278379  
**376 SILVER GATE AVENUE PROJECT NO. PRJ-1111391**  
HEARING OFFICER

This Coastal Development Permit No. PMT-3278379 is granted by the Hearing Officer of the City of San Diego to Richard Mansur, Trustee of the Richard Mansur Trust of 2004 dated June 2, 2004, Owner/Permittee, pursuant to San Diego Municipal Code [SDMC] section 126.0708. The 0.24-acre site is located at 376 Silver Gate Avenue in the RS-1-4 (Residential Single-Dwelling Unit) zone, the Coastal Overlay Zone (Appealable Area), the Coastal Height Limit Overlay Zone, and the First Public Roadway within the Peninsula Community Plan area. The project site is legally described as: LOT 3 OF SILVERGATE TERRACE, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO THE MAP THEREOF NO. 6440, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, JULY 24, 1969.

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner/Permittee to remodel an existing single-dwelling-unit to include an addition to the primary residence, conversion of an existing garage into an Accessory Dwelling Unit (ADU), and construction of a two-car garage, subject to the City's land use regulations described and identified by size, dimension, quantity, type, and location on the approved exhibits Exhibit "A" dated **DATE OF APPROVAL**, on file in the Development Services Department.

The project shall include:

- a. The remodel of an existing one-story 2,510-square-foot single dwelling unit; conversion of a portion of the existing 668-square-foot garage into a 472-square-foot ADU with the remaining 196 square feet added to the primary residence as an additional bedroom; addition of a 292-square-foot family room; and construction a new two-car, 513-square-foot garage;
- b. Off-street parking;
- c. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act

[CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

**STANDARD REQUIREMENTS:**

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36-month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision-maker. This permit must be utilized by **[ENTER DATE 3 years, AFTER THE APPEAL TIME]**.
2. This Coastal Development Permit shall become effective on the eleventh working day following receipt by the California Coastal Commission of the Notice of Final Action or following all appeals.
3. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
  - a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
  - b. The Permit is recorded in the Office of the San Diego County Recorder.
4. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision-maker.
5. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.
6. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
7. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).
8. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.



9. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.

10. All of the conditions contained in this Permit have been considered and were determined necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

11. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

**ENGINEERING REQUIREMENTS:**

12. Prior to the issuance of any construction permit, the Owner/Permittee shall incorporate any construction Best Management Practices (BMPs) necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the San Diego Municipal Code, into the construction plans or specifications, satisfactory to the City Engineer.

13. Prior to the issuance of any construction permit, the Owner/Permittee shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be drafted in accordance with Part 2, Chapter 4.2 and Appendix 'D' of the City of San Diego Storm Water Standards Manual.

14. Prior to the issuance of any building permit, the Owner/Permittee shall obtain an Encroachment Maintenance Removal Agreement (EMRA) for the landscape and irrigation located within the City's right-of-way, satisfactory to the City Engineer.

15. Prior to the issuance of any building permit, the Owner/Permittee shall assure by permit and bond the reconstruction of the existing driveway and the installation of a new City standard driveway adjacent to the site on Silver Gate Avenue, satisfactory to the City Engineer.

16. Prior to the issuance of any building permit, the Owner/Permittee shall assure by permit and bond the reconstruction of the existing damaged/unaligned sidewalk panels per current City standards adjacent to the site on Silver Gate Avenue, satisfactory to the City Engineer.

**PLANNING/DESIGN REQUIREMENTS:**

17. The automobile, motorcycle and bicycle parking spaces must be constructed in accordance with the requirements of the SDMC. All on-site parking stalls and aisle widths shall be in compliance with the requirements of the City's Land Development Code and shall not be converted and/or utilized for any other purpose unless otherwise authorized in writing by the appropriate City decision-maker in accordance with the SDMC.

18. A topographical survey conforming to the provisions of the SDMC may be required if it is determined, during construction, that there may be a conflict between the building(s) under construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Owner/Permittee.

19. All private outdoor lighting shall be shaded and adjusted to fall on the same premises where such lights are located and in accordance with the applicable regulations in the SDMC.

**INFORMATION ONLY:**

- The issuance of this discretionary permit alone does not allow the immediate commencement or continued operation of the proposed use on site. Any operation allowed by this discretionary permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Hearing Officer of the City of San Diego on [INSERT APPROVAL DATE] and [APPROVED RESOLUTION NUMBER].

COASTAL DEVELOPMENT PERMIT NO.: PMT-3278379

Date of Approval: [APPROVAL DATE]

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES DEPARTMENT

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Daniel Neri  
Development Project Manager

**NOTE: Notary acknowledgment  
must be attached per Civil Code  
section 1189 et seq.**

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**The undersigned Owner/Permittee**, by execution hereof, agrees to each and every condition of this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

**RICHARD MANSUR TRUST OF 2004**  
Owner/Permittee

By \_\_\_\_\_  
Richard Mansur  
Trustee, Richard Mansur Trust of 2004  
dated June 2, 2004

**NOTE: Notary acknowledgments  
must be attached per Civil Code  
section 1189 et seq.**



HEARING OFFICER RESOLUTION NO. [RESO NO]  
COASTAL DEVELOPMENT PERMIT NO. PMT-3278379  
**376 SILVER GATE AVENUE PROJECT NO. PRJ-1111391**

WHEREAS, RICHARD MANSUR, TRUSTEE OF THE RICHARD MANSUR TRUST OF 2004 DATED JUNE 2, 2004, Owner/Permittee, filed an application with the City of San Diego for a permit to remodel an existing 2,510-square-foot single-dwelling-unit with the conversion of an existing 668-square-foot garage into a 472-square-foot Accessory Dwelling Unit (ADU) and adding the remaining 196 square feet to the primary dwelling unit as an additional bedroom, the addition of a 292-square-foot family room, and the construction of a new 513-square-foot, two-car garage (as described in and by reference to the approved Exhibit "A" and corresponding conditions of approval for the associated Permit No. PMT-3278379), on portions of a 0.24-acre site;

WHEREAS, the project site is located at 376 Silver Gate Avenue in the RS-1-4 (Residential-Single Unit) zone, the Coastal Overlay Zone (Appealable Area), the Coastal Height Limit Overlay Zone, and lies between the shoreline and the first public roadway within the Peninsula Community Plan and Local Coastal Program area;

WHEREAS, the project site is legally described as LOT 3 OF SILVERGATE TERRACE, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO THE MAP THEREOF NO. 6440, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, JULY 24, 1969.

WHEREAS, on August 15, 2024, the City of San Diego, as Lead Agency, through the Development Services Department, made and issued an Environmental Determination that the project is exempt from the California Environmental Quality Act (CEQA) (Public Resources Code Section 21000 et seq.) under CEQA Guidelines Section 15332, In-Fill Development Projects and there was no appeal of the Environmental Determination filed within the time period provided by San Diego Municipal Code Section 112.0520;

WHEREAS, on April 9, 2025, the Hearing Officer of the City of San Diego considered Coastal Development Permit No. PMT-3278379 pursuant to the Land Development Code of the City of San Diego; NOW, THEREFORE,

BE IT RESOLVED by the Hearing Officer of the City of San Diego, that it adopts the following findings with respect to Coastal Development Permit No. PMT-3278379:

**A. COASTAL DEVELOPMENT PERMIT [San Diego Municipal Code (SDMC) Section 126.0708]**

**1. Findings for all Coastal Development Permits:**

- a. The proposed coastal development will not encroach upon any existing physical accessway that is legally used by the public or any proposed public accessway identified in a Local Coastal Program land use plan; and the proposed coastal development will enhance and protect public views to and along the ocean and other scenic coastal areas as specified in the Local Coastal Program land use plan.**

The project site is located at 376 Silver Gate Avenue in the center of the Peninsula Community Planning area, lying nearly 0.55 miles equidistant between the Pacific Ocean to the west and the San Diego Bay to the east. The public right-of-way of Silver Gate Avenue terminates 225 feet to the south of the subject property, with gates leading into the Point Loma U.S. Naval Complex. Therefore, the subject parcel is placed between federal property to the south and Rosecroft Lane to the north, which is identified by the California Coastal Commission as the first public roadway. Therefore, the subject parcel is located between the shoreline and the first public roadway.

The existing 2,510-square-foot single-dwelling-unit development was constructed in 1973 and is surrounded by similar single-dwelling-unit development to the north, south, and west in the RS-1-4 residential single-dwelling-unit zone. The proposed development includes a partial interior remodel which converts the existing attached 668-square-foot garage into a 472-square-foot Accessory Dwelling Unit, with the remaining 196 square feet added to the primary residence as an additional bedroom, as well as the addition of a 292-square-foot family room; and construction a new two-car, 513-square-foot garage. There is no second-story addition, and elevations demonstrate a height less than 17 feet, which conforms to the Coastal Height Limit Overlay Zone.

The parcel measures 75 feet in width and 134 feet in depth. The standard side-yard setback for the RS-1-4 zone is 6 feet per Table 131-04D of the SDMC. The proposed development reallocates the side yard setback at the southern property line to 4 feet while maintaining the existing 9-foot, 4-inch side setback on the northern property line, in conformance to SDMC Section 131.0443(a)(4), which allows for the reallocation of side yard setbacks for lots greater than 50 feet in width. However, all

work is contained within the subject parcel and does not encroach upon any existing physical accessway that is legally used by the public or any proposed public accessway identified in the Local Coastal Program land use plan.

Furthermore, Figure 27 of the Peninsula Community Plan and Local Coastal Program Land Use Plan identifies the nearest coastal views occurring within U.S. Naval Complex to the south, Sunset Cliffs Natural Park to the west, and bay views from Rosecrans Street to the east. There are no identified public view corridors from the subject project site. Therefore, the proposed coastal development does not affect public views and will protect public views to and along the ocean and other scenic coastal areas as specified in the Local Coastal Program land use plan.

**b. The proposed coastal development will not adversely affect environmentally sensitive lands.**

Located at 376 Silver Gate Avenue, the project site immediately abuts similar single-dwelling-unit development. The existing development was constructed in 1973, and all proposed additions will be contained within the previously disturbed parcel. There are no environmentally sensitive lands onsite.

Areas of Multiple Habitat Planning Area are located approximately 0.60 miles to the northwest in the Sunset Cliffs Shoreline Park and approximately 2.5 miles to the south within the Cabrillo National Monument park.

Areas of sensitive vegetation are located approximately 0.25 miles to the south within the U.S. Naval Complex, and .36 miles to the west within the boundaries of Naval Base Point Loma. There is no sensitive vegetation or the possibility thereof within the subject, previously disturbed parcel.

The topography of the site is relatively flat, with an approximate slope of 3 percent, lying between elevation 350 feet above mean sea level (AMSL) to the east and 345 feet AMSL at the west property line. Therefore, the site does not contain Steep Hillsides.

The subject, previously disturbed premises is devoid of environmentally sensitive lands as per SDMC Section 143.0110. Therefore, the proposed coastal development will not adversely affect environmentally sensitive lands.

**c. The proposed coastal development is in conformity with the certified Local Coastal Program land use plan and complies with all regulations of the certified Implementation Program.**

Figure 5 of the Peninsula Community Plan land use plan identifies the project site as a Single Family - Residential land use designation with a very low-density housing of four dwelling units per acre. The addition of the 472-square-foot Accessory Dwelling Unit does not affect the density of the premises as per the Residential Use Category - Separately Regulated Use regulations in Chapter 14, Article 1, Division 3 of the SDMC.

The proposed infill development conforms with the regulations of the RS-1-4 residential zone per Chapter 13, Article 1, Division 4 of the SDMC, the development

regulations of the Coastal Overlay Zone per Chapter 13, Article 2, Division 4 of the SDMC, and the height limitations of the Coastal Height Limit Overlay Zone per Chapter 13, Article 2, Division 5 of the SDMC.

The project also proposes public right-of-way improvements including reconstruction of the driveway to current City Standards and reconstruction of misaligned and broken sidewalk as required per the Public Facility Regulations under Chapter 14, Article 2, Division 6 of the SDMC.

Based on the foregoing, the proposed coastal development is in conformity with the certified Local Coastal Program land use plan, and in compliance with all regulations of the certified Implementation Program.

- d. For every Coastal Development Permit issued for any coastal development between the nearest public road and the sea or the shoreline of any body of water located within the Coastal Overlay Zone the coastal development is in conformity with the public access and public recreation policies of Chapter 3 of the California Coastal Act.**

Chapter 3, Article 2 of the California Coastal Act contains policies designed to provide, maintain, and enhance public access to the coast "consistent with public safety needs and the need to protect public rights, rights of private property owners, and natural resource areas from overuse." Development shall not interfere with the public's right of access to the sea (Section 30211). The Coastal Act requires that public access from the nearest public roadway to the shoreline and along the coast shall be provided in new development projects except where adequate access exists nearby per Section 30212(a)(2). The subject project does not qualify as "new development" pursuant to Section 30212(b).

Chapter 3, Article 3 of the California Coastal Act contains policies designed to protect recreational opportunities along the coast. This article is designed to facilitate recreational use of existing oceanfront and upland areas for coastal recreational uses.

See finding "a" above, hereby incorporated by reference. There are no public access routes or public recreation areas/facilities located within or adjacent to the subject parcel. The proposed development will not interfere with the public access or public recreational uses. The coastal development is in conformity with the public access and public recreation policies of Chapter 3 of the California Coastal Act.

The above findings are supported by the minutes, maps and exhibits, all of which are incorporated herein by this reference.

BE IT FURTHER RESOLVED that, based on these findings adopted by the Hearing Officer, Coastal Development Permit No. PMT-3278379 is hereby GRANTED by the Hearing Officer to the

referenced Owner/Permittee, in the form, exhibits, terms and conditions as set forth in Permit No. PMT-3278379, a copy of which is attached hereto and made a part hereof.

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Daniel Neri  
Development Project Manager  
Development Services

Adopted on: [DATE OF APPROVAL]

IO#: 24009853

DRAFT



THE CITY OF SAN DIEGO

DATE OF NOTICE: August 15, 2024

# NOTICE OF RIGHT TO APPEAL ENVIRONMENTAL DETERMINATION

DEVELOPMENT SERVICES DEPARTMENT

SAP No. 24009853

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**PROJECT NAME / NUMBER:** 376 Silver Gate / PRJ-1111391**COMMUNITY PLAN AREA:** Peninsula**COUNCIL DISTRICT:** 2**LOCATION:** 376 Silver Gate Avenue, San Diego, CA 92106

**PROJECT DESCRIPTION:** Coastal Development Permit for the remodel and addition to a single-family residence. The project would convert the existing garage into a 472 square-foot accessory dwelling unit (ADU), construct a new 516 square-foot garage, and add a 282 square-foot family room onto the existing single-family residence at 376 Silver Gate Avenue. The site is zoned Residential-Single Unit (RS-1-4) and designated as Single Family - Residential in the Peninsula Community Plan. The project is also within the following overlays: Complete Communities Mobility Choices, Airport Land Use Compatibility Overlay Zone, Coastal Height Limit Overlay Zone, Coastal Overlay Zone, Coastal Overlay Zone First Public Roadway, Parking Impact Overlay Zone, Affordable Housing Parking Demand, ALUCP Airport Influence Area, and FAA Part 77 Noticing Area, within Council District 2. **LEGAL DESCRIPTION:** Lot 2, 3, 4, 9, Map No. 6440 (APN 532-380-3300).

**ENTITY CONSIDERING PROJECT APPROVAL:** City of San Diego Development Services Department**ENVIRONMENTAL DETERMINATION:** Categorically exempt from CEQA pursuant to CEQA State Guidelines, Section 15332, In-Fill Development Projects.**ENTITY MAKING ENVIRONMENTAL DETERMINATION:** City of San Diego

**STATEMENT SUPPORTING REASON FOR ENVIRONMENTAL DETERMINATION:** The project meets the criteria set forth in CEQA Section 15332 which allows for the construction of infill development within an urbanized area. The project site is an infill site as defined by CEQA Statute Section 21061.3., "The site has been previously developed for qualified urban uses." The project is consistent with the applicable General Plan designation (residential) and policies as well as applicable zoning designation (Residential - Single Unit (RS-1-4)) and regulations. The 0.24-acre project site occurs within City's jurisdictional limits, is surrounded by urban uses (residential), and is less than five acres.



The project site has no value as a habitat for endangered, rare or threatened species. The project would not result in any significant impacts on traffic, noise, air quality, or water quality. Furthermore, the project can be adequately served by all required utilities and public services as it is located within an urban area with services present. The exceptions listed in CEQA Section 15300.2 would not apply in that no cumulative impacts were identified; no significant effect on the environment was identified; the project is not adjacent to a scenic highway; lastly, the project was not identified on a list of hazardous waste sites pursuant to Section 65962.5 of the Government Code.

**DEVELOPMENT PROJECT MANAGER:** Chandra Y. Clady  
**MAILING ADDRESS:** 1222 First Avenue, MS 501, San Diego, CA 92101-4153  
**PHONE NUMBER / EMAIL:** (619) 446-5286 / [CClady@sandiego.gov](mailto:CClady@sandiego.gov)

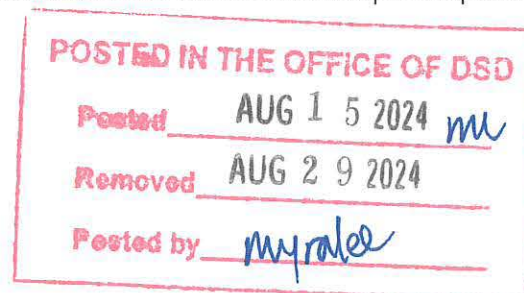
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On August 15, 2024 the City of San Diego (City), as Lead Agency, has made the above-referenced environmental determination pursuant to the California Environmental Quality Act (CEQA). This determination is appealable to the City Council. If you have any questions about this determination, contact the City Development Project Manager listed above.

Applications to appeal CEQA determination made by staff (including the City Manager) to the City Council must be filed in the office of the City Clerk by 5:00pm within ten (10) business days from the date of the posting of this Notice (August 29, 2024). Appeals to the City Clerk must be filed by email or in-person as follows:

- 1) Appeals filed via E-mail: The Environmental Determination Appeal Application Form [DS-3031](#) can be obtained at <https://www.sandiego.gov/sites/default/files/legacy/development-services/pdf/industry/forms/ds3031>. Send the completed appeal form (including grounds for appeal and supporting documentation in pdf format) by email to [Hearings1@sandiego.gov](mailto:Hearings1@sandiego.gov) by 5:00p.m. on the last day of the appeal period; your email appeal will be acknowledged within 24 business hours. You must separately mail the appeal fee by check payable to the City Treasurer to: City Clerk/Appeal, MS 2A, 202 C Street, San Diego, CA 92101. The appeal filing fee must be United States Postal Service (USPS) postmarked) before or on the final date of the appeal. Please include the project number on the memo line of the check.
- 2) Appeals filed in person: Environmental Determination Appeal Application Form [DS-3031](#) can be obtained at <https://www.sandiego.gov/sites/default/files/legacy/development-services/pdf/industry/forms/ds3031.pdf>. Bring the fully completed appeal application [DS-3031](#) (including grounds for appeal and supporting documentation) to the City Administration Building-Public Information Counter (Open 8:00am to 5:00pm Monday through Friday excluding City-approved holidays), 1st Floor Lobby, located at 202 C Street, San Diego, CA 92101, by 5:00pm on the last day of the appeal period. The completed appeal form shall include the required appeal fee, with a check payable to: City Treasurer.

This information will be made available in alternative formats upon request.



Page 3	City of San Diego · Information Bulletin 620		August 2018
	<b>City of San Diego Development Services</b> 1222 First Ave., MS-302 San Diego, CA 92101		<b>Community Planning Committee Distribution Form</b>
Project Name: 376 Silver Gate Ave		Project Number: PRJ-1111391	
Community: Peninsula			
<p>For project scope and contact information (project manager and applicant), log into OpenDSD at <a href="https://aca.accela.com/SANDIEGO">https://aca.accela.com/SANDIEGO</a>.</p> <p>Select "Search for Project Status" and input the Project Number to access project information.</p>			
<input checked="" type="radio"/> Vote to Approve <input type="checkbox"/> Vote to Approve with Conditions Listed Below <input type="checkbox"/> Vote to Approve with Non-Binding Recommendations Listed Below <input type="checkbox"/> Vote to Deny			Date of Vote: September 19,
# of Members Yes 11	# of Members No 0	# of Members Abstain 0	
Conditions or Recommendations: Approved administrative change from JADU to ADU.			
<input type="checkbox"/> No Action (Please specify, e.g., Need further information, Split vote, Lack of quorum, etc.)			
NAME: Eric H Law			
TITLE: Chair, Project Review Committee			DATE: September 20, 2024

Visit our web site at [www.sandiego.gov/development-services](http://www.sandiego.gov/development-services).

Upon request, this information is available in alternative formats for persons with disabilities.

DS-5620 (08-18) ONLINE FORM



	<b>City of San Diego Development Services</b> 1222 First Ave., MS 302 San Diego, CA 92101 (619) 446-5000	<h1 style="margin: 0;">Ownership Disclosure Statement</h1>	<b>FORM DS-318</b>  October 2017
---	---	--	--

**Approval Type:** Check appropriate box for type of approval(s) requested: ☐ Neighborhood Use Permit ☒ Coastal Development Permit  
☐ Neighborhood Development Permit ☐ Site Development Permit ☐ Planned Development Permit ☐ Conditional Use Permit ☐ Variance  
☐ Tentative Map ☐ Vesting Tentative Map ☐ Map Waiver ☐ Land Use Plan Amendment • ☐ Other \_\_\_\_\_

**Project Title:** Silver Gate Remodel & Addition **Project No. For City Use Only:** \_\_\_\_\_

**Project Address:** 376 Silver Gate ave., San Diego, Ca 92106

**Specify Form of Ownership/Legal Status (please check):**

☐ Corporation ☐ Limited Liability -or- ☐ General - What State? \_\_\_\_\_ Corporate Identification No. \_\_\_\_\_  
☐ Partnership ☒ Individual

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter will be filed with the City of San Diego on the subject property with the intent to record an encumbrance against the property. Please list below the owner(s), applicant(s), and other financially interested persons of the above referenced property. A financially interested party includes any individual, firm, co-partnership, joint venture, association, social club, fraternal organization, corporation, estate, trust, receiver or syndicate with a financial interest in the application. If the applicant includes a corporation or partnership, include the names, titles, addresses of all individuals owning more than 10% of the shares. If a publicly-owned corporation, include the names, titles, and addresses of the corporate officers. (A separate page may be attached if necessary.) If any person is a nonprofit organization or a trust, list the names and addresses of **ANY** person serving as an officer or director of the nonprofit organization or as trustee or beneficiary of the nonprofit organization. A signature is required of at least one of the property owners. Attach additional pages if needed. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

**Property Owner**

Name of Individual: Rick Mansur ☒ Owner ☐ Tenant/Lessee ☐ Successor Agency

Street Address: 376 Silver Gate ave.

City: San Diego State: Ca Zip: 92106

Phone No.: 619-241-3960 Fax No.: \_\_\_\_\_ Email: rmansur@azulhg.com

Signature: \_\_\_\_\_ Date: 1/24/24

Additional pages Attached: ☐ Yes ☒ No

**Applicant**

Name of Individual: Rick Mansur ☒ Owner ☐ Tenant/Lessee ☐ Successor Agency

Street Address: 376 Silver Gate ave.

City: San Diego State: Ca Zip: 92106

Phone No.: 619-241-3960 Fax No.: \_\_\_\_\_ Email: rmansur@azulhg.com

Signature: \_\_\_\_\_ Date: 1/24/24

Additional pages Attached: ☐ Yes ☐ No

**Other Financially Interested Persons**

Name of Individual: N/A ☐ Owner ☐ Tenant/Lessee ☐ Successor Agency

Street Address: \_\_\_\_\_

City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

Phone No.: N/A Fax No.: \_\_\_\_\_ Email: N/A

Signature: N/A Date: \_\_\_\_\_

Additional pages Attached: ☐ Yes ☒ No

COASTAL DEVELOPMENT PERMIT NO. PMT-  
PROJECT NO. PRJ-1111391

DEVELOPMENT SUMMARY

SUMMARY OF REQUEST  
PROCESS A COASTAL DEVELOPMENT PERMIT.

SCOPE OF WORK INCLUDES :  
REMODEL AND ADDITION TO EXISTING 2,510 S.F.  
SINGLE STORY, SINGLE FAMILY RESIDENCE  
CONVERT PORTION OF EXISTING GARAGE TO 472 A.D.U.  
ADDITION OF NEW GARAGE 513 S.F.

PROJECT TEAM  
CIVIL ENGINEER: ALIDADE ENGINEERING, INC.  
28936 OLD TOWN FRONT STREET, # 205  
TEMECULA, CA 92590  
(951) 587-2020  
BRENT C. MOORE, PE C59121  
ARCHITECT: JBS ARCHITECTS  
4583 SARATOGA AVENUE  
SAN DIEGO, CA 92107  
(858) 603-0264  
JERRY B. STEPHEN

LEGAL DESCRIPTION  
LOT 3 OF SILVERGATE TERRACE, ACCORDING TO MAP THEREOF NO. 6440, IN THE CITY OF SAN DIEGO, STATE OF CALIFORNIA, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY.

ASSESSOR'S PARCEL NUMBER  
532-380-33

OWNER - APN 532-380-33  
RICK MANSUR 376 SILVERGATE TERRACE RM-USE, LLC  
SAN DIEGO, CA 92106 SAN DIEGO, CA 92106

RESIDENTIAL UNIT COUNT: 1

TYPE OF CONSTRUCTION: V-N

OCCUPANCY CLASSIFICATION: R-3

EXISTING AND PROPOSED ZONE DESIGNATION

RS-1-4

GROSS/NET SITE AREA: 0.241 AC 10,500 S.F.

EXISTING USE: RESIDENTIAL PROPOSED USE: RESIDENTIAL

YEAR CONSTRUCTED:

ORIGINAL CONSTRUCTION 1973

GEOLOGIC HAZARD CATEGORY: 51

LANDSCAPE AREAS:  
PARCEL 1: 0.088 AC 3,851 S.F.

COVERAGE DATA PARCEL 1

Building Area	3,961	Sq. Ft.
Total Building Area (ground floor):	0.079	Ac. 3,458 Sq. Ft.
Total Landscape/Open Space Area:	0.088	Ac. 3,851 Sq. Ft.
Total Hardscape/Paved Area:	0.051	Ac. 2,238 Sq. Ft.
Floor Area Ratio (FAR)	0.394:1	
Gross Floor Area (GFA)	3,961	Sq. Ft.

YARD/SETBACK		
Front Yard:	Required 20 Ft.	Proposed 20 Ft.
Street Side Yard:	Required 7.5 Ft.	Proposed NA Ft.
Interior Yard(s):	Required 4 Ft.	Proposed 4 Ft.
Rear Yard:	Required 20 Ft.	Proposed 20 Ft.

EASEMENT NOTE

THERE ARE NO EASEMENTS ON THIS SITE.

FAA CERTIFICATION

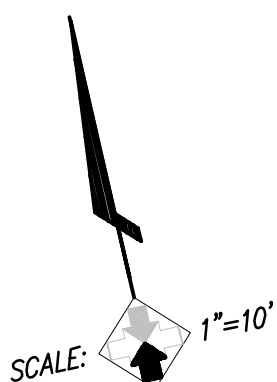
I, BRENT C. MOORE, DO HEREBY CERTIFY THAT THE STRUCTURE(S) OR MODIFICATION TO EXISTING STRUCTURE SHOWN ON THESE PLANS DO NOT REQUIRE FEDERAL AVIATION ADMINISTRATION NOTIFICATION BECAUSE, PER SECTION 77.15 (a) OF TITLE 14 OF THE CODE OF FEDERAL REGULATIONS CFR PART 77, NOTIFICATION IS NOT REQUIRED.

BRENT C. MOORE RCE 59121 09-11-2025

OWNER

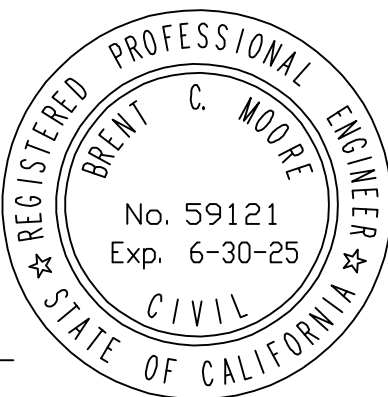
RICK MANSUR  
376 SILVERGATE AVENUE  
SAN DIEGO, CA 92106

RICK MANSUR DATE



28936 OLD TOWN FRONT STREET, # 205  
Temecula, CA 92590  
Phone: (951) 587-2020  
Fax: (951) 587-2626

BRENT C. MOORE RCE 59121 DATE  
MY REGISTRATION EXPIRES 6-30-25



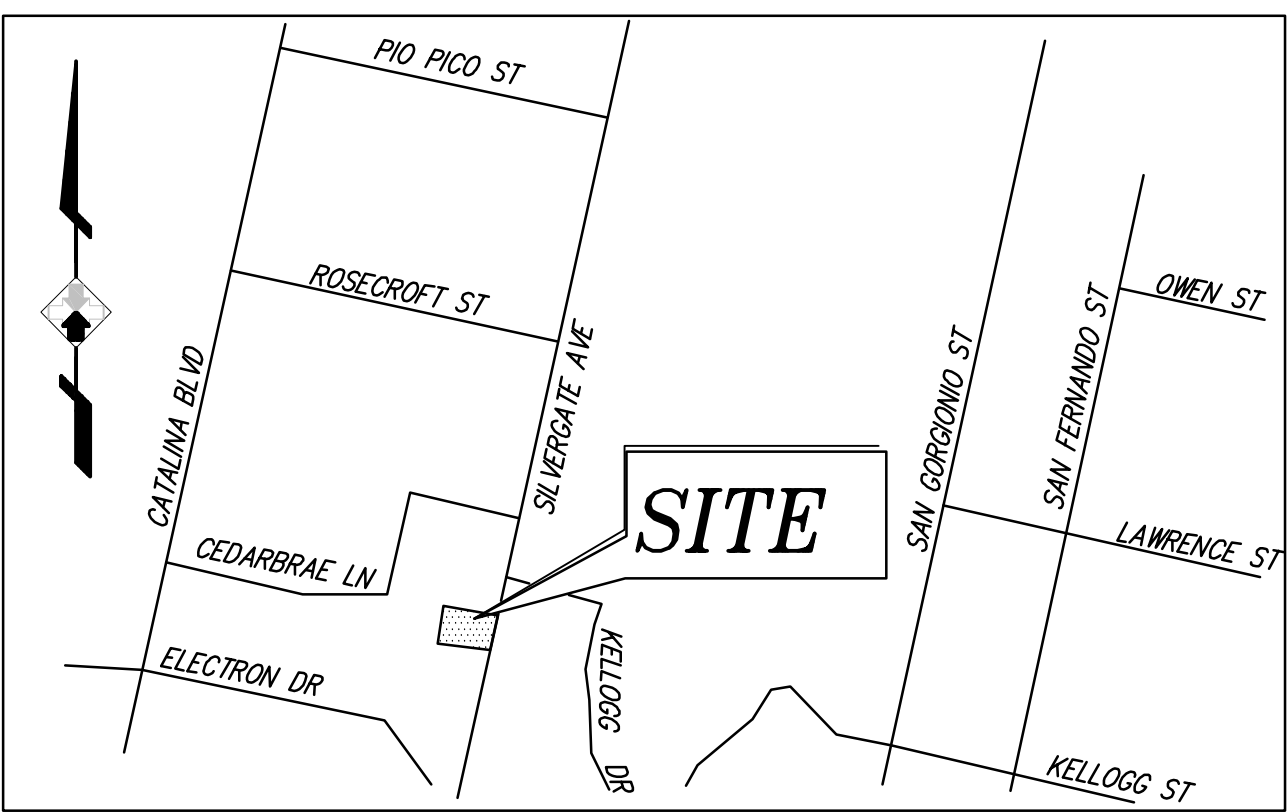
LEGEND

EXISTING IMPROVEMENTS

PROPERTY LINE/TOWN BOUNDARY	---
RIGHT-OF-WAY	---
SETBACK LINE	---
EXISTING LOT LINE	---
EXISTING BUILDING	---
EXISTING CONCRETE	---
EXISTING WATER METER	---
EXISTING SEWER CLEANOUT	---
EXISTING WATER LINE	---
EXISTING SEWER LINE	---
EXISTING FIRE HYDRANT	---
EXISTING SEWER LATERAL	---
EXISTING WATER LATERAL	---
EXISTING RETAINING WALL	---
EXISTING STREET LIGHT	---
EXISTING OVERHEAD ELECTRICAL	---
EXISTING GAS LINE	---
EXISTING GAS METER	---
EXISTING TELEPHONE FACILITY	---
EXISTING MAIL BOX	---
EXISTING DRIVEWAY	---
PROPOSED BUILDING	---
PROPOSED HARDSCAPE	---
EXISTING DRAINAGE FLOW	---

SHEET INDEX:

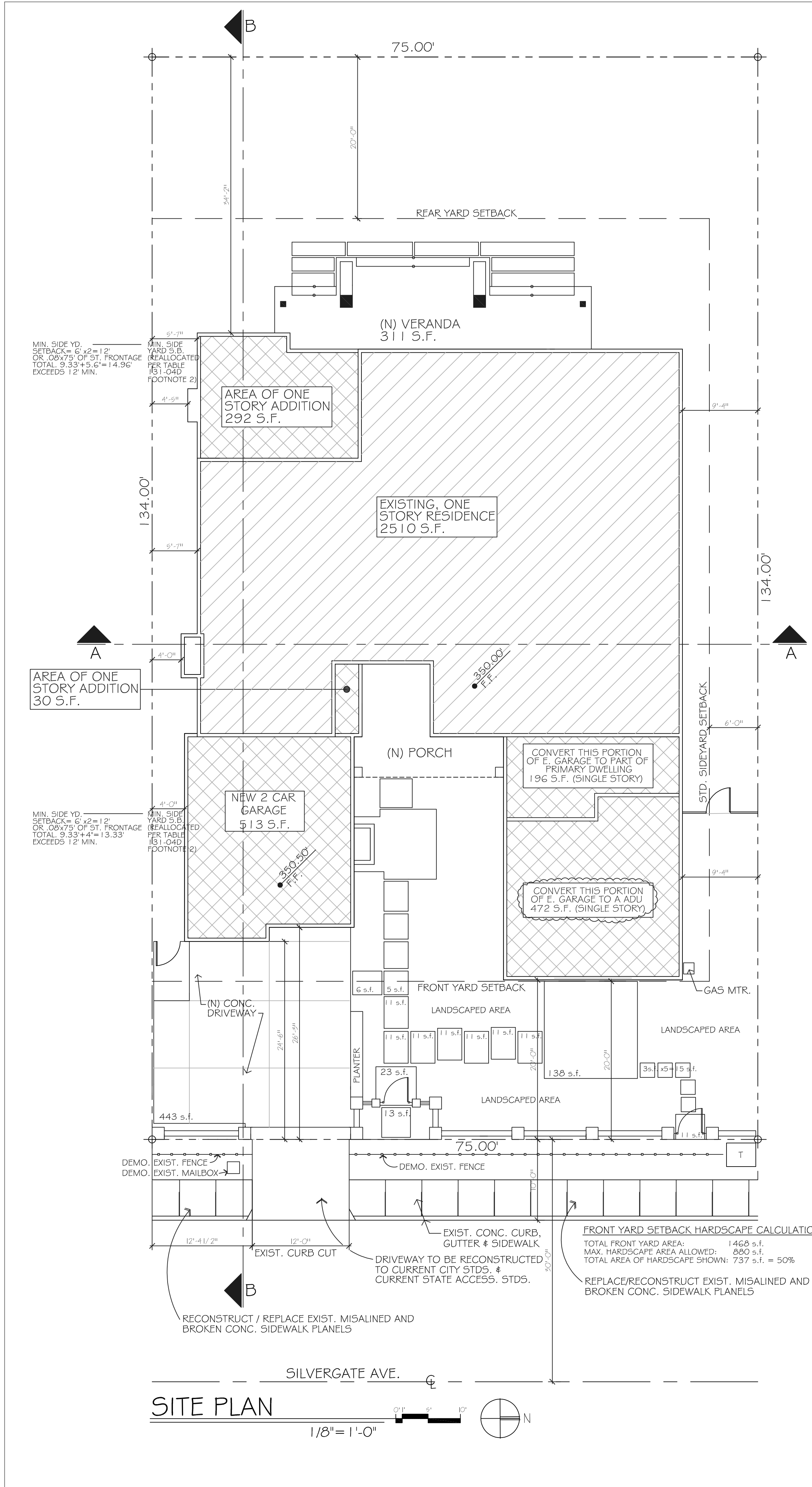
SHEET 1 - COASTAL DEVELOPMENT PERMIT TITLE SHEET  
SHEET 2 - ARCHITECTURAL TITLE SHEET (A.1)  
SHEET 3 - ARCHITECTURAL DEMO PLAN (A.2)  
SHEET 4 - ARCHITECTURAL FLOOR PLAN (A.3)  
SHEET 5 - ARCHITECTURAL ELEVATIONS (A.4)  
SHEET 6 - ARCHITECTURAL ROOF PLAN (A.5)



VICINITY MAP  
NOT TO SCALE

PREPARED BY:	NAME: ALIDADE ENGINEERING, INC.	REVISION 12:	
ADDRESS: 28936 OLD TOWN FRONT STREET, # 205	REVISION 11:		
TEMECULA, CA 92590	REVISION 10:		
PHONE #: (951) 587-2020 FAX: (951) 587-2626	REVISION 9:		
	REVISION 8:		
	REVISION 7:		
	REVISION 6:		
	REVISION 5:		
	REVISION 4:		
	REVISION 3:		
	REVISION 2: 08/21/2024		
	REVISION 1: 06/14/2024		
PROJECT ADDRESS:		ORIGINAL DATE:	1/12/2024
376 SILVERGATE AVE			
SAN DIEGO, CA 92106			
PROJECT NAME:			
376 SILVERGATE			
SHEET TITLE:			
COASTAL DEVELOPMENT PERMIT			
PROJECT NO. PRJ-1111391			
DEP#			





BASIS FOR STRUCTURAL DESIGN

FOUNDATIONS / SOILS CRITERIA:

☐ SOILS ENGINEER:  
REPORT NO.:

☐ EXPANSION INDEX HAS BEEN DETERMINED TO BE GREATER THAN 20 AND THE RECOMMENDATIONS OF THE SOILS ENGINEER HAVE BEEN INCORPORATED INTO THESE PLANS.

☐ EXPANSION INDEX HAS BEEN DETERMINED TO BE 20 OR LESS AND NO SPECIAL DESIGN RECOMMENDATIONS ARE REQUIRED.

☒ AS A LICENSED ARCHITECT/ENGINEER, I HAVE CLASSIFIED THE UNDISTURBED NATIVE SOILS TO BE AND PER TABLE 18-1-A OF THE 1998 CBC I HAVE ASSIGNED THE FOLLOWING SOILS PARAMETERS FOR THE DESIGN OF THE FOUNDATION RELATED ELEMENTS OF THIS PROJECT:

NAME (PRINT)SIGNATUREDATE

☒ LICENSED ARCHITECT  
☐ LICENSED ENGINEER

☒ A FOUNDATION PRESSURE OF 1000 PSF HAS BEEN USED TO DESIGN FOUNDATIONS SUPPORTED ON UNCLASSIFIED, UNDISTURBED NATIVE SOILS. THE FOUNDATIONS WILL BE LOCATED ENTIRELY IN UNDISTURBED NATIVE SOILS.

☐ OWNER  
☒ LICENSED ARCHITECT  
☒ LICENSED ENGINEER

☐ IF THE BUILDING INSPECTOR SUSPECTS FILL, EXPANSIVE SOILS OR ANY GEOLOGIC INSTABILITY BASED UPON OBSERVATION OF THE FOUNDATION EXCAVATION, A SOILS OR GEOLOGICAL REPORT, AND RESUBMITTAL OF PLANS TO PLAN CHECK TO VERIFY THAT THE REPORT RECOMMENDATIONS HAVE BEEN INCORPORATED MAY BE REQUIRED.

SPECIAL INSPECTION &  
OFF-SITE FABRICATION

SPECIAL INSPECTION:

☒ YES  
☐ NO

SPECIAL INSPECTION SHALL BE PROVIDED FOR THE FOLLOWING ITEMS: EPOXY ANCHORS

REFER TO SHEET \_\_\_\_ FOR "SPECIAL INSPECTION PROGRAM".

1. A CERTIFICATE OF SATISFACTORY COMPLETION OF WORK REQUIRING SPECIAL INSPECTION MUST BE COMPLETED AND SUBMITTED TO THE INSPECTION SERVICES DIVISION.

OFF-SITE FABRICATION:

☐ YES  
☒ NO

1. AN APPLICATION TO PERFORM OFF-SITE FABRICATION MUST BE SUBMITTED TO THE INSPECTION SERVICES DIVISION FOR APPROVAL PRIOR TO FABRICATION.

2. A CERTIFICATE OF COMPLIANCE FOR OFF-SITE FABRICATION MUST BE COMPLETED AND SUBMITTED TO THE INSPECTION SERVICES DIVISION PRIOR TO ERECTION OF PREFABRICATED COMPONENTS.

ADDITIONAL INFORMATION

CHECK EACH APPLICABLE OVERLAY ZONE

☐ AIRPORT APPROACH

☐ AIRPORT ENVIRONS

☒ COASTAL

☐ COASTAL HEIGHT LIMIT

☐ SENSITIVE COASTAL

☐ MOBILE HOME PARK

☐ PARKING IMPACT

☐ RESIDENTIAL TANDEM PARKING

☐ TRANSIT AREA

☐ URBAN VILLAGE

☐ MISSION TRAILS DESIGN DISTRICT

☐ CLAIREMONT MESA HEIGHT LIMIT

☐ COMMUNITY PLAN IMPLEMENTATION

CHECK IF PROPOSED SITE IS ON OR ADJACENT TO ...

☐ SENSITIVE BIOLOGICAL RESOURCES

☐ STEEP HILLSIDES

☐ COASTAL BEACHES

☐ SENSITIVE COASTAL BLUFFS

☐ 100 YEAR FLOODPLAIN

STRUCTURAL OBSERVATION

STRUCTURAL OBSERVATION:

☐ YES  
☒ NO

INFORMATION INDEX

ITEMLOCATION IN SET, SHEET NO.(S)

SITE PLAN

A.1

DEMOLITION PLAN

A.2

FLOOR PLAN

A.3

ARCHITECTURAL ELEVATIONS

A.4, A.6

ROOF PLAN

A.5

BUILDING SECTIONS

A.7

ARCHITECTURAL DETAILS

STRUCTURAL NOTES

FOUNDATION PLAN

FLOOR AND ROOF FRAMING PLANS

STRUCTURAL DETAILS

MECHANICAL PLAN(S)

PLUMBING PLAN(S)

ELECTRICAL PLAN(S)

ENERGY CALCULATIONS

TOPOGRAPHIC SURVEY

GRADING & DRAINAGE PLANS

LANDSCAPE PLAN(S)

BRUSH MANAGEMENT PLAN(S)

ACCESSIBLE PATH OF TRAVEL

ACCESSIBLE PARKING

MEANS OF EGRESS PLAN(S)

LOCATION, SIZE & TYPE OF ALL EXISTING AND PROPOSED:

WATER METERS, WATER SERVICES & MAINS

CROSS CONNECTION CONTROL DEVICES

SEWER LATERALS AND MAINS

PROJECT TEAM

ARCHITECT: JERRY B. STEPHEN  
4583 SARATOGA AVE.  
SAN DIEGO, CA 92107  
PHONE #: (858) 603-0264

STRUCTURAL ENGINEER:  
LOVELACE ENGINEERING  
SAN DIEGO, CA 92121  
PHONE #: (858) 535-9111

WILCAL Title 24 Services  
Doug Williams  
Fallbrook, CA 92028  
760-846-6480

ALDADE ENGINEERING  
Larry Dutton  
Temecula, CA 92590  
951-587-2626

PROJECT DATA

PROJECT NAME: SILVER GATE REMODEL & ADDITION

PROJECT ADDRESS: 376 SILVER GATE AVE.  
SAN DIEGO, CA 92106

HISTORIC: 

☐ YES  
☒ NO

U.R.M.: 

☐ YES  
☐ NO

SUBMITTAL DATE: / /

ZONE: R5-1-4

OWNER: R. MANSUR  
376 SILVER GATE AVE.  
SAN DIEGO, CALIFORNIA 92106

MAP NUMBER: M6440 - SILVER GATE TERRACE

BLOCK NUMBER:

LOT NUMBER: 3

A.P.N.: 532-380-33-00

F.A.R.: .54 ALLOWED, .40 SHOWN

LOT AREA: 10,050 s.f., TOTAL BLDG. AREA: 4013 s.f.

LEGAL DESCRIPTION: MAP 6440  
LOT 3  
SILVERGATE TERRACE

PLAN FILE NO.:

PERMIT NO(S).:

DETAILED SCOPE OF WORK

REMODEL & ADDITION TO EXIST. 2510 s.f. SINGLE STORY, SINGLE FAMILY RESIDENCE (PRIMARY DWELLING):  
CONVERT PORTION OF (E) GARAGE TO 472 s.f. ADU. CONVERT PORTION OF (E) GARAGE TO PORTION OF THE PRIMARY DWELLING, 194 s.f.  
(N) 513 s.f., ATTACHED 2 CAR GARAGE

EXISTING GARAGE = 668 s.f.  
\*NEW POOL UNDER SEPARATE PERMIT

REMODEL AREA (SFR, PRIM. DWELLING) ADDITION AREA (SFR, PRIM. DWELLING)  
CONVERT POR. GARAGE TO LIVING SPACE (SFR, PRIMARY DWELLING)  
CONVERT PORTION OF GARAGE TO LIVING SPACE (ADU)  
NEW 2 CAR GARAGE

535 s.f.  
322 s.f.  
196 s.f.  
472 s.f.  
513 s.f.  
3500 s.f.  
513 s.f.

BUILDING CODE DATA

TYPE OF CONSTRUCTION: ☒ N

SPRINKLERED: 

☐ YES  
☒ NO

OCCUPANCY CLASSIFICATION(S): R3

NUMBER OF STORIES: 1

BUILDING HEIGHT: VARIES, MAX. 17'-5"

GOVERNING CODE(S): 2022 CBC, CMC, CPC, CA. ELEC. CODE  
2022 CFC, CA. GR. BLDG. CODE, CA. ENERGY CODE

FLOOR AREA ANALYSIS

FLOOR AREAS PER OCCUPANCY:

OCCUPANCIES	ft <sup>2</sup>	ft <sup>2</sup>	ft <sup>2</sup>	ft <sup>2</sup>	SUM / FLOOR
FLOORS					
4th	N/A				
3rd	N/A				
2nd	N/A				
1st	3500 s.f. R3 OCCUP.	513 s.f. U OCCUP.			
SUM / OCCUPANCY	3500 s.f.	513 s.f.			
1st BASEMENT	N/A				
2nd BASEMENT	N/A				

NOTES:

1. Prior to the issuance of any building permit, the Owner/Permittee shall obtain an Encroachment Maintenance and Removal Agreement (EMRA) from the City Engineer for all existing private improvements such as landscape/irrigation in Silver Gate Ave ROW.

PREPARED BY:

NAME: JBS ARCHITECT

ADDRESS: 4583 SARATOGA AVE.  
SAN DIEGO, CA 92107

PHONE #: (858)603-0264

PROJECT ADDRESS:  
376 SILVER GATE AVE.  
SAN DIEGO, CA 92106

PROJECT NAME:  
SILVER GATE REMODEL &  
ADDITION

SHEET TITLE:  
COASTAL DEVELOPMENT  
PERMIT  
PROJECT #: PRJ-

REVISION 1 2:

REVISION 1 1:

REVISION 1 0:

REVISION 9:

REVISION 8:

REVISION 7:

REVISION 6:

REVISION 5:

REVISION 4:

REVISION 3: 12/5/2024

REVISION 2: 9/5/2024

REVISION 1: 6/21/2024

ORIGINAL DATE: 2/1/2024

SHEET NO.: SHEET 2 OF 8

DEP#:

REVISION	DATE

JBS Architect

4583 Saratoga Ave.  
San Diego, Ca 92107  
(858)603-0264

SILVER GATE REMODEL & ADDITION

376 SILVER GATE AVE.  
SAN DIEGO, CA 92106

DRAWN JBS

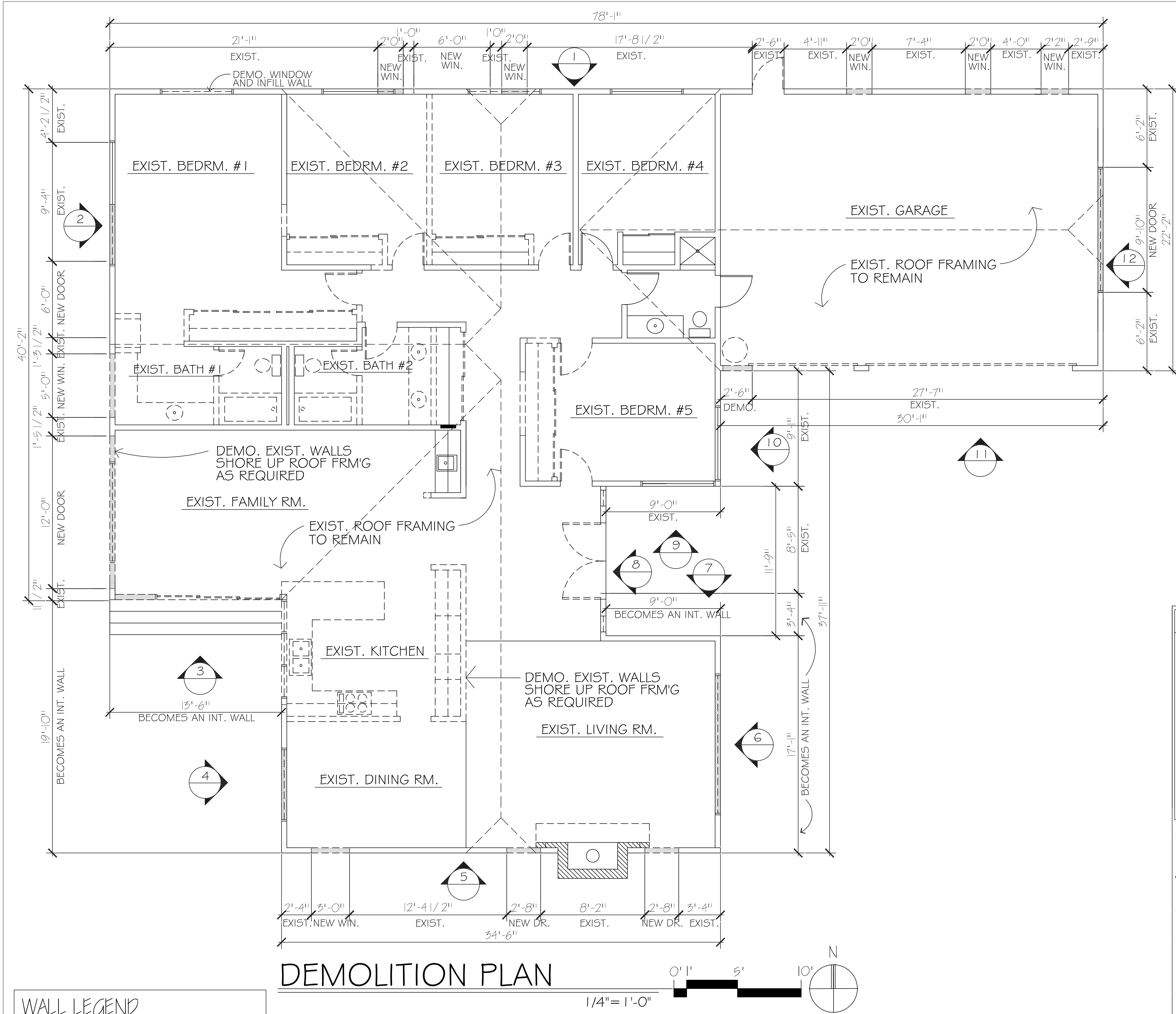
DATE 12/23

SCALE NOTED

PROJECT SILVER GATE

SHEET

A.1

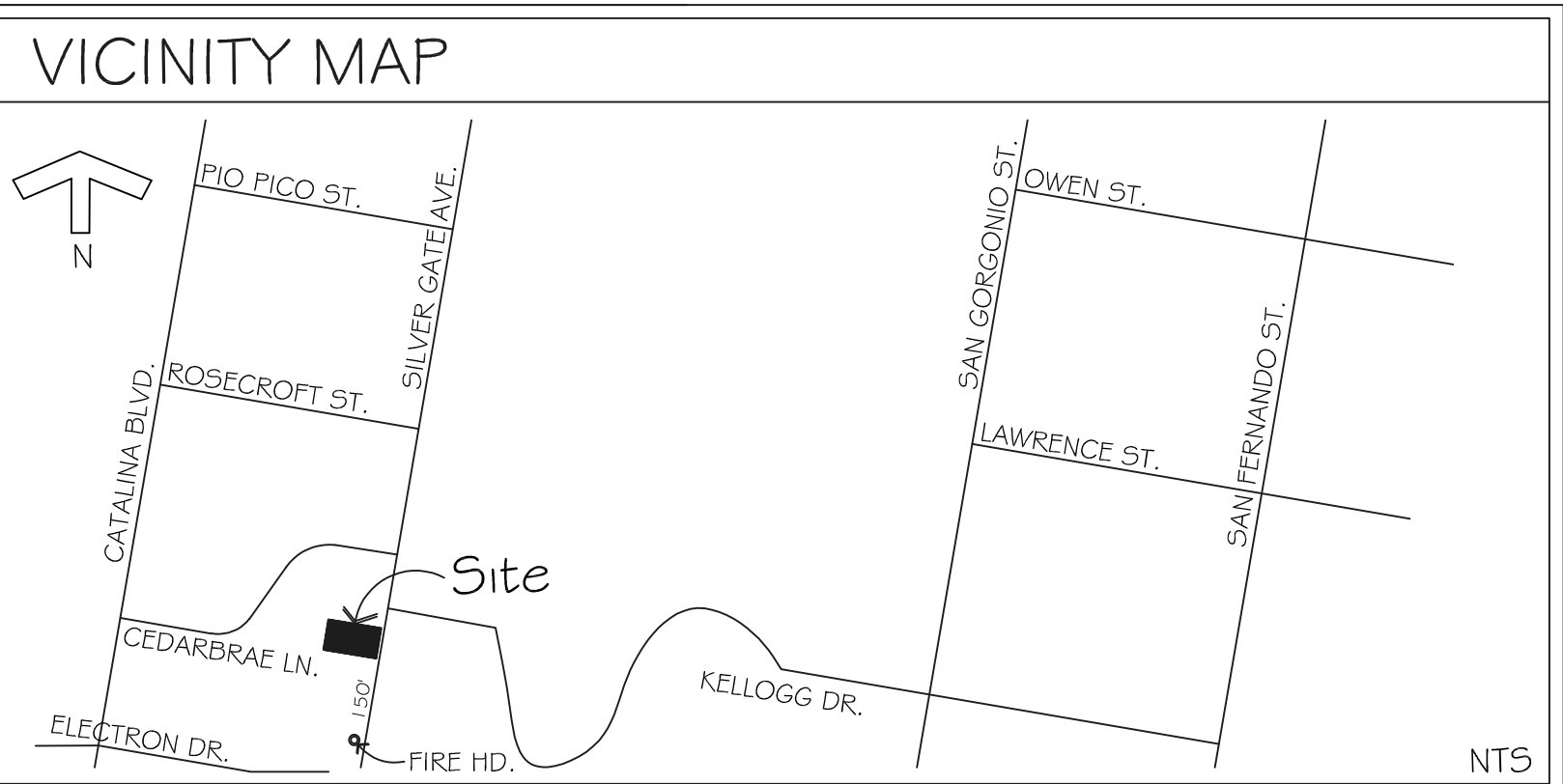


DEMOLITION PLAN

WALL LEGEND

- NO CHANGE TO EXISTING EXTERIOR WALL
- EXTERIOR WALL REMOVAL PER DEFINITION OF CITY OF SAN DIEGO
- EXIST. INTERIOR WALL TO BE DEMOLISHED
- NEW STUD PARTITION SEE DETAILS

WALL NO.	EXIST. WALL LENGTH	DEMO. WALL LENGTH	REMAIN'G. WALL LENGTH
1	78'-1"	17'-2"	61'-11"
2	40'-2"	23'-0"	17'-2"
3	13'-6"	13'-6"	0'-0"
4	19'-10"	19'-10"	0'-0"
5	34'-6"	8'-4"	26'-2"
6	17'-1"	17'-1"	0'-0"
7	9'-0"	9'-0"	0'-0"
8	11'-9"	3'-4"	8'-5"
9	9'-0"	0'-0"	9'-0"
10	9'-1"	0'-0"	9'-1"
11	30'-1"	2'-6"	27'-7"
12	22'-2"	9'-10"	12'-4"
TOTAL	294'-3"	123'-7"	171'-8"
58.34% EXTERIOR WALLS REMAINING			



PREPARED BY:	NAME: JBS ARCHITECT	REVISION 12:
ADDRESS:	4583 SARATOGA AVE. SAN DIEGO, CA 92107	REVISION 11:
PHONE #:	(858)603-0264	REVISION 10:
PROJECT ADDRESS:	376 SILVER GATE AVE. SAN DIEGO, CA 92106	REVISION 9:
PROJECT NAME:	SILVER GATE REMODEL & ADDITION	REVISION 8:
SHEET TITLE:	COASTAL DEVELOPMENT PERMIT PROJECT #: PRJ-	REVISION 7:
		REVISION 6:
		REVISION 5:
		REVISION 4:
		REVISION 3: 12/5/2024
		REVISION 2: 9/5/2024
		REVISION 1: 6/21/2024
		ORIGINAL DATE: 2/1/2024
		SHEET NO.: SHEET 3 OF 8
		DEP#:

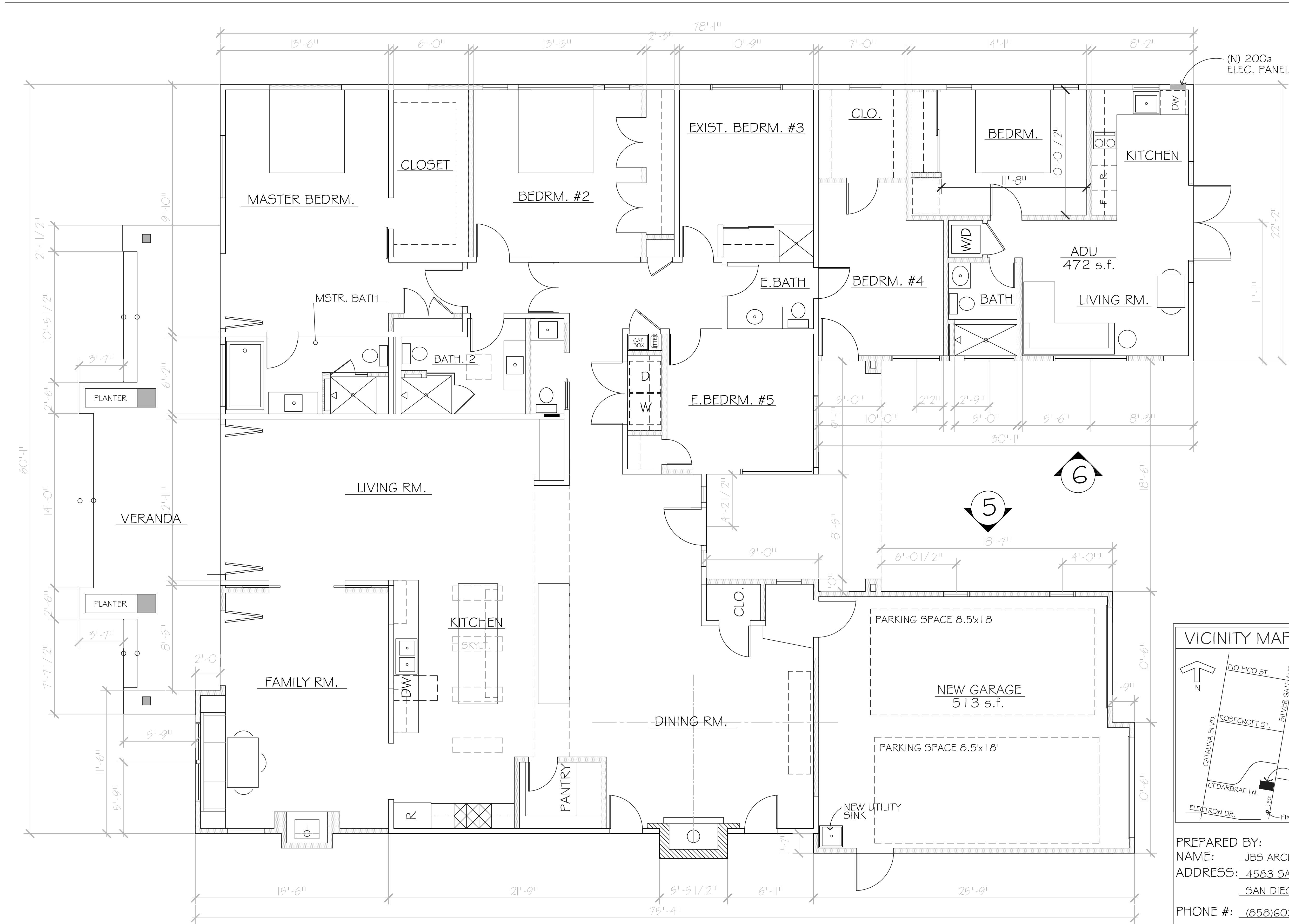
REVISION	DATE

JBS Architect  
4583 Saratoga Ave.  
San Diego, Ca 92107  
(858) 603-0264

SILVER GATE REMODEL & ADDITION  
376 SILVER GATE AVE.  
SAN DIEGO, CA 92106

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SCALE	NOTED
PROJECT	SILVERGATE

SHEET  
A.2



WALL LEGEND

NO CHANGE TO EXISTING EXTERIOR WALL

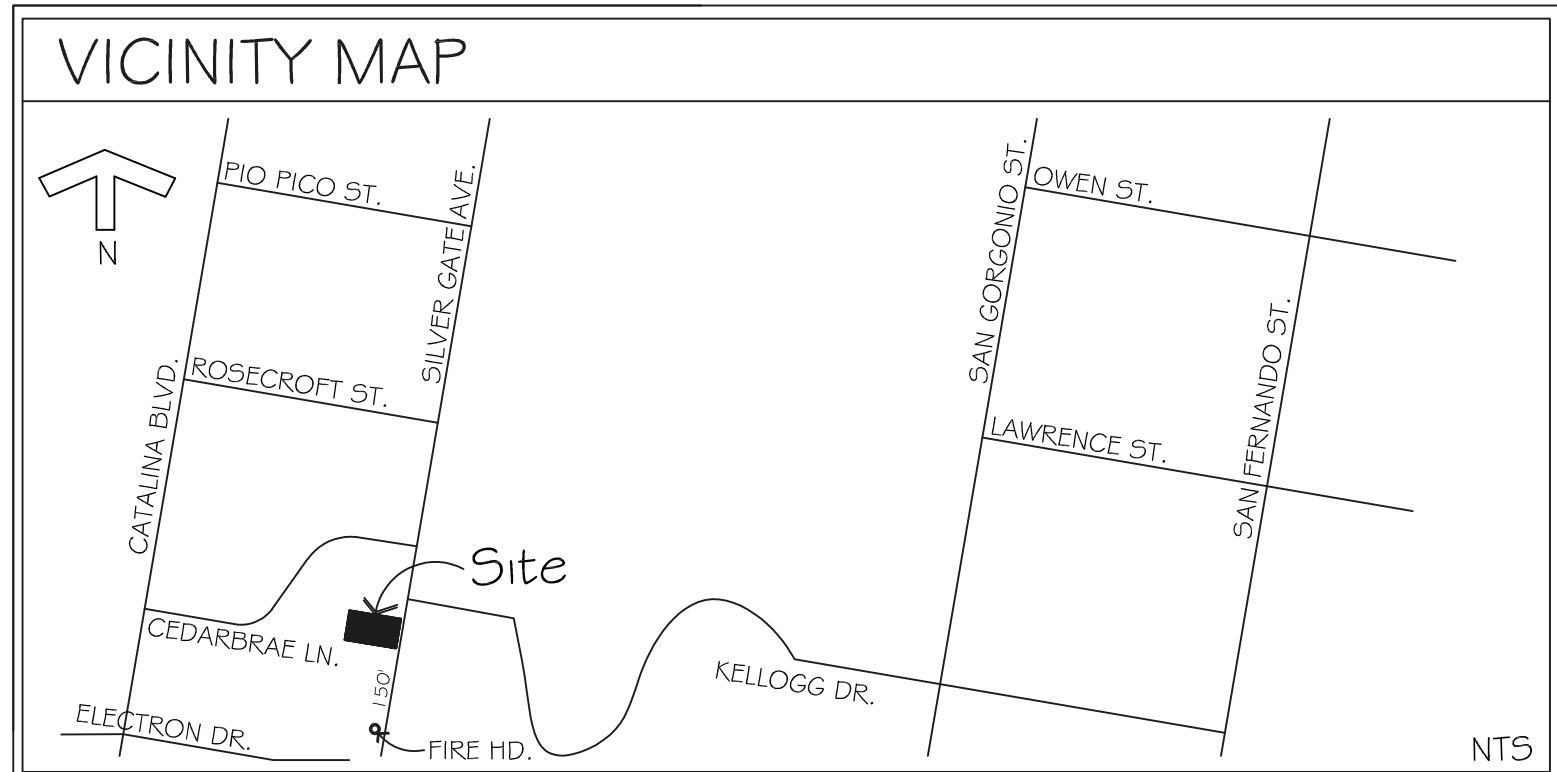
EXTERIOR WALL REMOVAL PER DEFINITION OF CITY OF SAN DIEGO

EXIST. INTERIOR WALL TO BE DEMOLISHED

NEW STUD PARTITION SEE DETAILS

REVISED FLOOR PLAN

1/4" = 1'-0"



PREPARED BY:  
NAME: JBS ARCHITECT  
ADDRESS: 4583 SARATOGA AVE.  
SAN DIEGO, CA 92107  
PHONE #: (858)603-0264  
PROJECT ADDRESS:  
376 SILVER GATE AVE.  
SAN DIEGO, CA 92106  
PROJECT NAME:  
SILVER GATE REMODEL & ADDITION  
SHEET TITLE:  
COASTAL DEVELOPMENT  
PERMIT  
PROJECT #: PRJ-

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REVISION 10: \_\_\_\_\_  
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ORIGINAL DATE: 2/1/2024  
SHEET NO.: SHEET 4 OF 8  
DEP#: \_\_\_\_\_

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JBS Architect

4583 Saratoga Ave.  
San Diego, Ca 92107  
(858) 603-0264

SILVER GATE REMODEL & ADDITION

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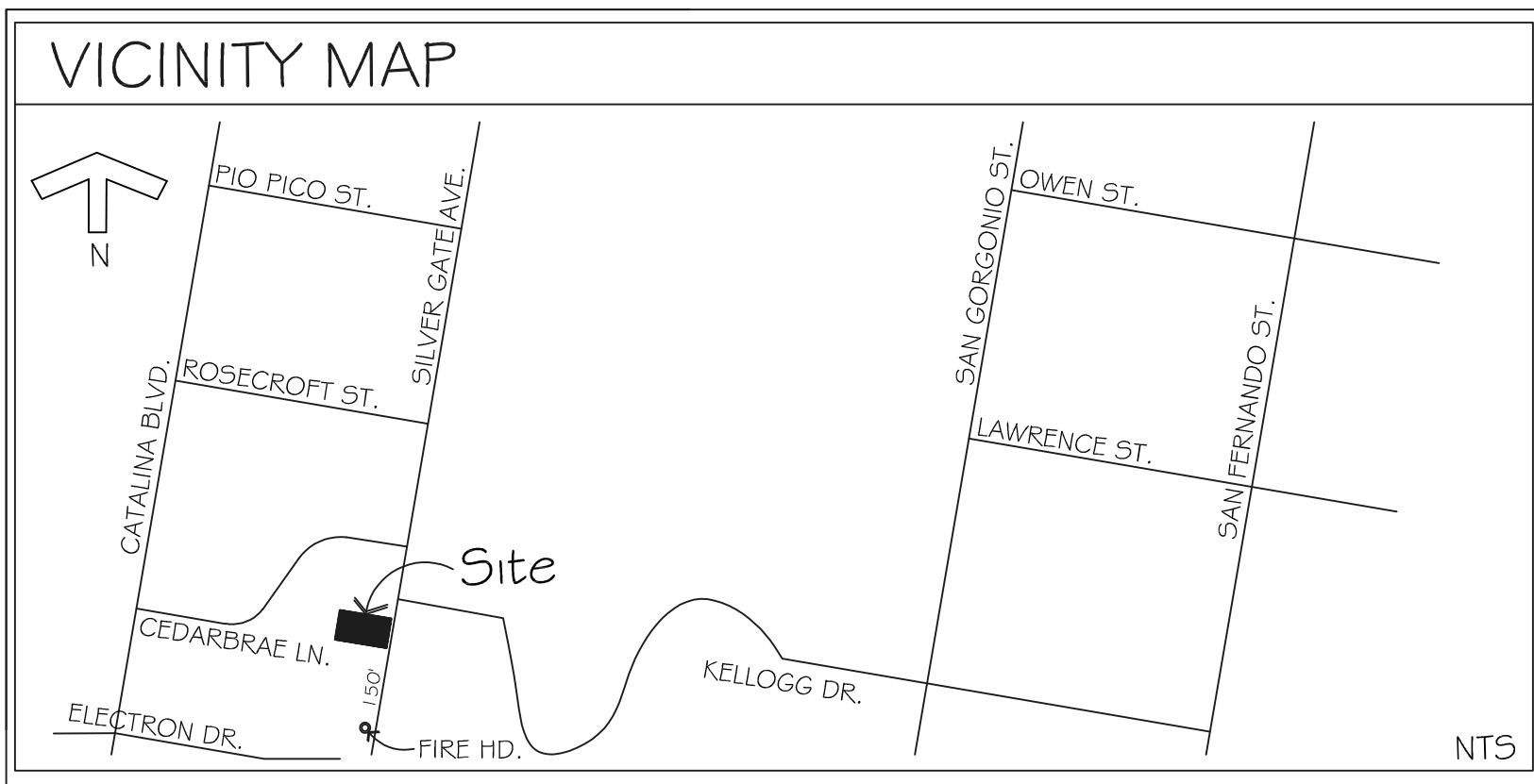
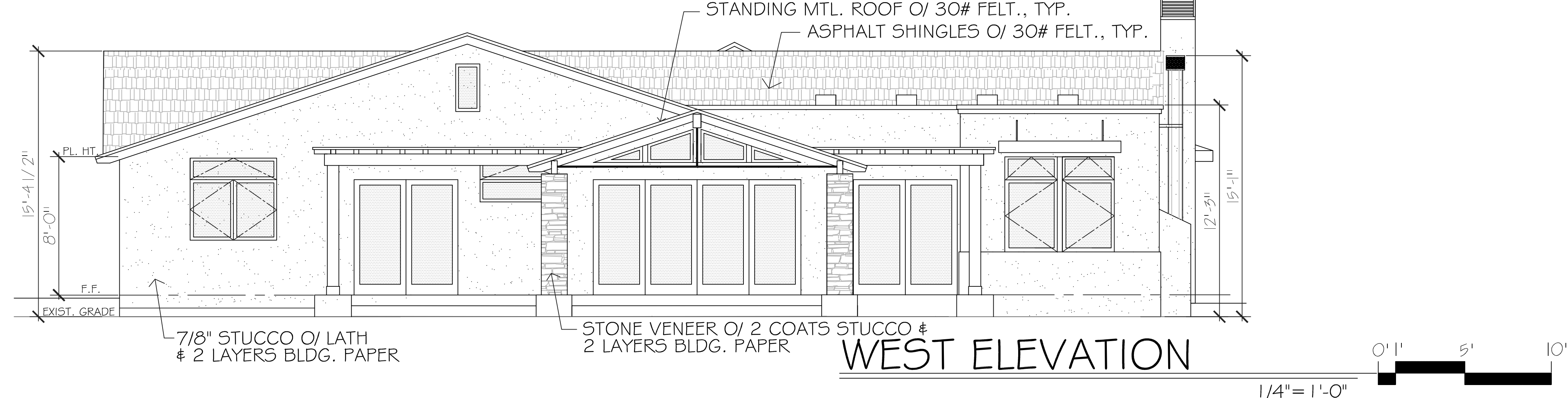
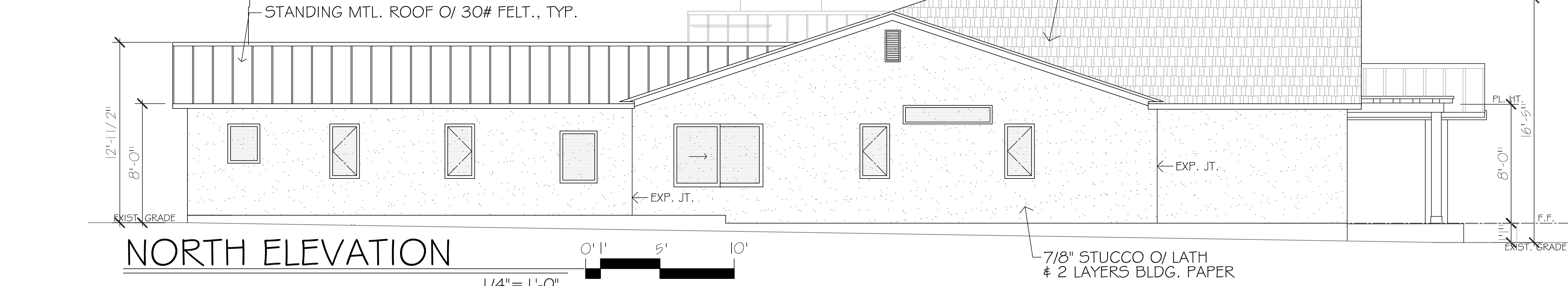
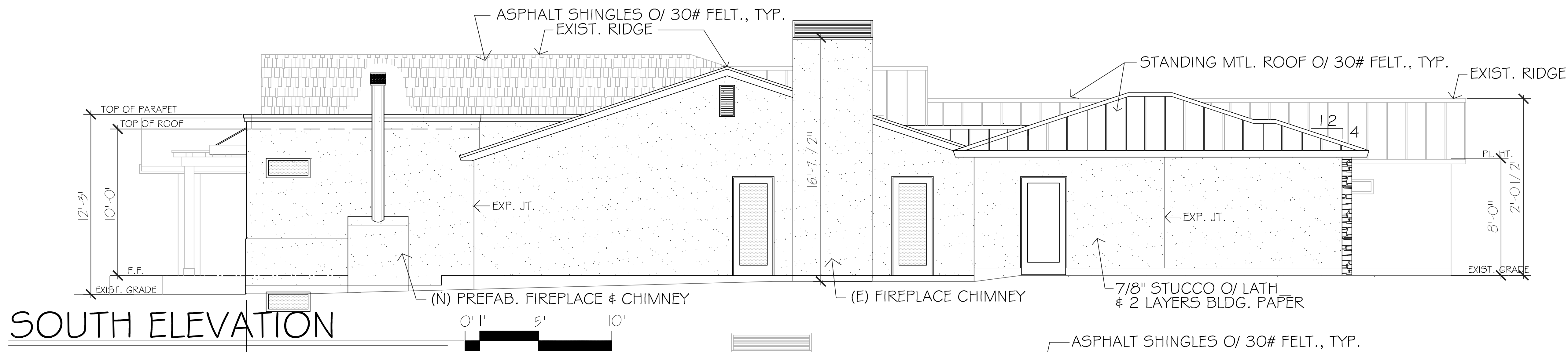
SCALE NOTED

PROJECT SILVERGATE

SHEET

A.3





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ADDRESS:	4583 SARATOGA AVE.	REVISION 11:	
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PROJECT ADDRESS:	376 SILVER GATE AVE.	REVISION 8:	
	SAN DIEGO, CA 92106	REVISION 7:	
PROJECT NAME:	SILVER GATE REMODEL & ADDITION	REVISION 6:	
		REVISION 5:	
		REVISION 4:	
		REVISION 3:	12/5/2024
		REVISION 2:	9/5/2024
		REVISION 1:	6/21/2024
SHEET TITLE:	COASTAL DEVELOPMENT	ORIGINAL DATE:	2/1/2024
	PERMIT	SHEET NO.:	SHEET 5 OF 7
	PROJECT #: PRJ-	DEP#:	

REVISION	DATE

JBS Architect

4583 Saratoga Ave.  
San Diego, Ca 92107  
(858) 603-0264

SILVER GATE REMODEL & ADDITION

376 SILVER GATE AVE.  
SAN DIEGO, CA 92106

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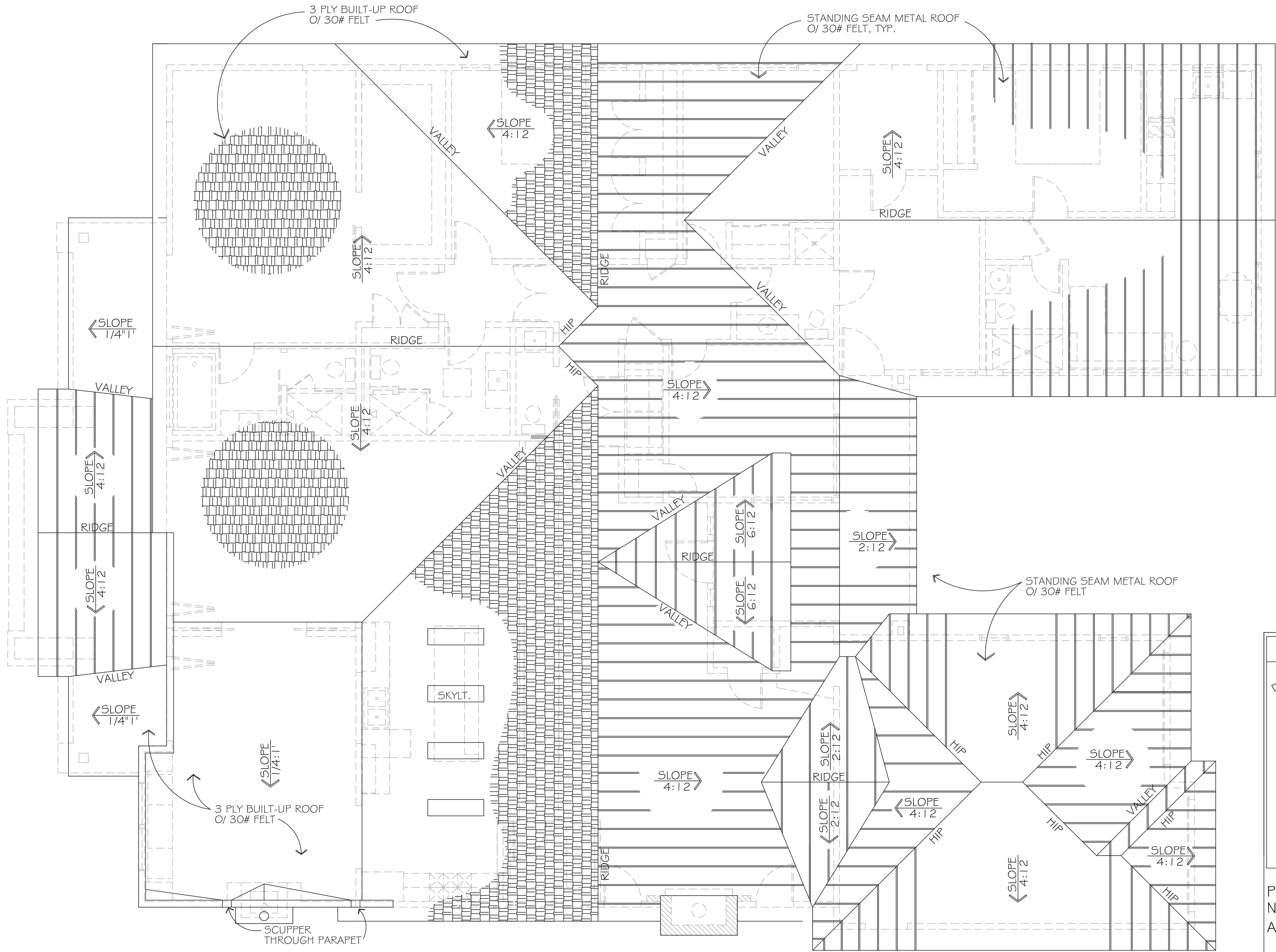
DATE 12/23

SCALE NOTED

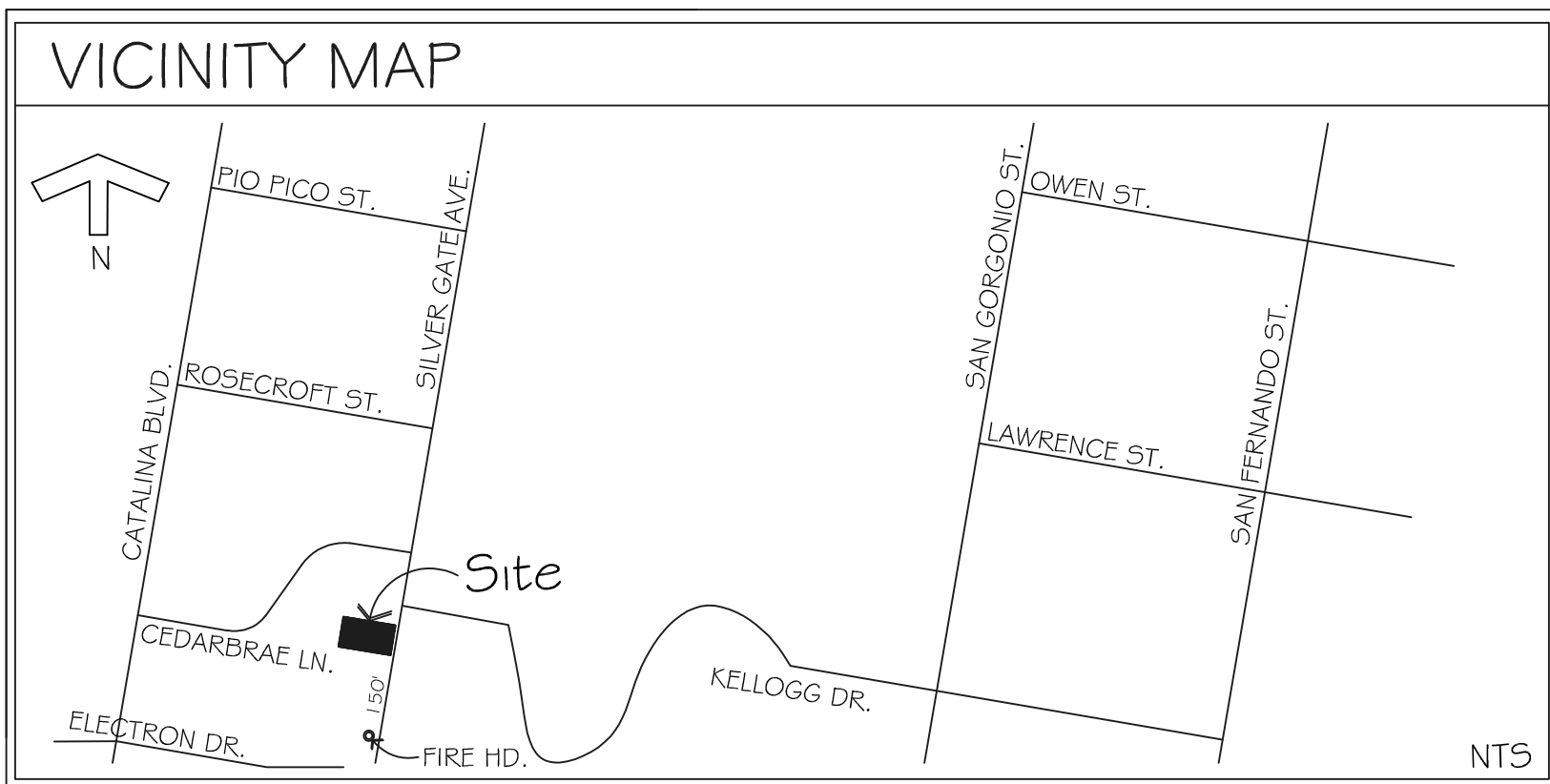
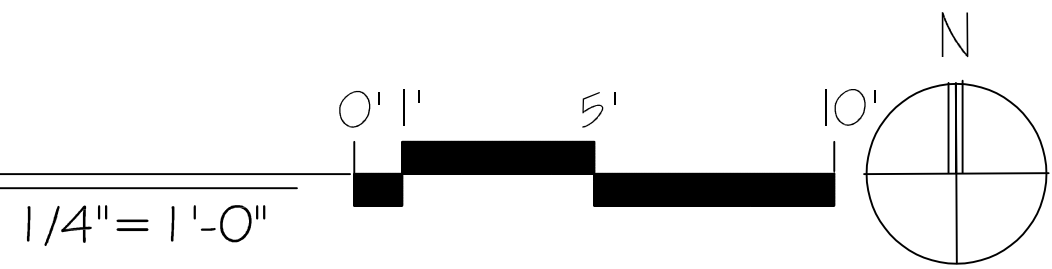
PROJECT SILVERGATE

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A.4



ROOF PLAN



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	PHONE #:	(858)603-0264	REVISION 9:	
	PROJECT ADDRESS:	376 SILVER GATE AVE.	REVISION 8:	
		SAN DIEGO, CA 92106	REVISION 7:	
	PROJECT NAME:	SILVER GATE REMODEL & ADDITION	REVISION 6:	
			REVISION 5:	
			REVISION 4:	
			REVISION 3:	12/5/2024
			REVISION 2:	9/5/2024
			REVISION 1:	6/21/2024
			ORIGINAL DATE:	2/1/2024
SHEET TITLE:	COASTAL DEVELOPMENT	SHEET NO.:	SHEET	6 OF 8
	PERMIT	DEP#:		
	PROJECT #: PRJ-			

REVISION	DATE

JBS Architect

4583 Saratoga Ave.  
San Diego, Ca 92107  
(858) 603-0264

SILVER GATE REMODEL & ADDITION

376 SILVER GATE AVE.  
SAN DIEGO, CA 92106

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DATE	12/23
SCALE	NOTED
PROJECT	SILVERGATE

SHEET

A.5



STORM WATER QUALITY NOTES - CONSTRUCTION BMPs

This project shall comply with all current requirements of the State Permit; California Regional Water Quality Control Board (SDRWQCB), San Diego Municipal Storm Water Permit, The City of San Diego Land Development Code, and the Storm Water Standards Manual.

PRIOR TO ANY SOIL DISTURBANCE EMPORARY SEDIMENT CONTROLS SHALL BE INSTALLED BY THE CONIRACTOR OR QUALIFIED PERSON(S)AS INDICATED BELOW:

1 , ALL REQUIREIVIENTS OF THE CITY OF SAN DIEGO "sTORM WATER STANDARDS MANUAL' MUST BE INCORPORATED INTO THE DESIGN AND CONSTRUCTION OF THE PROPOSED GRADING//IIVPROVEI, IENTs CONSISTENI WITH THE APPROVED STORIV WATER POTLUTION PREVENTION PLAN (SWPPP) AND/OR WATER POLLUTION CONTROL PLAN (WPCP) FOR CONSTRUCTION LEVEL BMPs AND, IF APPLICABLE, THE STORM WAIER QUALITY [,IANAGEI\4ENT PLAN (SwQI\I P) FOR POST.CONSTRUCTION BI'4P5.

2. THE CONTRACTOR SHALL INSTALL AND MAINTAIN ALL STORM DRAIN INLET PROTECTION. INLET PROTECTION IN THE PUBLIC RIGHT.OF-WAY IVUST BE TEMPORARILY REI\4OVED PRIOR TO A RAIN EVENT TO ENSURE NO FLOODING OCCURS AND REINSTALLED AFTER RAIN IS OVER.

3. ALL CONSTRUCTION BIVPS SHALL BE INSTALLED AND PROPERLY MAINTAINED THROUGHOUT THE DURATION OF CONSTRUCTION.

4. THE CONTRACTOR SHALL ONLY GRADE. INCLUDING CLEARING AND GRUBBING, AREAS FOR WHICH THE CONTRACIOR OR QUALIFIED CONTACT PERSON CAN PROVIOE EROSION AND SEDIIVENT CONTROL I\,I EASU R ES.

5. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ALL SUB.CONTRACTORS AND SUPPLIERS ARE AWARE OF ALL STORM WATER BMPs AND IMPLEMENT SUCH I\,4EASURES. FAILURE TO CONI\4PLYWITH THE APPROVED SWPPP/VVPCP WILL RESULT IN THE ISSUANCE OF CORRECTION NOTICES, CITATIONS, CIVIL PENALTIES. AND/OR STOP WORK NOTICES.

6. THE CONTRACTOR OR QUALIFIED CONTACT PERSON SHALL BE RESPONSIBLE FOR CLEANUP OF ALL SILT. DEBRIS, AND MUD ON AFFECTED AND ADJACENT STREEI(S)AND WITHIN STORIV DRAIN SYSTEI\,4 DUE TO CONSTRUCTION VEHICLES/EQUIPMENT AND CONSTRUCTION ACTIVIry AT THE END OF EACH WORK DAY.

7. THE CONIRACTOR SHALL PROJECT NEWAND EXISTING STORM WATER CONVEYANCE SYSTEMs FROM SEDII\,4 ENTATION, CONCRETE RIN5E, OR OIHER CONSTRUCTION.RELATED DTBRIS AND DISCHARGES WITH THE APPROPRIATE BI\IPS THA-T ARE ACCEPTABLE TO THE CIry RESIDENT ENGINEER AND AS INDICATED IN THE SWPPP/VVPCP

8. THE CONTRACTOR OR QUALIFIED CONTACT PERSON SHALL CLEAR DEBRIS, SILT, AND MUD FROIV ALL DITCHES AND SWALES PRIOR TO AND WITHIN 3 BUSINESS DAYS AFTER EACH RAIN EVENI OR PRIOR TO THE NEXT RAIN EVENT, WHICHEVER IS SOONER.

9. IF A NON-STORIV WAIER DISCHARGE LEAVES TI.IE SITE, THE CONTRACTOR SHALL IMMEDIATELY STOP THE ACTIVIry ANO REPAIR THE DAMAGES, THE CONTRACTOR SHALL NOTIFY THE CITY RESIDENT ENGINEER OF THE DISCHARGE, PRIOR TO RESUMING CONSTRUCTION ACTIVIW, ANY AND AEL WASTE MATERIAL, SEDIIVENT, AND DEBRIS FROM EACH NON-STORM WATER DISCHARGE SHALL BE REMOVED FROM THE STORM DRAIN CONVEYANCE SYSTEI\,4 AND PROPERLY DISPOSED OF BY THE CONTRACTOR.

10. EQUIPMENTAND WORKERS FOR EIVIERGENCY WORK SHALL BE f\IADE AVAILAELE ATALL TIMES. ALL NECESSARY IVIATERIALS SHALL BE STOCKPILED ONSITE AI CONVENIENT LOCATIONS TO FACILITAIIE RAPID DEPLOYIVENT OF CONSTRUCTION BMPs WHEN RAIN IS il\,4MINENT.

11 . THE CONTRACTOR SHALL RESTORE AND MAINTAIN ALL EROSION AND SEDIIVENT CONTROL BI\,IPS TO WORKING ORDER YEAR-ROUND.

12. THE CONTRACTOR SHALL INSTALL ADDITIONAL EROSION AND SEDIMENT CONTROL IVEASURES DUE TO UNFORESEEN CIRCUN.4SIANCES TO PREVENT NON.STORM WATER AND SEDIMENT-LADEN DISCHARGES.

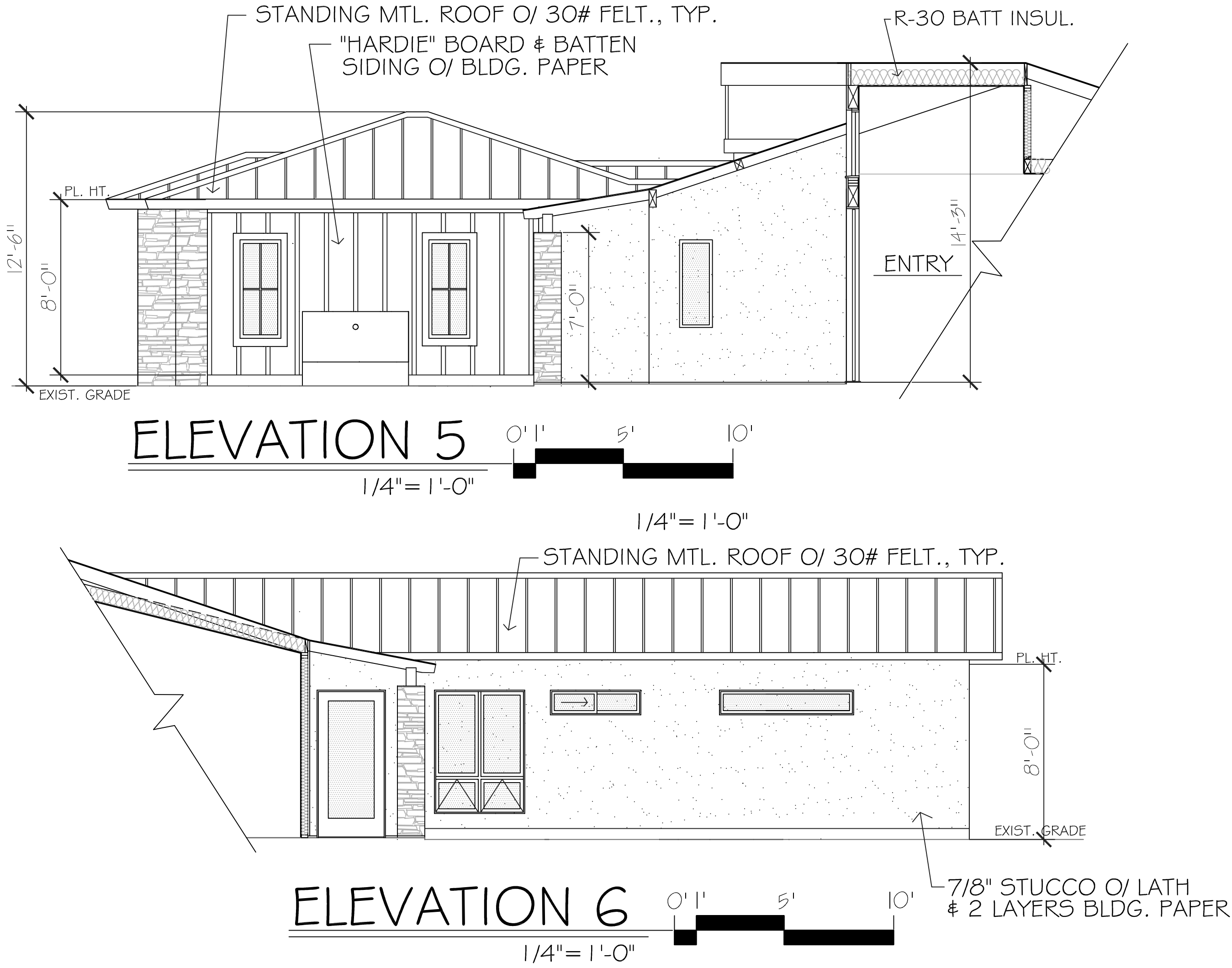
13. THE CONTRACTOR SHALL BE RESPONSIBLE AND SHALL TAKE NECESSARY PRECAUTIONS TO PREVENT PUBLIC TRESPASS ONTO AREAS WHERE IMPOUNDED WATERS CREATE A HAZARDOUS CONDITION.

14. ALL EROSION AND SEDII\,IENI CONTROL I\,4 EASURES PROVIDED PER THE APPROVED SWPPP/WPCP SHALL BE INSTALLED AND I\4AINTAINED. ALL EROsION AND SEDIIVENT CONTROLS FOR INTERIM CONDITIONS SHALL BE PROPERLY DOCUMENTED AND INSTALLED TO THE SATISFACTION OF THE CITY RESIDENT ENGINEER.

15. AS NECESSARY, THE CITY RESIDENT ENGINEER SHALL SCHEDULE MEEIINGS FOR THE PROJECT TEAM (GENERAL CONIRACTOR, QUALIFIED CONTACT PERSON, EROSION CONTROL SUBCONTRACTOR IF ANY, ENGINEER OF WORK, OWN ER/DEVELOPER, AND THE CITY RESIDENT ENGINEER) TO EVALUATE THE ADEQUACY OF THE EROSION AND SEDIMENTI CONIROL I\4EASURES AND OTHER 8f\I P5 RELATIVE TO ANTICI PAIED CONSTRUCTION ACTIVITI ES.

16. THE CONTRACTOR OR QUALIFIED CONTACT PERSON SHALL CONDUCT VISUAL INSPECTIONS AND MAINTAIN ALL BMPs DAILY AND AS NEEDED. VISUAL INSPECTIONS AND I\,4AINTENANCE OF ALL BMPs SHALL BE CONDUCTED BEFORE, DURING, AND AFTER EVERY RAIN EVENT AND EVERY 24 HOURS DURING ANY PROLONGED RAIN EVENT. THE CONTRACTOR SHALL I\4AINTAIN AND REPAIRALL BMPs AS SOON AS POSSIBLE AS SAFEW ALLOWS.

17, CONSTRUCTION ENTRANCE ANO EXIT AREA. IE[,IIPORARY CONSTRUCTION ENTRANCE AND EXITS SHALL BE CONSTRUCTED IN ACCORDANCE WITH CASQA FACT SHEETI-C I OR CATTRANS FACT SHEET TC.O I IO PREVENT TRACKING OF SEDIMENT AND OTHER POTENTIAL POLLUTANTS ONTO PAVED SURFACES AND TRAVELED WAYS. WIDTH SHALL BE I O'OR THE IMININ,'IUM NECESSARY TO ACCOMI\IIODATE VEHICLES AND EQUIPMENT WITHOUT BY-PASSING THE ENIRANCE. (A) NON.STORIM WATER DISCHARGES SHALL BE EFFECTIVELY I\IANAGED PER THE SAN DIEGO N4UNICIPAL CODE CHAPTER 4, ARTICLE 3, DIVISION 3 "STORN,I WATER MANAGEI\,4ENT AND DISCHARGE CONTROL.



VICINITY MAP

PREPARED BY:

NAME: JBS ARCHITECT

ADDRESS: 4583 SARATOGA AVE.  
SAN DIEGO, CA 92107

PHONE #: (858)603-0264

PROJECT ADDRESS:

376 SILVER GATE AVE.  
SAN DIEGO, CA 92106

PROJECT NAME:

SILVER GATE REMODEL &  
ADDITION

SHEET TITLE:

COASTAL DEVELOPMENT  
PERMIT  
PROJECT #: PRJ-

REVISION 12: \_\_\_\_\_

REVISION 11: \_\_\_\_\_

REVISION 10: \_\_\_\_\_

REVISION 9: \_\_\_\_\_

REVISION 8: \_\_\_\_\_

REVISION 7: \_\_\_\_\_

REVISION 6: \_\_\_\_\_

REVISION 5: \_\_\_\_\_

REVISION 4: \_\_\_\_\_

REVISION 3: 12/5/2024

REVISION 2: 9/5/2024

REVISION 1: 6/21/2024

ORIGINAL DATE: 2/11/2024

SHEET NO.: SHEET 7 OF 8

DEP#: \_\_\_\_\_

REVISION	DATE

JBS Architect

4583 Saratoga Ave.  
San Diego, Ca 92107  
(858) 603-0264

SILVER GATE REMODEL & ADDITION

376 SILVER GATE AVE.  
SAN DIEGO, CA 92106

DRAWN JBS

DATE 12/23

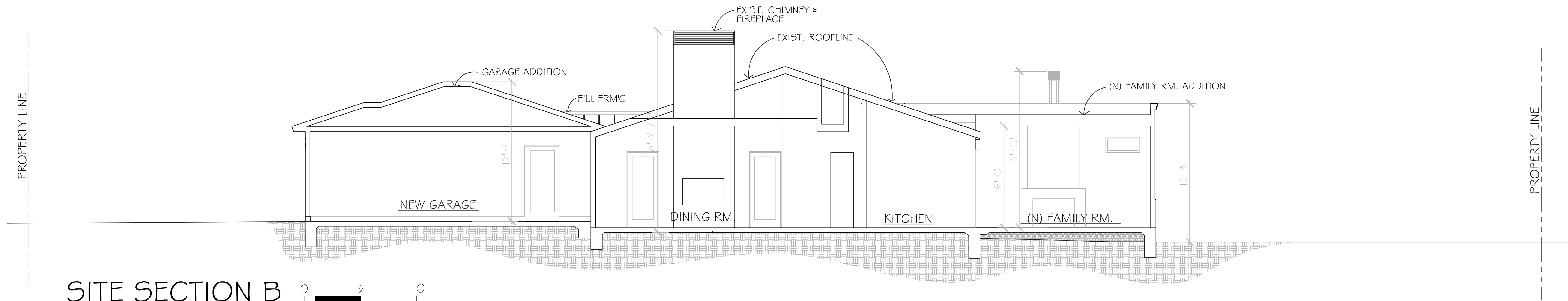
SCALE NOTED

PROJECT SILVERGATE

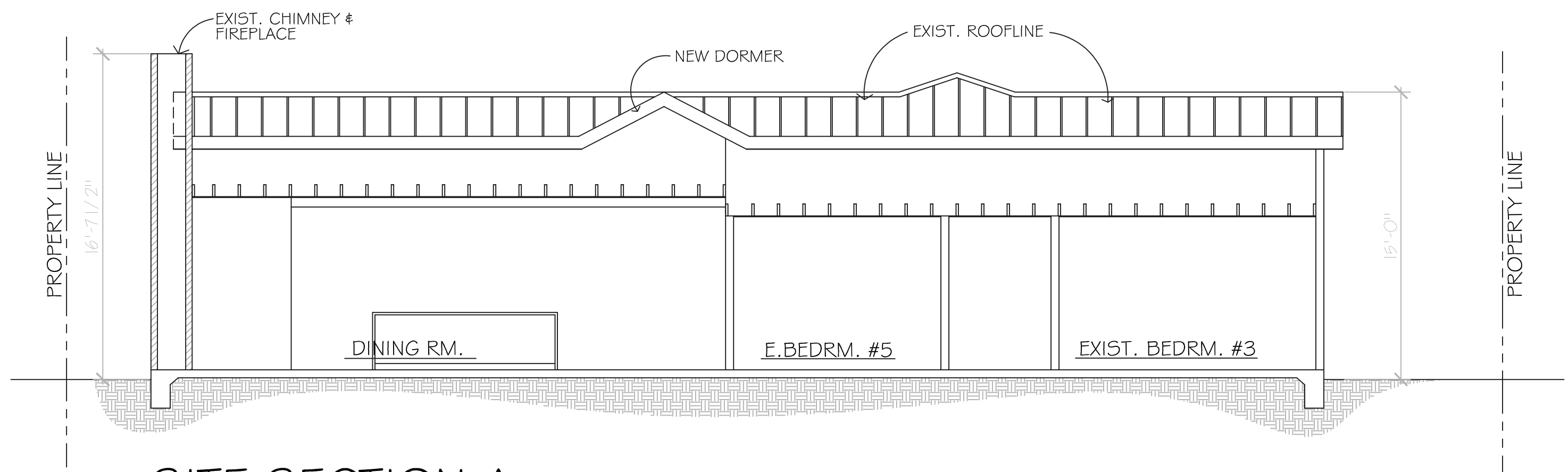
SHEET

A.6

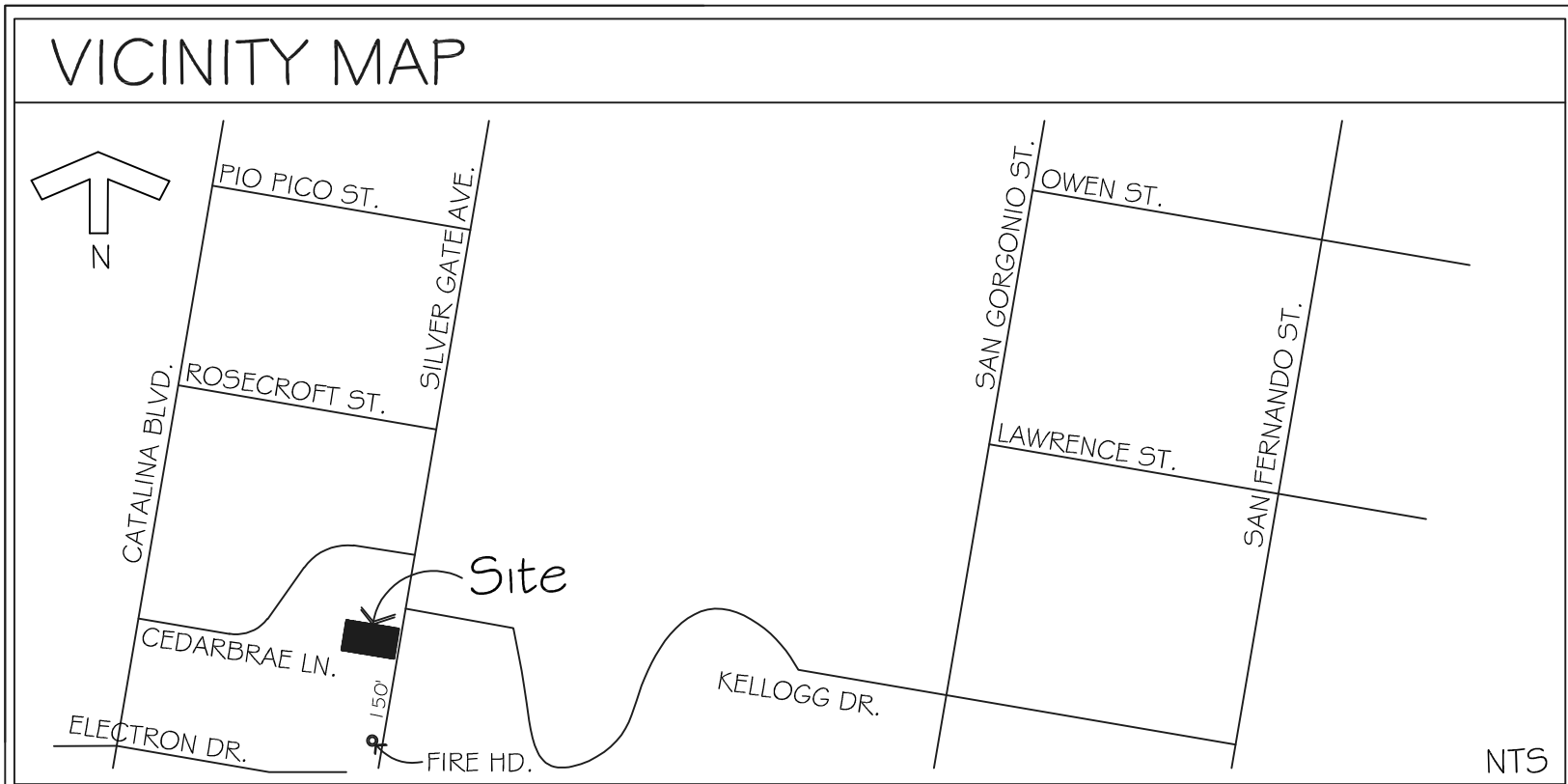




SITE SECTION B  
3/16"=1'-0"



SITE SECTION A  
3/16"=1'-0"



PREPARED BY:	REVISION 12:
NAME: JBS ARCHITECT	REVISION 11:
ADDRESS: 4583 SARATOGA AVE.	REVISION 10:
SAN DIEGO, CA 92107	REVISION 9:
PHONE #: (858)603-0264	REVISION 8:
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376 SILVER GATE AVE.	REVISION 6:
SAN DIEGO, CA 92106	REVISION 5:
PROJECT NAME:	REVISION 4:
SILVER GATE REMODEL &	REVISION 3: 12/5/2024
ADDITION	REVISION 2: 9/5/2024
	REVISION 1: 6/21/2024
SHEET TITLE:	ORIGINAL DATE: 2/1/2024
COASTAL DEVELOPMENT	SHEET NO.: SHEET 8 OF 8
PERMIT	DEP#:
PROJECT #: PRJ-	

REVISION	DATE

JBS Architect

4583 Saratoga Ave.  
San Diego, Ca 92107  
(858)603-0264

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SHEET A.7