



THE CITY OF SAN DIEGO

## Report to the Hearing Officer

DATE ISSUED: April 30, 2025 REPORT NO. HO-25-019

HEARING DATE: May 7, 2025

SUBJECT: Reynold Residence, Process Three Decision

PROJECT NUMBER: [PRJ-1067750](#)

OWNER/APPLICANT: Reynolds Family Trust/RM-Use, LLC

### SUMMARY

Issue: Should the Hearing Officer approve a Coastal Development Permit and Neighborhood Development Permit to remodel an existing duplex, demolish an existing garage, and construct a new 322-square-foot garage with a 377-square-foot roof deck located [825 Rockaway Court](#) within the Mission Beach Precise Plan and Local Coastal Program?

### Staff Recommendation:

1. APPROVE Coastal Development Permit No. [PMT-3193078](#) and Neighborhood Development Permit No. [PMT-3335126](#).

Fiscal Considerations: None. The applicant funds a deposit account that recovers all costs associated with processing the application.

Code Enforcement Impact: On June 17, 2021, August 2, 2021, and August 20, 2021, violations were observed at the property and must be corrected. The civil penalty notice and order outlining the violations was mailed on August 26, 2021, outlining the violations which consist of remodeling an existing dwelling, demolishing a garage, and building a new garage with a roof deck without first obtaining the required permits and inspection approvals. The violations and the relevant code sections can be seen on Attachment 8. The following civil penalty will be removed by the Code Enforcement Division upon approval and final inspection of all relevant permits.

Community Planning Group Recommendation: The applicant requested to present to the Mission Beach Precise Planning Board, however the Board declined a presentation and did not provide a recommendation.

Environmental Impact: On February 7, 2025, the City of San Diego, as Lead Agency, through the Development Services Department, made and issued an Environmental Determination that the

project is exempt from the California Environmental Quality Act (CEQA) (Public Resources Code Section 21000 et seq.) under CEQA Guidelines Section 15302, Replacement or Reconstruction, and 15303(b), New Construction or Conversion of Small Structures and no appeals of that determination were made.

## BACKGROUND

The 0.04-acre site contains an existing duplex. The site is located at 825 Rockaway Court (Attachment 1) within the Mission Beach Precise Plan and Local Coastal Program (MBPP), which designates the site and surrounding area as residential with an allowed density of up to 36 dwelling units per acre, characterized as medium residential with a goal to promote a mix of housing types and styles. The site is zoned MBPD-R-N (Mission Beach Planned District Residential North) and is within the First Public Road, Coastal Height Limit Overlay Zone, the Coastal Overlay Zone (Appealable Area), and the Parking Impact Overlay Zone. The project site is a rectangular lot surrounded by residential development within a fully developed neighborhood and is approximately 737 feet from the Pacific Ocean and 250 feet from Mission Bay.

## DISCUSSION

### Project Description:

The project proposes an interior remodel of the existing duplex and the demolition of the existing garage, which will be replaced with a new 322-square-foot garage with a 377-square-foot roof deck.

- A Coastal Development Permit (CDP) per San Diego Municipal Code (SDMC) Section [126.0702\(a\)](#), is required for development within the appealable area of the Coastal Overlay Zone. Approval of the CDP shall require the findings in SDMC section [126.0708\(a\)](#).
- A Neighborhood Development Permit (NDP) per San Diego Municipal Code (SDMC) section [127.0104\(b\)](#), is required for maintenance, repair, alteration, or replacement of a structure with a previously conforming structural envelope for proposed development that requires a Coastal Development Permit. Approval of an NDP shall require the findings in SDMC section [126.0404\(a\)](#).

The two required permits are consolidated for a decision by the Hearing Officer, with appeal rights to the Planning Commission, per SDMC section [112.0103](#), and to the [California Coastal Commission](#).

The purpose of the MBPD-R-N zone is to ensure small scale and low profile. The project site is allowed approximately 36 dwelling units per net residential acre as outlined in the Mission Beach Community Plan. The existing duplex and garage, as proposed, are consistent with the character of the existing residential zone as they are not changing uses or adding additional units. The project height is 12 feet and six inches, which is below the 30-foot coastal height limit. In addition to the structure conforming to the allowable height, previously conforming density and setbacks, the reconstruction does not increase the structural size and therefore the project is consistent with the character and scale of the existing residential neighborhood and zone.

The project, as designed, does not require and is not requesting any deviations from the development regulations, and with the NDP, the project maintains previously conforming rights to the front, street side, and interior side setbacks. The project conforms to all applicable regulations and policy documents and is consistent with the recommended land use designation, design guidelines, and development standards of the underlying zone in effect for this site, including but not limited to the 30-foot coastal development height limit. The setbacks of the garage are not in conformance with the current requirements; however, as the garage is previously conforming and is a replacement, this is allowed per the San Diego Municipal Code section 127.0102(a) General Rules for Previously Conforming Premises and Uses.

The Mission Beach Precise Plan outlines the goal of the continuation of the existing medium-density character of Mission Beach, exemplified by the overall low profile and random mix of housing types and styles outlined on [page 13](#). The project meets this goal by not changing the existing medium-density character nor altering the density of the site. The Mission Beach Precise Plan also has the goal of enhancing the overall quality of the physical environment in Mission Beach outlined on page 13. The project will meet this goal by providing an updated structure that will meet the requirements of the California Residential Building Code.

#### Conclusion:

Staff has determined that the project is consistent with the MBPP and regulations of the Land Development Code, as described above. Staff has provided draft findings and conditions to support approval of the project (Attachments 4 and 5) and recommends that the Hearing Officer approve the project as proposed.

#### ALTERNATIVES

1. Approve Coastal Development Permit No. PMT-3193078 and Neighborhood Development Permit No. PMT-3335126, with modifications.
2. Deny Coastal Development Permit No. PMT-3193078 and Neighborhood Development Permit No. PMT-3335126, if the findings required to approve the project cannot be affirmed.

*Christian Hoppe*

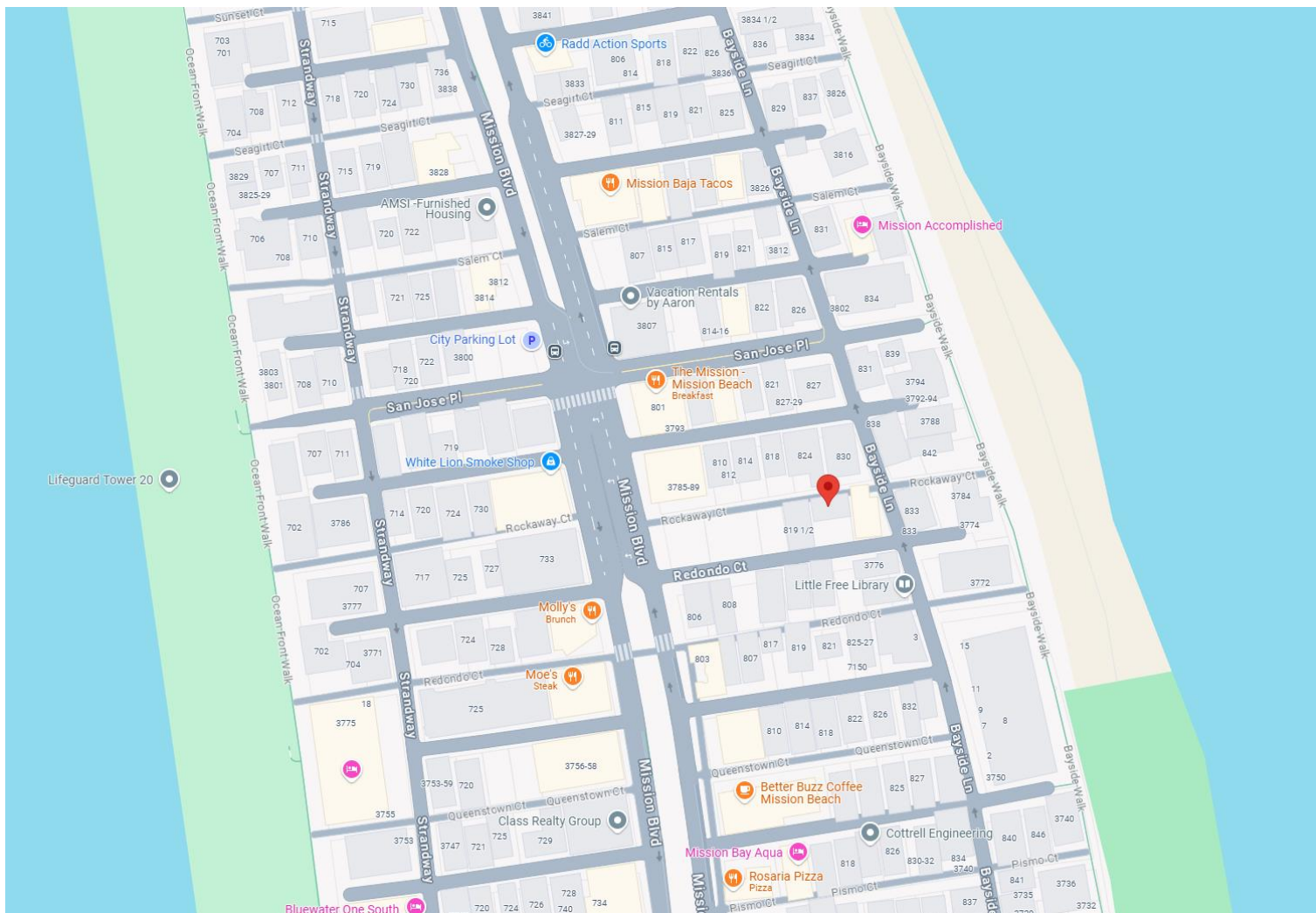
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Christian Hoppe  
Development Project Manager  
Development Services Department

#### Attachments:

1. Project Location Map
2. Community Plan Land Use Map

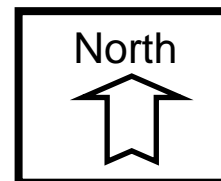
3. Aerial Photograph
4. Draft Permit with Conditions
5. Draft Resolution with Findings
6. CEQA Exemption
7. Ownership Disclosure Statement
8. Civil Penalty Notice and Order
9. Project Plans

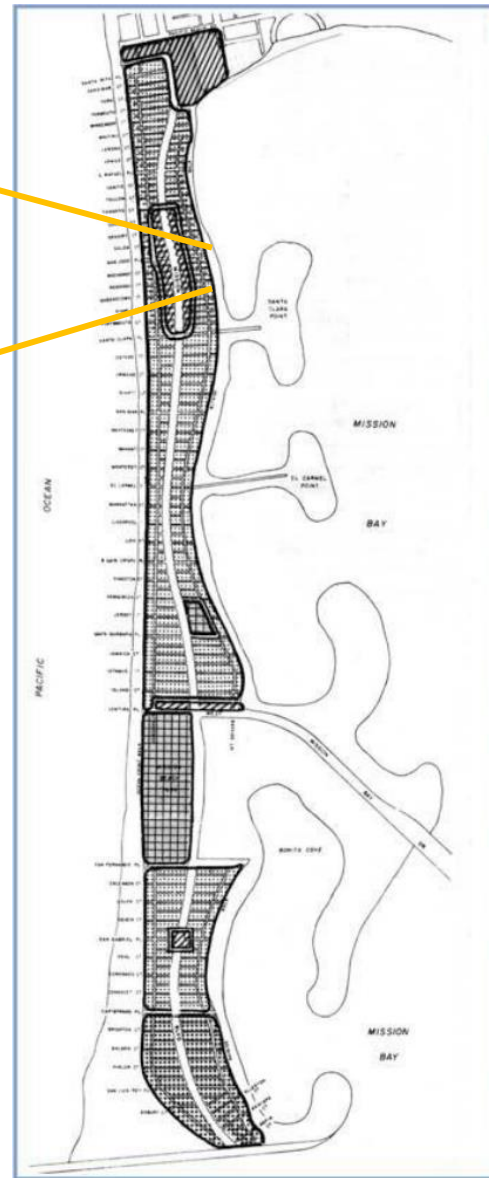
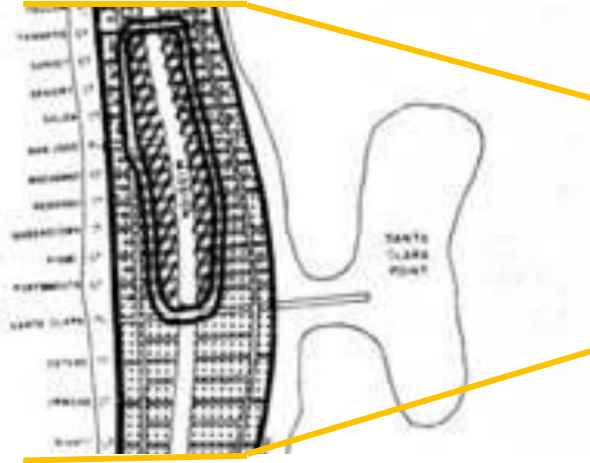


## Project Location Map

Reynold Residence, CDP-NDP

Project No. 1067750 – 825 Rockaway Court

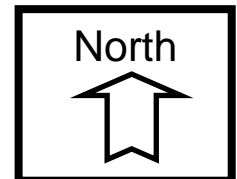




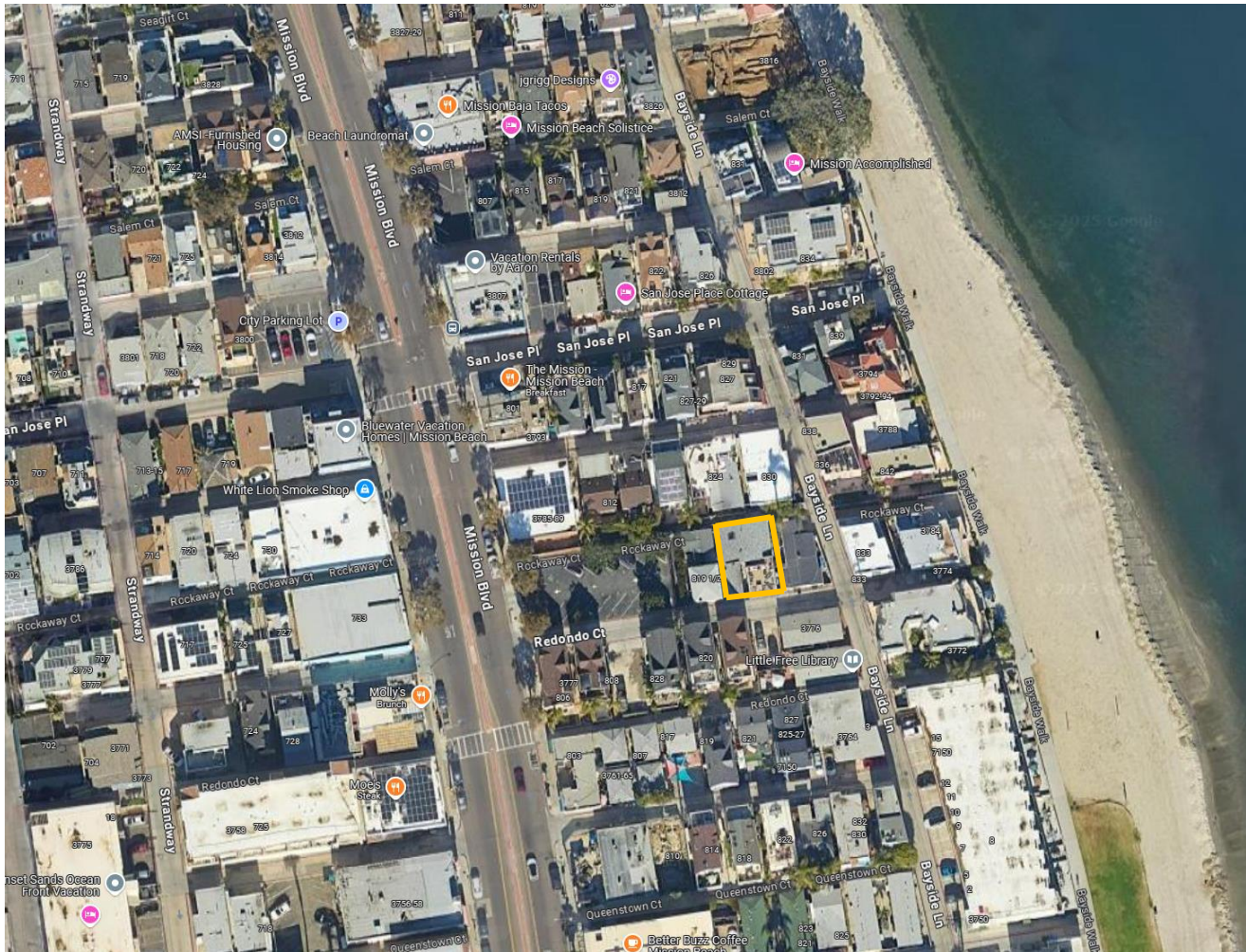
## Community Plan Land Use Map

Reynold Residence, CDP-NDP

Project No. 1067750 – 825 Rockaway Court

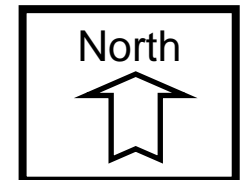






## Aerial Photograph

Reynold Residence, Coastal Development Permit & Neighborhood Development Permit  
Project No. 1067750 – 825 Rockaway Court



**RECORDING REQUESTED BY**  
CITY OF SAN DIEGO  
DEVELOPMENT SERVICES  
PERMIT INTAKE, MAIL STATION  
501

**WHEN RECORDED MAIL TO**  
**PROJECT MANAGEMENT**  
**PERMIT CLERK**  
**MAIL STATION 501**

INTERNAL ORDER NUMBER:24009354

SPACE ABOVE THIS LINE FOR RECORDER'S USE

COASTAL DEVELOPMENT PERMIT NO. PMT-3193078  
NEIGHBORHOOD DEVELOPMENT PERMIT NO. PMT-3335126  
**REYNOLDS RESIDENCE - PROJECT NO. PRJ-1067750**  
HEARING OFFICER

This Coastal Development Permit No. PMT-3193078 and Neighborhood Development Permit No. PMT-3335126 is granted by the Hearing Officer of the City of San Diego to RONALD L. REYNOLDS AND JACQUELINE S. REYNOLDS, TRUSTEES OF THE REYNOLDS FAMILY TRUST DATED JUNE 21, 2001, AS TO AN UNDIVIDED 79% INTEREST AND RM-USE, LLC, A CALIFORNIA LIMITED LIABILITY COMPANY, AS TO AN UNDIVIDED 21% INTEREST AS TENANTS IN COMMON, Owners/Permittees, pursuant to San Diego Municipal Code [SDMC] sections 126.0708 and 126.0404. The 0.04-acre site is located at 825 Rockaway Court in the MBPD-R-N zone, the Public First, Road Coastal Height Limit Overlay Zone, the Coastal Overlay Zone (Appealable Area), and the Parking Impact Overlay Zone within the Mission Beach Precise Plan and Local Coastal Program. The project site is legally described as: THE WESTERLY ONE HALF OF LOT B AND ALL OF LOT C IN BLOCK 192 OF MISSION BEACH, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO THE MAP THEREOF NO. 1651, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, DECEMBER 14, 1914.

Subject to the terms and conditions set forth in this Permit, permission is granted to Owners/Permittees to remodel an existing duplex, demolish an existing garage, and construct a new 322-square-foot garage with a 377-square-foot roof deck as described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated May, 7 2025, on file in the Development Services Department.

The project shall include:

- a. An interior remodel of the existing duplex consisting of 1,076 square feet,
- b. Demolition of the existing garage,
- c. Construction of a new 322-square-foot garage with a 377-square-foot roof deck,
- d. Off-street parking,



- e. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act [CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

**STANDARD REQUIREMENTS:**

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36-month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by May 21, 2028.
2. This Coastal Development Permit shall become effective on the eleventh working day following receipt by the California Coastal Commission of the Notice of Final Action, or following all appeals.
3. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
  - a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
  - b. The Permit is recorded in the Office of the San Diego County Recorder.
4. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.
5. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.
6. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
7. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).
8. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements

may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.

9. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.

10. All of the conditions contained in this Permit have been considered and were determined necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

11. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

**ENGINEERING REQUIREMENTS:**

12. The Owner/Permittee shall remove all existing private improvements from Rockaway Court's public right-of-way. All future private improvements within the public right-of-way will require an Encroachment Maintenance and Removal Agreement subject to the approval of the City Engineer.

13. Prior to the issuance of any construction permit, the Owner/Permittee shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be prepared in accordance with the guidelines in Part 2, Construction BMP Standards, Chapter 4 of the City's Storm Water Standards.

**PLANNING/DESIGN REQUIREMENTS:**

14. The automobile, motorcycle and bicycle parking spaces must be constructed in accordance with the requirements of the SDMC. All on-site parking stalls and aisle widths shall be in compliance with requirements of the City's Land Development Code and shall not be converted and/or utilized for any other purpose, unless otherwise authorized in writing by the appropriate City decision maker in accordance with the SDMC.

15. A topographical survey conforming to the provisions of the SDMC may be required if it is determined, during construction, that there may be a conflict between the building(s) under construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Owner/Permittee.

16. All private outdoor lighting shall be shaded and adjusted to fall on the same premises where such lights are located and in accordance with the applicable regulations in the SDMC.

**INFORMATION ONLY:**

- The issuance of this discretionary permit alone does not allow the immediate commencement or continued operation of the proposed use on site. Any operation allowed by this discretionary permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Hearing Officer of the City of San Diego on May 7, 2025, and [Approved Resolution Number].

**ATTACHMENT 04**

COASTAL DEVELOPMENT PERMIT NO. PMT-3193078  
NEIGHBORHOOD DEVELOPMENT PERMIT NO. PMT-3335126  
Date of Approval: May 7, 2025

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES DEPARTMENT

\_\_\_\_\_  
Christian Hoppe  
Development Project Manager

**NOTE: Notary acknowledgment  
must be attached per Civil Code  
section 1189 et seq.**

\_\_\_\_\_  
**The undersigned Owner/Permittee**, by execution hereof, agrees to each and every condition of  
this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

**Reynolds Family Trust dated June 21, 2001**  
Owner/Permittee

By \_\_\_\_\_  
NAME  
TITLE

**RM-USE, LLC, a California Limited Liability  
Company**  
Owner/Permittee

By \_\_\_\_\_  
NAME  
TITLE

**NOTE: Notary acknowledgments  
must be attached per Civil Code  
section 1189 et seq.**

HEARING OFFICER RESOLUTION NO. \_\_\_\_\_  
COASTAL DEVELOPMENT PERMIT NO. PMT-3193078  
NEIGHBORHOOD DEVELOPMENT PERMIT NO. PMT-3335126  
**REYNOLDS RESIDENCE PROJECT NO. 1067750**

WHEREAS, RONALD L. REYNOLDS AND JACQUELINE S. REYNOLDS, TRUSTEES OF THE REYNOLDS FAMILY TRUST DATED JUNE 21, 2001, AS TO AN UNDIVIDED 79% INTEREST AND RM-USE, LLC, A CALIFORNIA LIMITED LIABILITY COMPANY, AS TO AN UNDIVIDED 21% INTEREST AS TENANTS IN COMMON, Owners/Permittees, filed an application with the City of San Diego for a permit to remodel an existing duplex, demolish an existing garage, and construct a new 322-square-foot garage with a 377-square-foot roof deck (as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Permit No. PMT-3193078 and Permit No. PMT-3335126, on portions of a 0.04-acre site;

WHEREAS, the project site is located at 825 Rockaway Court in the MBPD-R-N zone, the Coastal Height Limit Overlay Zone, the Coastal Overlay Zone (Appealable Area), and the Parking Impact Overlay Zone within the Mission Beach Precise Plan and Local Coastal Program;

WHEREAS, the project site is legally described as THE WESTERLY ONE HALF OF LOT B AND ALL OF LOT C IN BLOCK 192 OF MISSION BEACH, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO THE MAP THEREOF NO. 1651, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, DECEMBER 14, 1914.

WHEREAS, on February 7, 2025, the City of San Diego, as Lead Agency, through the Development Services Department, made and issued an Environmental Determination that the project is exempt from the California Environmental Quality Act (CEQA) (Public Resources Code Section 21000 et seq.) under CEQA Guidelines section 15302, Replacement or Reconstruction, and section 15303(b), New Construction or Conversion of Small Structures; and there was no appeal of



the Environmental Determination filed within the time period provided by San Diego Municipal Code Section 112.0520;

WHEREAS, on May 7, 2025, the Hearing Officer of the City of San Diego considered Coastal Development Permit No. PMT-3193078 and Neighborhood Development Permit No. PMT-3335126 pursuant to the Land Development Code of the City of San Diego; NOW, THEREFORE,

BE IT RESOLVED by the Hearing Officer of the City of San Diego, that it adopts the following findings with respect to Coastal Development Permit No. PMT-3193078 and Neighborhood Development Permit PMT-3335126.

**A. Coastal Development Permit [SDMC Section 126.0708]**

**1. Findings for all Coastal Development Permits:**

- a. The proposed coastal development will not encroach upon any existing physical accessway that is legally used by the public or any proposed public accessway identified in a Local Coastal Program land use plan, and the proposed coastal development will enhance and protect public views too and along the ocean and other scenic coastal areas as specified in the Local Coastal Program land-use plan.**

The 0.04-acre site is located at 825 Rockaway Court and contains an existing duplex. The project proposes an interior remodel of the existing duplex, the demolition of the existing garage, and construction of a new 322-square-foot garage with a 377-square-foot roof deck.

The project site is a rectangular lot bordered by residential development on all four sides and lies between Rockaway Court and Redondo Court in a fully developed residential neighborhood within the Mission Beach Community Planning Area and subject to the Mission Beach Precise Plan and Local Coastal Program (MBPP).

The site is approximately 737 feet from the Pacific Ocean and 250 feet from Mission Bay. The Visual Resources and Special Communities Element of the MBPP page 14 states, "Views to, and along the shoreline from public areas shall be protected from blockage by development and or vegetation."

Physical access and public views to the Pacific Ocean and Mission Bay exist along the Rockaway Court pedestrian accessway. Access and views along Redondo Court towards the Pacific Ocean and the bay are obstructed by existing development at either end of the right-of-way.

The development is entirely within the boundaries of privately owned property and will not encroach upon any existing physical accessway that is legally used by the public or any proposed physical accessway.

The existing duplex will remain consistent with the MBPP goal of the continuation of medium-density character and the new garage will be built to the updated requirements of the California Residential Building Code. Additionally, the highest point of the residence will be 12 feet and six inches which is below the 30-foot coastal height limit. The project design incorporates elements that contribute to the reduction of the bulk and scale of the structure including having the garage detached from the house and is in conformance with the height limit.

The project as designed does not require and is not requesting any deviations from the development regulations. The project is in conformance with all applicable regulations and policies of the underlying zone in effect for this site. Therefore, the project will not encroach upon any existing physical accessway that is legally used by the public or any proposed public accessway identified in the Local Coastal Program land use plan and the proposed coastal development will enhance and protect public views to and along the ocean and other scenic coastal areas as specified in the Local Coastal Program land use plan.

**b. The proposed coastal development will not adversely affect environmentally sensitive lands.**

The project site is a rectangular lot bordered by residential development on all four sides and lies between Rockaway Court and Redondo Court in a fully developed residential neighborhood.

The project site does not contain nor is adjacent to any environmentally sensitive lands as defined in the San Diego Municipal Code (SDMC) Section 113.0103. The project site does not contain, nor is it adjacent to, Multi-Habitat Planning Area (MHPA)-designated lands of the City of San Diego's (City) Multiple Species Conservation Program. The proposed coastal development is not located within a coastal bluff, beach, or special flood area. Therefore, the project will not adversely affect environmentally sensitive lands.

**c. The proposed coastal development is in conformity with the certified Local Coastal Program land use plan and complies with all regulations of the certified implantation program.**

The project site is allowed up to 36 dwelling units per net residential acre (du/ac) as outlined in the MBPP and is zoned in the Northern residential subdistrict (MBPD-R-N) of the Mission Beach Planned District. The purpose of the residential subdistrict is to regulate the small-scale and low-profile development of the area. The 0.04-acre site has two existing dwelling units. This equates to a density of 50 dwelling units per acre., which exceeds the designated land use density identified in the MBPP; however, the density is previously conforming per SDMC Section 127.0102(a) which allows the site density to be maintained as long as the premises was established with

all permit requirements and was lawful until a change in the applicable zoning regulations made the premises previously conforming.

The project complies with the Mission Beach Planned District Ordinance - Residential Neighborhood – Northern zone (MBPDO-R-N) and the Mission Beach Precise Plan by meeting the following goals outlined below.

The MBMP outlines the goal of the continuation of the existing medium-density character of Mission Beach, exemplified by the overall low profile and random mix of housing types and styles outlined on page 13. The project meets this goal by not changing the existing medium-density character nor altering the density of the site. The MBPP also includes the goal of enhancing the overall quality of the physical environment in Mission Beach outlined on page 13. The project will meet this goal by providing an updated structure that will meet the requirements of the California Residential Building Code.

The project as designed does not require and is not requesting any deviations from the applicable development regulations and with the NDP the project maintains previously conforming rights for the garage relating to the front, street and side setback. The setbacks of the garage include 2 feet from the alley and a 3 foot side yard setback which are not in conformance with the current requirements; however, as the garage is previously conforming and is a replacement, this is allowed per the San Diego Municipal Code section 127.0104(b). The project height is 12 feet and six inches which is below the 30-foot coastal height limit. In addition to the structure conforming to the allowable height, previously conforming density and setbacks, the reconstruction does not increase the structural size and therefore the project is consistent with the character and scale of the existing residential neighborhood and zone.

The project complies with applicable regulations and policies and is consistent with the development standards of the underlying zone in effect for this site, including, but not limited to, the 30-foot coastal development height limit, as the project is only proposing the new garage to be 12 feet and six inches, which is below the 30-foot coastal height limit.

Therefore, the proposed coastal development is in conformity with the certified Local Coastal Program land use plan and complies with all regulations of the certified Implementation Program.

- d. For every Coastal Development Permit issued for any coastal development between the nearest public road and the sea or the shoreline of any body of water located within the Coastal Overlay Zone the coastal development is in conformity with the public access and public recreation policies of Chapter 3 of the California Coastal Act.**

The project site is located at 825 Rockaway Place, on the southern side of Rockaway Place, east of Mission Boulevard within the first public roadway.

The project is in conformity with Article 2, Public Access, within Chapter 3 of the Coastal Act. As stated in Finding A(1)(a) herein incorporated by reference, the project meets the Community Plan guidelines for public access. In addition, the project meets the following sections of the Coastal Act Article 2 applicable to the site:

*Public Resources Code Section 30211 Development not to interfere with access.*

- *Development shall not interfere with the public's right of access to the sea where acquired through use or legislative authorization, including, but not limited to, the use of dry sand and rocky coastal beaches to the first line of terrestrial vegetation.*

The proposed development will not interfere with the public's right of access to the bay acquired through use or legislative authorization, including, but not limited to, the use of dry sand and rocky coastal beaches to the first line of terrestrial vegetation. The project site does have direct pedestrian access to the bay from Rockaway Court, however, it will not interfere with access as the project is contained entirely within the existing building footprint.

*Public Resources Code Section 30212 New development projects provides in pertinent part:*

- *Public access from the nearest public roadway to the shoreline and along the coast shall be provided in new development projects except where:*
  - *It is inconsistent with public safety, military security needs, or the protection of fragile coastal resources.*
  - *Adequate access exists nearby.*
  - *Agriculture would be adversely affected.*
- *For purposes of this section, "new development" does not include:*
  - *Improvements to any structure which do not change the intensity of its use, which do not increase either the floor area, height, or bulk of the structure by more than 10 percent, which do not block or impede public access, and which do not result in a seaward encroachment by the structure.*

As previously stated, the project does have direct access to the bay, however it will not interfere with access as the development is contained entirely within the private parcel. The site improvements are not "new development" subject to section 30212 as they do not change the intensity of the use and do not increase either the floor area, height, or bulk of the structure by more than 10 percent, and do not block or impede public access, or result in a seaward encroachment by the structure.

*Public Resources Code Section 30212.5 Public facilities; distribution.*

- *Wherever appropriate and feasible, public facilities, including parking areas or facilities, shall be distributed throughout an area so as to mitigate*

*against the impacts, social and otherwise, of overcrowding or overuse by the public of any single area.*

The proposed project is a private development that is in conformance with the local coastal plan and does not require public facility improvements, including parking areas or facilities, to be distributed throughout an area so as to mitigate against the impacts, social and otherwise, of overcrowding or overuse by the public of any single area.

The project is in conformity with Article 3, Recreation, within Chapter 3 of the Coastal Act. As stated in Finding A(1)(a), the project meets the Community Plan guidelines for public access. In addition, the project conforms to the following provisions of Article 3:

*Public Resources Code Section 30221 Oceanfront land; protection for recreational use and development.*

- *Oceanfront land suitable for recreational use shall be protected for recreational use and development unless present and foreseeable future demand for public or commercial recreational activities that could be accommodated on the property is already adequately provided for in the area.*

The project site is designated and zoned Residential, and public recreational uses are not applicable. In addition, public and commercial recreational activities that could be accommodated on the property are already adequately provided for in the area.

*Public Resources Code Section 30222 Private lands; priority of development purposes.*

- *The use of private lands suitable for visitor-serving commercial recreational facilities designed to enhance public opportunities for coastal recreation shall have priority over private residential, general industrial, or general commercial development, but not over agriculture or coastal-dependent industry.*

The project site is designated for residential use and does not contain private lands suitable for visitor-serving commercial recreational facilities designed to enhance public opportunities for coastal recreation. The project is in a built-out, residential neighborhood.

As demonstrated above, the proposed project is within the first public roadway and meets all the criteria of Coastal Act Chapter 3, Article 2 and Article 3, and therefore, the coastal development is in conformity with the public access and public recreation policies of Chapter 3 of the California Coastal Act.

**B. Neighborhood Development Permit [SDMC 126.0404]**



**1. Findings for all Neighborhood Development Permits:**

**a. The proposed development will not adversely affect the applicable land use plan.**

See Findings A.1.a and A.1.c above, incorporated here by reference, which demonstrate project consistency with the MBPP. The proposed development will not adversely affect the applicable land use plan.

**b. The proposed development will not be detrimental to the public health safety and welfare.**

The proposed garage will create minimal physical changes to the existing development on site as the garage is a replacement of the previously existing one. The proposed project, including the review of architectural and environmental impacts, has been designed to conform with the applicable land use policies of the MBPP and SDMC regulations, whose primary focus is the protection of the public's health, safety and welfare. The conditions of approval of the project require compliance with public improvements and water pollution control in compliance with the City's stormwater standards. The new garage will not be detrimental to the health, safety, or general welfare of persons living or working in the area, nor will it be injurious to property or improvements in the vicinity.

The project must meet California Residential Building Code and San Diego Municipal Code regulations governing the construction of the development to assure that structural, mechanical, electrical, plumbing and access components of the project are designed safely. Therefore, the proposed project will not be detrimental to public health, safety and general welfare.

**c. The proposed development will comply with the regulations of the Land Development Code including any allowable deviations pursuant to the Land Development Code.**

See finding A.1.c above, incorporated here by reference, which demonstrates compliance with the Land Development Code. The replacement of a structure with a previously conforming structural envelope for a proposed development that requires a Coastal Development Permit is allowed per a Neighborhood Development Permit per SDMC Section 127.0104(b). The garage requires no deviations from any applicable regulations in the SDMC. Therefore, the project complies with all relevant sections of the Land Development Code.

The above findings are supported by the minutes, maps and exhibits, all of which are incorporated herein by this reference.

BE IT FURTHER RESOLVED that, based on these findings adopted by the Hearing Officer, Coastal Development Permit No. PMT-3193078 and Neighborhood Development Permit No. PMT-3335126 is hereby GRANTED by the Hearing Officer to the referenced Owner/Permittee, in the form, exhibits, terms and conditions as set forth in Permit No. PMT-3193078 and Permit No. PMT-3335126, a copy of which is attached hereto and made a part hereof.

---

Christian Hoppe  
Development Project Manager  
Development Services

Adopted On: 24009354

IO#: 24009354



THE CITY OF SAN DIEGO

DATE OF NOTICE: February 7, 2025

# NOTICE OF RIGHT TO APPEAL ENVIRONMENTAL DETERMINATION

DEVELOPMENT SERVICES DEPARTMENT

IO No. 24009354

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**PROJECT NAME / NUMBER:** 825 Rockaway/ PRJ 1067750  
**COMMUNITY PLAN AREA:** Mission Beach Community Plan  
**COUNCIL DISTRICT:** 2  
**LOCATION:** 825 Rockaway Court, San Diego, CA 92109

**PROJECT DESCRIPTION:** Coastal Development Permit (CDP) and a Neighborhood Development Permit (NDP) for demolishing an existing garage for a new garage and remodeling the existing duplex. The interior remodel will be 1,076 square feet (SF), the new garage will be 322 SF, and the roof deck will be 377 SF, all on a 0.04-acre site. The site is zoned MBPD-R-N in the Mission Beach Community Plan, Coastal Height Limit Overlay Zone, Coastal Overlay Zones (Appealable), Parking Impact Overlay Zone (Beach Impact), Transit Area Overlay Zone and the Transit Priority Area. **LEGAL DESCRIPTION:** Lot C and a portion of Lot B in Block 192 of Mission Beach altered map in the City of San Diego, State of California, According to Map Thereof no. 1809, APN 423-584-05-00. The community plan identifies the land use as residential (36 dwelling units per acre (du/ac)).

**ENTITY CONSIDERING PROJECT APPROVAL:** City of San Diego Hearing Officer

**ENVIRONMENTAL DETERMINATION:** Categorically exempt from CEQA pursuant to CEQA State Guidelines, Sections 15302, Replacement or Reconstruction, and 15303 (b), New Construction or Conversion of Small Structures.

**ENTITY MAKING ENVIRONMENTAL DETERMINATION:** City of San Diego

**STATEMENT SUPPORTING REASON FOR ENVIRONMENTAL DETERMINATION:** The City of San Diego conducted an environmental review that determined the project would not have the potential to cause a significant effect on the environment. The project meets the criteria set forth in CEQA Section 15302. Class 2 of CEQA Section 15302 consists of replacement or reconstruction of existing structures and facilities where the new structure will be located on the same site as structure replaced and will have substantially the same purpose and capacity as the structure replaced. Since the project would replace and reconstruction of the garage, this exemption was deemed

appropriate. Class 3 of CEQA Section 15303 consists of construction and location of limited numbers of new, small facilities or structures. Since CEQA Section 15303 allows for the construction of a new garage and remodel, this exemption was deemed appropriate. Further, CEQA Section 15303 (b) includes but is not limited to: a duplex or similar multi-family residential structure, totaling no more than four dwelling units. In urbanized areas, this exemption applies to apartments, duplexes, and similar structures designed for not more than six dwelling units. In addition, the exceptions listed in CEQA Section 15300.2 would not apply. **The site is not included on any list compiled pursuant to Government Code Section 65962.5 for hazardous waste sites.**

**DEVELOPMENT PROJECT MANAGER:** Christian Hoppe  
**MAILING ADDRESS:** 1222 First Avenue, MS 501, San Diego, CA 92101-4153  
**PHONE NUMBER / EMAIL:** (619) 446-5293, [CHoppe@sandiego.gov](mailto:CHoppe@sandiego.gov)

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On February 7, 2025, the City of San Diego (City), as Lead Agency, has made the above-referenced environmental determination pursuant to the California Environmental Quality Act (CEQA). This determination is appealable to the City Council. If you have any questions about this determination, contact the City Development Project Manager listed above.

Applications to appeal CEQA determination made by staff (including the City Manager) to the City Council must be filed in the office of the City Clerk by 5:00pm within ten (10) business days from the date of the posting of this Notice (February 24, 2025). Appeals to the City Clerk must be filed by email or in-person as follows:

- 1) Appeals filed via E-mail: The Environmental Determination Appeal Application Form [DS-3031](#) can be obtained at <https://www.sandiego.gov/sites/default/files/legacy/development-services/pdf/industry/forms/ds3031>. Send the completed appeal form (including grounds for appeal and supporting documentation in pdf format) by email to [Hearings1@sandiego.gov](mailto:Hearings1@sandiego.gov) by 5:00p.m. on the last day of the appeal period; your email appeal will be acknowledged within 24 business hours. You must separately mail the appeal fee by check payable to the City Treasurer to: City Clerk/Appeal, MS 2A, 202 C Street, San Diego, CA 92101. The appeal filing fee must be United States Postal Service (USPS) postmarked) before or on the final date of the appeal. Please include the project number on the memo line of the check.
- 2) Appeals filed in person: Environmental Determination Appeal Application Form [DS-3031](#) can be obtained at <https://www.sandiego.gov/sites/default/files/legacy/development-services/pdf/industry/forms/ds3031.pdf>. Bring the fully completed appeal application [DS-3031](#) (including grounds for appeal and supporting documentation) to the City Administration Building-Public Information Counter (Open 8:00am to 5:00pm Monday through Friday excluding City-approved holidays), 1st Floor Lobby, located at 202 C Street, San Diego, CA 92101, by 5:00pm on the last day of the appeal period. The completed appeal form shall include the required appeal fee, with a check payable to: City Treasurer.

This information will be made available in alternative formats upon request.

**POSTED ON THE CITY'S CEQA WEBSITE**

**POSTED:** 2-7-2025

**REMOVED:** 2-24-2025

**POSTED BY:** Myra Lee



City of San Diego  
Development Services  
1222 First Ave., MS 302  
San Diego, CA 92101  
(619) 446-5000

# Ownership Disclosure Statement

FORM  
DS-318

October 2017

**Approval Type:** Check appropriate box for type of approval(s) requested: ☐ Neighborhood Use Permit ☒ Coastal Development Permit  
☐ Neighborhood Development Permit ☐ Site Development Permit ☐ Planned Development Permit ☐ Conditional Use Permit ☐ Variance  
☐ Tentative Map ☐ Vesting Tentative Map ☐ Map Waiver ☐ Land Use Plan Amendment • ☐ Other \_\_\_\_\_

**Project Title:** 825 Rockaway Court

**Project No. For City Use Only:** PRJ-1067750

**Project Address:** 825 Rockaway Court

**Specify Form of Ownership/Legal Status (please check):**

☐ Corporation ☐ Limited Liability -or- ☐ General - What State? \_\_\_\_\_ Corporate Identification No. \_\_\_\_\_  
☐ Partnership ☒ Individual

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter will be filed with the City of San Diego on the subject property with the intent to record an encumbrance against the property. Please list below the owner(s), applicant(s), and other financially interested persons of the above referenced property. A financially interested party includes any individual, firm, co-partnership, joint venture, association, social club, fraternal organization, corporation, estate, trust, receiver or syndicate with a financial interest in the application. If the applicant includes a corporation or partnership, include the names, titles, addresses of all individuals owning more than 10% of the shares. If a publicly-owned corporation, include the names, titles, and addresses of the corporate officers. (A separate page may be attached if necessary.) If any person is a nonprofit organization or a trust, list the names and addresses of ANY person serving as an officer or director of the nonprofit organization or as trustee or beneficiary of the nonprofit organization. A signature is required of at least one of the property owners. Attach additional pages if needed. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

**Property Owner**

Name of Individual: Ron Reynolds ☒ Owner ☐ Tenant/Lessee ☐ Successor Agency

Street Address: 825 Rockaway Court

City: San Diego

State: CA

Zip: 92109

Phone No.: 619-306-3314

Fax No.: \_\_\_\_\_

Email: calcommercial@hotmail.com

Signature: Ron Reynolds

Date: 12/09/2022

Additional pages Attached:

☐ Yes

☒ No

**Applicant**

Name of Individual: Ron Reynolds ☒ Owner ☐ Tenant/Lessee ☐ Successor Agency

Street Address: 825 Rockaway Court

City: San Diego

State: CA

Zip: 92109

Phone No.: 619-306-3314

Fax No.: \_\_\_\_\_

Email: calcommercial@hotmail.com

Signature: Ron Reynolds

Date: 12/09/2022

Additional pages Attached:

☐ Yes

☒ No

**Other Financially Interested Persons**

Name of Individual: Jacqueline Reynolds ☒ Owner ☐ Tenant/Lessee ☐ Successor Agency

Street Address: 825 Rockaway Court

City: San Diego

State: CA

Zip: 92109

Phone No.: 619-306-3314

Fax No.: \_\_\_\_\_

Email: calcommercial@hotmail.com

Signature: Jacqueline Reynolds

Date: 12/09/2022

Additional pages Attached:

☐ Yes

☒ No

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City of San Diego  
Development Services  
1222 First Ave., MS 302  
San Diego, CA 92101  
(619) 446-5000

# Ownership Disclosure Statement

FORM  
DS-318

October 2017

**Approval Type:** Check appropriate box for type of approval(s) requested: ☐ Neighborhood Use Permit ☒ Coastal Development Permit  
☐ Neighborhood Development Permit ☐ Site Development Permit ☐ Planned Development Permit ☐ Conditional Use Permit ☐ Variance  
☐ Tentative Map ☐ Vesting Tentative Map ☐ Map Waiver ☐ Land Use Plan Amendment • ☐ Other \_\_\_\_\_

**Project Title:** 825 Rockaway Court **Project No. For City Use Only:** PRJ-1067750

**Project Address:** 825 Rockaway Court

**Specify Form of Ownership/Legal Status (please check):**

☐ Corporation ☒ Limited Liability -or- ☐ General - What State? California Corporate Identification No. 199932210091  
☐ Partnership ☐ Individual

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter will be filed with the City of San Diego on the subject property with the intent to record an encumbrance against the property. Please list below the owner(s), applicant(s), and other financially interested persons of the above referenced property. A financially interested party includes any individual, firm, co-partnership, joint venture, association, social club, fraternal organization, corporation, estate, trust, receiver or syndicate with a financial interest in the application. If the applicant includes a corporation or partnership, include the names, titles, addresses of all individuals owning more than 10% of the shares. If a publicly-owned corporation, include the names, titles, and addresses of the corporate officers. (A separate page may be attached if necessary.) If any person is a nonprofit organization or a trust, list the names and addresses of **ANY** person serving as an officer or director of the nonprofit organization or as trustee or beneficiary of the nonprofit organization. A signature is required of at least one of the property owners. Attach additional pages if needed. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

**Property Owner**

Name of Individual: RM-USE, LLC ☒ Owner ☐ Tenant/Lessee ☐ Successor Agency

Street Address: 825 Rockaway Court

City: San Diego State: CA Zip: 92109

Phone No.: 619-306-3314 Fax No.: \_\_\_\_\_ Email: calcommercial@hotmail.com

Signature: Ron Reynolds Date: 08/02/2022

Additional pages Attached: ☒ Yes ☐ No

**Applicant**

Name of Individual: Ron Reynolds ☒ Owner ☐ Tenant/Lessee ☐ Successor Agency

Street Address: 825 Rockaway Court

City: San Diego State: CA Zip: 92109

Phone No.: 619-306-3314 Fax No.: \_\_\_\_\_ Email: calcommercial@hotmail.com

Signature: Ron Reynolds Date: 12/09/2022

Additional pages Attached: ☐ Yes ☒ No

**Other Financially Interested Persons**

Name of Individual: \_\_\_\_\_ ☐ Owner ☐ Tenant/Lessee ☐ Successor Agency

Street Address: \_\_\_\_\_

City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

Phone No.: \_\_\_\_\_ Fax No.: \_\_\_\_\_ Email: \_\_\_\_\_

Signature: \_\_\_\_\_ Date: \_\_\_\_\_

Additional pages Attached: ☐ Yes ☒ No

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MAILED

AUG 26 2021

CODE ENFORCEMENT  
DIVISION

August 26, 2021

# REVISED CIVIL PENALTY NOTICE AND ORDER

**Location:** 825 Rockaway Court, Units A & B, San Diego, CA

**APN No.:** 423-584-05-00

**Owner/Responsible Person:** Reynolds Family Trust Dated June 21, 2001 RM-USE LLC  
**Agent for Service:** Ronald Lee Reynolds  
**Address:** 576 Mountain View Road  
El Cajon, CA 92021

**Owner:** Reynolds Family Trust Dated June 21, 2001 RM-USE LLC  
**Address:** P.O. Box 997  
Alpine, CA 91903

**Agent/Attorney:** Dennis Stryker  
**Address:** 3555 Fifth Avenue, Suite 205  
San Diego, CA 92103

**Zoning Designation:** MBPD-R-N

You are hereby notified that the property identified above is in violation of the San Diego Municipal Code (SDMC). Per the San Diego County Assessor records, the property was originally developed in 1924 as a 1-story double dwelling with detached garage. The property is zoned MBPD-R-N, and currently the property is configured as a 2-level single dwelling with 3 bedrooms, 2 bathrooms, 1 kitchen and 2-car garage. On **June 17, 2021, August 2, 2021, and August 20, 2021**, violations were observed at the property and must be corrected including remodeling an existing dwelling and garage without first obtaining the required permits and inspection approvals. Unpermitted work includes the following:

**Structure:**

- A garage roof framing assembly and associated load bearing walls have been altered, removed, and replaced with new building materials to create a rooftop deck to carry a live load without obtaining the required permits and inspection approvals.

- A skylight which penetrates the rooftop and measures approximately 25 square feet in size has been installed within the ceiling/attic area located over the living room without obtaining the required permits and inspection approvals.

Note: The structural integrity of the garage, rooftop deck, skylight and staircase are unknown as lumber sizing, hardware, fasteners, fire rating, and egress paths of travel are now obstructed and unable to be properly inspected by a City Building Official.

**Electrical:**

- Removing and modifying the existing dwelling's electrical system without obtaining the required permits and inspection approvals. Unpermitted work includes replacing the existing wiring with new nonmetallic Romex wiring, and installing a new electrical main breaker panel, new subpanel, and circuitry modifications and additions.

Note: Wire sizing, and installation practices could not be verified as code compliant due to all rough-in work now covered by wall and ceiling finishes throughout.

**Plumbing:**

- Making modifications and additions to the existing plumbed gas piping system, without obtaining the required permits and inspection approvals.
- Installing a plumbed tankless water heater attached to the westerly exterior west wall, without obtaining the required permits and inspection approvals.
- Installing a new gas plumbed heating furnace located in the attic, without obtaining the required permits and inspection approvals.
- Installing new shower enclosures without obtaining the required permits and inspection approvals, which includes shower pan testing.

Note: Plumbed piping, and installation practices could not be verified to be code compliant as all rough-in work has been covered by wall and ceiling finishes throughout.

**Exterior:**

- Removing the exterior siding finishes from an existing dwelling over 45 years in age, and reinstalling new exterior siding after making unpermitted exterior load bearing wall modifications without obtaining the required permits and inspection approvals.
- Installing an exterior staircase, which connects dwelling and garage structures and also provides access to the unpermitted rooftop deck, without obtaining the required permits and inspection approvals.
- Installing new windows and doors throughout the existing dwelling without obtaining the required permits and inspection approvals.

Note: Weather barrier, window and door flashings, and other installation practices could not be verified to be code compliant as conditions are now covered by siding finishes and millwork trimming. Safety glass in required locations could not be verified at the time of inspections.

This is a violation of the following code section(s):

<u>Code Section</u>	<u>Violation Description</u>
• SDMC §§129.0108	- Issuance of a Construction Permit
• SDMC §§129.0202	- When a Building Permit is Required
• SDMC §§129.0111	- General Rules for Construction Permit Inspections
• SDMC §129.0402	- When a Plumbing/Mechanical Permit Is Required
• SDMC §129.0302	- When an Electrical Permit is Required
• Health and Safety Code §17920.3(c)	- Any Nuisance
• Health and Safety Code §17920.3(b)(3)	- Flooring or floor supports of insufficient size to carry imposed loads with safety.
• Health and Safety Code §17920.3(b)(5)	- Members of walls, partitions, or other vertical supports that are of insufficient size to carry imposed loads with safety.
• Health and Safety Code §17920.3(b)(7)	- Members of ceilings, roofs, ceiling and roof supports, or other horizontal members that are of insufficient size to carry imposed loads with safety.
• Health and Safety Code §17920.3(d)	- All wiring, except that which conformed with all applicable laws in effect at the time of installation if it is currently in good and safe condition and working properly.
• SDMC §§121.0202-121.0203	provides the authority regarding enforcement of the Land Development Code.
• SDMC §121.0302	requires compliance with the Land Development Code, specifies these violations are not permitted, and provides authority for the abatement of public nuisances.

**If you correct the above violations as identified below, you will not be subject to any administrative civil penalties.**

The Code Enforcement Division is hereby notifying you that all residents, tenants, or occupants of the structures and premises located at **825 Rockaway Court should be vacated immediately.** You should not rent, lease or allow anyone to occupy or frequent any portion of this property until all unpermitted and substandard conditions are corrected, the dwelling units are made habitable and brought into compliance with all state and local regulations, and CED grants final approval after inspection. Note, the utility service at the property may be shut off due to the nature of the violations. Prior to occupancy, you shall restore all utility service to the property.

Additionally, in order to avoid administrative civil penalties and prior to occupancy, you must correct the violations by **January 15, 2022**, as follows:

- Submit plans and obtain required permit(s) to remove or keep unpermitted work; complete all required inspections.
- Obtain required Plumbing/Mechanical Permit(s) and successfully complete all required inspections.
- Obtain required Electrical Permit(s) and successfully complete all required inspections.
- Successfully complete all required inspections in a timely manner.

All applications for permits must be submitted online. Please go to



<https://www.sandiego.gov/development-services> and click on apply for a permit online. Be advised that CED will be reviewing the submitted plans for enforcement compliance.

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**Reinspection fees** are assessed for each inspection after the issuance of a violation notice in accordance with the SDMC §13.0103. An invoice will be sent following each inspection until compliance is achieved. Current reinspection fees range between \$264 and \$295.

Please refer to the San Diego Municipal Code sections cited for additional information via <https://www.sandiego.gov/city-clerk/>.

Additional forms and documents to assist in your compliance efforts are available at: <https://www.sandiego.gov/ced/forms>.

#### **Failure to Comply with Notice and Order**

If you fail to comply with this Notice and Order in the time and manner set forth above, you are subject to civil administrative penalties pursuant to SDMC §§12.0801-12.0810.

The penalty rate for the above listed violation(s) has been established in accordance with SDMC §§12.0801-12.0810 at **\$500.00** per violation per day and shall be an ongoing assessment of penalties at the daily rate until the violations are corrected. Administrative civil penalty amounts are established by the Development Services Director.

The following factors were used in determining the amount:

- the nature and seriousness of the violation
- the history of the violation
- the willfulness of Responsible Person's misconduct
- the Responsible Person's conduct after issuance of the Notice and Order
- the good faith effort by the Responsible Person to comply
- the impact of the violation upon the community

Pursuant to SDMC §12.0805(a), in determining the date on which civil penalties shall begin to accrue, the Development Services Director considers the date when the Code Enforcement Division first discovered the violations as evidenced by the issuance of a Notice of Violation or any other written correspondence. The date on which the civil penalties began to accrue is **August 26, 2021**, and shall end on the date that the violation(s) has been corrected to the satisfaction of the Development Services Director or the Enforcement Hearing Officer.

#### **Civil Penalties Hearing**

If you fail to comply with the Notice and Order, written notice of the time and place of an administrative enforcement hearing will be served on you at least 10 calendar days prior to the date of the hearing in accordance with SDMC §12.0403. At the hearing, you may present evidence concerning the existence of the violation(s) and whether the amount of administrative civil penalties assessed was reasonable in accordance with SDMC §12.0808.



Page 5  
Revised Civil Penalty Notice and Order  
825 Rockaway Court  
August 26, 2021

Failure to attend an administrative enforcement hearing will constitute a waiver of your rights to an administrative hearing and administrative adjudication of the violation(s) set forth above.

### **Administrative Costs**

The Development Services Director or Enforcement Hearing Officer is authorized to assess administrative costs. Administrative costs may include, but are not limited to: staff time to investigate and document violations; laboratory, photographic, and other expenses incurred to document or establish the existence of a violation; and scheduling and processing of the administrative hearing and all actions.

### **Failure to Comply with Administrative Enforcement Order**

If you fail, neglect, or refuse to obey an order to correct the violations, administrative civil penalties will continue to accrue on a daily basis until the violation is corrected. The unpaid amount of administrative civil penalties will be referred to the City Treasurer for collection, recorded as a code enforcement lien against the property in accordance with SDMC §§13.0201-13.0204, and may be referred to the City Attorney to file a court action to recover the unpaid amount. Failure to correct the violations may also result in referral to the City Attorney for further enforcement action.

If you have any questions concerning this Notice and Order, or to schedule a compliance inspection, please contact Robert Cervantes, Senior Combination Inspector, at (619) 533-6143, or Travis Espinosa, Combination Inspector, at (619) 533-3957.

RMC/jef

cc: File

CED# 0515104

This information will be made available in alternative formats upon request.

CED# 0515104\_825 Rockaway Ct\_ced105\_rmc

COASTAL DEVELOPMENT PERMIT

PROJECT NO. PRJ-1067750

DEVELOPMENT SUMMARY

SUMMARY OF REQUEST  
PROCESS A COASTAL DEVELOPMENT PERMIT.

SCOPE OF WORK INCLUDES :  
\* PARTIAL INTERIOR REMODEL - 1,076 S.F.  
\* GARAGE REBUILD IN LIKE KIND - 322 S.F.  
\* NEW ROOF DECK OVER GARAGE - 377 S.F.  
\* REPLACE FAU/NEW AC  
\* UPGRADE ELECTRICAL PANEL AND ELECTRICAL (PERMITTED AND COMPLETED)  
\* COMBINE UNITS A & B INTO ONE S.F.R. - 1,076 S.F.

PROJECT TEAM  
CIVIL ENGINEER: ALIDADE ENGINEERING, INC.  
28936 OLD TOWN FRONT STREET, # 205  
TEMECULA, CA 92590  
(951) 587-2020  
BRENT C. MOORE, PE C59121  
ARCHITECT: JBS ARCHITECTS  
4583 SARATOGA AVENUE  
SAN DIEGO, CA 92107  
(619) 603-0264  
JERRY B. STEPHEN

LEGAL DESCRIPTION  
LOT C AND A PORTION OF LOT B IN BLOCK 192 OF MISSION BEACH ALTERED MAP IN THE CITY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 1809, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY.

ASSESSOR'S PARCEL NUMBER  
423-584-05

OWNER - APN 423-584-05  
RON REYNOLDS  
825 ROCKAWAY CT  
SAN DIEGO, CA 92109  
RM-USE, LLC  
825 ROCKAWAY CT  
SAN DIEGO, CA 92109

RESIDENTIAL UNIT COUNT: 1

TYPE OF CONSTRUCTION: V-N

OCCUPANCY CLASSIFICATION: R-3

EXISTING AND PROPOSED ZONE DESIGNATION  
MBPD-R-N

GROSS/NET SITE AREA: 0.043 AC 1,875 S.F.

EXISTING USE: RESIDENTIAL PROPOSED USE: RESIDENTIAL

YEAR CONSTRUCTED:  
ORIGINAL CONSTRUCTION 1924

GEOLOGIC HAZARD CATEGORY: 52

LANDSCAPE AREAS:  
PARCEL 1: 0.004 AC 200 S.F.

COVERAGE DATA PARCEL 1

Building Area		1,424	Sq. Ft.
Total Building Area (ground floor):	0.033	Ac.	1,424 Sq. Ft.
Total Landscape/Open Space Area:	0.04	Ac.	200 Sq. Ft.
Total Hardscape/Paved Area:	0.006	Ac.	251 Sq. Ft.
Floor Area Ratio (FAR)	0.759:1		
Gross Floor Area (GFA)	1,424	Sq. Ft.	

YARD/SETBACK			
Front Yard:	Required 10 Ft.	Proposed 0 Ft.	
Street Side Yard:	Required 3 Ft.	Proposed 2 Ft.	
Interior Yard(s):	Required 3 Ft.	Proposed 2 Ft.	
Rear Yard:	Required 0 Ft.	Proposed 0 Ft.	

NAD83 COORDINATES

1866-6253

LAMBERT COORDINATES

218-1689

BENCHMARK

LOCATION: MONUMENT ON EASTERLY 4 FOOT LINE OF REDONDO COURT  
EAST OF MISSION BAY DRIVE  
ELEV= 5.145 DATUM: M.S.L.

GRADING DATA:

TOTAL AMOUNT OF SITE TO BE GRADED: 0.0 ACRES. NO GRADING ANTICIPATED.  
PERCENT OF TOTAL SITE GRADED: 0%  
AMOUNT OF SITE WITH 25 PERCENT NATURAL SLOPES OR GREATER: 0 ACRES.  
PERCENT OF TOTAL SITE WITH 25 PERCENT NATURAL SLOPES OR GREATER: 0%  
AMOUNT OF SITE WITHIN HILLSIDE REVIEW: 0.0 ACRES.  
PERCENT OF SITE WITHIN HILLSIDE REVIEW: 0.0%  
AMOUNT OF CUT: 0 CUBIC YARDS.  
AMOUNT OF FILL: 0 CUBIC YARDS.  
MAXIMUM HEIGHT OF FILL SLOPE(S): 0 FEET 2:1 SLOPE RATIO.  
MAXIMUM HEIGHT OF CUT SLOPE(S): 0 FEET 2:1 SLOPE RATIO.  
AMOUNT OF EXPORT SOIL: 0 CUBIC YARDS.  
RETAINING/CRIB WALLS: HOW MANY: 0  
MAXIMUM LENGTH: 0 FEET  
MAXIMUM HEIGHT: 0 FEET

BASIS OF BEARINGS

THE BASIS OF BEARINGS FOR THIS MAP IS THE SOUTHERLY R-O-W OF ROCKAWAY CT AS SHOWN ON MAP 1809, I.E. N 81°14'30" E.

NO GRADING IS BEING PROPOSED

TOPOGRAPHY

EXISTING TOPOGRAPHY PER SITE SURVEY PERFORMED  
JBS ARCHITECTURE IN JUNE 2022.

REFERENCE DRAWINGS

MAP 1106, 1809

STREET LIGHT NOTE

- THERE IS ONE EXISTING STREET LIGHT AT THE SOUTHEASTERLY CORNER OF SAN JOSE PL AND BAYSIDE LANE.
- THERE IS ONE EXISTING STREET LIGHT AT THE SOUTHEASTERLY CORNER OF THE ALLEY SOUTH OF SAN JOSE PL AND BAYSIDE LANE.
- THERE ARE NO EXISTING STREET LIGHTS ON ROCKAWAY CT.

NOTE

1. PRIOR TO ISSUANCE OF ANY CONSTRUCTION PERMIT THE OWNER/PERMITEE SHALL SUBMIT A WATER POLLUTION CONTROL PLAN (WPCP). THE WPCP SHALL BE PREPARED IN ACCORDANCE WITH THE GUIDELINES IN PART 2 CONSTRUCTION BMP STANDARDS CHAPTER 4 OF THE CITY'S STORMWATER STANDARDS.

2. IF THE PROJECT INVOLVES CONSTRUCTION THEN THE PROJECT WOULD BE REQUIRED TO COMPLY WITH SECTION 59.5.0404 OF THE SAN DIEGO MUNICIPAL CODE FOR CONSTRUCTION NOISES.

NOTE:

- THERE ARE NO TRANSIT STOPS ADJACENT OR NEAR THIS PROJECT.
- THE SUBDIVIDER SHALL ENSURE THAT ALL ONSITE UTILITIES SERVING THE SUBDIVISION SHALL BE UNDERGROUNDED WITH THE APPROPRIATE PERMITS.
- PROVIDE BUILDING ADDRESS NUMBERS, VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY PER FHPS POLICY P-00-6 (UFG 901.4.4).
- PROJECT FALLS WITHIN TRANSIT PRIORITY AREA.

DRY UTILITIES

UTILITY COMPANY	UTILITY	STATUS
SAN DIEGO GAS AND ELECTRIC	ELECTRIC	OVERHEAD
SAN DIEGO GAS AND ELECTRIC	GAS	UNDERGROUND
SBC	TELEPHONE	OVERHEAD
TIME WARNER	CABLE	OVERHEAD

ZONING DESIGNATIONS

MBPD-R-N, SPECIAL FLOOD ZONE AE ZONE 2, COASTAL HEIGHT LIMIT, COASTAL ZONE, PARKING IMPACT OVERLAY ZONE, TRANSIT AREA OVERLAY ZONE

EASEMENT NOTE

THERE ARE NO EASEMENTS ON THIS SITE.

LEGEND

EXISTING IMPROVEMENTS

PROPERTY LINE/TIMW BOUNDARY

RIGHT-OF-WAY

EXISTING BUILDING

EXISTING CONCRETE

EXISTING STAIRS

EXISTING WATER METER

EXISTING SEWER CLEANOUT

EXISTING WATER LINE

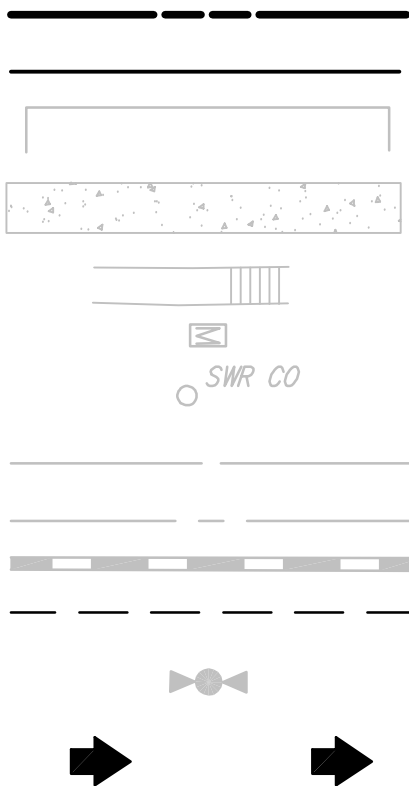
EXISTING SEWER LINE

EXISTING RETAINING WALL

SETBACK LINE

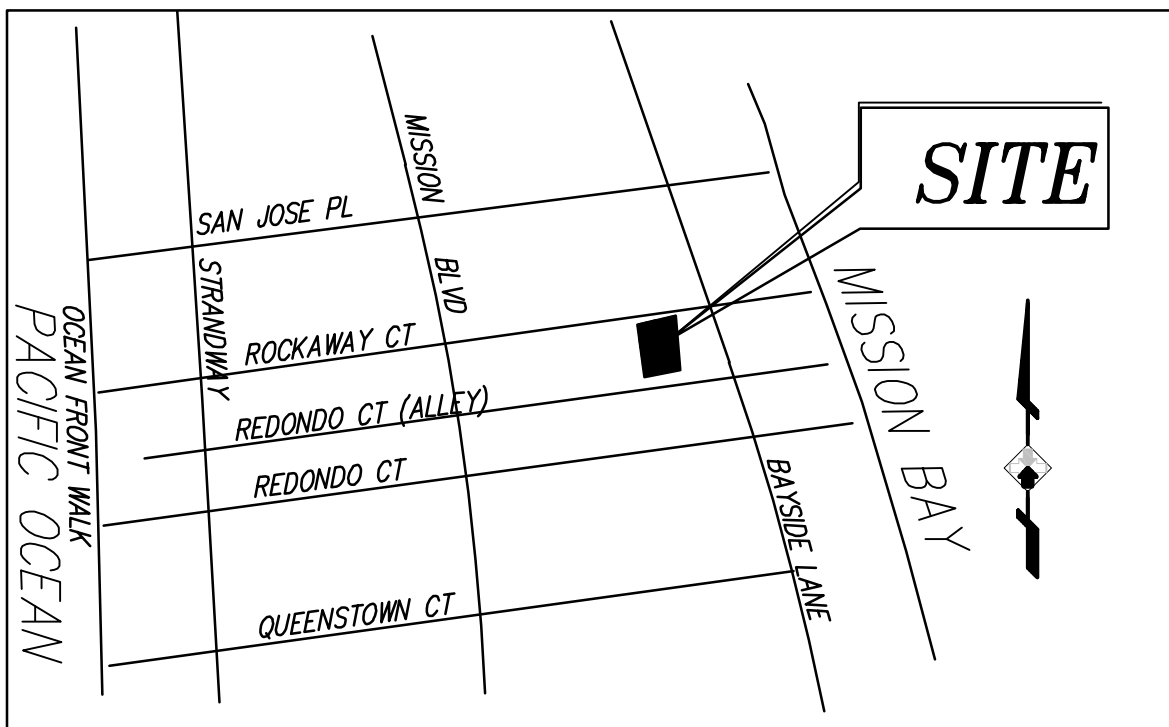
EXISTING FIRE HYDRANT

EXISTING DRAINAGE FLOW



SHEET INDEX:

SHEET 1 - COASTAL DEVELOPMENT PERMIT TITLE SHEET  
SHEET 2 - ARCHITECTURAL TITLE SHEET (A.1)  
SHEET 3 - ARCHITECTURAL DEMO PLAN (A.2)  
SHEET 4 - ARCHITECTURAL FLOOR PLAN (A.3)  
SHEET 5 - ARCHITECTURAL ELEVATIONS (A.4)



VICINITY MAP

NOT TO SCALE

PREPARED BY:

NAME: ALIDADE ENGINEERING, INC.

ADDRESS: 28936 OLD TOWN FRONT STREET, # 205  
TEMECULA, CA 92590

PHONE #: (951) 587-2020 FAX: (951) 587-2626

PROJECT ADDRESS:

825 ROCKAWAY COURT  
SAN DIEGO, CA 92109

PROJECT NAME:

825 ROCKAWAY COURT

SHEET TITLE:

COASTAL DEVELOPMENT PERMIT NO.  
PROJECT NO. PRJ-1067750

REVISION 12:

REVISION 11:

REVISION 10:

REVISION 9:

REVISION 8:

REVISION 7:

REVISION 6:

REVISION 5:

REVISION 4:

REVISION 3:

REVISION 2: 09/27/2023

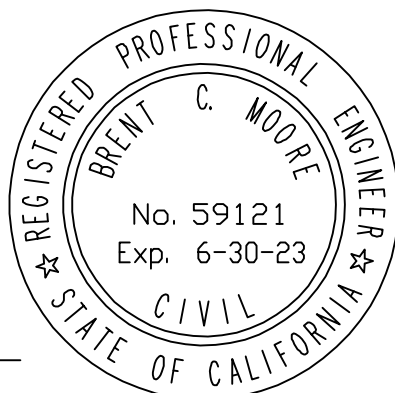
REVISION 1: 04/24/2023

ORIGINAL DATE: 12/12/2022

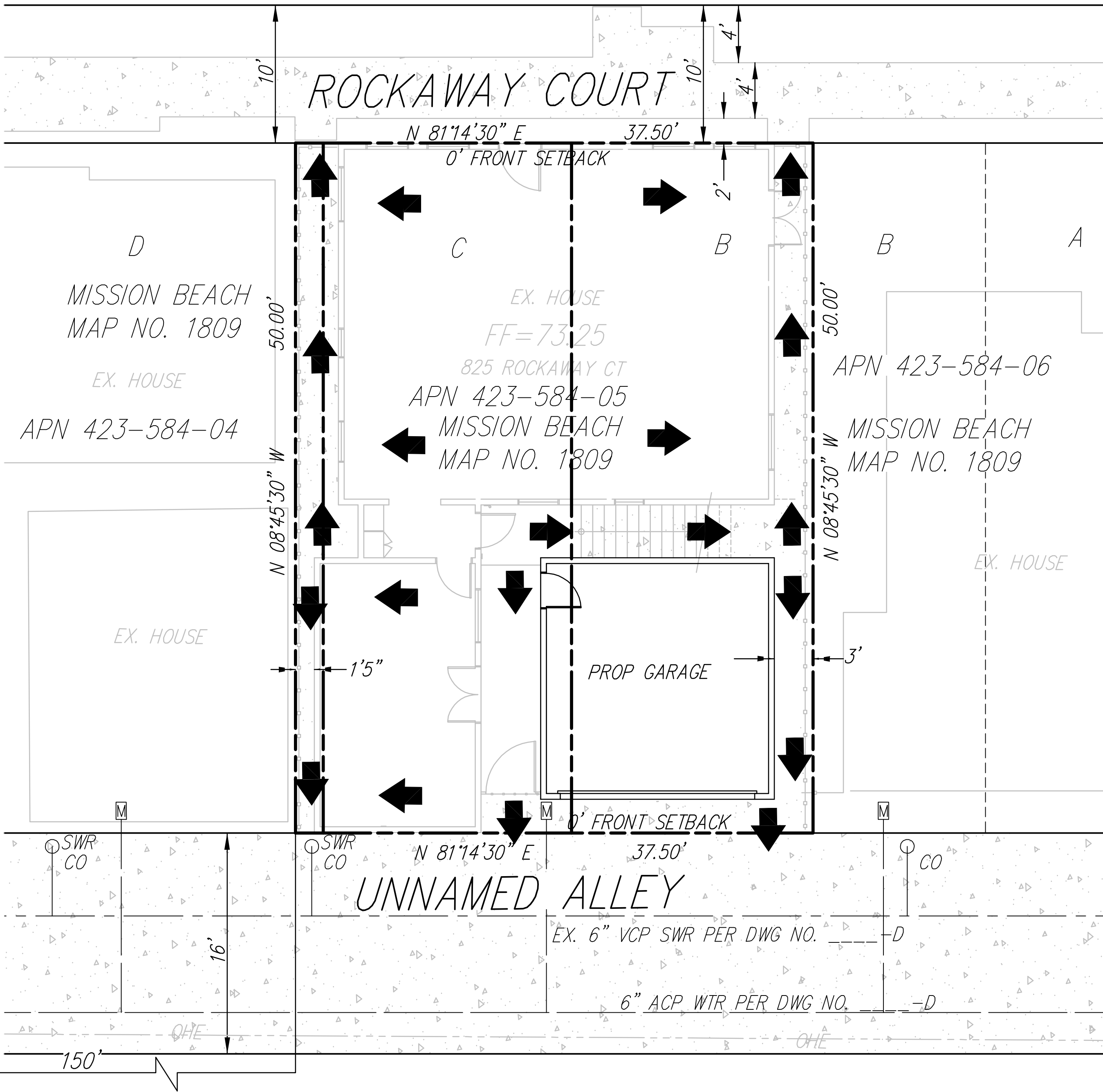
SHEET 1 OF 5

DEP#

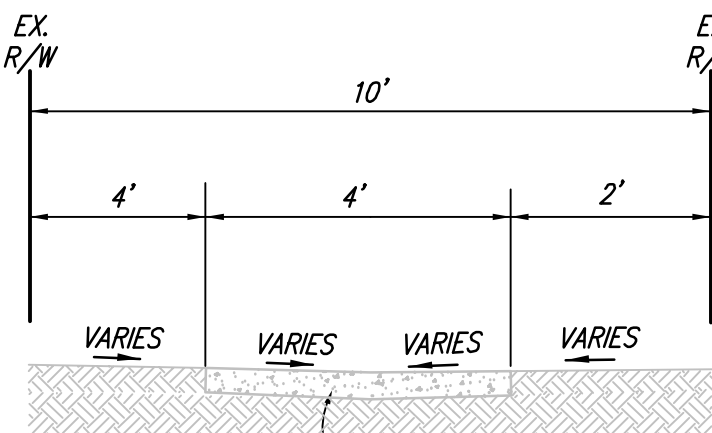
Alidade  
ENGINEERING  
28936 OLD TOWN FRONT STREET, # 205  
Temecula, CA 92590  
Phone: (951) 587-2020  
Fax: (951) 587-2626



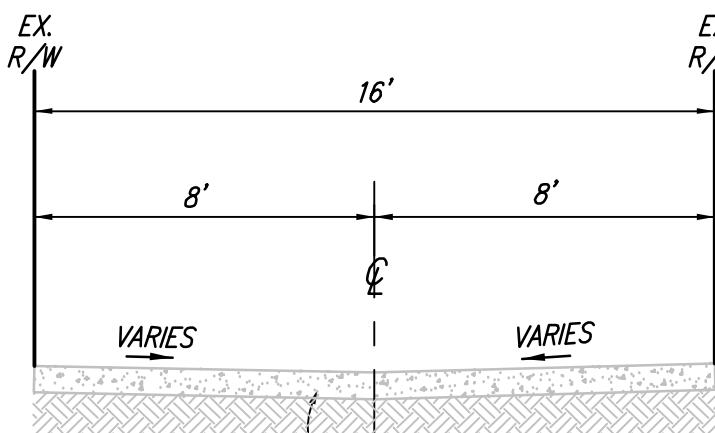
BRENT C. MOORE RCE 59121 DATE  
MY REGISTRATION EXPIRES 6-30-23



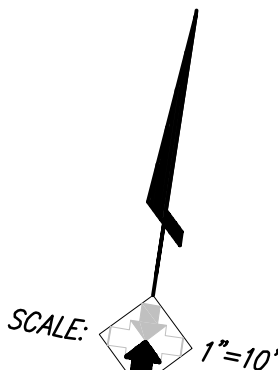
EX.  
FH



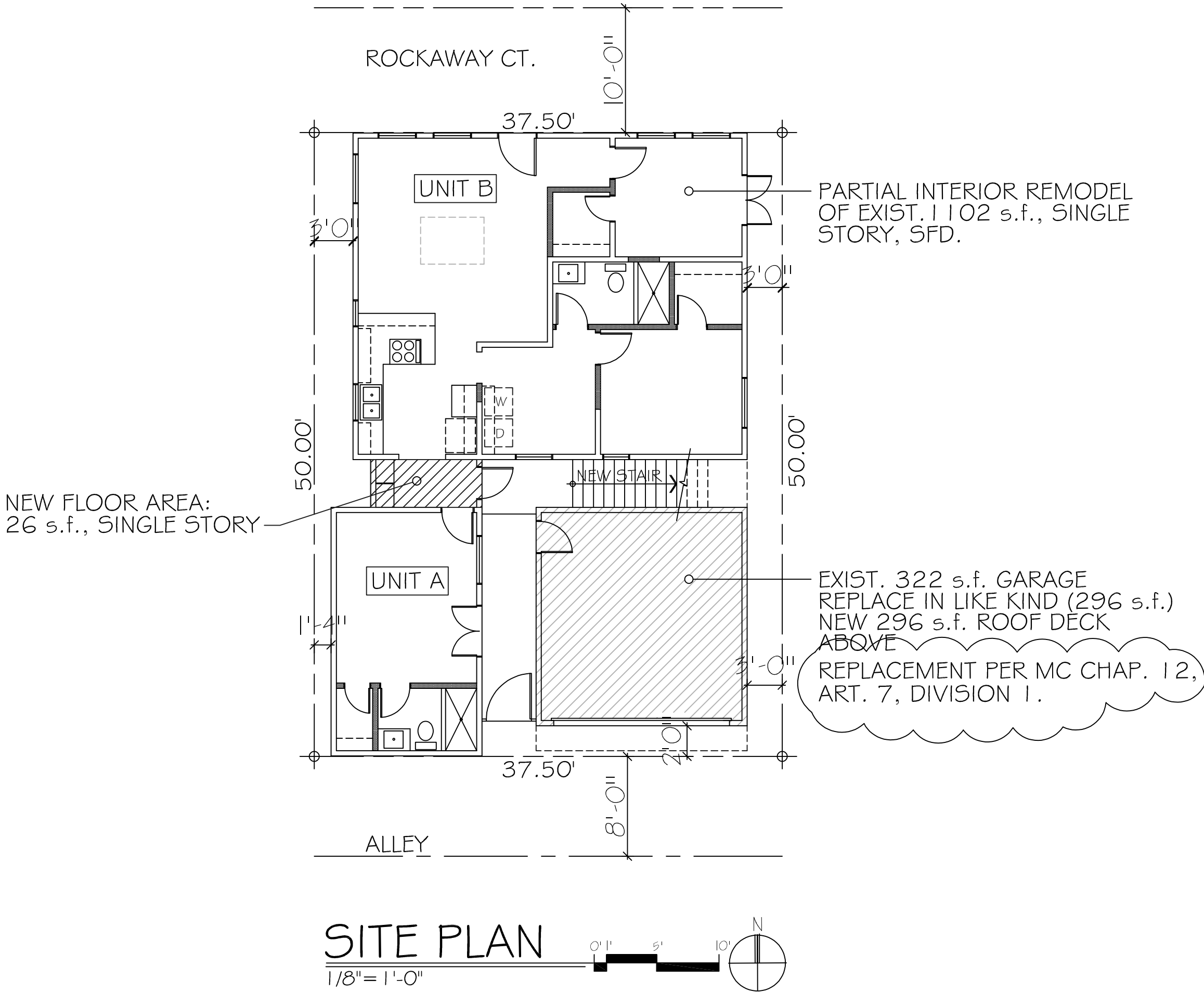
ROCKAWAY CT SECTION  
NOT TO SCALE



ALLEY SECTION  
NOT TO SCALE







NOTES:

1. An electronically signed and registered Installation Certificate(s) CF2R posted by the installing contractor shall be submitted to the field inspector during construction at the building site. A registered CF2R will have a unique 21-digit registration number followed by four zeros located at the bottom of each page. The first 12 digits of the number will match the registration number of the associated CF1R. Certificate of Occupancy will not be issued until forms CF2R is reviewed and approved.
2. An electronically signed and registered Certificate(s) of Field Verification and Diagnostic Testing CF3R shall be posted at the building site by a certified HERS rater. A registered CF3R will have a unique 25-digit registration number located at the bottom of each page. The first 20 digits of the number will match the registration number of the associated CF2R. Certificate of Occupancy will not be issued until CF3R is reviewed and approved.

Building Address: Provide building address numbers, visible and legible from the street or road fronting the property per FHPS Policy P-00-6 (UFC)

BASIS FOR STRUCTURAL DESIGN

FOUNDATIONS / SOILS CRITERIA:

☐ SOILS ENGINEER:  
REPORT NO.:

☐ EXPANSION INDEX HAS BEEN DETERMINED TO BE GREATER THAN 20 AND THE RECOMMENDATIONS OF THE SOILS ENGINEER HAVE BEEN INCORPORATED INTO THESE PLANS.

☐ EXPANSION INDEX HAS BEEN DETERMINED TO BE 20 OR LESS AND NO SPECIAL DESIGN RECOMMENDATIONS ARE REQUIRED.

☒ AS A LICENSED ARCHITECT/ENGINEER, I HAVE CLASSIFIED THE UNDISTURBED NATIVE SOILS TO BE AND PER TABLE 18-1-A OF THE 1998 CBC I HAVE ASSIGNED THE FOLLOWING SOILS PARAMETERS FOR THE DESIGN OF THE FOUNDATION RELATED ELEMENTS OF THIS PROJECT:

NAME (PRINT) SIGNATURE DATE ☒ LICENSED ARCHITECT  
☐ LICENSED ENGINEER

☒ A FOUNDATION PRESSURE OF 1000 PSF HAS BEEN USED TO DESIGN FOUNDATIONS SUPPORTED ON UNCLASSIFIED, UNDISTURBED NATIVE SOILS. THE FOUNDATIONS WILL BE LOCATED ENTIRELY IN UNDISTURBED NATIVE SOILS.

NAME (PRINT) SIGNATURE DATE ☐ OWNER  
☒ LICENSED ARCHITECT  
☐ LICENSED ENGINEER

☐ IF THE BUILDING INSPECTOR SUSPECTS FILL, EXPANSIVE SOILS OR ANY GEOLOGIC INSTABILITY BASED UPON OBSERVATION OF THE FOUNDATION EXCAVATION, A SOILS OR GEOLOGICAL REPORT, AND RESUBMITTAL OF PLANS TO PLAN CHECK TO VERIFY THAT THE REPORT RECOMMENDATIONS HAVE BEEN INCORPORATED MAY BE REQUIRED.

SPECIAL INSPECTION &  
OFF-SITE FABRICATION

SPECIAL INSPECTION: ☒ YES  
☐ NO

SPECIAL INSPECTION SHALL BE PROVIDED FOR THE FOLLOWING ITEMS: EPOXY ANCHORS

REFER TO SHEET \_\_\_ FOR "SPECIAL INSPECTION PROGRAM".

1. A CERTIFICATE OF SATISFACTORY COMPLETION OF WORK REQUIRING SPECIAL INSPECTION MUST BE COMPLETED AND SUBMITTED TO THE INSPECTION SERVICES DIVISION.

OFF-SITE FABRICATION: ☐ YES  
☒ NO

1. AN APPLICATION TO PERFORM OFF-SITE FABRICATION MUST BE SUBMITTED TO THE INSPECTION SERVICES DIVISION FOR APPROVAL PRIOR TO FABRICATION.

2. A CERTIFICATE OF COMPLIANCE FOR OFF-SITE FABRICATION MUST BE COMPLETED AND SUBMITTED TO THE INSPECTION SERVICES DIVISION PRIOR TO ERECTION OF PREFABRICATED COMPONENTS.

ADDITIONAL INFORMATION

CHECK EACH APPLICABLE OVERLAY ZONE

☐ AIRPORT APPROACH  
☐ AIRPORT ENVIRONS  
☐ COASTAL  
☐ COASTAL HEIGHT LIMIT  
☐ SENSITIVE COASTAL  
☐ MOBILE HOME PARK  
☐ PARKING IMPACT  
☐ RESIDENTIAL TANDEM PARKING  
☐ TRANSIT AREA  
☐ URBAN VILLAGE  
☐ MISSION TRAILS DESIGN DISTRICT  
☐ CLAIREMONT MESA HEIGHT LIMIT  
☐ COMMUNITY PLAN IMPLEMENTATION

CHECK IF PROPOSED SITE IS ON OR ADJACENT TO ...

☐ SENSITIVE BIOLOGICAL RESOURCES  
☐ STEEP HILLSIDES  
☐ COASTAL BEACHES  
☐ SENSITIVE COASTAL BLUFFS  
☐ 100 YEAR FLOODPLAIN

STRUCTURAL OBSERVATION

STRUCTURAL OBSERVATION: ☐ YES  
☒ NO

INFORMATION INDEX

ITEM	LOCATION IN SET, SHEET NO.(S)
SITE PLAN	A.1.
FLOOR PLAN(S)	A.2
ROOF PLAN	A.3
ARCHITECTURAL ELEVATIONS	A.4
BUILDING SECTIONS	A.4
DOOR, WINDOW, FINISH SCHEDULES	A.5
ARCHITECTURAL DETAILS	A.5
STRUCTURAL NOTES	S.2
FOUNDATION PLAN	S.2
FLOOR AND ROOF FRAMING PLANS	S.3
STRUCTURAL DETAILS	S.3
MECHANICAL PLAN(S)	
PLUMBING PLAN(S)	
ELECTRICAL PLAN(S)	
ENERGY CALCULATIONS	E.1
TOPOGRAPHIC SURVEY	
GRADING & DRAINAGE PLANS	
LANDSCAPE PLAN(S)	
BRUSH MANAGEMENT PLAN(S)	
ACCESSIBLE PATH OF TRAVEL	
ACCESSIBLE PARKING	
MEANS OF EGRESS PLAN(S)	
LOCATION, SIZE & TYPE OF ALL EXISTING AND PROPOSED;	
WATER METERS, WATER SERVICES & MAINS	
CROSS CONNECTION CONTROL DEVICES	
SEWER LATERALS AND MAINS	

STRUCTURAL NOTES

- ALL REQUIRED APPROVALS MUST BE OBTAINED FROM THE FIRE AND HAZARD PREVENTION SERVICES BEFORE THE BUILDING IS OCCUPIED.
- EXIT DOORS TO BE OPERABLE FROM THE INSIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT.
- FIRE AND/OR SMOKE DAMPER ASSEMBLIES, INCLUDING SLEEVES, AND INSTALLATION PROCEDURES SHALL BE APPROVED BY THE INSPECTION SERVICES DIVISION PRIOR TO INSTALLATION.
- ELEVATOR DOORS MUST BE INSTALLED IN ACCORDANCE WITH THE APPROVAL ON THE AFFIXED FIRE RESISTANCE APPROVAL LABEL. WHERE ELEVATOR DOORS ARE NOT IDENTIFIED WITH APPROVED LABELS, THEY MUST BE INSTALLED IN THE SAME MANNER AS A \_\_\_\_\_ HOUR FIRE ASSEMBLY.
- ELEVATOR LOBBIES SHALL HAVE ACCESS TO NOT LESS THAN ONE EXISTENT ACCESS DOOR. SUCH DOORS IN THE EXIT PATH FROM THE ELEVATOR LOBBY SHALL BE OPERABLE FROM THE INSIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT PER CBC SEC. 1004.2.3.3.
- PROP "D" HEIGHT LIMIT AREA ☐ YES  
☐ NO  
THE HIGHEST POINT OF THE ROOF, EQUIPMENT, OR ANY VENT, PIPE, ANTENNA, OR OTHER PROJECTION SHALL NOT EXCEED 30'-0" ABOVE GRADE. REFER TO SHEETS \_\_\_\_\_ FOR BUILDING HEIGHT DOCUMENTATION.

ELECTRICAL NOTES

- ALL ELECTRICAL WORK SHALL COMPLY WITH THE 2019 CALIFORNIA ELECTRICAL CODE.
- ALL OUTDOOR LIGHTING SHALL COMPLY WITH THE CITY OF SAN DIEGO LIGHTING POLLUTION ORDINANCE.
- ALL INTERIOR LIGHTING SYSTEMS SHALL COMPLY WITH CALIFORNIA ENERGY COMMISSION STANDARDS.

MECHANICAL NOTES

- LAVATORY FAUCETS IN RESTROOMS OF COMMERCIAL PROJECTS SHALL BE THE SELF-CLOSING TYPE.
- SHOWERS AND TUB/SHOWER COMBINATIONS SHALL BE PROVIDED WITH MIXING VALVES PER CPC
- EACH FAUCET SHALL NOT EXCEED A WATER FLOW RATE OF 2.2 GPM.
- EACH SHOWERHEAD SHALL NOT EXCEED A WATER FLOW RATE OF 2.5 GPM.
- EACH TOILET SHALL BE THE ULTRA LOW FLUSH TYPE.
- EACH URINAL SHALL HAVE A WATER CONSUMPTION OF NOT MORE THAN 1 GALLON PER FLUSH.
- VACUUM BREAKERS SHALL BE PROVIDED AT ALL HOSE BIBBS.
- FLOOR DRAINS OR SIMILAR TRAPS DIRECTLY CONNECTED TO THE DRAINAGE SYSTEM AND SUBJECT TO INFREQUENT USE SHALL BE PROVIDED WITH AN APPROVED AUTOMATIC MEANS OF MAINTAINING THEIR WATER SEALS.
- INSULATION MATERIAL SHALL MEET THE CALIFORNIA QUALITY STANDARDS PER ENERGY EFFICIENCY STANDARDS
- DOORS AND WINDOWS SHALL MEET THE MINIMUM INFILTRATION REQUIREMENTS PER ENERGY EFFICIENCY STANDARDS
- ALL PIPING AND DUCTWORK SHALL BE INSULATED CONSISTENT WITH THE REQUIREMENTS OF ENERGY EFFICIENCY STANDARDS AND CMC APPLICABLE.
- ALL HVAC SYSTEMS SHALL MEET THE CONTROL REQUIREMENTS OF ENERGY EFFICIENCY STANDARDS AS APPLICABLE.
- ALL HVAC EQUIPMENT AND APPLIANCES SHALL MEET THE REQUIREMENTS OF ENERGY EFFICIENCY STANDARDS
- SERVICE WATER HEATING SYSTEMS AND EQUIPMENT SHALL COMPLY WITH ENERGY EFFICIENCY STANDARDS 113.
- SWIMMING POOL AND SPA HEATING SYSTEMS AND EQUIPMENT SHALL COMPLY WITH ENERGY EFFICIENCY STANDARDS
- SMOKE DETECTORS SHALL BE PROVIDED AT SUPPLY AIR DUCTS OF AIR MOVING SYSTEMS EXCEEDING 2000 CFM PER CMC
- PERMANENT LADDER/ACCESS TO ROOF MOUNTED EQUIPMENT SHALL COMPLY WITH CMC SEC. 307.
- BUILDING DRAIN AND VENT PIPING MATERIALS SHALL COMPLY WITH CPC
- ALL SANITARY SYSTEM MATERIALS SHALL BE LISTED BY AN APPROVED LISTING AGENCY.
- CHEMICAL WASTE PIPING SHALL COMPLY WITH CPC
- ALL STORAGE WATER HEATING EQUIPMENT SHALL BE PROVIDED WITH AN APPROVED, LISTED EXPANSION TANK OR OTHER DEVICE DESIGNED FOR INTERMITTENT OPERATION FOR THERMAL EXPANSION CONTROL PER CPC
- CROSS CONNECTION PROTECTION SHALL BE PROVIDED AT ALL POTABLE WATER SUPPLIED APPLIANCES AND EQUIPMENT EXCEPT THOSE SPECIFIC ITEMS LISTED IN CPC
- WATER HEATERS SHALL BE ANCHORED OR STRAPPED TO RESIST HORIZONTAL DISPLACEMENTS DUE TO SEISMIC MOTION PER CPC
- MATERIALS EXPOSED WITHIN A DUCT OR PLENUM SHALL COMPLY WITH CMC
- CHLORINATED POLYVINYL CHLORIDE (CPVC) SHALL NOT BE USED FOR INTERIOR WATER SUPPLY PIPING PER STATE HEALTH & SAFETY CODE
- HVAC EQUIPMENT AND WATER HEATERS SHALL COMPLY WITH CMC
- MEDIUM PRESSURE GAS PIPING SHALL BE LABELED EVERY FIVE FEET.
- MECHANICAL VENTILATION, WHEN REQUIRED IN RESIDENTIAL BATHROOMS AND LAUNDRY ROOMS AS APPLICABLE SHALL PROVIDE A MINIMUM OF FIVE AIR CHANGES PER HOUR AND BE ROUTED TO THE EXTERIOR.

FIRE NOTES

- BUILDINGS UNDERGOING CONSTRUCTION, ALTERATION OR DEMOLITION SHALL BE IN ACCORDANCE WITH CPC
- ADDRESS SHALL BE PROVIDED FOR ALL NEW AND EXISTING BUILDINGS IN A POSITION AS TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY
- DECORATIVE MATERIALS SHALL BE MAINTAINED IN A FLAME RETARDANT CONDITION.
- AT LEAST ONE FIRE EXTINGUISHER WITH A MINIMUM RATING OF 2A10BC SHALL BE PROVIDED WITHIN 75' MAXIMUM TRAVEL DISTANCE FOR EACH 6000 SQ. FT. OR PORTION THEREOF ON EACH FLOOR.
- COMPLETE PLANS AND SPECIFICATIONS FOR FIRE ALARM SYSTEMS; FIRE-EXTINGUISHING SYSTEMS, INCLUDING AUTOMATIC SPRINKLERS AND WET & DRY STANDPIPES; HALON SYSTEMS AND OTHER SPECIAL TYPES OF AUTOMATIC FIRE-EXTINGUISHING SYSTEMS; BASEMENT FIRE INLET; AND OTHER FIRE PROTECTION SYSTEMS AND APPLIANCE(S) THEREOF SHALL BE SUBMITTED TO FIRE AND HAZARD PREVENTION SERVICES FOR REVIEW AND APPROVAL PRIOR TO OCCUPANCY
- FIRE-EXTINGUISHING SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH UBC/CBC
- ALL VALVES CONTROLLING THE WATER SUPPLY FOR AUTOMATIC SPRINKLER SYSTEMS AND WATER FLOW SWITCHES ON ALL SPRINKLER SYSTEMS SHALL BE ELECTRONICALLY MONITORED WHERE THE NUMBER OF SPRINKLERS IS 100 OR MORE.
- DELETED
- AT LEAST ONE FIRE EXTINGUISHER WITH A MINIMUM RATING OF 4-A:20BC SHALL BE PROVIDED OUTSIDE EACH MECHANICAL, ELECTRICAL, OR BOILER ROOM.
- FIRE PROTECTION, INCLUDING FIRE APPARATUS ACCESS ROADS AND WATER SUPPLIES FOR FIRE PROTECTION, SHALL BE INSTALLED AND MADE SERVICEABLE PRIOR TO AND DURING TIME OF CONSTRUCTION.
- FIRE HYDRANTS SHALL COMPLY WITH FHPS POLICY F-96-01 FOR ON-SITE FIRE HYDRANTS.
- FIRE HYDRANT LOCATIONS SHALL BE IDENTIFIED BY THE INSTALLATION OF REFLECTIVE MARKERS.
- PROVIDE AN APPROVED ILLUMINATED DIRECTORY CONSTRUCTED IN ACCORDANCE WITH FHPS POLICY 100-6. COMPLETE, FULLY DIMENSIONED PLANS SHOWING MATERIALS, METHOD OF CONSTRUCTION AND LOCATION OF INSTALLATION SHALL BE SUBMITTED TO FIRE AND HAZARD PREVENTION SERVICES FOR REVIEW AND APPROVAL.

DETAILED SCOPE OF WORK

- PARTIAL INTERIOR REMODEL
  - GARAGE REBUILD IN LIKE KIND
  - NEW ROOF DECK OVER GARAGE
  - REPLACE FAU / NEW AC
  - UPGRADE E. PANEL AND ELECTRICAL
- REPLACEMENT PER MC CHAP. 12, ART. 7, DIVISION 1.
- 26 S.F. NEW ENTRY
- 1076 S.F. EXIST. RESIDENCE (REMODEL)
- 296 S.F. REPLACE EXIST. GARAGE
- UNIT A = 278 S.F. UNIT B = 824 S.F. TOTAL S.F. 1398 S.F.

BUILDING CODE DATA

TYPE OF CONSTRUCTION: ☒ N SPRINKLERED: ☐ YES  
☒ NO

OCCUPANCY CLASSIFICATION(S): R3

NUMBER OF STORIES: 1

BUILDING HEIGHT: 12'-6"

GOVERNING CODE(S): 2019 CBC, CMC, CPC, CA. ELEC. CODE  
2019 CFC, CA. GR. BLDG. CODE, CA. ENERGY CODE

FLOOR AREA ANALYSIS

FLOOR AREAS PER OCCUPANCY:					
OCCUPANCIES					SUM / FLOOR
FLOORS	ft <sup>2</sup>	ft <sup>2</sup>	ft <sup>2</sup>	ft <sup>2</sup>	ft <sup>2</sup>
4th					
3rd					
2nd					
1st					
SUM / OCCUPANCY					
1st BASEMENT	N/A				
2nd BASEMENT	N/A				

CHECK OVERALL BUILDING:

CHECK EACH FLOOR AND BASEMENT:

VICINITY MAP



PROJECT TEAM

ARCHITECT: JERRY B. STEPHEN  
4583 SARATOGA AVE.  
SAN DIEGO, CA 92107  
PHONE #: (658) 603-0264

PROJECT DATA

PROJECT NAME: ROCKAWAY CT. REMODEL

PROJECT ADDRESS: 825 ROCKAWAY CT.  
SAN DIEGO, CA 92109

HISTORIC: ☐ YES U.R.M.: ☐ YES  
☐ NO ☐ NO

SUBMITTAL DATE: / /

ZONE: MBPD-R-N

OWNER: R. REYNOLDS  
825 ROCKAWAY CT.  
SAN DIEGO, CALIFORNIA 92109

MAP NUMBER: 1809 MAX. COV. - .65  
BLOCK NUMBER: 192 MAX. FAR - 1.1

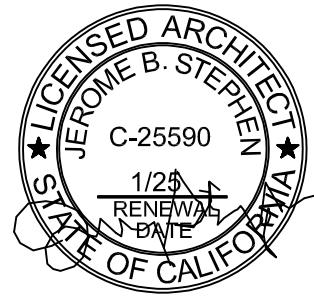
LOT NUMBER: C # B

A.P.N.: 423-564-05-00

F.A.R.: .76 LOT AREA: 1875 s.f.

LEGAL DESCRIPTION: MAP 1809  
BLOCK # 192  
LOT C#B

PLAN FILE NO.:  
PERMIT NO(S):



REVISION	DATE
PLAN CORRECTIONS	1/21/6/24

JBS Architect

4583 Saratoga Ave.  
San Diego, Ca 92107  
(658) 603-0264

ROCKAWAY CT. REMODEL

825 Rockaway Ct.  
San Diego, Ca 92109

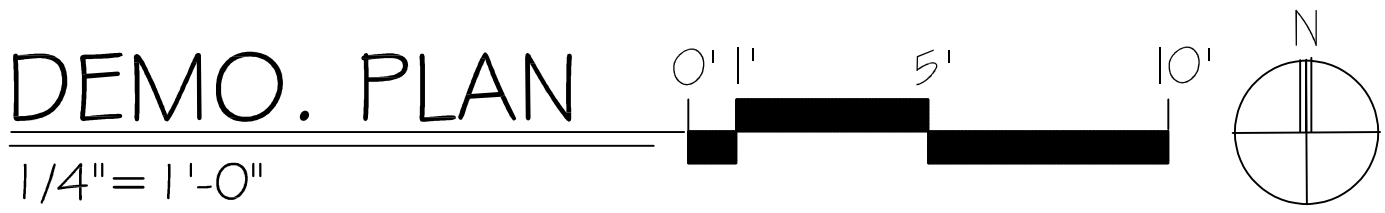
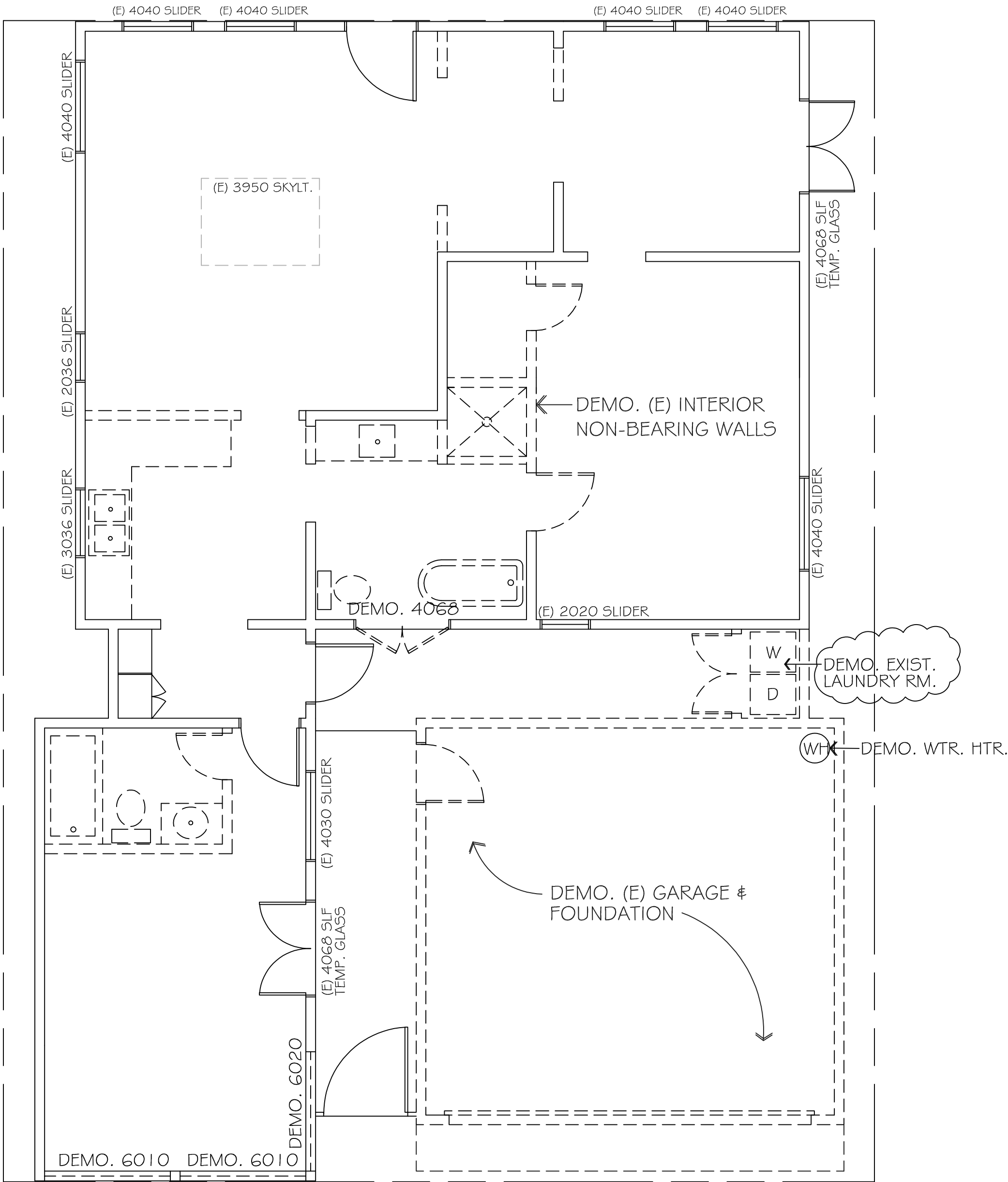
DRAWN JBS

DATE 12/21

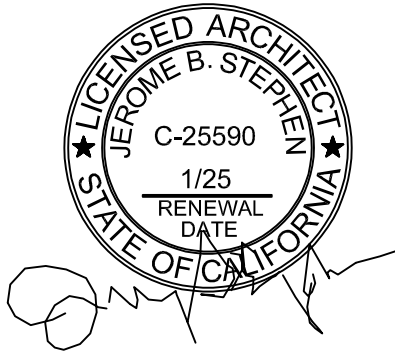
SCALE NOTED

PROJECT ROCKAWAY CT.

SHEET A.1



WALL LEGEND	
	EXISTING PARTITION TO REMAIN
	EXIST. NON-BEARING PARTITION TO BE DEMOLISHED
	NEW STUD PARTITION SEE DETAILS



REVISION	DATE
PLAN CORRECTIONS	6/27/22
PLAN CORRECTIONS	12/16/24

JBS Architect

4583 Saratoga Ave.  
San Diego, Ca 92107  
(858) 603-0264

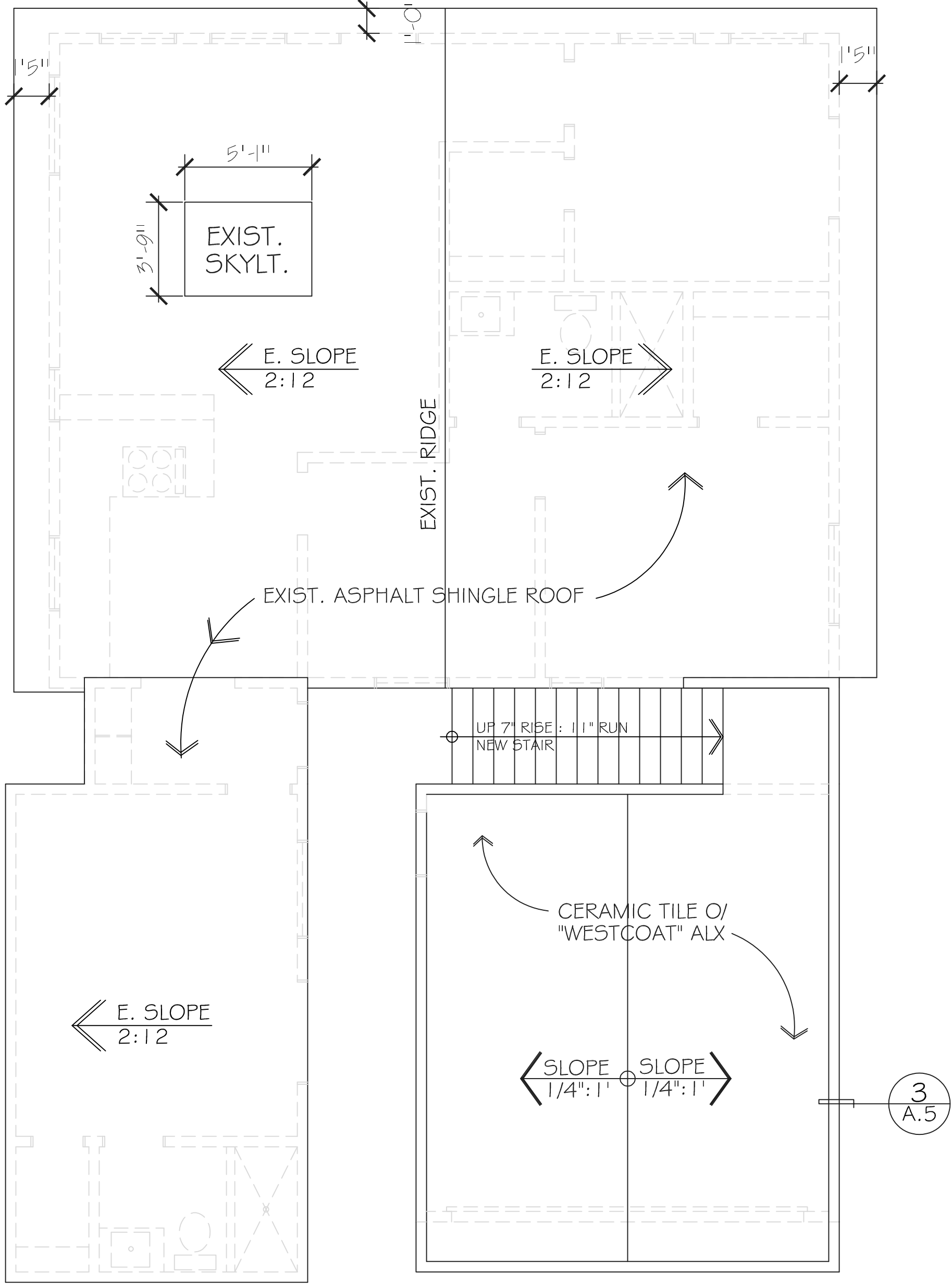
ROCKAWAY CT. REMODEL

825 Rockaway Ct.  
San Diego, Ca 92109

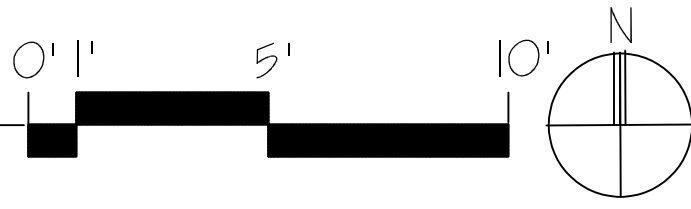
DRAWN	JBS
DATE	10/ 21
SCALE	NOTED
PROJECT ROCKAWAY CT.	

SHEET

A.2



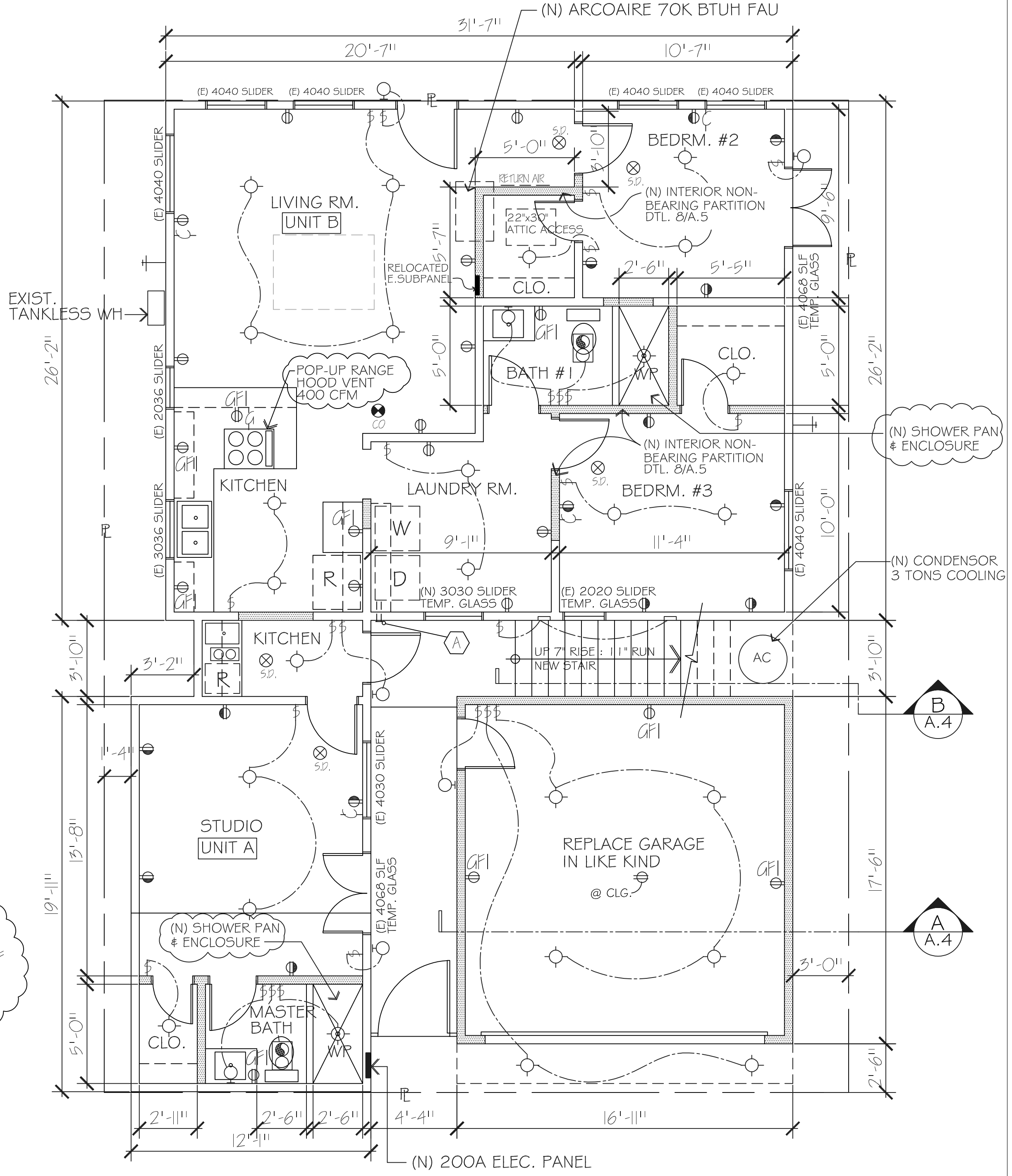
ROOF PLAN  
1/4" = 1'-0"



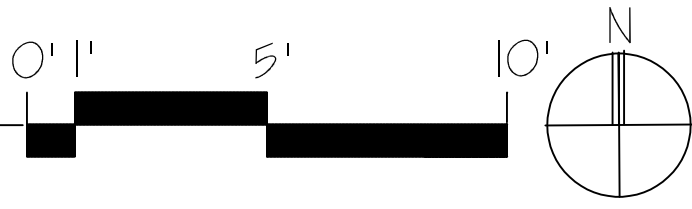
ELECTRICAL SYMBOLS

- DUPLEX RECEPTACLE, 12" A.F.F. U.O.N.
- 4-PLEX RECEPTACLE
- DUPLEX OUTLET WITH GROUND FAULT INTERRUPT
- FLUORESCENT UNDER COUNTER LIGHT
- 1' X 4' (2) TUBE FLUORESCENT LIGHT FIXTURE
- PHONE OUTLET AT 12" A.F.F.
- CABLE OUTLET AT 12" A.F.F.
- GAS CONNECTION
- LED RECESSED CAN LIGHT
- FAN LIGHT COMBINATION, MIN. 50 CFM OR 5 AIR CHANGES/HR.
- ROCKER TYPE LIGHT SWITCH 46" A.F.F.
- 3-WAY LIGHT SWITCH 46" A.F.F.
- STEREO SPEAKERS AT CEILING
- HARDWIRED SMOKE DETECTOR W/ BATTERY BACK-UP, MUST MEET CBC SEC. 310.9
- W/D WASHER/ DRYER HOOK-UPS (GAS, 220v & 110v ELEC., DRAIN)
- HOSE BIBB
- LED WALL MOUNTED LT.
- ARC FAULT CIRCUIT INTERRUPT
- DUPLEX RECEPTACLE, 12" A.F.F. U.O.N.
- HARDWIRED CO DETECTOR W/ BATTERY BACK-UP, & INTERCONNECTED MUST MEET CBC SEC. R315.2

- NOTES:
- 3" Ø METAL DRYER DUCT THRU-WALL TO EXTERIOR (3' LENGTH) WITH BACK DRAFT DAMPER
  - ALL LUMINAIRE'S SHALL BE HIGH EFFICACY AND SHALL HAVE A MANUAL ON/ OFF IN ADDITION TO A VACANCY SENSOR OR DIMMER.
  - Environmental air ducts and exhaust terminations shall terminate not less than 3' feet from a property line and 3' from openings into the building.

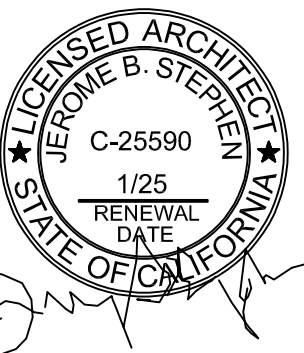


REVISED FLOOR PLAN  
1/4" = 1'-0"



WALL LEGEND

- EXISTING PARTITION TO REMAIN
- EXIST. NON-BEARING PARTITION TO BE DEMOLISHED
- NEW STUD PARTITION SEE DETAILS

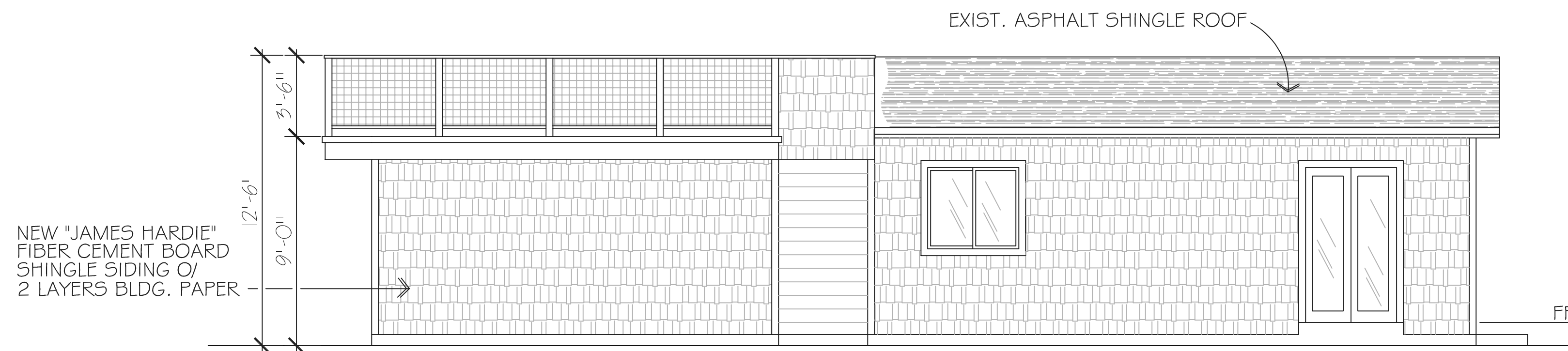


REVISION	DATE
PLAN CORRECTIONS	6/27/22
PLAN CORRECTIONS	12/16/24

JBS Architect  
4583 Saratoga Ave.  
San Diego, Ca 92107  
(858) 603-0264

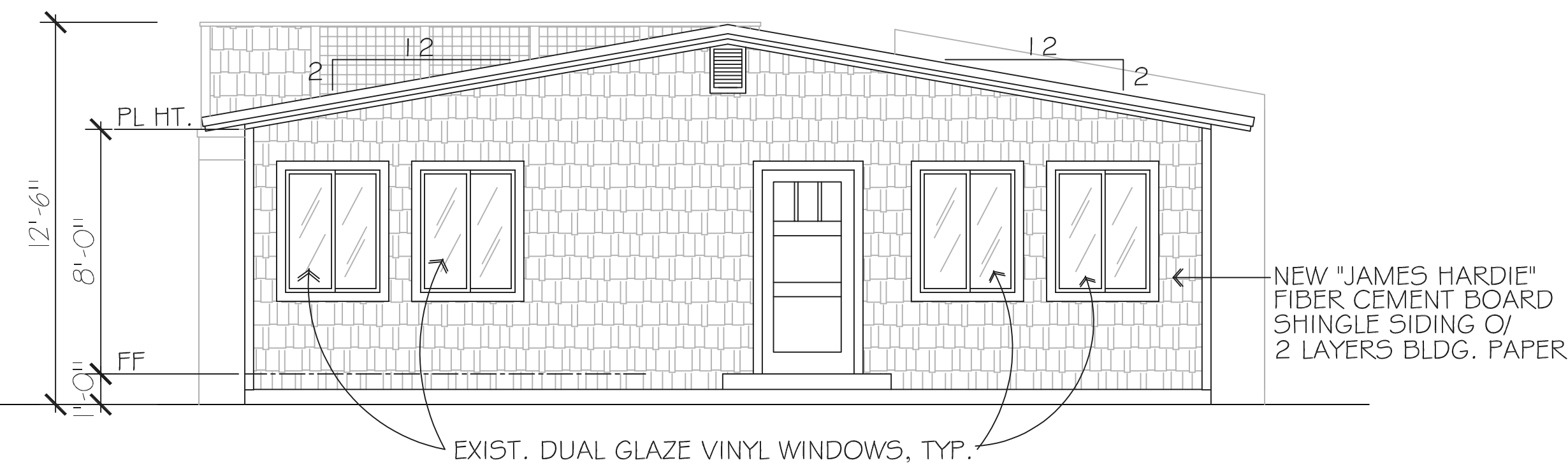
ROCKAWAY CT. REMODEL  
825 Rockaway Ct.  
San Diego, Ca 92109

DRAWN	JBS
DATE	10/21
SCALE	NOTED
PROJECT	ROCKAWAY CT.
SHEET	A.3



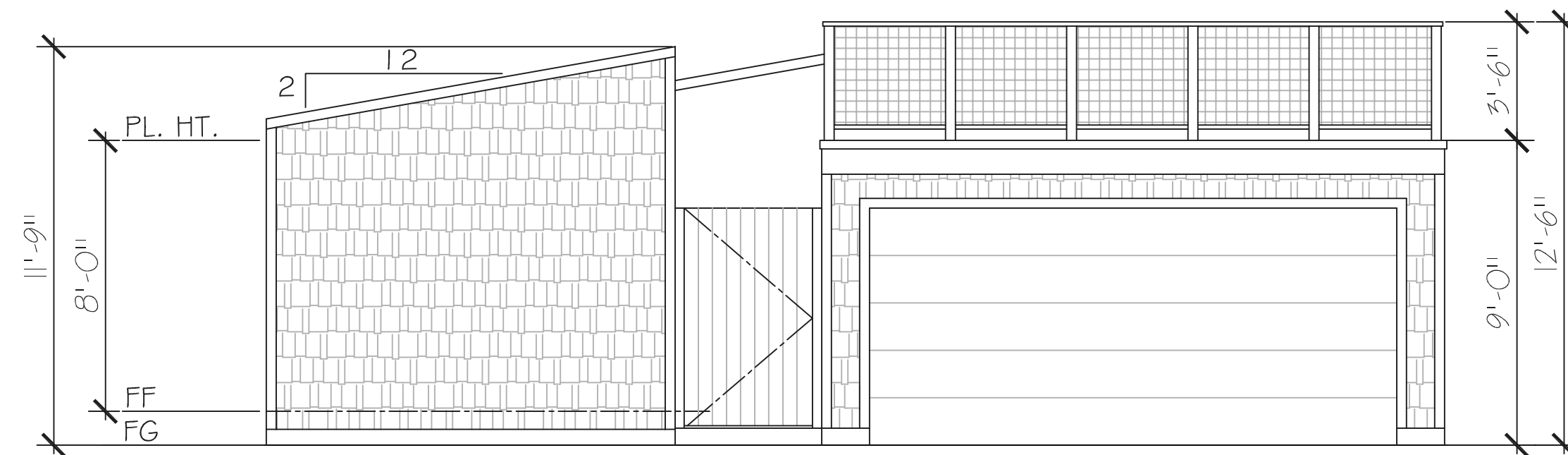
EAST ELEVATION

1/4" = 1'-0"



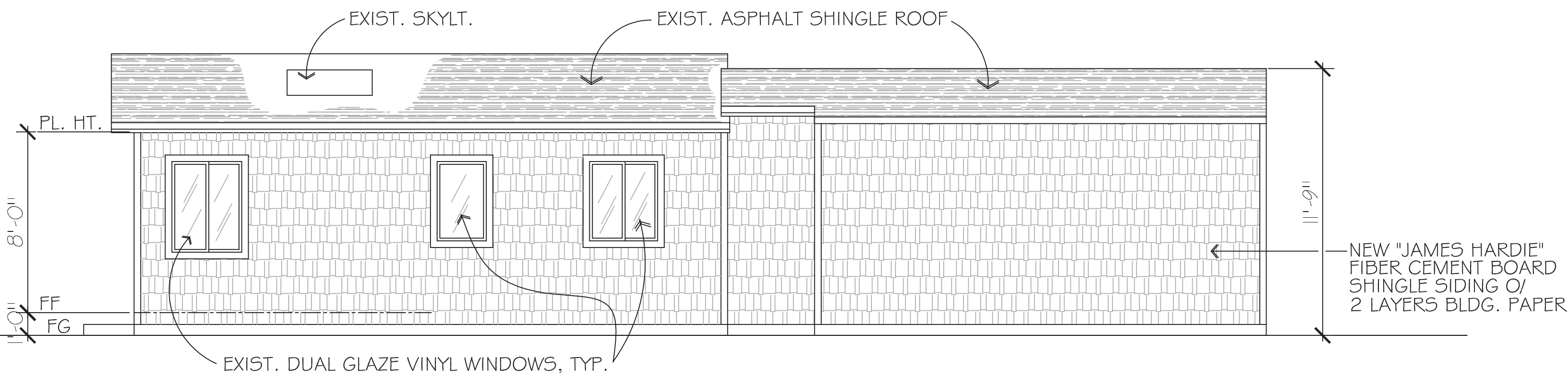
NORTH (COURT) ELEV.

1/4" = 1'-0"



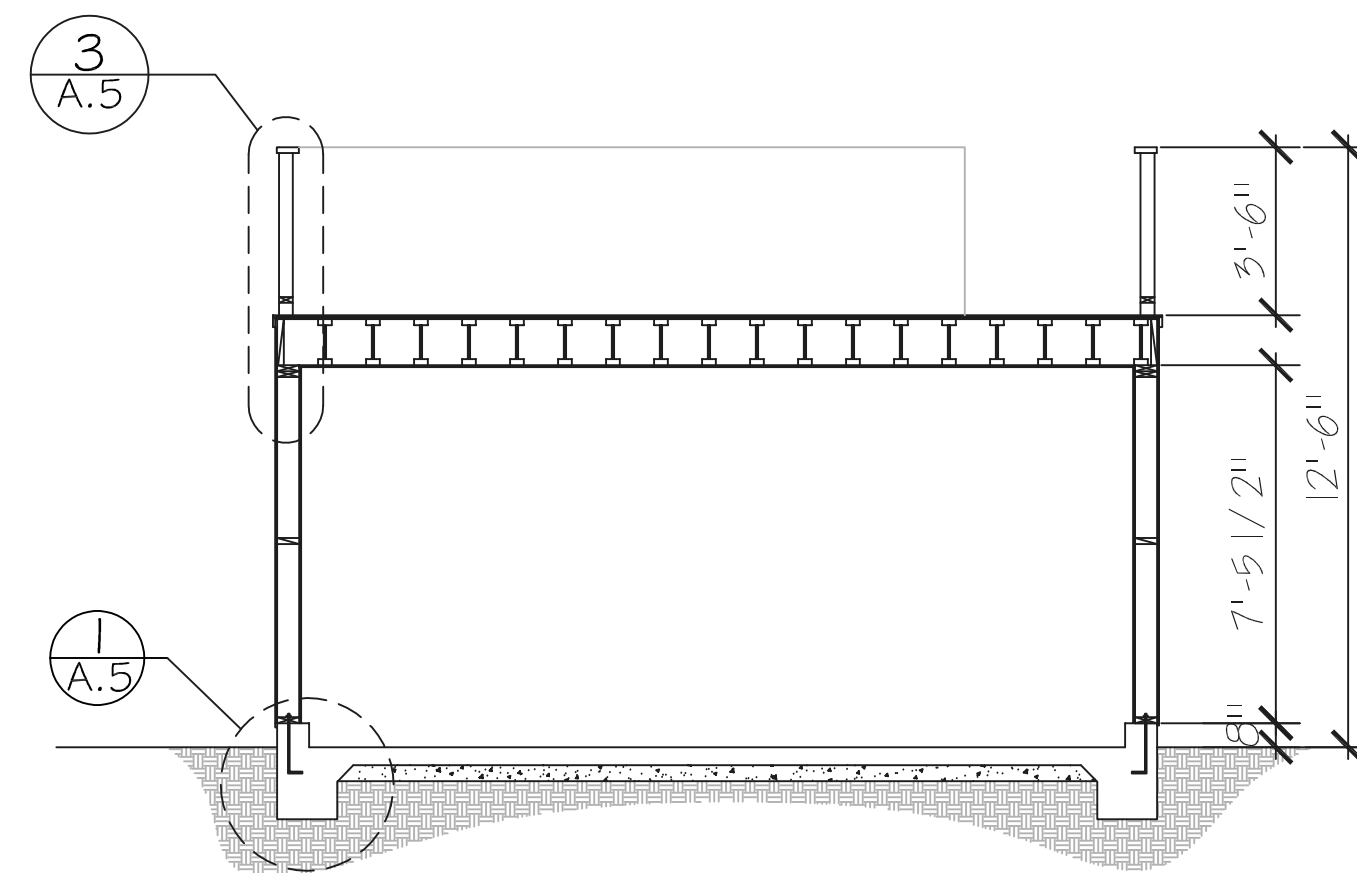
SOUTH (ALLEY) ELEV.

1/4" = 1'-0"



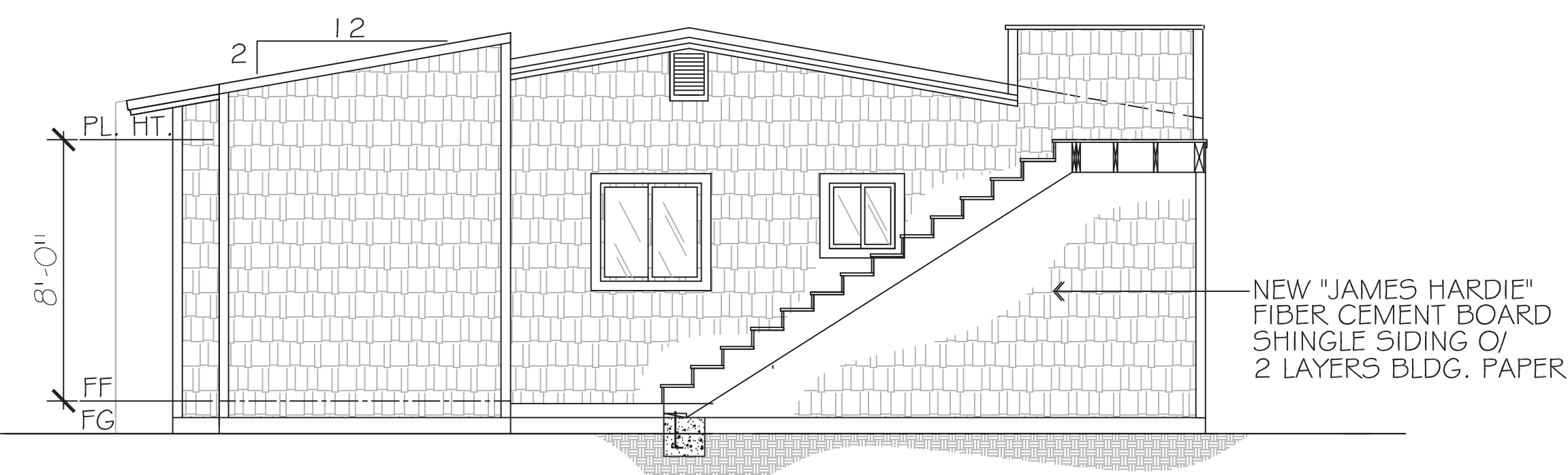
WEST ELEVATION

1/4" = 1'-0"



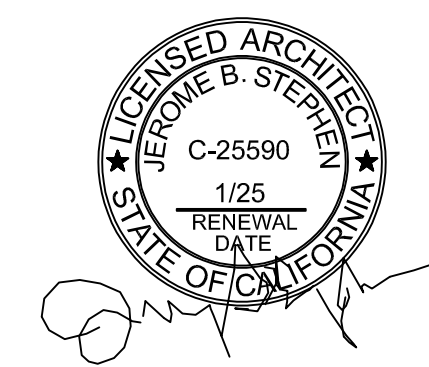
SECTION A

1/4" = 1'-0"



SECTION B

1/4" = 1'-0"



REVISION	DATE
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825 Rockaway Ct.  
San Diego, Ca 92109

DRAWN	JBS
DATE	10/21
SCALE	NOTED
PROJECT	ROCKAWAY CT.

SHEET  
**A.4**