

- 99+
- Mail
- 2
- Chat
- Meet
- Compose
- Inbox 1,205
- Starred
- Snooked
- Important
- Sent
- Drafts 197
- All Mail
- Spam
- Trash
- Categories
- Social
- Updates 234
- Forums
- Promotions 6
- More

Labels

- [Gmail]
- Lot 3 Vine
- Notes
- More



Cc: Garcia, Melissa <MA.Garcia@sanidiego.gov>; mnasrallah@sanidiego.go
 Subject: [EXTERNAL] LJSPDAB May 21 2025 Agenda Item 8 PRJ-112059 0 Sugarman Drive Request for More Information

This email came from an external source. Be cautious about clicking on any links in this email or opening attachments.

Melissa/Matthew,

With regard to the May 21 2025 Agenda Item 8, PRJ -112059 0 Sugarman Dr, please ask the applica

- ① Please provide documentation of contact with neighbors
- ② Please provide a table showing the Neighborhood Survey (including address, lot size, FAR, and eac
- ③ Ground Floor Basement Plan A2.0: two of the three parking spaces are shown; show the location of
- ④ Landscape (DSD Comment): please provide a legend for the marked areas on Landscape Area Dra
landscaped area being counted is placed on top of a concreted area
- ⑤ - Site Grading Plan A12.0: please explain how the steep sloped area that is proposed for developme
back of the lot (I understand if this will be part of the presentation - supporting materials provided now
- ⑥ - Site Grading Plan A12.0: cut/fill is provided, but **need export/import information**
- ⑦ - Geotechnical Report: Marengo Morton 2018 drawings are presented, please explain and detail char
materials provided now are most helpful).
- ⑧ - Survey Report: Christensen 2018 drawings are presented, please explain and detail changes in the
provided now are most helpful).

I will keep going over the supplied material to see if I have other questions and appreciate the assista

Thank you,

Kathleen Neil

REQUESTED RESPONSE TO ISSUES:

LJSPDAB- AGENDA ITEM 8- PRJ 112059

- #1) Documentation of Neighbors Correspondence – There has been no neighbor contact, presentation of the proposed project in its current state. The Owner Mr. Serov has introduced himself to several neighbors and indicated his intent to build a residence on the site.**

PROPERTY TABULATIONS FOR 346-791.12.60 THE CERON RESIDENCE

#	ADDRESS	F.A.R.	FRONT	SIDE	SIDE	REAR
1	8395 N.L.J. SCENIC	.088	95'	15'	10'	115'
2	8383 N.L.J. SCENIC	.135	53'	15'	5'	98'
3	8375 N.L.J. SCENIC	.208	55'	10'	5'	50'
4	8355 N.L.J. SCENIC	.206	70'	10'	5'	102'
5	8315 N.L.J. SCENIC	.206	25'	10'	5'	78'
6	8327 N.L.J. SCENIC	.149	82'	6'	5'	145'
7	LA JOLLA SCENIC	(VACANT)	—	—	—	→
8	8367 N.L.J. SCENIC	.202	50'	15'	5'	85'
9	8359 N.L.J. SCENIC	.212	70'	5'	8'	46'
10	8402 SUGARMAN	.233	15'	5'	20'	22'
11	8384 SUGARMAN	.186	25'	5'	15'	55'
12	8374 SUGARMAN	.192	30'	5'	7'	60'
13	8332 SUGARMAN	.229	22'	12'	10'	20'
14	8322 SUGARMAN	.316	20'	5'	5'	12'
15	8312 SUGARMAN	.257	5'	4'	15'	32'
16	8302 SUGARMAN	.232	15'	5'	5'	22'
17	000 SUGARMAN	(VACANT)	—	—	—	→
18	8356 SUGARMAN	.250	25'	5'	10'	65'
19	8385 SUGARMAN	.076	25'	5'	10'	230'
20	8373 SUGARMAN	.078	22'	5'	5'	230'
21	8359 SUGARMAN	.074	22'	5'	10'	235'
22	8345 SUGARMAN	.078	24'	5'	10'	250'
23	8335 SUGARMAN	.078	25'	5'	10'	258'
24	8325 SUGARMAN	.104	25'	5'	10'	255'
25	8303 SUGARMAN	.323	10'	5'	10'	110'
26	8350 GILMAN	.282	55'	5'	5'	70'
27	8352 GILMAN	.290	25'	5'	5'	65'
28	8354 GILMAN	.290	90'	10'	5'	60'
29	8356 GILMAN	.208	95'	10'	5'	60'
30	8358 GILMAN	.055	92'	10'	5'	20'
31	8315 SUGARMAN	.055	5'	5'	5'	45'

PROPERTY SURVEY FOR 346-791-12-67 THE SERA RESIDENCE

NO.	ADDRESS	LOT SIZE
1	8395 N. L.J. SCENIC	27,442 SF.
2	8383 N. L.J. SCENIC	24,393 SF.
3	8375 N. L.J. SCENIC	23,086 SF.
4	8355 N. L.J. SCENIC	23,700 SF.
5	8315 N. L.J. SCENIC	25,700 SF.
6	8327 N. L.J. SCENIC	23,700 SF.
7	LA JOLLA SCENIC	23,700 SF.
8	8367 N. L.J. SCENIC	23,086 SF.
9	8359 N. L.J. SCENIC	25,700 SF.
10	8402 SUGARMAN	10,201 SF.
11	8384 SUGARMAN	13,940 SF.
12	8374 SUGARMAN	13,504 SF.
13	8332 SUGARMAN	10,800 SF.
14	8322 SUGARMAN	11,325 SF.
15	8312 SUGARMAN	10,100 SF.
16	8302 SUGARMAN	10,201 SF.
17	000 SUGARMAN	11,325 SF.
18	8356 SUGARMAN	11,325 SF.
19	8385 SUGARMAN	27,007 SF.
20	8373 SUGARMAN	26,571 SF.
21	8352 SUGARMAN	27,878 SF.
22	8345 SUGARMAN	28,749 SF.
23	8335 SUGARMAN	33,103 SF.
24	8325 SUGARMAN	33,541 SF.
25	8303 SUGARMAN	10,000 SF.
26	8350 GILMAN	7501 SF.
27	8352 GILMAN	7501 SF.
28	8354 GILMAN DR	7501 SF.
29	8356 GILMAN DR	11,325 SF.
30	8358 GILMAN DR	43,124 SF.
31	8315 SUGARMAN	11,325 SF.

REQUESTED RESPONSE TO ISSUES:

LJSPDAB- AGENDA ITEM 8- PRJ 112059

#5: The Area of Steep Slope – Rear of the Lot: The back , rear of the Lot on average 30' deep , facing west is not to be developed, it is to remain as is. The only site transformation that will occur is brush thinning of dead and or diseased plant material.

#6: import / Export Information as requested.

a) There will be no soils import.

b) Soils export; 1) the proposed basement excavation will generate approximately 600 Cubic Yards export

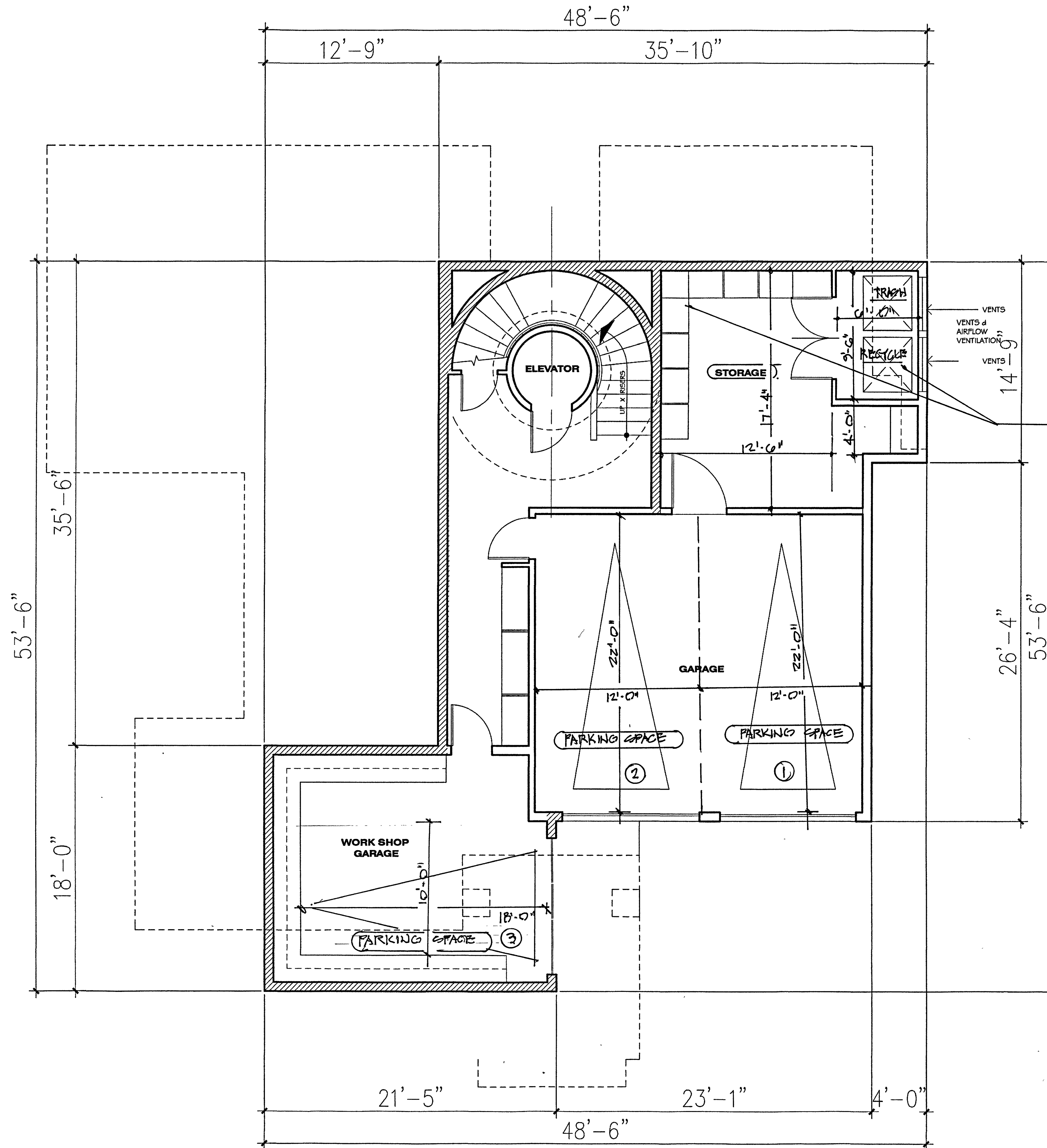
2) the proposed site retaining wall at the western portion will generate approx. 200 Cubic Yards export.

REQUESTED RESPONSE TO ISSUES:

LJSPDAB- AGENDA ITEM 8- PRJ 112059

#7: The Geotechnical report is the Original report from 2018. There are no changes to the site, soils, geotechnical information from 2018 to 2025. The Report is still applicable.

#8: Survey report Christensen 2018. This is a Site Topography . between 2018 and now, 2025 there have been no changes at the site, the Topography is still applicable.



GROUND FLOOR (BASEMENT) PLAN

SCALE: 1/4" = 1'-0"

GARAGE AREA 770.0 SQ.FT.
REMAING
STAIRS STORAGE 745.4 SQ.FT

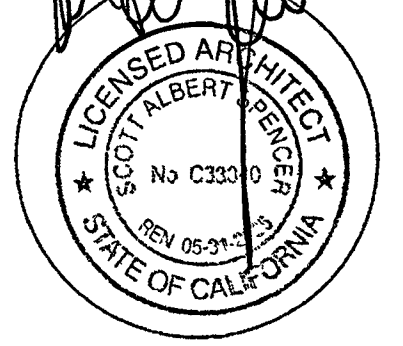
TOTAL THIS FLOOR 1515.4

TITLE BLOCK INF.	
PROJECT: THE SEROV FAMILY RESIDENCE	SHT. No: 2
SHEET TITLE: GROUND FLOOR/BASEMENT PLAN	SHT. 2 OF 12
DATE: 11-23-2024	REVISIONS:
SCOPE OF WORK: LA JOLLA SHORES DEVELOPMENT PERMIT	
ARCHITECT: Scott A. Spencer	5-8-2025
Phone: (858)459-8898	
CIVIL ENGINEER:	
LANDSCAPE ARCHITECT:	
GEOLOGIC HAZARD CATEGORY:	27
LEGAL: PM 2185 PARCELA 2	
APN: 346-791-12-00	
OWNER: JOE & CARINA SEROV	CONSTRUCTION: V-8
OCCUPANCY: R-3U	ZONE: LA JOLLA SHORES PLANNED DISTRICT
SITE AREA: 11,160 S.F.	EXISTING USE: VACANT
	PROPOSED USE: RESIDENTIAL

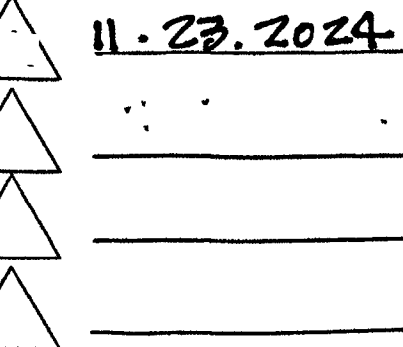
GROUND FLOOR
BASEMENT PLAN

PROJECT: THE SEROV FAMILY RESIDENCE
OWNER(S): 0000 (APN:346-791-12-00)
Sugarman Dr., La Jolla

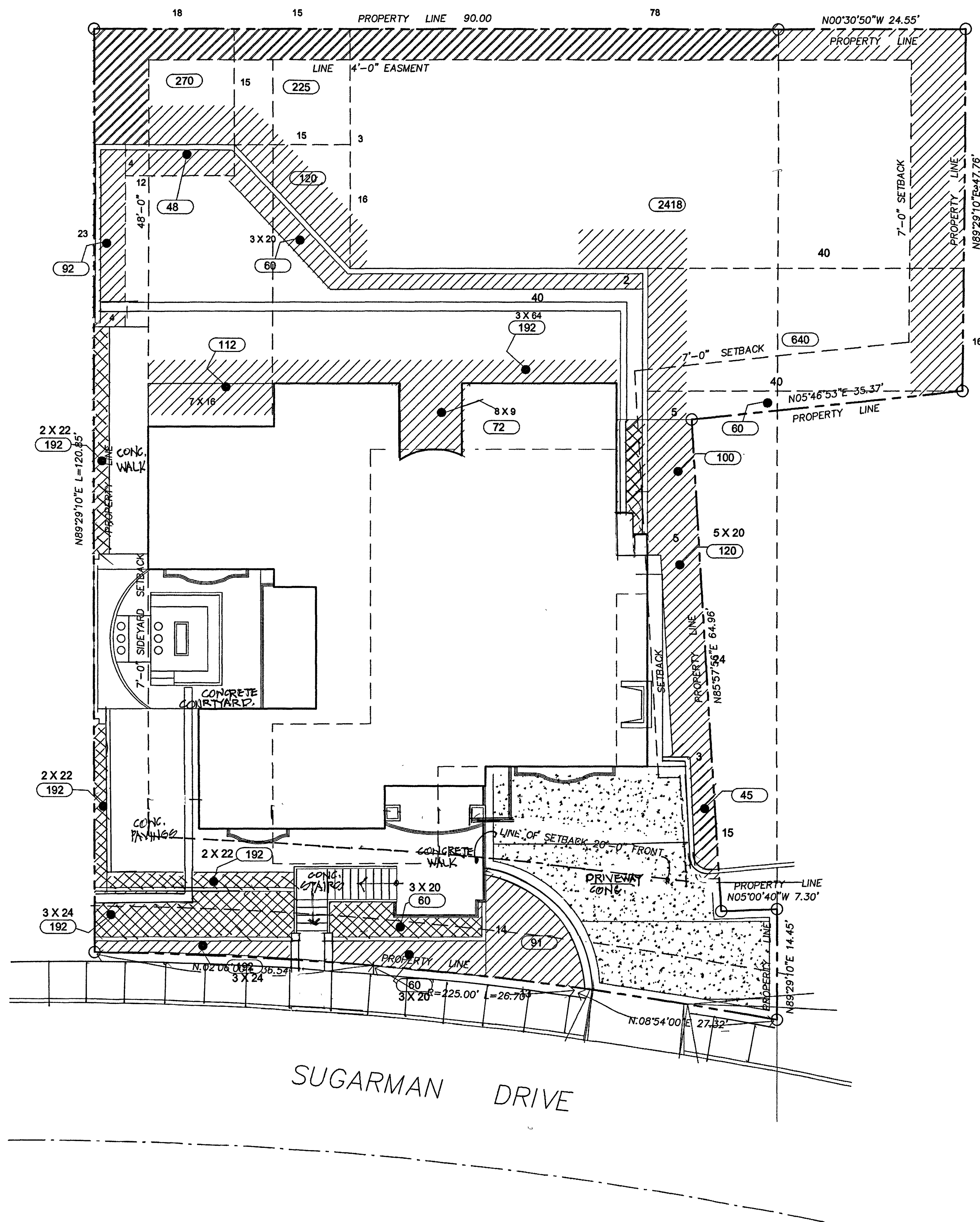
Scott A. Spencer & Associates
1110 TORREY PINES ROAD, STE. "D"
LA JOLLA, CA 92037



DESIGN BY: Scott
CHKD BY: Scott
DRWN BY: Miguel
DATE: 7/18/2024
JOB NUMBER:
SCALE:
REVISIONS BY DATE

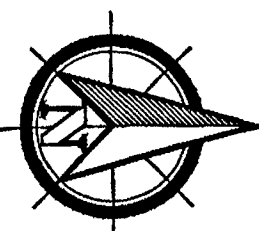


A2.0



LANDSCAPE AREA DIAGRAM

SCALE: 1/8" = 1'-0"



LANDSCAPED AREAS

270	
225	
120	
2418	
60	
60	
192	
72	
80	
112	
60	
48	
92	
60	
48	
92	
60	
44	
44	
72	
72	
60	
60	
91	
45	
120	
100	
5217	SQ. FT.

TOTAL LOT AREA

11,865 SQ. FT.

TOTAL LANDSCAPE AREA

5,217 SQ. FT.

43.969 %

OR 43.9

PLAN LEGEND

AREAS OF LANDSCAPE - PLANT MATERIAL

LANDSCAPE AREAS IN PLANTERS

NOTE: NO SHOWN LANDSCAPE AREAS ARE LOCATED ON CONCRETED AREA

TITLE BLOCK INF.

PROJECT: THE SEROV FAMILY RESIDENCE
SHEET TITLE: LANDSCAPE AREA DIAGRAM
DATE: 7/16/2024
SCOPE OF WORK: LA JOLLA SHORES DEVELOPMENT PERMIT
ARCHITECT: Scott A. Spencer
CIVIL ENGINEER: Scott A. Spencer
LANDSCAPE ARCHITECT: Scott A. Spencer
GEOLOGIC HAZARD CATEGORY: 27
LEGAL: PM 21000 PARCELS 2
OWNER: JOE & CARINA SEROV
APN: 346791-12-00
OCCUPANCY: R-3U
SITE AREA: 11,160 S.F.
SHT. No: 10
SHT. 10 OF 13
REVISIONS:
CONSTRUCTION: V-8
ZONE: LA JOLLA SHORES PLANNED DISTRICT
EXISTING USE: VACANT
PROPOSED USE: RESIDENTIAL

LANDSCAPE AREA DIAGRAM

DESIGN BY: Scott
CHECKED BY: Scott
DRAWN BY: Miguel

DATE: 7/16/2024

JOB NUMBER:

SCALE:

REVISIONS BY DATE

11.23.2024

11.23.2024

11.23.2024

11.23.2024

11.23.2024

11.23.2024

11.23.2024

11.23.2024

11.23.2024

11.23.2024

11.23.2024

11.23.2024

11.23.2024

A10.0