



THE CITY OF SAN DIEGO

## Report to the Hearing Officer

DATE ISSUED: May 14, 2025 REPORT NO. HO-25-014

HEARING DATE: May 21, 2025

SUBJECT: 5990 and 5970 Camino De La Costa, Process

PROJECT NUMBER: Three Decision [PRJ-1091933](#)

OWNER/APPLICANT: PuraLife Company, LLC, a Wyoming Limited Liability Company.

### SUMMARY

Should the Hearing Officer approve a Coastal Development Permit and Site Development Permit for the demolition of an existing single dwelling unit and attached garage for the construction of a new 2,391-square-foot detached guest quarters, a 760-square-foot Accessory Dwelling Unit (ADU), a 5,206-square-foot subterranean garage with habitable space, and a 1,255-square-foot covered terrace (Lot 1) on a site with an existing single family dwelling unit (Lot 2) located at 5990 and 5970 Camino De La Costa within the [La Jolla Community Planning Area?](#)

### Proposed Actions:

1. APPROVE Coastal Development Permit No. [PMT-3230976](#) and Site Development Permit No. [PMT-3230977](#).

Fiscal Considerations: None. All costs associated with the processing of the application are recovered through a deposit account funded by the applicant.

Code Enforcement Impact: Lot 1 is currently vacant due to the unpermitted demolition of a single dwelling unit and attached garage. In addition, unpermitted grading occurred on the premises. A code enforcement action, CE-0513516, was opened for unpermitted grading. The proposed development permits would allow the work to proceed on the subject site.

Community Planning Group Recommendation: On June 6, 2024, the La Jolla Community Planning Association voted 12-0-1 to recommend approval of the proposed project without conditions (Attachment 7).

Environmental Impact: This project was determined to be categorically exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15303 of the State CEQA Guidelines. This project is not pending an appeal of the environmental determination. The environmental

exemption determination for this project was made on February 21, 2025, and the opportunity to appeal that determination ended on March 7, 2025 (Attachment 6).

## BACKGROUND

The project site is located at 5990 and 5790 Camino De La Costa (Lot 1 and 2, respectively) in the La Jolla community planning area. The site is zoned Residential-Single Unit-1-5 (RS-1-5) with overlay zones including the Coastal Overlay Zone (Appealable Area), Coastal Height Limit Overlay Zone, Coastal Overlay Zone First Public Roadway, Parking Impact Overlay Zone, Sensitive Coastal Overlay Zone (SCOZ), Transit Area Overlay Zone (TAOZ), and Transit Priority Area (TPA).

Lot 2 is developed with an approximately 6,800-square-foot, two-story dwelling unit. No development is proposed on Lot 2 with this permit.

The dwelling unit located on Lot 1 was demolished without appropriate permits in 2020. The CDP and SDP include permitting that demolition.

## DISCUSSION

### Project Description:

The project proposal includes permitting the demolition of one single dwelling unit and attached garage on Lot 1, and the construction of a new 2,391-square-foot detached guest quarters, a 760-square-foot ADU, a 5,206-square-foot subterranean garage with habitable space, and a 1,255-square-foot covered terrace. The maximum height of the building is 21 feet. One existing driveway would be closed, and a second driveway would be reconstructed to meet current City standards to provide access to the site. Lot 2 is currently developed with a two-story single dwelling unit and an attached garage; no changes are proposed for Lot 2.

The site is immediately adjacent to the Pacific Ocean to the south. The southern area of the site is bordered by coastal bluffs. A Geotechnical Investigation Report was required to analyze the proposed development on a site with Environmentally Sensitive Lands (ESL) in the form of coastal bluffs. The development footprint will be 65 feet from the edge of the bluff, where a 25-foot setback is required. The submitted geotechnical considered the developments structural stability and concluded that the conditions of the site and the development footprint can support the project as proposed, and no impacts to any ESL would result from the proposed project.

The project also proposes retaining walls, ranging from 3 to 5 feet in height along the property's southern and western boundaries and totaling approximately 250 linear feet. These walls are required to support grading of the development footprint, that would create a level development area.

As noted above, the project will maintain a setback of approximately 65 feet from the bluff edge, which conforms to SDMC Section [143.0143\(f\)\(1\)](#) (Development Regulations for Sensitive Coastal Bluffs). The proposed project complies with the land use and development standards for the

property in the La Jolla Community Plan and Local Coastal Program Land Use Plan, and the City of San Diego's General Plan. The project also conforms to the development regulations of the existing RS-1-5 zone.

#### Permits Required

- A Coastal Development Permit (CDP) is required per San Diego Municipal Code (SDMC) [Section 126.0702\(a\)](#) and [Section 126.0707\(b\)](#) for development within the Coastal Overlay Zone. A decision on an application for a City-issued CDP in the appealable area of the Coastal Overlay Zone shall be made in accordance with Process Three, with the Hearing Officer as the decision maker, and findings per SDMC [section 126.0708\(a\)](#).
- A Site Development Permit (SDP) is required per San Diego Municipal Code (SDMC) Section [126.0502\(a\)](#) and Section [126.0502 \(a\)\(1\)](#) for single dwelling unit development that involves development on a premises containing sensitive coastal bluffs or coastal beaches, as described in [Section 143.0110](#).

#### Community Plan Analysis:

The La Jolla Community Plan designates the site as Low Density Residential with a density range of five to nine dwelling units per acre (du/ac). This density range is characterized by single dwelling unit residential homes on 5,000 to 7,000 SF lots. The density of this project is XX du/ac. The project as proposed aligns with the land use and development standards for the subject property according to the adopted La Jolla Community Plan and Local Coastal Program Land Use Plan and the General Plan. It complies with the development regulations of the existing RS-1-5 Base Zone, the La Jolla Community Plan, and the Local Coastal Program Land Use Plan.

This project is in accordance with the La Jolla Community Plan by conserving and enhancing the natural amenities of the community such as its views from identified public vantage points. The lot at 5790 Camino De La Costa has existing cypress, willow, and olive trees in a view corridor. As the project is within the First Public Roadway, it is required to maintain visual corridors to the coast in accordance with SDMC 132.0403(b). Therefore, a deed restricted visual corridor easement will be recorded on the property. The easement will be 8' 8 and 5/8" in width, equivalent to the street side yard setback.

#### Conclusion:

Staff has reviewed the proposed project and all issues identified through the review process have been resolved in conformance with adopted City Council policies, the Community Plan, and the Land Development Code. Staff has provided draft findings and conditions supporting approval (Attachments 4 and 5) and recommends the Hearing Officer approve the proposed project.

### ALTERNATIVES

1. Approve Coastal Development Permit No. PMT-3230976. Approve Site Development Permit No. PMT-3230977, with modifications.
2. Deny Coastal Development Permit No. PMT-3230976, if the findings required to approve the project cannot be affirmed. Deny Site Development Permit No. PMT-3230977, if the findings required to approve the project cannot be affirmed.

Respectfully submitted,



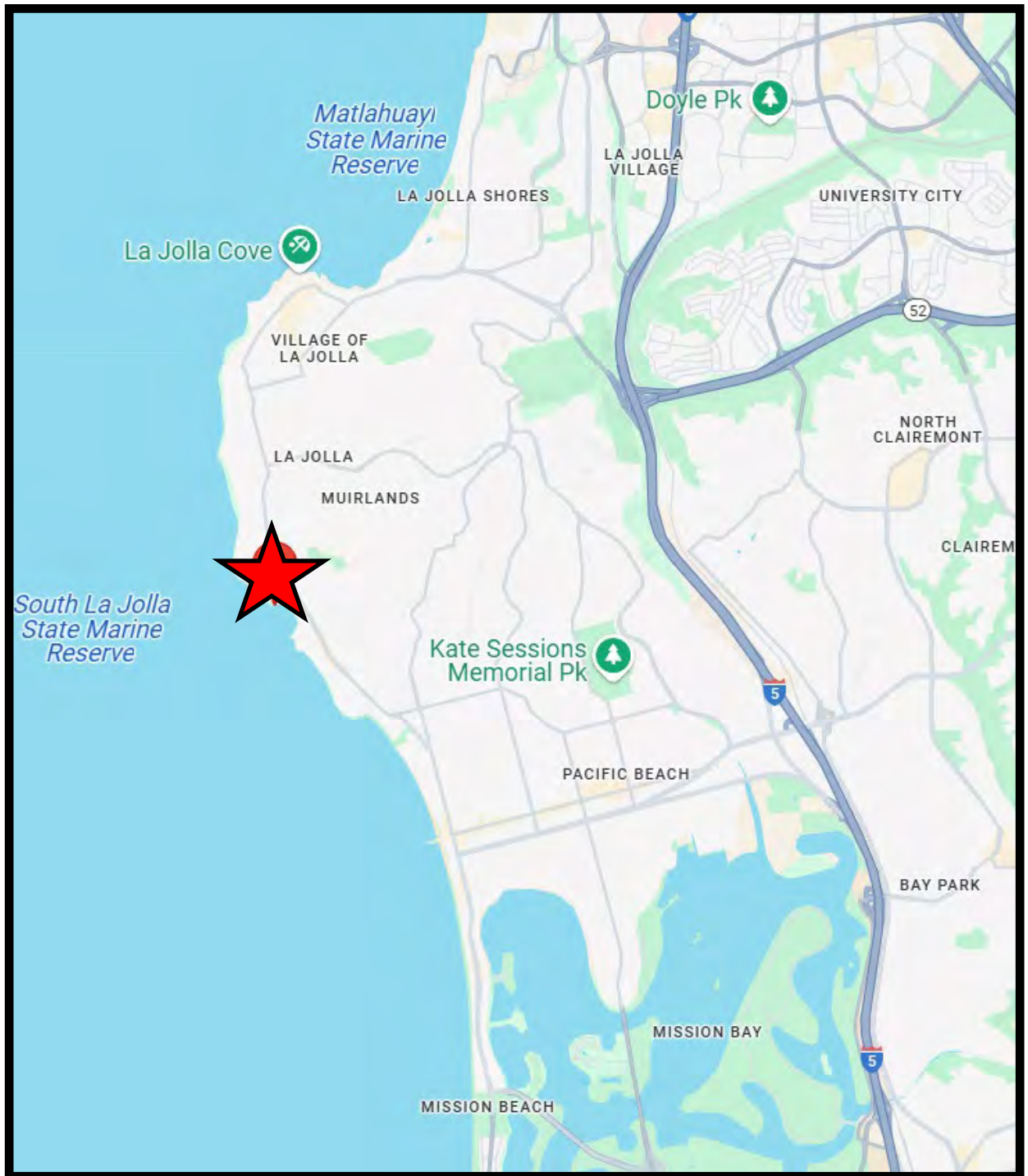
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May Rollin  
Development Project Manager  
Development Services Department

### Attachments:

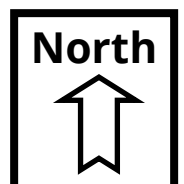
1. Project Location Map
2. Aerial Photograph
3. Land Use Map
4. Draft Resolution
5. Draft Permit
6. Environmental Determination
7. Community Planning Group Recommendation
8. Ownership Disclosure Statement
9. Project Plans
10. Notice of Violation

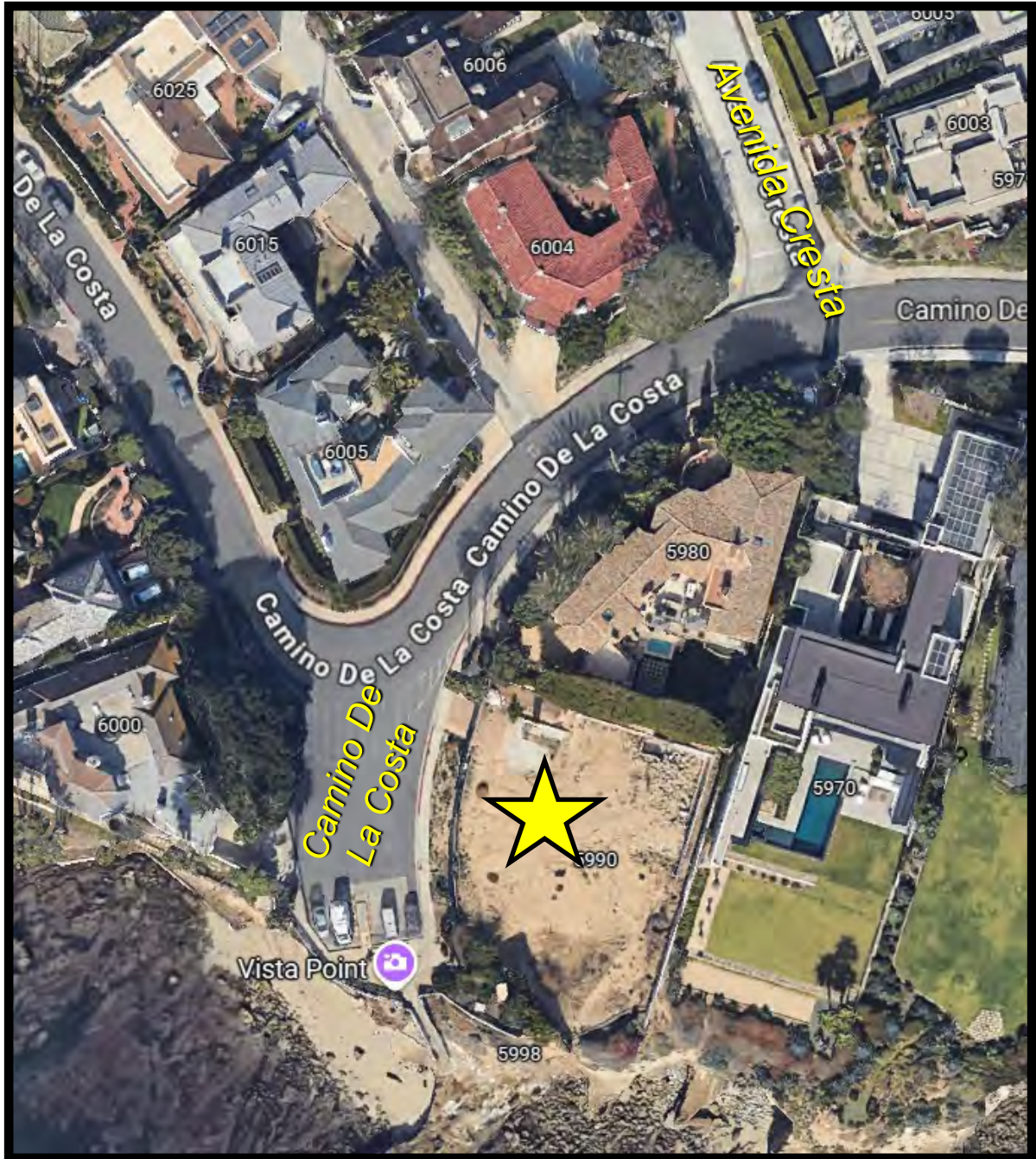




## Project Location

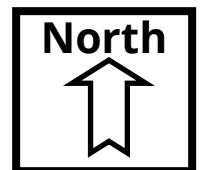
5990 and 5970 Camino De La Costa  
Project No. PRJ-1091933



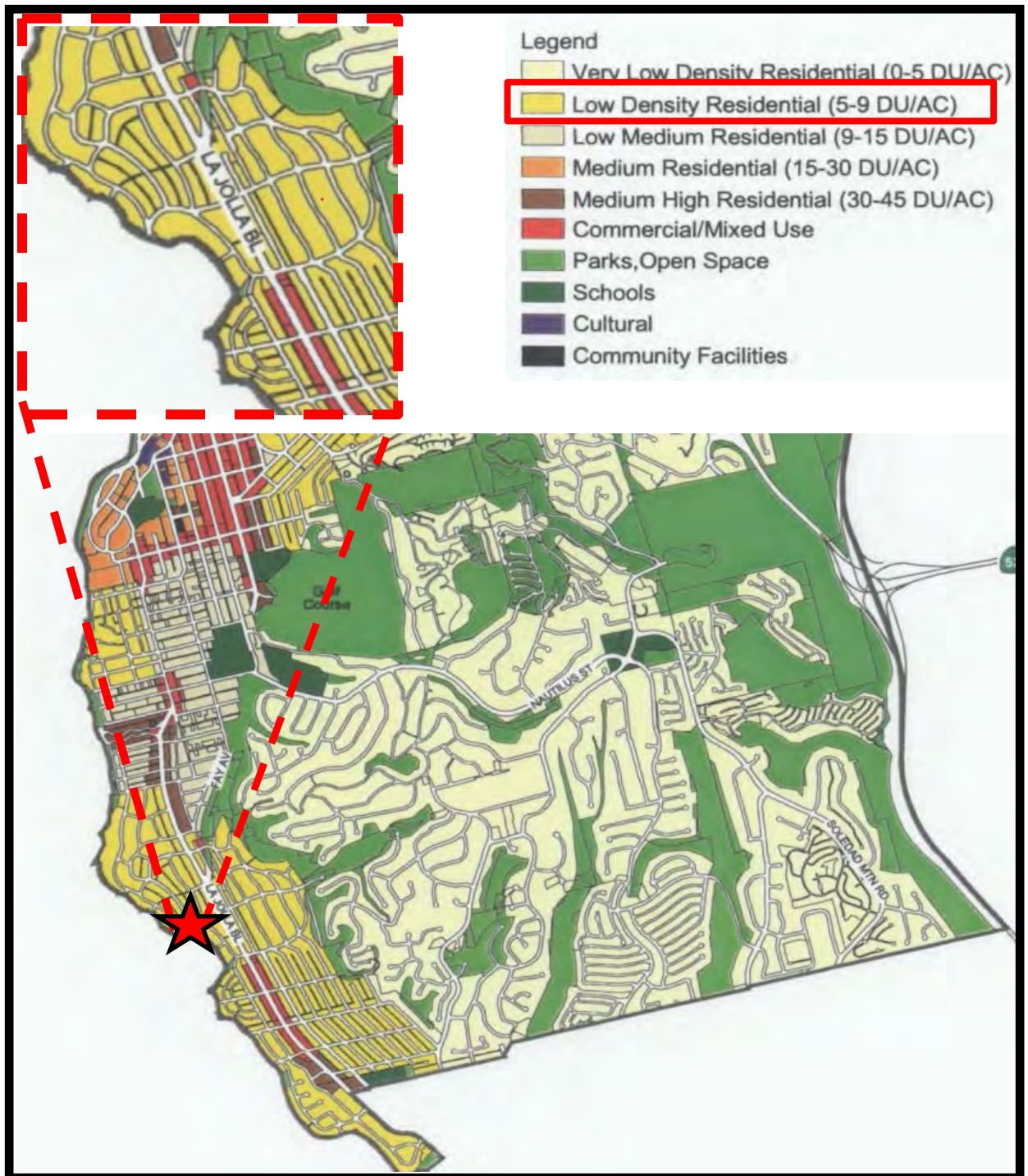


## Aerial Photo

5990 and 5970 Camino De La Costa  
Project No. PRJ-1091933







HEARING OFFICER  
RESOLUTION NO. \_\_\_\_\_  
COASTAL DEVELOPMENT PERMIT NO. PMT-3230976  
SITE DEVELOPMENT PERMIT NO. PMT-3230977  
**5990 and 5970 CAMINO DE LA COSTA - PROJECT NO. PRJ-1091933**

WHEREAS, PuraLife Company, LLC, a Wyoming Limited Liability Company, Owner/Permittee, filed an application with the City of San Diego for a permit for the demolition of a single dwelling unit and attached garage that were demolished without permits for the construction of a new 2,391-square-foot detached guest quarters, a 760 square-foot Accessory Dwelling Unit (ADU), a 5,206-square-foot subterranean garage with habitable space, and a 1,255-square-foot covered terrace (Lot 1) on a site with an existing single dwelling unit (Lot 2) as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Permit No. PMT-3230976 and PMT-3230977, on portions of a 0.99-acre site;

WHEREAS, the project site is located at 5970 Camino De La Costa in the Residential-Single Unit-1-5 (RS-1-5) Zone, Coastal Overlay Zone (Appealable Area), Coastal Height Limit Overlay Zone, Coastal Overlay Zone First Public Roadway, Parking Impact Overlay Zone, Sensitive Coastal Overlay Zone, and Transit Priority Area overlay zone within the La Jolla Community Planning Area;

WHEREAS, the project site is legally described as: Lot 1, Block 2, of La Jolla Hermosa, in the City of San Diego, County of San Diego, State of California, according to Map thereof No. 1810, filed in the office of the County Recorder of said San Diego County on November 21, 1924. Excepting therefrom that portion deeded to James H. Herbst recorded May 27, 1993 as Instrument No. 93-0337874 described as follows: Beginning at a point on the East line of said Lot 1, distant thereon 160.00 feet from the most Northerly corner thereof; thence North 73 degrees 37 minutes 15 seconds West 111.06 feet to a point on the Westerly line of said lot, said point being on a non-tangent 200.00 foot radius curve, concave Easterly, a radial line to said point bears North 67 degrees

59 minutes 39 seconds West; thence Northeasterly along said curve through a central angle of 58 degrees 16 minutes 32 seconds a distance of 203.42 feet to the most Northerly corner of said Lot 1 thence along said Easterly line; thence South 16 degrees 22 minutes 45 seconds West to the point of beginning. Lot 2, in block 2, of La Jolla Hermosa, in the City of San Diego, county of San Diego, State of California, according to Map thereof No. 1810, filed in the office of the county recorder of San Diego County December 21, 1924. excepting here from any portion now or heretofore lying below the mean high tide line of the Pacific Ocean;

WHEREAS, on February 21, 2025, the City of San Diego, as Lead Agency, through the Development Services Department, made and issued an Environmental Determination that the project is exempt from the California Environmental Quality Act (CEQA) (Public Resources Code Section 21000 et seq.) under CEQA Guideline Section 15303; and there was no appeal of the Environmental Determination filed within the time period provided by San Diego Municipal Code Section 112.0520;

WHEREAS, on May 21, 2025, the Hearing Officer of the City of San Diego considered Coastal Development Permit NO. PMT-3230976 and Site Development Permit NO. PMT-3230977 pursuant to the Land Development Code of the City of San Diego;

BE IT RESOLVED by the Hearing Officer of the City of San Diego, that it adopts the following findings with respect to Coastal Development Permit No. PMT-3230976 and Site Development Permit NO. PMT-3230977:

**A. COASTAL DEVELOPMENT PERMIT SDMC Section 126.0708**

**1. Findings for all Coastal Development Permits:**

- a. The proposed coastal development will not encroach upon any existing physical accessway that is legally used by the public or any proposed public accessway identified in a Local Coastal Program land use plan; and the proposed coastal development will enhance and protect public views to and**

**along the ocean and other scenic coastal areas as specified in the Local Coastal Program land use plan.**

The 0.99-acre project site is located at 5990 Camino De La Costa (Lot 1) and 5970 Camino De La Costa (Lot 2) in the Coastal Overlay (appealable) zone, Coastal Height Limit Overlay Zone, Transit Priority Area, Parking Impact Overlay Zone, and RS-1-5 Base Zone of the La Jolla Community Plan and Local Coastal Program Land Use Plan (Community Plan). Lot 2 is currently developed with an existing 2-story single dwelling unit, with an attached garage and no changes are proposed. Lot 1 is a vacant lot with a code enforcement action under number CE-0513516 for the unpermitted demolition of a single-family residence and attached garage. The new development in Lot 1 will meet the standards for the overlay zone and the community goals by proposing a guest quarters and Accessory Dwelling Unit (ADU) and the design of the new development will be consistent with the surrounding community, with a design that appears as a single dwelling unit, similar in size and setbacks to other residences in the community.

The proposed development is adjacent to a public accessway leading to the coast, immediately next to 5990 Camino de la Costa and Bird Rock Cove. However, per Figure 9 of the La Jolla Community Plan (CP), the project site does not contain a designated view corridor or scenic overlook. The project proposes to reconstruct a 12-foot-wide driveway to meet current City Standards for ADA accessibility, and to close a second driveway and install current City standard curb, gutter, and sidewalk. The proposed improvements to the public accessway leading to the coast would meet the community goal of protecting the public accessway (page 29 of CP).

The project site is located approximately 70 feet from the Pacific Ocean. Camino De La Costa to the west of the project site is identified on Figure 9 of the CP as having an "Intermittent of Partial View", and the area immediately west of the project site contains a "Viewshed". The project does not propose any development that would interfere with either the partial views or the viewshed, as both are located west of the development, and the viewshed is from existing public right-of-way that will not be altered by the project. As the project is within the First Public Roadway, it is required to maintain visual corridors to the coast in accordance with SDMC 132.0403(b). Therefore, a deed restricted visual corridor easement will be recorded on the property. The easement will be 8' 8 and 5/8" in width, equivalent to the street side yard setback.

The construction will result in temporary closures of the public sidewalk. Upon project completion, the public access will continue along the project frontage via the reconstructed and existing sidewalks.

Therefore, the proposed project will not encroach upon any existing physical accessway that is legally used by the public or any proposed public accessway identified in a Local Coastal Program land use plan and the proposed coastal

development will enhance and protect public views to and along the ocean and other scenic coastal areas as specified in the Local Coastal Program land use plan.

**b. The proposed coastal development will not affect environmentally sensitive lands.**

The project location, which is in an urbanized part of La Jolla, has coastal bluffs that are defined as Environmentally Sensitive Lands (ESL) in the [SDMC 143.0101](#). However, the project as designed avoids impacts to the coastal bluffs.

The proposed development is located in previously disturbed sections of the property, with development located approximately 65 feet from the top of the bluff. The project site's overall appropriate gross slope stability was confirmed by the submitted Geotechnical Investigation Reports, indicating that it is suitable for the proposed development at the 65-foot bluff setback. In addition, the report states that the site is supported by stable formational soils that are appropriate for the planned development. Natural slopes, delicate marine or coastal resources, and other environmentally sensitive places won't be adversely affected by the proposed project. A three- to five-foot retaining wall is part of the project, and which would allow the development area to be level. The wall is approximately 30 feet above sea level at its base elevation, which is about 23 feet higher than the maximum estimated sea level rise (SLR) of 6.7 feet in the year 2100. The wall does not serve as a protective barrier for the shoreline because it is approximately 55 and 100 feet above the mean high tide line.

The project site has historically experienced limited erosion and wave action and, as described in the submitted Geotechnical Investigation Report, the projected retreat rate over the 75-year life of the project is 12 feet. Therefore, given the nature of the development on a previously developed site and the fact that the project observes the required 25-foot setback according to section [\(SDMC 143.0143\(f\)\(1\)\)](#), the project will not have substantial adverse impacts on coastal resources. Therefore, this proposed coastal development is not anticipated to adversely affect any environmentally sensitive lands.

**c. The proposed coastal development is in conformity with the certified Local Coastal Program land use plan and complies with all regulations of the certified Implementation Program.**

According to the City of San Diego's General Plan, Community Plan (CP), and the Local Coastal Program (LCP) Land Use Plan, the proposed project is consistent with the designated land use. In addition, the project complies with the development regulations of the RS-1-5 zone. One goal of the CP for residential land use is to ensure that redevelopment "occurs in a manner that protects natural features, preserves existing streetscape themes, and allows a harmonious visual relationship to exist between the bulk and scale of new and older structures". The design of the project uses architectural features and styles that are similar to those of nearby residences, including similar rooflines, window designs, and facade materials. The



project proposes to use stucco for the facade with metal and glass finishes, which conforms with the existing development within the surrounding area. In addition, the second story is stepped back to lessen the visual impact at the street level. Another goal for residential development in the CP includes respecting the relationship between residential development and "...its relationship to the sea, to hillsides, and to open space". The project is set back from the top of the coastal bluff by 65 feet and is developing in already disturbed areas of the lot, and so no new encroachments are proposed into that bluff.

As noted above, the proposed development is located within areas of disturbance from prior development of the site. In accordance with San Diego Municipal Code (SDMC) [Section 143.0143\(f\)\(1\)](#) ("Development Regulations for Sensitive Coastal Bluffs"), all development will observe a setback of approximately 65 feet from the bluff edge, where 25 feet is required. The geologic studies indicate that there is no area with a factor of safety below 1.5 on the building pad or slope face. Slopes (i.e. coastal bluffs) with a factor of safety greater than 1.5 are stable and have minimal risk of failure. The report indicates the site is adequately stable and suitable for the proposed development. The report concluded that due to the distance from the bluff edge and high strength and erosion resistance of the Point Loma Formation, the excavation for the basement will not require removal of any portion of the bluff top and removal or relocation of the proposed structure would not be required for far beyond the 75-year useful life of the structure.

Therefore, given the nature of the development on a previously developed site and the fact that the project observes and exceeds the required 25-foot setback according to SDMC section 143.0143(f)(1), the project will not have substantial adverse impacts on coastal resources. The proposal will protect the identified public viewshed by recording a deed restricted visual corridor easement of the required side yard setback. Consequently, this proposed coastal development is not anticipated to adversely affect any Coastal Program land use plan and complies with all regulations of the certified Implementation Program.

- d. For every Coastal Development Permit issued for any coastal development between the nearest public road and the sea or the shoreline of any body of water located within the Coastal Overlay Zone the coastal development is in conformity with the public access and public recreation policies of Chapter 3 of the California Coastal Act.**

The project is located approximately 70 feet north of the Pacific Ocean and within the First Public Roadway on Camino De La Costa. The proposed development will be contained within the private property, with no encroachments into the First Public Roadway. The site would be accessed via a new 12-foot-wide driveway from Camino de la Costa; one existing driveway will be closed and replaced with city standard curb, gutter and sidewalk. The existing public access to the coast via Camino de la Costa will not be altered. The project does not propose any development that would encroach into any public view or viewshed. The construction will result in temporary closures of the public sidewalk. Upon project completion, the public access will



continue along the project frontage via the reconstructed and existing sidewalks. Therefore, no physical accessway that is already or may be used by the public will be encroached upon by the project.

The project complies with Chapter 3 of the Coastal Act's Article 2, Public Access. The project complies with the Community Plan's requirements for public access, as mentioned in Finding A(1)(a) hereof incorporated by reference. Furthermore, the proposal complies with the following provisions of Article 2 of the Coastal Act that apply to the location:

The proposed development will not interfere with the public's right of access to the sea acquired through use or legislative authorization, including, but not limited to, the use of dry sand and rocky coastal beaches to the first line of terrestrial vegetation. The project site does not have direct access to the sea and does not encroach on the access points to the north of the project site.

The public's right of access to the sea, which is obtained through use or legislative authorization, cannot be affected by the development. The use of stony and dry sand beaches up to the first line of terrestrial vegetation is covered by this right, however, it is not the only one. The public's access to the sea, which has been granted by use or legal authorization, will not be affected by the proposed development. This includes, but is not limited to, the use of rocky and dry sand beaches up to the first line of terrestrial vegetation. According to Public Resources Code Section 30211, the project site does not directly face the sea and has no impact on the access points to the north of it.

As previously stated, the project does not have direct access to the sea, access to the sea from the project site would be unsafe and inadequate to meet the needs of the public. The project complies with the development requirements of the SDMC and is consistent with the recommended land use designation, design guidelines, and development standards in effect for this site. Public access to the water, public recreation facilities, or public parking facilities would not be adversely affected by the approval of this development.

The project is a new development on an existing developed site that does not interfere with public access and protects coastal resources of environmentally sensitive lands. It is not appropriate nor feasible for public facilities, including parking areas or facilities, to be distributed throughout this site so as to mitigate against the impacts, social and otherwise, of overcrowding or overuse by the public of any single area.

The project site is situated within an existing subdivision, designated for low density residential development. Due to its natural coastal bluffs, the site is not suitable for public recreational activities or beach access.

The project site is designated for residential use and does not contain private lands suitable for visitor-serving commercial recreational facilities designed to enhance public opportunities for coastal recreation. There will be vehicle access via Camino De La Costa through a new 12-foot-wide driveway, and the existing non-utilized driveways will be closed with city standard curb gutter and sidewalks. The project is redeveloping an existing residential land used and surrounded by existing residential development.

As demonstrated above, the proposed project is within the first public roadway and meets all the criteria of Coastal Act Chapter 3, Articles 2 and 3. Therefore, the coastal development is in conformity with the public access and public recreation policies of Chapter 3 of the California Coastal Act.

**B. SITE DEVELOPMENT PERMIT SDMC Section 126.0505**

**1. Findings for all Site Development Permits:**

**a. The proposed development will not adversely affect the applicable land use plan.**

Please see finding A.1.c above, which is herein incorporated by reference. The proposed development will not adversely affect the applicable land use plan.

**b. The proposed development will not be detrimental to the public health, safety, and welfare.**

The proposed development complies with the SDMC's applicable policies and regulations, which are intended to protect the public's health, safety, and welfare. Specific requirements (conditions) and cited exhibits of approval are included in the project's permit to ensure conformance to the relevant SDMC regulations. The project permit contains specific conditions to ensure compliance with the regulations of the land development code, including to protect the public health, safety and welfare. Permit requirements include, but are not limited to, preparation of a Water Pollution Control Plan (WPCP) and the implementation of storm water construction best management practices (BMPs) to ensure that runoff will be contained on site and not result in off-site impacts; replacement of existing sidewalks and one driveway curb cut with city standard curb, gutter, and sidewalk; and installation of measures to direct storm water to the storm drain system.

These permit requirements will avoid negative effects on the general welfare, safety, and public health. The plans will be reviewed by City Staff for compliance with all building, electrical, mechanical, plumbing, and fire code requirements before any Ministerial Permits, including grading and/or building permits, are granted for the planned development. Conformance with the required permit conditions will ensure the development will not be detrimental to public health, safety, and welfare.

**C . The proposed development will comply with the regulations of the Land Development Code including any allowable deviations pursuant to the Land Development Code.**

This site is located in RS-1-5 zone and designated for low-density residential zone (5-9 DU/acre) per the CP. The project scope maintains the existing dwelling unit count and density. The proposed structure height is complementary and follows the proposed grade and does not exceed 21 feet in height in accordance with SDMC 141.0307(f) that limits the height of guest quarters with a flat roof to a maximum of 21 feet in height. The proposed development complies with the prescribed setbacks.

The street side setback (along the eastern frontage of Camino de la Costa) measures 14'-8 ¾" where a minimum 8'-8 5/8" street side yard setback is required; the rear setback measures 44 feet, where a minimum 33'-1 3/8" rear yard setback is required; and the interior side setbacks are measures 7', where a minimum 6'-11 ¾" interior side yard setback is required. No development is proposed along the front yard of the premises that is located along the northern frontage of Camino de la Costa.

The project conforms to SDMC [131.0446](#) Floor Area Ratio (FAR) which allows for an FAR of 0.45. The proposed FAR is .32. In addition, the development will observe a setback of approximately 65 feet from the bluff edge, where 25 feet is required. No deviations are requested. Therefore, the proposed development will comply with the regulations of the Land Development Code including any allowable deviations pursuant to the Land Development Code.

**2. Supplemental Findings--Environmentally Sensitive Lands:**

**a. The site is physically suitable for the design and siting of the proposed development and the development will result in minimum disturbance to environmentally sensitive lands.**

The project site is located in an urbanized area of La Jolla. On its south side, it has environmentally sensitive coastal bluffs. Geologic studies conducted for the project indicate that stable formational soils suitable for the proposed residence and associated improvements underlie the site. Proper engineering design will mitigate potential geologic impacts from regional hazards, ensuring that these impacts will not be significant. The proposed project will not negatively impact natural slopes, sensitive coastal or marine resources, or other environmentally sensitive areas.

The proposed development is located in previously disturbed areas of the site. The proposed development is located approximately 65 feet from the top of bluff determination in compliance with San Diego Municipal Code (SDMC) Section [143.0143\(f\)\(1\)](#) ("Development Regulations for Sensitive Coastal Bluffs"), where a 25-foot setback from the top of bluff is required. The 65-foot coastal bluff edge setback ensures that the project has been designed to avoid significant geologic instability.

While the project is located in Geologic Hazard Category 43, it is not characterized by "unstable coastal bluffs, unfavorable jointing, and high erosion." The site is underlain by very high strength, erosion resistant Point Loma formation. All excavation required for the proposed development is located in existing artificial fill soil and terrace deposits. The Formational Point Loma Formation soils are not disturbed.

The project includes a three- to five-foot retaining wall designed to the grade along the south end of the property to help level-out the rear area yard. In accordance with San Diego Municipal Code (SDMC) Section [143.0143\(f\)\(1\)](#) ("Development Regulations for Sensitive Coastal Bluffs"), it will maintain a all development will observe a setback of approximately 65 feet from the bluff edge, where 25 feet is required. At the base elevation, the wall is approximately 30-feet above sea level or approximately 23-feet above the max projected sea level rise of 6.7-feet in the year 2100. The wall is currently located 55-feet to 100-feet from the current mean high tide line and therefore does not function as a shoreline protective device.

The project site has historically experienced limited erosion and wave action and, as described in the submitted Geotechnical Investigation Report, the projected retreat rate over the 75-year life of the project is 12 feet. Therefore, given the circumstances and the nature of the development on a previously developed site the project will not have substantial adverse impacts on coastal resources. Consequently, this proposed coastal development is not anticipated to adversely affect any environmentally sensitive lands.

**b. The proposed development will minimize the alteration of natural landforms and will not result in undue risk from geologic and erosional forces, flood hazards, or fire hazards.**

The project site is not in a flood zone, as shown on any Federal Emergency Management Agency (FEMA) map. The site is not within any mapped [Very High Fire Severity Zone](#). A geotechnical report was prepared for the project, which did not identify undue risk from the project as designed. Portion of the site will be leveled, and grading is proposed for the basement/garage areas, but all of the development is set back 65 feet from the coastal bluff and is within area that have been previously developed. The proposed development will not result in undue risk from geologic and erosional forces, flood, or fire hazards.

According to the City of San Diego General Plan, the project area is classified as low to moderate risk for seismic activity. The project will be required to comply with the seismic requirements of the California Building Code, and standard construction requirements that the city verifies at the construction permitting stage. The coastal blufftop site is located in an area relatively free of geologic hazards that will significantly affect the proposed residence over its design life. The most likely geologic hazard that could affect the site is ground shaking due to seismic activity along one of the regional active faults. However, construction in accordance with the requirements of the California Building Code and the required project conditions should provide a level of life safety suitable for the type of development proposed.

The proposed development is safe from coastal hazards, including over 6 feet of Sea Level Rise (SLR). The elevation of the development prevents site flooding from the ocean and wave runup in consideration of the 0.5% SLR (CCC SLRG, 2018). Finally, the site is well setback from the impact of shoreline erosion in consideration of SLR. No protective devices will be necessary to protect the proposed development from any existing or anticipated future coastal hazards over the lifetime of the new residence.

The project will adhere to all uniform building and fire code requirements. The site is situated in a predominantly developed single-family neighborhood. Consequently, the proposed project will minimize alterations to natural landforms and will not pose undue risks from geological and erosional forces, flooding, or fire hazards.

**c. The Proposed Development will be sited and designed to prevent adverse impacts on any adjacent environmentally sensitive lands.**

The project site includes Environmentally Sensitive Lands in the form of Coastal Bluffs along the southern part of the site. The proposed development will take place entirely on private property within areas that were previously disturbed and will not result in any impacts to the coastal bluffs or environmentally sensitive lands.

The permit for this development includes conditions that ensure compliance with the City's regulations as well as other regional, State, and Federal regulations to prevent negative impacts on the health, safety, and welfare of people living there. These conditions cover requirements related to stormwater runoff, runoff during construction, and landscaping. All Uniform Building, Fire, and Mechanical Codes governing the construction and continued operation of the development will apply to this site to prevent adverse effects on people or other properties in the area. Therefore, the proposed development will be located and designed to avoid negative impacts on adjacent environmentally sensitive lands.

**d. The proposed development will be consistent with the City of San Diego's Multiple Species Conservation Program (MSCP) Subarea Plan and Vernal Pool Habitat Conservation Plan (VPHCP).**

The site does not contain, nor is it adjacent to any Multiple Habitat Planning Area (MHPA) identified in the Multiple Species Conservation Program (MSCP), so it is not subject to the MHPA Adjacency Guidelines. In addition, the project site contains no vernal pools and is therefore not subject to the VPHCP.

**e. The proposed development will not contribute to the erosion of public beaches or adversely impact local shoreline sand supply.**

The permit contains project specific conditions that help ensure drainage would be directed away from the bluffs to limit erosion of the on-site bluffs and adjacent beaches. The permittee shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be prepared in accordance with the guidelines in Part 2 Construction

Best Management Practices (BMP) Standards Chapter 4 of the City's Storm Water Standards.

As a condition of permit approval, the Owner/Permittee would be required to accept a deed restriction waiving all rights to shoreline protective devices associated with the subject property.

Under the Coastal Act, development is required to be sited and designed to minimize risks, assure stability and structural integrity, and neither create nor contribute significantly to erosion or require the construction of protective devices that would substantially alter the natural landforms along bluffs and cliffs (Section 30253).

Therefore, the proposed development will not contribute to the erosion of public beaches or adversely impact the local shoreline sand supply.

**f. The nature and extent of mitigation required as a condition of the permit is reasonably related to, and calculated to alleviate, negative impacts created by the proposed development.**

The project is exempt from the California Environmental Quality Act (CEQA) therefore no mitigation is required. Nor are there biological resources or MHPA lands on or adjacent to the site (per Finding 2.e. above).

The above findings are supported by the minutes, maps and exhibits, all of which are incorporated herein by this reference.

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the Hearing Officer, Coastal Development Permit NO. PMT-3230976 and Site Development Permit NO. PMT-3230977 are hereby GRANTED by the Hearing Officer to the referenced Owner/Permittee, in the form, exhibits, terms and conditions as set forth in Permit PMT-3230976 and Permit PMT-3230977, a copy of which is attached hereto and made a part hereof.

---

May Rollin  
Development Project Manager  
Development Services  
Adopted on: May 21, 2025  
IO#: 24009554

**RECORDING REQUESTED BY**  
CITY OF SAN DIEGO  
DEVELOPMENT SERVICES  
PERMIT INTAKE, MAIL STATION  
501

**WHEN RECORDED MAIL TO**  
**PROJECT MANAGEMENT**  
**PERMIT CLERK**  
**MAIL STATION 501**

INTERNAL ORDER NUMBER: 24009554

SPACE ABOVE THIS LINE FOR RECORDER'S USE

**COASTAL DEVELOPMENT PERMIT NO. PMT-3230976**  
**SITE DEVELOPMENT PERMIT NO. PMT-3230977**  
**5990 and 5970 CAMINO DELA COSTA - PROJECT NO. PRJ-1091933**  
HEARING OFFICER

This Coastal Development Permit No. PMT-3230976 and Site Development Permit No. PMT-3230977 is granted by the Hearing Officer of the City of San Diego to PuraLife Company, LLC, a Wyoming Limited Liability Company, Owner/ Permittee, pursuant to San Diego Municipal Code (SDMC) section §126.070(a) and §126.0708(a). The 0.99-acre site is located at 5990 (Lot 1) and 5970 (Lot 2) Camino De La Costa in the Residential-Single (RS-1-5) Zone, Coastal Overlay Zone (Appealable Area), Coastal Height Limit Overlay Zone, Coastal Overlay Zone First Public Roadway (COZFPR), Parking Impact Overlay Zone, Sensitive Coastal Overlay Zone (SCOZ), Transit Priority Area (TPA), Paleontological Sensitivity Area, Coastal Bluff, Special Flood Hazard Area, Earthquake Fault Buffers (Geologic Hazard Category 12), and Geologic Hazard Category overlay zones within La Jolla Community Planning Area. The project site is legally described as: Lot 1, Block 2, of La Jolla Hermosa, in the City of San Diego, County of San Diego, State of California, according to Map thereof No. 1810, filed in the office of the County Recorder of said San Diego County on November 21, 1924. Excepting therefrom that portion deeded to James H. Herbst recorded May 27, 1993, as Instrument No. 93-0337874 described as follows:

Beginning at a point on the East line of said Lot 1, distant thereon 160.00 feet from the most Northerly corner thereof; thence North 73 degrees 37 minutes 15 seconds West 111.06 feet to a point on the Westerly line of said lot, said point being on a non-tangent 200.00 foot radius curve, concave Easterly, a radial line to said point bears North 67 degrees 59 minutes 39 seconds West; thence Northeasterly along said curve through a central angle of 58 degrees 16 minutes 32 seconds a distance of 203.42 feet to the most Northerly corner of said Lot 1 thence along said Easterly line; thence South 16 degrees 22 minutes 45 seconds West to the point of beginning.

Lot 2, in block 2, of La Jolla Hermosa, in the City of San Diego, county of San Diego, State of California, according to Map thereof No. 1810, filed in the office of the county recorder of San Diego County December 21, 1924. excepting here from any portion now or heretofore lying below the mean high tide line of the Pacific Ocean.

Subject to the terms and conditions set forth in this Permit, permission is granted to the Owner/Permittee for the demolition of existing single-family residence and attached garage to

construct a new detached guest quarters and Accessory Dwelling Unit (ADU) with a subterranean garage (Lot 1) on a site with an existing single family dwelling unit (Lot 2) described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated May 21, 2025, on file in the Development Services Department.

The project shall include:

- a. The demolition of an existing single-family residence and attached garage on Lot 1;
- b. Construction of a new 2,391-square-foot detached guest quarters, a 760 square-foot Accessory Dwelling Unit (ADU), a 5,206-square-foot subterranean garage with habitable space, and a 1,255-square-foot covered terrace on Lot 1.
- c. Landscaping planting, irrigation, and landscape-related improvements;
- d. Off-street parking;
- e. Retaining walls; and
- f. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act [CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

**STANDARD REQUIREMENTS:**

1. This permit must be utilized within thirty-six-(36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36-month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by ( ), 2028 (This date will be adjusted after California Coastal Commission appeal period).
2. This Coastal Development Permit shall become effective on the eleventh working day following receipt by the California Coastal Commission of the Notice of Final Action or following all appeals.
3. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
  - a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and



- b. The Permit is recorded in the Office of the San Diego County Recorder.
4. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision-maker.
5. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.
6. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
7. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).
8. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.
9. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.
10. All of the conditions contained in this Permit have been considered and were determined necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

**ENGINEERING REQUIREMENTS:**

11. Prior to the issuance of any construction permit the Owner/Permittee shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be prepared in accordance with the guidelines in Part 2 Construction BMP Standards Chapter 4 of the City's Storm Water Standards.
12. Prior to the issuance of any building permit, the Owner/Permittee shall assure by permit and bond the closure of the existing non-utilized driveways with current City Standard curb, gutter, and sidewalk adjacent to the site on Camino De La Costa satisfactory to the City Engineer.
13. Prior to the issuance of any building permit, the Owner/Permittee shall assure by permit and bond the construction of a new 12 feet driveway per current City Standards adjacent to the site on El Camino De La Costa, satisfactory to the City Engineer.
14. Prior to the issuance of any building permit the Owner/Permittee shall obtain an Encroachment Maintenance and Removal Agreement (EMRA), from the City Engineer, for the private improvements such as the landscape/irrigation, curb outlets, and concrete pavers in Camino De La Costa Right-of-Way.

**LANDSCAPE REQUIREMENTS:**

15. Prior to issuance of any construction permit for grading, the Owner/Permittee shall submit complete construction documents for the revegetation and hydro-seeding of all disturbed land in accordance with the City of San Diego Landscape Standards, Storm Water Design Manual, and to the satisfaction of the Development Services Department. All plans shall be in substantial conformance to this permit (including Environmental conditions) and Exhibit "A," on file in the Development Services Department.
16. Prior to issuance of any construction permit for public improvements, the Owner/Permittee shall submit complete landscape construction documents for right-of-way improvements to the Development Services Department for approval. Improvement plans shall show, label, and dimension a 40-square-foot area around each tree which is unencumbered by utilities. Driveways, utilities, drains, water and sewer laterals shall be designed so as not to prohibit the placement of street trees.
17. Prior to issuance of any construction permit for building (including shell), the Owner/Permittee shall submit complete landscape and irrigation construction documents, which are consistent with the Landscape Standards, to the Development Services Department for approval. The construction documents shall be in substantial conformance with Exhibit "A," Landscape Development Plan, on file in the Development Services Department. Construction plans shall provide a 40-square-foot area around each tree that is unencumbered by hardscape and utilities unless otherwise approved per §142.0403(b)(6).
18. In the event that a foundation only, permit is requested by the Owner/Permittee, a site plan or staking layout plan, shall be submitted to the Development Services Department identifying all landscape areas consistent with Exhibit "A," Landscape Development Plan, on file in the Development Services Department. These landscape areas shall be clearly identified with a distinct symbol, noted with dimensions, and labeled as 'landscaping area.'

19. The Owner/Permittee shall be responsible for the maintenance of all landscape improvements shown on the approved plans, including in the right-of-way, unless long-term maintenance of said landscaping will be the responsibility of another entity approved by the Development Services Department. All required landscape shall be maintained consistent with the Landscape Standards in a disease, weed, and litter free condition at all times. Severe pruning or "topping" of trees is not permitted.

20. If any required landscape (including existing or new plantings, hardscape, landscape features, etc.) indicated on the approved construction documents is damaged or removed, the Owner/Permittee shall repair and/or replace in kind and equivalent size per the approved documents to the satisfaction of the Development Services Department within 30 days of Final Inspection.

**MAPPING REQUIREMENTS**

21. Prior to issuance of project building permit, Owner/Permittee shall submit a ministerial application to obtain a Certificate of Compliance to certify legal lot status over portion of Lot 1, Block 1, Map No. 1810 (APN 357-220-13) subject to this development project review. Certificate of Compliance to be reviewed and issued under criteria set forth in S.D.M.C. §113.0237 to facilitate development and clear land title status.

**PLANNING/DESIGN REQUIREMENTS:**

22. Prior to the issuance of any construction permits, the Owner/Permittee shall execute a Notice of Hazardous Condition-Indemnification and Hold Harmless Agreement for Sensitive Coastal Bluffs in accordance with SDMC section 143.0143, in a form and content acceptable to the Director of the Development Services Department, or designated representative, which shall provide:

- a. That the Owner/Permittee understands that new accessory structures or landscape features customary and incidental to residential uses are prohibited within 5 feet of the Coastal Bluff Edge or on the face of the Bluff, as illustrated on approved plan Exhibit "A;"
- b. That the Owner/Permittee understands that the site may be subject to extraordinary hazard from coastal bluff erosion, and the Owner/Permittee assumes all liability from such hazards; and
- c. The Owner/Permittee unconditionally waives any claim of liability against The City of San Diego and agrees to defend, indemnify, and hold harmless The City of San Diego and its advisors relative to The City of San Diego's approval of the project and for any damage due to natural hazards. This Notice of Hazardous Conditions-Indemnification and Hold Harmless Agreement shall be recorded against title to the property and shall run with the land, binding upon all successors and assigns.

23. Prior to the issuance of a building permit for the guest quarters, the record owner shall submit a signed agreement with the City that neither the primary dwelling unit nor the guest quarters or

habitable accessory building shall be sold or conveyed separately. The city will provide the agreement to the County Recorder for recordation.

24. As a condition of new development, a required waiver of liability against the public and any governmental agency for liability due to damage from storm waves to real property associated with the improvement which should be recorded as a deed restriction against the property.

25. Prior to the issuance of any construction permits, the Owner/Permittee shall record a visual corridor easement grant deed of not less than the side yard setbacks or more than 10 feet in width, and running the full depth of the premises, shall be preserved as a deed restriction as a condition of this permit. Approval in accordance with SDMC section 132.0403 as to protect and restore public views to the ocean.

26. Owner shall waive rights to protective devices associated with the subject property; in accordance with Land Development Code Section 143.0143(f). Prior to the issuance of any building permits, the Owner/Permittee shall record a Deed Restriction waiving all future rights to shoreline protective devices associated with the subject property.

27. Per SDMC 141.0302(b)(1)(B), an ADU shall not be used for a rental term of less than 31 consecutive days.

#### **TRANSPORTATION REQUIREMENTS**

28. All automobile parking spaces must be constructed in accordance with the requirements of the SDMC. All on-site parking stalls shall be in compliance with the requirements of the City's Land Development Code and shall not be converted and/or utilized for any other purpose unless otherwise authorized in writing by the appropriate City decisionmaker in accordance with the SDMC.

29. Prior to the issuance of any building permit, the Owner/Permittee shall assure by permit and bond the closure of all nonutilized driveways along the project's frontages on Camino De La Costa and replace them with current City Standard curb height, gutter, and sidewalk, satisfactory to the City Engineer. All improvements shall be completed and accepted by the City Engineer prior to first occupancy.

30. Prior to the issuance of any building permit, the Owner/Permittee shall assure by permit and bond the construction of a 12-foot-wide new driveway on Camino De La Costa satisfactory to the City Engineer. All improvements shall be completed and accepted by the City Engineer prior to first occupancy.

31. The Owner/Permittee shall provide and maintain a 10-foot by 10-foot visibility triangle area at the proposed driveway located along Camino Del La Costa measured along the property line and along the driveway. No obstacles higher than 36 inches shall be located within this area e.g., landscape, hardscape, shrubs, walls, columns, signs etc.

#### **PUBLIC UTILITIES DEPARTMENT REQUIREMENTS:**

32. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, the design and construction of new water service(s) outside of any driveway or drive aisle and the abandonment of any existing unused water services within the right-of-way adjacent to the project site, in a manner satisfactory to the Public Utilities Department and the City Engineer.

33. Prior to the issuance of any building permit Owner/Permittee shall installed of appropriate private back flow prevention device(s), on each water service (domestic, fire and irrigation), in a manner satisfactory to the Public Utilities Department and the City Engineer. BFPDs shall be located above ground on private property, in line with the service and immediately adjacent to the right-of-way. Prior to the issuance of any building permits, the Owner/Permittee shall assure construction of the proposed water meters, within public right-of-way, for all proposed water services.

34. All proposed private water and sewer facilities are to be designed to meet the requirements of the California Uniform Plumbing Code and will be reviewed as part of the building permit plan check.

35. No trees or shrubs exceeding three feet in height at maturity shall be installed within ten feet of any sewer facilities and five feet of any water facilities.

#### **STRUCTURAL/GEOLOGY REQUIREMENTS:**

36. Assumption of Risk, Waiver of Liability, and Indemnity Agreement. By acceptance of this permit, the applicants acknowledge and agree (i) that the site may be subject to hazards from erosion, wave action, and coastal bluff collapse; (ii) to assume the risks to the applicants and the property that is the subject of this permit of injury and damage from such hazards in connection with this permitted development; (iii) to unconditionally waive any claim of damage or liability against the City, its officers, agents, and employees for injury or damage from such hazards; and (iv) to indemnify and hold harmless the City, its officers, agents, and employees with respect to the City's approval of the project against any and all liability, claims, demands, damages, costs (including costs and fees incurred in defense of such claims), expenses, and amounts paid in settlement arising from any injury or damage due to such hazards.

37. Future Removal Plan

**Monitoring and Future Removal of New Development.** Prior to issuance of the building permit, the applicants shall submit to the Development Services Department for review and written approval, a plan prepared by a licensed geologist or geotechnical engineer familiar and experienced in shoreline processes, and it shall provide for a schedule and methodology for monitoring and reporting on the location of the blufftop edge in relation to the existing residence. In addition, the plan shall provide a detailed description of how the new development, including the basement, will be removed if and when it becomes threatened. The plan shall include, at a minimum, the following:

- A. Reference Points.** Provisions for establishing, prior to construction, numbered monuments or surveyed points of measurement (reference points) to be located along the seaward edge of the approved development with a minimum of points at 25-foot increments, as well as at

the most downcoast and most upcoast portions of the seaward edge of the approved development, including underground infrastructure.

- B. Measurement Episodes.** Provisions for a licensed surveyor, in coordination with a certified engineering geologist, civil engineer, and/or geotechnical engineer familiar and experienced in shoreline processes, to conduct measurements in feet of the linear distance, measured perpendicular from the shoreline, between the established reference points and the blufftop edge. Measurements shall be taken within ten calendar days from date of approval, every five years, and within five calendar days after any event that results in the blufftop edge eroding inland 5 feet or more. The plan shall provide for a methodology consistent with standard surveying and blufftop delineation methods for determining the location of the blufftop edge and documenting distances on land. The results of each measurement episode shall be summarized in a report and submitted to the Development Services Department within a three-month period from the date of the measurements.

Each measurement episode shall also be documented through identification of:

- I. The date of the measurement;
- II. The person making the measurement and their qualifications;
- III. Tidal and weather details for the times and dates of the measurement episode, including each date/time associated with each photo taken; and
- IV. Photos in color, in hard copy 8.5" by 11" and electronic jpg formats or equivalent, and at a scale and resolution that allows for comparison by the naked eye between photos of the same location taken at different times of:
  - a. The area between each reference point and the blufftop edge, providing full photographic coverage of the blufftop area between each reference point and the blufftop edge;
  - b. Each reference point and the surrounding area; and
  - c. The point on the blufftop edge from which each measurement derives and the surrounding area, including photos from both the blufftop and a beach vantage so as to provide full photographic coverage of the bluff face itself and the bluff edge. The photo documentation shall be accompanied by a site plan that identifies the location and orientation of each photo, each view of which shall be numbered. Measurement episodes shall include photos from the same vantage points each time to the extent feasible, and shall include additional vantage points and coverage as necessary to document the required photographic area.

- C. Removal Plan.** Provisions for the development described in Coastal Development Permit No. 3230976 in the event the development becomes threatened. The plan shall provide for detailed options including removal of the residential structure, relocation of part of the structure, and moving of the structure landward of the GSL.

**INFORMATION ONLY:**

- The issuance of this discretionary permit alone does not allow the immediate commencement or continued operation of the proposed use on site. Any operation allowed by this discretionary permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Hearing Officer of the City of San Diego on April 23, 2025, and Resolution No. HO-XXXX

**ATTACHMENT 05**

Coastal Development Permit No. PMT-3230976

Site Development Permit No. PMT-3230977

Date of Approval: May 21, 2025

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES DEPARTMENT

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May Rollin  
Development Project Manager

**NOTE: Notary acknowledgment  
must be attached per Civil Code  
section 1189 et seq.**

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**The undersigned Owner/Permittee**, by execution hereof, agrees to each and every condition of this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

**PuraLife Company, LLC**  
Owner/Permittee

By \_\_\_\_\_  
Colleen Boretto  
Manager

**NOTE: Notary acknowledgments  
must be attached per Civil Code  
section 1189 et seq.**



**NOTICE OF EXEMPTION**

**TO:** Recorder/County Clerk  
 P.O. Box 1750, MS A-33  
 1600 Pacific Hwy, Room 260  
 San Diego, CA 92101-2400

**From:** City of San Diego  
 Development Services Department  
 1222 First Avenue, MS 501  
 San Diego, CA 92101

Office of Land Use and Climate Innovation  
 1400 Tenth Street, Room 121  
 Sacramento, CA 95814

**Project Title / Number:** 5970 Camino De La Costa/ PRJ 1091933

**State Clearinghouse No.:** Not Applicable

**Project Location-Specific:** 5970-5990 Camino De La Costa, La Jolla, CA 92037

**Project Location-City/County:** San Diego/San Diego

**Description of nature and purpose of the Project:** The project proposes a Coastal Development Permit (CDP) and Site Development Permit (SDP) to demolish the existing single-family residence and attached garage on Lot 1 to construct a new detached, 3,151 square-foot (SF) guest house, a new 5,171 SF subterranean garage, and a new 1,255 SF covered terrace. Site improvements would include new hardscape, landscape, and a new driveway curb cut to replace existing portions of sidewalks. The proposed retaining walls would be located along the south and western portions of the property, and would range from 3 feet to 5 feet in height and be approximately 250 feet in length. The project is to address a code violation. Lot 2 is currently developed with an existing 2-story dwelling unit with an attached garage. No changes are proposed to Lot 2. The 0.98-acre project site is in the RS-1-5 (Residential Single-Unit) Base Zone, in the Coastal Overlay Zone (appealable), Coastal Height Limit Overlay Zone, Transit Priority Area, Parking Impact Overlay Zone, and Mobility Zone 2 of the La Jolla Community Plan and Local Coastal Program Land Use Plan. The community plan designates the site as low-density residential (5-9 dwelling units per acre). **LEGAL DESCRIPTION:** (Lot 1 and 2, Block 2, of La Jolla Hermosa, in the City of San Diego, County of San Diego, State of California, According to Map Thereof No. 1810, Filed in the Office of County Recorder of San Diego County on November 21, 1924, excepting here from any portion lying below the mean high tide line of the Pacific Ocean, APN 357-220-0200, 357-220-13-00).

**Name of Public Agency Approving Project:** City of San Diego

**Name of Person or Agency Carrying Out Project:** Chandra Slaven, 2620 2<sup>nd</sup> Avenue, 4A, San Diego, CA 92103, (619) 316-7645.

**Exempt Status:** (Check one)

- ☐ Ministerial (Sec. 21080(b)(1); 15268)  
☐ Declared Emergency (Sec. 21080(b)(3); 15269(a))  
☐ Emergency Project (Sec. 21080(b)(4); 15269 (b)(c))

- ☒ Categorical Exemption: Categorically exempt from CEQA pursuant to CEQA State Guidelines, Section 15303, New Construction or Conversion of Small Structures.

**Reasons why project is exempt:** The project meets the criteria outlined in CEQA Section 15303. Class 3 of CEQA Section 15303 consists of the construction and location of limited numbers of new, small facilities or structures. Since the project consists of constructing a new guest house, this exemption was deemed appropriate. Further, this exemption includes but is not limited to: (a) one single-family residence or a second dwelling unit in a residential zone. The project is located in a developed area of the site. No significant environmental impacts would occur, and none of the exceptions described in CEQA Guidelines Section 15300.2 apply. The site is not included on any list compiled pursuant to Government Code Section 65962.5 for hazardous waste sites.

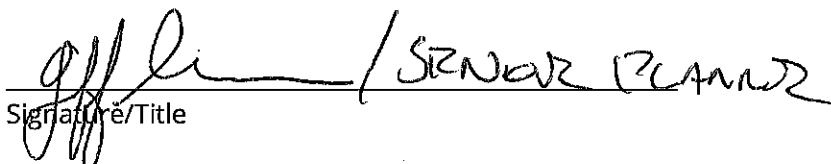
**Lead Agency Contact Person:** Rhonda Benally

**Telephone:** (619) 446-5468

**If filed by applicant:**

1. Attach certified document of exemption finding.
2. Has a notice of exemption been filed by the public agency approving the project? ☐ Yes ☐ No

It is hereby certified that the City of San Diego has determined the above activity to be exempt from the California Environmental Quality Act.

 / SENIOR PLANNER  
 Signature/Title \_\_\_\_\_ Date March 10, 2025

**Check One:**

- ☒ Signed by Lead Agency  
☐ Signed by Applicant

Date Received for Filing with County Clerk or LCI:

|  |   |                            |   |
|--|---|----------------------------|---|
| Page 3   | City of San Diego · Information Bulletin 620  |                            | August 2018   |
|   | <b>City of San Diego<br/>Development Services</b><br>1222 First Ave., MS-302<br>San Diego, CA 92101 |                            | <b>Community Planning<br/>Committee Distribution<br/>Form</b> |
| Project Name:<br>5970 CAMINO DE LA COSTA   |   | Project Number:<br>1091933 |   |
| Community: La Jolla  |   |                            |   |
| <p>For project scope and contact information (project manager and applicant),<br/>log into OpenDSD at <a href="https://aca.accela.com/SANDIEGO">https://aca.accela.com/SANDIEGO</a>.</p> <p>Select "Search for Project Status" and input the Project Number to access project information.</p> |   |                            |   |
| <input checked="" type="radio"/> Vote to Approve<br><input type="checkbox"/> Vote to Approve with Conditions Listed Below<br><input type="checkbox"/> Vote to Approve with Non-Binding Recommendations Listed Below<br><input type="checkbox"/> Vote to Deny                                   |   |                            | Date of Vote:<br>July 09, 2024                                |
| # of Members Yes<br>9  | # of Members No<br>0  | # of Members Abstain<br>1  |   |
| Conditions or Recommendations:<br>Recommend the city waive the requirement to cut down<br>existing trees between lot 5990 and 5970 but an easement shall still be required to<br>preserve<br>future views and prevent new trees from obstructing that view corridor.                           |   |                            |   |
| <input type="checkbox"/> No Action<br>(Please specify, e.g., Need further information, Split vote, Lack of quorum, etc.)   |   |                            |   |
| NAME: ADRIAN FERAL   |   |                            |   |
| TITLE: SECRETARY   |   | DATE: July 16, 2024        |   |
|  |   |                            |   |

Visit our web site at [www.sandiego.gov/development-services](http://www.sandiego.gov/development-services).

Upon request, this information is available in alternative formats for persons with disabilities.

DS-5620 (08-18) ONLINE FORM



UNOFFICIAL COPY

FORM  
**DS-318**  
July 2024

## Ownership Disclosure Statement

**Permit/Approval Type:** Check the appropriate box for permit/approval and type(s) requested (See [Project Submittal Manual](#)):

☒ **Development Permit:** Coastal Development Permit/Site Development Permit

☐ **Subdivision Approval:** \_\_\_\_\_

☐ **Policy Approval:** \_\_\_\_\_

**Project Title:** 5970 Camino de la Costa **Project No. For City Use Only:** \_\_\_\_\_

**Project Location/Address/Accessor's Parcel Number:**

5970 Camino de la Costa, La Jolla CA 92037/APN:357-220-02-00 and 357-220-13-00

**Specify Form of Ownership/Legal Status (please check):**

☐ Individual ☐ Partnership ☐ Corporation ☒ Limited Liability -or- ☐ General – What State? WY

Corporate Identification No.: 2025-001586337 ☐ Trust - Date of Trust: \_\_\_\_\_

☐ City of San Diego/Asset Management Department: \_\_\_\_\_

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter will be filed with the City of San Diego on the subject property with the intent to record an encumbrance against the property. On the second page of this form, please list the owner(s), the applicant(s), and other financially interested persons of the above-referenced property. A financially interested party includes any individual, firm, co-partnership, joint venture, association, social club, fraternal organization, corporation, estate, trust, receiver or syndicate with a financial interest in the application, or:

### Important Instructions

1. If the applicant includes a corporation or partnership, include the names, titles, and addresses of all individuals owning more than 10% of the shares.
2. If it's a publicly owned corporation, include the names, titles, and addresses of the corporate officers.
3. If any person is a nonprofit organization or a trust, list the names and addresses of ANY person serving as an officer, director, trustee or beneficiary of the nonprofit organization.
4. The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least 30 days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.
5. A signature is required of at least one of the property owners.
6. Attach additional pages if needed.

Visit our web site: [sandiego.gov/DSD](http://sandiego.gov/DSD).

Upon request, this information is available in alternative formats for persons with disabilities.

DS-318 (07-24)



**Property Owner/Authorized Agent****(Per DS-318-001)**

- ☒ Owner
 ☒ Authorized Agent
 ☐ Member
 ☐ Trustee
 ☐ Tenant/Lessee
 ☐ Successor Agency  
☐ City of San Diego/Asset Management Department\*

Name of Individual:

On behalf of: Pura Life Company, LLC a Wyoming Limited Liability Company

Street Address: 30 N Gould Street, Suite R

City: Sheridan

State: WY

Zip: 82801

Phone Number: (619) 991-2132

Email: Gretchen.Lucas@mossadams.com

Signature:

Date:

03/03/2025

Additional pages attached: ☐ Yes ☒ No

\*(Signature within this section not required for City of San Diego/Asset Management Department)

**Applicant ☒ Check if Same as Property Owner/Authorized Agent****(Per DS-318-001)**

- ☐ Owner
 ☐ Authorized Agent
 ☐ Member
 ☐ Trustee
 ☐ Tenant/Lessee
 ☐ Successor Agency

Name of Individual:

On behalf of:

Street Address: 30 N Gould Street, Suite R

City: Sheridan

State: WY

Zip: 82801

Phone Number: (619) 991-2132

Email: Gretchen.Lucas@mossadams.com

Signature:

Date:

03/03/2025

Additional pages attached: ☐ Yes ☒ No**Other Financially Interested Persons ☒ Check if N/A**

- ☐ Owner
 ☐ Authorized Agent
 ☐ Member
 ☐ Trustee
 ☐ Tenant/Lessee
 ☐ Successor Agency

Name of Individual:

On behalf of:

Street Address: 30 N Gould Street, Suite R

City: Sheridan

State: WY

Zip: 82801

Phone Number: (619) 991-2132

Email: Gretchen.Lucas@mossadams.com

Signature:

Date:

03/03/2025

Additional pages attached: ☐ Yes ☒ NoVisit our web site: [sandiego.gov/DSD](http://sandiego.gov/DSD).

Upon request, this information is available in alternative formats for persons with disabilities.

DS-318 (07-24)



City of San Diego  
Development Services  
Attn: Deposit Accounts  
(619) 446-5000

## Deposit Account/Financially Responsible Party

FORM  
DS-3242  
February 2020

|  |   |  |
|--|---|--|
| Project Address/Location:<br>5970 Camino de la Costa | Project No.: <small>FOR CITY USE ONLY</small> | Internal Order No.: <small>FOR CITY USE ONLY</small> |
|--|---|--|

**Approval Type:** Check appropriate box for type of approval requested:

- ☐ Grading  
 ☐ Public Right-of-Way  
 ☐ Subdivision  
 ☐ Neighborhood Use  
 ☒ Coastal  
 ☐ Neighborhood Development  
☒ Site Development  
☐ Planned Development  
☐ Conditional Use  
☐ Variance  
☐ Vesting Tentative Map  
☐ Tentative Map  
☐ Map Waiver  
☐ Other: \_\_\_\_\_

**Is the project subject to a Reimbursement Agreement?** ☒ No ☐ Yes

If yes, provide Reimbursement Agreement Application Project Number or Resolution/Ordinance No.: \_\_\_\_\_

**Deposit Trust Fund Account Information:** A deposit into a Trust Fund account with an initial deposit to pay for the review, inspection and/or project management services is required. The initial deposit is drawn against to pay for these services. The Financially Responsible Party will receive a monthly statement reflecting the charges made against the account, and an invoice when additional deposits are necessary to maintain a minimum balance. The payment of the invoice will be required in order to continue processing your project. At the end of the project, any remaining funds will be returned to the Financially Responsible Party.

### FINANCIALLY RESPONSIBLE PARTY

|  |  |   |
|--|--|---|
| Name/Firm Name:<br>PuraLife Company, LLC | Address:<br>30 N Fould Street, Suite R | E-mail:<br>Gretchen.Lucas@mossadams.com |
| City:<br>Sheridian                       | State:<br>WY                           | Zip Code:<br>82801                      |
|  | Telephone:<br>(619) 991-2132           | Fax No.:                                |

**Financially Responsible Party Declaration:** I understand that City expenses may exceed the estimated advance deposit and, when requested by the City of San Diego, will provide additional funds to maintain a positive balance. Further, the sale or other disposition of the property does not relieve the individual or Company/Corporation of their obligation to maintain a positive balance in the trust account, unless the City of San Diego approves a Change of Responsible Party and transfer of funds. Should the account go into deficit, all City work may stop until the requested advance deposit is received.

☒ This is a continuation of existing Project No.: PRJ-1091933 Internal Order No.: \_\_\_\_\_

**NOTE:** Using an existing opened account may be allowed when:

1. Same location for both projects;
2. Same Financially Responsible Party;
3. Same decision process (Ministerial and discretionary projects may **not** be combined);
4. Same project manager is managing both projects; and
5. Preliminary Review results in a project application.

**Please be advised:** Billing statements cannot distinguish charges between two different projects.

**Please Print Legibly.**

Print Name: Gretchen Lucas Title: President

Signature\*:  Date: 03/03/2025

**\*The name of the individual and the person who signs this declaration must be the same. If a corporation is listed, a corporate officer must sign the declaration (President, Vice-President, Chairman, Secretary or Treasurer).**

### FOR CITY USE ONLY

Project Title: \_\_\_\_\_ Date Requested: \_\_\_\_\_

☐ Engineering Inspections (*Public Works*)  
☐ Discretionary Project (*DSD*)  
☐ Other

☐ Keep existing Project No.: \_\_\_\_\_ as lead or ☐ Use new Project No.: \_\_\_\_\_ as lead MRB: \$ \_\_\_\_\_

### ACCOUNT CLOSURE AUTHORIZATION

Date Requested: \_\_\_\_\_ ☐ Completed ☐ Inactive ☐ Withdrawn ☐ Collections

Print Name: \_\_\_\_\_ Signature: \_\_\_\_\_

Visit our web site at [www.sandiego.gov/development-services](http://www.sandiego.gov/development-services).

Upon request, this information is available in alternative formats for persons with disabilities.

DOC# 2025-0051313



## RECORDING REQUESTED BY:

Chicago Title Company - SD

73725000086- PM

Feb 28, 2025 08:00 AM

OFFICIAL RECORDS

JORDAN Z. MARKS,

SAN DIEGO COUNTY RECORDER

FEES: \$17,630.00 (SB2 Atkins: \$0.00)

PCOR: YES

PAGES: 3

**When Recorded Mail Document  
and Tax Statement To:**

SeaBiz Products, LLC

Attention: Manager

222 N. Pacific Coast Highway, Suite 1400

El Segundo, CA 90245

SPACE ABOVE THIS LINE FOR RECORDER'S USE

Escrow No.: 73725000086 - 9C

Exempt from fee per GC 27388.1(a)(2); This document is a transfer that is subject to  
Documentary Transfer Tax.

APN/Parcel ID(s): 357-220-13-00

**GRANT DEED****The undersigned grantor(s) declare(s)**☐ This transfer is exempt from the documentary transfer tax.☒ **The documentary transfer tax is \$17,600.00** and is computed on:☒ the full value of the interest or property conveyed.☐ the full value less the liens or encumbrances remaining thereon at the time of sale.The property is located in ☒ the **City of La Jolla.**

SAN DIEGO, AREA OF

**FOR A VALUABLE CONSIDERATION, receipt of which is hereby acknowledged,** Eric B. Benson, Trustee of the Eric  
B. Benson Living Trust dated August 20, 1996**hereby GRANT(S) to** SeaBiz Products, LLC, a Wyoming limited liability company**the following described real property in the** City of La Jolla, County of San Diego, State of California:

SAN DIEGO, AREA OF

**For APN/Parcel ID(s): 357-220-13-00**Lot 1, Block 2, of La Jolla Hermosa, in the City of San Diego, County of San Diego, State of California,  
according to Map thereof No. 1810, filed in the office of the County Recorder of said San Diego County on  
November 21, 1924.Excepting therefrom that portion deeded to James H. Herbst recorded May 27, 1993 as Instrument No.  
93-0337874 described as follows:Beginning at a point on the East line of said Lot 1, distant thereon 160.00 feet from the most Northerly  
corner thereof; thence North 73 degrees 37 minutes 15 seconds West 111.06 feet to a point on the  
Westerly line of said lot, said point being on a nontangent 200.00 foot radius curve, concave Easterly, a  
radial line to said point bears North 67 degrees 59 minutes 39 seconds West; thence Northeasterly along  
said curve through a central angle of 58 degrees 16 minutes 32 seconds a distance of 203.42 feet to the  
most Northerly corner of said Lot 1 thence along said Easterly line; thence South 16 degrees 22 minutes  
45 seconds West to the point of beginning.**MAIL TAX STATEMENTS AS DIRECTED ABOVE**

**GRANT DEED**  
(continued)

**APN/Parcel ID(s):** 357-220-13-00

Also excepting therefrom any portion now or hereafter lying below the mean high tide line of Pacific Ocean.

**PROPERTY COMMONLY KNOWN AS:** 5990 Camino de la Costa, La Jolla, CA 92037



# GRANT DEED

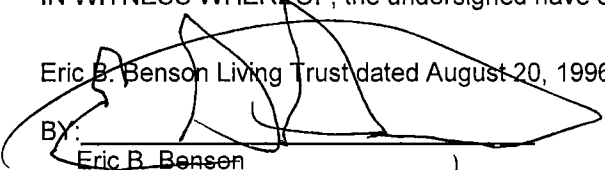
(continued)

APN/Parcel ID(s): 357-220-13-00

Dated: January 8, 2025      WHEREOF

IN WITNESS WHEREOF, the undersigned have executed this document on the date(s) set forth below.

Eric B. Benson Living Trust dated August 20, 1996

BY:   
Eric B. Benson  
Trustee

Eric B. Benson Living Trust  
dated August 20, 1996

BY:  
Eric B. Benson  
Trustee

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

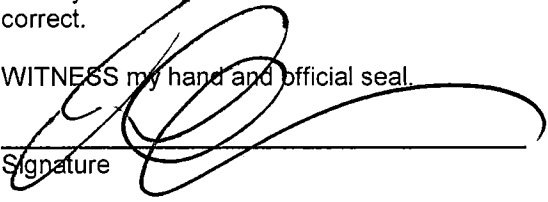
State of CALIFORNIA  
County of SAN DIEGO

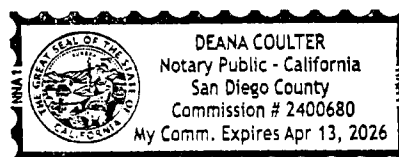
On 1.13.2025 before me, DEANA COULTER, Notary Public,  
(here insert name and title of the officer)

personally appeared ERIC B. BENSON,  
who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

Signature 



DOC# 2025-0011835



Jan 16, 2025 08:00 AM

OFFICIAL RECORDS

JORDAN Z. MARKS,

SAN DIEGO COUNTY RECORDER

FEES: \$40,180.00 (SB2 Atkins: \$0.00)

PCOR: YES

PAGES: 3

**RECORDING REQUESTED BY:**

Chicago Title Company - SD

73725000081 - PM

**When Recorded Mail Document  
and Tax Statement To:**

PuraLife Company, LLC  
a Wyoming limited liability company  
5580 La Jolla Blvd. #392  
La Jolla, CA 92037

SPACE ABOVE THIS LINE FOR RECORDER'S USE

**Escrow No.:** 73725000081 - DC

Exempt from fee per GC 27388.1(a)(2); This document is a transfer that is subject to  
Documentary Transfer Tax.

**APN/Parcel ID(s):** 357-220-02-00**GRANT DEED****The undersigned grantor(s) declare(s)**

- ☐ This transfer is exempt from the documentary transfer tax.
- ☒ **The documentary transfer tax is \$40,150.00** and is computed on:
- ☒ the full value of the interest or property conveyed.
- ☐ the full value less the liens or encumbrances remaining thereon at the time of sale.

The property is located in ☒ the **City of La Jolla, CITY OF SAN DIEGO**  
**AREA**

**FOR A VALUABLE CONSIDERATION, receipt of which is hereby acknowledged,** Eric B. Benson, Trustee of The  
Eric B. Benson Living Trust dated August 20, 1996

**hereby GRANT(S) to** PuraLife Company, LLC, a Wyoming limited liability company

**the following described real property in the** **City of La Jolla, County of San Diego, State of California:**  
**AREA** **CITY OF SAN DIEGO,**

**For APN/Parcel ID(s):** 357-220-02-00

Lot 2 in Block 2 of La Jolla Hermosa, in the City of San Diego, County of San Diego, State of California,  
according to Map thereof No. 1810, filed in the Office of the County Recorder of San Diego County,  
December 21, 1924.

Excepting therefrom any portion now or heretofore lying below the mean high tide line of the Pacific  
Ocean.

**PROPERTY COMMONLY KNOWN AS:** 5970 Camino de la Costa, La Jolla, CA 92037

**MAIL TAX STATEMENTS AS DIRECTED ABOVE**

# GRANT DEED

(continued)

APN/Parcel ID(s): 357-220-02-00

Dated: January 13, 2025

IN WITNESS WHEREOF, the undersigned have executed this document on the date(s) set forth below.

The Eric B. Benson Living Trust dated August 20, 1996

BY: 

Eric B. Benson  
Trustee

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of CALIFORNIA

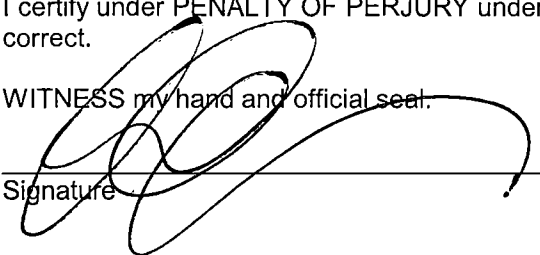
County of SAN DIEGO

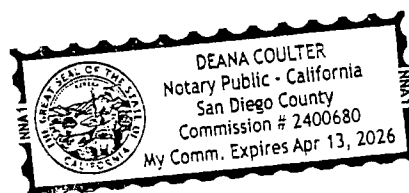
On 1.13.2025 before me, DEANA COULTER, Notary Public,  
(here insert name and title of the officer)

personally appeared ERIC B. BENSON,  
who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

Signature 



**CERTIFICATION PURSUANT TO GOVERNMENT CODE SECTION 27361.7**

**CHICAGO TITLE COMPANY  
2365 NORTHSIDE DRIVE. STE. 600  
SAN DIEGO, CA 92108  
(Place of Execution)**

**I CERTIFY UNDER PENALTY OF PERJURY THAT THE FOLLOWING MATERIAL IS A  
TRUE COPY OF THE ORIGINAL MATERIAL CONTAINED IN THIS DOCUMENT**

X   
\_\_\_\_\_  
Signature of Declarant

DATE: 11/15/25

A. Fergus  
Name of Declarant

IN WITNESS WHEREOF, the undersigned have executed this document on the date(s) set forth below.

Eric B. Benson, Trustee of The Eric B. Benson Living Trust dated August 20, 1996

BY: \_\_\_\_\_  
Eric B. Benson  
Trustee

# 5970 CAMINO DE LA COSTA PROJECT

5970 CAMINO DE LA COSTA - LA JOLLA, CA 92037

## PROJECT INFORMATION

| OWNER INFORMATION   | SITE ADDRESS                                  | ASSESSOR'S PARCEL NUMBERS      |
|---|---|--------------------------------|
| ERIC B. BENSON TRUST<br>5970 CAMINO DE LA COSTA<br>LA JOLLA, CA 92037 | 5970 CAMINO DE LA COSTA<br>LA JOLLA, CA 92037 | 357-220-02-00<br>357-220-13-00 |

## LEGAL DESCRIPTION

LOT 1 & 2, BLOCK 2, OF LA JOLLA HERMOSA, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 1810, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY ON NOVEMBER 21, 1924, EXCEPTING HERE FROM ANY PORTION LYING BELOW THE MEAN HIGH TIDE LINE OF THE PACIFIC OCEAN.

| SITE SETBACKS      | REQUIRED                     | PROPOSED   |
|--------------------|------------------------------|------------|
| FRONT (WEST)       | 20'-0"                       | 20'-0"     |
| REAR (EAST)        | 10% x 331'-2"= 33'-1 3/8"    | 33'-1 3/8" |
| STREET SIDE (WEST) | .10 x 87'-1 7/8"= 8'-8 5/8"  | 8'-8 5/8"  |
| SIDE (SOUTHWEST)   | .08 x 87'-1 7/8"= 6'-11 3/4" | 6'-11 3/4" |
| SIDE (SOUTHEAST)   | .08 x 87'-1 7/8"= 6'-11 3/4" | 6'-11 3/4" |
| SIDE (NORTH)       | .08 x 87'-1 7/8"= 6'-11 3/4" | 6'-11 3/4" |

| HEIGHT LIMITS | STRUCTURE HEIGHT: | ANGLED:          | OVERALL STRUCT. HT. |
|---------------|-------------------|------------------|---------------------|
|               | +30'              | 24' @ 30 DEGREES | 30' +10'=40'        |

| FLOOR AREA CALCULATIONS |            |              |            |                  |             |
|-------------------------|------------|--------------|------------|------------------|-------------|
| MAIN HOUSE - MAIN LEVEL | EXISTING   | PROPOSED NEW | TOTAL      | EXEMPT           | TOTAL (FAR) |
| MAIN LEVEL HABITABLE    | 5,510 S.F. | +0 S.F.      | 5,510 S.F. | - 670 S.F. (EX)  | 4,840 S.F.  |
| MECH.                   | 708 S.F.   | +0 S.F.      | 708 S.F.   | -708 S.F. (EX)   | 0 S.F.      |
| TOTAL MAIN LEVEL        | 6,218 S.F. | +0 S.F.      | 6,218 S.F. | -1,378 S.F. (EX) | 4,840 S.F.  |

| MAIN HOUSE - UPPER LEVEL | EXISTING   | PROPOSED NEW | TOTAL      | EXEMPT | TOTAL (FAR) |
|--------------------------|------------|--------------|------------|--------|-------------|
| UPPER LEVEL HABITABLE    | 1,676 S.F. | +0 S.F.      | 1,676 S.F. | 0 S.F. | 1,676 S.F.  |
| UPPER GARAGE             | 1,303 S.F. | +0 S.F.      | 1,303 S.F. | 0 S.F. | 1,303 S.F.  |
| TOTAL UPPER LEVEL        | 2,979 S.F. | +0 S.F.      | 2,979 S.F. | 0 S.F. | 2,979 S.F.  |

| MAIN HOUSE - MAIN LEVEL                | EXISTING   | PROPOSED NEW | TOTAL      | EXEMPT           | TOTAL (FAR) |
|--|------------|--------------|------------|------------------|-------------|
| TOTAL HABITABLE                        | 7,186 S.F. | +0 S.F.      | 7,186 S.F. | - 670 S.F. (EX)  | 6,516 S.F.  |
| TOTAL NON-HABITABLE- GARAGE/MECH/STOR. | 2,011 S.F. | +0 S.F.      | 2,011 S.F. | -708 S.F. (EX)   | 1,303 S.F.  |
| TOTAL - MAIN HOUSE                     | 9,197 S.F. | +0 S.F.      | 9,197 S.F. | -1,378 S.F. (EX) | 7,819 S.F.  |

| LOWER LEVEL - DETACHED | EXISTING | PROPOSED NEW | TOTAL      | EXEMPT           | TOTAL (FAR) |
|------------------------|----------|--------------|------------|------------------|-------------|
| LOWER LEVEL HABITABLE  | 0 S.F.   | +1,530 S.F.  | 1,530 S.F. | -1,391 S.F. (EX) | 139 S.F.    |
| LOWER LEVEL GARAGE     | 0 S.F.   | +3,360 S.F.  | 3,360S.F.  | -803 S.F. (EX)   | 2,557 S.F.  |
| LOWER STOR./MECH.      | 0 S.F.   | +316 S.F.    | 316 S.F.   | -316 S.F. (EX)   | 0 S.F.      |
| TOTAL LOWER LEVEL      | 0 S.F.   | +5,206 S.F.  | 5,206 S.F. | -2,510 S.F. (EX) | 2,696 S.F.  |

|     |        |           |          |      |          |
|-----|--------|-----------|----------|------|----------|
| ADU | 0 S.F. | +760 S.F. | 760 S.F. | N.A. | 760 S.F. |
|-----|--------|-----------|----------|------|----------|

|                            |        |             |            |      |            |
|----------------------------|--------|-------------|------------|------|------------|
| GUEST QUARTERS - HABITABLE | 0 S.F. | +2,391 S.F. | 2,391 S.F. | N.A. | 2,391 S.F. |
|----------------------------|--------|-------------|------------|------|------------|

|                       |        |             |      |      |      |
|-----------------------|--------|-------------|------|------|------|
| COVERED TERRACE - NEW | 0 S.F. | +1,255 S.F. | N.A. | N.A. | N.A. |
|-----------------------|--------|-------------|------|------|------|

|            |            |              |             |            |             |
|------------|------------|--------------|-------------|------------|-------------|
| TOTAL ALL: | EXISTING   | PROPOSED NEW | TOTAL       | EXEMPT     | TOTAL (FAR) |
|            | 9,197 S.F. | 8,357 S.F.   | 17,554 S.F. | 3,888 S.F. | 13,666 S.F. |

|   |  |  |  |  |             |
|---|--|--|--|--|-------------|
| TOTAL PROJECT GROSS FLOOR AREA (F.A.R.) |  |  |  |  | 13,666 S.F. |
|---|--|--|--|--|-------------|

|  |  |  |  |  |  |
|--|--|--|--|--|--|
| SITE INFORMATION - F.A.R. & LOT COVERAGE |  |  |  |  |  |
|--|--|--|--|--|--|

|                 |  |  |  |                                |  |
|-----------------|--|--|--|--------------------------------|--|
| GROSS SITE AREA |  |  |  | 0.9856 ACRES OR 42,931 SQ. FT. |  |
|-----------------|--|--|--|--------------------------------|--|

|                                     |  |  |  |                    |  |
|-------------------------------------|--|--|--|--------------------|--|
| ALLOWABLE FLOOR AREA RATIO (F.A.R.) |  |  |  | 45 % (19,319 S.F.) |  |
|-------------------------------------|--|--|--|--------------------|--|

|                                  |  |  |  |                      |  |
|----------------------------------|--|--|--|----------------------|--|
| ACTUAL FLOOR AREA RATIO (F.A.R.) |  |  |  | 31.83% (13,666 S.F.) |  |
|----------------------------------|--|--|--|----------------------|--|

|              |  |  |  |                   |  |
|--------------|--|--|--|-------------------|--|
| LOT COVERAGE |  |  |  | 26% (11,280 S.F.) |  |
|--------------|--|--|--|-------------------|--|

## GRADING DATA

|  |  |  |  |  |  |
|--|--|--|--|--|--|
| 1. EXISTING AMOUNT OF SITE GRADED: 0.874 ACRES   |  |  |  |  |  |
| 2. EXISTING PERCENT OF SITE GRADED: 89%  |  |  |  |  |  |
| 3. PROPOSED AMOUNT OF SITE GRADED: 0.02 ACRES  |  |  |  |  |  |
| 4. PROPOSED PERCENT OF SITE GRADED: 1.72%  |  |  |  |  |  |
| 5. OUTSIDE BUILDING FOOTPRINT<br>AMOUNT OF CUT: 50 CUBIC YARDS AND MAX. DEPTH OF CUT: 1.0 FEET<br>AMOUNT OF FILL: 320 CUBIC YARDS AND MAX. DEPTH OF FILL: 3.0 FEET           |  |  |  |  |  |
| 6. MAXIMUM HEIGHT OF FILL SLOPE(S): 3 FEET, 8:1 SLOPE RATIO  |  |  |  |  |  |
| 7. MAXIMUM HEIGHT OF CUT SLOPE(S): 1 FEET, 8:1 SLOPE RATIO   |  |  |  |  |  |
| 8. MAX CUT DEPTH UNDER BUILDING FOOTPRINT: 6 FEET  |  |  |  |  |  |
| 9. MAX CUT DEPTH OUTSIDE BUILDING FOOTPRINT: 1 FOOT  |  |  |  |  |  |
| 9. MAX FILL DEPTH UNDER BUILDING FOOTPRINT: 1 FOOT   |  |  |  |  |  |
| 10. MAX FILL DEPTH OUTSIDE BUILDING FOOTPRINT: 3 FEET  |  |  |  |  |  |
| 11. AMOUNT OF SITE WITH STEEP SLOPES: 0%   |  |  |  |  |  |
| 12. PERCENT OF TOTAL SITE WITH STEEP SLOPES: 0%  |  |  |  |  |  |
| 13. FINISH ELEVATIONS SHOWN ARE APPROXIMATE AND ARE SUBJECT TO CHANGE IN FINAL DESIGN. ALL DISTANCES ARE APPROXIMATE. ALL SLOPES ARE 2:1 MAXIMUM UNLESS OTHERWISE INDICATED. |  |  |  |  |  |

### GRADING PERMIT EXEMPTION:

- EXCAVATION FOR RETAINING WALL & BASEMENT EXEMPT FROM GRADING PERMIT REQUIREMENTS PER SDMC 129.0603.
- GRADING UNDER BASEMENT OR BUILDING ARE EXEMPT FROM GRADING EARTHWORK AND GRADING PERMIT PER SDMC 129.0603.

## DEVELOPMENT SUMMARY

|                                  |   |
|----------------------------------|---|
| PROJECT ADDRESS:                 | 5970 & 5990 CAMINO DE LA COSTA<br>SAN DIEGO, CA 92037   |
| APN:                             | 357-220-02-00 & 357-220-13-00   |
| LOTS:                            | MAP 1810, BLOCK #2, LOTS #1 & 2 LA JOLLA HERMOSA  |
| OWNER:                           | ERIC B. BENSON TRUST<br>5970 CAMINO DE LA COSTA<br>SAN DIEGO, CA 92037  |
| BASE ZONE:                       | RS-1-5  |
| PLANNING AREA:                   | LA JOLLA COMMUNITY PLAN AREA - CPA  |
| OVERLAY ZONES:                   | COASTAL OVERLAY ZONE - CST-APP<br>COASTAL HEIGHT LIMIT OVERLAY ZONE<br>COASTAL OVERLAY ZONE - FIRST PUBLIC ROADWAY<br>PARKING IMPACT OVERLAY ZONE-COASTAL & BEACH<br>RESIDENTIAL TANDISH PARKING<br>SENSITIVE COASTAL OVERLAY ZONE - SC02-CB<br>TRANSIT AREA OVERLAY ZONE |
| TRANSPORTATION:                  | TRANSIT PRIORITY AREA<br>AFFORDABLE HOUSING PARKING DEMAND  |
| HISTORIC AND CULTURAL RESOURCES: | PALEONTOLOGICAL SENSITIVITY AREA  |
| ENVIRONMENTALLY SENSITIVE LANDS: | SENSITIVE VEGETATION - PSV, COASTAL BLUFF - CB<br>STEEP HILLSIDE  |
| GEOLOGY AND SOILS:               | EARTHQUAKE FAULT BUFFERS: ZONE 12<br>GEOLOGIC HAZARD CATEGORY: 43 & 53<br>SLOPES GREATER THAN 25%   |
| HYDROLOGY:                       | WATERSHED-PENASQUITOS, SUBAREA-SCRIPPS  |
| SCHOOL DISTRICT:                 | SAN DIEGO UNIFIED, UNIFIED SAN DIEGO  |
| YEAR CONSTRUCTED:                | 1988 - LOT 1, 2015 - LOT 2  |
| CEC CLIMATE ZONE:                | 7   |
| FIRE HAZARD SEVERITY ZONE:       | MODERATE  |
| OCCUPANCY:                       | R3  |
| TYPE OF CONSTRUCTION:            | V-B   |
| LANDSCAPE AREA:                  | EXISTING: X SQ. FT. PROPOSED DESIGN: X SQ. FT.<br>LANDSCAPE REDUCED BY X SQ. FT.  |
| PERMITS:                         | COASTAL DEVELOPMENT PERMIT,<br>SITE DEVELOPMENT PERMIT  |

### APPLICABLE CODES:

ALL WORK PERFORMED UNDER THIS CONTRACT SHALL BE IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE FOLLOWING CODES AND REGULATIONS:

2022 CALIFORNIA BUILDING CODE  
2022 CALIFORNIA RESIDENTIAL CODE  
2022 CALIFORNIA FIRE CODE  
2022 CALIFORNIA ELECTRICAL CODE  
2022 CALIFORNIA PLUMBING CODE  
2022 CALIFORNIA MECHANICAL CODE  
2022 CALIFORNIA ENERGY CODE  
2022 CALIFORNIA GREEN BUILDING STANDARDS CODE

## SCOPE OF WORK

- COASTAL DEVELOPMENT AND SITE DEVELOPMENT PERMIT - LOTS 1 & 2
- DEMOLITION/REMOVAL OF EXISTING SINGLE-FAMILY RESIDENCE & ATTACHED GARAGES ON LOT 1
- NO CHANGE TO EXISTING SINGLE FAMILY HOUSE ON LOT 2
- NEW DETACHED GUEST QUARTERS: 2,391 SQ. FT.
- NEW ADU: 760 SQ. FT.
- NEW SUBTERRANEAN GARAGE / MECH. / STORAGE / LIVING SPACE: 5,206 SQ. FT.
- NEW MAIN LEVEL COVERED TERRACE AT GUEST HOUSE: 1,255 SQ. FT.
- NEW HARDSCAPE , LANDSCAPE, SITE WALLS, AND PLANTERS.
- NEW DRIVEWAY CURB/CUT TO REPLACE EXISTING TWO. REPLACE PORTION OF SIDEWALKS

## SHEET INDEX

| SHEET TITLE | DWG. #                            | SHEET TITLE | DWG. #                       |
|-------------|-----------------------------------|-------------|------------------------------|
| T-1         | TITLE SHEET                       | A2.1        | LOWER LEVEL FLOOR PLAN -WEST |
|             |                                   | A2.2        | MAIN LEVEL FLOOR PLAN-NORTH  |
| C-1         | DRAINAGE PLAN - MAIN LEVEL        | A2.3        | MAIN LEVEL FLOOR PLAN-SOUTH  |
| C-2         | DRAINAGE PLAN - BASEMENT          | A2.4        | MAIN LEVEL FLOOR PLAN-WEST   |
| C-3         | EROSION CONTROL PLAN              | A2.5        | UPPER LEVEL FLOOR PLAN-NORTH |
| C-4         | STORM WATER MANAGEMENT PLAN       | A2.6        | UPPER LEVEL FLOOR PLAN-SOUTH |
| C-5         | IMPERVIOUS AREA EXHIBIT           | A2.7        | ROOF PLAN-NORTH              |
| C-6         | EXISTING TOPOGRAPHY               | A2.8        | ROOF PLAN-SOUTH              |
| C-7         | DETAILS                           | A2.9        | ROOF PLAN-WEST               |
| L2.1        | LANDSCAPE PLAN                    | A4.1        | EXTERIOR ELEVATIONS          |
| A0.1        | SCOPE OF WORK DIAGRAM             | A4.2        | EXTERIOR ELEVATIONS          |
| A0.2        | SCOPE OF WORK DIAGRAM             | A4.3        | EXTERIOR ELEVATIONS          |
| A1.0        | PLOT PLAN -ZONING CALCULATIONS    | A4.4        | EXTERIOR ELEVATIONS          |
| A1.1        | SITE PLAN - ARCHITECTURAL OVERALL | A5.1        | BUILDING SECTIONS            |
| A1.2        | SITE PLAN - LOT 1 ENLARGED        | A5.2        | BUILDING SECTIONS            |
| A1.3        | SITE PLAN - WEST ST ENLARGED      | A5.3        | BUILDING SECTIONS            |
| A1.4        | SITE SECTIONS                     |             |                              |
| A1.5        | SITE SECTIONS                     | DE-1        | DEMOLITION PLAN              |
| A1.6        | SITE SECTIONS                     |             |                              |
| A1.7        | BLUFF SECTIONS                    |             |                              |

## REVISIONS TABLE

| NO.   | DATE | REVISION / ISSUE   |
|---|------|--|
|   |      |  |
|   |      |  |
|   |      |  |
| 5970 CAMINO DE LA COSTA PROJECT<br>5970 CAMINO DE LA COSTA<br>LA JOLLA, CA 92037    |      | DISCRETIONARY PERMIT - CDP / SDP<br>PROJECT NO.<br>PRJ-1091933 |
| HOUSE DESIGN ARCHITECTS<br>2150 W. WASHINGTON STREET<br>STE.301, SAN DIEGO CA 92110 |      | SHEET <u>1</u> OF <u>36</u><br>SHEET TITLE:<br>TITLE SHEET     |

## PROJECT TEAM

### LANDSCAPE ARCHITECT

TCLA STUDIO  
THERESA CLARK  
34202 SEPULVEDA AVENUE  
CAPISTRANO BEACH, CA 92624  
(949) 248-5404  
www.tclastudio.com

### ARCHITECT

MARK HOUSE  
HOUSE DESIGN, INC.  
2150 W. WASHINGTON ST. - STE 301  
SAN DIEGO, CA 92110  
(619) 733-7949  
www.HouseDesignArchitects.com

### PERMIT CORDINATOR

CHANDRA SLAVEN  
CHANDRA SLAVEN, AICP  
(619) 316-7654  
chandra.slaven@gmail.com

### CIVIL ENGINEER

MYLES COOPER  
CEA - COASTAL ENGINEERING ASSOCIATES  
8369 VICKERS ST. 201  
SAN DIEGO, CA 92111  
PH. (858) 277.0441 FAX (858) 277-0496

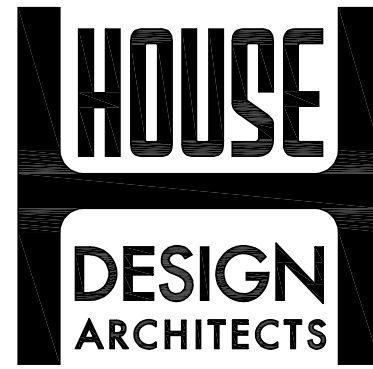
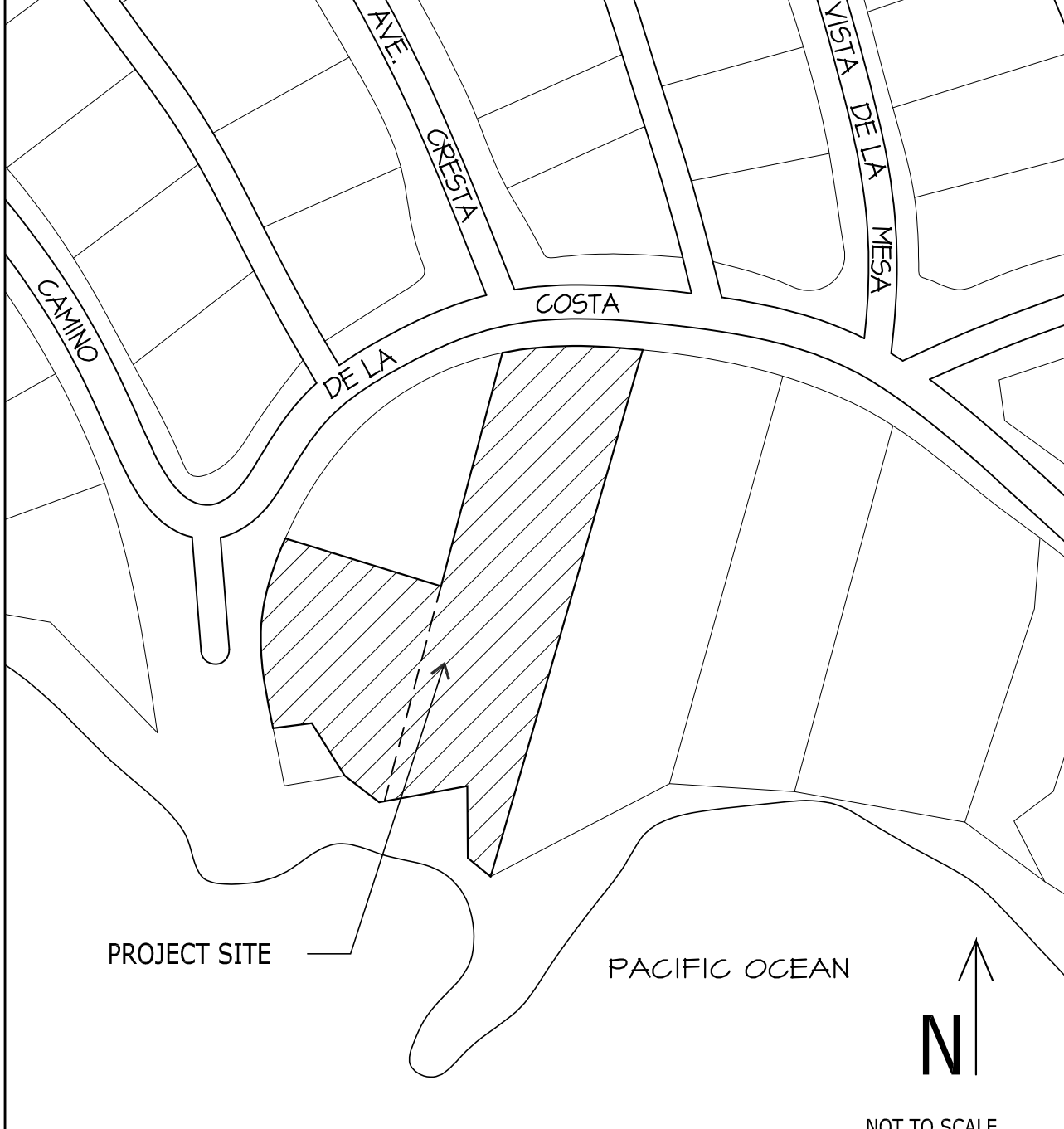
## PARKING TABLE

| LOT  | SPACES REQUIRED | SPACES PROVIDED |
|--|-----------------|-----------------|
| 5970 CAMINO DE LA COSTA<br>LOT 2<br>EXISTING SPV<br>3 BEDROOMS | 2 SPACES        | 4 SPACES        |
| 5990 CAMINO DE LA COSTA<br>LOT 1<br>PROPOSED ADU<br>1 BEDROOM  | 2 SPACES        | 6 SPACES        |

## SYMBOLS AND LEGEND

|  |   |
|--|---|
| <b>ELEVATION SYMBOL</b><br><br>DETAIL LETTER<br>DIRECTION OF VIEW<br>DETAIL SHEET  | <b>REVISION SYMBOL</b><br><br>REVISION NUMBER<br>DOOR SYMBOL<br><br>DOOR NUMBER           |
| <b>BUILDING SECTION SYMBOL</b><br><br>DETAIL LETTER<br>DIRECTION OF VIEW<br>DETAIL SHEET   | <b>WINDOW SYMBOL</b><br><br>WINDOW LETTER   |
| <b>WALL SECTION SYMBOL</b><br><br>DETAIL NUMBER<br>DIRECTION OF VIEW<br>DETAIL SHEET   | <b>KEYNOTE SYMBOL</b><br><br>KEYNOTE NUMBER   |
| <b>DETAIL SYMBOL</b><br><br>DETAIL NUMBER<br>DETAIL SHEET  | <b>GRIDLINE SYMBOL</b><br><br>GRIDLINE NUMBER   |
| <b>WALLS</b><br><br>EXISTING WALL TO REMAIN.<br>EXISTING WALL TO BE REMOVED.<br>FILL AT EXISTING PERIMETER OPENING<br>NEW 2x6 FRAMED WALL<br>CONCRETE<br>MASONRY | <b>OTHER</b><br><br>PLYWOOD<br>BLOCKING<br>METAL<br>SOIL<br>PLASTER<br>GRAVEL<br>PLANTING |

## VICINITY MAP



Mark T. House

2150 W. Washington St.  
Suite 301  
San Diego, CA 92110  
619 981- 9707 ph  
HouseDesignArchitects.com

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### SUBMISSIONS:

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|  |
|  |
|  |

5970 CAMINO DE LA COSTA  
5970 CAMINO DE LA COSTA  
LA JOLLA, CA 92037

SCALE: N.T.S.

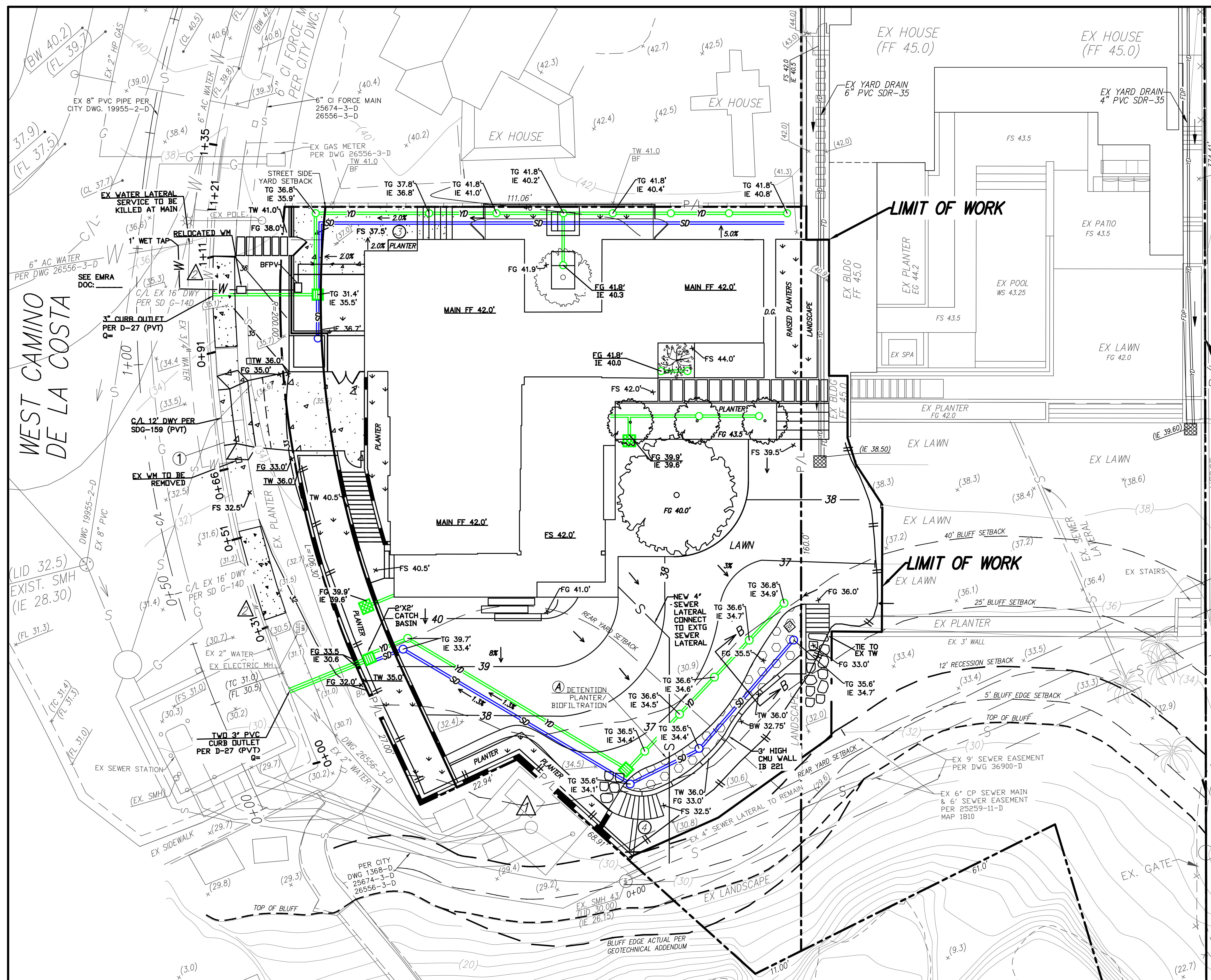
DATE: 05-05-25

TITLE SHEET  
INDEX

T-1

5970





## DRAINAGE NOTES

1. DRAINAGE SWALES WILL NOT JUST BE REMOVED. THEY MAY BE RELOCATED OR REPLACED WITH A YARD DRAIN.
2. CONTRACTOR TO VERIFY SPOT ELEVATIONS AT ALL DOOR THRESHOLDS PRIOR TO CONSTRUCTION. ALL DOOR THRESHOLDS YARD DRAIN SYSTEM WILL HAVE A MIN. OF 2% SLOPE AWAY FROM THE DOOR TO PREVENT WATER FROM ENTERING DOORS.
3. ADJUST GRADE AT PROPERTY LINE TO PREVENT DRAINAGE FROM CROSSING ADJACENT PROPERTY.
4. DIRECT ALL DRAINAGE AWAY FROM DOORS AND BUILDINGS.
5. ALL FRENCH DRAINS TO BE PER ARCHITECTURAL PLANS.
6. WATERPROOFING TO BE DONE BY OTHERS.

## YARD DRAIN NOTES (PRIVATE)

1. MAINTENANCE/CLEANING/REPAIR
  - A. CATCH BASINS, YARD DRAINS, AND PUMPS WILL BE MAINTAINED AND CLEANED OF DEBRIS, SAND, SILT, TRASH, AND OBSTRUCTIONS A MINIMUM OF EVERY TWO (2) MONTHS. ALWAYS PERFORM ADDITIONAL FLUSHING SYSTEM MAINTENANCE A MINIMUM OF 5 DAYS PRIOR TO A RAIN EVENT.
  - B. FLUSH OUT THE PRESSURE/FORCE MAIN OUTLET A MINIMUM OF FOUR(4) TIMES A YEAR. FLUSH YARD SYSTEM AS NECESSARY TO PREVENT CLOGGING.
  - C. REFER TO SUMP PUMP MANUFACTURER'S INFORMATION FOR CLEANING AND MAINTENANCE OF SUMP PUMPS.
  - D. LANDSCAPING WILL BE MAINTAINED TO PREVENT BLOCKAGE OR COVERAGE OF DESILTING CATCH BASINS.
2. ALL YARD DRAINS WILL HAVE A MINIMUM OF 1% SLOPE.
3. ATRIUM GRATES SHOULD BE USED IN NON-PAVED AREAS. LANDSCAPING AND BUSHES ARE TO BE KEPT AWAY FROM INLETS TO PREVENT CLOGGING.
4. ALL JOINTS WILL BE GLUED/WATER TIGHT TO PREVENT SYSTEM FROM CLOGGING.

## DUPLIX RESIDENTIAL STORM WATER SYSTEM

1. DUPLIX RESIDENTIAL STORM WATER SYSTEM TO BE PROVIDED BY BARRETT ENGINEERING PUMPS (PHONE: 619-232-7867), OR PROVIDED BY OWNER, AND INCLUDE THE FOLLOWING:
  - A. ONE EACH HYDROMATIC SK75M2 SUBMERSIBLE PUMP W/IT H<sub>2</sub> HP, 1750 RPM, 230V, 1 PHASE MOTOR OR EQUIVALENT, AND STAINLESS STEEL IMPELLERS.
  - B. ONE EACH S&E-RHOMUS DUPLIX ALTERNATING CONTROL PANEL WITH HIGH WATER ALARM LIGHT AND HORN. INCLUDES 3 FLOAT SWITCHES, FLOAT BRACKET AND DUPLIX JUNCTION BOX.
  - C. EACH PUMP SHALL BE RATED FOR A MINIMUM OF 80 GPM AT 26' OF HEAD.
  - D. PUMPS SHALL BE RATED FOR INTERMITTENT SERVICE. DURING A STORM EVENT BOTH PUMPS WILL BE UTILIZED.
  - E. POWER SUPPLY SHALL BE 220 VOLT AND ELECTRICAL SHALL BE INSTALLED BY A LICENSED ELECTRICIAN, AND SHALL MEET THE REQUIREMENTS OF THE NATIONAL ELECTRICAL CODE.
  - F. OPERATION OF TWO PUMPS AT THE RATED FLOW WILL HANDLE A PEAK FLOW OF OVER 80 GPM.
  - G. SEE OWNER/ARCHITECT FOR LOCATION OF CONTROL PANEL AND PUMP ALARMS.
  - H. ALL METAL TO BE EPOXY COATED OR POWDER COATED. EXTREME CORROSION CONDITIONS.
  - I. SUMP PUMPS SHOULD HAVE STAINLESS STEEL IMPELLERS.

## MAINTENANCE AND INSPECTION OF PERMANENT BMP'S

1. DESLTING CATCH BASINS, WET WELLS, PUMPING SYSTEMS, RIP-RAP, AND OTHER EROSION CONTROL MEASURES WILL BE MAINTAINED AND CLEANED BY THE INDIVIDUAL LOT OWNER. CLEANING WILL INCLUDE THE REMOVAL OF DEBRIS, SAND, SILT, TRASH, AND OBSTRUCTION. SYSTEMS WILL BE FLUSHED AND CLEANED A MINIMUM OF ONCE EVERY 2 MONTHS DURING THE DRY SEASON AND ONCE IMMEDIATELY BEFORE AND AFTER A STORM EVENT.
2. LANDSCAPING WILL BE INSPECTED A MINIMUM OF ONCE EVERY MONTH DURING THE DRY SEASON AND ALWAYS IMMEDIATELY BEFORE AND AFTER A RAIN EVENT. LANDSCAPING WILL BE REPAIRED/REPLACED AS NECESSARY. ALL EXPOSED EARTH SURFACES WILL BE MULCHED, HYDROSEEDDED, OR STRAW MATTED TO MINIMIZE EROSION.
3. THE INDIVIDUAL LOT OWNER IS RESPONSIBLE FOR REMOVING ALL POLLUTANTS, TRASH, SILT, AND DEBRIS TO A LEGAL DUMP SITE.
4. THE INDIVIDUAL LOT OWNER TAKES FULL RESPONSIBILITY FOR OPERATION AND MAINTENANCE OF STORM WATER PUMPING SYSTEM.
5. MAINTENANCE OF SUMP PUMP SYSTEMS CAN BE PERFORMED BY BARRETT ENGINEER PUMP (619 232-7867, MARTIN PLUMBING (858) 715-0850, OR QUALIFIED CONTRACTOR.

## EMERGENCY BACKUP POWER FOR STORM PUMP SYSTEM MINIMUM REQUIREMENTS

- OPTION 1: ELECTRIC SYSTEM WILL INCLUDE QUICK DISCONNECT BOX IN LINE WITH PUMP SYSTEM TO ALLOW CONNECTION OF AN EMERGENCY GENERATOR.

OPTION 2: NATURAL GAS EMERGENCY GENERATOR SYSTEM.

## GRADING DATA

1. EXISTING AMOUNT OF SITE GRADED: 0.874 ACRES
2. EXISTING PERCENT OF SITE GRADED: 89%
3. PROPOSED AMOUNT OF SITE GRADED: 0.02 ACRES
4. PROPOSED PERCENT OF SITE GRADED: 1.72%
5. OUTSIDE BUILDING FOOTPRINT
  - AMOUNT OF CUT: 50 CUBIC YARDS AND MAX. DEPTH OF CUT: 1.0 FEET.
  - AMOUNT OF FILL: 320 CUBIC YARDS AND MAX. DEPTH OF FILL: 3.0 FEET.
6. MAXIMUM HEIGHT OF FILL SLOPE(S): 3 FEET, 8:1 SLOPE RATIO.
7. MAXIMUM HEIGHT OF CUT SLOPE(S): 1 FEET, 8:1 SLOPE RATIO.
8. MAX CUT DEPTH UNDER BUILDING FOOTPRINT 6" FT.
9. MAX CUT DEPTH OUTSIDE BUILDING FOOTPRINT 1" FT.
10. MAX FILL DEPTH UNDER BUILDING FOOTPRINT 1" FT.
11. MAX FILL DEPTH OUTSIDE BUILDING FOOTPRINT 3" FT.
12. PERCENT OF TOTAL SITE WITH STEEP SLOPES: 0%
13. FINISH ELEVATIONS SHOWN ARE APPROXIMATE AND ARE SUBJECT TO CHANGE IN FINAL DESIGN. ALL DISTANCES ARE APPROXIMATE. ALL SLOPES ARE 2:1 MAXIMUM UNLESS OTHERWISE INDICATED.

## GRADING PERMIT EXEMPTION

1. EXCAVATION FOR RETAINING WALL & BASEMENT EXEMPT FROM GRADING PERMIT REQUIREMENTS PER SDMC 129.0603.
2. GRADING UNDER BASEMENT OR BUILDING ARE EXEMPT FROM GRADING EARTHWORK AND GRADING PERMIT PER SDMC 129.0603.

## AREA OF DISTURBANCE

0.33 ACRES

## NOTES

1. SEWER PUMP STATION VENT TO BE UPGRADED TO NEWER DESIGN WITH SCRUBBERS AND LOWERED TO 3' HIGH
2. REPLACE CURB, GUTTER, & SIDEWALK PER SDG 151
3. DECOMPOSED GRANITE, POROUS PAVEMENT, OR PERVIOUS PAVERS
4. CONTRACTOR TO FIELD VERIFY LOCATION AND ELEVATION OF EXISTING UTILITIES TO BE CONNECTED TO.

## LEGEND

| PROPERTY LINE   | STD DWG. NO. |
|---|--------------|
| STREET CENTER LINE                                    | ---          |
| CONTOUR   | (250)        |
| PROP. CONTOUR   | 250          |
| COASTAL BLUFF   | (252.5)      |
| EX. SPOT ELEVATION                                    | FS 252.5     |
| PROP. SPOT ELEVATION                                  | FS 252.5     |
| EX. ELECTRIC  | E            |
| EX. WATER   | W            |
| EX. SEWER   | S            |
| EX. GAS   | G            |
| CURB & GUTTER   | SDG-151      |
| PROP. DWY   | SDG-164      |
| PAVEMENT  | ---          |
| PROP. PAVEMENT  | G-18         |
| PROP. PAVERS  | ---          |
| PROP. PLANTER   | ---          |
| PROP. 12" TRENCH GRATE - ACO SUPERDRAIN TRAFFIC GRATE | ---          |
| DIRECTION OF FLOW                                     | →            |
| GRASS SWALE   | ---          |
| RIP-RAP ENERGY DISSIPATOR                             | SDG-104      |
| PROP. RIP-RAP   | SDG-104      |
| ENERGY DISSIPATOR                                     | ---          |
| PROP. 2'X2' NDS CATCH BASIN                           | ---          |
| EX. PVT 4" PVC (FRENCH DRAIN)                         | SDR-35       |
| EX. PVT 4" PVC (FRENCH DRAIN)                         | SDR-35       |
| EX. PVT 4" OR 6" PVC (YARD DRAIN)                     | SDR-35       |
| PROP. PVT 4" PVC (FRENCH DRAIN)                       | SDR-35       |
| PROP. PVT 4" PVC (SUB-DRAIN)                          | SDR-35       |
| PROP. PVT 4" PVC (YARD DRAIN)                         | SDR-35       |
| PROP. BIOFILTRATION PLANTER                           | ---          |
| PROP. RETAINING WALL                                  | ---          |
| 3' HIGH PROPOSED CMU WALL                             | IB 211       |

\*ALL STD DWGS PER CITY OF SAN DIEGO CITY STANDARD DRAWINGS, 2018 EDITION.  
\*REFER TO ARCHITECTS PLANS FOR FRENCH DRAIN

## SHEET INDEX

- SHEET C-1 DRAINAGE-MAIN LEVEL  
SHEET C-2 DRAINAGE-BASEMENT LEVEL  
SHEET C-3 EROSION CONTROL  
SHEET C-4 STORM WATER MGMT PLAN  
SHEET C-5 IMPERVIOUS AREA EXHIBIT  
SHEET C-6 EX TOPOGRAPHY  
SHEET C-7 DETAILS

## SITE ADDRESS

5970 & 5990 CAMINO DE LA COSTA  
LA JOLLA, CA 92037

## ASSESSORS PARCEL NO.

357-220-13-00  
357-220-02-00

## LEGAL DESCRIPTION

LOTS 2 & 13, BLOCK 2, LA JOLLA HERMOSA, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 1810, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, NOVEMBER 21, 1994, EXCEPTING HEREFROM ANY PORTION LYING BELOW THE MEAN HIGH TIDE LINE OF THE PACIFIC OCEAN.

## DESIGN TEAM

1. DRAINAGE DESIGN - CEA COASTAL ENGINEERING ASSOCIATES
2. WATER PROOFING DESIGN - WATER PROOFING CONSULTANT OR CONTRACTOR
3. GEOTECHNICAL ENGINEER - GEI

## ENGINEER OF WORK

CEA COASTAL ENGINEERING ASSOCIATES  
8195 RONSON RD. STE. G  
SAN DIEGO, CA. 92111  
PH. (858) 277-0441

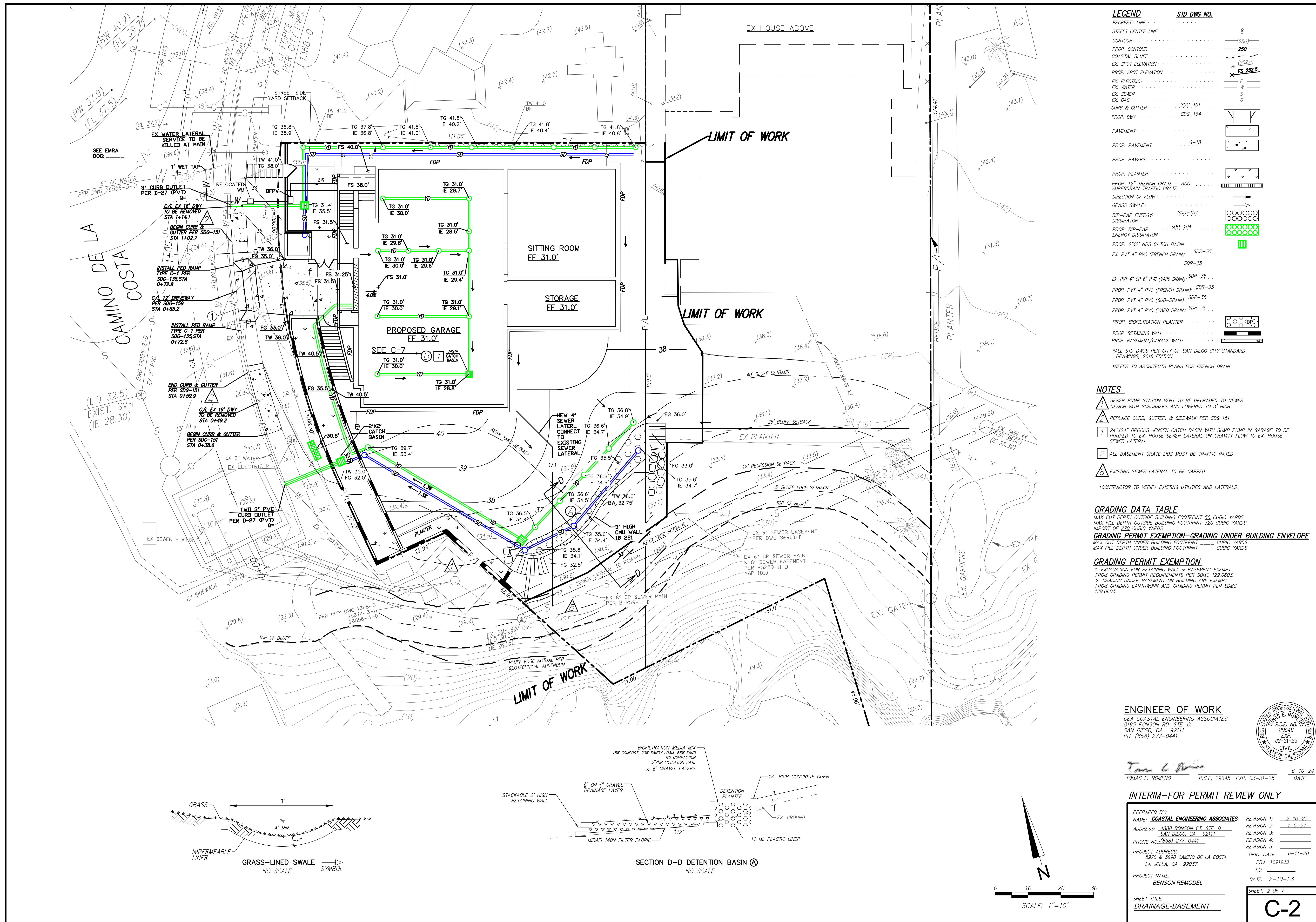
TOMAS E. ROMERO R.C.E. 29648 EXP. 03-31-25 DATE 6-10-24

## INTERIM-FOR PERMIT REVIEW ONLY

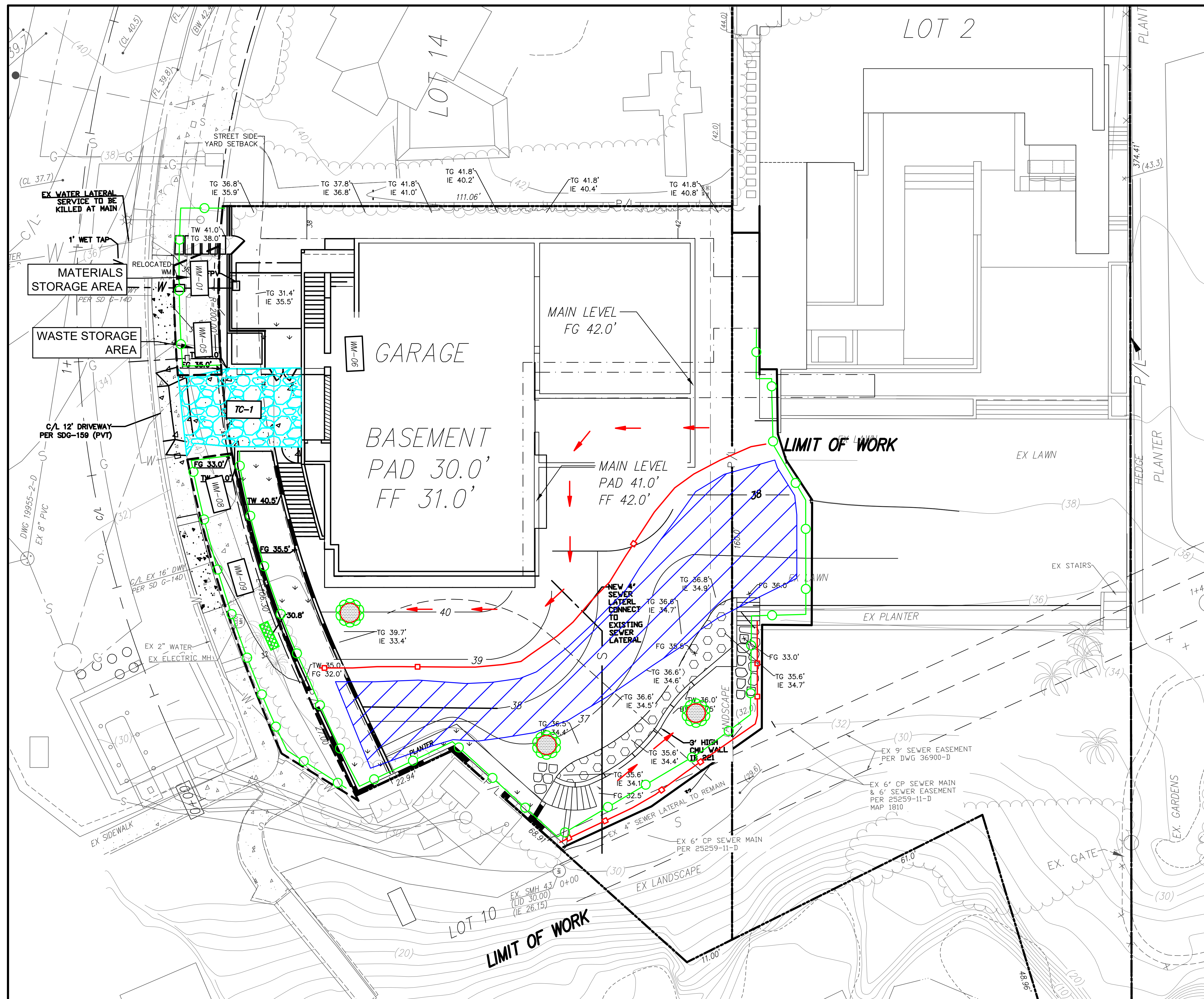
|                  |   |             |         |
|------------------|---|-------------|---------|
| PREPARED BY:     | NAME: COASTAL ENGINEERING ASSOCIATES                  | REVISION 1: | 2-10-23 |
| ADDRESS:         | 4888 RONSON CT. STE. D<br>SAN DIEGO, CA. 92111        | REVISION 2: | 4-5-24  |
| PHONE NO.:       | (858) 277-0441  | REVISION 3: |         |
| PROJECT ADDRESS: | 5970 & 5990 CAMINO DE LA COSTA<br>LA JOLLA, CA. 92037 | REVISION 4: |         |
| PROJECT NAME:    | BENSON REMODEL  | REVISION 5: |         |
| SHEET TITLE:     | DRAINAGE-MAIN LEVEL                                   | DATE:       | 2-10-23 |
|                  |   | I.O.        |         |
|                  |   | DATE:       | 2-10-23 |
|                  |   | SHEET:      | 1 OF 7  |

C-1









### EROSION AND SEDIMENT CONTROL NOTES

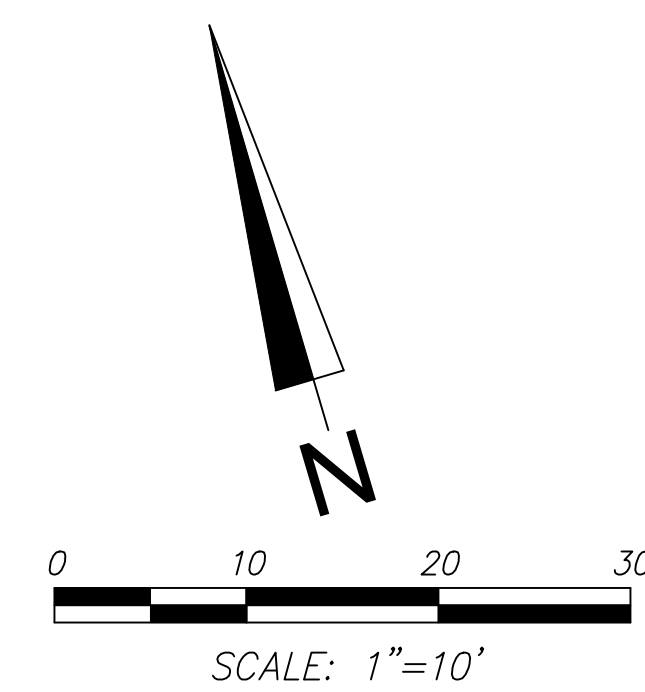
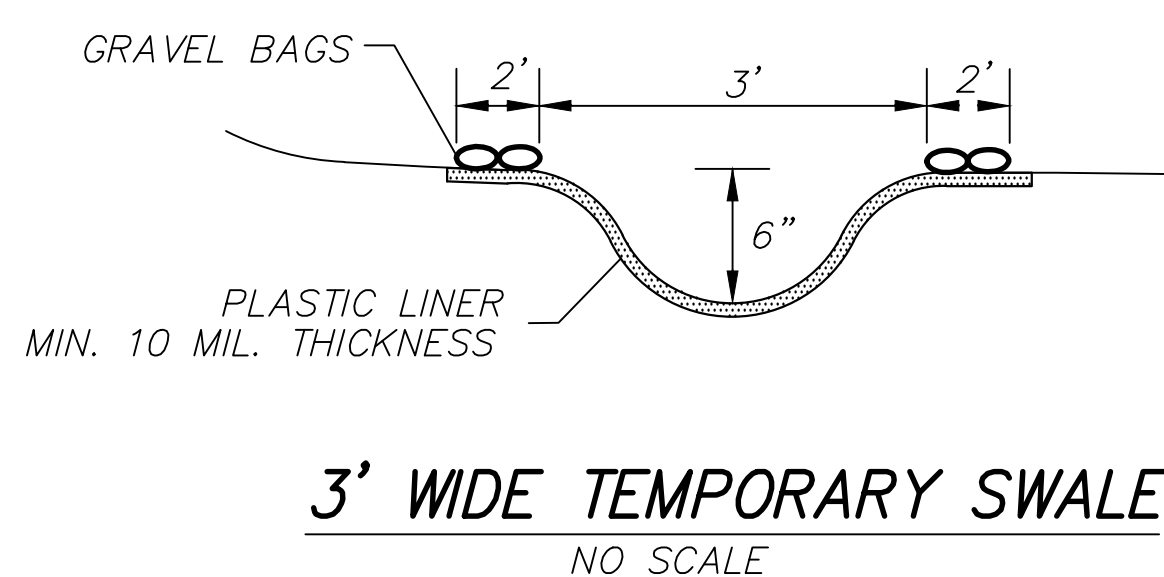
- TEMPORARY EROSION/SEDIMENT CONTROL, PRIOR TO COMPLETION OF FINAL IMPROVEMENTS, SHALL BE PERFORMED BY THE CONTRACTOR OR QUALIFIED PERSON AS INDICATED BELOW:
1. ALL REQUIREMENTS OF THE CITY OF SAN DIEGO "LAND DEVELOPMENT MANUAL, STORM WATER STANDARDS" MUST BE INCORPORATED INTO THE DESIGN AND CONSTRUCTION OF THE PROPOSED GRADING/IMPROVEMENTS CONSISTENT WITH THE APPROVED STORM WATER POLLUTION PREVENTION PLAN (SWPPP) AND/OR WATER POLLUTION CONTROL PLAN (WPCP) FOR CONSTRUCTION LEVEL BMP'S AND FOR PERMANENT POST CONSTRUCTION TREATMENT CONTROL PERMANENT BMP'S, THE WATER QUALITY TECHNICAL REPORT (WQTR) IF APPLICABLE.
  2. FOR STORM DRAIN INLETS, PROVIDE A GRAVEL BAG SILT BASIN IMMEDIATELY UPSTREAM OF INLET AS INDICATED ON DETAILS.
  3. FOR INLETS LOCATED AT SUMPS ADJACENT TO TOP OF SLOPES, THE CONTRACTOR SHALL ENSURE THAT WATER DRAINING TO THE SUMP IS DIRECTED INTO THE INLET AND THAT A MINIMUM OF 1.00' FREEBOARD EXISTS AND IS MAINTAINED ABOVE THE TOP OF THE INLET. IF FREEBOARD IS NOT PROVIDED BY GRADING SHOWN ON THESE PLANS, THE CONTRACTOR SHALL PROVIDE IT VIA TEMPORARY MEASURES, I.E. GRAVEL BAGS OR DIKES.
  4. THE CONTRACTOR OR QUALIFIED PERSON SHALL BE RESPONSIBLE FOR CLEANUP OF SILT AND MUD ON ADJACENT STREET(S) AND STORM DRAIN SYSTEM DUE TO CONSTRUCTION ACTIVITY.
  5. THE CONTRACTOR OR QUALIFIED PERSON SHALL CHECK AND MAINTAIN ALL LINED AND UNLINED DITCHES AFTER EACH RAINFALL.
  6. THE CONTRACTOR SHALL REMOVE SILT AND DEBRIS AFTER EACH MAJOR RAINFALL.
  7. EQUIPMENT AND WORKERS FOR EMERGENCY WORK SHALL BE MADE AVAILABLE AT ALL TIMES DURING THE RAINY SEASON. ALL NECESSARY MATERIALS SHALL BE STOCKPILED ON SITE AT CONVENIENT LOCATIONS TO FACILITATE RAPID CONSTRUCTION OF TEMPORARY DEVICES WHEN RAIN IS IMMINENT.
  8. THE CONTRACTOR SHALL RESTORE ALL EROSION/SEDIMENT CONTROL DEVICES TO WORKING ORDER TO THE SATISFACTION OF THE CITY ENGINEER OR RESIDENT ENGINEER AFTER EACH RUN-OUT PRODUCING RAINFALL.
  9. THE CONTRACTOR SHALL INSTALL ADDITIONAL EROSION/SEDIMENT CONTROL MEASURES AS MAY BE REQUIRED BY THE RESIDENT ENGINEER DUE TO UNCOMPLETED GRADING OPERATIONS OR UNFORESEEN CIRCUMSTANCES, WHICH MAY ARISE.
  10. THE CONTRACTOR SHALL BE RESPONSIBLE AND SHALL TAKE NECESSARY PRECAUTIONS TO PREVENT PUBLIC TRESPASS ONTO AREAS WHERE IMPOUNDED WATERS CREATE A HAZARDOUS CONDITION.
  11. ALL EROSION/SEDIMENT CONTROL MEASURES PROVIDED PER THE APPROVED GRADING PLAN SHALL BE INCORPORATED HEREON. ALL EROSION/SEDIMENT CONTROL FOR INTERIM CONDITIONS SHALL BE DONE TO THE SATISFACTION OF THE RESIDENT ENGINEER.
  12. GRADED AREAS AROUND THE PROJECT PERIMETER MUST DRAIN AWAY FROM THE FACE OF THE SLOPE AT THE CONCLUSION OF EACH WORKING DAY.
  13. ALL REMOVABLE PROTECTIVE DEVICES SHOWN SHALL BE IN PLACE AT THE END OF EACH WORKING DAY WHEN RAIN IS IMMINENT.
  14. THE CONTRACTOR SHALL ONLY GRADE, INCLUDING CLEARING AND GRUBBING FOR THE AREAS FOR WHICH THE CONTRACTOR OR QUALIFIED PERSON CAN PROVIDE EROSION/SEDIMENT CONTROL MEASURES.
  15. THE CONTRACTOR SHALL ARRANGE FOR WEEKLY MEETINGS DURING OCTOBER 1ST TO APRIL 30TH FOR PROJECT TEAM (GENERAL CONTRACTOR, QUALIFIED PERSON, EROSION CONTROL SUBCONTRACTOR IF ANY, ENGINEER OF WORK, OWNER/DEVELOPER AND THE RESIDENT ENGINEER) TO EVALUATE THE ADEQUACY OF THE EROSION/SEDIMENT CONTROL MEASURES AND OTHER RELATED CONSTRUCTION ACTIVITIES.
  16. THE GRADING CONTRACTOR WILL INSTALL EROSION CONTROL MEASURES A MIN. OF 48 HOURS PRIOR TO A FORECAST RAIN EVENT. THIS WILL PROVIDE ADEQUATE TIME FOR RESIDENT ENGINEER AND PROJECT ENGINEER TO INSPECT BMP MEASURES.

### CONSTRUCTION BMP LEGEND

| NAME  | DESC.                                 | LOCATION/SYMBOL          |
|-------|---------------------------------------|--------------------------|
| EC-01 | PLANNING & SCHEDULING                 | WPCP                     |
| EC-03 | HYDRAULIC MULCH & BONDED FIBER MATRIX |                          |
| SE-02 | SEDIMENTATION BASIN                   |                          |
| SE-05 | FIBER ROLLS                           |                          |
| WE-01 | WIND EROSION CONTROL                  | ALL STOCKPILES & EX DW'S |
| TC-01 | STABILIZED CONSTRUCTION ENTRANCE      |                          |
| MM-01 | MATERIAL STORAGE                      | MM-01                    |
| MM-02 | MATERIAL HANDLING & USE               | APPLIES TO MM-01         |
| MM-05 | SOLID WASTE MANAGEMENT                | MM-05                    |
| MM-06 | HAZARDOUS WASTE MANAGEMENT            | MM-06                    |
| MM-08 | CONCRETE WASTE MANAGEMENT             | MM-08                    |
| MM-09 | SANITARY/SEPTIC WASTE MANAGEMENT      | MM-09                    |
| SC-01 | SILT FENCE                            |                          |

### LEGEND

SWALE



### ENGINEER OF WORK

CEA COASTAL ENGINEERING ASSOCIATES  
4888 RONSON CT. STE. D  
SAN DIEGO, CA. 92111  
PH. (858) 277-0441



Tomas E. Romero R.C.E. 29648 EXP. 03-31-25 6-10-24  
DATE

### INTERIM-FOR PERMIT REVIEW ONLY

PREPARED BY: COASTAL ENGINEERING ASSOCIATES  
NAME: 4888 RONSON CT. STE. D  
ADDRESS: SAN DIEGO, CA. 92111  
PHONE NO.: (858) 277-0441  
PROJECT ADDRESS: 5970 & 5990 CAMINO DE LA COSTA  
LA JOLLA, CA. 92037  
PROJECT NAME: BENSON REMODEL  
SHEET TITLE: EROSION CONTROL PLAN

REVISION 1: 2-10-23  
REVISION 2: 4-5-24  
REVISION 3: \_\_\_\_\_  
REVISION 4: \_\_\_\_\_  
REVISION 5: \_\_\_\_\_  
ORIG. DATE: 6-11-20  
PRJ: 1021933  
I.O. \_\_\_\_\_  
DATE: 2-10-23  
SHEET: 3 OF 7

C-3

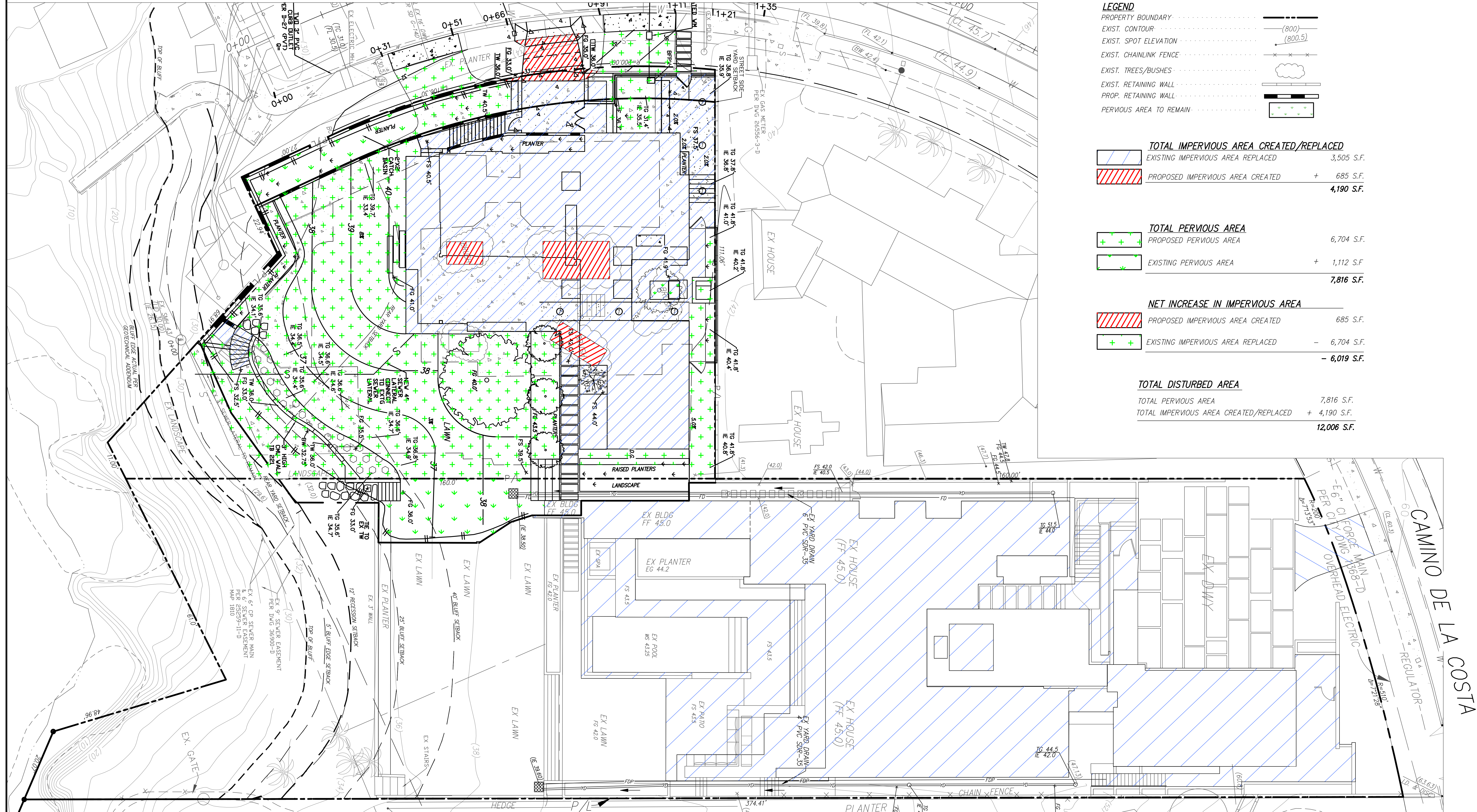
IF CONSTRUCTION DOES NOT COMMENCE WITHIN 30 DAYS OF COMPLETION OF GRADING AND IF HYDROSEED IS NOT ESTABLISHED PRIOR TO RAIN EVENTS AND THERE IS EROSION, INSTALL FIBER MULCH AND FIBER ROLL ON ALL GRADED (MANUFACTURED) SLOPES.







CAMINO DE LA COSTA

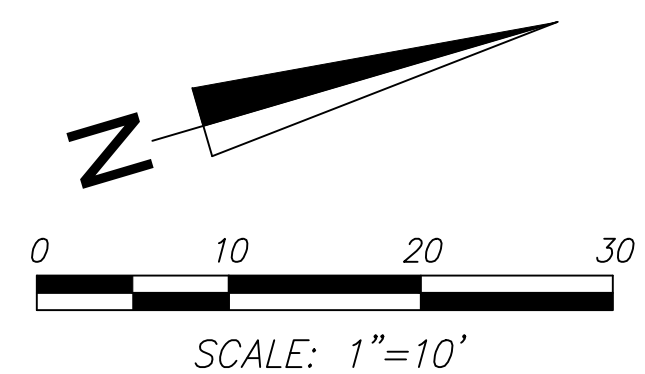


**LEGEND**

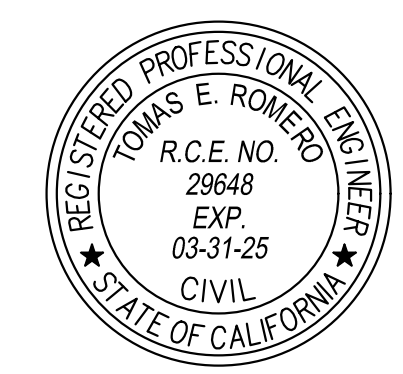
PROPERTY BOUNDARY .....  
EXIST. CONTOUR ..... (800)  
EXIST. SPOT ELEVATION ..... (800.5)  
EXIST. CHAINLINK FENCE .....  
EXIST. TREES/BUSHES .....  
EXIST. RETAINING WALL .....  
PROP. RETAINING WALL .....  
PERVIOUS AREA TO REMAIN .....  
  
**TOTAL IMPERVIOUS AREA CREATED/REPLACED**  
EXISTING IMPERVIOUS AREA REPLACED 3,505 S.F.  
PROPOSED IMPERVIOUS AREA CREATED + 685 S.F.  
**4,190 S.F.**  
  
**TOTAL PERVIOUS AREA**  
PROPOSED PERVIOUS AREA 6,704 S.F.  
EXISTING PERVIOUS AREA + 1,112 S.F.  
**7,816 S.F.**  
  
**NET INCREASE IN IMPERVIOUS AREA**  
PROPOSED IMPERVIOUS AREA CREATED 685 S.F.  
EXISTING IMPERVIOUS AREA REPLACED - 6,704 S.F.  
**- 6,019 S.F.**  
  
**TOTAL DISTURBED AREA**  
TOTAL PERVIOUS AREA 7,816 S.F.  
TOTAL IMPERVIOUS AREA CREATED/REPLACED + 4,190 S.F.  
**12,006 S.F.**

**IMPERVIOUS AREA - 50% RULE**  
-PROJECT PROPOSES CREATION/REPLACEMENT IMPERVIOUS AREA OF 4,754 (732 S.F. ADDED + 4,022 S.F. REPLACED), WHICH IS LESS THAN 50% OF THE EXISTING IMPERVIOUS AREA OF 21,164 SQFT.  
-PROJECT POLLUTANT CONTROL BMP REQUIREMENTS WILL ONLY APPLY TO ADDED/REPLACED IMPERVIOUS AREAS.

**NOTES**  
① DECOMPOSED GRANITE, POROUS PAVEMENT, OR PERVIOUS PAVERS



**ENGINEER OF WORK**  
CEA COASTAL ENGINEERING ASSOCIATES  
4888 RONSON CT., STE. D  
SAN DIEGO, CA. 92111  
PH. (858) 277-0441



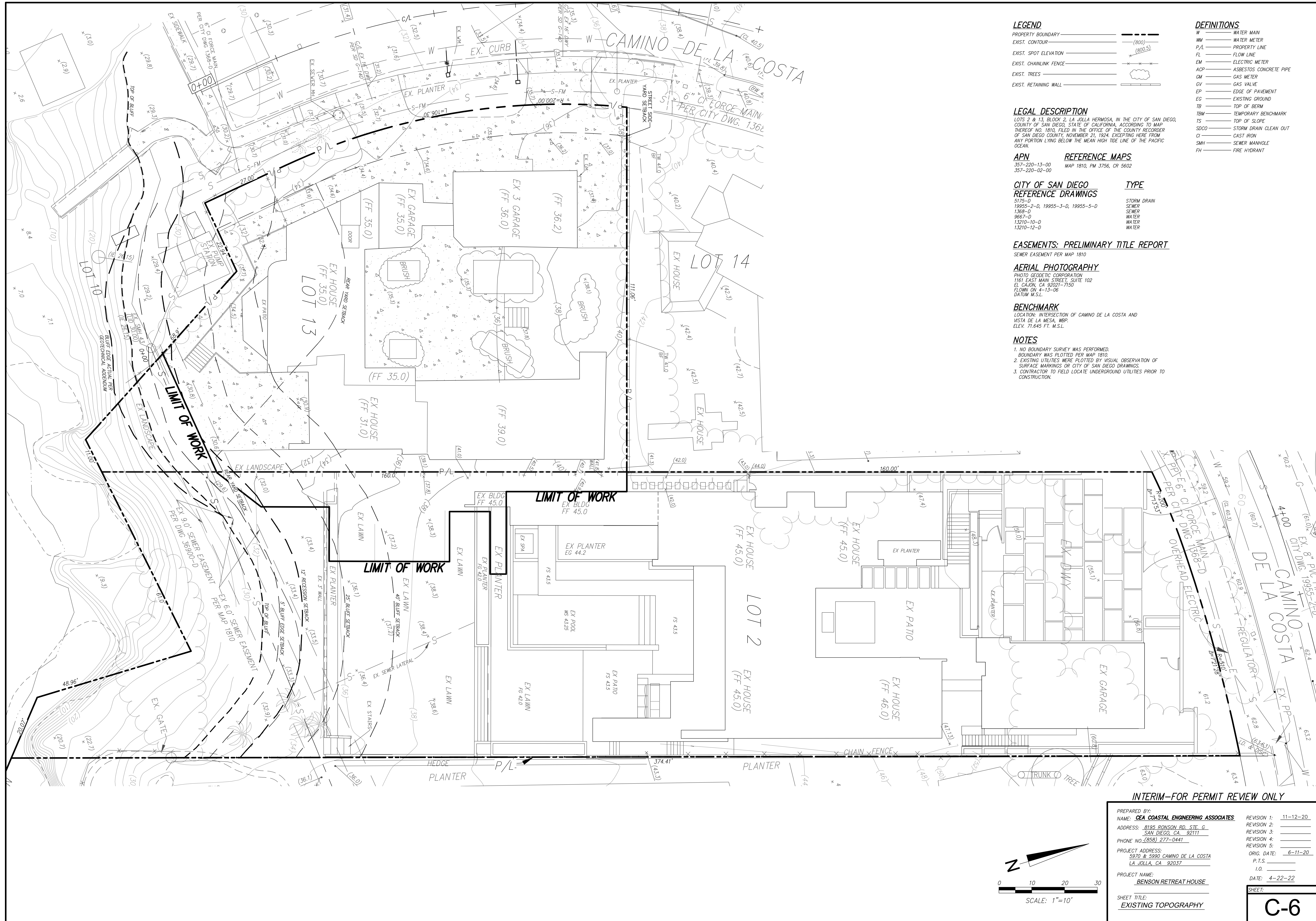
Tomas E. Romero  
TOMAS E. ROMERO R.C.E. 29648 EXP. 03-31-25 4-5-24 DATE

**INTERIM-FOR PERMIT REVIEW ONLY**

|                  |   |               |         |
|------------------|---|---------------|---------|
| PREPARED BY:     | NAME: <b>COASTAL ENGINEERING ASSOCIATES</b>           | REVISION 1:   | 2-10-23 |
| ADDRESS:         | 4888 RONSON CT., STE. D<br>SAN DIEGO, CA. 92111       | REVISION 2:   | 4-5-24  |
| PHONE NO.:       | (858) 277-0441  | REVISION 3:   |         |
| PROJECT ADDRESS: | 5970 & 5990 CAMINO DE LA COSTA<br>LA JOLLA, CA. 92037 | REVISION 4:   |         |
| PROJECT NAME:    | BENSON REMODEL  | REVISION 5:   |         |
| SHEET TITLE:     | IMPERVIOUS AREA EXHIBIT                               | ORIG. DATE:   | 6-11-20 |
|                  |   | P.T.S.        |         |
|                  |   | I.O.          |         |
|                  |   | DATE:         | 2-10-23 |
|                  |   | SHEET: 5 OF 7 |         |

**C-5**





| LEGEND                 |         |
|------------------------|---------|
| PROPERTY BOUNDARY      | ---     |
| EXIST. CONTOUR         | (800)   |
| EXIST. SPOT ELEVATION  | (800.5) |
| EXIST. CHAINLINK FENCE | ---     |
| EXIST. TREES           | ☁       |
| EXIST. RETAINING WALL  | ---     |

| DEFINITIONS |                        |
|-------------|------------------------|
| W           | WATER MAIN             |
| WM          | WATER METER            |
| P/L         | PROPERTY LINE          |
| FL          | FLOW LINE              |
| EM          | ELECTRIC METER         |
| ACP         | ASBESTOS CONCRETE PIPE |
| GM          | GAS METER              |
| GV          | GAS VALVE              |
| EP          | EDGE OF PAVEMENT       |
| EG          | EXISTING GROUND        |
| TB          | TOP OF BERM            |
| TBM         | TEMPORARY BENCHMARK    |
| TS          | TOP OF SLOPE           |
| SOCO        | STORM DRAIN CLEAN OUT  |
| CI          | CAST IRON              |
| SMH         | SEWER MANHOLE          |
| FH          | FIRE HYDRANT           |

**LEGAL DESCRIPTION**  
LOTS 2 & 13, BLOCK 2, LA JOLLA HERMOSA, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 1810, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, NOVEMBER 21, 1924, EXCEPTING HEREFROM ANY PORTION LYING BELOW THE MEAN HIGH TIDE LINE OF THE PACIFIC OCEAN.

**APN**  
357-220-13-00  
357-220-02-00

**REFERENCE MAPS**  
MAP 1810, PM 3756, CR 5602

| CITY OF SAN DIEGO<br>REFERENCE DRAWINGS | TYPE        |
|---|-------------|
| 5175-D                                  | STORM DRAIN |
| 19955-2-D, 19955-3-D, 19955-5-D         | SEWER       |
| 1368-D                                  | WATER       |
| 9667-D                                  | WATER       |
| 13210-10-D                              | WATER       |
| 13210-12-D                              | WATER       |

**EASEMENTS: PRELIMINARY TITLE REPORT**  
SEWER EASEMENT PER MAP 1810

**AERIAL PHOTOGRAPHY**  
PHOTO GEODETIC CORPORATION  
1161 EAST MAIN STREET, SUITE 102  
EL CAJON, CA 92021-7150  
FLOWN ON 4-13-08  
DATUM M.S.L.

**BENCHMARK**  
LOCATION: INTERSECTION OF CAMINO DE LA COSTA AND VISTA DE LA MESA, WBP.  
ELEV. 71.645 FT. M.S.L.

- NOTES**
1. NO BOUNDARY SURVEY WAS PERFORMED. BOUNDARY WAS PLOTTED PER MAP 1810.
  2. EXISTING UTILITIES WERE PLOTTED BY VISUAL OBSERVATION OF SURFACE MARKINGS OR CITY OF SAN DIEGO DRAWINGS.
  3. CONTRACTOR TO FIELD LOCATE UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION.

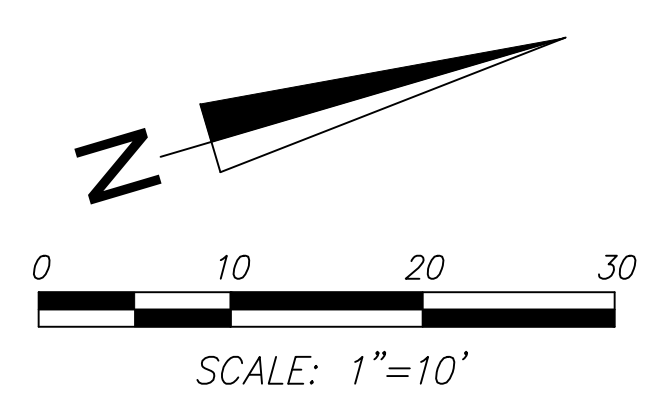
INTERIM-FOR PERMIT REVIEW ONLY

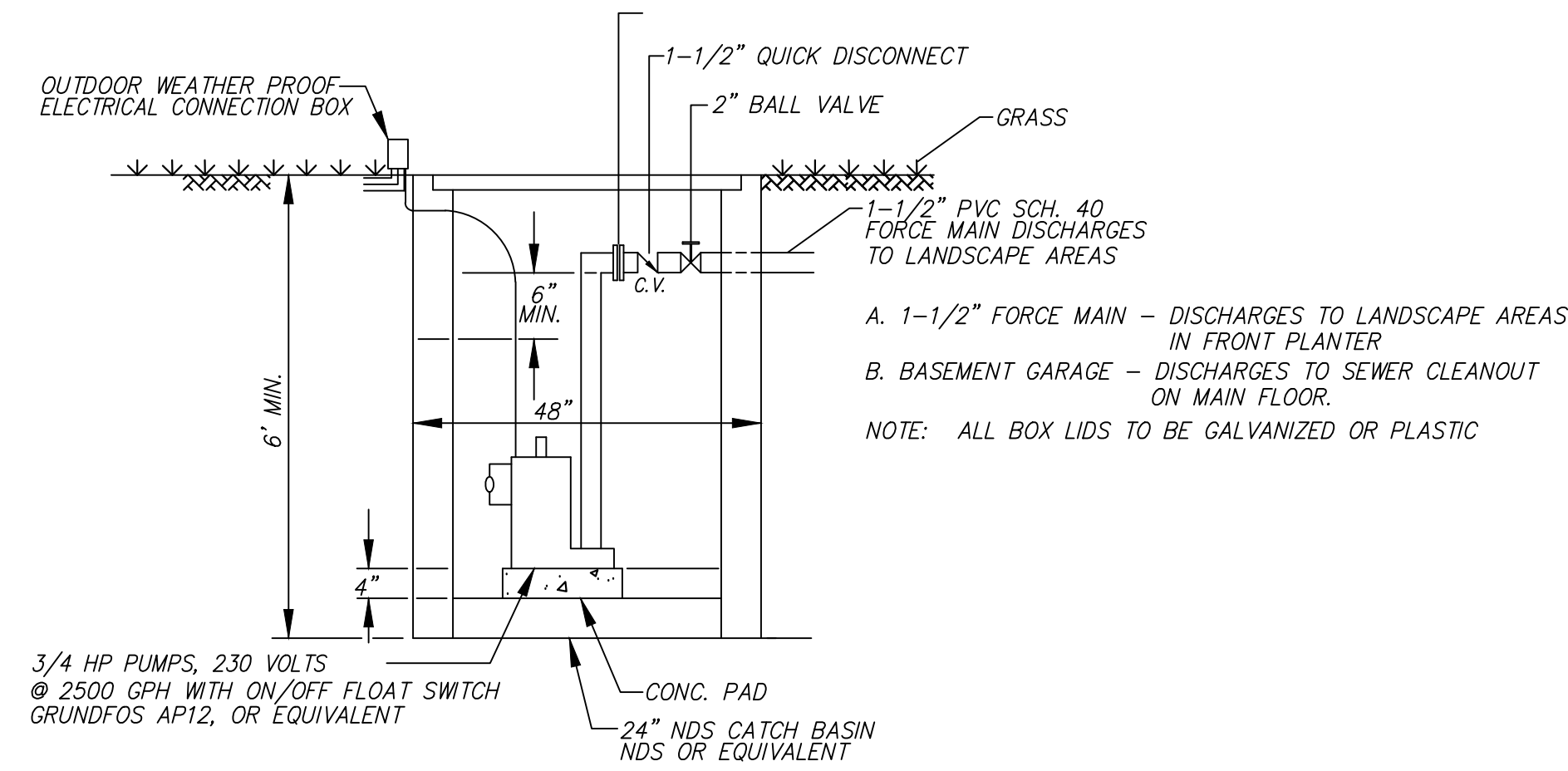
PREPARED BY:  
NAME: **CEA COASTAL ENGINEERING ASSOCIATES**  
ADDRESS: 8195 RONSON RD., STE. G  
SAN DIEGO, CA. 92111  
PHONE NO.: (658) 277-0441  
PROJECT ADDRESS:  
5970 & 5990 CAMINO DE LA COSTA  
LA JOLLA, CA 92037

|             |          |
|-------------|----------|
| REVISION 1: | 11-12-20 |
| REVISION 2: |          |
| REVISION 3: |          |
| REVISION 4: |          |
| REVISION 5: |          |
| ORIG. DATE: | 6-11-20  |
| P.T.S.      |          |
| I.O.        |          |
| DATE:       | 4-22-22  |

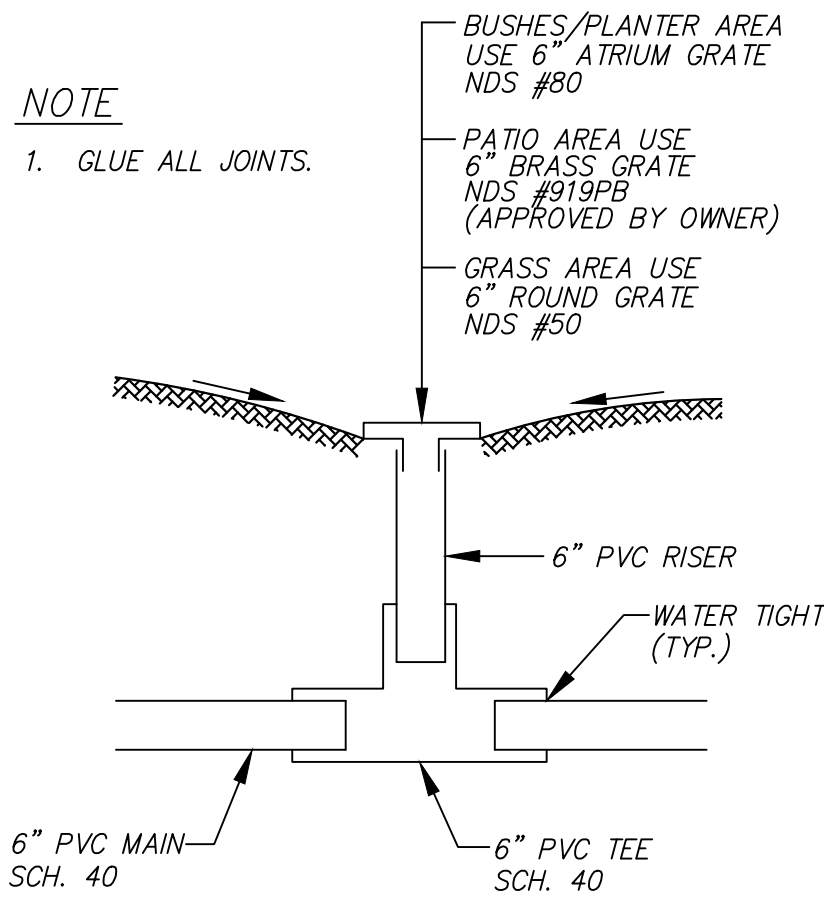
PROJECT NAME:  
**BENSON RETREAT HOUSE**

SHEET TITLE:  
**EXISTING TOPOGRAPHY**

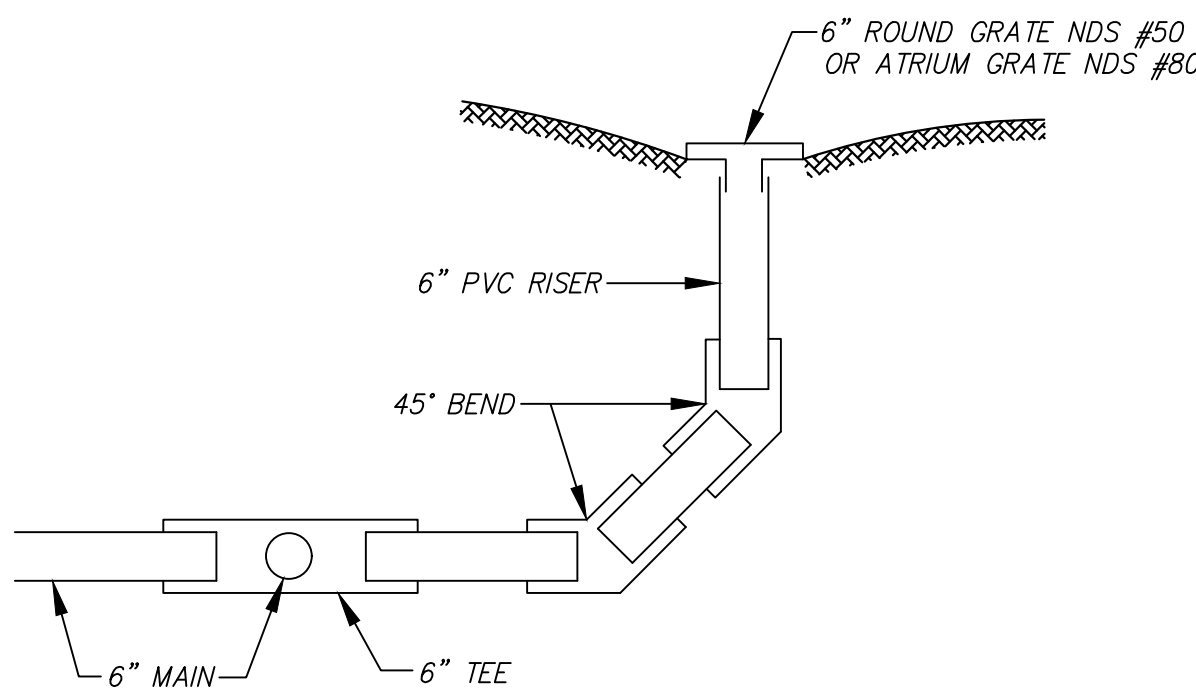




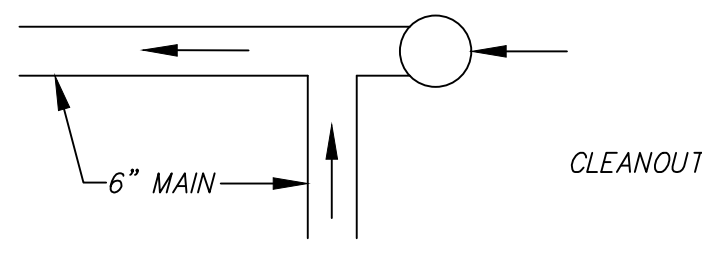
DETAIL (B) 2'W X 2'L X 3' MIN. DEEP CATCH BASIN WET WELL (PVT.)  
SUBDRAIN PUMP DETAIL  
NOT TO SCALE



INLET ON MAIN LINE (PVT.)  
NOT TO SCALE



SECTION: CLEANOUT AT 90° BEND (PVT.)  
NOT TO SCALE



PLAN: CLEANOUT AT 90° BEND (PVT.)  
NOT TO SCALE

GENERAL NOTES

1. DRAINAGE SWALES WILL NOT JUST BE REMOVED. THEY MAY BE RELOCATED OR REPLACED WITH A YARD DRAIN.
2. CONTRACTOR TO VERIFY SPOT ELEVATIONS AT ALL DOOR THRESHOLDS PRIOR TO CONSTRUCTION. ALL DOOR THRESHOLDS YARD DRAIN SYSTEM WILL HAVE A MIN. OF 2% SLOPE AWAY FROM DOOR TO PREVENT WATER FROM ENTERING DOORS.
3. ADJUST GRADE AT PROPERTY LINE TO PREVENT DRAINAGE FROM CROSSING ONTO ADJACENT PROPERTY.
4. DIRECT ALL DRAINAGE AWAY FROM DOORS AND BUILDINGS.

YARD DRAIN NOTES (PRIVATE)

1. MAINTENANCE/CLEANING/REPAIR  
A. CATCH BASINS, YARD DRAINS, AND PUMPS WILL BE MAINTAINED AND CLEANED OF DEBRIS, SAND, SILT, TRASH, AND OBSTRUCTIONS A MINIMUM OF EVERY TWO (2) MONTHS. ALWAYS PERFORM ADDITIONAL FLUSHING SYSTEM MAINTENANCE A MINIMUM OF 5 DAYS PRIOR TO A RAIN EVENT.  
B. FLUSH OUT THE PRESSURE/FORCE MAIN OUTLET A MINIMUM OF FOUR(4) TIMES A YEAR. FLUSH YARD SYSTEM AS NECESSARY TO PREVENT CLOGGING.  
C. REFER TO SUMP PUMP MANUFACTURER'S INFORMATION FOR CLEANING AND MAINTENANCE OF SUMP PUMPS.  
D. LANDSCAPING WILL BE MAINTAINED TO PREVENT BLOCKAGE OR COVERAGE OF DESILTING CATCH BASINS.
2. ALL YARD DRAINS WILL HAVE A MINIMUM OF 1% SLOPE.
3. ATRIUM GRATES SHOULD BE USED IN NON-PAVED AREAS. LANDSCAPING AND BUSHES ARE TO BE KEPT AWAY FROM INLETS TO PREVENT CLOGGING.
4. ALL JOINTS WILL BE GLUED/WATER TIGHT TO PREVENT SYSTEM FROM CLOGGING.

RESIDENTIAL STORM WATER SYSTEM (PRIVATE)

1. DUPLEX RESIDENTIAL STORM WATER SYSTEM TO BE PROVIDED BY BARRETT ENGINEERED PUMPS (PHONE: 619-232-7867), OR PROVIDED BY OWNER, AND INCLUDE THE FOLLOWING:  
B. ONE SJE-RHOMBUS DUPLEX, ALTERNATING CONTROL PANEL WITH HIGH WATER ALARM LIGHT AND HORN. INCLUDES 3 FLOATS SWITCHES, FLOAT BRACKET AND DUPLEX JUNCTION BOX. TWO 240 VOLT ONE SJE RHOMBUS SIMPLY CONTROL PANEL, ONE 240 VOLT BREAKER.  
C. EACH PUMP SHALL BE RATED FOR A MINIMUM OF 280 GPM AT 30' OF HEAD.  
D. PUMPS SHALL BE RATED FOR INTERMITTENT SERVICE. DURING A STORM EVENT.  
E. POWER SUPPLY SHALL BE 230 VOLT AND ELECTRICAL SHALL BE INSTALLED BY A LICENSED ELECTRICIAN, AND SHALL MEET THE REQUIREMENTS OF THE NATIONAL ELECTRICAL CODE.  
F. SEE OWNER/ARCHITECT FOR LOCATION OF CONTROL PANEL AND PUMP ALARMS.  
G. ALL METAL TO BE EPOXY COATED OR POWDER COATED. EXTREME CORROSIVE CONDITION.  
H. SUMP PUMPS SHOULD HAVE STAINLESS STEEL IMPELLERS.

EMERGENCY BACKUP POWER FOR STORM PUMP SYSTEM MINIMUM REQUIREMENTS

- OPTION 1. ELECTRIC SYSTEM WILL INCLUDE QUICK DISCONNECT BOX IN LINE WITH PUMP SYSTEM TO ALLOW CONNECTION OF AN EMERGENCY GENERATOR.

MAINTENANCE AND INSPECTION OF PERMANENT BMP'S

1. DESILTING CATCH BASINS, WET WELLS, PUMPING SYSTEMS, SIDEWALK UNDERDRAINS, RIP-RAP, AND OTHER EROSION CONTROL MEASURES WILL BE MAINTAINED AND CLEANED BY THE INDIVIDUAL LOT OWNER. CLEANING WILL INCLUDE THE REMOVAL OF DEBRIS, SAND, SILT, TRASH, AND OBSTRUCTIONS. SYSTEMS WILL BE FLUSHED AND CLEANED A MINIMUM OF ONCE EVERY 2 MONTHS DURING THE DRY SEASON AND ONCE IMMEDIATELY BEFORE AND AFTER A RAIN EVENT.
2. LANDSCAPING WILL BE INSPECTED A MINIMUM OF ONCE EVERY MONTH DURING THE DRY SEASON AND ALWAYS IMMEDIATELY BEFORE AND AFTER A RAIN EVENT. LANDSCAPING WILL BE REPAIRED/REPLACED AS NECESSARY. ALL EXPOSED EARTH SURFACES WILL BE MULCHED, HYDROSEEDDED, OR STRAW MATTED TO MINIMIZE EROSION.
3. THE INDIVIDUAL LOT OWNER IS RESPONSIBLE FOR REMOVING ALL POLLUTANTS, TRASH, SILT, AND DEBRIS TO A LEGAL DUMP SITE.
4. THE INDIVIDUAL LOT OWNER TAKES FULL RESPONSIBILITY FOR OPERATION AND MAINTENANCE OF STORM WATER PUMPING SYSTEM.
5. MAINTENANCE OF SUMP PUMP SYSTEMS CAN BE PERFORMED BY BARRETT ENGINEERED PUMPS (619) 232-7867, MARTIN PLUMBING (858) 715-0850, OR QUALIFIED CONTRACTOR.

ENGINEER OF WORK

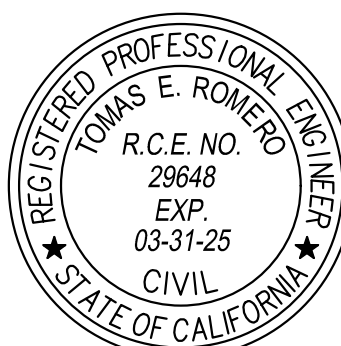
CEA COASTAL ENGINEERING ASSOCIATES  
8195 RONSON CT. STE. D  
SAN DIEGO, CA. 92111  
PH. (658) 277-0441

Tom E. Romero

TOMAS E. ROMERO

R.C.E. 29648 EXP. 03-31-25

6-10-24  
DATE



|  |                            |
|--|----------------------------|
| PREPARED BY:<br>NAME: <b>COASTAL ENGINEERING ASSOCIATES</b>              | REVISION 1: <u>2-10-23</u> |
| ADDRESS: 4888 RONSON CT. STE. D<br>SAN DIEGO, CA. 92111                  | REVISION 2: <u>4-5-24</u>  |
| PHONE NO. (658) 277-0441   | REVISION 3: _____          |
| PROJECT ADDRESS:<br>5970 & 5990 CAMINO DE LA COSTA<br>LA JOLLA, CA 92037 | REVISION 4: _____          |
| PROJECT NAME:<br>BENSON REMODEL  | REVISION 5: _____          |
| SHEET TITLE:<br>DETAILS  | ORIG. DATE: <u>6-11-20</u> |
|  | P.T.S.: _____              |
|  | I.O.: _____                |
|  | DATE: <u>2-10-23</u>       |
|  | SHEET: 7 OF 7              |
|  | <b>C-7</b>                 |





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Benson Residence  
5970 Camino De La Costa  
La Jolla, CA 92037

Date: 11.6.24

Revisions: Date:  
City Submittal 6.3.24  
City Submittal 10.15.24

Job Number: 2404

Drawn By: /TC

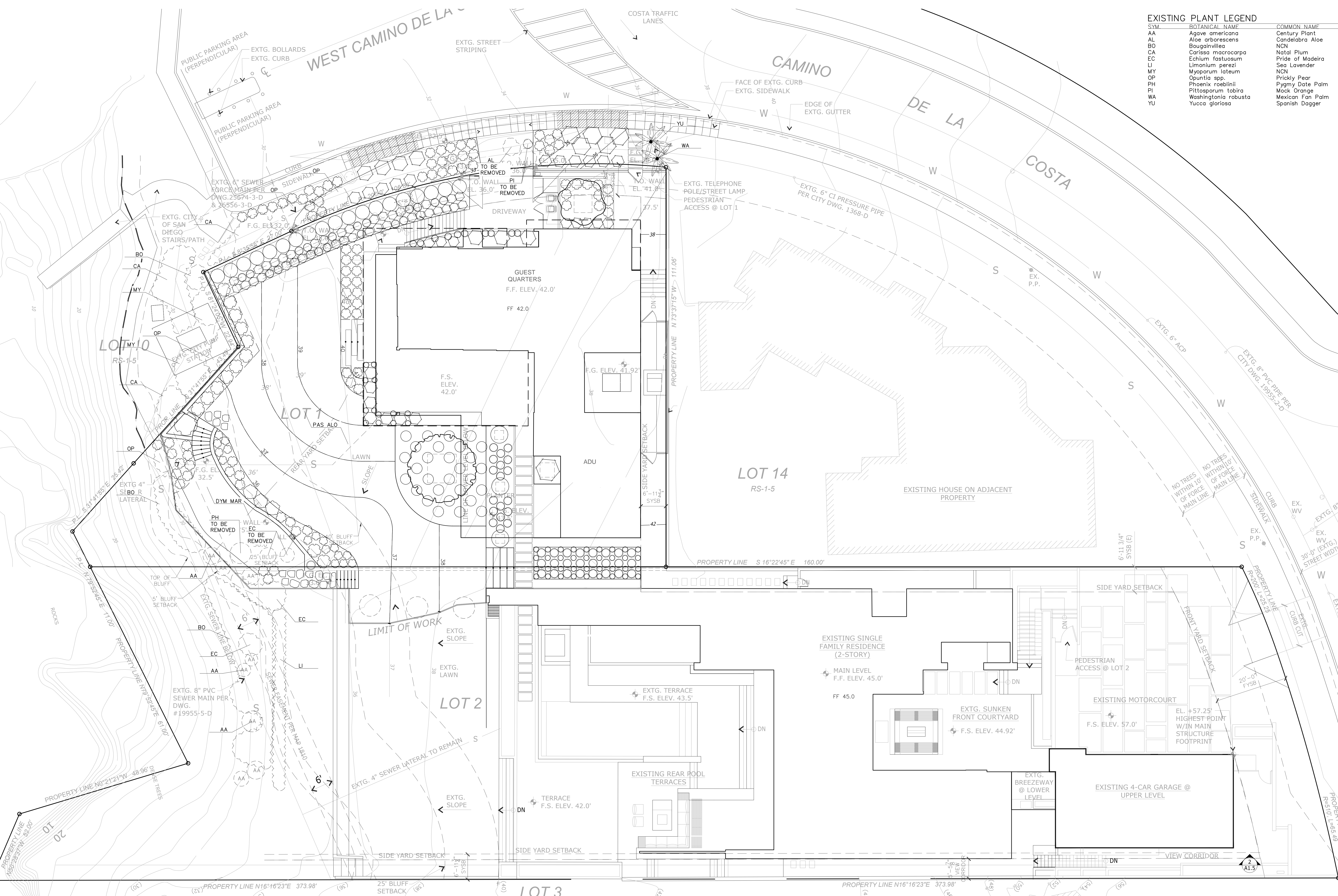
Sheet Title:  
Planting Plan

City Submittal  
Scale: 1"=10'-0"

Sheet Number: L2.1

| EXISTING PLANT LEGEND |                      |                  |
|-----------------------|----------------------|------------------|
| SYM.                  | BOTANICAL NAME       | COMMON NAME      |
| AA                    | Agave americana      | Century Plant    |
| AL                    | Aloe arborescens     | Candelabra Aloe  |
| BO                    | Bougainvillea        | NCN              |
| CA                    | Carissa macrocarpa   | Natal Plum       |
| EC                    | Echium fastuosum     | Pride of Madeira |
| LI                    | Limnium perzi        | Sea Lavender     |
| MY                    | Myoporum laetum      | NCN              |
| OP                    | Opuntia spp.         | Prickly Pear     |
| PH                    | Phoenix roebelinii   | Pygmy Date Palm  |
| PI                    | Pittosporum tobira   | Mock Orange      |
| WA                    | Washingtonia robusta | Mexican Fan Palm |
| YU                    | Yucca gloriosa       | Spanish Dagger   |

GENERAL NOTES:  
PLANTINGS WITHIN THE SIDE YARD SETBACKS SHALL BE LIMITED TO A NATURAL GROWTH HEIGHT OF 36-INCHES.





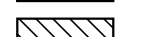


| PLANTING LEGEND                  |  |                            |
|----------------------------------|--|----------------------------|
| EVERGREEN STREET TREE            |  |                            |
| SYM.                             | BOTANICAL NAME                         | COMMON NAME                |
| BAU FOR                          | Bauhinia forficata                     | Hang Kong Orchid           |
| MAG MAG                          | Magnolia grandiflora 'Majestic Beauty' | NCN                        |
| MET EXC                          | Metrosideros excelsa                   | New Zealand Christmas Tree |
| EVERGREEN CANOPY TREE -RELOCATED |  |                            |
| SYM.                             | BOTANICAL NAME                         | COMMON NAME                |
| QUE SUB                          | Quercus suber                          | Cork Oak                   |

| SUCCULENT AND CACTUS |                              |                              |
|----------------------|------------------------------|------------------------------|
| SYM.                 | BOTANICAL NAME               | COMMON NAME                  |
| AEO SAL              | Aeonium urbicum 'Salad Bowl' | NCN                          |
| AGA DES              | Agave desmettiana variegata  | Variegated Smooth Agave      |
| AGA LOP              | Agave lophantha              | Thorncrest Century Plant     |
| AGA VIC              | Agave victoriae-reginae      | Queen Victoria Century Plant |
| ALO TOM              | Aloe tomentosa               | Hairy Green Aloe             |
| BES YUC              | Beschorneria yuccoides       | Mexican Lily                 |
| OPU PAR              | Opuntia paraguayensis        | Green Machine Prickly Pear   |
| PAC LAM              | Pachypodium lamerei          | Madagascar Palm              |
| PED BRA              | Pedilanthus bracteatus       | Tall Slipper Plant           |

| EVERGREEN SHRUB           |                                     |                          |
|---------------------------|-------------------------------------|--------------------------|
| SYM.                      | BOTANICAL NAME                      | COMMON NAME              |
| BUX GRE                   | Buxus hybrid 'Green Mountain'       | Boxwood                  |
| REL OLE                   | Relocated Olive                     | NCN                      |
| RHA UMB                   | Rhaphiolepis umbellata              | Yeddo Hawthorn           |
| LOW EVERGREEN GROUNDCOVER |                                     |                          |
| SYM.                      | BOTANICAL NAME                      | COMMON NAME              |
| CAR DIV                   | Carex divisa                        | Berkley Sedge            |
| CER TOM                   | Cerastium tomentosum                | Snow-in-Summer           |
| GER JOH                   | Geranium 'Johnson's Blue'           | Cranesbill               |
| LAN MON                   | Lantana 'Monet'                     | Spreading Sunset Lantana |
| ROS PRO                   | Rosmarinus officinalis 'Prostratus' | Creeping Rosemary        |
| PAS ALO                   | Paspalum 'Aloha Seashore'           | Sod                      |

| SEASONAL ACCENT       |                                 |                          |
|-----------------------|---------------------------------|--------------------------|
| SYM.                  | BOTANICAL NAME                  | COMMON NAME              |
| ROS SPP               | Rosa species                    | Hybrid Tea Rose          |
| BLUFF BORDER PLANTING |                                 |                          |
| SYM.                  | BOTANICAL NAME                  | COMMON NAME              |
| AGA AME               | Agave americana                 | Century Plant            |
| ALO CAM               | Aloe camperi                    | Nubian Aloe              |
| ALO STR               | Aloe striata                    | Coral Aloe               |
| DAS LON               | Dasyliroa longissima            | Mexican Grass Tree       |
| LAV WIN               | Lavandula stoechas 'Winter Bee' | Lavender                 |
| BLUFF GROUNDCOVER     |                                 |                          |
| SYM.                  | BOTANICAL NAME                  | COMMON NAME              |
| DYM MAR               | Dymondia margaritae             | Silver Carpet            |
| HYP SUN               | Hypericum frondosum 'Sunburst'  | Sunburst St. John's Wort |



| LEVEL AREA CALC'S |                | LEGEND  |  | REVISIONS TABLE   |  |      |   |  |
|-------------------|----------------|---|--|---|--|------|---|--|
| LOWER LEVEL       | SEE SHEET A1.6 | — · — · —   | PROPERTY LINE                                    |  | NO.  | DATE | REVISION / ISSUE  |  |
| MAIN LEVEL        | SEE SHEET A1.6 | — — — —   | SETBACK LINE                                     |   |  |      |   |  |
| UPPER LEVEL       |                | - - - -   | OUTLINE OF EXTG. BUILDING TO BE DEMOLISHED       |   |  |      |   |  |
| EXISTING GARAGE   | 1,676 SQ FT    |  | FOOTPRINT OF EXISTING BUILDING @ LEVEL INDICATED |   | 5970 CAMINO DE LA COSTA PROJECT<br>5970 CAMINO DE LA COSTA<br>LA JOLLA, CA 92037 |      |   |  |
| NEW               | 0.9 SQ FT      |   |  |  |  |      |   | AREA OF NEW OR MODIFIED HARDSCAPE AND/OR SOFTSCAPE @ LEVEL INDICATED |
| TOTAL             | 2,979 SQ FT    |   |  |   |  |      |   |  |
| SITE WORK         |                |  | FOOTPRINT OF NEW BUILDING @ LEVEL INDICATED      | HOUSE DESIGN ARCHITECTS<br>2150 W. WASHINGTON STREET<br>STE.301, SAN DIEGO CA 92110   |  |      |   |  |
| EXISTING          | 11,352 SQ FT   |   |  |   |  |      |  | AREA OF NEW OR MODIFIED ROOF   |
| NEW               | 23,885 SQ FT   |   |  |   |  |      |   |  |
| TOTAL             | 35,237 SQ FT   |   |  |   |  |      |   |  |





Mark T. House

2150 W. Washington St.  
Suite 301  
San Diego, CA 92110  
619 981-9707 ph  
HouseDesignArchitects.com

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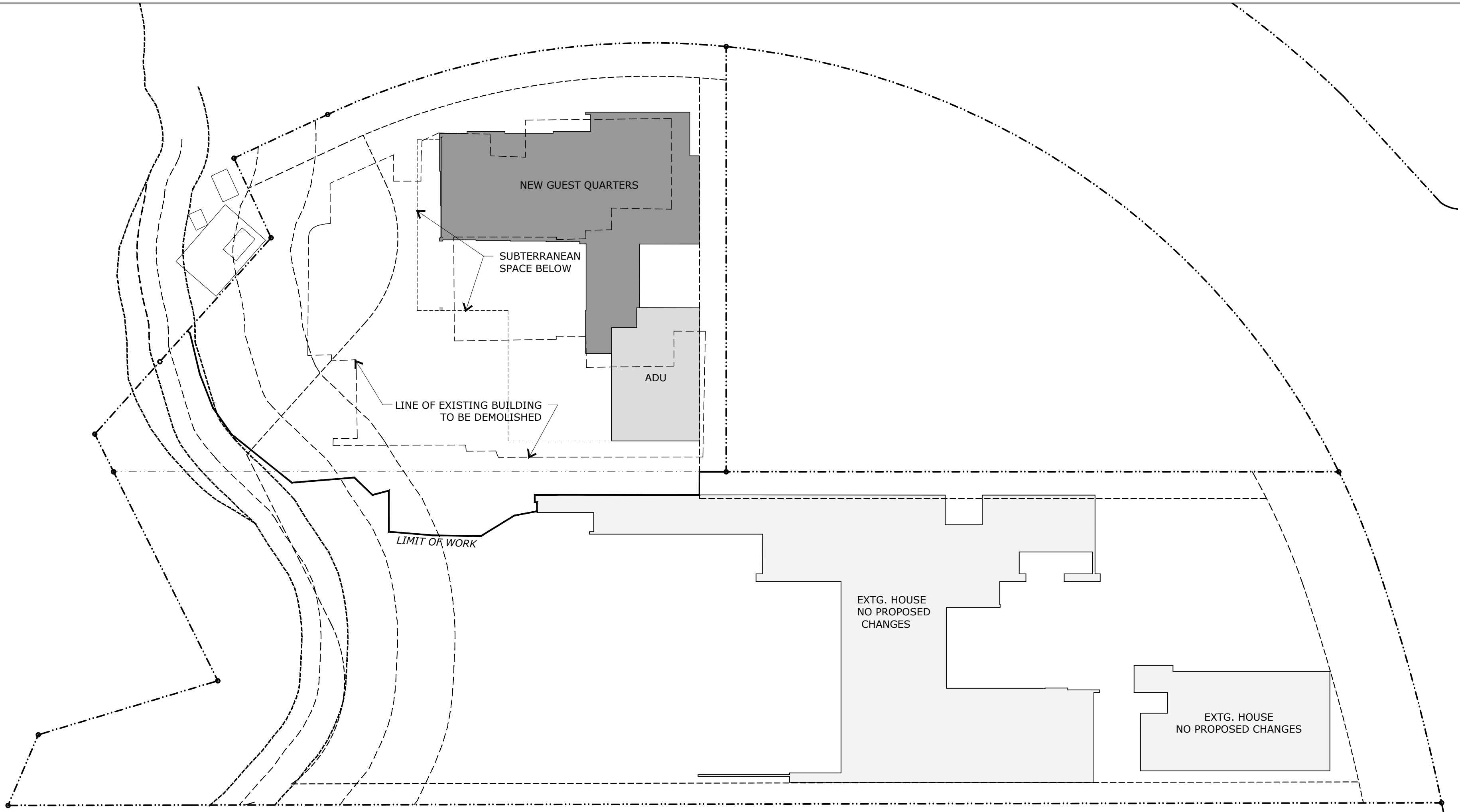
5970 CAMINO DE LA COSTA  
5970 CAMINO DE LA COSTA  
LA JOLLA, CA 92037

SCALE: 1" = 20'  
DATE: 05-05-25

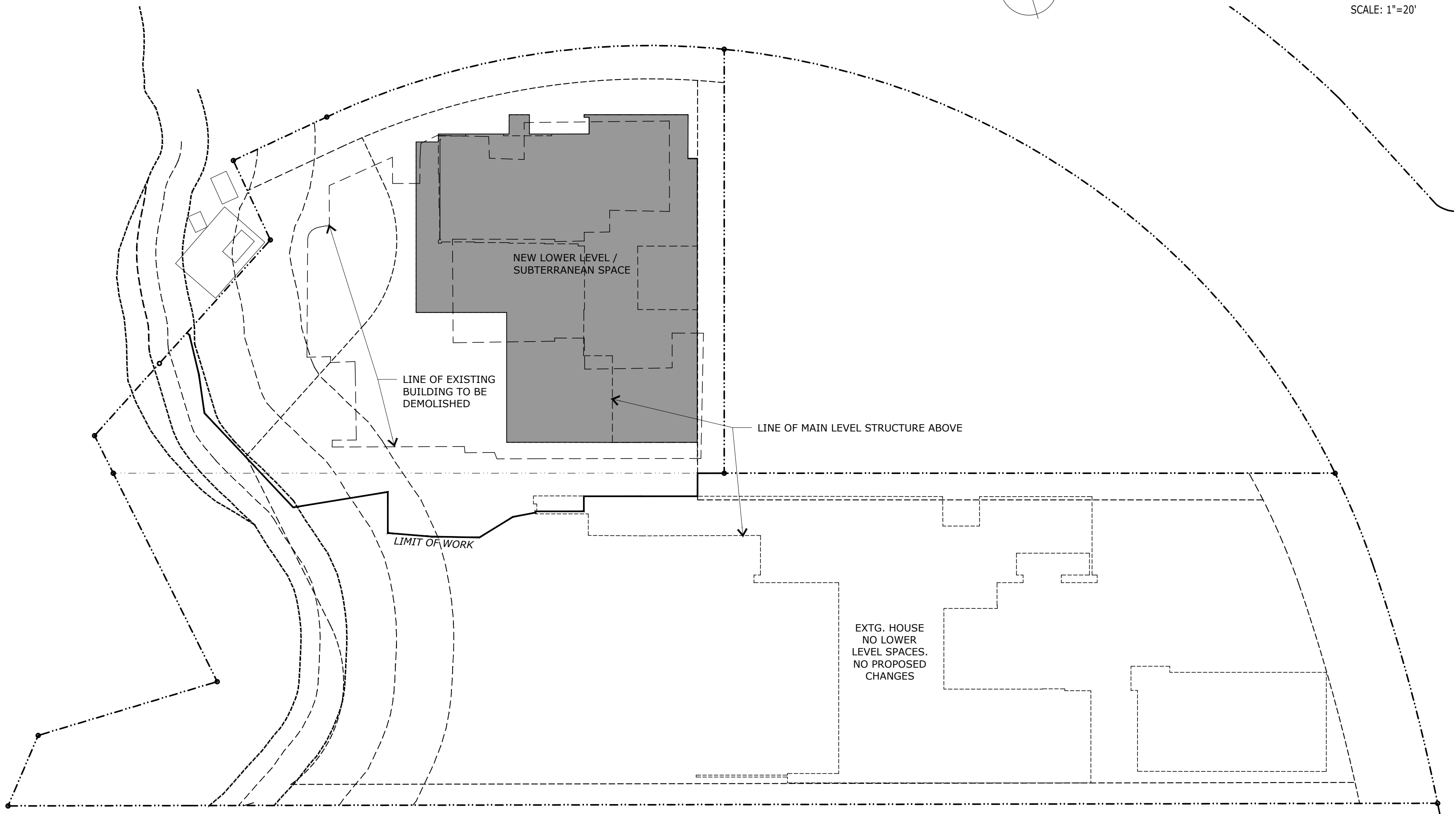
SCOPE DIAGRAMS

A0.2

5970



MAIN LEVEL DIAGRAM  
SCALE: 1"=20'



LOWER LEVEL DIAGRAM  
SCALE: 1"=20'

| LEVEL AREA CALC'S |                | LEGEND        |  | REVISIONS TABLE   |  |                                |                  |                                  |
|-------------------|----------------|---------------|--|---|--|--------------------------------|------------------|----------------------------------|
| LOWER LEVEL       | EXISTING       | 0 SQ. FT.     | <div><div>---</div>PROPERTY LINE</div> <div><div>---</div>SETBACK LINE</div> <div><div>---</div>OUTLINE OF EXTG. BUILDING TO BE DEMOLISHED</div> | <div><div></div>AREA OF EXISTING HARDSCAPE AND/OR SOFTSCAPE</div> <div><div></div>AREA OF NEW OR MODIFIED HARDSCAPE AND/OR SOFTSCAPE @ LEVEL INDICATED</div> <div><div></div>AREA OF EXISTING ROOF</div> <div><div></div>AREA OF NEW OR MODIFIED ROOF</div> | NO.  | DATE                           | REVISION / ISSUE |                                  |
|                   | NEW            | 3,277 SQ. FT. |  |   |  |                                |                  |                                  |
|                   | TOTAL          | 3,277 SQ. FT. |  |   |  |                                |                  |                                  |
| MAIN LEVEL        | EXISTING       | 4716 SQ. FT.  | <div><div></div>FOOTPRINT OF EXISTING BUILDING @ LEVEL INDICATED</div> <div><div></div>FOOTPRINT OF NEW BUILDING @ LEVEL INDICATED</div>         | <div><div></div>AREA OF EXISTING HARDSCAPE AND/OR SOFTSCAPE @ LEVEL INDICATED</div> <div><div></div>AREA OF EXISTING ROOF</div> <div><div></div>AREA OF NEW OR MODIFIED ROOF</div>  | 5970 CAMINO DE LA COSTA PROJECT<br>5970 CAMINO DE LA COSTA<br>LA JOLLA, CA 92037 |                                |                  | DISCRETIONARY PERMIT - CDP / SDP |
|                   | NEW            | 867 SQ. FT.   |  |   |  |                                |                  | PROJECT NO.<br>PRJ-1091933       |
|                   | TOTAL          | 5,583 SQ. FT. |  |   |  |                                |                  |                                  |
| UPPER LEVEL       | SEE SHEET A1.5 |               | HOUSE DESIGN ARCHITECTS<br>2150 W. WASHINGTON STREET<br>STE.301, SAN DIEGO CA 92110  |   |  | SHEET <u>11</u> OF <u>30</u>   |                  |                                  |
| SITE WORK         | SEE SHEET A1.5 |               |  |   |  | SHEET TITLE:<br>SCOPE DIAGRAMS |                  |                                  |



Mark T. House

2150 W. Washington St.  
Suite 301  
San Diego, CA 92110  
619 981-9707 ph  
HouseDesignArchitects.com

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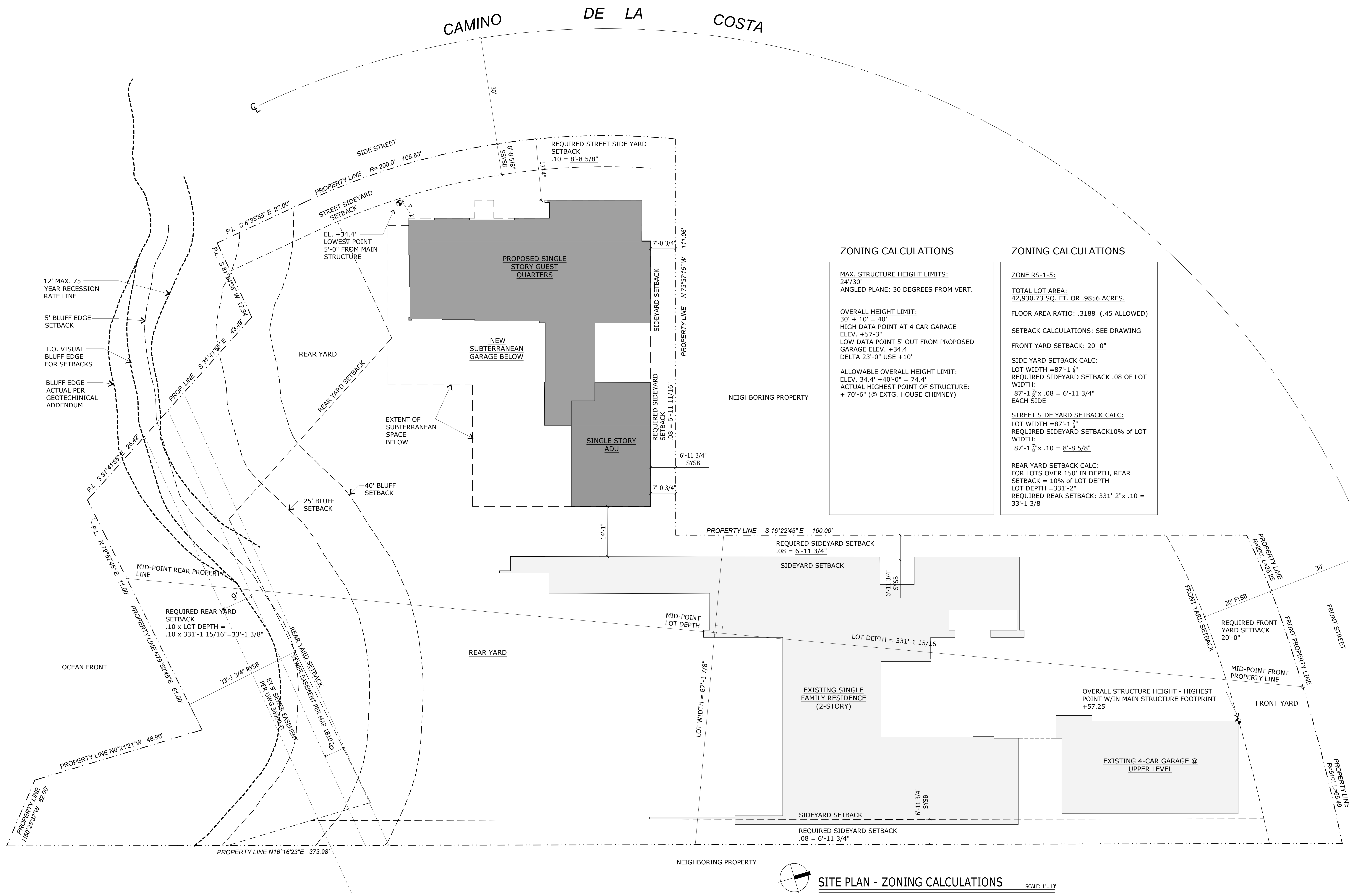
5970 CAMINO DE LA COSTA  
5970 CAMINO DE LA COSTA  
LA JOLLA, CA 92037

SCALE: 1" = 10'  
DATE: 05-05-25

PLOT PLAN  
ZONING  
CALCULATIONS

A1.0

5970



**ZONING CALCULATIONS**

MAX. STRUCTURE HEIGHT LIMITS:  
24'/30'  
ANGLED PLANE: 30 DEGREES FROM VERT.

OVERALL HEIGHT LIMIT:  
30' + 10' = 40'  
HIGH DATA POINT AT 4 CAR GARAGE  
ELEV. +57'-3"  
LOW DATA POINT 5' OUT FROM PROPOSED  
GARAGE ELEV. +34.4  
DELTA 23'-0" USE +10'

ALLOWABLE OVERALL HEIGHT LIMIT:  
ELEV. 34.4' +40'-0" = 74.4'  
ACTUAL HIGHEST POINT OF STRUCTURE:  
+ 70'-6" (@ EXTG. HOUSE CHIMNEY)

**ZONING CALCULATIONS**

ZONE RS-1-5:

TOTAL LOT AREA:  
42,930.73 SQ. FT. OR .9856 ACRES.

FLOOR AREA RATIO: .3188 (.45 ALLOWED)

SETBACK CALCULATIONS: SEE DRAWING

FRONT YARD SETBACK: 20'-0"

SIDE YARD SETBACK CALC:  
LOT WIDTH = 87'-1 3/8"  
REQUIRED SIDEYARD SETBACK .08 OF LOT  
WIDTH:  
87'-1 3/8" x .08 = 6'-11 3/4"  
EACH SIDE

STREET SIDE YARD SETBACK CALC:  
LOT WIDTH = 87'-1 3/8"  
REQUIRED SIDEYARD SETBACK 10% OF LOT  
WIDTH:  
87'-1 3/8" x .10 = 8'-8 5/8"

REAR YARD SETBACK CALC:  
FOR LOTS OVER 150' IN DEPTH, REAR  
SETBACK = 10% OF LOT DEPTH  
LOT DEPTH = 331'-2"  
REQUIRED REAR SETBACK: 331'-2" x .10 =  
33'-1 3/8"

SITE PLAN - ZONING CALCULATIONS  
SCALE: 1"=10'

| REVISIONS TABLE   |      |   |
|---|------|---|
| NO.   | DATE | REVISION / ISSUE  |
|   |      |   |
|   |      |   |
| 5970 CAMINO DE LA COSTA PROJECT<br>5970 CAMINO DE LA COSTA<br>LA JOLLA, CA 92037    |      | DISCRETIONARY<br>PERMIT - CDP / SDP<br>PROJECT NO.<br>PRJ-1091933 |
| HOUSE DESIGN ARCHITECTS<br>2150 W. WASHINGTON STREET<br>STE.301, SAN DIEGO CA 92110 |      | SHEET 12 OF 36<br>SHEET TITLE:<br>ZONING CALCS                    |

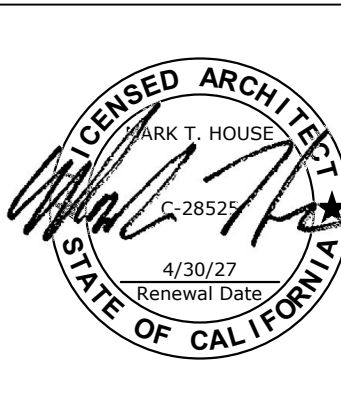




Mark T. House

2150 W. Washington St.  
Suite 301  
San Diego, CA 92110  
619 981-9707 ph  
HouseDesignArchitects.com

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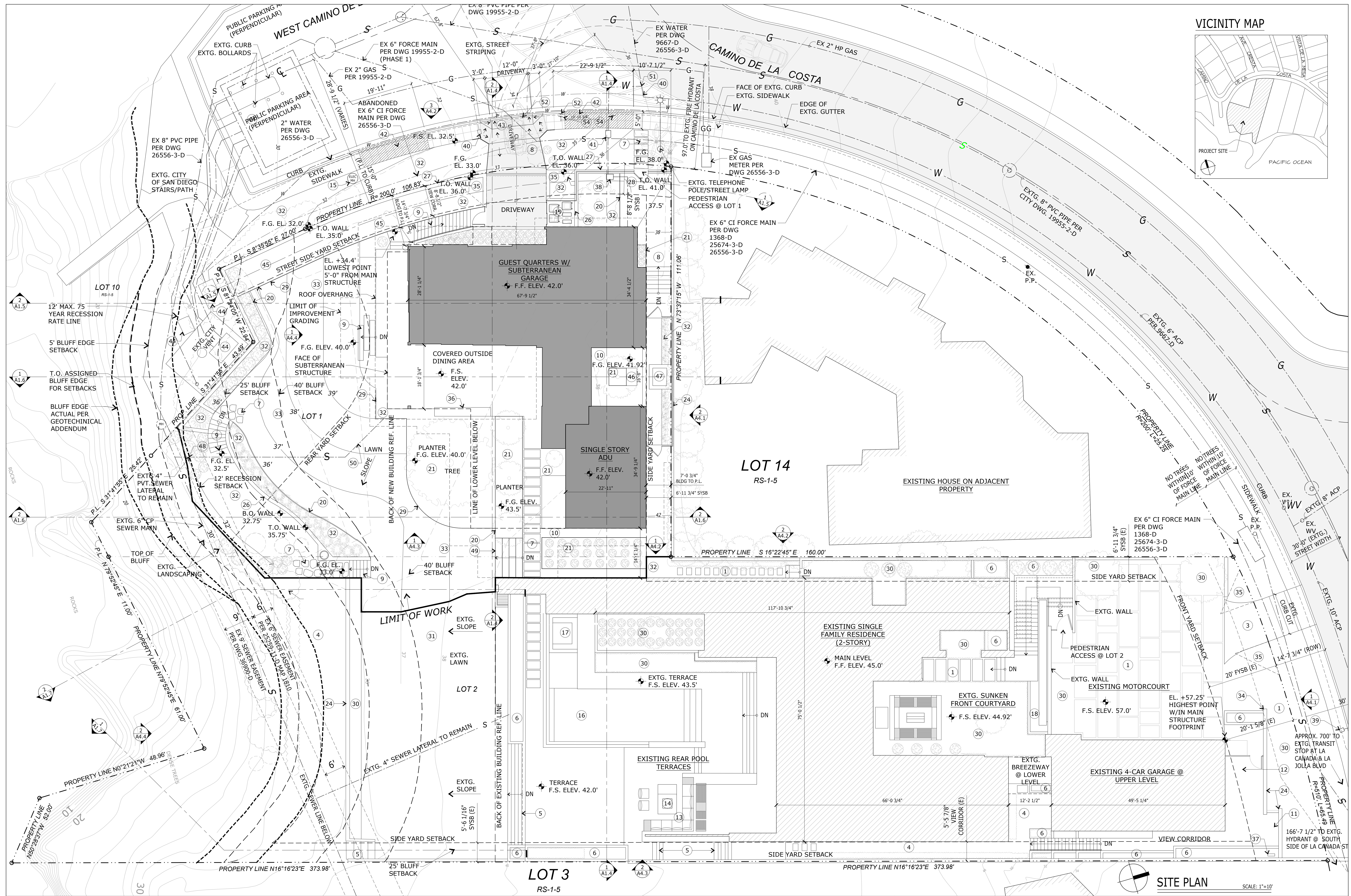
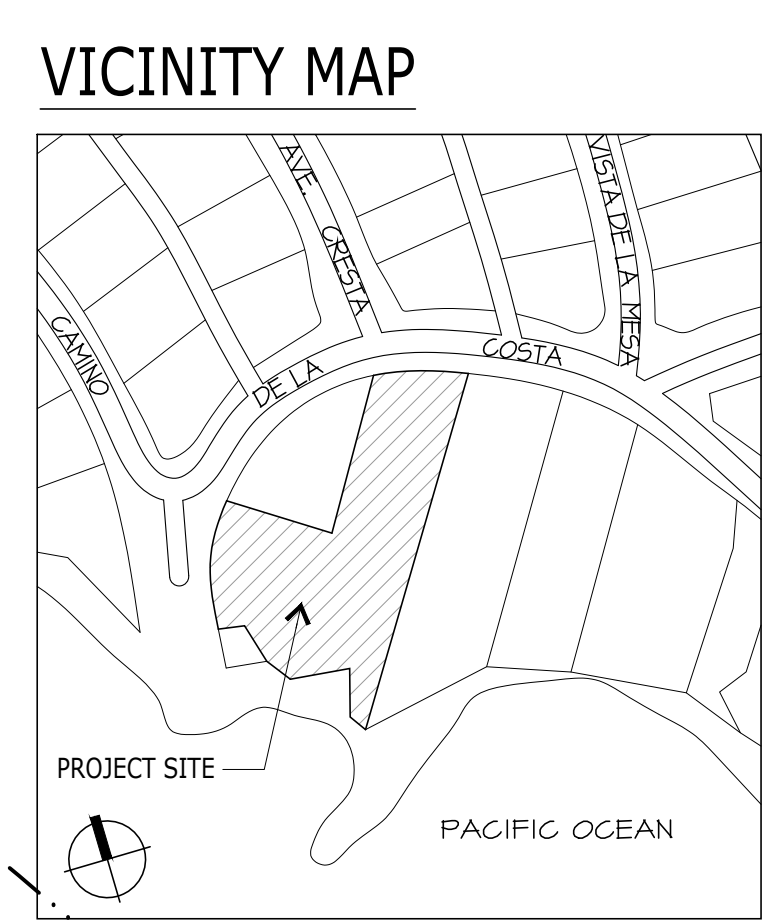
**5970 CAMINO DE LA COSTA**  
5970 CAMINO DE LA COSTA  
LA JOLLA, CA 92037

SCALE: 1" = 10'  
DATE: 05-02-25

SITE PLAN  
ARCHITECTURAL  
OVERALL

**A1.1**

5970



| KEY NOTES                         |                                   |                                      |  |  |   |  |        |  |  |
|-----------------------------------|-----------------------------------|--------------------------------------|--|--|---|--|--------|--|--|
| ① EXTG. CONCRETE PAVERS           | ⑩ EXTG. MECHANICAL EQUIPMENT      | ⑲ EXTG. MASONRY/CONC. RETAINING WALL | ⑳ BUILDING ADDRESS   | ⑲ REMOVE EXTG. DRIVEWAY & REPLACE WITH NEW CONTIGUOUS CONCRETE SIDEWALK, CURB, & GUTTER PER CITY STANDARD DWGS. SDG-151, SDG-155, & SDG-156    | ⑳ NEW PERMEABLE STAIRS (TURF) W/ CORTEN STEEL EDGING  | ⑲ EXISTING 2-STORY, SINGLE FAMILY DWELLING ON LOT 1, CONSTRUCTED IN 1987, TO BE DEMOLISHED IN ITS ENTIRETY.  | LEGEND |  |  |
| ② EXTG. CONCRETE TERRACE SLAB     | ⑪ EXTG. OUTDOOR SEATING AREA      | ⑳ EXTG. GATE                         | ㉑ VISIBILITY TRIANGLE (10'X10'); NO OBSTRUCTION INCLUDING SOLID WALLS IN THE VISIBILITY AREA SHALL EXCEED 3 FEET IN HEIGHT | ㉒ REPLACE EXTG. SIDEWALK W/ NEW CONC. DRIVEWAY AS PER CITY STANDARD DWGS. SDG-159 - MATCH NEIGHBORHOOD STD. - DESIGN, COLOR, PATTERN & SCORING | ㉓ EXTG. DIRECTIONAL ROAD SIGN TO BE RELOCATED   | ② PROVIDE BUILDING ADDRESS NUMBERS, VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY PER FHPS POLICY  |        |  |  |
| ③ EXTG. CONCRETE DRIVEWAY         | ⑫ EXTG. GAS FIRE PIT              | ㉒ NEW MASONRY/CONC. RETAINING WALL   | ㉒ NEW BBQ AREA   | ㉒ EXTG. CITY SEWER PUMP STATION EQUIPMENT  | ㉒ NEW / RELOCATED DIRECTIONAL ROAD SIGN PLACEMENT - RELOCATE SIGNS - THE TRAFFIC ARROW SIGN MUST BE RELOCATED TO BE THE FIRST SIGN AT 5 FEET FROM THE CURB OPENING AND THE SECOND SIGN WITHIN 15 FEET FROM THE FIRST SIGN (BOTH SIGNS SHOULD BE WITHIN 18" BACK FROM THE FACE OF THE CURB.) | ③ SEE DRAINAGE PLAN, SHEETS C-1, FOR DRAINAGE INFO AND POST-CONSTRUCTION BMP'S.  |        |  |  |
| ④ EXTG. DECOMPOSED GRANITE PAVING | ⑬ EXTG. MAN HOLE COVER            | ㉒ NEW CORTEN RETAINING WALL          | ㉒ EXISTING BACKFLOW PREVENTER TO REMAIN  | ㉒ NEW PLANTING AREA - MAX HT. +36"   | ㉒ NEW WATER FEATURE   | ④ ALL DRAINAGE FROM THE IMPROVEMENTS ON THE PREMISES SHALL BE DIRECTED AWAY FROM ANY COASTAL BLUFF AND EITHER INTO AN EXISTING OR NEWLY IMPROVED PUBLIC STORM DRAIN SYSTEM OR ONTO A STREET DEVELOPED WITH A GUTTER SYSTEM OR PUBLIC RIGHT-OF-WAY DESIGNATED TO CARRY SURFACE DRAINAGE   |        |  |  |
| ⑤ EXTG. RAISED PLANTER            | ⑭ EXTG. SPA                       | ㉒ EXTG. PLANTING AREA                | ㉒ EXISTING WATER METER TO REMAIN   | ㉒ NEW WATER FEATURE  | ㉒ SEWER LATERAL / CONNECTION - TO REMAIN  | ⑤ FIELD VERIFY ALL UTILITIES PRIOR TO WORK/BIDS.   |        |  |  |
| ⑥ NEW CONCRETE/STONE PAVERS       | ⑮ EXTG. WATER FEATURE             | ㉒ EXTG. LAWN/TURF                    | ㉒ EXISTING WATER METER TO BE REMOVED, LATERAL TO BE KILLED AT MAIN   | ㉒ NEW LAWN/TURF  |   | ⑥ RUN-OFF. ALL DRAINAGE FROM ANY UNIMPROVED AREAS SHALL BE APPROPRIATELY COLLECTED AND DISCHARGED IN ORDER TO REDUCE, CONTROL, OR MITIGATE EROSION OF THE COASTAL BLUFF. NO PROPOSED DEVELOPMENT WITHIN 25' OF THE BLUFF EDGE AS PER GEOTECHNICAL REPORT.                                |        |  |  |
| ⑦ NEW CONCRETE PAVING             | ⑯ NEW REFUSE / RECYCLING AREA     | ㉒ EXTG. LAWN/TURF                    | ㉒ NEW 1" RP BACKFLOW PREVENTER   |  |   | ⑦ THIS PROJECT MUST COMPLY WITH THE MUNICIPAL CODE REQUIREMENTS FOR MAXIMUM HEIGHT OF THE STRUCTURE NOT TO EXCEED 30 FEET (SDMC, SECTIONS 131.0444 AND 132.0505). THE HIGHEST POINT ON ROOF OF EQUIPMENT, PIPE VENTS, ANTENNA, OR OTHER PROJECTION SHALL NOT EXCEED 30 FEET ABOVE GRADE. |        |  |  |
| ⑧ NEW ON-GRADE CONCRETE STEPS     | ⑰ NEW CORTEN LANDSCAPE EDGING     | ㉒ EXTG. LAWN/TURF                    | ㉒ NEW PLANTING AREA  |  |   | ⑧ FIELD VERIFY ALL UTILITIES PRIOR TO WORK/BIDS.   |        |  |  |
| ⑨ NEW D.G. / GRAVEL PATH / AREA   | ⑱ NEW RAISED PLANTER W/ LANDSCAPE | ㉒ NEW LAWN/TURF                      |  |  |   | ⑨ THIS PROJECT MUST COMPLY WITH THE MUNICIPAL CODE REQUIREMENTS FOR MAXIMUM HEIGHT OF THE STRUCTURE NOT TO EXCEED 30 FEET (SDMC, SECTIONS 131.0444 AND 132.0505). THE HIGHEST POINT ON ROOF OF EQUIPMENT, PIPE VENTS, ANTENNA, OR OTHER PROJECTION SHALL NOT EXCEED 30 FEET ABOVE GRADE. |        |  |  |
| ⑩ EXTG. REFUSE/RECYCLING AREA     | ⑲ NEW SLIDING DRIVEWAY GATE       |                                      |  |  |   | ⑩  |        |  |  |

| PROPERTY INFO  |  | REVISIONS TABLE  |      |
|--|--|------------------|------|
| ADDRESS: 5970 & 5990 CAMINO DE LA COSTA, LA JOLLA, CA 92037<br>APN# (5970): 357-220-02-00<br>APN# (5990): 357-220-13-00  |  | NO.              | DATE |
| <b>SITE CALC'S</b><br>GROSS SITE AREA: 0.9856 ACRES (42,931 SF)<br>5970: 0.66 ACRES (28,734 SF)<br>5990: 0.326 ACRES (14,196 SF)<br>FLOOR AREA: 3,324<br>FAR MAX: 19,319 SF (0.45 MAX. ALLOWABLE)<br>LANDSCAPE AREA: 16,988 SF |  | REVISION / ISSUE |      |
|  |  |                  |      |

|   |  |  |  |
|---|--|--|--|
| 5970 CAMINO DE LA COSTA PROJECT<br>5970 CAMINO DE LA COSTA<br>LA JOLLA, CA 92037    |  | DISCRETIONARY PERMIT - CDP / SDP<br>PROJECT NO.<br>PRJ-1091933 |  |
| HOUSE DESIGN ARCHITECTS<br>2150 W. WASHINGTON STREET<br>STE.301, SAN DIEGO CA 92110 |  | SHEET 11 OF 36<br>SHEET TITLE:<br>SITE PLAN                    |  |





Mark T. House  
2150 W. Washington St.  
Suite 301  
San Diego, CA 92110  
619 981-9707 ph  
HouseDesignArchitects.com

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5970 CAMINO DE LA COSTA  
5970 CAMINO DE LA COSTA  
LA JOLLA, CA 92037

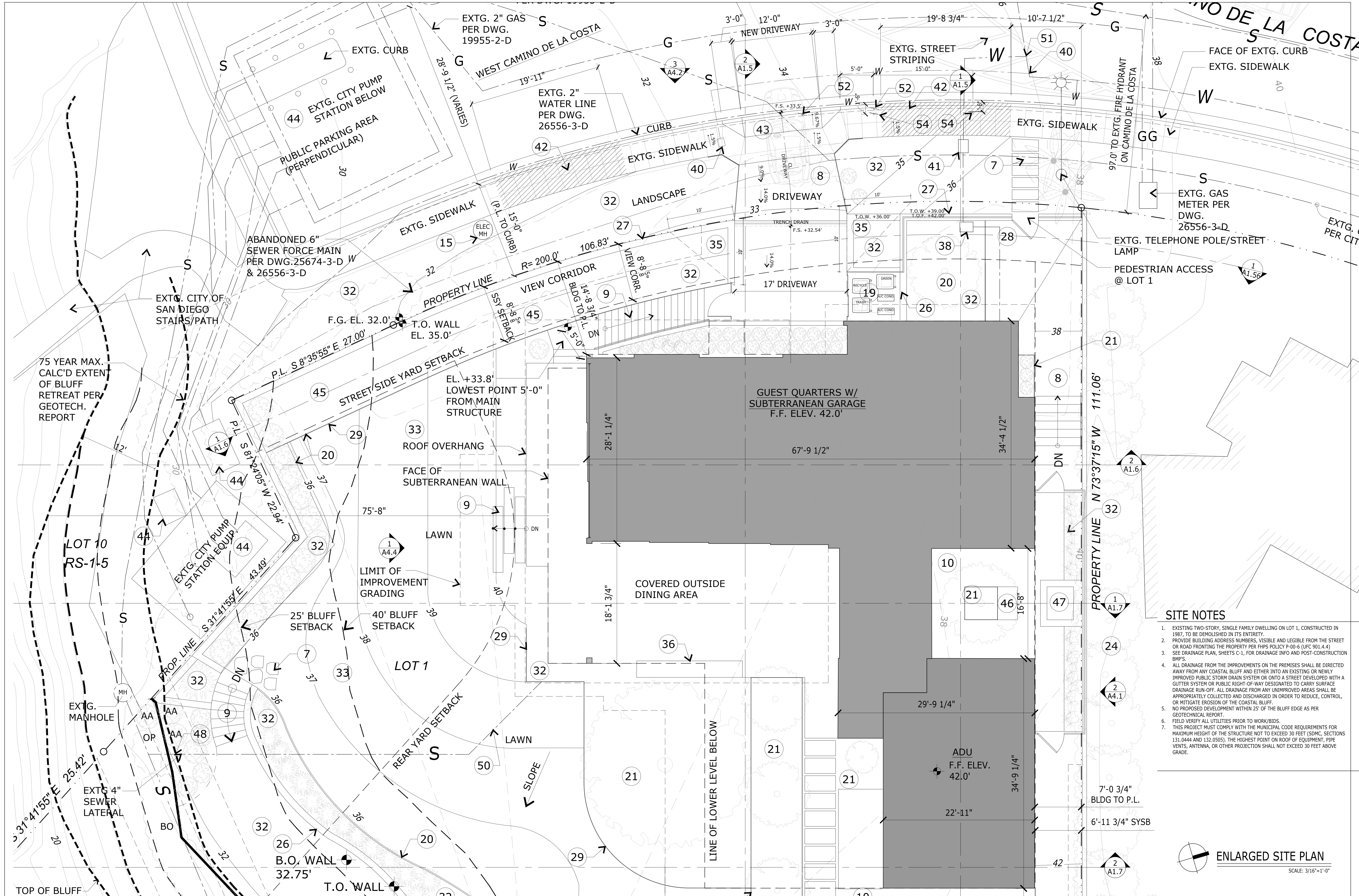
SCALE: 3/16" = 1'-0"

DATE: 05-05-25

SITE PLAN  
ARCH - LOT 1  
WEST ENLARGED

A1.2

5970



KEY NOTES

- |                                   |                                      |   |
|-----------------------------------|--------------------------------------|---|
| ① EXTG. CONCRETE PAVERS           | ⑭ EXTG. MECHANICAL EQUIPMENT         | ⑳ EXTG. MASONRY/CONC. RETAINING WALL      |
| ② EXTG. CONCRETE TERRACE SLAB     | ⑮ EXTG. OUTDOOR SEATING AREA         | ㉑ EXTG. MASONRY FREESTANDING WALL         |
| ③ EXTG. CONCRETE DRIVEWAY         | ⑯ EXTG. GAS FIRE PIT                 | ㉒ EXTG. GATE                              |
| ④ EXTG. DECOMPOSED GRANITE PAVING | ⑰ EXTG. MAIN HOLE COVER              | ㉓ NEW MASONRY/CONC. RETAINING WALL        |
| ⑤ EXTG. ON-GRADE STEPS            | ⑱ EXTG. POOL                         | ㉔ NEW 3" CURB WALL W/ 75% OPEN FENCE ABV. |
| ⑥ EXTG. RAISED PLANTER            | ㉚ EXTG. SPA                          | ㉕ NEW GATE                                |
| ⑦ NEW CONCRETE/STONE PAVERS       | ㉛ EXTG. WATER FEATURE                | ㉖ NEW CORTEN RETAINING WALL               |
| ⑧ NEW CONCRETE PAVING             | ㉜ NEW REFUSE / RECYCLING / MECH AREA | ㉗ EXTG. PLANTING AREA                     |
| ⑨ NEW ON-GRADE CONCRETE STEPS     | ㉝ NEW CORTEN LANDSCAPE EDGING        | ㉘ EXTG. LAWN/TURF                         |
| ⑩ NEW D.G. / GRAVEL PATH / AREA   | ㉞ NEW RAISED PLANTER W/ LANDSCAPE    | ㉙ NEW PLANTING AREA                       |
| ⑪ EXTG. REFUSE/RECYCLING AREA     | ㉟ NEW SLIDING DRIVEWAY GATE          | ㉚ NEW LAWN/TURF                           |

- |  |  |   |
|--|--|---|
| ㉛ BUILDING ADDRESS   | ㉞ REMOVE EXTG. DRIVEWAY & REPLACE WITH NEW CONTIGUOUS CONCRETE SIDEWALK, CURB, & GUTTER PER CITY STANDARD DWGS. SDG-151, SDG-155, & SDG-156    | ㉟ NEW PERMEABLE STAIRS (TURF) W/ CORTEN STEEL EDGING  |
| ㉜ VISIBILITY TRIANGLE (10'X10'); NO OBSTRUCTION INCLUDING SOLID WALLS IN THE VISIBILITY AREA SHALL EXCEED 3 FEET IN HEIGHT | ㉟ REPLACE EXTG. SIDEWALK W/ NEW CONC. DRIVEWAY AS PER CITY STANDARD DWGS. SDG-159 - MATCH NEIGHBORHOOD STD. - DESIGN, COLOR, PATTERN & SCORING | ㊱ NEW SECTION OF PRIVATE SEWER LATERAL  |
| ㉝ NEW BBQ AREA   | ㊱ EXTG. CITY SEWER PUMP STATION EQUIPMENT  | ㊱ NEW 1" WATER SERVICE AT MAIN  |
| ㉞ EXISTING BACKFLOW PREVENTER TO REMAIN  | ㊱ EXTG. CITY SEWER PUMP STATION EQUIPMENT  | ㊱ EXTG. DIRECTIONAL ROAD SIGN TO BE RELOCATED   |
| ㉟ NEW 1" RP BACKFLOW PREVENTER   | ㊱ NEW PLANTING AREA - MAX HT. + 36"  | ㊱ NEW / RELOCATED DIRECTIONAL ROAD SIGN PLACEMENT - RELOCATE SIGNS - THE TRAFFIC ARROW SIGN MUST BE RELOCATED TO BE THE FIRST SIGN AT 5 FEET FROM THE CURB OPENING AND THE SECOND SIGN WITHIN 15 FEET FROM THE FIRST SIGN (BOTH SIGNS SHOULD BE WITHIN 18" BACK FROM THE FACE OF THE CURB.) |
| ㊱ EXISTING WATER METER TO REMAIN   | ㊱ EXTERIOR RINSE-OFF SHOWER  |   |
| ㊱ EXISTING WATER METER TO BE REMOVED, LATERAL TO BE KILLED AT MAIN   | ㊱ NEW WATER FEATURE  |   |
| ㊱ NEW 1" WATER METER FOR NEW 1" SERVICE  | ㊱ SEWER LATERAL / CONNECTION - TO REMAIN   |   |

LEGEND

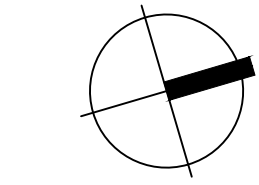
- |                  |  |
|------------------|--|
| ---              | PROPERTY LINE  |
| ---              | SETBACK LINE   |
| ---              | EASEMENT LINE  |
| ---              | FIRE DEPT. HOSE PULL                                       |
| ---              | LINE OF OBJECT ABOVE                                       |
| S                | CITY SEWER PIPE (6" CI HIGH PRESS.) AS PER CITY DWG. 1368D |
| W                | CITY WATER PIPE  |
| [Hatched Box]    | FOOTPRINT OF EXISTING BUILDING                             |
| [Solid Grey Box] | AREA OF NEW CONSTRUCTION                                   |

PROPERTY INFO

ADDRESS: 5970 & 5990 CAMINO DE LA COSTA, LA JOLLA, CA 92037  
APN# (5970): 357-220-02-00  
APN# (5990): 357-220-13-00

SITE CALC'S

GROSS SITE AREA: 0.9856 ACRES (42,931 SF)  
5970: 0.66 ACRES (28,734 SF)  
5990: 0.326 ACRES (14,196 SF)  
FLOOR AREA: 3234  
FAR MAX: 19,319 SF (0.45 MAX. ALLOWABLE)  
LANDSCAPE AREA: 16,988 SF



ENLARGED SITE PLAN

SCALE: 3/16" = 1'-0"

SITE NOTES

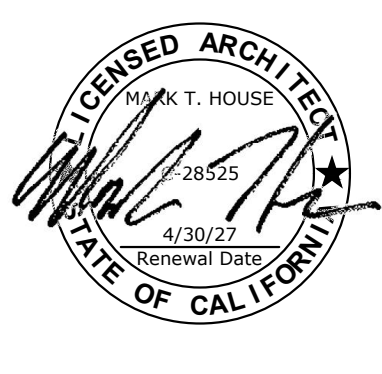
- EXISTING TWO-STORY, SINGLE FAMILY DWELLING ON LOT 1, CONSTRUCTED IN 1987, TO BE DEMOLISHED IN ITS ENTIRETY.
- PROVIDE BUILDING ADDRESS NUMBERS, VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY PER PHPS POLICY P-00-6 (UFC 901.4.4)
- SEE DRAINAGE PLAN, SHEETS C-1, FOR DRAINAGE INFO AND POST-CONSTRUCTION BMP'S.
- ALL DRAINAGE FROM THE IMPROVEMENTS ON THE PREMISES SHALL BE DIRECTED AWAY FROM ANY COASTAL BLUFF AND EITHER INTO AN EXISTING OR NEWLY IMPROVED PUBLIC STORM DRAIN SYSTEM OR ONTO A STREET DEVELOPED WITH A GUTTER SYSTEM OR PUBLIC RIGHT-OF-WAY DESIGNATED TO CARRY SURFACE DRAINAGE RUN-OFF. ALL DRAINAGE FROM ANY UNIMPROVED AREAS SHALL BE APPROPRIATELY COLLECTED AND DISCHARGED IN ORDER TO REDUCE, CONTROL, OR MITIGATE EROSION OF THE COASTAL BLUFF.
- NO PROPOSED DEVELOPMENT WITHIN 25' OF THE BLUFF EDGE AS PER GEOTECHNICAL REPORT.
- FIELD VERIFY ALL UTILITIES PRIOR TO WORK/BIDS.
- THIS PROJECT MUST COMPLY WITH THE MUNICIPAL CODE REQUIREMENTS FOR MAXIMUM HEIGHT OF THE STRUCTURE NOT TO EXCEED 30 FEET (SDMC, SECTIONS 131.0444 AND 132.0505). THE HIGHEST POINT ON ROOF OF EQUIPMENT, PIPE VENTS, ANTENNA, OR OTHER PROJECTION SHALL NOT EXCEED 30 FEET ABOVE GRADE.





Mark T. House  
2150 W. Washington St.  
Suite 301  
San Diego, CA 92110  
619 981-9707 ph  
HouseDesignArchitects.com

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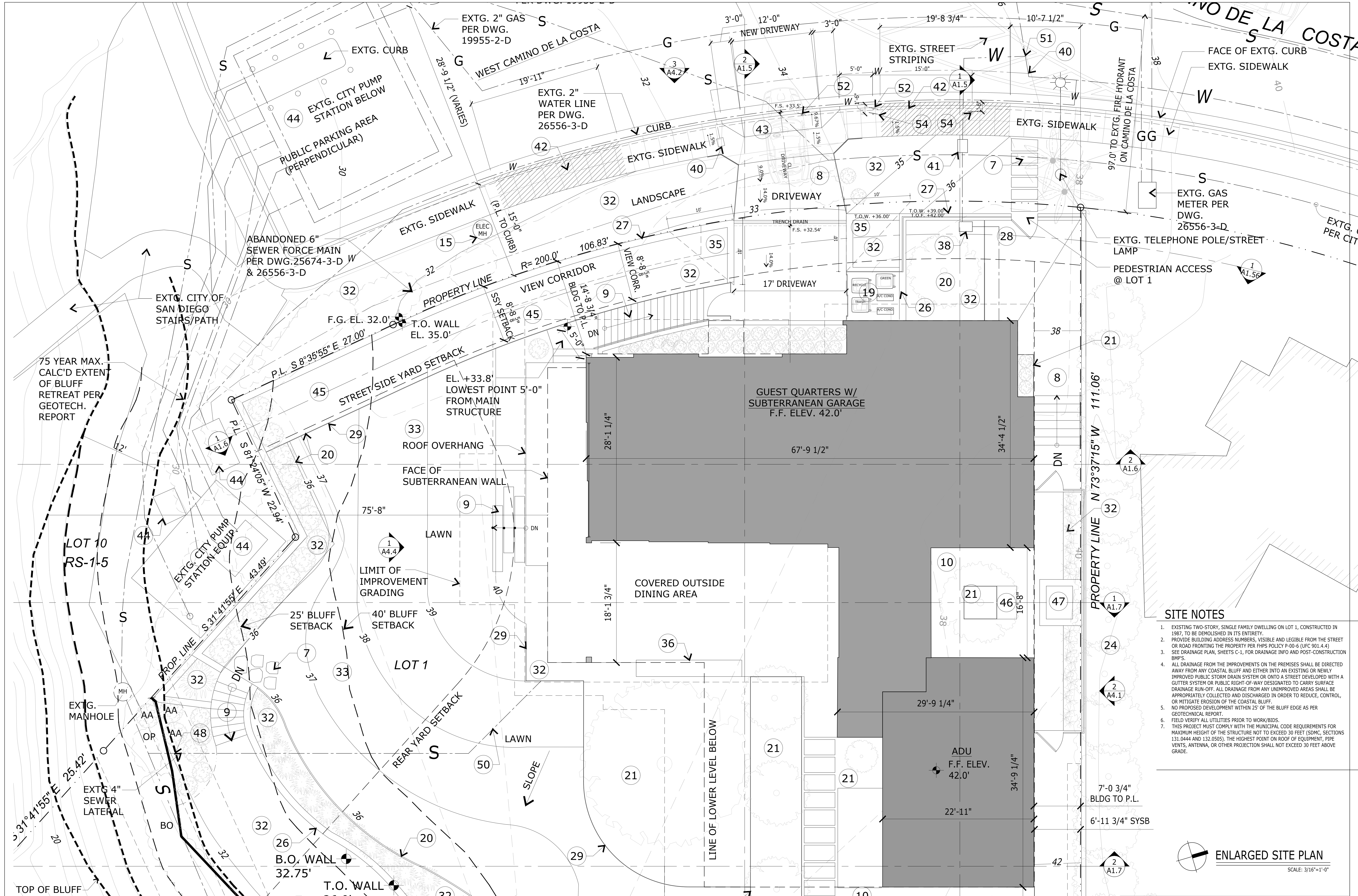
5970 CAMINO DE LA COSTA  
5970 CAMINO DE LA COSTA  
LA JOLLA, CA 92037

SCALE: 3/16" = 1'-0"  
DATE: 05-05-25

SITE PLAN  
ARCH - LOT 1  
WEST STREET

A1.3

5970



KEY NOTES

- |                                   |                                      |  |   |
|-----------------------------------|--------------------------------------|--|---|
| ① EXTG. CONCRETE PAVERS           | ⑫ EXTG. MECHANICAL EQUIPMENT         | ③③ EXTG. MASONRY/CONC. RETAINING WALL      | ④③ BUILDING ADDRESS   |
| ② EXTG. CONCRETE TERRACE SLAB     | ⑬ EXTG. OUTDOOR SEATING AREA         | ③④ EXTG. MASONRY FREESTANDING WALL         | ⑤③ VISIBILITY TRIANGLE (10'X10'); NO OBSTRUCTION INCLUDING SOLID WALLS IN THE VISIBILITY AREA SHALL EXCEED 3 FEET IN HEIGHT |
| ③ EXTG. CONCRETE DRIVEWAY         | ⑭ EXTG. GAS FIRE PIT                 | ③⑤ EXTG. GATE                              | ⑥③ NEW BBQ AREA   |
| ④ EXTG. DECOMPOSED GRANITE PAVING | ⑮ EXTG. MAIN HOLE COVER              | ③⑥ NEW MASONRY/CONC. RETAINING WALL        | ⑦③ EXISTING BACKFLOW PREVENTER TO REMAIN  |
| ⑤ EXTG. ON-GRADE STEPS            | ⑯ EXTG. POOL                         | ③⑦ NEW 3' CURB WALL W/ 75% OPEN FENCE ABV. | ⑧③ NEW 1" RP BACKFLOW PREVENTER   |
| ⑥ EXTG. RAISED PLANTER            | ⑰ EXTG. SPA                          | ③⑧ NEW GATE                                | ⑨③ EXISTING WATER METER TO REMAIN   |
| ⑦ NEW CONCRETE/STONE PAVERS       | ⑱ EXTG. WATER FEATURE                | ③⑨ NEW CORTEN RETAINING WALL               | ⑩③ EXISTING WATER METER TO BE REMOVED, LATERAL TO BE KILLED AT MAIN   |
| ⑧ NEW CONCRETE PAVING             | ⑲ NEW REFUSE / RECYCLING / MECH AREA | ④④ EXTG. PLANTING AREA                     | ⑪③ NEW 1" WATER METER FOR NEW 1" SERVICE  |
| ⑨ NEW ON-GRADE CONCRETE STEPS     | ⑳ NEW CORTEN LANDSCAPE EDGING        | ④⑤ EXTG. LAWN/TURF                         |   |
| ⑩ NEW D.G. / GRAVEL PATH / AREA   | ㉑ NEW RAISED PLANTER W/ LANDSCAPE    | ④⑥ NEW PLANTING AREA                       |   |
| ⑪ EXTG. REFUSE/RECYCLING AREA     | ㉒ NEW SLIDING DRIVEWAY GATE          | ④⑦ NEW LAWN/TURF                           |   |

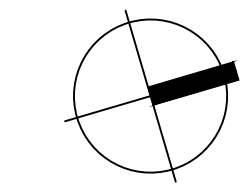
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|--|---|
| ⑫ REMOVE EXTG. DRIVEWAY & REPLACE WITH NEW CONTIGUOUS CONCRETE SIDEWALK, CURB, & GUTTER PER CITY STANDARD DWGS. SDG-151, SDG-155, & SDG-156    | ⑫ NEW PERMEABLE STAIRS (TURF) W/ CORTEN STEEL EDGING  |
| ⑬ REPLACE EXTG. SIDEWALK W/ NEW CONC. DRIVEWAY AS PER CITY STANDARD DWGS. SDG-159 - MATCH NEIGHBORHOOD STD. - DESIGN, COLOR, PATTERN & SCORING | ⑬ NEW SECTION OF PRIVATE SEWER LATERAL  |
| ⑭ EXTG. CITY SEWER PUMP STATION EQUIPMENT  | ⑬ NEW 1" WATER SERVICE AT MAIN  |
| ⑮ NEW PLANTING AREA - MAX HT. + 36"  | ⑬ EXTG. DIRECTIONAL ROAD SIGN TO BE RELOCATED   |
| ⑯ EXTERIOR RINSE-OFF SHOWER  | ⑬ NEW / RELOCATED DIRECTIONAL ROAD SIGN PLACEMENT - RELOCATE SIGNS - THE TRAFFIC ARROW SIGN MUST BE RELOCATED TO BE THE FIRST SIGN AT 5 FEET FROM THE CURB OPENING AND THE SECOND SIGN WITHIN 15 FEET FROM THE FIRST SIGN (BOTH SIGNS SHOULD BE WITHIN 18" BACK FROM THE FACE OF THE CURB.) |
| ⑰ NEW WATER FEATURE  |   |
| ⑱ SEWER LATERAL / CONNECTION - TO REMAIN   |   |

LEGEND

- |                  |  |
|------------------|--|
| ---              | PROPERTY LINE  |
| ---              | SETBACK LINE   |
| ---              | EASEMENT LINE  |
| ---              | FIRE DEPT. HOSE PULL                                       |
| ---              | LINE OF OBJECT ABOVE                                       |
| S                | CITY SEWER PIPE (6" CI HIGH PRESS.) AS PER CITY DWG. 1368D |
| W                | CITY WATER PIPE  |
| [Hatched Box]    | FOOTPRINT OF EXISTING BUILDING                             |
| [Solid Grey Box] | AREA OF NEW CONSTRUCTION                                   |

PROPERTY INFO

ADDRESS: 5970 & 5990 CAMINO DE LA COSTA, LA JOLLA, CA 92037  
APN# (5970): 357-220-02-00  
APN# (5990): 357-220-13-00  
GROSS SITE AREA: 0.9856 ACRES (42,931 SF)  
5970: 0.66 ACRES (28,734 SF)  
5990: 0.326 ACRES (14,196 SF)  
FLOOR AREA: 3234  
FAR MAX: 19,319 SF (0.45 MAX. ALLOWABLE)  
LANDSCAPE AREA: 16,988 SF



ENLARGED SITE PLAN  
SCALE: 3/16" = 1'-0"

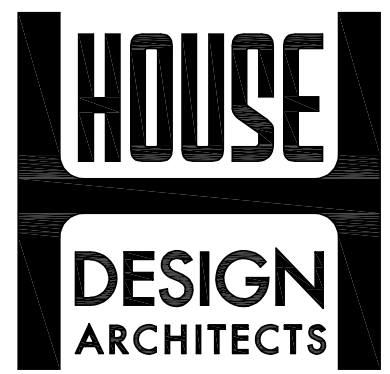
SITE NOTES

- EXISTING TWO-STORY, SINGLE FAMILY DWELLING ON LOT 1, CONSTRUCTED IN 1987, TO BE DEMOLISHED IN ITS ENTIRETY.
- PROVIDE BUILDING ADDRESS NUMBERS, VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY PER PHPS POLICY P-00-6 (UFC 901.4.4)
- SEE DRAINAGE PLAN, SHEETS C-1, FOR DRAINAGE INFO AND POST-CONSTRUCTION BMP'S.
- ALL DRAINAGE FROM THE IMPROVEMENTS ON THE PREMISES SHALL BE DIRECTED AWAY FROM ANY COASTAL BLUFF AND EITHER INTO AN EXISTING OR NEWLY IMPROVED PUBLIC STORM DRAIN SYSTEM OR ONTO A STREET DEVELOPED WITH A GUTTER SYSTEM OR PUBLIC RIGHT-OF-WAY DESIGNATED TO CARRY SURFACE DRAINAGE RUN-OFF. ALL DRAINAGE FROM ANY UNIMPROVED AREAS SHALL BE APPROPRIATELY COLLECTED AND DISCHARGED IN ORDER TO REDUCE, CONTROL, OR MITIGATE EROSION OF THE COASTAL BLUFF.
- NO PROPOSED DEVELOPMENT WITHIN 25' OF THE BLUFF EDGE AS PER GEOTECHNICAL REPORT.
- FIELD VERIFY ALL UTILITIES PRIOR TO WORK/BIDS.
- THIS PROJECT MUST COMPLY WITH THE MUNICIPAL CODE REQUIREMENTS FOR MAXIMUM HEIGHT OF THE STRUCTURE NOT TO EXCEED 30 FEET (SDMC, SECTIONS 131.0444 AND 132.0505). THE HIGHEST POINT ON ROOF OF EQUIPMENT, PIPE VENTS, ANTENNA, OR OTHER PROJECTION SHALL NOT EXCEED 30 FEET ABOVE GRADE.

REVISIONS TABLE

| NO.   | DATE | REVISION / ISSUE  |
|---|------|---|
|   |      |   |
|   |      |   |
| 5970 CAMINO DE LA COSTA PROJECT<br>5970 CAMINO DE LA COSTA<br>LA JOLLA, CA 92037    |      |   |
| DISCRETIONARY PERMIT - CDP / SDP  |      | PROJECT NO.<br>PRJ-1091933                                |
| HOUSE DESIGN ARCHITECTS<br>2150 W. WASHINGTON STREET<br>STE.301, SAN DIEGO CA 92110 |      | SHEET 15 OF 36<br>SHEET TITLE:<br>SITE PLAN - WEST STREET |





Mark T. House

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Suite 301  
San Diego, CA 92110  
619 981-9707 ph  
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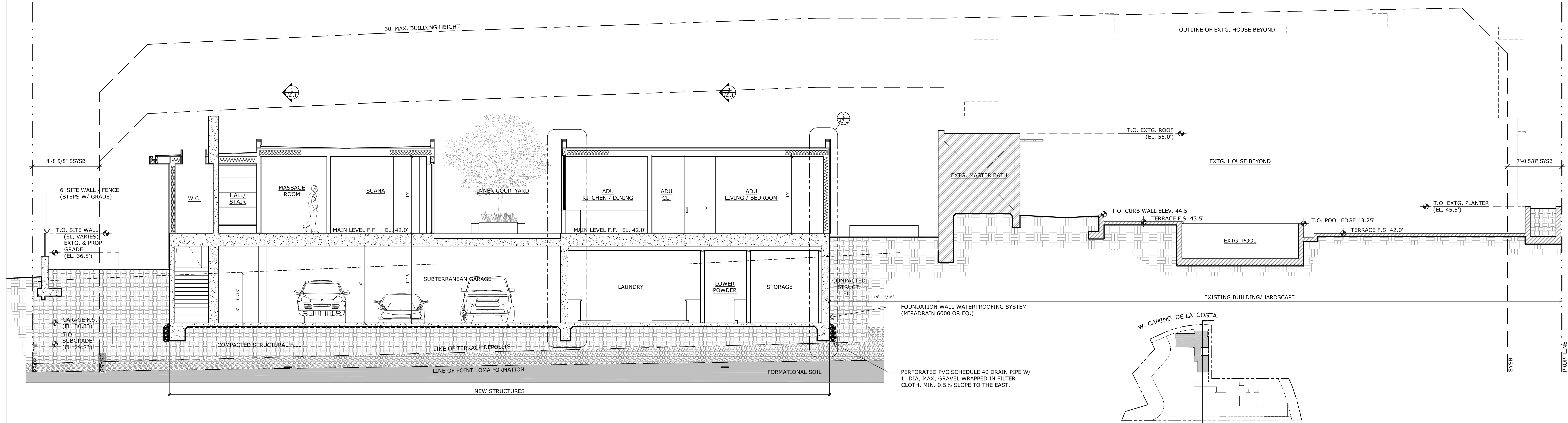
5970 CAMINO DE LA COSTA  
5970 CAMINO DE LA COSTA  
LA JOLLA, CA 92037

SCALE: 3/16"=1'-0"  
DATE: 05-05-25

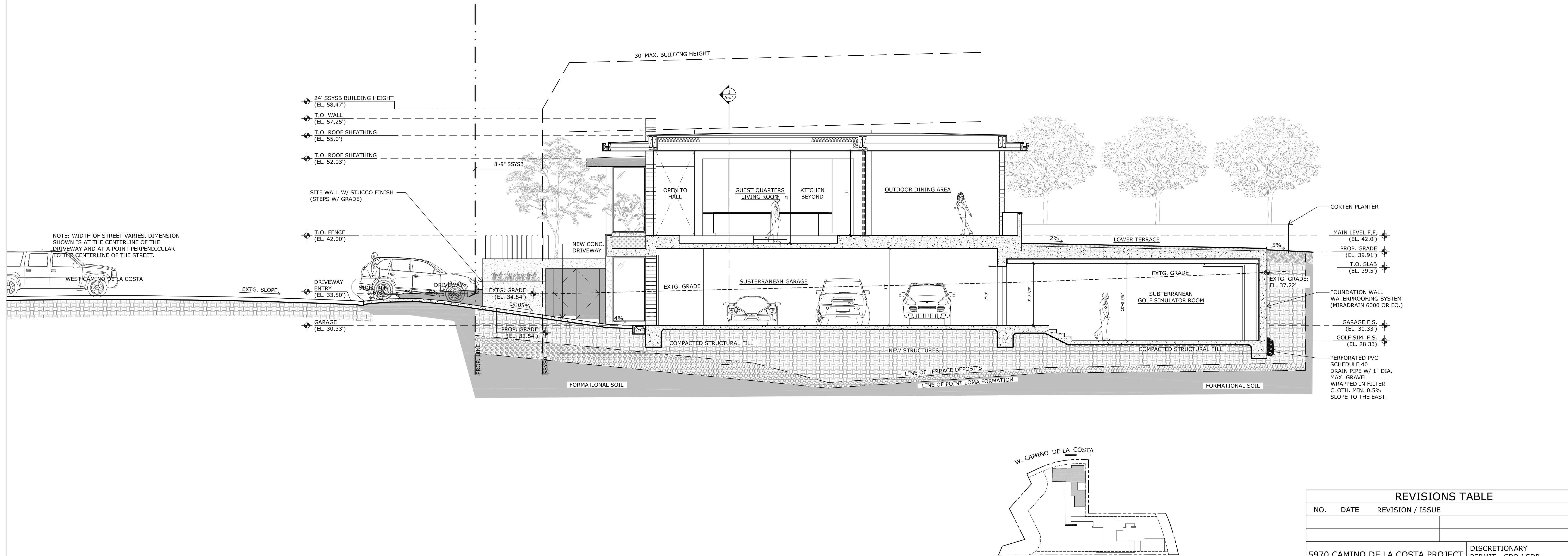
SITE SECTIONS

A1.4

5970

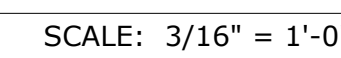
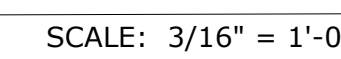


1 SITE SECTION - EAST/WEST  
SCALE: 3/16" = 1'-0"



2 SITE SECTION - EAST/WEST  
SCALE: 3/16" = 1'-0"

| REVISIONS TABLE   |      |   |
|---|------|---|
| NO.   | DATE | REVISION / ISSUE  |
|   |      |   |
| 5970 CAMINO DE LA COSTA PROJECT<br>5970 CAMINO DE LA COSTA<br>LA JOLLA, CA 92037    |      | DISCRETIONARY<br>PERMIT - CDP / SDP<br>PROJECT NO.<br>PRJ-1091933 |
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| REVISIONS TABLE   |          |   |
|---|----------|---|
| NO.   | DATE     | REVISION / ISSUE  |
| 1   | 07-08-24 |   |
| 5970 CAMINO DE LA COSTA PROJECT<br>5970 CAMINO DE LA COSTA<br>LA JOLLA, CA 92037    |          | DISCRETIONARY<br>PERMIT - CDP / SDP<br>PROJECT NO.<br>PRJ-1091933 |
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| REVISIONS TABLE   |          |   |
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| 1   | 07-08-24 |   |
| 5970 CAMINO DE LA COSTA PROJECT<br>5970 CAMINO DE LA COSTA<br>LA JOLLA, CA 92037    |          | DISCRETIONARY<br>PERMIT - CDP / SDP<br>PROJECT NO.<br>PRJ-1091933 |
| HOUSE DESIGN ARCHITECTS<br>2150 W. WASHINGTON STREET<br>STE.301, SAN DIEGO CA 92110 |          | SHEET <u>18</u> OF <u>36</u><br><br>SHEET TITLE:<br>SITE SECTIONS |

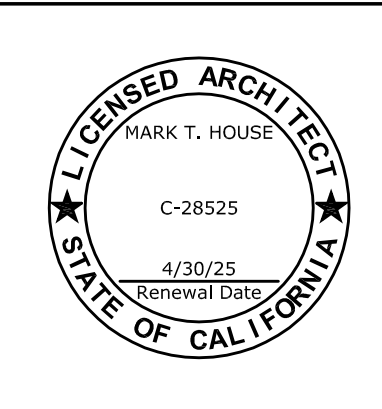


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619 981- 9707 ph  
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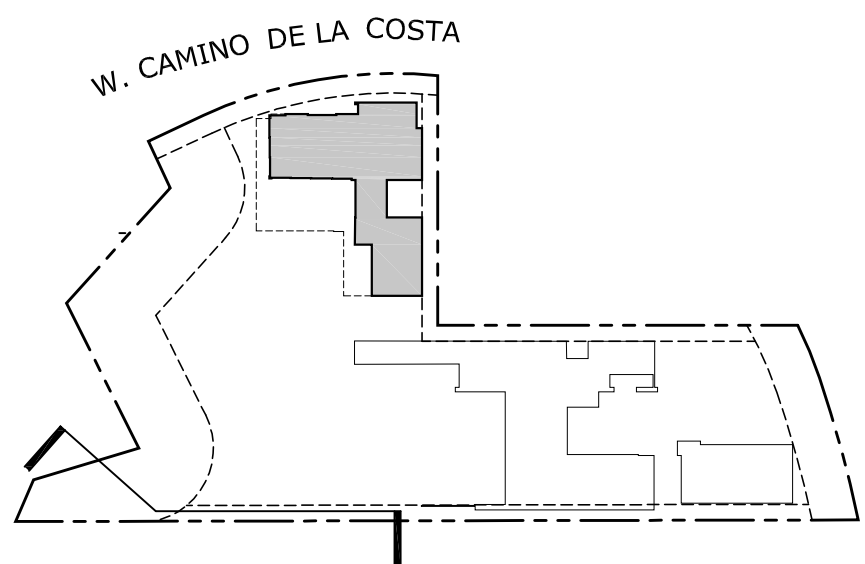
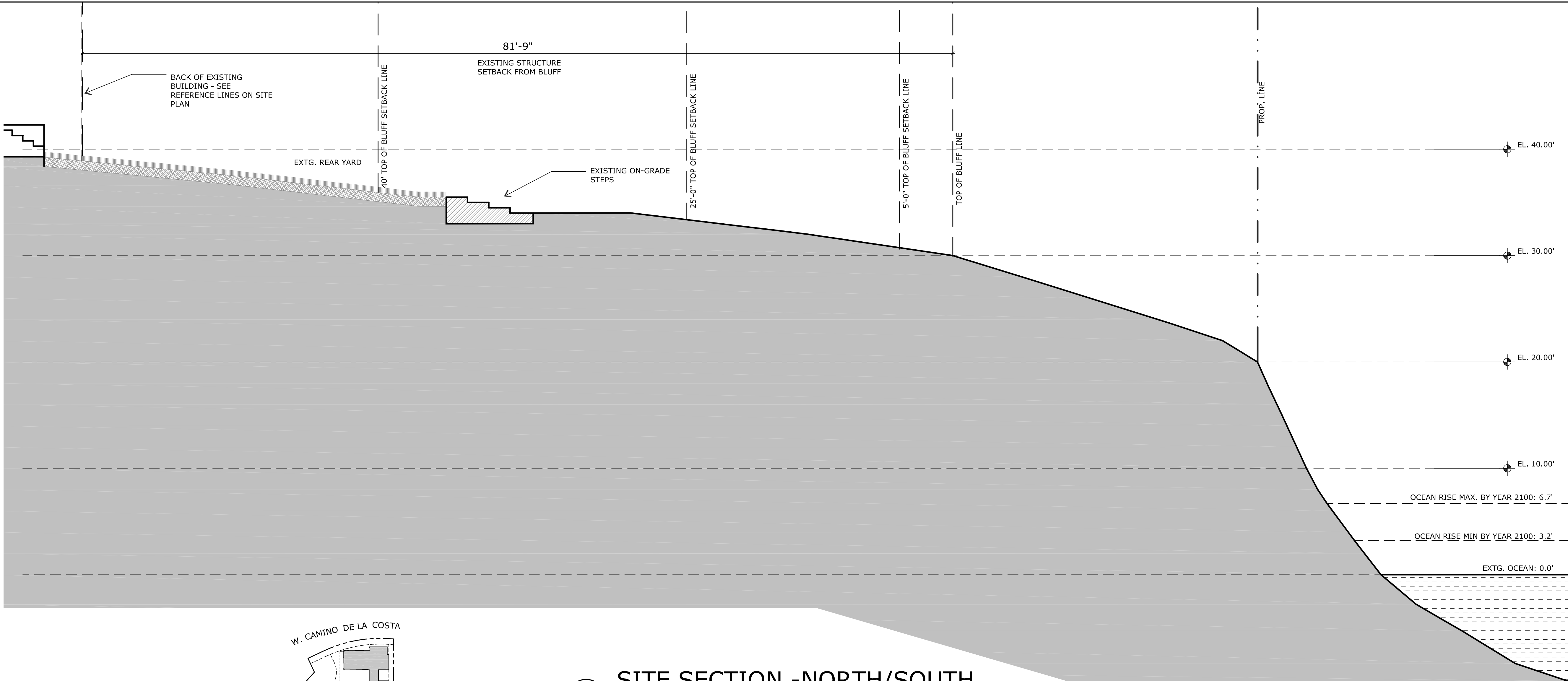
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LA JOLLA, CA 92037

SCALE: 3/16"=1'-0"  
DATE: 11-27-24

BLUFF SECTIONS

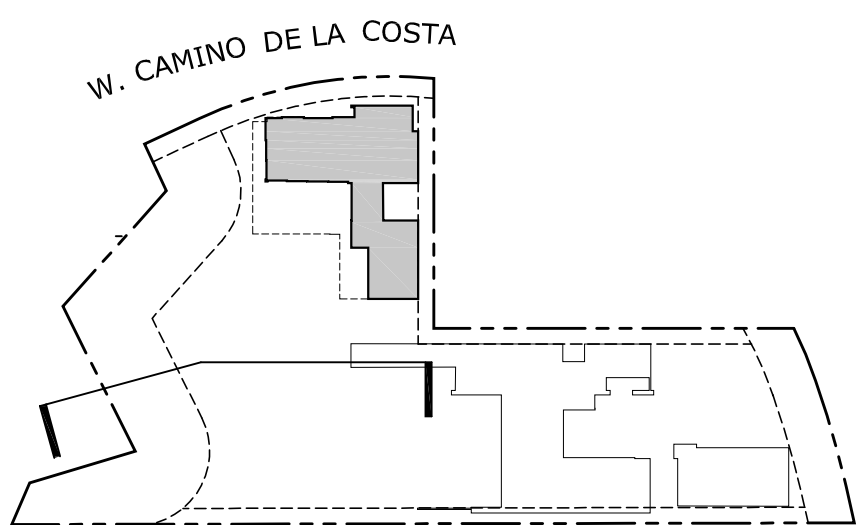
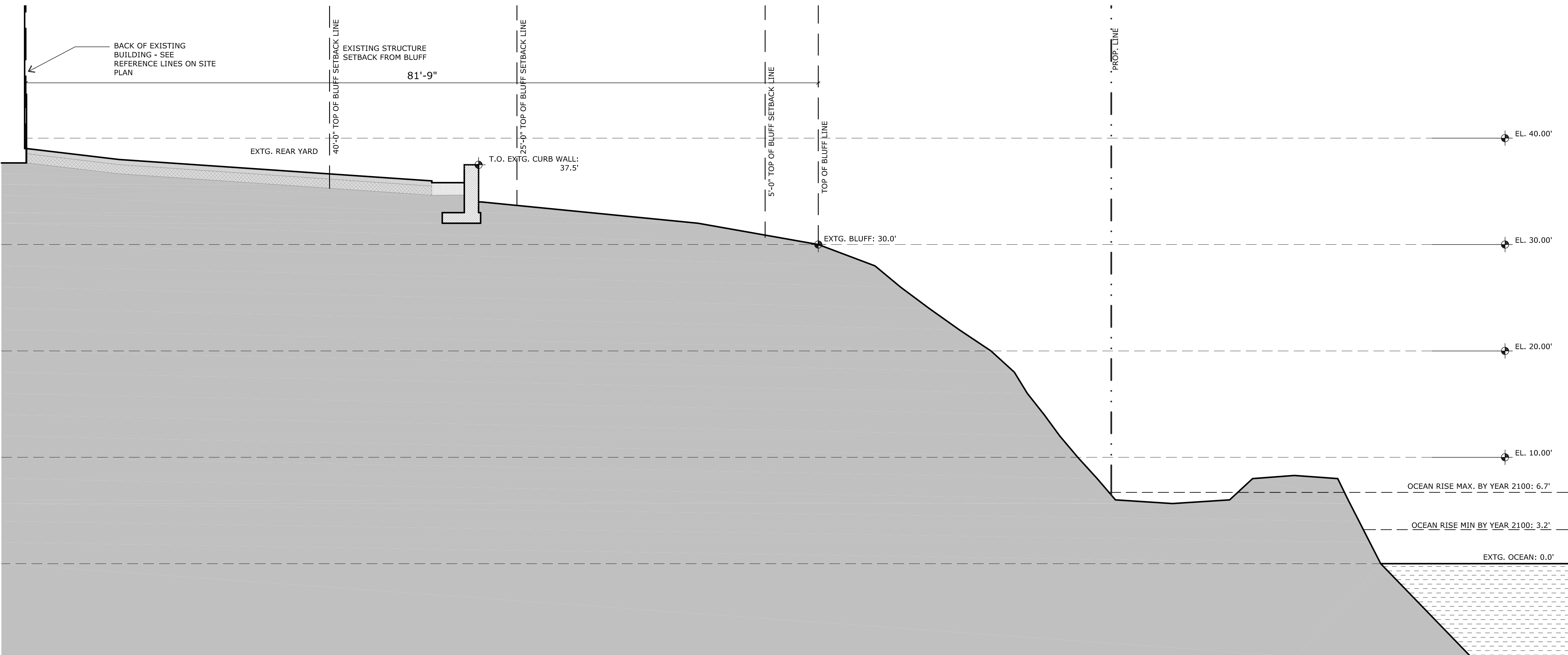
A1.7

5970



1 SITE SECTION -NORTH/SOUTH

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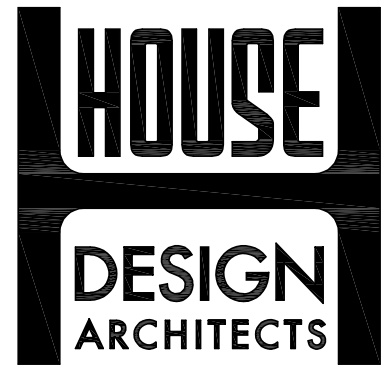


2 SITE SECTION - SOUTH/NORTH

SCALE: 3/16" = 1'-0"

| REVISIONS TABLE   |      |   |  |
|---|------|---|--|
| NO.   | DATE | REVISION / ISSUE  |  |
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| 5970 CAMINO DE LA COSTA PROJECT<br>5970 CAMINO DE LA COSTA<br>LA JOLLA, CA 92037    |      | DISCRETIONARY<br>PERMIT - CDP / SDP<br>PROJECT NO.<br>PRJ-1091933 |  |
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5970 CAMINO DE LA COSTA  
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SCALE: 1/4"=1'-0"

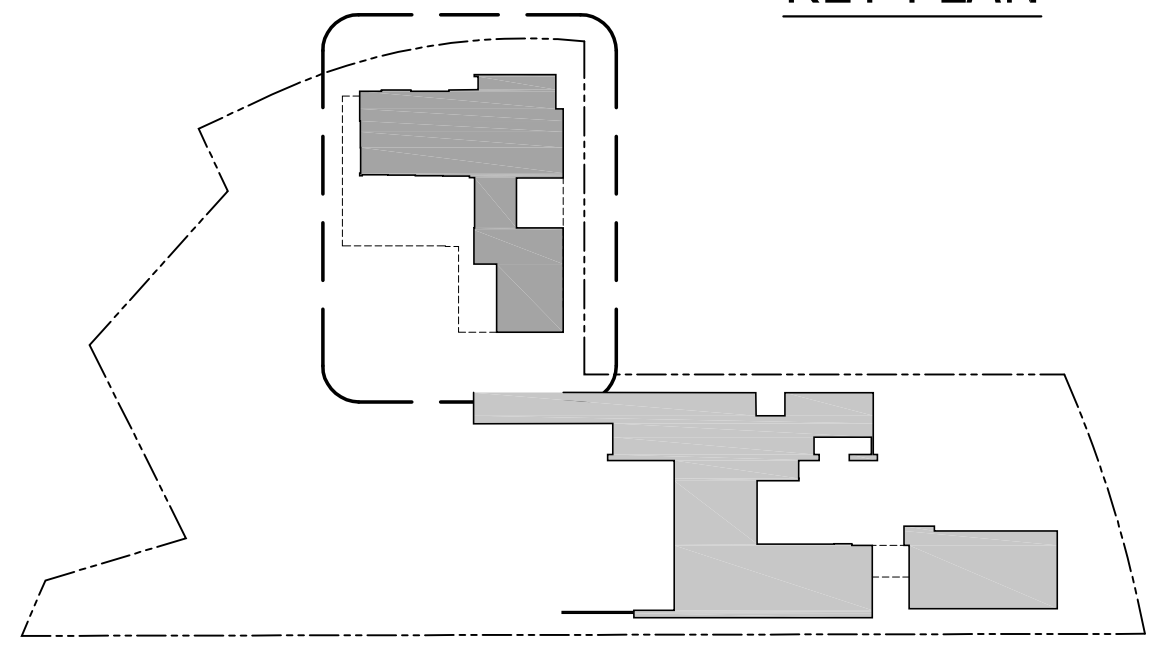
DATE: 12-18-24

LOWER LEVEL  
FLOOR PLAN  
WEST

A2.1

5970

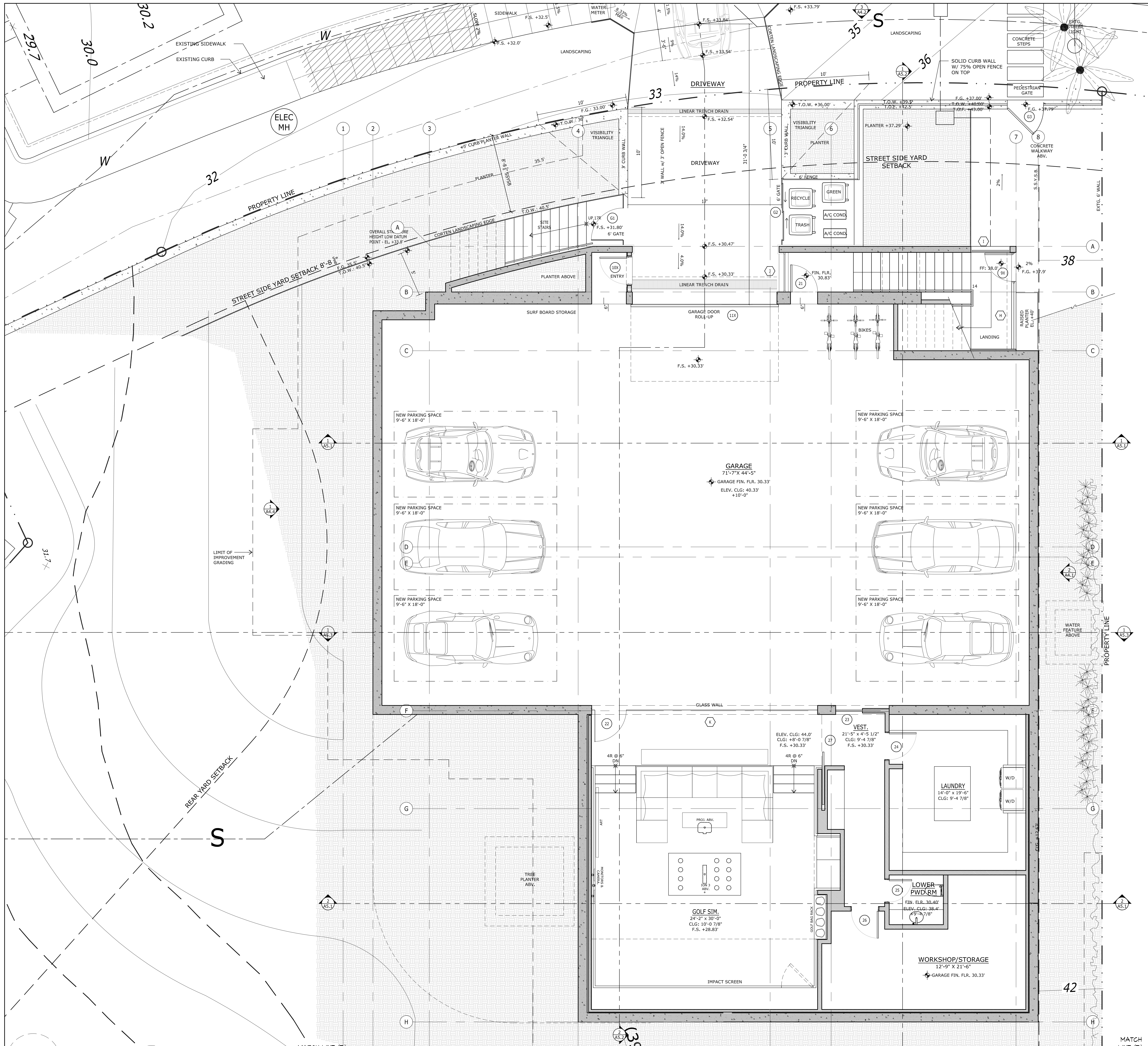
KEY PLAN

LOWER LEVEL FLOOR PLAN -  
WEST

SCALE: 1/4"=1'-0"

## REVISIONS TABLE

| NO.   | DATE | REVISION / ISSUE  |
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|   |      |   |
| 5970 CAMINO DE LA COSTA PROJECT<br>5970 CAMINO DE LA COSTA<br>LA JOLLA, CA 92037    |      | DISCRETIONARY<br>PERMIT - CDP / SDP<br>PROJECT NO.<br>PRJ-1091933         |
| HOUSE DESIGN ARCHITECTS<br>2150 W. WASHINGTON STREET<br>STE.301, SAN DIEGO CA 92110 |      | SHEET <u>20</u> OF <u>36</u><br>SHEET TITLE:<br>LOWER LEVEL FLR PLAN-WEST |







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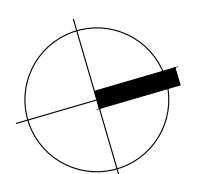
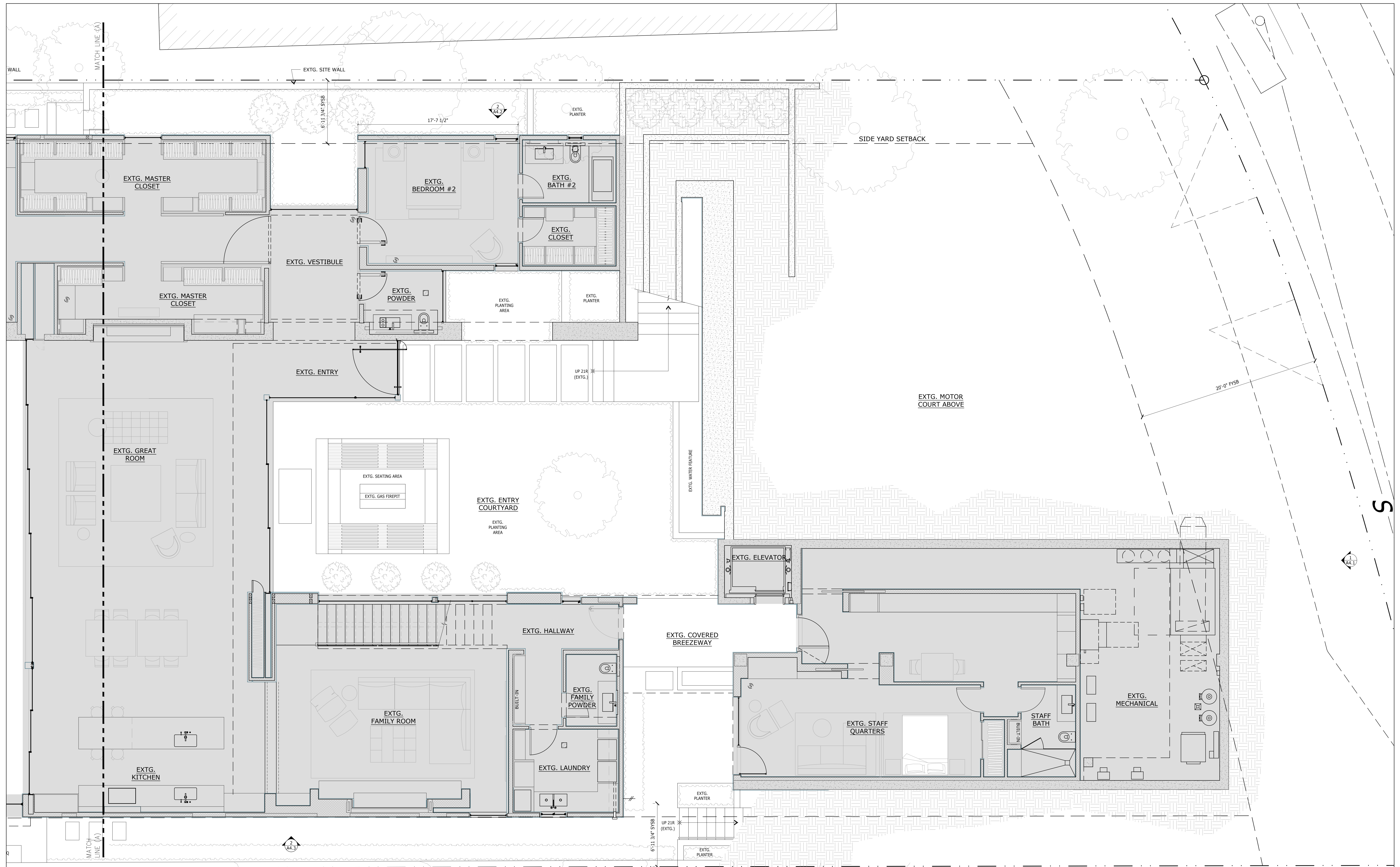
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DATE: 11-22-24

MAIN LEVEL  
FLOOR PLAN  
NORTH

A2.2

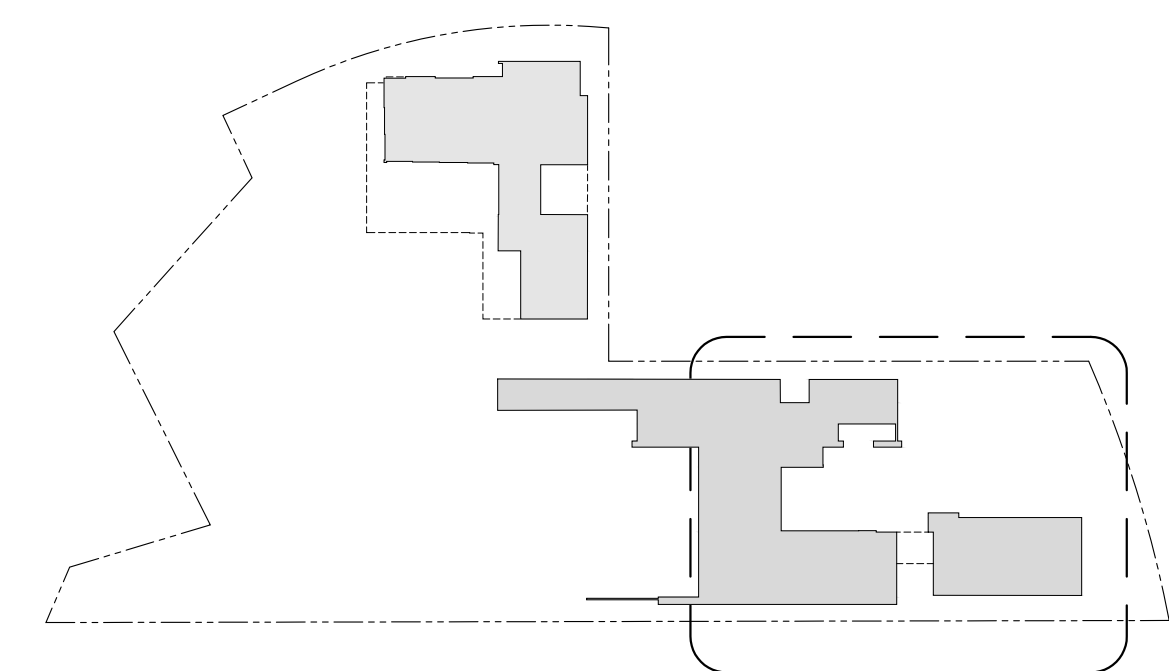
5970



MAIN LEVEL FLOOR PLAN - NORTH

SCALE: 1/4"=1'-0"

KEY PLAN



## REVISIONS TABLE

| NO. | DATE     | REVISION / ISSUE |
|-----|----------|------------------|
| 1   | 07-08-24 |                  |

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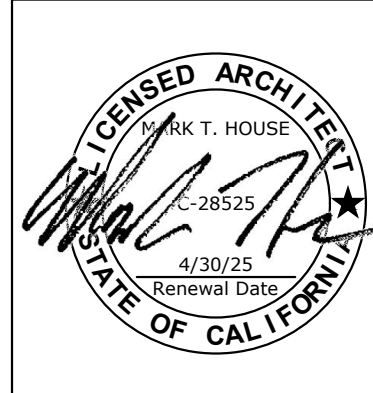
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SHEET 21 OF 36  
SHEET TITLE:  
MAIN LEVEL FLR PLAN-NORTH





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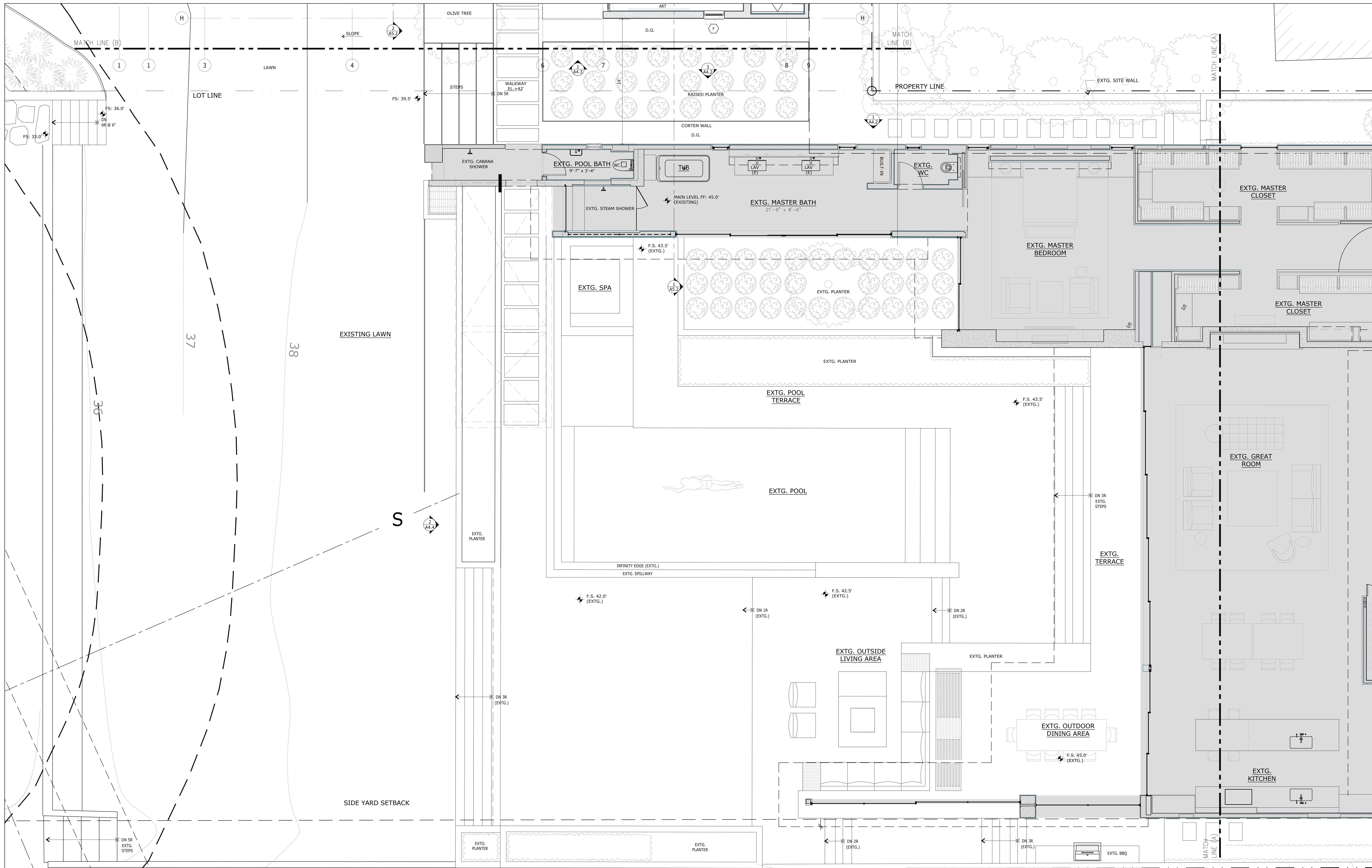
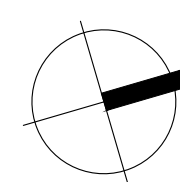
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DATE: 11-22-24

MAIN LEVEL  
FLOOR PLAN  
SOUTH

A2.3

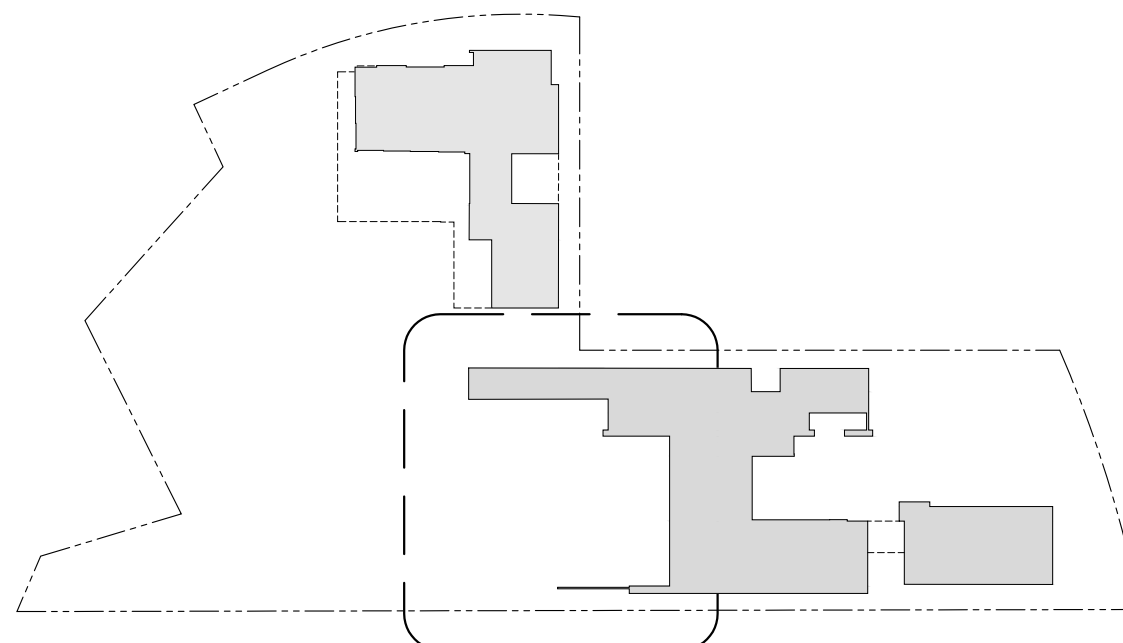
5970

GRAY-TONE POCHE DENOTES EXISTING  
CONSTRUCTION

MAIN LEVEL FLOOR PLAN - SOUTH

SCALE: 1/4"=1'-0"

KEY PLAN



## REVISIONS TABLE

| NO. | DATE     | REVISION / ISSUE |
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5970 CAMINO DE LA COSTA  
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PROJECT NO.  
PRJ-1091933HOUSE DESIGN ARCHITECTS  
2150 W. WASHINGTON STREET  
STE.301, SAN DIEGO CA 92110SHEET \_22\_ OF \_36\_  
SHEET TITLE:  
MAIN LEVEL FLR PLAN-SOUTH

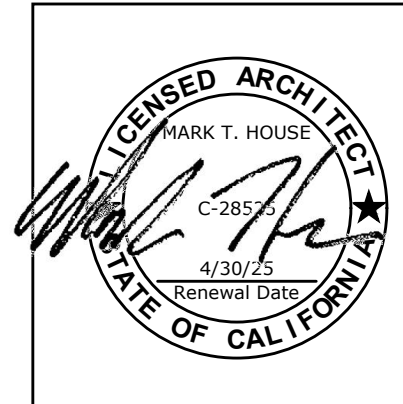




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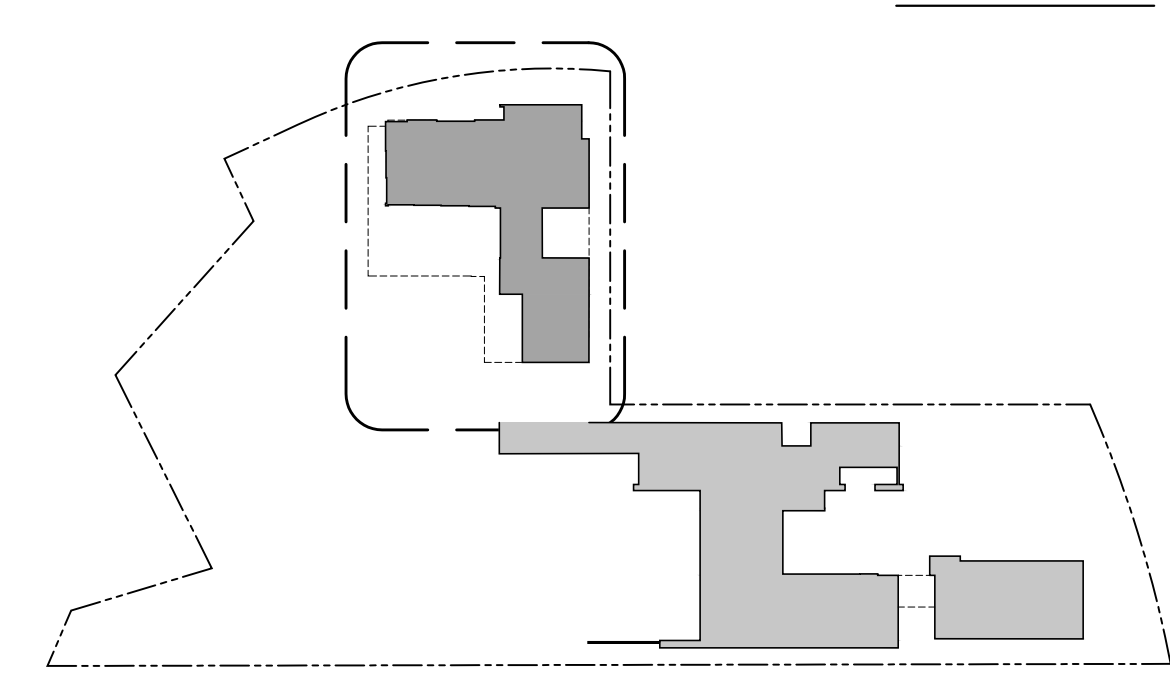
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MAIN LEVEL  
FLOOR PLAN  
WEST

A2.4

5970

KEY PLAN

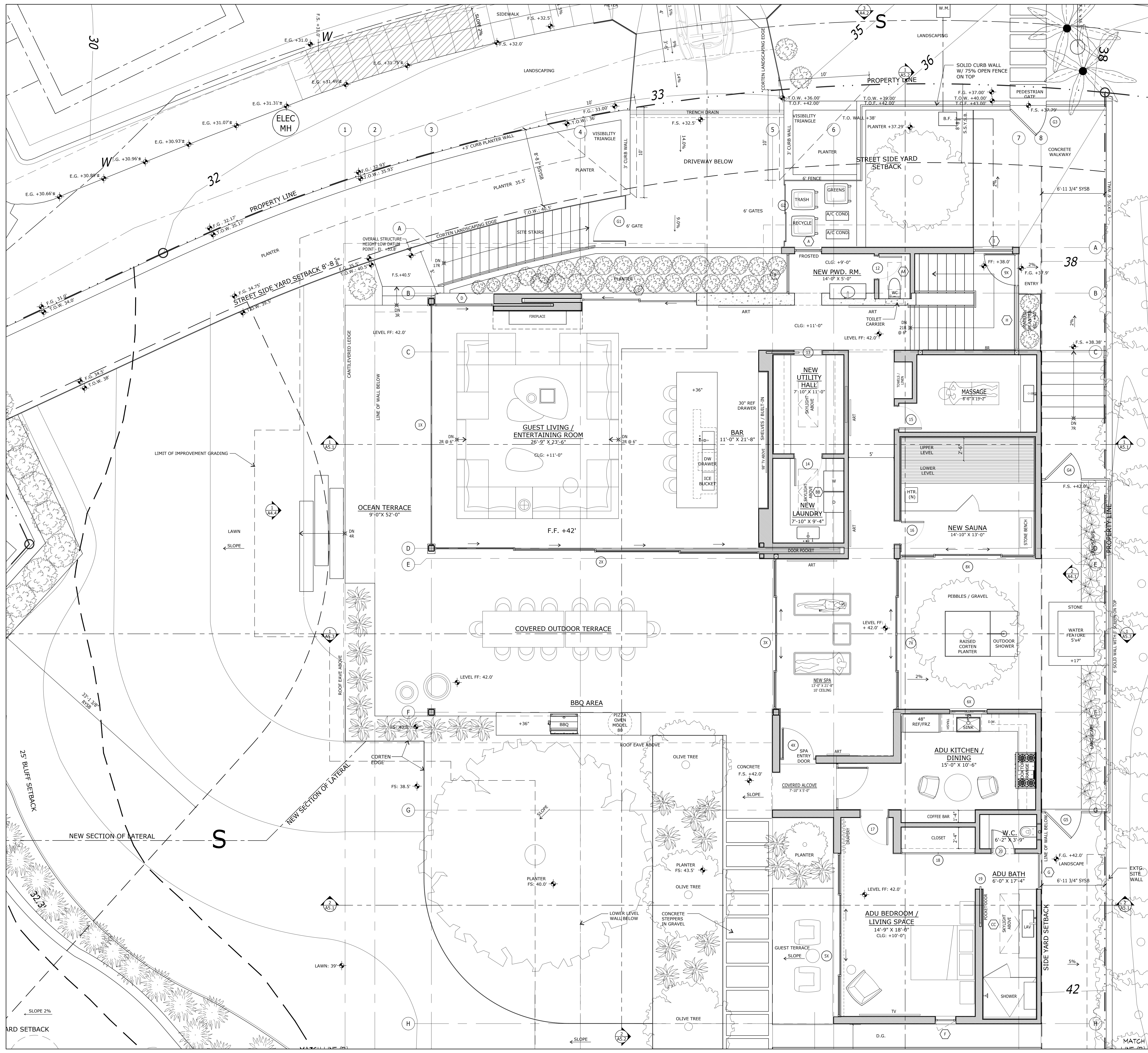


MAIN LEVEL FLOOR PLAN - WEST  
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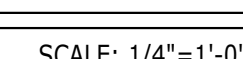
GRAY-TONE POCHÉ DENOTES EXISTING CONSTRUCTION

REVISIONS TABLE

| NO.   | DATE | REVISION / ISSUE   |
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| HOUSE DESIGN ARCHITECTS<br>2150 W. WASHINGTON STREET<br>STE.301, SAN DIEGO CA 92110 |      | SHEET 23 OF 36<br>SHEET TITLE:<br>MAIN LEVEL FLR PLAN-WEST     |







| REVISIONS TABLE   |          |   |
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| 5970 CAMINO DE LA COSTA PROJECT<br>5970 CAMINO DE LA COSTA<br>LA JOLLA, CA 92037    |          | DISCRETIONARY<br>PERMIT - CDP / SDP<br>PROJECT NO.<br>PRJ-1091933 |
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Mark T. House

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San Diego, CA 92110

619 981-9707 ph

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LA JOLLA, CA 92037

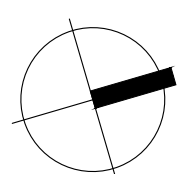
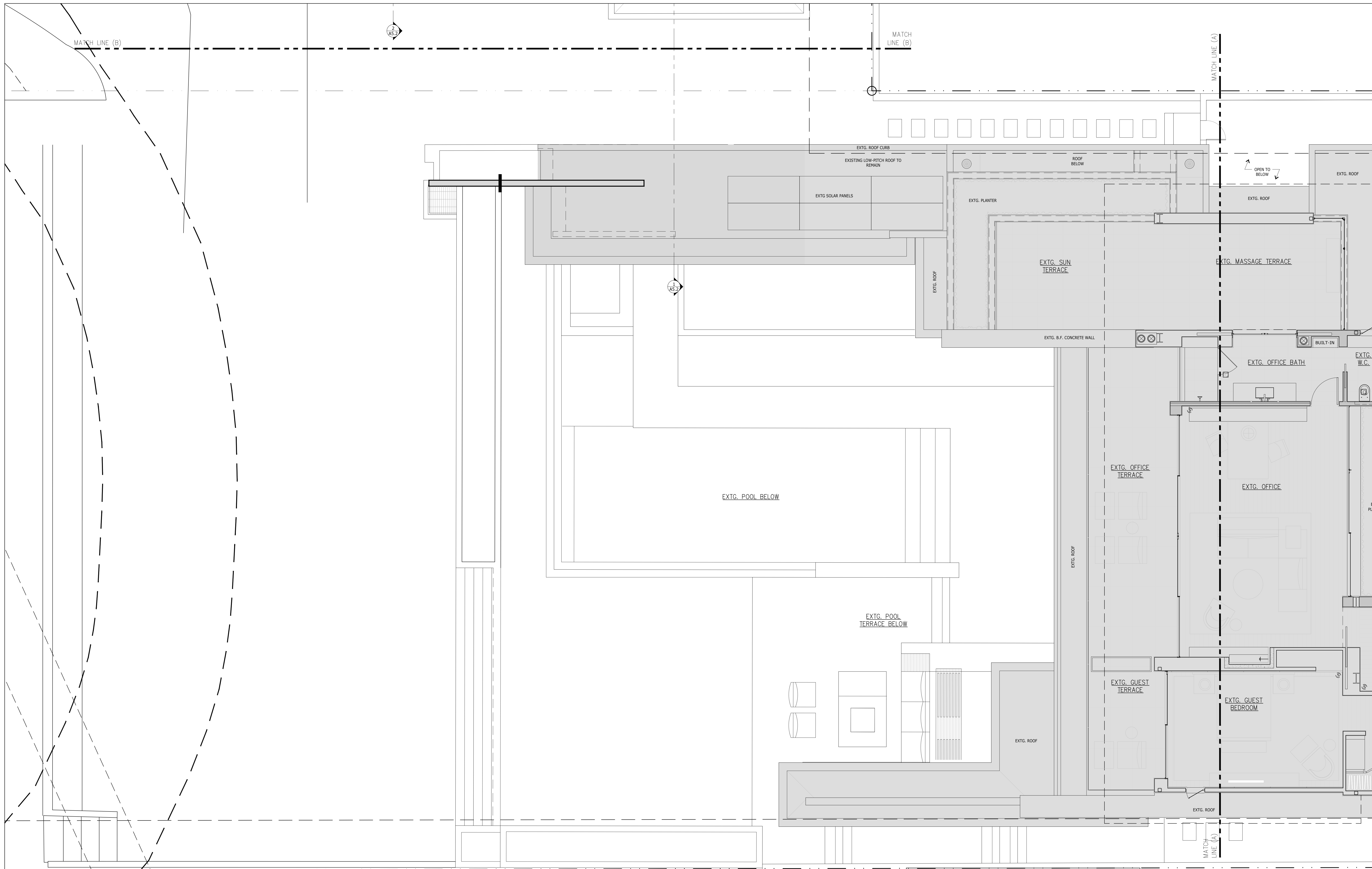
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DATE: 11-22-24

UPPER LEVEL  
FLOOR PLAN  
SOUTH

A2.6

5970

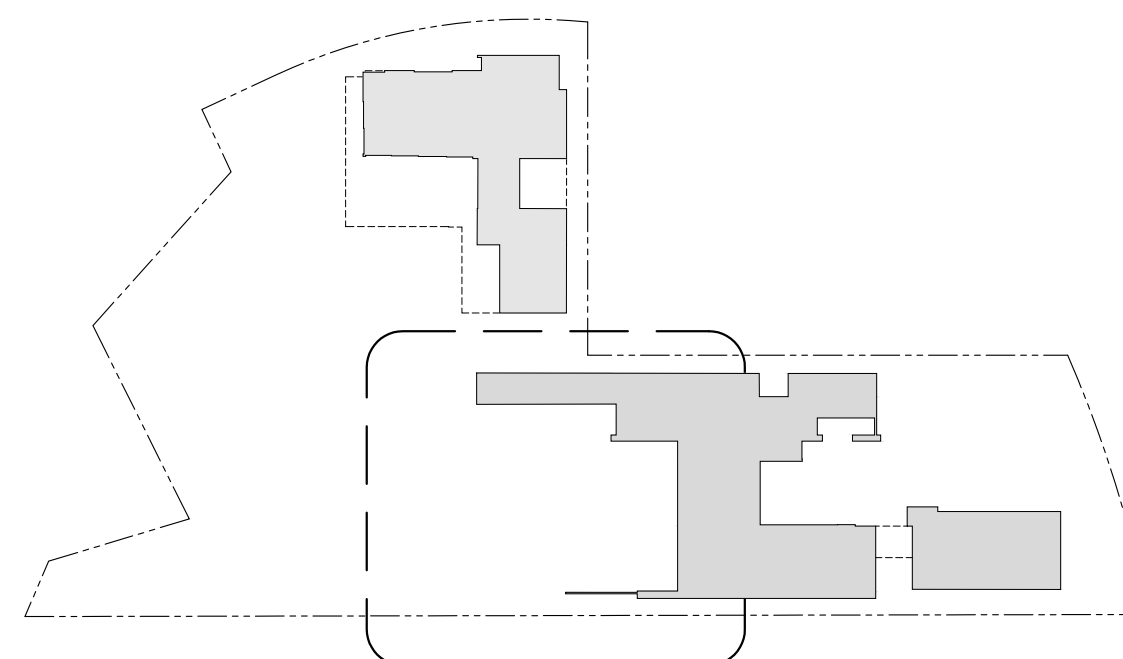


UPPER LEVEL FLOOR PLAN - SOUTH

SCALE: 1/4"=1'-0"

GRAY-TONE POCHÉ DENOTES EXISTING  
CONSTRUCTION

## KEY PLAN



## REVISIONS TABLE

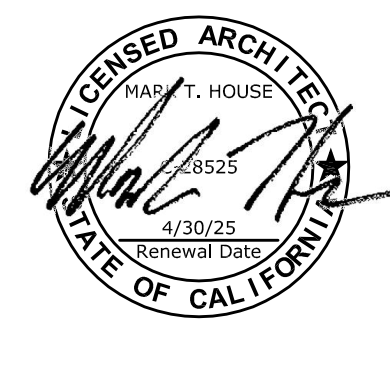
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|-----|----------|------------------|
| 1   | 07-08-24 |                  |

5970 CAMINO DE LA COSTA PROJECT  
5970 CAMINO DE LA COSTA  
LA JOLLA, CA 92037DISCRETIONARY  
PERMIT - CDP / SDP  
PROJECT NO.  
PRJ-1091933HOUSE DESIGN ARCHITECTS  
2150 W. WASHINGTON STREET  
STE.301, SAN DIEGO CA 92110SHEET \_25\_ OF \_36\_  
SHEET TITLE:  
UPPER LEVEL FLR PLAN-SOUTH



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San Diego, CA 92110  
619 981- 9707 ph  
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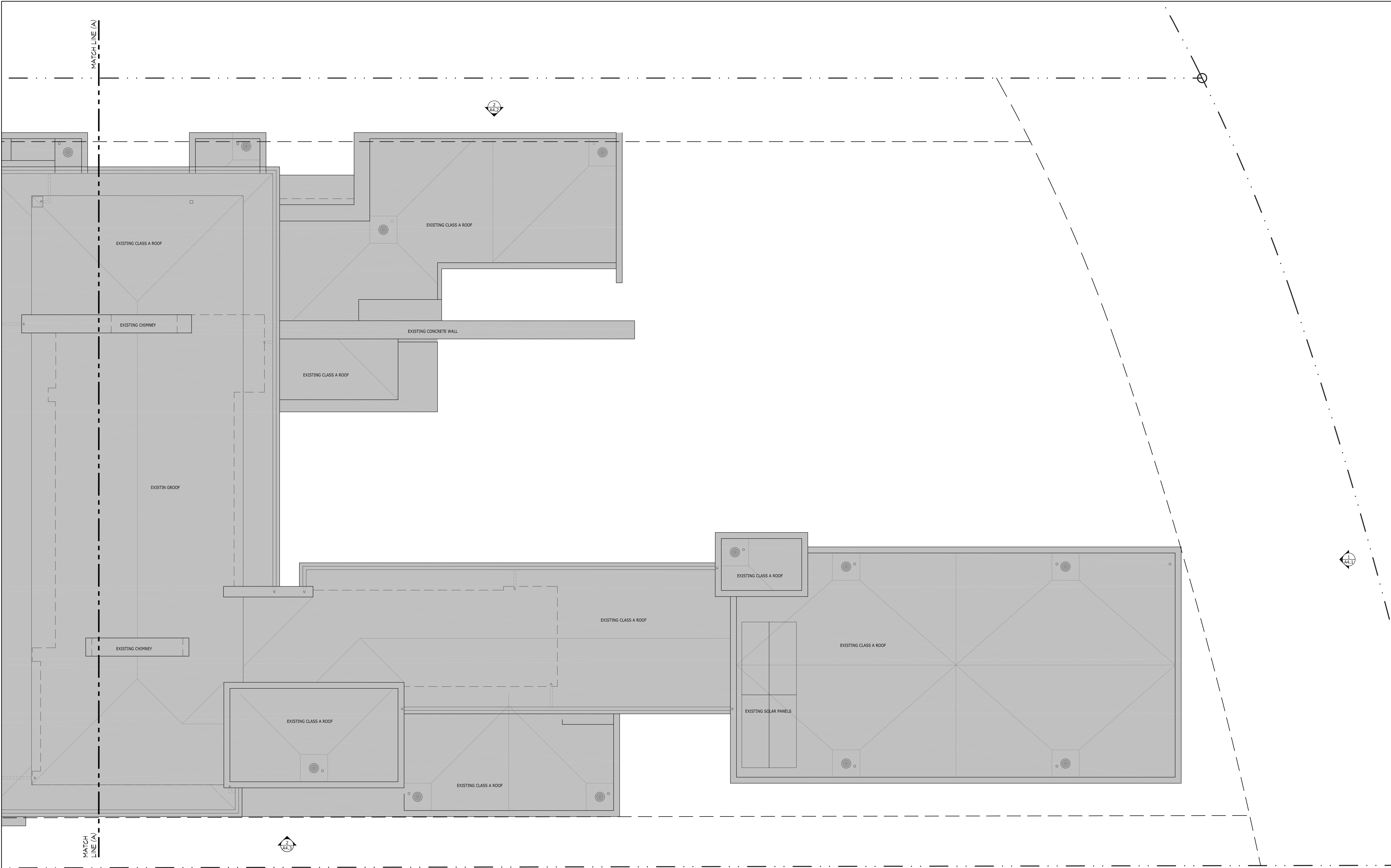
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5970 CAMINO DE LA COSTA  
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LA JOLLA, CA 92037

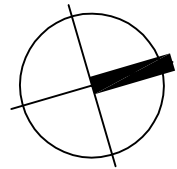
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ROOF PLAN  
NORTH  
A2.7

5970



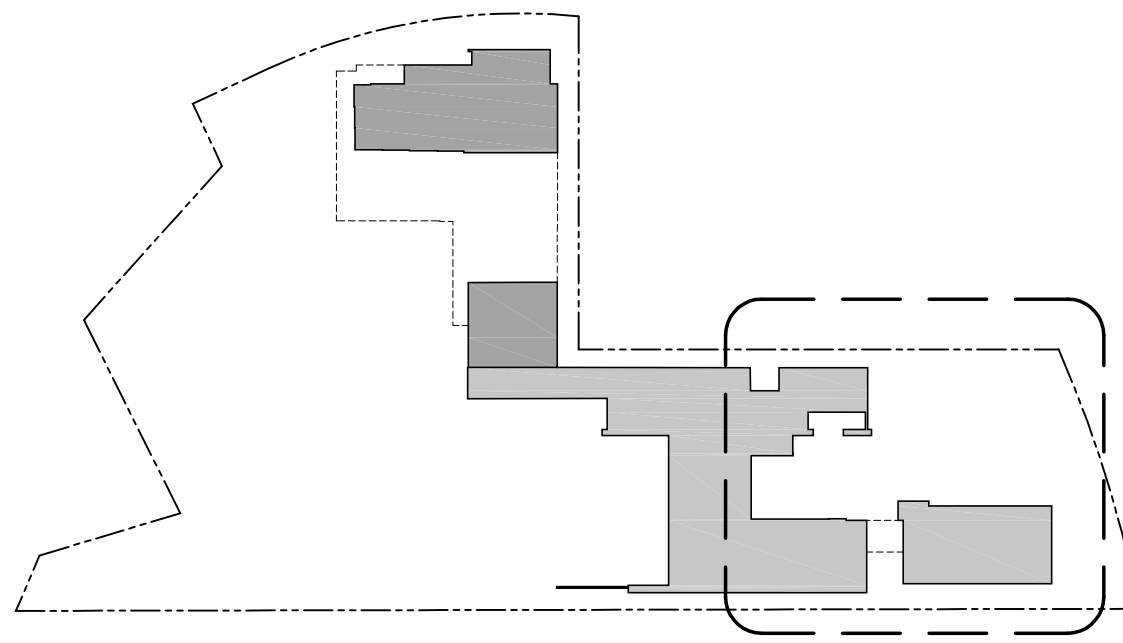
GRAY-TONE POCHÉ DENOTES EXISTING CONSTRUCTION



ROOF PLAN - NORTH

SCALE: 1/4"=1'-0"

KEY PLAN

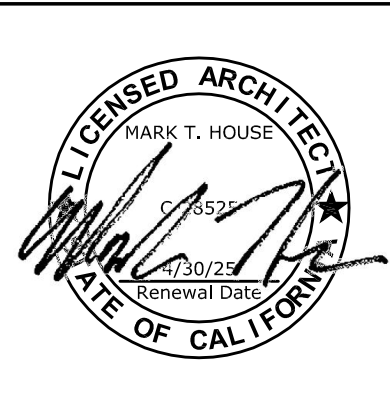


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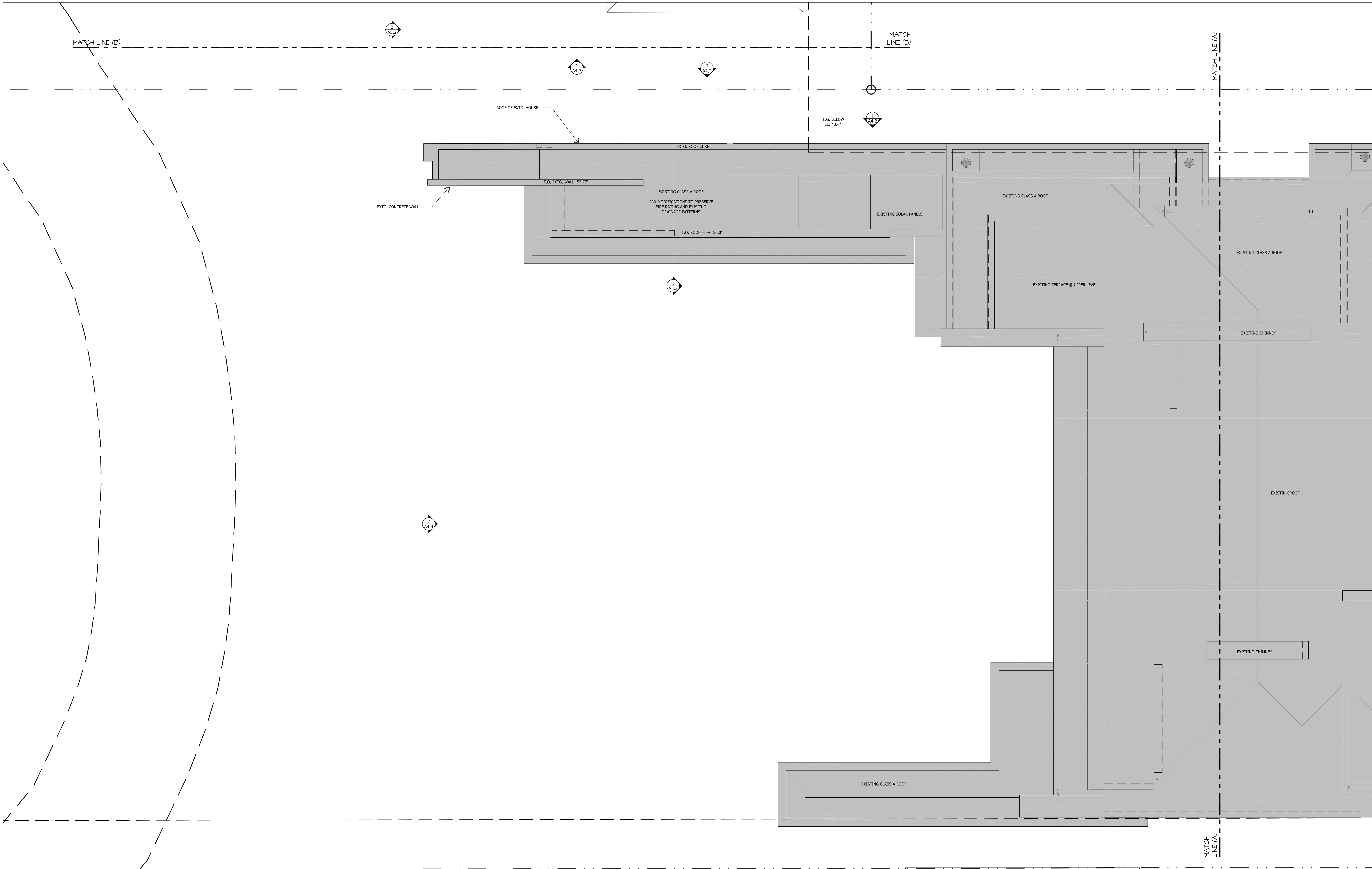
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LA JOLLA, CA 92037

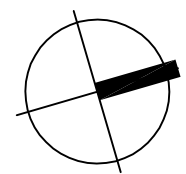
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ROOF PLAN  
SOUTH  
**A2.8**

5970



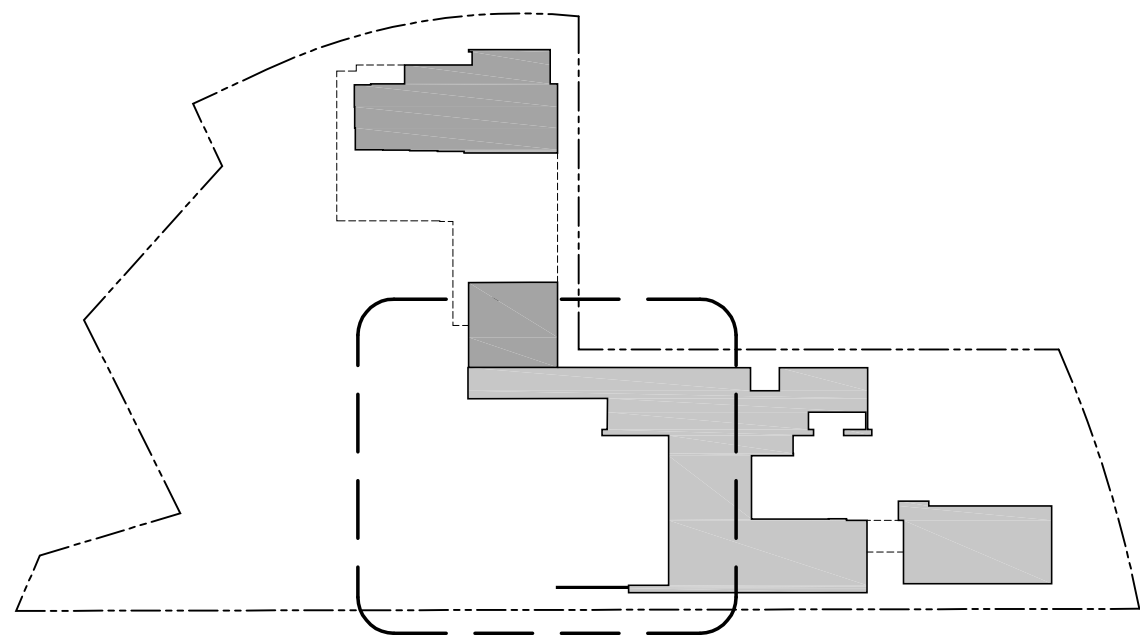
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ROOF PLAN - SOUTH

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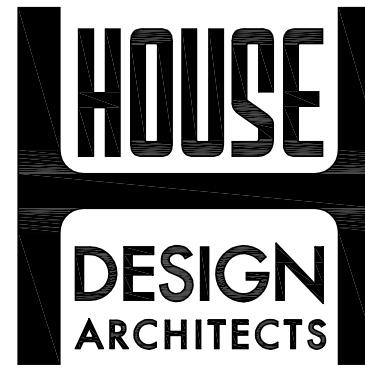
KEY PLAN



REVISIONS TABLE

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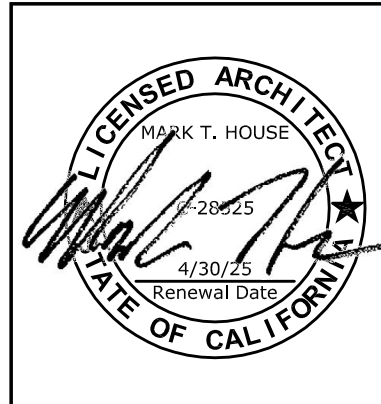




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5970 CAMINO DE LA COSTA  
LA JOLLA, CA 92037

SCALE: 1/4"=1'-0"

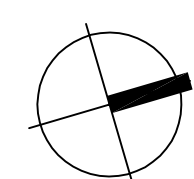
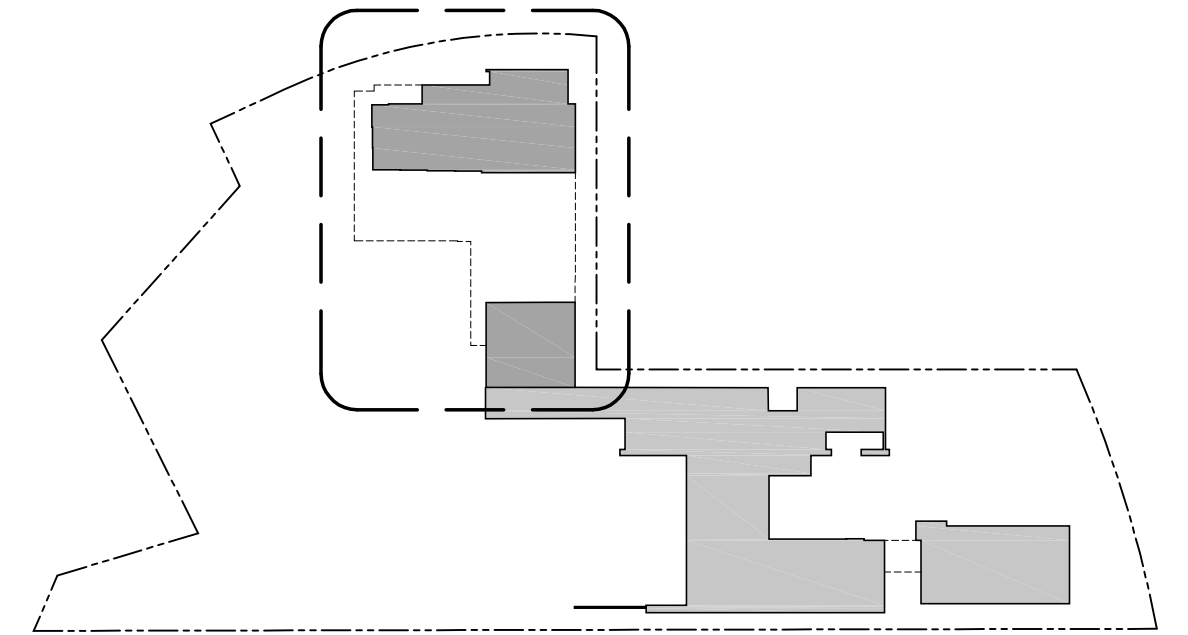
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ROOF PLAN  
WEST

A2.9

5970

## KEY PLAN



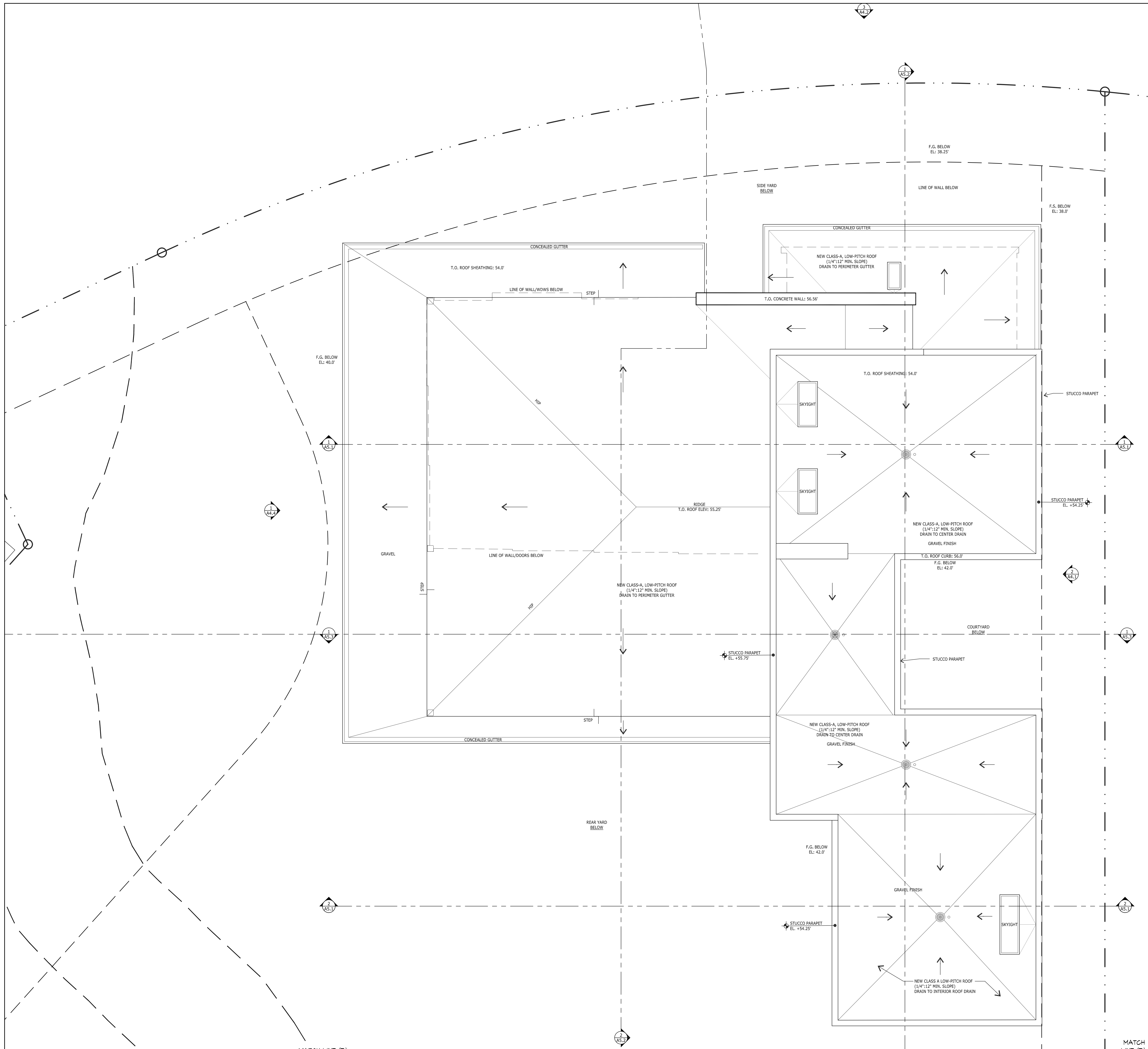
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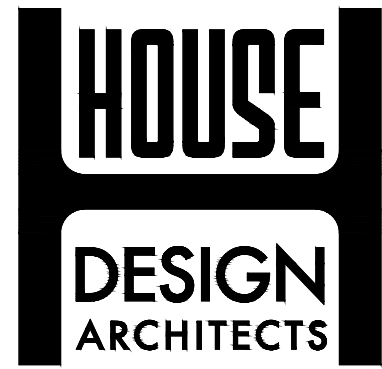
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GRAY-TONE POCHES DENOTES  
NEW CONSTRUCTION

## REVISIONS TABLE

| NO.   | DATE | REVISION / ISSUE  |
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LA JOLLA, CA 92037

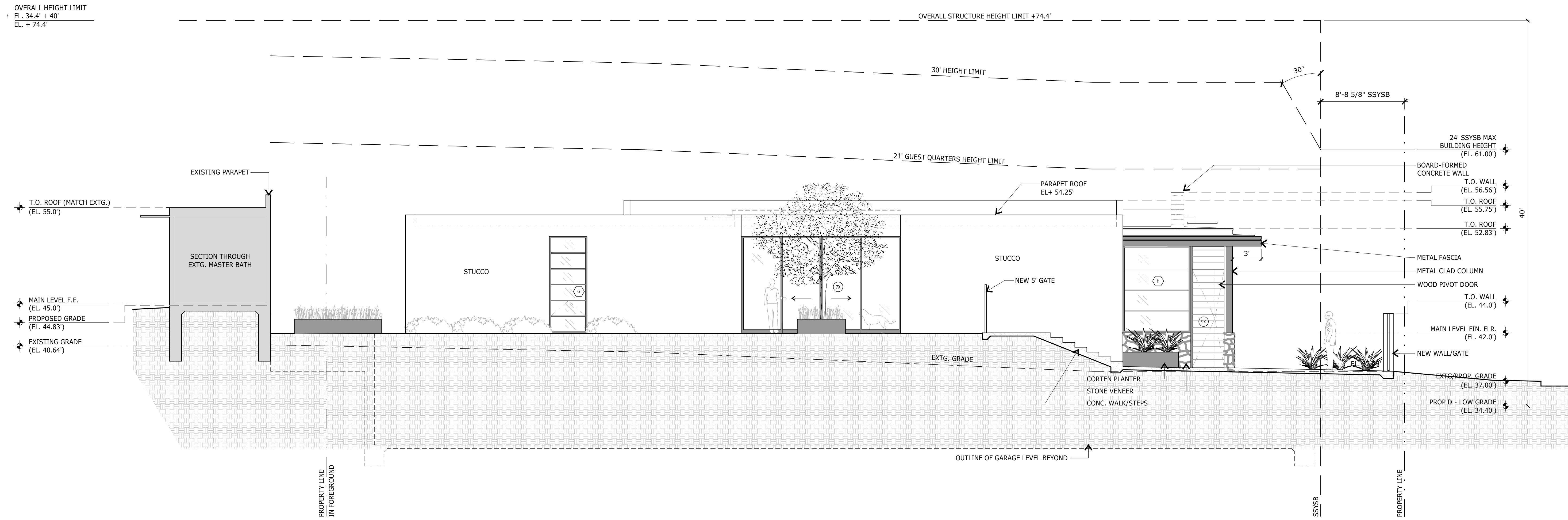
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DATE: 05-05-25

EXTERIOR  
ELEVATIONS

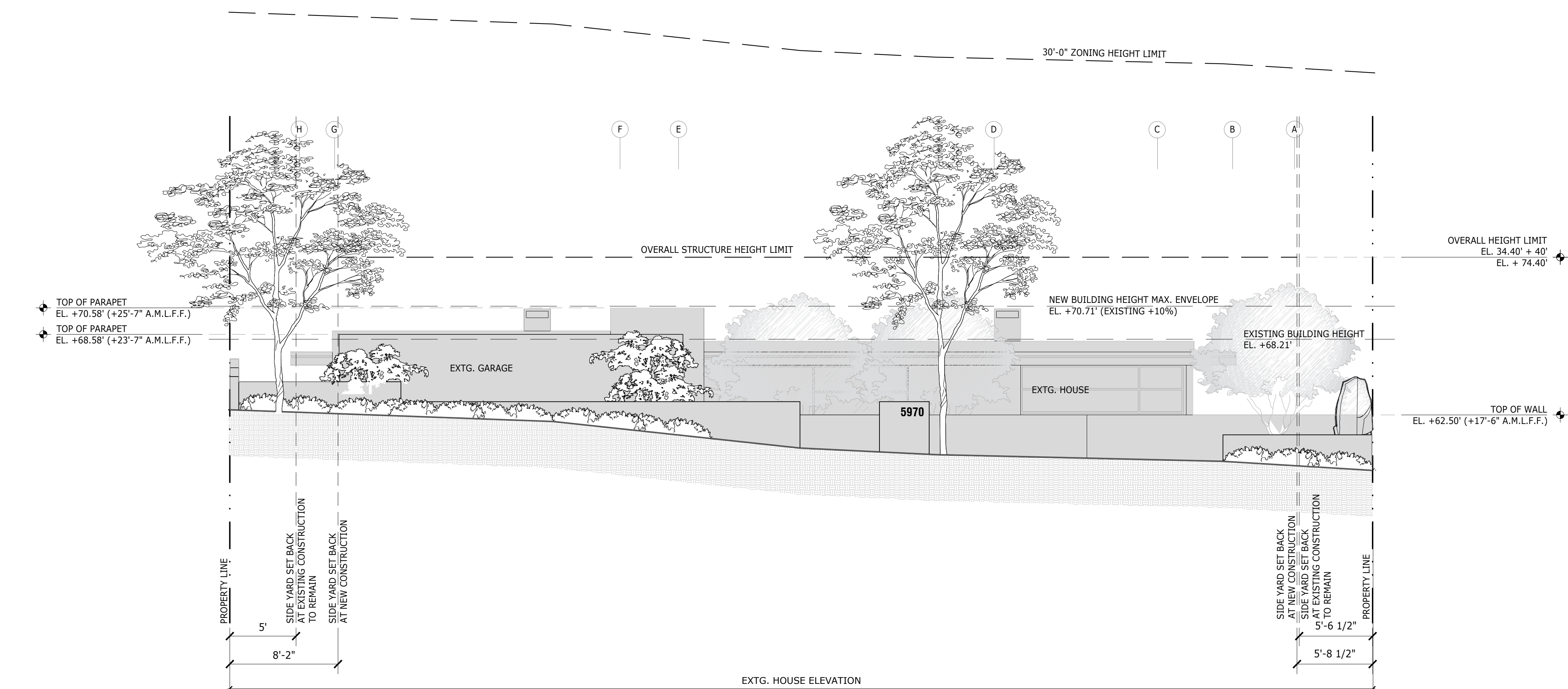
A4.1

5970



2 NORTH ELEVATION @ GUEST QUARTERS

SCALE: 3/16" = 1'-0"



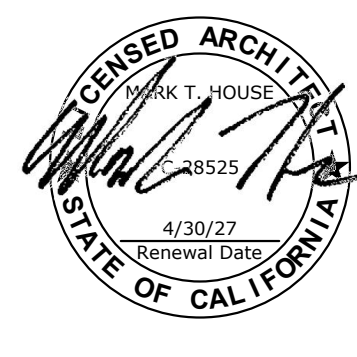
1 NORTH ELEVATION @ EXTG. HOUSE

SCALE: 3/16" = 1'-0"

| REVISIONS TABLE   |      |   |
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| NO.   | DATE | REVISION / ISSUE  |
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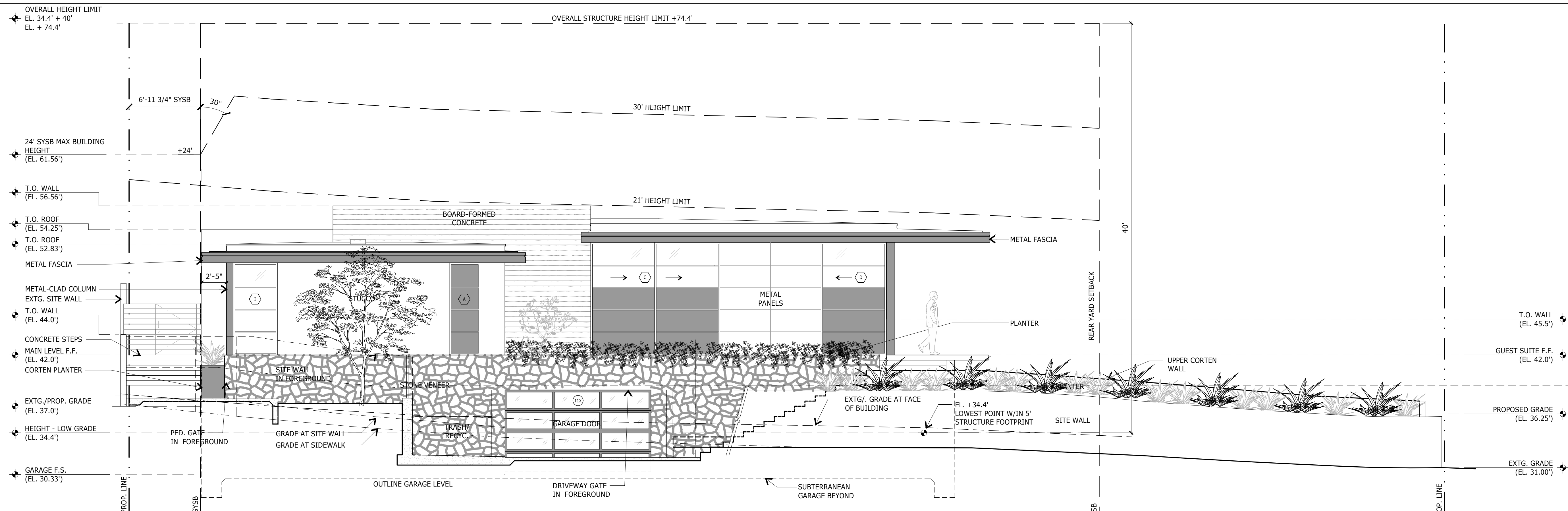
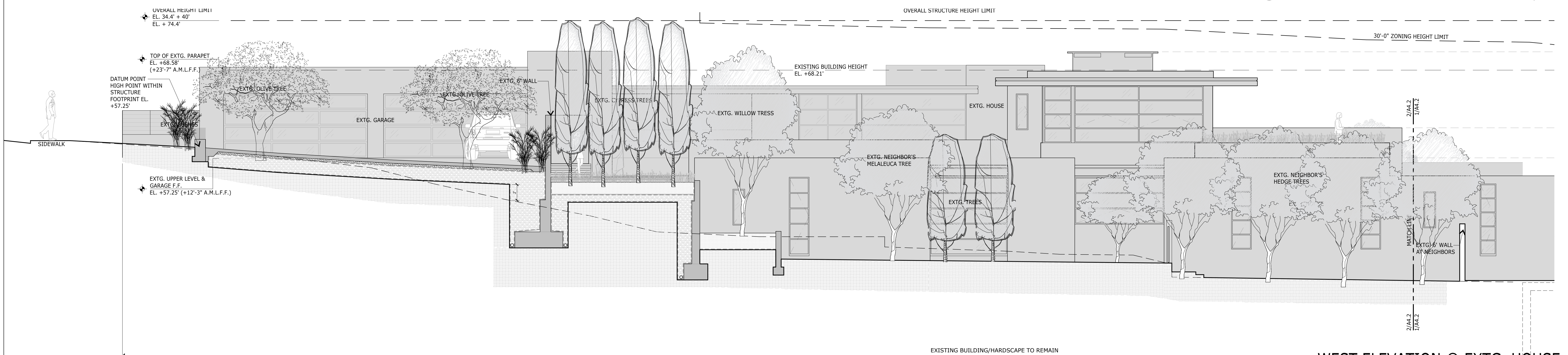
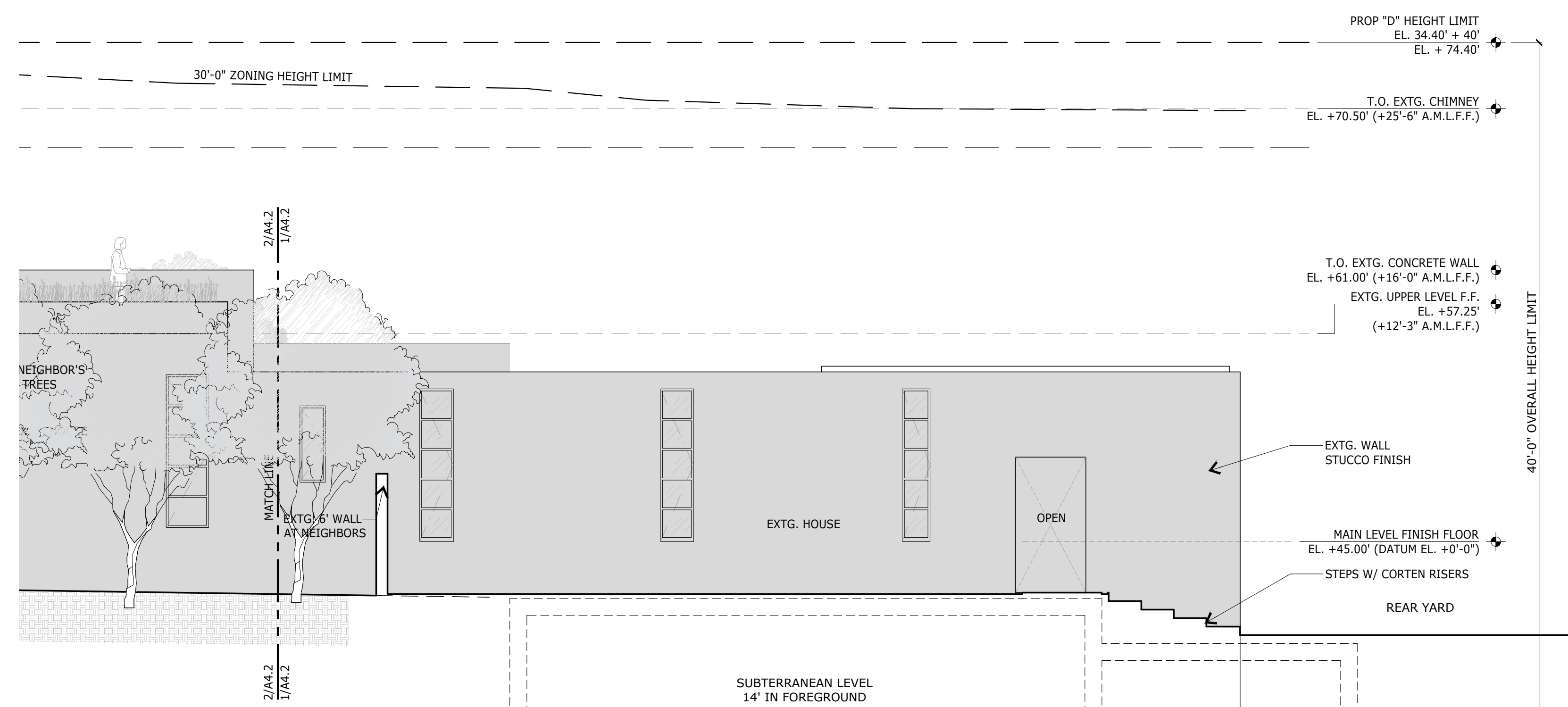
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DATE: 05-05-25

EXTERIOR  
ELEVATIONS

A4.2

5970

3 WEST ELEVATION @ GUEST QUARTERS  
SCALE: 3/16" = 1'-0"2 WEST ELEVATION @ EXTG. HOUSE  
SCALE: 3/16" = 1'-0"1 WEST ELEVATION @ EXTG. HOUSE  
SCALE: 3/16" = 1'-0"

## REVISIONS TABLE

| NO. | DATE     | REVISION / ISSUE |
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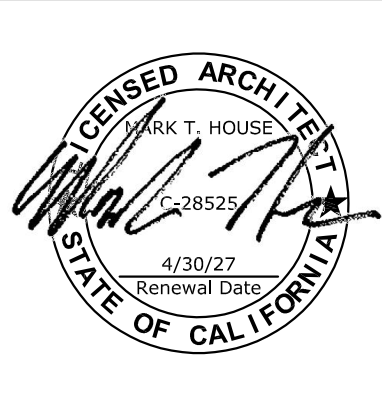


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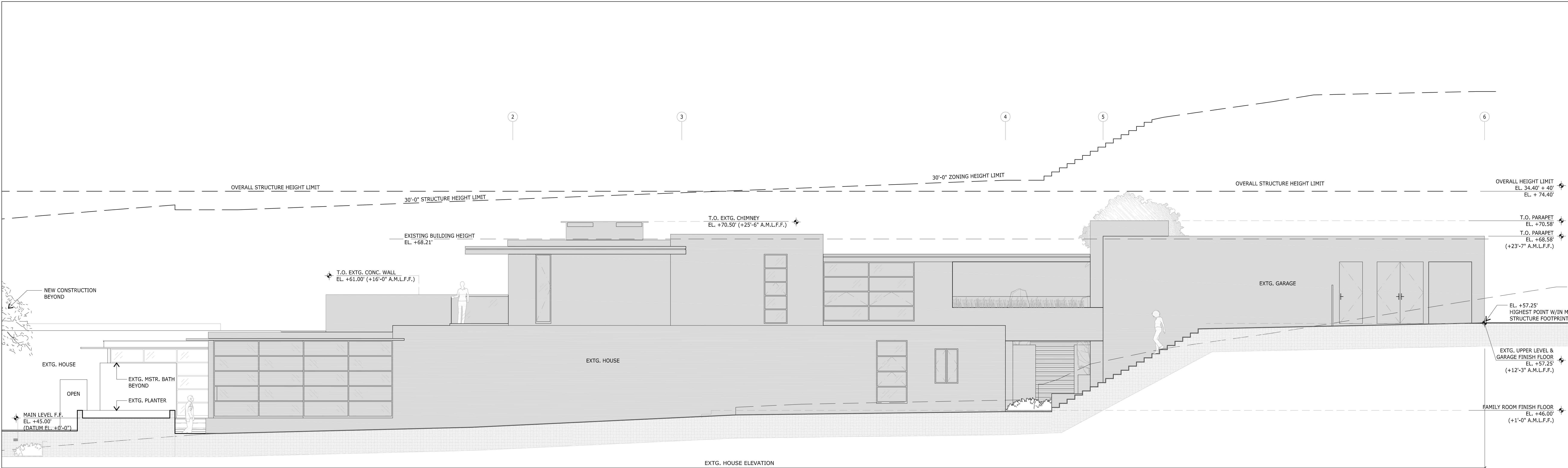
5970 CAMINO DE LA COSTA  
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LA JOLLA, CA 92037

SCALE: 3/16"=1'-0"  
DATE: 05-05-25

EXTERIOR ELEVATIONS

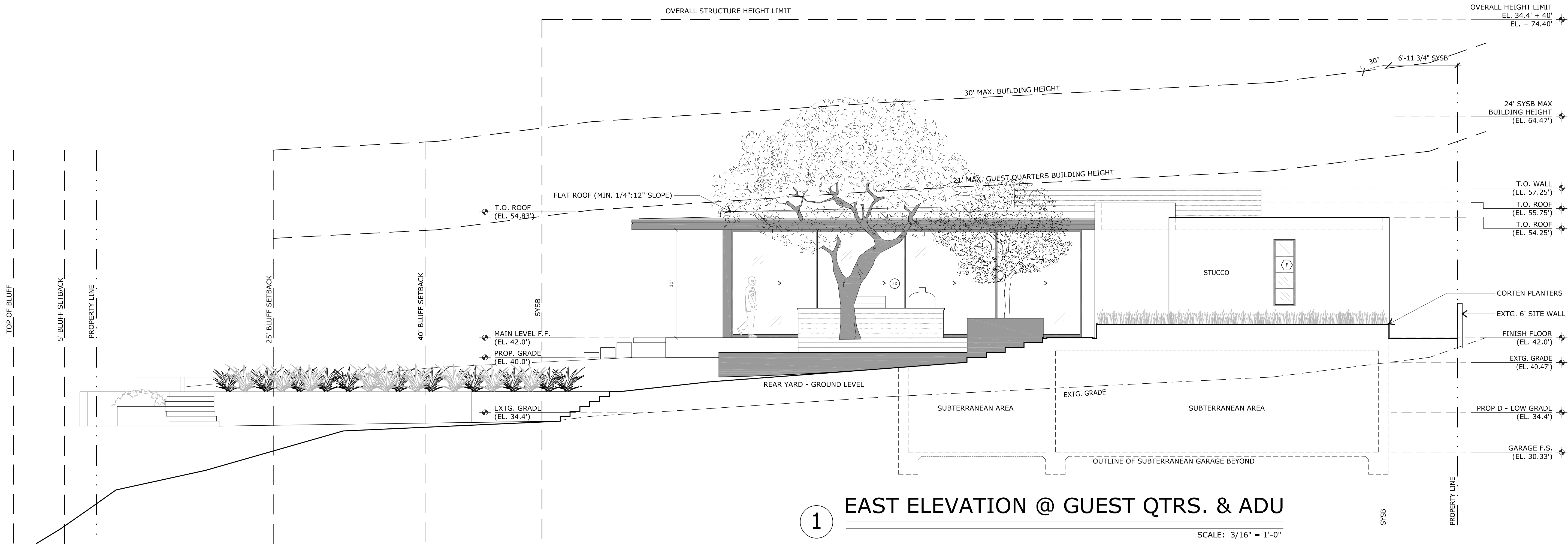
A4.3

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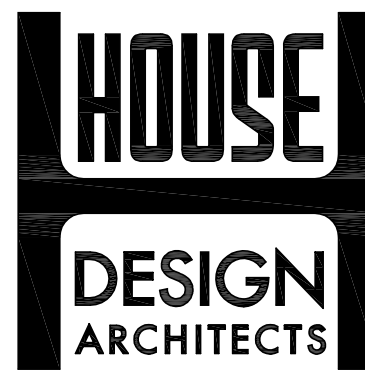
2 EAST ELEVATION - EXTG. BUILDING

SCALE: 3/16" = 1'-0"



| REVISIONS TABLE   |      |  |  |
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| NO.   | DATE | REVISION / ISSUE   |  |
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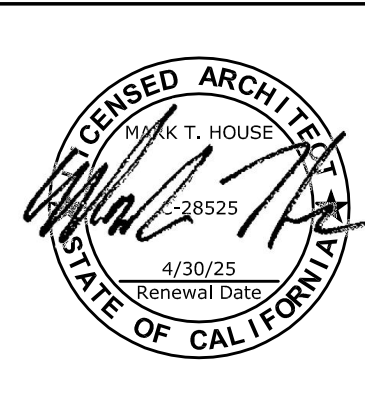




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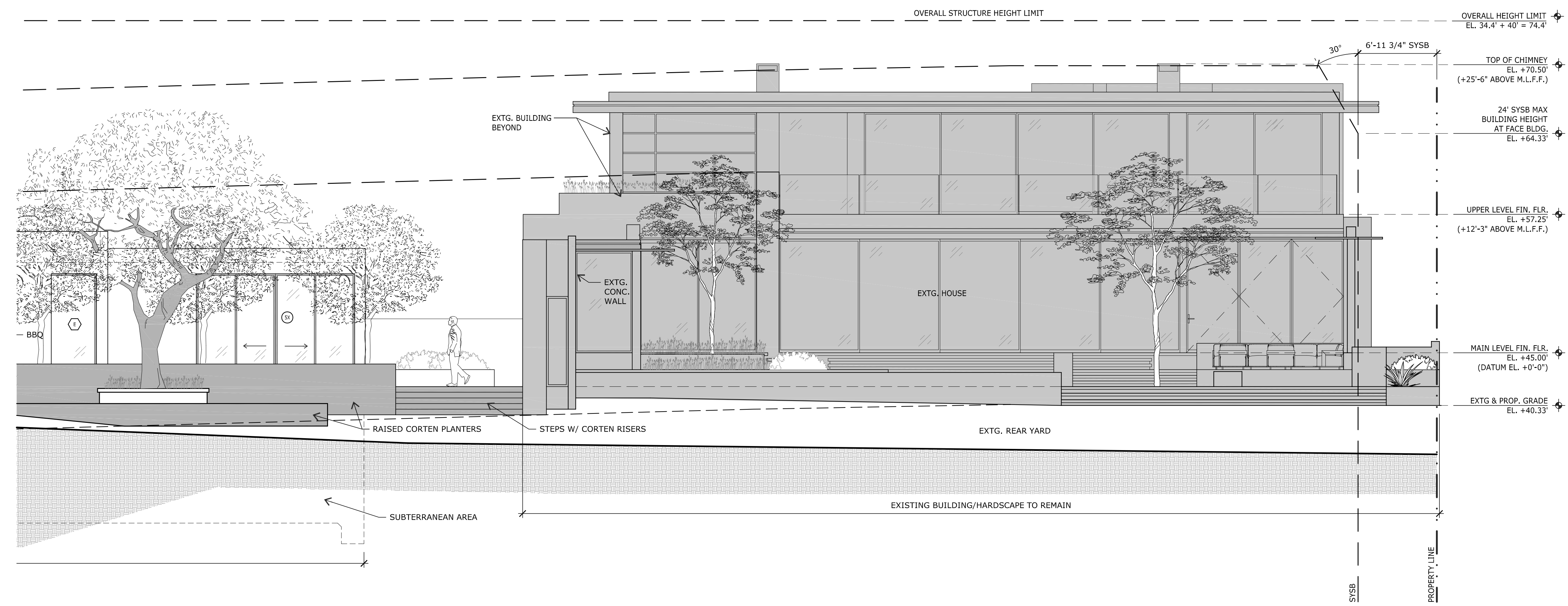
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LA JOLLA, CA 92037

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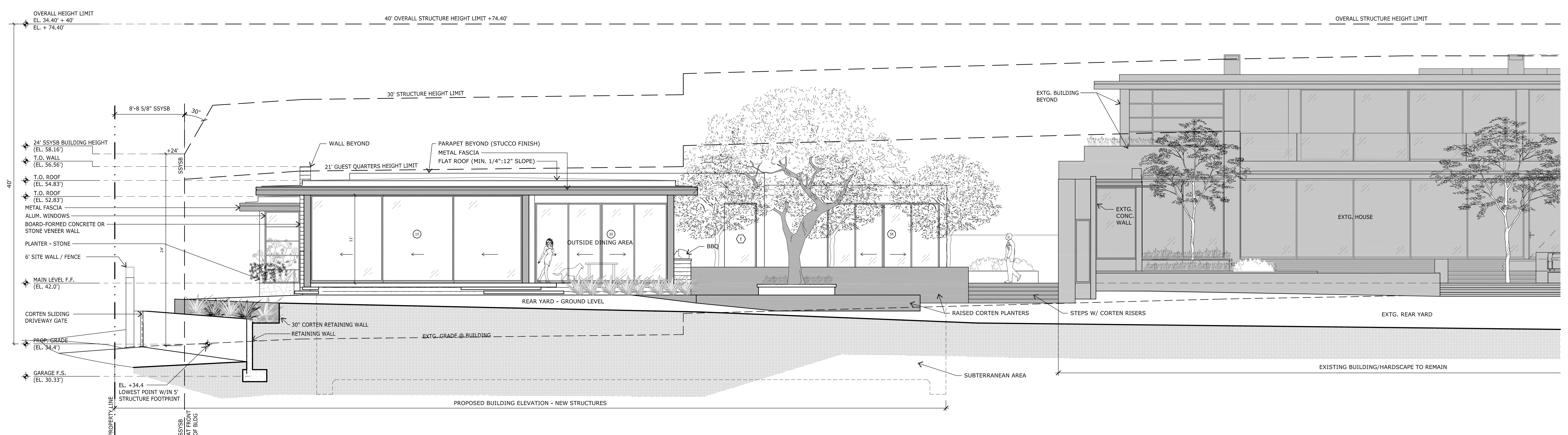
EXTERIOR ELEVATIONS

A4.4

5970



2 SOUTH ELEVATION  
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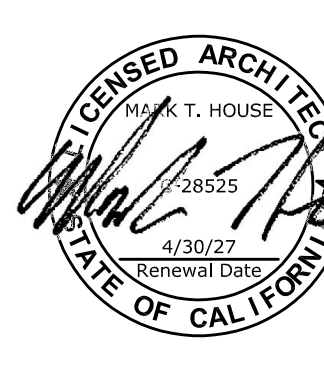
1 SOUTH ELEVATION  
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| REVISIONS TABLE   |      |  |
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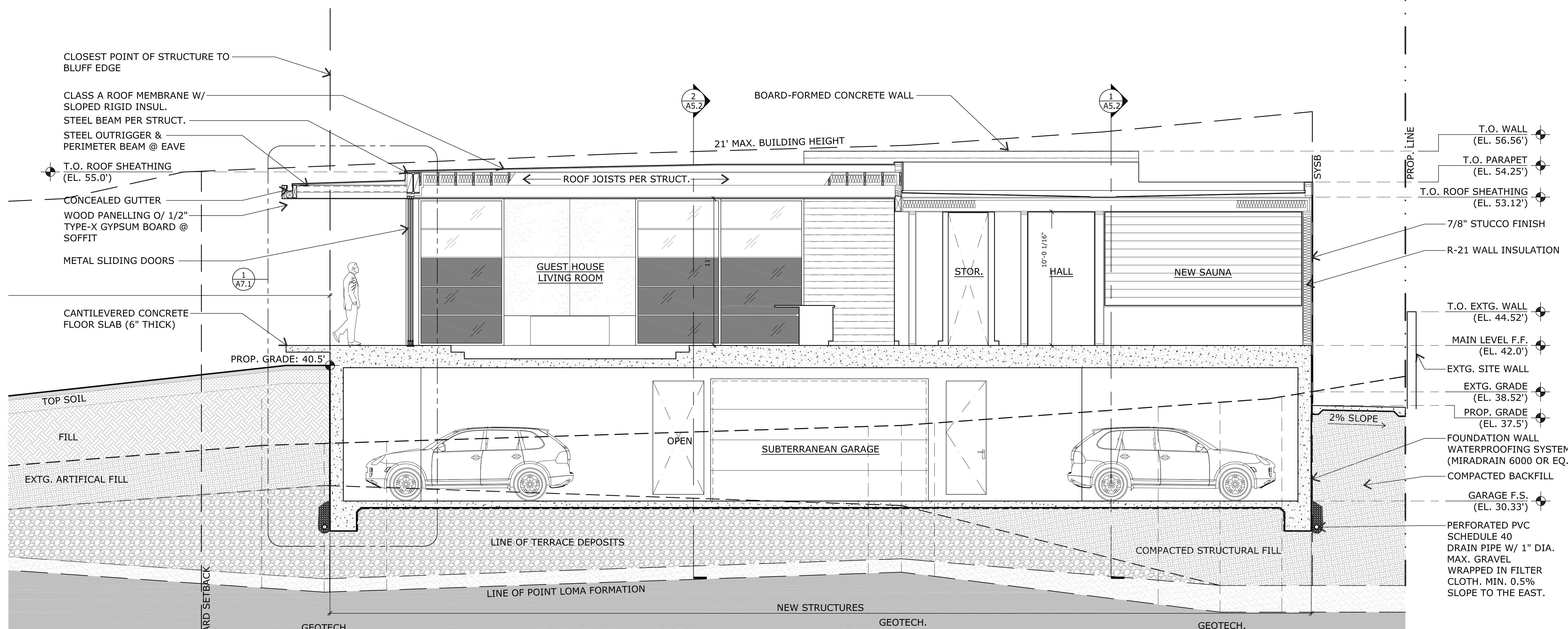
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 5970 CAMINO DE LA COSTA  
 LA JOLLA, CA 92037

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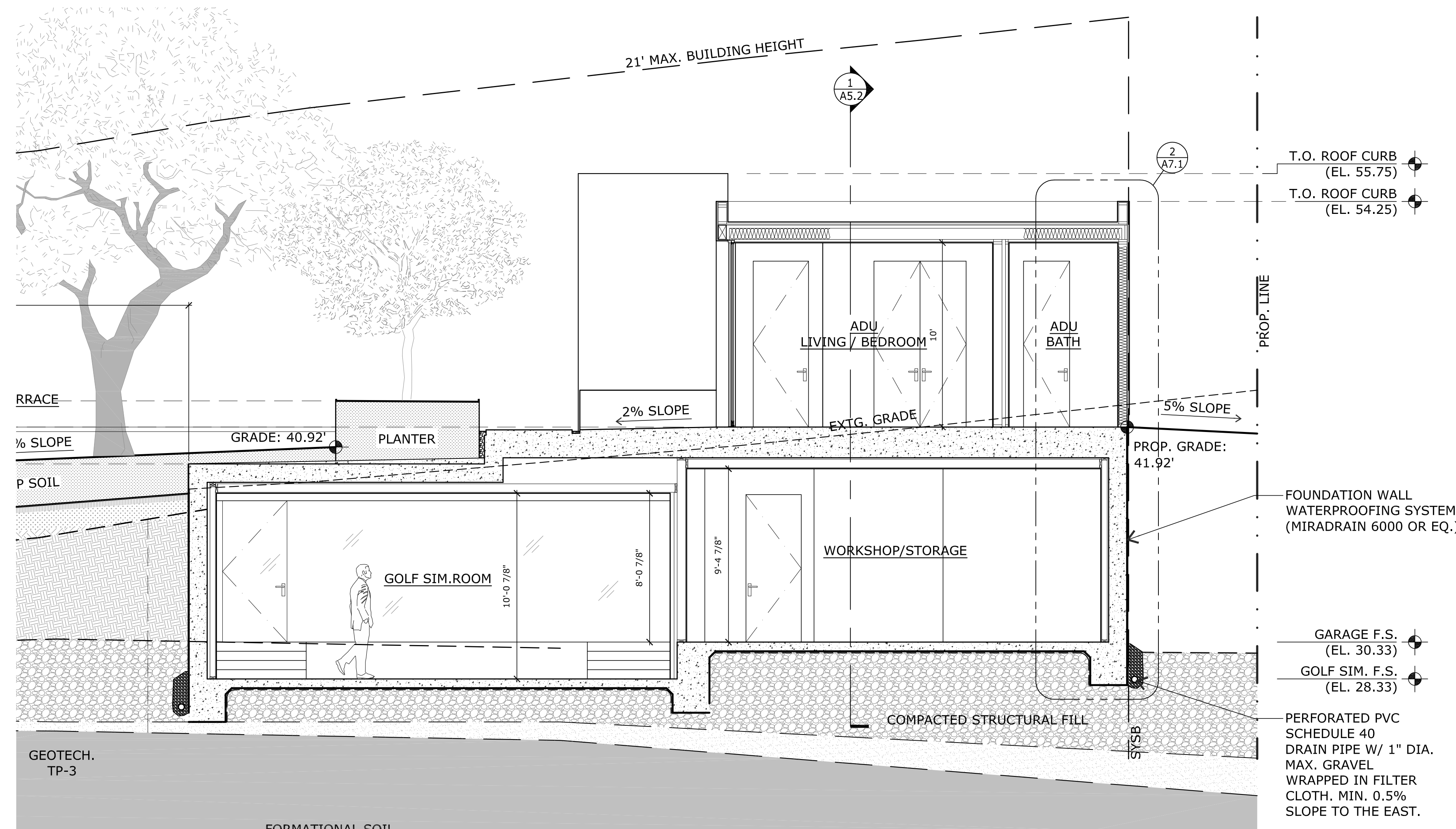
DATE: 05-05-25

BUILDING  
SECTIONS
**A5.1**

5970


**1 SECTION @ GUEST QTRS. / SUB. SPACE**

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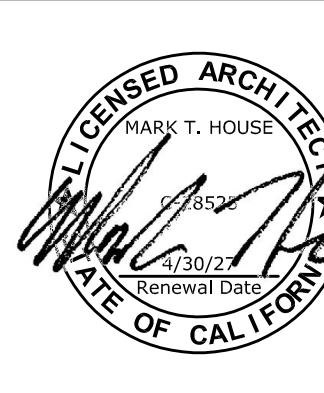

**2 SECTION @ ADU / SUB. SPACE**

SCALE: 1/4" = 1'-0"

| REVISIONS TABLE   |          |   |
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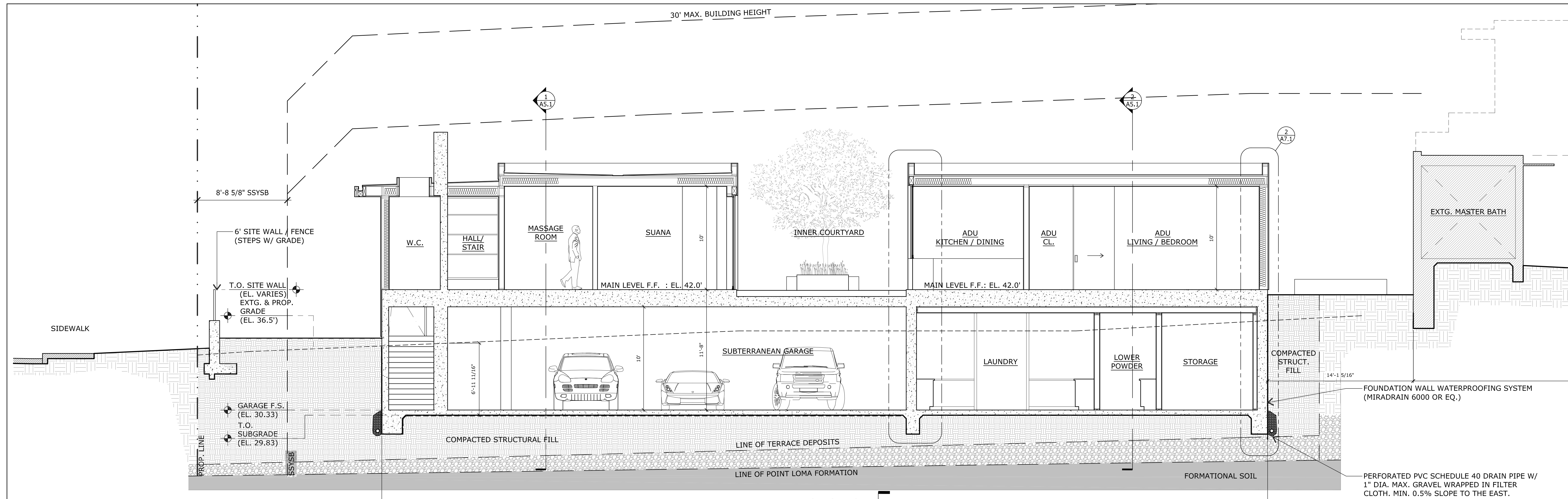
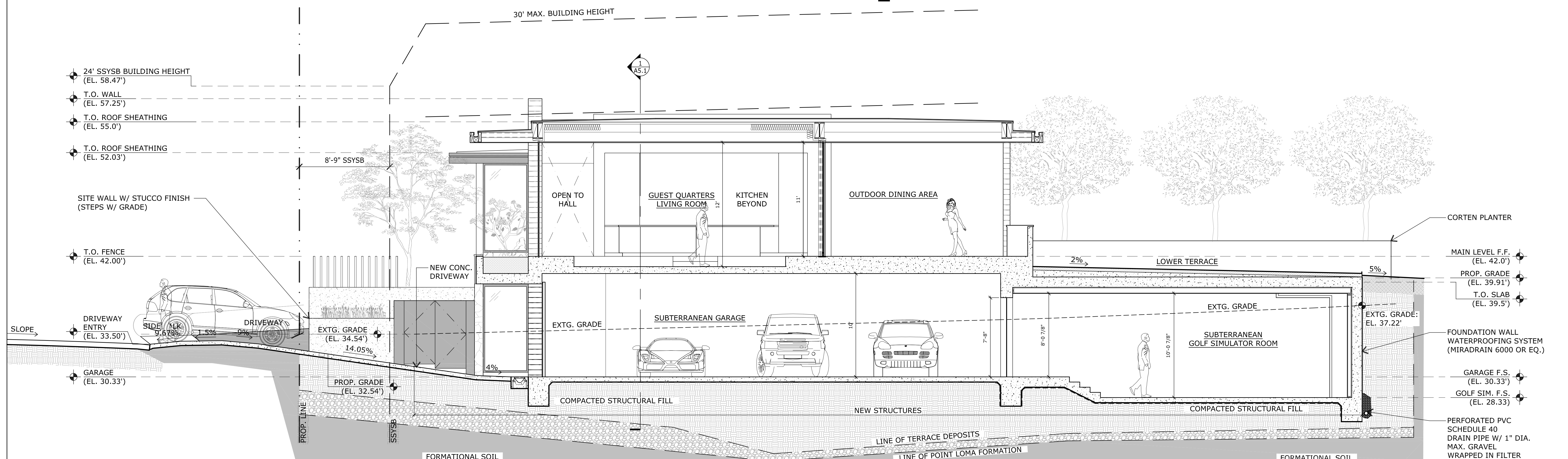
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DATE: 05-05-25

BUILDING  
SECTIONS

A5.2

5970

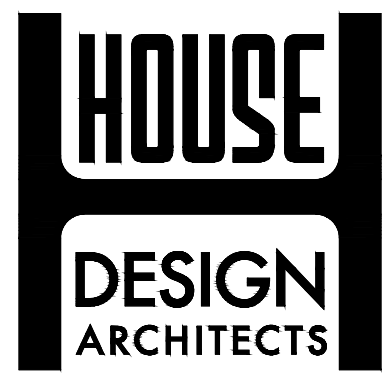
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SCALE: 1/4" = 1'-0"

## REVISIONS TABLE

| NO. | DATE     | REVISION / ISSUE |
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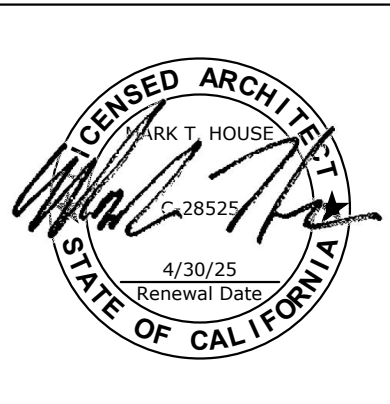




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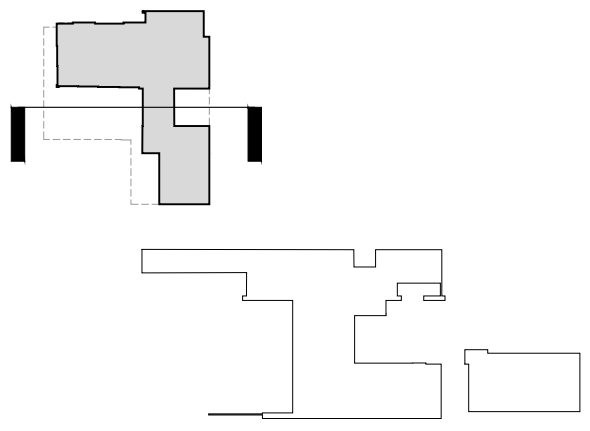
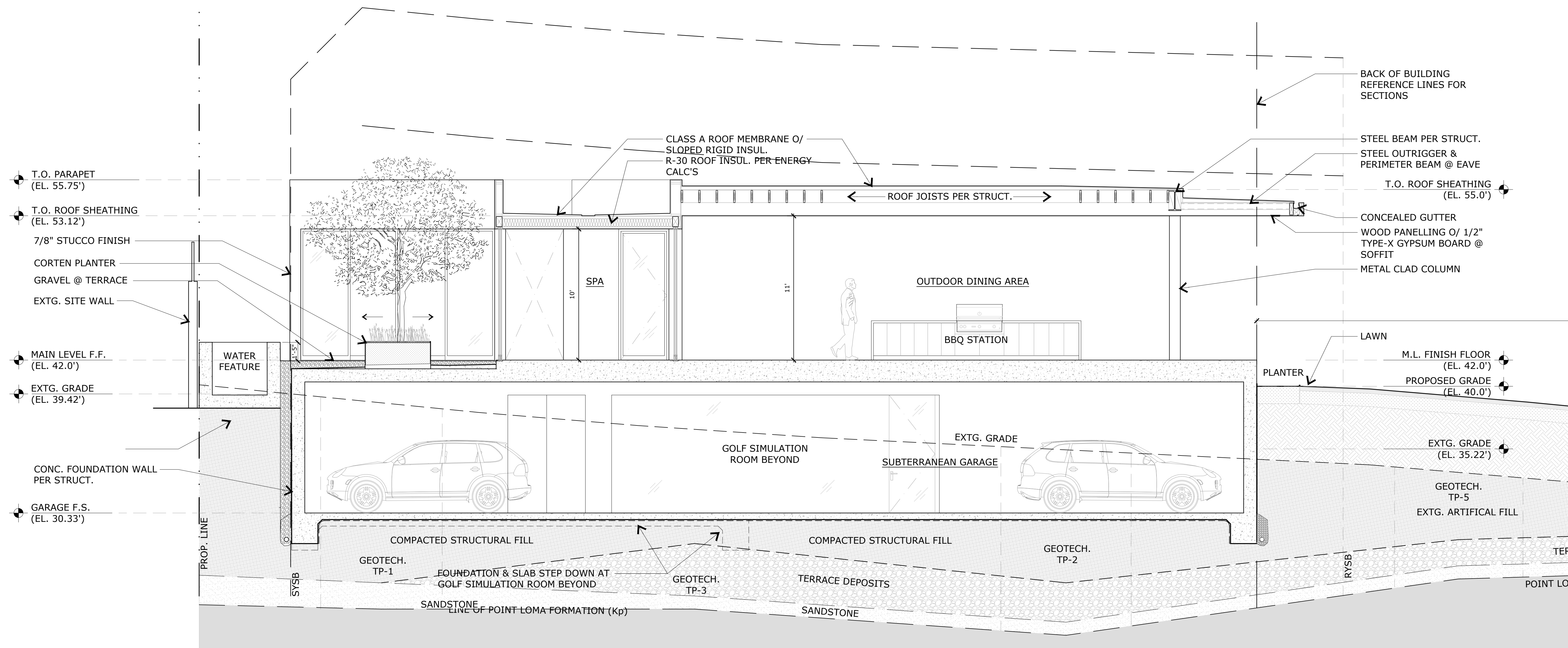
5970 CAMINO DE LA COSTA  
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DATE: 11-22-24

BUILDING SECTIONS

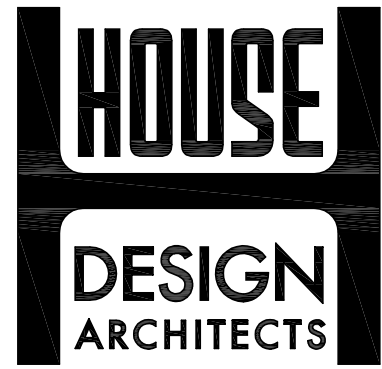
A5.3

5970



1 SECTION - BLDG  
SCALE: 1/4" = 1'-0"

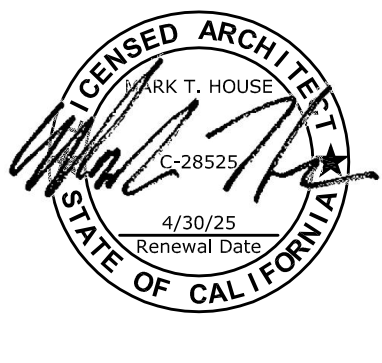
| REVISIONS TABLE   |          |   |  |
|---|----------|---|--|
| NO.   | DATE     | REVISION / ISSUE  |  |
| 1   | 07-08-24 |   |  |
| 5970 CAMINO DE LA COSTA PROJECT<br>5970 CAMINO DE LA COSTA<br>LA JOLLA, CA 92037    |          | DISCRETIONARY PERMIT - CDP / SDP<br>PROJECT NO.<br>PRJ-1091933    |  |
| HOUSE DESIGN ARCHITECTS<br>2150 W. WASHINGTON STREET<br>STE.301, SAN DIEGO CA 92110 |          | SHEET <u>35</u> OF <u>36</u><br>SHEET TITLE:<br>BUILDING SECTIONS |  |



Mark T. House

2150 W. Washington St.  
Suite 301  
San Diego, CA 92110  
619 981- 9707 ph  
HouseDesignArchitects.com

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SUBMISSIONS:

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5970 CAMINO DE LA COSTA  
5970 CAMINO DE LA COSTA  
LA JOLLA, CA 92037

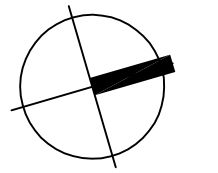
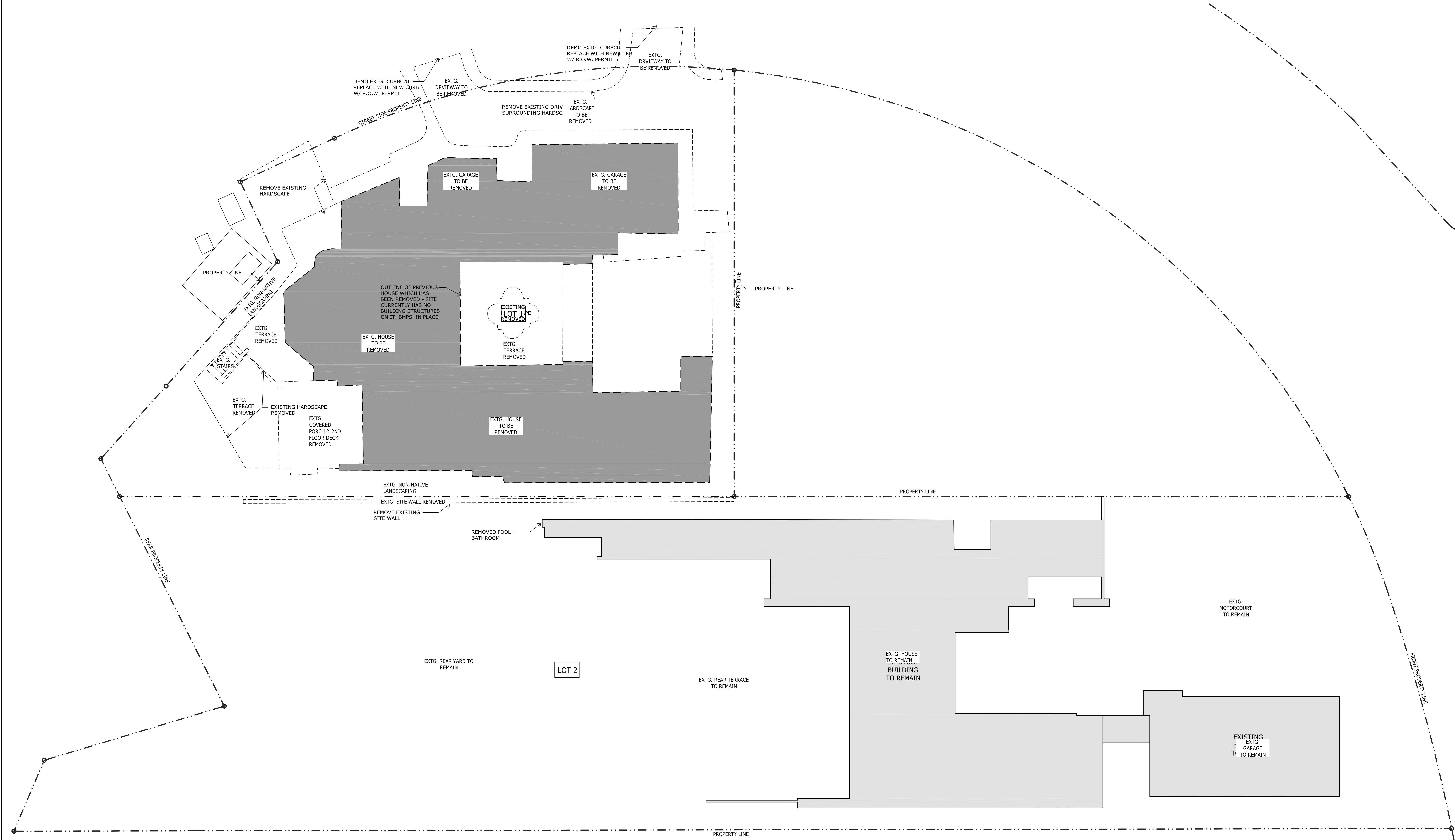
SCALE: 1" = 10'

DATE: 11-27-24

DEMOLITION PLAN

DE-1

5970



DEMOLITION PLAN

SCALE: 1"=10'

| LEGEND  |   | REVISIONS TABLE                  |                       |
|---|---|----------------------------------|-----------------------|
| ---   | PROPERTY LINE                                 | NO.                              | DATE REVISION / ISSUE |
| ----  | HARDSCAPE TO BE REMOVED                       |                                  |                       |
|   | FOOTPRINT OF EXISTING STRUCTURE TO BE REMOVED |                                  |                       |
|   | FOOTPRINT OF EXISTING BUILDING TO REMAIN      |                                  |                       |
| 5970 CAMINO DE LA COSTA PROJECT<br>5970 CAMINO DE LA COSTA<br>LA JOLLA, CA 92037    |   | DISCRETIONARY PERMIT - CDP / SDP |                       |
|   |   | PROJECT NO. PRJ-1091933          |                       |
| HOUSE DESIGN ARCHITECTS<br>2150 W. WASHINGTON STREET<br>STE.301, SAN DIEGO CA 92110 |   | SHEET <u>36</u> OF <u>36</u>     |                       |
|   |   | SHEET TITLE:<br>DEMO. PLAN       |                       |





MAILED  
JAN 18 2023  
CODE ENFORCEMENT  
DIVISION

January 18, 2023

# CIVIL PENALTY NOTICE AND ORDER

**Location:** 5990 Camino de la Costa, San Diego CA

**APN No.:** 357-220-13-00

**Property Owner/  
Responsible Person:** Eric B. Benson, Trustee of the Eric B. Benson Living Trust dated August 20, 1996

**Address:** 5970 Camino de la Costa  
La Jolla, CA 92037

**Zoning Designation:** RS-1-5

You are hereby notified that the property identified above is in violation of the San Diego Municipal Code (SDMC). On **November 23, 2022**, the following violations were observed at the property and must be corrected:

- Property has been demolished to grade. A single CMU block wall sits on the SE corner of the lot. Construction BMP's are in place however they are dilapidated and the silt fence at the driveway is no longer serving its purpose.

This is a violation of the following code section(s):

| <u>Code Section</u>       | <u>Violation Description</u>   |
|---------------------------|--|
| • SDMC §129.0202          | When a Building Permit Is Required   |
| • SDMC §129.0302          | When an Electrical Permit Is Required  |
| • SDMC §129.0402          | When a Plumbing/Mechanical Permit Is Required  |
| • SDMC §129.0111          | General Rules for Construction Permit Inspections  |
| • SDMC §142.0146          | Erosion, Sedimentation and Water Pollution Control   |
| • SDMC §121.0202-121.0203 | Provides the authority regarding enforcement of the Land Development Code.   |
| • SDMC §121.0302          | Requires compliance with the Land Development Code, specifies these violations are not permitted and provides authority for the abatement of public nuisances. |

Project PTS 0680437

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Civil Penalty Notice and Order  
5990 Camino de la Costa  
January 18, 2023

**If you correct the above violations as identified below, you will not be subject to any administrative civil penalties.**

In order to avoid administrative civil penalties, you must correct the violations

**Immediately** (but no later than 10 days), as follows:

- Implement and maintain measures incorporating storm water Best Management Practices on the property.

**By July 19, 2023**, as follows:

- Obtain required Permit(s); To remove or keep unpermitted work successfully complete all required inspections.
- Obtain required Electrical Permit(s) and successfully complete all required inspections.
- Obtain required Plumbing/Mechanical Permit(s) and successfully complete all required inspections
- Successfully complete all required inspections in a timely manner.

All applications for permits must be submitted online. Please go to <https://www.sandiego.gov/development-services> and click on apply for a permit online. Be advised that CED will be reviewing the submitted plans for enforcement compliance.

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**Reinspection fees** are assessed for each inspection after the issuance of a violation notice in accordance with the SDMC §13.0103. An invoice will be sent following each inspection until compliance is achieved. Current reinspection fees range between \$264 and \$295.

Please refer to the San Diego Municipal Code sections cited for additional information via <https://www.sandiego.gov/city-clerk/>.

Additional forms and documents to assist in your compliance efforts are available at: <https://www.sandiego.gov/ced/forms>.

**Failure to Comply with Notice and Order**

If you fail to comply with this Notice and Order in the time and manner set forth above, you are subject to civil administrative penalties pursuant to SDMC §§12.0801-12.0810. The penalty rate for the above listed violation(s) has been established in accordance with SDMC §§12.0801-12.0810 at **\$300.00** per violation per day and shall be an ongoing assessment of penalties at the daily rate until the violations are corrected. Administrative civil penalty amounts are established by the Development Services Director.



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 5990 Camino de la Costa  
 January 18, 2023

The following factors were used in determining the amount:

- the duration of the violation
- the nature and seriousness of the violation
- the history of the violation
- the willfulness of Responsible Person's misconduct
- the Responsible Person's conduct after issuance of the Notice and Order
- the economic impact of the penalty on the Responsible Person
- the impact of the violation upon the community

Pursuant to SDMC §12.0805(a), in determining the date on which civil penalties shall begin to accrue, the Development Services Director considers the date when the Code Enforcement Division first discovered the violations as evidenced by the issuance of a Notice of Violation or any other written correspondence. The date on which the civil penalties began to accrue is **November 23, 2022** and shall end on the date that the violation(s) has been corrected to the satisfaction of the Development Services Director or the Enforcement Hearing Officer.

### **Civil Penalties Hearing**

If you fail to comply with the Notice and Order, written notice of the time and place of an administrative enforcement hearing will be served on you at least 10 calendar days prior to the date of the hearing in accordance with SDMC §12.0403. At the hearing, you may present evidence concerning the existence of the violation(s) and whether the amount of administrative civil penalties assessed was reasonable in accordance with SDMC §12.0808. Failure to attend an administrative enforcement hearing will constitute a waiver of your rights to an administrative hearing and administrative adjudication of the violation(s) set forth above.

### **Administrative Costs**

The Development Services Director or Enforcement Hearing Officer is authorized to assess administrative costs. Administrative costs may include, but are not limited to: staff time to investigate and document violations; laboratory, photographic, and other expenses incurred to document or establish the existence of a violation; and scheduling and processing of the administrative hearing and all actions.

### **Failure to Comply with Administrative Enforcement Order**

If you fail, neglect, or refuse to obey an order to correct the violations, administrative civil penalties will continue to accrue on a daily basis until the violation is corrected. The unpaid amount of administrative civil penalties will be referred to the City Treasurer for collection, recorded as a code enforcement lien against the property in accordance with SDMC §§13.0201-13.0204, and may be referred to the City Attorney to file a court action to recover the unpaid amount. Failure to correct the violations may also result in referral to the City Attorney for further enforcement action.

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January 18, 2023

If you have any questions concerning this Notice and Order, or to schedule a compliance inspection, please contact **Cassidy Anderson, Combination Building Inspector II, at (619) 533-6132.**

MRR/CLA/ao

cc: File  
Council District 1

CED# 0513516

This information will be made available in alternative formats upon request.

5990 Camino de la Costa\_ced105\_CLA