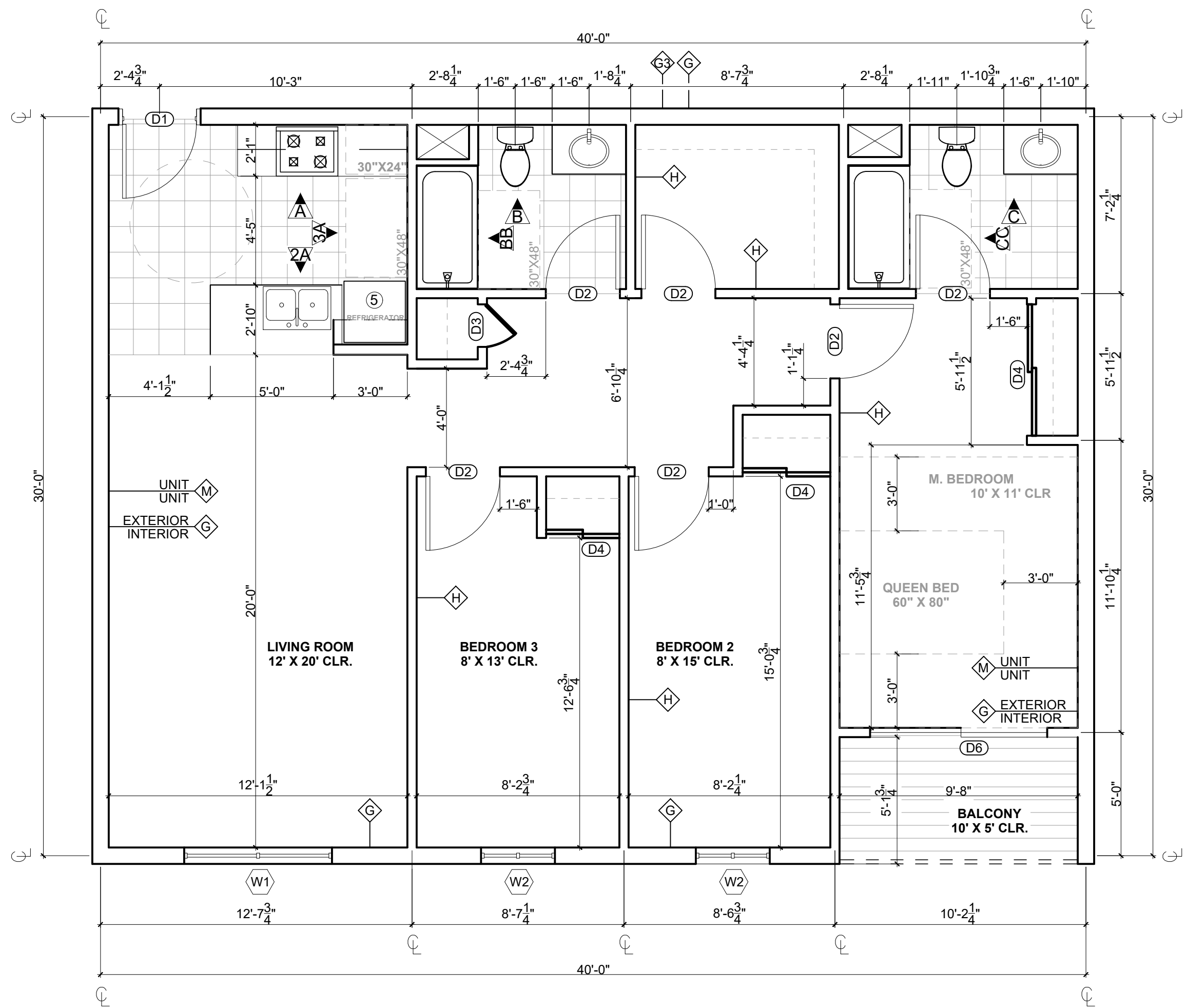
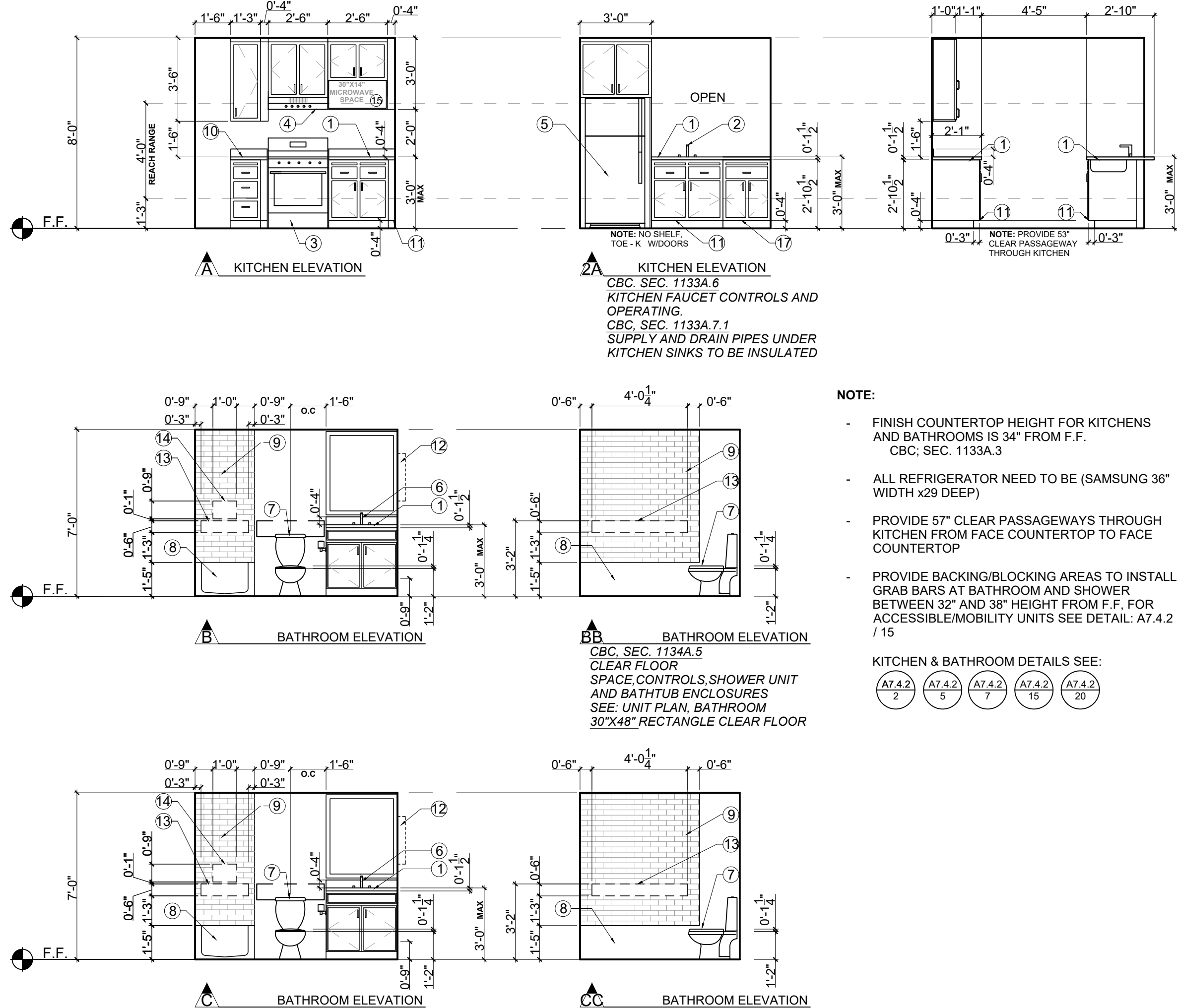




THREE BEDROOM TYPE A - UNIT

SCALE: 1/4" = 1'-0"



INTERIOR ELEVATIONS

SCALE: 1/4" = 1'-0"

REFLECTED CEILING PLAN

SCALE: 1/4" = 1'-0"

INTERIOR FINISHES

- COUNTERS PORCELANOSA -KROIN LUX- 1100 EAST (MADE FROM 100% RECYCLED PRODUCTS) - ALL COUNTER TOPS SINGLE PIECE, 3/4" SLAB WITH HONED FINISH AND SLIGHT BULLNOSE EDGE AND 4 INCH BACK SPLASH ON ALL WALLS, MITRE CORNERS AND CONCEAL SEAMS.
- KITCHEN SINK - KOHLER, 16 GA. SS, VERSE, 33"x22"x9", UNDERMOUNT, K-75793-NA
- RANGE - GE 30" FREESTANDING ELECTRIC RANGE, J625RKSS, 29 1/2"x47"x28", 40 AMPS.
- RANGE HOOD - KENMORE, MODEL 22-51041 - WHITE - 30" WIDE, 6" HIGH IN REAR, 17-1/2" WIDE, 27" ABOVE RANGE AT BOTTOM OF HOOD, 75W WORK LIGHT.
- REFRIGERATOR - KENMORE, 60812, WHITE 29.88" DEEP x 65.38" HEIGHT x 29.88" WIDTH
- BATHROOM VANITY - KOHLER - CAXTON OVAL WHITE, 17"x14", UNDERMOUNT W/ OVERFLOW AND CLAMP ASSEMBLY - K-2210-0
- TOILET - KOHLER WELLWORTH, 2 PIECE, K-3938-0 WHITE
- SHOWER - STERLING/KOHLER ACCORD 60"x32", TUB & SIDEWALLS WITH AIP BACKERBOARD (FOR ADA COMPLIANT GRAB BAR CONNECTIONS), USE APPROPRIATE SHOWER/TUB MIXER AND DRAIN - ADD SHOWER CURTAIN ROD.
- SHOWER ENCLOSURE -
- BREADBOARDS.
- DISABLED ACCESSIBLE DOORS & KICKPLATES.
- SIDE MIRROR IN WALL VANITY
- GRAB BARS - 3'-2" MAX HEIGHT 2'-8" MINIMUM HEIGHT / PROVIDE NECESSARY BACKING ON WALLS
- SHOWER CONTROLS - 4'-0" MAX HEIGHT 3'-3" MINIMUM HEIGHT / PROVIDE NECESSARY BACKING ON WALLS
- NO MICROWAVE (NIC.) - PROVIDE POWER FOR FUTURE INSTALLATION
- REMOVABLE CABINET, NO DISHWASHER (NIC.) - PROVIDE POWER AND DRAINAGE FOR FUTURE INSTALLATION

NOTE:

- FINISH COUNTERTOP HEIGHT FOR KITCHENS AND BATHROOMS IS 34" FROM F.F. CBC, SEC. 1133A.3
- ALL REFRIGERATOR NEED TO BE (SAMSUNG 36" WIDTH X29 DEEP)
- PROVIDE 57" CLEAR PASSAGEWAYS THROUGH KITCHEN FROM FACE COUNTERTOP TO FACE COUNTERTOP
- PROVIDE BACKING/BLOCKING AREAS TO INSTALL GRAB BARS AT BATHROOM AND SHOWER BETWEEN 32" AND 38" HEIGHT FROM F.F. FOR ACCESSIBLE/MOBILITY UNITS SEE DETAIL: A7.4.2 / 15

KITCHEN & BATHROOM DETAILS SEE:

A7.4.2 2 A7.4.2 5 A7.4.2 7 A7.4.2 15 A7.4.2 20

RCP KEY

- SD/CM CARBON MONOXIDE DETECTOR WIRED TO PAEL
- SD SMOKE AND CARBON MONOXIDE DETECTOR
- E EXTERIOR 4" LED CAN
- + VANITY LED FIXTURE
- 4" WALL WASHER LED CAN
- 4" RECESSED LED CAN
- CONCEALED SPRINKLER
- J J BOX
- J J BOX / FAN
- CONCEALED SPRINKLER
- SIDE WALL
- G.B. PAINTED GYPSUM BOARD
- U.O.S. UNDERSIDE OF STRUCTURE
- EL. 0'-0" UNDERSIDE OF STRUCTURE
- VANITY LED FIXTURE (STRAIGHT AND NARROW)
- FLUORESCENT CLOSET LIGHT
- FAN

UNIT LOCATION:

- MAIN FLOOR: -
- 2ND FLOOR: -
- 3RD FLOOR: -
- 4TH FLOOR: -

GENERAL NOTES

- ALL DIMENSIONS ARE TO FACE OF WALL.
- ALL ELECTRICAL CONVENIENCE OUTLETS, LIGHTING, COMMUNICATION SYSTEMS AND APPLIANCE OUTLETS, AS WELL AS SWITCHES AND CONTROLS USED TO CONTROL LIGHTING AND RECEPTACLE OUTLETS, APPLIANCES, ALARMS OR COOLING, HEATING AND VENTILATING EQUIPMENT SHALL BE PER ELECTRICAL DRAWINGS COMPLYING WITH HEIGHT AND REACH RANGES SPECIFICATIONS OF CBC SECTIONS 1136A.1 & 1136A.2
- ALL MECHANICAL VENT, EXHAUST, INTAKE AND MECHANICAL EQUIPMENT SHALL BE PER MANUFACTURER DRAWINGS. AUTOMATIC FIRE SPRINKLER LAYOUT BY SPRINKLER CONTRACTOR - DEFERRED APPROVAL.
- IN ALL UNIT KITCHENS PROVIDE:
ADA CLEARANCE S
REMOVABLE BASE CABINET PER ADA SEE:
- CBC SEC. 1133A.6
- CBC SEC. 1133A.7.1
- CBC SEC. 1133A.3
- CBC SEC. 1133A.7
- EVERY INTERIOR OPENING OR PASSAGE DOOR IN A COVERED DWELLING UNIT MUST PROVIDE A MINIMUM OF 32" NOMINAL CLEAR SPACE BETWEEN THE FACE OF THE DOOR AND THE DOOR STOP, WHEN THE DOOR IS IN A 90 DEGREE OPEN POSITION. A 34" DOOR IS ACCEPTABLE AND STANDARD 6" SLIDING GLASS DOOR IS ACCEPTABLE.
- EXIT DOORS FROM A ROOM CLASSIFIED AS GROUP H OCCUPANCIES SHALL NOT BE PROVIDED WITH A LATCH OR LOCK UNLESS IT IS PANIC HARDWARE OR FIRE EXIT HARDWARE. SEE SHEET T1.04, FIRE-HAZMAT NOTES, #7.
- SIGN ON DOOR TO H-3 READING "DANGER FLAMMABLE LIQUIDS" SHALL BE A MINIMUM OF 3 INCHES HIGH WITH 1/2 INCH STROKE RED LETTERS ON A WHITE BACKGROUND. SEE SHEET T1.04, FIRE-HAZMAT NOTES, #8.
- HAND-ACTIVATED DOOR LATCHING, LOCKING, AND OPENING HARDWARE SHALL BE CENTERED BETWEEN 30 INCHES AND 44 INCHES ABOVE THE FLOOR. LATCHING AND LOCKING DOORS THAT ARE HAND-ACTIVATED AND ON AN ACCESSIBLE ROUTE SHALL BE OPERABLE WITH A SINGLE EFFORT BY LEVEL-TYPE HARDWARE, PANIC BARS, PUSH-PULL ACTIVATING BARS, OR OTHER HARDWARE DESIGNED TO PROVIDE PASSAGE WITHOUT REQUIRING THE ABILITY TO GRASP THE OPENING HARDWARE. LOCKED EXIT DOORS SHALL OPERATE CONSISTENT WITH SECTION 1132A.6, IN THE DIRECTION OF EGRESS. (1132A.8.1)
- THE LEVEL OR LEVEL OF ACTUATED LATCHES OR LOCKS SHALL BE CURVED WITH A RETURN TO WITHIN 1/2 INCH OF THE DOOR TO PREVENT CATCHING ON THE CLOTHING OF PERSONS DURING EGRESS IN GROUP R AND U OCCUPANCIES WITH AN OCCUPANT LOAD GREATER THAN 10. (1132A.8.1)
- ALL REFRIGERATORS TO BE 25" DEPT FROM EDGE OF THE COUNTERTOP SLAB (REFRIGERATOR DIMENSIONS SEE INTERIOR FINISHES NOTES)
- MAX LEVEL CHANGE @ ENTRY DOOR SHOULD BE NO MORE THAN 1/2"
- FINISH FLOORING SHALL BE EXTENDED TO THE WALL BENEATH THE SINK AND WORK SURFACE.

ELECTRICAL GENERAL NOTES

- GROUND FAULT INTERRUPTERS: PROVIDE ICBO APPROVED GFCI FOR ALL EXTERIOR, BATH, DRESSING, KITCHEN AREA OUTLETS AND IN/ AROUND KNOW WATER SOURCE CONTACT AREAS
- ELECTRICAL SUB-CONTRACTOR: VERIFY WITH GENERA CONTRACTOR AND OWNER FOR ANY ADDITIONAL ELECTRICAL REQUIREMENTS AND THEIR LOCATION
- VERIFY LOCATION OF ALL ELECTRICAL SHOWN WITH OWNER AND GENERAL CONTRACTOR AND BRAND NAME, STYLE, AND QUALITY WITH OWNER
- ALL SWITCHES TO BE "SILENT TYPE" 43" AFF. ALL CONVENIENCE OUTLETS 15" ABOVE FLOOR U.O.N
- THE ELECTRICAL CONTRACTOR SHALL VISIT THE SITE OF THE WORK AND THOROUGHLY FAMILIARIZE HIMSELF WITH THE WORK TO BE DONE, TAKING INTO ACCOUNT ANY SPECIAL OR FEATURES PECULIAR TO THIS JOB.
- CONTRACTOR SHALL OBTAIN AND PAY FOR ALL NECESSARY ELECTRICAL PERMIT(S) PRIOR TO JOB START AND OBTAIN PROPER INSPECTION FROM DEPARTMENT OF BUILDING AND SAFETY.
- CONTRACTOR SHALL OBTAIN AND PAY FOR ALL NECESSARY ELECTRICAL PERMIT(S) PRIOR TO JOB START AND OBTAIN PROPER INSPECTION FROM DEPARTMENT OF BUILDING AND SAFETY.
- ANY ERROR OR OMISSIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO BIDDING THE JOB.
- ALL WIRING TO BE THHN OR THWN 600 VOLTS U.O.N..
- ALL FEEDER AND BRANCH CIRCUIT CONDUCTORS ARE BASE ON COPPER CONDUCTOR RATING.
- ALL BALLASTS SHALL BE HPF, C.B.N. AND LOWEST HEAT AVAILABLE, AND U.L. APPROVED.
- ALL FIXTURES SHALL BE U.L. LISTED AND APPROVED FOR THE PURPOSE.
- RECESSED FIXTURES IN FIRED RATED CEILINGS OR SUPPLY AIR PLENUMS SHALL BE APPROVED FOR THE RAING OF THE CEILING. PROVIDE AIR TIGHT GASKETS TO SEAL AROUND OPENINGS.
- STEMS OF PENDANT MOUNTED FIXTURES SHALL BE APPROVED FOR EARTHQUAKE DURABILITY.
- EXACT LOCATION OF EQUIPMENT SHALL BE VERIFIED IN THE FIELD AND ROUTING OF CONDUITS SHALL SUIT FIELD CONDITIONS.
- ALL WIRING SHALL BE INSTALLED IN METALLIC-RIGID OF FLEX CONDUIT FOR COMMERCIAL BUILDING AND AS PER CEC REQUIREMENTS
- MINIMUM WIRE SIZE #12 THW, CU MINIMUM CONDUIT 1/2".
- USE IVORY DECORATIVE RECEPTACLES , SWITCHES, COVER PLATES THROUGHOUT OFFICE AREA.
- ALL SIGNS REQUIRE SEPARATE PERMITS AND APPROVALS.
- ALL EQUIPMENT SHALL BE LISTED BY A NATIONALLY RECOGNIZED TESTING LABORATORY.
- CONDUCTOR PENETRATION OF FIRE RATED PORTIONS OF A STRUCTURE SHALL BE EFFECTIVELY SEALED AND SLEEVED WITH STEEL FLEX 3 FEET EACH SIDE OF PENETRATION, OR OTHER APPLIED METHODS.
- ROMEX TYPE WIRING SHALL BE ALLOWED IN RESIDENTIAL AS PER CEC CODE
- MC FLEX OF RIGID ALLOWED.
- ALL SIGNS SHALL BE CONTROLLED/OPERATED ON A SEPARATE CIRCUIT VIA A SEVEN (7) DAY TIME CLVCK OR PROGRAMMABLE RELAY PANEL.
- ALL LIGHTING SHALL BE CONTROLLED/OPERATED VIA TIME CLVCK OR PROGRAMMABLE RELAY PANEL, EXCEPT THE NIGHTLIGHT AND EMERGENCY LIGHT.
- ELECTRIC VEHICLE CHARGING: ELECTRICAL VEHICLE SUPPLY EQUIPMENT (EVSE) ROUGH-IN ONLY IS REQUIRED IN ONE AND TWO FAMILY DWELLINGS AND TOWNHOMES WITH ATTACHED GARAGES. THE EVSE ROUGH-IN CONSIST OF A MINIMUM 1" CONDUIT EXTENDING FROM THE MAIN PANEL TO JUNCTION BOX WHERE THE EVSE RECEPTACLE BOX WILL BE PROVIDED. THE MAIN SERVICE PANEL MUST BE SIZED TO ACCOMMODATE A FUTURE 208.240V VOLT 40 AMPERE DEDICATED BRANCH CIRCUIT. CALIFORNIA GREEN CODE 4.106.4.

Interior Finishes for RESIDENTIAL UNITS

Key	Manufacturer	Product	Finish/Color	Areas Used
FL-1	SPECTRIM	FEATHERWALK	Middleton Oak	Flooring - All areas throughout unit
FL-2	WESTCOAT ALX	CONC. FLOOR COATING	TBD	Exterior walks, balconies, breezeways, corridors, etc.
PT-1	TBD	GYP BOARD PAINTED	Semi-Gloss	wall surfaces: Kitchens, bathrooms
PT-2	TBD	GYP BOARD PAINTED	Matt	Wall surfaces: Living/dinning/berdrooms/entries/closets
PT-3	TBD	GYP. BOARD PAINTED	Semi-Gloss	All Ceilings
PT-4	TBD	CLEAR FINISH ON WOOD	TBD	Doors
GRA-1	PORCELANOSA	COUNTERS	KROIN LUX	Kitchen and Bath Countertops
PL-1	TBD	WOOD LAMINATE	TBD	Kitchen Cabinets
PL-2	TBD	WOOD LAMINATE	TBD	Bath Cabinets

FLOORING:

Interior Floors throughout, including: kitchens, bathrooms, entries, bedrooms, elevator lobbies, corridors, etc.:

Spectrim 4.5 mm FeatherWalk Glue Down and the 6.5 mm FeatherWalk SPC Pad glued onto 1-1/2" of concrete over wood frame flooring. Plank size 7"x 60". Middleton Oak with 12 mm wear layer and 5 mm pad. Surface Protection: Diamond Coat. Use Spectrim SF Primer and SF Adhesive application throughout and Continuous Spectrim Cove Base-4-1/4" Big Sur with Color to match the Middleton Oak Flooring.

Contact: Drew York - York Hospitality and Gaming - Tel 844-496-7544

Exterior Walks, balconies, breezeways, corridors, etc. Floor Coating over min 1-1/2" of concrete sloped to drain. Westcoat Specialty Coating System - ALX System with all applicable flashing as recommended by manufacturer.

Contact: Marc DiZimmo, Westcoat - Tel 760-802-6374

KITCHENS:

Counters Porcelanosa - KROIN LUX - 1100 EAST (made from 100% recycled products) - all counter tops single piece, 3/4 slab with honed finish and slight bullnose edge and 4 inch back splash on all walls. Mitre corners and conceal seams

Sinks - Kohler 16 ga. SS Verse, 32" x 22" x 9" Under mounted, K75793-NA

Range - Kenmore-94142 30" freestanding electric range, 29 1/2"x48"x36", 50 amp. Range Hood - Kenmore-22-5104, 30" wide, 6" height, 75 w work light

No Microwave (NIC.) / Provide power outlet for future installation

Refrigerator - Kenmore, 60812, White 29.88" Deep x 65.38" Height x 29.88" Width

No dishwasher (NIC.), Provide power outlet and drainage connection for future installation

Garbage Disposal - GE 1/3 HP, Cont Feed, GFC 325V

Wall Surfaces - Gypsum Board painted, semi-gloss, level 4 finish

Ceilings - Gypsum Board painted, semi-gloss, level 4 finish

Upper Cabinet Space for Tenant Supplied Microwave - 30" wide clear, 14" high clear, 30" above cooking surface, provide power outlet in back - 120v AC, 60 hertz, 15 amps, 1600-1700 watts - recommended Kenmore product.

BATHROOMS:

Counters Porcelanosa - KROIN LUX - 1100 EAST (made from 100% recycled products) - all counter tops single piece, 3/4 slab with honed finish and slight bullnose edge and 4 inch back splash on all walls. Mitre corners and conceal seams

Bathroom Lav - Kohler Caxton Oval White, 17" x 14", under-mounted with overflow and clamp assembly - K-2210-0

Tub/Showers throughout: Sterling/Kohler Accord 60"x 32", tub & sidewalls with AIP backerboard (for ADA compliant grab bar connections), use appropriate shower/tub mixer and drain - Add shower curtain rod.

Toilet - Kohler Wellworth, 2 piece, K-3938-0 White

Fans - Fanimation, Spritfire, Matte white, LED 300K

Wall Surfaces - Gypsum Board painted, semi-gloss, level 4 finish

Ceilings - Gypsum Board painted, semi-gloss, level 4 finish

LIVING ROOM/DINING ROOM/BEDROOMS/ BATHROOMS/ENTRIES/CLOSETS:

FLOORING - ALL AREAS THROUGHOUT UNIT

Spectrim 4.5 mm FeatherWalk Glue Down and the 6.5 mm FeatherWalk SPC Pad glued onto 1-1/2" of concrete over wood frame flooring. Plank size 7"x 60". Middleton Oak with 12 mm wear layer and 5 mm pad. Surface Protection: Diamond Coat. Use Spectrim SF Primer and SF Adhesive application throughout and Continuous Spectrim Cove Base-4-1/4" Big Sur with Color to match the Middleton Oak Flooring. Contact: Drew York - York Hospitality and Gaming - Tel 844-496-7544

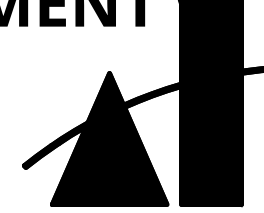
Wall Surfaces - Gypsum Board painted, matt, level 4 finish

Ceilings - Gypsum Board painted, matt, level 4 finish

ACCESS NOTES - UNIT KITCHENS

NOTE: IN ALL UNIT KITCHENS PROVIDE:

- CLEARANCES ADA
- REMOVABLE BASE CABINET PER ADA
- COUNTERS BY PORCELANOSA, KROIN LUX, WITH 4 INCH BACK SPLASH ON ALL WALLS



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DEVELOPER:

REVISIONS:

MERCADO APARTMENTS
2001 NEWTON AVE, SAN DIEGO, CA 92113

SEAL:

SEAL:

SHEET TITLE:

ENLARGE PLAN:
3 BEDROOM - TYPE
A UNIT

DATE: 04/30/2025

SCALE: 1/4" = 1'-0"

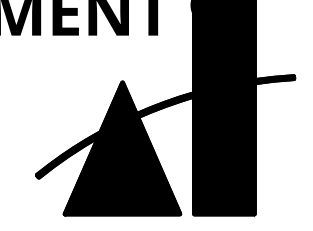
DRAWN BY:

JOB No: 3707

SHEET No:

A5.4

COASTAL DEVELOPMENT PERMIT SET



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DEVELOPER:

REVISIONS:

MERCADO APARTMENTS
2001 NEWTON AVE, SAN DIEGO, CA 92113

SEAL:

COASTAL DEVELOPMENT PERMIT SET
SHEET TITLE:
COMMUNICATION
UNITS ENLARGED
PLAN
DATE: 04/30/2025
SCALE: 1/4" = 1'-0"
DRAWN BY:
JOB No: 3707
SHEET No:
A5.5

Subject	Residential Dwelling Units with Communication Features
References	• 2019 California Building Code (CBC) • 2010 ADA Standards (ADAS)
Purpose	This bulletin summarizes the requirements for residential dwelling units with communication features.

CBC Code Section	Summary
11B-215.5	Fire, smoke, and carbon monoxide (C.O.) alarm systems in residential facilities.
11B-702.1	Audible and visible alarms.
11B-809.5	Residential dwelling units with communication features.
11B-809.5.1-11B-809.5.4	Visible and audible requirements for fire, life and safety systems.
11B-809.5.5	• Hard-wired electric doorbell is required at unit primary entrance. • Audible tone and visible signal in unit. • Visible doorbell signals in sleeping areas shall have accessible controls to deactivate. • Visual identification of visitor required, with 180-degree view.
11B-809.5.6	Where provided, voice communication systems between a building entrance and a Communication Unit shall comply with section 11B-708.4.

Floor Plan Notes

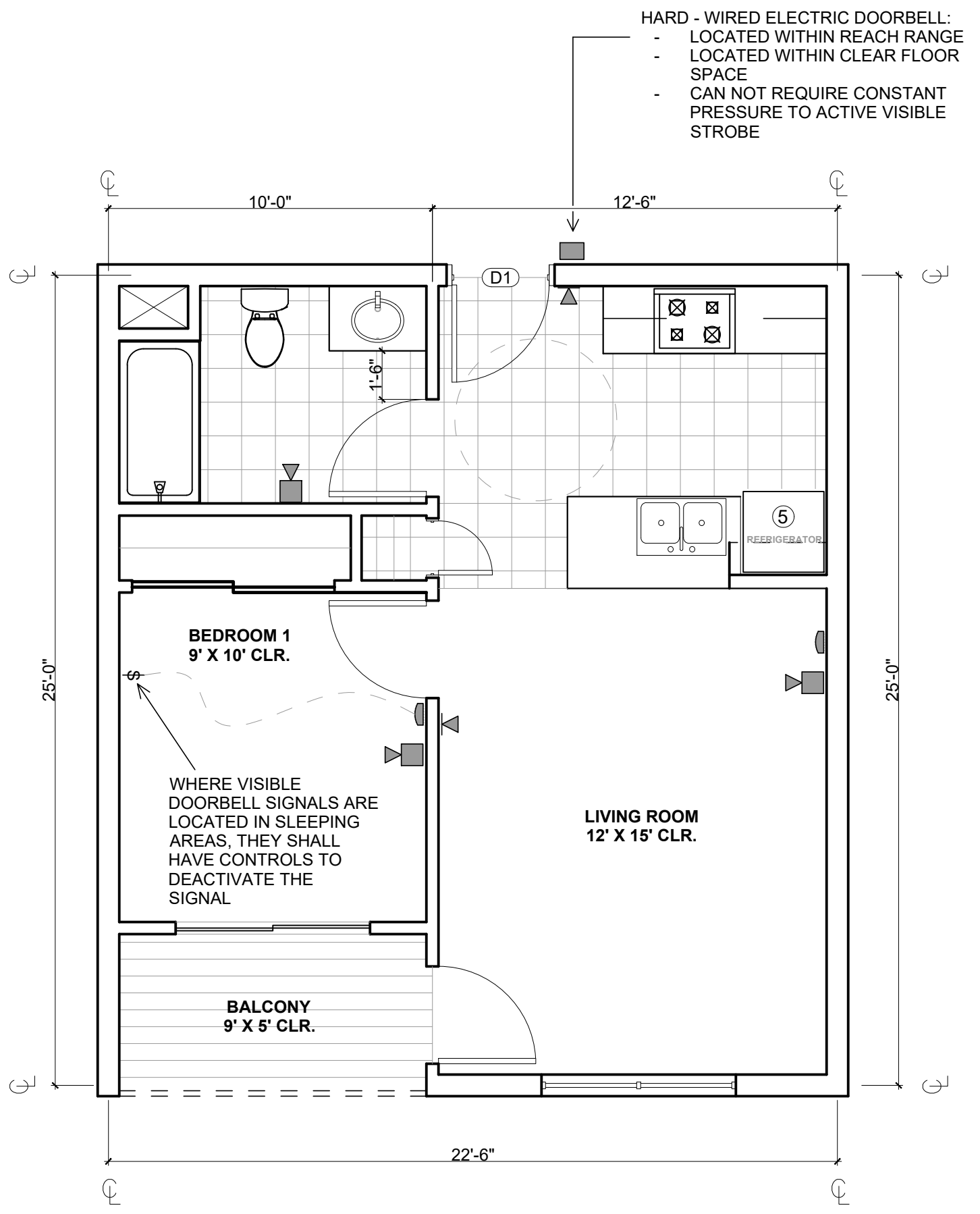
1. All device locations shown are examples only.
2. Visible doorbell notification devices must be separate from all other visible notification devices.
3. Minimum of one (1) audible and one (1) visible notification device is required.

Symbol Key

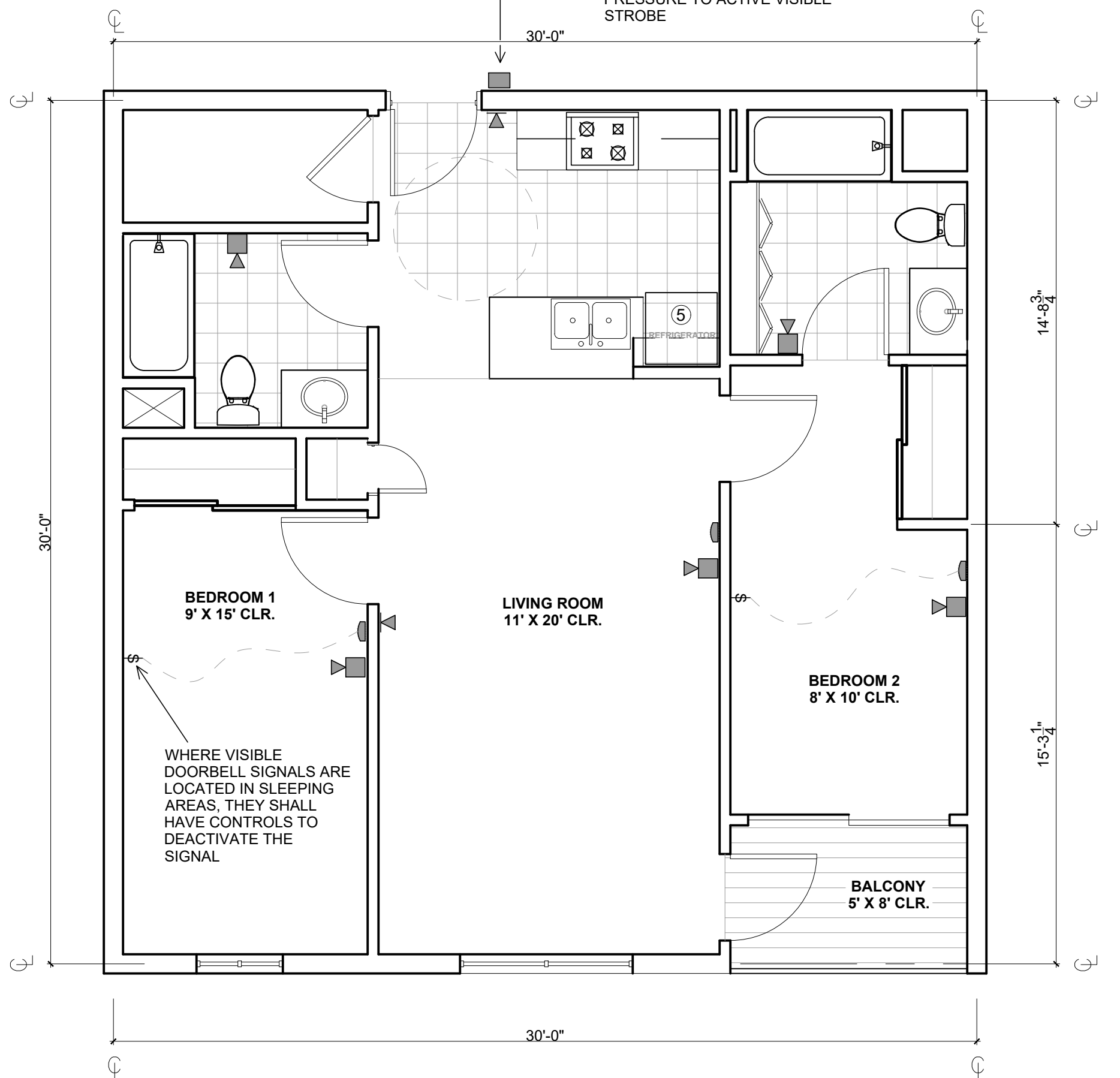
- Visible and audible doorbell
- Visible alarm for fire, smoke, or carbon monoxide (C.O.)
- Telephone jack

Residential Dwelling Unit Terminology

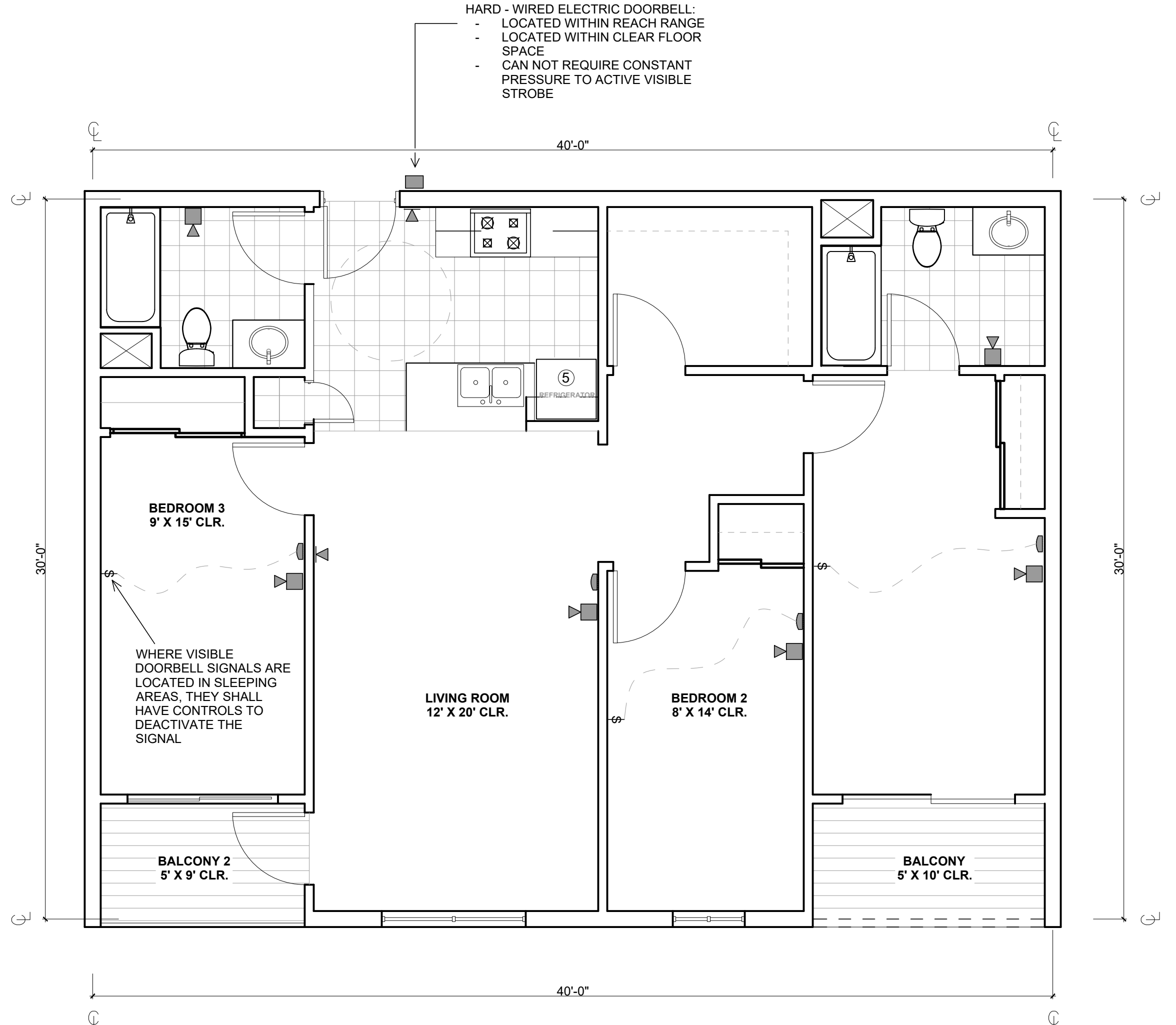
- Mobility Unit:** Residential dwelling unit per 11B-233.3.1.1 providing mobility features complying with Sections 11B-809.2 through 11B-809.4.
- Adaptable Unit:** Residential dwelling unit per 11B-233.3.1.2, providing adaptable accessibility features as required by Sections 11B-233.3.1.2.1 through 11B-233.3.1.2.6.
- Communication Unit:** Residential dwelling unit per 11B-233.3.1.3, providing communication features complying with Section 11B-809.5.



1 ONE BEDROOM UNIT - COMMUNICATION PLAN (CU)
SCALE: 1/4" = 1'-0" MARK: STUDIO



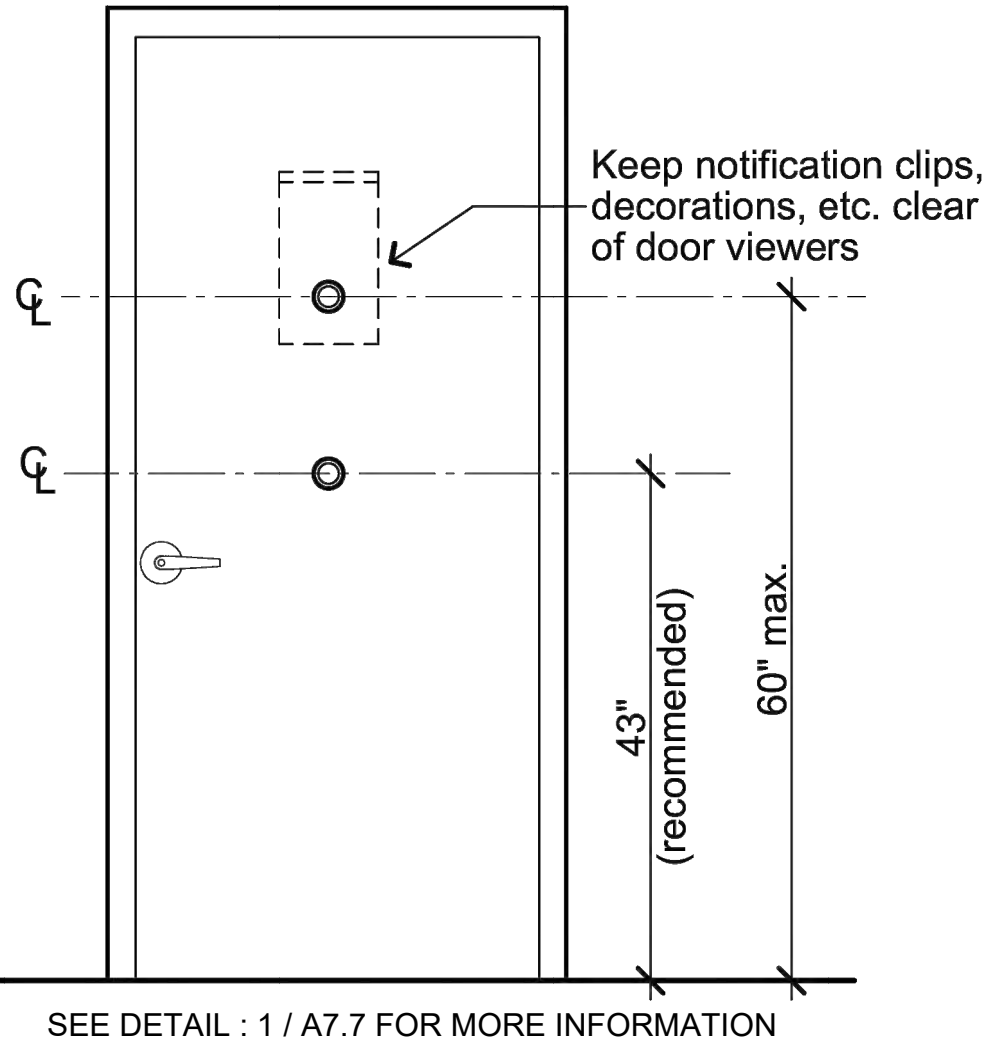
2 TWO BEDROOM UNIT - COMMUNICATION PLAN (CU)
SCALE: 1/4" = 1'-0" SEE FLOOR PLAN: MARK: 1 BR



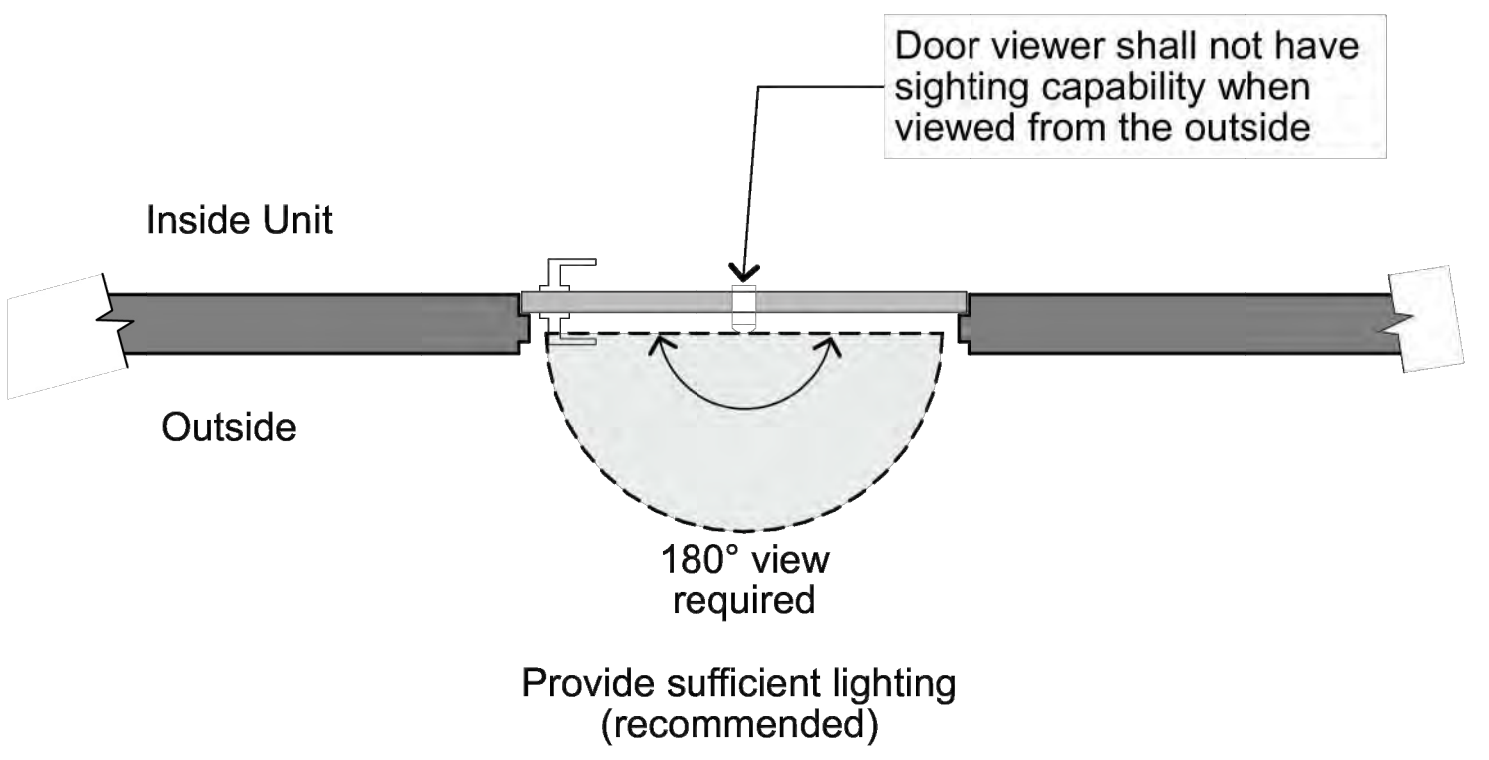
3 THREE BEDROOM UNIT - COMMUNICATION PLAN (CU)
SCALE: 1/4" = 1'-0" SEE FLOOR PLAN: MARK: 2 BR
SEE WALL SCHEDULE : A8.6

COMMUNICATION UNITS
LOCATION

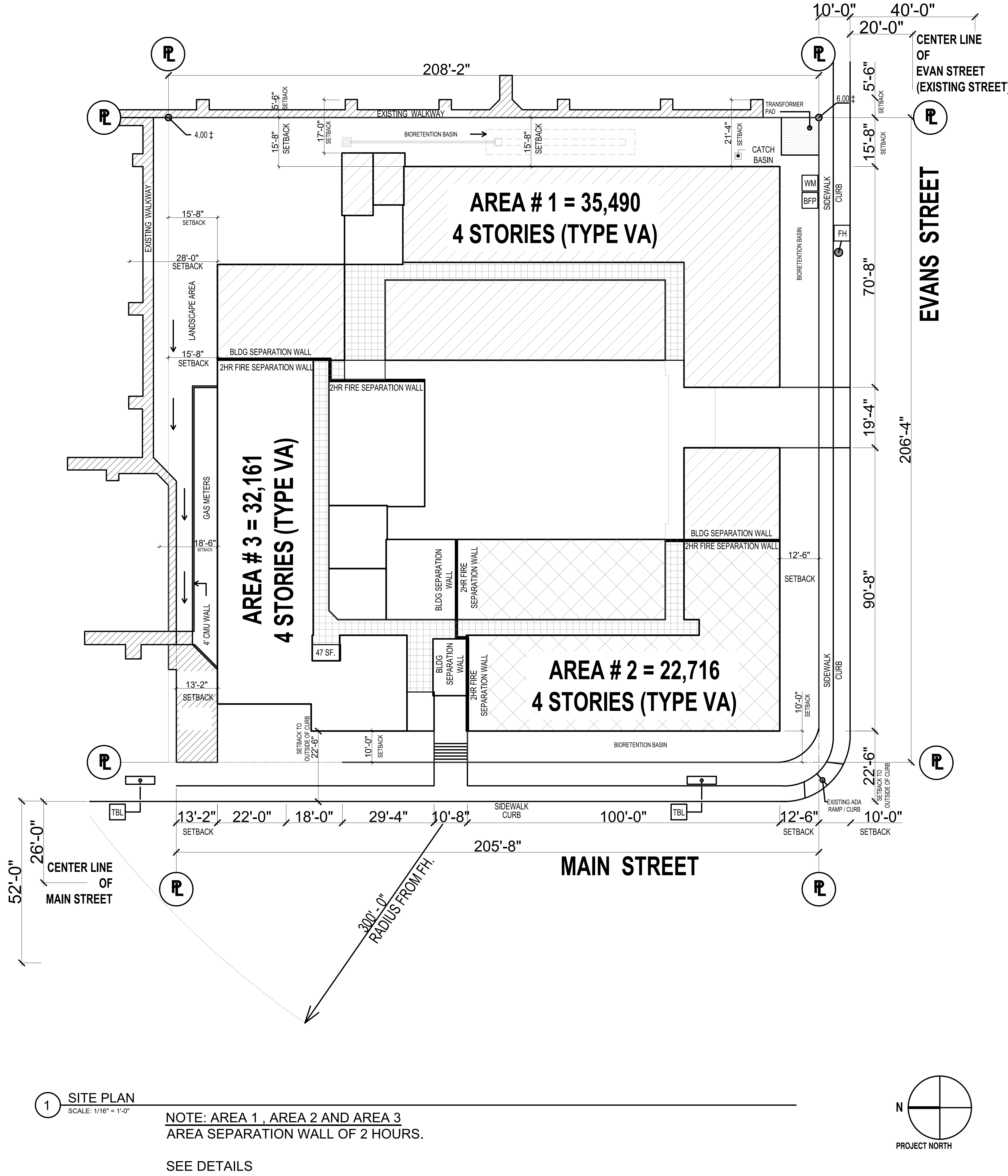
- MAIN FLOOR: 101, 104, 107, 110, 114 & 117
- 2ND FLOOR: 214, 223 & 224
- 3RD FLOOR: -
- 4TH FLOOR: -
- *C= COMMUNICATIONS UNIT
TOTAL (10% UNITS) = 19 UNITS
- SEE SHEE: A1.0 (GROUND LEVEL FLOOR PLAN)



4 DOOR VIEWER - ELEVATION
SCALE: NO SCALE



5 DOOR VIEWER PLAN / SECTION
SCALE: NO SCALE



NOTE: AREA 1, AREA 2 AND AREA 3
AREA SEPARATION WALL OF 2 HOURS.

SEE DETAILS



506.2.3 Single-Occupancy, Multistory Buildings The allowable area of a single-occupancy building with more than one story above grade plane shall be determined in accordance with Equation 5-2: $A_a = [A_s + (NS \times I_f)] \times S_f \quad \text{(Equation 5-2)}$ where: A_a = Allowable area (square feet). A_s = Tabular allowable area factor (NS, S13R, S13D or SM value, as applicable) in accordance with Table 506.2. NS = Tabular allowable area factor in accordance with Table 506.2 for a nonsprinklered building (regardless of whether the building is sprinklered). I_f = Area factor increase due to frontage (percent), as calculated in accordance with Section 506.3. S_f = For other than Group A, E, H, I, L and R occupancies, high-rise buildings, and other applications listed in Section 1.11 regulated by the Office of the State Fire Marshal, actual number of building stories above grade plane, not to exceed three. For Group A, E, H, I, L and R occupancies, high-rise buildings, and other applications listed in Section 1.11 regulated by the Office of the State Fire Marshal, actual number of building stories above grade plane, not to exceed two. No individual story shall exceed the allowable area (A_a) as determined by Equation 5-2 using the value of $S_f = 1$.	
506.3.3 Amount of Increase The area factor increase based on frontage shall be determined in accordance with Equation 5-5: $I_f = [F/P + 0.25]W/30 \quad \text{(Equation 5-5)}$ where: I_f = Area factor increase due to frontage. F = Building perimeter that fronts on a public way. P = or open space having minimum distance of 20 feet (6096 mm). P = Perimeter of entire building (feet). W = Width of public way or open space (feet) in accordance with Section 506.3.2.	
F: NA	P: NA W: NA

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DEVELOPER:

REVISIONS:

SHEET TITLE:
AREA SEPARATION
DIAGRAM

DATE: 04/30/2025

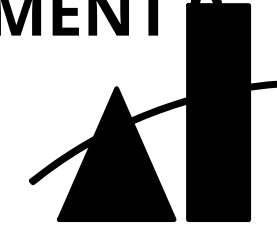
SCALE: 1/16"

DRAWN BY:

JOB No: 3707

SHEET No:
A5.7

COASTAL DEVELOPMENT PERMIT SET



MARTINEZ + CUTRI
URBAN STUDIO
CORPORATION

Architecture Planning
Interiors Urban Design
1230 Columbia Street 2 Columbia
San Diego, CA Suite 500
92101
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Fax (619) 233-7417
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DEVELOPER:

REVISIONS:

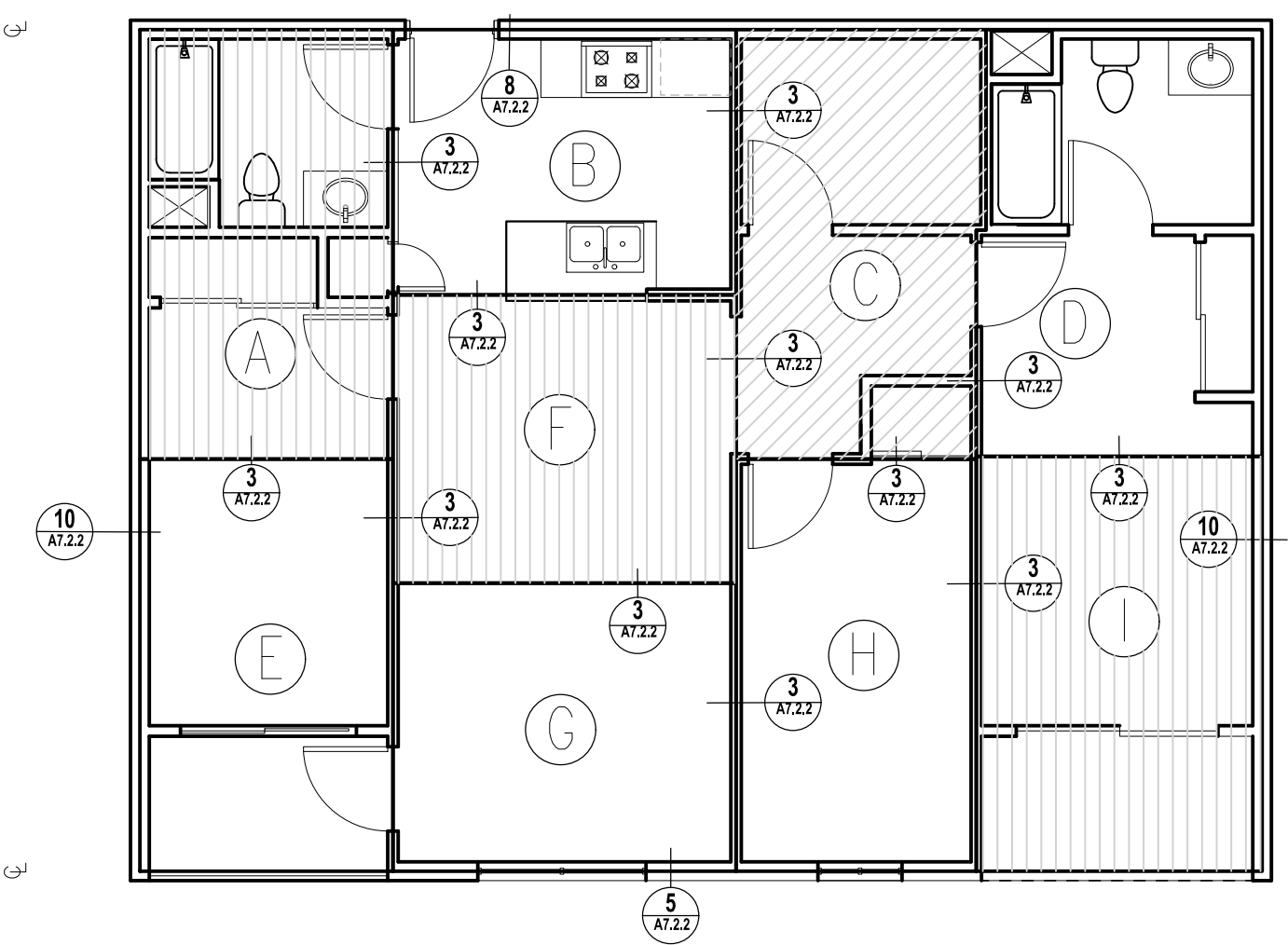
MERCADO APARTMENTS
2001 NEWTON AVE, SAN DIEGO, CA 92113

SEAL:

SHEET TITLE:
160CU SF UNIT PLAN
SEPARATION
DIAGRAMS

DATE: 04/30/2025
SCALE:
DRAWN BY:
JOB No: 3707
SHEET No:
A5.7.1

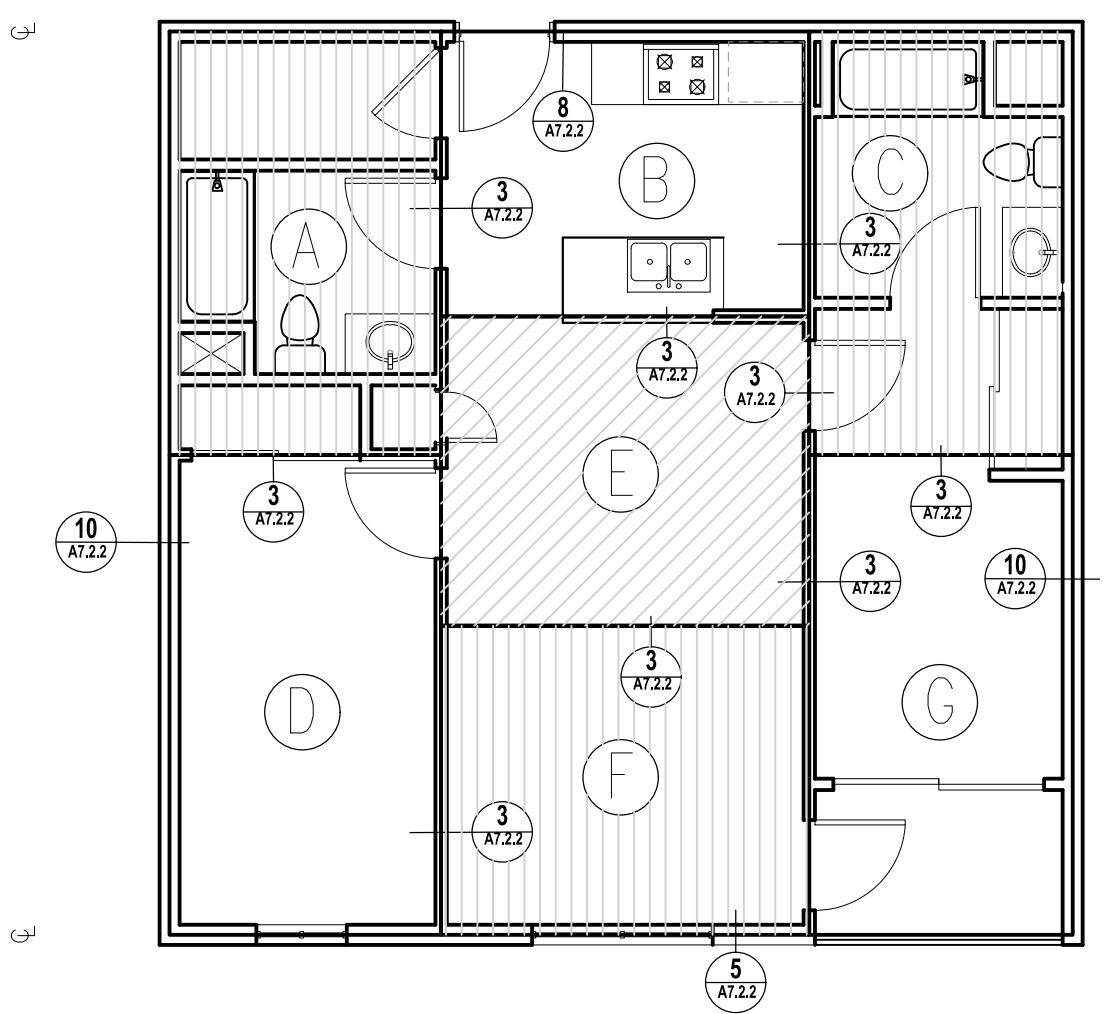
COASTAL DEVELOPMENT PERMIT SET



THREE BEDROOM

- ZONE A $9.02' \times 15.21' \times 12''$ (TJI)= 137.2cu.ft. < 160cu.ft.
ZONE B $12.23' \times 9.46' \times 12''$ (TJI)= 115.7cu.ft. < 160cu.ft.
ZONE C $(8.92' \times 7.15')+(8.56' \times 8.06') \times 12''$ (TJI)
= 132.77cu.ft. < 160cu.ft.
ZONE D $(9.83' \times 7.15')+(10.19' \times 8.06') \times 12''$ (TJI)
= 152.41cu.ft. < 160cu.ft.
ZONE E $9.02' \times 14.79' \times 12''$ (TJI)= 133.41cu.ft. < 160cu.ft.
ZONE F $12.23' \times 10.27' \times 12''$ (TJI)= 125.6cu.ft. < 160cu.ft.
ZONE H $8.56' \times 14.79' \times 12''$ (TJI)= 126.6cu.ft. < 160cu.ft.
ZONE I $10.19' \times 14.79' \times 12''$ (TJI)= 150.71cu.ft. < 160cu.ft.

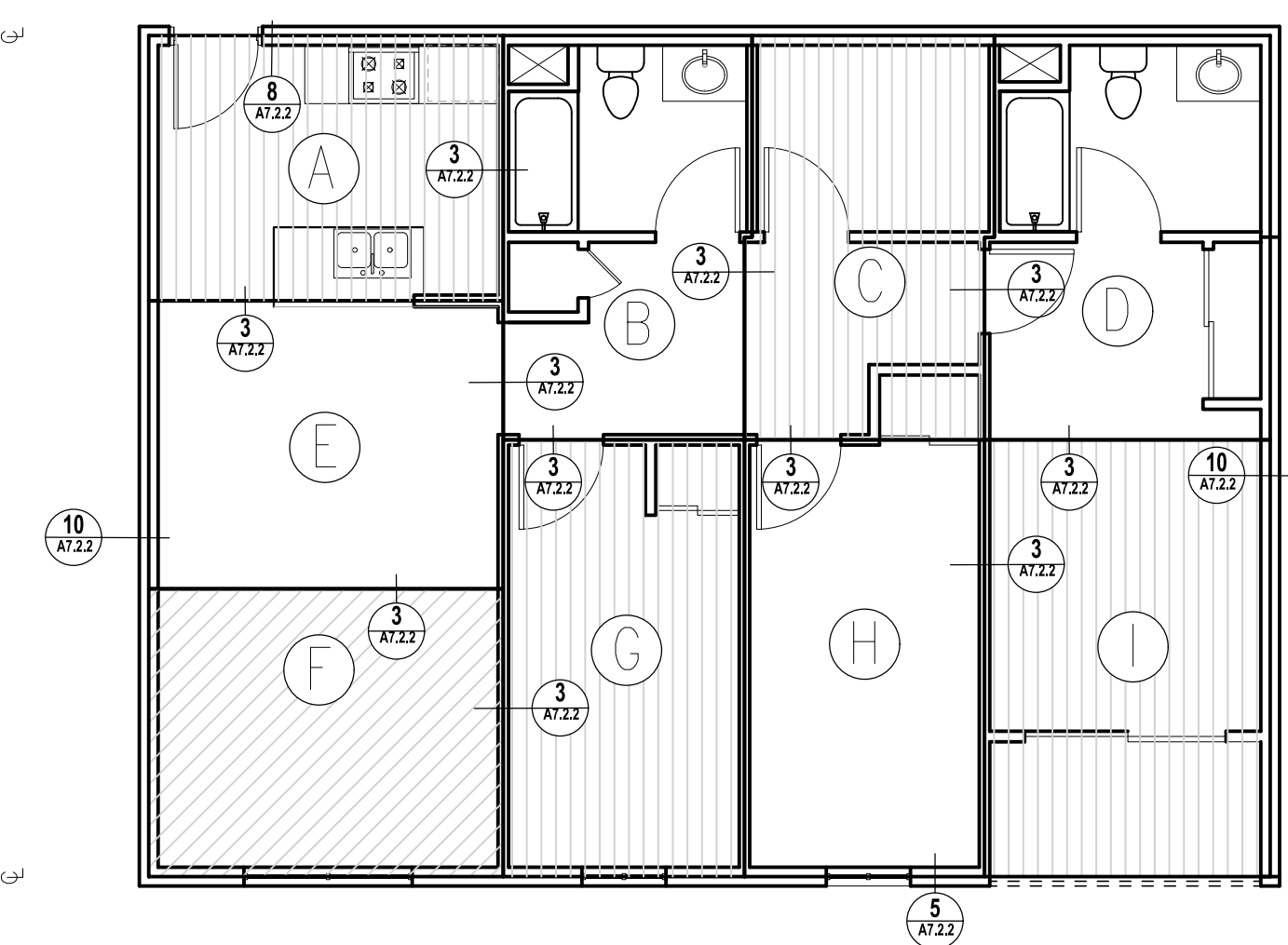
SEE SHEET A7.2.2 FOR REFERENCE DETAILS



TWO BEDROOM

- ZONE A $9.02' \times 14.06' \times 12''$ (TJI)= 126.82cu.ft. < 160cu.ft.
ZONE B $12.23' \times 9.46' \times 12''$ (TJI)= 115.7cu.ft. < 160cu.ft.
ZONE C $8.75' \times 14.06' \times 12''$ (TJI)= 123.03cu.ft. < 160cu.ft.
ZONE D $9.02' \times 15.94' \times 12''$ (TJI)= 143.78cu.ft. < 160cu.ft.
ZONE E $12.23' \times 10.27' \times 12''$ (TJI)= 125.6cu.ft. < 160cu.ft.
ZONE G $8.75' \times 15.94' \times 12''$ (TJI)= 139.48cu.ft. < 160cu.ft.

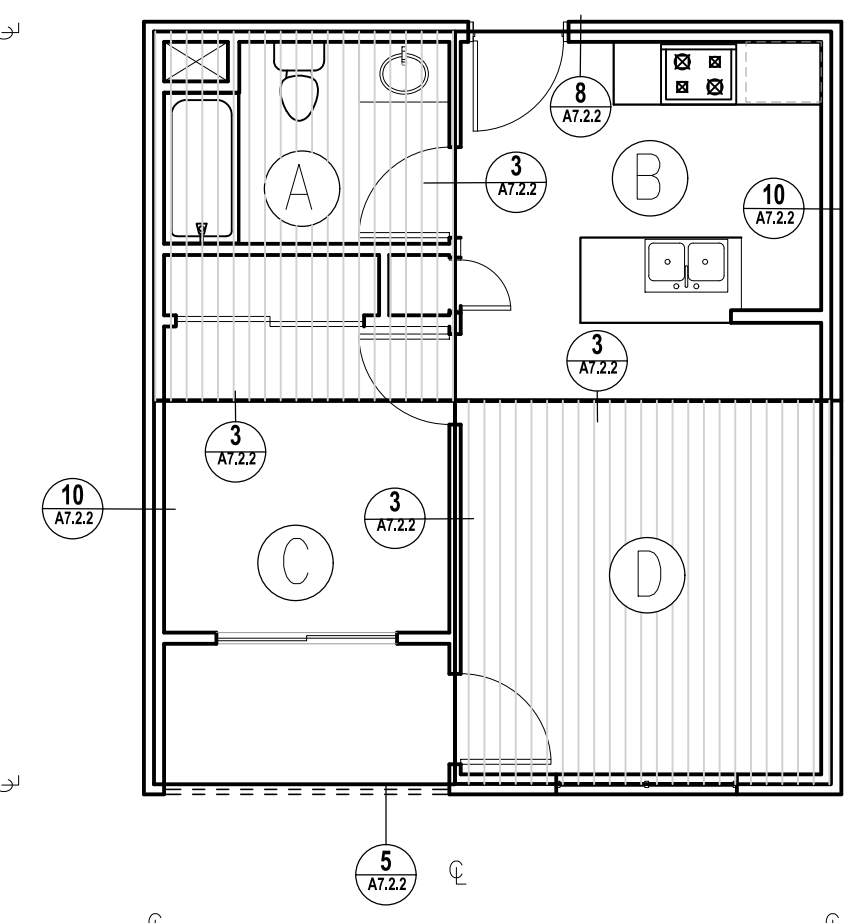
SEE SHEET A7.2.2 FOR REFERENCE DETAILS



THREE BEDROOM (TYPE A)

- ZONE A $12.65 \times 9.46 \times 12''$ (TJI)= 119.67cu.ft. < 160cu.ft.
ZONE B $(8.88 \times 7.19')+(8.6' \times 7.23') \times 12''$ (TJI)
= 126.03cu.ft. < 160cu.ft.
ZONE C $(8.65' \times 7.19')+(8.56' \times 7.23') \times 12''$ (TJI)
= 124.08cu.ft. < 160cu.ft.
ZONE D $(9.83' \times 7.19')+(10.19' \times 7.23') \times 12''$ (TJI)
= 144.35cu.ft. < 160cu.ft.
ZONE E $12.65' \times 10.27' \times 12''$ (TJI)= 129.92cu.ft. < 160cu.ft.
ZONE G $8.6' \times 15.85' \times 12''$ (TJI)= 136.31cu.ft. < 160cu.ft.
ZONE H $8.56' \times 15.58' \times 12''$ (TJI)= 135.68cu.ft. < 160cu.ft.
ZONE I $10.19' \times 15.58' \times 12''$ (TJI)= 158.76cu.ft. < 160cu.ft.

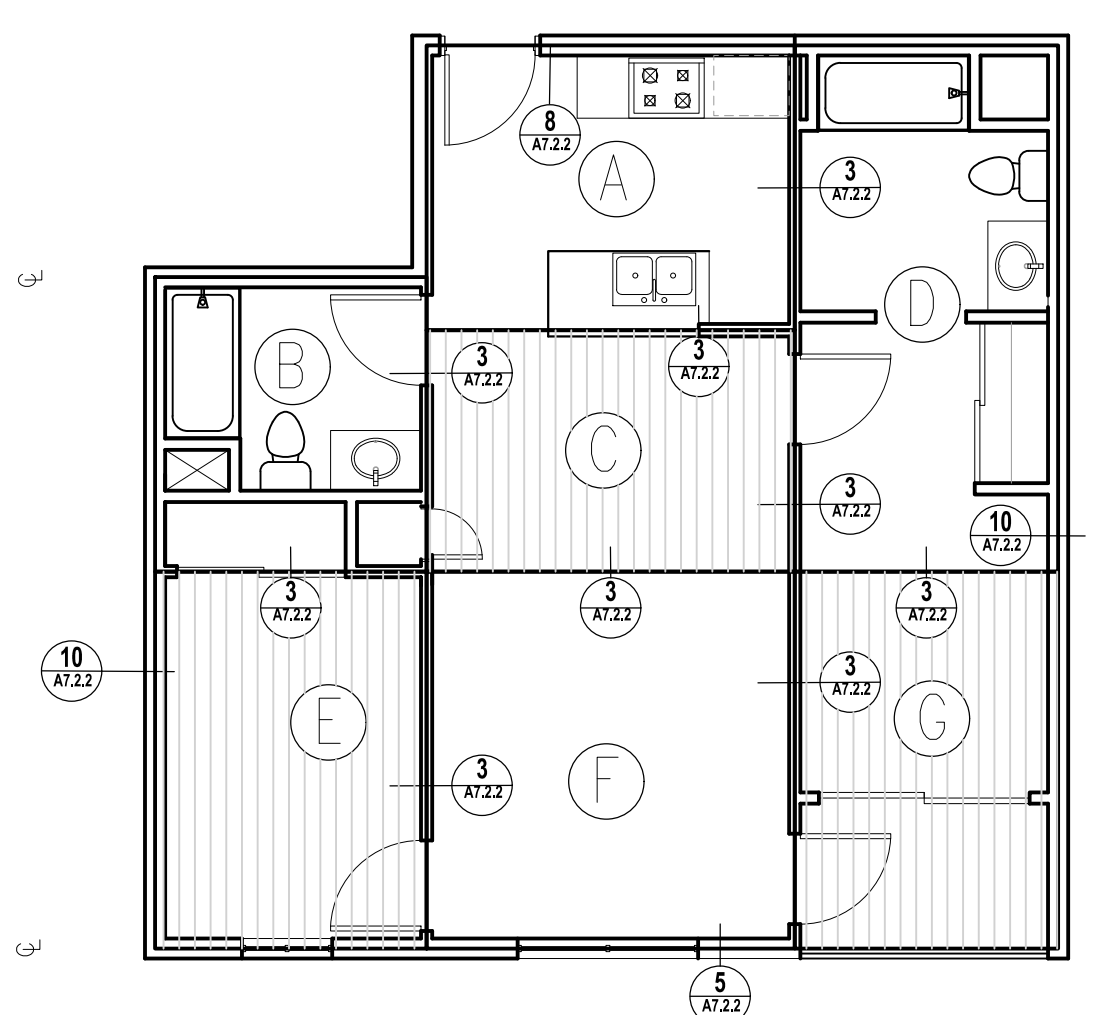
SEE SHEET A7.2.2 FOR REFERENCE DETAILS



ONE BEDROOM

- ZONE A $10.0' \times 12.25' \times 12''$ (TJI)= 122.5cu.ft. < 160cu.ft.
ZONE B $12.5' \times 12.25' \times 12''$ (TJI)= 153.13cu.ft. < 160cu.ft.
ZONE C $10.0' \times 12.75' \times 12''$ (TJI)= 127.5cu.ft. < 160cu.ft.
ZONE D $12.5' \times 12.75' \times 12''$ (TJI)= 159.38cu.ft. < 160cu.ft.

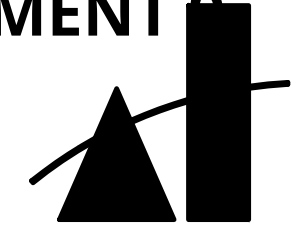
SEE SHEET A7.2.2 FOR REFERENCE DETAILS



TWO BEDROOM (TYPE A)

- ZONE A $12.23' \times 9.46' \times 12''$ (TJI)= 115.7cu.ft. < 160cu.ft.
ZONE B $9.02' \times 9.79' \times 12''$ (TJI)= 88.31cu.ft. < 160cu.ft.
ZONE C $12.23' \times 8.02' \times 12''$ (TJI)= 98.08cu.ft. < 160cu.ft.
ZONE D $8.75' \times 17.48' \times 12''$ (TJI)= 152.95cu.ft. < 160cu.ft.
ZONE E $9.02' \times 12.52' \times 12''$ (TJI)= 112.93cu.ft. < 160cu.ft.
ZONE F $12.23' \times 12.52' \times 12''$ (TJI)= 153.12cu.ft. < 160cu.ft.
ZONE G $8.75' \times 12.52' \times 12''$ (TJI)= 109.55cu.ft. < 160cu.ft.

SEE SHEET A7.2.2 FOR REFERENCE DETAILS

MARTINEZ + CUTRI
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DEVELOPER:

REVISIONS:

MERCADO APARTMENTS
2001 NEWTON AVE, SAN DIEGO, CA 92113

SEAL:

SHEET TITLE:
160CU SF CORRIDOR
/BREEZEWAY
SEPARATION
DIAGRAM

DATE: 04/30/2025

SCALE:

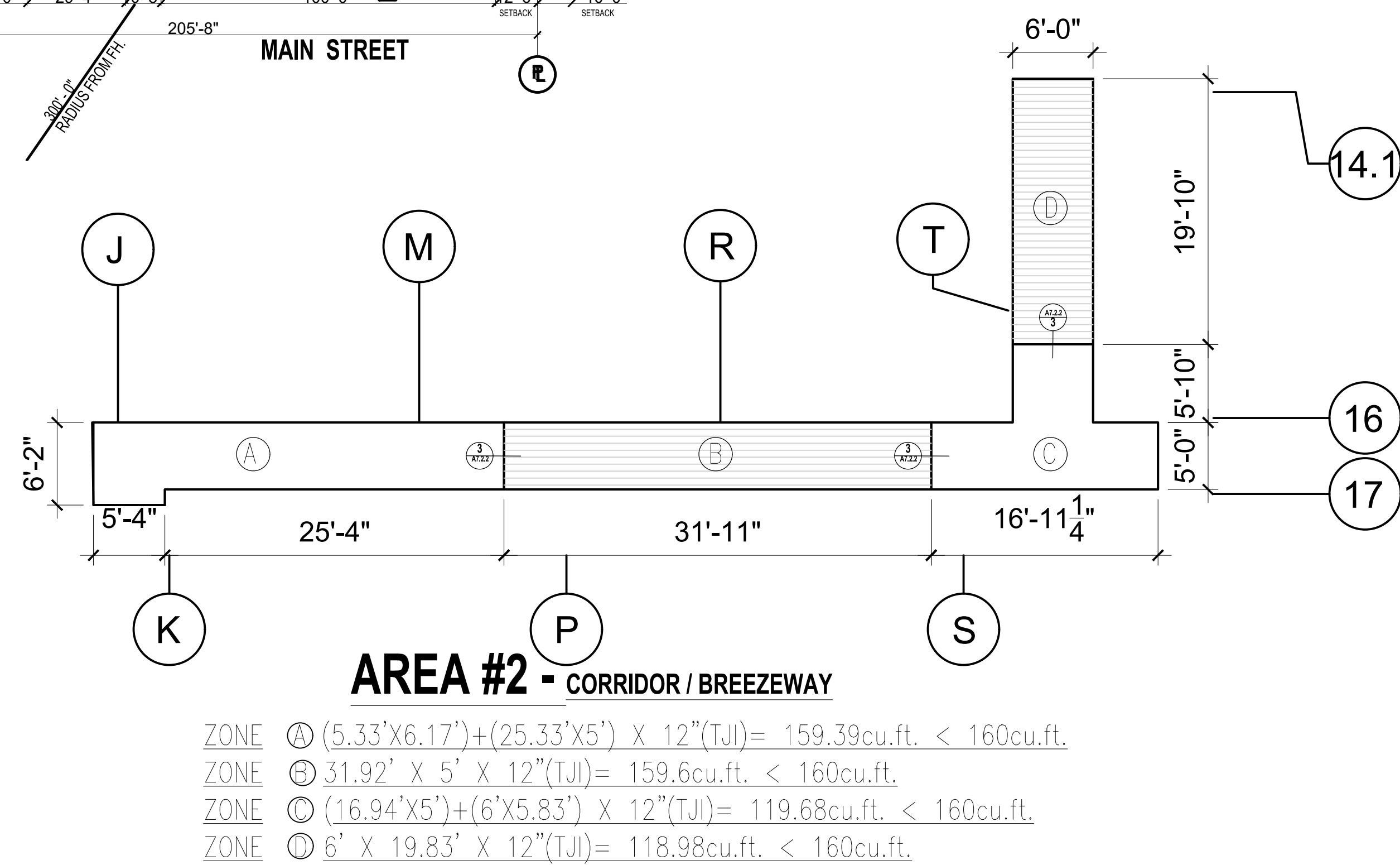
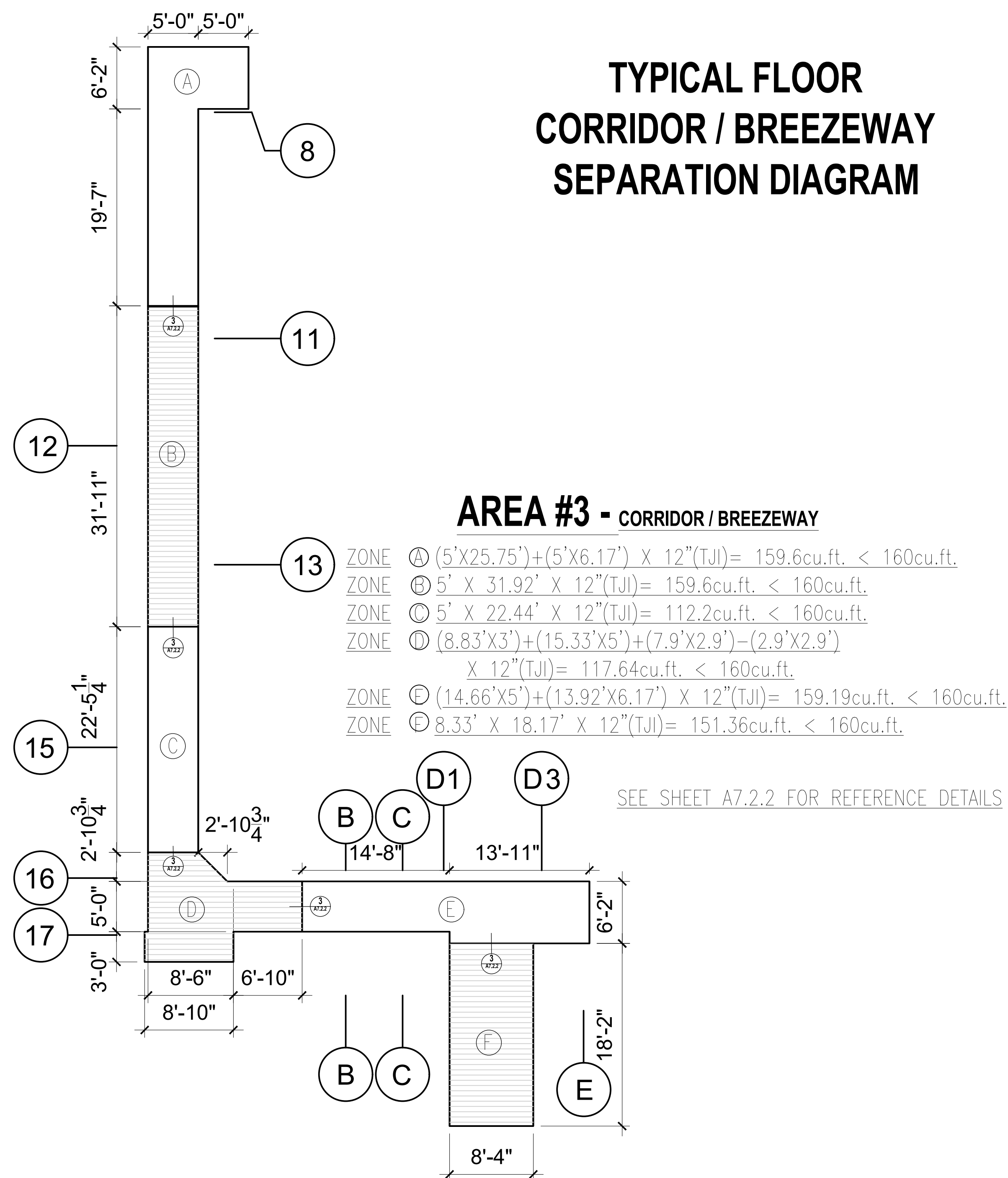
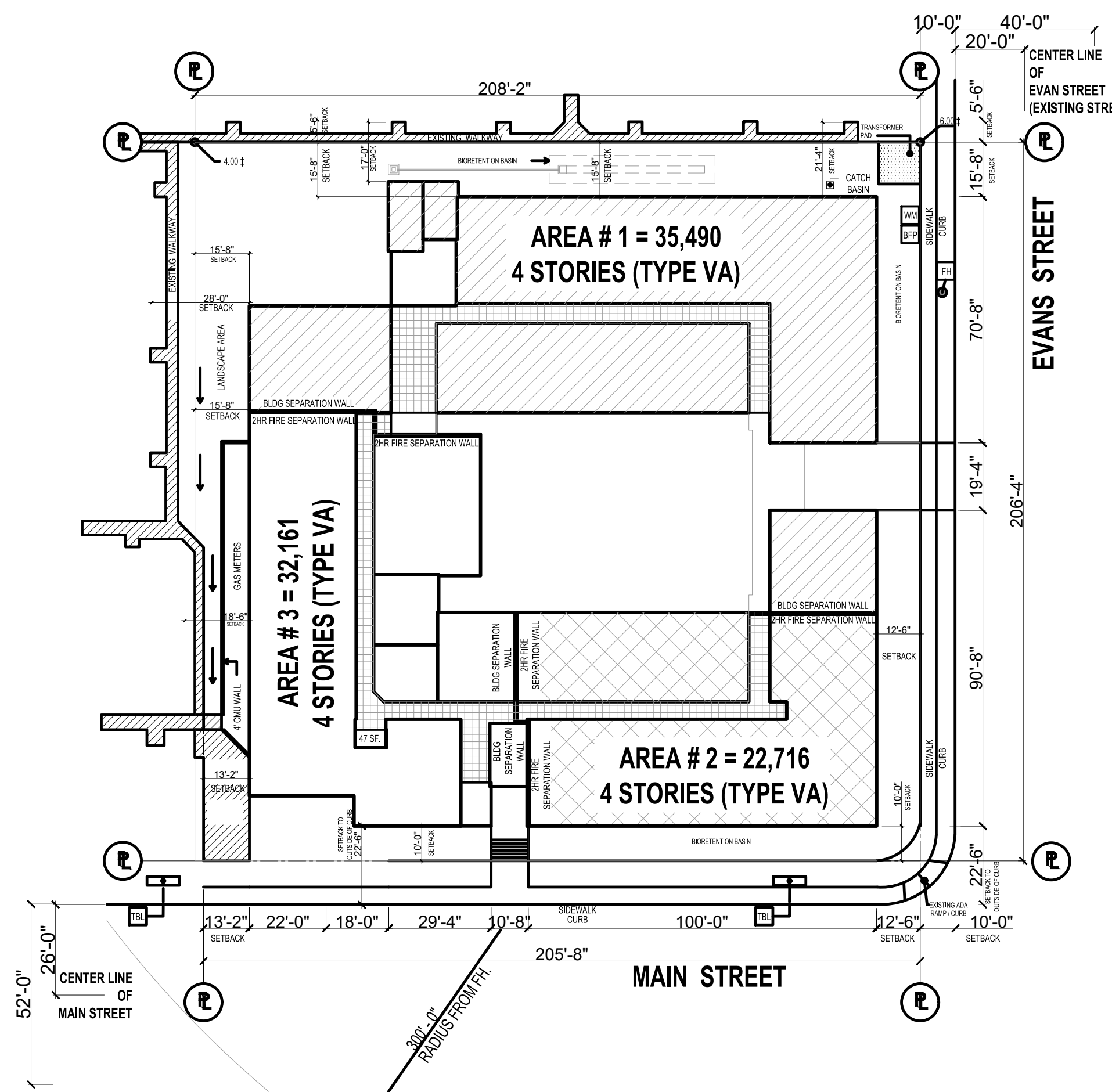
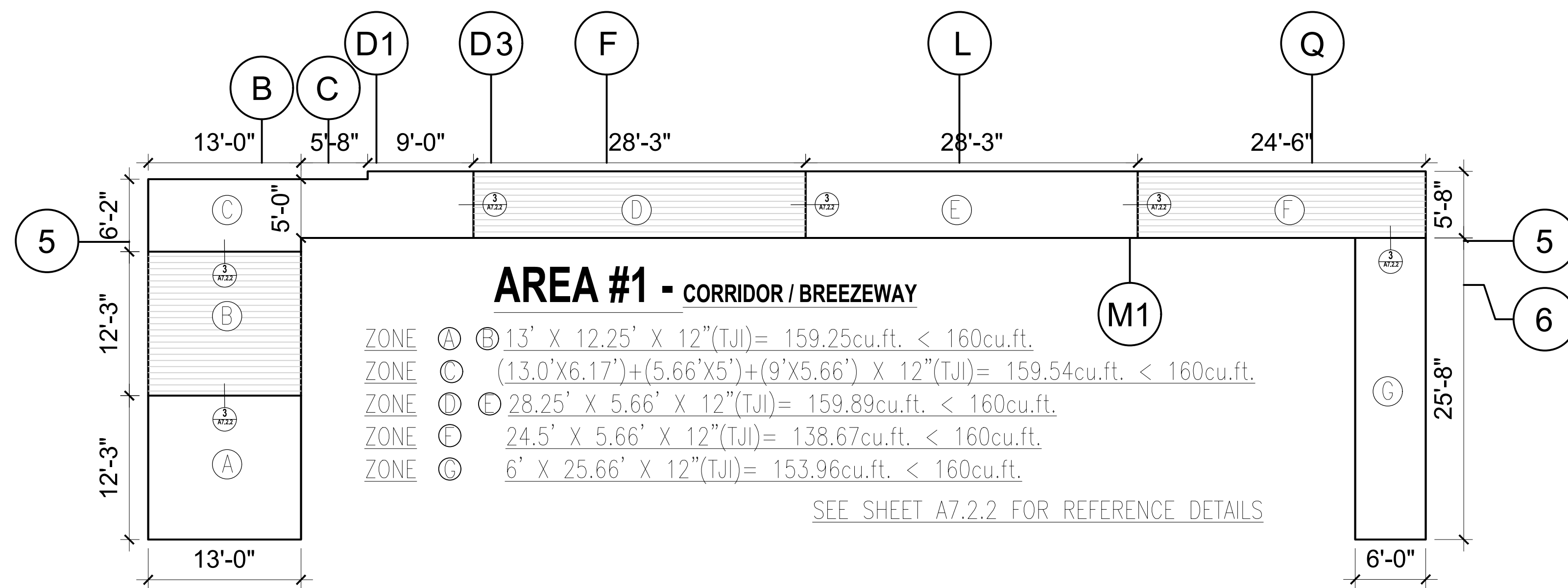
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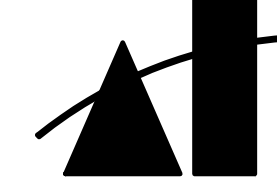
JOB No: 3707

SHEET No:

A5.7.2

COASTAL DEVELOPMENT PERMIT SET





MARTINEZ + CUTRI
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DEVELOPER:

REVISIONS:

MERCADO APARTMENTS
2001 NEWTON AVE, SAN DIEGO, CA 92113

SEAL:

COASTAL DEVELOPMENT PERMIT SET

SHEET TITLE:

STAIR 1
ENLARGED PLANS
AND SECTION - A

DATE: 04/30/2025

SCALE: As indicated

DRAWN BY: Author

JOB No: 3707

SHEET No:

A6.1

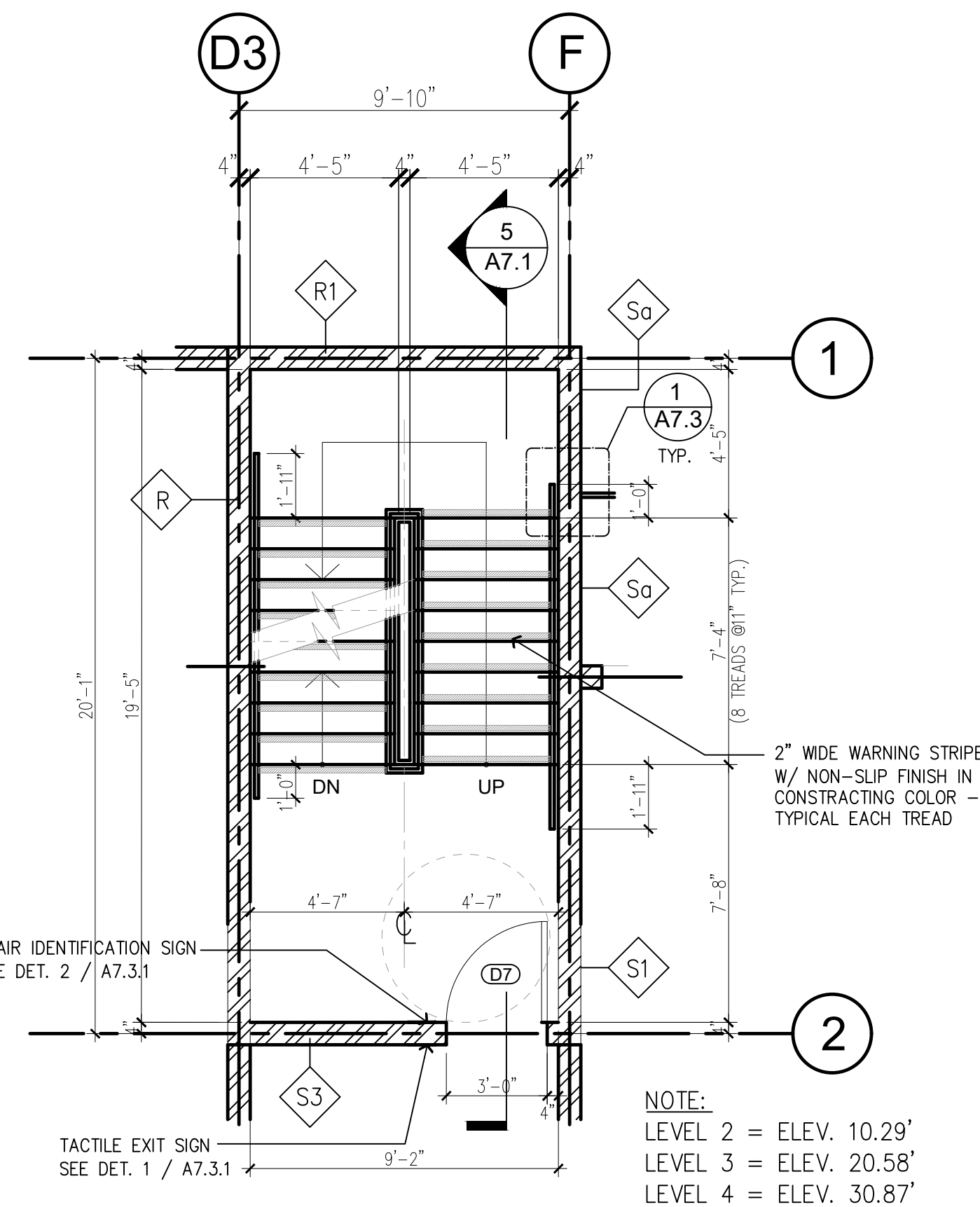
NOTE:

- 1) STAIRS : 2" WIDE WARNING STRIPE WITH NON-SLIP FINISH IN CONTRACTING COLOR - TYPICAL EACH TREAD, SEE DETAIL 11 / A7.3.
- 2) THE HANDGRIP PORTION OF HANDRAIL SHALL HAVE SMOOTH SURFACE WITH NO SHARP CORNERS. EDGE SHALL HAVE MINIMUM RADIUS OF 1/8" MIN.
- 3) BAR BARRIER SHALL BE FREE SWINGING FOR PEOPLE EXISTING DOWN FROM TOP, HAVE A STOP PLATE TO PREVENT IT FROM SWINGING IN THE DIRECTIONAL DOWN, BE STRING LOADED TO ALWAYS RETURN TO THE CLOSED POSITION AND HAVE A SIGN ON THE LANDING SIDE SAYING "NOT AN EXIT".
- 4) STAIRS AND RAILS SHALL BE PER-ENGINEERED BY THE CONTRACTOR OR SUBCONTRACTOR. STAIRS ARE A DEFERRED APPROVAL ITEM.
- 5) OPEN GUARDRAILS SHALL HAVE INTERMEDIATE RAILS SUCH THAT A SPHERE 4 INCHES IN DIAMETER CANNOT PASS THROUGH PER 2007 CBC 1013.3.
- 6) STAIR SHAFT IS A 2-HOUR RATED SMOKE-PROOF AND PRESSURIZED ENCLOSURE.
- 7) PROVIDE A TWO-WAY COMMUNICATION SYSTEM BETWEEN EACH AREA OF REFUGE AND A CONSTANTLY ATTENDED CONTROL POINT, THE COMMUNICATION SYSTEM SHALL INCLUDE BOTH AUDIBLE AND VISIBLE SIGNALALS.

WALL TYPE LEGEND:

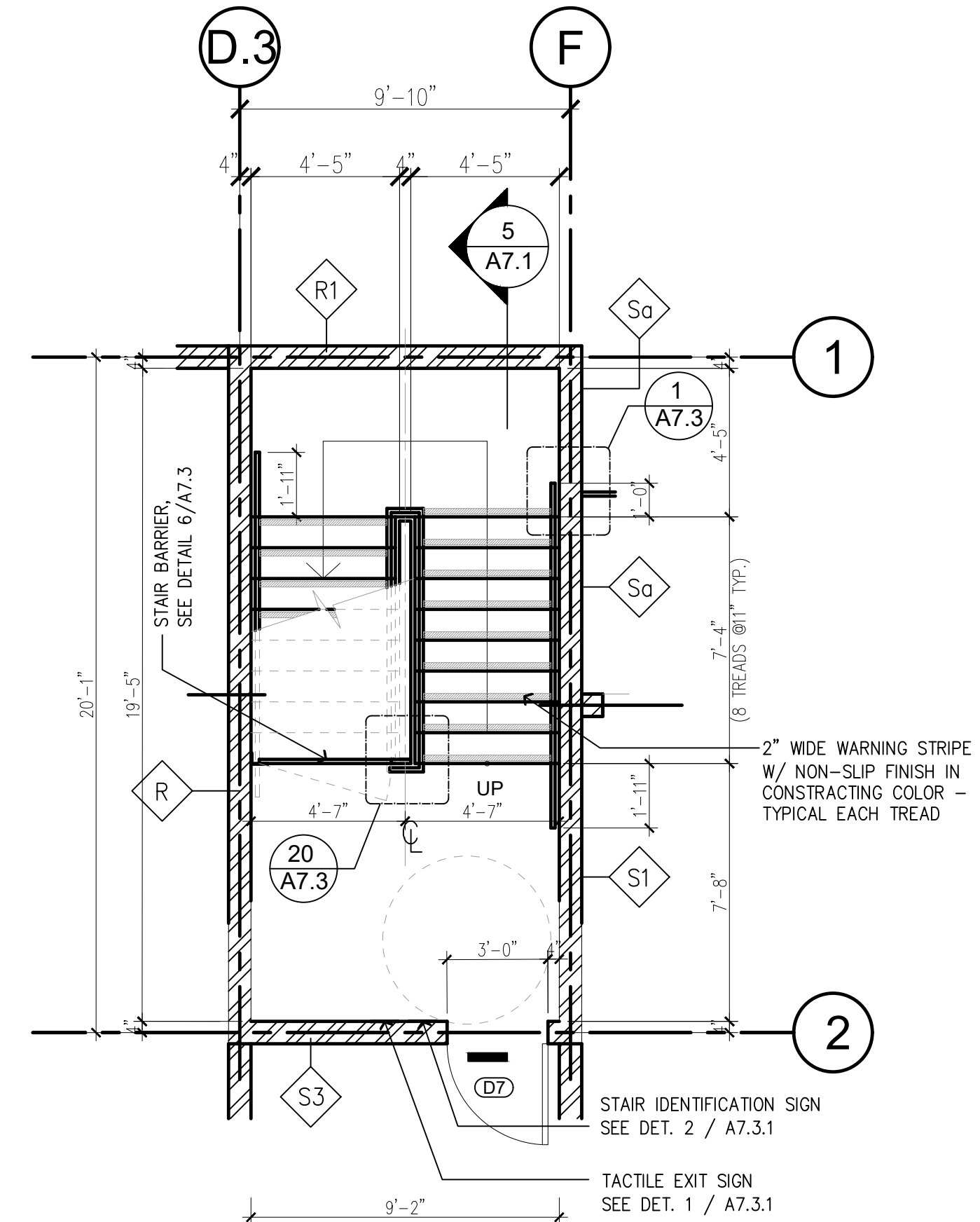
(SEE: 8 SERIES FOR FLR. & WALL SCHEDULE)

- CONCRETE WALLS
- MIN. 1-HR.
- CMU SOLID CORE WALL.
- WOOD FRAMED PARTITIONS.
- SHAFT WALL FRAMED
- MIN. 2-HR.



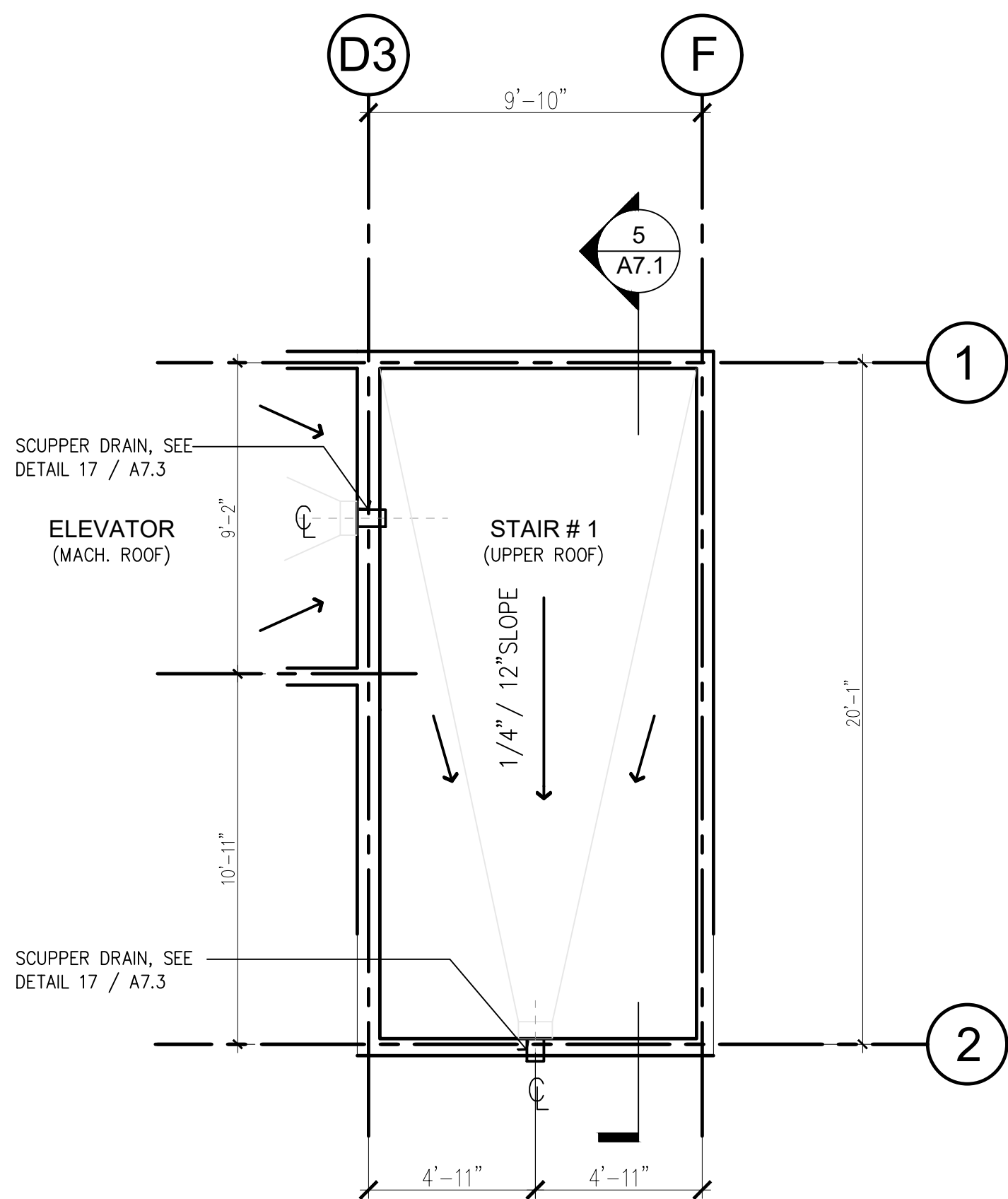
STAIR 1 - ENLARGED PLAN - SECOND, THIRD AND FOURTH FLOOR LEVEL (TYPICAL)

SCALE: 1/4" = 1'-0" SEE ELEV. NOTE



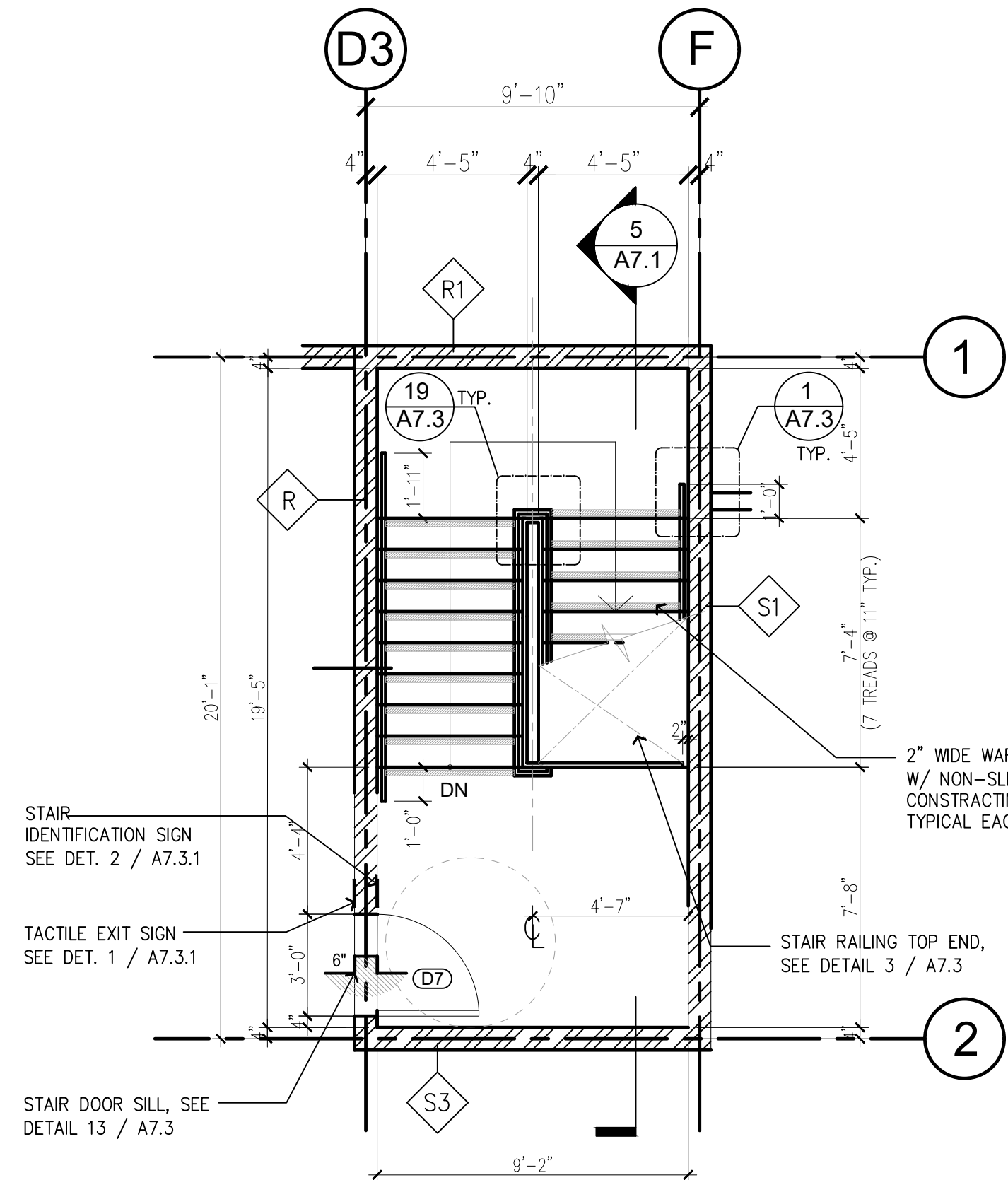
STAIR 1 - ENLARGED PLAN - GROUND FLOOR LEVEL

SCALE: 1/4" = 1'-0"



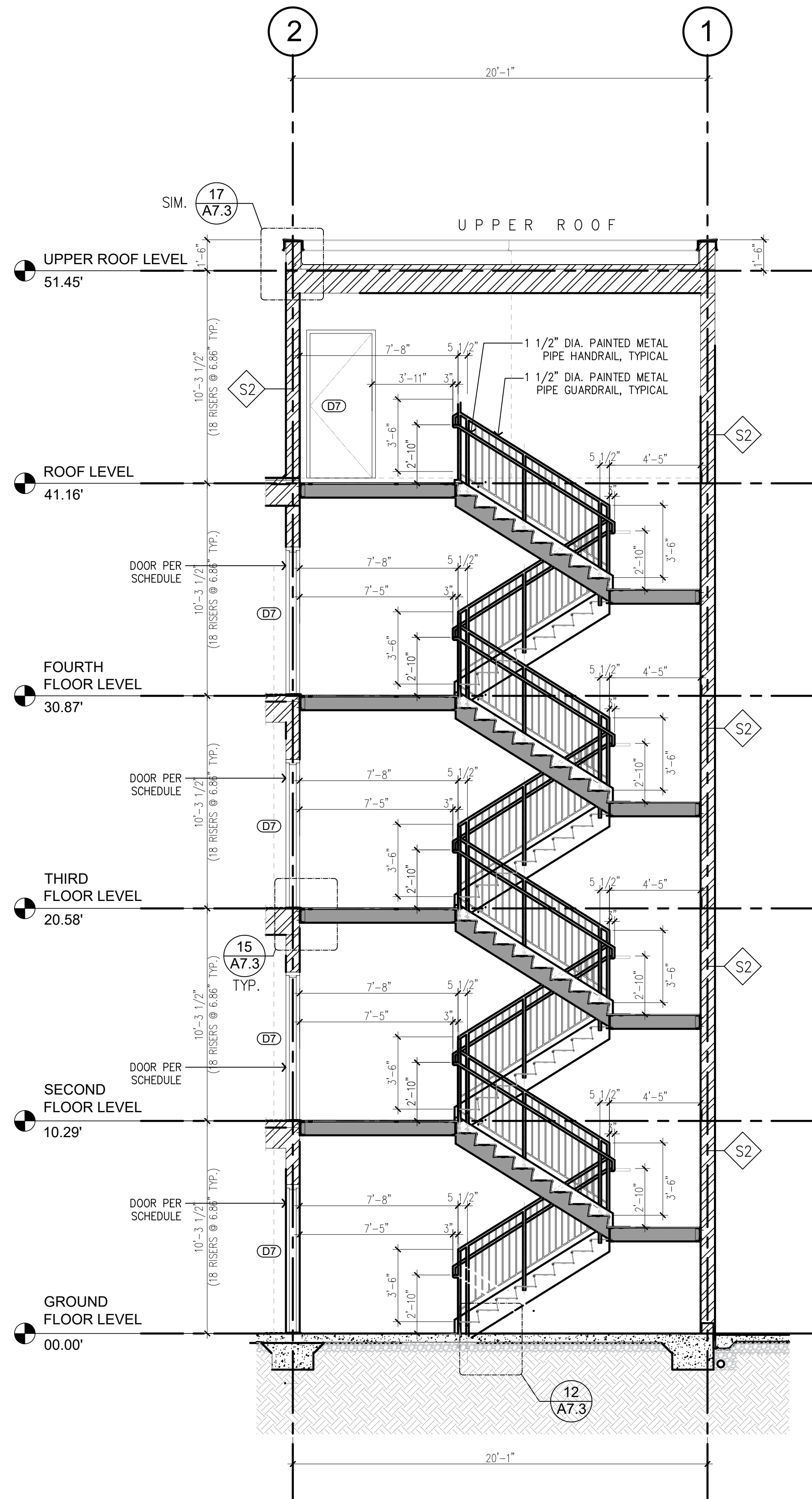
STAIR 1 - ENLARGED PLAN - UPPER ROOF LEVEL

SCALE: 1/4" = 1'-0"



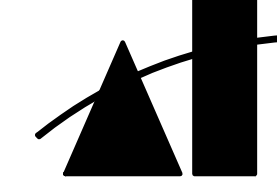
STAIR 1 - ENLARGED PLAN - ROOF LEVEL

SCALE: 1/4" = 1'-0"



STAIR 1 - ENLARGED SECTION - A

SCALE: 1/4" = 1'-0"



MARTINEZ + CUTRI
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DEVELOPER:

REVISIONS:

MERCADO APARTMENTS
2001 NEWTON AVE, SAN DIEGO, CA 92113

SEAL:

COASTAL DEVELOPMENT PERMIT SET

SHEET TITLE:

STAIR 2
ENLARGED PLANS

DATE: 04/30/2025

SCALE: As indicated

DRAWN BY: Author

JOB No: 3707

SHEET No:

A6.2

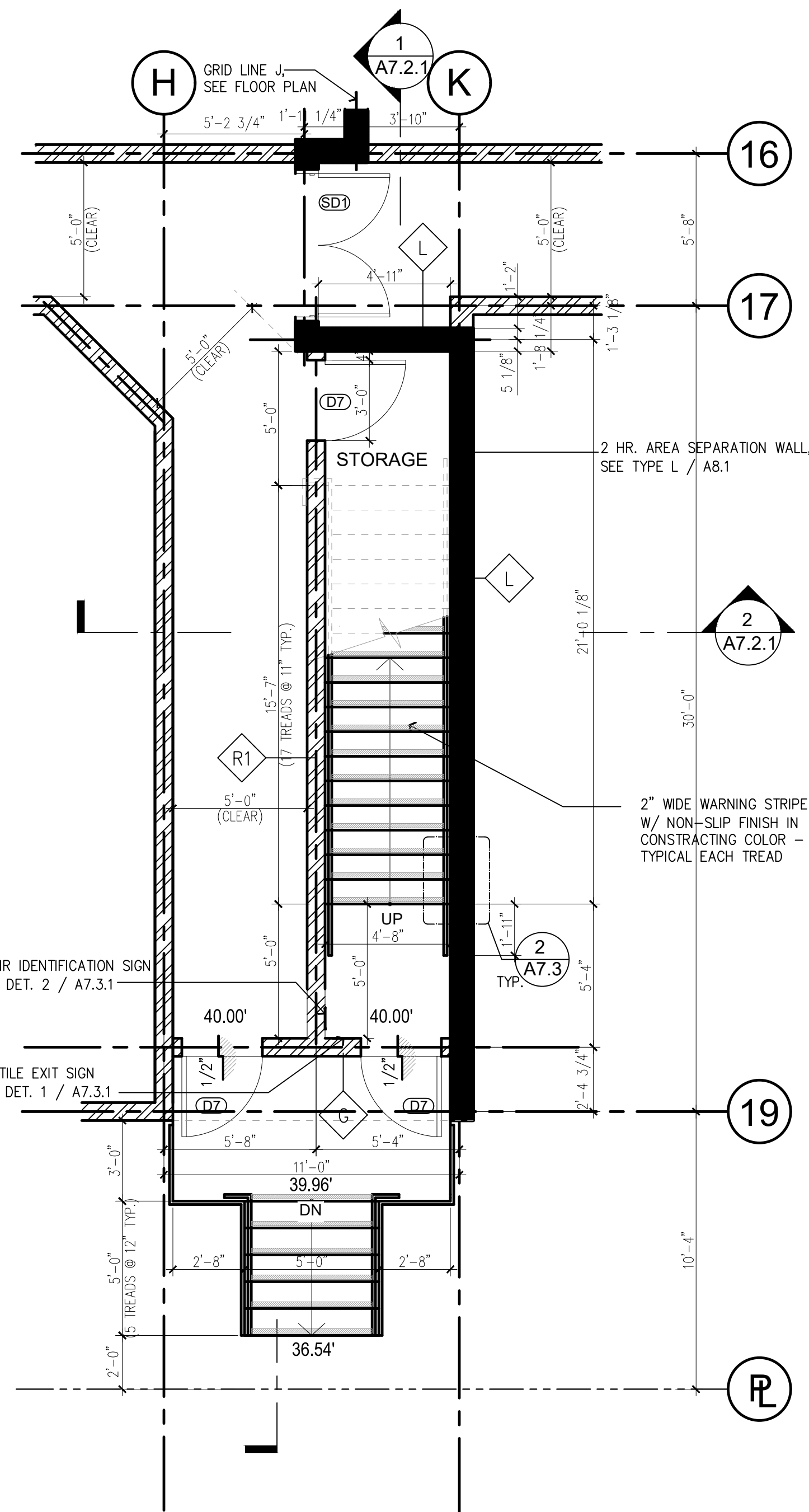
NOTE:

- 1) STAIRS : 2" WIDE WARNING STRIPE WITH NON-SLIP FINISH IN CONTRACTING COLOR - TYPICAL EACH TREAD, SEE DETAIL 11 / A7.3.
- 2) THE HANDGRIP PORTION OF HANDRAIL SHALL HAVE SMOOTH SURFACE WITH NO SHARP CORNERS. EDGE SHALL HAVE MINIMUM RADIUS OF 1/8" MIN.
- 3) BAR BARRIER SHALL BE FREE SWINGING FOR PEOPLE EXISTING DOWN FROM TOP, HAVE A STOP PLATE TO PREVENT IT FROM SWINGING IN THE DIRECTIONAL DOWN, BE STRING LOADED TO ALWAYS RETURN TO THE CLOSED POSITION AND HAVE A SIGN ON THE LANDING SIDE SAYING "NOT AN EXIT".
- 4) STAIRS AND RAILS SHALL BE PER-ENGINEERED BY THE CONTRACTOR OR SUBCONTRACTOR. STAIRS ARE A DEFERRED APPROVAL ITEM.
- 5) OPEN GUARDRAILS SHALL HAVE INTERMEDIATE RAILS SUCH THAT A SPHERE 4 INCHES IN DIAMETER CANNOT PASS THROUGH PER 2007 CBC 1013.3.
- 6) STAIR SHAFT IS A 2-HOUR RATED SMOKE-PROOF AND PRESSURIZED ENCLOSURE.
- 7) PROVIDE A TWO-WAY COMMUNICATION SYSTEM BETWEEN EACH AREA OF REFUGE AND A CONSTANTLY ATTENDED CONTROL POINT, THE COMMUNICATION SYSTEM SHALL INCLUDE BOTH AUDIBLE AND VISIBLE SIGNALS.

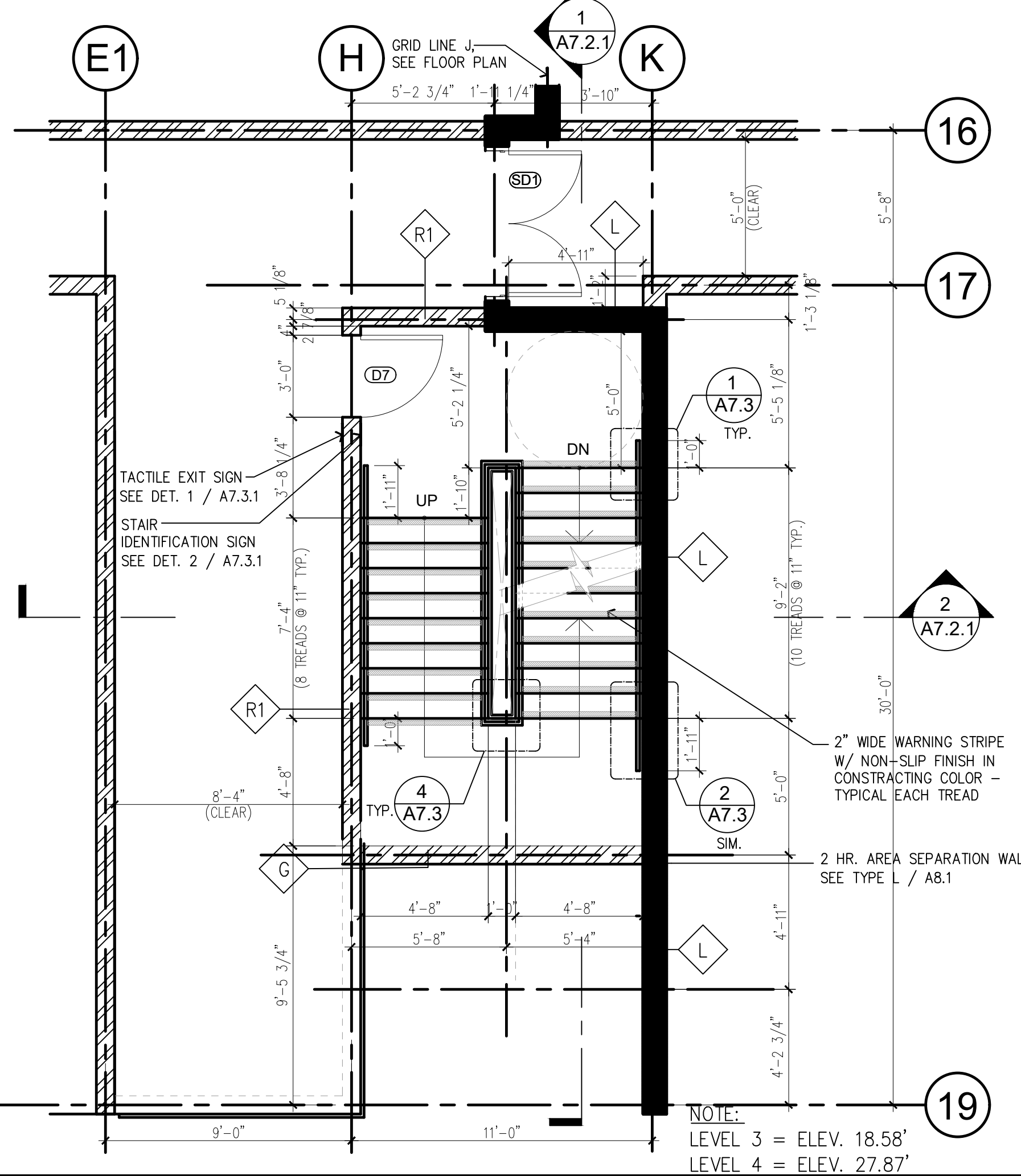
WALL TYPE LEGEND:

(SEE: 8 SERIES FOR FLR. & WALL SCHEDULE)

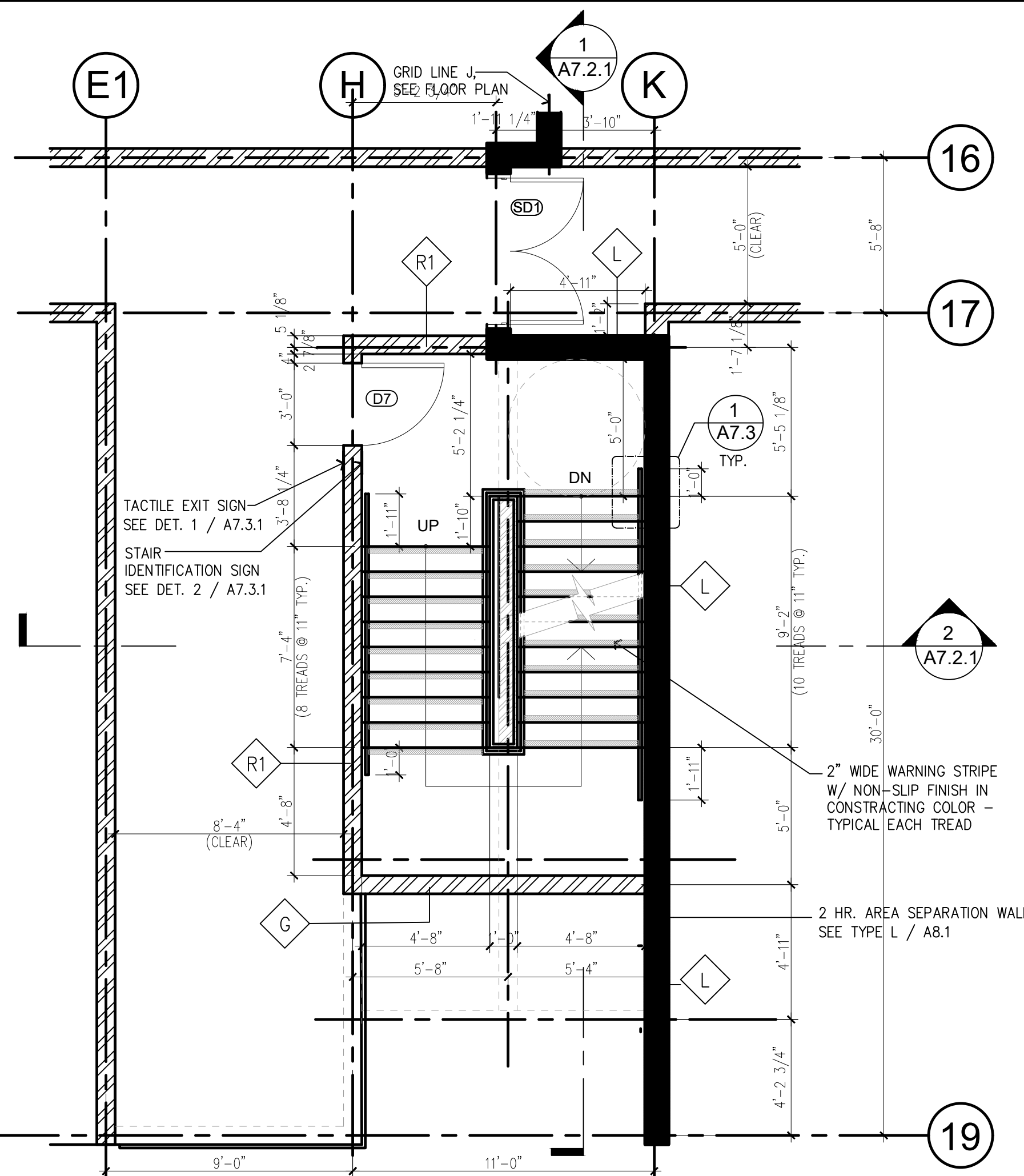
- CONCRETE WALLS
- MIN. 1-HR.
- CMU SOLID CORE WALL.
- WOOD FRAMED PARTITIONS.
- SHAFT WALL FRAMED
- MIN. 2-HR.



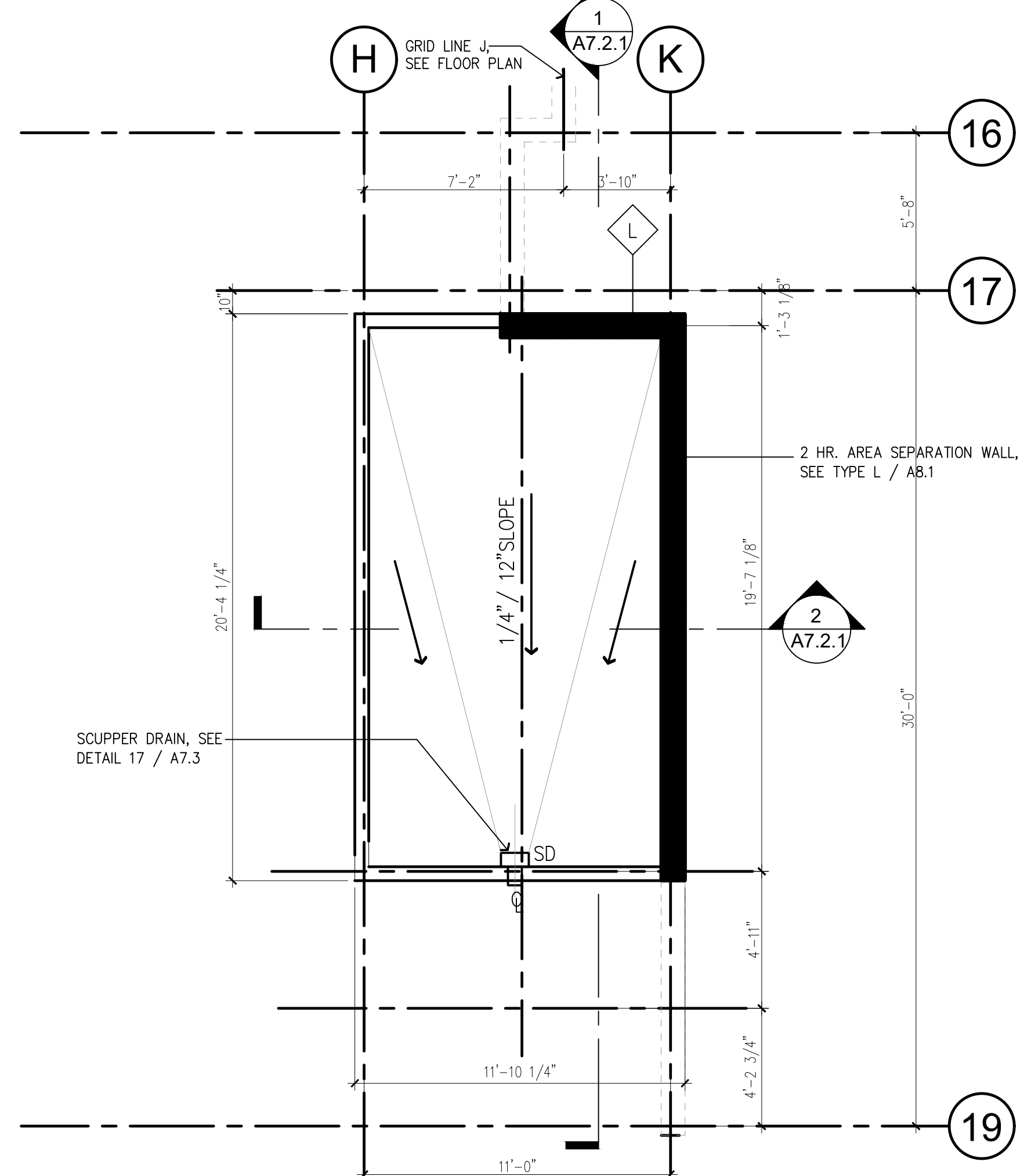
1 STAIR 2 - ENLARGED PLAN - GROUND FLOOR LEVEL
ELEV. 00.00'
SCALE: 1/4" = 1'-0"



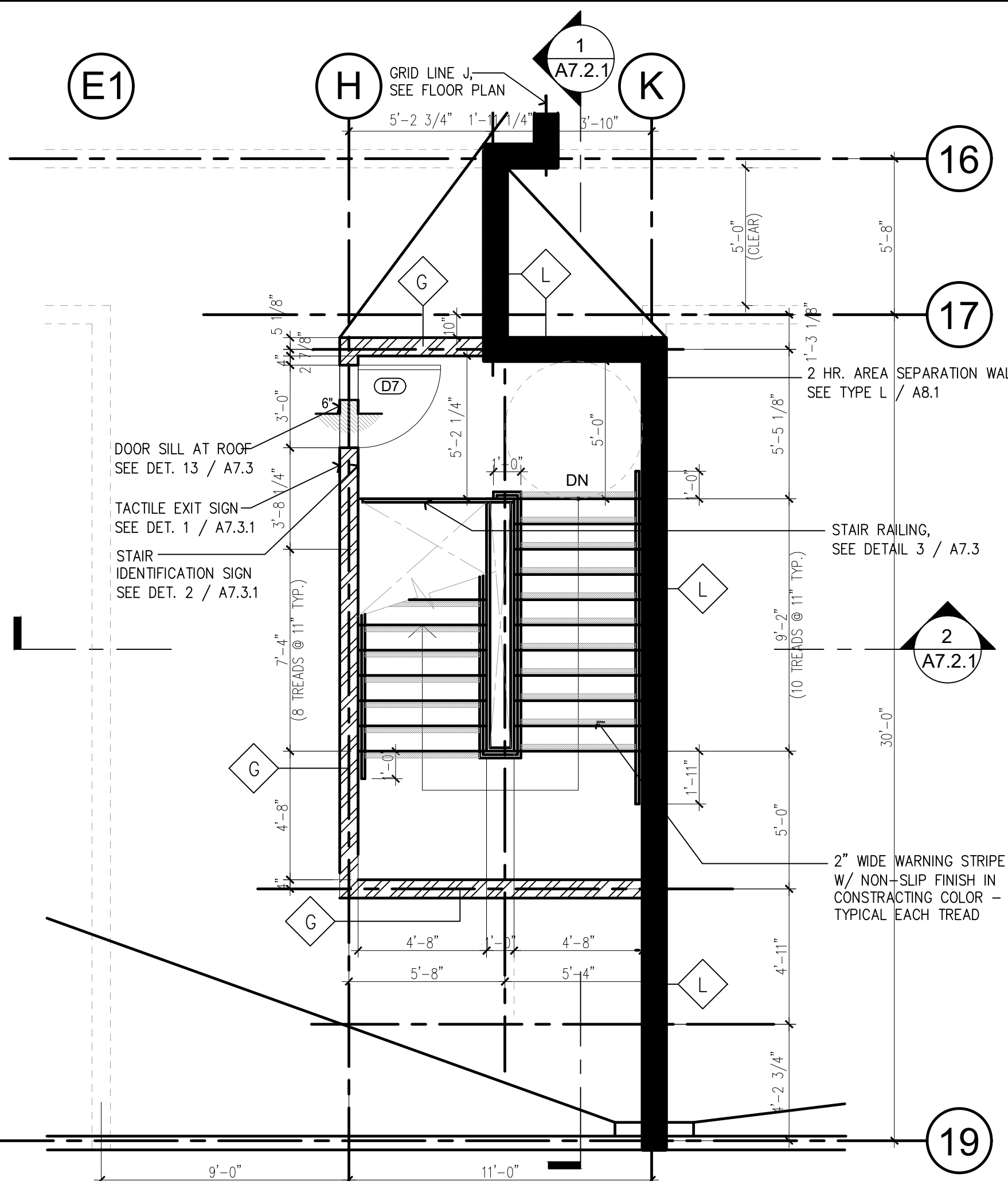
3 STAIR 2 - ENLARGED PLAN - THIRD, FOURTH FLOOR LEVEL (TYPICAL)
ELEV. 18.58' / 27.87'
SCALE: 1/4" = 1'-0"
SEE ELEV. NOTE



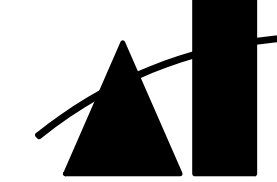
2 STAIR 2 - ENLARGED PLAN - SECOND FLOOR LEVEL
ELEV. 9.29'
SCALE: 1/4" = 1'-0"



5 STAIR 2 - ENLARGED PLAN - UPPER ROOF LEVEL
ELEV. 46.45'
SCALE: 1/4" = 1'-0"



4 STAIR 2 - ENLARGED PLAN - ROOF LEVEL
ELEV. 37.16'
SCALE: 1/4" = 1'-0"

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DEVELOPER:

REVISIONS:

MERCADO APARTMENTS
2001 NEWTON AVE, SAN DIEGO, CA 92113

SEAL:

SHEET TITLE:

STAIR 2
ENLARGED
SECTIONS - B & C

DATE: 04/30/2025

SCALE: As indicated

DRAWN BY: Author

JOB No: 3707

SHEET No:

A6.3

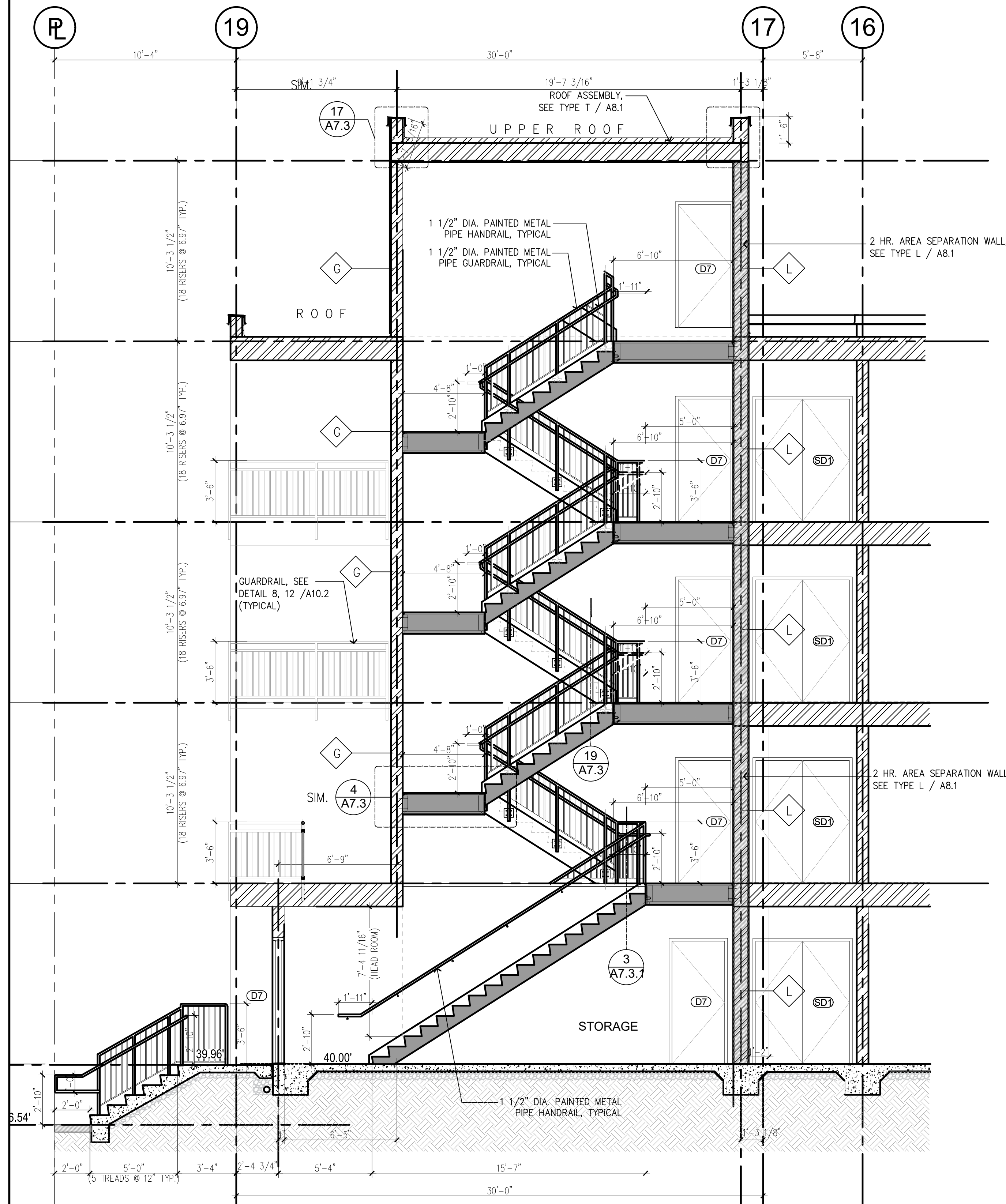
NOTE:

- 1) STAIRS : 2" WIDE WARNING STRIPE WITH NON-SLIP FINISH IN CONTRACTING COLOR - TYPICAL EACH TREAD, SEE DETAIL 11 / A7.3.
- 2) THE HANDGRIP PORTION OF HANDRAIL SHALL HAVE SMOOTH SURFACE WITH NO SHARP CORNERS. EDGE SHALL HAVE MINIMUM RADIUS OF 1/8" MIN.
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WALL TYPE LEGEND:

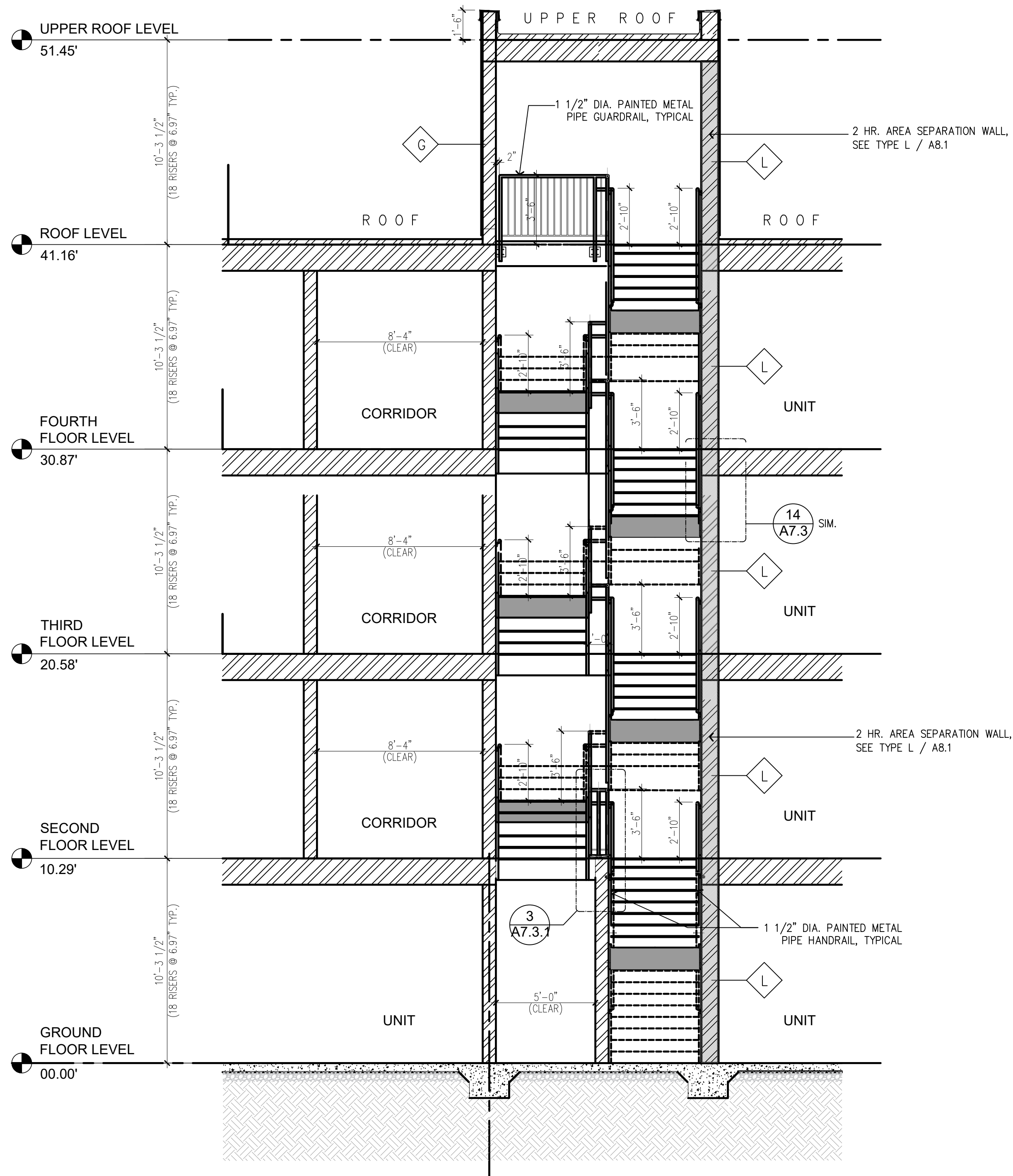
(SEE: 8 SERIES FOR FLR. & WALL SCHEDULE)

- CONCRETE WALLS
- MIN. 1-HR.
- CMU SOLID CORE WALL.
- WOOD FRAMED PARTITIONS.
- SHAFT WALL FRAMED
- MIN. 2-HR.



1 STAIR 2 - ENLARGED SECTION B

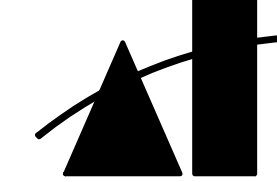
SCALE: 1/4" = 1'-0"



2 STAIR 2 - ENLARGED SECTION C

SCALE: 1/4" = 1'-0"

COASTAL DEVELOPMENT PERMIT SET

MARTINEZ + CUTRI
URBAN STUDIO
CORPORATIONArchitecture Planning
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DIMENSIONS AND CONDITIONS ON THE JOB,
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VARIATIONS FROM THE DIMENSIONS AND
CONDITIONS SHOWN BY THESE DRAWINGS.
DEVELOPER:

REVISIONS:

MERCADO APARTMENTS
2001 NEWTON AVE, SAN DIEGO, CA 92113

SEAL:

COASTAL DEVELOPMENT PERMIT SET

SHEET TITLE:
TRASH CHUTE -
ENLARGED
PLANS AND
SECTIONS - D & E

DATE: 04/30/2025

SCALE: As indicated

DRAWN BY: Author

JOB No: 3707

SHEET No:

A6.4

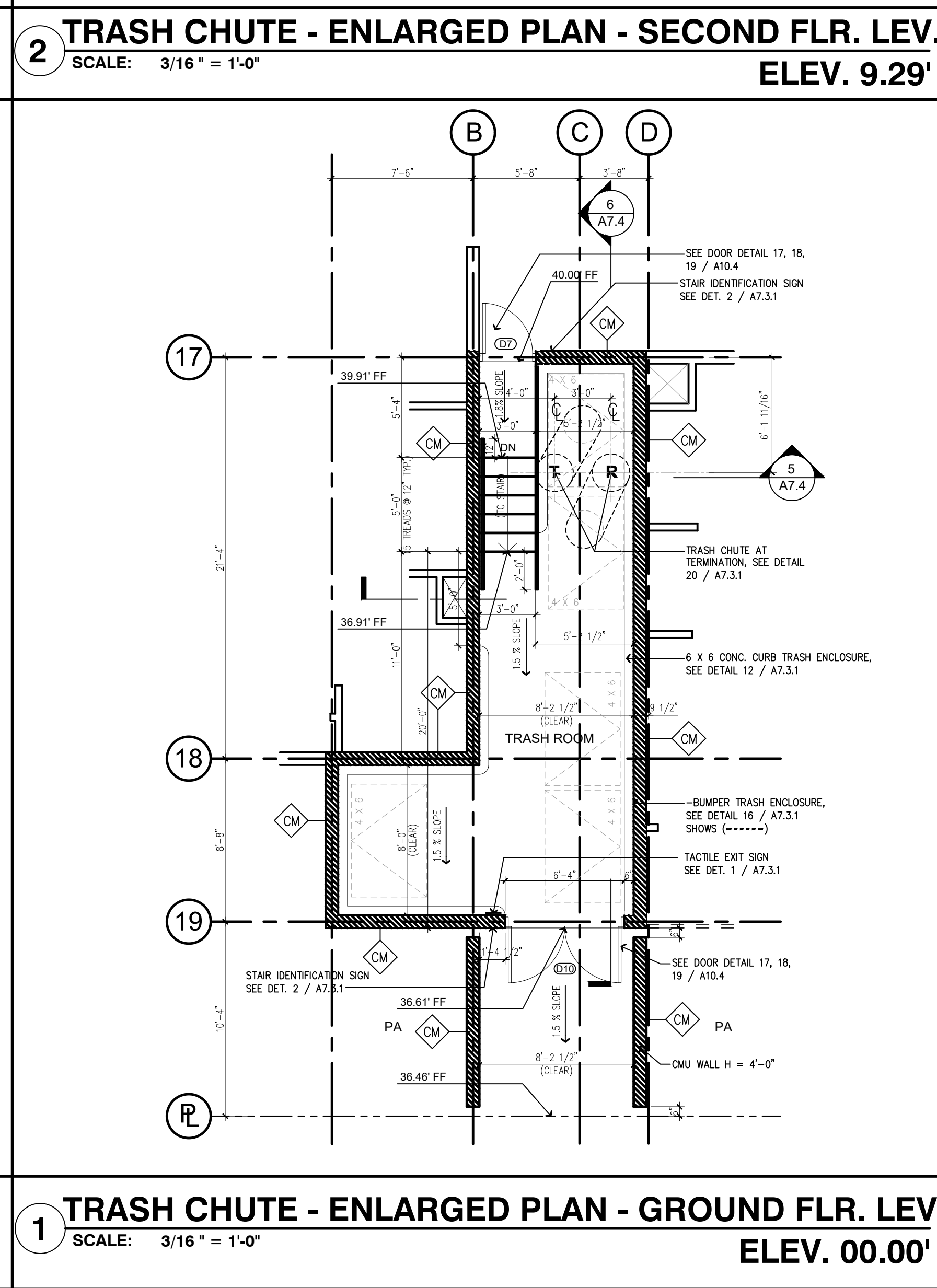
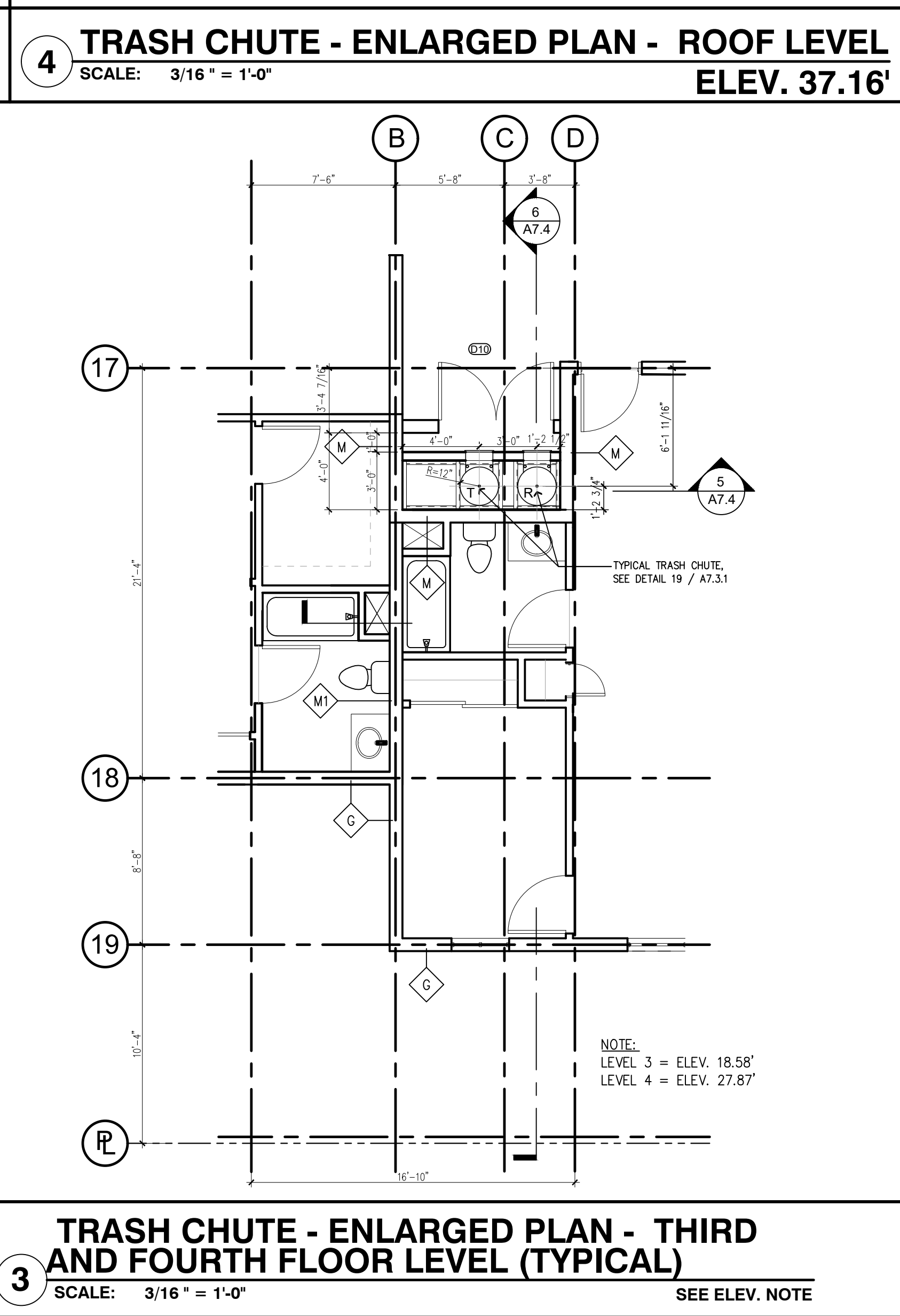
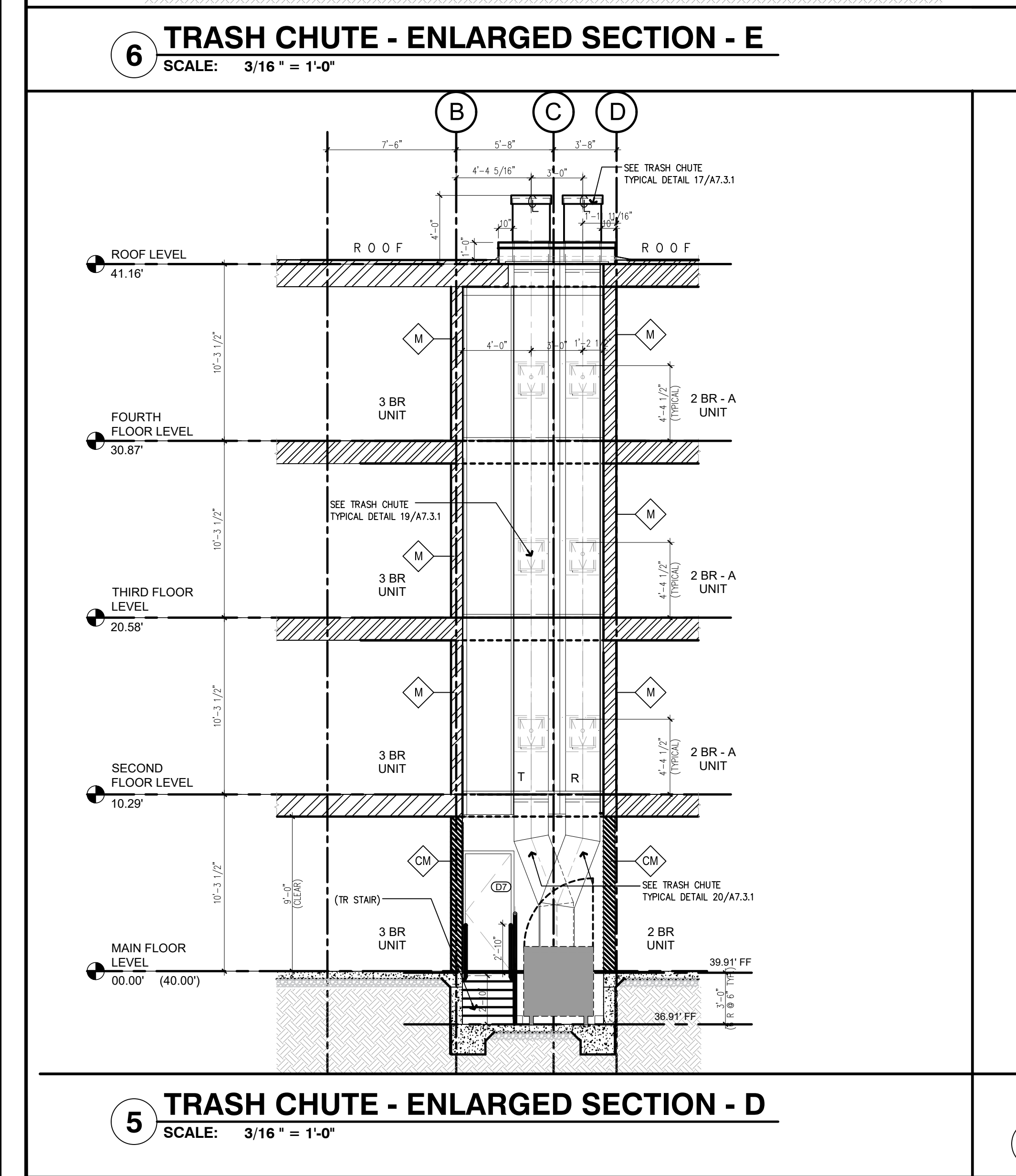
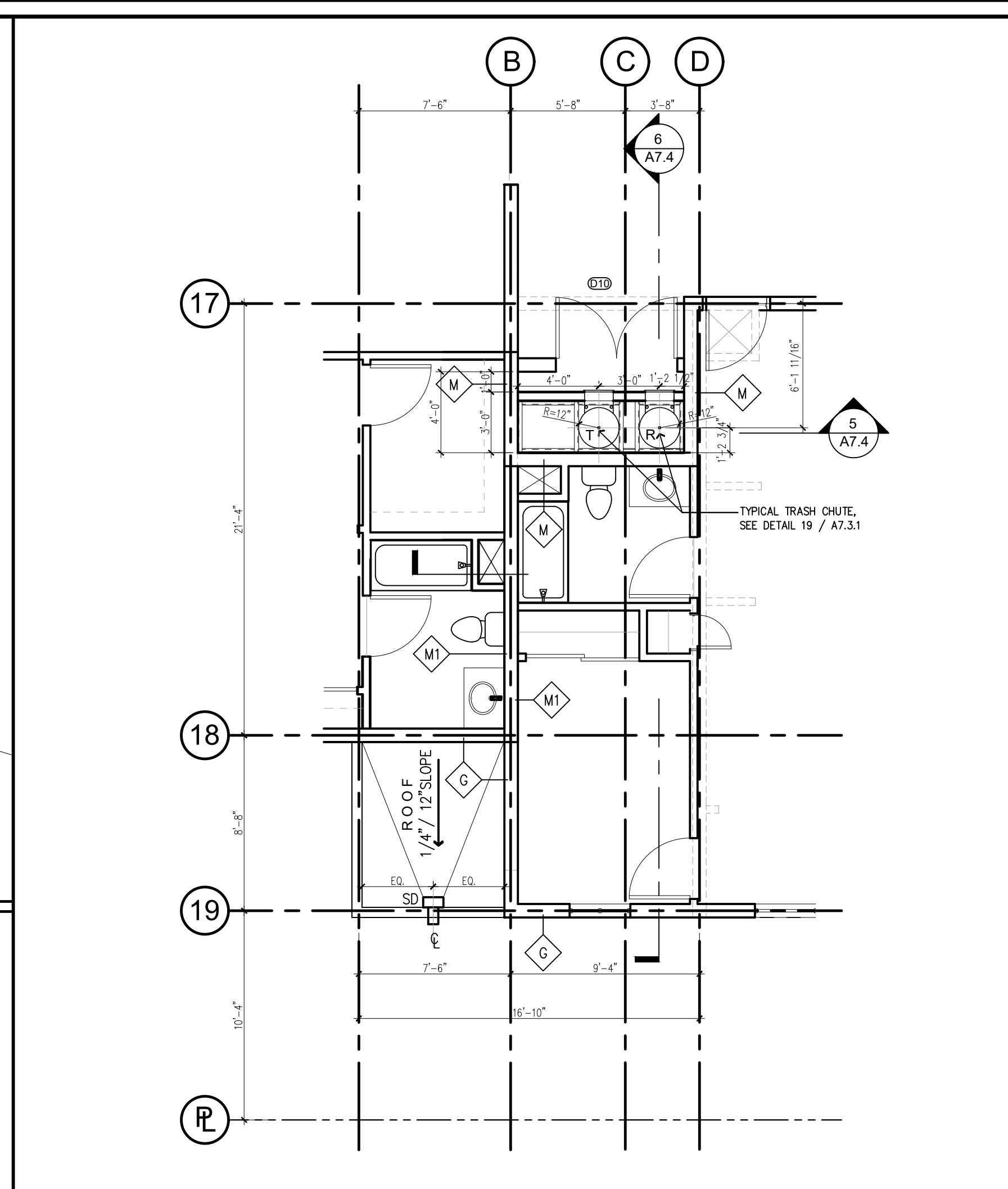
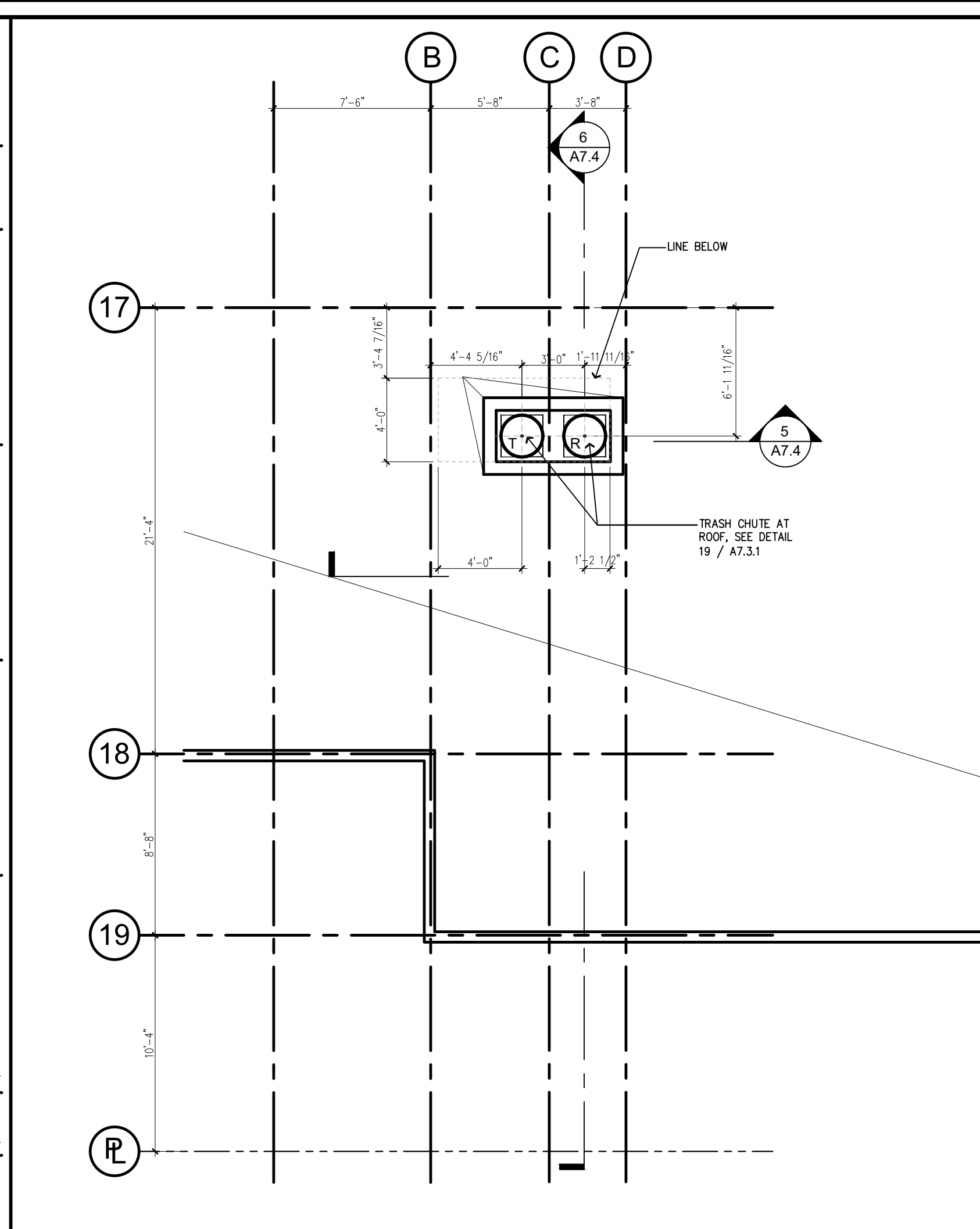
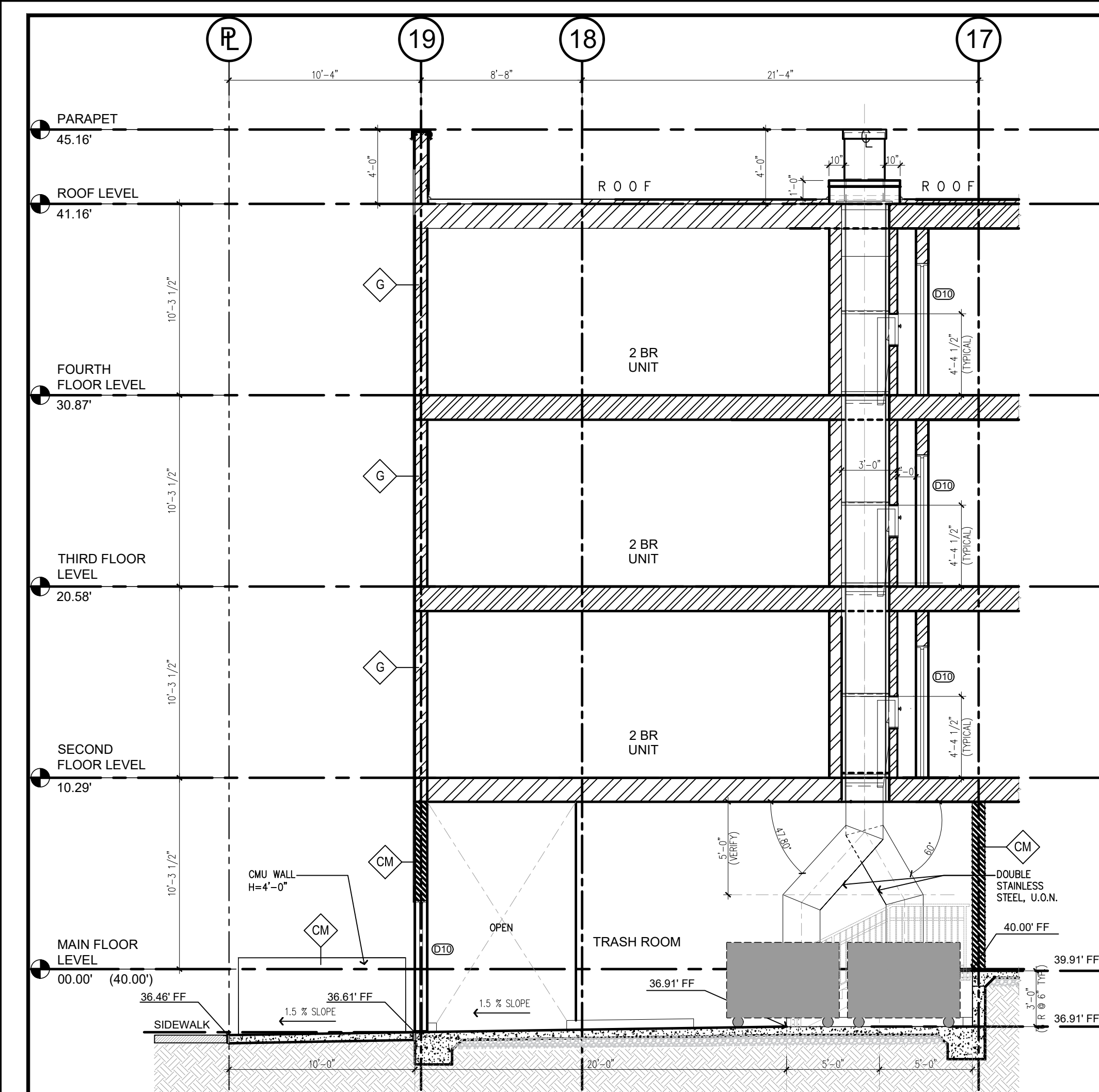
TRASH CHUTE NOTE:

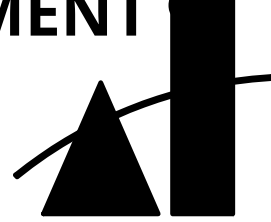
- 1) THE OPENING INTO THE WASTE CHUTE SHAFT ENCLOSURE FROM ACCESS ROOMS, SHALL BE PROTECTED IN ACCORDANCE WITH THIS SECTION AND SECTION 716. DOORS INTO CHUTES SHALL BE SELF-CLOSING. DISCHARGED DOORS SHALL BE SELF-OR AUTOMATIC-CLOSING UPON THE ACTUATION OF A SMOKE DETECTOR IN ACCORDANCE WITH SECTION 716.2.6.6, EXCEPT THAT HEAT-ACTIVATED CLOSING DEVICES SHALL BE PERMITTED BETWEEN THE SHAFT AND THE DISCHARGED ROOM. CBC 713.13.1 ADA COMPLIANT, U.L. APPROVED 90 MIN.
- 2) PROVIDE A SHAFT ENCLOSURE FOR THE WASTE CHUTE THAT HAVE A FIRE-RESISTANT RATING OF NOT LESS THAN 2 HOURS WHERE CONNECTING FOUR STORIES OR MORE CBC 713.4. SEE FLOOR PLANS AND TYPE R / A8.6 FLOOR AND WALL SCHEDULE.
- 3) TRASH CHUTE, SEE DETAIL 17, 19 AND 20 / A7.3.1

WALL TYPE LEGEND:

(SEE: 8 SERIES FOR FLR. & WALL SCHEDULE)

- CONCRETE WALLS
- MIN. 1-HR.
- CMU SOLID CORE WALL.
- WOOD FRAMED PARTITIONS.
- SHAFT WALL FRAMED
- MIN. 2-HR.





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DEVELOPER:

REVISIONS:

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SEAL:

COASTAL DEVELOPMENT PERMIT SET

SHEET TITLE:
TRASH ROOM
STAIR - ENLARGED
PLAN AND
SECTIONS - F & G

DATE: 04/30/2025

SCALE: As indicated

DRAWN BY: Author

JOB No: 3707

SHEET No:

A6.5

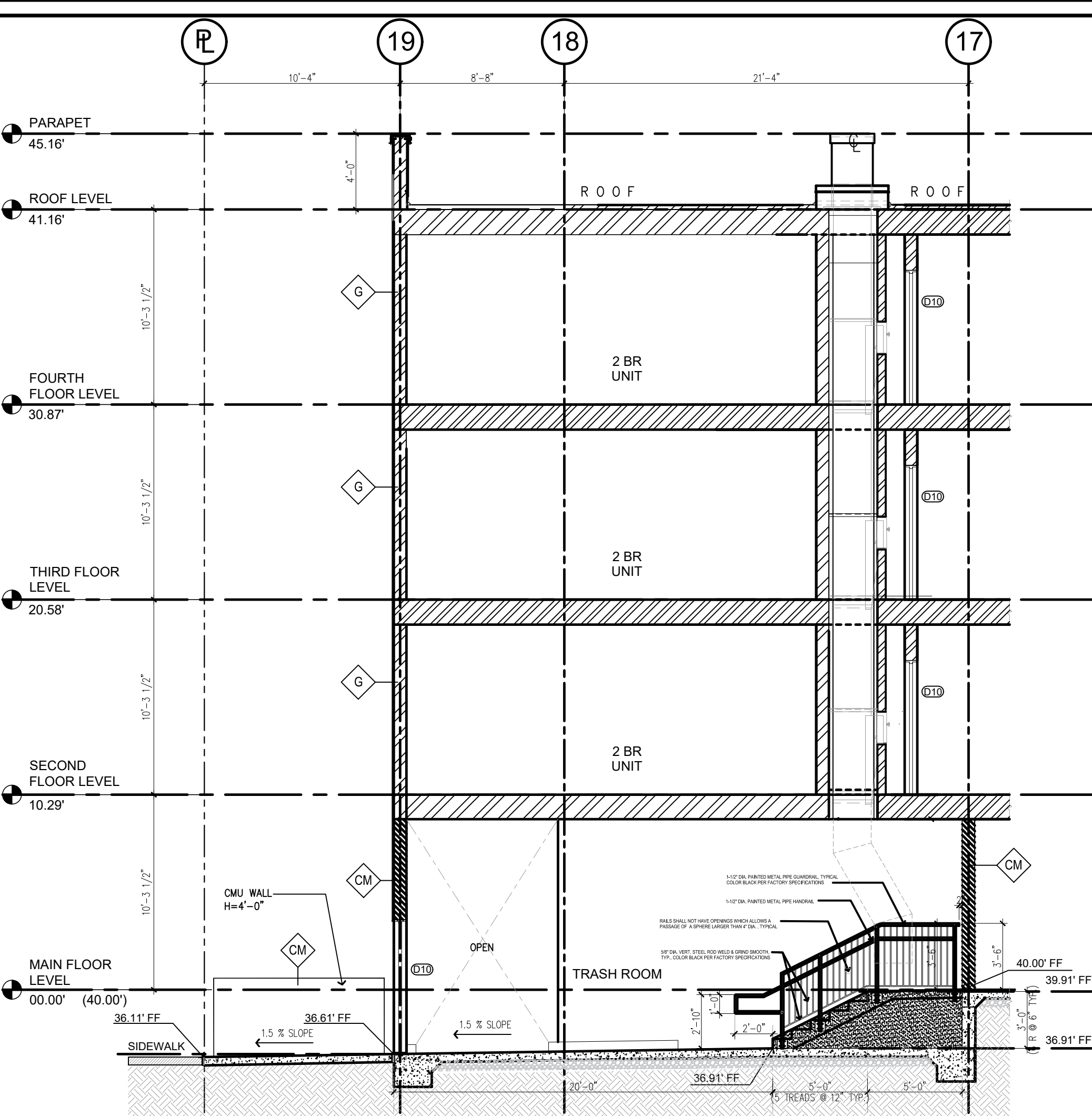
NOTE:

- 1) STAIRS : 2" WIDE WARNING STRIPE WITH NON-SLIP FINISH IN CONTRACTING COLOR - TYPICAL EACH TREAD, SEE DETAIL 11 / A7.3.
- 2) THE HANDGRIP PORTION OF HANDRAIL SHALL HAVE SMOOTH SURFACE WITH NO SHARP CORNERS. EDGE SHALL HAVE MINIMUM RADIUS OF 1/8" MIN.
- 3) BAR BARRIER SHALL BE FREE SWINGING FOR PEOPLE EXISTING DOWN FROM TOP, HAVE A STOP PLATE TO PREVENT IT FROM SWINGING IN THE DIRECTIONAL DOWN, BE STRING LOADED TO ALWAYS RETURN TO THE CLOSED POSITION AND HAVE A SIGN ON THE LANDING SIDE SAYING "NOT AN EXIT".
- 4) STAIRS AND RAILS SHALL BE PER-ENGINEERED BY THE CONTRACTOR OR SUBCONTRACTOR. STAIRS ARE A DEFERRED APPROVAL ITEM.
- 5) OPEN GUARDRAILS SHALL HAVE INTERMEDIATE RAILS SUCH THAT A SPHERE 4 INCHES IN DIAMETER CANNOT PASS THROUGH PER 2007 CBC 1013.3.
- 6) STAIR SHAFT IS A 2-HOUR RATED SMOKE-PROOF AND PRESSURIZED ENCLOSURE.
- 7) PROVIDE A TWO-WAY COMMUNICATION SYSTEM BETWEEN EACH AREA OF REFUGE AND A CONSTANTLY ATTENDED CONTROL POINT, THE COMMUNICATION SYSTEM SHALL INCLUDE BOTH AUDIBLE AND VISIBLE SIGNALALS.

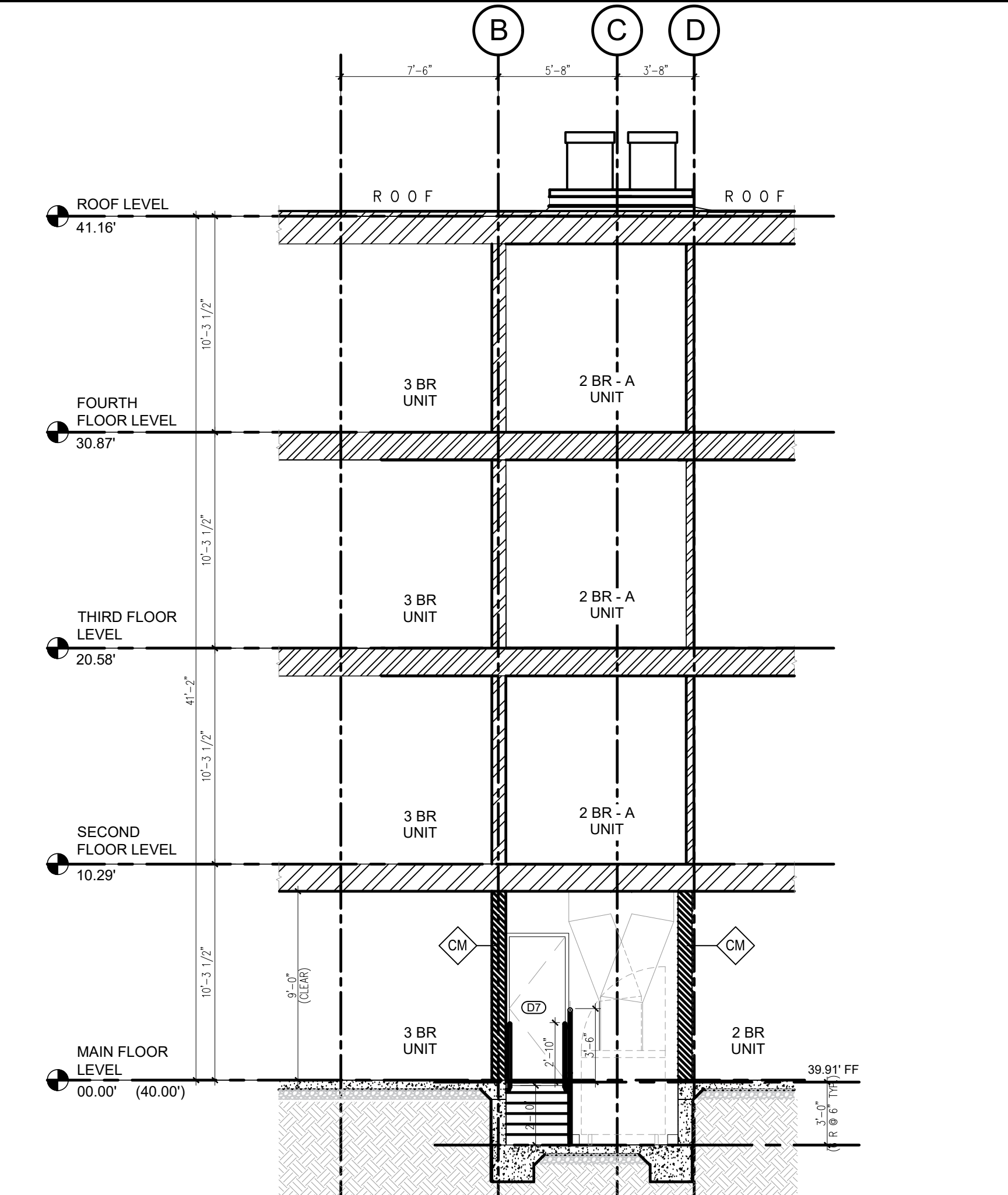
WALL TYPE LEGEND:

(SEE: 8 SERIES FOR FLR. & WALL SCHEDULE)

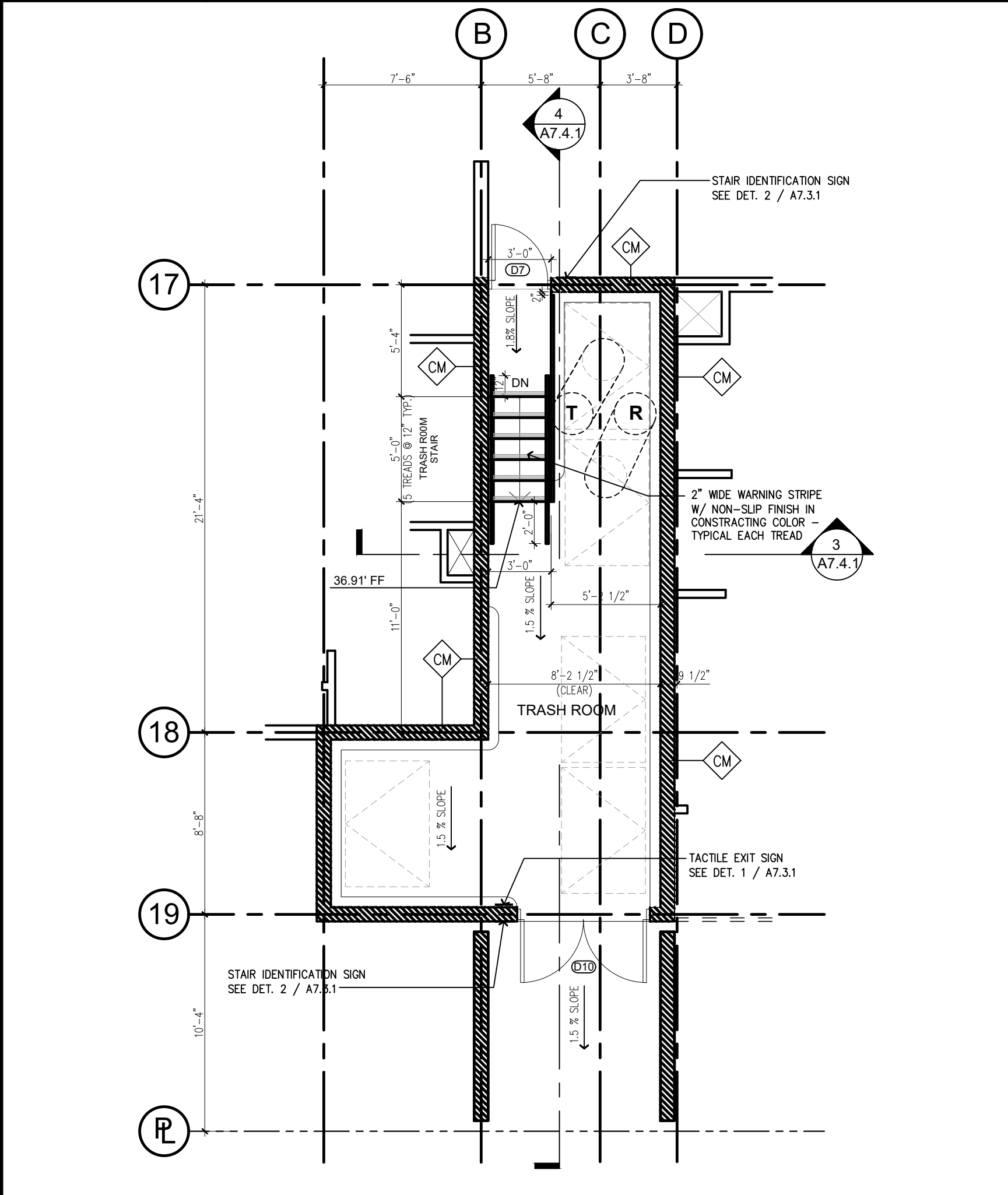
- CONCRETE WALLS
- MIN. 1-HR.
- CMU SOLID CORE WALL.
- WOOD FRAMED PARTITIONS.
- SHAFT WALL FRAMED
- MIN. 2-HR.



4 TRASH ROOM STAIR - ENLARGED SECTION - G
SCALE: 3/16" = 1'-0"

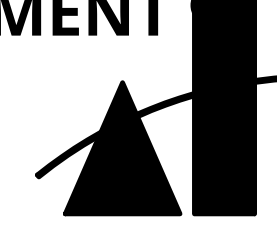


3 TRASH ROOM STAIR - ENLARGED SECTION - F
SCALE: 3/16" = 1'-0"



**1 TRASH ROOM STAIR - ENLARGED PLAN
GROUND FLOOR LEVEL**
SCALE: 3/16" = 1'-0"

ELEV. 00.00'



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DEVELOPER:

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SEAL:

SHEET TITLE:

DETAILS

DATE: 04/30/2025

SCALE: As indicated

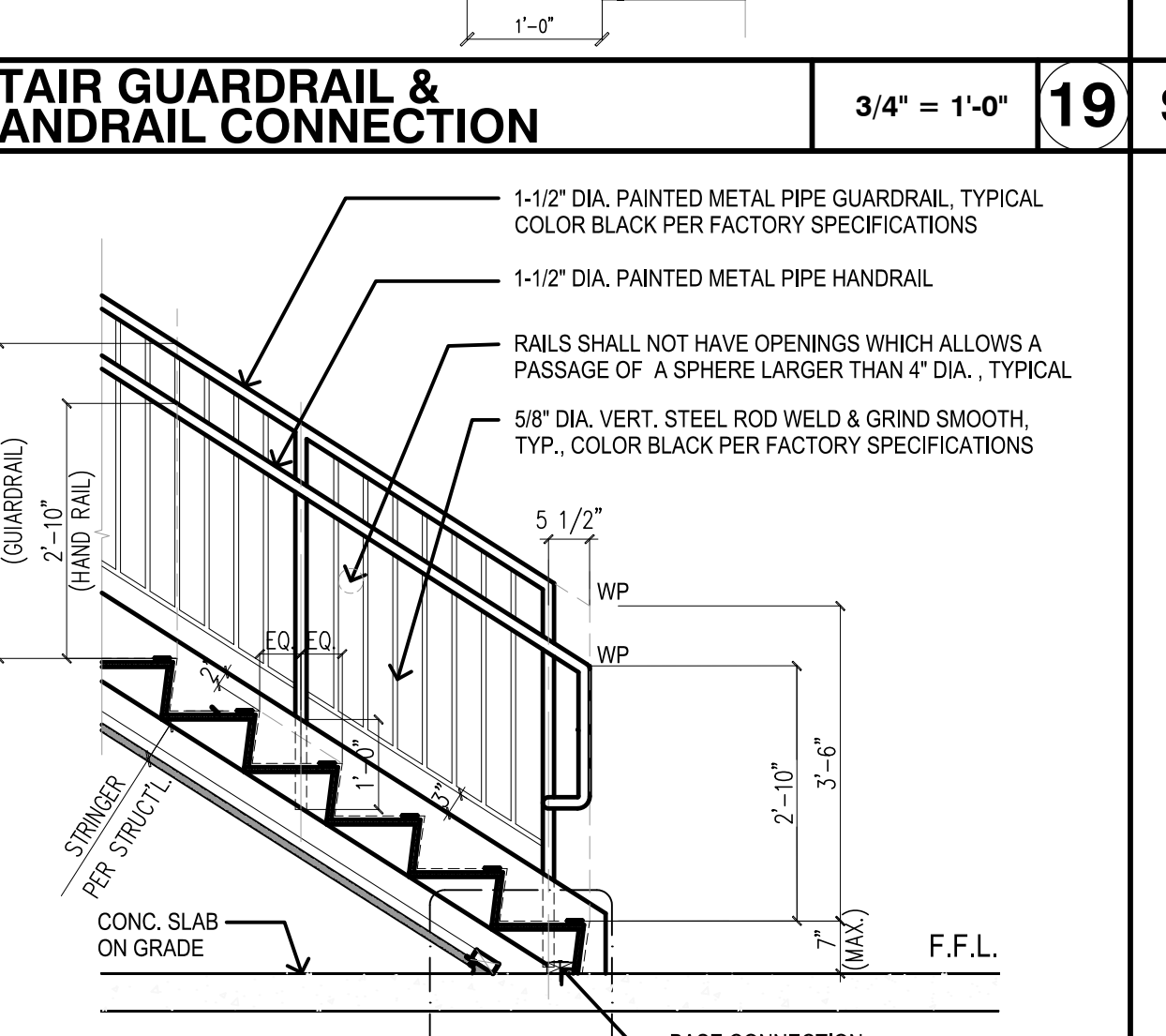
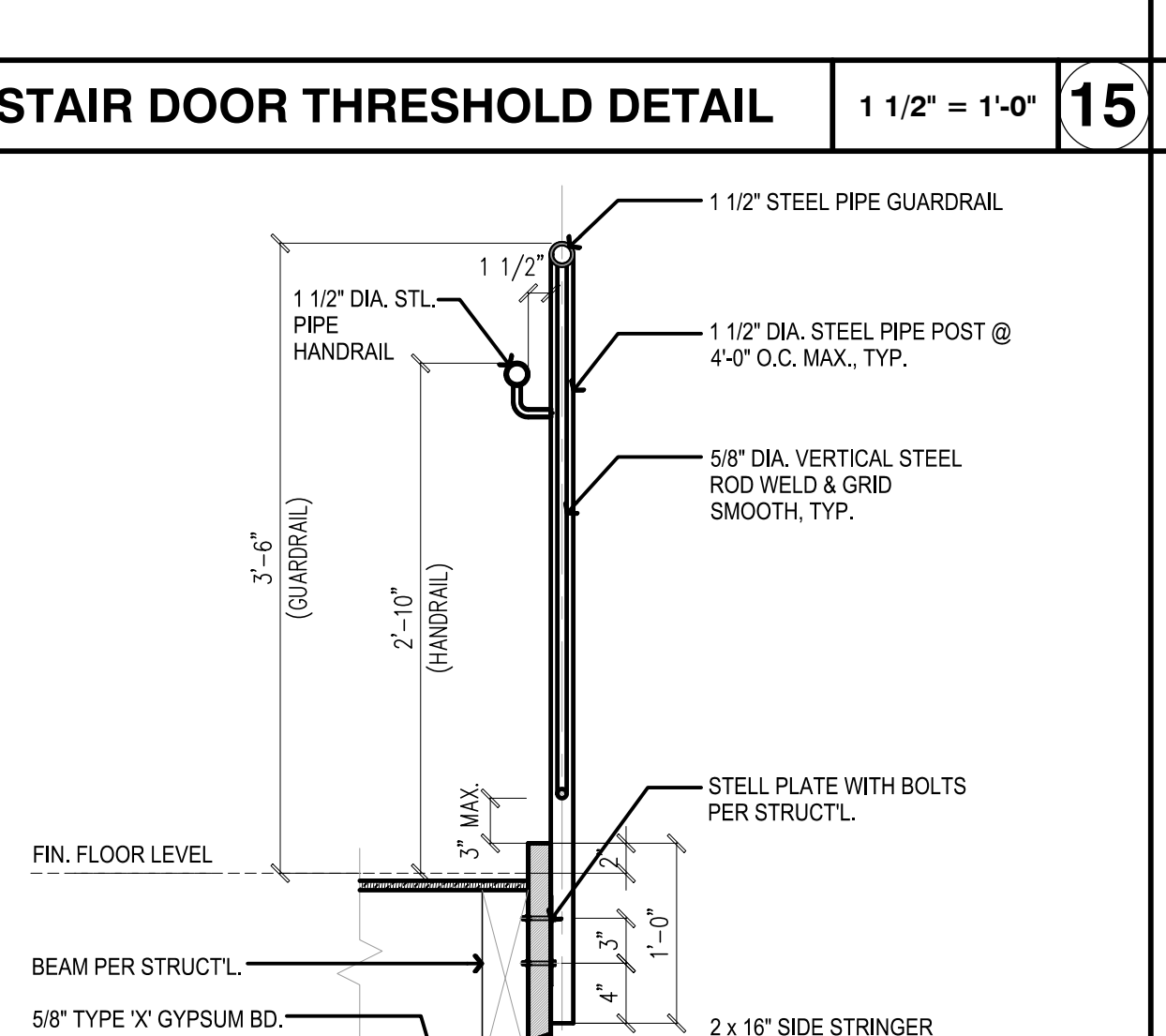
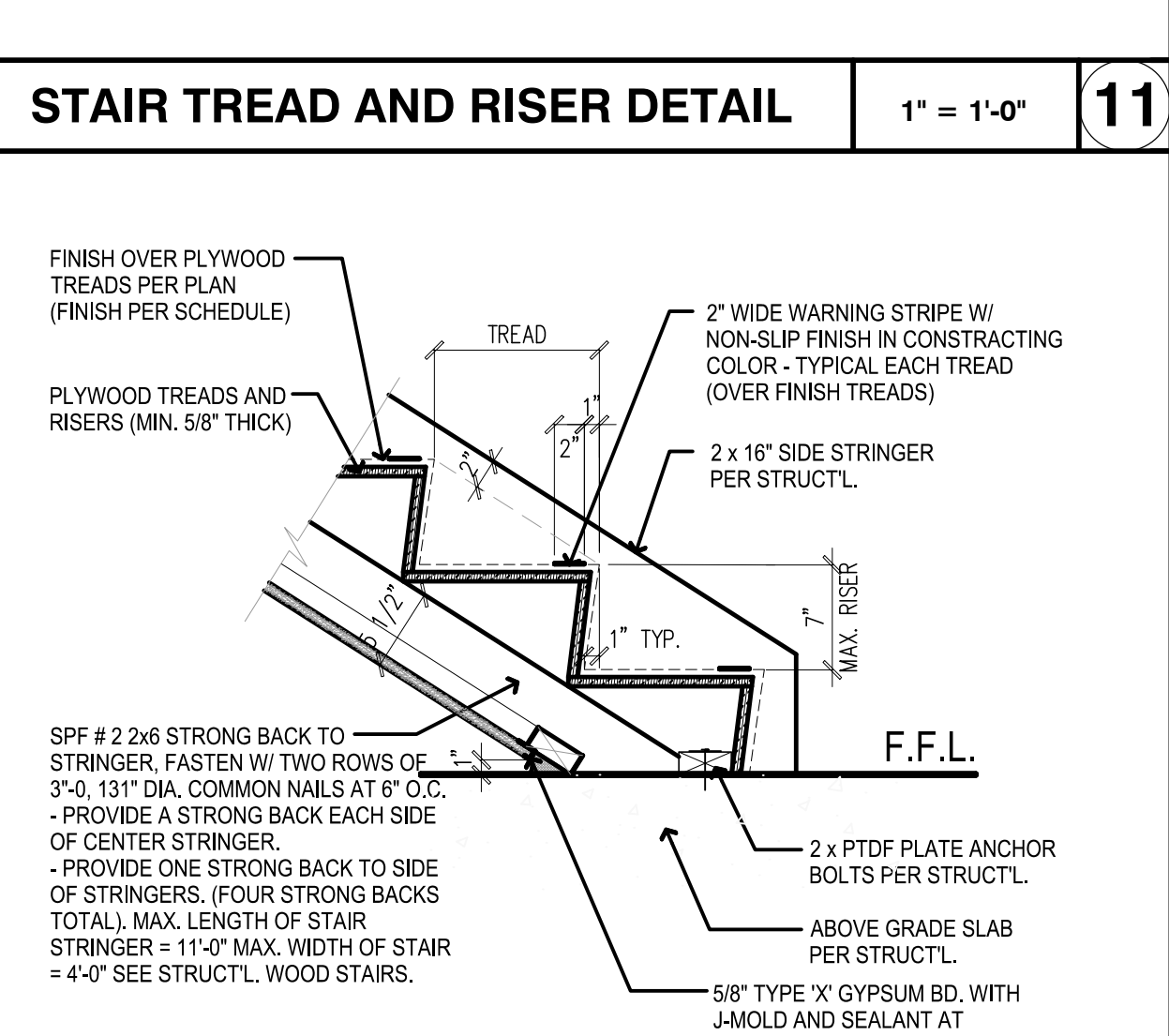
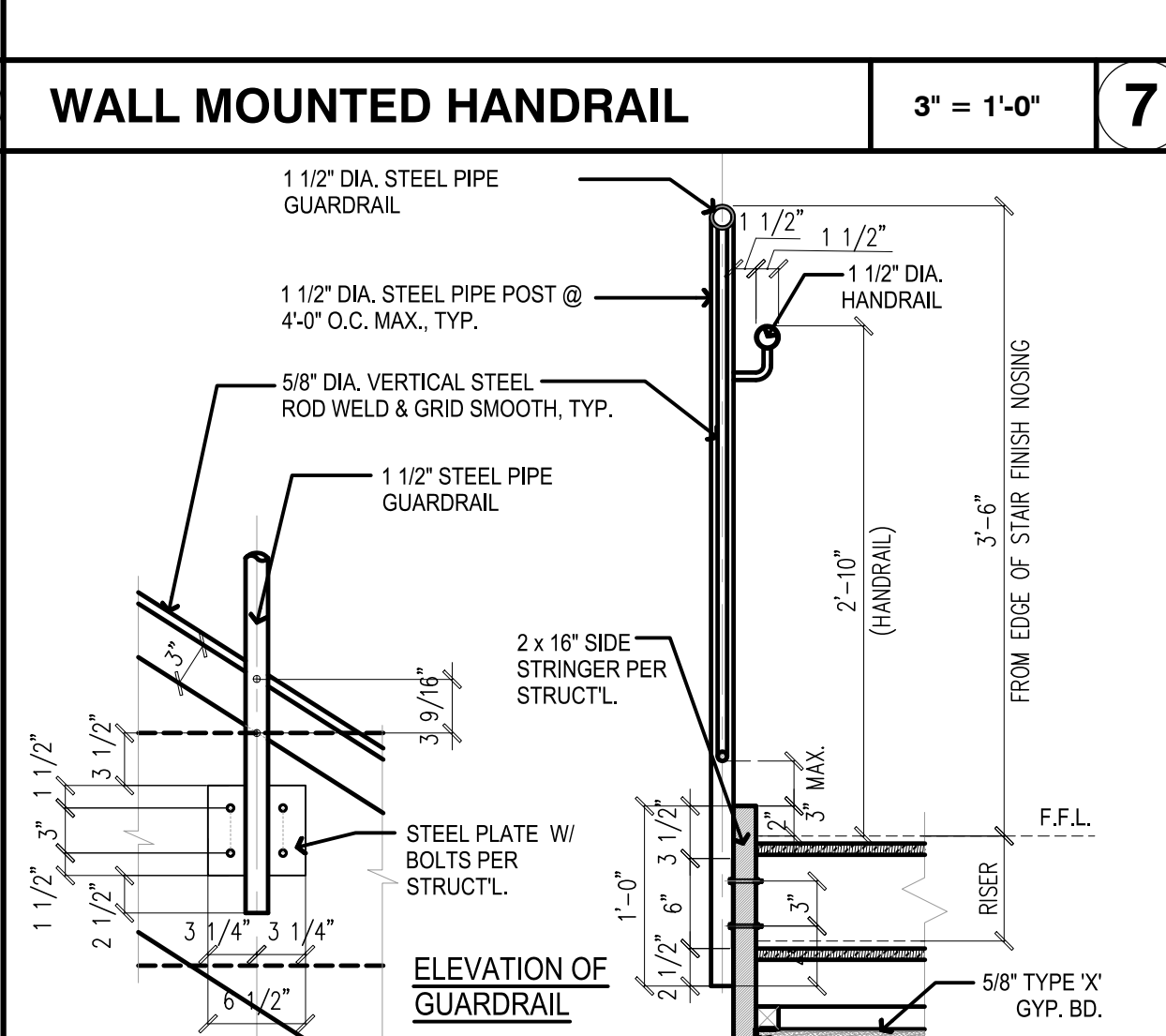
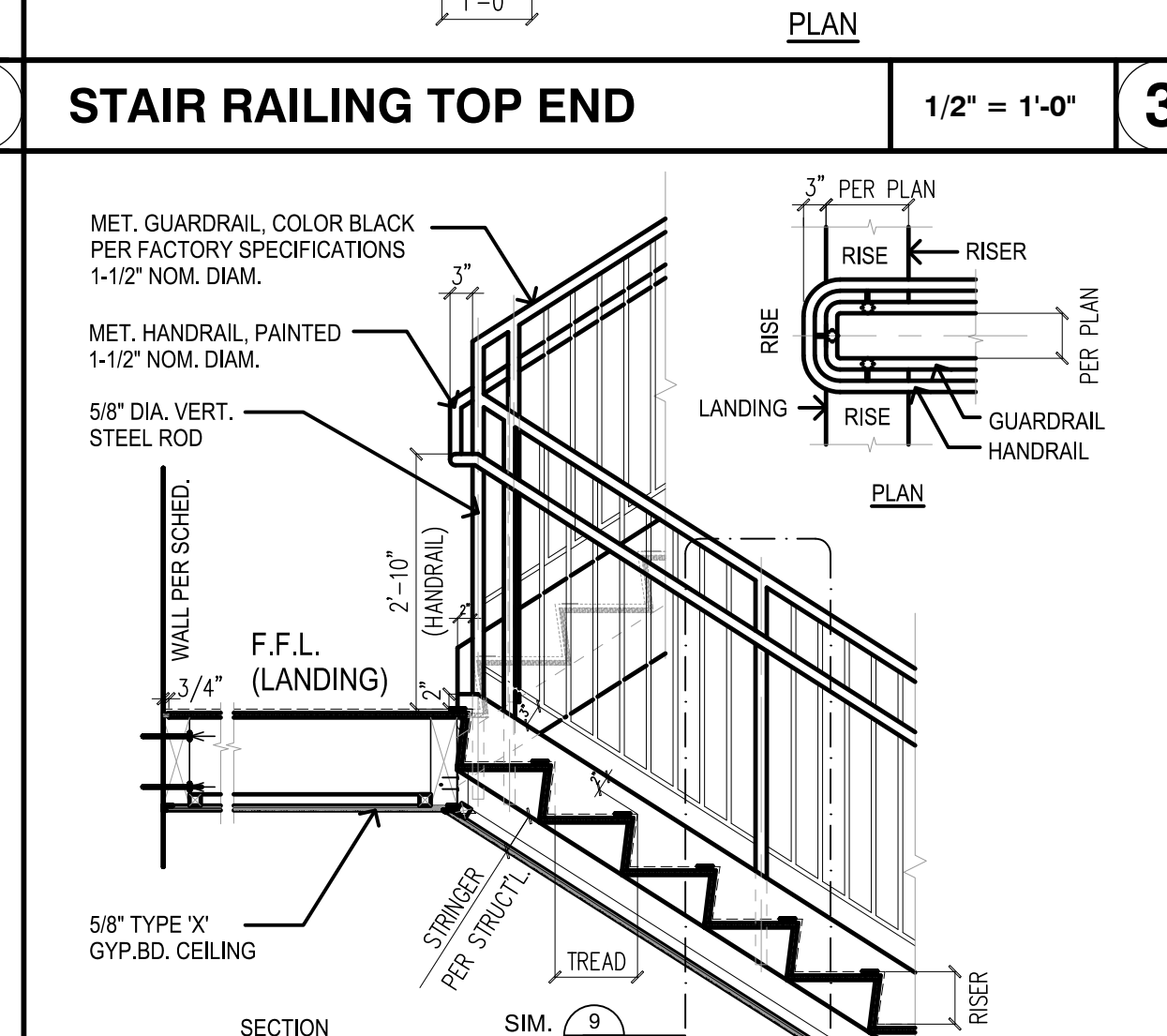
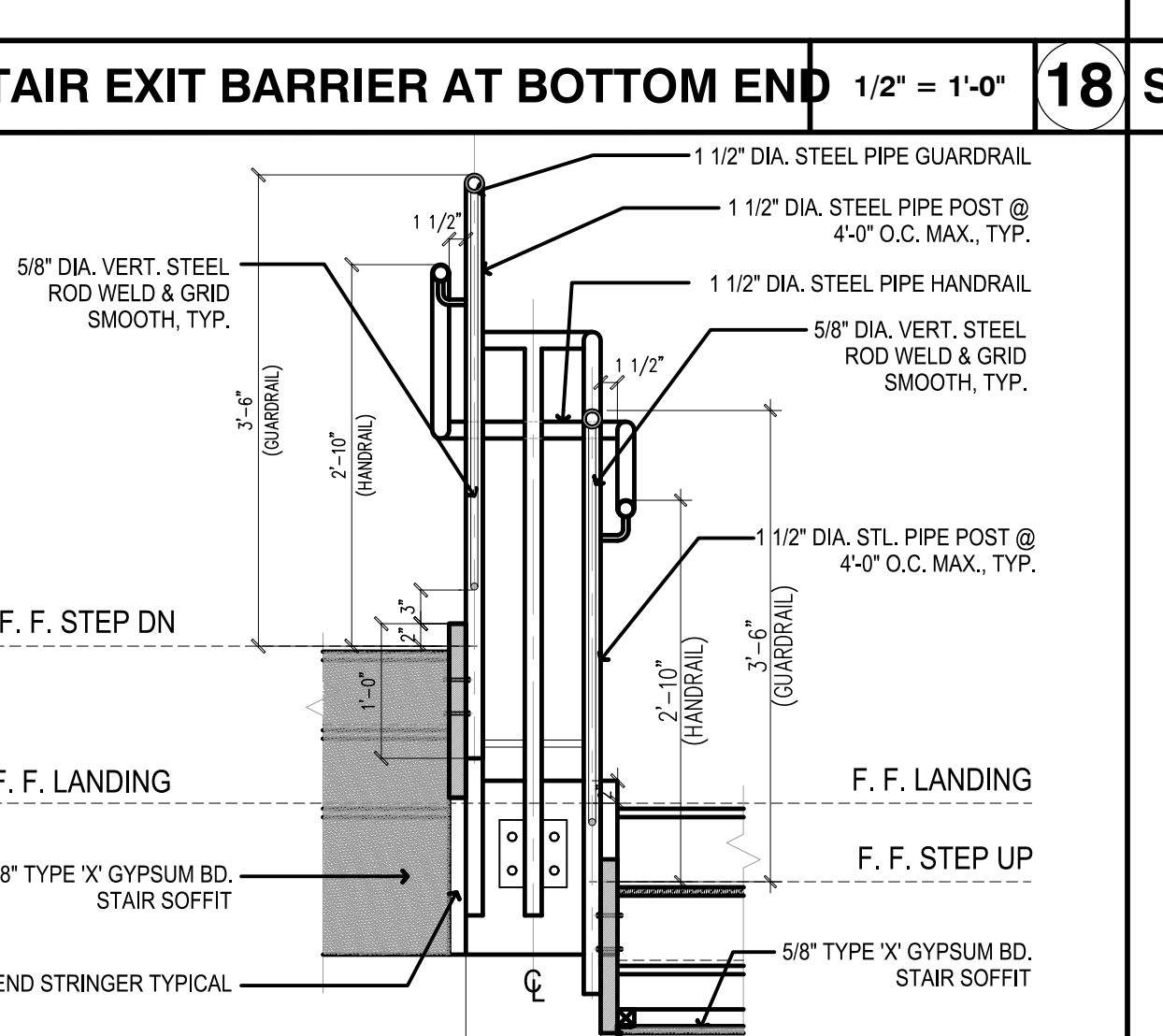
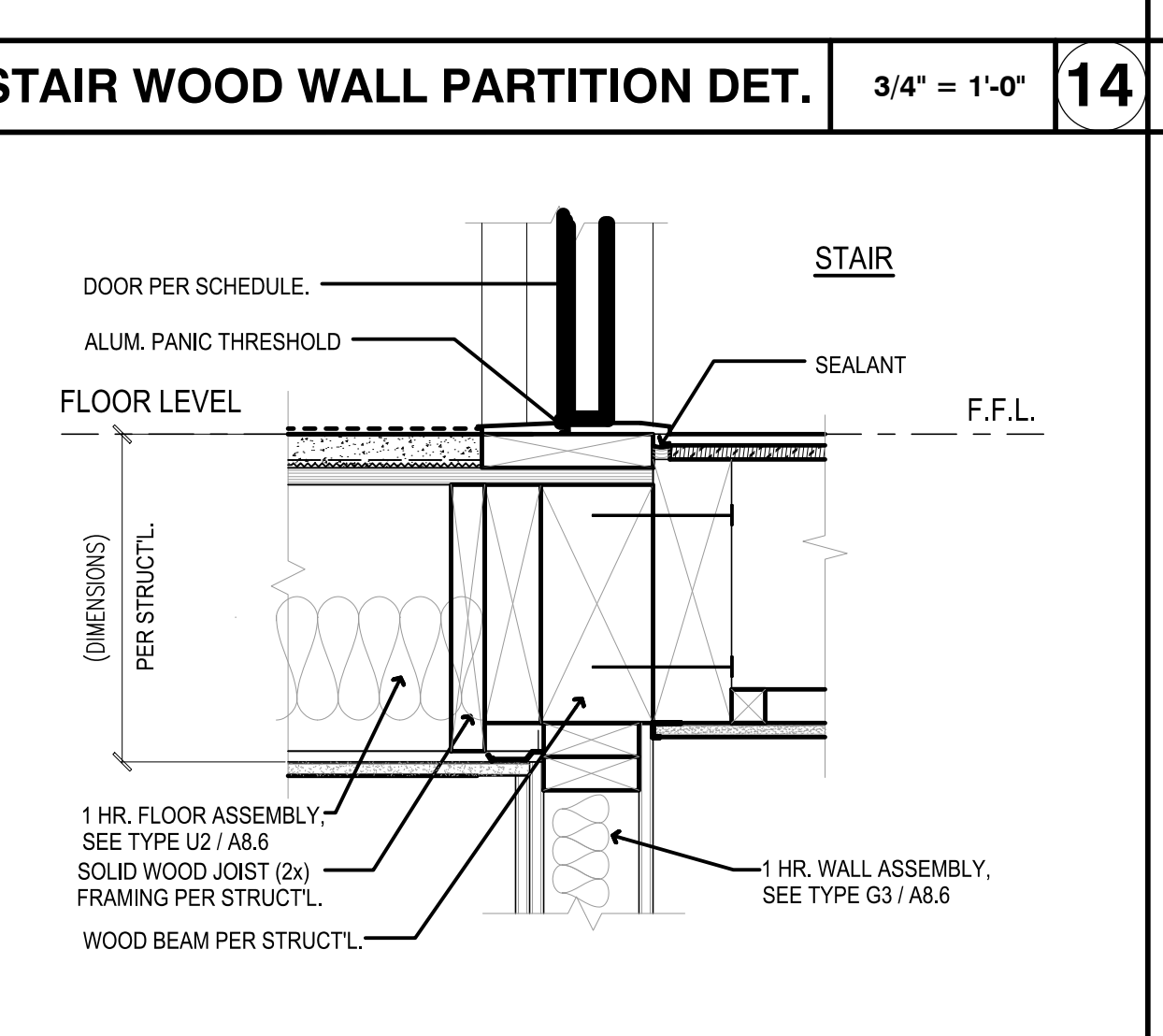
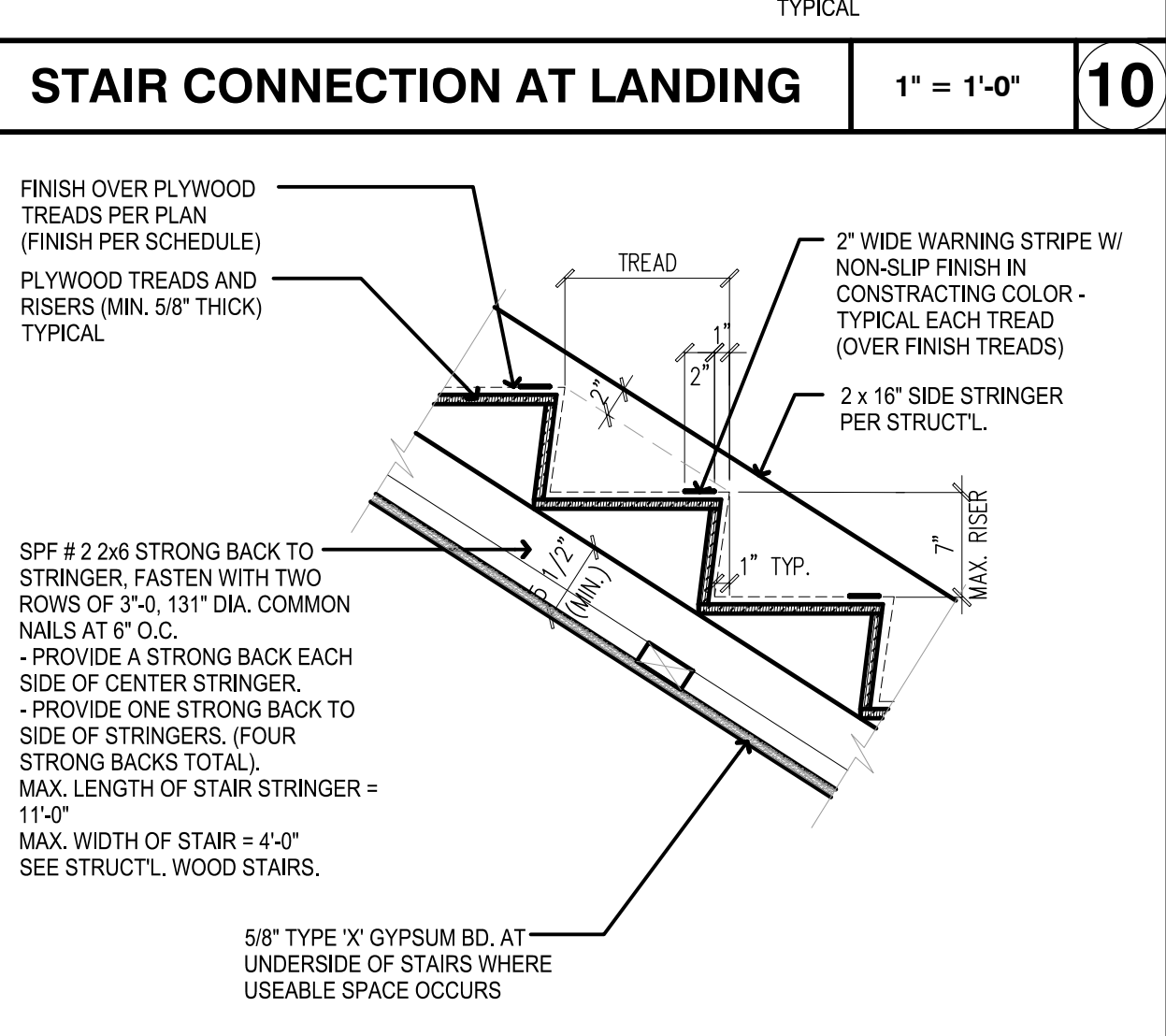
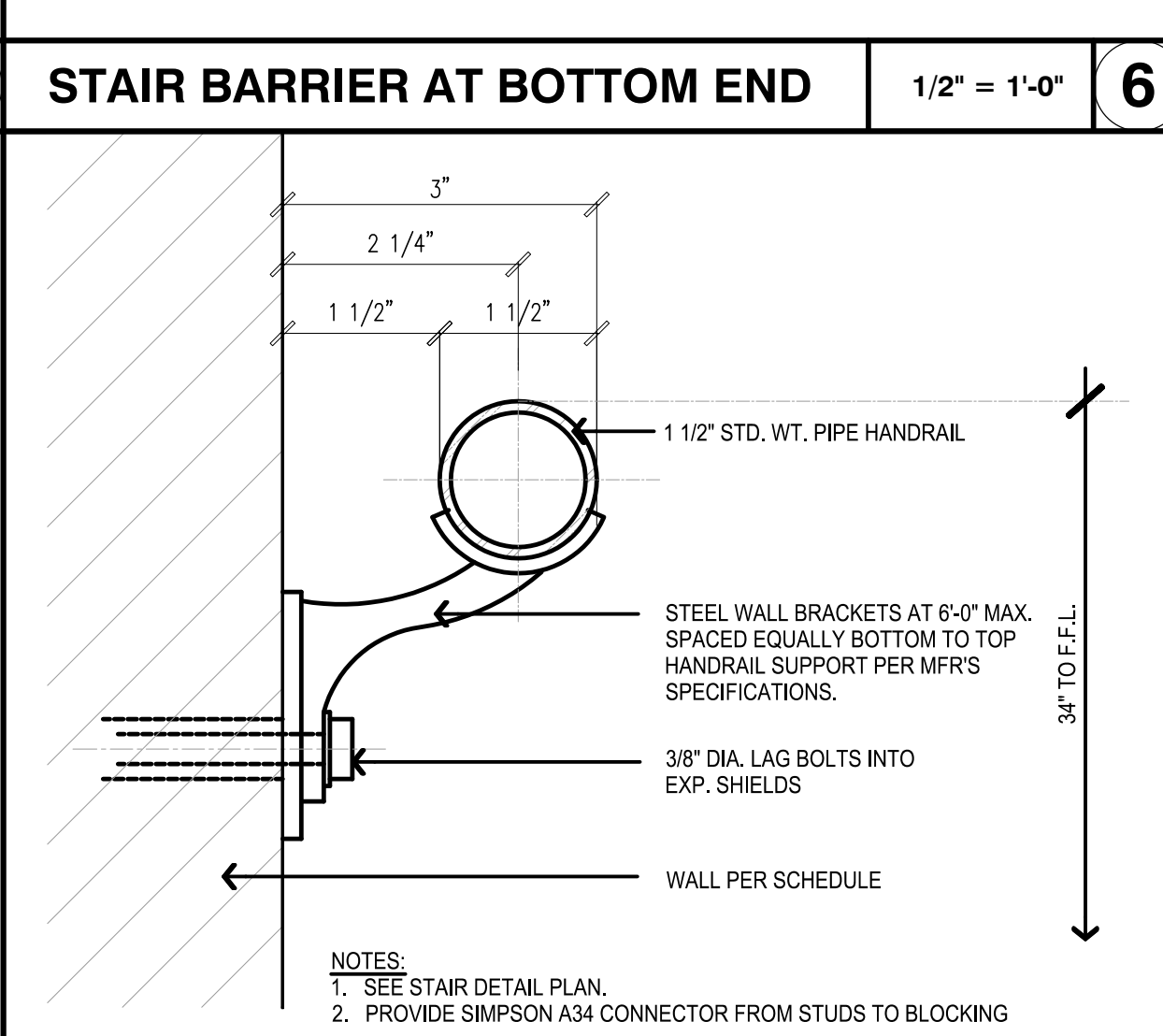
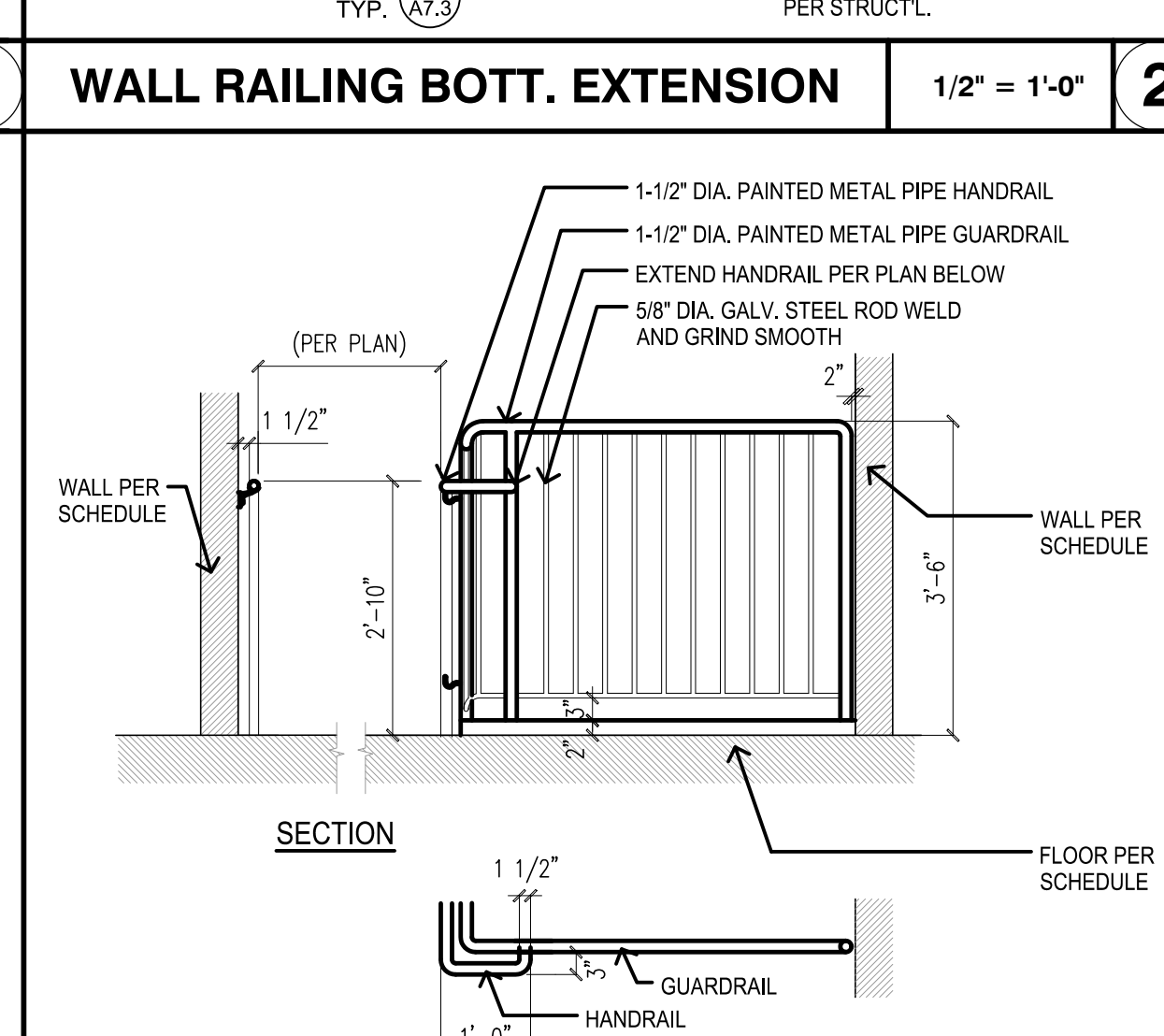
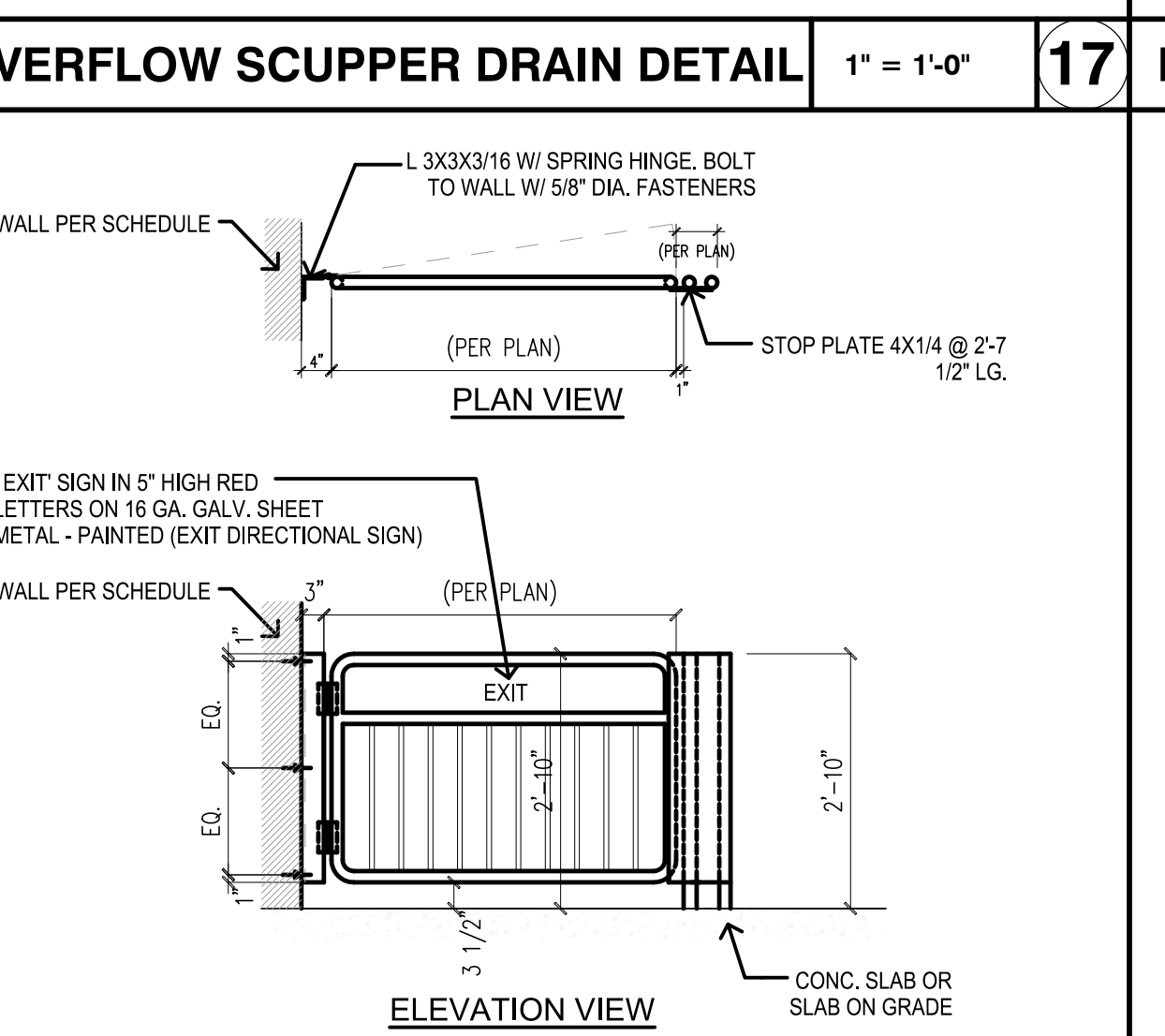
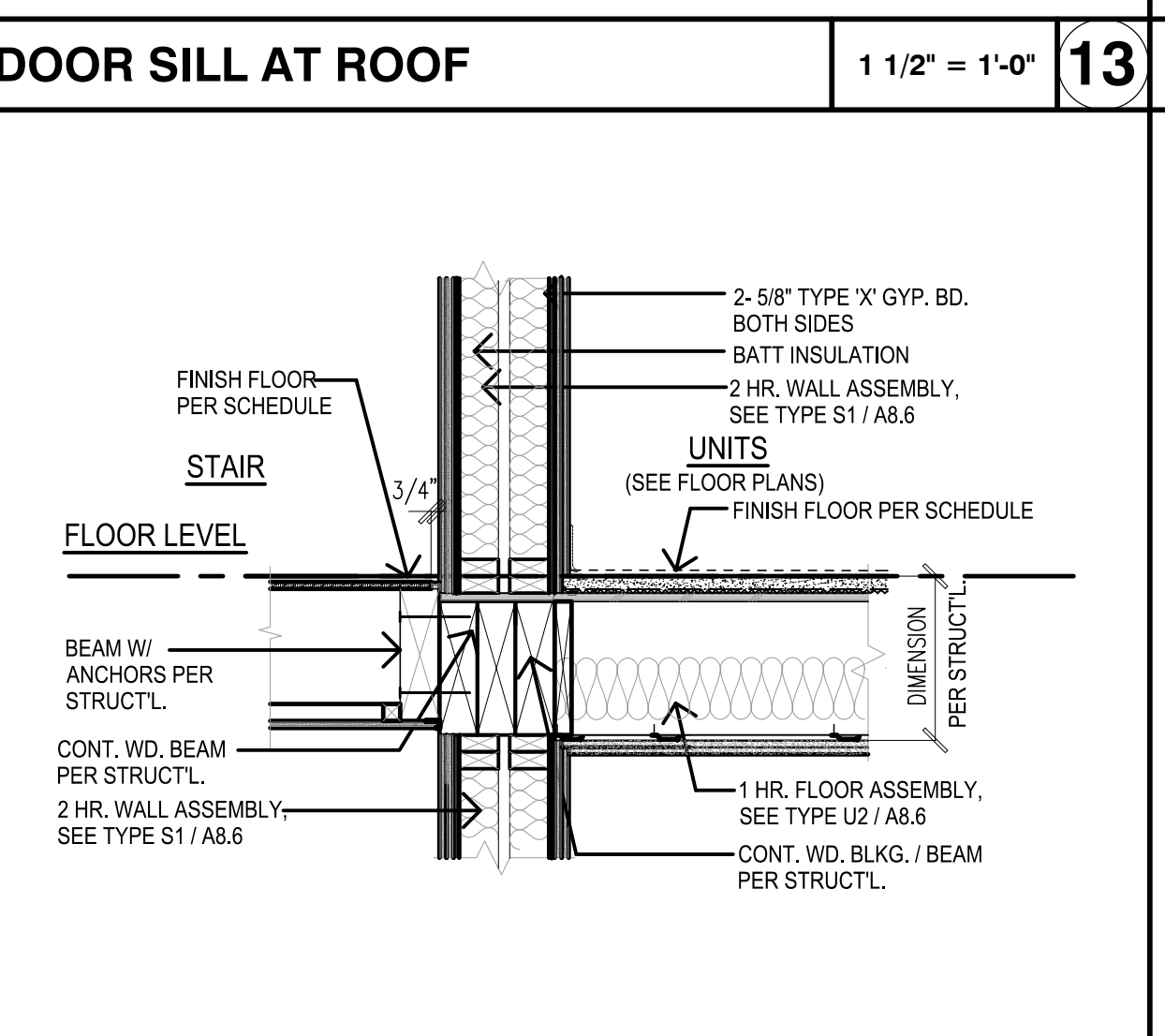
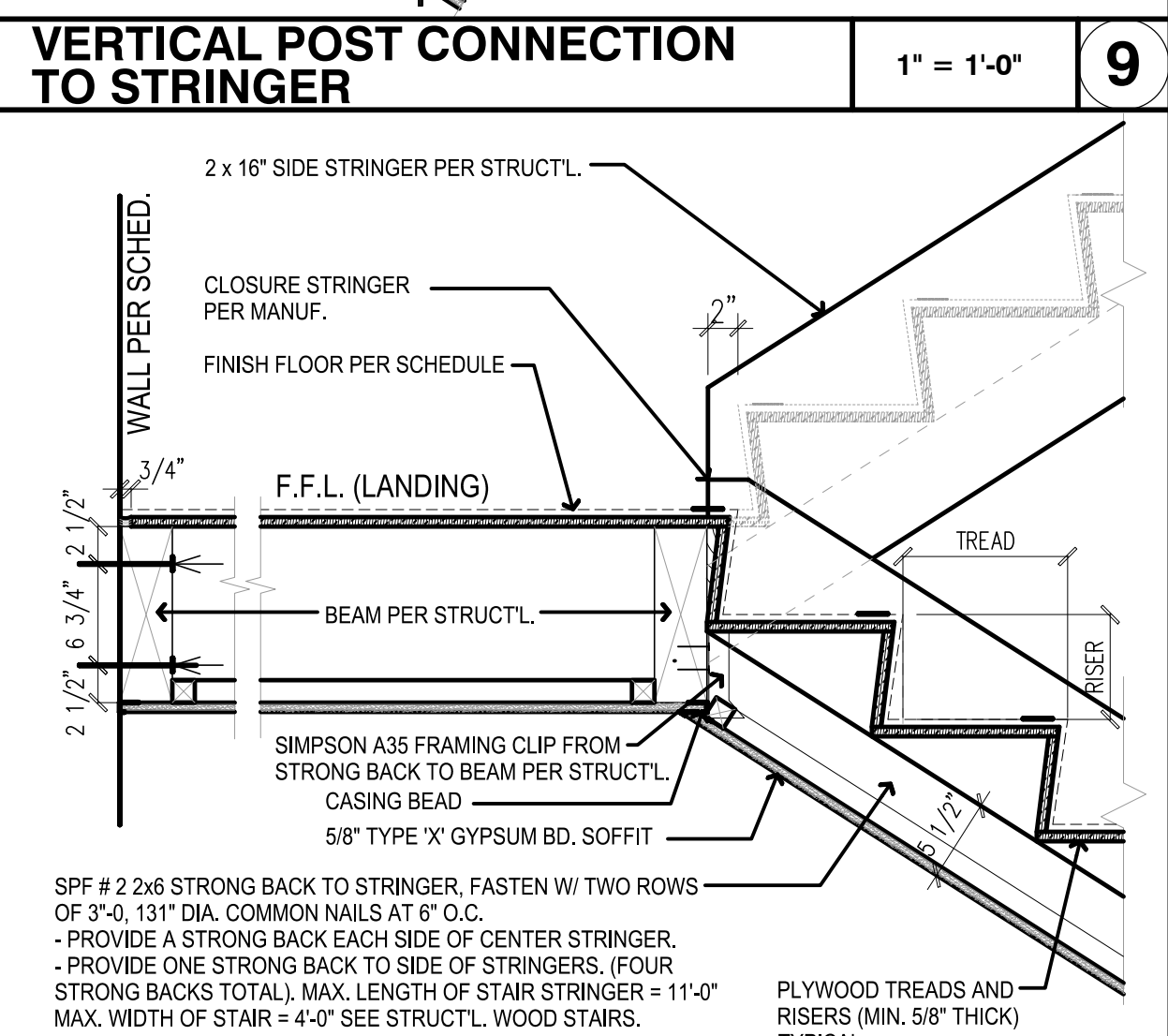
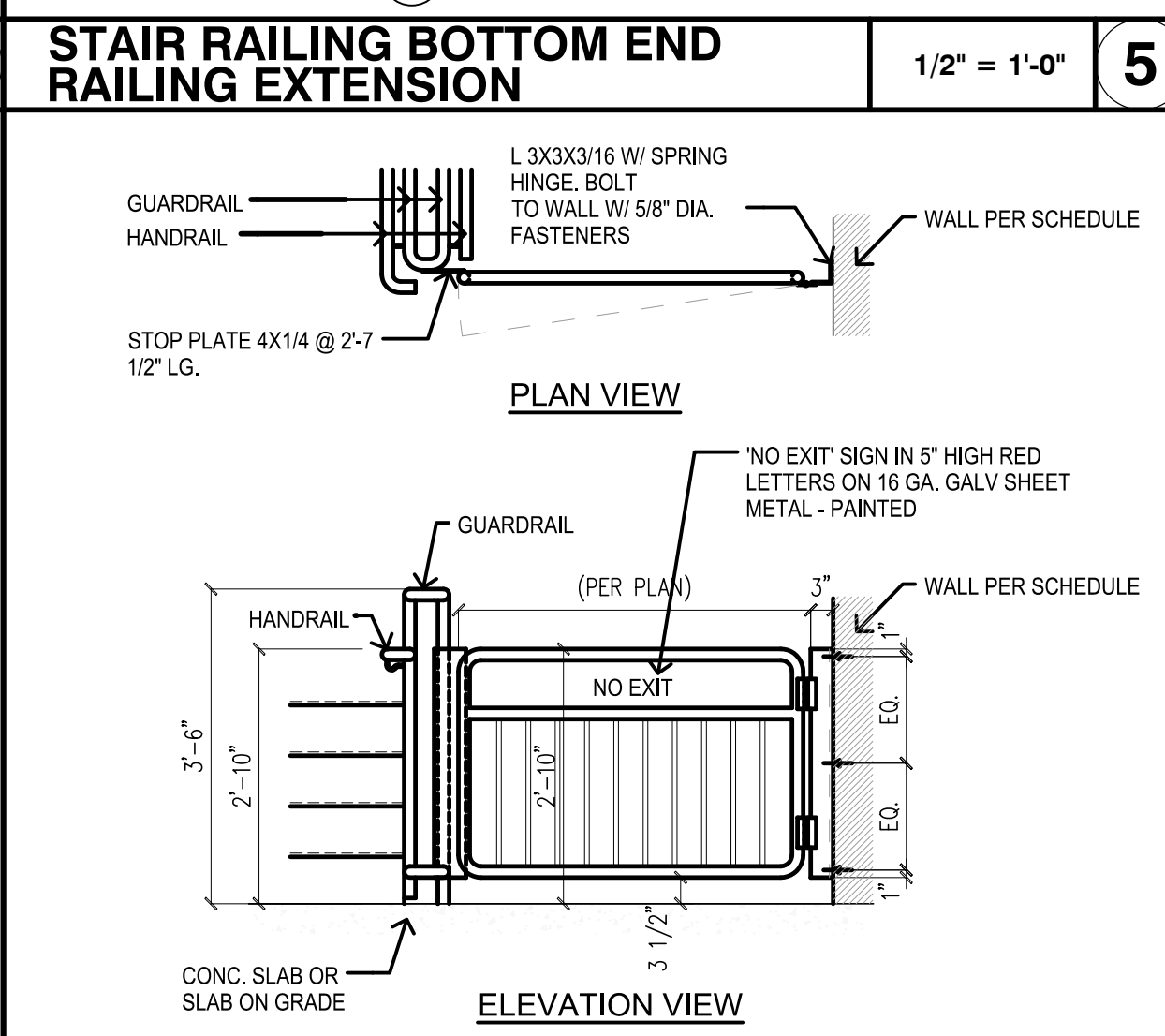
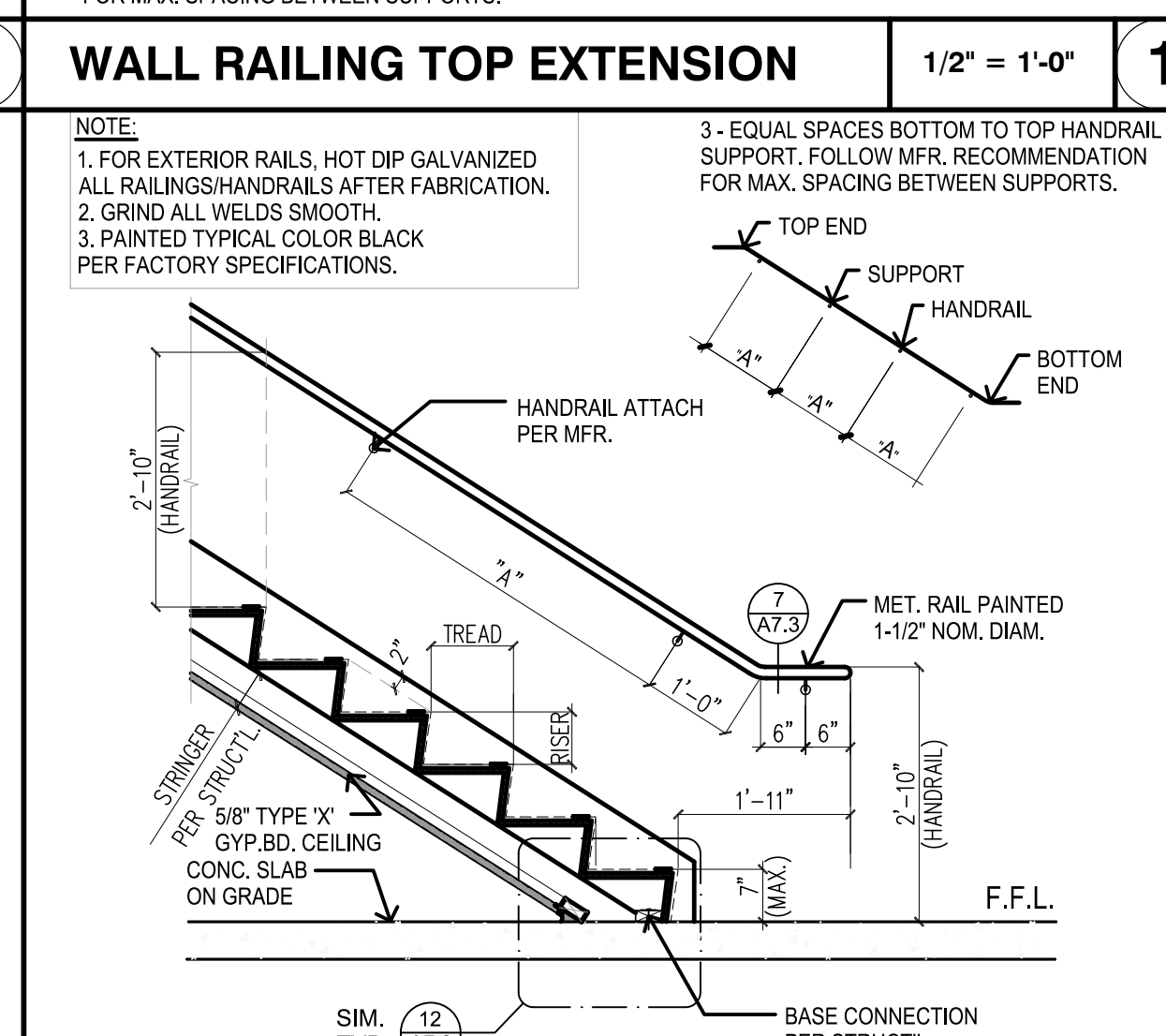
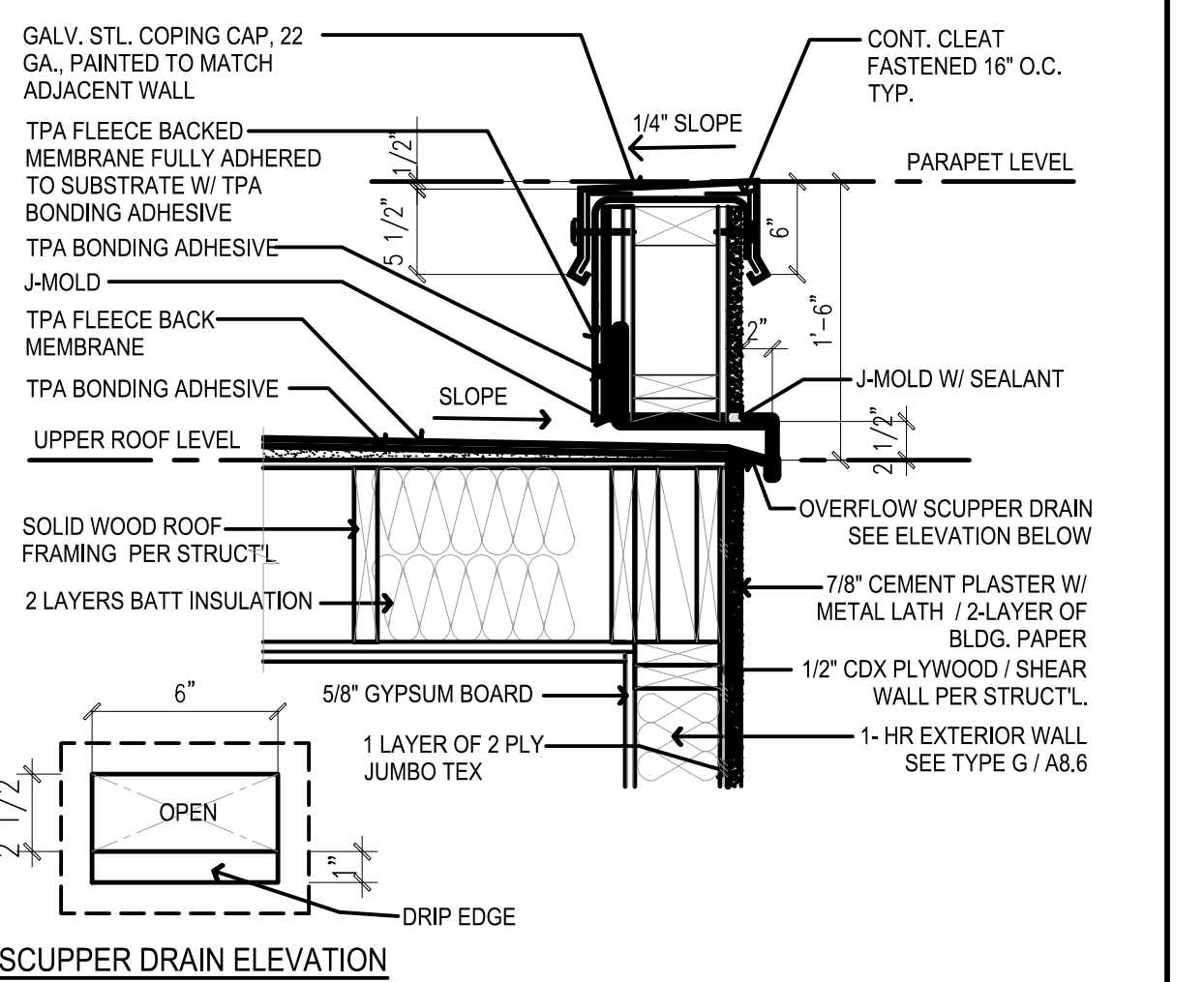
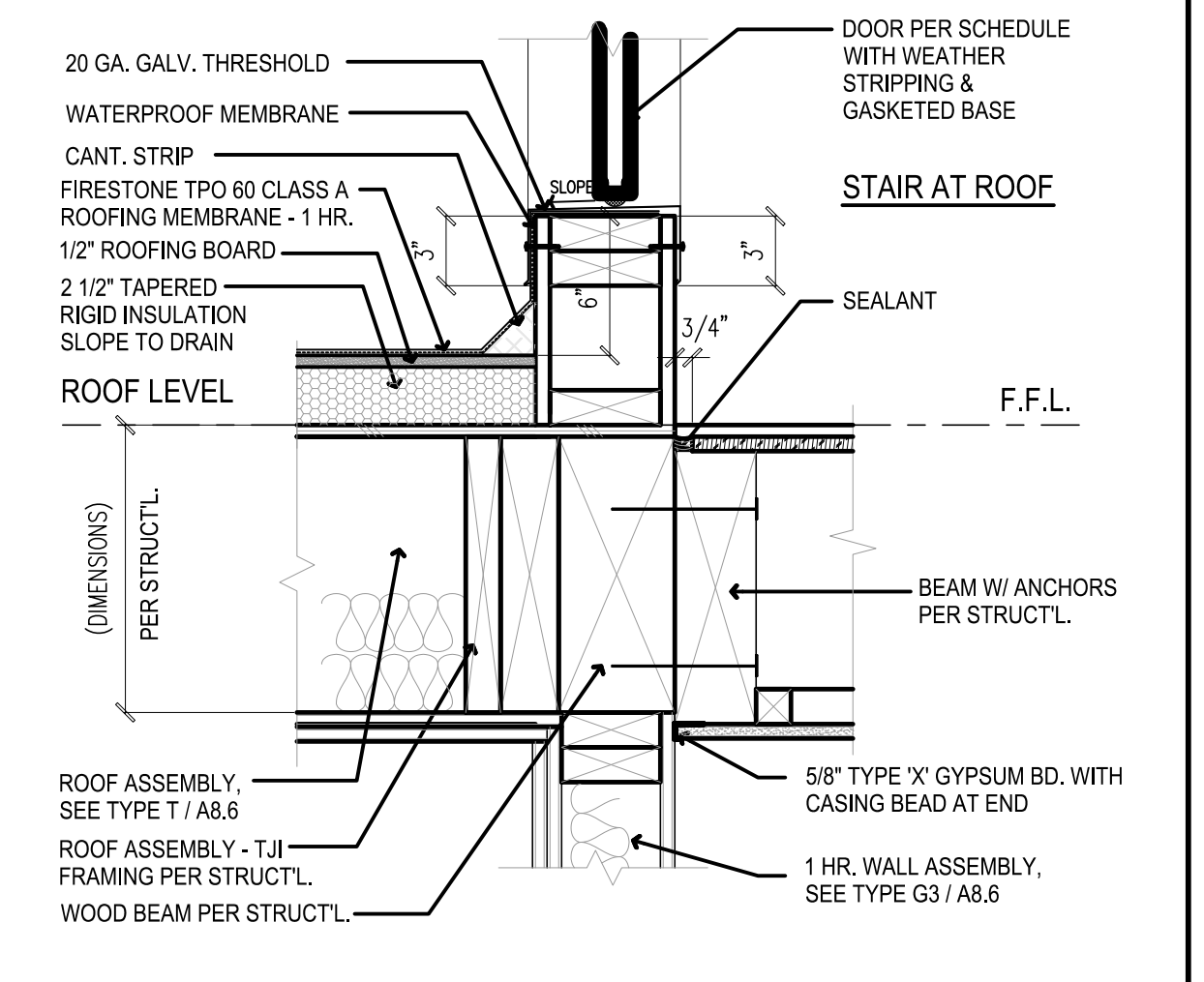
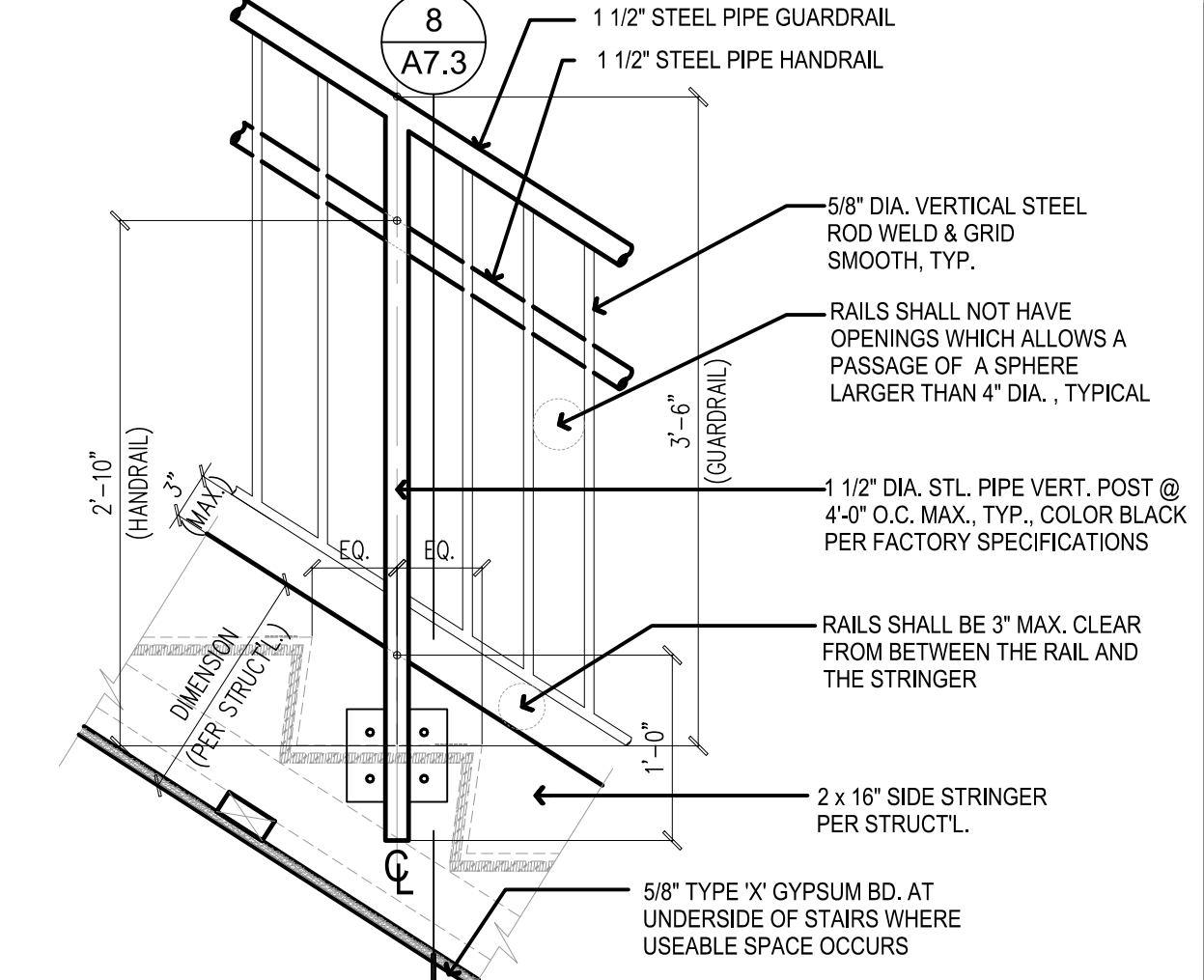
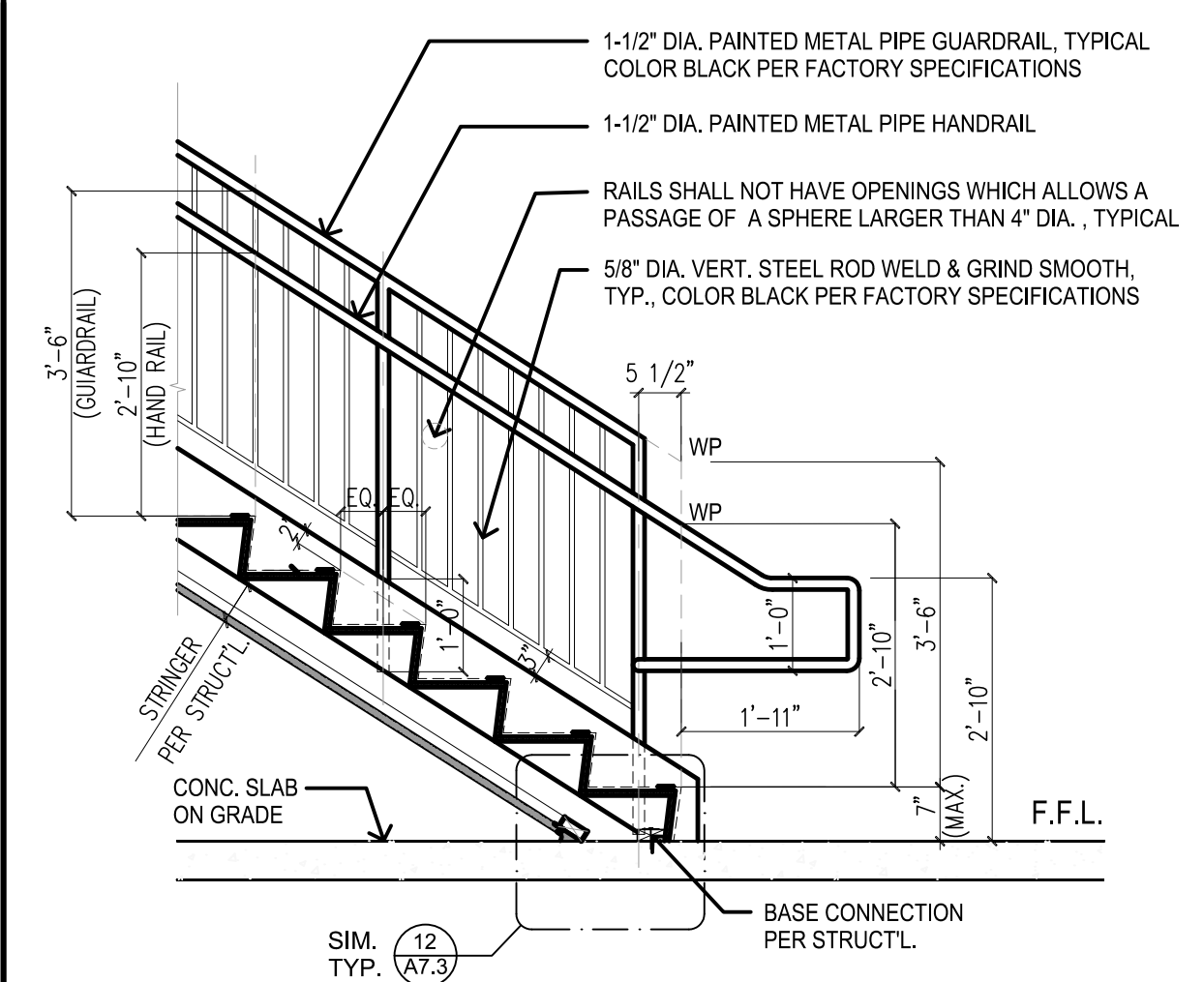
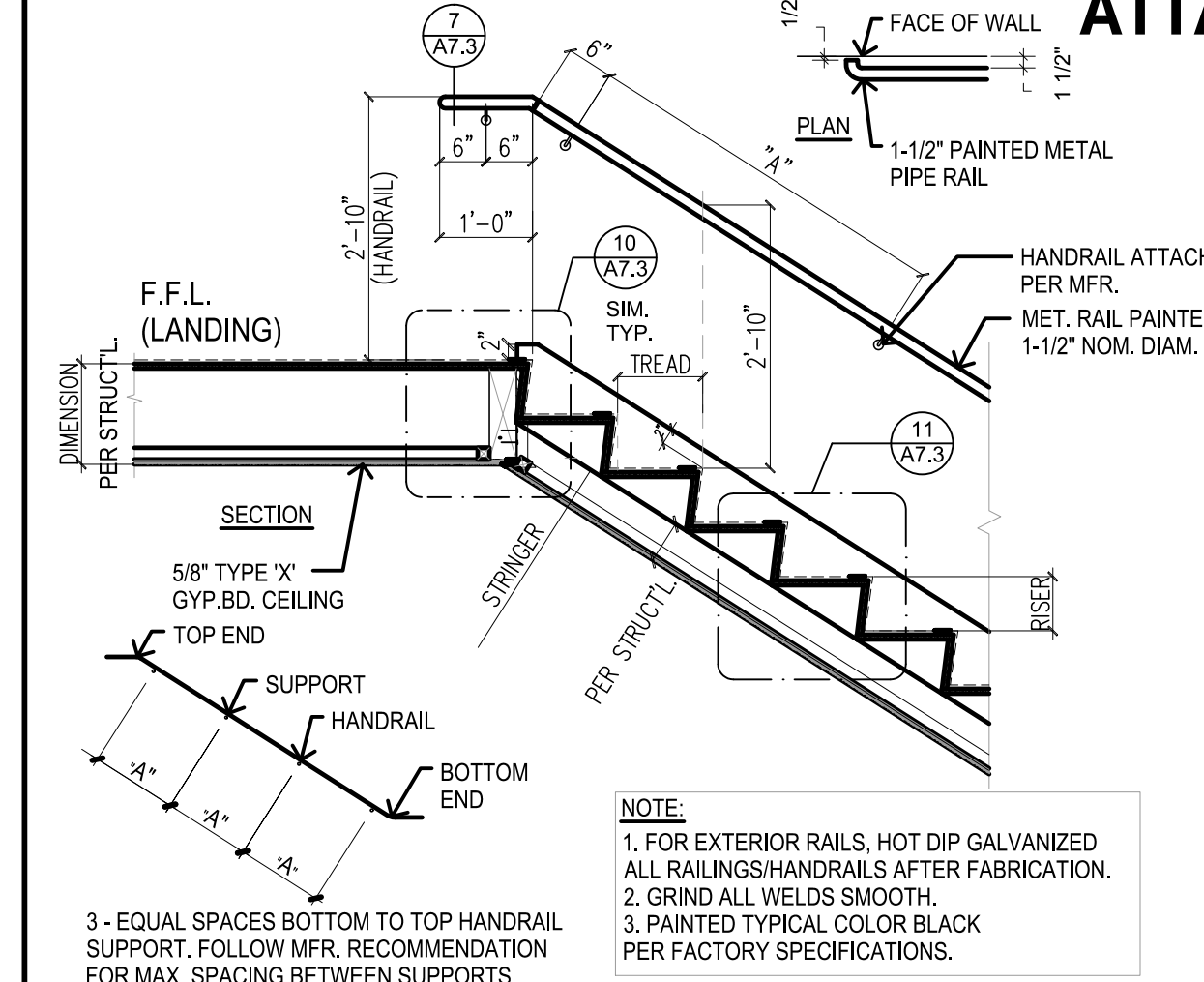
DRAWN BY: Author

JOB No: 3707

SHEET No:

A6.6

COASTAL DEVELOPMENT PERMIT SET



NOTE:
1) PROVIDE APPROVED SMOKE DETECTORS, ACCORDING TO THEIR LISTING AT ELEVATOR LOBBY.
2) THIS APPLIES TO ELEVATORS : IN ORDER TO BE CONSIDERED PART OF AN ACCESSIBLE MEANS OF EGRESS, AN ELEVATOR SHALL COMPLY WITH THE EMERGENCY OPERATION AND SIGNALING DEVICE REQUIREMENTS OF SECTION 2.27 OF ASME A17.1. STANDBY POWER SHALL BE PROVIDED IN ACCORDANCE WITH SECTIONS 2702 AND 3003. THE ELEVATOR SHALL BE ACCESSED FROM EITHER AN AREA OF REFUGE COMPLYING WITH SECTION 1007.6 OR A HORIZONTAL EXIT. 2007 CBC 1007.4.
3) ELEVATOR 1 IS COMPLIANT WITH THE ELEVATOR STRETCHER OR GURNEY REQUIREMENTS OF CBC 3002.4 OR (SFM) 3002.4 THROUGH 3002.4A7.
4) TWO-WAY COMMUNICATION SYSTEM WITH ILLUMINATED INSTRUCTION SIGN, SEE FIRE PROTECTION NOTES.
5) THE ENCLOSED ELEVATOR LOBBY IS CONSTRUCTED WITH 1-HOUR FIRE RATED PARTITIONS IN ACCORDANCE WITH CBC 3006.3 (CBC 3006.2).
6) AN ELEVATOR CAPABLE OF ACCOMMODATING AN AMBULANCE STRETCHER OR GURNEY IS REQUIRED AND SHALL BE IDENTIFIED WITH THE INTERNATIONAL SYMBOL FOR EMERGENCY MEDICAL SERVICES (STAR OF LIFE) SIGNAGE COMPLYING WITH SECTION 3002.4 OF CALIFORNIA BUILDING CODE. ELEVATORS PROVIDED IN COVERED MULTIFAMILY BUILDINGS ARE ACCESSIBLE TO PERSONS WITH DISABILITIES. THESE ELEVATORS ARE IN COMPLIANCE WITH PROVISIONS OF CBC, CHAPTER 11A, ASME A17.1 (SAFETY CODE FOR ELEVATORS, TITLE 8, OF THE CALIFORNIA CODE OF REGULATIONS (THE STATE OF CALIFORNIA, DEPARTMENT OF INDUSTRIAL REGULATIONS, DIVISION OF OCCUPATIONAL SAFETY AND HEALTH), UNDER "ELEVATOR SAFETY ORDERS", AND ANY OTHER APPLICABLE SAFETY REGULATIONS OF OTHER ADMINISTRATIVE AUTHORITIES HAVING JURISDICTION.
8) FOR ELEVATOR DIAGRAM CBC 2019 2010 ADASAD, SEE DETAIL 7 / A7.3.1

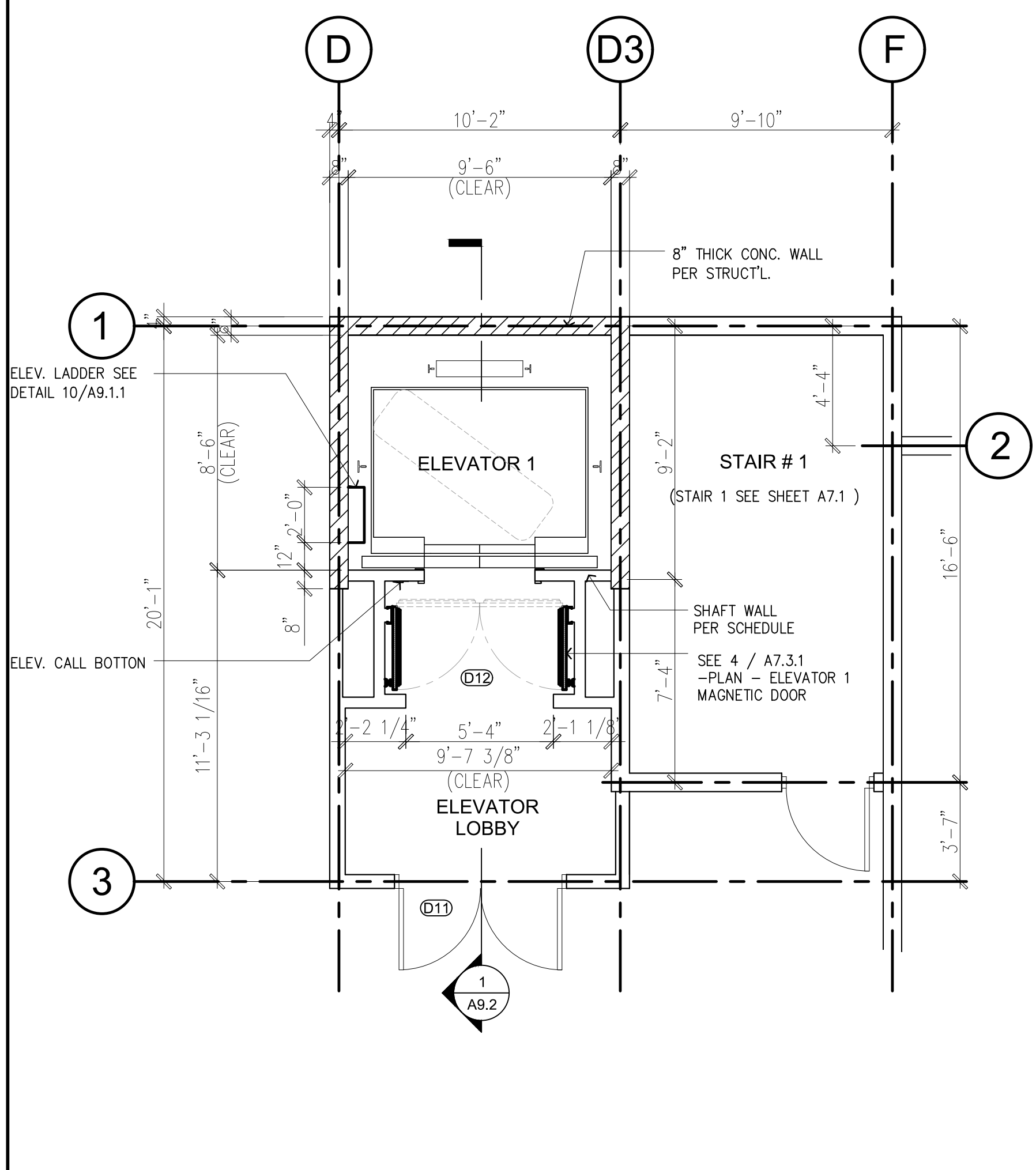
WALL TYPE LEGEND:
(SEE: 8 SERIES FOR WALL SCHEDULE)

CONCRETE WALLS
- MIN. 1-HR.

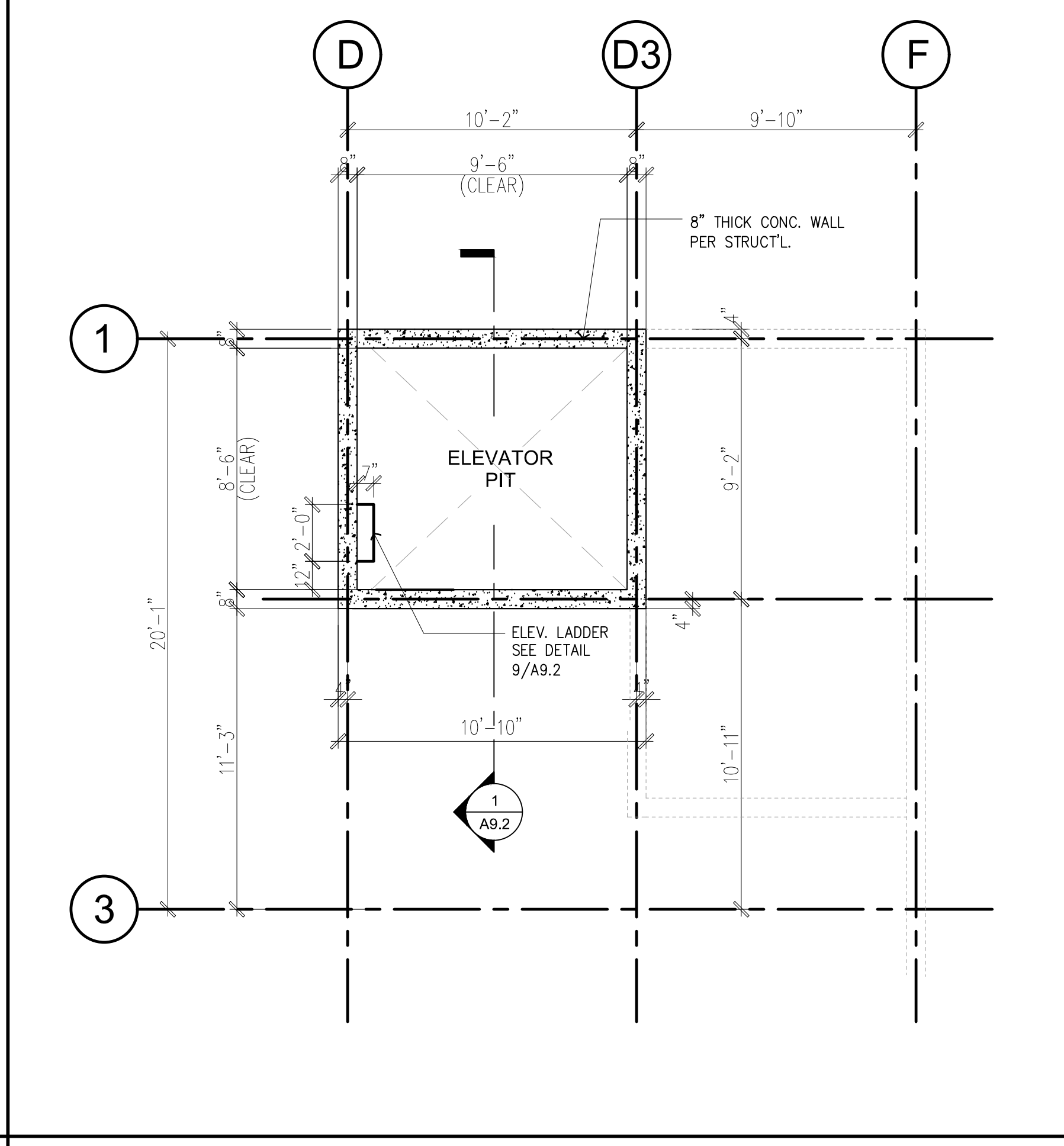
CMU SOLID CORE WALL.

WOOD FRAMED PARTITIONS.

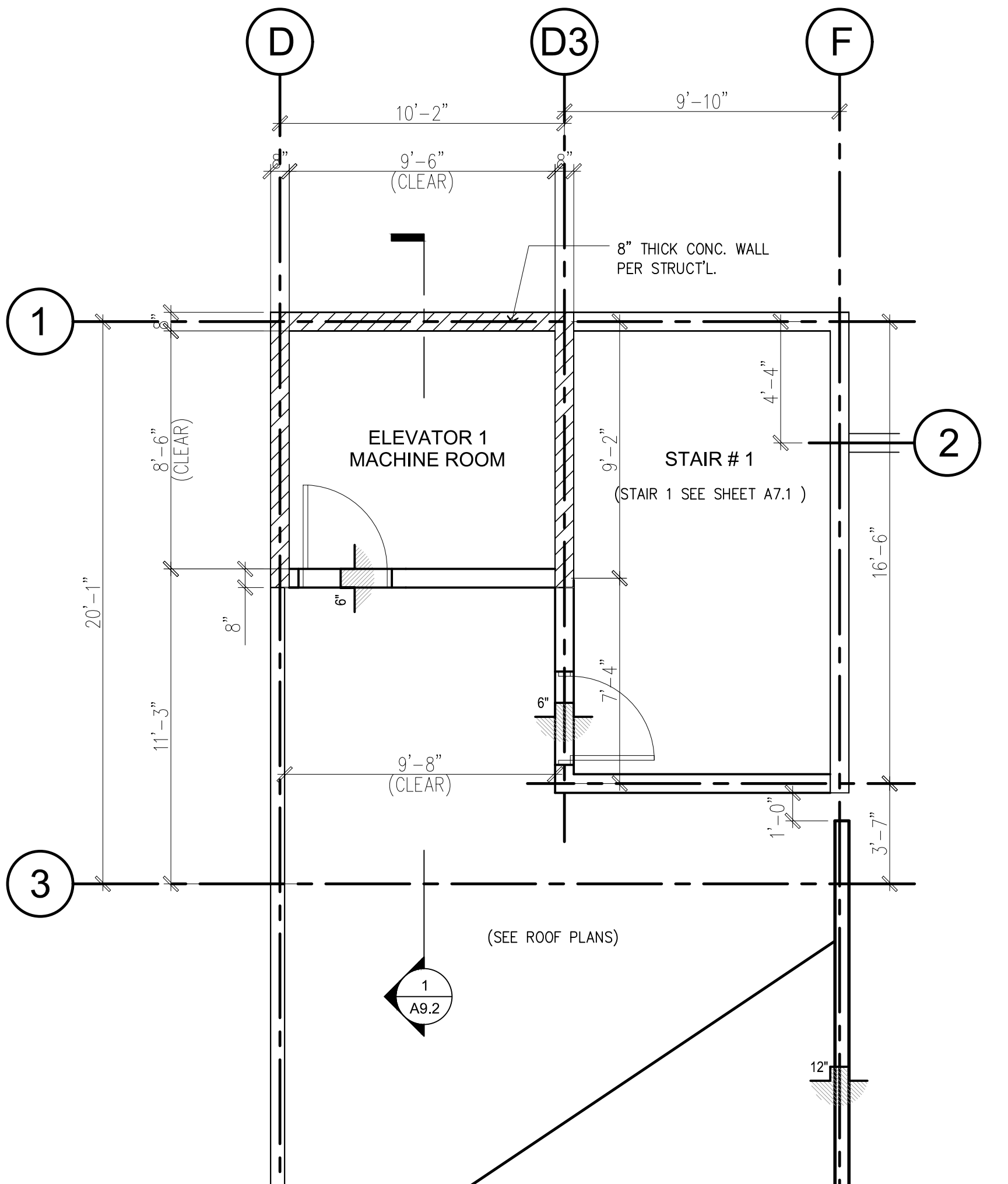
SHAFT WALL FRAMED
- MIN. 2-HR.



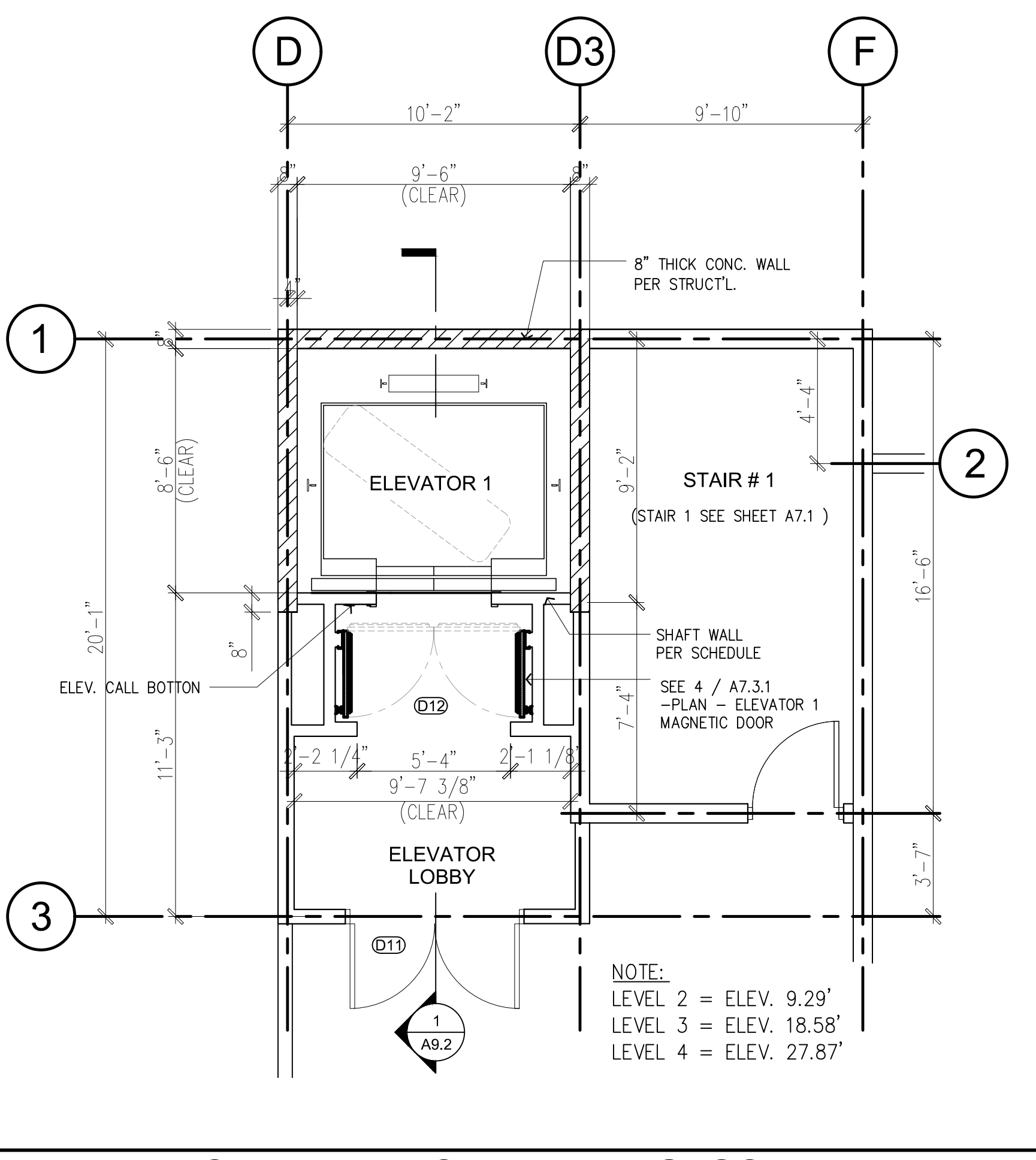
2 ELEVATOR - ENLARGED PLAN - GROUND FLR. LEVEL
SCALE: 1/4" = 1'-0"



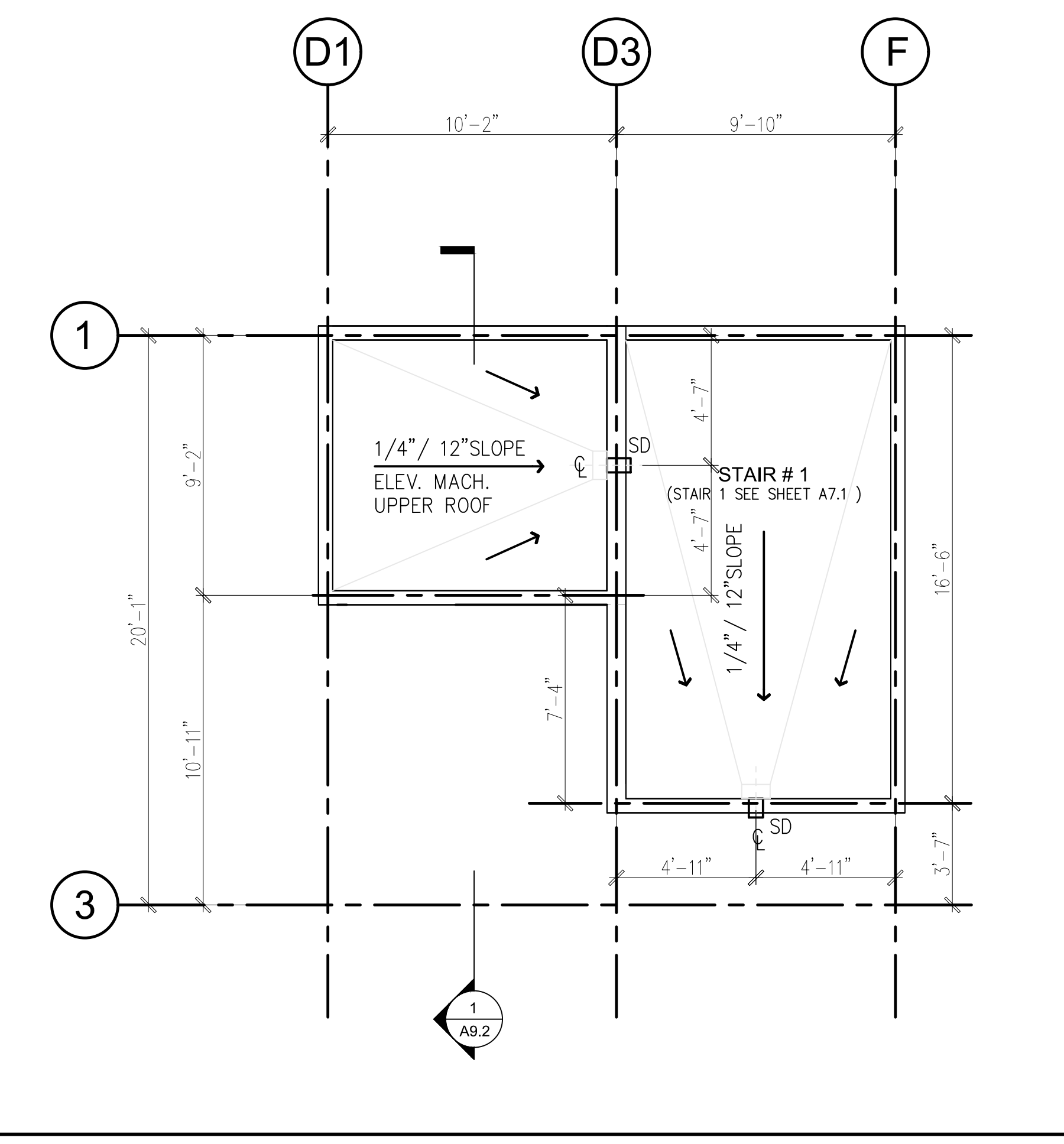
1 ELEVATOR - ENLARGED PLAN - ELEVATOR PIT
SCALE: 1/4" = 1'-0"



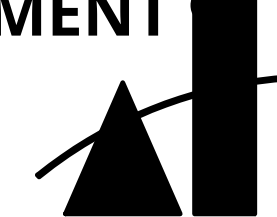
4 ELEVATOR - ENLARGED ROOF PLAN - MECH. ROOM
SCALE: 1/4" = 1'-0"



3 ELEVATOR - ENLARGED PLAN - SECOND, THIRD & FOURTH FLOOR LEVEL (TYPICAL)
SCALE: 1/4" = 1'-0"
SEE ELEV. NOTE



5 ELEVATOR - ENLARGED PLAN - MECH. ROOF
SCALE: 1/4" = 1'-0"

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DEVELOPER:

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2001 NEWTON AVE, SAN DIEGO, CA 92113

SEAL:

SHEET TITLE:

FOUNDATION &
WATERPROOFING
DETAILS

DATE: 04/30/2025

SCALE: As indicated

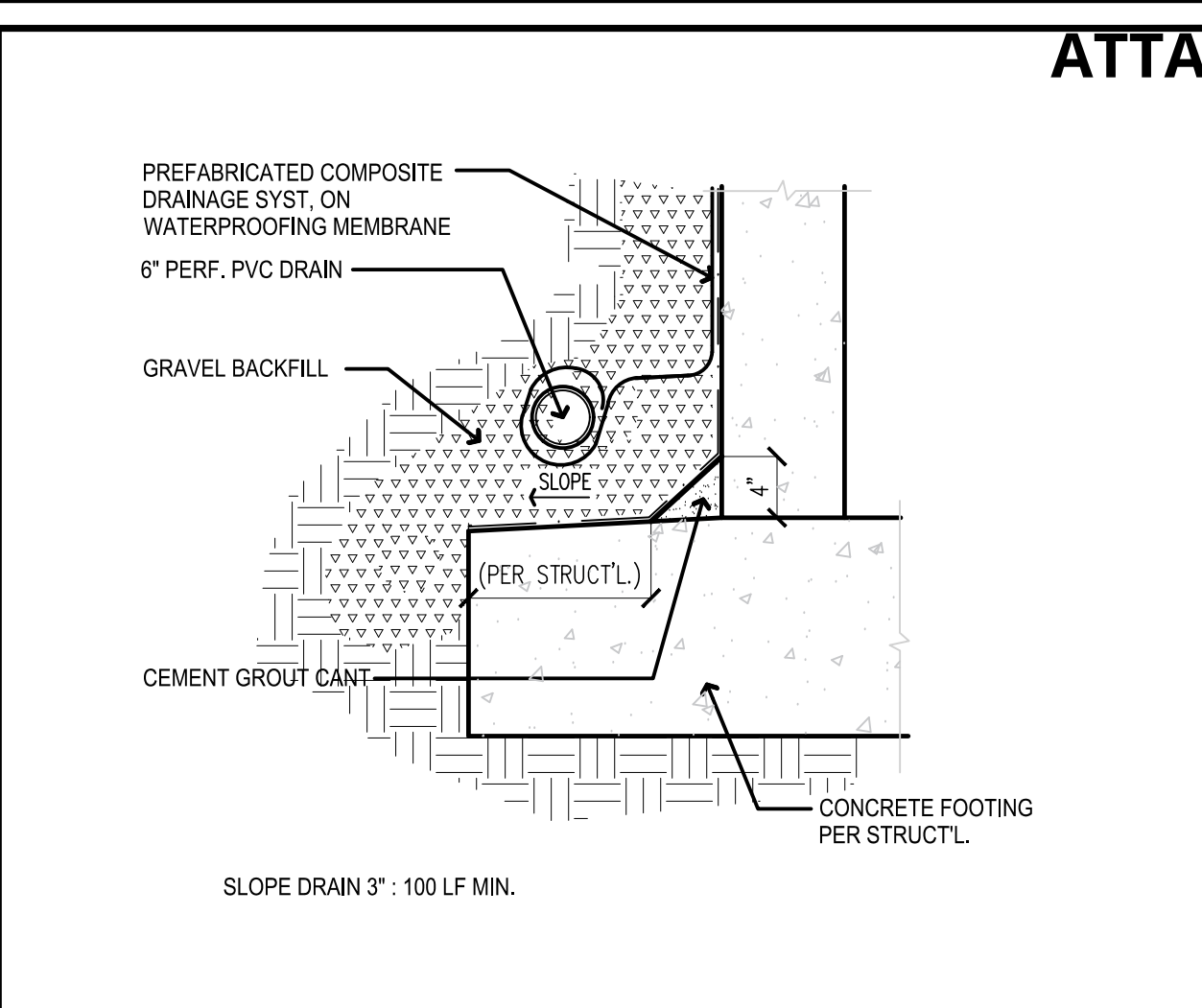
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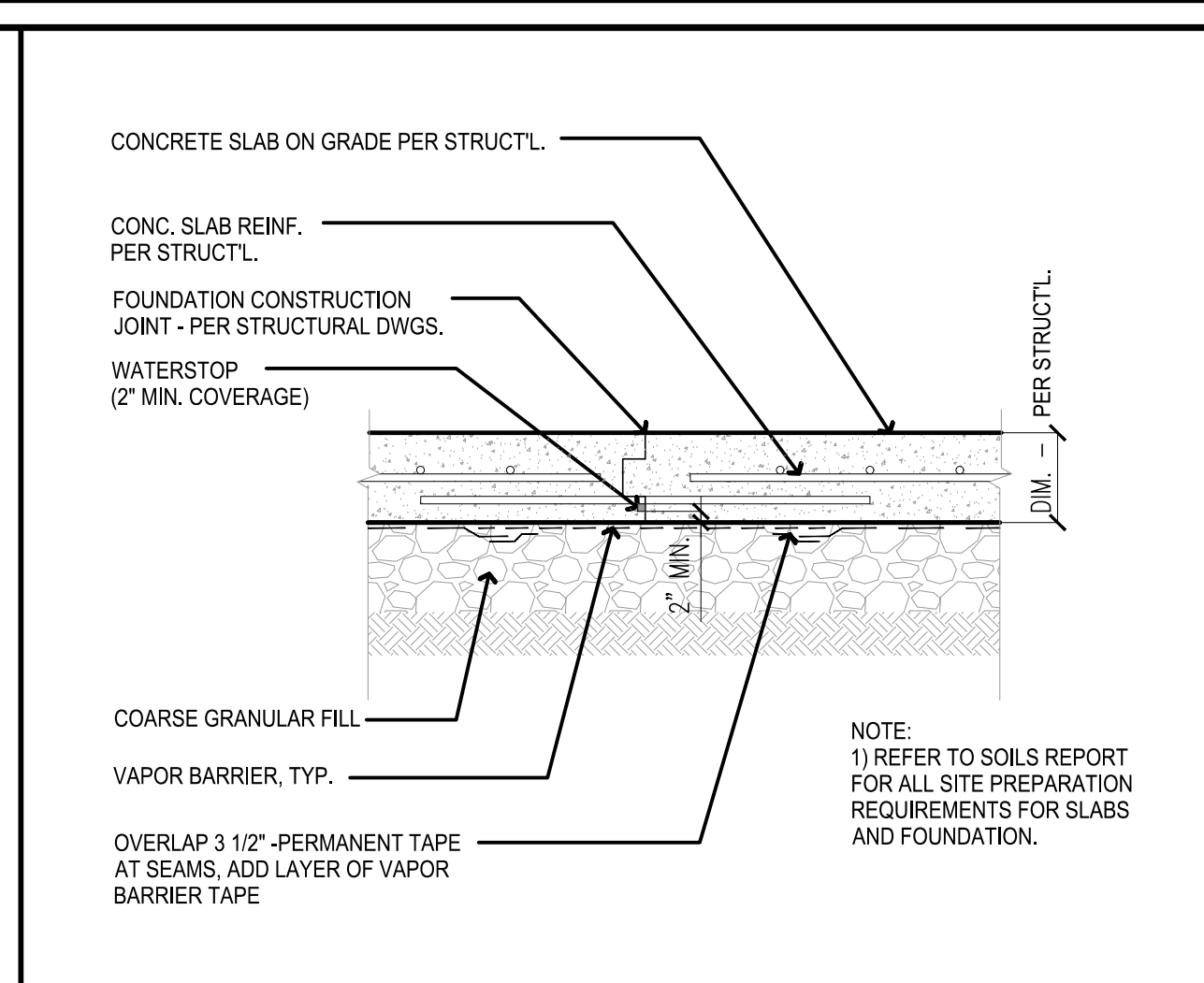
A7.1

COASTAL DEVELOPMENT PERMIT SET



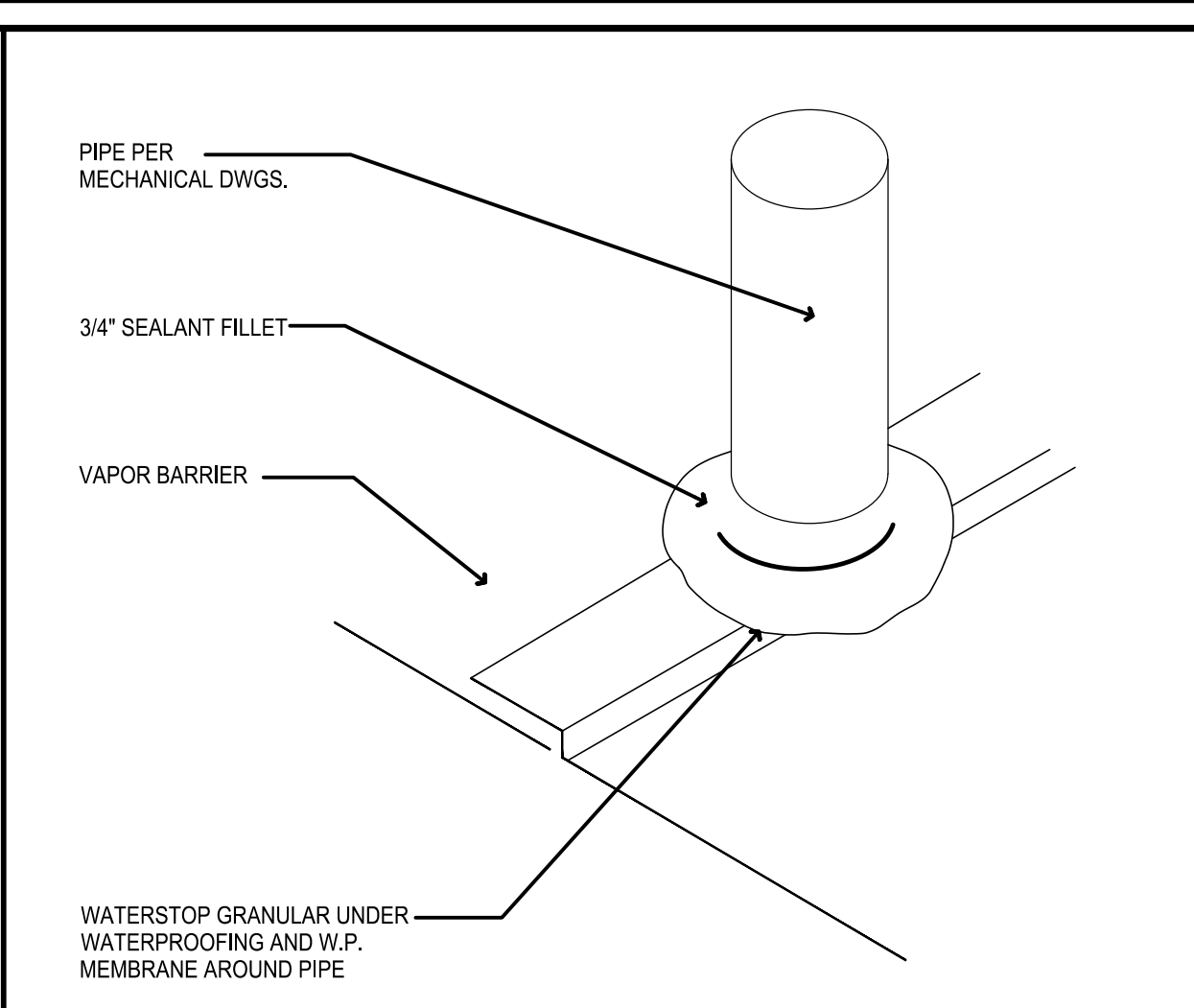
TYPICAL FOUNDATION DRAIN

1" = 1'-0" 1



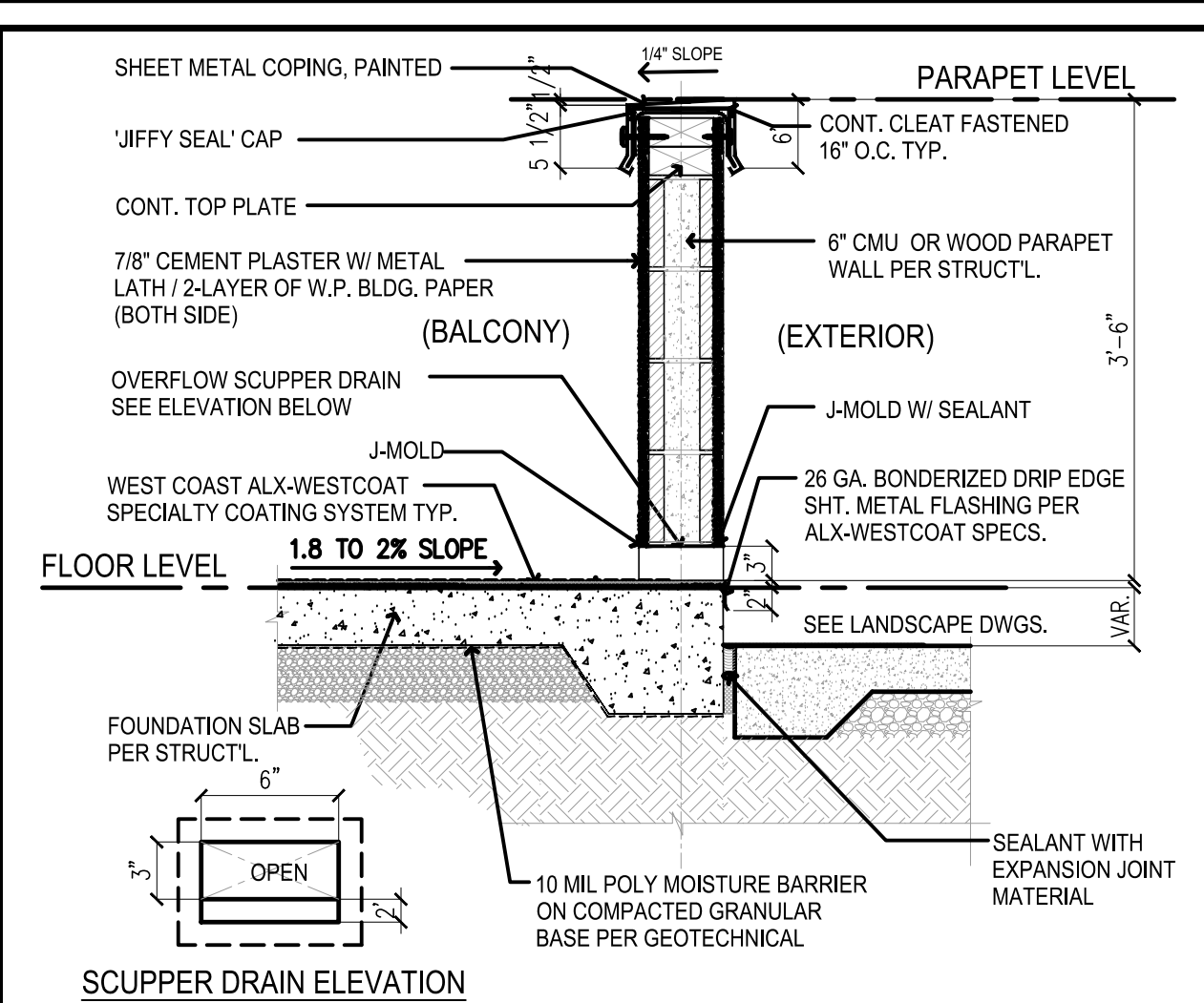
WATERPROOF CONSTRUCTION JOINT

1/2" = 1'-0" 5



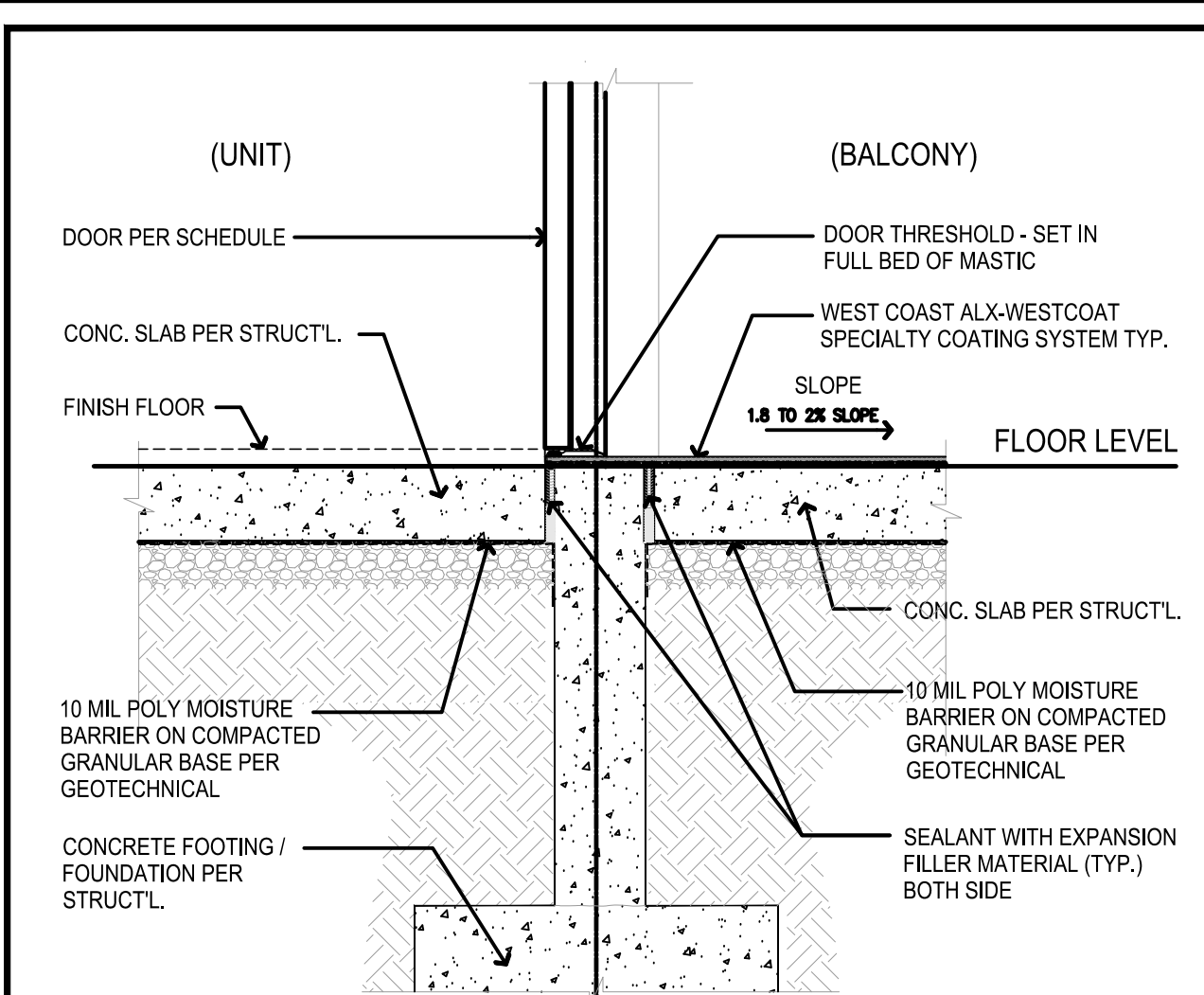
SLAB ON GRADE PENETRATION

1 1/2" = 1'-0" 9



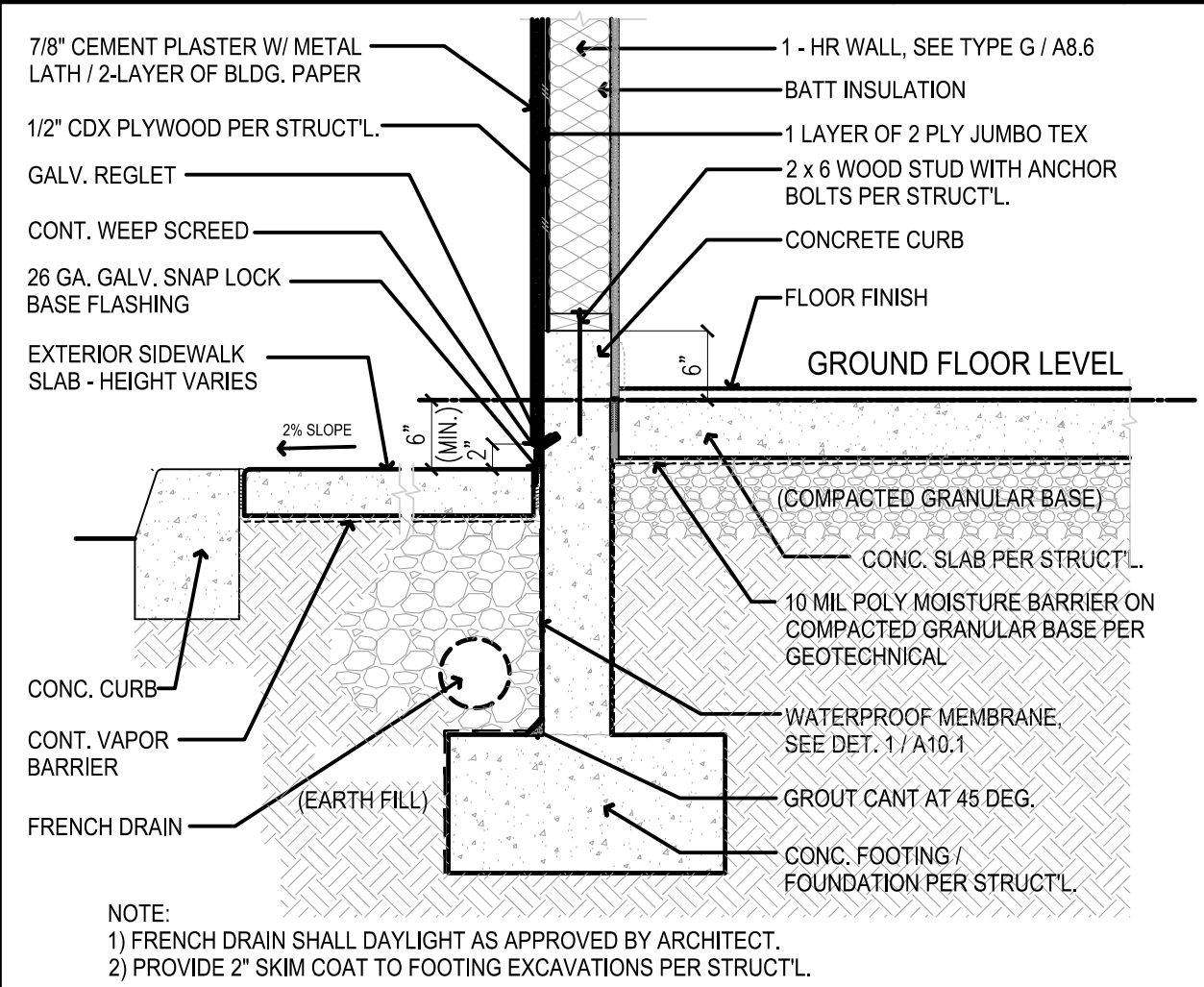
SLAB ON GRADE - EXT. PARAPET

3/4" = 1'-0" 13



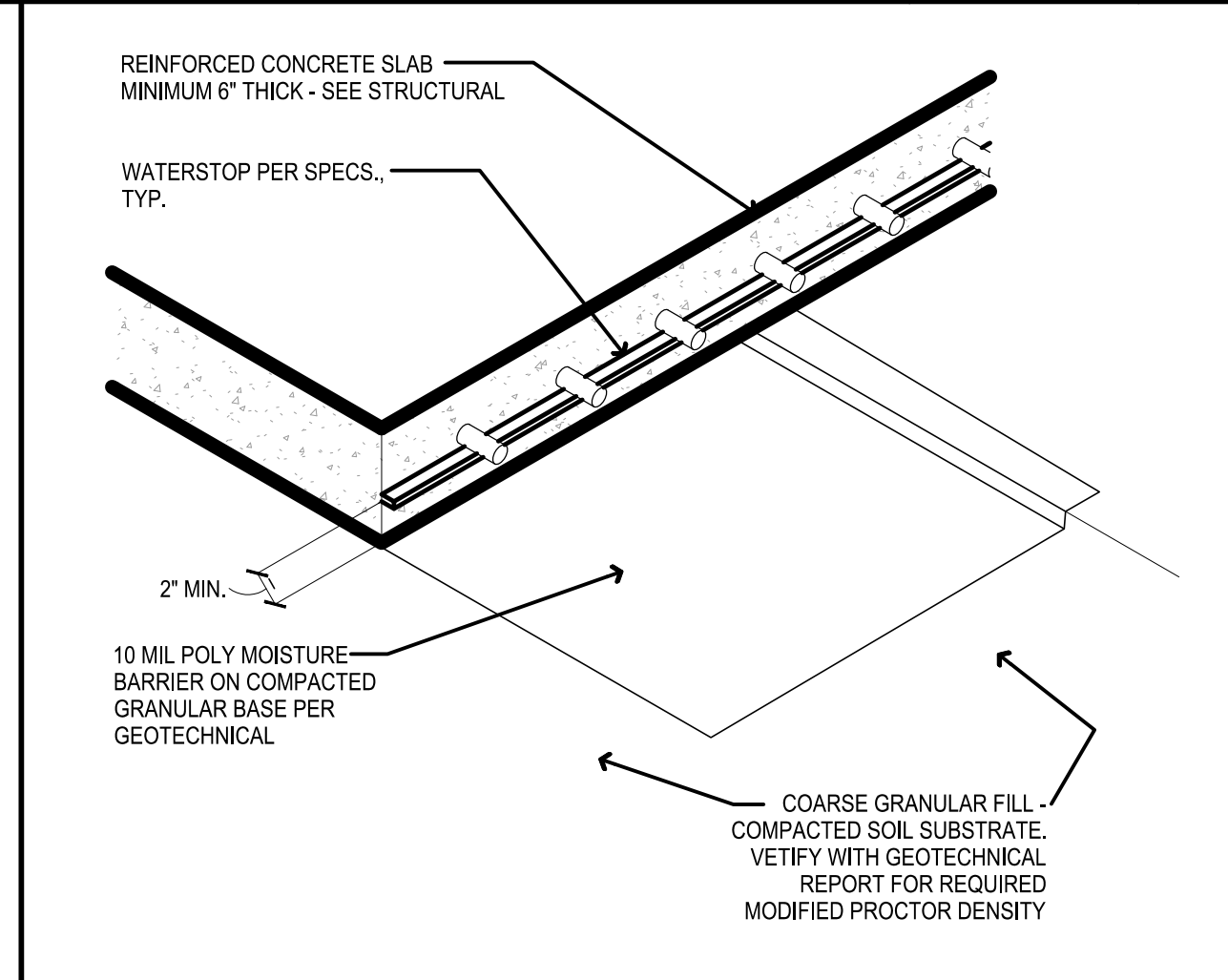
DOOR THRESHOLD AT BALCONY

1" = 1'-0" 17



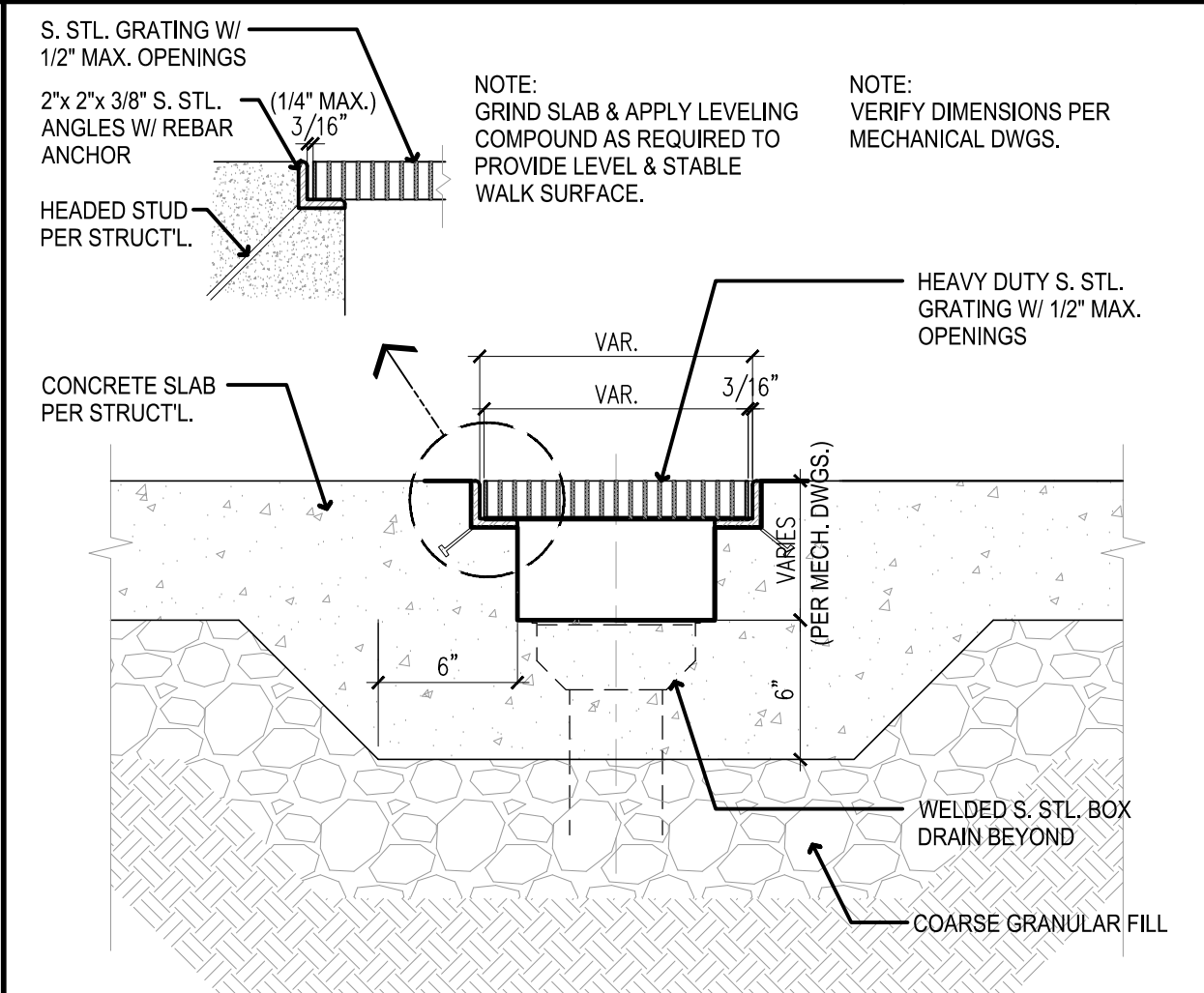
EXTERIOR WALL AT SIDEWALK

3/4" = 1'-0" 2



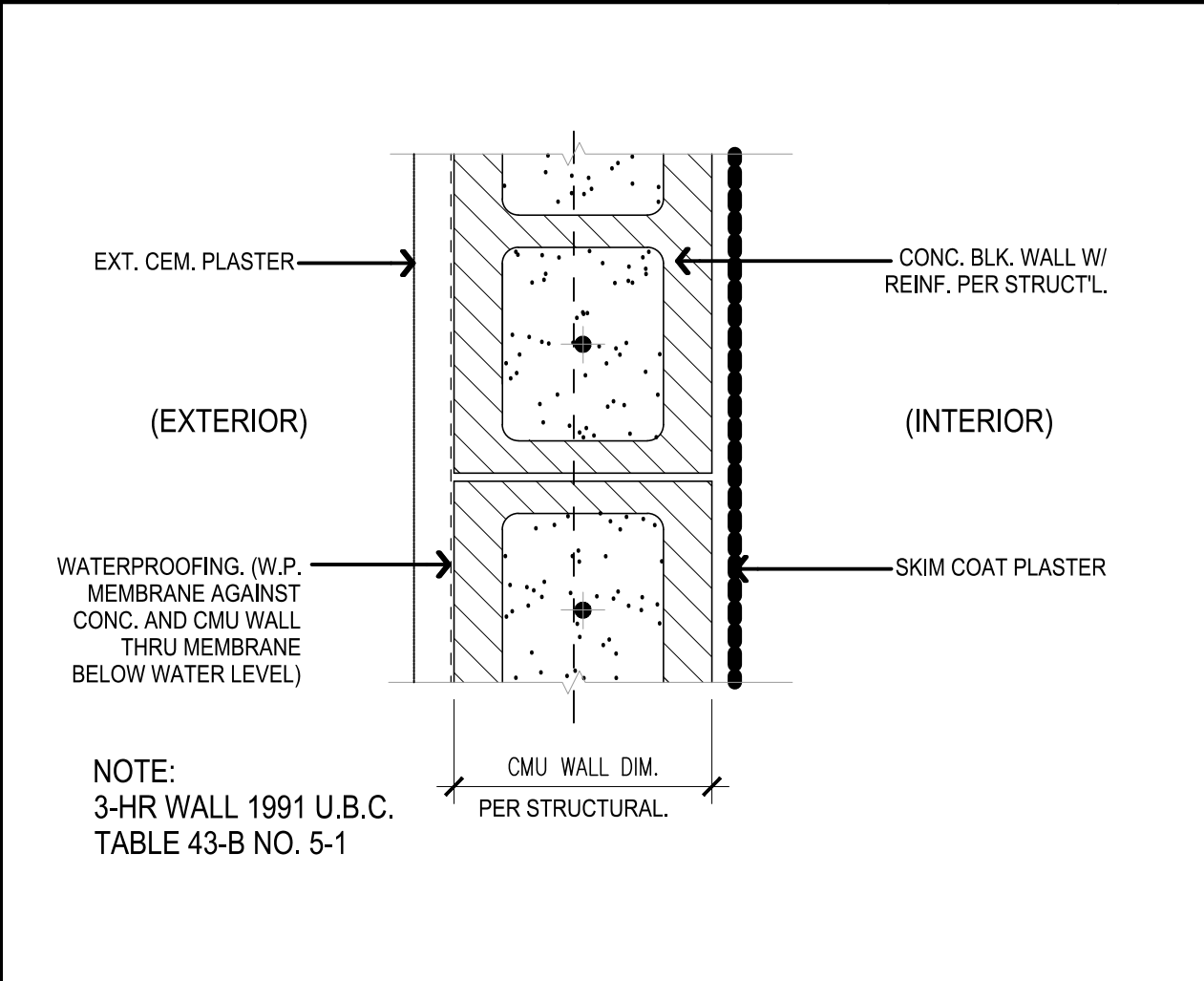
SLAB ON GRADE WATERPROOF

1/2" = 1'-0" 6



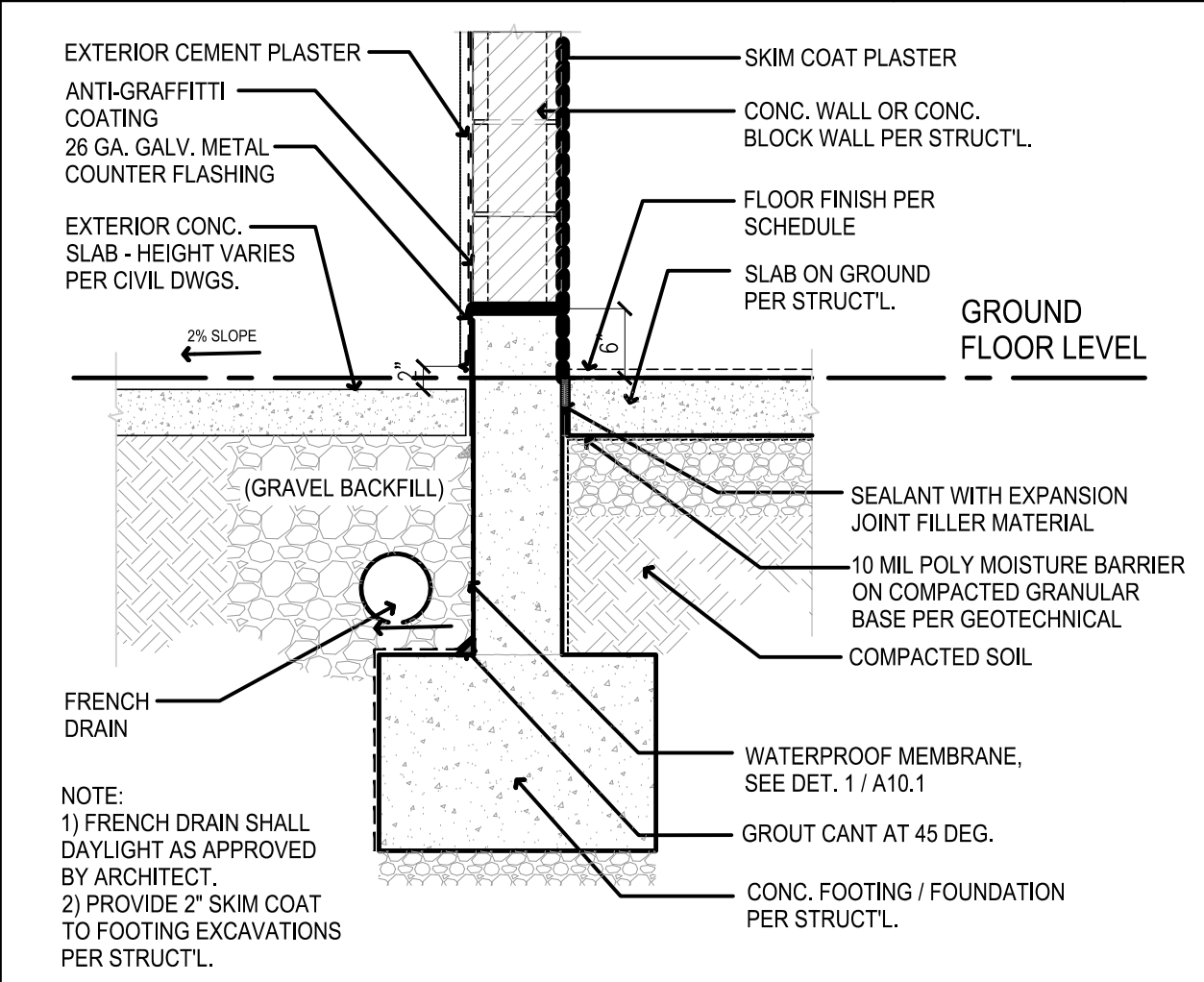
TRENCH DRAIN DETAIL

1 1/2" = 1'-0" 10



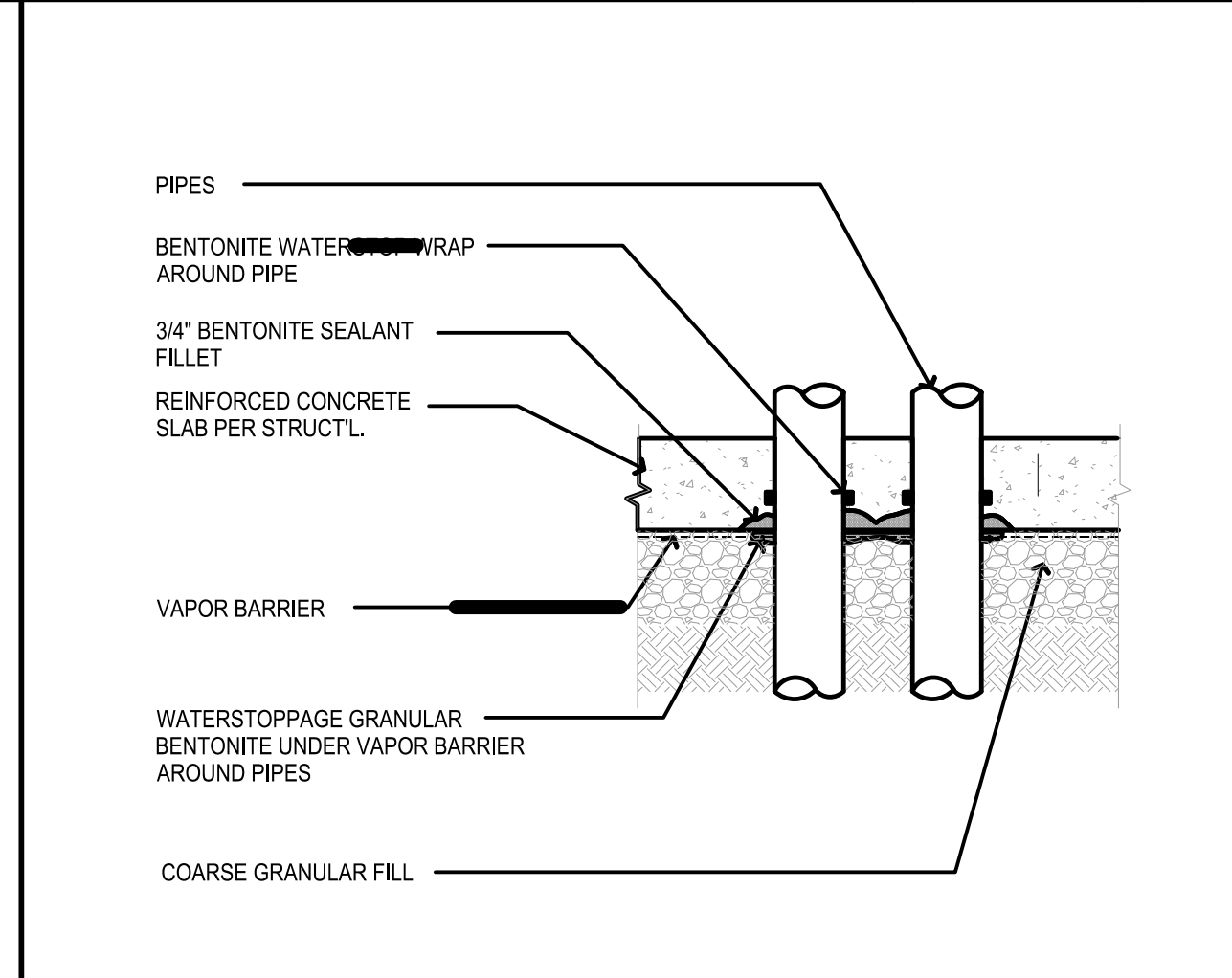
PLAN - EXT. CONC. MASONRY WALL

3" = 1'-0" 14



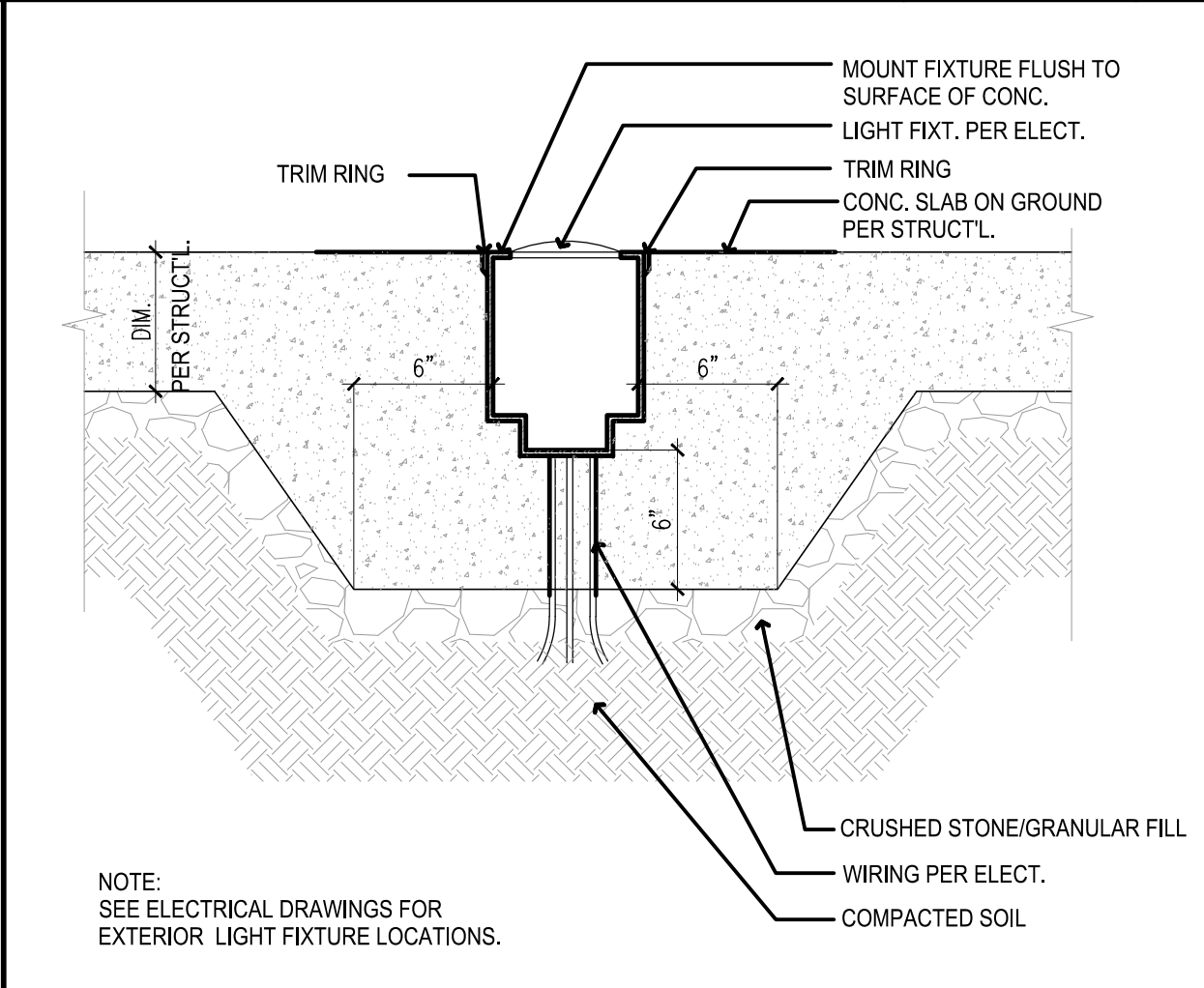
EXTERIOR MASONRY WALL

1/2" = 1'-0" 3



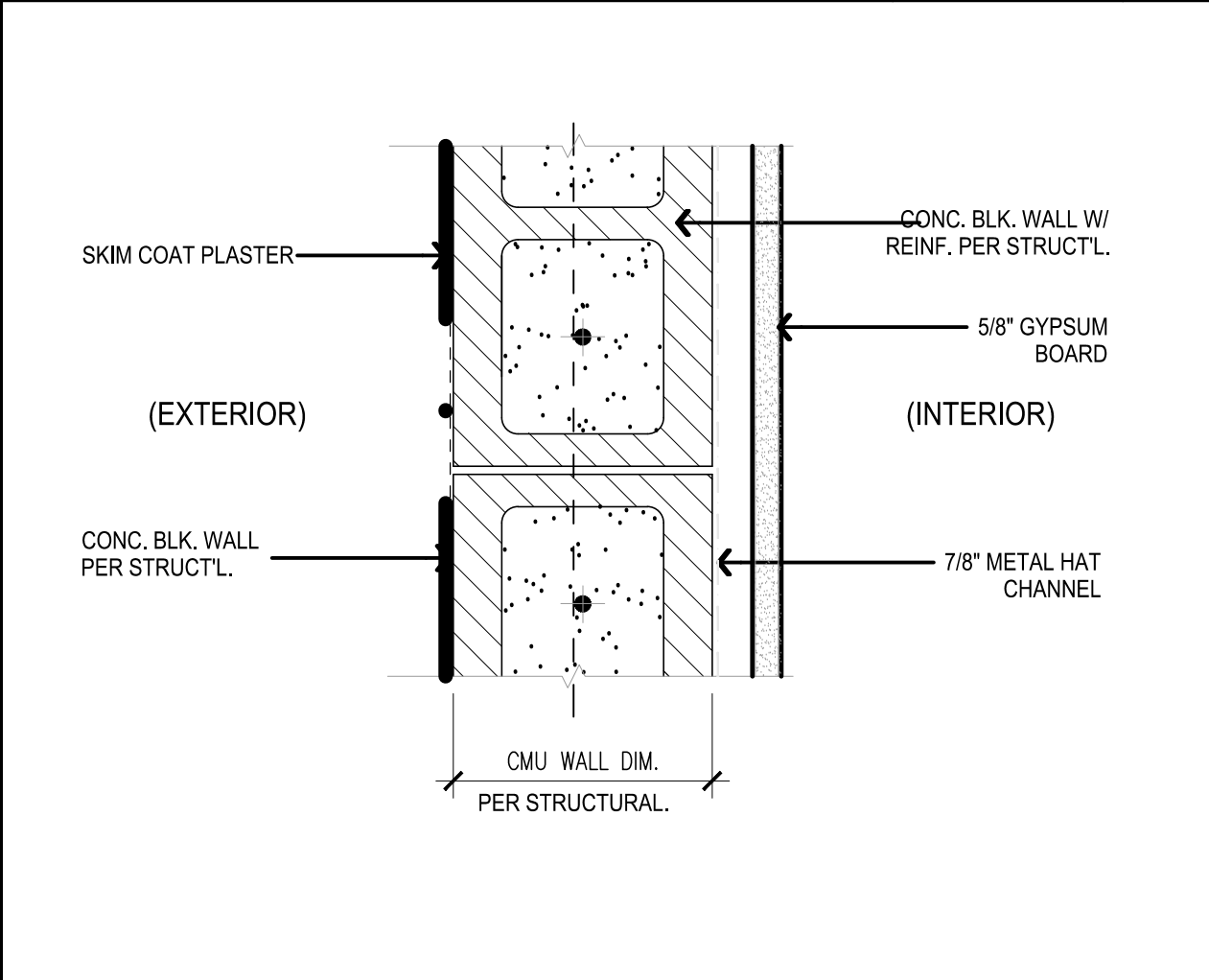
SLAB MULTI PENETRATION W.P.

1/2" = 1'-0" 7



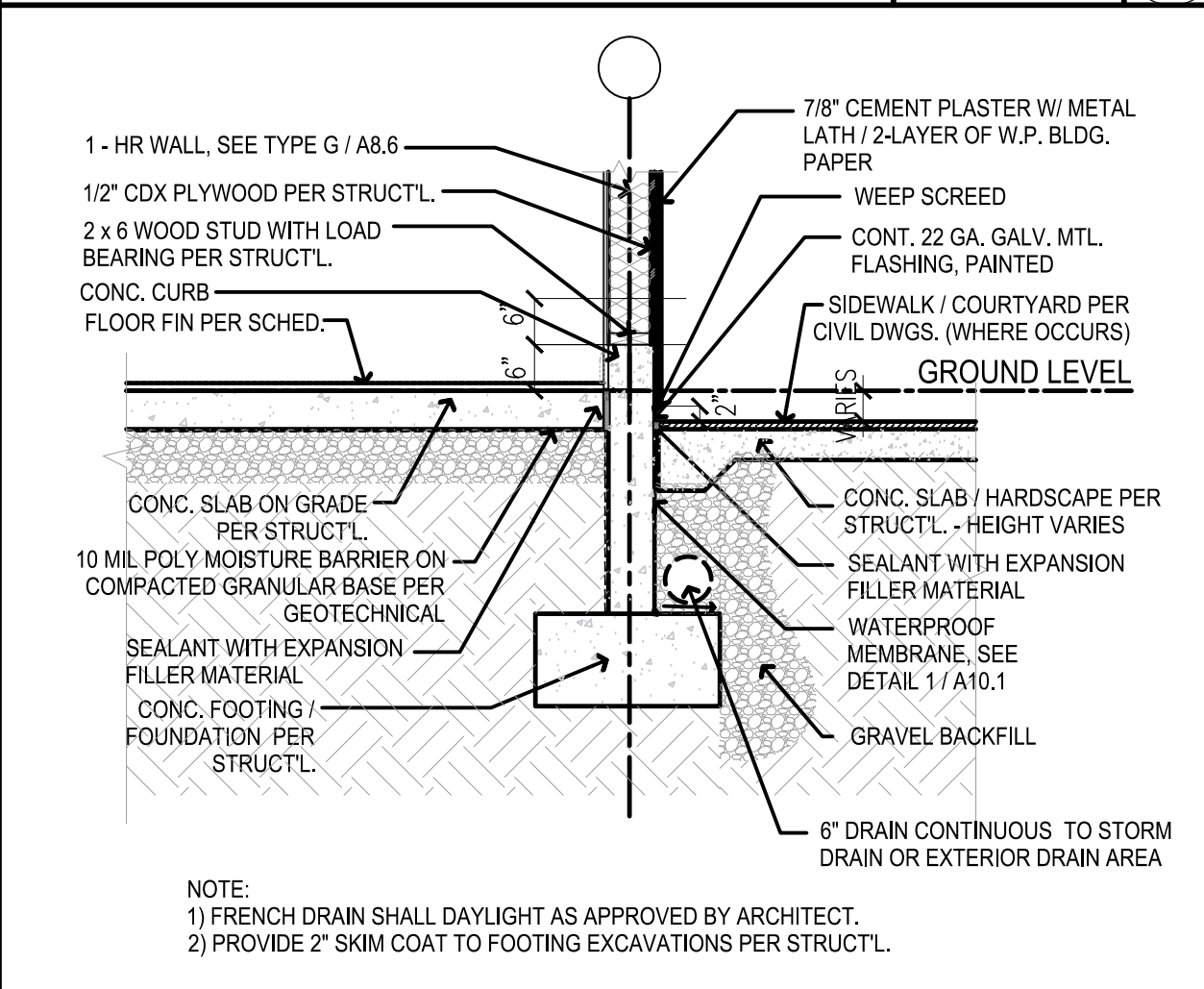
EXTERIOR LIGHT FIXTURE

1 1/2" = 1'-0" 11

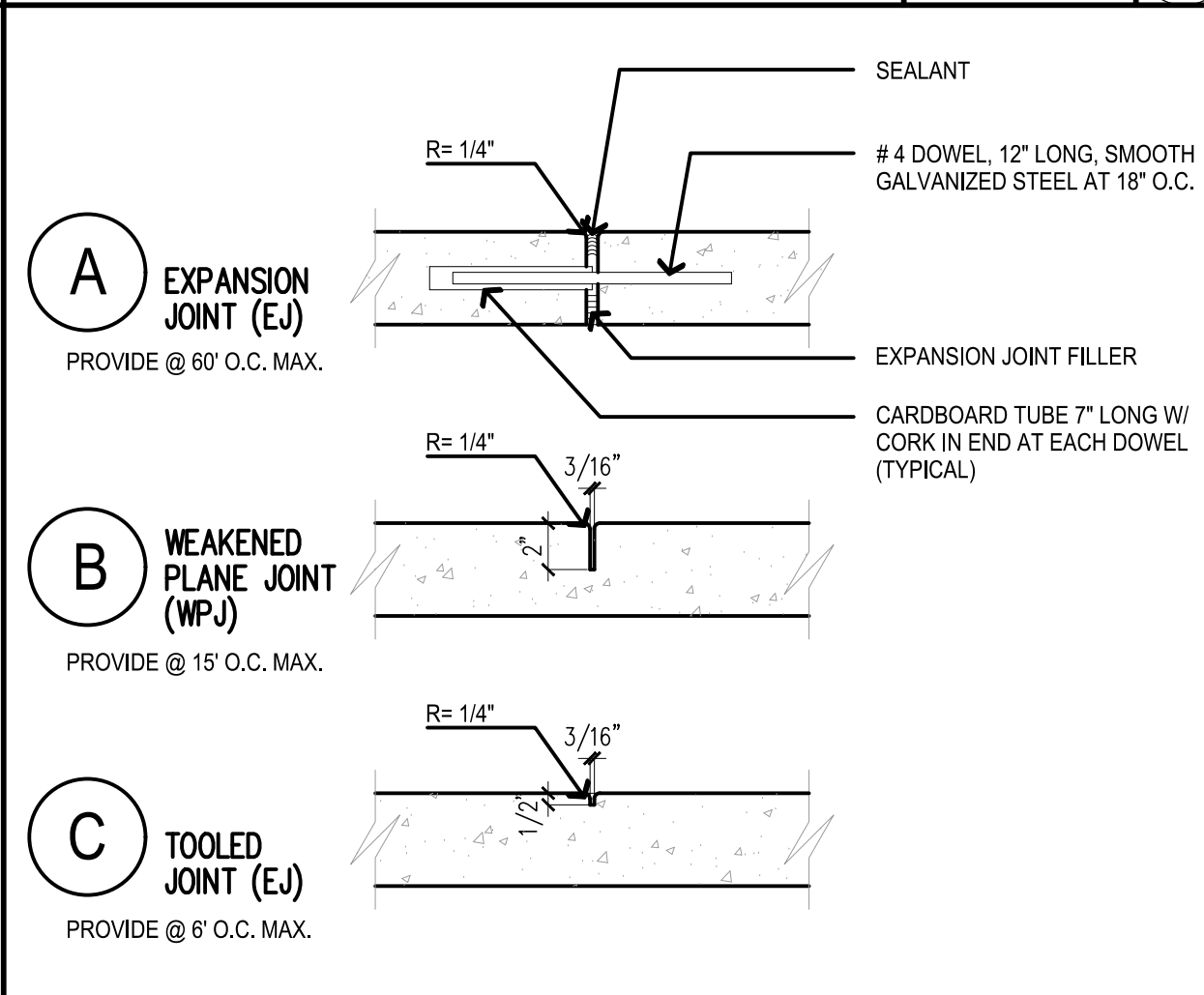


PLAN - INT. CONC. MASONRY WALL

3" = 1'-0" 15

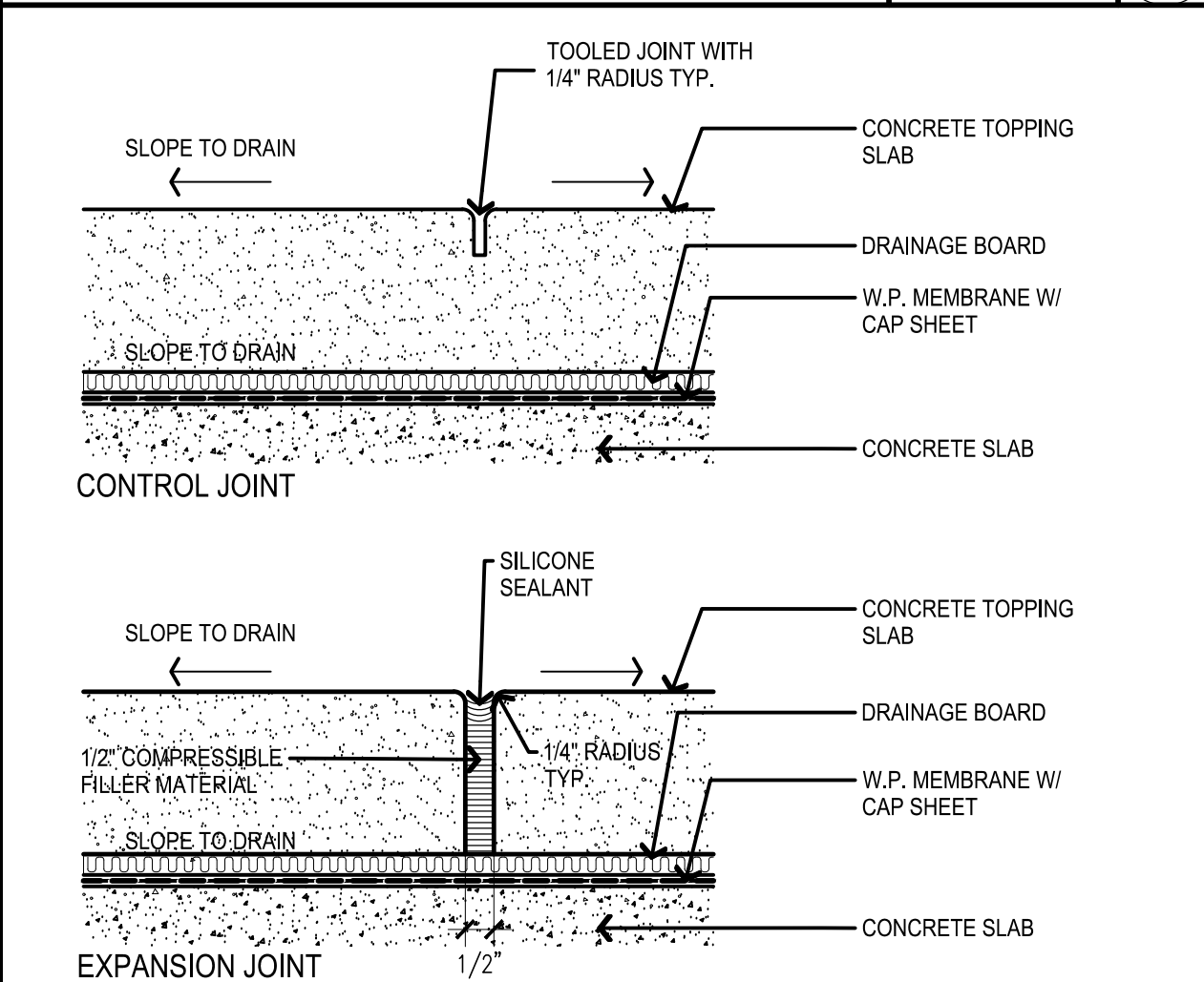
EXTERIOR WALL AT SIDEWALK /
COURTYARD

1/2" = 1'-0" 4



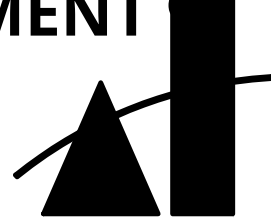
CONCRETE PAVING JOINTS

1/2" = 1'-0" 12



CONCRETE JOINTS

3" = 1'-0" 16



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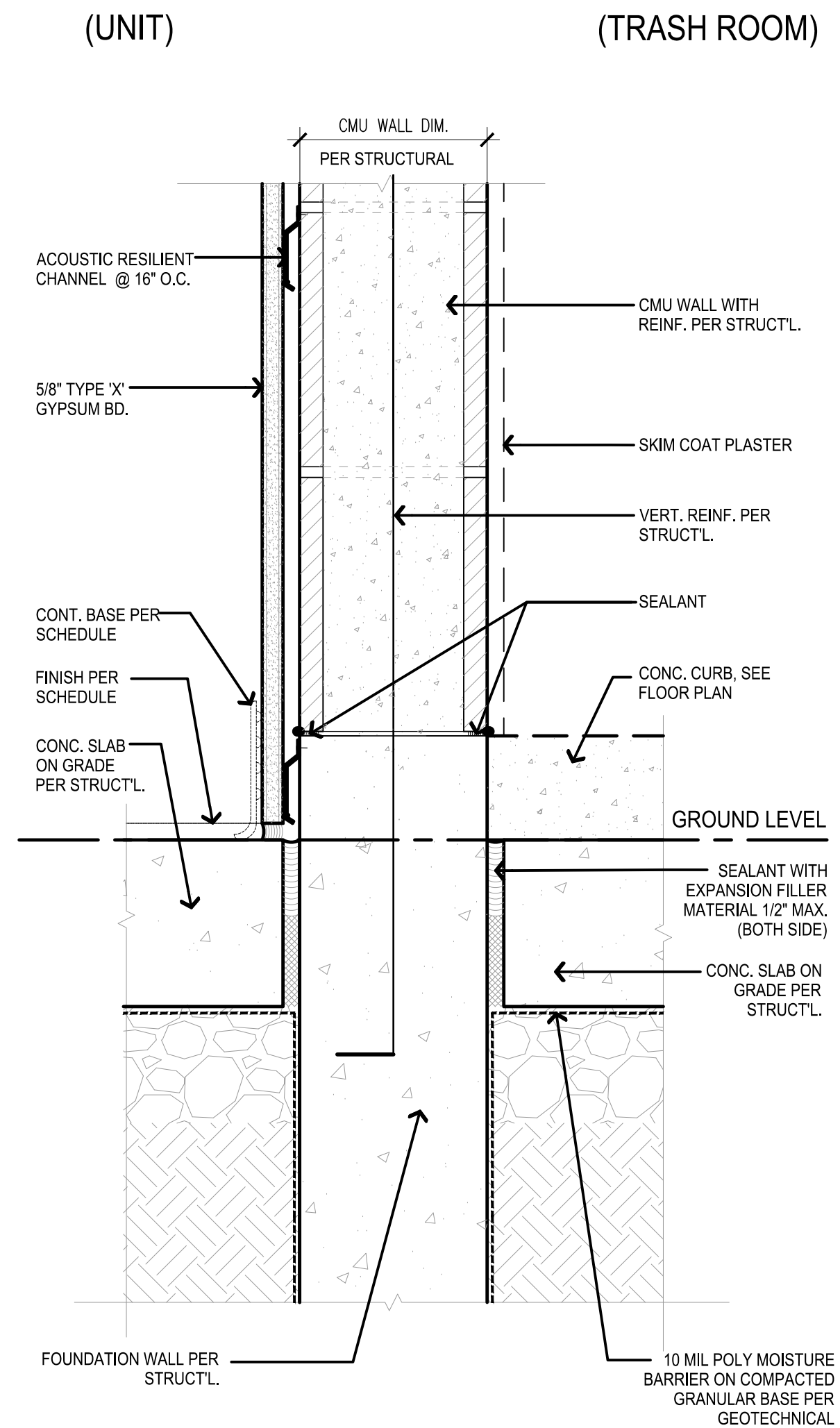
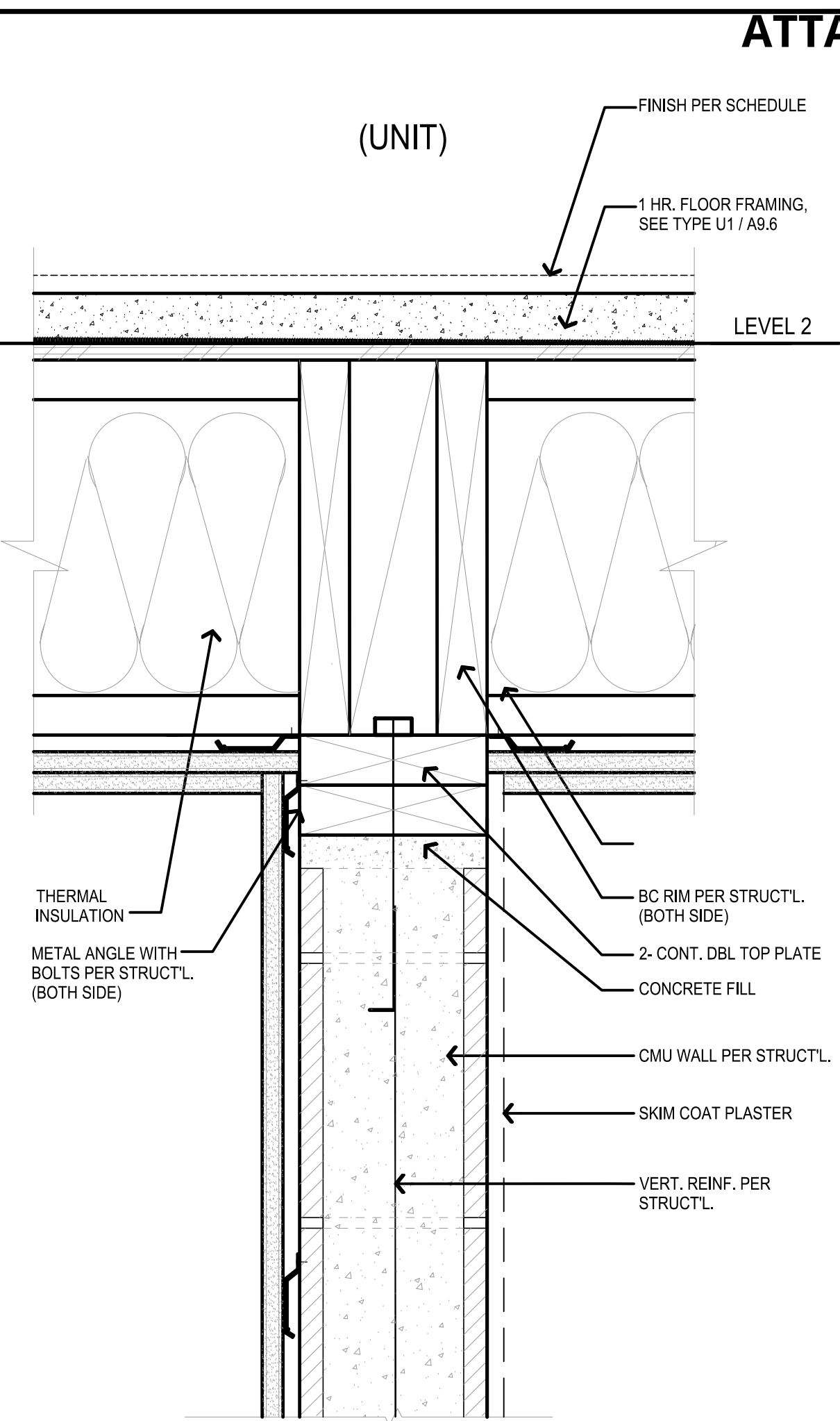
SEAL:

SHEET TITLE:
FOUNDATION & WATERPROOFING
DETAILS

DATE: 04/30/2025
SCALE: As indicated
DRAWN BY: Author
JOB No: 3707
SHEET No:

A7.1.1

COASTAL DEVELOPMENT PERMIT SET



CMU INTERIOR WALL ASSEMBLY

3" = 1'-0"

