

MARTINEZ + CUTRI  
URBAN STUDIO  
CORPORATION  
Architecture Planning  
Interiors Urban Design  
1230 Columbia Street Suite 500  
San Diego, CA 92101  
Tel (619) 233-4857  
Fax (619) 233-7417

ALL IDEAS, DESIGNS, ARRANGEMENTS, AND PLANS INDICATED OR REPRESENTED BY THIS DRAWING ARE OWNED BY AND THE PROPERTY OF MARTINEZ + CUTRI URBAN STUDIO CORPORATION, AND WILL BE KEPT IN CONFIDENTIALITY AND NOT BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF MARTINEZ + CUTRI URBAN STUDIO CORPORATION. WRITTEN PERMISSION ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER ANY ORAL STATEMENTS. CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB, AND THE OFFICE MUST BE NOTIFIED OF ALL VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS.

DEVELOPER:

REVISIONS:

MERCADO APARTMENTS  
2001 NEWTON AVE, SAN DIEGO, CA 92113

SEAL:

SHEET TITLE:

EXTERIOR AND INTERIOR DETAILS

DATE: 04/30/2025

SCALE: As indicated

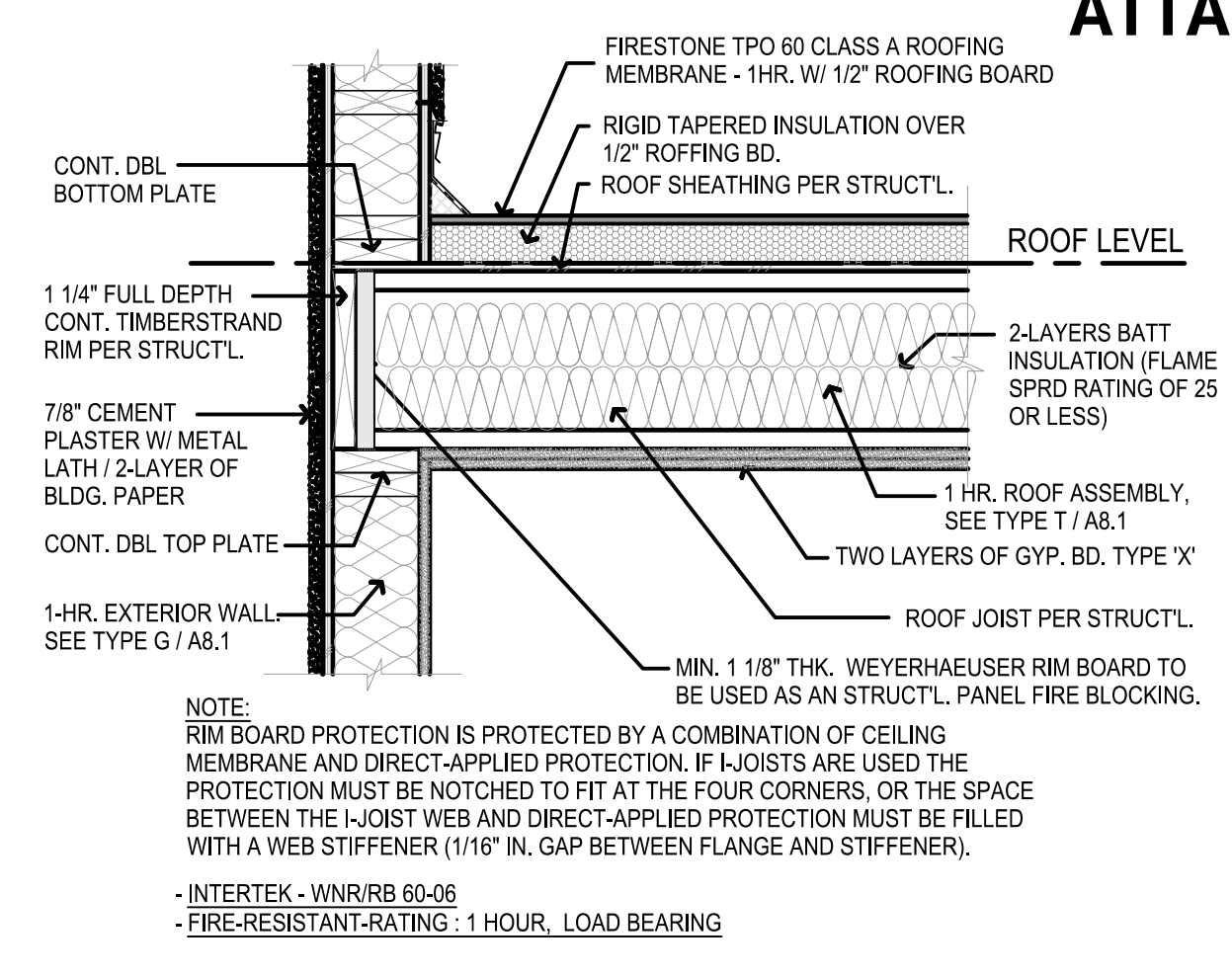
DRAWN BY: Author

JOB No: 3707

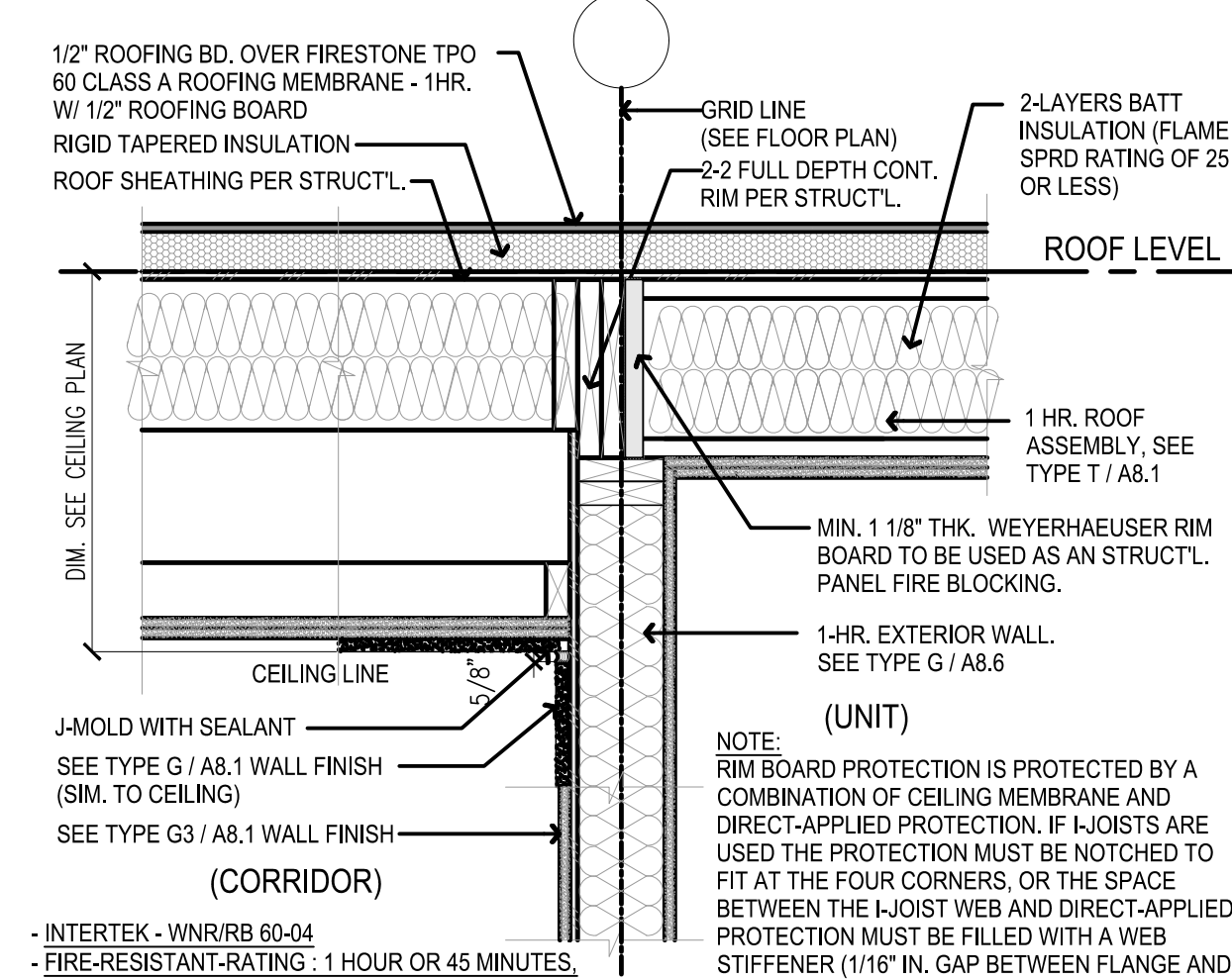
SHEET No:

A7.3

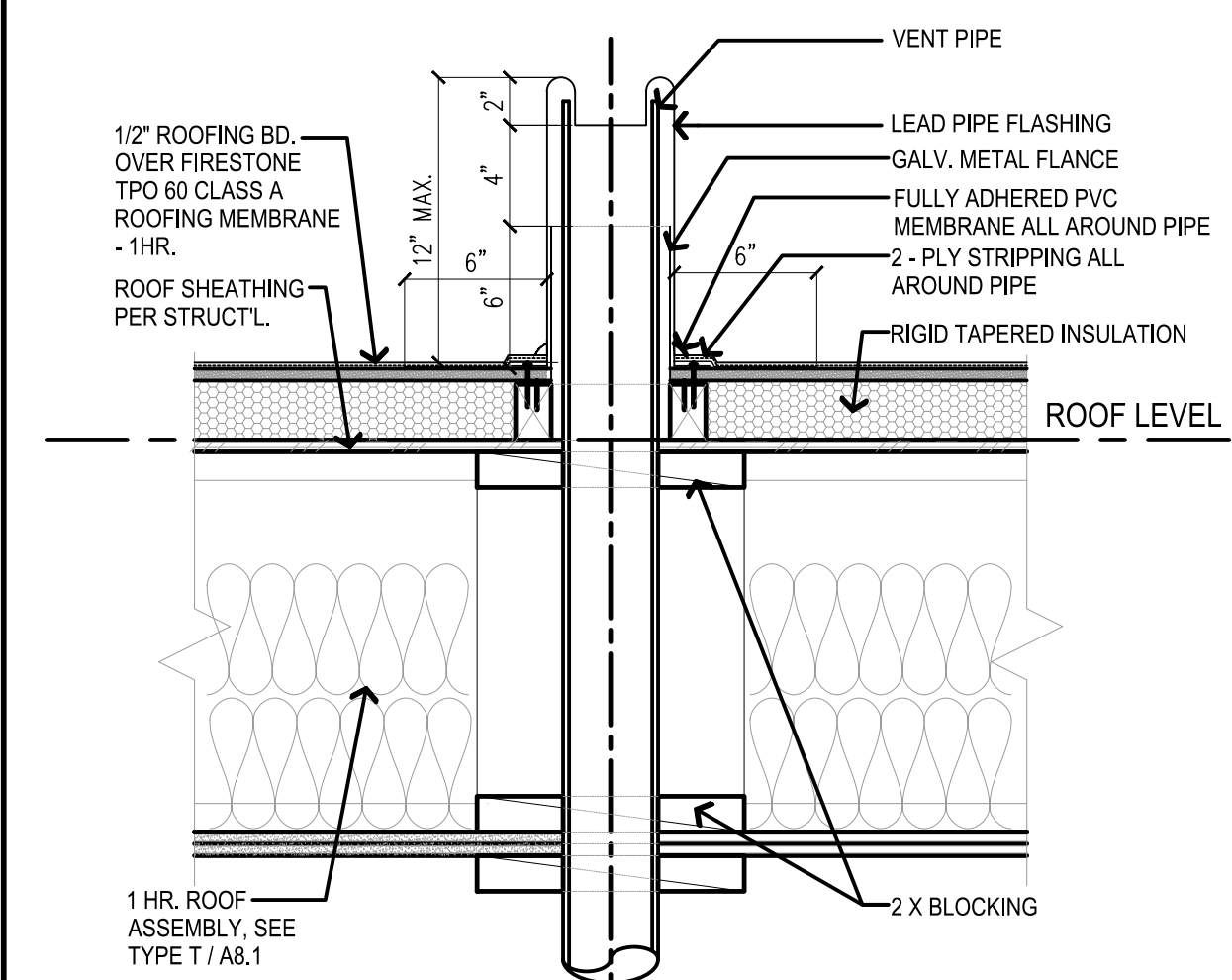
COASTAL DEVELOPMENT PERMIT SET



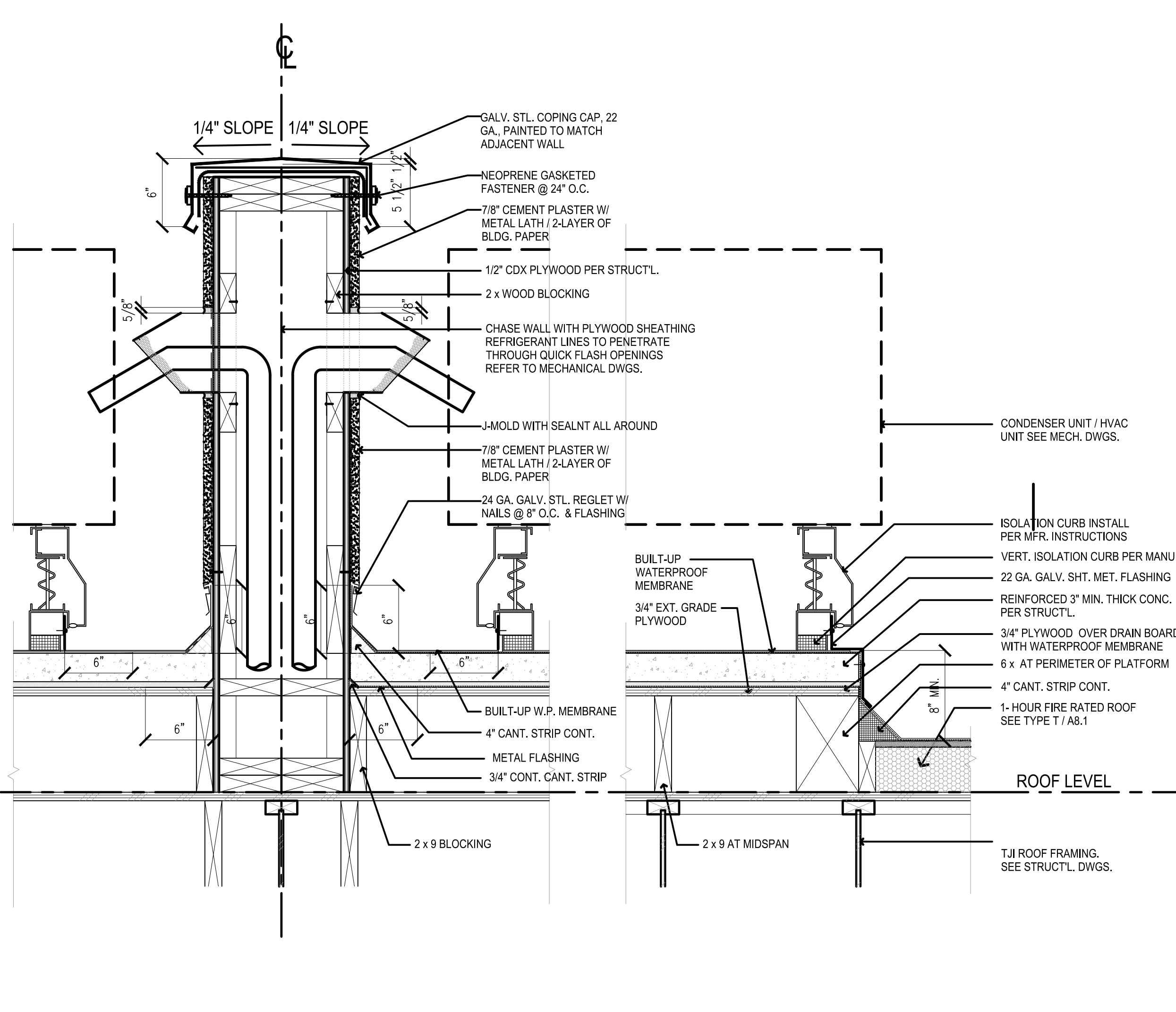
**FIRE-RESISTENCE-RATED AT ROOF / EXT. WALL ASSEMBLIES ATTACHED TO TJI WEB** 1" = 1'-0" **1**



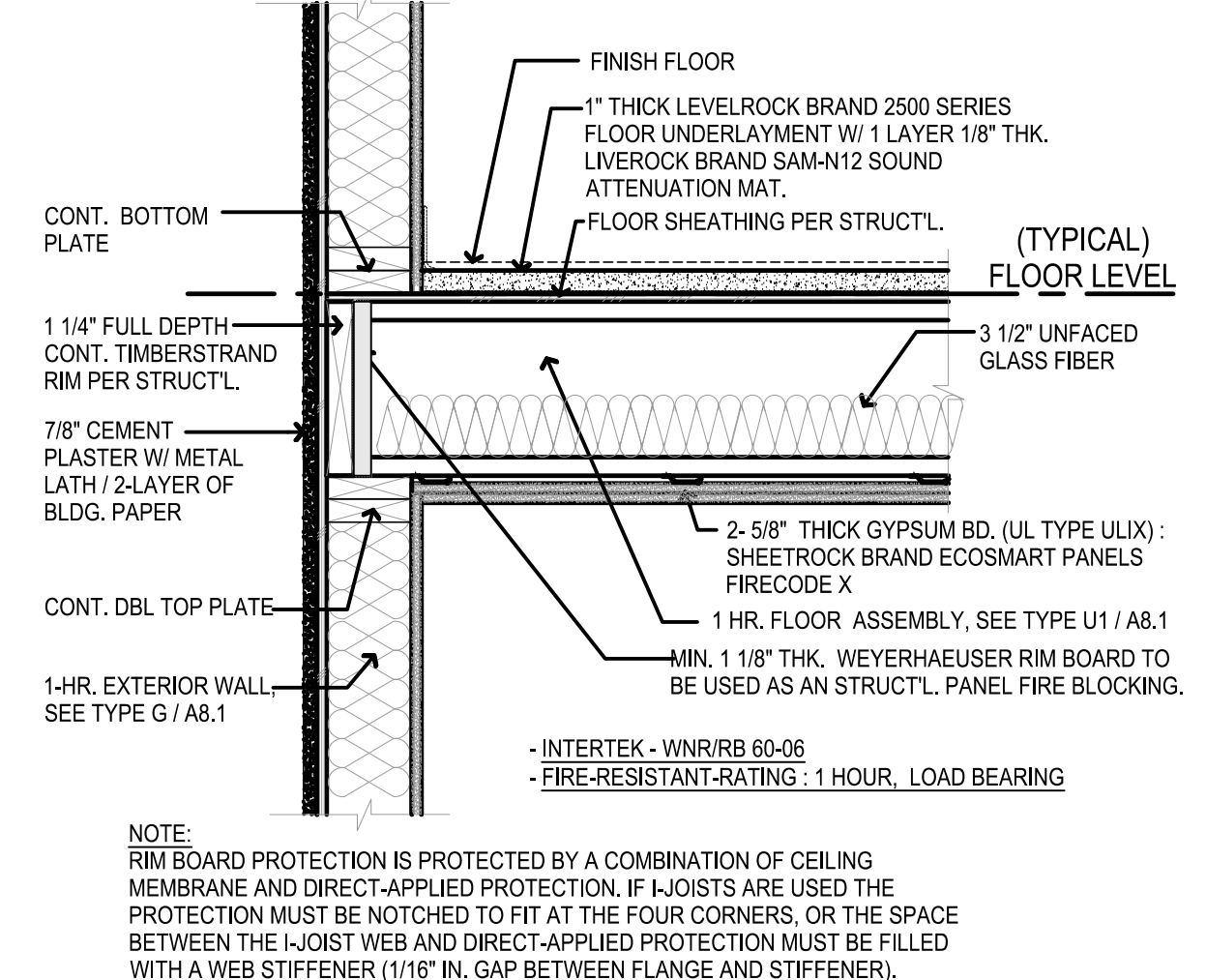
**FIRE-RESISTENCE-RATED AT ROOF / CORR. WALL ASSEMBLIES ATTACHED TO TJI WEB** 1" = 1'-0" **5**



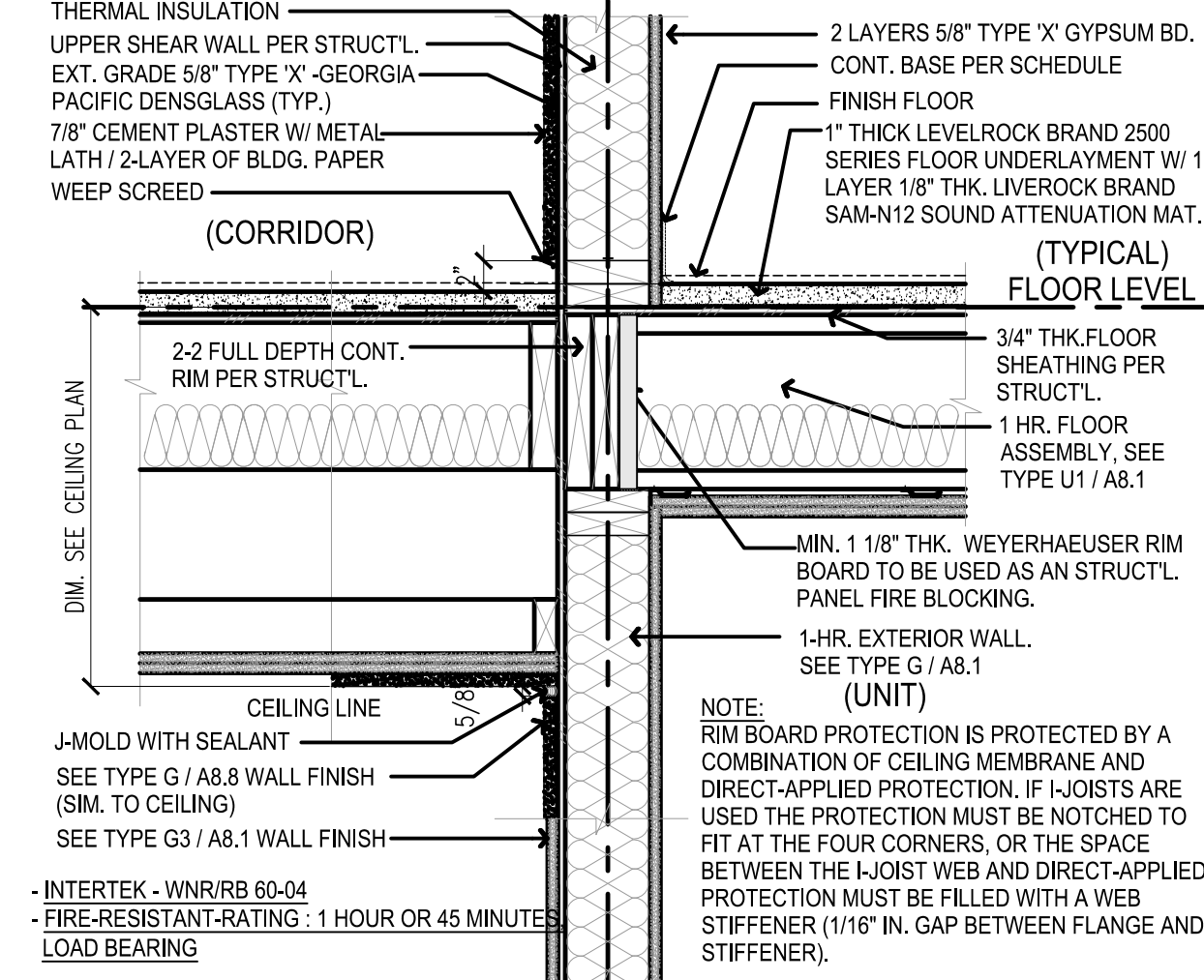
**PIPE THRU ROOF** 1 1/2" = 1'-0" **9**



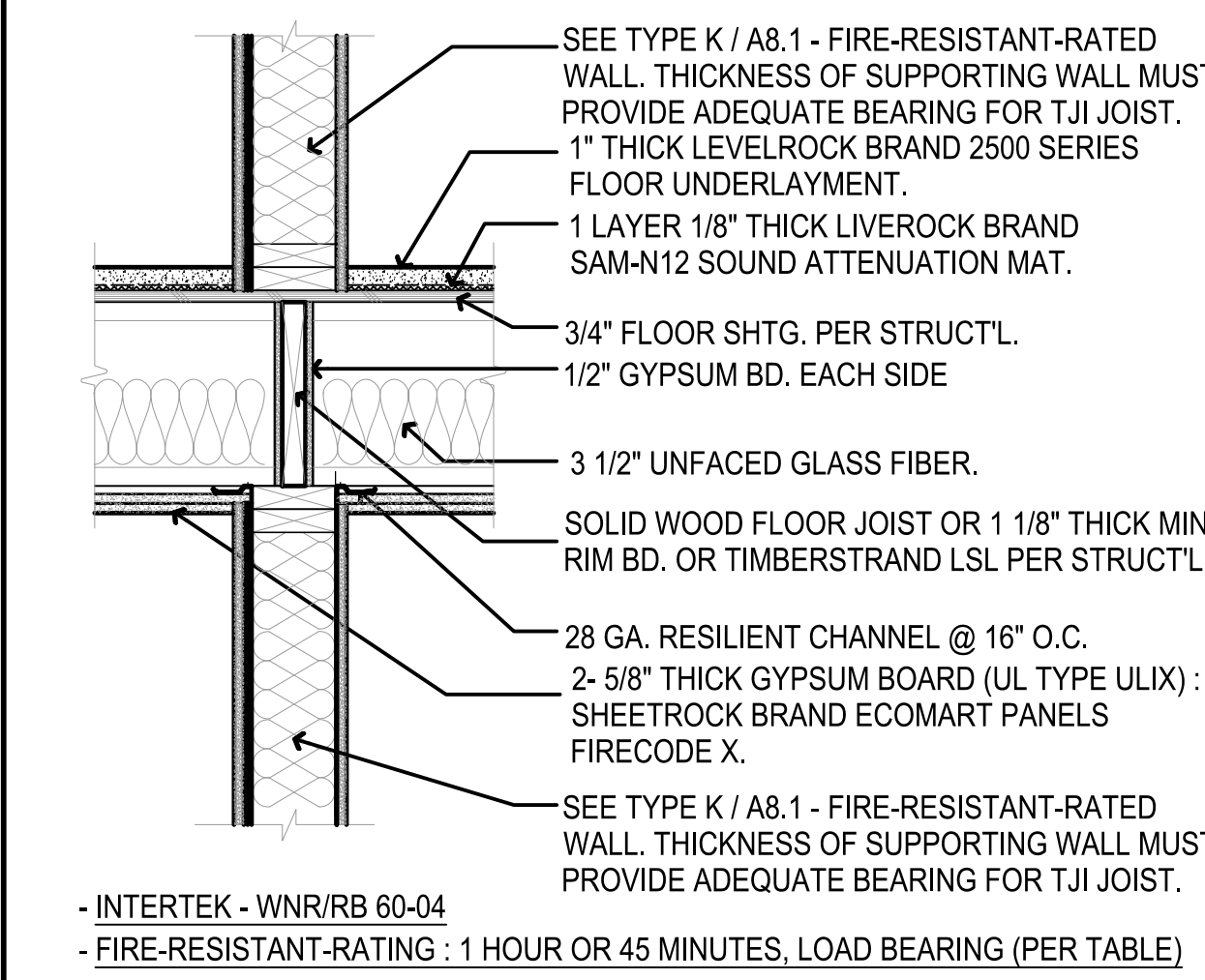
**MECHANICAL PLATFORM AT ROOF** 1 1/2" = 1'-0" **14**



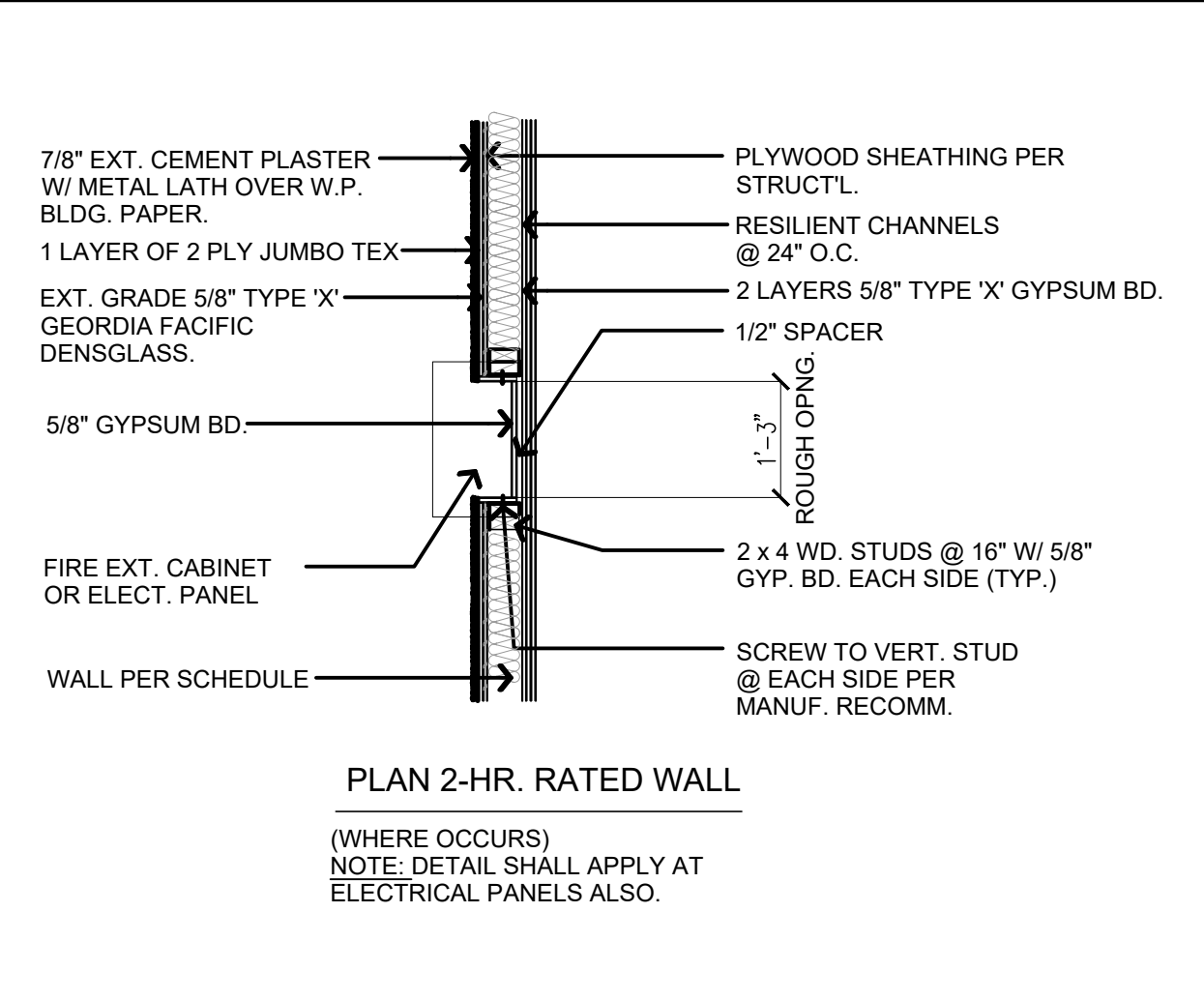
**FIRE-RESISTENCE-RATED AT TYP. FLR. / EXT. WALL ASSEMBLIES ATTACHED TO TJI WEB** 1" = 1'-0" **2**



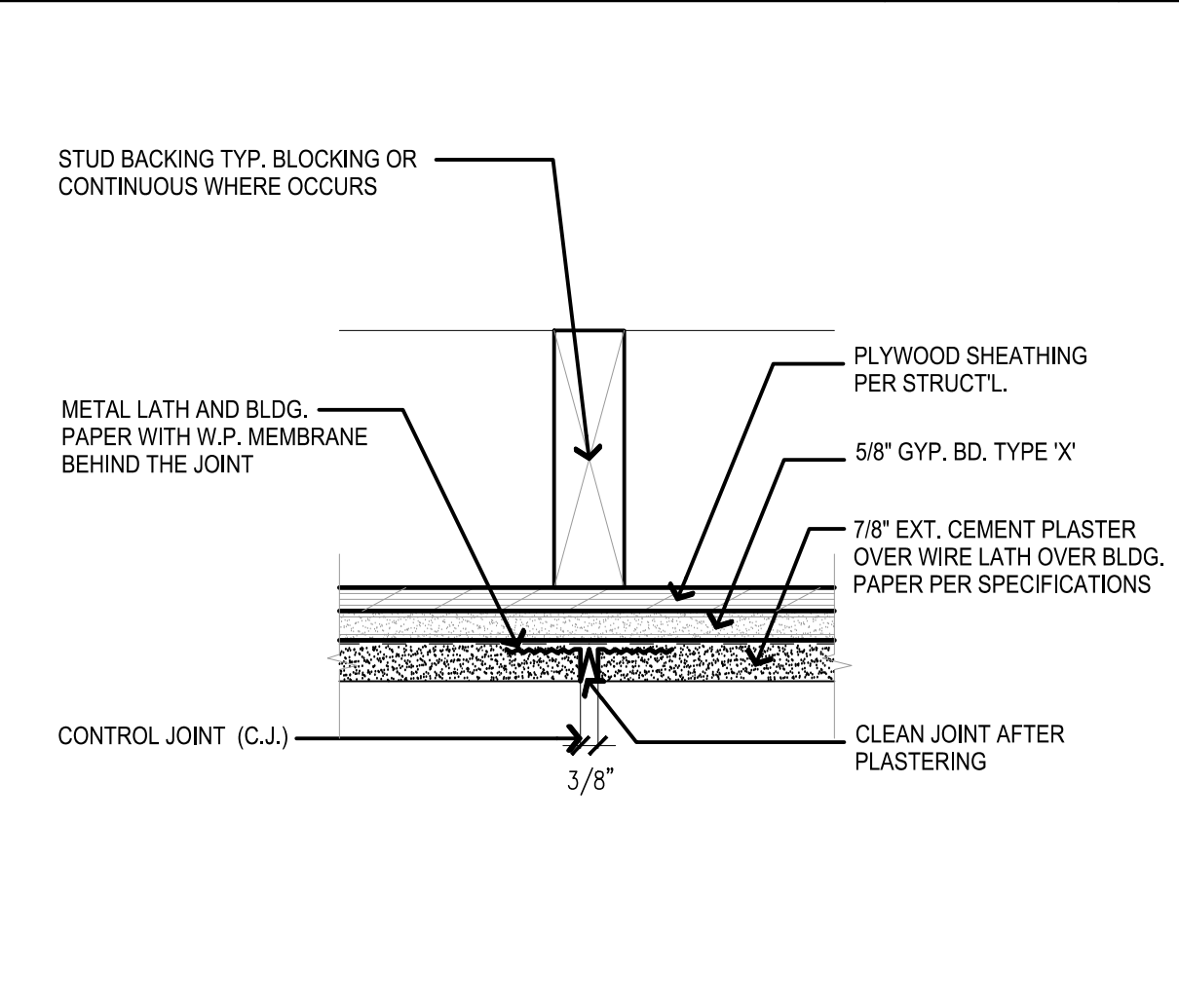
**FIRE-RESISTENCE-RATED AT FLR. / CORR. WALL ASSEMBLIES ATTACHED TO TJI WEB** 1" = 1'-0" **6**



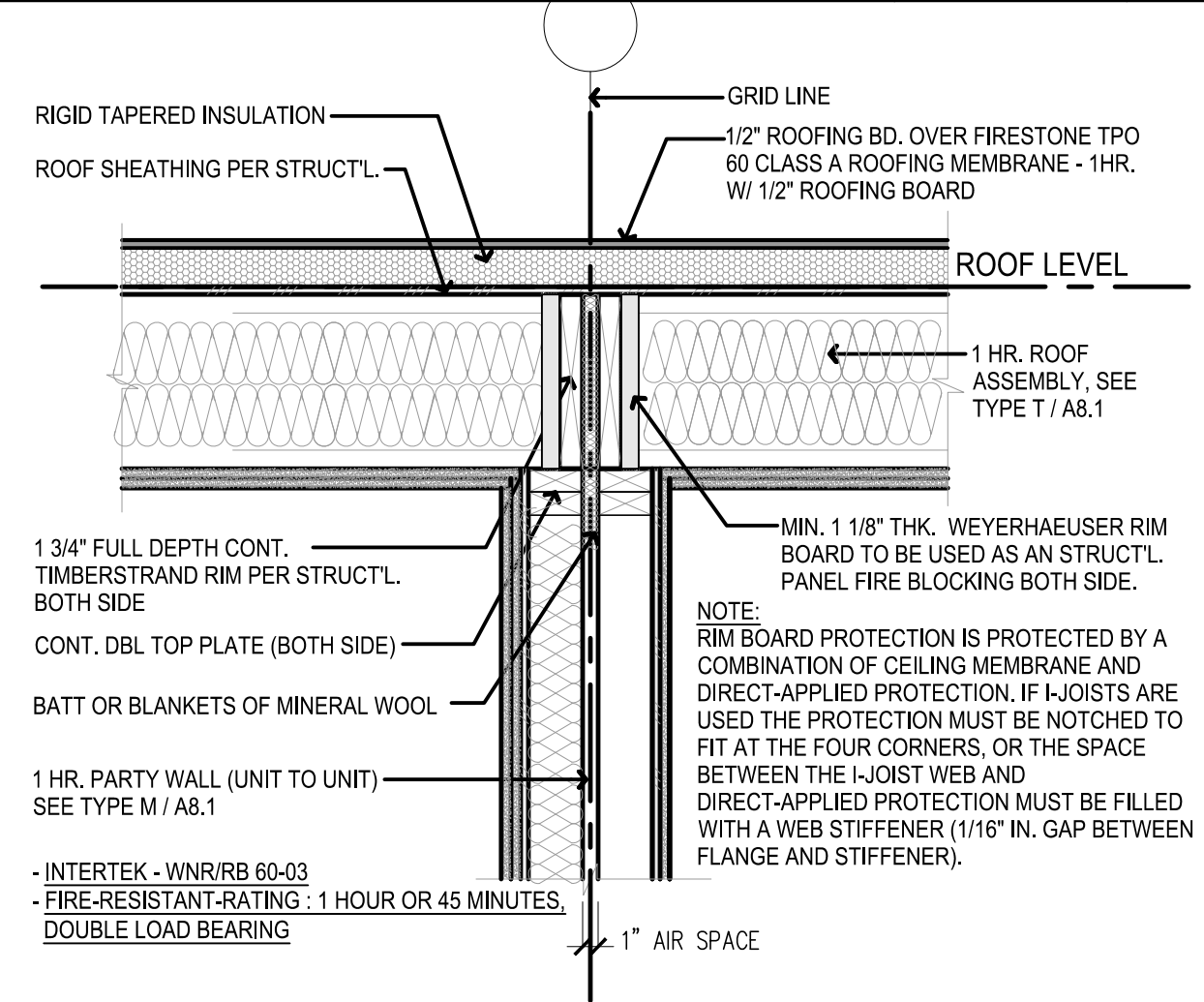
**FIRE-RESISTENCE-RATED CENTER WALL ASSEMBLIES** 1" = 1'-0" **10**



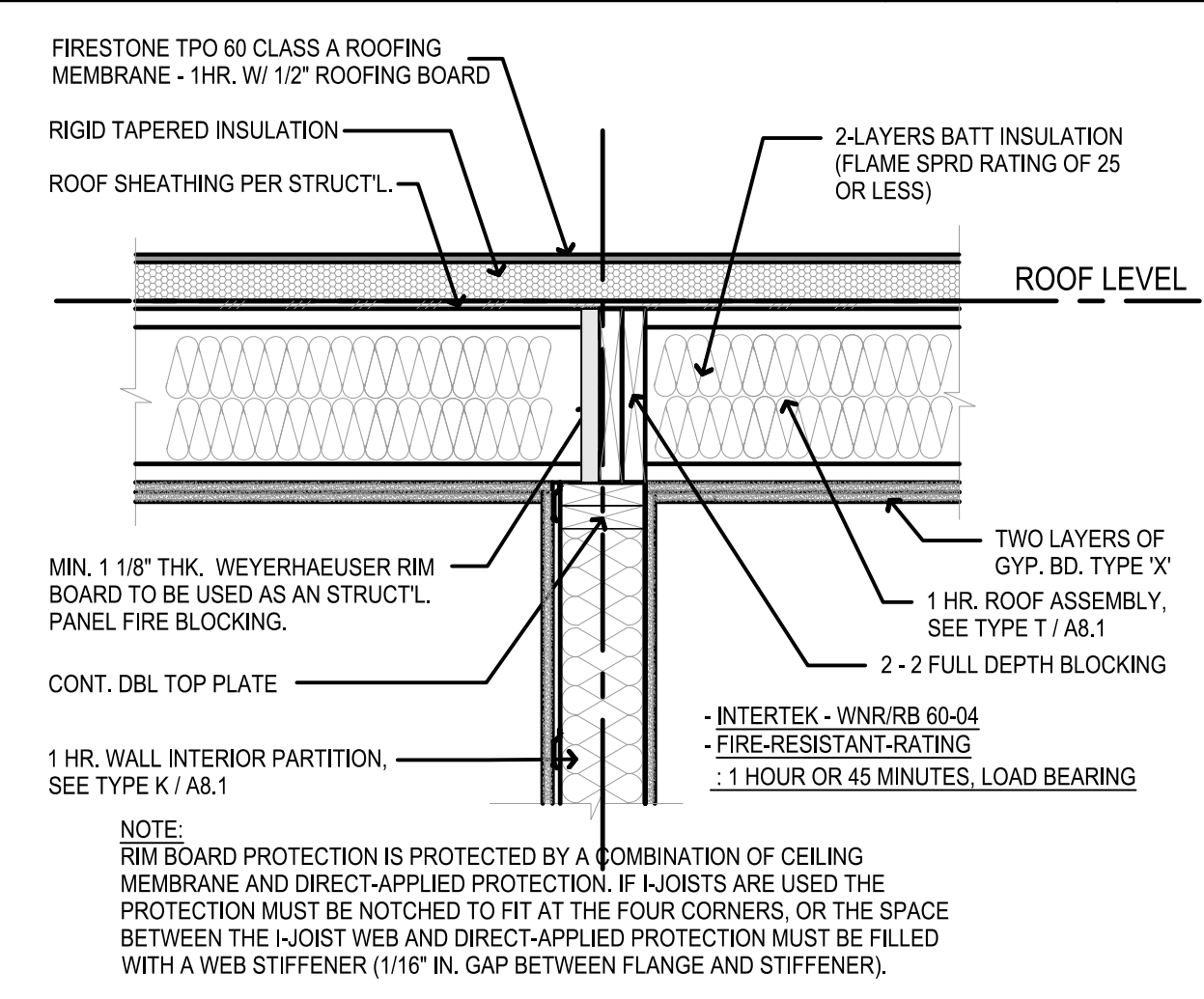
**PLAN - FIRE EXTINGUISHER / ELECTRICAL PANELS IN RATED WALL** 1/2" = 1'-0" **19**



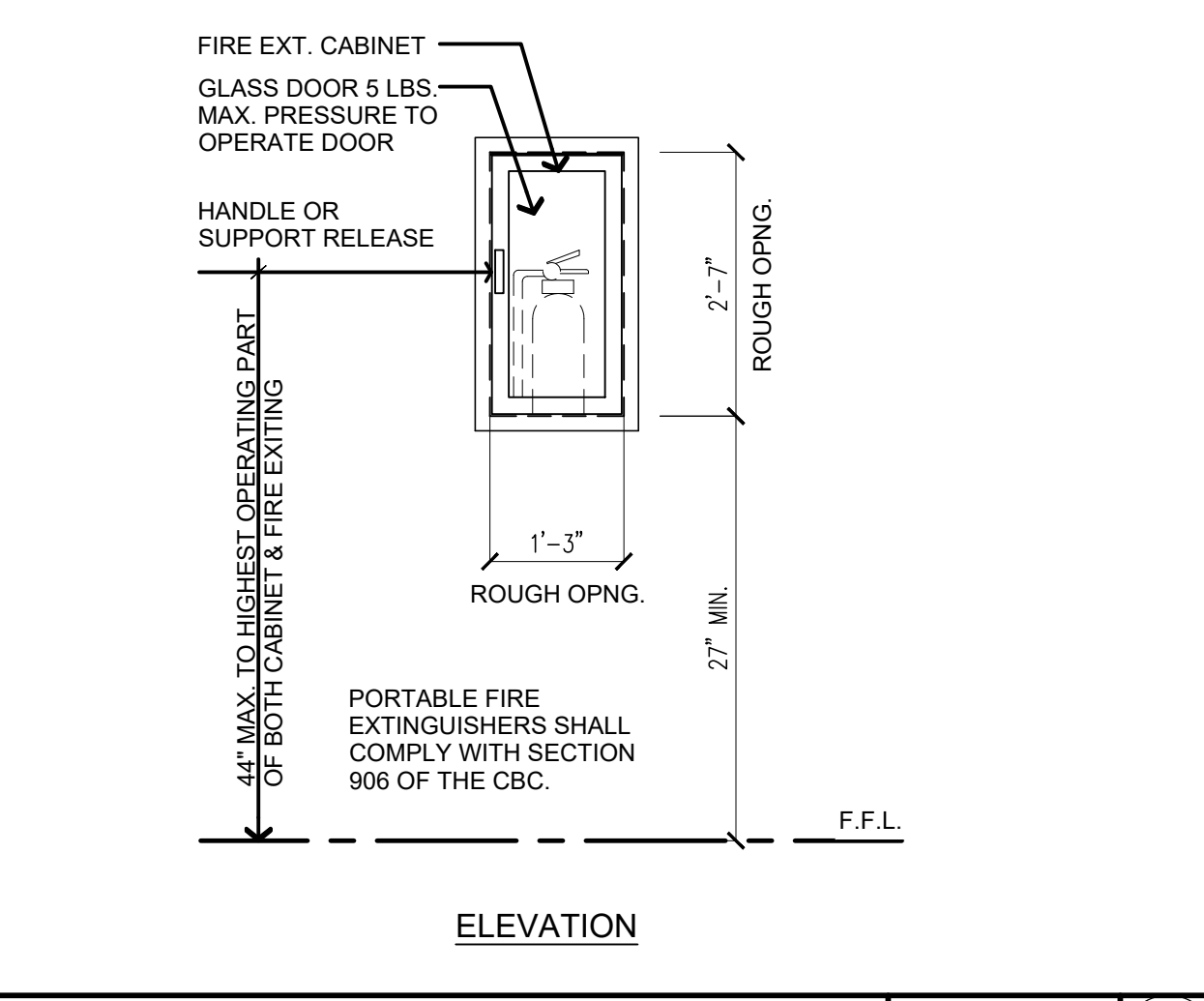
**CONTROL JOINTS (C.J.)** 3" = 1'-0" **15**



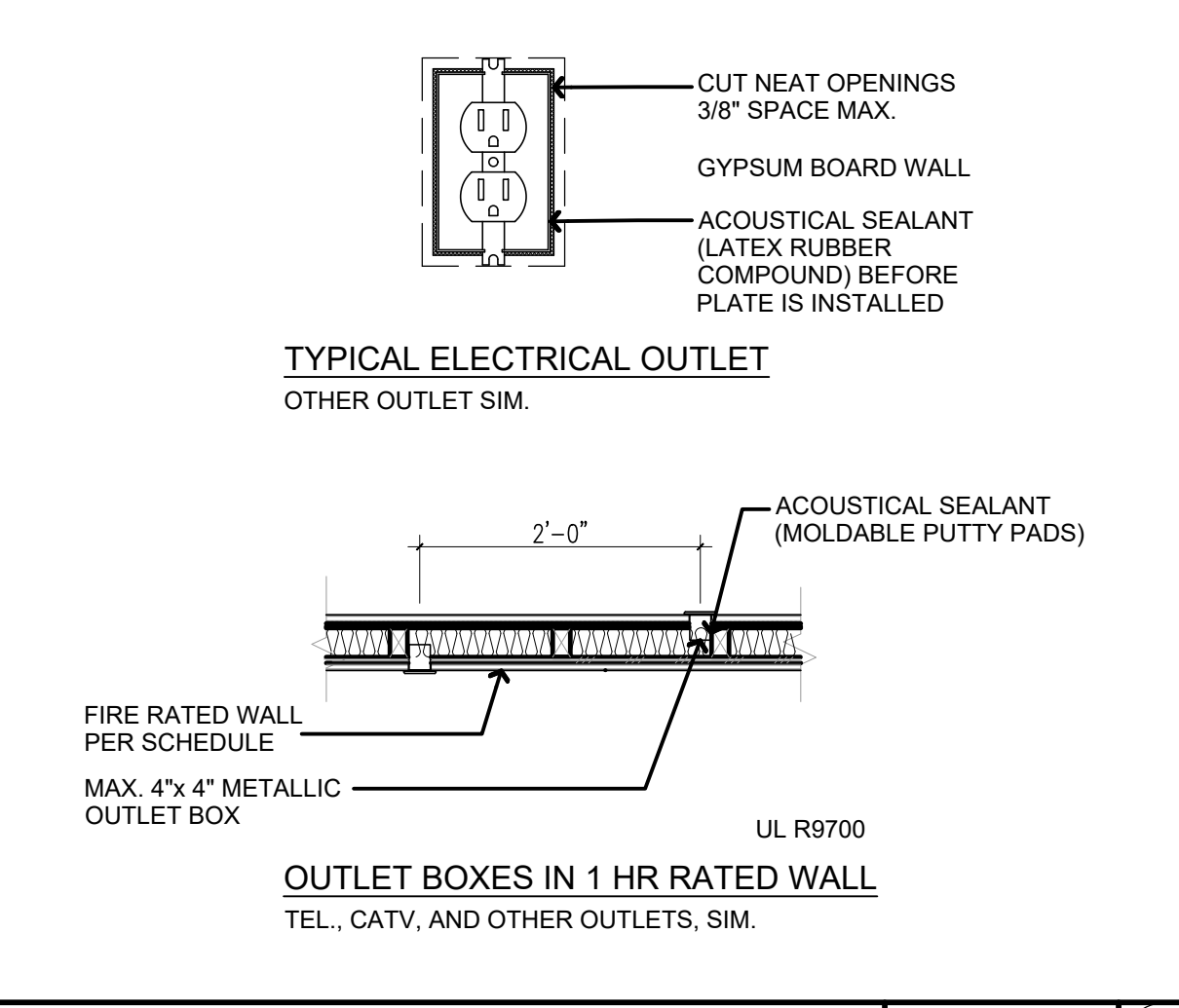
**TYP. NON-RATED INTERIOR WALL** 1 1/2" = 1'-0" **11**



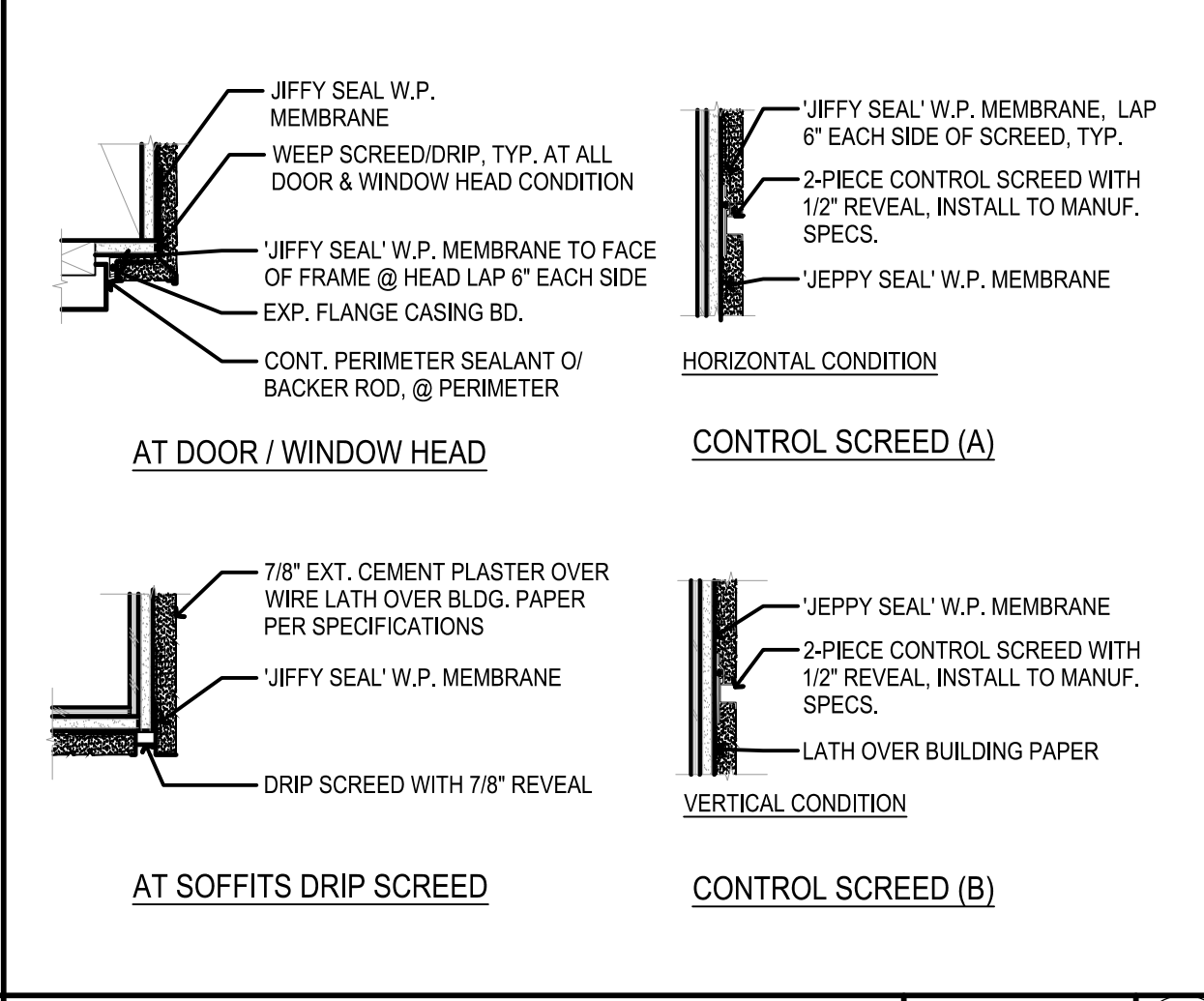
**FIRE-RESISTENCE-RATED AT ROOF / INTERIOR PARTITION ASSEMBLIES ATTACHED TO TJI WEB** 1" = 1'-0" **3**



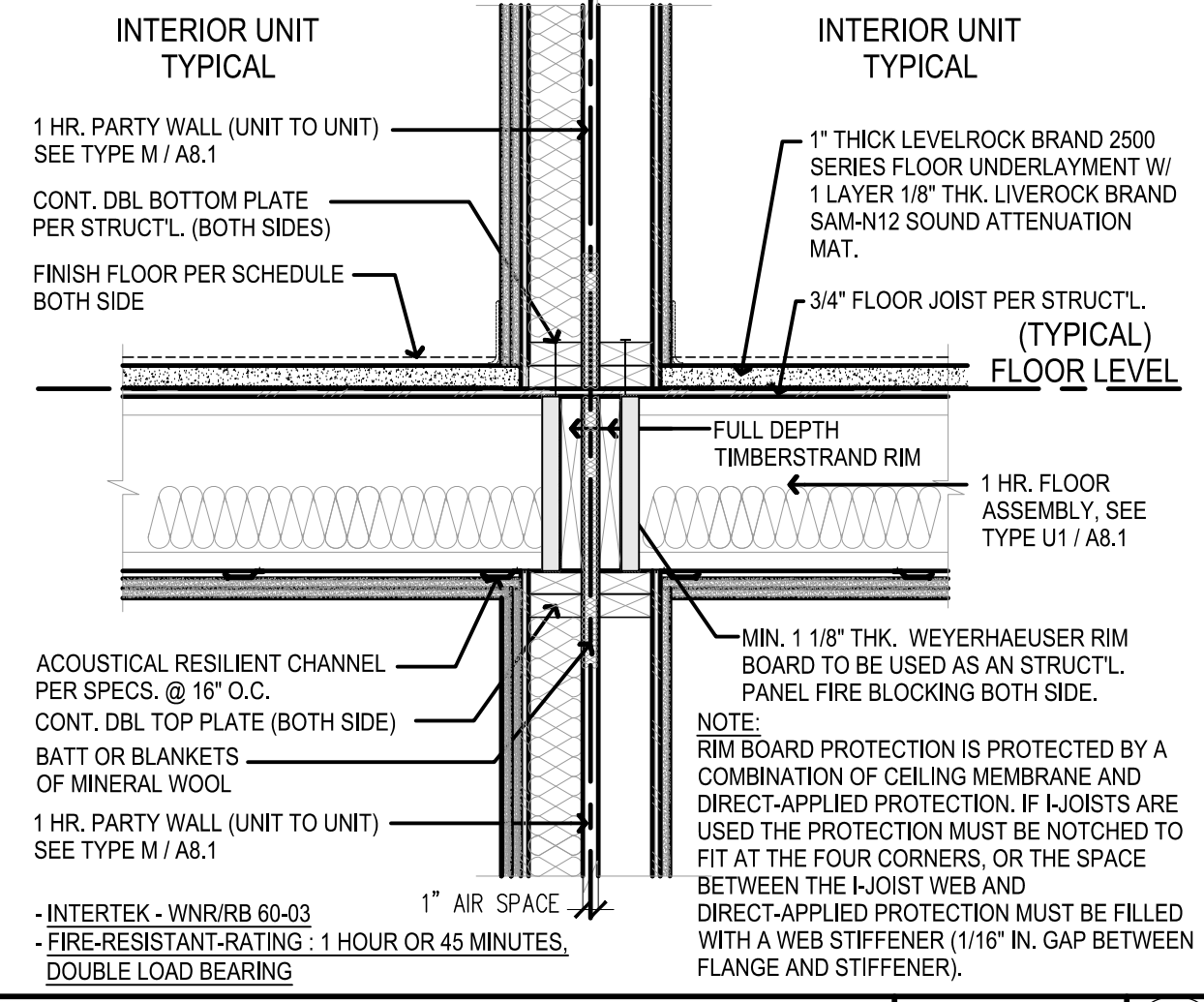
**ELEVATION - FIRE EXTINGUISHER CABINET / ELECTRICAL PANELS IN RATED WALL** 1/2" = 1'-0" **20**



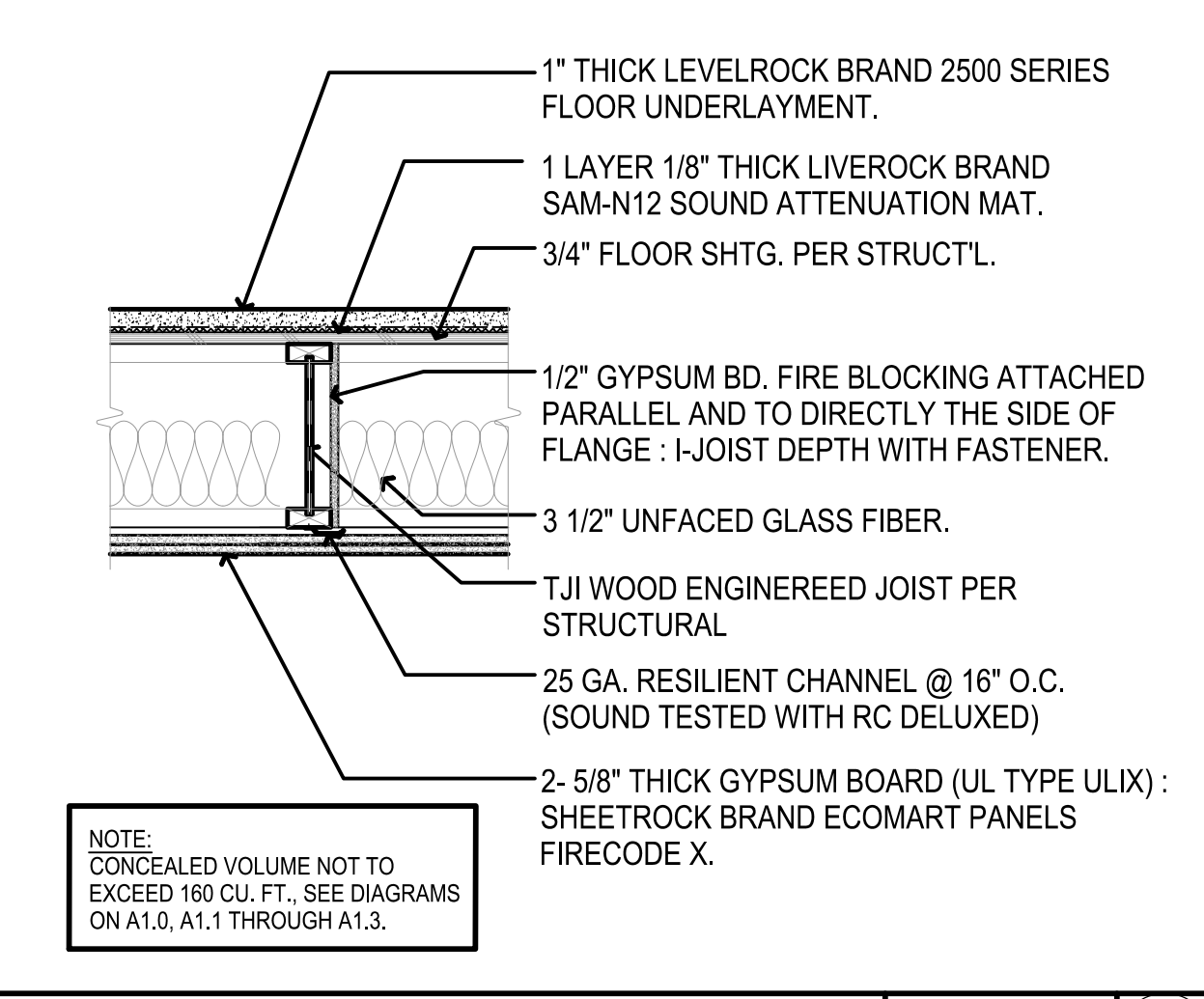
**1 HR. RATED OUTLET BOXES** 3/4" = 1'-0" **16**



**SCREED DETAILS** 1 1/2" = 1'-0" **12**

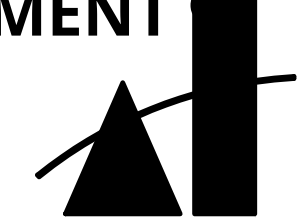


**FIRE-RESISTENCE-RATED AT FLR. / UNITS WALL ASSEMBLIES ATTACHED TO TJI WEB** 1/2" = 1'-0" **8**



**AREA SEPARATION FLOOR ASSEMBLIES ATTACHED TO TJI WEB** 1" = 1'-0" **4**





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DEVELOPER:

REVISIONS:

MERCADO APARTMENTS  
2001 NEWTON AVE, SAN DIEGO, CA 92113

SHEET TITLE:

EXTERIOR AND INTERIOR DETAILS

DATE: 04/30/2025

SCALE: As indicated

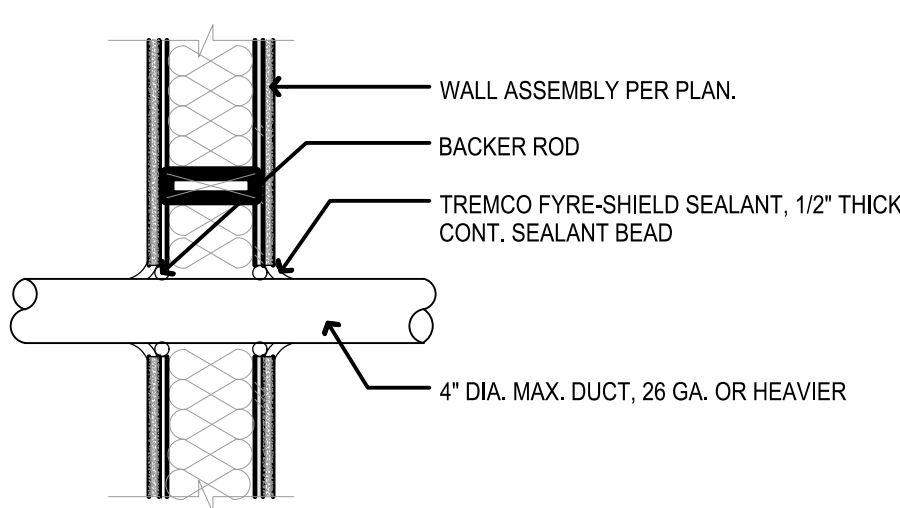
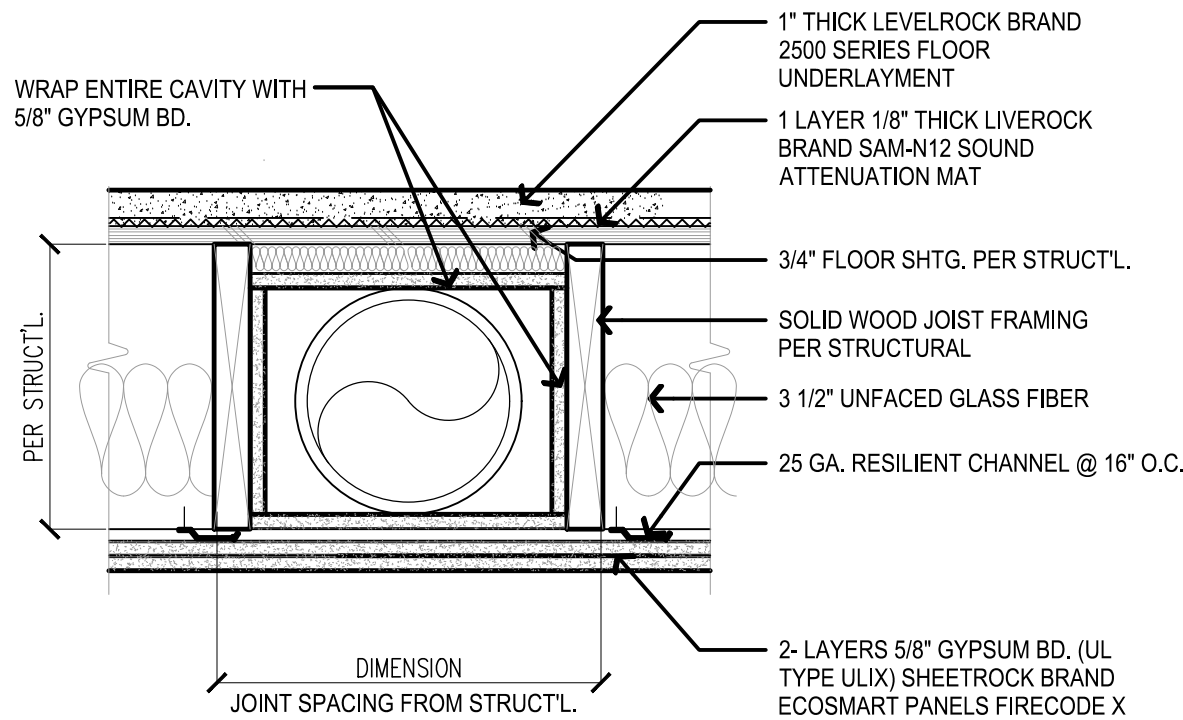
DRAWN BY: Author

JOB No: 3707

SHEET No:

A7.3.1

COASTAL DEVELOPMENT PERMIT SET



NOTES:  
1. INSTALL TREMCO FYRE-SHIELD ON BOTH SIDES OF WALL.  
UL# WL7011

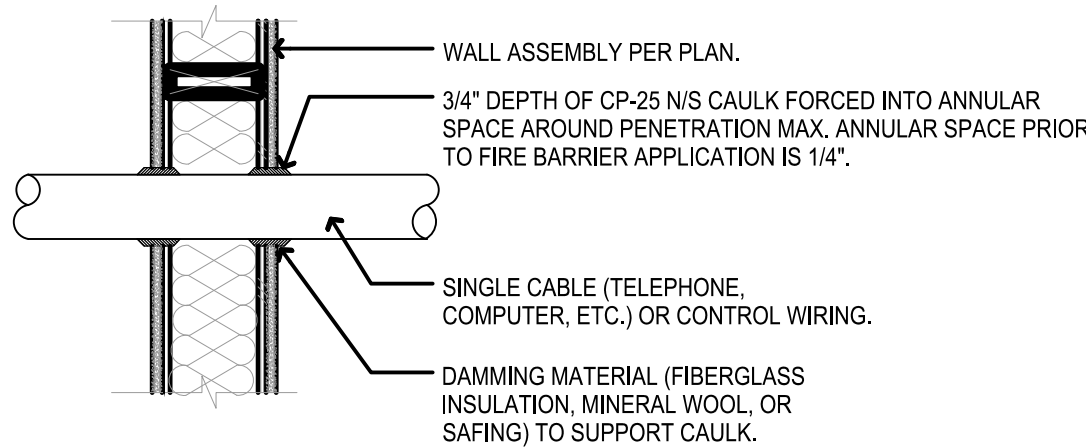
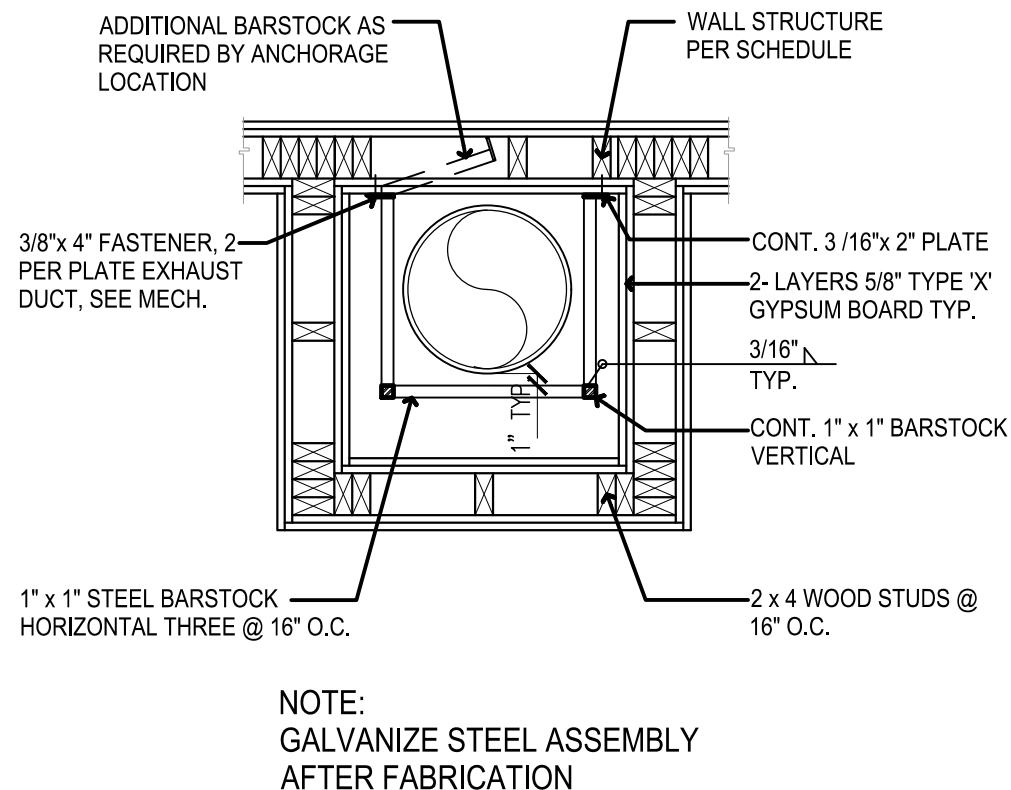
1 - HR. CIRCULAR VENT ENCLOSURE

1 1/2" = 1'-0"

PENETRATION - 4" DUCT

1" = 1'-0"

1



NOTES:  
1. INSTALL 3M FIRESTOP CP-25 N/S ON BOTH SIDES OF WALL.  
2. RECOMMENDATIONS BASED ON PRODUCT PERFORMANCE PER ASTM E-814 TIME / TEMPERATURE FIRE CURVE EXPOSURE.  
3. DETAIL APPLIES IF ONLY ONE SIDE OF WALL IS PENETRATED.  
UL# WL3001

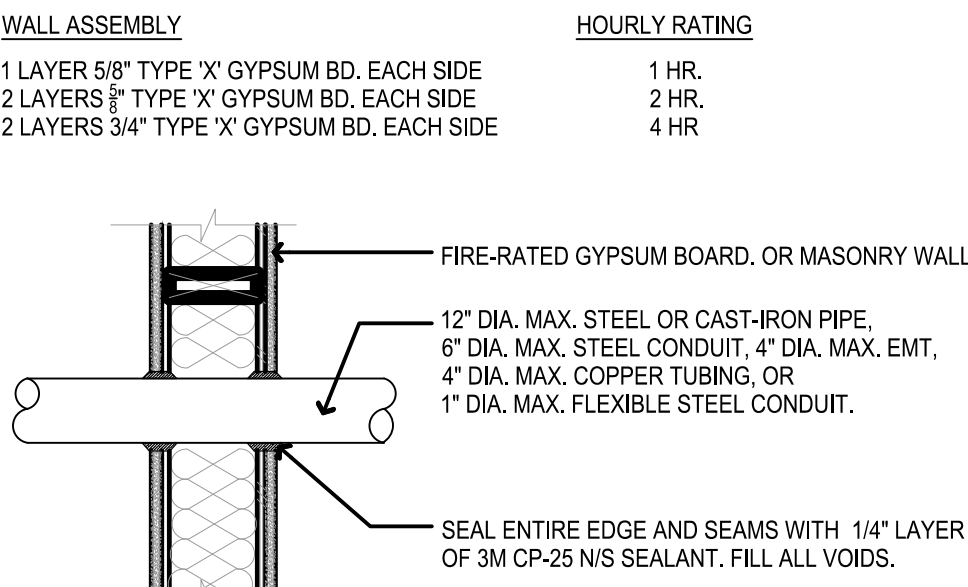
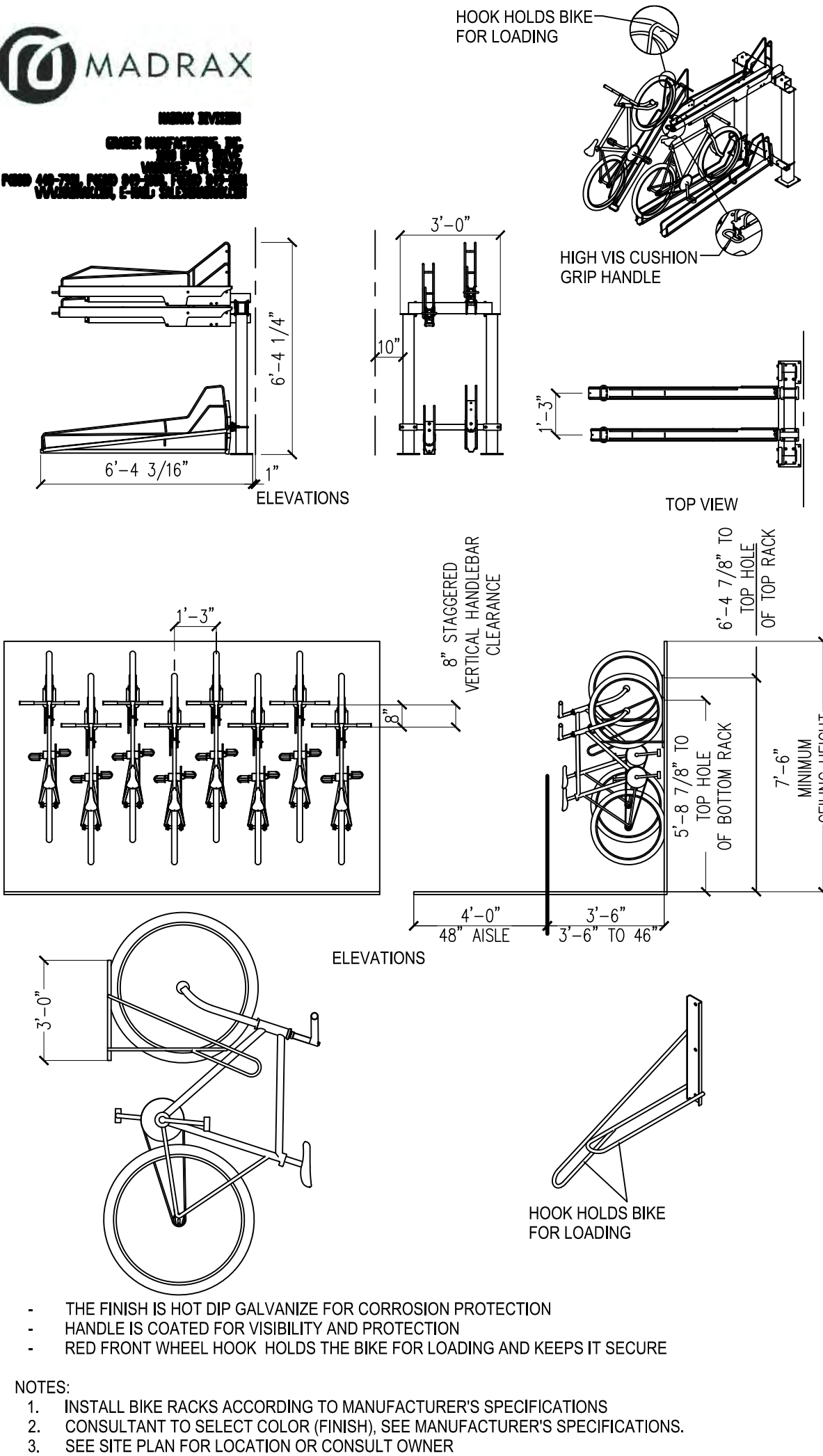
2 - HR. SHAFT ASSEMBLY

1 1/2" = 1'-0"

PENETRATION - CABLE / WIRING

1" = 1'-0"

2

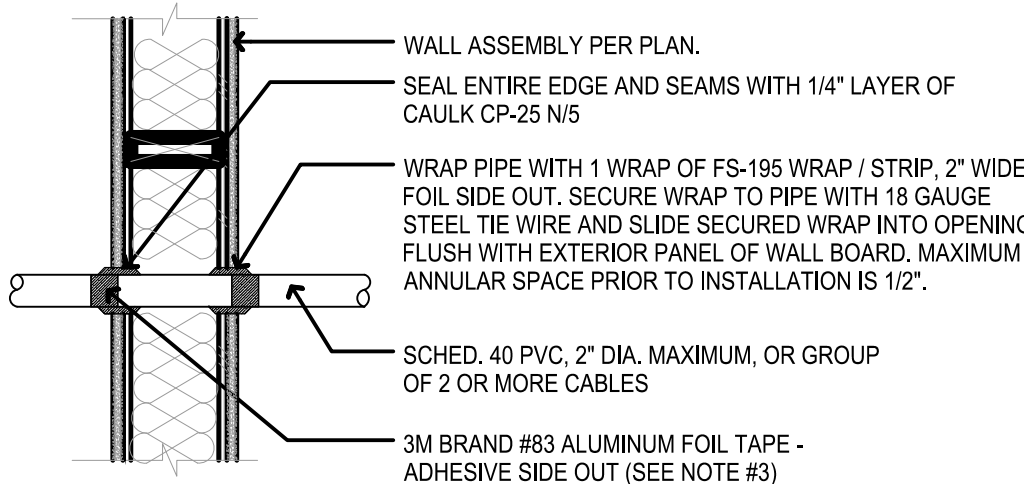


NOTES:  
1. INSTALL 3M FIRESTOP CP-25 N/S ON BOTH SIDES OF WALL.  
2. RECOMMENDATIONS BASED ON PRODUCT PERFORMANCE PER ASTM E-814 TIME / TEMPERATURE FIRE CURVE EXPOSURE.  
3. DETAIL APPLIES IF ONLY ONE SIDE OF WALL IS PENETRATED.  
UL# WL1001

PENETRATION - METAL PIPE

1" = 1'-0"

3



NOTES:  
1. INSTALL 3M FIRESTOP CP-25 N/S ON BOTH SIDES OF WALL.  
2. RECOMMENDATIONS BASED ON PRODUCT PERFORMANCE PER ASTM E-814 TIME / TEMPERATURE FIRE CURVE EXPOSURE.  
3. DO NOT ALLOW CP-25 CAULK TO COME IN CONTACT WITH PLASTIC PIPE. WRAP PIPE W/3M BRAND #83 ALUMINUM FOIL TAPE, ADHESIVE SIDE OUT, IN SUSPECT CONTACT AREAS PRIOR TO CAULKING.  
4. DETAIL APPLIES IF ONLY ONE SIDE OF WALL IS PENETRATED.  
(2" MAX. PLASTIC PIPE OR GROUP OF 2 OR MORE CABLES)  
UL# WL2003

BICYCLE RACK / HOOK

1/4" = 1'-0"

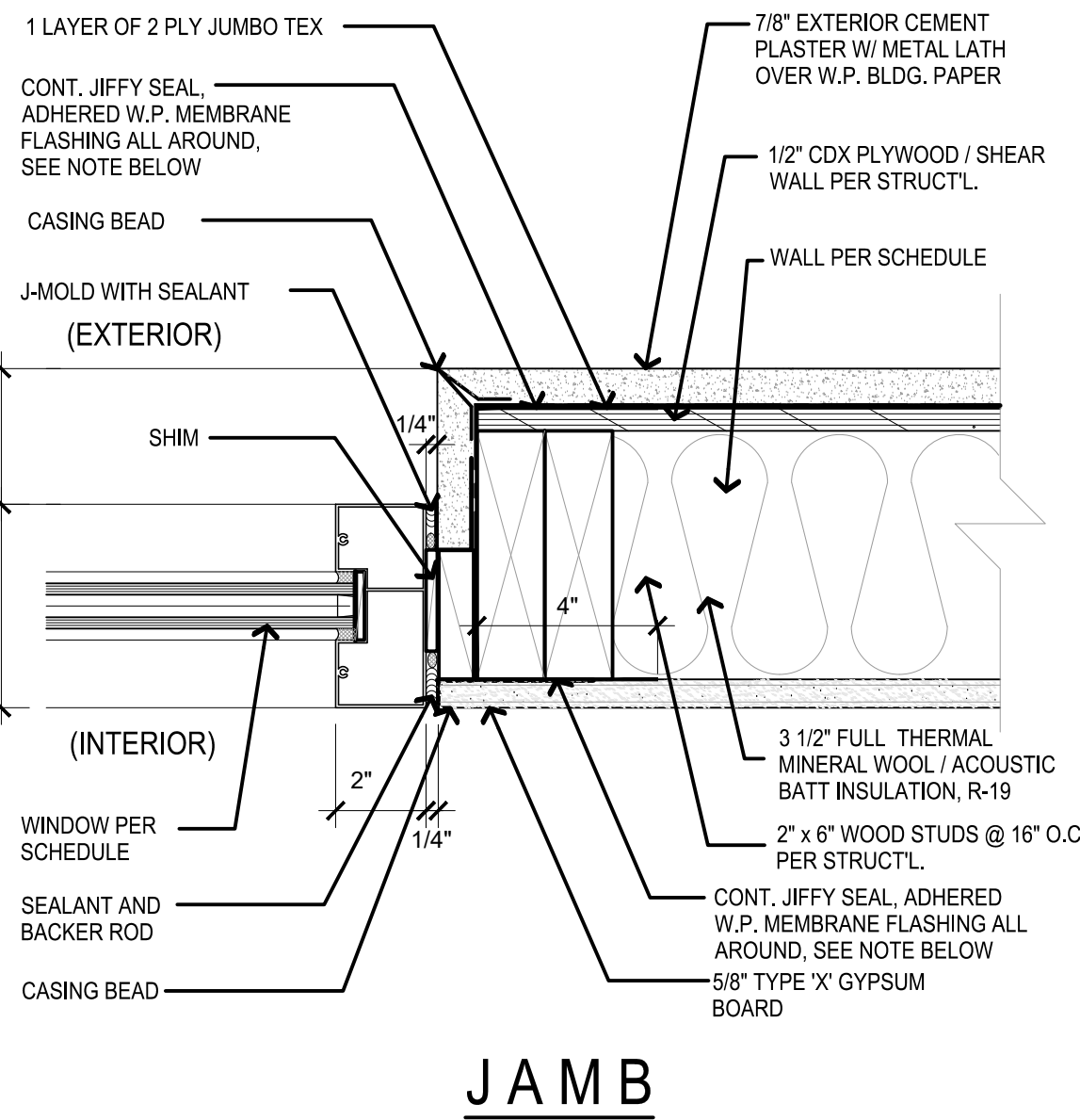
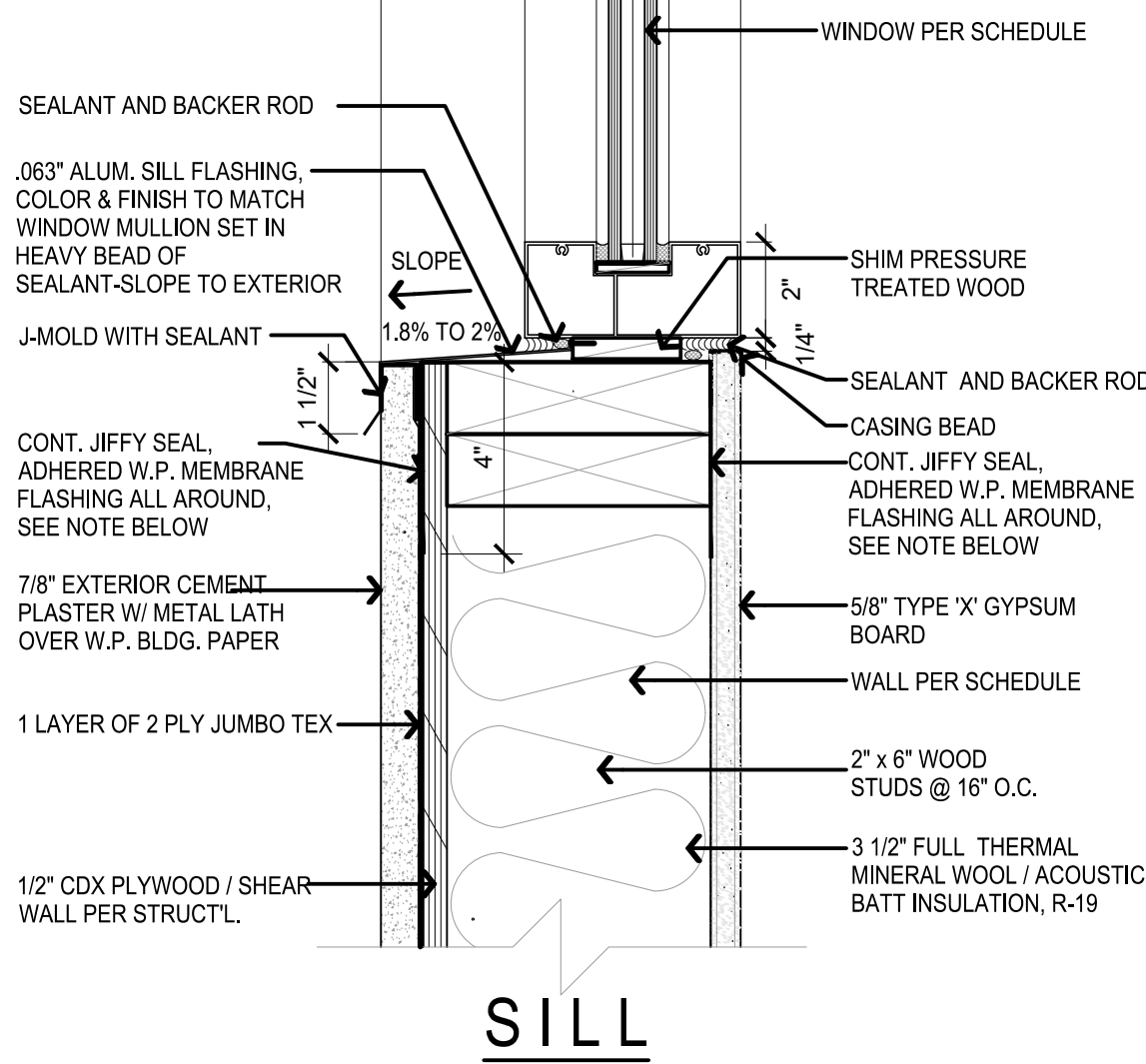
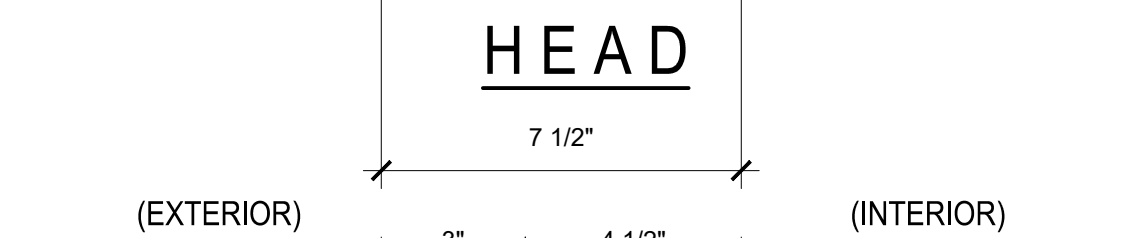
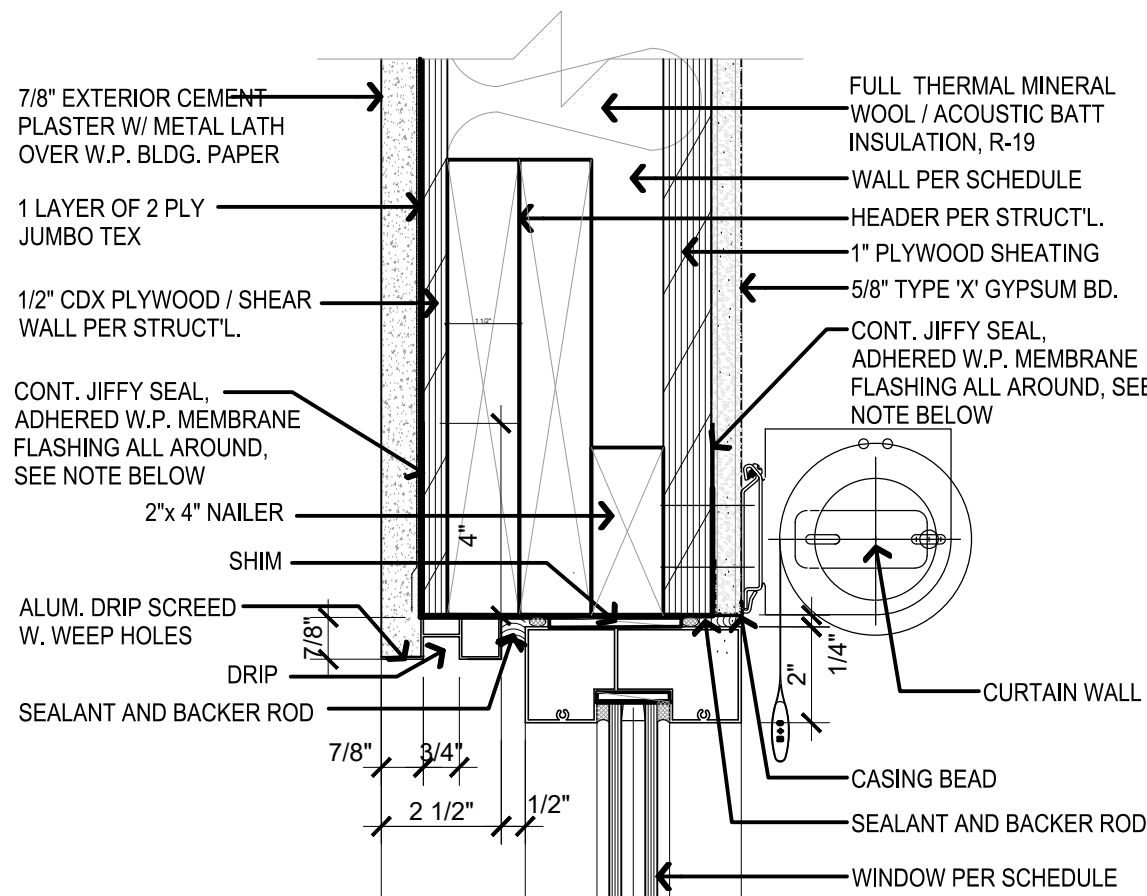
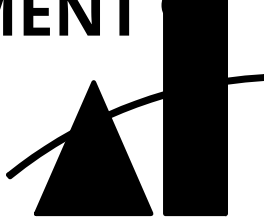
PENETRATION - 2" PLASTIC PIPE

1" = 1'-0"

4







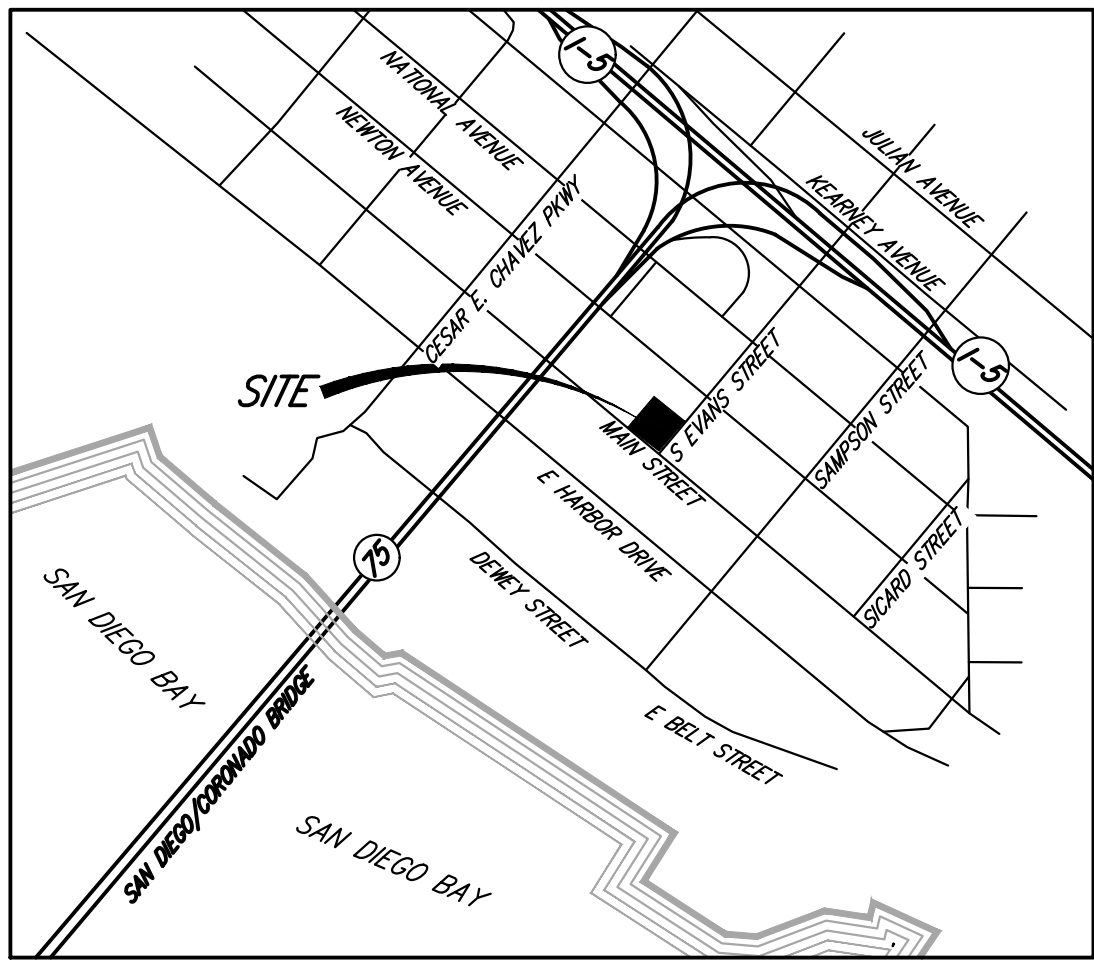
**NOTE:**

1) ALL GLASS - ALUMINUM FRAME, GLASS - SOLARBAN 70XL (2) ATLANTICA CLEAR, U-VALUE - WINTER NIGHT TIME (0.28-0.30), SUMMER DAY TIME (0.26-0.30), SHADING COEFFICIENT 0.26, STC - 35.

2) JIFFY SEAL, WRAP ADHERED MEMBRANE FLASHING AROUND ENTIRE OPENING WITH 4" LAP ON OUTSIDE & WRAP AROUND BLOCKING WITH 2" LAP. WORK FROM BOTTOM UP ON JAMBS SO VERT. LAPS ARE 2" MIN. (TYPICAL)



~ CITY OF SAN DIEGO ~  
AT SAN DIEGO CALIFORNIA  
PRELIMINARY GRADING PLAN FOR  
MERCADO APARTMENTS



VICINITY MAP  
NOT TO SCALE

LEGAL DESCRIPTION

PER PRELIMINARY REPORT ORDER NO. NCS-5993255, DATED 7/11/2019 BY FIRST AMERICAN TITLE INSURANCE COMPANY

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:

PARCEL 1 OF PARCEL MAP NO. 17172, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY JUNE 29, 1993 AS FILE NO. 1993-0414075 OF OFFICIAL RECORDS.

PROJECT BENCHMARK

THE BENCHMARK FOR THIS PROJECT IS COUNTY OF SAN DIEGO BENCHMARK NO. 3144, A TAG STAMPED "LS 2784" IN SIDEWALK ON THE NORTH SIDE OF COMMERCIAL STREET AT 26TH STREET.

ELEVATION: 67.05 US FEET NAVD 29

SOURCE OF TOPOGRAPHY

THE FIELD TOPOGRAPHY FOR THIS SURVEY WAS CONDUCTED BY REPRESENTATIVES OF EXCEL ENGINEERING ON OCTOBER 10-17, 2019 BY CONVENTIONAL SURVEYING PROCESSES.

BASIS OF BEARINGS

THE BASIS OF BEARINGS FOR THIS SURVEY IS THE SAN DIEGO COUNTY REAL TIME NETWORK USING CALIFORNIA COORDINATE SYSTEM 83, ZONE 8, NAD 83, EPOCH 2011, AS DETERMINED LOCALLY BY A LINE BETWEEN CONTIGUOUS GLOBAL POSITIONING STATIONS (CORS) AND/OR CONTIGUOUS OPERATING REFERENCE STATIONS (CORS) SIDS AND POIR BEING NORTH 89°56'56" WEST AS DERIVED FROM GEODETIC VALUES PUBLISHED BY THE CALIFORNIA SPATIAL REFERENCE CENTER (CSRC) AND/OR NATIONAL GEODETIC SURVEY (NGS), RESPECTIVELY AND MEETS ALL THE REQUIREMENTS OF THE CALIFORNIA PUBLIC RESOURCES CODE.

THE COMBINED FACTOR FOR THIS PROJECT IS BASED ON STATION SIDS, BEING 0.99996170 (GROUND = GRID / COMBINED FACTOR)

EXISTING ZONING

ZONING FOR THIS SITE PER THE CITY OF SAN DIEGO'S ZONING AND INFORMATION PORTAL

ZONING FOR THIS SITE IS IN THE BARRIO LOGAN PLANNED DISTRICT: BLPD-REDEVL-P-SUBD

THE REDEVELOPMENT SUBDISTRICT IS ESTABLISHED TO IMPLEMENT THE GOALS AND OBJECTIVES OF THE BARRIO LOGAN REDEVELOPMENT PROJECT. THE REDEVELOPMENT SUBDISTRICT DESIGNATES LAND USES AND DEVELOPMENT STANDARDS INTENDED TO CREATE A COMPACT, SMALL SCALE, PEDESTRIAN ORIENTED ENVIRONMENT, AND ENCOURAGE COMPATIBLE MIXED USE LAND PATTERNS. IT IS THE INTENT OF THIS DIVISION TO ENCOURAGE NEW DEVELOPMENT, AS WELL AS TO RETAIN, REHABILITATE AND ADAPTIVELY REUSE EXISTING STRUCTURES. IT IS FURTHER THE INTENT OF THE REDEVELOPMENT SUBDISTRICT TO FOSTER QUALITY ARCHITECTURE, LANDSCAPING AND URBAN DESIGN PRINCIPLES CONSISTENT WITH THE OBJECTIVES OF THE REDEVELOPMENT PLAN, AND TO CREATE AN IDENTIFIABLE URBAN CHARACTER AND COMMUNITY IMAGE. PROJECTS AS LARGE OR LARGER THAN AN ENTIRE CITY BLOCK OR REQUIRING LAND ASSEMBLY ASSISTANCE UTILIZING COMMUNITY REDEVELOPMENT LAW FUNDS SHALL BE DEVELOPED IN ACCORDANCE WITH DESIGN AND OPERATIONAL STANDARDS ESTABLISHED BY THE REDEVELOPMENT AGENCY OF THE CITY OF SAN DIEGO.

SITE ADDRESS

2001 NEWTON AVENUE  
SAN DIEGO, CA

APN

538-672-04-00  
4.34 ACRES

DISTURBED AREA

0.99 ACRES/43,242 SQ. FT

BUILDING AREA

22,745 SQ. FT

NUMBER OF STORIES

EXISTING-TWO

PROPOSED-FOUR

ZONING

BARRIO LOGAN PLANNED DISTRICT

(BLPD)-REDEVELOPMENT SUB-DISTRICT (RT-1-5)

**EXCEL**  
ENGINEERING

LAND PLANNING • ENGINEERING • SURVEYING  
440 STATE PLACE, ESCONDIDO, CA 92029  
PH (760)745-8118 FX (760)745-1880

UTILITY COMPANIES

WATER/SEWER

SAN DIEGO PUBLIC UTILITIES DEPARTMENT  
9192 TOPAZ WAY  
SAN DIEGO, CA 92123  
PHONE: 619-515-3525  
WEB SITE: SANDIEGO.GOV/PUBLIC-UTILITIES

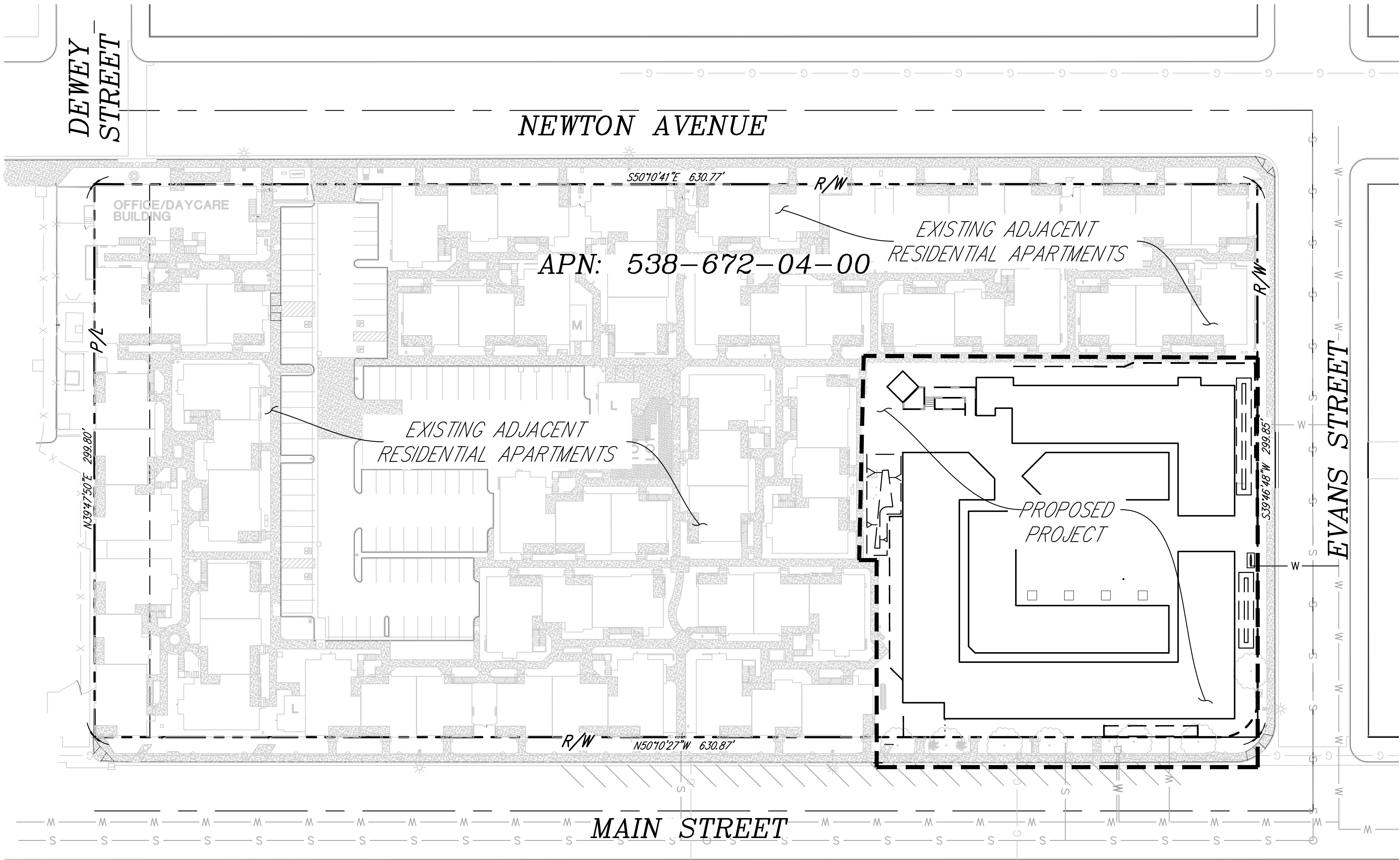
GAS/ELECTRIC

SAN DIEGO GAS & ELECTRIC COMPANY  
8326 CENTURY PARK COURT  
SAN DIEGO, CA 92123  
PHONE: 800-336-7343  
WEB SITE: SDGE.COM

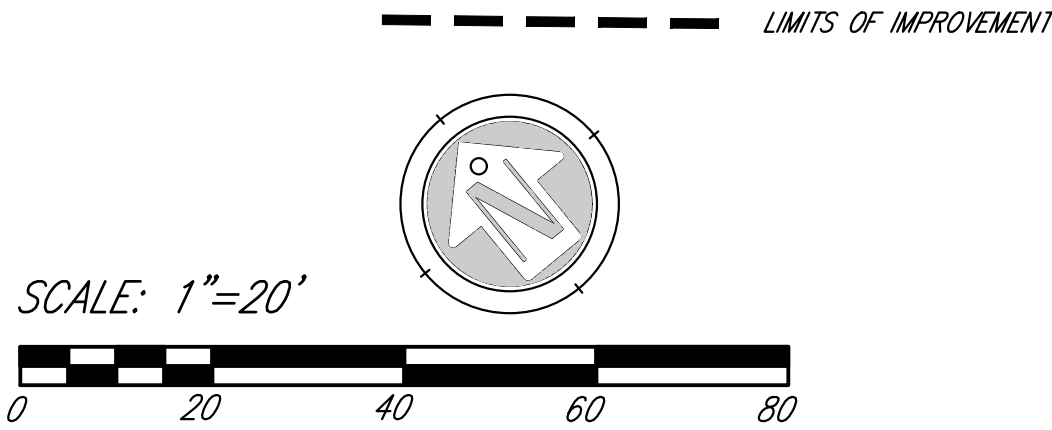
CABLE/INTERNET/TELEPHONE SERVICES

AT&T  
941 PEARL STREET  
LA JOLLA, CA 92037  
PHONE: 888-944-0447  
WEB SITE: ATT.COM

SCHOOL DISTRICT  
SAN DIEGO UNIFIED



**SHEET INDEX:**  
SHEET 1 - PRELIMINARY GRADING TITLE SHEET  
SHEET 2 - PRELIMINARY GRADING PLAN  
SHEET 3 - EXISTING CONDITION/DEMOLITION SHEET  
SHEET 4 - BMP SHEET  
SHEET 5 - CURB UTILIZATION PLAN



DEVELOPER / APPLICANT:

MAAC  
1355 THIRD AVENUE  
CHULA VISTA, CA, 91911

TELEPHONE: (619) 429-3595

OWNER'S CERTIFICATE

WE HEREBY CERTIFY THAT WE ARE THE RECORD OWNERS OF THE PROPERTY SHOWN ON THE ATTACHED TENTATIVE MAP AND THAT SAID MAP SHOWS OUR ENTIRE CONTIGUOUS OWNERSHIP. WE UNDERSTAND THAT PROPERTY IS CONSIDERED CONTIGUOUS EVEN IF IT IS SEPARATED BY ROADS, STREETS UTILITY EASEMENTS OR RAILROAD RIGHT OF WAY.

MERCADO APARTMENT, L.P.,  
A CALIFORNIA LIMITED PARTNERSHIP

DATE

MAP PREPARED BY:

EXCEL ENGINEERING  
440 STATE PLACE  
ESCONDIDO, CA 92029  
(760)745-8118



BY: *Michael D. Levin*

DATE: 1-20-23

ENGINEER OF WORK:

EXCEL ENGINEERING  
440 STATE PLACE  
ESCONDIDO, CA 92029  
(760)745-8118



BY: *Robert D. Dentino*

DATE: 1-20-23

PRIVATE CONTRACT

PLAN SET DATE: 10-24-2022  
REVISED: 10-18-2023  
REVISED: 2-28-2024

TITLE SHEET FOR:

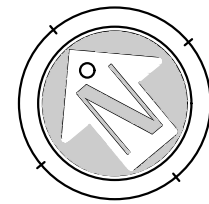
**MERCADO APARTMENTS**

2001 NEWTON AVE  
SAN DIEGO, CA 92113

CITY OF SAN DIEGO, CALIFORNIA DEVELOPMENT SERVICES DEPARTMENT SHEET 1 OF 5 SHEETS					PROJECT NO. _____
FOR CITY ENGINEER					V.T.M. _____
DESCRIPTION	BY	APPROVED	DATE	FILMED	
ORIGINAL	EXCEL				
AS-BUILTS					
CONTRACTOR			DATE STARTED		
INSPECTOR			DATE COMPLETED		

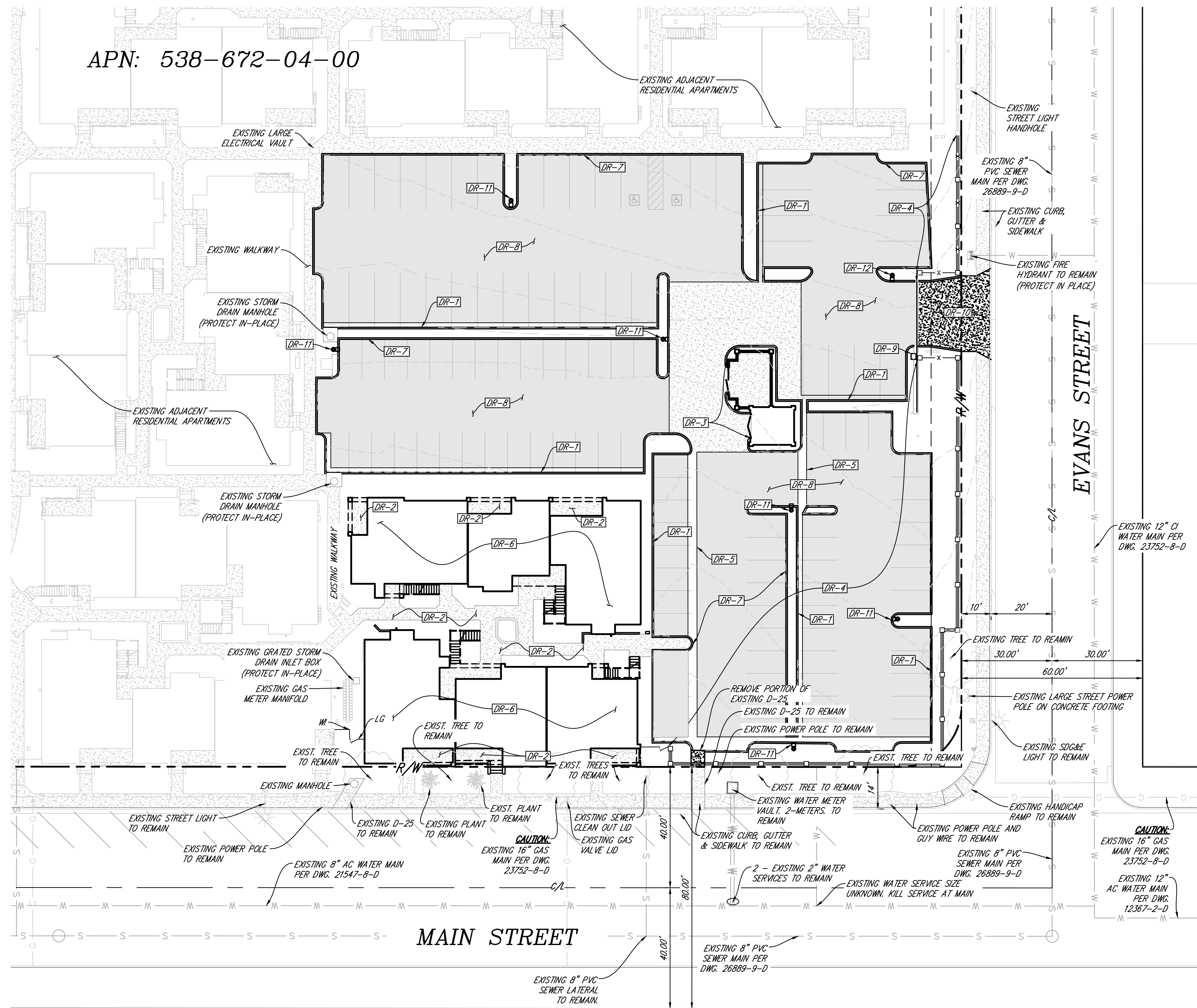
Sheet TM-1



**Sheet TM-2**

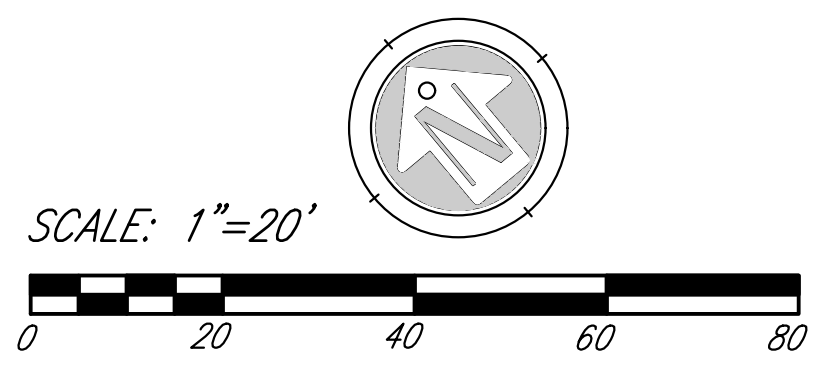
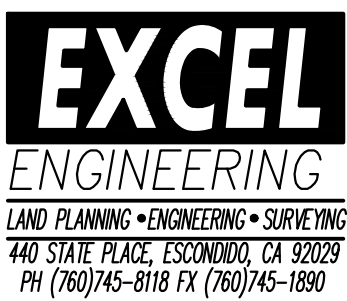


APN: 538-672-04-00



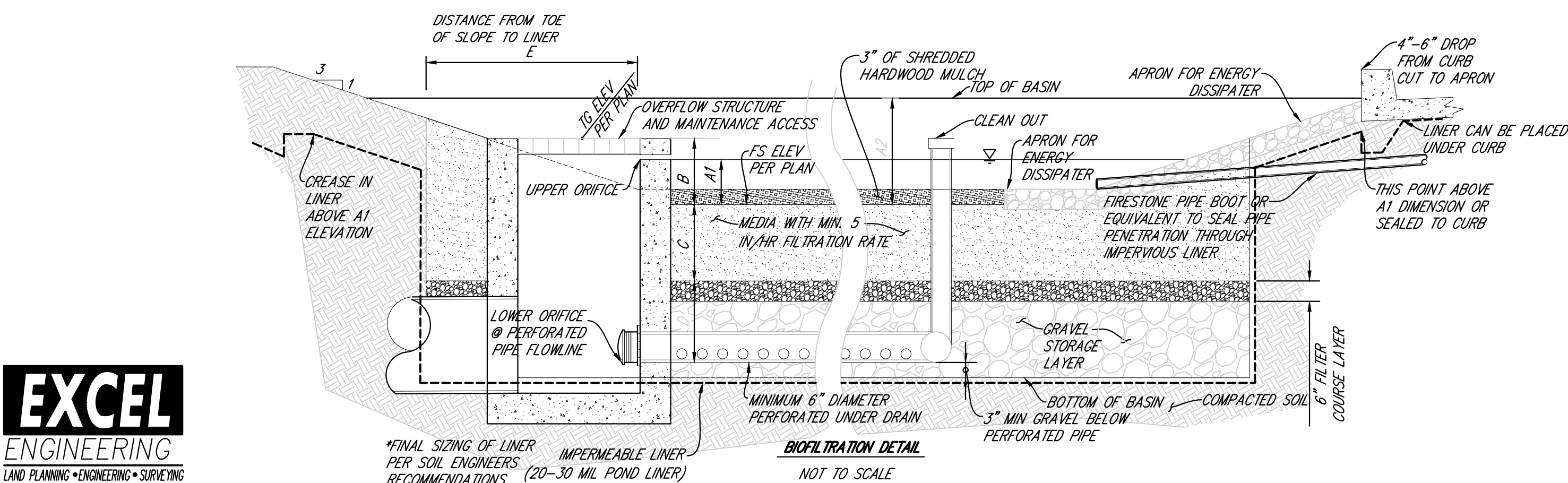
DEMOLITION NOTES

DESCRIPTION	QTY	SYMBOL
DR-1 REMOVE EXIST PCC CURB & GUTTER	487 LF	
DR-2 REMOVE EXIST PCC WALKWAY	3,630 SF	
DR-3 REMOVE EXIST TRASH ENCLOSURE	1 EA	
DR-4 REMOVE EXIST WROUGHT IRON FENCE ON LOW WALL	248 LF	
DR-5 REMOVE EXIST PCC RIBBON GUTTER	112 LF	
DR-6 REMOVE EXIST BUILDING	5,526	
DR-7 REMOVE EXIST PCC CURB	1,328 LF	
DR-8 REMOVE EXIST AC PAVING	23,735 SF	
DR-9 REMOVE EXIST ELECTRICAL GATE MOTOR HOUSING AND TRACK	1 EA	
DR-10 REMOVE EXIST PCC DRIVEWAY & APRON	558 SF	
DR-11 REMOVE EXIST PARKING LOT LIGHT	7 EA	



PRIVATE CONTRACT		PLAN SET DATE: 10-24-2022 REVISED: 10-18-2023 REVISED: 2-28-2024	
PRELIMINARY DEMO SHEET			
MERCADO APARTMENTS 2001 NEWTON AVE SAN DIEGO, CA 92113			
CITY OF SAN DIEGO, CALIFORNIA DEVELOPMENT SERVICES DEPARTMENT SHEET 3 OF 5 SHEETS		PROJECT NO. _____	
FOR CITY ENGINEER		DATE	
DESCRIPTION	BY	APPROVED	DATE
ORIGINAL	EXCEL		
AS-BUILTS			
CONTRACTOR		DATE STARTED	
INSPECTOR		DATE COMPLETED	
		V.T.M. _____	
		1882-6245 NAD83 COORDINATES	
		192-1722 LAMBERT COORDINATES	
		Sheet TM-3	





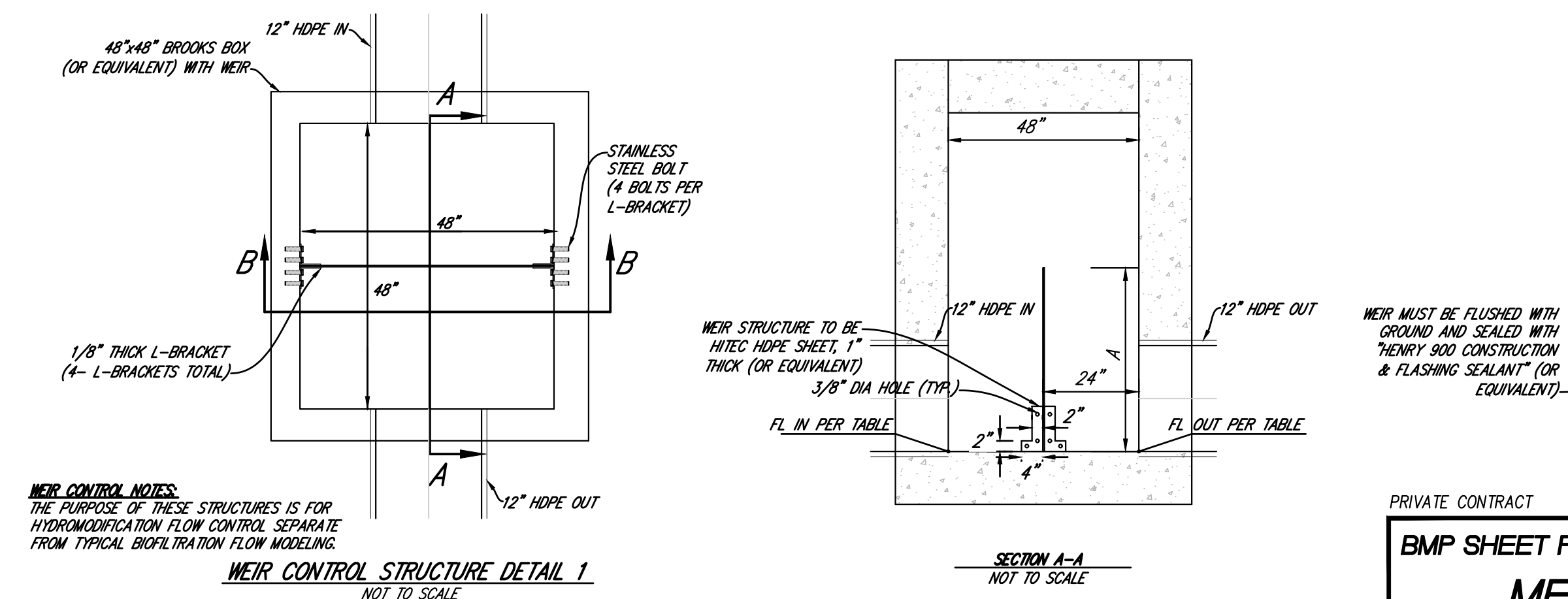
<b>S&amp;T-1</b>	36"X36" CATCH BASIN		
<b>S&amp;T-2</b>	4" PVC AREA DRAIN		
<b>S&amp;T-3</b>	CURB OUTLET		
<b>S&amp;T-4</b>	12" PVC PIPE		
<b>BMP IMPERMEABLE LINER DATA</b>			
<b>NO.</b>	<b>LENGTH</b>	<b>DELTA/BRC</b>	<b>RADIUS</b>
1	6.50'	S50'10"26"E	--
2	61.86'	S39'49'16"W	--
3	61.86'	N39'49'16"E	--
4	6.50'	N50'10"26"W	--
5	6.50'	N50'10"31"E	--
6	39.50'	S39'49'29"W	--
7	6.50'	N50'10"31"W	--
8	39.50'	N39'49'29"E	--
9	50.00'	N50'10"31"W	--
10	5.00'	S39'49'29"W	--
11	50.00'	S50'10"31"E	--
12	5.00'	N39'49'29"E	--
13	4.44'	S54'15'43"E	--
14	24.81'	S32'39'28"W	--
15	46.72'	N45'26'59"E	--
16	3.94'	N50'10"31"W	--
17	20.61'	S39'49'29"W	--
18	2.29'	B=078'13'45"	1.68
19	5.63'	N50'10"31"W	--
C19	31.43'	B=090'02'41"	20.00

NOTE: THE PROPOSED PROJECT WILL COMPLY WITH ALL THE REQUIREMENTS OF THE CURRENT CITY OF SAN DIEGO STORM WATER STANDARDS MANUAL BEFORE A GRADING OR BUILDING PERMIT IS ISSUED. IT IS THE RESPONSIBILITY OF THE OWNER/DESIGNER/APPLICANT ENSURE THAT THE CURRENT STORM WATER PERMANENT BMP DESIGN STANDARDS ARE INCORPORATED INTO THE PROJECT.

WATER QUALITY BASIN INSTALLATION NOTES:

1. 3 INCHES OF WELL-AGED, SHREDDED HARDWOOD MULCH.
  2. AN UNDERDRAIN CLEANOUT WITH A MINIMUM 6-INCH DIAMETER AND LOCKABLE CAP IS PLACED EVERY 250 TO 300FEET AS REQUIRED BASED ON UNDERDRAIN LENGTH.
  3. VEGETATION USED SHOULD BE SUITABLE FOR THE CLIMATE PER LANDSCAPE PLANS
  4. FILTER COARSE IS A MINIMUM OF 6 INCHES PROVIDED IN TWO SEPARATE 3 INCH LAYERS. THE TOP LAYER SHALL BE MADE OF ASTM C33 CHOKER SAND AND THE BOTTOM LAYER BE OF ASTM NO. 8 AGGREGATE. MARKERS STAKES SHALL BE USED TO ENSURE UNIFORM LIFT THICKNESS.
  5. AASHTO NO. 57 STONE OR CLASS 2 PERMEABLE PER CAL TRANS SPECIFICATION 68-1.025 IS RECOMMENDED FOR THE AGGREGATE STORAGE LAYER. WASHED, OPEN-GRADED CRUSHED ROCK MAY BE USED, HOWEVER, A 3 INCH MINIMUM WASHED ASTM NO. 8 AGGREGATE FILTER COURSE LAYER AT THE TOP OF THE CRUSHED ROCK IS REQUIRED.
  6. IMPERMEABLE LINER SHALL BE INSTALLED WHEN THE BIOFILTRATION BASIN IS WITHIN 10 FEET OF RETAINING WALLS OR BUILDING FOUNDATIONS, OR AS RECOMMENDED BY THE SOILS ENGINEER, OR REQUIRED BY THESE PLANS. IMPERMEABLE LINER SHALL BE 30 MIL THICK (PER COUNTY OF SAN DIEGO GREEN STREETS DESIGN STANDARD DRAWING GS-3.00 AND COUNTY GREEN STREETS SUPPLEMENT TO CAL TRANS SPECIFICATIONS 20-11.08B) CONFIGURED TO ENTIRELY ENCOMPASS THE SIDES OF THE WATER QUALITY BASIN.
  7. IMPERMEABLE LINER BE CONSTRUCTED IN COMPLIANCE WITH THE COUNTY OF SAN DIEGO GREEN STREETS SUPPLEMENT TO CAL TRANS SPECIFICATIONS 20-11.08B IF SOIL MEDIA LESS THAN 5IN/HR.
  8. BIOFILTRATION SOIL MEDIA LAYER (BSM) SHALL CONSIST OF 60% TO 80% BY VOLUME SAND, UP TO 20% BY VOLUME TOPSOIL, AND UP 20% BY VOLUME COMPOST (PER COUNTY OF SAN DIEGO BMP DESIGN MANUAL SEPTEMBER 2020 APPENDIX F.2 SECTION 803-2 BLENDED BSM CRITERIA AND TESTING REQUIREMENTS) PLACED IN 6" LIFTS AND COMPACTED WITH WATER PRIOR TO THE NEXT LIFT. INITIAL PERMEABILITY SHALL BE 8" PER HOUR (WITH ASSUMED STABILIZED PERMEABILITY OF 5" PER HOUR).
  9. CLASS 2 PERMEABLE PER CALTRANS SPECIFICATION 68-1.025 IS RECOMMENDED FOR THE STORAGE LAYER. WASHED, OPEN-GRADED CRUSHED ROCK MAY BE USED, HOWEVER A 4-6 INCH WASHED PEA GRAVEL FILTER COURSE LAYER AT THE TOP OF THE CRUSHED ROCK IS REQUIRED.
  10. THE DEPTH OF AGGREGATE PROVIDED (12-INCH TYPICAL) AND STORAGE LAYER CONFIGURATION IS ADEQUATE FOR PROVIDING CONVEYANCE FOR UNDERDRAIN FLOWS TO THE OUTLET STRUCTURE.
  11. OVERFLOW STRUCTURE TO HAVE A MINIMUM OF 2 INCHES OF FREEBOARD FOR NON-CONJUNCTIVE USE BASINS.
  12. ALL LINER INSTALLATIONS, FIELD WELDING OF SEAMS, AND OBSERVATION OF SOIL MIX PLACEMENT SHALL REQUIRE SPECIAL INSPECTION BY THE PROJECT GEOTECHNICAL ENGINEER OR OTHER QUALIFIED PERSON. A LETTER CERTIFYING PROPER INSTALLATION SHALL BE PROVIDED TO THE ENGINEER OF RECORD TO ACCEPTANCE OF THE FACILITIES.
  13. SPECIAL INSPECTION SHALL BE REQUIRED FOR CONSTRUCTION OF ALL BIOFILTRATION BASINS. INSPECTION SHALL BE PERFORMED BY A QUALIFIED INDIVIDUAL (SUCH AS: ENGINEER OF RECORD, QSD). INSPECTION SHALL INCLUDE:
    - VERIFICATION OF OVERALL DIMENSIONS PRIOR TO PLACEMENT OF MATERIALS;
    - PLACEMENT OF THE LINER, IF REQUIRED; AND SEAMS OR PENETRATIONS;
    - PLACEMENT OF THE GRAVEL, FILTER MATERIALS, AND FILTER MEDIA;
    - ALL INLET AND OUTLET STRUCTURES INCLUDING UNDERDRAINS, IF REQUIRED;
    - CONTRACTOR SHALL TAKE PICTURES AT EACH STAGE OF INSTALLATION AND SUBMITTED TO ENGINEER FOR VERIFICATION OF INSTALL.
- INSPECTOR SHALL BE GIVEN A MINIMUM OF 48 HOURS PRIOR TO INSPECTION. UPON COMPLETION THE INSPECTOR SHALL PROVIDE A CERTIFICATION TO THE ENGINEER OF WORK.
13. PROPOSED MATERIALS, SUCH AS AGGREGATE, FILTER MATERIAL, AND FILTER MEDIA SHALL BE SUBMITTED TO THE ENGINEER OF WORK FOR APPROVAL.

WEIR CONTROL STRUCTURE SUMMARY TABLE								
CATCHBASIN NUMBER	FL/E IN	FL/E OUT	A (INCH)	B (INCH)	C (INCH)	D WIDTHxHEIGHT (INCHxINCH)	E WIDTHxHEIGHT (INCHxINCH)	F WIDTHxHEIGHT (INCHxINCH)
1	35.07	35.06	20	9	6	$\frac{1}{2} \times \frac{1}{2}$	$\frac{1}{2} \times \frac{1}{2}$	4x3
2	34.50	34.50	21	12	6	1x1	1x1	4x4
3	35.57	35.51	18	-	-	$\frac{1}{2} \times \frac{1}{2}$	-	-
4	35.65	35.65	18	-	9	$\frac{1}{2} \times \frac{1}{2}$	$\frac{1}{2} \times \frac{1}{2}$	-



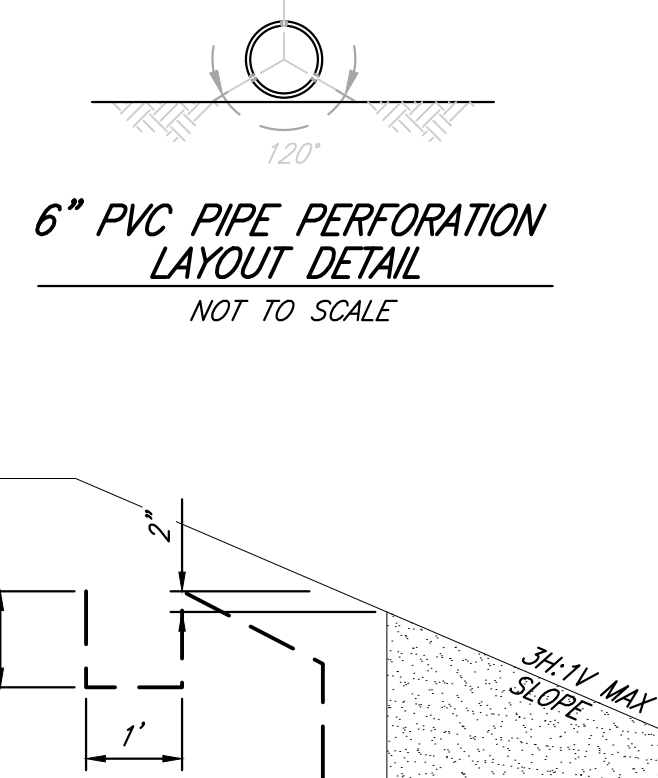
BIOFILTRATION BASIN SUMMARY TABLE													
BASIN NAME	WATER QUALITY EFFECTIVE AREA (SQFT)	AREA OF FINISH SURFACE (SQFT)	VOLUME (CU-FT)	A1 (INCH)	A2 (INCH)	B (INCH)	C (INCH)	D (INCH)	E (FEET)	CATCHBASIN SIZE (INCHES)	LOWER ORIFACE DIAMETER (INCH)	UPPER ORIFACE NUMBER & LENGTH/HEIGHT (INCH)	IMPERMEABLE LINER
EMP-A	250	70	198	—	12	9	18	12	2.25	48X48	0.5	—	YES
EMP-B	380	146	587	6	12	9	18	12	2.25	48X48	0.5	3 @ 6X1	YES
EMP-C	250	250	255	6	12	9	18	12	2.25	48x48	0.25	3 @ 1X1	YES
EMP-D	400	115	311	—	12	9	18	12	2.25	48x48	0.25	—	YES



*DETAIL*  
*"NO DUMPING" AT CATCH BASINS*

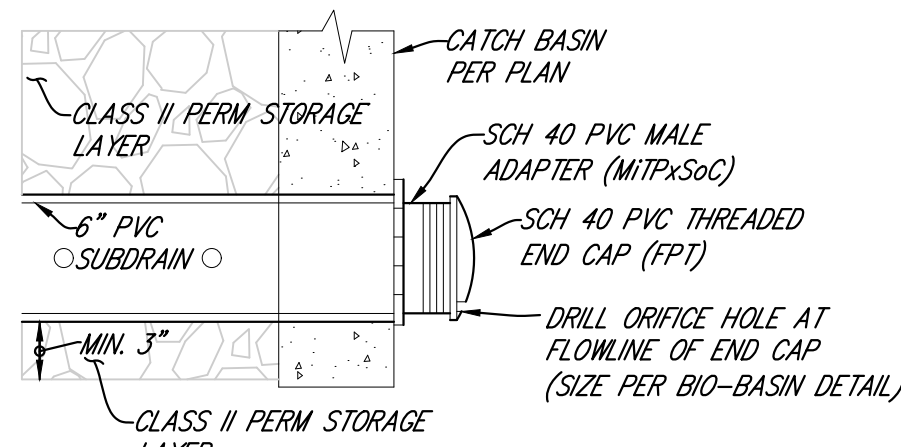
NOTE: ALL CATCH BASINS WITH GRATES SHALL BE STENCILED WITH CITY REQUIRED ITEM PER ABOVE DETAIL:

(DAS MANUFACTURING #SDO OR EQUIVALENT,



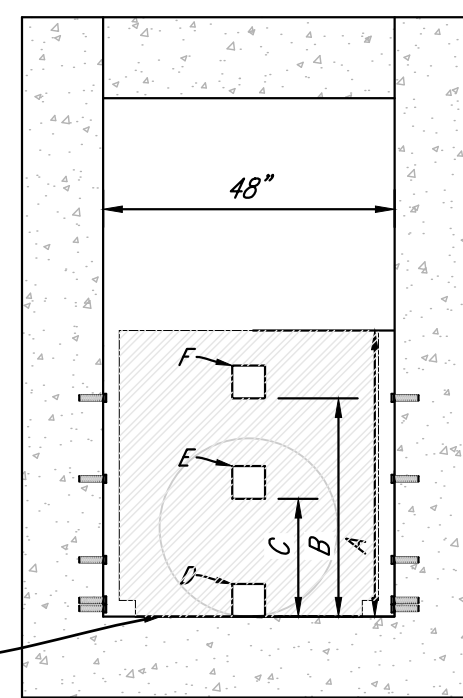
IMPERMEABLE LINER EDGE ANCHOR DETAIL

NOT TO SCALE



## ORIFICE DETAIL

NOT TO SCALE



**SECTION B-B**

NOT TO SCALE

PLAN SET DATE: 10-24-2022  
REVISED: 10-18-2023  
REVISED: 2-28-2024

PRIVATE CONTRACT

BMP SHEET FOR:

## MERCADO APARTMENTS

2001 NEWTON AVE  
SAN DIEGO, CA 92116

CITY OF SAN DIEGO, CALIFORNIA  
DEVELOPMENT SERVICES DEPARTMENT  
SHEET 4 OF 5 SHEETS

PROJECT NO. \_\_\_\_\_

FOR CITY ENGINEER

DATE \_\_\_\_\_ V.T.M. \_\_\_\_\_

DESCRIPTION	BY	APPROVED	DATE	FILMED
ORIGINAL	EXCEL			
				1882-6245
				NAD83 COORDINATES
				192-1722
				LAMBERT COORDINATES
AS-BUILTS				
CONTRACTOR		DATE	STARTED	
INSPECTOR		DATE	COMPLETED	

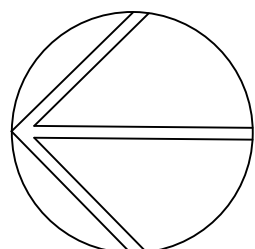
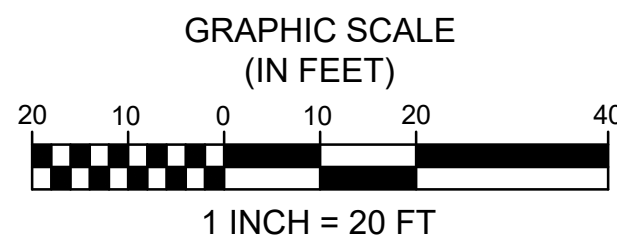
Sheet TM-4

Sheet TM-4

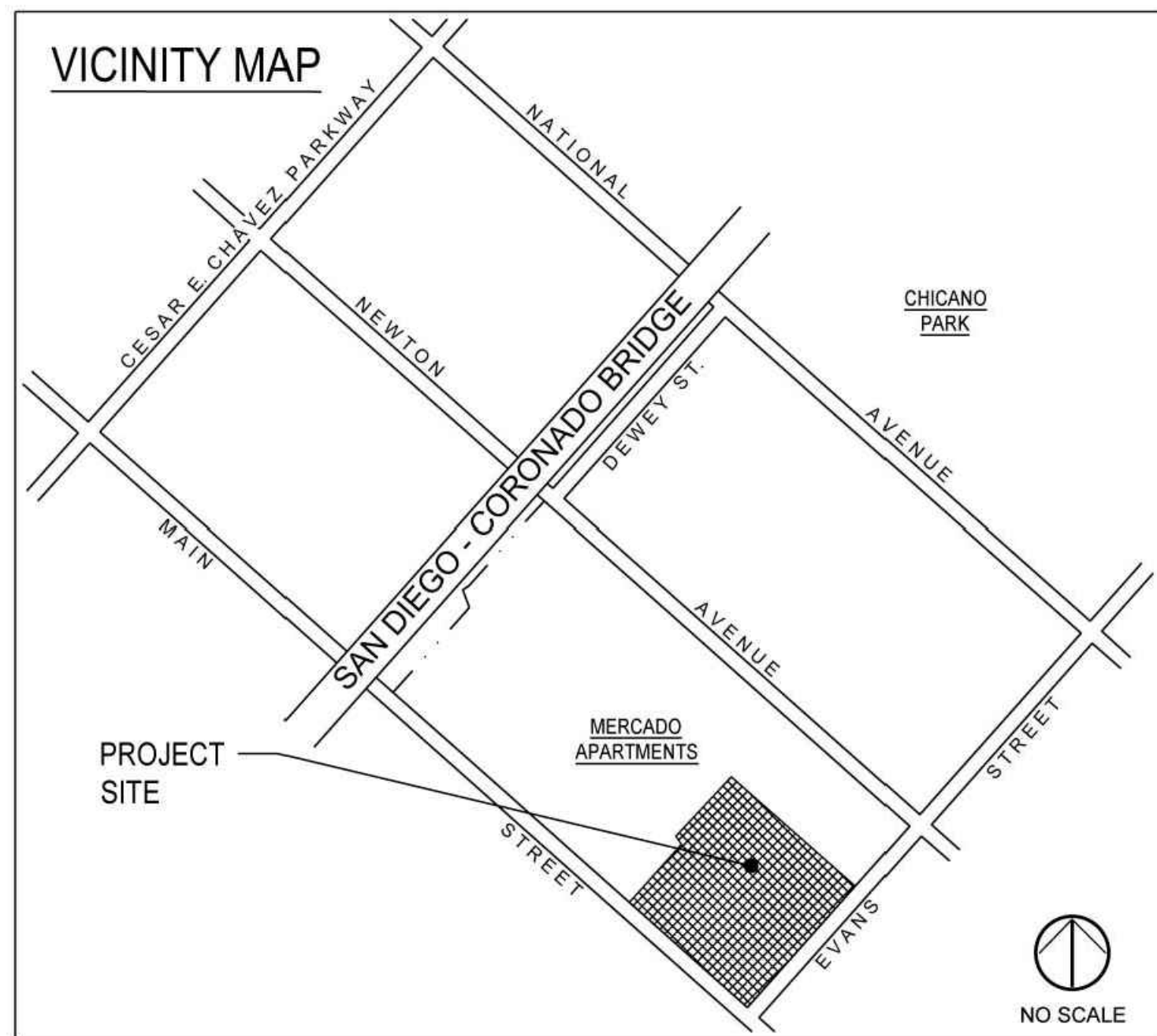








PROJECT  
NORTH



THIS PROJECT IS A NEW FOUR-STORY APARTMENT COMPLEX WITH A CENTRAL COURTYARD AND PLAZAS

THE LANDSCAPE CONCEPT FOR THIS PROJECT IS INTENDED TO ENLIST A PLANTING PALETTE THAT ENLISTS LOW WATER USE PLANTS WHILE ALSO USING PLANT MATERIAL THAT IS COMPLEMENTARY TO THE EXISTING PLANTING SCHEME ALONG MAIN STREET AND EVANS STREET, VIBRANT IN COLOR, AND THAT EMBRACES THE CULTURE AND VITALITY OF THE COMMUNITY VILLAGE WITHIN BARRIO LOGAN. THE IRRIGATION DESIGN APPROACH WILL MEET THE REQUIREMENTS OF THE CITY OF SAN DIEGO'S WATER EFFICIENT LANDSCAPE ORDINANCE.

GENERAL NOTES:

3. ALL LANDSCAPE AND IRRIGATION SHALL CONFORM TO THE CITY OF SAN DIEGO'S CURRENT LAND DEVELOPMENT CODE, LANDSCAPE REGULATIONS, THE LAND DEVELOPMENT MANUAL, LANDSCAPE STANDARDS, AND ALL OTHER LANDSCAPE RELATED CITY AND REGIONAL STANDARDS.
2. AN IRRIGATION SYSTEM SHALL BE PROVIDED AS REQUIRED FOR PROPER IRRIGATION, DEVELOPMENT AND MAINTENANCE OF THE VEGETATION. THE DESIGN OF THE SYSTEM SHALL PROVIDE ADEQUATE SUPPORT FOR THE VEGETATION SELECTED.
3. IRRIGATION: A PERMANENT, AUTOMATIC, ELECTRICALLY CONTROLLED IRRIGATION SYSTEM SHALL BE PROVIDED AS REQUIRED FOR PROPER IRRIGATION, DEVELOPMENT, AND MAINTENANCE OF THE VEGETATION IN A HEALTHY, DISEASE-RESISTANT CONDITION. ALL PROPOSED IRRIGATION SYSTEMS WILL USE AN APPROVED RAIN SENSOR SHUTOFF DEVICE. THE IRRIGATION SYSTEM SHALL ENLIST THE USE OF SPRAY HEADS, BUBBLERS, AND DRIP IRRIGATION AS APPROPRIATE.
4. TREE ROOT BARRIERS WILL BE INSTALLED WHERE TREES ARE PLACED WITHIN 5' OF PUBLIC IMPROVEMENTS INCLUDING WALKS, CURBS, OR STREET PAVEMENTS.
5. A MINIMUM OF FOUR FEET (4') SHALL BE PROVIDED BETWEEN THE LIMITS OF ANY CANOPY TREE AND A BUILDING.
6. A MINIMUM 40 SQUARE FOOT AIR AND WATER/PERMEABLE AREA SHALL BE PROVIDED WITH A MINIMUM WIDTH DIMENSION OF FIVE FEET FOR EACH PARKING LOT TREE.
7. MULCH: ALL REQUIRED PLANTING AREAS SHALL BE COVERED WITH MULCH TO A MINIMUM DEPTH OF 3 INCHES, EXCLUDING 2:1 SLOPES. MULCH SHALL BE A 3-INCH MINIMUM LAYER OF MEDIUM GRIND BARK MULCH.
8. PROTECT EXISTING PLANTING ADJACENT TO NEW CONSTRUCTION IN PLACE WHERE POSSIBLE. IN AREAS IMPACTED BY CONSTRUCTION ACTIVITY, REPLACED DAMAGED PLANTS IN KIND UNLESS OTHERWISE NOTED ON THE PLANTING PLAN.

## MAINTENANCE NOTES:

9. ALL REQUIRED LANDSCAPE AREAS SHALL BE MAINTAINED BY THE OWNER. LANDSCAPE AND IRRIGATION AREAS IN THE PUBLIC RIGHT-OF-WAY SHALL BE MAINTAINED BY THE OWNER. THE LANDSCAPE AREAS SHALL BE MAINTAINED FREE OF DEBRIS AND LITTER, AND ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION. DISEASED OR DEAD PLANT MATERIAL SHALL BE SATISFACTORILY TREATED OR REPLACED PER THE CONDITIONS OF THE PERMIT.

10. ALL LANDSCAPE AREAS AND PRIVATELY OWNED OPEN SPACE SHALL BE MAINTAINED BY A QUALIFIED LICENSED LANDSCAPE COMPANY HIRED BY THE FUTURE PROPERTY MANAGEMENT COMPANY. THE FUTURE MANAGEMENT COMPANY SHALL ENSURE LANDSCAPE MAINTENANCE PROVIDERS USE INTEGRATED BEST MANAGEMENT PRACTICES TO PREVENT FERTILIZERS, PESTICIDES, YARD WASTE, AND OTHER POLLUTANTS FROM ENTERING STORM DRAINAGE.

## REVEGETATION, EROSION CONTROL, AND BRUSH MANAGEMENT NOTES:

11. A REVEGETATION AND EROSION CONTROL PROGRAM IS NOT APPLICABLE TO THIS PROJECT.
12. ALL NEW SLOPES WILL BE PERMANENTLY PLANTED AND IRRIGATED. SEE SHEET L-2 FOR PLANTING PLAN AND LEGEND.
13. A BRUSH MANAGEMENT PLAN AND PROGRAM ARE NOT APPLICABLE TO THIS PROJECT.

NOTE REGARDING TREE QUANTITY & SPACING:

17. SHRUBS AND GROUND COVER SHALL BE USED AS APPROPRIATE THROUGHOUT THE AREAS INDICATED ON THE PLAN TO REINFORCE THE TREE PLANTING CONCEPT AND TO ACHIEVE SCREENING AND BUFFERING, AS WELL AS ACCENTS. PLANT SPACING AND QUANTITIES SHALL BE AS REQUIRED TO MEET THE LANDSCAPE ORDINANCE AND SHALL BE INDICATED WITHIN THE CONSTRUCTION DOCUMENTS.

### GENERAL KEY NOTES:

- 1 PROPERTY LINE (TYP.)
- 2 EXISTING CONCRETE WALKWAY TO REMAIN (TYP.)
- 3 EXISTING PUBLIC SIDEWALK TO REMAIN (TYP.)
- 4 MAIN PEDESTRIAN ENTRY W/ ENHANCED PAVING PATTERN (CONCRETE)
- 5 EMERGENCY EGRESS
- 6 COURTYARD W/ ENHANCED PAVING PATTERN (CONCRETE)
- 7 RAISED COURTYARD PLANTER
- 8 PLANTING AREA FOR COURTYARD
- 9 PLAZA W/ ENHANCED PAVING PATTERN (CONCRETE)
- 10 OFFICE PLAZA (CONCRETE)
- 11 PERIMETER TUBULAR STEEL SECURITY FENCE
- 12 TUBULAR STEEL GATE(S)
- 13 NEW CONCRETE DRIVEWAY
- 14 PLANTING AREA ("P.A." - TYP.)
- 15 RAISED PLAZA PLANTERS
- 16 TRANSFORMER PAD
- 17 EXISTING STREET LIGHT TO REMAIN
- 18 PROPOSED STORM DRAIN PER CIVIL ENGINEER (TYP.)
- 19 BIOFILTRATION BASIN PER CIVIL ENGINEER
- 20 EXISTING GAS LINE (TYP.)

## PRELIMINARY CONCEPT DESIGN

SUBJECT TO REVIEW AND APPROVAL BY THE CITY OF SAN  
DIEGO AND THE PROPERTY OWNER.

**BIOFILTRATION BASIN NOTE:**

WHERE TREES, SHRUBS, AND LONG ROOTED GRASSES ARE PROPOSED IN BIOFILTRATION BASINS, ENSURE A MIN. OF 36" FOR SOIL MEDIA DEPTH TO SUPPORT PLANT LIFE, CONSISTENT WITH THE CITY OF SAN DIEGO STORM WATER MANUAL. A MIN. OF 24" IS REQUIRED IF ONLY SHRUBS AND DEEP-ROOTED GRASSES ARE PROPOSED.

SHEET	DESCRIPTION
L-1	SITE PLAN AND LANDSCAPE NOTES
L-2	LANDSCAPE PRELIMINARY PLANTING PLAN
L-3	LANDSCAPE YARD CALCULATIONS, IRRIGATION CALCULATIONS, NOTES AND DETAILS
L-4	EXISTING SITE CONDITIONS AND PHOTOS

PLEASE REFER TO SHEET L-2 AND L-3 FOR MORE LANDSCAPE  
DEVELOPMENT INFORMATION AND SHEET L-4 FOR EXISTING  
CONDITION INFORMATION AND IMAGERY



NO TREES SHALL BE INSTALLED WITHIN TEN FEET OF ANY WATER FACILITIES OR IN ANY WATER ACCESS EASEMENT. NO SHRUBS EXCEEDING THREE FEET IN HEIGHT AT MATURITY SHALL BE INSTALLED WITHIN 10 FEET OF ANY PUBLIC WATER MAIN OR WITHIN ACCESS EASEMENTS

Scientific Name	Common Name	Per Acre	PLS*
<i>Agrostis pallens</i>	San Diego bentgrass	5.00	85
<i>Deschampsia danthonioides</i>	Annual hairgrass	1.00	80
<i>Elymus triticoides</i> 'Rio'	Creeping wild rye	4.00	75
<i>Eschscholzia californica</i>	California poppy	2.00	80
<i>Festuca microstachys</i>	Small fescue	18.00	80
<i>Hordeum brachyantherum</i>	Meadow barley	6.00	80
<i>Muhlenbergia rigens</i>	Deer Grass	1.00	80
<i>Sisyrinchium bellum</i>	Blue-eyed grass	1.00	80
		38.00	

EXISTING TREES - REFER TO  
TREE INVENTORY THIS SHEET

**Basin Hydroseed Mix:**  
Refer to hydroseed mix legend

4/19/2024 2:23:47 PM DWG To PDF.pc3 Kyle Simon



# WATER EFFICIENT LANDSCAPE WORKSHEET

Project: MERCADO APARTMENTS  
Address: San Diego, CA 92121  
Preparer: DJ Taylor, DeLorenzo International  
Phone No.: (858) 430-6155  
Date: May 2, 2022

Project No.: 21-007

Project Reference Evapotranspiration (ET<sub>o</sub>)= 41 inches/year

Irrigation Water: Potable

## Regular Landscape Area

Hydrozone #/ Planting Description	Plant Factor (PF)	Hydrozone Area (HA) (sq. ft.)	% Total Landscape Area	Irrigation Method	Irrigation Efficiency (IE)	ETAF (PFIE)	Estimated Total Water Use (ETWU)
SW Street Yard Found. Shrubs	0.4	966	9.19%	Drip	0.81	0.49	12,126
SW Street Yard Acct. Shrubs	0.3	382	3.63%	Drip	0.81	0.37	3,596
SW Street Yard Groundcovers	0.2	771	7.33%	Drip	0.81	0.25	4,839
SW Street Yard Basin Shrubs	0.2	245	2.33%	Drip	0.81	0.25	1,538
SW Street Yard Trees	0.3	175	1.66%	Bubblers	0.85	0.35	1,570
SE Street Yard Found. Shrubs	0.4	1,008	9.59%	Drip	0.81	0.49	12,654
SE Street Yard Acct. Shrubs	0.3	440	4.18%	Drip	0.81	0.37	4,143
SE Street Yard Groundcovers	0.2	797	7.58%	Drip	0.81	0.25	5,002
SE Street Yard Basin Shrubs	0.2	536	5.10%	Drip	0.81	0.25	3,364
SE Street Yard Trees	0.3	150	1.43%	Bubblers	0.85	0.35	1,346
NE Rem. Yard Found. Shrubs	0.4	882	8.39%	Drip	0.81	0.49	11,072
NE Rem. Yard Acct. Shrubs	0.3	354	3.37%	Drip	0.81	0.37	3,333
NE Rem. Yard Groundcovers	0.2	841	8.00%	Drip	0.81	0.25	5,279
NE Rem. Yard Basin Shrubs	0.2	380	3.61%	Drip	0.81	0.25	2,385
NE Rem. Yard Trees	0.5	250	2.38%	Bubblers	0.85	0.59	3,738
NW Rem. Yard Found. Shrubs	0.4	322	3.06%	Drip	0.81	0.49	4,042
NW Rem. Yard Acct. Shrubs	0.3	147	1.40%	Drip	0.81	0.37	1,384
NW Rem. Yard Groundcovers	0.2	733	6.97%	Drip	0.81	0.25	4,601
NW Rem. Yard Basin Shrubs	0.2	832	7.91%	Drip	0.81	0.25	5,222
NW Rem. Yard Trees	0.5	125	1.19%	Bubblers	0.85	0.59	1,869
Courtyard Trees	0.5	179	1.70%	Bubblers	0.85	0.59	2,677
<b>Total HA</b>		<b>10,515</b>					<b>ETWU Subtotal (Gal.) 95,779</b>

## Special Landscape Area

Hydrozone #/ Planting Description	Plant Factor (PF)	Irrigation Method	% Total Landscape Area	Irrigation Efficiency (IE)	ETAF (PFIE)	Landscape Area (sq. ft.)	Estimated Total Water Use (ETWU)
					1.00		0
					1.00		0
					1.00		0
<b>Totals</b>						<b>0</b>	<b>0</b>
						<b>ETWU Total (Gal.) 95,779</b>	
						<b>Maximum Allowed Water Allowance (MAWA) (Gal.) 120,281</b>	

## ETAF Calculations

Regular Landscape Areas	
Total ETAF x Area	3,768
Total Area	10,515
<b>Average ETAF</b>	<b>0.36</b>
All Landscape Areas	
Total ETAF x Area (Reg + SA)	3,768
Total Area (Reg+ SA)	10,515
<b>Site-wide ETAF</b>	<b>0.36</b>

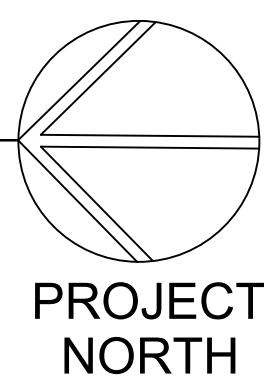
Average ETAF for Regular Landscape Areas must be 0.55 or below for residential areas, and 0.45 or below for non-residential areas.

## Notes:

- Hydrozone #/Planting Description: e.g., 1.) front lawn, 2.) low water use plantings, 3.) medium water use plantings.
- Irrigation Method: overhead spray or drip.
- Irrigation Efficiency: 0.75 for spray head, 0.81 for drip.
- ETWU (Annual Gallons Required) = ET<sub>o</sub> x 0.62 x ETAF x Area, where 0.62 is a conversion factor.
- Non-Residential MAWA (Annual Gallons Allowed) = (ET<sub>o</sub>) x (0.62) x [(0.45 x LA) + ((1-0.45) x SLA)]
- Per the Model Water Efficient Landscape Ordinance, revised July 2015, Section 492.14.c Recycled Water, areas irrigated

## NOTES:

- ALL PLANTS DESIGNATED TO BE SAVED MUST BE PROTECTED BY FENCING, AS ILLUSTRATED.
- INSTALL TREE PROTECTION FENCE AT TREE DRIP LINE, AT EDGE OF DISTURBED AREA, OR 1.5' FROM TRUNK FOR EVERY 1" DBH, WHICHEVER IS GREATER, PRIOR TO COMMENCEMENT OF CONSTRUCTION. FENCE SHALL COMPLETELY ENCIRCLE THE TREE.
- AVOID DRIVING POSTS OR STAKES INTO MAJOR ROOTS DURING INSTALLATION OF FENCING.
- DEAD TREES, SCRUB, OR UNDERGROWTH MUST BE CUT FLUSH WITH ADJACENT GRADE. THERE MUST BE NO SOIL DISTURBANCE UNDER THE DRIP LINE OF TREES TO BE PRESERVED.
- TREE PROTECTION FENCING MUST BE MAINTAINED THROUGHOUT THE DURATION OF THE PROJECT.
- NO STOCKPILING OF MATERIALS, VEHICULAR TRAFFIC, OR STORAGE IS ALLOWED WITHIN THE LIMIT OF THE FENCING.
- NO LIQUIDS, GARBAGE, OR OTHER DEBRIS SHALL BE DUMPED WITHIN THE LIMIT OF THE FENCING.
- NO EQUIPMENT OR MACHINERY MUST BE USED WITHIN THE PROTECTION FENCE. WORK WITHIN THE PROTECTION ZONE MUST BE DONE MANUALLY.
- TREATMENT OF ROOTS EXPOSED DURING CONSTRUCTION: FOR ROOTS OVER 1 INCH IN DIAMETER DAMAGED DURING CONSTRUCTION, MAKE A CLEAN STRAIGHT CUT TO REMOVE DAMAGED PORTION OF THE ROOT. ALL EXPOSED ROOTS SHOULD BE TEMPORARILY COVERED WITH SOIL OR MULCH AS SOON AS POSSIBLE TO PREVENT DRYING.
- FOR PRUNING GUIDELINES, SEE ANSI #300.
- REFER TO STANDARDS IN GENERAL SPECIFICATIONS FOR TREE PROTECTION.



EDGE OF DISTURBED AREA

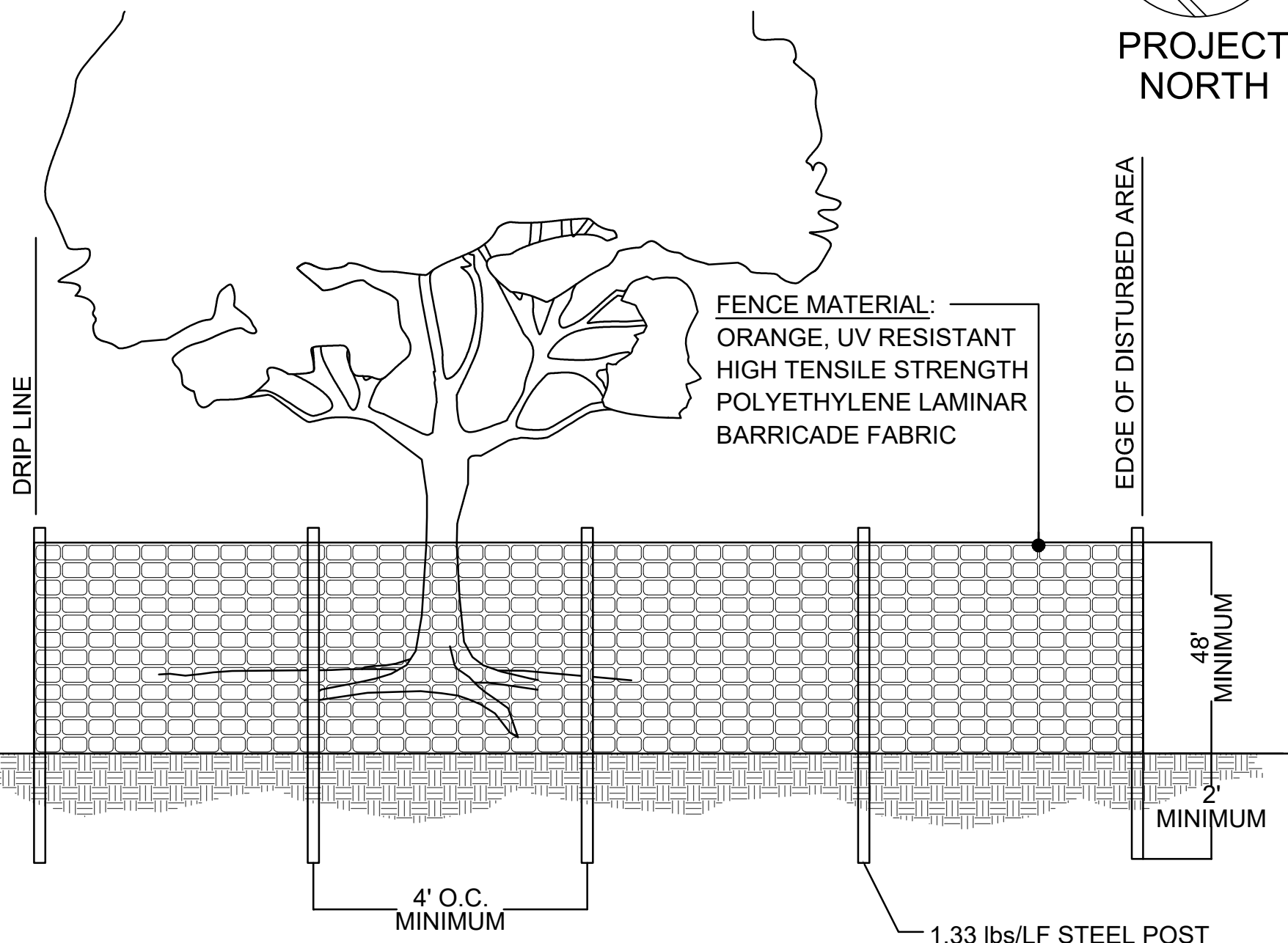
48" MINIMUM

2" MINIMUM

4' O.C. MINIMUM

1.33 lbs/LF STEEL POST

FENCE MATERIAL:  
ORANGE, UV RESISTANT  
HIGH TENSILE STRENGTH  
POLYETHYLENE LAMINAR  
BARRICADE FABRIC



DRIP LINE

GRADE

4' O.C. MINIMUM

1.33 lbs/LF STEEL POST

48" MINIMUM

2" MINIMUM

4' O.C. MINIMUM

1.33 lbs/LF STEEL POST

48" MINIMUM

2" MINIMUM

4' O.C. MINIMUM

1.33 lbs/LF STEEL POST

48" MINIMUM

2" MINIMUM

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1.33 lbs/LF STEEL POST

48" MINIMUM

2" MINIMUM

4' O.C. MINIMUM

1.33 lbs/LF STEEL POST

48" MINIMUM

2" MINIMUM

4' O.C. MINIMUM

1.33 lbs/LF STEEL POST

48" MINIMUM

2" MINIMUM

4' O.C. MINIMUM

1.33 lbs/LF STEEL POST

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2" MINIMUM

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4' O.C. MINIMUM

1.33 lbs/LF STEEL POST

48" MINIMUM

2" MINIMUM

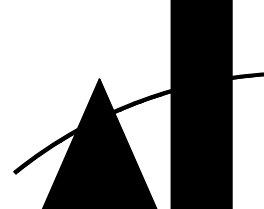
4' O.C. MINIMUM

1.33 lbs/LF STEEL POST

48" MINIMUM

2" MINIMUM





MARTINEZ + CUTRI  
URBAN STUDIO  
CORPORATION  
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DEVELOPER:

REVISIONS:

MERCADO APARTMENTS  
2001 NEWTON AVE, SAN DIEGO, CA 92113

SEAL:

SHEET TITLE:

EXISTING  
CONDITIONS

DATE: 03/04/2024

SCALE: 1" = 20'

DRAWN BY:

JOB No: 3707

SHEET No:

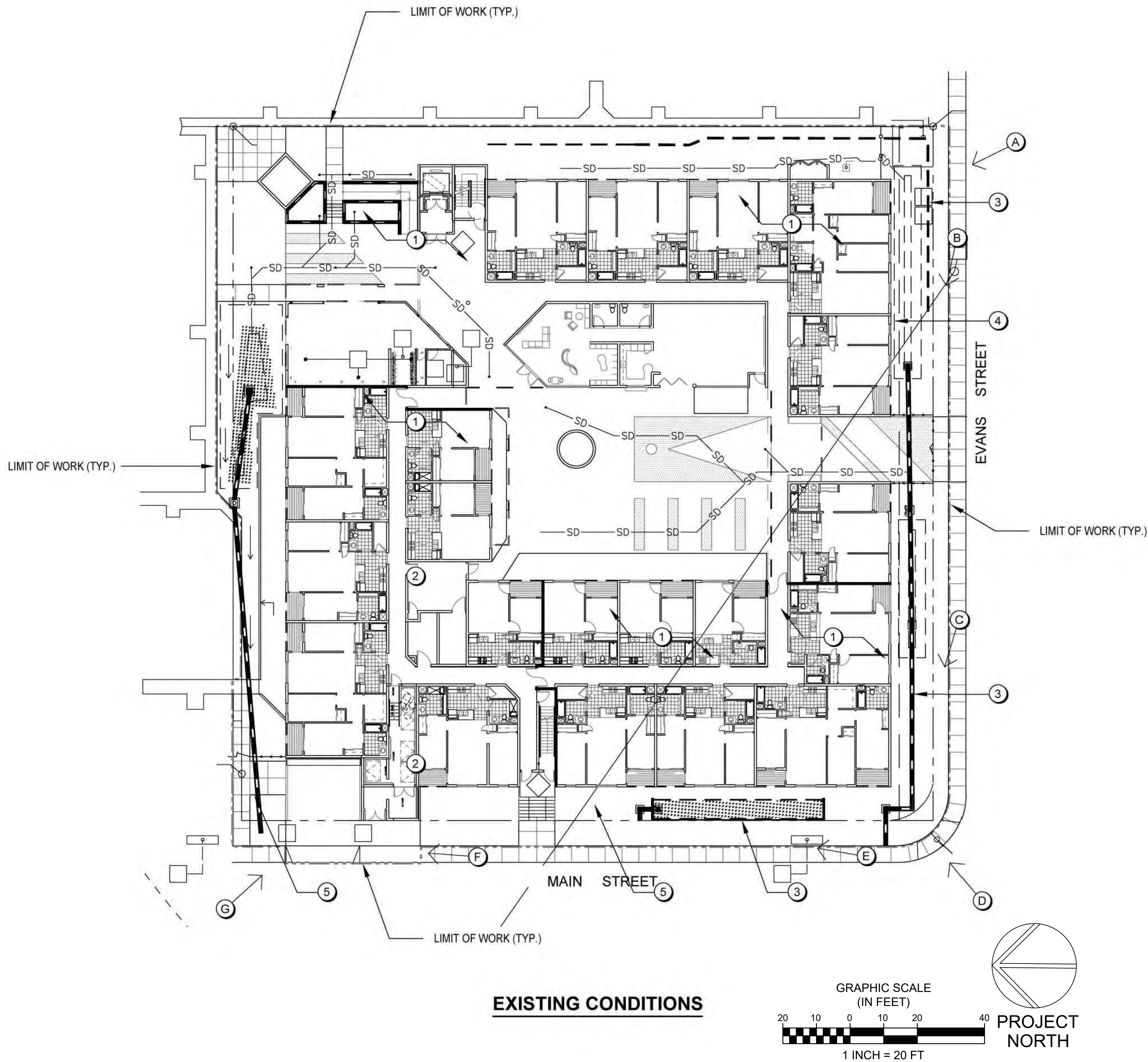
L-4

LEGEND

- 1 EXISTING PARKING LOT TO BE REMOVED.
- 2 EXISTING BUILDING TO BE REMOVED (INCLUDES WALK/STEPS LEADING TO BUILDINGS).
- 3 EXISTING PERIMETER FENCE TO BE REMOVED.
- 4 EXISTING VEHICULAR GATE TO BE REMOVED.
- 5 EXISTING PEDESTRIAN GATE TO BE REMOVED.

← A ANGLE AND LOCATION OF VIEW OF EXISTING CONDITIONS PHOTOGRAPHS - REFER TO SHEET L-5 FOR PHOTOGRAPHS

NOTE:  
ALL EXISTING PLANT MATERIALS WITHIN THE LIMIT OF WORK BOUNDARY TO BE REMOVED.



VIEW WEST FROM EAST CORNER OF SITE



VIEW SOUTHWEST ALONG EVANS STREET



VIEW SOUTHWEST ALONG EVANS STREET



VIEW EAST FROM WEST CORNER OF SITE



VIEW SOUTHWEST ALONG MAIN STREET



VIEW SOUTHWEST ALONG MAIN STREET



VIEW NORTH FROM SOUTH CORNER / MAIN STREET & EVANS STREET

PRELIMINARY CONCEPT DESIGN

SUBJECT TO REVIEW AND APPROVAL BY THE CITY OF SAN DIEGO AND THE PROPERTY OWNER.

NOTE:

REFER TO SHEET L-1 AND L-3 FOR MORE LANDSCAPE DEVELOPMENT INFORMATION AND SHEET L-4 FOR EXISTING CONDITION INFORMATION AND IMAGERY.