



THE CITY OF SAN DIEGO

Report to the Hearing Officer

DATE ISSUED: May 14, 2025 REPORT NO. HO-25-022

HEARING DATE: May 21, 2025

SUBJECT: 627 GENTER STREET, PROCESS THREE DECISION

PROJECT NUMBER: [PRJ-1055455](#)

OWNER/APPLICANT: THE FIRST BAPTIST CHURCH OF LA JOLLA, A CALIFORNIA CORPORATION/
MARK LYON.

SUMMARY

Issue: Should the Hearing Officer approve 4,610 square feet of renovations and additions to an existing Education Building located at [627 Genter Street](#) within the [La Jolla Community Plan Area](#)?

Proposed Actions:

1. APPROVE Conditional Use Permit No. 3241543, and Coastal Development Permit No. 3310239 if the Findings can be made.

Fiscal Considerations: All costs associated with the processing of the application are recovered through a fee paid for by the applicant.

Community Planning Group Recommendation: On March 7, 2024, the La Jolla Community Planning Association voted 12-2-1 in favor of recommending the project. There were no conditions provided in the vote.

Environmental Determination

This project was determined to be categorically exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15301 for Existing Facilities, which allows for interior remodels and additions to existing facilities not exceeding 10,000 square feet involving negligible or no expansion of existing or former use.

The environmental determination of categorical exemption for the project was made on September 5, 2024, and the determination was appealed to the City Council, which heard the appeal on March 18, 2025. The City Council denied the appeal, pursuant to Resolution No. R-2025-460. According to San Diego Municipal Code ([SDMC, section 112.0520\(e\)\(1\)](#)), the City Council denial of the appeal approves the environmental determination. This decision is final.

BACKGROUND

The project site is located at 627 Genter Street (Assessor's Parcel Number 351-11-213), in the Residential Multiple Unit (RM-1-1) Zone, Coastal Height Limit Overlay Zone, Coastal Overlay (non-appealable) Zone, Parking Impact (Coastal Impact) Overlay Zone, Transit Area Overlay Zone, and Transit Priority Area of the La Jolla Community Plan (Community Plan) and Local Coastal Program Land Use Plan area.

The project site is within a developed residential neighborhood on the southwest corner of Genter Street and Draper Avenue. The site is approximately one-third of a mile east of the Pacific Ocean, and two miles west of the Interstate 5 freeway.

The project site contains three buildings (Figure 1) that comprise a religious campus. The buildings include the Sanctuary Building, Fellowship Hall, and the Education Building. All three buildings are used for Assembly and Entertainment Uses, including Places of Religious Assembly, pursuant to [SDMC, Section 131.0422, Table 131-04B](#).

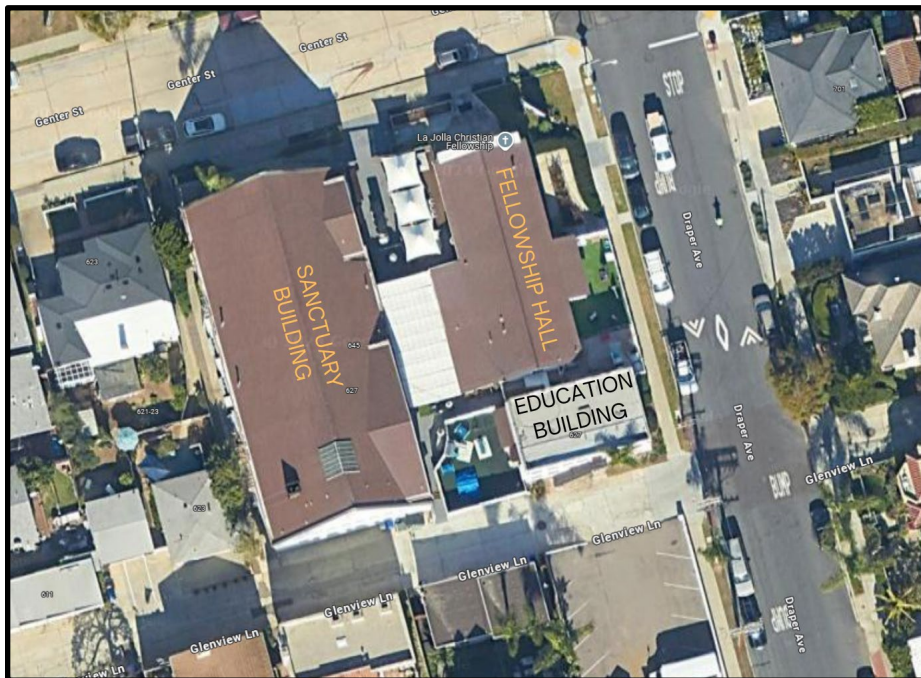


Figure 1

Religious campuses are common in residential neighborhoods throughout the La Jolla Community. Below are examples of religious facilities located in residential neighborhoods within the La Jolla

Community Plan area:

- La Jolla United Methodist Church - 6063 La Jolla Blvd, La Jolla, CA 92037 (RM-2-5)
- Torrey Pines Church - 8320 La Jolla Scenic Dr N, La Jolla, CA 92037 (LJSPD-SF)
- New Life Presbyterian Church – 7111 La Jolla Blvd, La Jolla, CA 92037 (RM-1-1)
- La Jolla Lutheran Church - 7111 La Jolla Blvd, La Jolla, CA 92037 (RM-1-1)
- Mount Soledad Presbyterian Church - 6551 Soledad Mountain Rd, La Jolla, CA 92037 (RS-1-2)
- All Hallows Catholic Church - 6602 La Jolla Scenic S Dr, La Jolla, CA 92037 (RS-1-2)
- Congregational Church of La Jolla - 1216 Cave St, La Jolla, CA 92037 (RM-3-7)

The project site was reviewed by Heritage Preservation Staff per [SDMC Section 143.0212](#), which requires City staff to review all projects impacting a parcel that contains a structure 45 years old or older to determine whether a potentially significant historical resource exists on site prior to issuance of a permit. The religious campus was determined to be potentially historic, and the project, as approved, is consistent with the Secretary of the Interior Standards for the Treatment of Historic Properties and, therefore, exempt from the requirement to obtain a Site Development Permit.

DISCUSSION

Project Description:

The scope of the proposed project is for a total of 4,610 square feet of renovations and additions to the existing Education Building only. The renovations to the existing Education Building will total 2,340 square feet and include interior improvements for meeting rooms and restrooms. In addition, exterior renovations will replace the existing access stairs on the north and south façades. New additions to the Education Building will total 2,270 square feet and include a 592 square foot addition to the first floor, a 592 square foot addition to the second floor, a 584 square foot addition to create a new third floor, and a 502 square foot new occupied roof deck. The additional space will provide new meeting rooms, a recreational room, new restrooms, and an elevator. All the renovations and additions will provide services for Assembly and Entertainment Uses, including Places of Religious Assembly, pursuant to [SDMC Section 141.0602](#).

Project Analysis:

Parking

The project was originally reviewed by staff pursuant to SDMC Section 142.0530, Table 142-05G with the understanding that the Transit Priority Area (TPA) Parking Reform per O-21401 had yet to be adopted in the Coastal Overlay Zone. Therefore, the minimum parking requirements would be required per the previous SDMC parking regulation prior to the TPA Parking Reform. As such, the proposed 1,768 sq. ft. (the 502 sq feet of roof deck is not applicable and excluded from the gross floor area) of expansion in the assembly and entertainment use within a Transit Area or Transit Priority Area, would require a minimum of 15 ($1,768 \times 10/1,000 \times 85\% = 15.028 \sim 15$) parking spaces.

Assembly Bill 2097

To address the parking requirement stated above, the applicant requested that the project be reviewed for qualification of section 65863.2.(a) of Assembly Bill No. 2097, Chapter 459 of the Government Code, which became effective September 22, 2022. The bill states:

- *This bill would prohibit a public agency from imposing any minimum automobile parking requirement on any residential, commercial, or other development project, as defined, that is located within 1/2 mile of public transit, as defined.*

Pursuant to Section 2, 65863.2(e)(5) of AB 2097 public transit is defined as:

- *A major transit stop as defined in Section 21155 of the Public Resources Code.*

Public Resources Code 21155(b)(3) states that:

- *For purposes of this chapter.... A major transit stop is as defined in Section 21064.3, except that, for purposes of this section, it also includes major transit stops that are included in the applicable regional transportation plan.*

Public Resources Code 21064.3 defines a Major Transit Stop as:

- *"Major transit stop" means a site containing any of the following:*
 - (a) An existing rail or bus rapid transit station.*
 - (b) A ferry terminal served by either a bus or rail transit service.*
 - (c) The intersection of two or more major bus routes with a frequency of service interval of 15 minutes or less during the morning and afternoon peak commute periods.**(Amended by Stats. 2019, Ch. 631, Sec. 2. (AB 1560) Effective January 1, 2020.)*

**Note – the Public Resources Code 21064.3 definition is identical to that provided in SDMC section 113.0103*

Pursuant to Public Resources Code 21064.3(c), the intersection of Girard Avenue and Torrey Pines Road is a planned major transit stop within one-half mile of the project location (Figure 2).

Pursuant to Public Resources Code 21155(b)(3), a major transit stop can be included in the applicable regional transportation plan. City staff confirmed with the San Diego Association of Governments (SANDAG) that the intersection of Girard Avenue and Torrey Pines Road is identified as a Major Transit Stop in the current 2021 SANDAG Regional Transportation Plan, and is included in years 2025, 2035 and 2050 of the current 2021 SANDAG Regional Transportation plan.

Finally, although AB 2097 relieves parking requirements on a residential, commercial, or other development project if the project is located within one-half mile of public transit, it also states, pursuant to section 65863.2(d) that, "...an event center shall provide parking, as required by local ordinance, for employees and other workers."

The SDMC is the local ordinance for the City of San Diego and regulates parking. The SDMC does not define or categorize Event Centers as stated in section 65863.2(d) of the Government Code. The applicable use category for the proposed development is Assembly and Entertainment Uses, Including Places of Religious Assembly. The SDMC does not require parking specifically for employees for a Religious Assembly use. Therefore, the local ordinance does not preclude the use of AB 2097 for the proposed project.

The project location satisfies the requirements of AB 2097, and no parking is required, preempting the applicable SDMC regulations.

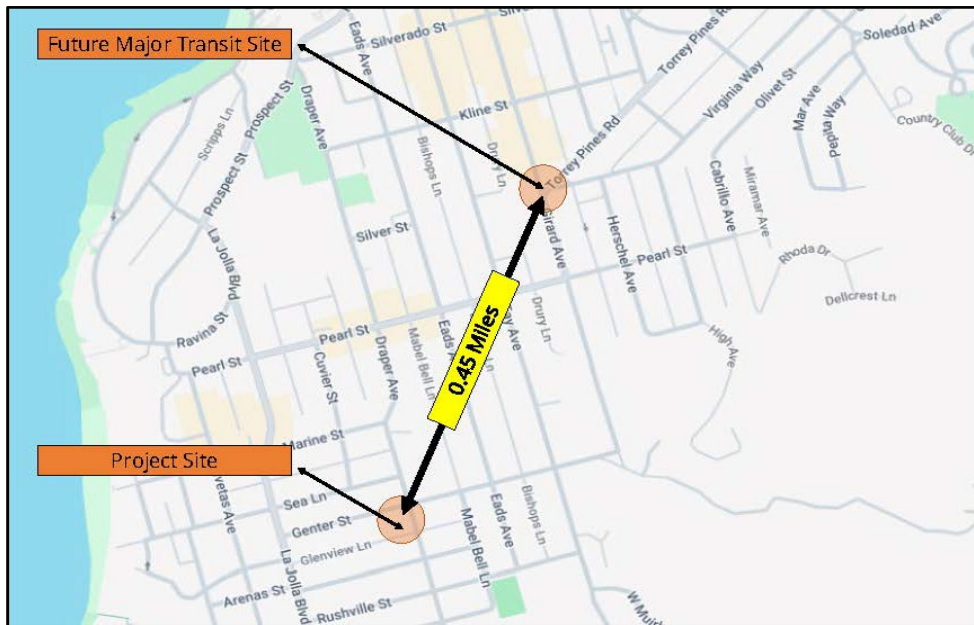


Figure 2

Required Permits:

The project site consists of three buildings, the Sanctuary Building, Fellowship Hall, and the Education Building, which comprise the religious campus. The religious campus predates current zoning, and it is therefore a preconforming use. The following permits are required for the current Discretionary application:

- A **Coastal Development Permit (CDP)** is required pursuant to SDMC Section 126.0702(a):

SDMC Section 126.0704 states that coastal development is exempt from the requirement to obtain a Coastal Development Permit if:

(3) *Improvements that result in an intensification of use. For purposes of Section 126.0704, intensification of use means a change in the use of a lot or premises which, based upon the provisions of the applicable zone, requires more off-street parking than the most recent legal use on the property.*

Although the project is exempt from parking requirements under AB 2097, the underlying base zone of SDMC Section 142.0530, Table 142-05G, requires parking. AB 2097 supersedes the city's ability to enforce the parking requirement but does not eliminate the requirement. As such, the project may proceed without parking, pursuant to AB 2097, but requires a CDP pursuant to the SDMC.

- A **Conditional Use Permit (CUP)** is required pursuant to SDMC Section 141.0602(b)(1):

SDMC Section 131.0422, Table 131-04B of the RM-1-1 zone categorizes Assembly and Entertainment Including Places of Religious Assembly use as a limited use:

**Table 131-04B
Use Regulations Table for Residential Zones**

Use Categories/ Subcategories [See Section 131.0112 for an explanation and descriptions of the Use Categories, Subcategories, and Separately Regulated Uses]	Zone Designator	Zones											
	1st & 2nd >>	RM-											
	3rd >>	1-			2-			3-			4-		5-
	4th >>	1	2	3	4	5	6	7	8	9	10	11	12
Assembly and Entertainment Uses, Including Places of Religious Assembly		L			L			L			L		L
L	Use is permitted with limitations, which may include location limitations or the requirement for a use or <i>development permit</i> . Regulations are located in Chapter 14, Article 1 (Separately Regulated Use Regulations).												

SDMC Section 141.0602 requires a Conditional Use Permit under the Limited Use Regulations pursuant to Section 141.0602(b)(3):

- (3) *Deviations from Section 141.0602(b) may be permitted with a Conditional Use Permit decided in accordance with Process Three.*

The project is deviating from the Limited Use Regulations pursuant to Section 141.0602(b)(1):

- (1) *The facility shall be designed to accommodate a maximum of 300 people.*

Although the project scope only applies to the Education Building, which will accommodate less than 300 people, the use regulation applies to the religious campus as a whole, which exceeds the 300 people allowed without a deviation. Religious assembly use, pursuant to SDMC, section 141.0602 is common to all three of the buildings that comprise the religious campus. Because the religious campus was previously conforming; it was not held to the current use regulations. To bring the religious campus current to the use regulation, a CUP is required to meet the deviation requirement of the limited use.

Process Level:

The project requires the following permits and process levels, which will be consolidated for processing and decided under the highest process level, per SDMC Section 112.0103.

- (Process 3) Conditional Use Permit per SDMC Section 141.0602(b)(3) for Assembly and Entertainment Uses, Including Places of Religious Assembly; and
- (Process 2) Coastal Development Permit per SDMC Section 126.00708(a) required for development within the Coastal Overlay Zone.

Community Plan Analysis:

The project is located at 627 Genter Street in the La Jolla Community Plan area. The La Jolla Community Plan and Local Coastal Program Land Use Plan (LJCP) designates the site Low Medium Residential, with a density range of 9-15 dwelling units per acre. The proposed project does not include dwelling units.

The Education Building, although historic in terms of its age, has not been officially designated as a historic structure within the LJCP. Although not officially designated, the Land Use Plan does highlight the benefit of the heritage resource by noting that, "La Jolla's historic structures and resources are important community landmarks that convey a sense of history, identity and place to residents of the community."

The LJCP Executive Summary provides General Community Goals. One goal is to maintain La Jolla as a primarily residential- and recreational-oriented community by protecting its residential areas and historic resources, maintaining its public recreational areas, and enhancing its commercial districts. By renovating the historic structure in a manner that conforms to the Secretary of the Interior's Standards for Treatment of Historic Properties, the project maintains the heritage resource for the community and helps implement the General Community Goal.

Although the project is not a residential dwelling, it is located in a residential zone. As such, the project has incorporated design elements identified in the Residential Land Use Element to complement the existing neighborhood. A stated goal of the Land Use Plan is to:

- Maintain the character of La Jolla's residential areas by ensuring that redevelopment occurs in a manner that protects natural features, preserves existing streetscape themes and allows a harmonious visual relationship to exist between the bulk and scale of new and older structures.

The existing historic structure proposes to be renovated while keeping the exterior intact. This preservation will protect the features and existing streetscape themes that the community is accustomed to. The new addition is designed in accordance with the Secretary of the Interior Standards for the Treatment of Historic Properties, which requires new additions to be differentiated while remaining compatible with the existing historic structure. The new versus old contrast ensures the existing historic structure is identifiable and consistent with the original design.

The design incorporates a transition in scale from Draper Avenue by stepping back the proposed third floor from the front setback, which corresponds to the Residential Land Use Plan Recommendation for Community Character, which states, "In order to promote transitions in scale between new and older structures, create visual relief through the use of diagonal or off-setting planes, building articulation, roofline treatment and variations within front yard setback requirements."

In addition, the project meets the criteria of the LCP as the site is not within any physical access points or coastal subarea access boundaries as illustrated in Figure 6 of the LCP. The project will not obstruct any view cones, view corridors, viewsheds, intermittent or partial vistas or scenic overlooks as identified in Figure 9. The proposed development will not adversely affect environmentally sensitive lands, complies with all regulations of the certified Implementation Program, and is not located between the nearest public road and the sea or the shoreline of any body of water.

In conclusion, the project meets the regulated guidelines of the San Diego Municipal Code, La Jolla Community Plan and the Local Coastal Program. The project environmental determination has been approved by the City Council and is not subject to project approval. The religious assembly use is common to the area and the proposed project is appropriate for the location.

ALTERNATIVES

1. Approve Conditional Use Permit No. 3241543, and Coastal Development Permit No. 3310239, with modifications.
2. Deny Conditional Use Permit No. 3241543, and Coastal Development Permit No. 3310239, if the findings required to approve the project cannot be affirmed.

Respectfully submitted,



Robin MacCartee
Development Project Manager
Development Services Department

Attachments:

INCLUDE AS APPROPRIATE/RELEVANT

1. Aerial Photographs
2. Location Map
3. Community Plan Land Use Map
4. Draft Permit with Conditions
5. Draft Permit Resolution with Findings

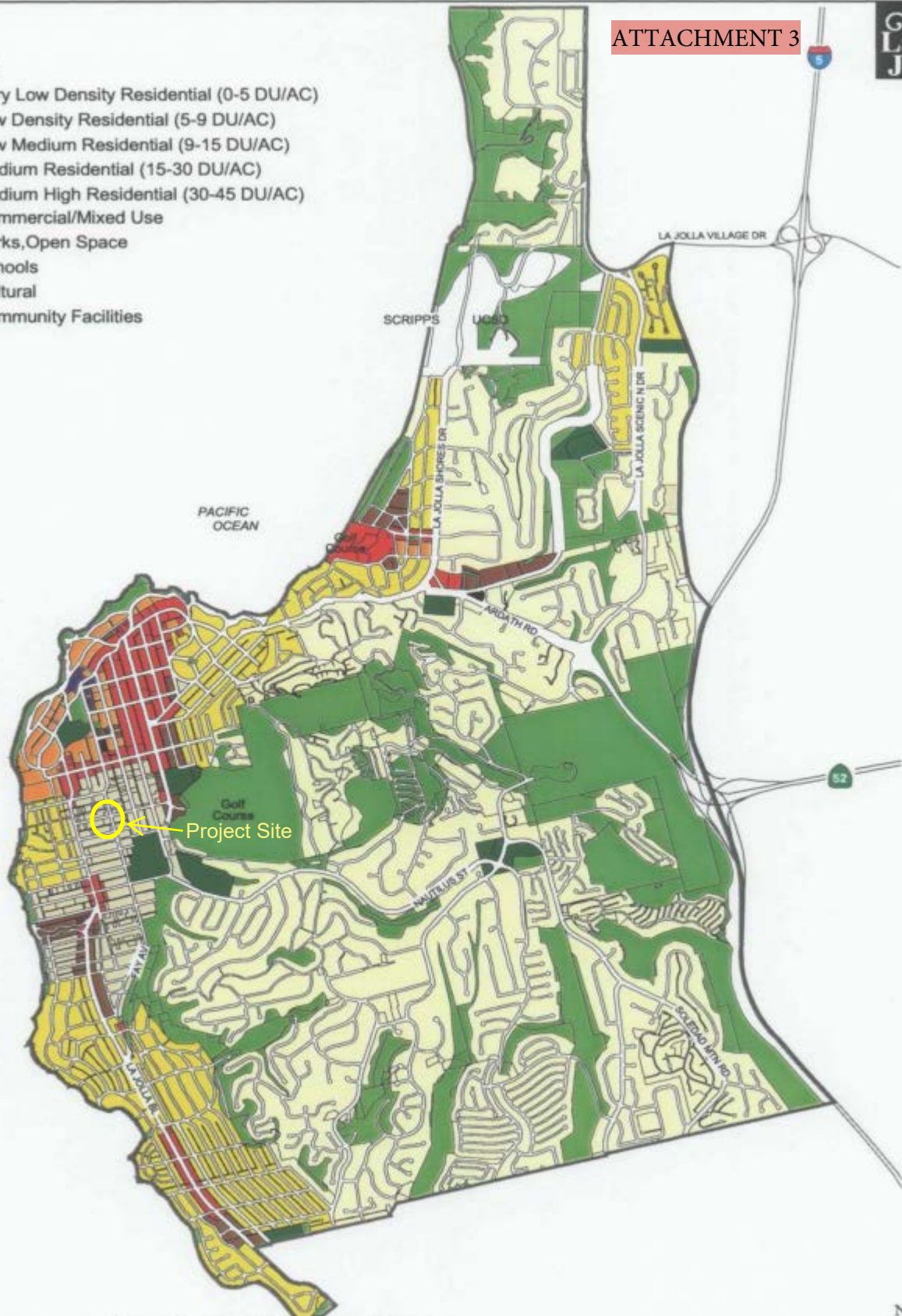
6. City Council Resolution No. R-2025-460.
7. Community Planning Group Vote
8. Ownership Disclosure
9. Project Plans





Legend

- Very Low Density Residential (0-5 DU/AC)
- Low Density Residential (5-9 DU/AC)
- Low Medium Residential (9-15 DU/AC)
- Medium Residential (15-30 DU/AC)
- Medium High Residential (30-45 DU/AC)
- Commercial/Mixed Use
- Parks, Open Space
- Schools
- Cultural
- Community Facilities



Community Land Use Map



RECORDING REQUESTED BY
CITY OF SAN DIEGO
DEVELOPMENT SERVICES
PERMIT INTAKE,
MAIL STATION 501

WHEN RECORDED MAIL TO
PROJECT MANAGEMENT
PERMIT CLERK
MAIL STATION 501

INTERNAL ORDER NUMBER: 24009657

SPACE ABOVE THIS LINE FOR RECORDER'S USE

CONDITIONAL USE PERMIT NO. PMT-3241543
COASTAL DEVELOPMENT PERMIT NO. PMT-3310239
627 GENTER STREET - PROJECT PRJ-1055455
HEARING OFFICER

This Conditional Use Permit No. PMT-3241543, and Coastal Development Permit No. PMT-3310239 is granted by the Hearing Officer of the City of San Diego to The First Baptist Church of La Jolla, a California Corporation, Owner/ Permittee, pursuant to San Diego Municipal Code [SDMC] Sections 126.0305 and 126.0708 respectively. The 0.48-acre site is located at 627 Genter Street, also known Assessor's Parcel Number 351-112-13 in the Residential Multiple Unit (RM-1-1) Zone, Coastal Height Limit Overlay Zone, Coastal Overlay (non-appealable) Zone, Parking Impact Overlay Zone, Transit Area Overlay Zone, and Transit Priority Area of the La Jolla Community Plan. The project site is legally described as:

THE EASTERLY FIFTY FEET OF LOT TWO, IN BLOCK ELEVEN, OF F.T. SCRIPPS' ADDITION TO LA JOLLA PARK, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 897, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, JULY 22, 1903.

LOT THREE (3) IN BLOCK ELEVEN (11) OF F.T. SCRIPP'S ADDITION TO LA JOLLA PARK, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO 897, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAID SAN DIEGO COUNTY, JULY 22, 1903.

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner/Permittee to improve 4,610 square feet of interior and exterior site work to the existing Education Building described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated May 21, 2025, on file in the Development Services Department.

The project shall include:

- a. Interior renovations to the existing Education Building for a total of 2,340 square feet; and

ATTACHMENT 4

- b. New exterior additions to the existing Education Building for a total of 2,270 square feet to include a 592 square foot addition to the 1st floor, a 592 square foot addition to the second floor, a 584 square foot addition to create a new third floor, and 502-square-feet of new occupied roof decking; and
- c. Replace existing exterior stairs on the north and south façade.
- b. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act [CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

STANDARD REQUIREMENTS:

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36-month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by June 5, 2028.
2. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
 - a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
 - b. The Permit is recorded in the Office of the San Diego County Recorder.
3. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.
4. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.
5. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
6. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).

ATTACHMENT 4

7. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.

8. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.

9. All of the conditions contained in this Permit have been considered and were determined necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

10. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

CLIMATE ACTION PLAN REQUIREMENTS:

11. Owner/Permittee shall comply with the Climate Action Plan (CAP) Consistency Checklist stamped as Exhibit "A." Prior to issuance of any construction permit, all CAP strategies shall be noted within the first three (3) sheets of the construction plans under the heading "Climate Action Plan Requirements" and shall be enforced and implemented to the satisfaction of the Development Services Department.

ENGINEERING REQUIREMENTS:

12. Prior to the issuance of any construction permit, the Owner/Permittee shall incorporate any construction Best Management Practices necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the San Diego Municipal Code, into the construction plans or specifications, satisfactory to the City Engineer.

13. Prior to the issuance of any construction permit, the Owner/Permittee shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be drafted in accordance with Part 2, Chapter 4.2 and Appendix 'D' of the City of San Diego Storm Water Standards Manual.

14. Prior to the issuance of any building permit, the Owner/Permittee shall obtain an Encroachment Maintenance and Removal Agreement (EMRA), for the existing backflow preventer, walls, stairs, railing, landscape and irrigation within the Genter Street right-of-way, satisfactory to the City Engineer.

15. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, the construction of new City Standard alley curb ramps, adjacent to the site on Draper Ave, satisfactory to the City Engineer.

16. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, the construction of new City Standard alley pavement, adjacent to the site, satisfactory to the City Engineer.

LANDSCAPE REQUIREMENTS:

17. Prior to issuance of any engineering permits for grading, the Owner/Permittee shall submit complete construction documents for the revegetation and hydro seeding of all disturbed land in accordance with the City of San Diego Landscape Standards, Stormwater Design Manual and to the satisfaction of the Development Services Department. All plans (including Environmental conditions) shall be in substantial conformance to this permit and Exhibit "A," on file in the Office of the Development Services Department.

18. Prior to issuance of any engineering permits for public right-of-way improvements, the Owner/Permittee shall submit complete landscape construction documents for right-of-way improvements to the Development Services Department for approval. Improvement plans shall show, label and dimension a 40-square-foot area around each tree which is unencumbered by utilities. Driveways, utilities, drains, water and sewer laterals shall be designed to not prohibit the placement of street trees.

ATTACHMENT 4

19. Prior to issuance of any construction permits for structures, the Owner/Permittee shall submit complete landscape and irrigation construction documents consistent with the Landscape Standards to the Development Services Department for approval. The construction documents shall be in substantial conformance with Exhibit "A," Landscape Development Plan, on file in the Development Services Department. Construction plans shall show, label and dimension a 40 square-foot area around each tree which is unencumbered by hardscape and utilities as set forth under SDMC Section 142.0403(b)(5).

20. The Owner/Permittee shall be responsible for the maintenance of all landscape improvements shown on the approved plans, including in the public right-of-way, consistent with the Landscape Standards unless long-term maintenance of said landscaping will be the responsibility of a Landscape Maintenance District or other approved entity. All required landscaping shall be maintained in a disease, weed and litter free condition at all times. Severe pruning or "topping" of trees is not permitted unless specifically noted in this Permit.

21. If any required landscape (including existing or new plantings, hardscape, landscape features, shade structures, etc.) as shown on the approved construction document plans is damaged or removed during demolition or construction, the Owner/Permittee shall repair and/or replace it in kind and equivalent size per the approved documents to the satisfaction of the Development Services Department within 30 days of damage or Certificate of Occupancy.

PLANNING/DESIGN REQUIREMENTS:

22. A topographical survey conforming to the provisions of the SDMC may be required if it is determined, during construction, that there may be a conflict between the building(s) under construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Owner/Permittee.

23. All private outdoor lighting shall be shaded and adjusted to fall on the same premises where such lights are located and in accordance with the applicable regulations in the SDMC.

24. This Conditional Use Permit shall be limited to assembly uses associated with the church and related incidental activities as indicated in Exhibit A.

TRANSPORTATION REQUIREMENTS

25. All motorcycle and bicycle parking spaces must be constructed in accordance with the requirements of the SDMC. All on-site motorcycle and bicycle parking spaces shall be in compliance with requirements of the City's Land Development Code and shall not be converted and/or utilized for any other purpose, unless otherwise authorized in writing by the appropriate City decision maker in accordance with the SDMC.

WATER/SEWER DEPARTMENT REQUIREMENTS

26. All proposed private water and sewer facilities located within a single lot are to be designed to meet the requirements of the California Plumbing Code and will be reviewed as part of the building permit plan check.
27. Prior to the issuance of any construction permit for building, the Owner/Permittee shall assure, by permit and bond, the design and construction of new water and sewer service(s) outside of any driveway or drive aisle and the abandonment of any existing unused water and sewer services within the public right of way adjacent to the project site, in a manner satisfactory to the Public Utilities Department and the City Engineer.
28. Prior to the issuance of any construction permit for building, the Owner/Permittee shall apply for a plumbing permit for the installation of appropriate private Backflow Prevention Device(s) [BFPDs], on each water service (domestic, fire and irrigation), in a manner satisfactory to the Public Utilities Department and the City Engineer.
29. The Owner/Permittee shall be responsible for any damage caused to the City of San Diego water and sewer facilities within the vicinity of the project site due to the construction activities associated with this project in accordance with San Diego Municipal Code Section 142.0607. Should such damage occur, the Owner/Permittee shall repair or reconstruct any damaged public water and sewer facility in a manner satisfactory to the Public Utilities Department and the City Engineer.
30. Prior to the issuance of any building permits, the Owner/Permittee shall obtain an Encroachment Maintenance Removal Agreement, from the City Engineer, for the private water or sewer facilities encroaching into the Public Right-of-Way.
31. The Owner/Permittee shall design and construct all proposed public water and sewer facilities, in accordance with established criteria in the current edition of the City of San Diego Water and Sewer Facility Design Guidelines and City regulations, standards and practices.
32. No trees or shrubs exceeding three feet in height at maturity shall be installed within ten feet of any sewer facilities and five feet of any water facilities.

INFORMATION ONLY:

- The issuance of this discretionary permit alone does not allow the immediate commencement or continued operation of the proposed use on site. Any operation allowed by this discretionary permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.

ATTACHMENT 4

- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Hearing Officer of the City of San Diego on May 21, 2025, and HO-25-022.

ATTACHMENT 4

Permit Type/PTS Approval No.: Conditional Use Permit No. 3241543
Coastal Development Permit No. 3310239
Date of Approval: May 21, 2025

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES DEPARTMENT

Robin MacCartee
Development Project Manager

**NOTE: Notary acknowledgment
must be attached per Civil Code
section 1189 et seq.**

The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

The First Baptist Church of La Jolla,
A California Corporation
Owner/Permittee

By _____
ADAM STADTMILLER
CHIEF EXECUTIVE OFFICER

**NOTE: Notary acknowledgments
must be attached per Civil Code
section 1189 et seq.**

HEARING OFFICER RESOLUTION NO. HO-25-022
CONDITIONAL USE PERMIT NO. 3241543
COASTAL DEVELOPMENT PERMIT NO. 3310239
627 GENTER STREET – PROJECT PRJ-1055455

WHEREAS, The First Baptist Church of La Jolla, a California Corporation, Owner/Permittee, filed an application with the City of San Diego for renovations and additions to an existing Education Building (as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Permit No's. PMT-3241543, and PMT-3310239), on portions of a 0.48-acre site;

WHEREAS, the project site is located at 627 Genter Street, also known Assessor's Parcel Number 351-11-213 in the Residential Multiple Unit (RM)-1-1 Zone, Coastal Height Limit Overlay Zone, Coastal Overlay (non-appealable) Zone, Parking Impact (Coastal Impact) Overlay Zone, Transit Area Overlay Zone, and Transit Priority Area of the La Jolla Community Plan;

WHEREAS, the project site is legally described as;
THE EASTERLY FIFTY FEET OF LOT TWO, IN BLOCK ELEVEN, OF F.T. SCRIPPS' ADDITION TO LA JOLLA PARK, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 897, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, JULY 22, 1903.

LOT THREE (3) IN BLOCK ELEVEN (11) OF F.T. SCRIPP'S ADDITION TO LA JOLLA PARK, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO 897, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAID SAN DIEGO COUNTY, JULY 22, 1903.

WHEREAS, on September 5, 2024 the City of San Diego, as Lead Agency, through the Development Services Department, made and issued an Environmental Determination that the project is exempt from the California Environmental Quality Act (CEQA) (Public Resources Code

Section 21000 et seq.) under CEQA Guideline Section 15301 (Existing Facilities) and the Environmental Determination was appealed to City Council, which heard and denied the appeal on March 18, 2025 pursuant to Resolution No. R-2025-460;

WHEREAS, on May 21, 2025, the Hearing Officer of the City of San Diego considered Conditional Use Permit No. 3241543, and Coastal Development Permit No. 3310239, pursuant to the Land Development Code of the City of San Diego;

BE IT RESOLVED by the Hearing Officer of the City of San Diego, that it adopts the following findings with respect to Conditional Use Permit No. 3241543, and Coastal Development Permit No. 3310239:

A. CONDITIONAL USE PERMIT [SDMC Section 126.0305]

1. Findings for all Conditional Use Permits:

a. The proposed development will not adversely affect the applicable land use plan;

The scope of the proposed project is for a total of 4,610 square feet of renovations and additions to the existing Education Building only. The renovations to the existing Education Building will total 2,340 square feet and include interior improvements to meeting rooms and restrooms. In addition, exterior renovations will replace the existing access stairs on the north and south façades. New additions to the Education Building will total 2,270 square feet and include a 592 square foot addition to the first floor, a 592 square foot addition to the second floor, a 584 square foot addition to create a new third floor, and a 502 square foot new occupied roof deck. The additional space will provide new meeting rooms, a recreational room, new restrooms, and an elevator.

The project site is located at 627 Genter Street, also known Assessor's Parcel Number 351-11-213 in the Residential Multiple Unit (RM-1-1) Zone, Coastal Height Limit Overlay Zone, Coastal Overlay (non-appealable) Zone, Parking Impact (Coastal Impact) Overlay Zone, Transit Area Overlay Zone, and Transit Priority Area of the La Jolla Community Plan (Community Plan) and Local Coastal Program Land Use Plan area.

Although the site is located in a residential zone, categorized as RM-1-1 in the SDMC and Low Medium Residential in the Land Use Plan, Religious Assembly is allowed as a limited use. The project will require a Conditional Use Permit to adhere to the

limited use as identified in SDMC Section 141.0602. As such, the current Religious Assembly use in the existing religious campus is allowed at the site and residential density regulations are not applicable.

The proposed project meets the requirements of the SDMC for Floor Area Ratio (FAR), with 0.75 the maximum allowed and 0.71 proposed. The project is 29 feet in height which is under the 30-foot height limit for the coastal zone. The project meets the setback requirements as no new development is proposed for the front or rear, and the side yard setback is within regulation standards.

The project is exempt from parking requirements, and no existing parking is present on the site. The project was reviewed pursuant to SDMC Section 142.0530, Table 142-05G with the understanding that the Transit Priority Area (TPA) Parking Reform per O-21401 had yet to be adopted in the Coastal Overlay Zone. However, during the project review period, Assembly Bill No. 2097, Chapter 459 of the Government Code, became effective on September 22, 2022. The bill states:

- *This bill would prohibit a public agency from imposing any minimum automobile parking requirement on any residential, commercial, or other development project, as defined, that is located within 1/2 mile of public transit, as defined.*

The project location qualifies the project for the California AB 2097 removal of minimum parking requirements for many projects within one half mile of a major transit stop. This statewide law applies to all public agencies in California. As such, the SDMC regulations requiring parking are preempted by this new state law, which eliminates the conflict between the proposed development adversely affecting the applicable land use plan and the finding can be made.

The three buildings were reviewed by Heritage Preservation Staff per SDMC Section 143.0212, which requires City staff to review all projects impacting a parcel that contains a structure 45 years old or older to determine whether a potentially significant historical resource exists on site prior to issuance of a permit. During the review, it was determined that all three buildings were potentially historic, but the proposed changes to the Education Building would keep it consistent with the U.S. Secretary of the Interior's Standards and therefore be exempt from the requirement to obtain a Site Development Permit.

The Education Building, although historic in terms of its age, has not been officially designated as a historic structure within the Community Plan. Although not officially designated, the Community Plan does highlight the benefit of the heritage resource by noting that, "La Jolla's historic structures and resources are important community landmarks that convey a sense of history, identity and place to residents of the community (pg. 18)." A General Community Goal of the Land Use Plan is to maintain La Jolla as a primarily residential and recreational oriented community by protecting its residential areas and historic resources, maintaining its public recreational areas, and enhancing its commercial districts (pg. 5). By renovating the historic structure in a manner that conforms to the Secretary of the Interior's Standards for Treatment of

Historic Properties, the project maintains the heritage resource for the community and fulfills the General Community Goal.

Although the project is not a residential development, it is located in a residential zone. As such, the project has incorporated Residential Land Use elements from the Land Use Plan to complement the existing neighborhood. A stated goal of the Land Use Plan (pg. 67) is to:

- Maintain the character of La Jolla's residential areas by ensuring that redevelopment occurs in a manner that protects natural features, preserves existing streetscape themes and allows a harmonious visual relationship to exist between the bulk and scale of new and older structures.

The project design has chosen to renovate the existing historic structure by keeping the exterior intact. This preservation will protect the features and existing streetscape themes that the community is accustomed to. The new additions to the historic component are designed under the Secretary of the Interior's Standards for Treatment of Historic Properties, which require a contrast highlighting the new structure from the old. The contrast will ensure the existing historic structure is identifiable and consistent with the original design. The new addition adds bulk to the existing structure, but the design places the majority of the bulk along the Glenview Lane alley, where the bulk is consistent with other structures in the nearby vicinity. In contrast, the design incorporates a transition in scale from Draper Avenue by stepping back the proposed third floor from the front setback, which corresponds to the Residential Land Use Plan Recommendation for Community Character, Item C (pg.76), which states, "In order to promote transitions in scale between new and older structures, create visual relief through the use of diagonal or off-setting planes, building articulation, roofline treatment and variations within front yard setback requirements."

Lastly, the project meets the criteria of the Local Coastal Program Land Use Plan within the Land Use Plan as described in Item B(1)(c) of the Resolution. In meeting the requirements of the SDMC and incorporating stated goals of the Land Use Plan, the project, as proposed, will not adversely affect the applicable land use plan.

b. The proposed development will not be detrimental to the public health, safety, and welfare;

The project proposes renovations and additions to an existing Education Building, within an existing religious campus. The project was reviewed against all applicable City standards, and all California Building, Fire, Plumbing, Electrical, Mechanical, California Green Building Standards Code (CGBSC), and City regulations governing the construction and continued operation of the development will apply.

The project review considered the project's impact on transportation in accordance with CEQA and the City's CEQA Significance Determination Thresholds. The review utilized the analysis methods identified in the City's Transportation Study Manual (TSM) current version dated September 2022. The TSM contains screening criteria

used to identify when a proposed project can be presumed to have a less than significant vehicle miles traveled (VMT) impact based on project characteristics and/or location. The proposed 2,270-square-foot expansion is expected to generate approximately 176 Average Daily Trips (ADT) and would meet the Small Project (less than 300 unadjusted daily trips) screening criteria contained in the City's TSM. As the project is screened out from further VMT analysis, and VMT is cumulative by nature, the project is presumed to have a less than significant VMT transportation impact.

The project review considered the additional traffic noise generated by the proposed development. A perceptible increase in noise for humans is a three-decibel change. Due to the nature of the decibel scale, a doubling of traffic would result in a three-decibel increase in noise levels. The proposed expansion of 2,270 square feet would accommodate an increase in the building occupancy load by 88 occupants and is anticipated to generate 176 average daily trips at a rate of two trips per occupant. Based upon the surrounding street segments (La Jolla Boulevard between Genter Street and Sea Lane and Fay Avenue between Genter Street and Pearl Street) taken from the City's most recent counts published on the City's website, existing average daily traffic (ADT) along La Jolla Boulevard is approximately 16,380 ADT and along Fay Avenue is approximately 7,890 ADT. The project would not result in a doubling of traffic on any roadway. Therefore, the project would not result in a significant impact related to the exposure of people to future noise levels that exceed standards in the Noise Element of the General Plan. In addition, the project would comply with the City's Noise Ordinance which limits allowable sound levels throughout the day. Noise impacts of the project would be less than significant.

The project review considered the project health, safety and welfare effects related to air quality, geology, hazards or hazardous materials, and the project's impact on greenhouse gas (GHG) emissions. These specific items were reviewed in making the determination on September 5, 2024, that the project was exempt from CEQA pursuant to CEQA Guidelines Section 15301, Existing Facilities. On September 18, 2024, the environmental determination was appealed pursuant to SDMC Section 112.0520. On March 18, 2025, the San Diego City Council considered the appeal issues, including those specifically stated above, along with detailed responses to the issues, and denied the appeal, thus validating the project review and confirming the issues had no effect to the public health, safety, and welfare.

In addition, but not limited to, the following permit conditions will ensure the project benefits the public health, safety, and welfare:

- Condition 12 – Incorporates Best Management Practices for Grading Regulations.
- Condition 13 – Incorporates a Water Pollution Control Plan.
- Condition 15 – Ensures the construction of new City standard alley curb ramps on Draper Avenue.
- Condition 16 – Ensures new City Standard alley pavement.

As such, the proposed development will not be detrimental to the public health, safety, and welfare.

c. The proposed development will comply with the regulations of the Land Development Code including any allowable deviations pursuant to the Land Development Code; and

The project proposes a total of 4,610 square feet of renovations and additions to an existing Education Building, within an existing religious campus. Interior renovations to the existing Education Building will total 2,340 square feet. New construction to the existing Education Building will total 2,270 square feet. The RM-1-1 zone allows Assembly Use, for Places of Religious Assembly, as a limited, separately regulated use that applies to facilities designed to accommodate at least 25 people at a time for recreation, physical fitness, entertainment, or other assembly, including places of religious assembly. Limited Use Regulations under the Assembly and Entertainment Uses category, pursuant to SDMC Section 141.0602(b)(1), require a Conditional Use Permit (CUP) if the facility is designed to accommodate in excess of 300 people. The three buildings comprising the religious campus, exceed the 300-person maximum, so a Conditional Use Permit is applicable to the project approval.

The project site, including all three buildings, currently has no existing parking permitted or previously required. The proposed scope of work on the Education Building meets the provisions of State Assembly Bill AB 2097, which waives parking requirements for projects within a ½ mile of a major transit stop that is included in the applicable regional transportation plan. The project is located within a ½ mile of a planned major transit stop at the intersection of Girard Avenue and Torrey Pines Road in the current 2021 SANDAG Regional Plan; therefore, no vehicular parking is required, and the project complies with the parking regulations per AB 2097.

The proposed project meets the requirements of the SDMC for Floor Area Ratio (FAR), with 0.75 the maximum allowed and 0.71 proposed. The project is 24 feet in height which is under the 30-foot height limit for the coastal zone. The project meets the setback requirements as no new development is proposed for the front or rear, and the side yard setback is within regulation standards. The project is exempt from parking requirements through the State Assembly Bill AB2097 regulation, and a CUP will be required to meet land use regulations. The project is not proposing any deviations. As such, the proposed development will comply with the regulations of the Land Development Code including any allowable deviations pursuant to the Land Development Code.

d. The proposed use is appropriate at the proposed location.

The project is for Interior and Exterior renovations and additions to an existing Education Building. The Education Building is part of a larger religious campus, which also contains a Sanctuary Building and a Fellowship Hall, all of which have been in continuous use since at least 1955. The site is zoned Residential in the RM-1-1 zone. Religious Assembly is allowed as a limited use in the RM-1-1 zone. The project will require a Conditional Use Permit to adhere to the limited use as identified in SDMC Section 141.0602. The Education Building will be used for Religious Assembly purposes as identified by the applicant. The project adheres to the regulations of the land development code and land use plan as noted in the finding responses A(1)(a) &

(c), herein incorporated by reference. As such, the proposed use for the Education Building is appropriate for the location as it is consistent with the Religious Assembly use.

B. COASTAL DEVELOPMENT PERMIT [SDMC Section 126.0708]

1. Findings for all Coastal Development Permits:

- a. The proposed coastal development will not encroach upon any existing physical accessway that is legally used by the public or any proposed public accessway identified in a Local Coastal Program land use plan; and the proposed coastal development will enhance and protect public views to and along the ocean and other scenic coastal areas as specified in the Local Coastal Program land use plan;**

The project is located approximately 0.30 miles east of the Pacific Ocean in a built out residential neighborhood. The project site is not within any physical access points or coastal subarea access boundaries as illustrated in Figure 6 of the Community Plan. The project will not obstruct any view cones, view corridors, viewsheds, intermittent or partial vistas or scenic overlooks as identified in Figure 9, with the closest Public Vantage Point being a View Cone, which is 0.32 miles west of the project site at Sea Lane. Figure 9 of the Community Plan identifies Genter Street as a road from which coastal bodies of water can be seen, however, the project location, within the religious campus, is on the corner of Draper Avenue and the Glenview Lane alley, which are not designated streets. The project location will not interfere with the sight lines of Genter Street where the body of water can be seen.

- b. The proposed coastal development will not adversely affect environmentally sensitive lands; and**

There are no Environmentally Sensitive Lands existing on the site. Therefore, the proposed coastal development will not adversely affect environmentally sensitive lands.

- c. The proposed coastal development is in conformity with the certified Local Coastal Program land use plan and complies with all regulations of the certified Implementation Program.**

The Local Coastal Program (Program) in the Land Use Plan identifies La Jolla as a Special Community of regional and state-wide importance. The Program presents the coastal issues that have been identified for the community. The issues are summarized as follows as they pertain to the proposed project:

- *Public Access to the Beaches and Coastline:* The location is approximately 0.30 miles east of the Pacific Ocean in a built out residential neighborhood. The project site is not within any physical access points or coastal subarea access boundaries as illustrated in Figure 6 (pg. 23) of the Land Use Plan.

ATTACHMENT 5

- *Environmentally Sensitive Habitat Areas and Marine Resources:* The location is approximately 0.30 miles east of the Pacific Ocean in a built out residential neighborhood. There are no identified Environmentally Sensitive Habitat Areas or Marine Resources.
- *Recreation and Visitor Serving Retail Areas:* The issue is not applicable as the closest recreation and visitor area is at Whispering Sands Beach and Wind and Sea Park which are both approximately 0.5 miles west of the project site.
- *Preservation or Conservation of Historic Resources:* The project design preserves the historic resource. The new addition is purposely designed to highlight the historic resource and keep it identifiable.
- *Provision of Parks and Recreation Areas:* The issue is not applicable.
- *Provision of Affordable Housing:* The issue is not applicable.
- *Coastal Bluff, Hillside Development and Preservation:* The issue is not applicable as the nearest Coastal Bluff is approximately 0.35 miles east of the project site.
- *Nonpoint Source Pollution in Urban Runoff:* All Best Management Practices and required regulations will be followed in regard to source pollution and urban runoff as required in the Building Permits.
- *Seismic Risk Areas:* The issue is not applicable.
- *Impact of Buildout on Residential Development:* The issue is not applicable.
- *Visual Resources:* The project will not obstruct any views as illustrated in Figure 9 of the Land Use Plan.
- *Public Works:* The issue is not applicable.
- *Facilitating Public Access:* The issue is not applicable.

By meeting all the criteria for issues identified in the Program, the proposed project is in conformity with the certified Local Coastal Program land use plan.

The Implementation Program (pg. 9) provided in the Community Plan provides, "a number of actions for the City and the La Jolla community to pursue in order to implement the policies and recommendations." Those actions include proposals for changes to the current zoning of the community. The actions, along with the corresponding relationship to the proposed project are as follows:

- To preserve existing open space within the community including portions of Mount Soledad and other publicly owned open space areas;

ATTACHMENT 5

- The proposed project site is not applicable to this proposal as it is neither near Mount Soledad, which is located approximately 1.82 miles east of the project site, nor a publicly owned open space.
- To protect and enhance beach access, both visually and physically;
 - As stated previously, the project is located approximately 0.30 miles east of the Pacific Ocean in a built out residential neighborhood. The project site is not within any physical access points or coastal subarea access boundaries as illustrated in Figure 6 of the Community Plan. The project will not obstruct any view cones, view corridors, viewsheds, intermittent or partial vistas or scenic overlooks as identified in Figure 9, with the closest Public Vantage Point being a View Cone, which is 0.32 miles west of the project site at Sea Lane.
- To preserve the current residential density of the West Muirlands area by rezoning from RS-1-5 to RS-1-4.
 - The project is located approximately 0.5 mile north of the Muirlands area and will not affect the current residential density.

The Implementation Program (pg. 9), also includes two other actions with the corresponding relationship to the proposed project as follows:

- Improvements to existing circulation patterns and public facilities.
 - The proposed project for improvements and additions to the existing Education Building will not interfere with improvements to the existing circulation patterns or public facilities. A La Jolla Community Plan Transportation Goal (pg. 55) is to "Provide an adequate circulation system to serve residents, visitors and employees to La Jolla's downtown commercial, recreational areas and community facilities by promoting the use of public transit and/or shuttle service as an alternative form of transportation within the community." By not providing parking, the project incentivizes the use of public transportation and adheres to the intent of the goal.
- Preparation of a Public Facilities Financing Plan identifying present and future community needs and the capital improvements necessary to accommodate future development.
 - The proposed project for improvements and additions to the existing Education Building will not interfere with a Public Facilities Financing Plan.

By meeting the issues within the Program and actions within the Implementation Program, the proposed coastal development is in conformity with the certified Local

Coastal Program land use plan and complies with all regulations of the certified Implementation Program.

- d. For every Coastal Development Permit issued for any coastal development between the nearest public road and the sea or the shoreline of any body of water located within the Coastal Overlay Zone the coastal development is in conformity with the public access and public recreation policies of Chapter 3 of the California Coastal Act.**

The Finding is not applicable to the project as the development is not located between the nearest public road and the sea or the shoreline of any body of water located within the Coastal Overlay Zone which is approximately 0.25 miles west at Sea Lane and Vista Del Mar Avenue.

The above findings are supported by the minutes, maps and exhibits, all of which are incorporated herein by this reference.

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the Hearing Officer, Conditional Use Permit No. 3241543, and Coastal Development Permit No. 3310239 is hereby GRANTED by the Hearing Officer to the referenced Owner/Permittee, in the form, exhibits, terms and conditions as set forth in Conditional Use Permit No. 3241543, and Coastal Development Permit No. 3310239, a copy of which is attached hereto and made a part hereof.

Robin MacCartee
Development Project Manager
Development Services

Adopted on: May 21, 2025

IO#: 24009657

RESOLUTION NUMBER R- **316124**DATE OF FINAL PASSAGE **MAR 18 2025**

A RESOLUTION OF THE COUNCIL OF THE CITY OF
SAN DIEGO DENYING ENVIRONMENTAL APPEAL – 627
GENTER STREET, PROJECT NO. 1055455.

RECITALS

The Council of the City of San Diego (Council) adopts this Resolution based on the following:

A. First Baptist Church of La Jolla, dba La Jolla Christian Fellowship, submitted an application to the City of San Diego for a Coastal Development Permit and Conditional Use Permit to construct additions and renovations to an existing education building on an existing religious assembly campus, for the 627 Genter Street project (Project). The proposed site improvements include 1,768 square feet of new additions, 2,340 square feet of interior renovations, a new 502-square-foot roof deck, and replacement of existing exterior stairs. The 0.48-acre site is located at 627 Genter Street in the Residential Multiple Unit (RM-1-1) Zone, Coastal Height Limit Overlay Zone, Coastal Overlay (non-appealable) Zone, and the Transit Area Overlay Zone within the La Jolla Community Plan.

B. On April 27, 2022, the City of San Diego, through the Development Services Department, determined that the application for Project Number 1055455 was complete and the Project was deemed complete.

C. On September 5, 2024, the City of San Diego through the Development Services Department determined that the Project is categorically exempt from the provisions of California Environmental Quality Act (CEQA) (California Public Resources Code sections 21000-21189.91) under CEQA Guidelines section 15301 (Existing Facilities) (Environmental

Determination) and that no exception to the exemption, as set forth in CEQA Guidelines section 15300.2, applies to the Project.

D. On September 5, 2024, Jon Wiggins (Appellant) appealed the Environmental Determination for the 627 Genter Street Project to the Council.

E. On March 18, 2025, the Council heard the environmental appeal of the Project. The Council considered, in light of the whole record, the Environmental Determination to categorically exempt the 627 Genter Street Project, the potential environmental impacts associated with the 627 Genter Street Project, and the issues raised on appeal and brought up at the hearing through testimony and public participation.

F. The Office of the City Attorney prepared this Resolution based on the information provided by City staff (including information provided by affected third parties and verified by City staff), with the understanding that this information is complete and accurate.

G. Under San Diego Charter section 280(a)(2), this Resolution is not subject to veto by the Mayor because this matter requires the Council to act as a quasi-judicial body and where a public hearing was required by law implicating due process rights of individuals affected by the decision and where the Council was required by law to consider evidence at the hearing and to make legal findings based on the evidence presented.

ACTION ITEMS

Be it resolved by the Council of the City of San Diego:

1. The Council finds, based upon the representations of City staff, public testimony and the whole record before it, the following:

A. The Environmental Determination has been completed in compliance with CEQA and the CEQA Guidelines. The Environmental Determination reflects the

independent judgment of the City of San Diego as Lead Agency. The information contained in the Development Services Department staff report, and testimony and comments received during the public testimony process, have been reviewed and considered by the Council in connection with the appeal of the Environmental Determination.

B. There is substantial evidence, in light of the whole record, supporting the Environmental Determination to categorically exempt the 627 Genter Street Project under the provisions of CEQA Guidelines section 15301 (Existing Facilities).

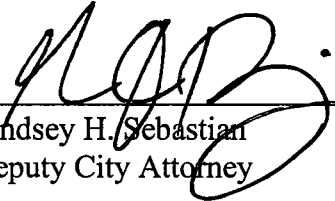
C. A fair argument, based upon evidence found in the whole record, has not been established demonstrating that exceptions to the Categorical Exemption exist with respect to the 627 Genter Street Project.

D. Based upon substantial evidence in light of the whole record, the 627 Genter Street Project would not result in any significant or potentially significant impacts or effects on the environment.

2. The Environmental Determination of the Development Services Department is approved, and the appeal of Jon Wiggins is denied.

APPROVED: HEATHER FERBERT, City Attorney

By



Lindsey H. Sebastian
Deputy City Attorney

LHS:nja
03/19/2025
Or. Dept: DSD
Doc. No. 3997938

ATTACHMENT 6

Passed by the Council of The City of San Diego on MAR 18 2025, by the following vote:

Councilmembers	Yeas	Nays	Not Present	Recused
Joe LaCava	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Jennifer Campbell	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Stephen Whitburn	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Henry L. Foster III	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Marni von Wilpert	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Kent Lee	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Raul A. Campillo	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Vivian Moreno	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Sean Elo-Rivera	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Date of final passage MAR 18 2025

(Please note: When a resolution is approved by the Mayor, the date of final passage is the date the approved resolution was returned to the Office of the City Clerk.)

AUTHENTICATED BY:

TODD GLORIA
Mayor of The City of San Diego, California.

(Seal)

DIANA J.S. FUENTES
City Clerk of The City of San Diego, California.


By Linda Irwin, Deputy
For Gilbert Sanchez

Office of the City Clerk, San Diego, California

316124

Resolution Number R-_____

ATTACHMENT 7

Page 3	City of San Diego · Information Bulletin 620	August 2018
	City of San Diego Development Services 1222 First Ave., MS-302 San Diego, CA 92101	<h2 style="margin: 0;">Community Planning Committee Distribution Form</h2>
Project Name: 627 Genter		Project Number: 1055455
Community: La Jolla		
For project scope and contact information (project manager and applicant), log into OpenDSD at https://aca.accela.com/SANDIEGO . Select "Search for Project Status" and input the Project Number to access project information.		
<input checked="" type="radio"/> Vote to Approve <input type="checkbox"/> Vote to Approve with Conditions Listed Below <input type="checkbox"/> Vote to Approve with Non-Binding Recommendations Listed Below <input type="checkbox"/> Vote to Deny		Date of Vote: March 07, 2024
# of Members Yes 12	# of Members No 2	# of Members Abstain 1
Conditions or Recommendations: none		
<input type="checkbox"/> No Action (Please specify, e.g., Need further information, Split vote, Lack of quorum, etc.)		
NAME: ADRIAN FERAL		
TITLE: SECRETARY		DATE: September 03, 2024

	City of San Diego Development Services 1222 First Ave., MS 302 San Diego, CA 92101 (619) 446-5000	<h1>Ownership Disclosure Statement</h1>	FORM DS-318
			October 2017

Approval Type: Check appropriate box for type of approval(s) requested: Neighborhood Use Permit Coastal Development Permit
 Neighborhood Development Permit Site Development Permit Planned Development Permit Conditional Use Permit Variance
 Tentative Map Vesting Tentative Map Map Waiver Land Use Plan Amendment • Other _____

Project Title: LAJOLLA CHRISTIAN FELLOWSHIP

Project No. For City Use Only: _____

Project Address: 627 GENTER STREET, LAJOLLA, CA 92037

Specify Form of Ownership/Legal Status (please check):

Corporation Limited Liability -or- General - What State? _____ Corporate Identification No. 20137654

Partnership Individual

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter will be filed with the City of San Diego on the subject property with the intent to record an encumbrance against the property. Please list below the owner(s), applicant(s), and other financially interested persons of the above referenced property. A financially interested party includes any individual, firm, co-partnership, joint venture, association, social club, fraternal organization, corporation, estate, trust, receiver or syndicate with a financial interest in the application. If the applicant includes a corporation or partnership, include the names, titles, addresses of all individuals owning more than 10% of the shares. If a publicly-owned corporation, include the names, titles, and addresses of the corporate officers. (A separate page may be attached if necessary.) If any person is a nonprofit organization or a trust, list the names and addresses of ANY person serving as an officer or director of the nonprofit organization or as trustee or beneficiary of the nonprofit organization. A signature is required of at least one of the property owners. Attach additional pages if needed. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

Property Owner

Name of Individual: ADAM STADTMILLER

Owner Tenant/Lessee Successor Agency

Street Address: 627 GENTER STREET

City: LAJOLLA

State: CA Zip: 92037

Phone No.: 8582320214

Fax No.: _____

Email: glenda.wheeler49@yahoo.com

Signature: [Signature], CEO (see addendum)

Date: 3/4/2022

Additional pages Attached: Yes No

Applicant

Name of Individual: ARCHITECT MARK LYON, INC.

AGENT FOR Owner Tenant/Lessee Successor Agency

Street Address: 410 BIRD ROCK AVENUE

City: LAJOLLA

State: CA Zip: 92037

Phone No.: 8584591171

Fax No.: _____

Email: infor@mdla.net

Signature: [Signature]

Date: 4-20-22

Additional pages Attached: Yes No

Other Financially Interested Persons

Name of Individual: _____

Owner Tenant/Lessee Successor Agency

Street Address: _____

City: _____

State: _____ Zip: _____

Phone No.: _____

Fax No.: _____

Email: _____

Signature: _____

Date: _____

Additional pages Attached: Yes No

Printed on recycled paper. Visit our web site at www.sandiego.gov/development-services.
 Upon request, this information is available in alternative formats for persons with disabilities.

Addendum to City of San Diego Development Services, Ownership Disclosure Statement (DS-318)

Property Owner: The First Baptist Church of La Jolla dba La Jolla Christian Fellowship






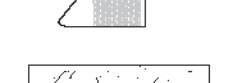



Corporation ID: C0137654

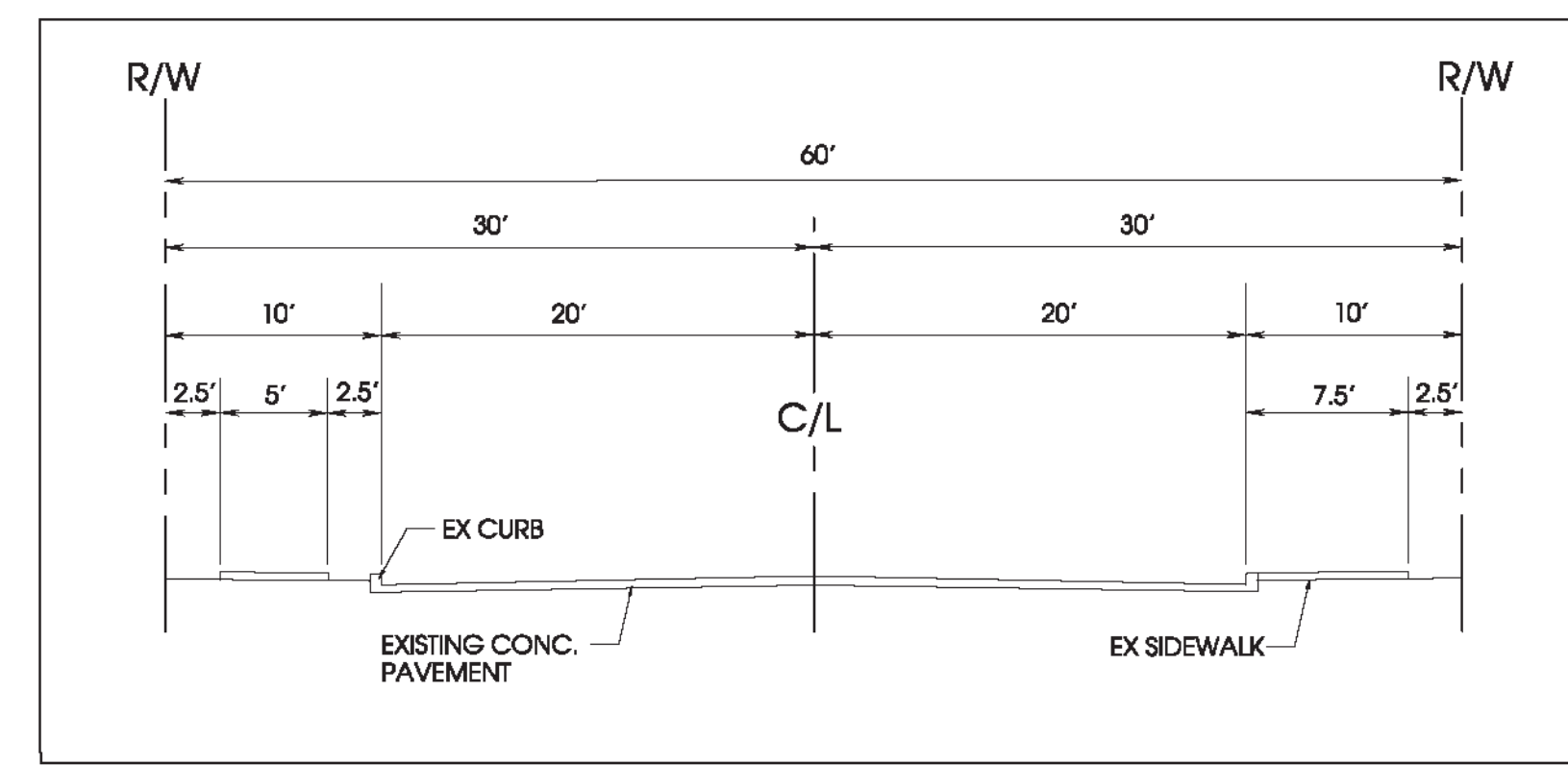
Corporate Officers:

Adam Stadtmiller	Chief Executive Officer	c/o 627 Genter Street, La Jolla CA 92037
Eden Bryant	Chief Financial Officer	c/o 627 Genter Street, La Jolla, CA 92037
Noelle Hallman	Secretary	c/o 627 Genter Street, La Jolla, CA 92037

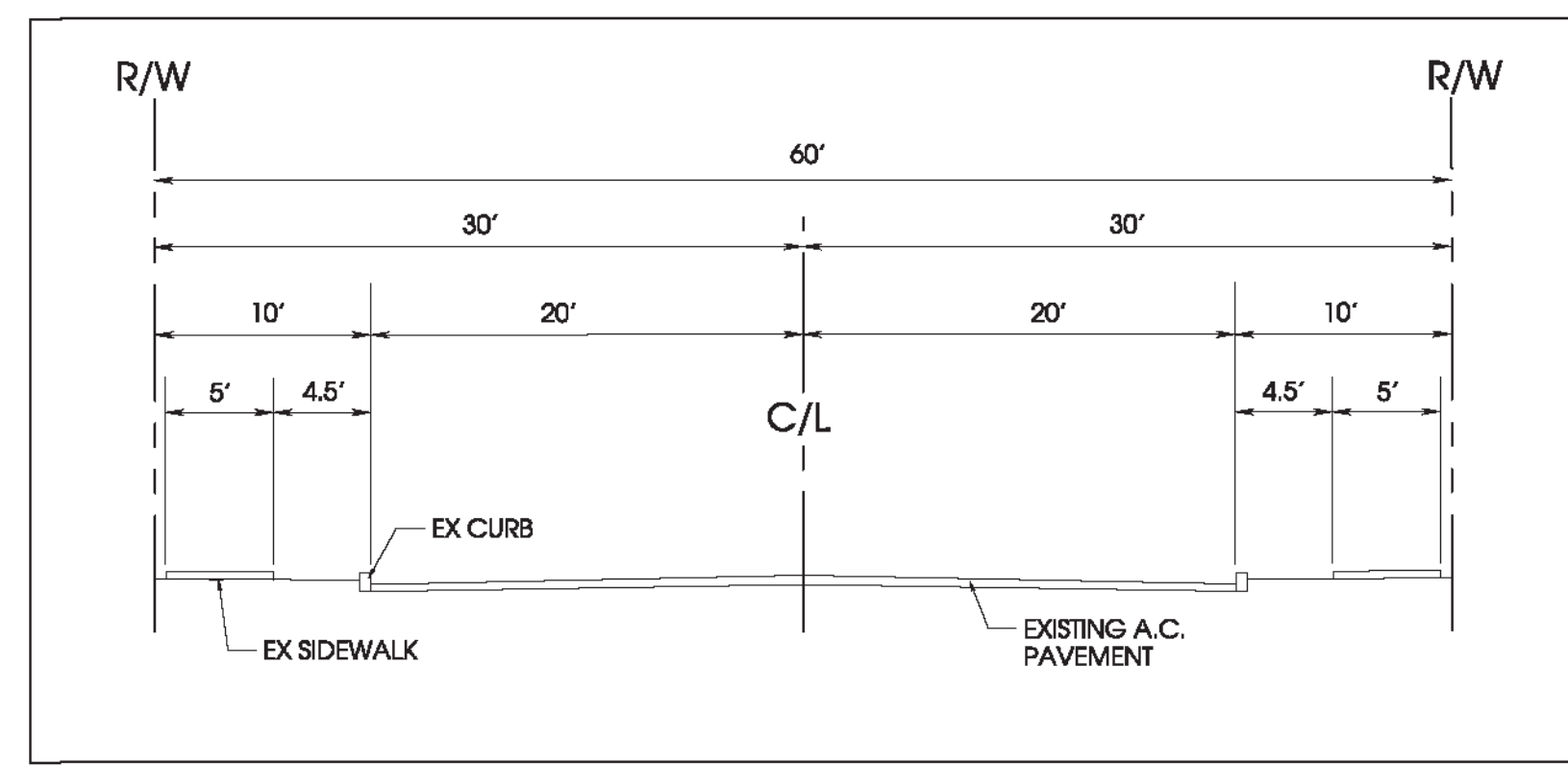
**COASTAL DEVELOPMENT PERMIT
 PTS NO. 1055455**

LEGEND

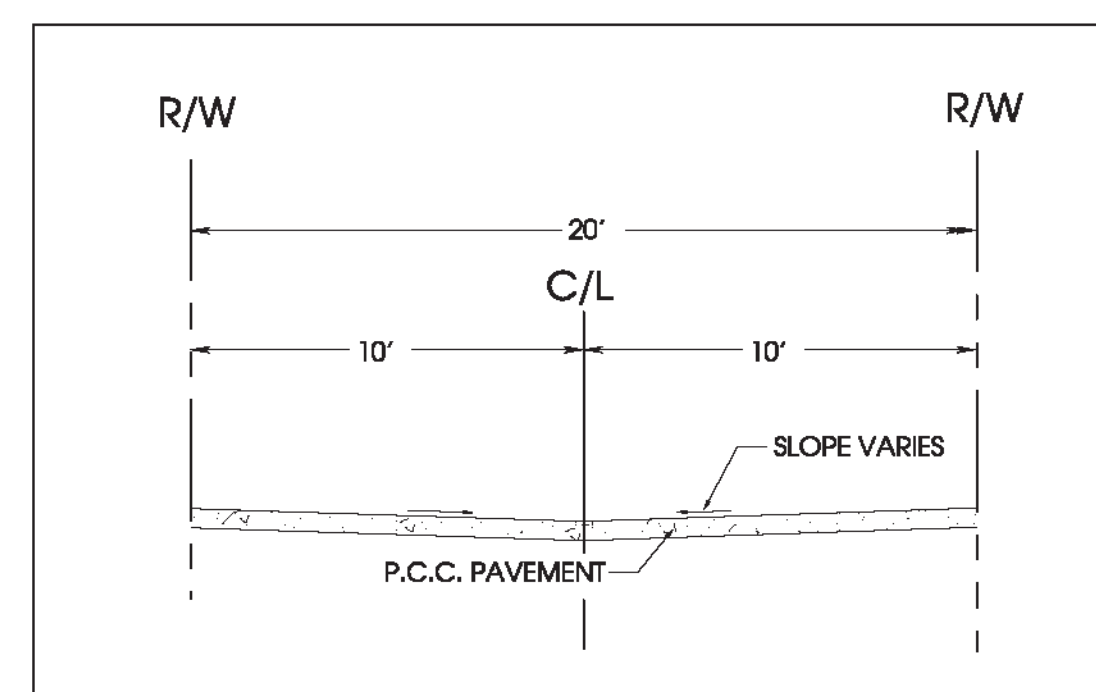
- PROPERTY LINE/TM BNDRY 
- EXISTING CONTOUR 
- EXISTING GAS LINE 
- EXISTING SEWER LINE 
- EXISTING WATER LINE 
- PROPOSED BUILDING ADDITION 
- PROPOSED CURB RAMP 
- PROPOSED CONCRETE ALLEY TO BE REPLACED 
- PROPOSED 2" BACKFLOW PREVENTER 



GENTER STREET
NOT TO SCALE



DRAPER AVENUE
NOT TO SCALE



TYPICAL SECTION ALLEY
NOT TO SCALE

LEGAL DESCRIPTION:

LOT 3 AND THE EASTERLY HALF OF LOT 2 AND THE EASTERLY ONE-HALF OF LOT 4 IN BLOCK 11, OFF I. SCRIPPS ADDITION TO LA JOLLA PARK, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 897, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, JULY 22, 1903

BENCHMARK

CITY OF SAN DIEGO BENCHMARK LOCATED AT THE SOUTHEASTERLY CORNER OF GENTER STREET AND DRAPER AVENUE. ELEVATION 112.604' MEAN SEA LEVEL (N.G.V.D. 1929).

NOTES

1. THE SOURCE OF THE TOPOGRAPHIC INFORMATION SHOWN HEREON IS FROM A PHOTOGRAMMETRIC SURVEY BY CHRISTENSEN ENGINEERING & SURVEYING DATED APRIL 18, 2023 AND ENHANCED SURVEY DATED FEBRUARY 20, 2022.
2. THE ASSESSOR PARCEL NUMBERS FOR THIS PROPERTY ARE : 351-112-13-00 & 351-112-14-00.
3. THE TOTAL AREA OF THE SUBJECT PROPERTY IS 0.48 ACRES.
4. THE PROPOSED USE IS COMMERCIAL.
5. THE SUBJECT PROPERTY IS SERVED BY SANITARY SEWER LATERALS AND WATER SERVICES CONNECTED TO CITY OF SAN DIEGO MAINS.
6. PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITEE SHALL INCORPORATE ANY CONSTRUCTION BMP'S NECESSARY TO COMPLY WITH CHAPTER 14, ARTICLE 2, DIVISION 1 (GRADING REGULATIONS) OF THE SAN DIEGO MUNICIPAL CODE, INTO THE CONSTRUCTION PLANS OR SPECIFICATIONS.
7. PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT THE OWNER/PERMITEE SHALL SUBMIT A WATER POLLUTION CONTROL PLAN (WPCP). THE WPCP SHALL BE PREPARED IN ACCORDANCE WITH THE GUIDELINES IN PART 2 CONSTRUCTION BMP STANDARDS CHAPTER 4 OF THE CITY'S STORM WATER STANDARDS.
8. SITE IMPERVIOUS SURFACE RUNOFF WILL BE DIRECTED TO LANDSCAPED AREAS BEFORE DISCHARGING FROM THE SITE.
9. FOR LANDSCAPE AND HARDSCAPE, SEE LANDSCAPE PLAN.
10. AN ENCROACHMENT MAINTENANCE AND REMOVAL AGREEMENT WILL BE REQUIRED FOR PRIVATE EXISTING BACKFLOW PREVENTER ON THE RIGHT OF WAY.
11. ALL PROPOSED PUBLIC IMPROVEMENTS SHALL BE IN ACCORDANCE WITH CURRENT CITY STANDARDS AT THE TIME OF THEIR CONSTRUCTION.

ANTHONY K. CHRISTENSEN, RCE S4021
 LS 7508
 APRIL 19, 2024
 Date



Prepared By:
 CHRISTENSEN ENGINEERING & SURVEYING
 7888 SILVERTON AVENUE, SUITE "J"
 SAN DIEGO, CA 92126
 PHONE (858)271-9901

Project Address:
 627 GENTER STREET
 LA JOLLA, CA 92037

Project Name:
 LA JOLLA CHRISTIAN FELLOWSHIP

Sheet Title:

Revision 5:
 Revision 4:
 Revision 3:
 Revision 2:
 Revision 1: 4-19-24 ADDRESS CITY COMMENTS

Original Date: DECEMBER 16, 2023

Sheet 1 of 2 Sheets

PRELIMINARY GRADING PLAN

C01

JN A2023-59

CE & S CHRISTENSEN ENGINEERING & SURVEYING
 CIVIL ENGINEERS LAND SURVEYORS
 7888 SILVERTON AVENUE, SUITE "J", SAN DIEGO, CALIFORNIA 92126
 TELEPHONE: (858) 271-9901 EMAIL: ceands@aol.com

REVISIONS:
SUBMITTAL DATE: 12/20/2023
PHASE: CUP
PROJECT NUMBER: 2118
REVIEWED BY: MDL
DRAWN BY: K.J.L. / R.H.
DATE: 12/20/2023
SHEET TITLE: PRELIM. GRADING PLAN

C01

All design, plans and engineering are the legal property of Architect Mark D. Lyon, Inc. & the original site and specific project for which they were prepared. Reproduction, publication or reuse by any method, in whole or in part, without the express written consent of Architect Mark D. Lyon, Inc. is prohibited. These plans shall be changed or deleted from these drawings or accompanying specifications without the consent of Architect Mark D. Lyon, Inc. Visual contact with these drawings and attached specifications shall constitute prima facie evidence of the acceptance of all these restrictions with prejudice.

**COASTAL DEVELOPMENT PERMIT
 PTS NO. 1055455**

CONSTRUCTION NOTES

- 1 PROPOSED 3-STORY ADDITION TO EDUCATION BUILDING
- 2 PROPOSED PLANTER AREA
- 3 PROPOSED AT-GRADE PLANTING AREA
- 4 EXISTING STEPS TO REMAIN
- 5 PROPOSED STAIRS
- 6 REMOVE PORTION OF EXISTING RETAINING WALL AND STAIRS FOR NEW ADDITION
- 7 PROPOSED STAIRS TO ROOFTOP DECK
- 8 REPLACE STAIR IN-KIND
- 9 EXISTING 2-STORY EDUCATION BUILDING
- 10 EXISTING ALLEY APRON
- 11 REPLACE CURB RAMP PER CITY STANDARD
- 12 REPLACE CONCRETE ALLEY PER CITY STANDARD
- 13 EXISTING 2" WATER SERVICE FOR 645 GENTER TO REMAIN
- 14 EXISTING WATER METER BOX AND 2" WATER METER # 15186178
- 15 EXISTING SEWER LATERAL TO REMAIN
- 16 PROPOSED 2" BACK FLOW PREVENTER PER CITY STANDARD
- 17 EXISTING 3/4" WATER SERVICE FOR 645 GENTER TO REMAIN
- 18 EXISTING WATER METER BOX AND 3/4" WATER METER # 171399688
- 19 EXISTING 3/4" BACKFLOW PREVENTER, EMRA REQUIRED

GRADING DATA

AREA OF SITE - 0.48 AC (20,980 SF)
 AREA OF SITE TO BE GRADED 0.0207 AC (900 SF)
 PERCENT OF SITE TO BE GRADED 4.3%
 AREA OF SITE WITH SLOPES GREATER THEN 25% - 0.0
 PERCENT OF SITE WITH SLOPES GREATER THEN 25% - 0%
 NO ENVIRONMENTALLY SENSITIVE LANDS EXIST ON SITE
 AMOUNT OF CUT - 25 C.Y.
 AMOUNT OF FILL - 0 C.Y.
 AMOUNT OF EXPORT - 25 C.Y.
 MAXIMUM HEIGHT OF FILL SLOPE - N/A
 MAXIMUM DEPTH OF FILL UNDER BUILDING FOOTPRINT - 0'
 MAXIMUM DEPTH OF FILL OUTSIDE OF BUILDING FOOTPRINT - 0'
 MAXIMUM DEPTH OF CUT SLOPE - N/A
 MAXIMUM DEPTH OF CUT UNDER BUILDING FOOTPRINT - 4.5'
 MAXIMUM DEPTH OF CUT OUTSIDE OF BUILDING FOOTPRINT - 0'
 EARTHWORK IS APPROXIMATE
 EXISTING IMPERVIOUS AREA: 17,500 SF (83.4%)
 PROPOSED CREATED/REPLACED IMPERVIOUS AREA: 17,600 SF (83.4%)

Prepared By:

CHRISTENSEN ENGINEERING & SURVEYING
 7888 SILVERTON AVENUE, SUITE 'J'
 SAN DIEGO, CA 92126
 PHONE (858)271-9901

Project Address:

627 GENTER STREET
 LA JOLLA, CA 92037

Project Name:

LA JOLLA CHRISTIAN FELLOWSHIP

Sheet Title:

PRELIMINARY GRADING PLAN

Revision 5:

Revision 4:

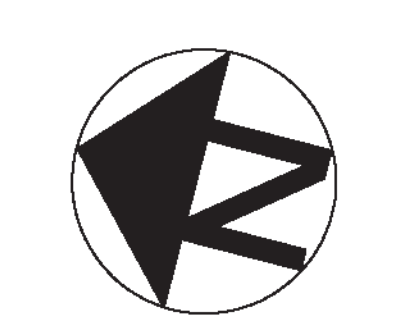
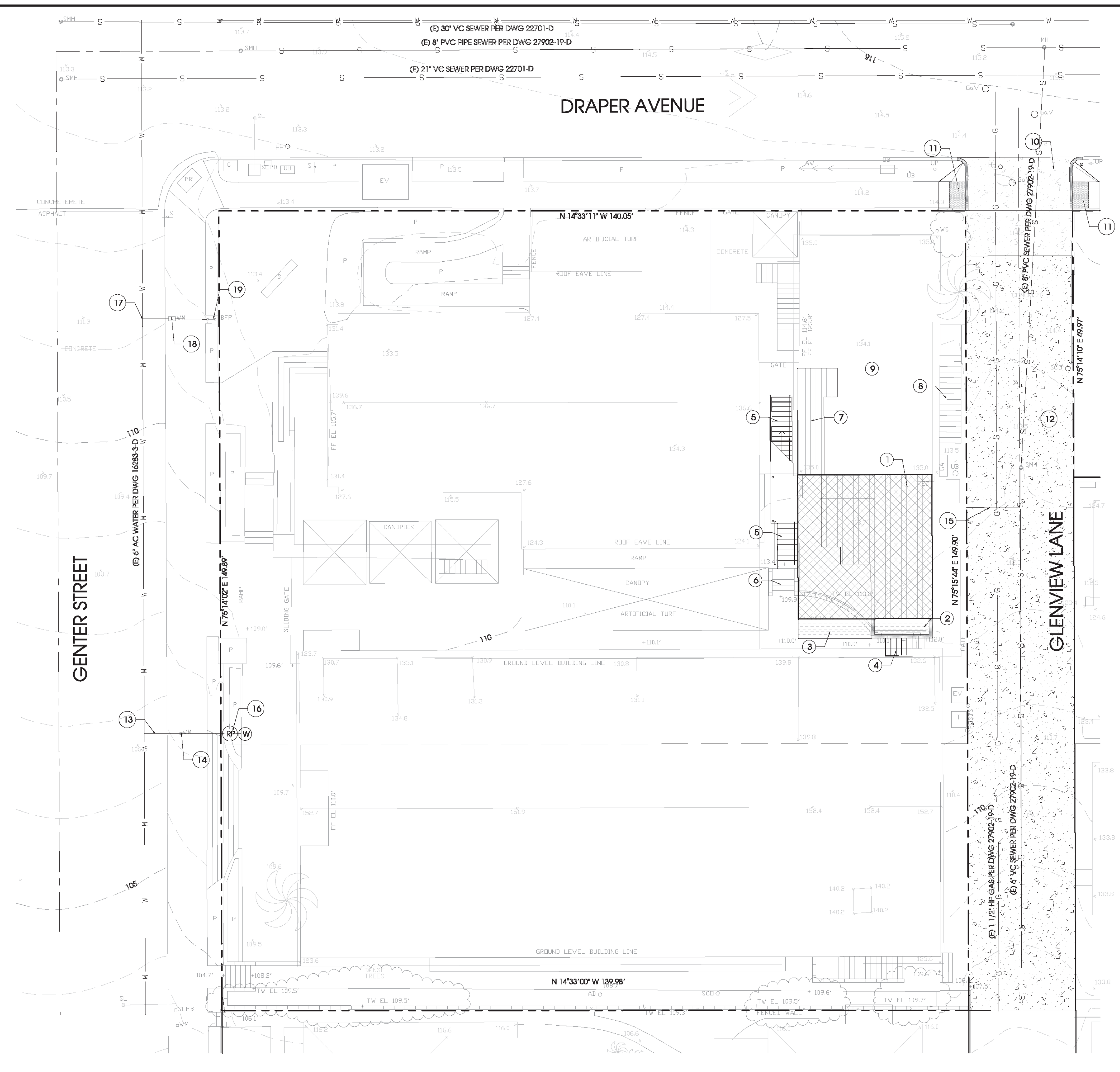
Revision 3:

Revision 2:

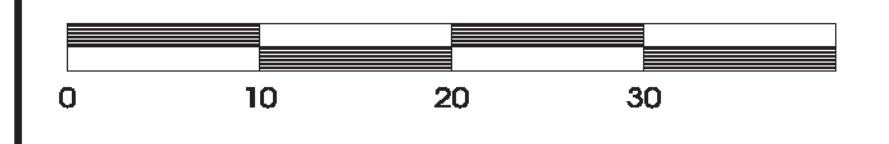
Revision 1: 4-19-24 ADDRESS CITY COMMENTS

Original Date: DECEMBER 16, 2023

Sheet 2 of 2 Sheets



SCALE: 1" = 10'



ANTHONY K. CHRISTENSEN, RCE 54021
 APRIL 19, 2025
 Date



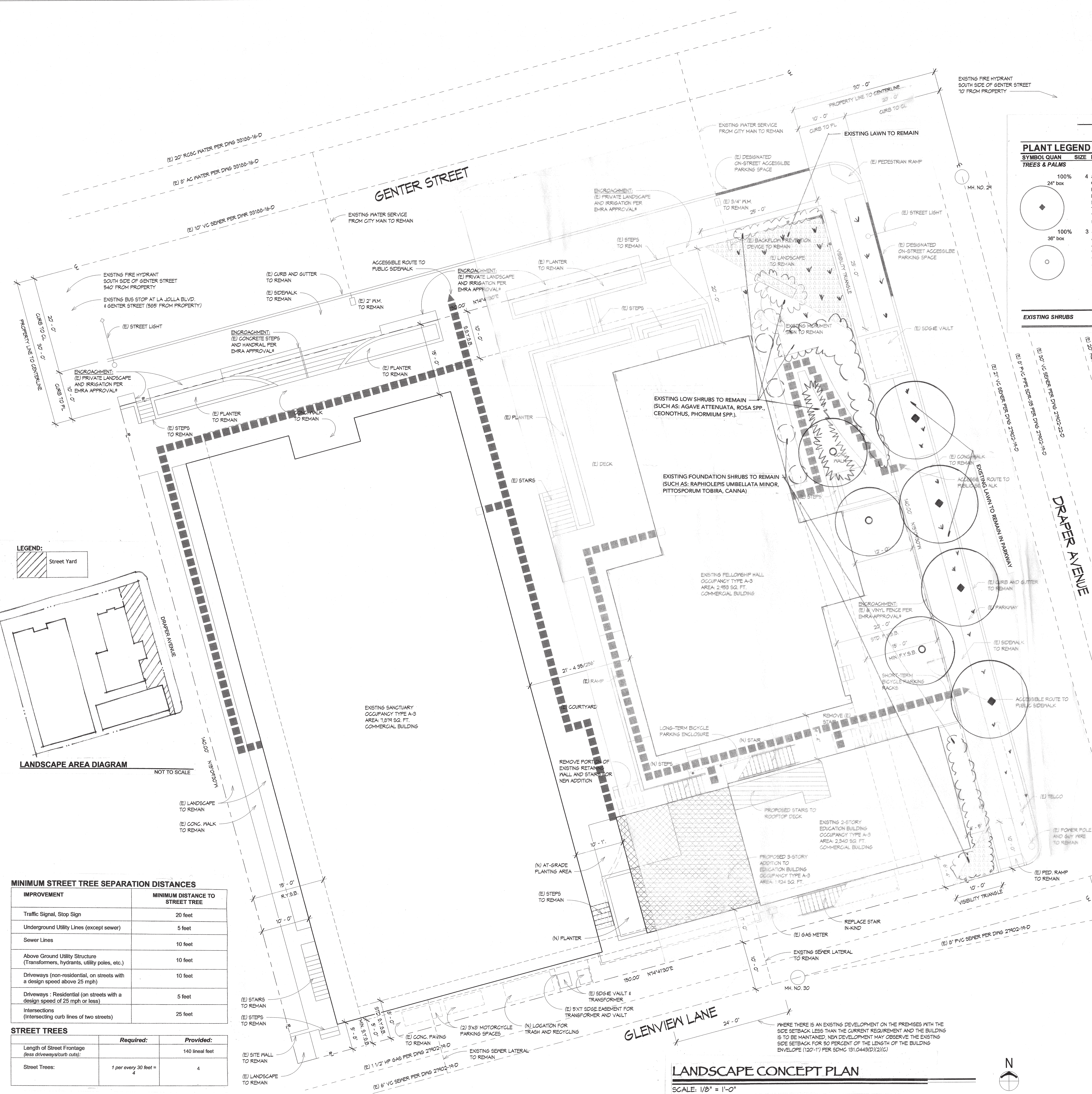
C02

JN A2020-132

REVISIONS:	
SUBMITTAL DATE:	12/20/2023
PHASE:	CUP
PROJECT NUMBER:	2118
REVIEWED BY:	MDL
DRAWN BY:	K.J.L / R.H
DATE:	12/20/2023
SHEET TITLE:	PRELIM. GRADING PLAN Copy 1

C02

All design, plans and engineering are the property of Architect Mark D. Lyon, Inc. & the original site and specific project for which they were prepared. Reproduction, publication or reuse by any method, in whole or in part, without the express written consent of Architect Mark D. Lyon, Inc. is prohibited. There shall be no change or deviation from these drawings and attached specifications that constitute prima facie evidence of the acceptance of all these restrictions and preconditions.



PLANT LEGEND

SYMBOL QUAN	SIZE	BOTANICAL NAME	LA JOLLA CHRISTIAN FELLOWSHIP COMMON NAME	FORM/FUNCTION	SIZE AT MATURITY
TREES & PALMS					
100%	24" box	4 SUCH AS: CASSIA LEPTOPHYLLA MAGNOLIA GRANDIFLORA 'LITTLE GEM' METROSIDEROS SPP. RHUS LANCEA TABEBUIA IMPETIGINOSA TRISTANIA LAURINA 'ELEGANT' ULMUS PARVIFLORA	STREET TREE GOLDEN MEDALLION SOUTHERN MAGNOLIA NEW ZEALAND CHRISTMAS TREE AFRICAN SLIMAC PINK TRUMPET TREE ELEGANT WATER GUM CHINESE ELM		20' h. x 20' w.
100%	36" box	3 SUCH AS: AGONIS FLEXUOSA ARBUTUS MARINA CASSIA LEPTOPHYLLA CITRUS SPP. GEIJERA PARVIFOLIA LEPTOSPERMUM PETERSONII METROSIDEROS SPP. OLEA EUROPAEA, FRUITLESS TRISTANIA LAURINA 'ELEGANT' VITEX PURPUREA TRIFOLIA 'FASCINATION'	CANOPY TREE PEPPERMINT WILLOW STRAWBERRY TREE GOLD MEDALLION TREE CITRUS AUSTRALIAN WILLOW LEMON-SCENTED TEA TREE NEW ZEALAND CHRISTMAS TREE OLIVE TREE, FRUITLESS ELEGANT WATER GUM PURPLE FASCINATION VITEX		20' h. x 20' w.

EXISTING SHRUBS TO REMAIN: ALL EXISTING PLANT MATERIALS IN STREET YARD TO REMAIN.

LANDSCAPE CALCULATIONS: STREET YARD PLANTING REQUIREMENTS*

	Required:	Provided:
Street Yard:		2261 s.f.
Total Area:	565 s.f. (25% of total Street Yard)	1657 s.f.
Planting Area:	113 points (0.05 per total s.f.)	150 points
Plant Points:	113 points (100% required points)	150 points

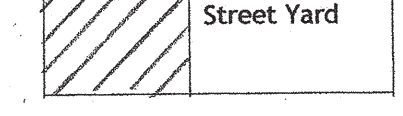
Points Achieved through Trees: 113 points (100% required points) 150 points

*PER SDCMC TABLE 142-04C

PLANTING & IRRIGATION NOTES

- All required landscaping designated per 142.0410: PREVIOUSLY CONFORMING PROPERTIES LANDSCAPE REQUIREMENTS: 2 (D): 1 to 49 percent, the development is subject to the full requirements for street trees and the street yard for new development.
- All required landscaping shall be maintained in a disease, weed, and litter free condition at all times.
- The permittee or subsequent owners are responsible for the long-term maintenance of all landscape areas consistent with the City of San Diego Land Development Manual Landscape Standards.
- Irrigation systems are to be installed in accordance with the criteria and standards of the City of San Diego Landscape Ordinance section 142.0403 and the City of San Diego Land Development Manual Landscape Standards.
- All Landscape and Irrigation shall conform to the standards of the City-Wide Landscape Regulations, The City of San Diego Land Development Manual Landscape Standards and other Landscape related City and Regional standards.
- Irrigation System: Combination of Low-water Emission spray heads and Drip Irrigation system.
- All canopy trees shall be provided with 40 s.f. root zone and planted in an air and water permeable landscape area. The minimum dimension (width) of this area shall be 5 feet.
- Tree root barriers shall be installed where trees are placed within 5 feet of public improvements, including walks, curbs, or street pavement or where new public improvements are placed adjacent to existing trees. The root barrier will not wrap around root ball.
- No trees or shrubs whose height will be 3'-0" at maturity shall be retained or installed within 5 feet of any publicly maintained water facilities or within 10 feet of any publicly maintained sewer facilities.
- Existing trees to remain on site within the area of work will be protected in place. The following protection measures shall be provided:
 - Bright yellow or orange temporary fencing to be placed around existing trees at the drip line.
 - Stockpiling, topsoil disturbance, vehicular use, and material storage of any kind is prohibited within the drip line.
 - A tree watering schedule shall be maintained and documented during construction.
 - All damaged trees shall be replaced with tree of equal or greater size.
- Mulch: All required planting areas and all exposed soil areas without vegetation shall be covered with mulch to a minimum depth of 3 inches, excluding slopes requiring revegetation per SDCMC 142.04111.
- No obstruction including solid walls in the visibility area(s) shall exceed 3 feet in height. Plant material, other than trees, within the public right-of-way that is located within visibility areas shall not exceed 36 inches in height, measured from lowest grade abutting the plant material to the top of the plant material.

LEGEND:



LANDSCAPE AREA DIAGRAM



MINIMUM STREET TREE SEPARATION DISTANCES

IMPROVEMENT	MINIMUM DISTANCE TO STREET TREE
Traffic Signal, Stop Sign	20 feet
Underground Utility Lines (except sewer)	5 feet
Sewer Lines	10 feet
Above Ground Utility Structure (Transformers, hydrants, utility poles, etc.)	10 feet
Driveways (non-residential, on streets with a design speed above 25 mph)	10 feet
Driveways: Residential (on streets with a design speed of 25 mph or less)	5 feet
Intersections (Intersecting curb lines of two streets)	25 feet

STREET TREES

	Required:	Provided:
Length of Street Frontage (less driveway/cut-in)		140 lineal feet
Street Trees:	1 per every 30 feet = 4	4

LANDSCAPE CONCEPT PLAN

SCALE: 1/8" = 1'-0"



PREPARED BY:

NAME: **TODD FRY LANDSCAPE ARCHITECTS** REVISION 10: _____
 ADDRESS: **7920 PRINCESS STREET** REVISION 9: _____
 LA JOLLA, CA 92037 REVISION 8: _____
 PHONE: **858.459.8005** REVISION 7: _____
 PROJECT NAME: **LA JOLLA CHRISTIAN FELLOWSHIP** REVISION 6: _____
 627 GENTER STREET REVISION 5: _____
 LA JOLLA, CA 92037 REVISION 4: _____
 REVISION 3: _____
 REVISION 2: _____
 REVISION 1: 4/12/2024 ORIGINAL DATE: 3/22/2022
 SHEET TITLE: **LANDSCAPE CONCEPT PLAN** SHEET 5 OF 18
 DATE: _____ DDP: _____

DATE: FEBRUARY 22, 2022

DESIGN/DRAWING: TF/J/P

DRAWING SCALE: SEE DWGS

REVISIONS:

- REVISION 1: 4/12/2024
- REVISION 2: _____
- REVISION 3: _____
- REVISION 4: _____
- REVISION 5: _____
- REVISION 6: _____
- REVISION 7: _____
- REVISION 8: _____

SHEET TITLE

LANDSCAPE
CONCEPT PLAN

L1

SHEET ____ OF ____



LA JOLLA CHRISTIAN FELLOWSHIP
 627 GENTER STREET
 LA JOLLA, CA 92037

REVISIONS:

1	
---	--

SUBMITTAL DATE: 12/20/2023

PHASE: CUP

PROJECT NUMBER: 2118

REVIEWED BY: MDL

DRAWN BY: KJL, RH

DATE: 5/21/2024 7:21:54 AM

SHEET TITLE: SITE PLAN

A001

SITE PLAN NOTES

- PROVIDE BUILDING ADDRESS NUMBERS VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY PER FHP'S POLICY P-00-6 (IFC 901.4.4)
- THIS PROJECT MUST COMPLY WITH THE MUNICIPAL CODE REQUIREMENTS FOR MAXIMUM HEIGHT OF THE STRUCTURE NOT TO EXCEED 30 FEET (SDMG, SECTIONS 131.0444 AND 132.0505) HIGHEST POINT ON ROOF EQUIPMENT, PIPE, VENT, ANTENNA OR OTHER PROJECTION SHALL NOT EXCEED 30 FEET ABOVE GRADE.
- EXISTING SITE DRAINAGE PATTERN TO REMAIN. NO ADDITIONAL RUNOFF TO PUBLIC RIGHT-OF-WAY
- LIGHTING SHALL BE UNOBTRUSIVE AND SHIELDED SO AS NOT TO FALL EXCESSIVELY ON ADJACENT PROPERTIES
- ALL OF THE PROPERTY NOT USED OR OCCUPIED BY STRUCTURES, UNPLANTED RECREATIONAL AREAS, WALKS AND DRIVEWAYS SHALL BE LANDSCAPED AND MAY INCLUDE NATIVE MATERIALS, AND IN NO CASE SHALL THIS LANDSCAPED AREA BE LESS THAN 30 PERCENT OF THE TOTAL PARCEL AREA
- STORM WATER FROM DOWNSPOUTS AND IMPERVIOUS AREAS MUST BE ROUTED TO EITHER LANDSCAPE AREAS OR PLANTER BOXES PRIOR TO REACHING THE PUBLIC DRAIN SYSTEM
- ALL EXISTING AND PROPOSED EASEMENTS HAVE BEEN SHOWN ON THE SITE PLAN.
- PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITEE SHALL SUBMIT A WATER POLLUTION CONTROL PLAN (WPCP). THE WPCP SHALL BE PREPARED IN ACCORDANCE WITH GUIDELINES IN PART 2 CONSTRUCTION BMP STANDARDS CHAPTER 4 OF THE CITY'S STORM WATER STANDARDS.
- VISIBILITY TRIANGLE AREAS: NO OBSTRUCTION INCLUDING SOLID WALLS IN THE VISIBILITY AREA SHALL EXCEED 3 FEET IN HEIGHT. PER SDMG SECTION 142.042(b)(2), PLANT MATERIAL, OTHER THAN TREES LOCATED WITHIN THE VISIBILITY AREAS OR THE ADJACENT PUBLIC RIGHT-OF-WAY SHALL NOT EXCEED 36 INCHES IN HEIGHT, MEASURED FROM THE LOWEST GRADE ABUTTING THE PLANT MATERIAL TO THE TOP OF THE PLANT MATERIAL.

IMPERVIOUS AREA & EARTHWORK QUANTITIES

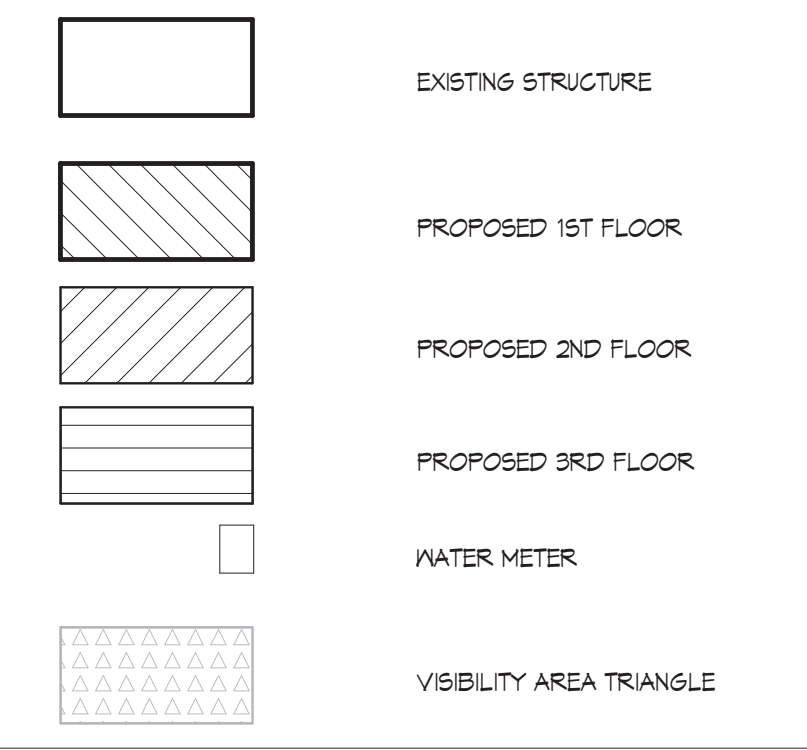
TOTAL DISTURBANCE AREA: 900 SQ. FT.
 EXISTING AMOUNT OF IMPERVIOUS AREA: 17,500 SQ. FT.
 PROPOSED AMOUNT OF REPLACED IMPERVIOUS AREA: 900 SQ. FT.
 TOTAL IMPERVIOUS AREA: 17,500 SQ. FT.

EARTHWORK QUANTITIES:
 CUT QUANTITIES: 25 CYD
 FILL QUANTITIES: 0 CYD
 IMPORT/EXPORT: 25 CYD
 MAX. CUT DEPTH: 4.5 FT
 MAX. FILL DEPTH: 0 FT

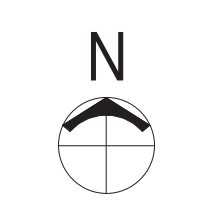
THIS PROJECT PROPOSES TO EXPORT 25 CUBIC YARDS OF MATERIAL FROM THIS SITE. ALL EXPORT MATERIAL SHALL BE DISCHARGED TO A LEGAL DISPOSAL SITE IN ACCORDANCE WITH THE 2018 GREENBOOK AND SUPPLEMENTAL AMENDMENTS. THE APPROVAL OF THIS PROJECT DOES NOT ALLOW PROCESSING AND SAL OF THE MATERIAL. ALL SUCH ACTIVITIES REQUIRE A SEPARATE CONDITIONAL USE PERMIT.

IF THE BUILDING INSPECTOR SUSPECTS FILL EXPANSIVE SOILS OR ANY GEOLOGIC INSTABILITY BASED UPON OBSERVATION OF THE FOUNDATION EXCAVATION, A SOILS OR GEOLOGICAL REPORT, AND RESUBMITTAL OF PLANS TO PLAN CHECK TO VERIFY THAT REPORT RECOMMENDATIONS HAVE BEEN INCORPORATED, MAY BE REQUIRED.

SITE LEGEND



SITE PLAN
 1/8" = 1'-0"



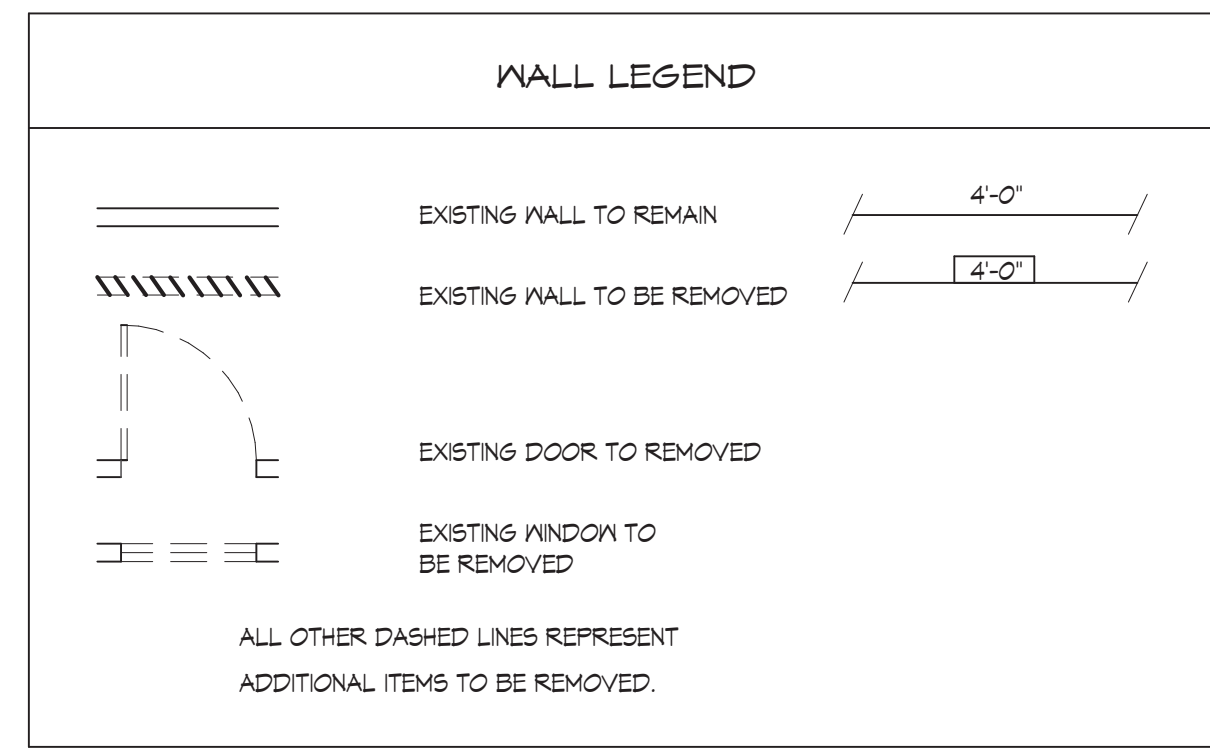
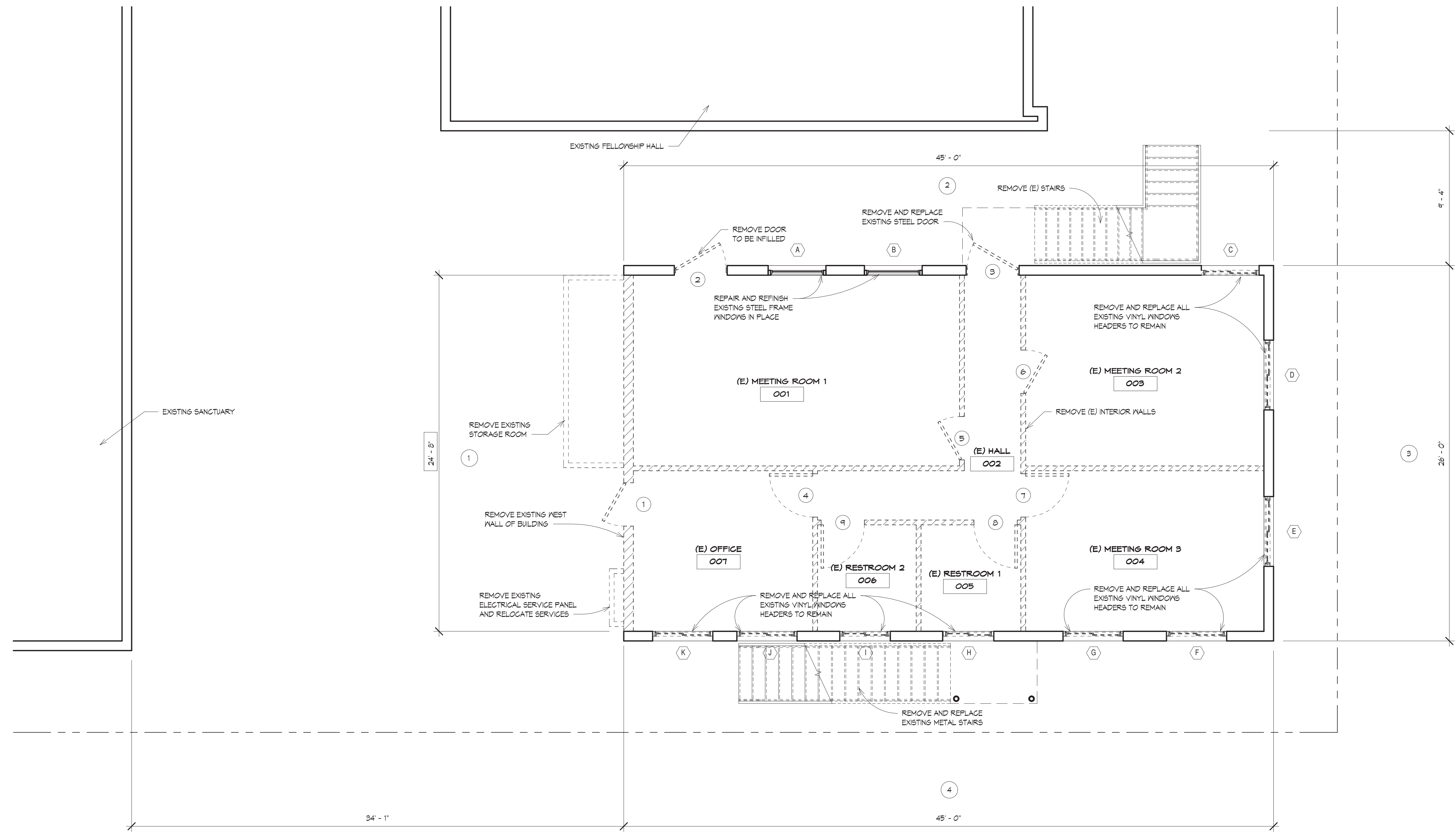
All design, plans and engineering are the property of Architect Mark D. Lyon, Inc. & the original site and specific project for which they were prepared. Reproduction, publication or re-use by any method, in whole or in part, without the express written consent of Architect Mark D. Lyon, Inc. is prohibited. There shall be no change or deviation from these drawings or accompanying specifications without the express written consent of Architect Mark D. Lyon, Inc. Visual contact with these drawings and attached specifications shall constitute prima facie evidence of the acceptance of all these restrictions with prejudice.



- DEMOLITION NOTES**
- CONTRACTOR SHALL INVESTIGATE EXISTING FOOTINGS, FOUNDATION WALLS, RAISED FLOORS AND SLABS.
 - CONTRACTOR TO VERIFY FIELD CONDITIONS WITH STRUCTURAL PLANS AND SPECIFICATIONS.
 - CONTRACTOR SHALL ALLOW FOR CONNECTIONS TO EXISTING PLUMBING AND SEWER LOCATIONS.
 - REMOVE ALL LANDSCAPE/HARDSCAPE WHERE INDICATED FOR NEW ADDITION.
 - REMOVE WALLS AS SHOWN. VERIFY IN FIELD WITH ARCHITECT WALLS TO BE REMOVED.
 - REMOVE EXISTING ROOFING AND ROOF FRAMING WHERE REQUIRED FOR NEW CONSTRUCTION, U.O.N.
 - REMOVE EXISTING CEILING FRAMING AND FINISH WHERE REQUIRED FOR NEW CONSTRUCTION, U.O.N.
 - REMOVE FLOORING TO SUB FLOOR WHERE REQUIRED FOR NEW CONSTRUCTION, U.O.N.
 - REMOVE ALL EXISTING WINDOWS AS INDICATED AND PREP OPENINGS TO RECEIVE NEW UNIT. VERIFY ALL ROUGH OPENING DIMENSIONS.
 - REMOVE EXISTING HARDSCAPE AND PREP FOR NEW HARDSCAPE.
 - ALL DEMOLISHED ITEMS AND MATERIALS TO BE REMOVED FROM SITE AND SAFELY DISPOSED OF IN ACCORDANCE WITH APPLICABLE LAWS AND REGULATIONS, UNLESS SPECIFIED OTHERWISE BY OWNER.

DEMO WALL MATRIX

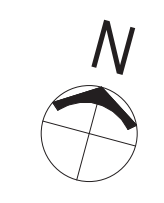
WALL	EXISTING	REMOVED	REMAINING
1	26'-0"	24'-0"	1'-4"
2	45'-0"	0'-0"	45'-0"
3	26'-0"	0'-0"	26'-0"
4	45'-0"	0'-0"	45'-0"
5	26'-0"	24'-0"	1'-4"
6	45'-0"	0'-0"	45'-0"
7	26'-0"	0'-0"	26'-0"
8	45'-0"	0'-0"	45'-0"
TOTAL	284'-0"	44'-4"	234'-8"



PREPARED BY:
 NAME: ARCHITECT MARK D. LYON, INC. REVISION 10: _____
 ADDRESS: 410 BIRD ROCK AVE. REVISION 9: _____
 LA JOLLA, CA 92037 REVISION 8: _____
 PHONE: (858) 459-1171 REVISION 7: _____
 REVISION 6: 5/21/2024
 REVISION 5: 3/21/2024
 REVISION 4: 12/20/2023
 REVISION 3: 5/22/2023
 REVISION 2: 4/20/2023
 REVISION 1: _____
 PROJECT NAME: LA JOLLA CHRISTIAN FELLOWSHIP
 627 GENTER STREET
 LA JOLLA, CA 92037
 ORIGINAL DATE: 3/22/2022

SHEET TITLE:
 AS-BUILT AND DEMO 1ST FLOOR PLAN
 SHEET 7 OF 18
 DEPI: _____

AS-BUILT & DEMO 1ST FLOOR PLAN
 1/4" = 1'-0"



REVISIONS:

1	
---	--

SUBMITTAL DATE:
12/20/2023

PHASE:
CUP

PROJECT NUMBER:
2118

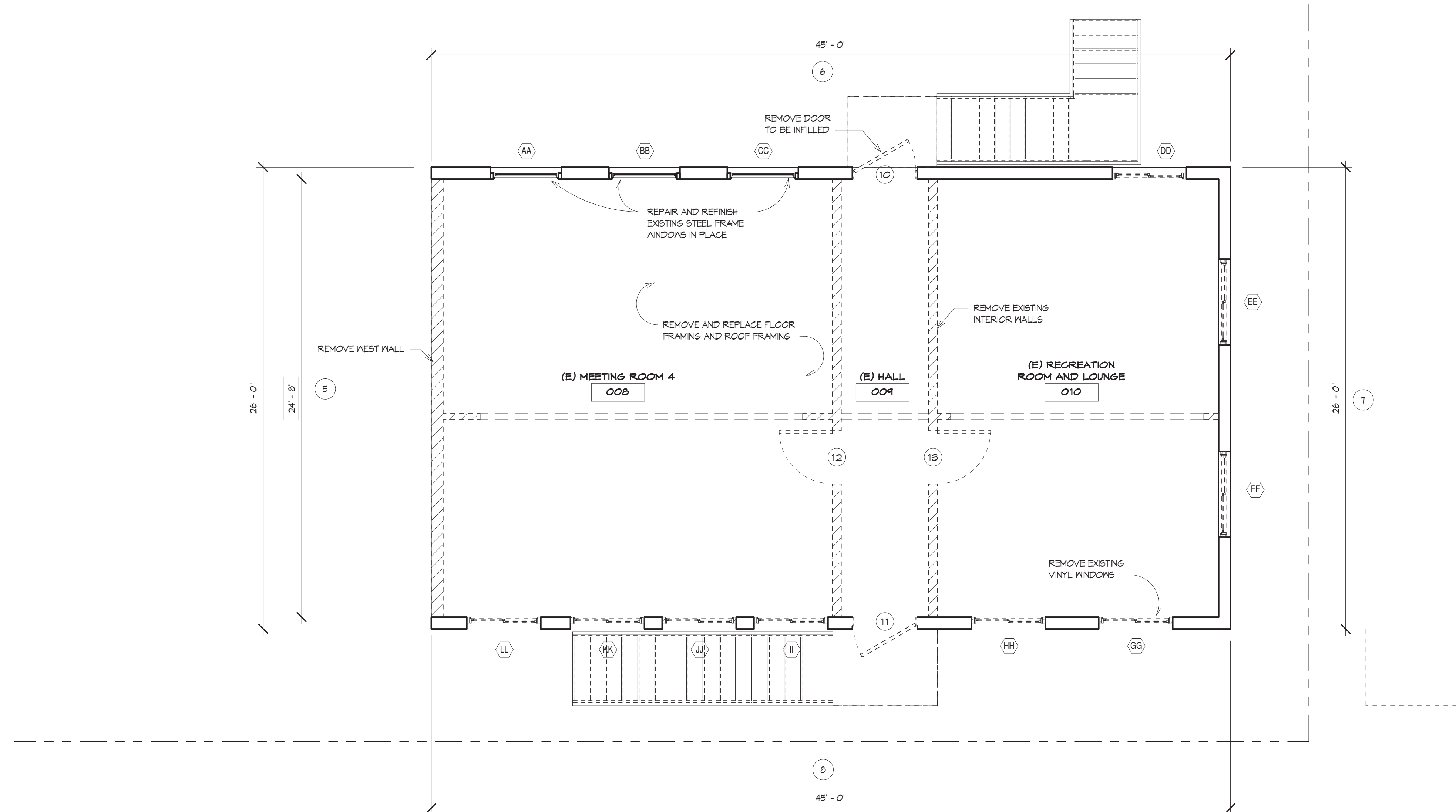
REVIEWED BY:
MDL

DRAWN BY:
K.J.L.

DATE:
5/21/2024
7:21:54 AM

SHEET TITLE:
AS-BUILT & DEMO 1ST FLOOR

All design, class and engineering as indicated on these drawings are the legal property of Architect Mark D. Lyon, Inc. & the original site and specific project for which they were prepared. Reproduction, publication or reuse by any method, in whole or in part, without the express written consent of Architect Mark D. Lyon, Inc. is prohibited. There shall be no change or deviation from these drawings or accompanying specifications without the consent of Architect Mark D. Lyon, Inc. Visual contact with these drawings and attached specifications shall constitute prima facie evidence of the acceptance of all these restrictions and prohibitions.



AS-BUILT & DEMO 2ND FLOOR PLAN
1/4" = 1'-0"



WALL LEGEND	
	EXISTING WALL TO REMAIN 4'-0"
	EXISTING WALL TO BE REMOVED 4'-0"
	EXISTING DOOR TO BE REMOVED
	EXISTING WINDOW TO BE REMOVED
ALL OTHER DASHED LINES REPRESENT ADDITIONAL ITEMS TO BE REMOVED.	

PREPARED BY:	ARCHITECT MARK D. LYON, INC.
NAME:	ARCHITECT MARK D. LYON, INC.
ADDRESS:	410 BIRD ROCK AVE LA JOLLA, CA 92037
PHONE:	(858)454-1171
PROJECT NAME:	LA JOLLA CHRISTIAN FELLOWSHIP 627 GENTER STREET LA JOLLA, CA 92037
SHEET TITLE:	AS-BUILT AND DEMO 2ND FLOOR PLAN
REVISION 10:	
REVISION 9:	
REVISION 8:	5/21/2024
REVISION 7:	3/27/2024
REVISION 6:	12/20/2023
REVISION 5:	9/22/2023
REVISION 4:	4/20/2022
REVISION 3:	
REVISION 2:	
REVISION 1:	
ORIGINAL DATE:	3/22/2022
SHEET B OF 19	
DEPT:	

ARCHITECT MARK D. LYON, INC.
410 BIRD ROCK AVE., LA JOLLA CA 92037 (858) 459-1171 INFO@MDLA.NET

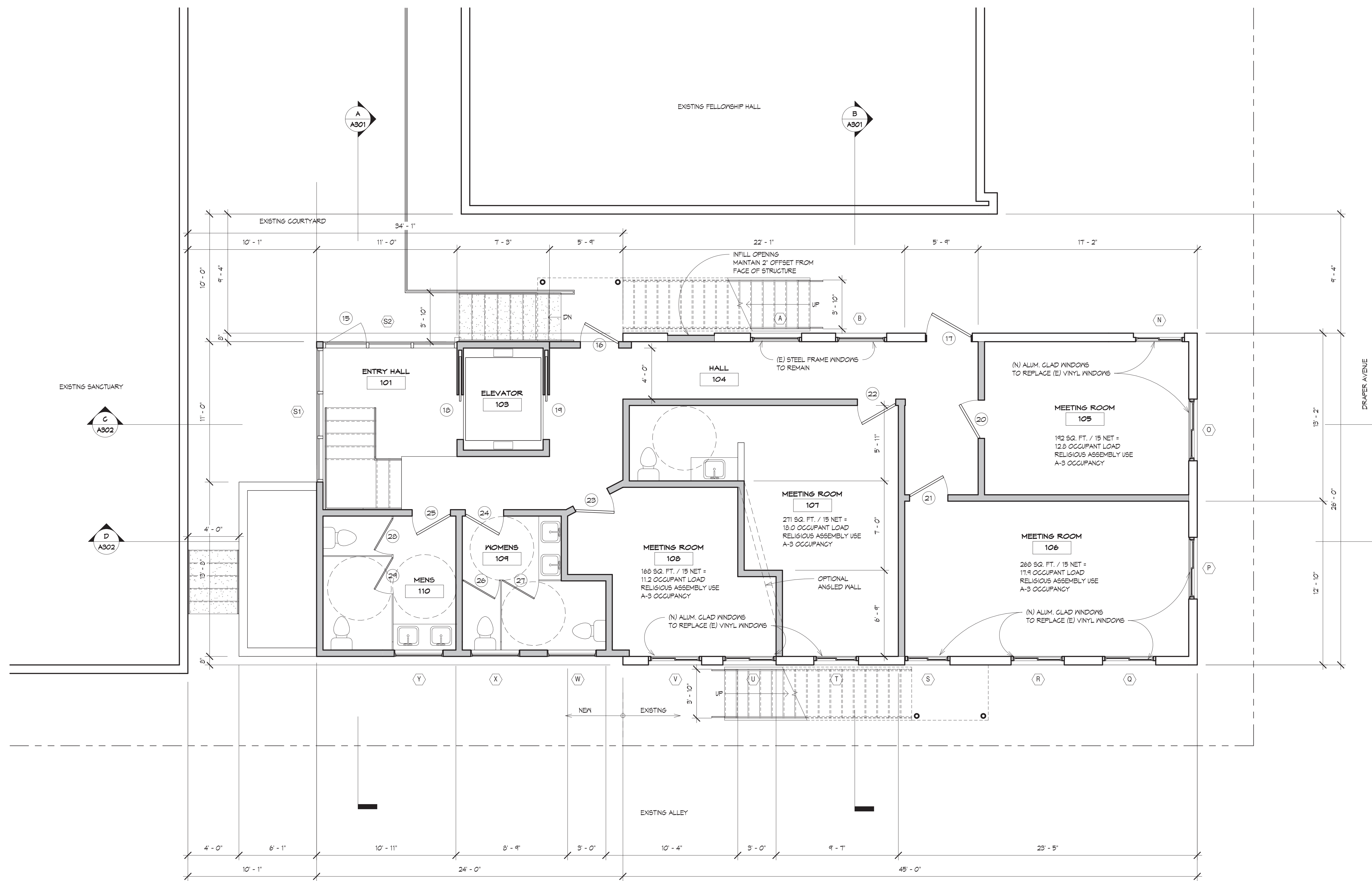


LA JOLLA CHRISTIAN FELLOWSHIP
627 GENTER STREET
LA JOLLA, CA 92037

REVISIONS:	1
SUBMITTAL DATE:	12/20/2023
PHASE:	CUP
PROJECT NUMBER:	2118
REVIEWED BY:	MDL
DRAWN BY:	KJL
DATE:	5/21/2024 7:21:54 AM
SHEET TITLE:	AS-BUILT & DEMO 2ND FLOOR PLAN

AD102

All design, class and engineering are in accordance with the legal property of Architect Mark D. Lyon, Inc. & the original site and specific project for which they were prepared. Reproduction, publication or re-use by any method, in whole or part, without the express written consent of Architect Mark D. Lyon, Inc. is prohibited. These plans are to be used for construction purposes only. No other use is intended. These drawings are the property of Architect Mark D. Lyon, Inc. and shall remain confidential. No part of these drawings shall be reproduced or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of Architect Mark D. Lyon, Inc. All rights reserved.



WALL LEGEND	
	EXISTING WALL TO REMAIN
	NEW CONC. WALL
	FURRED WALL - EXISTING 2X4 EXTERIOR WALL STUDS SISTERED 1/4" 2X6 STUDS
	NEW WALL: 2X WOOD STUD @ 16" O.C. EXTERIOR WALLS: 2X6 CONSTRUCTION INTERIOR PARTITIONS: 2X4 CONSTRUCTION UNLESS OTHERWISE NOTED.
	NEW CMU WALL
	INTERIOR PARTITIONS: 2X4 CONSTRUCTION NEW DOOR, INSTALLED 4" FROM ADJACENT WALL UNLESS OTHERWISE NOTED
	4' U.O.N.
	NEW POCKET DOOR, INSTALLED 4" FROM ADJACENT WALL UNLESS OTHERWISE NOTED
	4' U.O.N. EXTERIOR WALL DIMENSIONS TO FACE OF STUD/PTCN. WALL INTERIOR WALL DIMENSIONS TO FACE OF STUD OR CENTER LINE ζ
SEE SP-1 FOR INSULATION SPECIFICATIONS.	

PREPARED BY:
 NAME: ARCHITECT MARK D. LYON, INC.
 ADDRESS: 410 BIRD ROCK AVE. LA JOLLA, CA 92037
 PHONE: (858) 459-1171

REVISION 10: _____
 REVISION 9: _____
 REVISION 8: _____
 REVISION 7: _____
 REVISION 6: _____
 REVISION 5: 5/21/2024
 REVISION 4: 3/21/2024
 REVISION 3: 12/20/2023
 REVISION 2: 5/22/2023
 REVISION 1: 4/20/2023

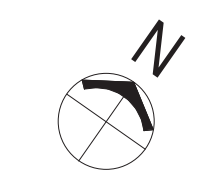
PROJECT NAME:
 LA JOLLA CHRISTIAN FELLOWSHIP
 627 GENTER STREET
 LA JOLLA, CA 92037

ORIGINAL DATE: 3/22/2022

SHEET TITLE:
 1ST FLOOR PLAN

SHEET: 9 OF 18
 DEPI: _____

1ST FLOOR PLAN
 1/4" = 1'-0"



ARCHITECT MARK D. LYON, INC.
 410 BIRD ROCK AVE., LA JOLLA CA 92037
 (858) 459-1171 INFO@MDLA.NET



LA JOLLA CHRISTIAN FELLOWSHIP
 627 GENTER STREET
 LA JOLLA, CA 92037

REVISIONS:	
1	

SUBMITTAL DATE: 12/20/2023

PHASE: CUP

PROJECT NUMBER: 2118

REVIEWED BY: MDL

DRAWN BY: K.J.L / R.H

DATE: 5/21/2024 7:21:54 AM

SHEET TITLE: 1ST FLOOR PLAN

A101

All design, plans and arrangements are the property of Architect Mark D. Lyon, Inc. and shall remain the property of Architect Mark D. Lyon, Inc. No part of these drawings or accompanying specifications shall be reproduced or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the express written consent of Architect Mark D. Lyon, Inc. A.A. is prohibited. These plans are to be used for construction only. Reproduction, publication or reuse by any method, in whole or in part, without the express written consent of Architect Mark D. Lyon, Inc. is prohibited. These plans are to be used for construction only. Reproduction, publication or reuse by any method, in whole or in part, without the express written consent of Architect Mark D. Lyon, Inc. is prohibited. These plans are to be used for construction only. Reproduction, publication or reuse by any method, in whole or in part, without the express written consent of Architect Mark D. Lyon, Inc. is prohibited.



LA JOLLA CHRISTIAN FELLOWSHIP
 627 GENTER STREET
 LA JOLLA, CA 92037

REVISIONS:

1	
---	--

SUBMITTAL DATE: 12/20/2023

PHASE: CUP

PROJECT NUMBER: 2118

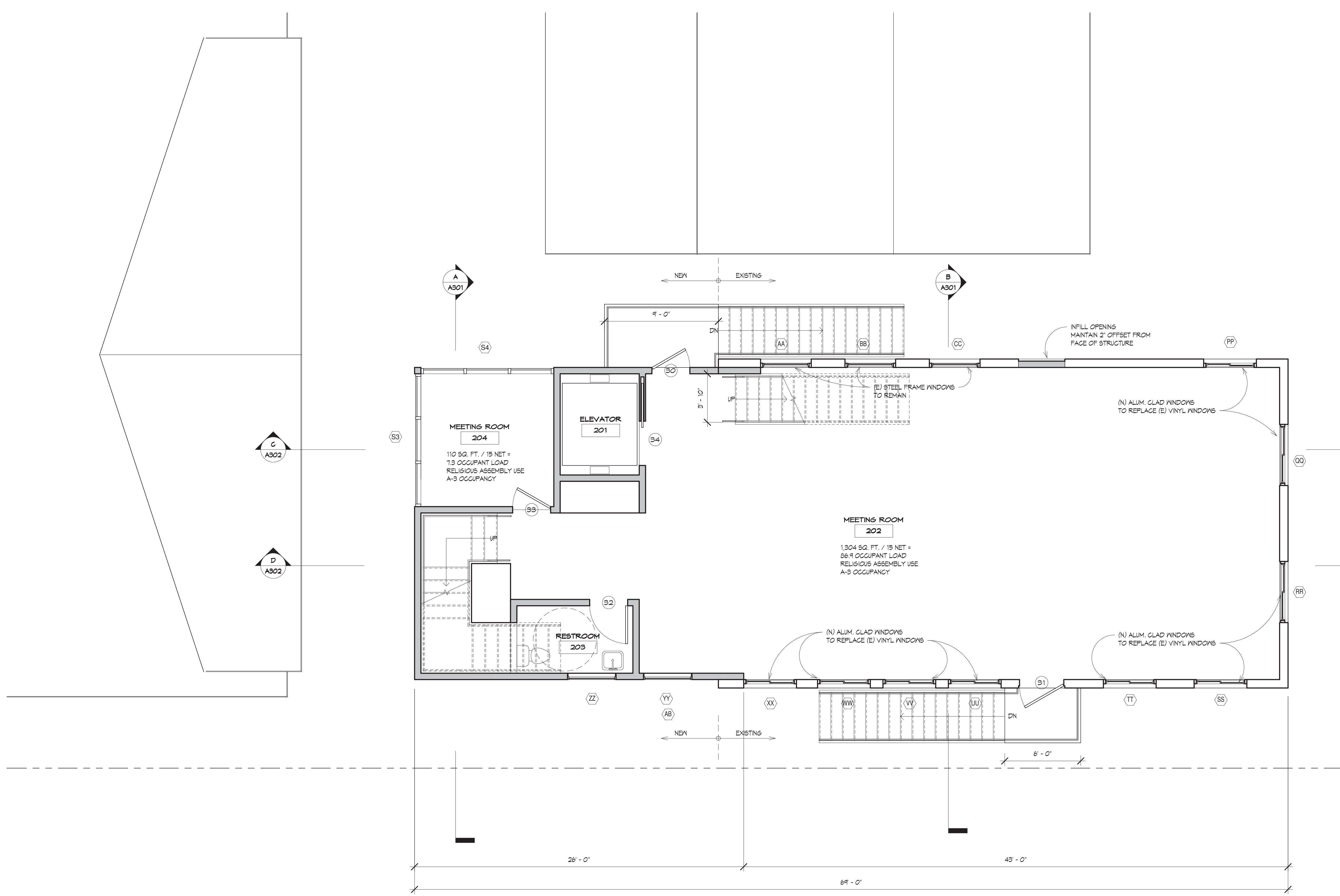
REVIEWED BY: MDL

DRAWN BY: K.J.L / R.H

DATE: 5/21/2024 7:21:55 AM

SHEET TITLE: 2ND FLOOR PLAN

All design, ideas and arrangements as indicated on these drawings are the legal property of Architect Mark D. Lyon, Inc. & the original site and specific project for which they were prepared. Reproduction, publication or re-use by any method, in whole or in part, without the express written consent of Architect Mark D. Lyon, Inc. is prohibited. These plans shall be no change or deviation from these drawings or accompanying specifications without the consent of Architect Mark D. Lyon, Inc. Visual contact with these drawings and attached specifications shall constitute prima facie evidence of the acceptance of all these restrictions with prejudice.



WALL LEGEND

	EXISTING WALL TO REMAIN
	NEW CONC. WALL
	FURRED WALL - EXISTING 2X4 EXTERIOR WALL STUDS SISTERED 1/4" 2X6 STUDS
	NEW WALL: 2X WOOD STUD @ 16" O.C. EXTERIOR WALLS: 2X6 CONSTRUCTION INTERIOR PARTITIONS: 2X4 CONSTRUCTION UNLESS OTHERWISE NOTED.
	NEW CMU WALL
	INTERIOR PARTITIONS: 2X4 CONSTRUCTION NEW DOOR, INSTALLED 4" FROM ADJACENT WALL UNLESS OTHERWISE NOTED
	4' U.O.N. NEW POCKET DOOR, INSTALLED 4" FROM ADJACENT WALL UNLESS OTHERWISE NOTED
	4' U.O.N. EXTERIOR WALL DIMENSIONS TO FACE OF STUD/PDTN. WALL. INTERIOR WALL DIMENSIONS TO FACE OF STUD OR CENTER LINE ζ

SEE SP-1 FOR INSULATION SPECIFICATIONS.

PREPARED BY:

NAME: ARCHITECT MARK D. LYON, INC.	REVISION 10: _____
ADDRESS: 410 BIRD ROCK AVE. LA JOLLA, CA 92037	REVISION 9: _____
PHONE: (858) 459-1171	REVISION 8: 5/21/2024
	REVISION 7: 3/21/2024
	REVISION 6: 12/20/2023
	REVISION 5: 5/22/2023
	REVISION 4: 4/20/2023
	REVISION 3: _____
	REVISION 2: _____
	REVISION 1: _____

PROJECT NAME: LA JOLLA CHRISTIAN FELLOWSHIP 627 GENTER STREET LA JOLLA, CA 92037

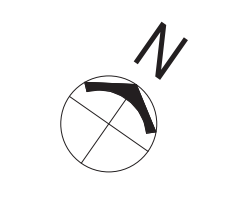
ORIGINAL DATE: 3/22/2022

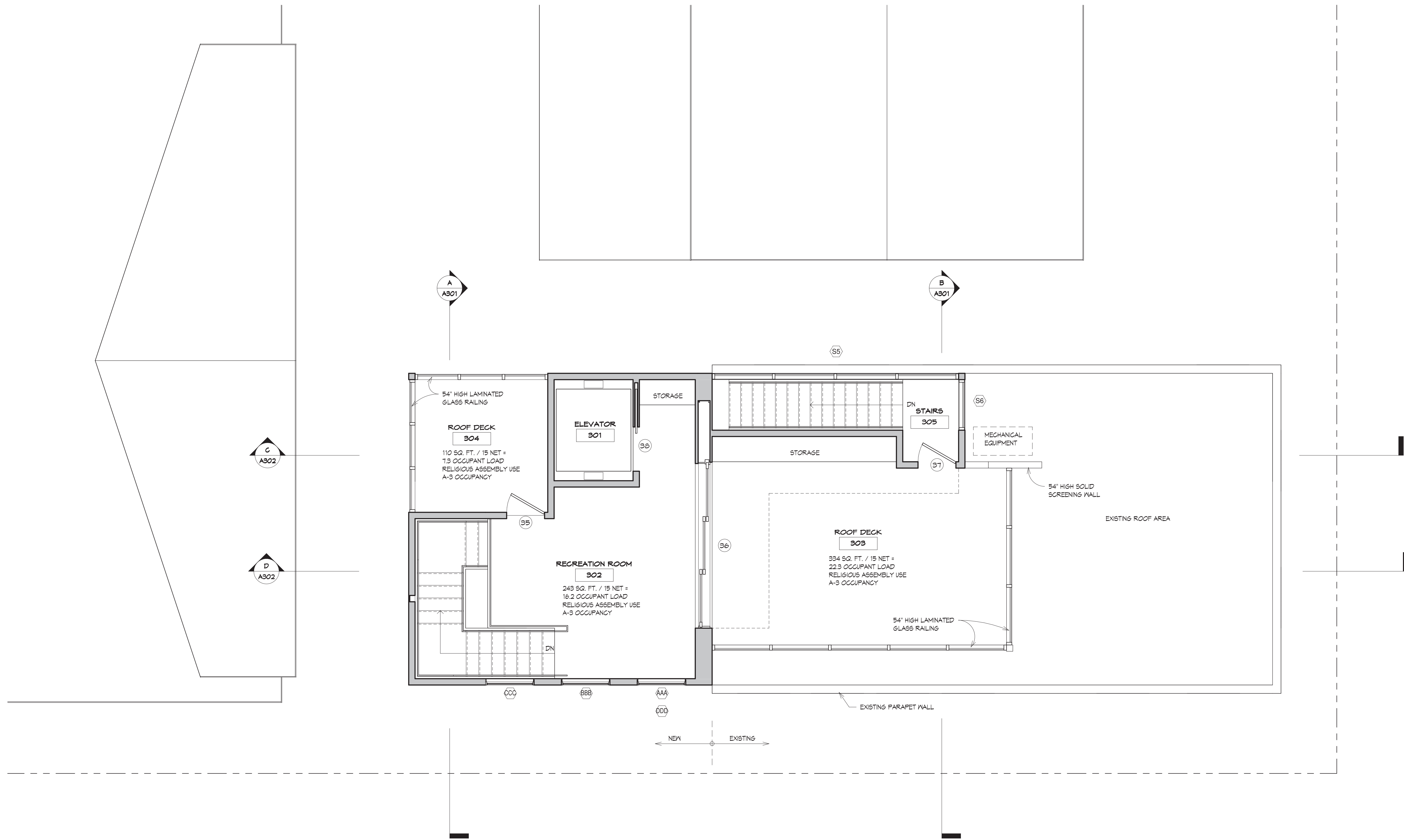
SHEET TITLE: 2ND FLOOR PLAN

SHEET 10 OF 18

DEPI: _____

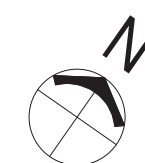
2ND FLOOR PLAN
 1/4" = 1'-0"





3RD FLOOR PLAN

1/4" = 1'-0"



WALL LEGEND	
	EXISTING WALL TO REMAIN
	NEW CONC. WALL
	FURRED WALL - EXISTING 2X4 EXTERIOR WALL STUDS SISTERED IV 2X6 STUDS
	NEW WALL: 2X WOOD STUD @ 16" O.C. EXTERIOR WALLS: 2X6 CONSTRUCTION INTERIOR PARTITIONS: 2X4 CONSTRUCTION UNLESS OTHERWISE NOTED.
	NEW CMU WALL
	INTERIOR PARTITIONS: 2X4 CONSTRUCTION NEW DOOR, INSTALLED 4" FROM ADJACENT WALL UNLESS OTHERWISE NOTED
	NEW POCKET DOOR, INSTALLED 4" FROM ADJACENT WALL UNLESS OTHERWISE NOTED
	EXTERIOR WALL DIMENSIONS TO FACE OF STUD/PTN. WALL INTERIOR WALL DIMENSIONS TO FACE OF STUD OR CENTER LINE C.
SEE SP-1 FOR INSULATION SPECIFICATIONS.	

PREPARED BY:

NAME: ARCHITECT MARK D. LYON, INC. ADDRESS: 410 BIRD ROCK AVE., LA JOLLA, CA 92037 PHONE: (858) 459-1171 PROJECT NAME: LA JOLLA CHRISTIAN FELLOWSHIP, 627 GENTER STREET, LA JOLLA, CA 92037

SHEET TITLE: 3RD FLOOR PLAN

REVISION 10: _____ REVISION 9: _____ REVISION 8: _____ REVISION 7: _____ REVISION 6: _____ REVISION 5: 5/21/2024 REVISION 4: 3/21/2024 REVISION 3: 12/20/2023 REVISION 2: 5/22/2023 REVISION 1: 4/20/2023

ORIGINAL DATE: 3/22/2022

SHEET: 11 OF 18 DEPI: _____

ARCHITECT MARK D. LYON, INC.
410 BIRD ROCK AVE., LA JOLLA CA 92037 (858) 459-1171 INFO@MDLA.NET



LA JOLLA CHRISTIAN FELLOWSHIP
627 GENTER STREET
LA JOLLA, CA 92037

REVISIONS:	
1	

SUBMITAL DATE: 12/20/2023

PHASE: CUP

PROJECT NUMBER: 2118

REVIEWED BY: MDL

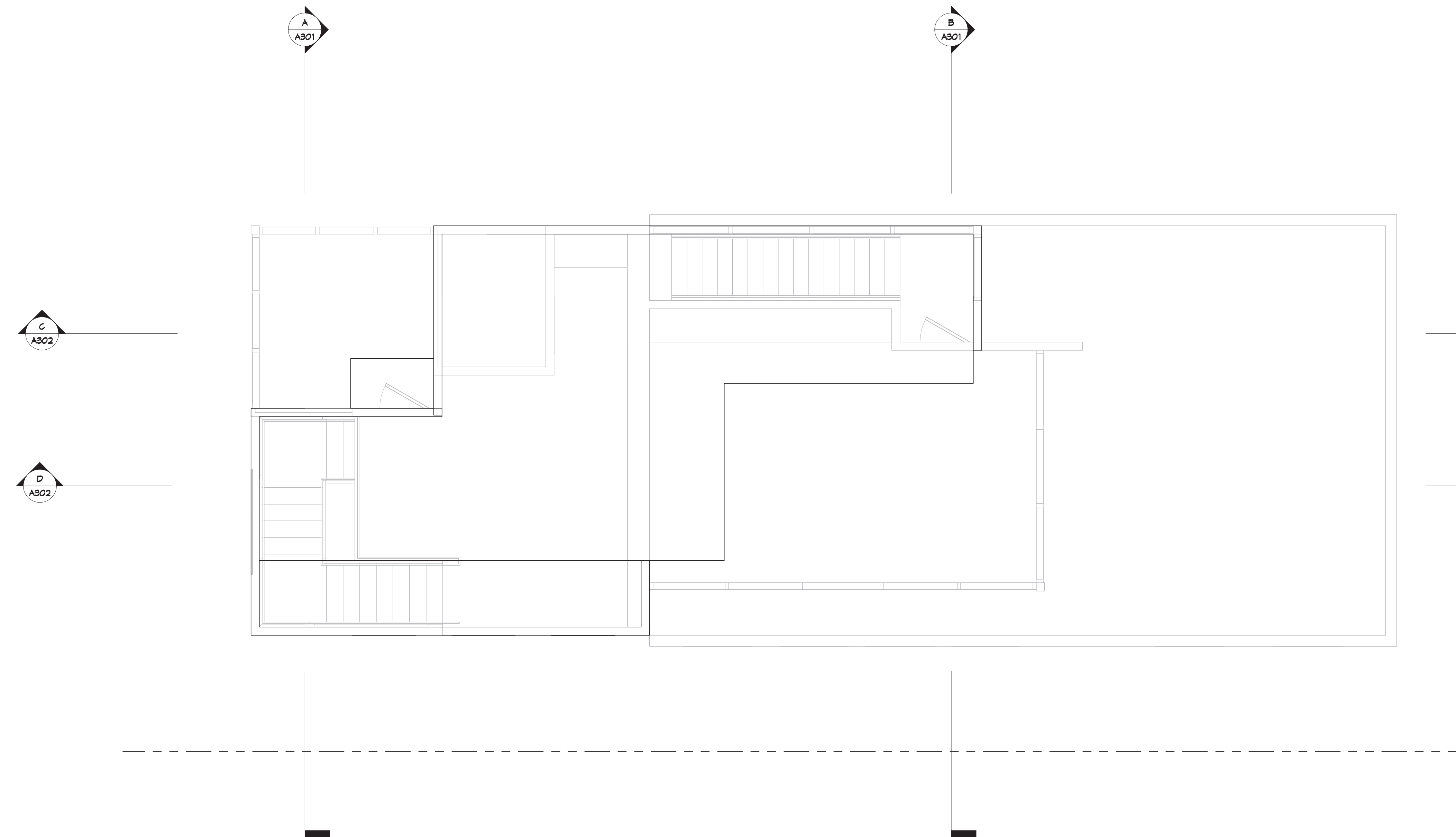
DRAWN BY: KJL, RH

DATE: 5/21/2024 7:21:55 AM

SHEET TITLE: 3RD FLOOR PLAN

A103

All design, class and engineering as indicated on these drawings are the legal property of Architect Mark D. Lyon, Inc. & the original site and specific project for which they were prepared. Reproduction, publication or re-use by any method, in whole or part, without the express written consent of Architect Mark D. Lyon, Inc. is prohibited. These plans are to be used for construction only. These drawings and attached specifications shall constitute prima facie evidence of the acceptance of all these restrictions with payment.



ROOF PLAN
1/4" = 1'-0"

NOTE

- 1) THE HIGHEST POINT OF THE ROOF, EQUIPMENT, OR ANY VENT, PIPE, ANTENNA OR OTHER PROJECTION, SHALL NOT EXCEED 30' ABOVE GRADE.
- 2) THE MAXIMUM STRUCTURE HEIGHT IN THE COASTAL OVERLAY ZONE CANNOT EXCEED 30 FEET IN HEIGHT PER SDMC SEC 131.0444 & 132.0909

MATERIAL SPECIFICATIONS:

ROOFING: GAF (OR EQUAL): 60# TPO ROOFING MEMBRANE OVER DENSEDECK ROOF BOARD OVER 30# ORGANIC FELT UNDERLAYMENT. CLASS 'A' ROOFING. 20-YEAR MINIMUM WARRANTY.

EXTERIOR STUCCO: LA HABRA STUCCO (OR EQUAL) EXTERIOR COLOR COAT OVER PORTLAND GEMENT PLASTER. SEE SHEET SP 2 FOR SPECS. TEXTURE TO BE SAND FINISH. COLOR TO CONTRAST WITH EXISTING BUILDING.

GUARDRAIL: WROUGHT IRON RAILING. COLOR PER OWNERS SELECTION

PREPARED BY:

NAME: ARCHITECT MARK D. LYON, INC.	REVISION 10: _____
ADDRESS: 410 BIRD ROCK AVE.	REVISION 9: _____
LA JOLLA, CA 92037	REVISION 8: _____
PHONE: (858)459-1171	REVISION 7: _____
	REVISION 6: _____
	REVISION 5: 5/21/2024
	REVISION 4: 3/27/2024
	REVISION 3: 12/20/2023
	REVISION 2: 2/22/2023
	REVISION 1: 4/20/2022
PROJECT NAME: LA JOLLA CHRISTIAN FELLOWSHIP	ORIGINAL DATE: 3/22/2022
627 GENTER STREET	
LA JOLLA, CA 92037	
SHEET TITLE: ROOF PLAN	SHEET 12 OF 14
	DEP: _____

ARCHITECT MARK D. LYON, INC.
410 BIRD ROCK AVE., LA JOLLA CA 92037 (858) 459-1171 INFO@MDLA.NET

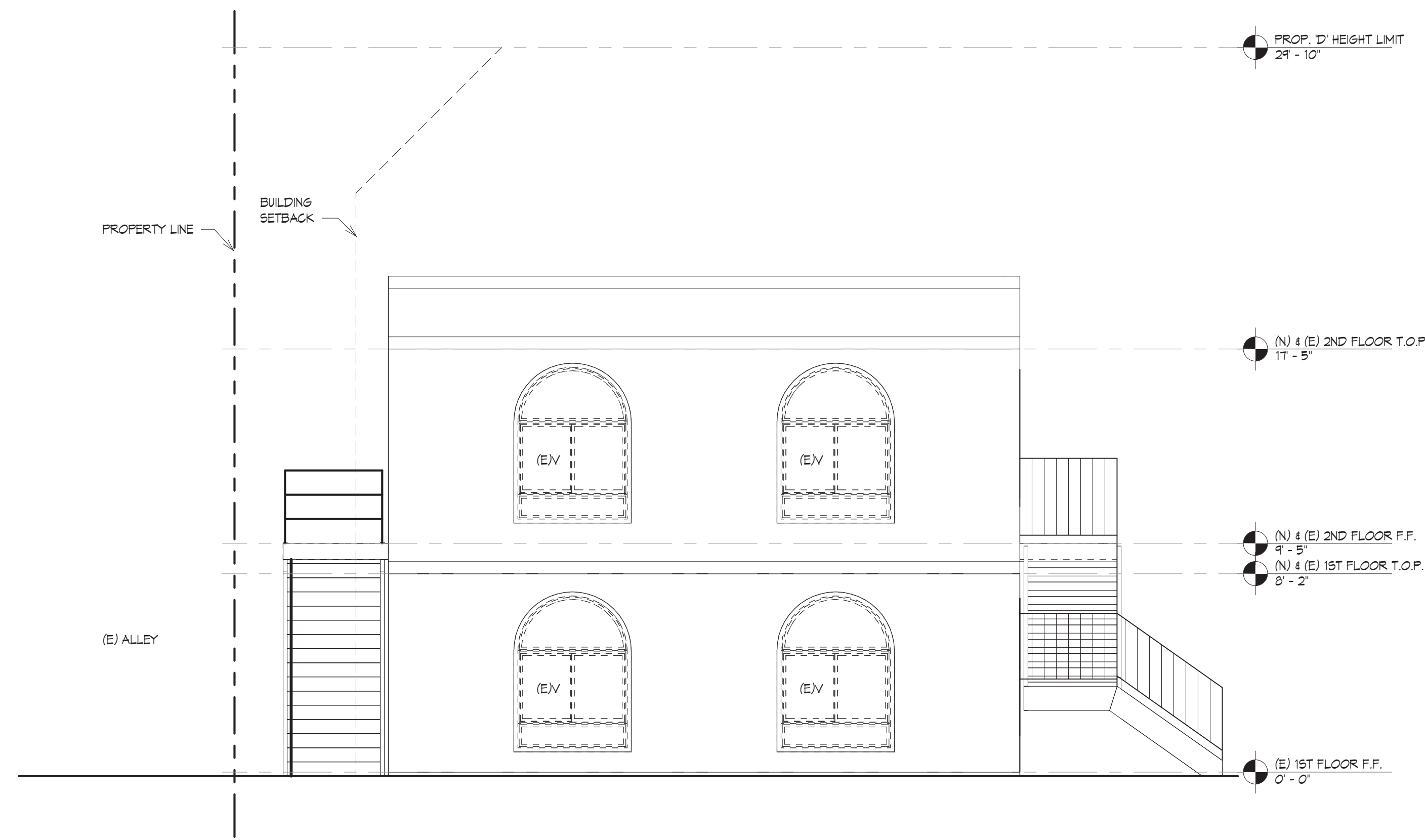


LA JOLLA CHRISTIAN FELLOWSHIP
627 GENTER STREET
LA JOLLA, CA 92037

REVISIONS:
1
SUBMITTAL DATE:
12/20/2023
PHASE:
CUP
PROJECT NUMBER:
2118
REVIEWED BY:
MDL
DRAWN BY:
K.J.L.
DATE:
5/21/2024 7:21:55 AM
SHEET TITLE:
ROOF PLAN

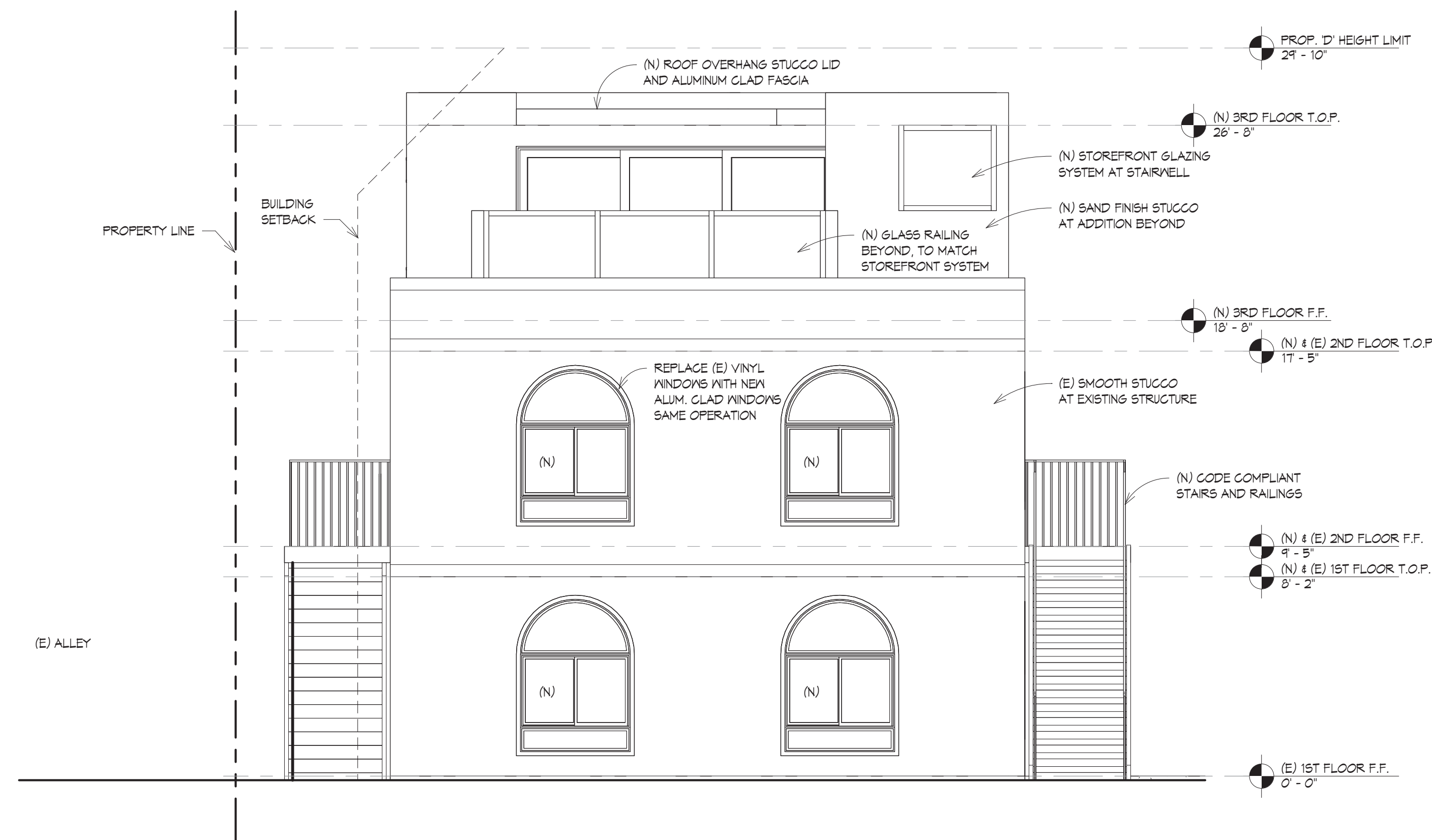
A107

All design, class and engineering are the legal property of Architect Mark D. Lyon, Inc. & the original site and specific project for which they were prepared. Reproduction, publication or reuse by any method, in whole or in part, without the express written consent of Architect Mark D. Lyon, Inc. is prohibited. There shall be no change or deviation from these drawings or accompanying specifications without the consent of Architect Mark D. Lyon, Inc. Visual contact with these drawings and attached specifications shall constitute prima facie evidence of the acceptance of all these restrictions with prejudice.



EAST ELEVATION - EXISTING

1/4" = 1'-0"



EAST ELEVATION - PROPOSED

1/4" = 1'-0"

EXISTING AND PROPOSED EXTERIOR MATERIALS	
EXISTING STRUCTURE (TO REMAIN / (E) N)	
EXTERIOR FINISH:	SMOOTH STUCCO APPLIED TO EXISTING CMU STRUCTURE (WHITE COLOR TO REMAIN)
(E) V - WINDOWS:	VINYL FRAME WINDOWS, DUAL PANE, MULLED UNITS NO MALLIONS (BURNT UMBER COLOR)
(E) S - WINDOWS:	STEEL FRAME WINDOWS, SINGLE PANE, TRUE DIVIDED LITES (TO BE REPAIRED AND REFINISHED IN PLACE)
(E) EXT. STAIRS:	WROUGHT IRON STAIRS AND RAILINGS (TO BE REPLACED IN ORDER TO COMPLY WITH CODE REQUIREMENTS FOR LIFE SAFETY)
(N) - WINDOWS:	ALUMINUM GLAD FRAME, DUAL PANE, TINTED GLASS NO MALLIONS (DARK GREY COLOR)
(N) - EXT. STAIRS:	WROUGHT IRON STAIRS AND RAILINGS (BLACK)
PROPOSED ADDITION:	
EXTERIOR FINISH:	SAND FINISH STUCCO (COLOR SHALL CONTRAST EXISTING STRUCTURE)
(N) - WINDOWS:	ALUMINUM GLAD FRAME, DUAL PANE, TINTED GLASS NO MALLIONS (DARK GREY COLOR)
STOREFRONT:	ALUMINUM FRAME, LAMINATED, TINTED GLASS NO MALLIONS (DARK GREY COLOR)
FASCIA:	ALUMINUM GLAD, DARK GREY

NOTE:
 1.) THE HIGHEST POINT OF THE ROOF EQUIPMENT, OR ANY VENT, PIPE, ANTENNA OR OTHER PROJECTION, SHALL NOT EXCEED 30' ABOVE GRADE.
 2.) THE MAXIMUM STRUCTURE HEIGHT IN THE COASTAL OVERLAY ZONE CANNOT EXCEED 30 FEET IN HEIGHT PER SDMC SEC 151.0444 & 152.0509

PREPARED BY:

NAME:	ARCHITECT MARK D. LYON, INC.	REVISION 10:	
ADDRESS:	410 BIRD ROCK AVE LA JOLLA, CA 92037	REVISION 9:	
PHONE:	(858) 459-1171	REVISION 8:	5/21/2024
PROJECT NAME:	LA JOLLA CHRISTIAN FELLOWSHIP 627 GENTER STREET LA JOLLA, CA 92037	REVISION 7:	3/21/2024
		REVISION 6:	12/20/2023
		REVISION 5:	5/22/2023
		REVISION 4:	4/20/2023
		REVISION 3:	
		REVISION 2:	
		REVISION 1:	

SHEET TITLE:	EXTENSION ELEVATIONS	ORIGINAL DATE:	3/22/2022
SHEET:	19	OF:	19
DEPI:			

ARCHITECT MARK D. LYON, INC.
 410 BIRD ROCK AVE., LA JOLLA CA 92037 (858) 459-1171 INFO@MDLA.NET

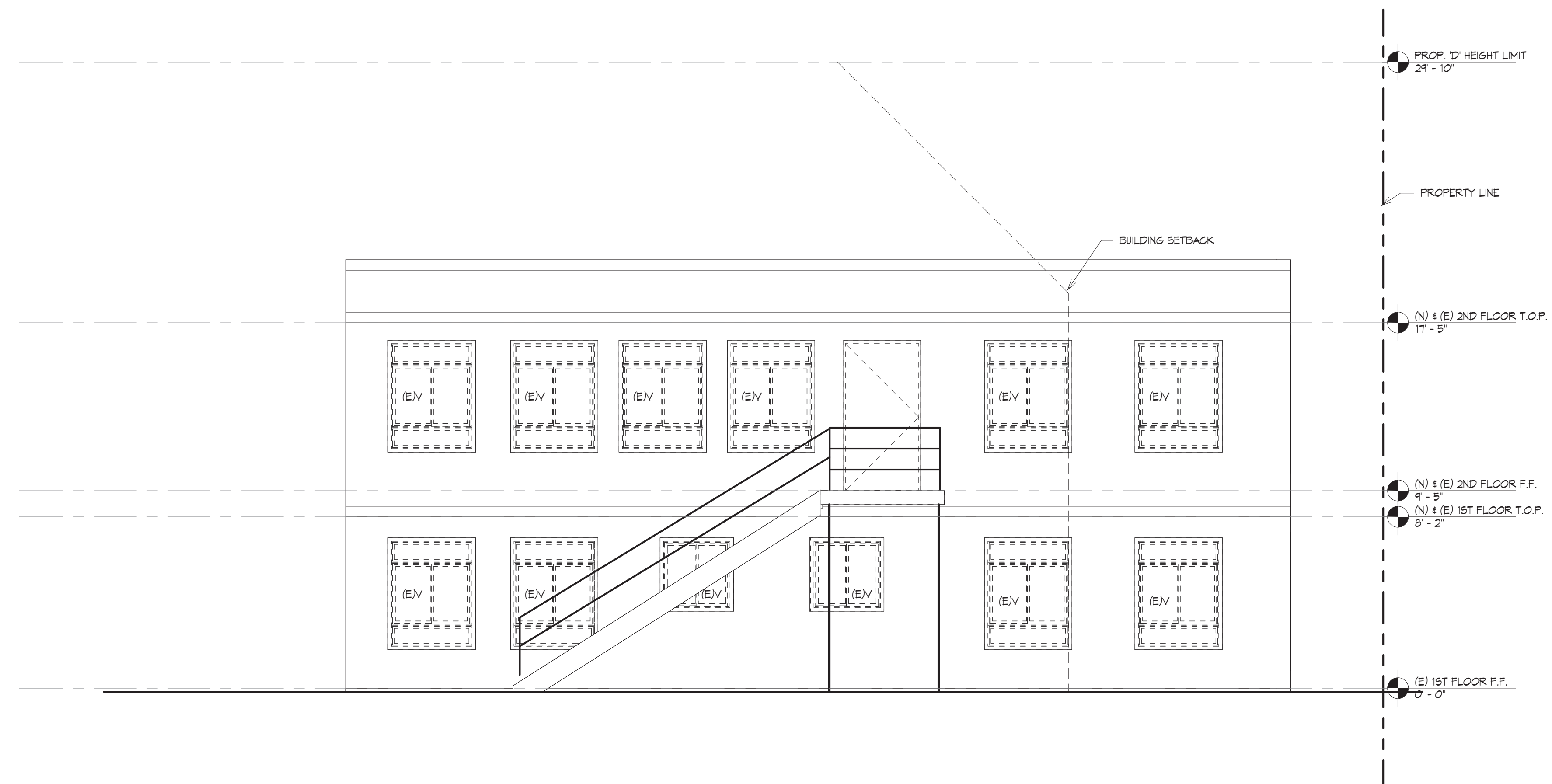


LA JOLLA CHRISTIAN FELLOWSHIP
 627 GENTER STREET
 LA JOLLA, CA 92037

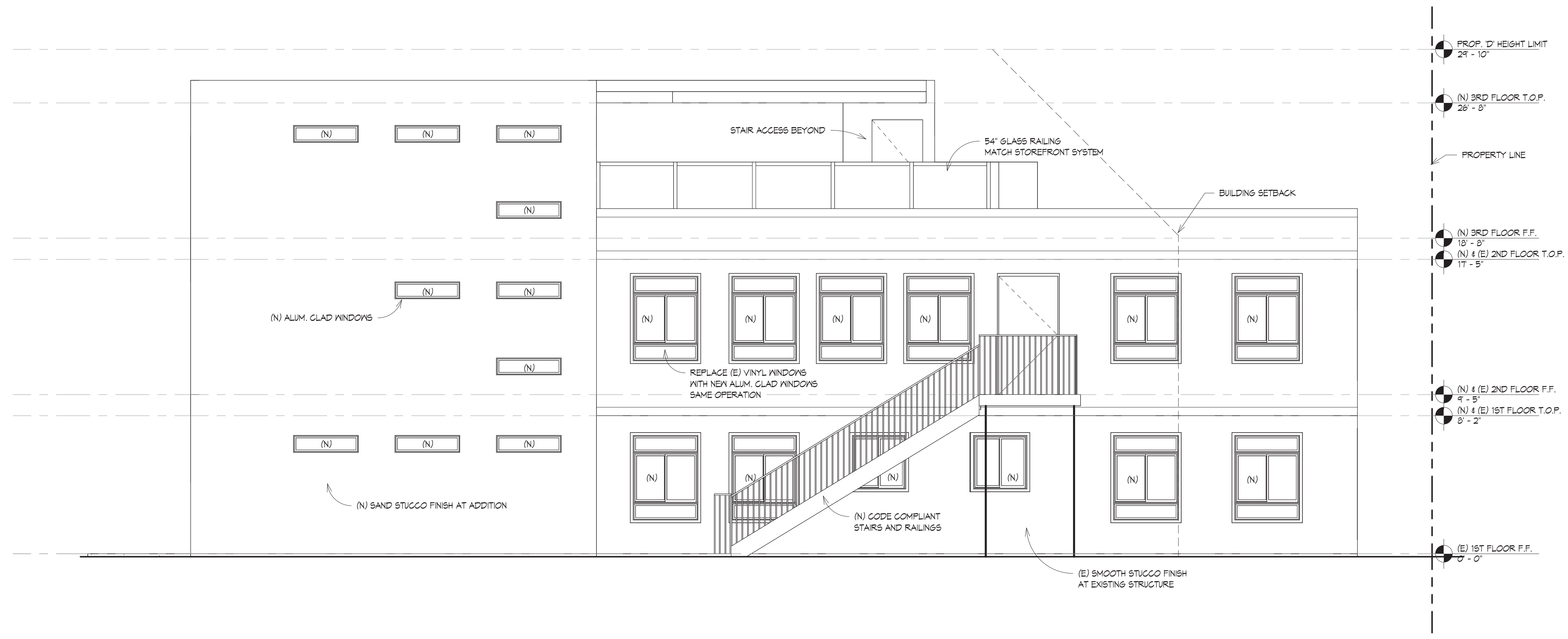
REVISIONS:	1
SUBMITTAL DATE:	12/20/2023
PHASE:	CUP
PROJECT NUMBER:	2118
REVIEWED BY:	MDL
DRAWN BY:	KJL
DATE:	5/21/2024 7:21:55 AM
SHEET TITLE:	EXTERIOR ELEVATIONS

A201

All design, plans and arrangements are the legal property of Architect Mark D. Lyon, Inc. & the original site and specific project for which they were prepared. Reproduction, publication or reuse by any method, in whole or in part, without the express written consent of Architect Mark D. Lyon, Inc. is prohibited. There shall be no change or deviation from these drawings or accompanying specifications without the consent of Architect Mark D. Lyon, Inc. Visual contact with these drawings and attached specifications shall constitute prima facie evidence of the acceptance of all these restrictions with prejudice.



SOUTH ELEVATION - EXISTING
1/4" = 1'-0"



SOUTH ELEVATION - PROPOSED
1/4" = 1'-0"

EXISTING AND PROPOSED EXTERIOR MATERIALS	
EXISTING STRUCTURE (TO REMAIN U.O.N.)	
EXTERIOR FINISH:	SMOOTH STUCCO APPLIED TO EXISTING CMU STRUCTURE (WHITE COLOR TO REMAIN)
(E.V.) - WINDOWS:	VINYL FRAME WINDOWS, DUAL PANE, MILLED UNITS NO MALLIONS (BURNT UMBER COLOR)
(E.S.) - WINDOWS:	STEEL FRAME WINDOWS, SINGLE PANE, TRUE DIVIDED LITES (TO BE REPAIRED AND REFINISHED IN PLACE)
(E) EXT. STAIRS:	WROUGHT IRON STAIRS AND RAILINGS (TO BE REPLACED IN ORDER TO COMPLY WITH CODE REQUIREMENTS FOR LIFE SAFETY)
(N) - WINDOWS:	ALUMINUM CLAD FRAME, DUAL PANE, TINTED GLASS NO MALLIONS (DARK GREY COLOR)
(N) EXT. STAIRS:	WROUGHT IRON STAIRS AND RAILINGS (BLACK)
PROPOSED ADDITION:	
EXTERIOR FINISH:	SAND FINISH STUCCO (COLOR SHALL CONTRAST EXISTING STRUCTURE)
(N) - WINDOWS:	ALUMINUM CLAD FRAME, DUAL PANE, TINTED GLASS NO MALLIONS (DARK GREY COLOR)
STOREFRONT:	ALUMINUM FRAME, LAMINATED, TINTED GLASS NO MALLIONS (DARK GREY COLOR)
FASCIA:	ALUMINUM CLAD, DARK GREY

NOTE:
1) THE HIGHEST POINT OF THE ROOF, EQUIPMENT, OR ANY VENT PIPE, ANTENNA OR OTHER PROJECTION, SHALL NOT EXCEED 30' ABOVE GRADE.
2) THE MAXIMUM STRUCTURE HEIGHT IN THE COASTAL OVERLAY ZONE CANNOT EXCEED 30 FEET IN HEIGHT PER SDMG SEC. 131.0444 & 132.0505

PREPARED BY:	
NAME: ARCHITECT MARK D. LYON, INC.	REVISION 10: _____
ADDRESS: 410 BIRD ROCK AVE LA JOLLA, CA 92037	REVISION 9: _____
PHONE: (858) 459-1171	REVISION 8: 5/21/2024
	REVISION 7: _____
	REVISION 6: 3/21/2024
	REVISION 5: 12/20/2023
	REVISION 4: 5/22/2023
	REVISION 3: 4/20/2023
	REVISION 2: _____
	REVISION 1: _____
PROJECT NAME:	
LA JOLLA CHRISTIAN FELLOWSHIP	
627 GENTER STREET	
LA JOLLA, CA 92037	
SHEET TITLE:	
EXTERIOR ELEVATIONS	
ORIGINAL DATE: 3/22/2022	
SHEET: 14 OF 18	
DEPI: _____	

ARCHITECT MARK D. LYON, INC.
410 BIRD ROCK AVE., LA JOLLA CA 92037 (858) 459-1171 INFO@MDLA.NET



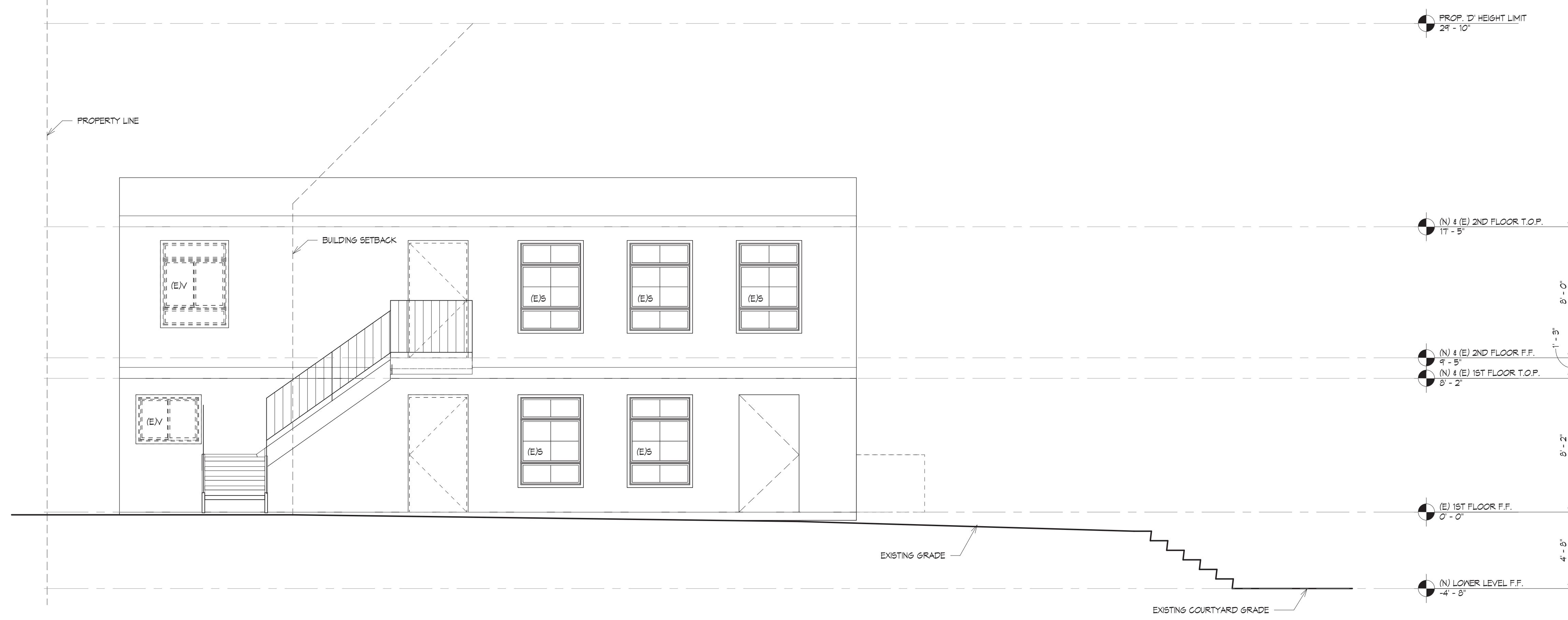
LA JOLLA CHRISTIAN FELLOWSHIP
627 GENTER STREET
LA JOLLA, CA 92037

REVISIONS:	
1	

SUBMITTAL DATE:	12/20/2023
PHASE:	CUP
PROJECT NUMBER:	2118
REVIEWED BY:	MDL
DRAWN BY:	K.J.L.
DATE:	5/21/2024 7:21:56 AM
SHEET TITLE:	EXTERIOR ELEVATIONS

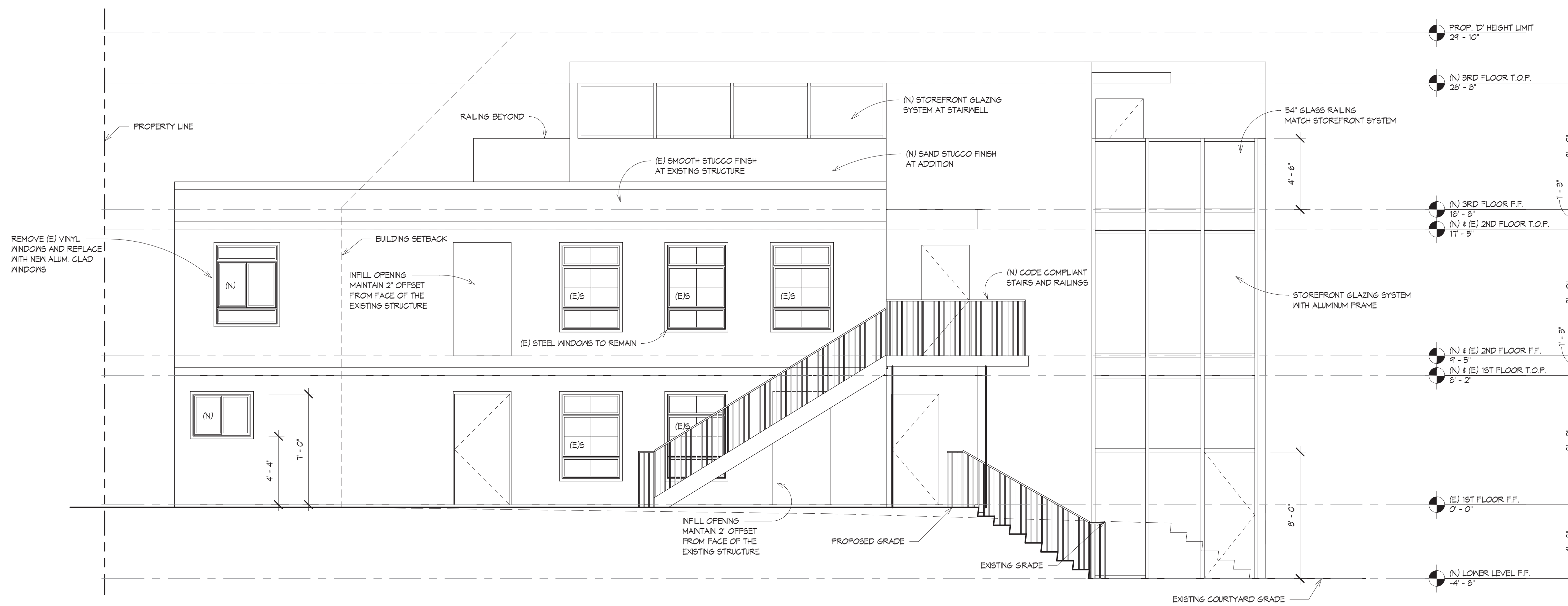
A202

All design, class and engineering as indicated on these drawings are the legal property of Architect Mark D. Lyon, Inc. & the original site and specific project for which they were prepared. Reproduction, publication or reuse by any method, in whole or in part, without the express written consent of Architect Mark D. Lyon, Inc. is prohibited. These plans shall be changed or deleted from these drawings or accompanying specifications without the consent of Architect Mark D. Lyon, Inc. Visual contact with these drawings and attached specifications shall constitute prima facie evidence of the acceptance of all these restrictions with prejudice.



NORTH ELEVATION - EXISTING

1/4" = 1'-0"



NORTH ELEVATION - PROPOSED

1/4" = 1'-0"

EXISTING AND PROPOSED EXTERIOR MATERIALS	
EXISTING STRUCTURE (TO REMAIN, U.O.N.)	
EXTERIOR FINISH:	SMOOTH STUCCO APPLIED TO EXISTING CMU STRUCTURE (WHITE COLOR TO REMAIN)
(E) V - WINDOWS:	VINYL FRAME WINDOWS, DUAL PANE, MULLED UNITS NO MULLIONS (BURNT UMBER COLOR)
(E) S - WINDOWS:	STEEL FRAME WINDOWS, SINGLE PANE, TRUE DIVIDED LITES (TO BE REPAIRED AND REFINISHED IN PLACE)
(E) EXT. STAIRS:	WROUGHT IRON STAIRS AND RAILINGS (TO BE REPLACED IN ORDER TO COMPLY WITH CODE REQUIREMENTS FOR LIFE SAFETY)
(N) - WINDOWS:	ALUMINUM GLAZ. FRAME, DUAL PANE, TINTED GLASS NO MULLIONS (DARK GREY COLOR)
(N) EXT. STAIRS:	WROUGHT IRON STAIRS AND RAILINGS (BLACK)
PROPOSED ADDITION:	
EXTERIOR FINISH:	SAND FINISH STUCCO (COLOR SHALL CONTRAST EXISTING STRUCTURE)
(N) - WINDOWS:	ALUMINUM GLAZ. FRAME, DUAL PANE, TINTED GLASS NO MULLIONS (DARK GREY COLOR)
STOREFRONT:	ALUMINUM FRAME, LAMINATED, TINTED GLASS NO MULLIONS (DARK GREY COLOR)
FASCIA:	ALUMINUM GLAZ., DARK GREY

NOTE:

- THE HIGHEST POINT OF THE ROOF, EQUIPMENT, OR ANY VENT PIPE, ANTENNA OR OTHER PROJECTION, SHALL NOT EXCEED 30' ABOVE GRADE.
- THE MAXIMUM STRUCTURE HEIGHT IN THE COASTAL OVERLAY ZONE CANNOT EXCEED 30 FEET IN HEIGHT PER SDMC SEC. 131.0444 & 132.0505

PREPARED BY:

NAME:	ARCHITECT MARK D. LYON, INC.	REVISION 10:	_____
ADDRESS:	410 BIRD ROCK AVE LA JOLLA, CA 92037	REVISION 9:	_____
PHONE:	(858) 494-1171	REVISION 8:	_____
PROJECT NAME:	LA JOLLA CHRISTIAN FELLOWSHIP 627 GENTER STREET LA JOLLA, CA 92037	REVISION 7:	_____
SHEET TITLE:	EXTERIOR ELEVATIONS	REVISION 6:	_____
		REVISION 5:	5/21/2024
		REVISION 4:	3/21/2024
		REVISION 3:	12/20/2023
		REVISION 2:	5/22/2023
		REVISION 1:	4/22/2022
		ORIGINAL DATE:	3/22/2022
		SHEET	10 OF 18
		DEPT:	_____

ARCHITECT MARK D. LYON, INC.
410 BIRD ROCK AVE., LA JOLLA CA 92037 (858) 459-1171 INFO@MDLA.NET



LA JOLLA CHRISTIAN FELLOWSHIP
627 GENTER STREET
LA JOLLA, CA 92037

REVISIONS:

1	
---	--

SUBMITTAL DATE: 12/20/2023

PHASE: CUP

PROJECT NUMBER: 2118

REVIEWED BY: MDL

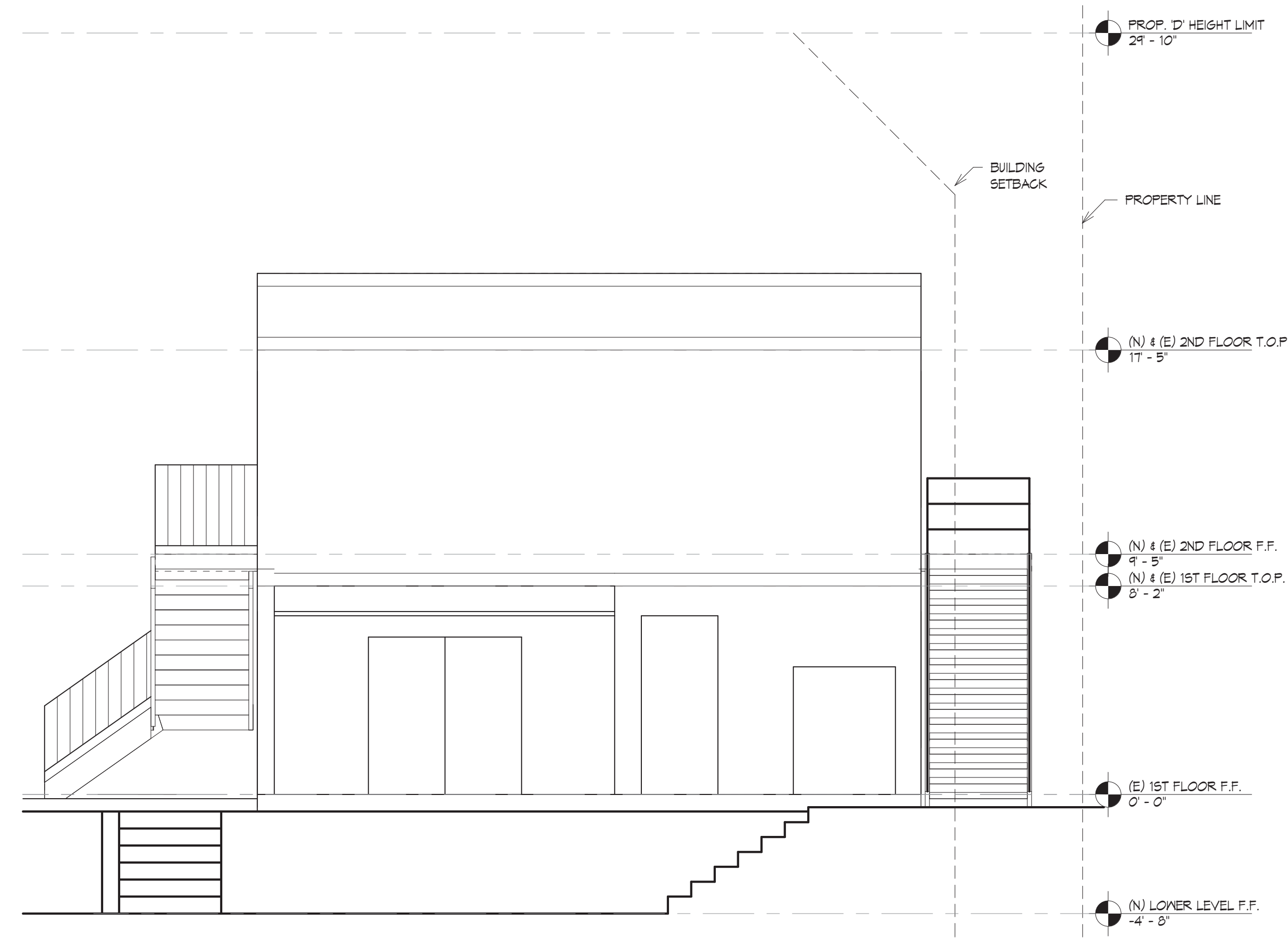
DRAWN BY: KJL

DATE: 5/21/2024 7:21:56 AM

SHEET TITLE: EXTERIOR ELEVATIONS

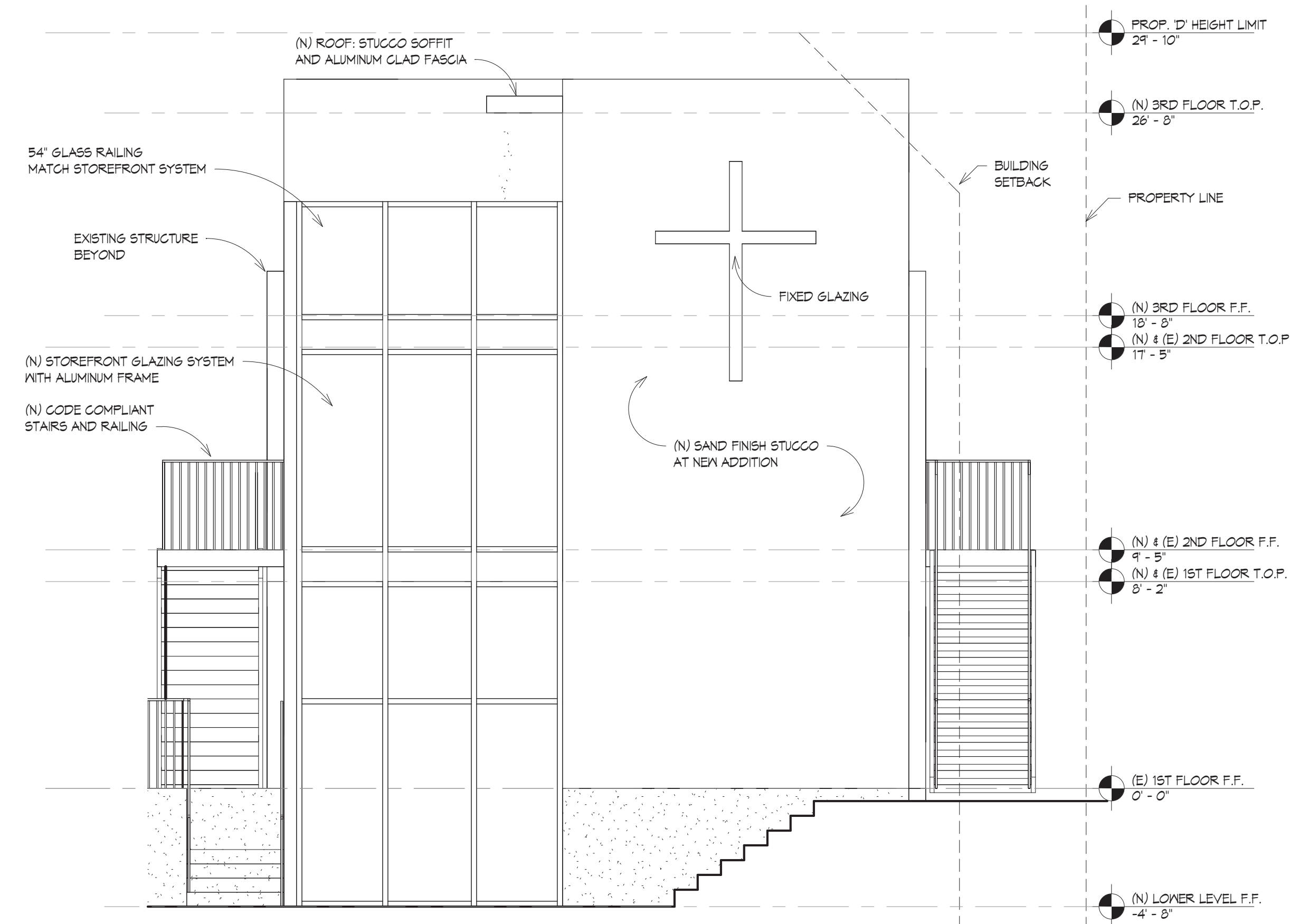
A204

All design, plans and specifications are the property of Architect Mark D. Lyon, Inc. and shall remain confidential. No part of these drawings or specifications shall be reproduced or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written consent of Architect Mark D. Lyon, Inc. A.A. is prohibited. These plans shall be changed or deleted or otherwise modified in any way without the prior written consent of Architect Mark D. Lyon, Inc. All work shall be done in accordance with the applicable laws and regulations of the State of California. The user of these drawings and specifications shall contact the architect for any questions or clarifications. The architect shall not be responsible for any errors or omissions in these drawings and specifications. The architect shall not be responsible for any delays or interruptions in the construction process. The architect shall not be responsible for any damage to property or persons. The architect shall not be responsible for any liability. The architect shall not be responsible for any other matters. The architect shall not be responsible for any other matters. The architect shall not be responsible for any other matters.



WEST ELEVATION - EXISTING

1/4" = 1'-0"



WEST ELEVATION - PROPOSED

1/4" = 1'-0"

EXISTING AND PROPOSED EXTERIOR MATERIALS	
EXISTING STRUCTURE (TO REMAIN, U.O.N.)	
EXTERIOR FINISH:	SMOOTH STUCCO APPLIED TO EXISTING CMU STRUCTURE (WHITE COLOR TO REMAIN)
(E) V - WINDOWS:	VINYL FRAME WINDOWS, DUAL PANE, MILLED UNITS NO MULLIONS (BURNT UMBER COLOR)
(E) S - WINDOWS:	STEEL FRAME WINDOWS, SINGLE PANE, TRUE DIVIDED LITES (TO BE REPAIRED AND REFINISHED IN PLACE)
(E) EXT. STAIRS:	WROUGHT IRON STAIRS AND RAILINGS (TO BE REPLACED IN ORDER TO COMPLY WITH CODE REQUIREMENTS FOR LIFE SAFETY)
(N) - WINDOWS:	ALUMINUM GLAD FRAME, DUAL PANE, TINTED GLASS NO MULLIONS (DARK GREY COLOR)
(N) EXT. STAIRS:	WROUGHT IRON STAIRS AND RAILINGS (BLACK)
PROPOSED ADDITION:	
EXTERIOR FINISH:	SAND FINISH STUCCO (COLOR SHALL CONTRAST EXISTING STRUCTURE)
(N) - WINDOWS:	ALUMINUM GLAD FRAME, DUAL PANE, TINTED GLASS NO MULLIONS (DARK GREY COLOR)
STOREFRONT:	ALUMINUM FRAME, LAMINATED, TINTED GLASS NO MULLIONS (DARK GREY COLOR)
FASCIA:	ALUMINUM GLAD, DARK GREY

NOTE:

- THE HIGHEST POINT OF THE ROOF, EQUIPMENT, OR ANY VENT PIPE, ANTENNA OR OTHER PROJECTION, SHALL NOT EXCEED 30' ABOVE GRADE.
- THE MAXIMUM STRUCTURE HEIGHT IN THE COASTAL OVERLAY ZONE CANNOT EXCEED 30 FEET IN HEIGHT PER SDMG SEC. 131.0444 & 132.0505

PREPARED BY:

NAME:	ARCHITECT MARK D. LYON, INC.	REVISION 10:	_____
ADDRESS:	410 BIRD ROCK AVE. LA JOLLA, CA 92037	REVISION 9:	_____
PHONE:	(858) 459-1171	REVISION 8:	_____
PROJECT NAME:	LA JOLLA CHRISTIAN FELLOWSHIP 627 GENTER STREET LA JOLLA, CA 92037	REVISION 7:	_____
SHEET TITLE:	EXTERIOR ELEVATIONS	REVISION 6:	_____
		REVISION 5:	5/21/2024
		REVISION 4:	3/27/2024
		REVISION 3:	12/20/2023
		REVISION 2:	5/22/2023
		REVISION 1:	4/20/2022
		ORIGINAL DATE:	3/22/2022
		SHEET 15 OF 18	
		DEPT:	_____

ARCHITECT MARK D. LYON, INC.
410 BIRD ROCK AVE., LA JOLLA CA 92037 (858) 459-1171 INFO@MDLA.NET



LA JOLLA CHRISTIAN FELLOWSHIP
627 GENTER STREET
LA JOLLA, CA 92037

REVISIONS:

1

SUBMITAL DATE:
12/20/2023

PHASE:
CUP

PROJECT NUMBER:
2118

REVIEWED BY:
MDL

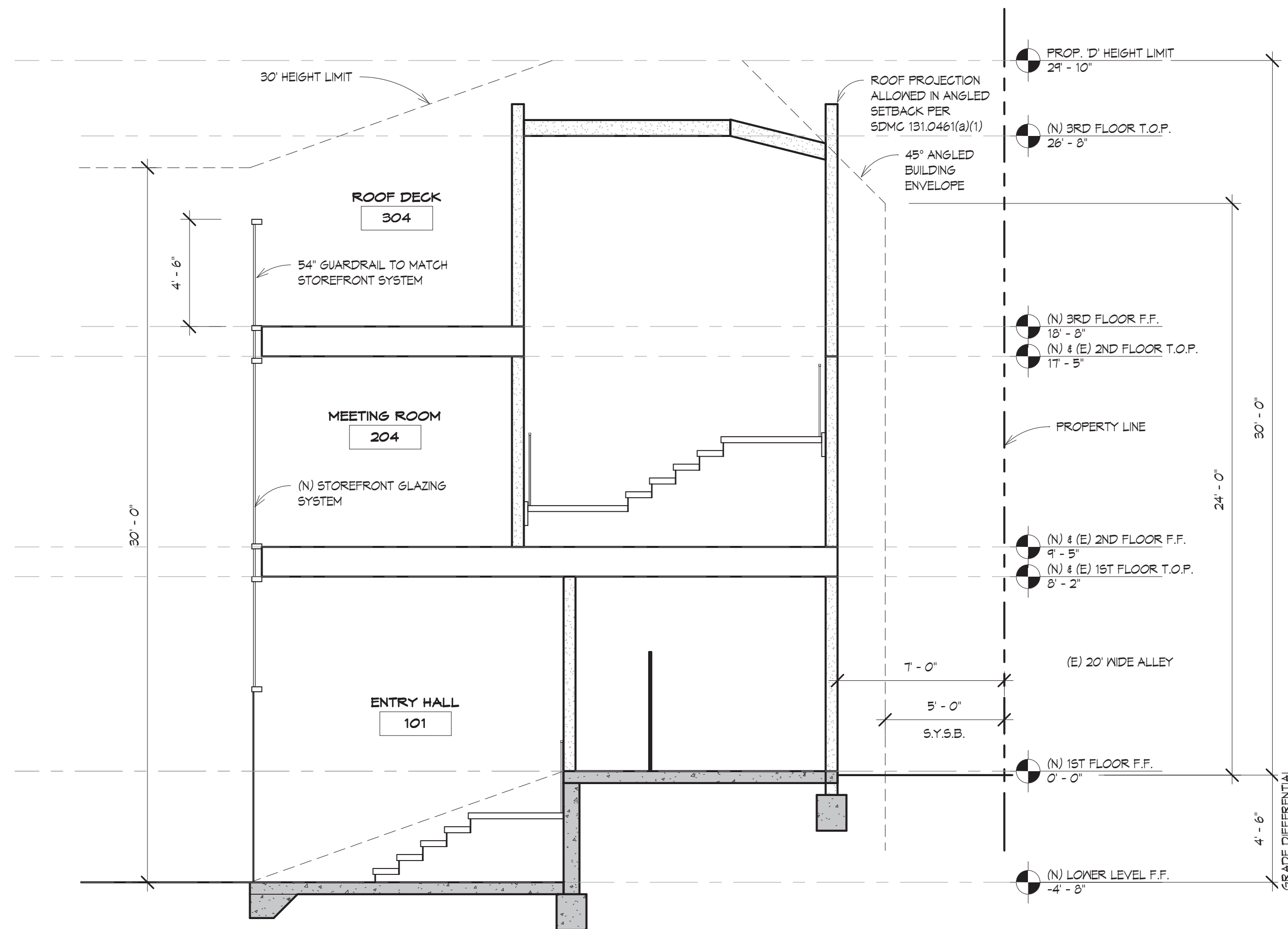
DRAWN BY:
K.J.L.

DATE:
5/21/2024
7:21:57 AM

SHEET TITLE:
EXTERIOR ELEVATIONS

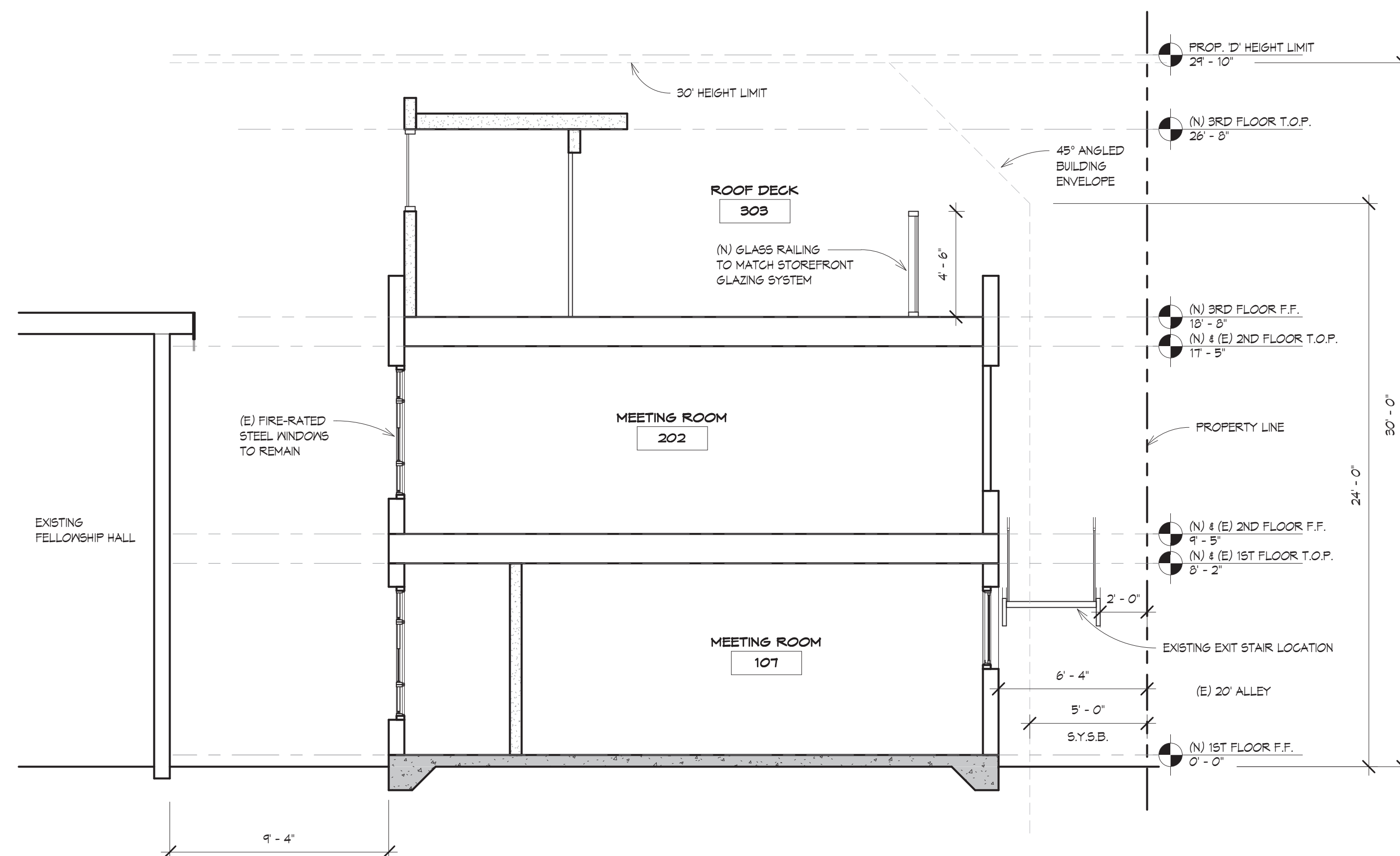
A203

All design, plans and engineering are the legal property of Architect Mark D. Lyon, Inc. & the original site and specific project for which they were prepared. Reproduction, publication or use by any method, in whole or in part, without the express written consent of Architect Mark D. Lyon, Inc. is prohibited. There shall be no change or deviation from these drawings or accompanying specifications without the consent of Architect Mark D. Lyon, Inc. Visual contact with these drawings and attached specifications shall constitute prima facie evidence of the acceptance of all these restrictions with prejudice.



Building Section A

1/4" = 1'-0"



Building Section B

1/4" = 1'-0"

PREPARED BY:

NAME: ARCHITECT MARK D. LYON, INC. REVISION 10: _____
 ADDRESS: 410 BIRD ROCK AVE. REVISION 9: _____
 LA JOLLA, CA 92037 REVISION 8: _____
 PHONE: (858)459-1171 REVISION 5: 5/21/2024
 REVISION 4: 3/27/2024
 REVISION 3: 12/20/2023
 REVISION 2: 9/22/2023
 REVISION 1: 4/20/2022

PROJECT NAME:
 LA JOLLA CHRISTIAN FELLOWSHIP
 627 GENTER STREET
 LA JOLLA, CA 92037

SHEET TITLE
 BUILDING SECTIONS

DATE: 5/21/2024 7:21:57 AM

ORIGINAL DATE: 3/22/2022

SHEET 11 OF 19

DEPT: _____

ARCHITECT MARK D. LYON, INC.
 410 BIRD ROCK AVE., LA JOLLA CA 92037 (858) 459-1171 INFO@MDLA.NET



LA JOLLA CHRISTIAN FELLOWSHIP
 627 GENTER STREET
 LA JOLLA, CA 92037

REVISIONS:
 1

SUBMITTAL DATE:
 12/20/2023

PHASE:
 CUP

PROJECT NUMBER:
 2118

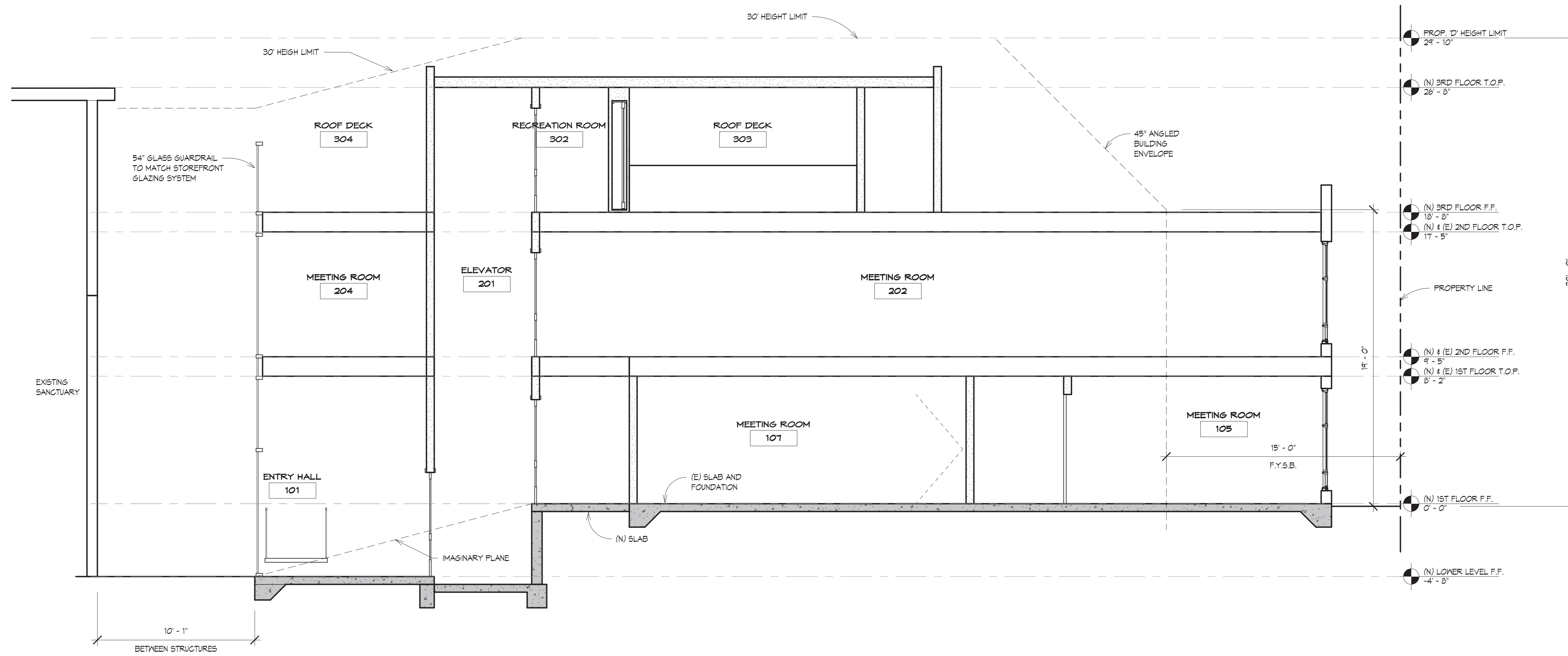
REVIEWED BY:
 MDL

DRAWN BY:
 K.J.L.

SHEET TITLE:
 BUILDING SECTIONS

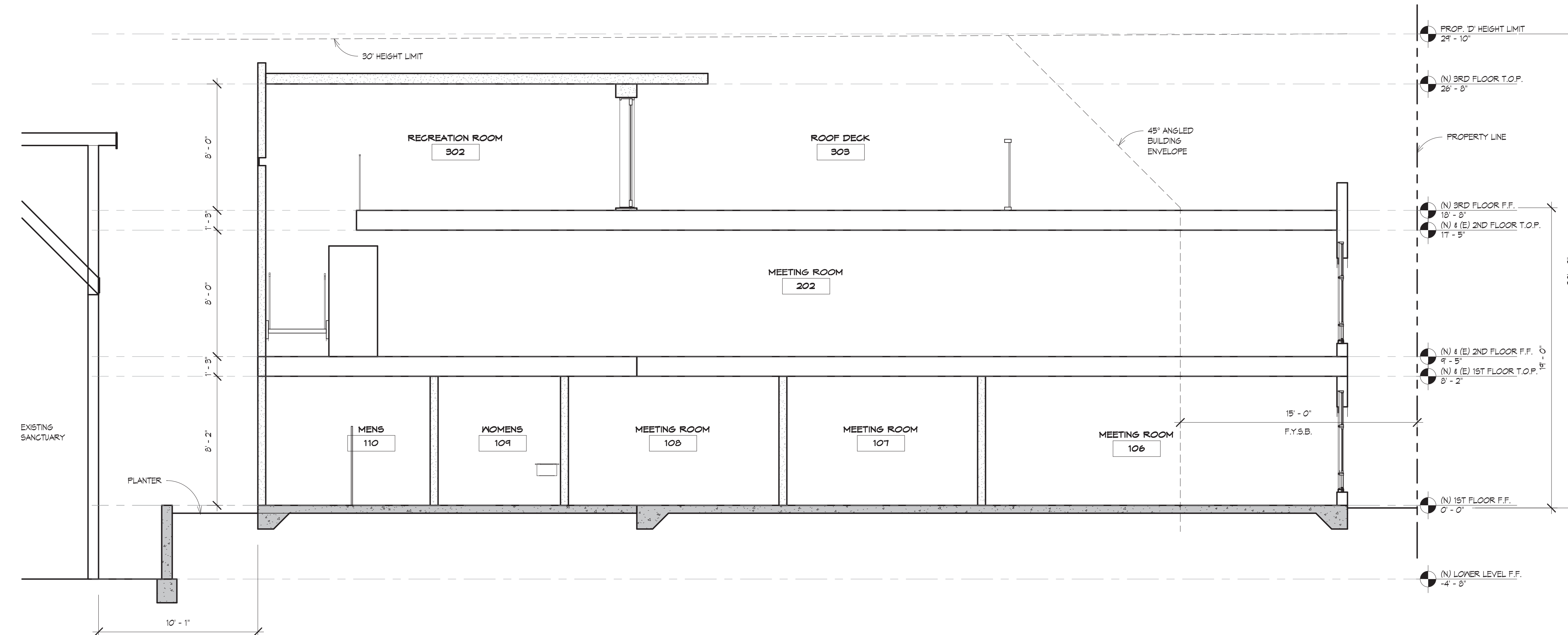
A301

All design, plans and engineering are the property of Architect Mark D. Lyon, Inc. & the original site and specific project for which they were prepared. Reproduction, publication or use by any method, in whole or part, without the express written consent of Architect Mark D. Lyon, Inc. is prohibited. These plans are to be used for the project only and do not constitute a contract. The user assumes all liability for the accuracy of all these drawings and specifications.



Building Section C

1/4" = 1'-0"



Building Section D

1/4" = 1'-0"

PREPARED BY:

NAME: ARCHITECT MARK D. LYON, INC.
 ADDRESS: 410 BIRD ROCK AVE.
 LA JOLLA, CA 92037
 PHONE: (858)454-1171

REVISION 10: _____
 REVISION 9: _____
 REVISION 8: _____
 REVISION 7: _____
 REVISION 6: _____
 REVISION 5: 5/21/2024
 REVISION 4: 3/27/2024
 REVISION 3: 12/20/2023
 REVISION 2: 9/22/2023
 REVISION 1: 4/20/2022

PROJECT NAME:
 LA JOLLA CHRISTIAN FELLOWSHIP
 627 GENTER STREET
 LA JOLLA, CA 92037

ORIGINAL DATE: 3/22/2022

SHEET TITLE:
 BUILDING SECTIONS

SHEET 18 OF 19
 DEPT: _____



LA JOLLA CHRISTIAN FELLOWSHIP
 627 GENTER STREET
 LA JOLLA, CA 92037

REVISIONS:	
1	
SUBMITTAL DATE: 12/20/2023	
PHASE: CUP	
PROJECT NUMBER: 2118	
REVIEWED BY: MDL	
DRAWN BY: KIL	
DATE: 5/21/2024 7:21:57 AM	
SHEET TITLE: BUILDING SECTIONS	

A302

ARCHITECT MARK D. LYON, INC.
 410 BIRD ROCK AVE., LA JOLLA CA 92037 (858) 459-1171 INFO@MDLA.NET

All design, plans and engineering are the property of Architect Mark D. Lyon, Inc. & the original site and specific project for which they were prepared. Reproduction, publication or use by any method, in whole or in part, without the express written consent of Architect Mark D. Lyon, Inc. is prohibited. There shall be no changes or deviations from these drawings or accompanying specifications without the express written consent of Architect Mark D. Lyon, Inc. All drawings shall be prepared in accordance with the current edition of the California Building Code and the International Building Code. The user shall be responsible for obtaining all necessary permits and approvals from the appropriate authorities. The user shall be responsible for obtaining all necessary permits and approvals from the appropriate authorities. The user shall be responsible for obtaining all necessary permits and approvals from the appropriate authorities.

