

La Jolla Shores Planned District Advisory Board (LJSPDAB)
APPLICANT PROJECT INFORMATION FORM

Please provide the following information on this form to schedule your project at an upcoming La Jolla Shores Planned District Advisory Board meeting.

For Action Items

- Project Tracking System (PTS) Number/Accela "PRJ" Number and Project Name (only submitted projects to the Development Services Department can be heard as action items):
PRJ-1133429
- Address and APN(s):
7910 Via Capri, La Jolla CA 92037
353-170-08-00
- Project contact name, phone, e-mail:
Kristy Nardini
858-243-1929
kristy@tomnardiniconstruction.com
- Project description:
Small additions at front and side; convert garage to living space; interior remodel. No landscaping.
- Please indicate the action you are seeking from the Advisory Board:
☒ Recommendation that the Project is minor in scope (Process 1)
☐ Recommendation of approval of a Site Development Permit (SDP)
☐ Recommendation of approval of a Site Development Permit (SDP) and Coastal Development Permit (CDP)
☐ Other: _____
- In addition, provide the following:
 - lot size: 10,976 sq ft
 - existing structure square footage and FAR (if applicable): 2,174 sq ft FAR 19.8%
 - proposed square footage and FAR: 3,006 sq ft FAR 27.4%
 - existing and proposed setbacks on all sides: Front 25.1'; Rear 88'; Side yard 14.2'; Street side yard 37.6'
 - height if greater than 1-story (above ground): 1 single story

For Information Items *(For projects seeking input and direction. No action at this time)*

- Project name (Unsubmitted projects can be informational items if the development team is seeking comments and direction from the Board on the concept): _____
- Address and APN(s): _____
- Project contact name, phone, e-mail: _____
- Project description: _____
- In addition to the project description, please provide the following:
 - lot size: _____

- existing structure square footage and FAR (if applicable): ____
- proposed square footage and FAR: ____
- existing and proposed setbacks on all sides: ____
- height if greater than 1-story (above ground): ____
- Project aspect(s) that the applicant team is seeking Advisory Board direction on. (Community character, aesthetics, design features, etc.): _____

Exhibits and other materials to provide:

Exhibits and other project-related presentation materials (e.g. site plan, elevations, exhibits showing addition/remodel areas, etc.) although not required, are extremely helpful in informing the Advisory Board's review and understanding of a project. The following exhibits and materials are recommended and if provided by the applicant, will be attached to the agenda and posted to the City's website:

<https://www.sandiego.gov/planning/community/profiles/lajolla/pddoab> for view by the public:

- All exhibits should be sized to 8 ½" X 11" format
- Exhibits, which can contain the following:
 - A. A site plan showing the street, the property line on all sides, the setbacks on all sides, and the setbacks from the property lines to the neighboring building;
 - B. Elevations for all sides;
 - C. If the proposal is for a remodel, a clear delineation of what part of the proposed structure is new construction
 - D. If the proposal is for a building with more than one story, show:
 - how the upper story sits on the story beneath it (setback of the upper story from the lower story);
 - the distance from the proposed upper story to comparable stories of the neighboring buildings; and
 - the height of neighboring buildings compared to the proposed structure's height.
- Any surveys that indicate similarities in floor area or architectural style in the surrounding neighborhood
- Any communications such as letter and emails from adjacent neighbors, local neighborhood groups, and/or the Homeowners' Association
- The most recent Project Issues Report for the project from the Development Services Department
- Neighborhood Survey Tabulation of Front, side, and rear setbacks.

PLEASE DO NOT PROVIDE THE FOLLOWING:

- The complete plan set of the project. Complete plan sets take up a lot of memory to distribute and most of the information is not necessary for the Advisory Board's review.
- Plans or exhibits of the interior of the project. Interiors are not reviewed by the Advisory Board.
- Personal contact information of the property owners of the project should not be included, unless they are the "owner/applicant" and they are the designated point of contact

The Advisory Board members are very keen to know that the neighbors in the immediate vicinity have been noticed and their views noted. Community conformity, setbacks, FAR, parking, view corridors, bulk & scale, and articulation are key discussion points on all projects. Action Items will be heard first.

Thank you,

Please return the information requested to no later than a week before the scheduled meeting date:

Melissa Garcia, Senior Planner
magarcia@sandiego.gov
City Planning Department
619-236-6173



Kristy Nardini
KN Design
858-243-1929
kristy@tomnardiniconstruction.com

ADDITIONAL INFORMATION

7910 Via Capri – Proposed Remodel and Addition

Project Scope: Small additions at front and side of home totaling 352 sq ft; convert existing 480 sq ft garage to interior living space; remodel existing interior.

Existing home was built in 1972. No historical or potential historical features.

Lot size = 10,976 sq ft

Existing structure = 2174 sq ft and Garage = 480 sq ft (Combined = 2654 sq ft - 24.2% FAR).

Proposed structure with garage conversion and additions = 3006 sq ft (27% FAR)

Height to remain at 1 story.

BANISADRE REMODEL AND ADDITION

7910 Via Capri, La Jolla CA 92037

KN

DESIGN

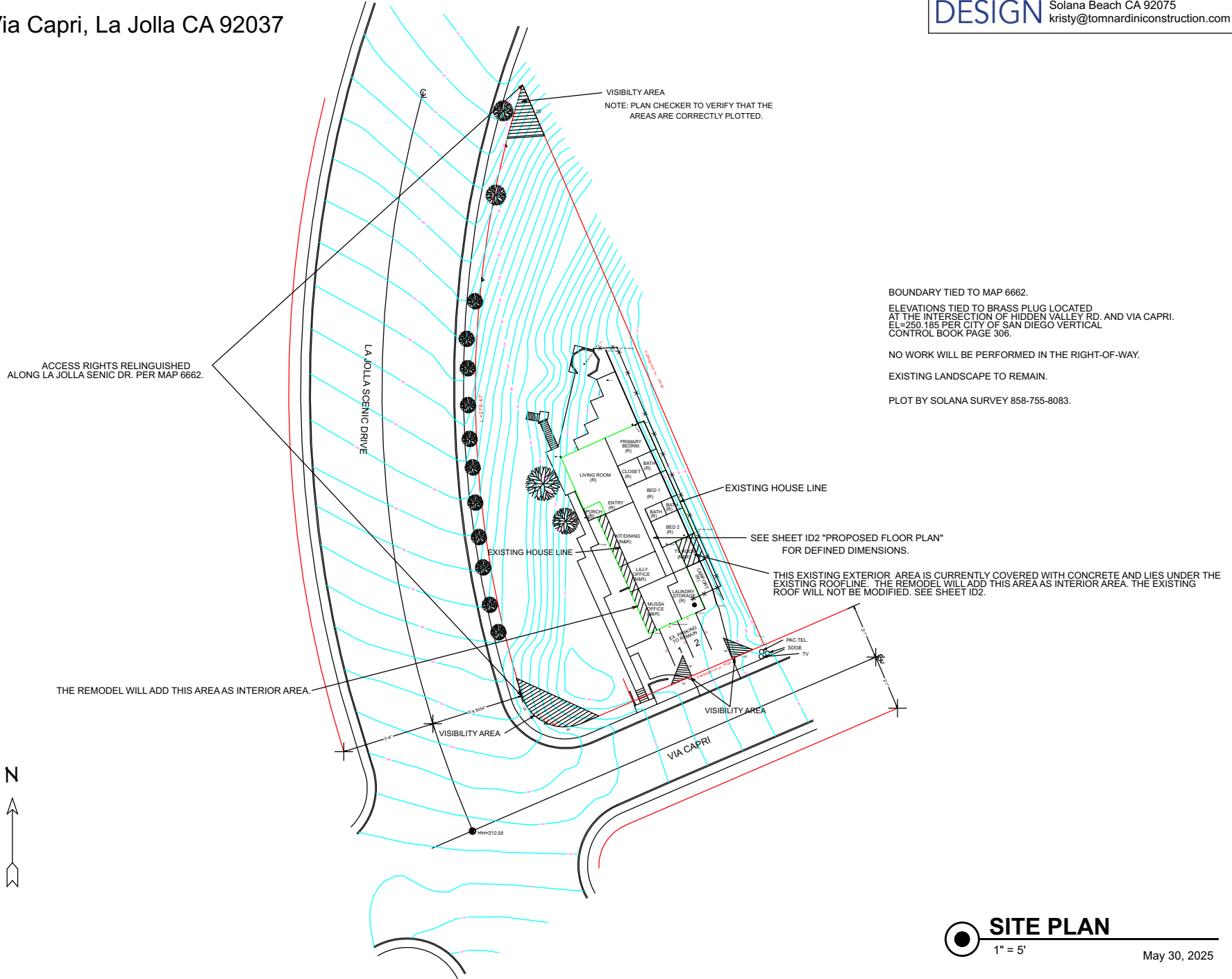
Kristy Nardini

(858) 243-1929

PO Box 445

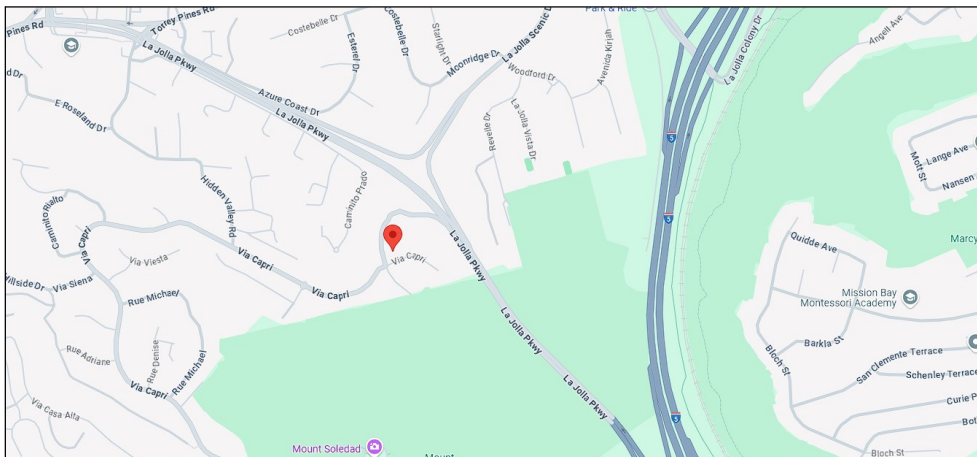
Solana Beach CA 92075

kristy@tomnardiniconstruction.com



BANISADRE REMODEL AND ADDITION

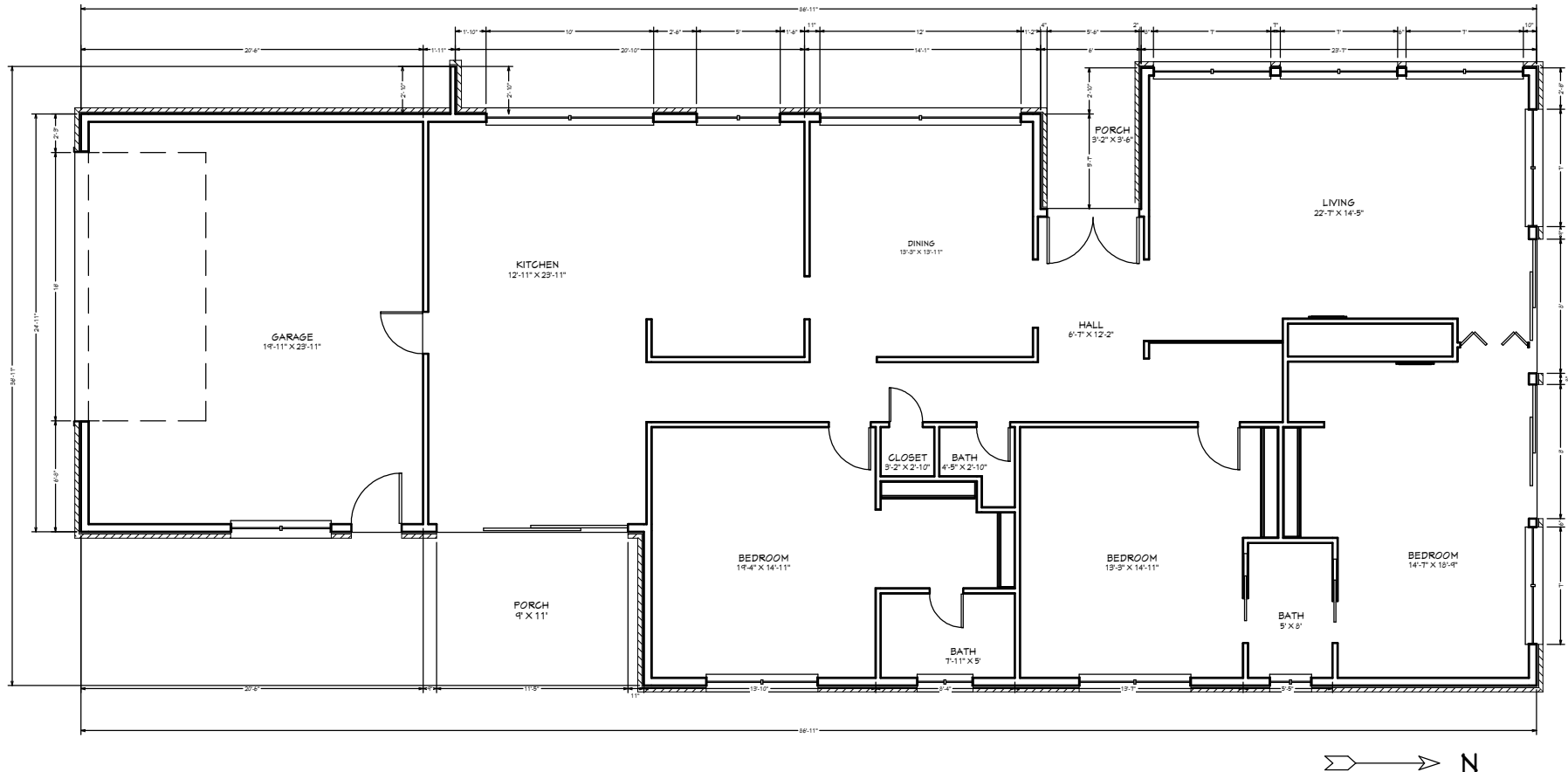
7910 Via Capri, La Jolla CA 92037



Map Location

BANISADRE REMODEL AND ADDITION

7910 Via Capri, La Jolla CA 92037



LIVING AREA
2174 SQ FT



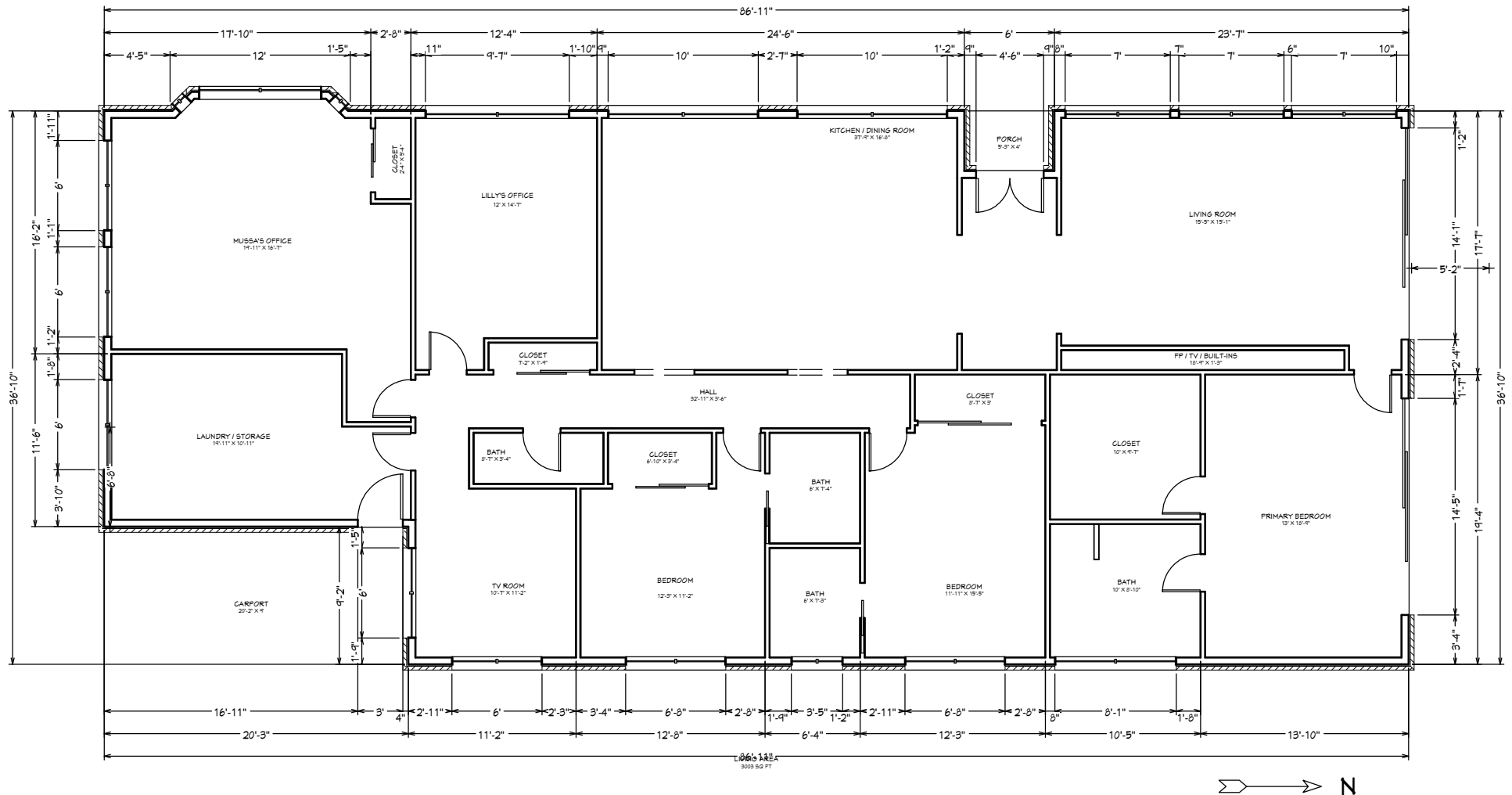
EXISTING FLOOR PLAN

1" = 10'
EXISTING HABITABLE AREA (NOT INCLUDING GARAGE): 2174 SQ FT
EXISTING GARAGE: 480 SQ FT

May 30, 2025

BANISADRE REMODEL AND ADDITION

7910 Via Capri, La Jolla CA 92037



PROPOSED FLOOR PLAN

1" = 10'

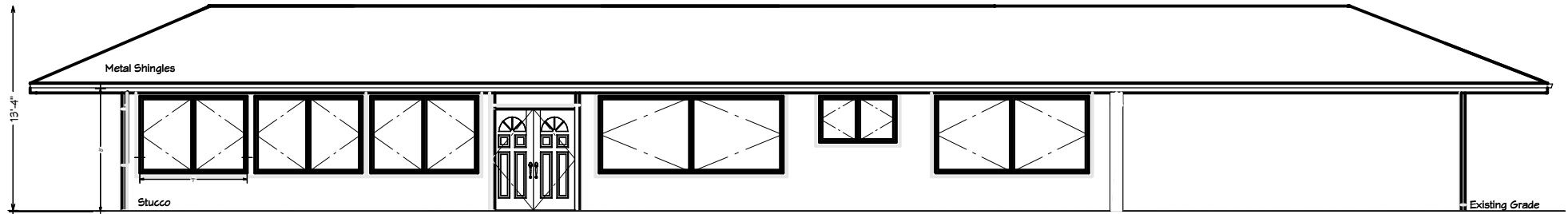
EXISTING HABITABLE AREA (NOT INCLUDING GARAGE): 2174 SQ FT
EXISTING GARAGE: 480 SQ FT

May 30, 2025

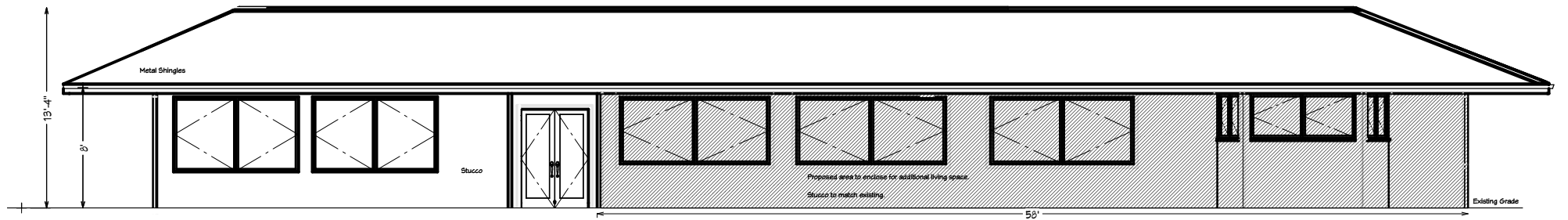
PROPOSED ADDITION: 352 SQ FT
PROPOSED GARAGE CONVERSION: 480 SQ FT
PROPOSED HABITABLE AREA: 3006 SQ FT

BANISADRE REMODEL AND ADDITION

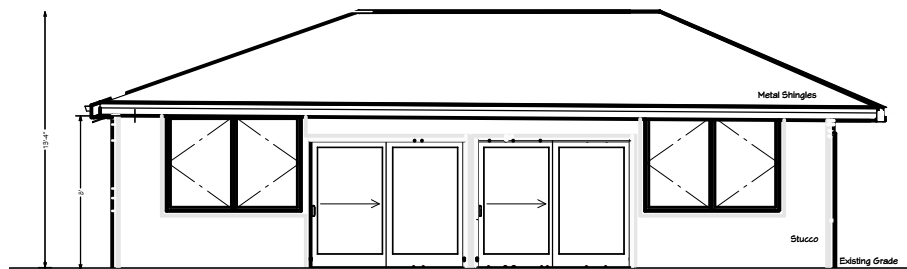
7910 Via Capri, La Jolla CA 92037



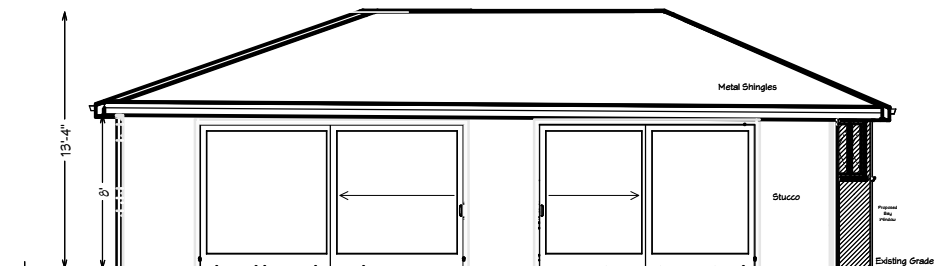
West View - Existing Elevation



West View - Proposed Elevation



North View - Existing Elevation



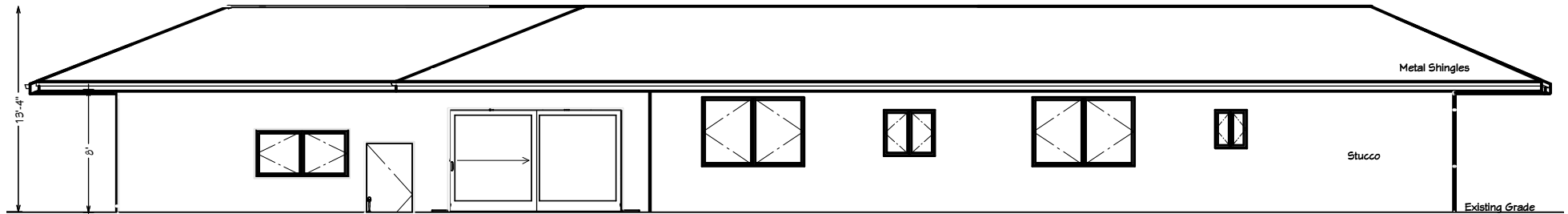
North View - Proposed Elevation

Elevations measured from existing grade.

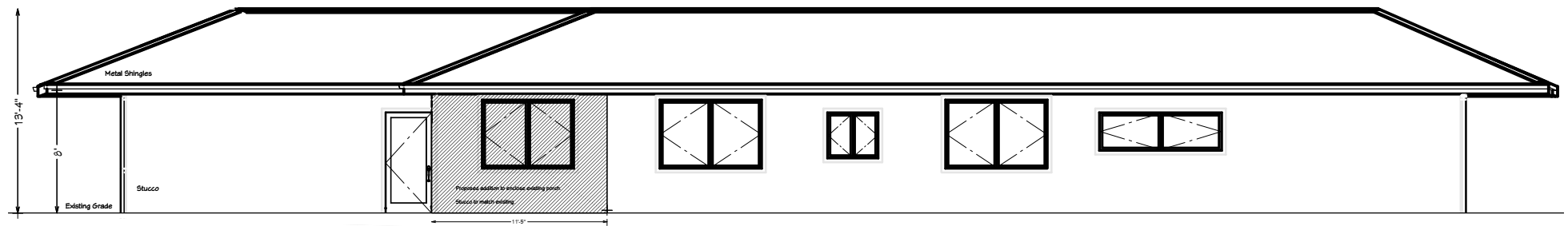
BANISADRE REMODEL AND ADDITION

7910 Via Capri, La Jolla CA 92037

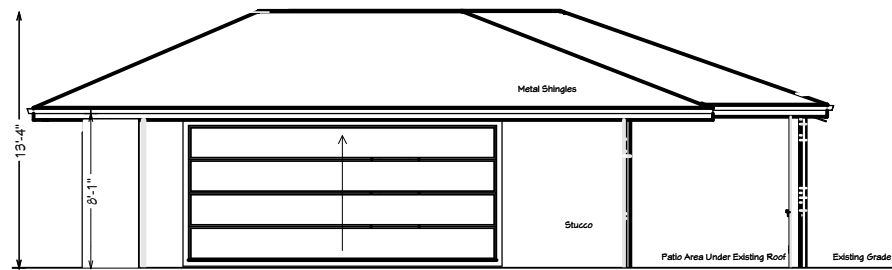
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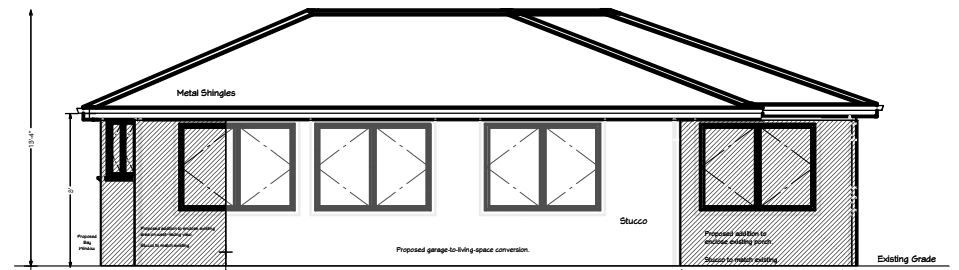
East View - Existing Elevation



East View - Proposed Elevation



South View - Existing Elevation



South View - Proposed Elevation

Elevations measured from existing grade.



ELEVATIONS

1" = 10'

May 30, 2025

Submittal: 7910 Via Capri, La Jolla CA 92037 Project PRJ-1133429 (DSD-Combined)

Comments by: Omar Garcia, City of San Diego Development Services Department Date: 5/5/25

Responses by: Kristy Nardini, KN Design Date: 5/10/25

Ref #	Sheet	Comment	Response
0035	CS1 open	Provide: <ul style="list-style-type: none"> • Updated Building Construction Plans with updated Title-24 energy calculations attached • Applicant Response to Issues • updated Water Meter Data Card • Structural Calculations 	All requested items provided.
0036	CS1 open	Your project is subject to the payment of school impact fees. The City of San Diego determines the chargeable square footage and the fee amounts are calculated by and paid to the appropriate school district(s). To calculate the fee, the school district(s) will need a City of San Diego Approval Report which documents the chargeable square footage. You may request this report via email to the Project Manager assigned to your project. Once the school fees are paid, you will need to submit a receipt or Certificate of Compliance from the respective school district(s) at the time of Permit Issuance. See Information Bulletin 146 for additional information.	Paid by homeowner, PMT-3348807
0037	CS1 open	Provide an updated Water Meter Data Card with all of the correct existing, proposed and removed water fixtures. The water fixtures on the plans do not match those on the Water Meter Data Card.	Provided. Revised Water Meter Data Card matches Existing Floor Plan ID1 and Proposed Floor Plan ID2.

Ref #	Sheet	Comment	Response
0038	SP1 open	Dimension the fire separation distance between the proposed addition/remodel and the property line. The fire separation distance is measured at right angles from the face of the exterior wall (building face) to the closest interior lot line; to the centerline of a street, an alley or public way; or to an imaginary line between two buildings on the lot.	Added to sheet Site Plan SP1.
0039	SP1 open	Provide a one-hour underside where the projection is 2' to 5' from the interior lot line.	Added to sheet Site Plan SP1.
0040	SP1 open	A minimum one-hour fire-resistance rating is required for the exterior wall due to a fire separation distance of less than five feet. Provide construction details for the one-hour fire rated wall.	Added to sheet Site Plan SP1.
0041	SP1 open	Provide a one-hour wall where the wall is less than 5' from the interior lot line.	Added to sheet Site Plan SP1.

Ref #	Sheet	Comment	Response
0042	SP1 open	<p>Provide the following notes on the plans:</p> <p>Note on the plan: " An electronically signed and registered Installation Certificate(s) (CF2R) posted by the installing contractor shall be submitted to the field inspector during construction at the building site. A registered CF2R will have a unique 21-digit registration number followed by four zeros located at the bottom of each page. The first 12 digits of the number will match the registration number of the associated CF1R. Certificate of Occupancy will not be issued until forms CF2R is reviewed and approved."</p> <p>HERS Note on the plan: "An electronically signed and registered Certificate(s) of Field Verification and Diagnostic Testing (CF3R) shall be posted at the building signed and registered Certificate(s) of Field Verification and Diagnostic Testing (CF3R) shall be posted at the building site by a certified HERS rater. A registered CF3R will have a unique 25-digit registration number located at the bottom of each page. The first 20 digits of the number will match the registration number of the associated CF2R. Certificate of Occupancy will not be issued until CF3R is reviewed and approved."</p>	Notes added to Site Plan SP1.
0043	ID2 open	Provide an exterior light at new exterior exits.	Exterior lights added at all exterior exits on Proposed Floor Plan ID2.
0044	ID2 open	Provide a level floor or landing at all existing and/or proposed exterior doors.	Level landings at all exterior doors on Proposed Floor Plan ID2.

Ref #	Sheet	Comment	Response
0045	ID2 open	On the plans, provide a water fixture list of the existing and proposed water fixtures. Provide a water fixture list for the following: <ul style="list-style-type: none"> • Existing Residence • Proposed water fixtures • Water fixtures are being removed and replaced 	List added to Proposed Floor Plan ID2. Fixtures shown on Existing Floor Plan ID1 and Proposed Floor Plan ID2.
0046	ID2 open	Show smoke alarm locations on plans.	Smoke alarm/carbon monoxide sensor locations on Proposed Floor Plan ID2.
0047	ID2 open	Show carbon monoxide sensor locations on plans.	Prop Smoke alarm/carbon monoxide sensor locations on Proposed Floor Plan ID2.
0048	ID2 open	Show a minimum clearance of 15 inches from the center line on both sides and 24 inches in front of the water closets.	Dimensions shown on Proposed Floor Plan ID2.
0049	ID2 open	Provide mechanical ventilation for the bathroom. Indicate exhaust fan capacity in CFM's. Capacity should be minimum 50 CFM.	All exhaust fans will have a minimum of 50 CFM. Locations shown on Proposed Floor Plan ID2.
0050	ID2 open	Indicate on the floor plans the location, make, model, BTU output rating, number of gallons, and tank capacity of the water heater. This must match Title 24 specifications.	Shown on Proposed Floor Plan ID2.
0051	ID2 open	Indicate the type of heating, the BTU output rating, and the location on the floor plans. This must match Title 24 specifications.	Noted on Proposed Floor Plan ID2.
0052	T24.1 open	Provide updated Title-24 energy calculations. The windows on the floor plans are not labeled or called out. Provide updated floor plans with the proposed windows called out based on the window schedule.	Updated Title 24 provided. Windows called out and window schedule updated on Proposed Floor Plan ID2.
0053	ID1 open	Provide the location of the existing stovetop in the kitchen.	Added to Existing Floor Plan ID1.

Ref #	Sheet	Comment	Response
0054	ID1 open	Clarify if the stovetop in the kitchen will be removed or relocated.	Clarified on Existing Floor Plan ID1.
0055	S5 open	Provide the spans for the proposed structural members from the Structural Calculations. (For example, RB-1, RB-2, RB-3, RB-4, etc.)	Spans provided on S5.
0056	S5 open	Provide the spans for the proposed headers on the roof framing plan.	Spans provided on S5.
0057	ID2 open	Show the size, routing, length and termination of the vent for the clothes dryer. Environmental air ducts and exhaust terminations shall terminate not less than 3' feet from a property line and 3' from openings into the building.	Shown on Proposed Floor Plan ID2.
0058	ID2 open	Add the following note and signature on the plan: "The structure(s) will be located entirely on undisturbed native soil. If the Building Inspector suspects fill, expansive soils or any geologic instability based upon observation of the foundation excavation, a soils or geological report, and resubmittal of plans for plan-check to verify that the report recommendations have been incorporated, may be required. Signature _____ by Owner / Licensed Engineer or Architect.	Note added to Brush Management Plan L1.01.
0059	ID2 open	Provide an updated window schedule for the proposed fenestration with the following information: <ul style="list-style-type: none"> • U-Factor Values • SHGC Values • Fenestration Area • Width/Height 	Updated window schedule added to Proposed Floor Plan ID2.

Ref #	Sheet	Comment	Response
0060	ID2 open	Provide updated floor plans with the proposed fenestration called out and labeled based on the window schedule.	Information added to updated window schedule on Proposed Floor Plan ID2.
0061	S6 open	Provide a fire-retardant roof covering of at least a Class 'A' rating for the proposed area.	Existing roof material is metal shingles. If any additional roofing is needed, metal shingles to match will be used.
0062	S5 open	Provide an updated roof framing plan with the spans for the proposed headers and proposed structural members from the Structural Calculations.	Spans provided on S5.
0063	ID1 open	Provide a floor plan of the existing residence with all of the existing water fixtures drawn in.	All existing water fixtures added to Existing Floor Plan ID1.
0064	CS1 open	Clarify the scope of work: Provide the square footage areas for the following: <ul style="list-style-type: none"> • Interior Remodeled Area • Addition Area • Area converted into habitable space 	Clarified on CS1 and noted on Proposed Floor Plan ID2.
0065	CS1 open	Provide a proposed site plan and clarify the scope of work: <ul style="list-style-type: none"> • Clarify what area of the house is being remodeled and provide its square footage. • Clarify what areas are being proposed as additions. • Clarify what areas are being converted into habitable space (for example, the garage conversion) 	Clarified on Site Plan SP1.
0066	CS1 open	Clarify in the scope of work: <ul style="list-style-type: none"> • Clarify if the existing kitchen will remain as is or if the interior remodel includes a kitchen remodel where the stovetop is being relocated or removed and replaced. 	The existing kitchen will be remodeled into additional square footage, in the same location. The existing electric stovetop will be relocated and replaced with a new electric stovetop.

Submittal: 7910 Via Capri, La Jolla CA 92037 Project PRJ-1133429 (DSD-Engineering)

Comments by: Qiao Zhou, City of San Diego Development Services Department Date: 4/22/25

Responses by: Kristy Nardini, KN Design Date: 5/10/25

Ref #	Sheet	Comment	Response
0017	CS1 open	Please revise the total disturbance area to include the small additions at front and side.	Revised on CS1.
0018	SP1 open	Add the following note: "Per City of San Diego Municipal Code Sections 12.0104, 43.010, 129.0104(a)(4), and 142.0220, permits are required to be inspected by City Inspection staff to ensure compliance with issued construction permit. This includes, but not limited to, Stormwater Compliance Inspection Requirements associated with each permit."	Note added to Site Plan SP1.
0019	SP1 open	Add the following note to the Site Plan: "All storm water runoff from proposed and/or replaced impervious areas shall be routed to pervious surfaces or landscaping prior to reaching the public drain system."	Note added to Site Plan SP1.
0020	SP1 open	If this statement is true, add this general note: "The project proposes no work in the public right-of-way/easement."	Note added to Site Plan SP1.
0021	SP1 open	Please provide the BMP 17 notes. FYI, If the total amount o a. 0 - 999 sq ft, the project is subject to incorporate the Storm Water Quality Construction BMP 17 Notes. b. 1,000 - 4,999 sq ft, the project is subject to incorporate a DS-570, 'Minor' WPCP into plan set. c. 5,000 sq ft, the project is subject to submit a WPCP with an Erosion Control Plan. FYI a: The Storm Water Quality Construction BMP 17 Notes are in Appendix E, Part 2 of the City of San Diego Storm Water Standards Manual (pg. 742) Storm Water Standards Manual: https://www.sandiego.gov/sites/default/files/sws_manual_may_2021_update.pdf	Notes added to Site Plan SP1.

Ref #	Sheet	Comment	Response
0022	SP1 open	Show direction of drainage using arrows on site plan, supported by contour lines or spot elevations. Include downspout locations and indicate how stormwater will be routed to pervious surfaces.	Shown on Brush Management Plan L1.01.
0023	SP1 open	Revise plans to clearly differentiate between existing and proposed improvements either by screening back the existing site improvements or using different line weights and designations. Labeling of improvements (hard/softscape) as existing or proposed is encouraged. Make it very clear as to what your project proposal plans to construct.	Added to Site Plan SP1.
0024	SP1 open	This project has been identified as being within an area of special biological significance (ASBS) watershed according to the state regional water quality control board (RWQCB). Incorporate ASBS notes located in Chapter 2 Part 2 of the City of San Diego Storm Water Standards Manual (pg 652). HTTPS://WWW.SANDIEGO.GOV/SITES/DEFAULT/FILES/STORM_WATER_STANDARDS_MANUAL_OCT_2018.PDF	Added to Site Plan SP1.
0015	1 open	Complete the Storm Water Requirements Applicability Checklist (Form DS-560) to fill all sections.	Completed.
0016	2 open	Complete the Storm Water Requirements Applicability Checklist (Form DS-560) to check off item 1 under Part B of Section 2. This project is located inside the ASBS watershed.	Completed.

Submittal: 7910 Via Capri, La Jolla CA 92037

Project PRJ-1133429 (DSD-Historic)

Comments by: Megan Walker
City of San Diego Development Services Department

Date: 5/5/25

Responses by: Kristy Nardini, KN Design

Date: 5/10/25

Ref #	Sheet	Comment	Response
0067	CS1 closed	<p>The property located at 7910 Via Capri, APN 353-170-0800, is not an individually designated resource and is not located within a designated historic district. However, San Diego Municipal Code Section 143.0212 requires City staff to review all projects impacting a parcel that contains a structure 45 years old or older to determine whether a potentially significant historical resource exists on site prior to issuance of a permit. (Info Only, No Response Required)</p> <p>During this review buildings are evaluated for eligibility under local designation criteria. The designation criteria and guidelines for their application can be found on the City's website: http://www.sandiego.gov/planning/programs/historical/pdf/201102/criteriaguidelines.pdf (Informational Only; No Response or Action Required)</p> <p>More information regarding this review process can be found in Information Bulletin 580: http://www.sandiego.gov/development-services/pdf/industry/infobulletin/ib580.pdf (Informational Only; No Response or Action Required)</p> <p>If City staff determines after review of these documents that no potentially significant historical resource exists</p>	Noted

Ref #	Sheet	Comment	Response
		<p>on site, the parcel will be exempt from further historical review for five years from this date unless new information is provided that speaks to the building's eligibility for designation. (Informational Only; No Response or Action Required)</p> <p>If City staff determines that a potentially significant historical resource exists on the site, all modifications and additions will be evaluated to determine consistency with the Secretary of the Interior's Standards for Treatment of Historic Properties (Standards). If the proposed project is consistent with the Standards, the permit process may proceed and the parcel will require additional review for all future modifications. (continued...)</p> <p>(...continued) If the proposed project is not consistent with the Standards, the applicant may redesign the project or prepare a historic report that evaluates the building's integrity and eligibility under all designation criteria. (Informational Only; No Response or Action Required)</p> <p>Staff has reviewed the limited photos, Assessor's Building Record, water and sewer records and considered all other information received from the applicant as well as any input received through applicable public noticing and outreach and have made the following determination:</p>	
0068	CS1 open	<p>Staff cannot make a determination with the information provided. Please provide the following documents: Adequate photo documentation of the property has not been provided. Provide a photo survey of the property</p>	Added to Photo Survey L1.03.

Ref #	Sheet	Comment	Response
		consisting of clear, color photos of each elevation of each building on the site (regardless of whether or not the building will be directly impacted by the project); a view of the front of the building or structure from the street; and photographs of any additional details relevant to the project. The photo survey must include a photo key showing all building footprints and the location that each photo was taken from. The survey must provide clear, color photos showing each elevation. Photographs must be provided as quality color prints in PDF form. Please note: the photos must be current and must be taken by the applicant. Photos from sites such as Bing Maps and Google Maps will not be accepted.	
0069	CS1 open	Please resubmit the required documents to the Development Services Department website for routing and review. Should you have any questions regarding these comments, please contact the "Reviewer" listed in bold at the top of this cycle issues report.	Resubmitted.

Submittal: 7910 Via Capri, La Jolla CA 92037

Project PRJ-1133429 (DSD-Landscape)

Comments by: Tamara Rosza
City of San Diego Development Services Department

Date: 4/21/25

Responses by: Kristy Nardini, KN Design

Date: 5/10/25

Ref #	Sheet	Comment	Response
00001	SP1 closed	Project Scope: Project is the remodel/addition to include conversion of existing garage into office/laundry room, addition of carport, to an existing single-family residence within the La Jolla Shores Planned District. Site is constrained by the Very High Fire Hazard Severity Zone with structures within 100-ft of native/naturalized vegetation. Project is not eligible for Rapid Review - Information only.	Noted.
00002	SP1 open	<p>LJSPD Development requirements, Landscape Plans/Irrigation Plan: Per La Jolla Shores Plan District Ordinance, SDMC-1510.0304(h)] a minimum of 30% of the total parcel area shall be landscape.</p> <p>- It appears proposed development is constrained to areas of previous development (such as existing concrete areas.)</p> <p>Please verify no site work is proposed beyond the existing concrete areas, as a part of this permit. If none is proposed, please provide the following note, "No site work proposed. No changes to existing landscape proposed."</p>	No site work is proposed beyond the existing concrete areas as part of this permit. This note has been added to the plans on sheet L1.01

Ref #	Sheet	Comment	Response
00003	SP1 open	<p>Brush Management Plan {Table 142-04A} Due to proximity to highly flammable native/naturalized vegetation, a Brush Management plan shall be requested in accordance with SDMC 142.0412. Zone One shall be least flammable and shall typically consist of pavement and permanently irrigated ornamental planting. Zone Two consists of thinned, native or naturalized non-irrigated vegetation. Please provide a brush management plan with the next submittal. For a preformatted sheet, follow this link: https://www.sandiego.gov/sites/default/files/brushmgmtnotes-l_sheet.pdf</p> <p>Refer to the following links for more information:</p> <ul style="list-style-type: none"> - http://docs.sandiego.gov/municode/MuniCodeChapter14/Ch14Art02Division04.pdf - https://www.sandiego.gov/sites/default/files/legacy/fire/pdf/brushpolicy.pdf 	See sheet L1.01 for the brush management plan and sheet L1.02 for brush management notes.
00004	SP1 open	Photo Documentation: Plot 4-6 photos, directly on the Brush Management Plan that demonstrate the existing conditions of the rear yard as well as the condition of the vegetation toward the western and northern portion of the property. Provide a photo key map that identifies the photos' location.	Added to sheet L1.01
00005	SP1 open	Brush Management Zones: Due to variables affecting site, staff requires additional information to assist with laying out brush management Zones. Show existing and proposed landscape (if any), structures, edge of slope, and other improvements in the rear yard area. Zone One typically coincides with the limits of hardscape/irrigation. Please delineate limits of irrigated areas and hardscape on the Brush Management plans.	All site items are existing to remain. No new site items are proposed.

Ref #	Sheet	Comment	Response
00006	CS1 open	<p>Vegetation: Within each zone, show the proposed plant massing and the existing plant masses to remain along with locations of existing and/or proposed trees, demonstrating that they meet the zone criteria:</p> <ul style="list-style-type: none"> - Plants within Zone One shall be primarily low-growing and less than 4 feet in height with the exception of trees. Plants shall be low-fuel and fire-resistive. - Trees within Zone One shall be located away from structures to a minimum distance of 10 feet as measured from the structures to the drip line of the tree at maturity. 	Added to scope on CS1: All planting and trees are existing and to remain. No new vegetation is proposed.
00007	SP1 open	<p>Irrigation: Permanent irrigation is typically required for all planting areas within Zone One. Graphically identify and label the extents of irrigation system in the Zone One area. If an existing and functional system is to remain, note on the plan and show location of controller and valves. In lieu of a full irrigation system, hose-bibs within 50-ft of all Zone One areas shall be acceptable for this small scale, single-dwelling unit development. Identify all location of hose-bibs on the Brush Management plan.</p>	The irrigation system is existing to remain. No new irrigation is proposed. For location of existing hose bibs and valves, see sheet L1.01.
00008	SP1 open	<p>Structures: Indicate graphically and with notes all structures and hardscape within Zone One. Structures in Zone One shall be of noncombustible, one-hour fire-rated or Type IV heavy timber construction as defined in the California Building Code.</p>	Noted, see sheet L1.01
00009	SP1 open	<p>Please provide the following note: "Previously conforming, legal structures (such as wooden fences, gazebos, decks) within Zone One shall be allowed to remain. However, they must meet the fire-rating criteria per SDMC 142.0412(g)(2) upon repair and/or replacement."</p>	Added to sheet L1.01

Ref #	Sheet	Comment	Response
00010	SP1 open	Standard Note: "The standard Zone One width is 35-ft. The project is not meeting/providing the standard brush management widths. You (the applicant) may request alternative compliance for brush management with approval of the Fire Chief. Please refer to section 142.0412(i)(1)-(3) for the specific conditions that need to be met to the satisfaction of the Fire Chief. A Fire-plan review cycle has been added."	Added to sheet L1.01
00011	SP1 open	Provide the following note on the Brush Management Plan: "The Owner/Permittee shall schedule a pre-construction meeting on site with the contractor and the Development Services Department to discuss and outline the implementation of the Brush Management Program."	Added to sheet L1.01
00012	SP1 open	Provide the following note: "All Landscaping / Brush Management within the Brush Management Zone(s) as shown on these plans shall be the responsibility of _____ [please Specify, e.g. Owner, H.O.A.]. The Brush Management Zone areas shall be maintained free of debris and litter and all plant material shall be maintained in a healthy growing condition."	Added to sheet L1.01
00013	SP1 Closed	Hourly Fees: Please note that the City fee schedule includes the cost of 3 submittals, after 3 submittals to Landscaping the project will begin to incur hourly fee charges. Please review and address all comments prior to resubmittal. (Info Only - No Response Required]	Noted.
00014	SP1 Closed	Please reach out to your reviewer directly with questions. Tamara Rosza -email: TRosza@sandiego.gov	Noted.

Submittal: 7910 Via Capri, La Jolla CA 92037

Project PRJ-1133429 (DSD-Planning)

Comments by: Adan Pacheco Palma
City of San Diego Development Services Department

Date: 4/23/25

Responses by: Kristy Nardini, KN Design

Date: 5/10/25

Ref #	Sheet	Comment	Response
0025	CS1 closed	1. The subject property is located at 7910 Via Capri, La Jolla, CA 92037 (APN 353-170-0800) in the La Jolla Shores Planned District - Single Family (LJSPD-SF) zone. 2. The subject property is located within the following overlay zones: <ul style="list-style-type: none">· Coastal Height Limit Overlay Zone (CHLOZ)· Coastal Overlay Zone: N-APP-2· Paleontological Sensitivity Area: High [Informational Only]	Noted.
0026	CS1 open	3. Revise the base zone value to LJSPD-SF on the cover sheet. [Comment to be addressed] 4. Revise the Floor Area Ratio (FAR) calculations on the title sheet with the accurate calculations in accordance with Table 131-04J of the SDMC. Please review and revise as follows: Gross FAR = 2,174 sq. ft. (Existing SDU) + “832” sq. ft. (SDU addition) = 3,006 sq. ft. FAR = 3,006 sq. ft. ÷ 10,976 sq. ft. (Lot Size) = 0.27, or 27% Gross FAR. Revise the plans and project data table to reflect the correct calculations. [Comment to be addressed]	Base zone value revised to LJSPD-SF on CS1. FAR calculations revised on CS1 and added to proposed plans ID2.

Ref #	Sheet	Comment	Response
0027	CS1 open	<p>5. The proposed addition requires review by the La Jolla Shores Advisory Board to assess consistency with the planned district requirements and to determine whether the Board considers the addition minor in scope per section 1510.0201(d) of the San Diego Municipal Code (SDMC). Please contact Melissa Garcia to schedule this project for an upcoming Advisory Board Agenda. Melissa Garcia magarcia@ sandiego.gov Senior Planner City Planning Department</p> <p>A Site Development Permit is generally required for additions within the La Jolla Shores Planned District. However, minor additions may proceed under a Process 1 building permit. City staff will evaluate this project per Informational Bulletin 621 guidelines. As the proposed addition exceeds a 10% floor area increase, staff will review recommendations from the La Jolla Shores Advisory Board to determine whether this addition is minor in scope. [Comment to be addressed]</p>	The project will be reviewed by the La Jolla Shores Advisory Board. Date TBD.

Ref #	Sheet	Comment	Response
0028	CS1 open	<p>6. The existing floor plan does not show, label, or dimension any walls to be removed or to remain. While demolition is not explicitly indicated, it is apparent, based on the proposed addition, that portions of the existing structure will need to be removed. Please revise the plans to include this information or provide a separate demolition plan for clarity and consistency with the proposed scope of work. [Comment to be addressed]</p> <p>7. The site is located within the Coastal Overlay Zone (COZ). Any demolition exceeding 30% in this zone requires a predemolition inspection prior to sign-off. Refer to Informational Bulletin 402 for guidance on accurately calculating exterior wall demolition. Additionally, include a demolition wall matrix table consistent with the format provided in the bulletin to clearly identify the percentage of walls proposed for removal. [Comment to be addressed]</p> <p>8. Include the following note on the demolition plan “Any demolition resulting in removal of over 50% of the existing walls, a Coastal Development Permit (CDP) will be required in accordance with section 126.0704 of the SDMC. [Comment to be addressed]</p> <p>9. All walls identified as "to remain" on the Demolition Sheet shall be secured and held in place and shall not be shifted in any direction. Any walls that are shifted or moved from their original position, even temporarily, will be excluded from the calculation of “walls to remain” . [Comment to be addressed]</p>	Demo plan added to new sheet Demo Plan D1.

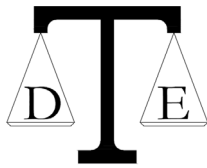
Ref #	Sheet	Comment	Response
0029	CS1 open	10. Specify the proposed exterior materials for the addition on the plans to ensure consistency with the existing structure and compliance with applicable development regulations. [Comment to be addressed]	“Material for all exterior walls will be stucco” added to CS1.
0030	CS1 Open	11. Show, label, and dimension two off-street parking spaces located outside of required yard areas that meet the minimum dimensions per Table 142-05K of the SDMC (9 feet wide by 18 feet deep). [Comment to be addressed]	Added to Site Plan SP1.
0031	CS1 Open	12. Include elevation and section plans that clearly show both the existing structure and the proposed addition. These plans must include height dimensions and all relevant measurements necessary to verify compliance with applicable development regulations. [Comment to be addressed]	Added to Existing and Proposed Elevations S6a and S6b.
0032	CS1 Open	13. The elevation plans should include a note indicating whether the ground floor is measured from the existing or proposed grade, whichever is lower. [Comment to be addressed]	Note added to Existing and Proposed Elevations S6a and S6b.
0033	CS1 open	14. The visibility area is defined as a triangular portion of the property formed by one line perpendicular and one line parallel to the property line or public right-of-way, with a diagonal line connecting them, as illustrated in Diagram 113-02SS. Planning staff defer to the City Engineer to assess whether the proposed driveway provides sufficient sight distance based on the development context and guidelines per Section 113.0273(b). [Comment to be Addressed]	Added to Site Plan SP1.

Ref #	Sheet	Comment	Response
0034	CS1 Open	<p>15. Additional comments may be forthcoming upon receipt of new information and/or revised plans. [Comment to be addressed]</p> <p>16. Please resubmit the set of plans for recheck through Accela. The project will remain as a Rapid Review and continue with the next scheduled reviewer. [Informational Only]</p>	Noted.

Submittal 10 VIA CAPRI, SAN DIEGO, CA 92037 Project Issues Report PRJ-1133429					
Comments By:		CITY OF SAN DIEGO DEVELOPMENT SERVICES DEPARTMENT		Date:	04/21/25
Responses By:		Andrew Hatch, Landscape Architect, Hatchworks Studio		Date:	05/02/25
Ref #	Sheet	Comment	Response		
00001	SP1 Closed	Project Scope: Project is the remodel/addition to include conversion of existing garage into office/laundry room, addition of carport, to an existing single-family residence within the La Jolla Shores Planned District. Site is constrained by the Very High Fire Hazard Severity Zone with structures within 100-ft of native/naturalized vegetation. Project is not eligible for Rapid Review – Information only.	Noted		
00002	SP1 Open	LJSPD Development requirements, Landscape Plans/Irrigation Plan: Per La Jolla Shores Plan District Ordinance, SDMC 1510.0304(h)] a minimum of 30% of the total parcel area shall be landscape. - It appears proposed development is constrained to areas of previous development (such as existing concrete areas.) - - Please verify no site work is proposed beyond the existing concrete areas, as a part of this permit. If none is proposed, please provide the following note, "No site work proposed. No changes to existing landscape proposed."	No site work is proposed beyond the existing concrete areas as part of this permit. This note has been added to the plans on sheet L1.01		
00003	SP1 Open	Brush Management Plan [Table 142-04A]: Due to proximity to highly flammable native/ naturalized vegetation, a Brush Management plan shall be requested in accordance with SDMC 142.0412. Zone One shall be least flammable and shall typically consist of pavement and permanently irrigated ornamental planting. Zone Two consists of thinned, native or naturalized non-irrigated vegetation. Please provide a brush management plan with the next submittal. For a preformatted sheet, follow this link: https://www.sandiego.gov/sites/default/files/brushmgmtnotes-l_sheet.pdf	See sheet L1.01 for the brush management plan and sheet L1.02 for brush management notes.		
00004	SP1 Open	Photo Documentation: Plot 4-6 photos, directly on the Brush Management Plan that demonstrate the existing conditions of the rear yard as well as the condition of the vegetation toward the western and northern portion of the property. Provide a photo key map that identifies the photos' location.	Added to sheet L1.01		

00005	SP1 Open	Brush Management Zones: Due to variables affecting site, staff requires additional information to assist with laying out brush management Zones. Show existing and proposed landscape (if any), structures, edge of slope, and other improvements in the rear yard area. Zone One typically coincides with the limits of hardscape/irrigation. Please delineate limits of irrigated areas and hardscape on the Brush Management plans.	All site items are existing to remain. No new site items are proposed.
00006	SP1 Open	Vegetation: Within each zone, show the proposed plant massing and the existing plant masses to remain along with locations of existing and/or proposed trees, demonstrating that they meet the zone criteria: -Plants within Zone One shall be primarily low-growing and less than 4 feet in height with the exception of trees. Plants shall be low-fuel and fire-resistive. -Trees within Zone One shall be located away from structures to a minimum distance of 10 feet as measured from the structures to the drip line of the tree at maturity.	All planting and trees are existing to remain. No new vegetation is proposed.
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00008	SP1 Open	Structures: Indicate graphically and with notes all structures and hardscape within Zone One. Structures in Zone One shall be of noncombustible, one-hour fire-rated or Type IV heavy timber construction as defined in the California Building Code.	Noted, see sheet L1.01
00009	SP1 Open	Please provide the following note: "Previously conforming, legal structures (such as wooden fences, gazebos, decks) within Zone One shall be allowed to remain. However, they must meet the fire-rating criteria per SDMC 142.0412(g)(2) upon repair and/or replacement."	Added to sheet L1.01

00010	SP1 Open	Standard Note: "The standard Zone One width is 35-ft. The project is not meeting/providing the standard brush management widths. You (the applicant) may request alternative compliance for brush management with approval of the Fire Chief. Please refer to section 142.0412(i)(1)-(3) for the specific conditions that need to be met to the satisfaction of the Fire Chief. A Fire-plan review cycle has been added."	Added to sheet L1.01
00011	SP1 Open	Provide the following note on the Brush Management Plan: "The Owner/Permittee shall schedule a pre-construction meeting on site with the contractor and the Development Services Department to discuss and outline the implementation of the Brush Management Program."	Added to sheet L1.01
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00013	SP1 Closed	Hourly Fees: Please note that the City fee schedule includes the cost of 3 submittals, after 3 submittals to Landscaping the project will begin to incur hourly fee charges. Please review and address all comments prior to resubmittal. [Info Only - No Response Required]	Noted
00014	SP1 Closed	Please reach out to your reviewer directly with questions. Tamara Rosza -email: TRosza@sandiego.gov	Noted



David Thomas Engineering

Job 7919 Via Capri Residence 24175

Calculated by _____ DT Date 6-3-25



STRUCTURAL CORRECTION RESPONSE

Jurisdiction: City of San Diego

Plan Check Number: PRJ-1133429

Issue Date: May 5, 2025

Correction #55:

See updated Roof Framing Plan with maximum span added to calculated beams.

Correction #56:

See updated Roof Framing Plan with maximum span added to calculated beams.

Correction #58:

See added note to sheet S2.

Correction #62:

See updated Roof Framing Plan with maximum span added to calculated beams.