



THE CITY OF SAN DIEGO

Report to the Hearing Officer

DATE ISSUED: July 30, 2025 REPORT NO. HO-25-029

HEARING DATE: August 6, 2025

SUBJECT: 4941 Coronado Ave. CEQA Exempt, Process Three Decision

PROJECT NUMBER: [PRJ-1115323](#)

OWNER/APPLICANT: 1 B BARRACKS LLC, a California Limited Liability Company, Owner and Terry Montello, Permits in Motion, Applicant.

SUMMARY

Issue: Should the Hearing Officer approve a Coastal Development Permit for a 500 square foot addition and a 65 square foot remodel of an existing 1,157 square foot single dwelling unit located at 4941 Coronado Ave., within the Ocean Beach Community Planning Area?

Proposed Actions:

1. APPROVE Coastal Development Permit No. PMT-3290108.

Fiscal Considerations: None. All costs associated with the processing of the application are recovered through a deposit account funded by the applicant.

Code Enforcement Impact: There are no open code enforcement actions on this site.

Housing Impact Statement: The project is to add 500 square feet of additional living space and a 65 square foot remodel of an existing single dwelling unit on a 0.16-acre site containing a 1,157 square foot single dwelling unit. Relocation assistance is not required since the project site has one occupant, the existing property owner/applicant.

Community Planning Group Recommendation: On September 3, 2024, the Ocean Beach Community Planning Group voted 9-0-0 in favor, with no conditions or recommendations.

Community Plan Analysis:

The project is located in the Ocean Beach Community Plan and is designated for Residential land use with a density of 15-29 dwelling units per acre. This density category, which predominantly

occupies those portions of the community that are closer to the beach and bay, is characterized by lower-intensity multi-dwelling units, such as two-on-ones or duplexes. The existing property contains a single dwelling unit, and the density conforms with the land use designation. Figure 15, Ocean and Bay Access Points, and Figure 16, Coastal Views, do not identify the subject site as within a public view or along a designated coastal access. Additionally, the project will not change setbacks or height. City staff has determined that the project is consistent with the Community Plan and the regulations of the Land Development Code.

Environmental Impact: This project was determined to be categorically exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15301 (Existing facilities) of the State CEQA Guidelines. This project is not pending an appeal of the environmental determination. The environmental exemption determination for this project was made on December 13, 2024, and the opportunity for appeal of that determination ended on December 30, 2024.

BACKGROUND:

The 0.16-acre project site contains a 1,157 square-foot single dwelling unit and is located at 4941 Coronado Ave. in the RM-2-4 zone in the Coastal Overlay Zone (Appealable Area), Coastal Height Limit Overlay Zone, First Public Roadway, Parking Impact Overlay Zone, and the Transit Priority Area within the [Ocean Beach Community Plan](#) and Council District 2.

DISCUSSION:

The project proposes to construct a 500 square foot addition and a 65 square foot remodel to an existing 1,157 square foot single dwelling unit.

Permits Required:

- A Coastal Development Permit (CDP) per San Diego Municipal Code (SDMC) Section 126.0702(a) and Section 126.0704(a)(9) is required for development within the Coastal Overlay Zone. A decision on an application for a City issued CDP in the appealable area of the Coastal Overlay Zone shall be made in accordance with Process Three, with the Hearing Officer as the decision maker.

Historic Review per SDMC Section 143.0212 is required for structures 45 or more years old to determine whether a potentially significant historical resource exists on site prior to issuance of a permit. According to County of San Diego building records, the project site was originally improved in 1941, with a single dwelling unit and with subsequent modifications in 1961, 1967, and 1970. There have been no other recorded modifications or improvements since 1970. The City of San Diego's Historical Resources staff determined that the structure does not meet local designation criteria as an individually significant resource under any adopted Historical Resources Board Criteria and is not located in a designated historic district.

The site lies approximately 820 feet east of the Pacific Ocean, on the south side of Coronado Ave. The site contains no coastal views, as identified in Figure 16 (Coastal Views) in the Ocean Beach Community Plan. Although the site is located between the sea and the First Public Roadway (Cable

Street), there are no public views or coastal access impacted by the project. The project will not encroach upon any existing visual or physical access to the coast. The project is within an established residential neighborhood, does not contain environmentally sensitive lands and complies with the development regulations of the underlying zone.

Conclusion:

The proposed project is in conformance with the Community Plan goals, policies, and land use designation as well as in conformance with the implementing base zone and overlay zones. Staff has provided draft findings and conditions to support approval of the project and recommends the Hearing Officer APPROVE Coastal Development Permit No. PMT-3290108.

ALTERNATIVES:

1. Approve Coastal Development Permit No. PMT-3290108, with modifications.
2. Deny Coastal Development Permit No. PMT-3290108, if the findings required to approve the project cannot be affirmed.

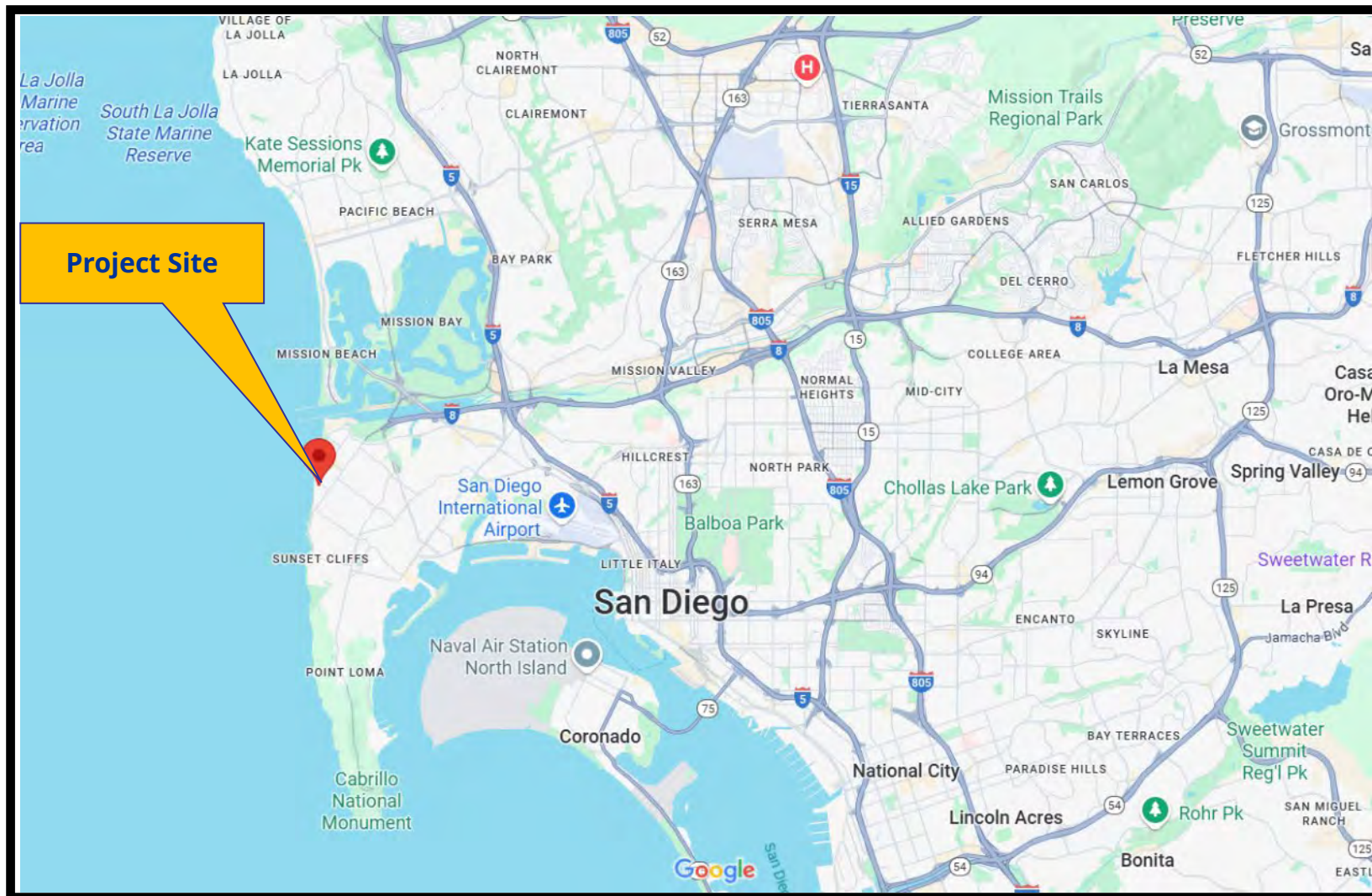
Respectfully submitted,



John Norris
Development Project Manager
Development Services Department

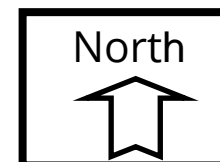
Attachments:

1. Vicinity Map
2. Aerial Photograph
3. Draft Resolution with Findings
4. Draft Permit with Conditions
5. Environmental Exemption
6. Community Planning Group Recommendation
7. Ownership Disclosure Statement
8. Project Plans



Project Vicinity Map

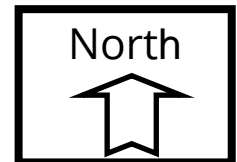
Project No. PRJ-1115323
4941 Coronado Avenue





Aerial Photo

Project No. PRJ-1115323
4941 Coronado Avenue



DEVELOPMENT SERVICES DEPARTMENT
RESOLUTION NO. HO-25-029
COASTAL DEVELOPMENT PERMIT NO. PMT-3290108
4941 CORONADO AVENUE - PROJECT NO. PRJ-1115323

WHEREAS, 1B Barracks LLC, a California Limited Liability Company, Owner/Permittee, filed an application with the City of San Diego for a permit to construct a 500 square foot addition and 65 square foot remodel of an existing 1,157 square foot one-story single dwelling unit (as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Coastal Development Permit No. PMT-3290108), on portions of a 0.16-acre site;

WHEREAS, the project site is located at 4941 Coronado Avenue in the RS-2-4 zone, Coastal Overlay (Non-Appealable) Zone, and Coastal Height Limit Overlay Zone of the Ocean Beach Community Plan area;

WHEREAS, the project site is legally described as: LOTS 37 AND 38 OF BLOCK 66 OF OCEAN BEACH, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO THE MAP THEREOF NO. 279, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, MAY 28, 1887(Assessor's Parcel Number: 448-161-10-00);

WHEREAS, on December 31, 2024, the City of San Diego, as Lead Agency, through the Development Services Department, made and issued an Environmental Determination that the project is exempt from the California Environmental Quality Act (CEQA) (Public Resources Code Section 21000 et seq.) under CEQA Guidelines Section 15301(e)(1) (Existing Facilities) and there was no appeal of the Environmental Determination filed within the time period provided by San Diego Municipal Code Section 112.0520;

WHEREAS, on August 6, 2025, the Hearing Officer of the City of San Diego considered Coastal Development Permit No. PMT-3290108 pursuant to the Land Development Code of the City of San Diego; NOW, THEREFORE,

BE IT RESOLVED by the Hearing Officer of the City of San Diego, that it adopts the following findings with respect to Coastal Development Permit No. PMT-3290108:

A. COASTAL DEVELOPMENT PERMIT [San Diego Municipal Code Section 126.0708]

1. Findings for all Coastal Development Permits:

- a. The proposed coastal development will not encroach upon any existing physical accessway that is legally used by the public or any proposed public accessway identified in a Local Coastal Program land use plan; and the proposed coastal development will enhance and protect public views to and along the ocean and other scenic coastal areas as specified in the Local Coastal Program land use plan.**

The 0.16-acre site is located at 4941 Coronado Avenue and developed with an existing 918.0 square-foot, single-story residence with a 239.0 square-foot, attached garage within an established residential area in the Ocean Beach Community Plan and Local Coastal Program Land Use Plan (Community Plan) areas. The project includes the construction of a like-kind addition of 500.0 square feet at the rear of the dwelling, a partial interior remodel of the dwelling of 65.0 square feet, and a lot area of 7,000.0 square feet. The project is in the coastal overlay zone CST-APP. Base zone RM-2-4. The project site is not located between the First Public Roadway and the beach. There are no public views or coastal access impacted by the project site, as identified in the Community Plan. The existing project was built in 1941 and complied with the underlying zone at the time. The project protects public views by keeping the project one story and not adding height. Therefore, the project will not encroach upon any existing physical accessway that is legally used by the public or any proposed public accessway identified in the Ocean Beach Community Plan and Local Coastal Program land use plan; and the proposed project will enhance and protect public views to and along the ocean and other scenic coastal areas as specified in the Local Coastal Program Land Use Plan

The development will be sited completely on private property and conforms to the 30-foot coastal height limit, and no encroachment or impacts to public access are proposed. Therefore, the proposed development will not encroach upon any existing physical accessway that is legally used by the public or any proposed public accessway identified in a Local Coastal Program land use plan. The proposed coastal development will enhance and protect public views to and along the ocean and other scenic coastal areas as specified in the Local Coastal Program land use plan.

- b. The proposed coastal development will not adversely affect environmentally sensitive lands.**

The project site is located at 4941 Coronado Avenue and developed with an existing 918.0 square-foot, single-story residence with a 239.0 square-foot attached garage within an established residential area in the Ocean Beach Community Plan and Local Coastal Program Land Use Plan (Community Plan) areas. The project includes the construction of a like-kind addition of 500.0 square feet. at the rear of the dwelling, partial interior remodel of dwelling of 65.0 square feet, Lot area is 7,000.0 square feet. The project is in the coastal overlay zone, Coastal Appealable area. The base zone is RM-2-4. The project site is surrounded by residential development and does not contain any environmentally sensitive lands, nor does the site contain nor is adjacent to the Multiple Habitat Planning Area. Therefore, the proposed coastal development will not adversely affect environmentally sensitive lands. The subject site does not contain nor is it adjacent to any environmentally sensitive lands such as Sensitive Biological Resources, Steep Hillside, Coastal Beaches, Sensitive Coastal Bluffs and 100-year floodplains as identified in the Municipal Code Section 113.0103. Furthermore, both the subject and adjacent sites are all previously developed with single dwelling units. Environmental review staff determined that the project was categorically exempt under the State of California Environmental Quality Act (CEQA), pursuant to CEQA State Guidelines, Section 15301(e)(1) (Existing Facilities). Therefore, the project will not adversely affect environmentally sensitive lands.

c. The proposed coastal development is in conformity with the certified Local Coastal Program land use plan and complies with all regulations of the certified Implementation Program.

The project site is located at 4941 Coronado Avenue and developed with an existing 918.0 square-foot, single-story residence with a 239.0 square-foot. attached garage within an established residential area in the Ocean Beach Community Plan and Local Coastal Program Land Use Plan (Community Plan) areas. The project includes the construction of a 500.0 square-foot addition at the rear of the dwelling, partial interior remodel of the dwelling of 65.0 square feet., Lot area is 7,000.0 square feet. The project is in the coastal overlay zone, Coastal Appealable area. The base zone is RM-2-4 and the project is consistent with the base zoning. The project site is designated in the Ocean Beach Coastal Overlay Zone First Public Roadway (COZFPR). The project does not change the density by proposing an addition at the rear of the residence and conforms to the designated land use. Therefore, the proposed project is in conformity with the certified Local Coastal Program land use plan and complies with all regulations of the certified Implementation Program.

The Community Plan policies include maintaining the neighborhood's residential character by conforming to density regulations and promoting development that is compatible with the existing residential scale. The Community Plan provides: "In order to address transitions between the bulk and scale of new and older development in residential areas, maintain the existing 30-foot height limit of the single dwelling unit zones and Proposition D" (page 76). The project proposes a height of 15 feet and will conform to the 30-foot maximum structure height allowed in the Coastal Height Limitation Zone.

A goal identified in the Community Plan is to "conserve and enhance the natural amenities of the community such as its views from identified public vantage points (as identified in open space,

hillsides, canyons, ocean, beaches, water quality, bluffs, wildlife, and natural vegetation and achieve a desirable relationship between the natural and developed component of the community.

As indicated in Finding 1.a. incorporated here by reference, the project does not impact the public right of way nor any existing physical accessways, or any proposed public accessway that is legally used by the public identified in the Community Plan. Additionally, no public beach or view corridors are identified through the property in the community plan.

The project has been designed in conformance with all applicable development regulations of the San Diego Municipal Code, and no deviations are requested. The project will not conflict with the goals and policies of the Community Plan and therefore, the proposed development is in conformity with the certified Local Coastal Program land use plan and complies with all regulations of the certified Implementation Program.

d. For every Coastal Development Permit issued for any coastal development between the nearest public road and the sea or the shoreline of any body of water located within the Coastal Overlay Zone the coastal development is in conformity with the public access and public recreation policies of Chapter 3 of the California Coastal Act.

The project site is located within an established residential area in the Ocean Beach Community Plan and Local Coastal Program Land Use Plan (Community Plan) areas. The project is in the coastal overlay zone and Coastal Appealable area. The project base zone is RM-2-4 and the project complies with the base zone. The project site is designated in the Ocean Beach Coastal Overlay Zone First Public Roadway (COZFPR). There are no public views or coastal access from the project site, as identified in the Community Plan. The project will be developed entirely within private property and will not adversely impact any public recreation opportunities. Therefore, the project conforms with the public access and public recreation policies of Chapter 3 of the California Coastal Act. The project site is approximately 1/5 of a mile from the Pacific Ocean. In addition, the project site is not located near any existing or proposed physical accessway that is utilized by the public, nor is it within or adjacent to any public vantage points, as identified in the community plan. Therefore, the project is in conformance with the public access and public recreation policies of Chapter 3 of the California Coastal Act.

The above findings are supported by the minutes, maps and exhibits, all of which are incorporated herein by this reference.

BE IT FURTHER RESOLVED that, based on these findings adopted by the Hearing Officer, Coastal Development Permit No. PMT-3290108 is hereby GRANTED by the Hearing Officer to the referenced Owner/Permittee, in the form, exhibits, terms and conditions as set forth in Permit No. PMT-3290108, a copy of which is attached hereto and made a part hereof.

A handwritten signature in blue ink, appearing to read "John Norris", is displayed within a light blue rectangular box.

John Norris
Development Project Manager
Development Services

Adopted on: August 6, 2025
IO#: 24009909

RECORDING REQUESTED BY
CITY OF SAN DIEGO
DEVELOPMENT SERVICES
PERMIT INTAKE, MAIL STATION
501

WHEN RECORDED MAIL TO
PROJECT MANAGEMENT
PERMIT CLERK
MAIL STATION 501

INTERNAL ORDER NUMBER: 24009909

SPACE ABOVE THIS LINE FOR RECORDER'S USE

COASTAL DEVELOPMENT PERMIT NO. PMT-3290108
4941 CORONADO AVENUE - PROJECT NO. PRJ-1115323
DEVELOPMENT SERVICES DEPARTMENT

This Coastal Development Permit No. PMT-3290108 is granted by the Hearing Officer of the City of San Diego to 1B Barracks LLC, a California Limited Liability Company, Owner and Permittee, pursuant to San Diego Municipal Code [SDMC] section 126.0708. The 0.16-acre site is located at 4941 Coronado Avenue in the RS-2-4 zone within the Coastal Overlay Zone (Appealable) of the Ocean Beach Community Plan and Local Coastal Land Use Plan. The project site is legally described as: LOTS 37 AND 38 OF BLOCK 66 OF OCEAN BEACH, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO THE MAP THEREOF NO. 279, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, MAY 28, 1887. (Assessor's Parcel Number: 448-161-10-00);

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner/ Permittee to construct a 500 square foot addition and 65 square foot remodel of an existing 1,157 square foot one-story single dwelling unit, located at 4941 Coronado Ave. The 0.16-acre site is in the RM-2-4 Base Zone, Coastal (Appealable) Overlay Zone within the Ocean Beach Community Plan Area, described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated August 6, 2025, on file in the Development Services Department.

The project shall include:

- a. A 500 square foot addition and 65 square foot remodel of an existing 1,157 square foot one-story single dwelling unit;
- b. Landscaping (planting, irrigation and landscape-related improvements);
- c. Off-street parking; and
- d. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act

[CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

STANDARD REQUIREMENTS:

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36-month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by August 20, 2028.
2. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
 - a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
 - b. The Permit is recorded in the Office of the San Diego County Recorder.
3. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.
4. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.
5. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
6. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).
7. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.
8. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.

9. All of the conditions contained in this Permit have been considered and were determined necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

10. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

CLIMATE ACTION PLAN REQUIREMENTS:

11. Owner/Permittee shall comply with the Climate Action Plan (CAP) Consistency Checklist stamped as Exhibit "A." Prior to issuance of any construction permit, all CAP strategies shall be noted within the first three (3) sheets of the construction plans under the heading "Climate Action Plan Requirements" and shall be enforced and implemented to the satisfaction of the Development Services Department.

ENGINEERING REQUIREMENTS:

12. Prior to the issuance of any construction permit, the Owner/Permittee shall incorporate any construction Best Management Practices necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the San Diego Municipal Code, into the construction plans or specifications, satisfactory to the City Engineer.

13. Prior to the issuance of any construction permit, the Owner/Permittee shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be drafted in accordance with Part 2, Chapter 4.2 and Appendix 'D' of the City of San Diego Storm Water Standards Manual.

14. Prior to the issuance of any building permit, the Owner/Permittee shall obtain an Encroachment Maintenance Removal Agreement for the landscape, irrigation and the Non-Standard driveway located within the City's right-of-way, satisfactory to the City Engineer.

15. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, the reconstruction of the damaged sidewalk per current City Standard adjacent to the site on Coronado Ave, satisfactory to the City Engineer.

LANDSCAPE REQUIREMENTS:

16. Prior to issuance of any construction permit for grading, the Owner/Permittee shall submit complete construction documents for the revegetation and hydro-seeding of all disturbed land in accordance with the City of San Diego Landscape Standards, Storm Water Design Manual, and to the satisfaction of the Development Services Department. All plans shall be in substantial conformance to this permit.

17. Prior to issuance of any construction permit for public improvements, the Owner/Permittee shall submit complete landscape construction documents for right-of-way improvements to the Development Services Department for approval. Improvement plans shall show, label, and dimension a 40-square-foot area around each tree which is unencumbered by utilities. Driveways, utilities, drains, water and sewer laterals shall be designed so as not to prohibit the placement of street trees.

18. Prior to issuance of any construction permit for building (including shell), the Owner/Permittee shall submit complete landscape and irrigation construction documents, which are consistent with the Landscape Standards, to the Development Services Department for approval. The construction documents shall be in substantial conformance with Exhibit "A," Landscape Development Plan, on file in the Development Services Department. Construction plans shall provide a 40-square-foot area around each tree that is unencumbered by hardscape and utilities unless otherwise approved per SDMC §142.0403(b)(6).

19. The Owner/Permittee shall be responsible for the maintenance of all landscape improvements shown on the approved plans, including in the right-of-way, unless long-term maintenance of said landscaping will be the responsibility of another entity approved by the Development Services Department. All required landscape shall be maintained consistent with the Landscape Standards in a disease, weed, and litter free condition at all times. Severe pruning or "topping" of trees is not permitted.

20. If any required landscape (including existing or new plantings, hardscape, landscape features, etc.) indicated on the approved construction documents is damaged or removed, the Owner/Permittee shall repair and/or replace in kind and equivalent size per the approved

documents to the satisfaction of the Development Services Department within 30 days of damage or Certificate of Occupancy.

WATER AND SEWER:

21. All proposed private water and sewer facilities located within a single lot are to be designed to meet the requirements of the California Plumbing Code and will be reviewed as part of the building permit plan check.

22. Prior to the issuance of construction permit for building, if it is determined during the building permit review process the existing water and sewer service will not be adequate to serve the proposed project, the Owner/Permittee shall, assure by permit and bond, the design and construction of new water and sewer service(s) outside of any driveway or drive aisle and the abandonment of any existing unused water and sewer services within the right-of-way adjacent to the project site, in a manner satisfactory to the Public Utilities Department and the City Engineer.

23. No trees or shrubs exceeding three feet in height at maturity shall be installed within ten feet of any sewer facilities and five feet of any water facilities.

INFORMATION ONLY:

- The issuance of this discretionary permit alone does not allow the immediate commencement or continued operation of the proposed use on site. Any operation allowed by this discretionary permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Hearing Officer of the City of San Diego on August 6, 2025 and [Approved Resolution Number].

Coastal Development Permit No. PMT-3290108
Date of Approval: August 6, 2025

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES DEPARTMENT

John Norris
Development Project Manager

**NOTE: Notary acknowledgment
must be attached per Civil Code
section 1189 et seq.**

The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

**1 B Baracks LLC,
A California Limited Liability Company**
Owner/Permittee

By _____
NAME
TITLE

**NOTE: Notary acknowledgments
must be attached per Civil Code
section 1189 et seq.**



**SAN DIEGO COUNTY CLERK
CEQA FILING COVER SHEET**

FILED

Jan 24, 2025 09:59 AM
JORDAN Z. MARKS
SAN DIEGO COUNTY CLERK
File # 2025-000041
State Receipt # 37012420250032

THIS SPACE FOR CLERK'S USE ONLY

Complete and attach this form to each CEQA Notice filed with the County Clerk

TYPE OR PRINT CLEARLY

Project Title

WILLINK RESIDENCE REMODEL & ADDITION / PRJ-1115323

Check Document being Filed:

- ☐ Environmental Impact Report (EIR)
☐ Mitigated Negative Declaration (MND) or Negative Declaration (ND)
☒ Notice of Exemption (NOE)
☐ Other (Please fill in type):

| | |
|--|--------------------------------|
| FILED IN THE OFFICE OF THE SAN DIEGO | |
| COUNTY CLERK ON <u>January 24, 2025</u> | |
| Posted <u>January 24, 2025</u> | Removed <u>02-23-25</u> |
| Returned to agency on <u>02-24-2025</u> | |
| DEPUTY <u>[Signature]</u> | A. Salomon |

Filing fees are due at the time a Notice of Determination/Exemption is filed with our office. For more information on filing fees and No Effect Determinations, please refer to California Code of Regulations, Title 14, section 753.5.

NOTICE OF EXEMPTION

TO: Recorder/County Clerk
P.O. Box 1750, MS A-33
1600 Pacific Hwy, Room 260
San Diego, CA 92101-2400

From: City of San Diego
Development Services Department
1222 First Avenue, MS 501
San Diego, CA 92101

Office of Land Use and Climate Innovation
1400 Tenth Street, Room 121
Sacramento, CA 95814

Project Title / Number: Willink Residence Remodel & Addition / PRJ-1115323

State Clearinghouse No.: N/A

Project Location-Specific: 4941 Coronado Ave, San Diego, CA 92107

Project Location-City/County: San Diego/San Diego

Description of nature and purpose of the Project: Coastal Development Permit for a 500 square-foot (sq. ft.) addition to an existing, 1,157 sq. ft., one-story, single-family residence at 4941 Coronado Avenue. Work would include a 65 sq. ft. interior remodel and the demolition of a backyard shed. The 0.16-acre site is zoned Residential Multiple Unit (RM-2-4) and designated for Medium Density Residential (15-29 dwelling units per acre) in the Ocean Beach Community Plan. The project site is in the following overlays/areas: Airport Land Use Compatibility Zone (NAS North Island and San Diego International Airport), Coastal Height Limit Overlay Zone, Coastal Overlay Zone (Coastal Appealable), Parking Standards Transit Priority Area, Transit Priority Area, Affordable Housing Parking Demand (High), Airport Land Use Compatibility Plan Airport Influence Area (San Diego International Airport and NAS North Island Review Area 2), and Federal Aviation Administration Part 77 Noticing Area. Assessor's Parcel Number (APN): 448-161-10. (LEGAL DESCRIPTION: Map 279 – Ocean Beach – Block No. 66 – Lots 37 & 38)

Name of Public Agency Approving Project: City of San Diego

Name of Person or Agency Carrying Out Project: Terry Montello, Permits in Motion, 4715 60th Street, San Diego, CA, 92115. (619) 994-5557.

Exempt Status: (Check one)

- ☐ Ministerial (Sec. 21080(b)(1); 15268)
- ☐ Declared Emergency (Sec. 21080(b)(3); 15269(a))
- ☐ Emergency Project (Sec. 21080(b)(4); 15269 (b)(c))
- ☒ Categorical Exemption: CEQA Section 15301(e)(1) (Existing Facilities)
- ☐ Statutory Exemptions:
- ☐ Other:

Reasons why project is exempt: The City of San Diego determined that the project would qualify to be categorically exempt from CEQA pursuant to Section 15301(e)(1) (Existing Facilities). The

project meets the criteria set forth in CEQA Section 15301(e)(1) which allows for the operation, repair, maintenance, permitting, leasing, licensing, or minor alteration of existing or former use. More specifically, the project qualifies for this exemption under CEQA Section 15301(e)(1) since the proposed 500 sq. ft. addition would not result in an increase of more than 50 percent of the floor area of the existing 1,157 sq. ft. structure before the addition. The exceptions listed in CEQA Section 15300.2 would not apply in that it is not located in a particularly sensitive environment; no cumulative impacts were identified; no significant effect on the environment was identified; the project is not adjacent to a scenic highway; the project would not cause substantial adverse change in the significance of a historical resource; and the site is not included on any list compiled pursuant to Government Code Section 65962.5 for hazardous waste sites.

Lead Agency Contact Person: Carissa L. Garcia

Telephone: (619) 687-5959

If filed by applicant:

1. Attach certified document of exemption finding.
2. Has a notice of exemption been filed by the public agency approving the project? ☐ Yes ☐ No

It is hereby certified that the City of San Diego has determined the above activity to be exempt from the California Environmental Quality Act.

 Senior Planner
Signature/Title

December 31, 2024
Date

Check One:

- ☒ Signed by Lead Agency
☐ Signed by Applicant

Date Received for Filing with County Clerk or LCI:

San Diego County

Attachment 5



Transaction #: 8188632
Receipt #: 2025028600

JORDAN Z. MARKS

Assessor/Recorder/County Clerk

1600 Pacific Highway Suite 260

P. O. Box 121750, San Diego, CA 92112-1750

Tel. (619) 237-0502 Fax (619) 557-4155

www.sdarcc.gov

Cashier Date: 01/24/2025

Cashier Location: SD

Print Date: 01/24/2025 9:59 am

Payment Summary

| | |
|----------------|---------|
| Total Fees | \$50.00 |
| Total Payments | \$50.00 |
| Balance: | \$0.00 |

Payment

| | |
|--------------------|---------|
| CHECK PAYMENT #349 | \$50.00 |
|--------------------|---------|

| | |
|----------------|---------|
| Total Payments | \$50.00 |
|----------------|---------|

Filing

CEQA - NOE FILE #: 2025-000041 Date: 01/24/2025 9:59AM Pages: 3

State Receipt # 37-01/24/2025-0032

| | | |
|-------|---|---------|
| Fees: | Fish & Wildlife County Administrative Fee | \$50.00 |
|-------|---|---------|

| | |
|-----------------|---------|
| Total Fees Due: | \$50.00 |
|-----------------|---------|

| | |
|------------------------------|---------|
| Grand Total - All Documents: | \$50.00 |
|------------------------------|---------|



State of California - Department of Fish and Wildlife

2025 ENVIRONMENTAL DOCUMENT FILING FEE**CASH RECEIPT**

DFW 753.5a (Rev. 01/01/25) Previously DFG 753.5a

RECEIPT NUMBER:

37-01/24/2025-0032

STATE CLEARING HOUSE NUMBER (If applicable)

SEE INSTRUCTIONS ON REVERSE. TYPE OR PRINT CLEARLY.

| | | | |
|--|--|--------------------------|--|
| LEAD AGENCY CITY OF SAN DIEGO DEVELOPMENT SERVICES DEPARTMENT | | LEAD AGENCY EMAIL | DATE 01/24/2025 |
| COUNTY/STATE AGENCY OF FILING SAN DIEGO | | | DOCUMENT NUMBER 37-2025-0032 |

PROJECT TITLE
WILLINK RESIDENCE REMODEL & ADDITION / PRJ-1115323

| | | | |
|--|--------------------------------|--------------------|-------------------------------------|
| PROJECT APPLICANT NAME TERRY MONTELLO, PERMITS IN MOTION | PROJECT APPLICANT EMAIL | | PHONE NUMBER 619-994-5557 |
| PROJECT APPLICANT ADDRESS 4715 60TH STREET | CITY SAN DIEGO | STATE CA | ZIP CODE 92115 |

PROJECT APPLICANT (Check appropriate box)
☐ Local Public Agency ☐ School District ☐ Other Special District ☐ State Agency ☒ Private Entity

CHECK APPLICABLE FEES:

| | | | |
|---|------------|----|------|
| <input type="checkbox"/> Environmental Impact Report (EIR) | \$4,123.50 | \$ | 0.00 |
| <input type="checkbox"/> Mitigated/Negative Declaration (MND)/(ND) | \$2,968.75 | \$ | 0.00 |
| <input type="checkbox"/> Certified Regulatory Program (CRP) document - payment due directly to CDFW | \$1,401.75 | \$ | 0.00 |


☒ Exempt from fee☒ Notice of Exemption (attach)☐ CDFW No Effect Determination (attach)☐ Fee previously paid (attach previously issued cash receipt copy)

| | | | |
|---|----------|----|-------|
| <input type="checkbox"/> Water Right Application or Petition Fee (State Water Resources Control Board only) | \$850.00 | \$ | 0.00 |
| <input checked="" type="checkbox"/> County documentary handling fee | | \$ | 50.00 |
| <input type="checkbox"/> Other | | \$ | 0.00 |

PAYMENT METHOD
☐ Cash ☐ Credit ☒ Check ☐ Other
TOTAL RECEIVED \$ 50.00

| | |
|--|---|
| SIGNATURE X <i>Maria Gomez</i> | AGENCY OF FILING PRINTED NAME AND TITLE San Diego County Clerk, MARIA GOMEZ, Deputy |
|--|---|

Payment Reference #: CHECK # 349 \$50

| | | | |
|--|---|--|---|
| Page 3 | City of San Diego · Information Bulletin 620 | | August 2018 |
|  | City of San Diego Development Services 1222 First Ave., MS-302 San Diego, CA 92101 | | Community Planning Committee Distribution Form |
| Project Name: Wilink Residence | | Project Number: 1110028 & 1115323 | |
| Community: Ocean Beach | | | |
| <p style="text-align: center;">For project scope and contact information (project manager and applicant), log into OpenDSD at https://aca.accela.com/SANDIEGO.</p> <p style="text-align: center;">Select "Search for Project Status" and input the Project Number to access project information.</p> | | | |
| <input checked="" type="radio"/> Vote to Approve <input type="checkbox"/> Vote to Approve with Conditions Listed Below <input type="checkbox"/> Vote to Approve with Non-Binding Recommendations Listed Below <input type="checkbox"/> Vote to Deny | | | Date of Vote: September 03, |
| # of Members Yes <div style="text-align: center;">9</div> | # of Members No <div style="text-align: center;">0</div> | # of Members Abstain <div style="text-align: center;">0</div> | |
| Conditions or Recommendations: | | | |
| <input type="checkbox"/> No Action (Please specify, e.g., Need further information, Split vote, Lack of quorum, etc.) | | | |
| NAME: Andrea Schlageter | | | |
| TITLE: Chair, Ocean Beach Planning Board | | | DATE: September 04, 2024 |
| | | | |

Visit our web site at www.sandiego.gov/development-services.

Upon request, this information is available in alternative formats for persons with disabilities.

DS-5620 (08-18) ONLINE FORM



City of San Diego
Development Services
1222 First Ave., MS 302
San Diego, CA 92101
(619) 446-5000

Ownership Disclosure Statement

FORM
DS-318

October 2017

Approval Type: Check appropriate box for type of approval(s) requested: ☐ Neighborhood Use Permit ☒ Coastal Development Permit
☐ Neighborhood Development Permit ☐ Site Development Permit ☐ Planned Development Permit ☐ Conditional Use Permit ☐ Variance
☐ Tentative Map ☐ Vesting Tentative Map ☐ Map Waiver ☐ Land Use Plan Amendment ☐ Other _____

Project Title: WILLINK RESIDENCE REMODEL **Project No. For City Use Only:** 1115923

Project Address: 4941 CORONADO SAN DIEGO, CA 92107

Specify Form of Ownership/Legal Status (please check):

☐ Corporation ☒ Limited Liability -or- ☐ General - What State? _____ Corporate Identification No. _____

☐ Partnership ☐ Individual

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter will be filed with the City of San Diego on the subject property with the intent to record an encumbrance against the property. Please list below the owner(s), applicant(s), and other financially interested persons of the above referenced property. A financially interested party includes any individual, firm, co-partnership, joint venture, association, social club, fraternal organization, corporation, estate, trust, receiver or syndicate with a financial interest in the application. If the applicant includes a corporation or partnership, include the names, titles, addresses of all individuals owning more than 10% of the shares. If a publicly-owned corporation, include the names, titles, and addresses of the corporate officers. (A separate page may be attached if necessary.) If any person is a nonprofit organization or a trust, list the names and addresses of **ANY** person serving as an officer or director of the nonprofit organization or as trustee or beneficiary of the nonprofit organization. A signature is required of at least one of the property owners. Attach additional pages if needed. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

Property Owner

Name of Individual: 1B Barracks LLC (John Willink) ☒ Owner ☐ Tenant/Lessee ☐ Successor Agency

Street Address: 919 Sunset Cliffs Blvd

City: San Diego **State:** CA **Zip:** 92107

Phone No.: 619-981-1772 **Fax No.:** 619-981-1773 **Email:** Willinkhome@gmail.com

Signature: [Signature] **Date:** 4/8/24

Additional pages Attached: ☐ Yes ☐ No

Applicant

Name of Individual: Jantz Monroe (contractor) ☐ Owner ☐ Tenant/Lessee ☐ Successor Agency

Street Address: 1445 Ronda Place

City: Escondido **State:** CA **Zip:** 92077

Phone No.: 619-920-5065 **Fax No.:** _____ **Email:** blackbeltbuilding@gmail.com

Signature: [Signature] **Date:** 4/29/24

Additional pages Attached: ☐ Yes ☐ No

Other Financially Interested Persons ?

Name of Individual: _____ ☐ Owner ☐ Tenant/Lessee ☐ Successor Agency

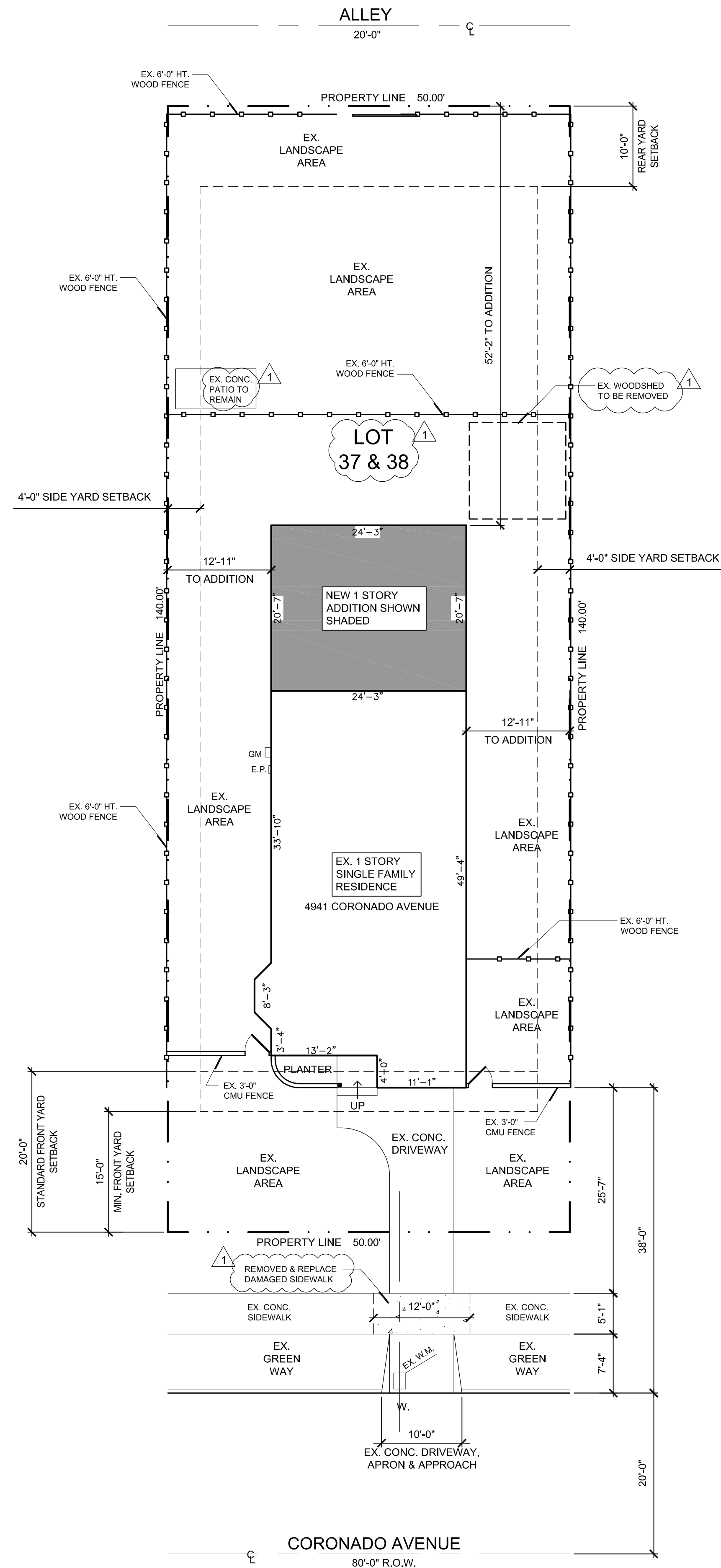
Street Address: _____

City: _____ **State:** _____ **Zip:** _____

Phone No.: _____ **Fax No.:** _____ **Email:** _____

Signature: _____ **Date:** _____

Additional pages Attached: ☐ Yes ☐ No



1. NO BUS STOP IS ADJACENT, ADJOINING OR ANYWHERE IN CLOSE PROXIMITY TO THIS SITE.
2. NO STREET, SIDEWALK, CURB CUTS OR PROPOSED IMPROVEMENTS SHALL BE MADE.
3. PROVIDE BUILDING ADDRESS NUMBERS, VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY PER PHPS POLICY P-00-6 (UPC901.4.4).
4. ALL SURFACE WATER TO DRAIN AWAY FROM BUILDING AND PROPERTY LINE TO STREET.
5. VERIFY ALL UTILITY LOCATIONS (EXISTING OR NEW) PRIOR TO START OF NEW CONSTRUCTION.
6. THE HOSE BIBBS AND LAWN SPRINKLER SYSTEMS SHALL HAVE APPROVED BACK FLOW PREVENTION DEVICES. UPC SECTION 1003
7. CONTRACTOR TO COMPLY WITH OSHA REQUIREMENTS
8. EXISTING GRADES REMAIN UNCHANGED. CUT-FILL / IMPORT-EXPORT TO BE BALANCED.
9. NO WORK WILL BE PERFORMED IN THE RIGHT OF WAY.

THIS PROJECT MUST COMPLY WITH THE MUNICIPAL CODE REQUIREMENTS FOR MAXIMUM HEIGHT OF THE STRUCTURE NOT TO EXCEED 40 FEET. HIGHEST POINT OF ROOF EQUIPMENT, PIPE, VENT, ANTENNA OR OTHER PROJECTION SHALL NOT EXCEED 40 FEET ABOVE GRADE

| | |
|---|--------|
| TOTAL: | |
| MIN. FRONT SETBACK PER TABLE 131-04G: | 15'-0" |
| STANDARD FRONT SETBACK PER TABLE 131-04G: | 20'-0" |

SECTION 131.0443 (e)(1):
REAR SETBACK IN RM-2-4 ZONES
(A) UP TO 50 PERCENT OF THE WIDTH OF THE BUILDING ENVELOPE MAY OBSERVE THE MINIMUM 15-FOOT FRONT SETBACK, PROVIDED THE REMAINING PERCENTAGE OF THE BUILDING ENVELOPE WIDTH OBSERVES THE STANDARD 20-FOOT SETBACK. THIS MAY OCCUR ON A FLOOR-BY FLOOR BASIS

TOTAL:
MIN. SIDE SETBACK PER TABLE 131-04G 5'-0"
SIDE YARD SETBACKS SHOWN: 4'-0"

SECTION 131.0443 (e)(2):
SIDE SETBACKS IN RM-2-4 ZONES
(A) THE MINIMUM SIDE SETBACK IS 5 FEET OR 10 PERCENT OF THE PREMISES WIDTH,
WHICHEVER IS GREATER.
(B) EXCEPTION: THE MINIMUM SIDE SETBACK IS 4 FEET FOR A PREMISES THAT IS
40 TO 50 FEET IN WIDTH.

TOTAL:
REAR YARD SETBACK PER TABLE 131-04G: 15'-0"
REAR YARD SETBACKS SHOWN: 10'-0"

SECTION 131.0443 (e)(4):
 REAR SETBACK IN RM-2-4 ZONES
 WHERE A REAR YARD ABUTS AN ALLEY, ONE-HALF OF THE ALLEY WIDTH, BUT NOT
 MORE THAN 10 FEET, MAY BE COUNTED TOWARD THE REQUIRED REAR YARD. IN NO
 CASE SHALL A REAR SETBACK USING THIS PROVISION BE LESS THAN 5 FEET.

POST CONSTRUCTION BMP REPORT

STORM WATER QUALITY NOTES - CONSTRUCTION BMPs

This project shall comply with all current requirements of the State Permit; California Regional Water Quality Control Board (SDRWQCB), San Diego Municipal Storm Water Permit, The City of San Diego Land Development Code, and the Storm Water Standards Manual.

PRIOR TO ANY SOIL DISTURBANCE, TEMPORARY SEDIMENT CONTROLS SHALL BE INSTALLED BY THE CONTRACTOR OR QUALIFIED PERSON(S) AS INDICATED BELOW:

1. ALL REQUIREMENTS OF THE CITY OF SAN DIEGO "STORM WATER STANDARDS MANUAL" MUST BE INCORPORATED INTO THE DESIGN AND CONSTRUCTION OF THE PROPOSED GRADING/APPROPRIATE IMPROVEMENTS CONSISTENT WITH THE APPROVED STORM WATER POLLUTION PREVENTION PLAN (SWPPP) AND/OR WATER POLLUTION CONTROL PLAN (WPCP) FOR CONSTRUCTION LEVEL BMPs AND, IF APPLICABLE, THE STORM WATER QUALITY MANAGEMENT PLAN (SWQMP) FOR POST-CONSTRUCTION BMPs.

2. THE CONTRACTOR SHALL INSTALL AND MAINTAIN ALL STORM DRAIN INLET PROTECTION, INLET PROTECTION IN THE PUBLIC RIGHT-OF-WAY MUST BE TEMPORARILY REMOVED PRIOR TO A RAIN EVENT TO ENSURE NO FLOODING OCCURS AND REINSTALLED AFTER RAIN IS OVER.

3. ALL CONSTRUCTION BMPs SHALL BE INSTALLED AND PROPERLY MAINTAINED THROUGHOUT THE DURATION OF CONSTRUCTION.

4. THE CONTRACTOR SHALL ONLY GRADE, INCLUDING CLEARING AND GRUBBING, AREAS FOR WHICH THE CONTRACTOR OR QUALIFIED CONTACT PERSON CAN PROVIDE EROSION AND SEDIMENT CONTROL MEASURES.

5. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ALL SUB-CONTRACTORS AND SUPPLIERS ARE AWARE OF ALL STORM WATER BMPs AND IMPLEMENT SUCH MEASURES. FAILURE TO COMPLY WITH THE APPROVED SWPPP/WPCP WILL RESULT IN THE ISSUANCE OF CORRECTION NOTICES, CITATIONS, CIVIL PENALTIES, AND/OR STOP WORK NOTICES.

6. THE CONTRACTOR OR QUALIFIED CONTACT PERSON SHALL BE RESPONSIBLE FOR CLEANUP OF ALL SILT, DEBRIS, AND MUD ON ADJACENT AND ADJACENT STREETS) AND WITHIN STORM DRAIN SYSTEM DUE TO CONSTRUCTION VEHICLE/EQUIPMENT AND CONSTRUCTION ACTIVITY AT THE END OF EACH WORK DAY.

7. THE CONTRACTOR SHALL PROTECT NEW AND EXISTING STORM WATER CONVEYANCE SYSTEMS FROM SEDIMENTATION, CONCRETE RINSE, OR OTHER CONSTRUCTION-RELATED DEBRIS AND DISCHARGES WITH THE APPROPRIATE BMPs THAT ARE ACCEPTABLE TO THE CITY RESIDENT ENGINEER AND AS INDICATED IN THE SWPPP/WPCP.

8. THE CONTRACTOR OR QUALIFIED CONTACT PERSON SHALL CLEAR DEBRIS, SILT, AND MUD FROM ALL DITCHES AND SWALES PRIOR TO AND WITHIN 3 BUSINESS DAYS AFTER EACH RAIN EVENT OR PRIOR TO THE NEXT RAIN EVENT, WHICHEVER IS SOONER.

9. IF A NON-STORM WATER DISCHARGE LEAVES THE SITE, THE CONTRACTOR SHALL IMMEDIATELY STOP THE ACTIVITY AND REPAIR THE DAMAGE. THE CONTRACTOR SHALL NOTIFY THE CITY RESIDENT ENGINEER OF THE DISCHARGE, PRIOR TO RESUMING CONSTRUCTION ACTIVITY, ANY AND ALL WASTE MATERIAL, SEDIMENT, AND DEBRIS FROM EACH NON-STORM WATER DISCHARGE SHALL BE REMOVED FROM THE STORM DRAIN CONVEYANCE SYSTEM AND PROPERLY DEPOSED OF BY THE CONTRACTOR.

10. EQUIPMENT AND WORKERS FOR EMERGENCY WORK SHALL BE MADE AVAILABLE AT ALL TIMES. ALL NECESSARY MATERIALS SHALL BE STOCKPILED ON-SITE AT CONVENIENT LOCATIONS TO FACILITATE RAPID DEPLOYMENT OF CONSTRUCTION BMPs WHEN RAIN IS IMMINENT.

11. THE CONTRACTOR SHALL RESTORE AND MAINTAIN ALL EROSION AND SEDIMENT CONTROL BMPs TO WORKING ORDER YEAR-ROUND.

12. THE CONTRACTOR SHALL INSTALL ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES DUE TO UNFORESEEN CIRCUMSTANCES TO PREVENT NON-STORM WATER AND SEDIMENT LOADS DISCHARGES.

13. THE CONTRACTOR SHALL BE RESPONSIBLE AND SHALL TAKE NECESSARY PRECAUTIONS TO PREVENT PUBLIC TRESPASS ONTO AREAS WHERE IMPOUNDING WATERS CREATE A HAZARDOUS CONDITION.

14. ALL EROSION AND SEDIMENT CONTROL MEASURES PROVIDED PER THE APPROVED SWPPP/WPCP SHALL BE INSTALLED AND MAINTAINED. ALL EROSION AND SEDIMENT CONTROLS FOR INTERIM CONDITIONS SHALL BE PROPERLY DOCUMENTED AND INSTALLED TO THE SATISFACTION OF THE CITY RESIDENT ENGINEER.

15. AS NECESSARY, THE CITY RESIDENT ENGINEER SHALL SCHEDULE MEETINGS FOR THE PROJECT TEAM (GENERAL CONTRACTOR, QUALIFIED CONTACT PERSON, EROSION CONTROL SUBCONTRACTOR IF ANY, ENGINEER OF WORK, OWNER/DEVELOPER, AND THE CITY RESIDENT ENGINEER) TO EVALUATE THE ADEQUACY OF THE EROSION AND SEDIMENT CONTROL MEASURES AND OTHER BMPs RELATIVE TO ANTICIPATED CONSTRUCTION ACTIVITIES.

16. THE CONTRACTOR OR QUALIFIED CONTACT PERSON SHALL CONDUCT VISUAL INSPECTIONS AND MAINTAIN ALL BMPs DAILY AND AS NEEDED. VISUAL INSPECTIONS AND MAINTENANCE OF ALL BMPs SHALL BE CONDUCTED BEFORE, DURING, AND AFTER EVERY RAIN EVENT AND EVERY 24 HOURS DURING ANY PROLONGED RAIN EVENT. THE CONTRACTOR SHALL MAINTAIN AND REPAIR ALL BMPs AS SOON AS POSSIBLE AS SAFETY ALLOWS.

17. **CONSTRUCTION ENTRANCE AND EXIT AREA.** TEMPORARY CONSTRUCTION ENTRANCE AND EXITS SHALL BE CONSTRUCTED IN ACCORDANCE WITH CASQA FACT SHEET TC-1 OR CALTRANS FACT SHEET TC-01 TO PREVENT TRACKING OF SEDIMENT AND OTHER POTENTIAL POLLUTANTS ONTO PAVED SURFACES AND TRAVELED WAYS. WIDTH SHALL BE 12' OR THE MINIMUM NECESSARY TO ACCOMMODATE VEHICLES AND EQUIPMENT WITHOUT BY-PASSING THE ENTRANCES. (a) NON-STORM WATER DISCHARGES SHALL BE EFFECTIVELY MANAGED PER THE SAN DIEGO MUNICIPAL CODE CHAPTER 4, ARTICLE 3, DIVISION 3 "STORM WATER MANAGEMENT" AND "DISCHARGE CONTROL".

Updated: 10/1/2018

1. IDENTIFY POLLUTANTS & CONDITIONS OF CONCERN

A. Identify Pollutants from the Project Area

| General Project Categories | General Pollutant Categories | | | | | | | | |
|----------------------------------|------------------------------|-----------|--------------|-------------------|----------------|-----------------------------|--------------|--------------------|------------|
| | Sediments | Nutrients | Heavy Metals | Organic Compounds | Trash & Debris | Oxygen Demanding Substances | Oil & Grease | Bacteria & Viruses | Pesticides |
| Detached Residential Development | X | | | | X | | | | |

X = anticipated
P = potential

(1) A potential pollutant if landscaping exists on-site.
(2) A potential pollutant if the project includes uncovered parking areas.
(3) A potential pollutant if land use involves food or animal waste products.
(4) Including petroleum hydrocarbons.
(5) Including solvents.

2. SITE DESIGN BMPs

A. MAINTAIN PRE-DEVELOPMENT RAINFALL RUNOFF CHARACTERISTICS.

1. MINIMIZE DIRECTLY CONNECTED IMPERVIOUS AREAS.
DRAIN ROOFTOPS INTO ADJACENT LANDSCAPING.
DISCHARGE TO STORMWATER CONVEYANCE SYSTEM.
DRAIN HARDSCAPE AND FLATWORK INTO LANDSCAPING.

3. SOURCE CONTROL BMPs

A. DESIGN TRASH STORAGE AREAS TO REDUCE POLLUTION INTRODUCTION

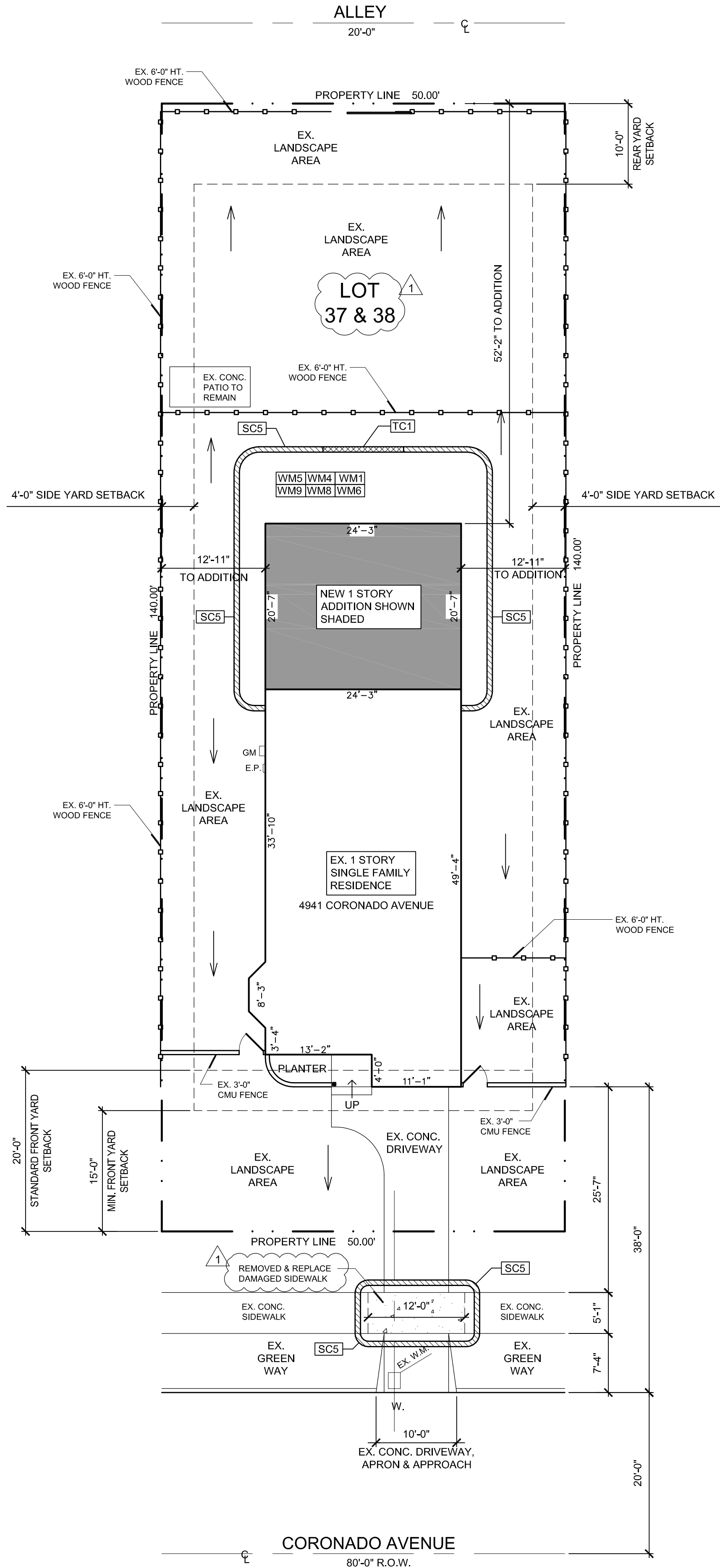
TRASH AND STORAGE AREAS SHALL BE PAVED WITH IMPERVIOUS SURFACES, DESIGNED NOT TO ALLOW RUN-OFF ON ADJOINING AREAS, AND SCREENED WALLS TO PREVENT TRANSPORT OF TRASH.

4. RESPONSIBILITY TO AFFECT THE STORM WATER BEST MANAGEMENT PRACTICES REQUIREMENTS.

A. THE CONTRACTOR OF RECORD SHALL BE SOLELY RESPONSIBLE TO PROVIDE REQUIREMENTS FOR THE BMPs.

PER CITY OF SAN DIEGO MUNICIPAL CODE SECTIONS 12.0104, 43.010, 129.0104(A)(4), AND 142.0220. PERMITS ARE REQUIRED TO BE INSPECTED BY CITY INSPECTION STAFF TO ENSURE COMPLIANCE WITH ISSUED CONSTRUCTION PERMIT. THIS INCLUDES, BUT NOT LIMITED TO, STORM WATER COMPLIANCE INSPECTION REQUIREMENTS ASSOCIATED WITH EACH PERMIT.

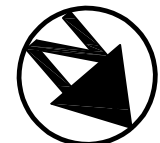
ALL STORM WATER RUNOFF FROM PROPOSED AND/OR REPLACED IMPERVIOUS AREAS SHALL BE ROUTED TO PERVIOUS SURFACES OR LANDSCAPING PRIOR TO REACHING THE PUBLIC DRAIN SYSTEM.



STORMWATER SITE PLAN

LOT 7,000.0 SQ. FT.

SCALE: 1" = 10'-0"



BMP LEGEND

PDS 659 BROW DITCH

PDS 659 BERM

DIRECTION OF LOT DRAINAGE

MATERIALS & WASTE MANAGEMENT BMPs:

WM-1 MATERIAL DELIVERY & STORAGE

WM-4 SPILL PREVENTION AND CONTROL

WM-5 SOLID WASTE MANAGEMENT

WM-6 HAZARDOUS WASTE MANAGEMENT

WM-8 CONCRETE WASTE MANAGEMENT

WM-9 SANITARY WASTE MANAGEMENT

TEMPORARY RUNOFF CONTROL BMPs:

SS-2 PRESERVATION OF EXISTING VEGETATION

SS-3 BONDED OR STABILIZED FIBER MATRIX (WINTER)

SS-4 HYDROSEEDING (SUMMER)

SS-6 / SS-8 STRAW OR WOOD MULCH

SS-7 PHYSICAL STABILIZATION (WINTER)

SS-10 ENERGY DISSIPATOR

SC-1 SILT FENCE

SC-2 SEDIMENT / DESILTING BASIN

SC-5 FIBER ROLLS / WATTLE (STRAW)

SC-6 / SC-8 GRAVEL OR SAND BAGS

SC-7 STREET SWEEPING AND VACUUMING

SC-10 STORM DRAIN INLET PROTECTION

NS-2 DEWATERING FILTRATION

TC-1 STABILIZED CONSTRUCTION ENTRANCE

TC-2 CONSTRUCTION ROAD STABILIZATION

TC-3 ENTRANCE / EXIT TIRE WASH

POST-CONSTRUCTION SITE DESIGN BMPs:

4.3.1 MAINTAIN NATURAL DRAINAGE PATHWAYS AND HYDROLOGIC FEATURES

4.3.2 CONSERVE NATURAL AREAS, SOILS & VEGETATION

4.3.3 MINIMIZE IMPERVIOUS AREAS

4.3.4 MINIMIZE SOIL COMPACTION

4.3.5 IMPERVIOUS AREA DISPERSION

4.3.6 RUNOFF COLLECTION

4.3.7 LANDSCAPING WITH NATIVE OR DROUGHT TOLERANT SPECIES

4.3.8 HARVESTING & USING PRECIPITATION

POST-CONSTRUCTION SITE DESIGN BMPs:

4.2.1 PREVENTION OF ILLICIT DISCHARGE INTO MS4

4.2.2 STORM DRAINAGE STENCILING & POSTING OF SIGNAGE

4.2.3 PROTECTED OUTDOOR MATERIALS STORAGE AREAS

4.2.4 PROTECTED MATERIALS STORED IN OUTDOOR WORK AREAS

4.2.5 PROTECTED TRASH STORAGE AREAS

4.2.6 POTENTIAL RUNOFF SURFACES

MINIMUM CONSTRUCTION BMP'S

USE STEP 6. USE DETAILS DPLU: 659, SC-5, TC-1, WM-1, WM-5, WM-6, WM-8 & WM-9

LGD DRAFTING SERVICE
PLANNING-PERMITS-ADDITION-REMODEL
TEL: (619) 990-4392 lgdrafting@gmail.com

WILLINK RESIDENCE ADDITION / REMODEL
4941 CORONADO AVENUE
SAN DIEGO, CA 92107

A002

SINGLE DWELLING UNITS / DUPLEXES / ACCESSORY DWELLING UNITS 2022 CALIFORNIA RESIDENTIAL CODE

General / Special Subjects

- Prop D/ Coastal Height Limitation Overlay Zone (if applicable to project)
- The highest point of the roof, equipment, or any vent, pipe, antenna or other projection shall not exceed 30 feet above base of measurement (reference datum). [SDMC Section 132.0505]
 - A pre-construction inspection is required due to the height of the proposed structure being within one foot of the maximum height allowed in the Coastal Height Limit Overlay Zone (Proposition D).

- FAA Part 77 Notification (if applicable to project)
- FAA Self Certification option:
The City will not require notification to the FAA if a professional, licensed by the state of California to prepare construction documents, provides the following certification on their plans, along with their signature and registration stamp:
"I, _____ do hereby certify that the structure(s) or modification to existing structure(s) shown on these plans do not require Federal Aviation Administration notification because per Section 77.15 (a) of Title (a) of the Code of Federal Regulations CFR Part 77, notification is not required."

- A pre-construction inspection is required due to the height of the proposed structure in relation to the FAA Part 77 Notification Surface requirements. The pre-construction inspection must be scheduled and cleared by the field inspector before any subsequent inspections can be scheduled. Call (858) 581-7111 to schedule the pre-construction inspection. Contact the Inspection Services office at (858) 492-5070, you have any questions pertaining to the pre-construction inspection.

- Deferred Submittal (general)
- Plans for the deferred submittal items shall be submitted in a timely manner but not less than 30 business days prior to installation for City review and approval.

- The deferred submittal items shall not be installed until their design and submittal documents have been approved by the Building Official. [SDMC §129.0205]

- The registered and responsible design professional shall review the deferred submittal documents and submit them to the Building Official, with annotation indicating that the deferred submittal documents have been reviewed and found to be general conformance to the design the building. [SDMC §129.0205].

- Deferred Submittal (NFPA 13D Fire Sprinkler)
- The submittal residential fire sprinkler plans required by California Residential Code Section R313 has been deferred.
 - To avoid delays construction, plans for fire sprinkler plans shall be submitted not less than 30 calendar days prior to installation or prior to requesting a foundation inspection, framing/rough inspection shall not be requested prior to approval of the fire sprinkler plans.

- Special Inspections (if applicable to project)
- NOTICE TO THE APPLICANT/OWNER/ OWNER'S AGENT/ARCHITECT or ENGINEER OF RECORD:
By using this permitted construction drawings for construction/installation of the work specified herein, you agree to comply with the requirements City of San Diego for special inspections, structural observations, construction material testing and off-site fabrication of building components contained in the statement of special inspections and, as required by the California construction codes.

- NOTICE TO THE CONTRACTOR/BUILDER/INSTALLER/SUB- CONTRACTOR/OWNER-BUILDER:
By using this permitted construction drawings for construction/installation of the work specified herein, you acknowledge and are aware of, the requirements contained the statement of special inspections. You agree to comply with the requirements of City of San Diego for special inspections, structural observations, construction material testing and off-site fabrication of building components, contained in the statement of special inspections and, as required by the California construction codes.

- The special inspector must be registered by the City of San Diego, Development Services, in the category of work required to have special inspection.

- The special inspections identified on plans are, in addition to, and not substitute for, those inspections required to be performed by a City's building inspector.

- The construction materials testing laboratory must be approved by the City of San Diego, Development Services, for testing of materials, systems, components and, equipment.

- Offsite fabricator must be approved in the City of San Diego, Development Services for the fabrication of members and assemblies on the premises of the fabricator's shop.

- Offsite fabricator shall submit an 'Application to perform Off-Site Fabrication' to the Inspection Services Division for approval prior to commencement of fabrication.

- Offsite fabricator shall submit a 'Certificate of Compliance for Off-Site Fabrication' to the Inspection Services Division prior to erection of fabricated items assemblies.

- Soils and Foundation
- When no geotechnical investigation report is provided:
The structure(s) will be located entirely on undisturbed native soil.
Signature _____ Owner/Licensed Engineer or Architect

- When no geotechnical investigation report is provided:
As a California Licensed Architect/Engineer, I have classified the undisturbed native soils to be _____ Table 1806.2 of the 2022 CBC I have assigned a foundation pressure of _____ psf. for the design of foundations related to this project.
Signature _____ of Licensed Architect/Engineer

- If the Building Inspector suspects fill, expansive soils, or any geologic instability based upon observation of the foundation excavation, a soils or geological report, and resubmittal of plans to plan check to verify that report recommendations have been incorporated, may be required.

- Fire Notes
- During construction, at least one extinguisher shall be provided on each floor level at each stairway, in all storage and construction sheds, locations where flammable or combustible liquids are stored or used, and where other special hazards are present per CFC 3315.1.

- Buildings undergoing construction, alteration, or demolition shall conform to CFC Chapter 33. Welding, cutting, and other hot work shall be in conformance with CFC Chapter 35.

California Residential Code

- Ducts in the garage and ducts penetrating walls or ceilings separating the dwelling from the garage shall be constructed of minimum No. 26 gauge sheet steel or other approved material and shall have no openings into the garage. [CRC R302.5.2].

- Showers compartments and bathtubs with installed shower heads shall be finished with a be nonabsorbent surface that extends to a height of not less 6 than 6 feet above the floor, the CRC R307.27.

- Smoke alarms and smoke detectors shall be installed a minimum of 20 feet horizontal distance from a permanently installed cooking appliance.

- Smoke alarms shall be installed not less than a 3-foot horizontal distance from the door or opening bathroom that contains a bathtub or shower unless this would prevent placement of a smoke alarm required by other sections of the CRC.

- Smoke alarms and smoke detectors shall not be installed within a 36-inch horizontal path from the supply registers of a forced air heating or cooling system and shall be installed outside of the direct airflow of those registers.

- Smoke
 - shall be interconnected so that actuation will activate within the individual dwelling unit. In new construction smoke alarms shall receive their primary power source from the building wiring and shall be equipped with battery backup and ow battery signal.

- Smoke alarms shall comply with NFPA 72 and shall be listed in accordance with UL 217.

- Combination smoke and carbon monoxide alarms shall be listed in accordance with UL 217 and UL 2034.

- Smoke alarm systems and components California State Fire Marshal listed and approved in accordance with California Code of Regulations, Title 19, Division for the purpose for which they are installed.

- Window opening control devices serving emergency escape and rescue openings shall comply with ASTM F2090. [CRC R310.1.1].

- Add note on plans: "Window fall control device shall comply with ASTM F2090, with At the emergency escape windows, the device after operation should release the control device allowing the windows to fully open providing opening area required for emergency escape window in accordance with CRC R310.2.1.

2022 Residential - California Green Building Standards Code

- Electric Vehicle Charging
- A listed raceway t facilitate future installation of Electric Vehicle Charger.

- Raceway shall be not less than trade size (nominal 1-in. diameter) to accommodate a dedicated 208/240-volt branch circuit.

- Raceway shall originate at the main service or sub-panel and terminate into a listed cabinet, box or other enclosure in close proximity to the proposed location of the EV charger.

- Raceway shall be continuous at enclosed, inaccessible concealed areas and spaces.

- The service panel or subpanel shall provide capacity to install 40-ampere minimum dedicated branch circuit and space(s) reserved to permit installation of a branch circuit overcurrent protective device.

- The service panel or subpanel circuit directory shall identify:
a) The overcurrent protective device space(s) for future EV charging as "EV CAPABLE"
b) The raceway termination location as "EV CAPABLE"

General Notes:

- New residential developments with landscape over ft. 500 sq. ft. shall comply with one of the following [CALGreen 4.304.1]:
1) Local water efficient landscape ordinance or current California Department Resources Model Water Efficient Landscape Ordinance (MWELO).
2) Landscape areas less than 2500 sq. ft. may comply with MWELO's Appendix D Prescriptive Compliance Option.

- Joints and openings, annular spaces around pipes, electric cables, conduits, or other openings in plates exterior walls shall be protected against the passage of rodents by closing such openings with cement mortar, concrete masonry or similar method acceptable to the enforcing agency. [CAL Green 4.406.1].

- Before and final inspection, a complete operation and maintenance manual shall be placed in the building. A sample of the manual is available on the Housing and community Development (HCD) web site. The manual should include the 3 listed in 2022 CALGreen 4.410.1.

- Paints, stains, coatings, adhesives, sealants and caulks shall comply with the Volatile Organic Compound (VOC) limits listed 2022 CALGreen Section 4.504.2.

- The VOC Content Verification shall made available to the City staff upon request.

- All new and carpet cushions installed in the building interior shall meet the testing and product requirements of one of the following:
1) and Carpet and Rug Institute's Green Label Plus Program
2) California Department of Public Health's Specification 01350
3) NSF/ANSI 140 at the Gold level
4) Scientific Certification Systems Indoor Advantage TM Gold

- Eighty percent of the floor area receiving resilient flooring shall comply with one or more of the following [CALGreen 4.504.47]:
1) VOC emission limits defined in the CHPS High Performance Products Database
2) Certified under UL GREENGUARD Gold
3) Certification under the Resilient Floor Covering Institute (RFCI) FloorScore Program
4) Meet the California Department of Public Health's Specification 01350

- New hardwood plywood, particle board, and medium density fiberboard (MDF) composite wood product used in the building shall meet the formaldehyde limits listed 2022 CALGreen Table 4.504.5.

- Building materials with visible signs water damage shall not be installed. Walls and floors framing shall not be enclosed when framing members exceed 19% moisture content. [CALGreen 4.505.3].

- Plumbing/Mechanical
- A plumbing fixture certification must be completed and signed by either a licensed general contractor, plumbing subcontractor, or the building owner certifying the flow rate the fixtures installed. A copy of the certification can be obtained from the Development Services Department.
Owner Signature: _____

- All plumbing fixtures and fittings will be water conserving ana will comply with the 2022 CGBSC

- Per 2022 CGBSC, plumbing fixtures (water closets urinals) and fittings (faucets and showerheads) shall be installed in accordance with the California Plumbing Code (CPC).

- Provide lavatory faucets with a maximum flow of 1.2 gallons per minute (GPM).

- Provide kitchen faucets with a maximum flow of 1.8 gallons per minute (GPM).

- Provide water closets with maximum flow of 1.28 gallons flush (GPF).

- Provide shower heads with maximum flow of 1.8 gallons per minute (GPM).

- When shower is served by more than one showerhead, the combined flow rate of all showerheads and/or other shower outlets controlled by a single valve shall not exceed 2.0 gallons per minute at 80 psi, or the shower shall be designed to only allow one shower outlet to be in operation at a time. Handheld showers showerheads.

- Permanent vacuum breakers be included with all new hose bibbs.

- Plumbing fixtures (water closets and urinals) and fittings (faucets and showerheads) shall be installed in accordance with the California Plumbing Code (CPC).

- Any installed gas fireplace shall be a direct-vent sealed-combustion type. Any installed woodstove or pellet stove shall comply with U.S. EPA Phase I emission limits where applicable. Woodstoves, and pellet stoves and fireplaces shall also comply with applicable local ordinances.

- Mechanical exhaust fans which exhaust directly from bathrooms shall comply with the following:
1. Fans shall be ENERGY STAR compliant and be ducted to terminate outside the building.
2. Unless functioning component of a whole house ventilation system, fans must be controlled by a humidistat which shall be readily accessible. Humidistat controls shall be capable of adjustment between a relative humidity range 50 to 80 percent.

- Heating and Air conditioners shall be sized, designed and have their equipment selected using the following methods:
1. The heat loss and heat gain is established according to ANSI/ACCA 2 Manual 2004 (Residential Load Calculation), ASHRAE handbooks or other equivalent design software or methods.
2. Duct systems are sized according to ANSI/ACCA 1 Manual D - 2009 (Residential Duct Systems), ASHRAE handbooks or other equivalent design software or methods.
3. Select heating and cooling equipment according t ANSI/ACCA 3 Manual 2004 (Residential Equipment Selection).

- All duct and other related air distribution component openings shall be covered during with tape, plastic, or sheet metal until the final startup of the of the heating cooling, and ventilation equipment. [CALGreen 4.504.1].

- Newly installed bathroom exhaust fans shall be Energy Star compliant and be ducted to terminate outside of the building. Unless functioning as component of a whole house ventilation system, fans must be controlled by a humidistat which can adjust between 50 to 80 percent. [CALGreen 4.506.11.

Outdoor Showers

- Outdoor shower drains and sinks are not permitted to connect to the public sewer system unless equipped with an approved cover, Cold water connection only.

- Storm/Rainwater is not permitted in the public sewer conveyance system.

2022 Residential - California Energy Code

Lighting

- Lighting in bathrooms shall have all high efficacy luminaire and at least one luminaire must be at controlled by a vacancy sensor.

- All the installed wattage of luminaires in kitchens shall be high efficacy and shall have a manual on/off in addition to a vacancy sensor or dimmer. Under cabinet lighting shall be switched separately.

- Lighting in Garages, Laundry Rooms and Utility Rooms: All luminaires shall be high efficacy and at least one luminaire in each of these spaces shall be controlled by a vacancy sensor.

- All luminaires shall be high efficacy and shall have a manual on/off in addition to a vacancy sensor or dimmer.

- Outdoor Lighting: All luminaires mounted to the building or to other buildings on the same lot shall be high efficacy luminaires and must be controlled by a manual on and off switch, on AND controlled by one of these automatic control types: Photocontrol and motion sensor, or Astronomical time clock or Energy management control system (EMCS).

- Provide an exterior light at new exterior exits. For dwelling units, attached garages, and detached garages with electric power, at least one wall switch-controlled lighting be outlets shall be installed to provide illumination on the exterior side outdoor entrances or exits with grade level access. A vehicle door in a garage shall not be considered as an outdoor entrance or exit. Exception: Remote, central, or automatic control of lighting shall be permitted.

2022 Residential -Mechanical/Plumbing

Mechanical Notes

- Attic/Underfloor installation must comply with Sections 904, 908, and 909 of the California Mechanical Code (CMC).

- When a water heater compartment is operable to and is accessible from bedroom or bathroom, fuel burning water heaters shall be separated with a listed, gasketed closet self-closing door assembly installed with - threshold/bottom seal complying with Section 504.1.1 and 504.1.2 of the California Plumbing Code. Combustion air shall be supplied to the closet from the exterior in accordance with Section 508.4 of the CPC & the water heater shall be direct venting. The closet shall be used exclusively for the water heater. CPC 504.1

- When central heating furnace compartment is operable to and is accessible from a sleeping room such as a bedroom or bathroom they shall be separated from bedroom in a closet protected with listed, gasketed self-closing door assembly complying with Section 904.1.1 and 904.1.2 of the California Mechanical Code. Combustion air shall be supplied to the closet from the exterior in accordance with Section 508.4 of the CPC. The closet shall be used exclusively for the furnace. The furnace shall be direct vent type. CMC 904.1

Water Meter/Residential Fire Sprinkler

- Water meters for combined domestic water and fire sprinkler systems shall not be installed until the fire sprinkler system has been submitted and approved by the Building Official.

- After the building permit has been the issued, the owner shall be responsible for any costs incurred as a result of changes to the design of fire sprinkler system which produce a higher GPM and a larger meter size requirement:
Owner Signature: _____

2022 Residential - Fire Hazard Zone Severity Zone

- Roof gutters shall be provided with the means to prevent the accumulation of leaves and debris in the gutter. All roof gutters and downspouts shall be constructed of non-combustible materials. [CRC R337.5.4].

- Drip edge flashing used at the at free edges of roofing materials shall be non-combustible.

- Valley flashings shall be not less than 0.019-inch (No. 26 galvanized sheet gage) corrosion-resistant metal install over a minimum 36-inch-wide underlayment consisting of one layer of No. 72 ASTM cap sheet running the full length of the valley. [CRC R337.5.3].

- Chimneys, flues or stovepipes attached to any fireplace, stove, barbecue or other solid or liquid fuel burning equipment device shall equipped with an approves spark arrester.

- Turbine attic vents shall be equipped to allow one-way direction rotation only and shall not free spin in both directions.

- Glazing frames made of vin y materials shall have welded corners, metal reinforcement in the interlock area, and be certified to the most current edition of ANSI/AAMA/NWWDA1011/S.2 structural requirements.

STORM WATER REQUIREMENTS APPLICABILITY CHECKLIST

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Stormwater Requirements Applicability Checklist

Project Address: 4941 Coronado Avenue San Diego, CA 92107

Project Number: PRJ - 1110028

SECTION 1: Construction Stormwater Best Management Practices (BMP) Requirements

All construction sites are required to implement construction BMPs per the performance standards in the [Stormwater Standards Manual](#). Some sites are also required to obtain coverage under the State Construction General Permit (CGP), administered by the [California State Water Resources Control Board](#).

For all projects, complete Part A - If the project is required to submit a Stormwater Pollution Prevention Plan (SWPPP) or Water Pollution Control Plan (WPCP), continue to Part B.

Part A - Determine Construction Phase Stormwater Requirements

1. Is the project subject to California's statewide General National Pollutant Discharge Elimination System (NPDES) permit for Stormwater Discharges Associated with Construction Activities, also known as the State Construction General Permit (CGP)? (Typically projects with land disturbance greater than or equal to 1 acre.)

☐ Yes, SWPPP is required; skip questions 2-4.

● No; proceed to the next question.

2. Does the project propose construction or demolition activity, including but not limited to, clearing, grading, grubbing, excavation, or any other activity resulting in ground disturbance and/or contact with stormwater?

☒ Yes, WPCP is required; skip questions 3-4.

○ No; proceed to the next question.

3. Does the project propose routine maintenance to maintain the original line and grade, hydraulic capacity, or original purpose of the facility? (Projects such as pipe/inlet/sy replacement)

☐ Yes, WPCP is required; skip question 4.

● No; proceed to the next question.

4. Does the project include the following Permit types listed below?

Electrical Permit, Fire Alarm Permit, Fire Sprinkler Permit, Plumbing Permit, Sign Permit, Mechanical Permit, Spa Permit.

Individual Right of Way Permits that exclusively include only ONE of the following activities: water service, sewer lateral, or utility service.

Right of Way Permits with a project footprint less than 150 linear feet that exclusively include only ONE of the following activities: curb ramp, sidewalk and driveway apron replacement, potholing, curb and gutter replacement, and retaining wall encroachments.

☐ Yes, no document is required.

Check one of the boxes below and continue to Part B

☐ If you checked "Yes" for question 1, an SWPPP is REQUIRED - continue to Part B

☒ If you checked "No" for question 1 and checked "Yes" for question 2 or 3, a WPCP is REQUIRED. If the project proposes less than 5,000 square feet of ground disturbance AND has less than a 5-foot elevation change over the entire project area, a Minor WPCP may be required instead. Continue to Part B

☐ If you check "No" for all questions 1-3 and checked "yes" for question 4, Part B does not apply, and no document is required. Continue to Section 2.

1

More information on the City's construction BMP requirements as well as CGP requirements can be found at: <http://www.sandiego.gov/stormwater/pollution-prevention>

Visit our web site: sandiego.gov/odsd

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Stormwater Requirements Applicability Checklist

SECTION 2: Construction Stormwater BMP Requirements

Additional information for determining the requirements is found in the [Stormwater Standards Manual](#).

Part C - Determine if Not Subject to Permanent Stormwater Requirements

Projects that are considered maintenance or otherwise not categorized as "new development projects" or "redevelopment projects" according to the [Stormwater Standards Manual](#) are not subject to Permanent Stormwater BMPs.

If "yes" is checked for any number in Part C: Proceed to Part F and check "Not Subject to Permanent Stormwater BMP Requirements."

If "no" is checked for all the numbers in Part C: Continue to Part D.

1. Does the project only include interior remodels and/or is the project entirely within an existing enclosed structure and does not have the potential to contact stormwater?

☐ Yes.

● No

2. Does the project only include the construction of overhead or underground utilities without creating new impervious surfaces?

☐ Yes.

● No

3. Does the project fall under routine maintenance? Examples include but are not limited to roof or exterior structure surface replacement, resurfacing or reconfiguring surface parking lots or existing roadways without expanding the impervious footprint, and routine replacement of damaged pavement (grinding, overlay and pothole repair).

☐ Yes.

● No

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Stormwater Requirements Applicability Checklist

Part D - PDP Exempt Requirements

PDP Exempt projects are required to implement site design and source control BMPs.

If "yes" is checked for any questions in Part D: continue to Part F and check the box labeled "PDP Exempt."

If "no" is checked for all questions in Part D: continue to Part E.

1. Does the project ONLY include new or retrofit sidewalks, bicycle lanes, or trails that:

Are designed and constructed to direct stormwater runoff to adjacent vegetated areas, or other non-erodible permeable areas? Or;

Are designed and constructed to be hydraulically disconnected from paved streets and roads? Or;

Are designed and constructed with permeable pavements or surfaces in accordance with the Green Streets guidance in the City's [Stormwater Standards Manual](#)?

☐ Yes, PDP exempt requirements apply

● No, proceed to next question

☒ No, proceed to next question

2. Does the project ONLY include retrofitting or redevelopment existing paved alleys, streets or roads designed and constructed in accordance with the Green Streets guidance in the City's [Stormwater Standards Manual](#)?

☐ Yes, PDP exempt requirements apply

● No, proceed to next question

☒ No, proceed to next question

Part E - Determine if Project is a Priority Development Project (PDP)

Projects that match one of the definitions below are subject to additional requirements, including preparation of a Stormwater Quality Management Plan (SWQMP).

If "yes" is checked for any number in Part E: continue to Part F and check the box labeled "Priority Development Project."

If "no" is checked for every number in Part E: continue to Part F and check the box labeled "Standard Development Project."

1. New development that creates 10,000 square feet or more of impervious surfaces collectively over the project site. This includes commercial, industrial, residential, mixed-use, and public development projects on public or private land.

☐ Yes

● No

2. Redevelopment project that creates and/or replaces 5,000 square feet or more of impervious surfaces on an existing site of 10,000 square feet or more of impervious surfaces. This includes commercial, industrial, residential, mixed-use, and public development projects on public or private land.

☐ Yes

● No

3. New development or redevelopment of a restaurant. Facilities that sell prepared foods and beverages for consumption, including stationary lunch counters and refreshment stands selling prepared foods and drinks for immediate consumption (Standard Industrial Classification [SIC] 5511, 5512, and where the land development creates and/or replaces 5,000 square feet or more of impervious surface.

☐ Yes

● No

4. New development or redevelopment on a hillside. The project creates and/or replaces 5,000 square feet or more of impervious surface collectively over the project site and where the development will grade on any natural slope that is twenty-five percent or greater.

☐ Yes

● No

5. New development or redevelopment of a parking lot that creates and/or replaces 5,000 square feet or more of impervious surface collectively over the project site.

☐ Yes

● No

6. New development or redevelopment of streets, roads, highways, freeways, and driveways. The project creates and/or replaces 5,000 square feet or more of impervious surface collectively over the project site.

☐ Yes

● No

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7. New development or redevelopment discharging directly to an environmentally sensitive area. The project creates and/or replaces 2,500 square feet of impervious surface collectively over the project site, and discharges directly to an Environmentally Sensitive Area (ESA). "Discharging directly" includes flow that is conveyed overland a distance of 200 feet or less from the project to the ESA, or conveyed in a pipe or open channel any distance as an isolated flow from the project to the ESA (i.e., not commingled with flows from adjacent lands).

☐ Yes

● No

8. New development or redevelopment projects of retail gasoline outlet (RGO) that creates and/or replaces 5,000 square feet of impervious surface. The development project must meet the following criteria: (a) 5,000 square feet or more or (b) has a projected Average Daily Traffic (ADT) of 100 or more vehicles per day.

☐ Yes

● No

9. New development or redevelopment projects of an automotive repair shop that creates and/or replaces 5,000 square feet or more of impervious surfaces. Development projects categorized in any one of Standard Industrial Classification (SIC) codes 5511, 5512, 5513, 7232-7234 or 7236-7239.

☐ Yes

● No

10. Other Pollutant Generating Project. These projects are not covered in any of the categories above but involve the disturbance of one or more acres of land and are expected to generate post-construction phase pollutants, including fertilizers and pesticides. This category does not include projects creating less than 5,000 square feet of impervious area and projects containing landscaping without a requirement for the regular use of fertilizers and pesticides (such as a slope stabilization project using native plants). Impervious area calculations need not include linear pathways for infrequent vehicle use, such as emergency maintenance access or bicycle and pedestrian paths, if the linear pathways are built with pervious surfaces or if runoff from the pathway sheet flows to adjacent pervious areas.

☐ Yes

● No

Part F - Select the appropriate category based on the outcomes of Part C through Part E

1. The project is NOT SUBJECT TO PERMANENT STORMWATER REQUIREMENTS

☐ Yes

● No

2. The project is a STANDARD DEVELOPMENT PROJECT. Site design and source control BMP requirements apply. See the [Stormwater Standards Manual](#) for guidance.

☒ Yes

● No

3. The project is PDP EXEMPT. Site design and source control BMP requirements apply. Refer to the [Stormwater Standards Manual](#) for guidance.

☐ Yes

● No

4. The project is a PRIORITY DEVELOPMENT PROJECT. Site design, source control and structural pollutant control BMP requirements apply. Refer to the [Stormwater Standards Manual](#) for guidance on determining if the project requires hydromodification plan management.

☐ Yes

● No

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Stormwater Requirements Applicability Checklist

Valuation/Chargeable Square Footage for Fees Assessment

Additional information for determining the requirements is found in the [Stormwater Standards Manual](#).

Part G - Determine if Project is a Priority Development Project (PDP)

Projects that match one of the definitions below are subject to additional requirements, including preparation of a Stormwater Quality Management Plan (SWQMP).

If "yes" is checked for any number in Part G: continue to Part H and check the box labeled "Priority Development Project."

If "no" is checked for all the numbers in Part G: continue to Part H and check the box labeled "Standard Development Project."

1. Does the project only include interior remodels and/or is the project entirely within an existing enclosed structure and does not have the potential to contact stormwater?

☐ Yes.

● No

2. Does the project only include the construction of overhead or underground utilities without creating new impervious surfaces?

☐ Yes.

● No

3. Does the project fall under routine maintenance? Examples include but are not limited to roof or exterior structure surface replacement, resurfacing or reconfiguring surface parking lots or existing roadways without expanding the impervious footprint, and routine replacement of damaged pavement (grinding, overlay and pothole repair).

☐ Yes.

● No

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Stormwater Requirements Applicability Checklist

Valuation/Chargeable Square Footage for Fees Assessment

Additional information for determining the requirements is found in the [Stormwater Standards Manual](#).

Part H - Determine if Project is a Priority Development Project (PDP)

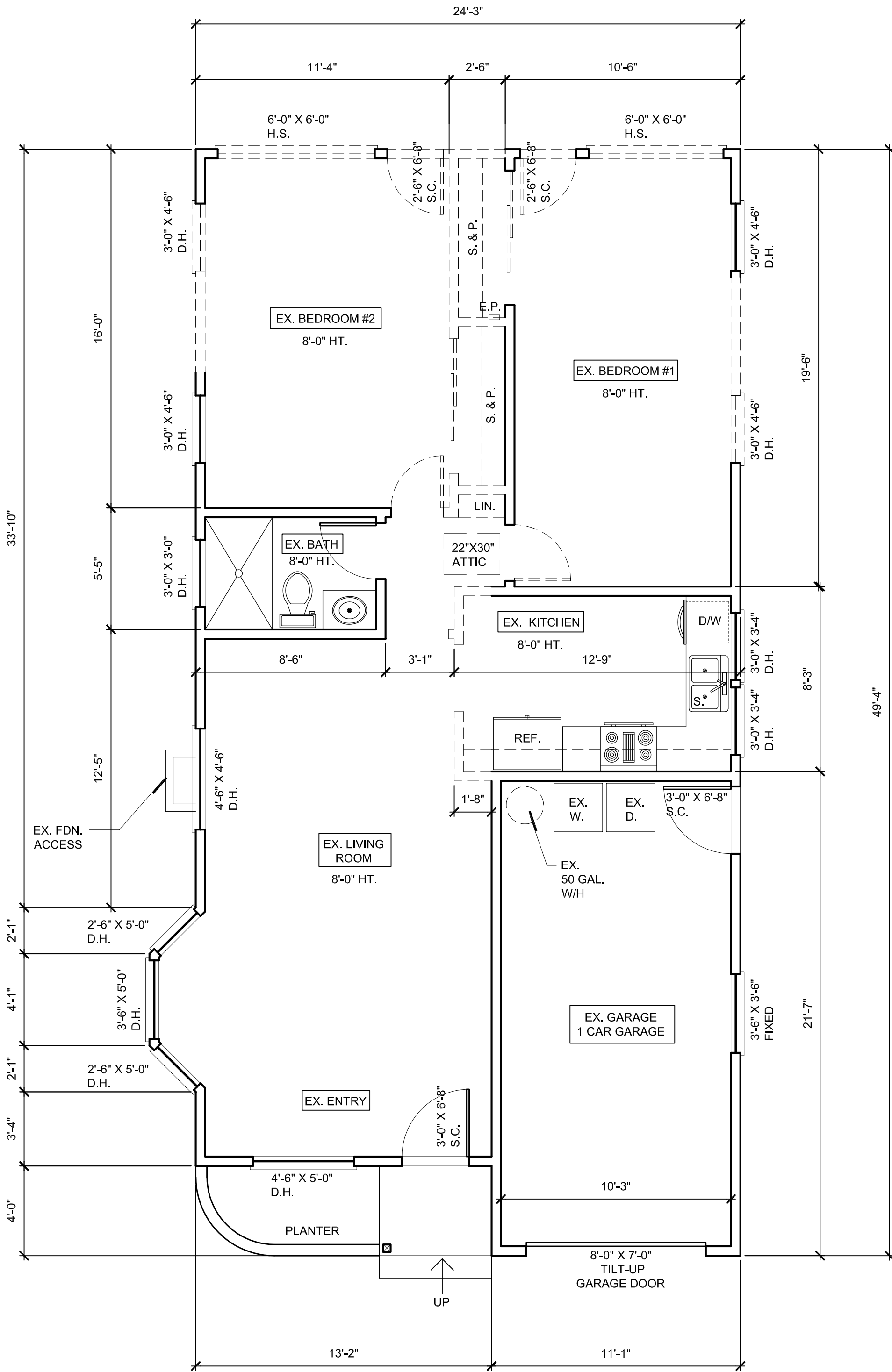
Projects that match one of the definitions below are subject to additional requirements, including preparation of a Stormwater Quality Management Plan (SWQMP).

If "yes" is checked for any

WALL KEY

- EX. 2X4 STUDWALLS @ 16" O.C. TO BE REMOVED
 - EXISTING 2X4 STUDWALLS @ 16" O.C. TO REMAIN
 - NEW 2X4 STUDWALLS @ 16" O.C. TO MATCH EXISTING
- NOTE:
WOOD JOIST & STUDWALL NOTCHING & BORING PER DETAIL

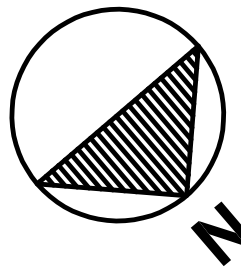
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DEMOLITION EXISTING FLOOR PLAN

918.0 SQ. FT. EX. DWELLING
239.0 SQ. FT. EX. GARAGE
1,157.0 SQ. FT. TOTAL

SCALE: 1/4" = 1'-0"



REF. NORTH

WILLINK RESIDENCE ADDITION / REMODEL
4941 CORONADO AVENUE
SAN DIEGO, CA 92107

LGD DRAFTING SERVICE

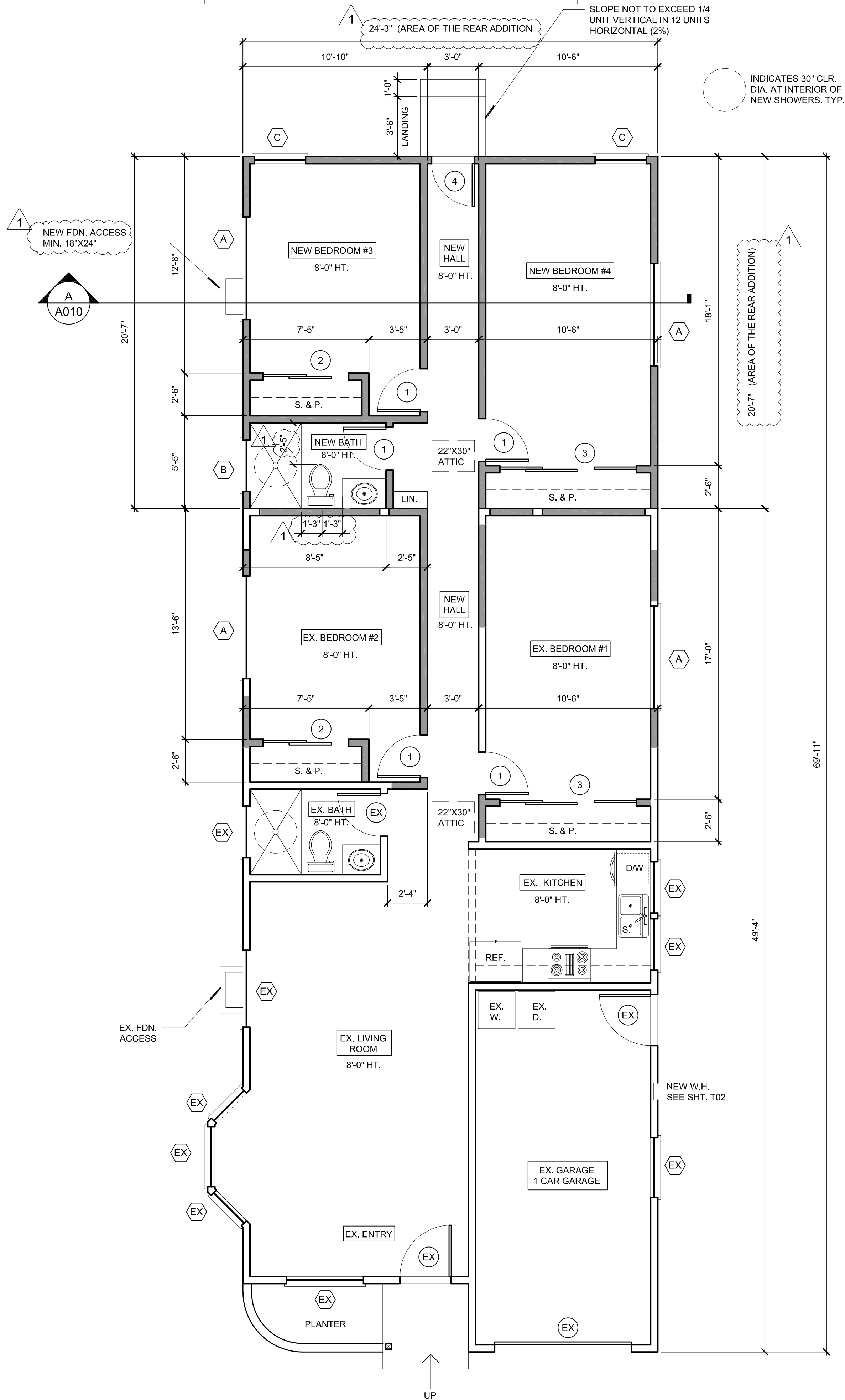
PLANNING-PERMITS-ADDITION-REMODEL

TEL: (619) 990-4392 lgdraftingsd@gmail.com

A004

DATE: 01-05-24

1 BD. REV. 02-14-24 CDP REV. 03-06-25



WALL KEY

- EX. 2X4 STUDWALLS @ 16" O.C. TO BE REMOVED
- EXISTING 2X4 STUDWALLS @ 16" O.C. TO REMAIN
- NEW 2X4 STUDWALLS @ 16" O.C. TO MATCH EXISTING
- NOTE: WOOD JOIST & STUDWALL NOTCHING & BORING PER DETAIL

ROOF GUTTERS SHALL BE PROVIDED WITH THE MEANS TO PREVENT THE ACCUMULATION OF LEAVES AND DEBRIS IN THE GUTTER. ALL ROOF GUTTERS AND DOWNSPOUTS SHALL BE CONSTRUCTED OF NON-COMBUSTIBLE MATERIALS. CRC R337.5.4; SDMC 149.0327(e) (1).

DRIP EDGE FLASHING USED AT THE FREE EDGES OF ROOFING MATERIALS SHALL BE NON-COMBUSTIBLE. SDMC 149.0327(e) (2).

VALLEY FLASHINGS SHALL BE NOT LESS THAN 0.019-INCH (No. 26 GALVANIZED SHEET GAGE) CORROSION-RESISTANT METAL INSTALLED OVER A MINIMUM 36-INCH-WIDE UNDERLAYMENT CONSISTING OF ONE LAYER OF NO. 72 ASTM CAP SHEET RUNNING THE FULL LENGTH OF THE VALLEY. CRC R337.5.3.

CHIMNEYS, FLUES OR STOVEPIPES ATTACHED TO ANY FIREPLACE, STOVE, BARBEQUE OR OTHER SOLID OR LIQUID FUEL BURNING EQUIPMENT OR DEVICE SHALL BE EQUIPPED WITH AN APPROVES SPARK ARRESTOR. SDMC 149.0327(h).

TURBINE ATTIC VENTS SHALL BE EQUIPPED TO ALLOW ONE-WAY DIRECTION ROTATION ONLY AND SHALL NOT FREE SPIN IN BOTH DIRECTIONS. SDMC 149.0327(i) (3).

GLAZING FRAMES MADE OF VINYL MATERIALS SHALL HAVE WELDED CORNERS, METAL REINFORCEMENT IN THE INTERLOCK AREA, AND BE CERTIFIED TO THE MOST CURRENT EDITION OF ANSI/AAMA/NWWDA 101/I.S.2 STRUCTURAL REQUIREMENTS. SDMC 149.0327(g).

NOTE: INTERIOR SPACES INTENDED FOR HUMAN OCCUPANCY SHALL BE PROVIDED WITH SPACE-HEATING SYSTEM CAPABLE OF MAINTAINING A MINIMUM INDOOR TEMPERATURE OF 68 DEGREE F.

WINDOWS PROVIDED AT BEDROOMS SHALL COMPLY WITH ALL OF THE FOLLOWING:
MINIMUM NET CLEAR OPENING OF 5.7 FEET (5 SQUARE FEET MINIMUM AT GRADE FLOOR OPENINGS)
MINIMUM 20 INCH NET CLEAR OPENING WIDTH.
MINIMUM 24 INCH NET CLEAR OPENING HEIGHT.
BOTTOM OF THE CLEAR OPENING NOT GREATER THAN 44 INCHES MEASURED FROM THE FLOOR.
PER CRC SECTION R3310.2.1 & R310.2.2

DURING CONSTRUCTION, AT LEAST ONE EXTINGUISHER SHALL BE PROVIDED ON EACH FLOOR LEVEL AT EACH STAIRWAY. IN ALL STORAGE AND CONSTRUCTION SHEDS, IN LOCATIONS WHERE FLAMMABLE OR COMBUSTIBLE LIQUIDS ARE STORED OR USED, AND WHERE OTHER SPECIAL HAZARDS ARE PRESENT PER CFC SECTION 33115.1.

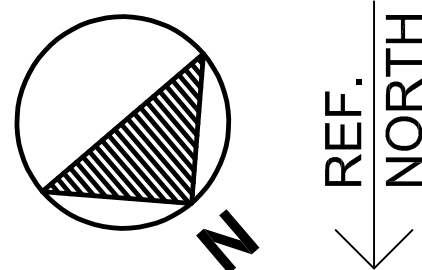
BUILDING UNDERGOING CONSTRUCTION, ALTERATIONS, OR DEMOLITION SHALL CONFORM TO CFC CHAPTER 33, WELDING, CUTTING, AND OTHER HOT WORK SHALL BE IN CONFORMANCE WITH CFC CHAPTER 35.

EACH PANE OF SAFETY GLAZING INSTALLED IN HAZARDOUS LOCATIONS SHALL BEAR THE PERMANENT MANUFACTURER'S MARK DESIGNATING THE TYPE AND THICKNESS OF THE GLASS OR GLAZING MATERIAL, SPECIFYING WHO APPLIED THE DESIGNATION, THE MANUFACTURER OR INSTALLER AND THE SAFETY GLAZING STANDARD WITH WHICH IT COMPLIES. THIS IDENTIFICATION MARK SHALL BE ACID ETCHED, SAND BLASTED, CERAMIC FIRED, LASER ETCHED, EMBOSSED OR OF A TYPE THAT, ONCE APPLIED, CANNOT BE REMOVED WITHOUT BEING DESTROYED.

NEW FLOOR PLAN

918.0 SQ. FT. EX. DWELLING
239.0 SQ. FT. EX. GARAGE
1,157.0 SQ. EX. FT. TOTAL
500.0 SQ. FT. REAR ADDITION
1,657.0 SQ. FT. TOTAL

SCALE: 1/4" = 1'-0"



| WINDOW SCHEDULE | | | | | | |
|-----------------|---------------------------|----------------|------------|----------------------|-------|---------|
| | SIZE | TYPE | FRAME | GLASS | ELEV. | REMARKS |
| A | 6'-0" X 4'-0" | HORIZ. SLIDING | MFG. VINYL | DUAL PANE, TEMP. PL. | 1 | |
| B | 6'-8" HDR. HT. | | | | | |
| B | 3'-0" X 1'-6" | HORIZ. SLIDING | MFG. VINYL | DUAL PANE, TEMP. PL. | 1 | |
| C | 6'-8" HDR. HT. | | | | | |
| C | 3'-0" X 4'-0" | DBL. HUNG | MFG. VINYL | DUAL PANE, TEMP. PL. | 2 | |
| EX | 6'-8" HDR. HT. | | | | | |
| EX | EXISTING WINDOW TO REMAIN | | | | | |

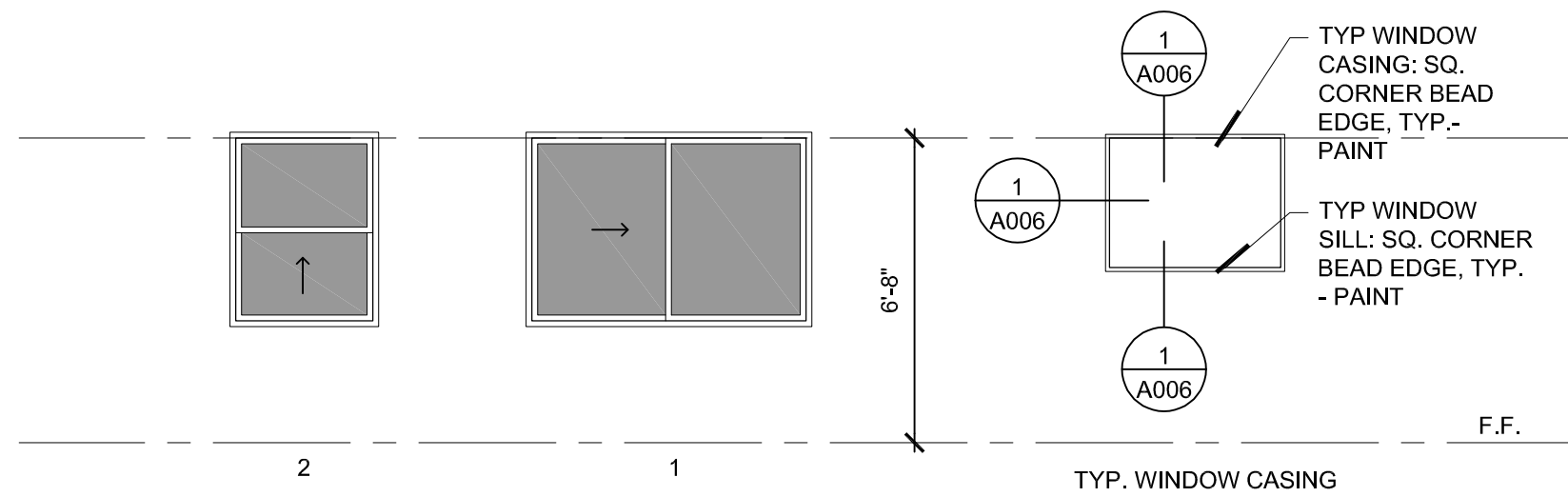
WINDOW NOTES:

1. ALL WINDOWS TO BE MILGARD BRAND TUSCANY SERIES, DUAL PANE.
2. MANUFACTURED WINDOWS SHALL HAVE A LABEL ATTACHED CERTIFIED BY THE NATIONAL FENESTRATION RATING COUNCIL (NFRC) AND SHOWING COMPLIANCE WITH THE ENERGY CALCULATIONS.
3. FOR WINDOW INSTALLATION, SEE DETAIL 1/A006
4. UNIT SKYLIGHTS SHALL BE TESTED BY AN APPROVED INDEPENDENT LABORATORY, AND BEAR A LABEL IDENTIFYING MANUFACTURER, PERFORMANCE GRADE RATING AND APPROVED INSPECTION AGENCY TO INDICATE COMPLIANCE WITH THE REQUIREMENTS OF AAMA/WDMA/CSA 101/1.S.2/A440. (CRC SECT. R308.6.9)
5. ALL WINDOWS AND GLASS DOORS TO HAVE A MIN. U FACTOR OF 0.3 AND A SHGC OF 0.23

1

PROVIDE AN EMERGENCY ESCAPE AND RESCUE OPENING THAT COMPLIES WITH ALL OF THE FOLLOWING.
MINIMUM NET CLEAR OPENING OF 5.7 SQUARE FEET (5 SQUARE FEET AT GRADE FLOOR OPENINGS).
-MINIMUM 20 INCH NET CLEAR OPENING WIDTH.
-MINIMUM 24 INCH NET CLEAR OPENING HEIGHT.
-MAXIMUM 44 INCH SILL HEIGHT ABOVE THE FLOOR.

WINDOW ELEVATIONS



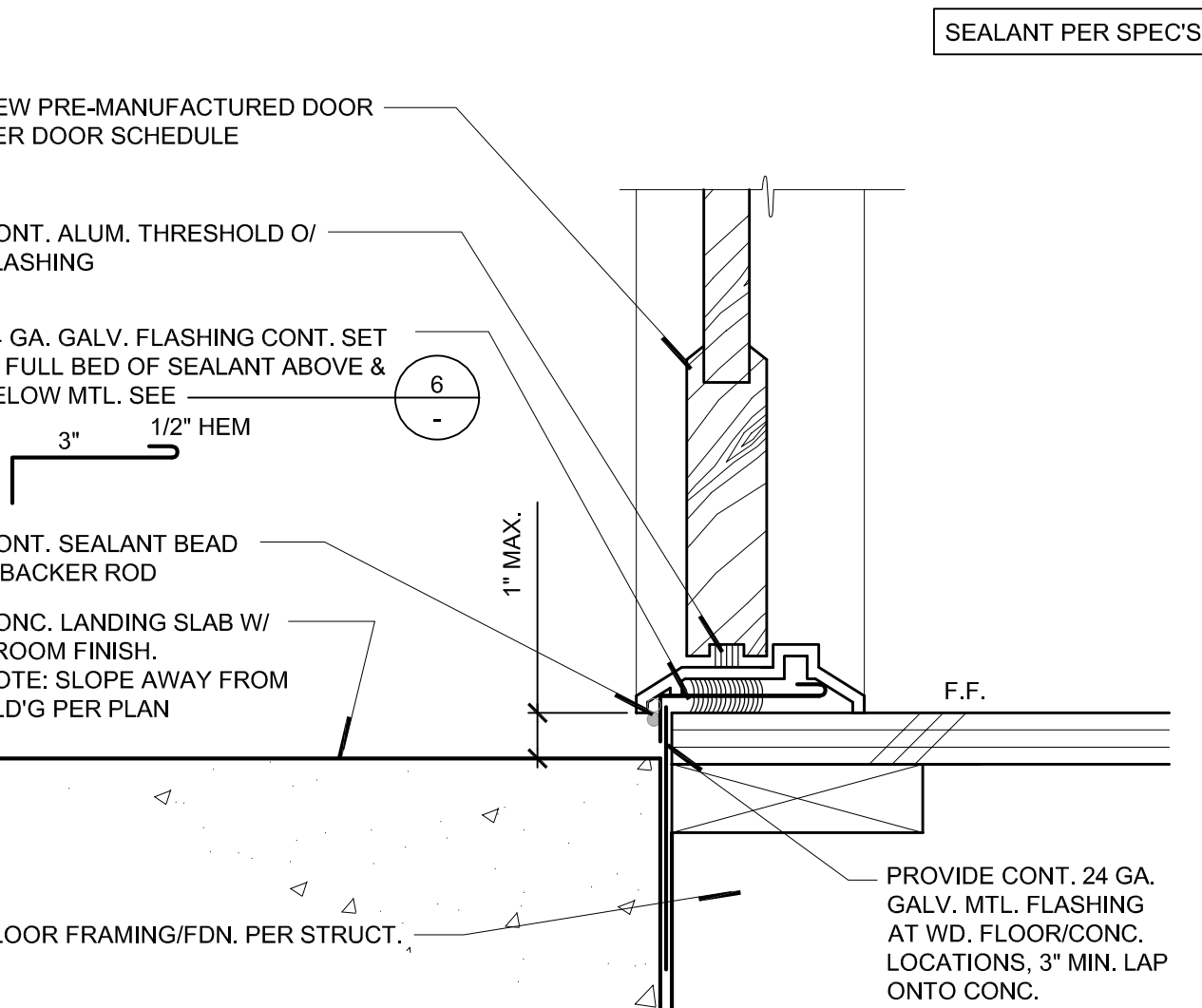
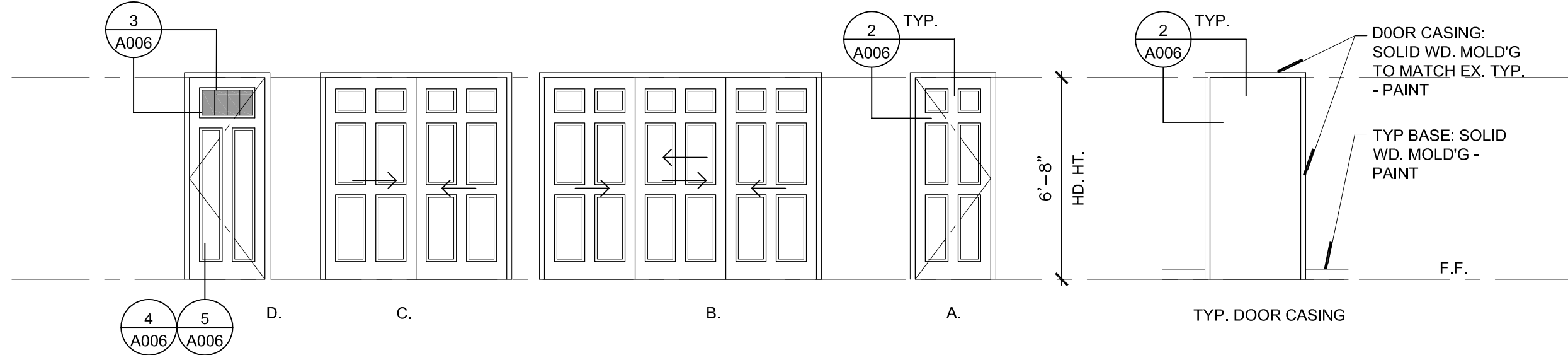
DOOR SCHEDULE

| | SIZE | TYPE | ELEV. | FRAME | FINISH | HARDWARE | REMARKS |
|----|----------------------------|---------------|-------|--------------|--------------|-------------------|----------------------------------|
| 1 | 2'-6" X 6'-8" X 1 3/8" | H.C. FLUSH | A | WOOD - PAINT | WOOD - PAINT | MFG. | PRIVACY LOCK PER OWNER |
| 2 | PR. 2'-6" X 6'-8" X 1 3/8" | BI-PASS DOORS | C | WOOD - PAINT | WOOD - PAINT | FLUSH FINGER PULL | UNDERCUT BATHROOM DOOR 1" |
| 3 | (3) 2'-6" X 6'-8" X 1 3/8" | BI-PASS DOORS | B | WOOD - PAINT | WOOD - PAINT | FLUSH FINGER PULL | CONT. TOP RAIL TRACK, BOT. GUIDE |
| 4 | 2'-6" X 6'-8" X 1 3/4" | S.C. FLUSH | D | WOOD - PAINT | WOOD - PAINT | MFG. | PRIVACY LOCK PER OWNER |
| EX | EXISTING DOORS TO REMAIN | | | | | | |

DOOR NOTES:

1. ALL DOOR HINGES TO MATCH COLOR / FINISH OF DOOR HDW.
2. EXTERIOR GLASS DOORS SHALL HAVE A LABEL ATTACHED CERTIFIED BY THE NATIONAL FENESTRATION RATING COUNCIL (NFRC) AND SHOWING COMPLIANCE WITH THE ENERGY CALCULATIONS.

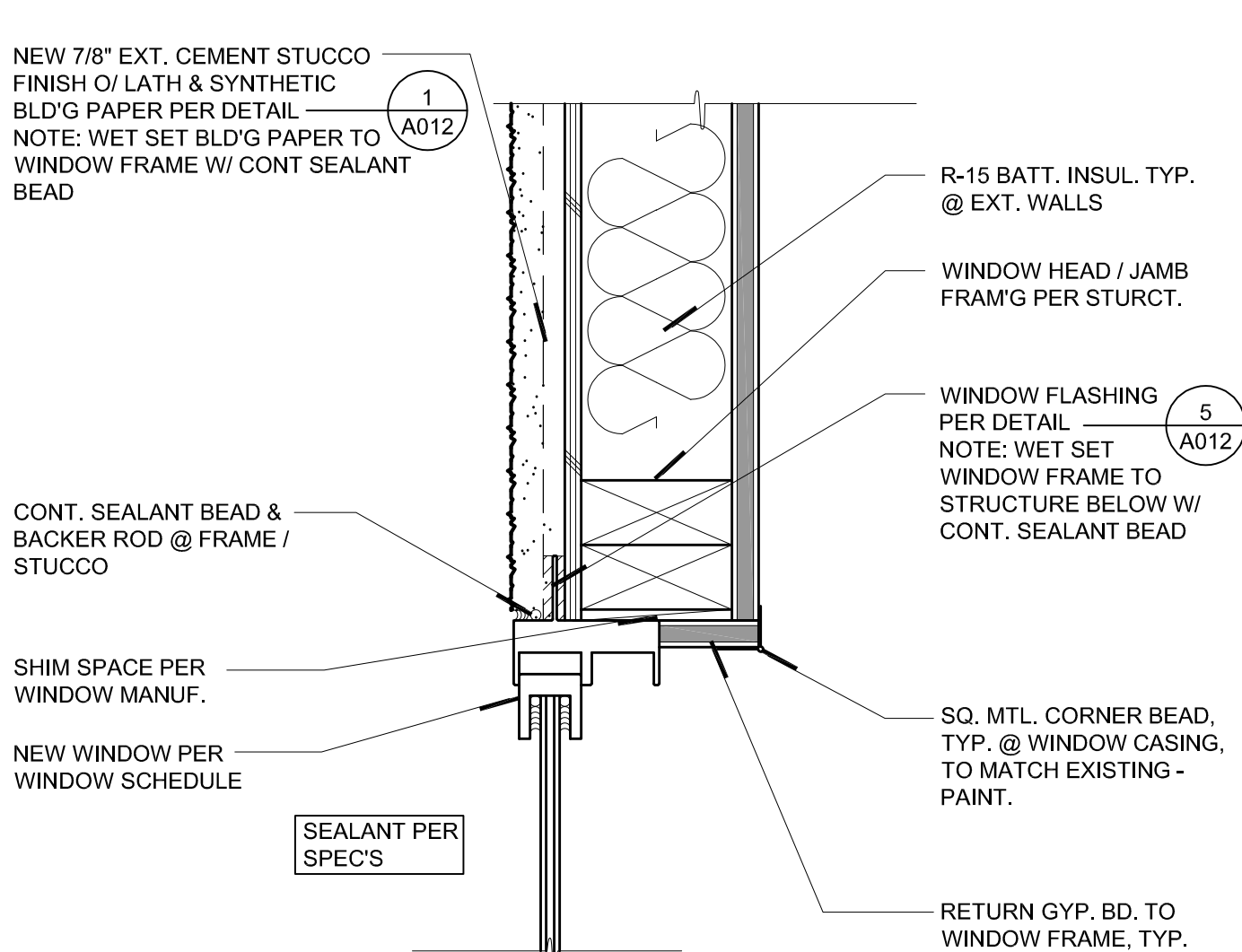
DOOR ELEVATIONS



DOOR THRESHOLD

3"=1'-0"

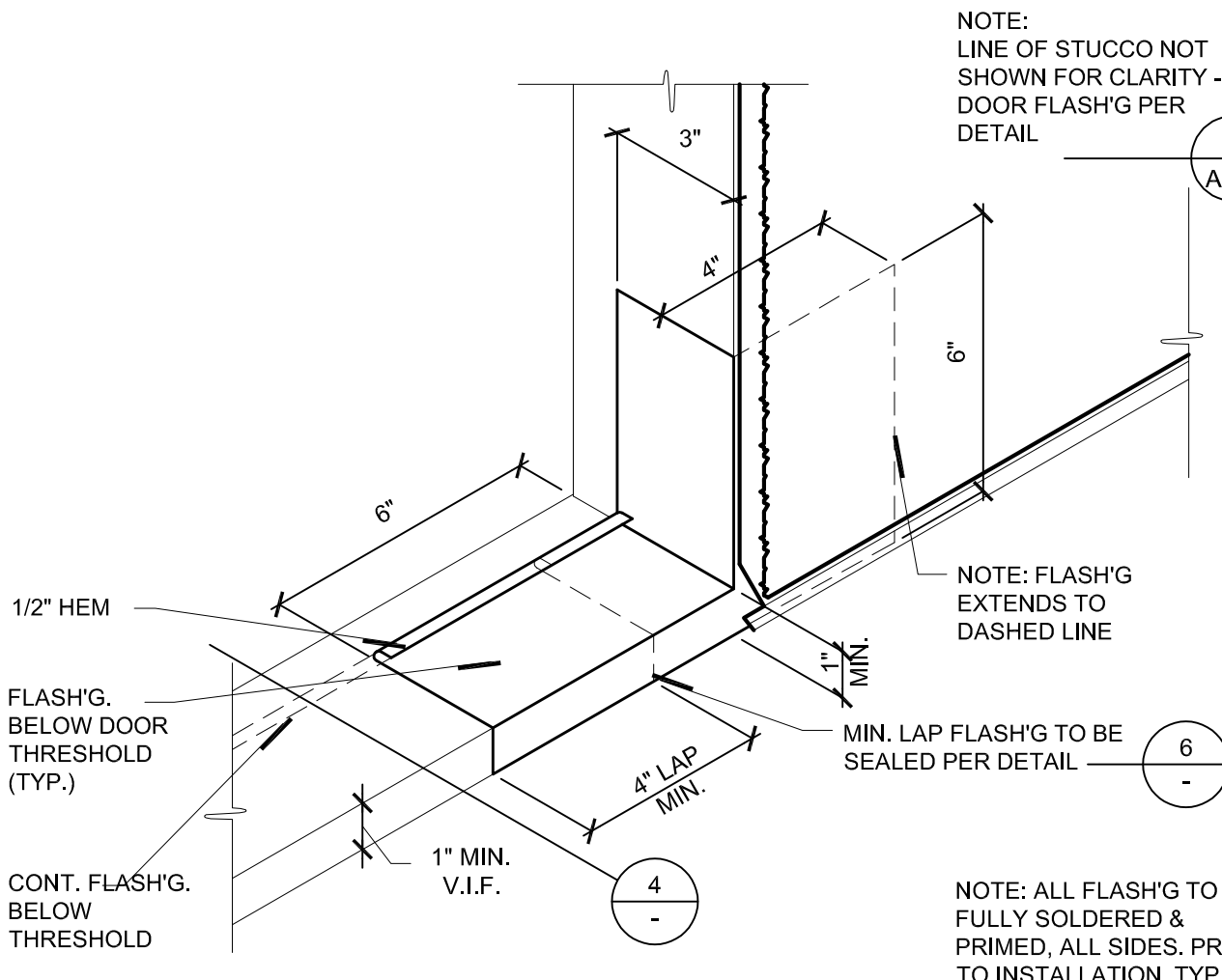
4



NEW WINDOW HD/JB/SILL

3"=1'-0"

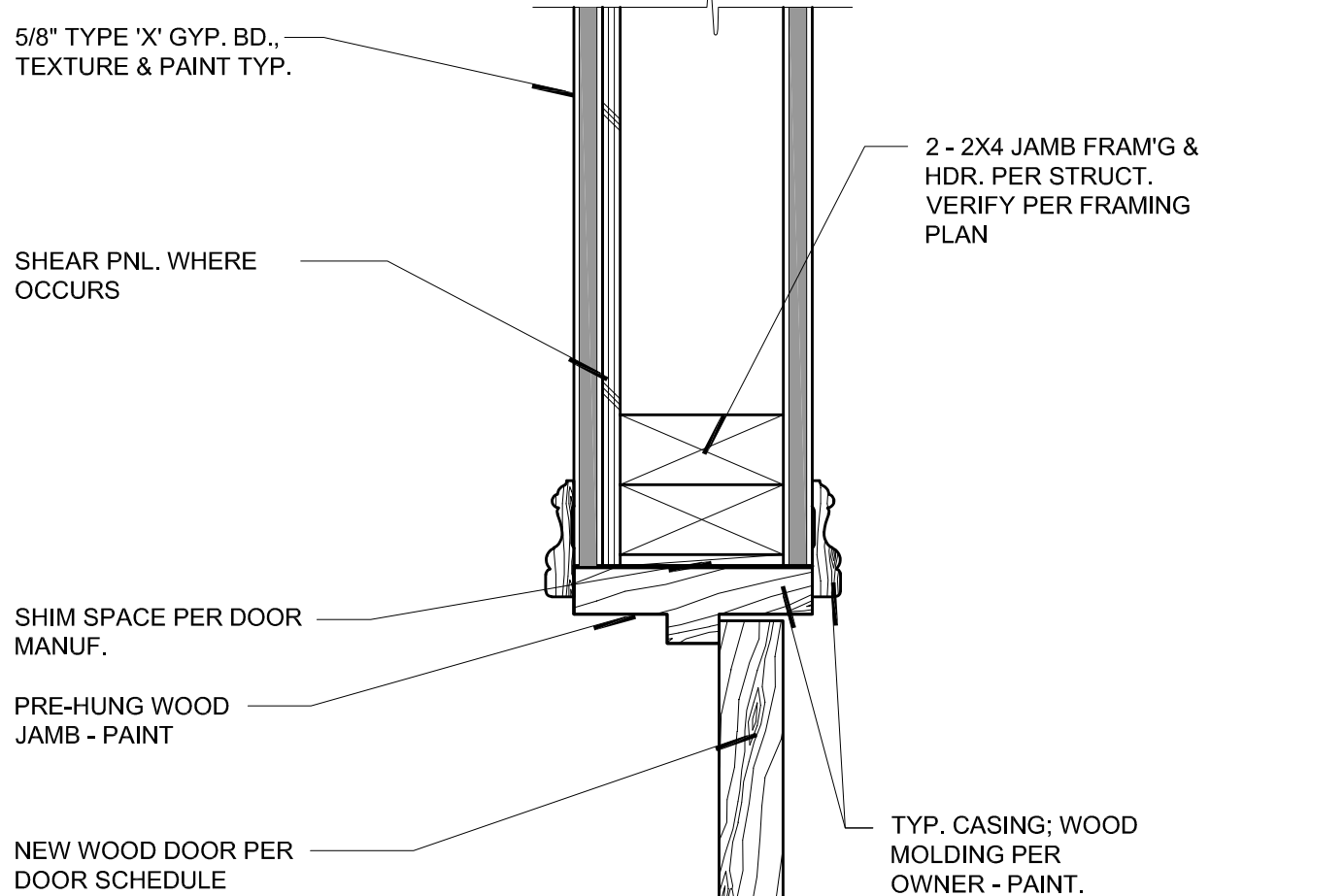
1



DOOR THRESHOLD FLASH'G

3"=1'-0"

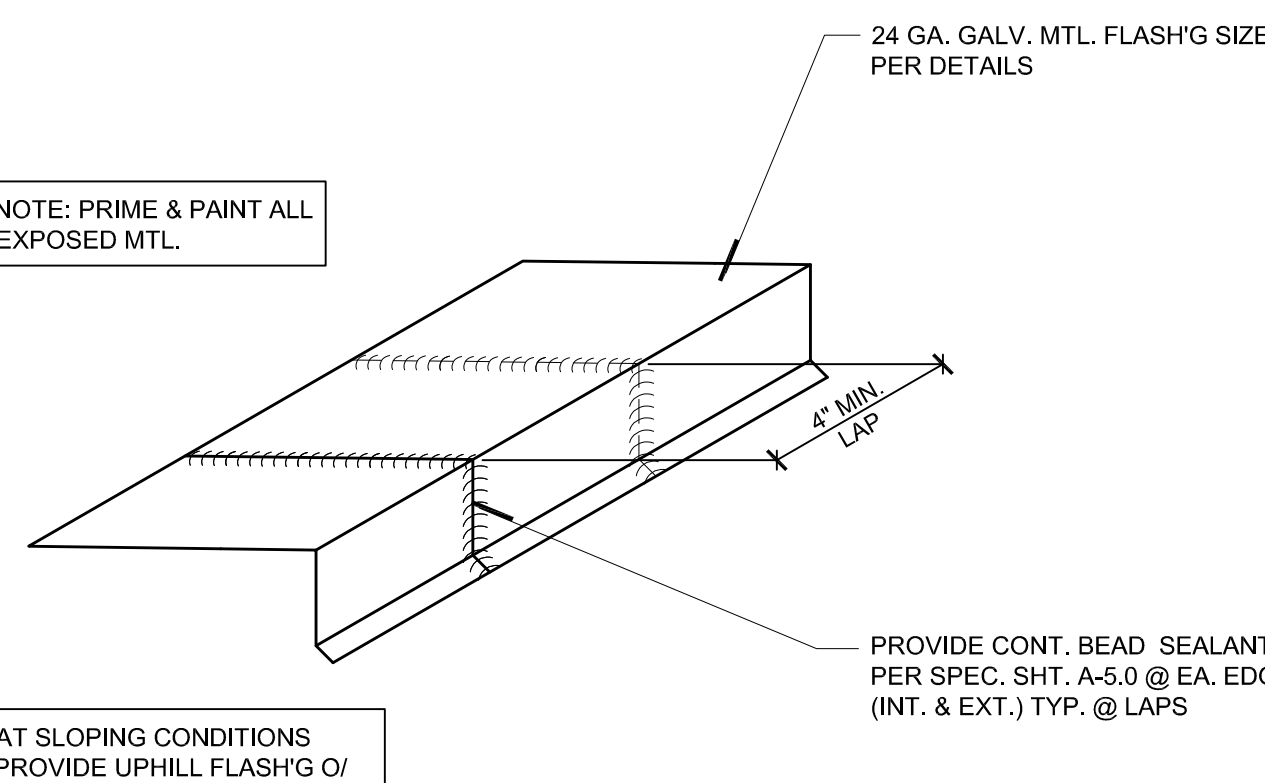
5



INT. DOOR HEAD/JAMB

3"=1'-0"

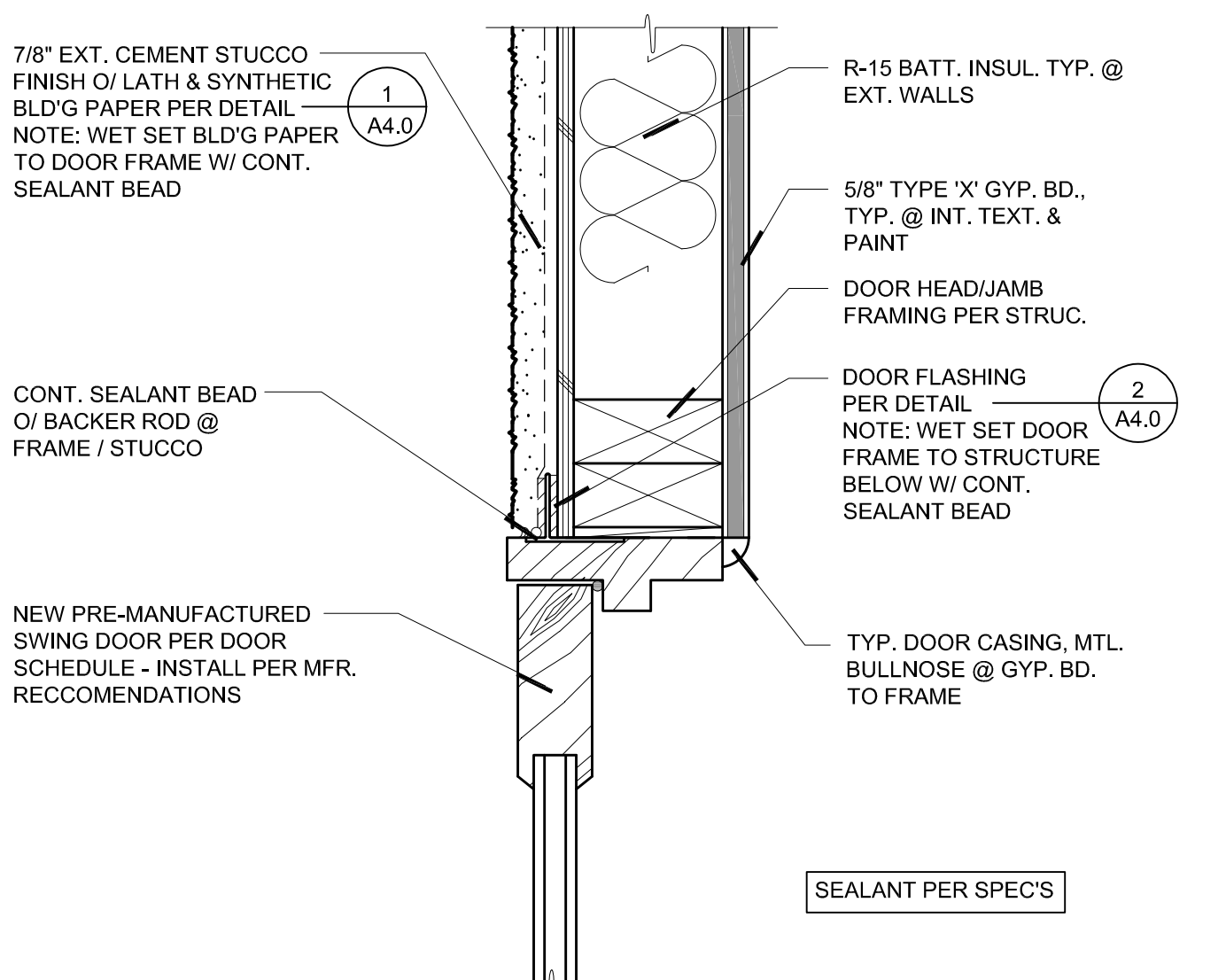
2



TYP. FLASHING LAP

3"=1'-0"

6





TYP. DOOR HEAD/JAMB


3"=1'-0"


3


ELECTRICAL
SYMBOL KEY


- 


220 VOLT OUTLET
- 


110-115 VOLT DUPLEX OUTLET
- 


EX. OUTLET: REPLACE OUTLET W/ NEW GROUNDED FIXTURES
- 


110-115 VOLT FOURPLEX OUTLET
- 


110-115 VOLT 1/2 HOT SWITCHED
- 


CEILING OUTLET
- 


110-115 VOLT WEATHERPROOF W/ GROUND FUSE INTERRUPT
- 


110-115 VOLT FLOOR OUTLET
- 


110-115 VOLT JUNCTION BOX
- 


TWO WAY SWITCH
- 


EX. SWITCH: REPLACE SWITCH W/ NEW GROUNDED FIXTURES
- 


OCCUPANY SENSOR SWITCH
- 


TWO - 2 WAY SWITCH PLATE
- 


THREE WAY SWITCH
- 


FOUR WAY SWITCH
- 


SWITCH W/ REOSTAT (DIMMER)
- 


DOOR BELL
- 


CHIME, WALL MOUNTED
- 


GARBAGE DISPOSAL
- 


TELEPHONE JACK (PROVIDE CAT-5 WIRING TYP.)
- 

TELEVISION JACK (CABLE T.V.)
- 

COMPUTER JACK
- 


GAS LOG LIGHTER (LOOSE KEY VALVE)
- 


FUEL GAS
- 

HOSE BIBB
- 


ICE MAKER WATER HOOK UP


NOTE:
ALL HOT WATER PIPING SIZED 3/4" OR LARGER IS REQUIRED TO BE INSULATED AS FOLLOWS: 1" PIPE SIZE OR LESS: 1" THICK INSULATION; LARGER PIPE SIZED REQUIRE 1-1/2" THICK INSULATION. *THE 1/2" SIZE HOT WATER PIPE TO THE KITCHEN SINK IS REQUIRED TO BE INSULATED. ES 150.0(J)2


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
SMA SMOKE ALARM, CEILING MOUNTED - HARDWIRED W/ BATTERY BACKUP. NOTE: SMOKE DETECTORS REQ'D IN EX. ROOMS MAY BE BATTERY OPERATED ONLY. INSTALLATION OF SMOKE DETECTORS WILL COMPLY WITH CBC SEC. 907.2.10
- 


CMA CARBON MONOXIDE ALARM, CEILING MOUNTED - SINGLE AND MULTIPLE-STATION CARBON MONOXIDE ALARMS SHALL BE LISTED AS COMPLYING WITH THE REQUIREMENTS OF UL 2034. CARBON MONOXIDE DETECTORS SHALL BE LISTED AS COMPLYING WITH THE REQUIREMENTS OF UL 2075


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
STUB OUT HOT AND/OR COLD WATER
- 


RETURN AIR GRILL
- 


WALL REGISTER
- 


CEILING REGISTER
- 


FLUORESCENT TUBE LIGHT
- 


CEILING TRACK LIGHT
- 


WALL MOUNTED LIGHT W/ SWITCH
- 


WALL MOUNTED LIGHT
- 


FIXTURE ON MOTION SENSOR
- 


FIXTURE ON TIME CLOCK
- 


SURFACE MOUNTED CLG. FIXTURE
- 


SURFACE MOUNTED CLG. FIXTURE W/ PULL-CHAIN
- 


HANGING CEILING FIXTURE (PROVIDE FOR 100# FIXTURE)
- 


RECESSED CEILING FIXTURE
- 


RECESSED CAN LIGHT W/ EYEBALL TRIM
- 


6" DIA. RECESSED INCANDESCENT CAN LIGHT, 'HALO' BRAND OR EQ. WITH WHITE TRIM RING & INTERIOR KIT, U.N.O. NOTE: PROVIDE GLASS LENS COVER AT CLOSET AREAS
- 


6" DIA. RECESSED LIGHT EMITTING DIODE (LED) CAN LIGHT W/ WHITE TRIM RING & INTERIOR KIT. PROVIDE GLASS LENS COVER AT CLOSET & SHOWER AREAS
- 


SURFACE MOUNTED CAN LIGHT
- 


SURFACE MOUNTED HEAT LAMP
- 


RECESSED HEAT LAMP
- 


CEILING FAN (PROVIDE FOR 100# FIXTURE)
- 


CEILING FAN W/ LIGHT FIXTURE (PROVIDE FOR 100# FIXTURE)
- 


EXHAUST FAN W/ HUMIDISTAT , RECESSED (MIN. 5 AIR CHANGES / HR, 120 CFM)
- 


LIGHT AND FAN W/ HUMIDISTAT, RECESSED (MIN. 5 AIR CHANGES / HR, 120 CFM)
- 


WALL SCONCE
- 

EX. WALL LIGHT - NO CHANGE
- 

ELECTRIC METER
- 

ELECTRIC PANEL (AND SUB PANEL)
- 

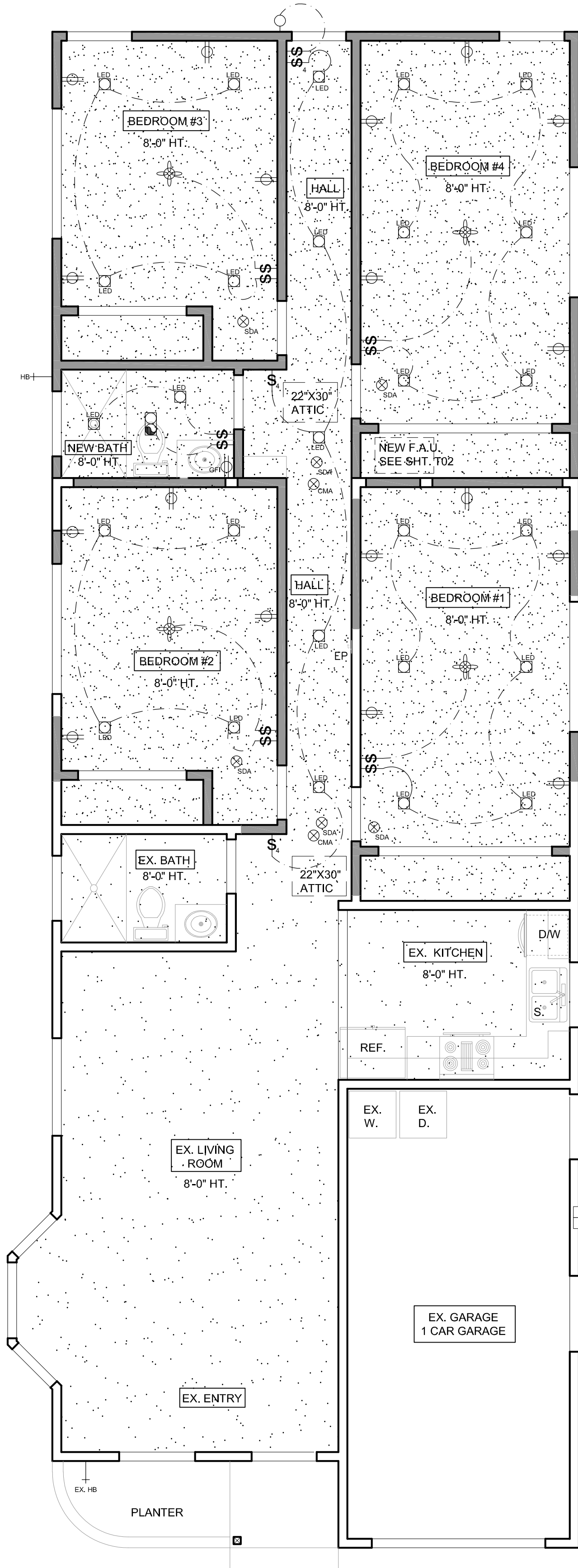
THERMOSTAT, WALL MOUNTED
- 

MASTER SPEAKER LOCATION
- 

FUTURE SPEAKER LOCATION - HOMERUN TO MASTER

NOTE: ALL ELECTRICAL SHOWN IS NEW, PER SPEC'S U.N.O.

NOTE: ALL OUTLETS TO BE MOUNTED @ 12" HT. U.N.O.



NOTE:
WHERE MORE THAN ONE SMOKE ALARM IS REQUIRED TO BE INSTALLED, THE SMOKE ALARMS SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS IN THE INDIVIDUAL DWELLING UNIT. THE ALARM SHALL BE CLEARLY AUDIBLE IN ALL BEDROOMS OVER BACKGROUND NOISE LEVELS WITH ALL INTERVENING DOORS CLOSED. (SEC. 907.2.10.3)

NOTE:
ALL SMOKE ALARMS SHALL BE LISTED IN ACCORDANCE WITH UL 217 AND INSTALLED IN ACCORDANCE WITH THE PROVISIONS OF THE GOVERNING CRC AND THE HOUSEHOLD FIRE WARNING EQUIPMENT PROVISIONS OF NFPA 72. SYSTEMS AND COMPONENTS SHALL BE CALIFORNIA STATE FIRE MARSHAL LISTED AND APPROVED IN ACCORDANCE WITH CCR, TITLE 19, DIVISION 1 FOR THE PURPOSE FOR WHICH THEY ARE INSTALLED. (SEC. R314.1)

NOTE:
SMOKE ALARM SHALL INSTALLED A MIN. OF 3 FT. AWAY HORIZONTALLY FROM THE DOOR OR OPENING OF A BATHROOM THAT CONTAINS A BATHTUB OR SHOWER. (BATTERY OPERATED SMOKE ALARMS MAY BE USED IN EX. AREAS OF BLDG. WHERE THE INSTALLATION OF THE HARD-WIRED SMOKE ALARMS WOULD REQUIRE THE REMOVAL OF INTERIOR FINISHES).

DUCTS IN THE GARAGE AND DUCTS PENETRATING THE WALLS OR CEILINGS SEPARATING THE DWELLING FROM THE GARAGE SHALL BE CONSTRUCTED OF MINIMUM NO. 26 GAUGE SHEET STEEL OR OTHER APPROVED MATERIAL AND SHALL HAVE NO OPENING INTO THE GARAGE

THE INSTALLATION OF SMOKE ALARMS AND SMOKE DETECTORS SHALL COMPLY WITH THE SPECIFIC LOCATION REQUIREMENTS OF CRC R314.3.4.

SMOKE ALARMS AND SMOKE DETECTORS SHALL BE INSTALLED A MINIMUM OF 20 FEETHORIZONTAL DISTANCE FROM A PERMANENTLY INSTALLED COOKING APPLIANCE.

SMOKE ALARMS AND SMOKE DETECTORS SHALL NOT BE INSTALLED WITHIN A 36 INCH HORIZONTAL PATH FROM THE SUPPLY REGISTERS OF A FORCED AIR HEATING OR COOLING SYSTEM AND SHALL BE INSTALLED OUTSIDE OF THE DIRECT AIRFLOW OF THOSE REGISTERS.

NOTE:
SINGLE- AND MULTIPLE-STATION CARBON MONOXIDE ALARMS SHALL BE LISTED AS COMPLYING WITH THE REQUIREMENTS OF UL 2034. CARBON MONOXIDE DETECTORS SHALL BE LISTED AS COMPLYING WITH THE REQUIREMENTS OF UL 2075. (SEC. R 315.3.)

NOTE:
CARBON MONOXIDE ALARMS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING WHERE SUCH WIRING IS SERVED FROM A COMMERCIAL SOURCE AND SHALL BE EQUIPPED WITH A BATTERY BACK-UP. ALARM WIRING SHALL BE DIRECTLY CONNECTED TO THE PERMANENT BUILDING WIRING WITHOUT A DISCONNECTING SWITCH OTHER THAN IS REQUIRED FOR OVERCURRENT PROTECTION.

WHERE MORE THAN 1 CARBON MONOXIDE ALARM IS REQUIRED TO BE INSTALLED WITHIN THE DWELLING UNIT OR WITHIN A SLEEPING UNIT THE ALARMS SHALL BE INTERCONNECTED IN A MANNER THAT ACTIVATION OF 1 ALARM SHALL ALL OF THE ALARMS IN THE INDIVIDUAL UNIT. (SECT. R315.2.2)

NOTE:
AN ELECTRONICALLY SIGNED AND REGISTERED INSTALLATION CERTIFICATE(S) (CF2R) POSTED BY THE INSTALLING CONTRACTOR SHALL BE SUBMITTED TO THE FIELD INSPECTOR DURING CONSTRUCTION AT THE BUILDING SITE. A REGISTERED CF2R WILL HAVE A UNIQUE 21 DIGIT REGISTRATION NUMBER FOLLOWED BY FOUR ZEROS LOCATED AT THE BOTTOM OF EACH PAGE. THE FIRST 12 DIGITS OF THE NUMBER WILL MATCH THE REGISTRATION NUMBER OF THE ASSOCIATED CF1R. CERTIFICATE OF OCCUPANCY WILL NOT BE ISSUED UNTIL FORMS CF2R IS REVIEWED AND APPROVED.

NOTE:
AN ELECTRONICALLY SIGNED AND REGISTERED CERTIFICATE(S) OF FIELD VERIFICATION AND DIAGNOSTIC TESTING (CF3R) SHALL BE POSTED AT THE BUILDING SITE BY A CERTIFIED HERS RATER. A REGISTERED CF3R WILL HAVE A UNIQUE 25 DIGIT REGISTRATION NUMBER LOCATED AT THE BOTTOM OF EACH PAGE. THE FIRST 20 DIGITS OF THE NUMBER WILL MATCH THE REGISTRATION NUMBER OF THE ASSOCIATED CF2R. CERTIFICATE OF OCCUPANCY WILL NOT BE ISSUED UNTIL CF3R IS REVIEWED AND APPROVED.

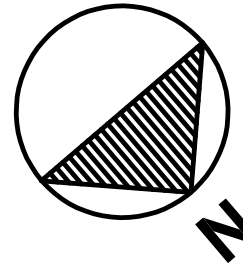
ALL HOT WATER PIPING SIZED 3/4" OR LARGER IS REQUIRED TO BE INSULATED AS FOLLOWS: 1" PIPE SIZE OR LESS: 1" THICK INSULATION; LARGER PIPE SIZED REQUIRE 1-1/2" THICK INSULATION. *THE 1/2" SIZE HOT WATER PIPE TO THE KITCHEN SINK IS REQUIRED TO BE INSULATED. ES 150.0(J)2

INDICATES 5/8" TYPE 'X' GYP. BD. AT CEILING FRAM'G, TEXTURE & PAINT OVERALL PER OWNER APPROVAL

INDICATES EXISTING GYP. BD. TO REMAIN, NO CHANGE

REFLECTED CEILING & UTILITY PLAN

SCALE: 1/4" = 1'-0"



REF. NORTH

EXTERIOR MATERIALS KEY

- 1

TYPICAL NEW ROOF FINISH: COMPOSITION ASPHALT SHINGLES, PER SPEC'S, OVER 1 LAYER SYNTHETIC UNDERLAYMENT, 'GAF' BRAND ICC# ESR-1475 CLASS 'A' RATED, PER SPEC'S COLOR: PER OWNER

1
A013
- 2

TYP. ROOF EAVE: 2X R.S. FASCIA @ ALL EAVE AREAS. PRIME & PAINT ALL WOOD FACES PRIOR TO INSTALLATION.
COLOR: PER OWNER, PER DETAIL

2
A013
- 3

TYP. ROOF RAKE: 2X R.S. FASCIA, PRIME & PAINT ALL WOOD FACES PRIOR TO INSTALLATION PER DETAIL.
COLOR: PER OWNER.

2
A013
- 4

NEW EXTERIOR WALL FINISH:
3 COAT, 7/8" EXT. CEMENT STUCCO OVER LATH,
SYNTHETIC BLD'G PAPER & FRAMING, W/ LITE LACE TEXTURE
TO MATCH PER DETAIL
COLOR: EXPO STUCCO COLOR PER OWNER APPROVAL

1
A012
4
A012
- 5

CONT. GALV. MTL. WEEP SCREED W/ HOLES, PER DETAIL

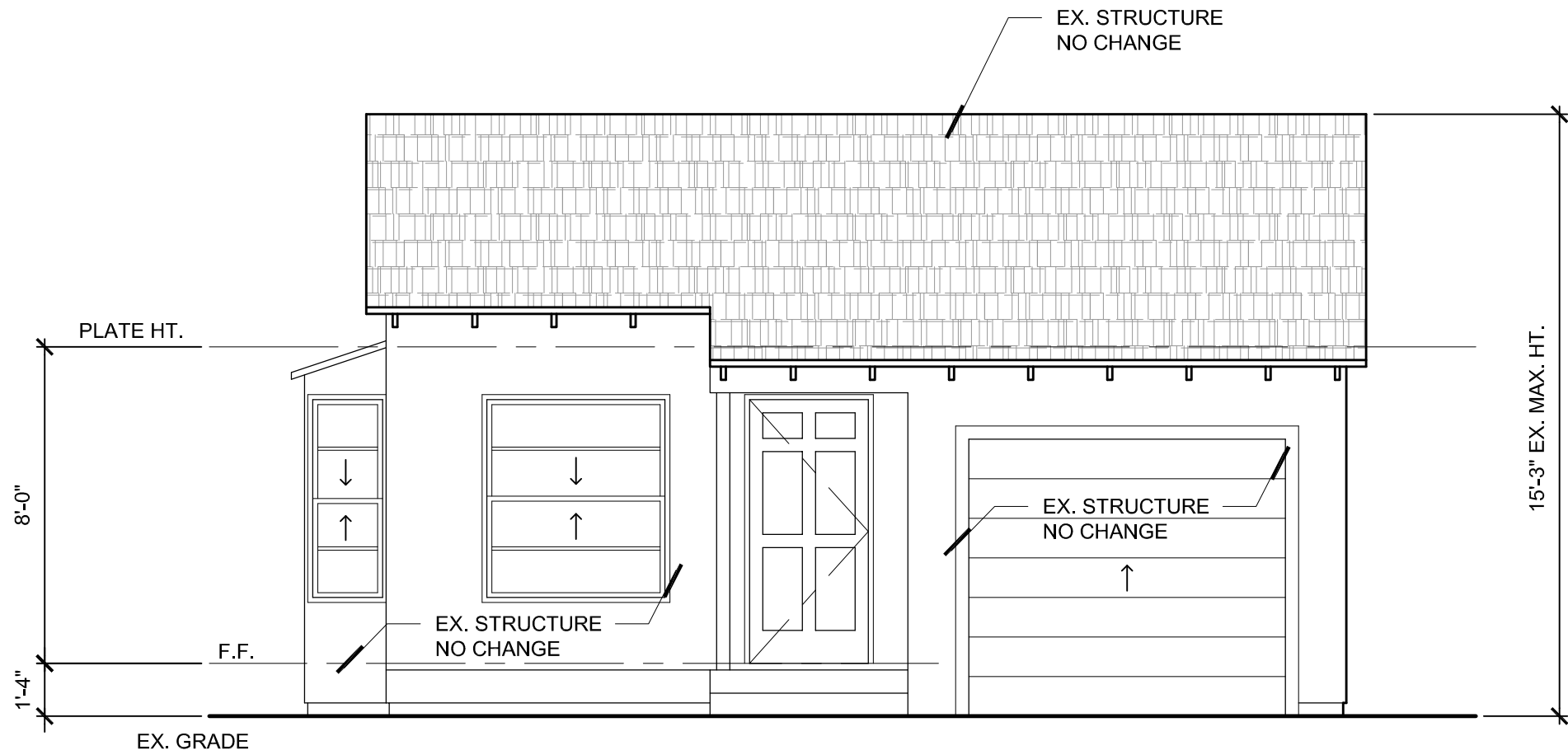
4
A012
- 6

NEW EXTERIOR WINDOWS:
NEW VINYL FRAMED, DUAL PANE WINDOWS PER WINDOW SCHEDULE.
- 7

NEW EXTERIOR DOOR:
NEW WOOD FRAMED, DUAL PANE 1 LITE DOOR, PER DOOR SCHEDULE.
- 8

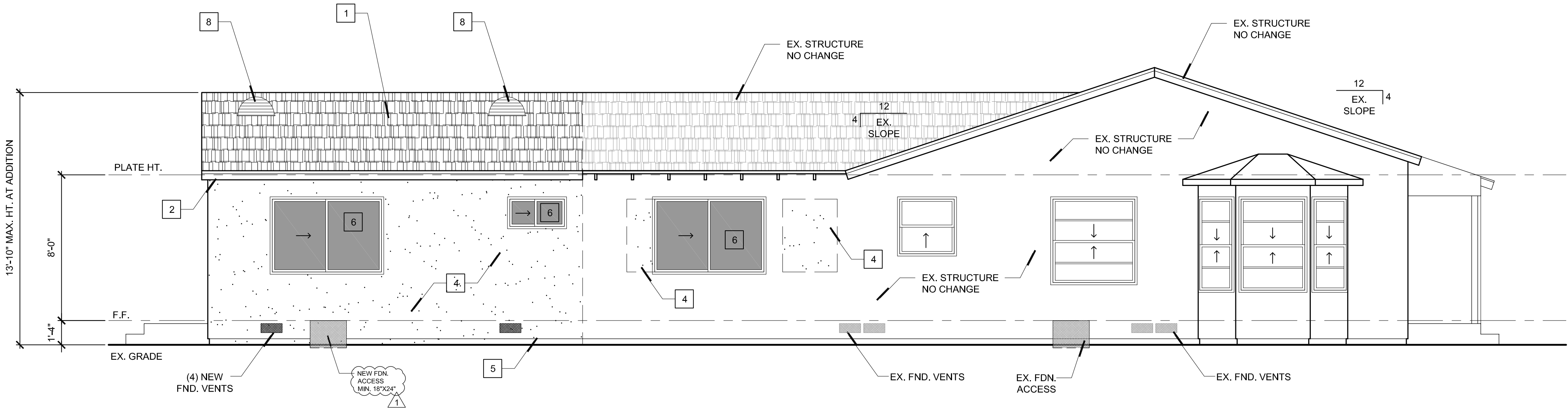
NEW 1/2 ROUND GALV. MTL. LOUVERED DORMER VENT, W/ 1/8" GALV. MESH AT INTERIOR. PAINT TO MATCH ROOF SHINGLE COLOR.
PER OWNER APPROVAL, PER DETAIL

4
A011



SOUTH ELEVATION

SCALE: 1/4" = 1'-0"



EAST ELEVATION

SCALE: 1/4" = 1'-0"

WILLINK RESIDENCE ADDITION / REMODEL
4941 CORONADO AVENUE
SAN DIEGO, CA 92107

LGD DRAFTING SERVICE
PLANNING-PERMITS-ADDITION-REMODEL
TEL: (619) 990-4392 lgdraftingsd@gmail.com

A008

EXTERIOR MATERIALS KEY

- 1

TYPICAL NEW ROOF FINISH: COMPOSITION ASPHALT SHINGLES, PER SPEC'S, OVER 1 LAYER SYNTHETIC UNDERLAYMENT, 'GAF' BRAND ICC# ESR-1475 CLASS 'A' RATED, PER SPEC'S COLOR: PER OWNER

1
A013
- 2

TYP. ROOF EAVE: 2X R.S. FASCIA @ ALL EAVE AREAS. PRIME & PAINT ALL WOOD FACES PRIOR TO INSTALLATION.
COLOR: PER OWNER, PER DETAIL

2
A013
- 3

TYP. ROOF RAKE: 2X R.S. FASCIA, PRIME & PAINT ALL WOOD FACES PRIOR TO INSTALLATION PER DETAIL.
COLOR: PER OWNER.

2
A013
- 4

NEW EXTERIOR WALL FINISH:
3 COAT, 7/8" EXT. CEMENT STUCCO OVER LATH,
SYNTHETIC BLD'G PAPER & FRAMING, W/ LITE LACE TEXTURE
TO MATCH PER DETAIL
COLOR: EXPO STUCCO COLOR PER OWNER APPROVAL

1
A012
4
A012
- 5

CONT. GALV. MTL. WEEP SCREED W/ HOLES, PER DETAIL

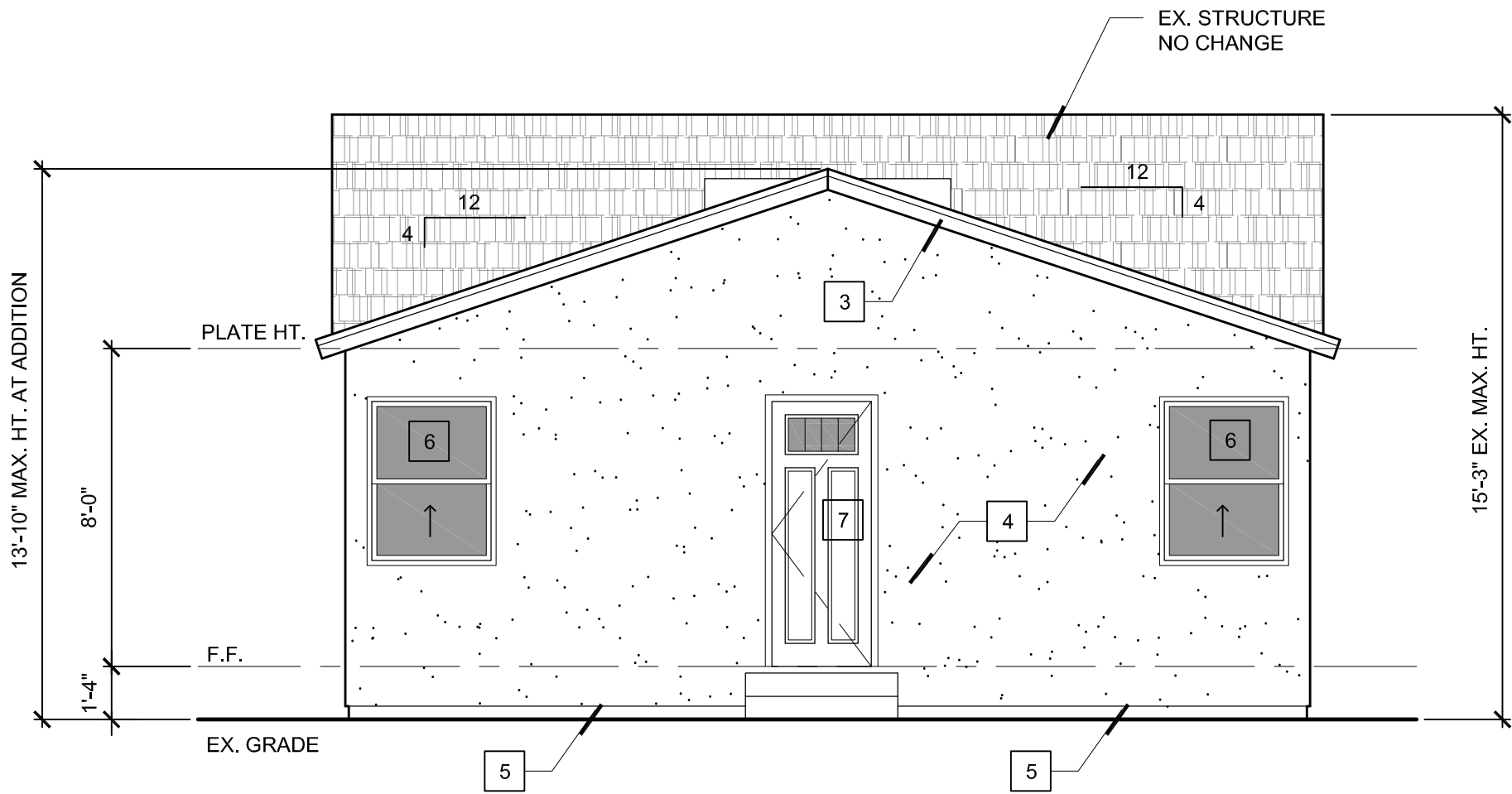
4
A012
- 6

NEW EXTERIOR WINDOWS:
NEW VINYL FRAMED, DUAL PANE WINDOWS PER WINDOW SCHEDULE.
- 7

NEW EXTERIOR DOOR:
NEW WOOD FRAMED, DUAL PANE 1 LITE DOOR, PER DOOR SCHEDULE.
- 8

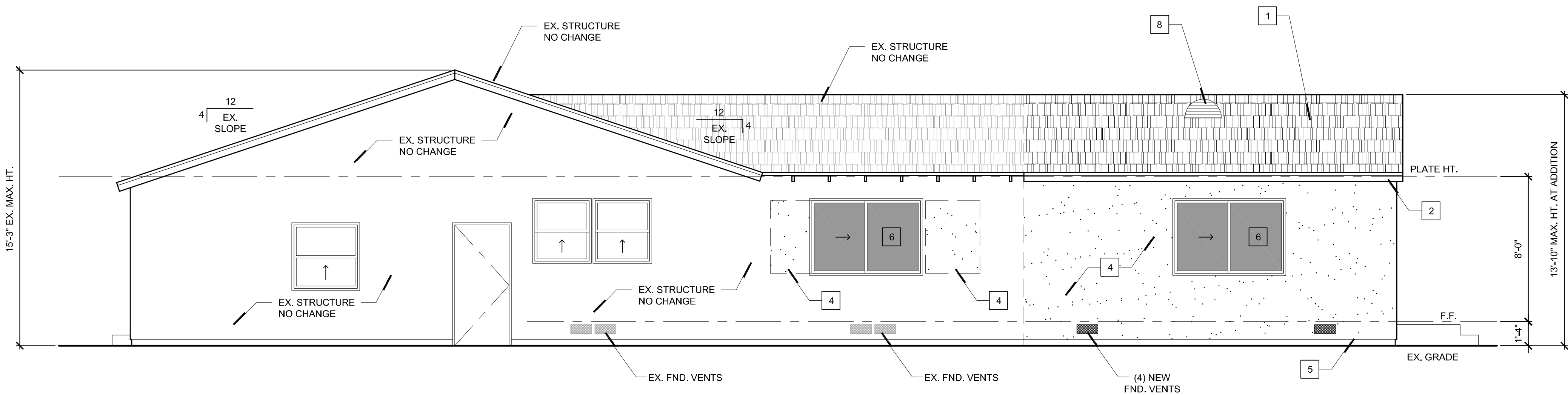
NEW 1/2 ROUND GALV. MTL. LOUVERED DORMER VENT, W/ 1/8" GALV. MESH AT INTERIOR. PAINT TO MATCH ROOF SHINGLE COLOR.
PER OWNER APPROVAL, PER DETAIL

4
A011



NORTH ELEVATION

SCALE: 1/4" = 1'-0"



WEST ELEVATION

SCALE: 1/4" = 1'-0"

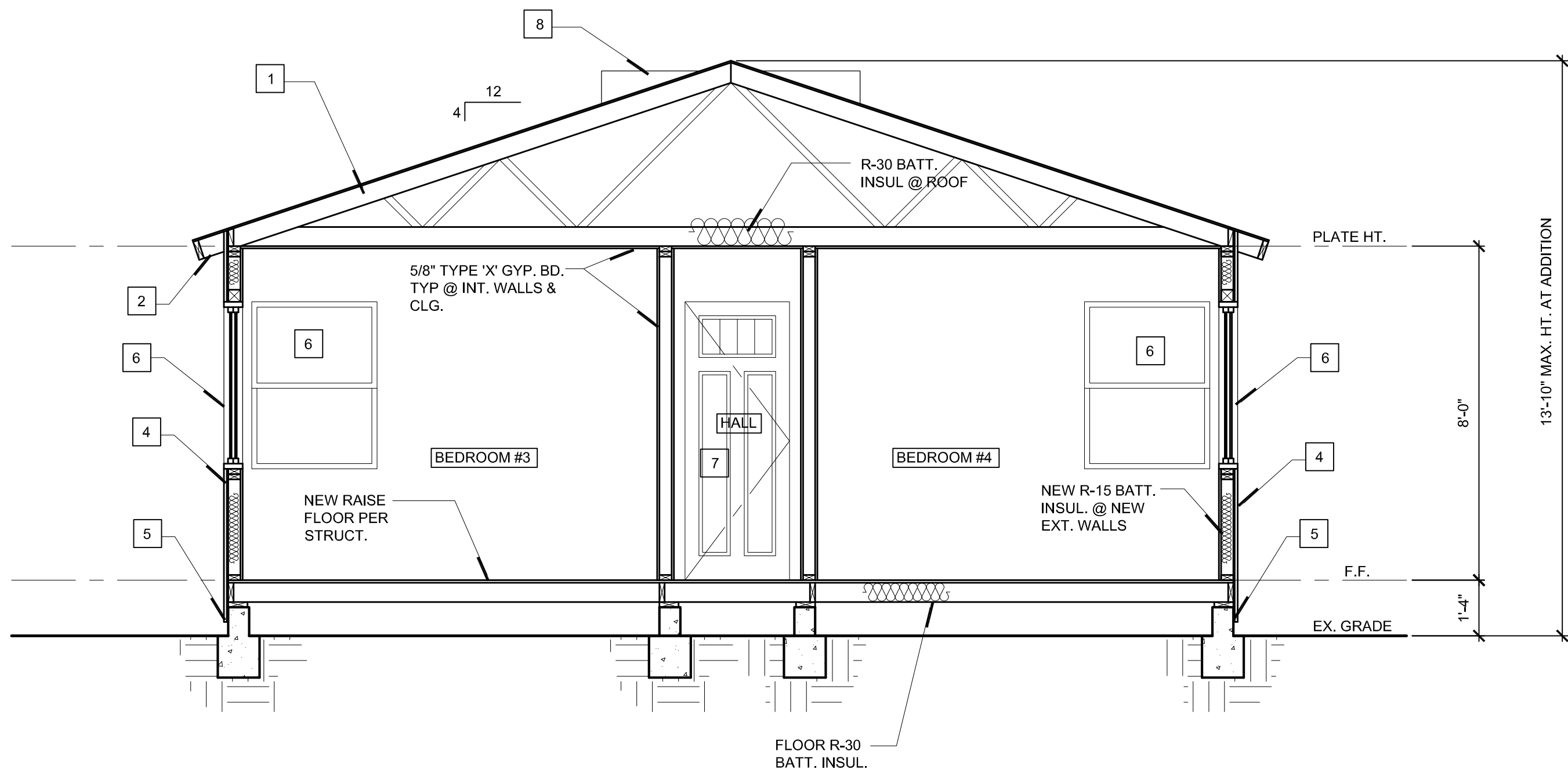
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A009



BUILDING CROSS SECTION
3/8" = 1'-0" **A**

NEW 6" X 14" GALV. MTL. FDN. VENTS WITHIN 3'-0" OF BLDG. CORNERS. ALL VENTS TO HAVE 1/8" GALV. MTL. SCREEN TYP. PROVIDE UNDER-FLOOR VENTILATION HAVING A MINIMUM NET AREA OF 1 SQUARE FOOT PER 150 SQUARE FEET OF UNDER FLOOR AREA. PER CRC SECTION R408.1

UNDER-FLOOR VENTING CALCS

| | |
|----------------------------|---|
| | PER CRC SECTION R408.1 |
| NEW UNDER-FLOOR VENT AREA: | 500 SQ. FT. / 150 = 3.3 SQ. FT. REQUIRED |
| VENT AREA PROVIDED: | 4 - 6"X14" FDN. VENTS (.84 EA.) = 3.4 SQ. FT. PROVIDED |

EXTERIOR MATERIALS KEY

| | | |
|---|--|-----------|
| 1 | TYPICAL NEW ROOF FINISH: COMPOSITION ASPHALT SHINGLES, PER SPEC'S, OVER 1 LAYER SYNTHETIC UNDERLAYMENT, 'GAF' BRAND ICC# ESR-1475 CLASS 'A' RATED, PER SPEC'S COLOR: PER OWNER | 1 A013 |
| 2 | TYP. ROOF EAVE: 2X R.S. FASCIA @ ALL EAVE AREAS. PRIME & PAINT ALL WOOD FACES PRIOR TO INSTALLATION. COLOR: PER OWNER, PER DETAIL | 2 A013 |
| 3 | TYP. ROOF RAKE: 2X R.S. FASCIA, PRIME & PAINT ALL WOOD FACES PRIOR TO INSTALLATION PER DETAIL. COLOR: PER OWNER. | 1 A012 |
| 4 | NEW EXTERIOR WALL FINISH: 3 COAT, 7/8" EXT. CEMENT STUCCO OVER LATH, SYNTHETIC BLD'G PAPER & FRAMING, W/ LITE LACE TEXTURE TO MATCH PER DETAIL COLOR: EXPO STUCCO COLOR PER OWNER APPROVAL | 4 A012 |
| 5 | CONT. GALV. MTL. WEEP SCREED W/ HOLES, PER DETAIL | 4 A012 |
| 6 | NEW EXTERIOR WINDOWS: NEW VINYL FRAMED, DUAL PANE WINDOWS PER WINDOW SCHEDULE. | |
| 7 | NEW EXTERIOR DOOR: NEW WOOD FRAMED, DUAL PANE 1 LITE DOOR, PER DOOR SCHEDULE. | |
| 8 | NEW 1/2 ROUND GALV. MTL. LOUVERED DORMER VENT, W/ 1/8" GALV. MESH AT INTERIOR. PAINT TO MATCH ROOF SHINGLE COLOR. PER OWNER APPROVAL, PER DETAIL | 4 A011 |

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SAN DIEGO, CA 92107

A010

INSULATION KEY

NOTE: PAPER FACED INSULATION IS NOT PERMITTED IN ATTICS OR OTHER VENTILATED SPACES
NOTE: PROVIDE CLASS I OR CLASS II VAPOR BARRIER INSTALLED ON THE WARM-IN-WINTER SIDE OF CEILING.

| AREA | INSULATION TYPE |
|---------------|------------------------------------|
| NEW EXT. WALL | PROVIDE NEW R-15 RIGID FOAM INSUL. |
| NEW FLOOR | PROVIDE NEW R-30 BATT INSUL. |
| NEW ROOF | PROVIDE NEW R-30 BATT INSUL. |



3



4



REF. NORTH

4